



**Development Permit Panel
Electronic Meeting**

**Council Chambers, City Hall
6911 No. 3 Road**

**Wednesday, January 14, 2026
3:30 p.m.**

MINUTES

*Motion to adopt the **minutes** of the Development Permit Panel meeting held on December 10, 2025.*



1. DEVELOPMENT PERMIT 24-045175
(REDMS No. 8013299)

APPLICANT: DF Architecture Inc.

PROPERTY LOCATION: 9951, 9991 Blundell Road and 7951 No. 4 Road

Director's Recommendations

That a Development Permit (DP) be issued which would:

- 1. permit the construction of 14 townhouse units at 9951, 9991 Blundell Road and 7951 No. 4 Road on a site zoned "Medium Density Townhouses (RTM2)"; and*
- 2. vary the provisions of Richmond Zoning Bylaw 8500 to:*
 - (a) reduce the front yard and exterior side yard setbacks for Building 3 from 6.0 m to 4.8 m and 5.1 m, respectively; and*
 - (b) increase the ratio of residential parking spaces in tandem arrangement from 50 per cent to 58 per cent.*



Development Permit Panel – Wednesday, January 14, 2026

ITEM

2. New Business

3. Date of Next Meeting: January 28, 2026

ADJOURNMENT



**Development Permit Panel
Wednesday, December 10, 2025**

Time: 3:30 p.m.

Place: Remote (Zoom) Meeting

Present: Wayne Craig, General Manager, Planning and Development, Chair
Lloyd Bie, Director, Transportation
Todd Gross, Director, Parks Services

The meeting was called to order at 3:30 p.m.

MINUTES

It was moved and seconded

That the minutes of the meeting of the Development Permit Panel held on November 13, 2025 be adopted.

CARRIED

1. DEVELOPMENT PERMIT 23-031545
(REDMS No. 8206668)

APPLICANT: Carson Lei

PROPERTY LOCATION: 8680 Alexandra Road

INTENT OF PERMIT:

1. Permit the subdivision of 8680 Alexandra Road into two lots and permit construction of two commercial buildings on proposed Lot B on a site zoned "Auto-Oriented Commercial (CA)".
2. Vary the provisions of Richmond Zoning Bylaw 8500 applicable to Lot B to:
 - (a) reduce the minimum interior side yard setback from 3.0 m to 1.5 m; and
 - (b) reduce the minimum rear yard setback from 3.0 m to 2.0 m.

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Applicant's Comments

Patrick (Xu) Yang, Pacific West Architecture, Inc., with the aid of a visual presentation (attached to and forming part of these minutes as Schedule 1), provided background information on the proposed development, highlighting the following:

- the proposed development includes 14 commercial units within two buildings, with the single storey building fronting Alderbridge Way and the two-storey building fronting Alexandra Road;
- an outdoor corridor and amenity terrace are proposed for the two-storey commercial building;
- vehicle access is from Alexandra Road and 40 parking stalls will be provided including two accessible parking stalls; 22 of the parking stalls will be equipped with Level 2 electric vehicle charging;
- a loading station is proposed between the two buildings;
- a 3-metre wide north-south public pedestrian pathway is proposed connecting Alderbridge Way and Alexandra Road to enhance pedestrian connectivity and accessibility on the site;
- the project has been designed to connect to the City Centre District Energy Utility (DEU); and
- proposed sustainability features for the project include, among others, a rough-in for future rooftop solar panels as alternative energy source for future tenants.

Zhipin (Eason) Li, Homing Landscape Architecture, with the aid of the same visual presentation, briefed the Panel on the main landscape features of the project, noting that (i) 15 replacement trees are proposed to be planted on-site, (ii) pedestrian pathways are provided around the two buildings, (iii) a north-south public pedestrian pathway is proposed along the west property line to connect Alderbridge Way and Alexandra Road, (iv) permeable pavers are proposed in some portions of the parking area and pedestrian paths are highlighted with the use of stamped asphalt to enhance pedestrian safety, (v) native and drought tolerant plant species are proposed for planting on the site, (vi) proposed lighting fixtures are consistent with dark sky design principles to mitigate light pollution, and (vii) a 4-metre high metal picket fence is proposed along the east and west property lines for visual porosity.

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Staff Comments

Joshua Reis, Director, Development, noted that (i) a 3.0-metre wide Statutory-Right-of-Way (SRW) providing Pedestrian Right-of-Passage between Alderbridge Way and Alexandra Road is proposed which also acts as another frontage to the two commercial buildings in the subject site, (ii) the buildings have been designed to connect to the City Centre District Energy Utility (DEU) and a connection to the DEU will be established once it becomes available, (iii) a road dedication along Alderbridge Way is proposed, and (iv) a Servicing Agreement is required as a condition of subdivision of the property for utilities and frontage works including a multi-use pathway and landscaped boulevard as well as utility and servicing connections.

Panel Discussion

In reply to a query from the Panel, Mr. Reis noted that (i) the existing trees along the subject site's Alderbridge Way frontage will be removed as they have been identified by the project arborist and confirmed by staff to be in poor condition and would also conflict with the project's required frontage improvement works, and (ii) as part of the Servicing Agreement process, staff will ensure that there will be appropriate tree planting on the boulevard as part of the frontage improvement works.

In reply to the same and subsequent queries from the Panel, the applicant noted that (i) the species of street trees to be planted along the subject site's Alderbridge Way frontage will be determined through the Servicing Agreement process, and (ii) lighting for the proposed multi-use pathway along the Alderbridge Way frontage will be considered as part of the Servicing Agreement process.

The Panel requested the applicant to work with the City's Park Services Department should there be soil removal from the subject site as it could be utilized for the adjacent Garden City Lands. The Chair then advised staff to work with the applicant with regard to this request.

In reply to further queries from the Panel, the applicant noted that rooftop mechanical units are proposed on top of the mechanical room attached to the two-storey commercial building and should additional mechanical rooftop units be required, they could be accommodated on the building rooftop.

In reply to a further query from the Panel, Mr. Reis confirmed that as part of the subject application, frontage improvements along both Lot A and Lot B would be included as part of the servicing works.

Correspondence

None.

Gallery Comments

None.

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Panel Discussion

The Panel expressed support for the project, noting that (i) the street trees along the subject site's Alderbridge Way frontage will need to match the trees across the road, (ii) lighting for the multi-use pathway on the Alderbridge Way frontage be considered as part of the Servicing Agreement process, (iii) the attention to detail on the project is appreciated, and (iv) the proposed frontage improvements along Alderbridge Way and pedestrian connection between Alderbridge Way and Alexandra Road will provide long-term benefits to the City.

Panel Decision

It was moved and seconded

That a Development Permit be issued which would:

1. *permit the subdivision of 8680 Alexandra Road into two lots and permit construction of two commercial buildings on proposed Lot B on a site zoned "Auto-Oriented Commercial (CA)"; and*
2. *vary the provisions of Richmond Zoning Bylaw 8500 applicable to Lot B to:*
 - (a) *reduce the minimum interior side yard setback from 3.0 m to 1.5 m; and*
 - (b) *reduce the minimum rear yard setback from 3.0 m to 2.0 m.*

CARRIED

2. **DEVELOPMENT PERMIT 23-033716**

(REDMS No. 8185751)

APPLICANT: Panatch Group

PROPERTY LOCATION: 9000 No. 3 Road

INTENT OF PERMIT:

Permit the construction of a mixed-use commercial and rental apartment building at 9000 No. 3 Road on a site zoned "Commercial Mixed Use (ZMU61) – No. 3 Road and Francis Road (Broadmoor)".

Applicant's Comments

Steve Watt, Integra Architecture Inc., with the aid of a visual presentation (attached to and forming part of these minutes as Schedule 2), provided background information on the proposed development, highlighting the following:

- the proposed development consists of a mixed-use building with commercial units at ground level facing No. 3 Road and Francis Road and residential rental units in the upper storeys;

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- the residential lobby is proposed on Francis Road;
- two separate parkade entries are proposed for the two-level parkade for residential and shared commercial and other uses that also accommodates garbage storage and collection;
- the proposed common outdoor amenity area is located on top of the third level parking podium which is overlooked by one-half of the residential units in the building;
- setbacks for levels three to six of the building have been increased to respect adjacent townhouse developments;
- climbing and trailing vines are proposed to be planted to soften the appearance of parkade walls and provide a better interface with adjacent townhouse developments to the east and south; and
- a modern architectural style is proposed with clean form using few simple materials.

Michael Patterson, of Perry + Associates Landscape Architecture, with the aid of the same visual presentation, briefed the Panel on the main landscape features of the project, noting that (i) proposed landscaping along the commercial frontages include, among others, street trees and planters separating the commercial units, (ii) a six-foot high solid wood fence will be installed along the east and south property lines to provide privacy to adjacent townhouse developments, (iii) layered planting including eight trees will be planted along the south property line, (iv) the proposed common outdoor amenity space includes, among others, a children's play area, community gardens, social outdoor dining, and planting, (v) existing neighbouring trees not in conflict with the proposed building will be retained, (vi) 23 replacement trees will be planted on-site, (vii) dark sky compliant lighting fixtures will be installed on the ground plane and common outdoor amenity area to mitigate light pollution, and (viii) a variety of low-maintenance trees and shrubs that provide seasonal interest will be planted on the site.

Staff Comments

Mr. Reis noted that (i) the proposed development is a six-storey building with 64 rental units including seven moderate market rental units which were secured at the time of rezoning application associated with the project, (ii) all required replacement trees will be planted on-site and an on-site irrigation system will be installed to ensure their maintenance, (iii) all units will meet the City's Basic Universal Housing (BUH) requirements, and (iv) there is a Servicing Agreement secured at the rezoning application which includes frontage improvements along No. 3 Road and Francis Road, intersection upgrades and new traffic signal cabinets, storm system upgrades and new water and sanitary service connections.

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Panel Discussion

It was noted that there are *Styrax japonicus* trees proposed to be planted in close proximity to the children's play area in the common outdoor amenity space on top of the third floor parking podium. It was suggested that the applicant consider installing alternative tree species as the *Styrax japonicus* is prone to leaf drop and producing a heavy crop of seeds.

In reply to queries from the Panel, the applicant noted that (i) they will consider the suggestion to replace the *Styrax japonicus* in the common outdoor amenity space with appropriate tree species, (ii) they are amenable to installing signage that are visible from the street for the building's two separate vehicle entrances to provide guidance for vehicles entering the building, (iii) the pedestrian access from Level 1 parkade to the commercial units is through the drive aisle, and (iv) there is good visibility to the sidewalk for vehicles exiting the parkade to Francis Road, and (v) a rumble strip and convex mirror are provided at the parkade's No. 3 Road exit to provide safety for pedestrians using the sidewalk.

Correspondence

Ken and Arlene Glinz, 7651 Francis Road ([Schedule 3](#))

Mr. Reis noted that (i) staff have responded to concerns of Ken and Arlene Glinz with regard to the potential impact of the proposed development to traffic in the area, in particular at the intersection of No. 3 Road and Francis Road, (ii) there was a Traffic Impact Assessment provided by the applicant as part of the associated rezoning application which indicated that there would be no significant impact to traffic from the proposed development, and (iii) there will be intersection improvements as part of the required servicing and frontage works, including the installation of a new signal box to help with left turn traffic from both the north and south intersection approaches.

Chris Jensen, 7-8080 Francis Road ([Schedule 4](#))

Mr. Reis noted that staff have responded to Mr. Jensen's concerns and have received correspondence from the applicant indicating that the developer has worked with the strata of the neighbouring townhouse development to the east regarding proposed improvements along the development's east property line including installing a new 1.8 metre high solid wood fence and providing landscaping including planting of climbing vines along the eastern elevation of the proposed building to soften the interface with the existing townhouse development to the east.

In reply to a query from the Panel, the applicant confirmed that an automatic irrigation system will be installed for both at-grade and podium roof planting.

Gallery Comments

None.

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Panel Discussion

The Panel expressed support for the application, noting (i) the project's accessibility features including the provision for all units with Basic Universal Housing (BUH) features, and (ii) the provision of moderate market rental units.

The Panel then directed staff to work to with the applicant to (i) review the proposed tree species to be planted in the common outdoor amenity area, (ii) ensure that there is a clearly defined, safe and accessible pedestrian pathway from the parkade's commercial parking area to the commercial units, and (iii) provide appropriate signage at the two separate parkade entries in the building indicating their uses (residential and commercial/visitor parking).

Panel Decision

It was moved and seconded

That a Development Permit be issued which would permit the construction of a mixed-use commercial and rental apartment building at 9000 No. 3 Road on a site zoned "Commercial Mixed Use (ZMU61) – No. 3 Road and Francis Road (Broadmoor)".

CARRIED

3. DEVELOPMENT PERMIT 25-010558

(REDMS No. 8137702)

APPLICANT: Fougere Architecture Inc.

PROPERTY LOCATION: 8620, 8640 and 8660 Spires Road

INTENT OF PERMIT:

Permit the construction of one six-storey residential apartment building containing 90 rental units at 8620, 8640 and 8660 Spires Road on a site zoned "Low to Mid Rise Rental Apartment (ZLR49) – Spires Road (Brighthouse Village of City Centre)".

Applicant's Comments

Wayne Fougere, of Fougere Architecture Inc., with the aid of a visual presentation (attached to and forming part of these minutes as Schedule 5), provided background information on the proposed development, highlighting the following:

- the subject site is a consolidation of three lots located within a Transit-Oriented Development Area (TOA) as provided in City's Transit-Oriented Areas Designation Bylaw;
- the proposed six-storey apartment building consists of a five-storey wood frame building on top of a concrete ground-level parking structure;

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- the top two stories of the building have increased setbacks to improve its relationship with neighbouring buildings;
- the development includes 68 market rental housing units and 22 affordable rental housing units all designed with Basic Universal Housing (BUH) features that meet the requirements of the City's Zoning Bylaw;
- a total of 27 parking stalls will be provided in the proposed development, including 22 resident parking stalls, two accessible parking stalls, a car-share parking stall and visitor parking stalls;
- the project's proposed Transportation Demand Management (TDM) measures include a transit pass program, provision of one car-share parking stall, and a small-sized loading space;
- pedestrian and vehicle entrances are located off Spires Road;
- pedestrian walkways are provided along the east, west and south property lines to enhance pedestrian circulation around the subject site as well as to provide access to service and bike rooms;
- indoor amenity spaces are provided on different levels of the proposed building including a gym, a multi-purpose room, a guest suite, a shared workspace and a conference room;
- common outdoor amenity spaces are proposed on the podium and roof levels; and
- the project has been designed to achieve BC Energy Step Code Level 3 with Emission Level 2 and to connect to the City Centre District Energy Utility (CCDEU).

Yiwen Ruan, PMG Landscape Architects, with the aid of the same visual presentation, briefed the Panel on the main landscape features of the project, noting that (i) the proposed landscaping for the subject site's frontage includes, among others, planting of canopy trees and low maintenance shrubs, (ii) bicycle parking and seating are proposed at the main entrance of the building, (iii) a landscape buffer is proposed along the east and west property lines of the subject site, (iv) the applicant has worked with an arborist to retain and protect as many trees as possible on the subject site and neighbouring properties to the south, (v) the proposed common outdoor amenity space on the podium level is located in the central courtyard of the building and designed mainly for adults and includes an open lawn, lounge seating, a picnic table and chess table, (vi) the proposed outdoor amenity space on the rooftop is primarily designed for children of different age groups but also includes lounge seating for adults, (vii) planters and small ornamental trees are also proposed on the rooftop amenity space, (viii) 22 replacement trees and drought tolerant plants are proposed to be planted on-site, and (ix) automatic irrigation will be provided for the maintenance of all planted areas on the subject site.

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Staff Comments

Mr. Reis noted that (i) the project will provide 22 affordable housing units that meet the City's low-end market rental program requirements, (ii) residential parking is not required for the project as the subject site is located within one of the designated Transit Oriented Areas (TOAs) in the City as mandated by Provincial legislation, (iii) the applicant will provide 22 resident parking stalls as well as Transportation Demand Management (TDM) measures that include a transit pass program, car-share parking stall, and 140 Class 1 bicycle parking located on site, and (iv) there is a Servicing Agreement associated with the project that was secured as part of the associated rezoning application for the design and construction of road and engineering improvement works along the frontage of the subject property, upgrades to watermains, storm and sanitary sewers as well as utility connections.

Panel Discussion

In reply to queries from the Panel, the applicant noted that (i) they will consider replacing the proposed musical play equipment in the children's play area on the rooftop amenity space with standardized play equipment to avoid potential noise concerns, and (ii) the proposed location of the car-share parking stall outside of the parkade's overhead gate is a requirement of the City.

In reply to a query from the Panel, Mr. Reis confirmed that Bill 47, a Provincial legislation enacted in 2023 requiring municipalities to designate Transit Oriented Development Areas, prohibits municipalities from requiring residential parking as part of any project located within 800 metres of an identified transit station area.

In reply to a further query from the Panel, Mr. Reis further noted that as part of the project's Building Permit review process should the project move forward, the applicant will be required to provide the City with a Construction Traffic and Parking Management Plan that will be reviewed and approved by the City's Transportation Department and will address, among others, construction-related parking, construction operation hours, and coordination with adjacent development works.

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Gallery Comments

Jose Gonzalez, 8935 Cook Crescent, expressed concern regarding several ongoing residential development projects and a water sewer project in the Spires Road area, resulting in road closures and single vehicle access due to construction related activities that have impacted vehicle access to his and other residents' homes. He noted that the Construction Traffic and Parking Management Plans of projects in the area have not been able to effectively manage residents' access to their homes as well as emergency vehicle access into the neighbourhood. He expressed concern that the proposed development will result in more road blockages and closures in the area that would further limit vehicle access into his home and other properties in Cook Crescent. He then called for (i) postponing the Panel's approval of the proposed development until such time that a more effective Construction Traffic and Parking Management Plan is put in place that would ensure emergency vehicle access into the neighbourhood, (ii) ensuring that residents' vehicle access into their homes will be maintained, and (iii) better coordination in the City regarding road closures and blockages in the neighbourhood.

In reply to Mr. Gonzalez's comments, the Panel noted the inconvenience experienced by residents due to the many construction activities occurring in the area and encouraged him to contact the City's Transportation Department for specific concerns. Also, the Panel noted that (i) emergency vehicles are permitted through the construction zones if required, and (ii) the review of the proposed development's Construction Traffic and Parking Management Plan would include ensuring coordination with the City's public works crews regarding infrastructure work in the area.

Paige Robertson, 8571 Spires Road, noted that the 22 resident parking stalls to be provided in the proposed development would not be sufficient given the large number of residential units in the proposed development. In addition, she queried about the possibility of putting in place a Residents Only Parking program in the neighbourhood.

In reply to Ms. Robertson's comments, Lloyd Bie, Director, Development, noted that there is currently only one applicant for a Residents Only Parking program in the neighbourhood and encouraged Ms. Robertson to contact him directly if she wants to know more about the program. Mr. Bie added that there is a process for applying for a longer term and more permanent Residents Only Parking Program in the neighbourhood that would require neighbourhood consultation by staff and Council approval.

Donald Yoshihara, 8680 Spires Road, noted that he shares the concerns of residents in the neighbourhood regarding the impacts of construction activities in the area. He further noted that (i) there is currently a need for a Residents Only Parking program in the neighbourhood, (ii) the many construction activities in the area have impacted the quality of life of residents in the neighbourhood, and (iii) previous construction activities in the area had resulted in a gas leak and a broken watermain that flooded his yard. In addition, he noted that he had already contacted staff and the developer regarding his concern about potential flooding in his yard. He further noted that he had inquired from the developer whether the catch basins in his property could be connected to the storm sewer that would be installed for the proposed development but did not get a reply.

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In reply to Mr. Yoshihara's concern about potential flooding in his property, the Chair advised that the proposed development is required to install a new perimeter drainage around the site to ensure that no water runoff is directed to adjacent properties. In addition, the Chair directed staff to (i) work with the applicant to ensure that Mr. Yoshihara receive a response to his request and whether there is potential for the developer to connect the catch basins in front of his property to the storm sewer that would be upgraded for the proposed development as part of the Servicing Agreement associated with the project, and (ii) provide Mr. Yoshihara with contact information of the City's Transportation Department to get information regarding the City's Residents Only Parking program.

Correspondence

Jose Gonzalez, 8935 Cook Crescent (Schedule 6)

Mr. Reis advised that staff had responded to Mr. Gonzalez's correspondence and provided the requested contact information.

Panel Discussion

The Panel expressed support for the application, noting that (i) concerns regarding on-site parking for the proposed development were noted by the Panel; however, the Province has prohibited the City through Provincial legislation from requiring any resident parking for residential developments that are within 800 metres of a transit station, and (ii) the proposed development provides 22 resident parking stalls and the applicant is proposing a package of Transportation Demand Management (TDM) measures to encourage future residents of the proposed development to use alternative modes of transportation.

The Panel then directed staff to work with the applicant to provide an alternative to the proposed musical play equipment in the children's play area on the rooftop common outdoor amenity space.

Panel Decision

It was moved and seconded

That a Development Permit (DP) be issued which would permit the construction of one six-storey residential apartment building containing 90 rental units at 8620, 8640 and 8660 Spires Road on a site zoned "Low to Mid Rise Rental Apartment (ZLR49) – Spires Road (Brighthouse Village of City Centre)".

CARRIED

4. New Business

None.

Development Permit Panel
Wednesday, December 10, 2025

5. **Date of Next Meeting: January 14, 2026**

ADJOURNMENT

It was moved and seconded

That the meeting adjourn (4:59 p.m.).

CARRIED

Certified a true and correct copy of the
Minutes of the meeting of the
Development Permit Panel of the Council
of the City of Richmond held on
Wednesday, December 10, 2025.

Wayne Craig
Chair

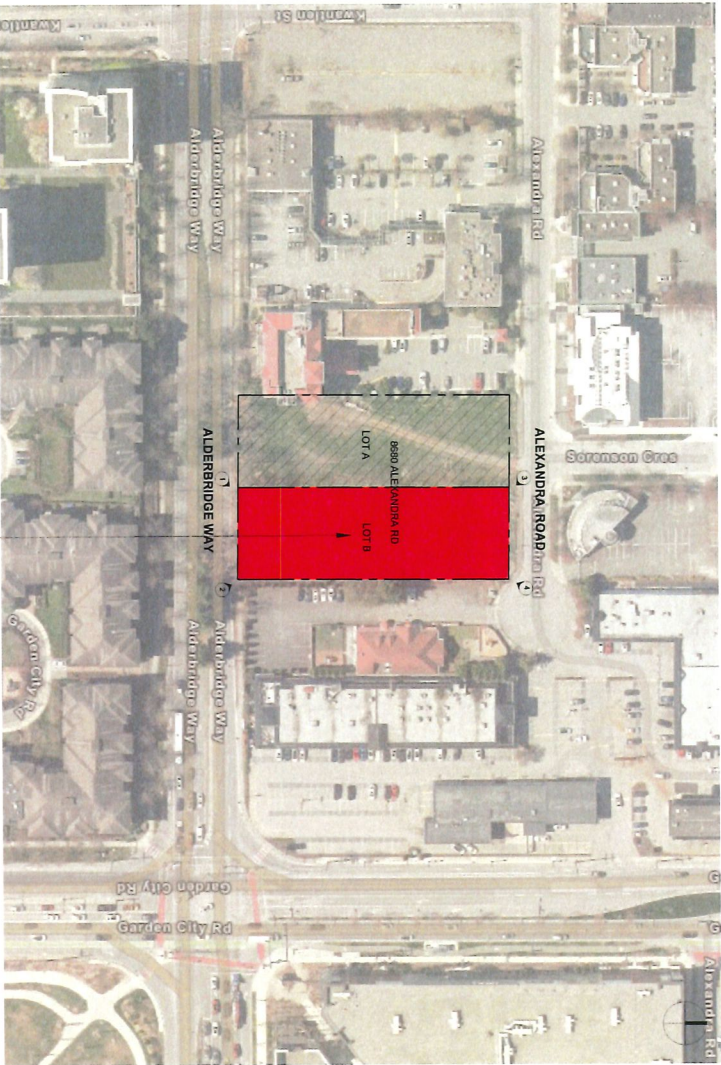
Rustico Agawin
Committee Clerk

DEVELOPMENT PERMIT PANEL

DP 23-031545



PROPOSED 1&2-STOREY COMMERCIAL BUILDINGS
CIVIC ADDRESS: LOT B 8680 ALEXANDRA RD, RICHMOND BC



1 LOCATION PLAN
Scale: 1:10,000

SUBJECT PROPERTY:
LOT B, 8680
ALEXANDRA RD.,
RICHMOND, BC



2 VIEW1



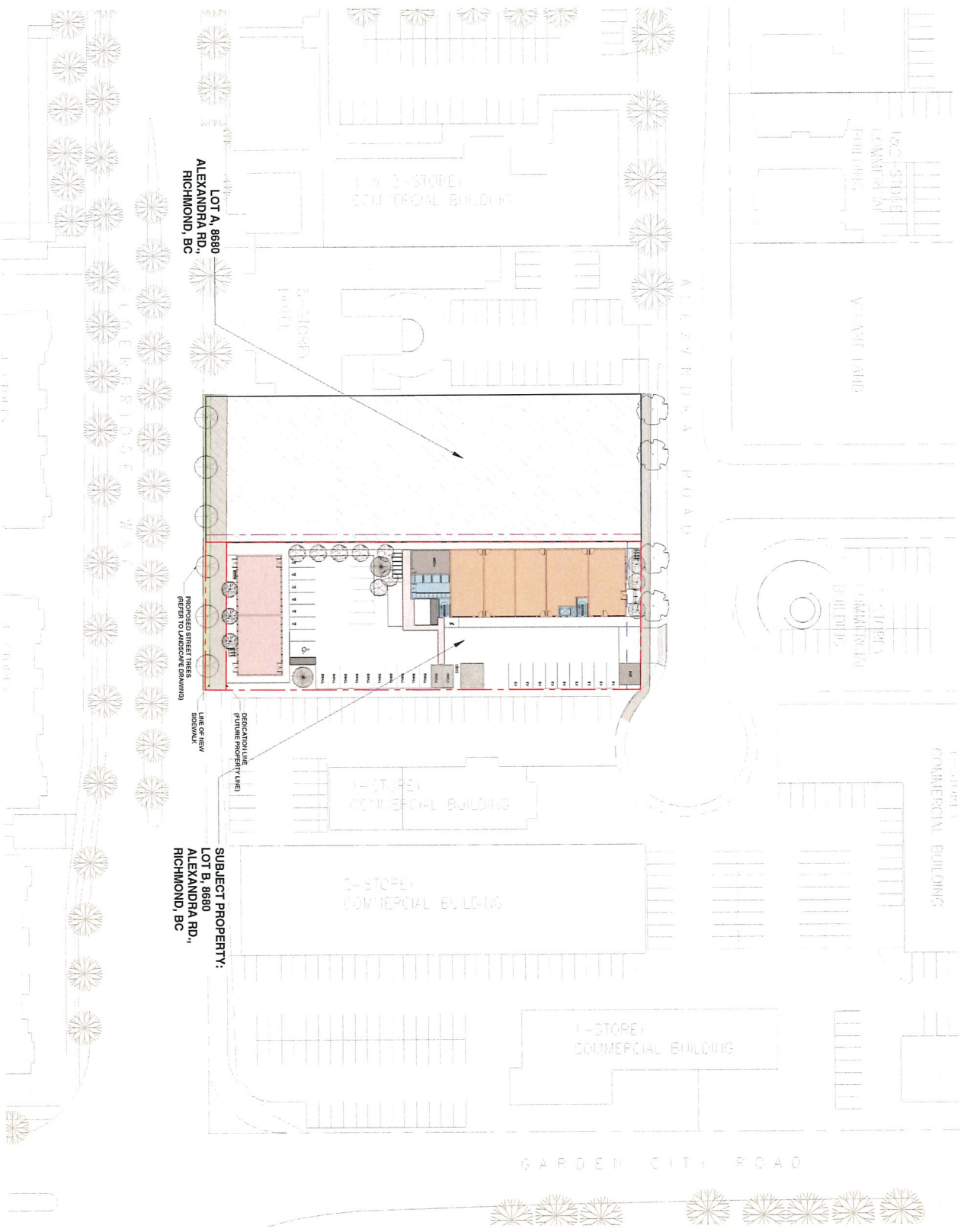
3 VIEW2



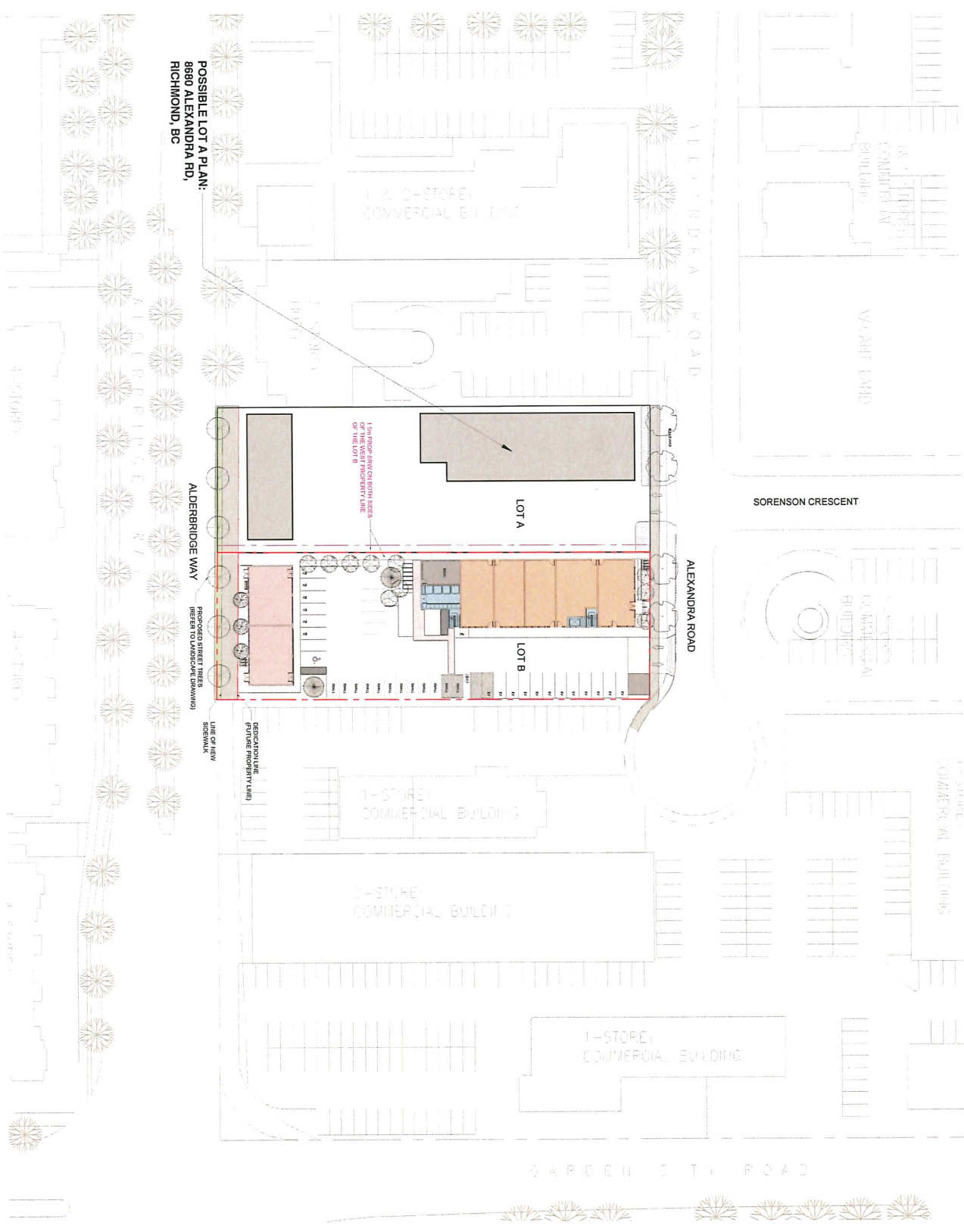
4 VIEW3

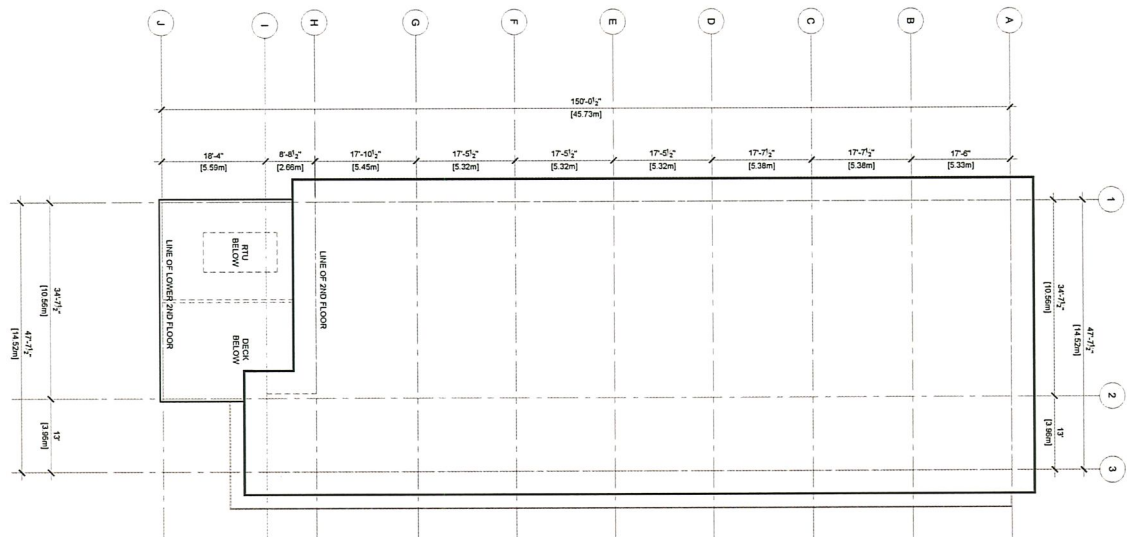
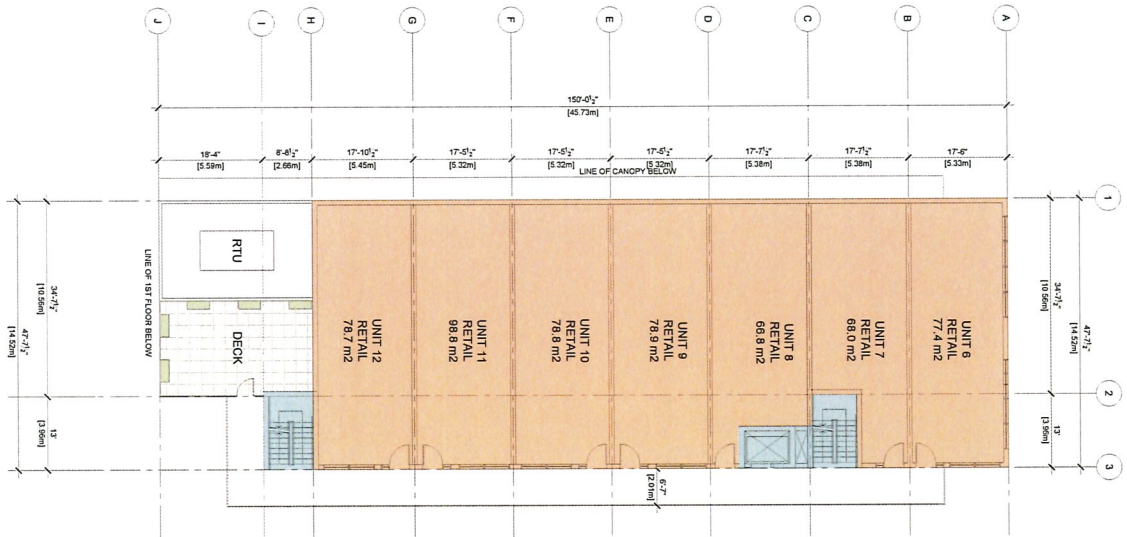
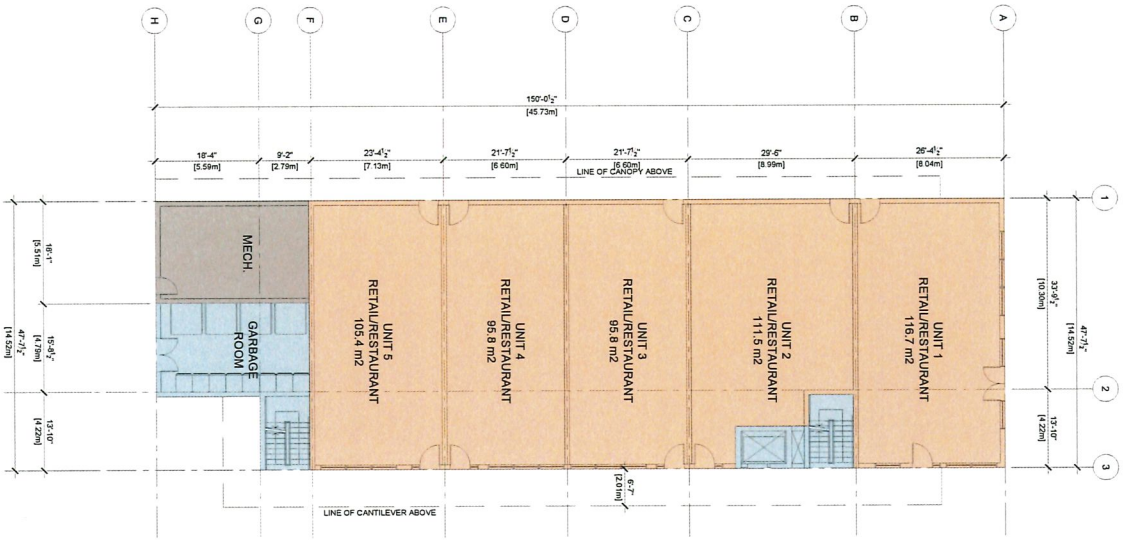


5 VIEW4



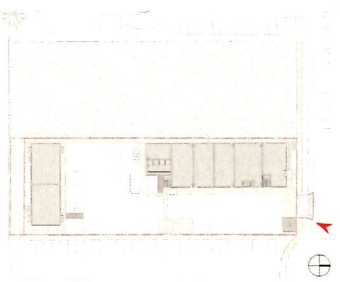
1 LOT A POSSIBLE SITE PLAN
Scale: 1/8"=1'-0"





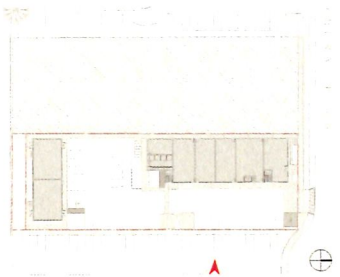


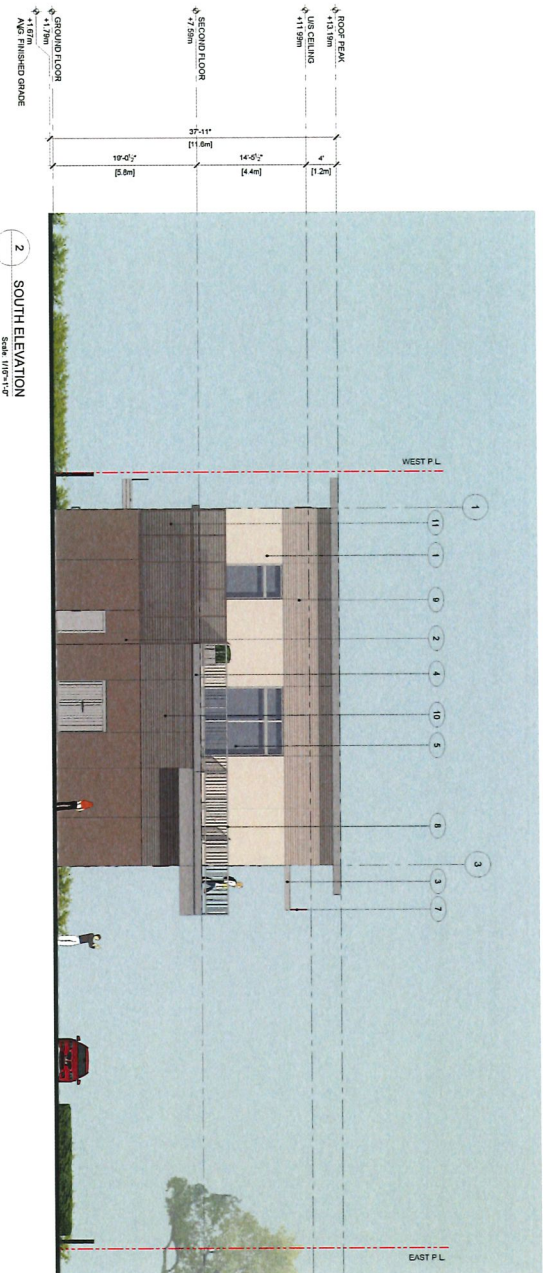
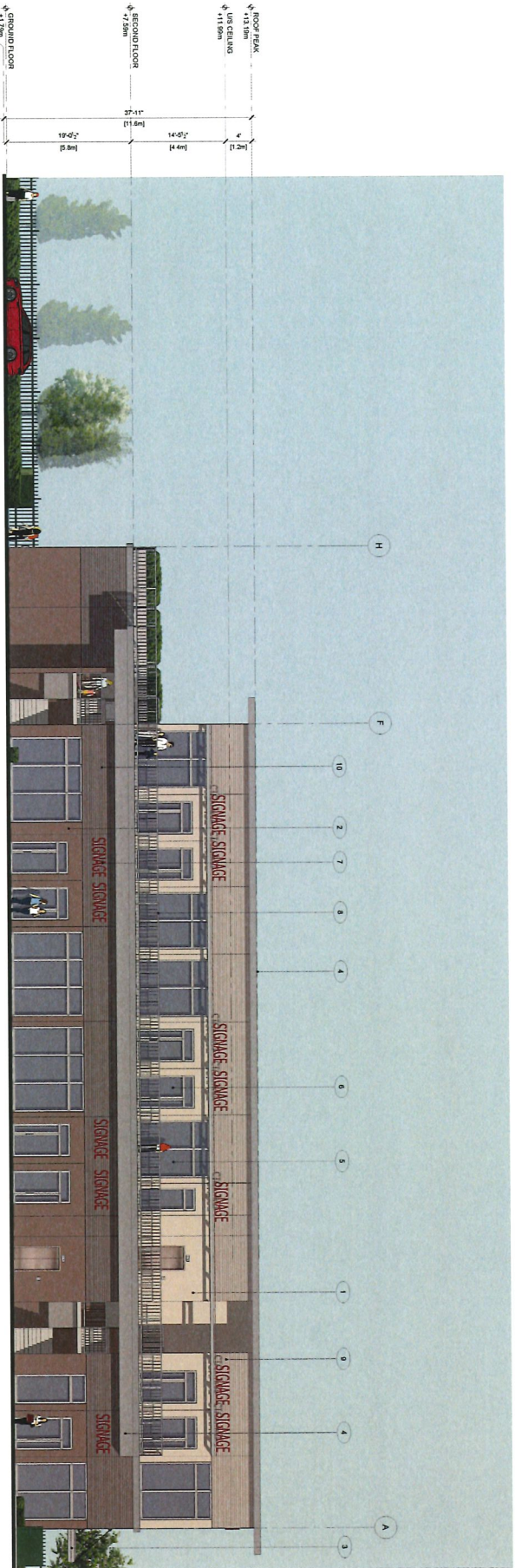
1 PERSPECTIVE - FROM NORTHEAST
Scale: 1/8" = 1'-0"





1
PERSPECTIVE - FROM EAST
Scale 1/16"

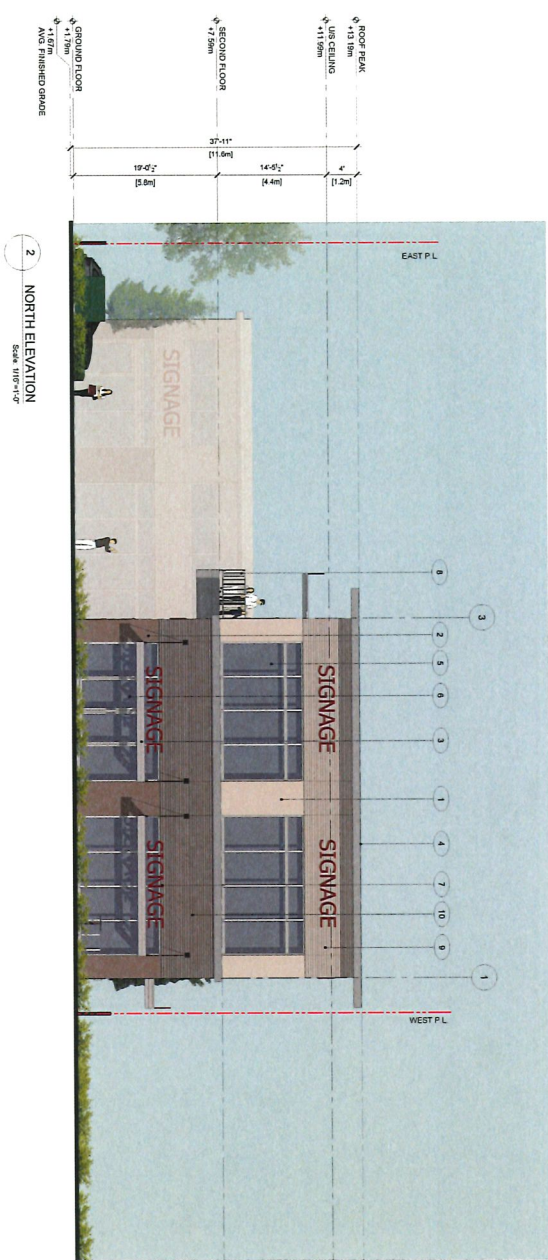
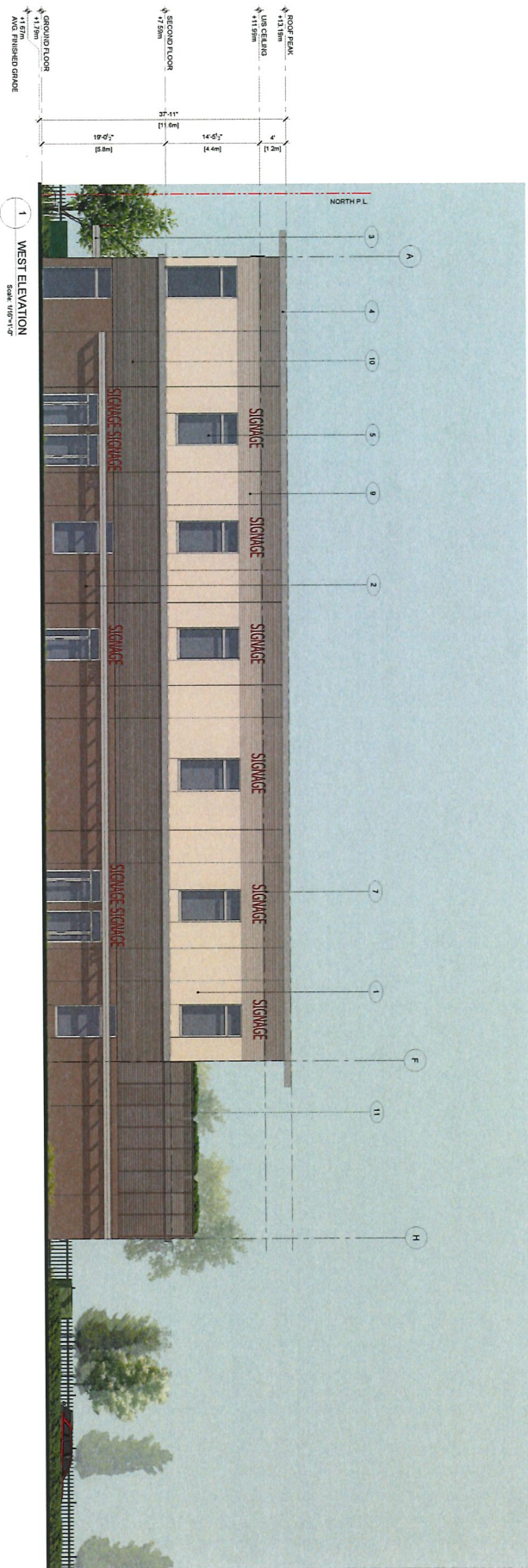




MATERIAL KEY

- 1 COMPOSITE PANEL, COLOR: PEARL WHITE
- 2 COMPOSITE PANEL, COLOR: GREY BEIGE
- 3 SAFETY GLASS CANOPY WITH METAL FRAME
- 4 METAL PANEL/CLADDING, SILVER METALLIC COLOR
- 5 SLAT FINISHED WOOD APPEARANCE (SILVER WITH FINE FINISH) LIGHT SILVER METALLIC COLOR ALUMINUM FRAME
- 6 METAL STAINLESS STEEL LIGHT SILVER METALLIC COLOR TO MATCH CURTAIN WALL
- 7 SIGNAGE
- 8 METAL RAILING, PAINTED - LIGHT GREY
- 9 CORRUGATED COMPOSITE PANEL, COLOR: PEARL WHITE
- 10 CORRUGATED COMPOSITE PANEL, COLOR: GREY BEIGE
- 11 METAL CORNICE SCREEN

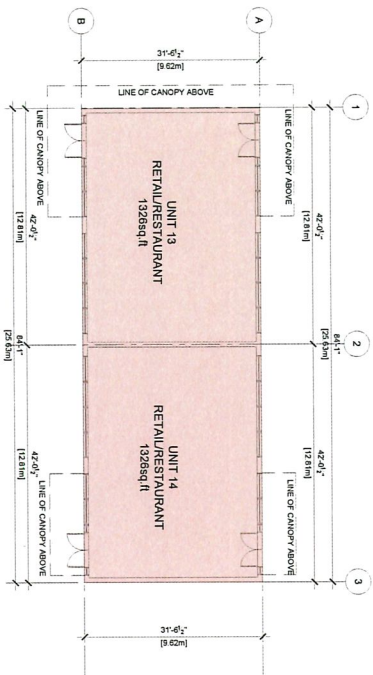
NOTE: SIGNAGE IS SUBJECT TO THE CITY'S SIGNAGE AND REGULATORY DEPARTMENT. ALL SIGNAGE IS SUBJECT TO THE CITY'S SIGNAGE AND REGULATORY DEPARTMENT.



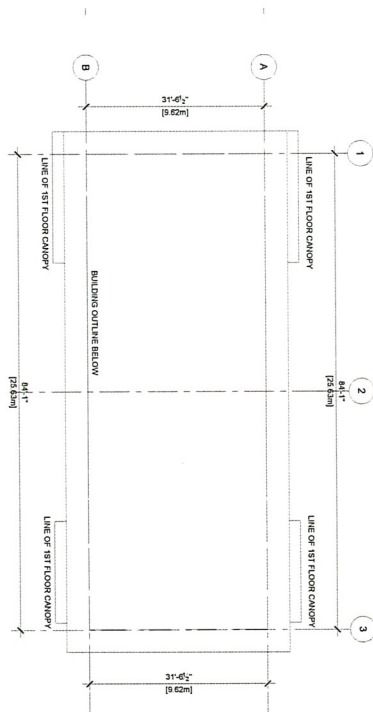
MATERIAL KEY

- 1 COMPOSITE PANEL, COLOR PEARL WHITE
- 2 COMPOSITE PANEL, COLOR GREY BEIGE
- 3 SAFETY GLASS CANOPY WITH METAL FRAME
- 4 METAL FINISH/NO. 1, SILVER METALIC COLOR
- 5 CLEAR ANODIZED HIGH RESISTANCE GLASS WITH FINE FINISHED LIGHT SILVER METALIC COLOR ALUMINUM FRAME
- 6 METALIC COLORED GLASS, LIGHT SILVER METALIC COLOR TO MATCH CANOPY WALL
- 7 SIGNAGE
- 8 METAL RAILING, PAINTED - LIGHT GREY
- 9 CORRUGATED COMPOSITE PANEL, COLOR PEARL WHITE
- 10 CORRUGATED COMPOSITE PANEL, COLOR GREY BEIGE
- 11 METAL LOUVER (SCHEU)

NOTE
SIGNAGE IS SUBJECT TO THE CITY'S SIGN BYLAW
ALL SIGNAGE IS SUBJECT TO A SEPARATE SIGN APPLICATION



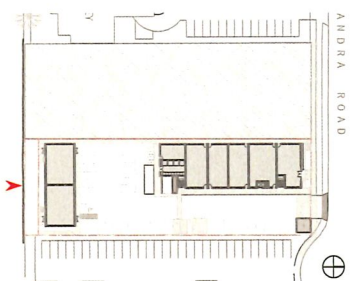
1 BUILDING #2 FLOOR PLAN
Scale: 3/8"=1'-0"

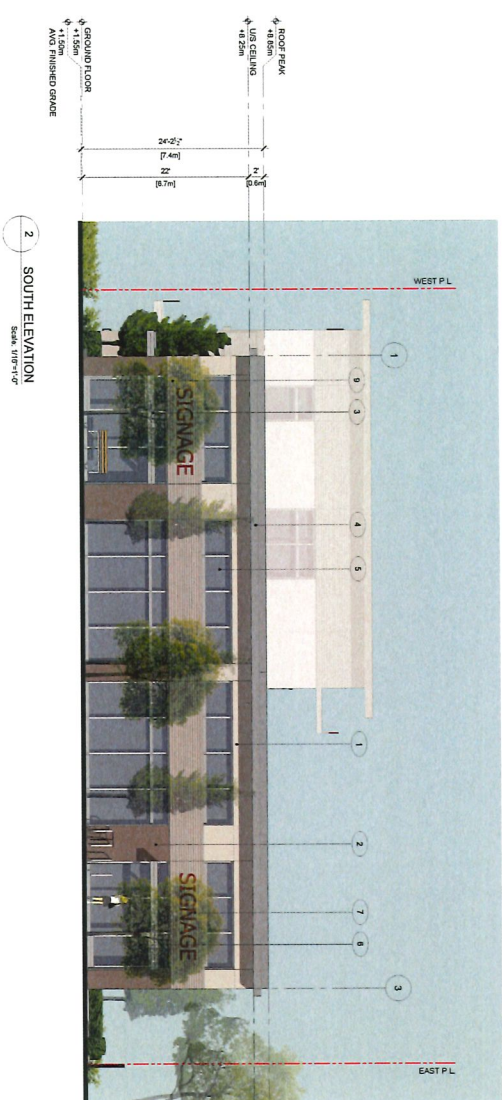
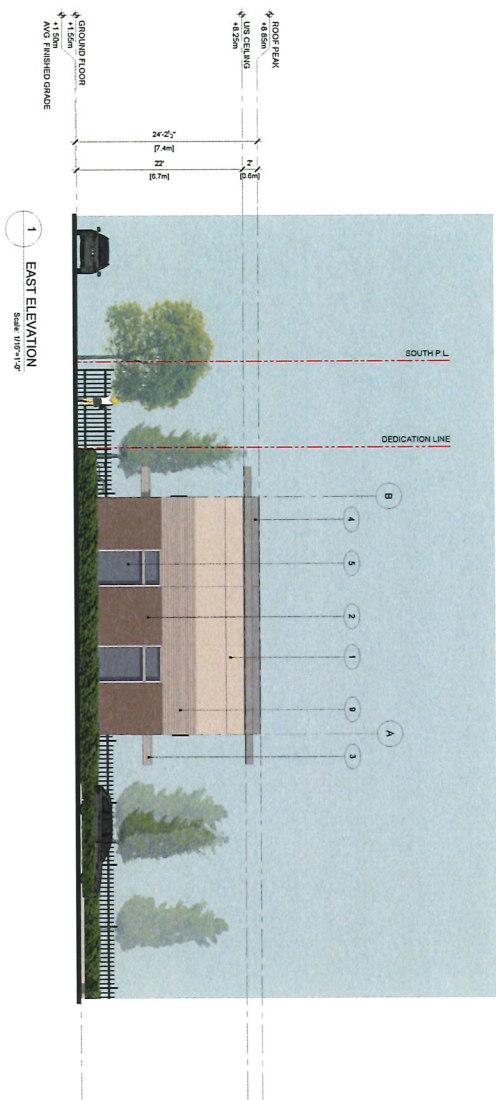


2 BUILDING #2 ROOF PLAN
Scale: 3/8"=1'-0"



1 PRESPECTIVE - FROM SOUTH-WEST
Scale 1/16"

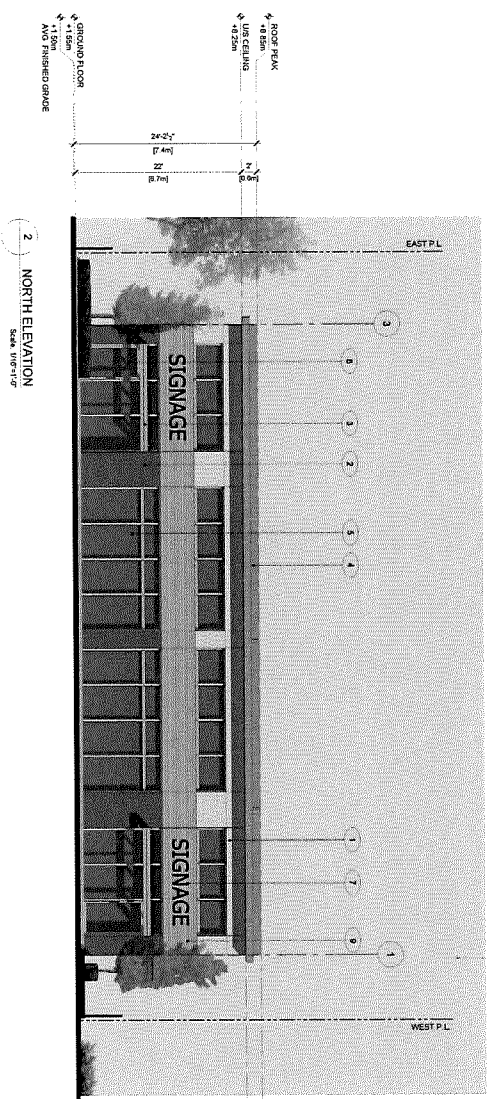
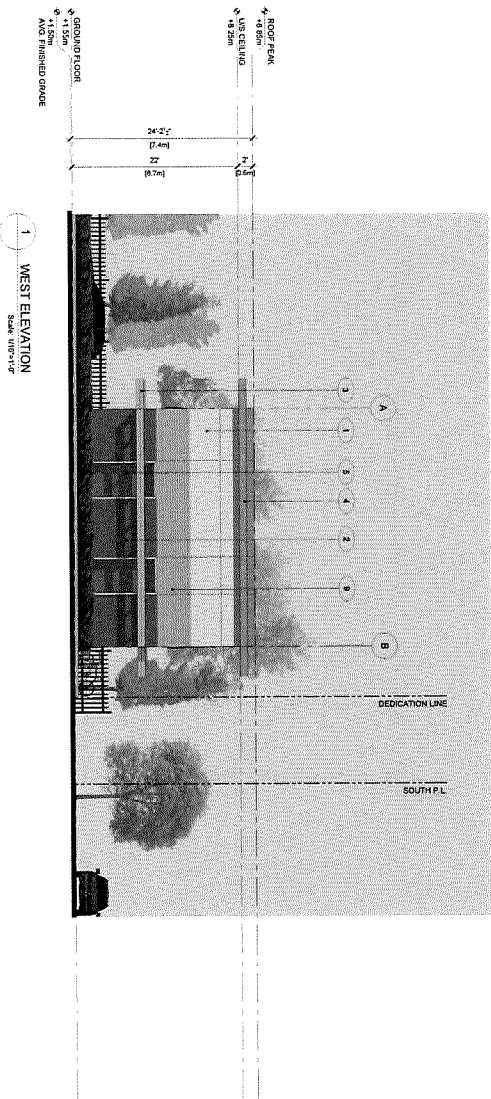




MATERIAL KEY

- 1 COMPOSITE PANEL, COLOR PEARL WHITE
- 2 CORRUGATED COMPOSITE PANEL, COLOR PEARL WHITE
- 3 CORRUGATED COMPOSITE PANEL, COLOR GREY BEIGE
- 4 METAL PANELING, FINISHING SILVER METALIC COLOR
- 5 CLEAR ANODIZED HIGH-PERFORMANCE GLAZING WITH FRAME
- 6 FRAMED LIGHT SILVER METALIC COLOR ALUMINUM PROFILE
- 7 METALIC COLOR TO MATCH CURTAIN WALL
- 8 METALIC COLOR TO MATCH CURTAIN WALL
- 9 METALIC COLOR TO MATCH CURTAIN WALL
- 10 METALIC COLOR TO MATCH CURTAIN WALL
- 11 METALIC COLOR TO MATCH CURTAIN WALL

NOTE:
ALL SIGNAGE IS SUBJECT TO THE CITY'S SIGNAGE
ALL SIGNAGE IS SUBJECT TO THE CITY'S SIGNAGE



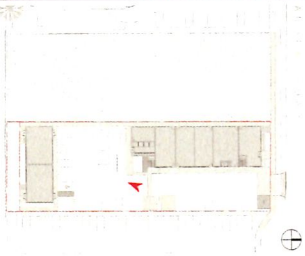
MATERIAL KEY

- 1 COMPOSITE PANEL, COLOR PEARL WHITE
- 2 COMPOSITE PANEL, COLOR GREY BEIGE
- 3 SAFETY GLASS CANOPY WITH METAL FRAME
- 4 METAL PANEL/DOOR GLAZING, SILVER METALLIC COLOR
- 5 CLEAR ANODIZED HIGH PERFORMANCE GLAZING WITH PRE FINISHED LIGHT SILVER METALLIC COLOR ALUMINUM FRAME
- 6 METAL STONE/ROOF DOOR, LIGHT SILVER METALLIC COLOR TO MATCH CANOPY WALL
- 7 SIGNAGE
- 8 METAL RAILING, PAINTED LIGHT GREY
- 9 CORRUGATED COMPOSITE PANEL, COLOR PEARL WHITE
- 10 CORRUGATED COMPOSITE PANEL, COLOR GREY BEIGE
- 11 METAL LOUVER SCREEN

NOTE:
ALL SIGNAGE IS SUBJECT TO THE CITY'S SIGN BYLAW.
ALL SIGNAGE IS SUBJECT TO A SIGNAGE SIGNIFICATION.

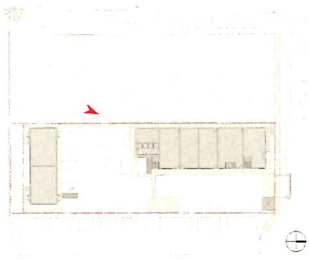


1 3D VIEW 1
Scale: 1/4" = 1'-0"

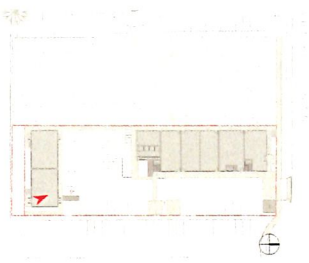




1 3D VIEW 2
Scale: 1:75



1 3D VIEW 3
Scale 1:17.5



SPRING EQUINOX
MARCH 21 (DST)



10 AM
(PDT: UTC -7:00)



02 PM
(PDT: UTC -7:00)



04 PM
(PDT: UTC -7:00)

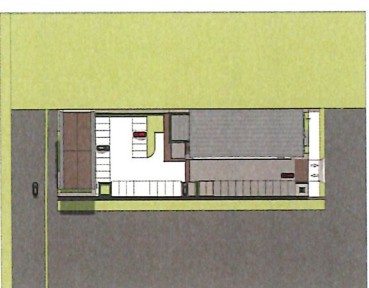
SUMMER EQUINOX
JUNE 21 (DST)



10 AM
(PDT: UTC -7:00)



02 PM
(PDT: UTC -7:00)



04 PM
(PDT: UTC -7:00)

FALL EQUINOX
SEPTEMBER 22 (DST)



10 AM
(PDT: UTC -7:00)

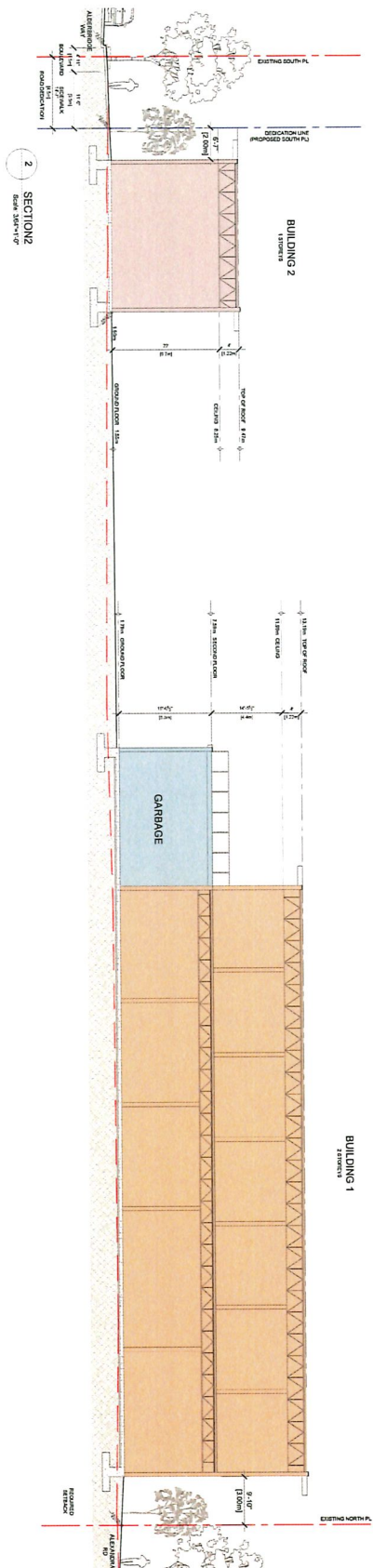
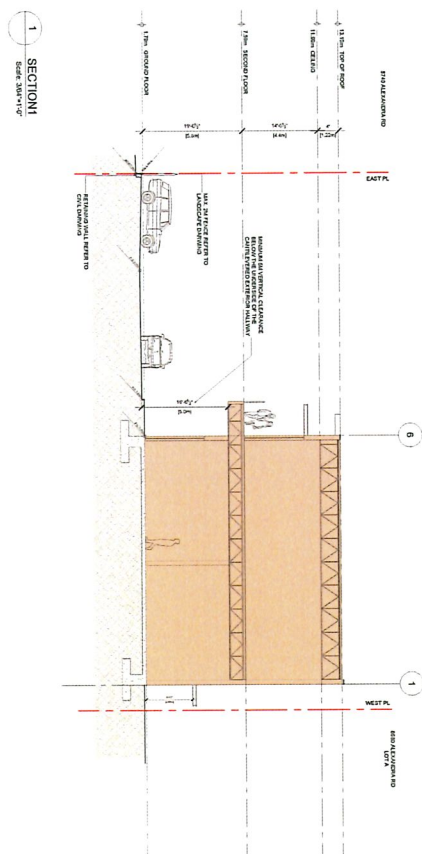


02 PM
(PDT: UTC -7:00)



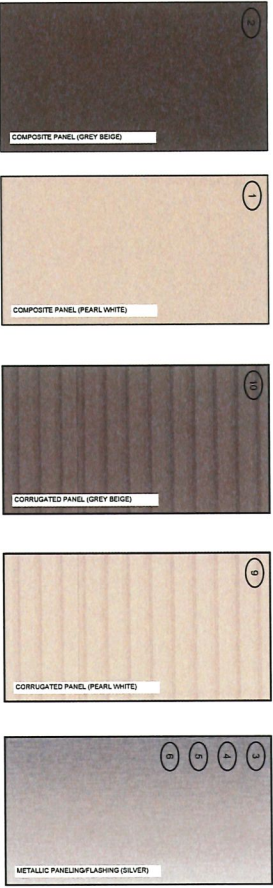
04 PM
(PDT: UTC -7:00)







1 PERSPECTIVE-NORTHEASTERN
Scale: 1/16" = 1'-0"



2 MATERIAL BOARD
Scale: 1/16" = 1'-0"

MATERIAL KEY

- 1 COMPOSITE PANEL, COLOR: PEARL WHITE
- 2 COMPOSITE PANEL, COLOR: GREY BEIGE
- 3 SAFETY GLASS CANOPY WITH METAL FRAME
- 4 METAL PANEL WITH LAMINATE, SILVER METALLIC COLOR
- 5 GLASS WINDOW WITH ALUMINUM FRAME, FINISHED LIGHT SILVER METALLIC COLOR ALUMINUM FRAME
- 6 METAL ROOFING PANEL, COLOR: LIGHT GREY
- 7 CORRUGATED COMPOSITE PANEL, COLOR: PEARL WHITE
- 8 CORRUGATED COMPOSITE PANEL, COLOR: GREY BEIGE
- 9 METAL LOWWALL SCREEN

NOTE: SIGVAGE IS SUBJECT TO THE CITY'S SIGN BOARD. ALL SIGVAGE IS SUBJECT TO A SEPARATE SIGN APPLICATION.

NEW COMMERCIAL DEVELOPMENT
8680 ALEXANDRA RD, RICHMOND BC
LANDSCAPE SET: ISSUED FOR DP
NOVEMBER 6, 2025

LANDSCAPE DRAWING INDEX

DRAWING INDEX	
SHEET No.	SHEET NAME
L.0	LANDSCAPE COVER SHEET AND DESIGN RATIONALE
L.0.1	LANDSCAPE TREE MANAGEMENT PLAN
L.0.2	LANDSCAPE REPLACEMENT TREE PLAN
L.1.0	LANDSCAPE LAYOUT AND MATERIALS PLAN
L.2.0	LANDSCAPE PLANTING PLAN - NORTH AREA
L.2.1	LANDSCAPE PLANTING PLAN - SOUTH AREA
L.2.2	CONCEPTUAL LANDSCAPE LIGHTING PLAN
L.2.3	SECTIONS
L.3.0	HARDSCAPE & FURNISHING DETAILS
L.3.1	SOFTSCAPE DETAILS

GENERAL NOTES

ALL LANDSCAPE ARCHITECTURAL DRAWINGS IN THIS PACKAGE SHALL BE READ IN CONJUNCTION WITH ALL OTHER LANDSCAPE ARCHITECTURAL DRAWINGS, DETAILS, SPECIFICATIONS, AND OTHER CORRESPONDANCE THAT MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. IF A DISCREPANCY OCCURS BETWEEN THE DRAWINGS AND THE SPECIFICATIONS OR ANY OTHER DOCUMENT ASSOCIATED WITH THE PROJECT, THE CONFLICT SHALL BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT TO OBTAIN CLARIFICATION AND APPROVAL BEFORE PROCEEDING WITH WORKS.

THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY THE TRUE EXISTING CONDITIONS. ANY UNCLEAR ISSUES SHALL BE CLARIFIED WITH THE LANDSCAPE ARCHITECT. NO CLAIM SHALL BE ALLOWED FOR EXTRAS WHICH MAY ARISE THROUGH NEGLIGENCE OF THIS ADVICE.

ALL EXISTING INFORMATION IS BASED ON AVAILABLE RECORDS AND SHALL NOT BE CONSTRUED TO BE COMPLETE OR ACCURATE.

LAYOUT OF HARDSCAPE, SITE FURNITURE, SOIL, PLANTING, AND ALL OTHER MATERIALS IS TO BE STAKED OUT AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

ALL PLANTING SHALL BE IN ACCORDANCE WITH CSA LANDSCAPE STANDARD, LATEST EDITION.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND CONCEALED STRUCTURES, AND SHALL BE RESPONSIBLE FOR OBTAINING ANY NECESSARY INFORMATION FROM THE APPROPRIATE COMPANY(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

HOMING LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES OR CONCEALED STRUCTURES AT THE PROJECT SITE.

FINAL SELECTION AND APPROVAL OF ALL STREET TREES TO BE DONE BY THE CITY OF RICHMOND.



HOMING
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Revisions

NO.	Date	Note
A	2023-10-06	ISSUED FOR DP
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C	2024-08-06	ISSUED FOR DP
D	2024-08-23	ISSUED FOR DP
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I	2025-09-06	ISSUED FOR DP
J	2025-10-22	ISSUED FOR DP
K	2025-11-06	ISSUED FOR DP

NEW COMMERCIAL
DEVELOPMENT

PROJECT ADDRESS:
8680 ALEXANDRA RD, RICHMOND,
BC, CANADA

PROJECT NUMBER: 23-20
SCALE: N/A
DRAWN BY: EL
REVIEWED BY: EL

Landscape Cover
Sheet

L.0.0

**EXISTING TREE TO BE RETAINED,
REFER TO ARBORIST REPORT
AND TREE MANAGEMENT PLAN
PREPARED BY ARBORIST**

EXISTING TREE AND TREE STUMP
TO BE REMOVED. REFER TO

MANAGEMENT PLAN PREPARED BY ARBORIST, TO BE CONFIRMED PER ARBORIST ON-SITE WITH CITY OF RICHMOND ARBORIST PRIOR TO REMOVAL

**TREE PROTECTION FENCING -
TREE PROTECTION FENCING -**

**RICHMOND STANDARDS AND TREE
MANAGEMENT PLAN PREPARED
BY ARBORIST**

1. DO NOT REMOVE OR RELOCATE ANY TREE, EXCEPT AS INDICATED ON PLANS.
2. DO NOT ALTER EXISTING GRADE OR STORE MATERIALS UNDER THE DRAIN LINE OR WITHIN TREE PROTECTION ZONE. EXCAVATION WITHIN DRAIN LINES OF TREES ONLY WHERE INDICATED ON PLANS.
3. UNLESS AROBOST WITH ALL TREE BARBERS HAVE BEEN INSTALLED, AROBOST TO PROVIDE WRITEL INSPECTION AND APPROVAL OF ALL BARBERS AND SUBMIT INSPECTION REPORT TO CITY OF RICHMOND STAFF FOR REVIEW AND APPROVAL PRIOR TO DEMOLITION /MOBILIZATION CONSTRUCTION ACTIVITY.
4. CONTRACTOR TO CONTACT CITY AROBOST, PROJECT AROBOST AND LANDSCAPE ARCHITECT 48 HOURS PRIOR TO ANY CONSTRUCTION WORK AFFECTING THE DRAIN LINE OF TREES.
5. CONSTRUCTION WORK WITHIN THE DRAIN LINES OF TREES SHALL MINIMIZE DISTURBANCE TO TREES AND ROOTS.
6. ALL ROOTS GREATER THAN 2cm IN DIAMETER SHOULD BE HAND PRUNED.
7. ADEQUATELY CARE FOR TREES THROUGHOUT CONSTRUCTION, WATER THE REMAINING TREES REGULARLY.
8. STUMPS TO BE CUT FLUSH TO GRADE AND DUG OUT IF NOTED TO BE REMOVED FROM SITE.

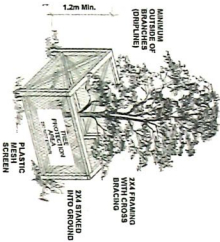


Fig. 2 – Tree Protection Zone Sign



Tree Protection Zone

The Tree Protection Zone (TPZ) encompasses the drip line of the tree as illustrated in Fig. 1a and 1b.

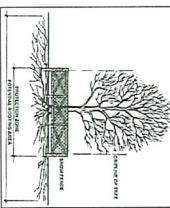


Fig. 1a - Example of a drip line on a tree

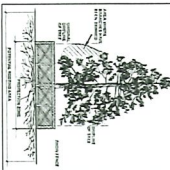
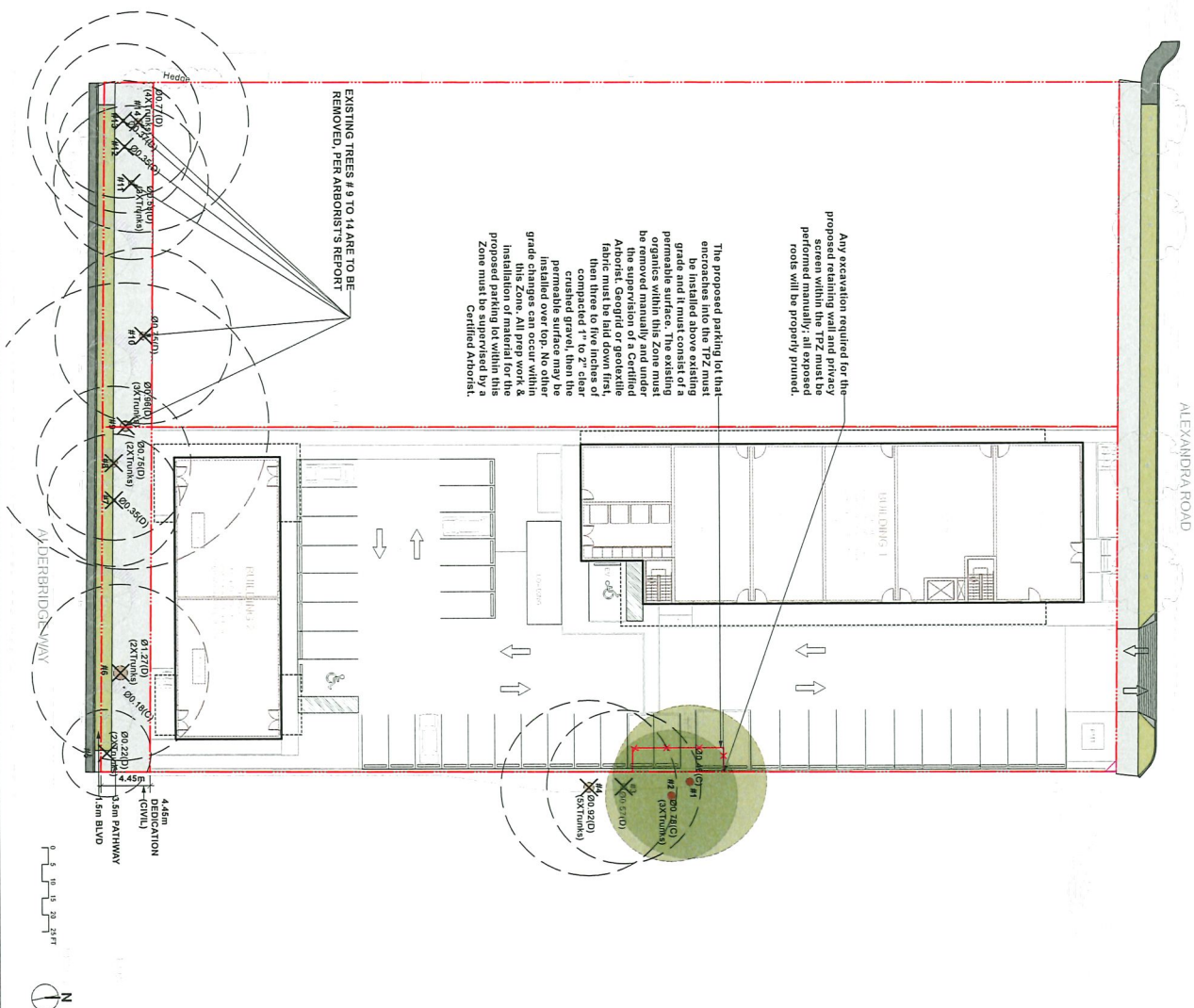


Fig. 1b - Example of a drip line on a tree with one side removed

Note: If the tree is on an adjacent property, the drip line must still be protected on your side of the property line. If the branches have been cut or pruned, the TPZ must protect the original drip line of the tree (Fig. 1b).



		HOMING LANDSCAPE ARCHITECTURE 1423 WILLOW AVE. VANCOUVER, BC, CANADA V6L 1A9 EMAIL: HOMING@LANDSCAPEVAP.COM	
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No.	Date	Revisions	
	Note		
A	2023-10-06	ISSUED FOR DP	
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I	2025-08-06	ISSUED FOR DP	
J	2025-10-22	ISSUED FOR DP	
K	2025-11-06	ISSUED FOR DP	





NEW COMMERCIAL DEVELOPMENT	
PROJECT ADDRESS: 8690 ALEXANDRA RD., RICHMOND, BC, CANADA	
PROJECT NUMBER: 23-20	
SCALE: 1/8"=1'-0" (1:192)	
DRAWN BY: EL	
REVIEWED BY: EL	
<h1>Landscape Tree Management Plan</h1>	
<h2>L0.1</h2>	

ALEXANDRA ROAD

REPLACEMENT TREES SUMMARY

TOTAL 5 ONSITE TREES AND 2 OFFSITE TREES TO BE REMOVED, WHICH REQUIRES 14 REPLACEMENT TREES TO BE INSTALLED. ALL REPLACEMENT TREES WILL BE INSTALLED ON SITE, REFER TO THE PLANT LIST BELOW.

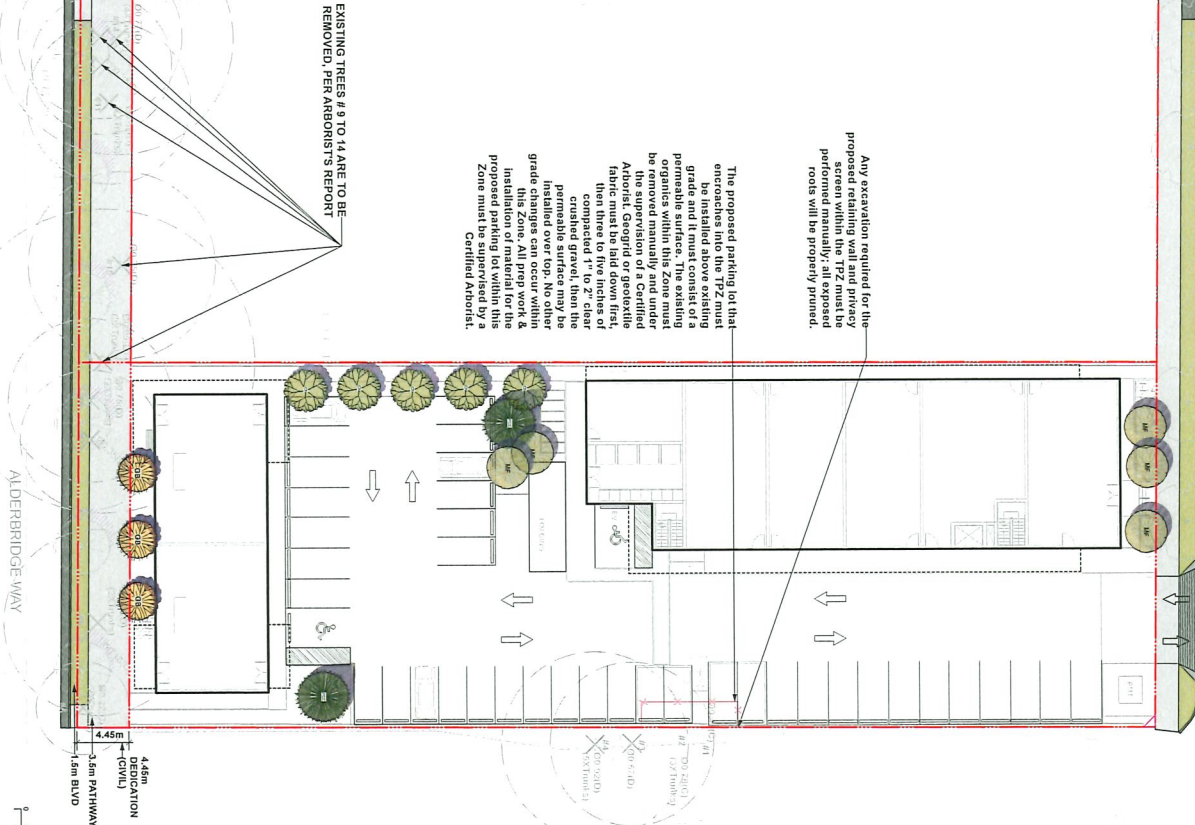
REPLACEMENT TREES LEGEND

PLANT LIST		COMMON NAME	SIZE	SPACING	
QTY.	BOTANICAL NAME				
TREES					
	5	Syringa reticulata 'Ivory Silk'	Japanese Tree Lilac	8cm cal., B&B	as shown
	3	Ginkgo biloba 'Pincelton Scenty'	Pincelton Scenty® Ginkgo	8cm cal., B&B	as shown
	2	Pinus contorta subsp. contorta	Shore Pine	4.0m Ht.	as shown
	5	Cornus nuttallii	Pacific dogwood	8cm cal., B&B	as shown

Any excavation required for the proposed retaining wall and privacy screen within the TPZ must be performed within the TPZ. All roots will be properly pruned.

The proposed parking lot that encroaches into the TPZ must be installed above existing grade and it must consist of a permeable surface. The existing permeable surface must be removed manually and under the supervision of a Certified Arborist. Geogrid or geotextile fabric must be laid down first, then three to five inches of compacted gravel, then the permeable surface may be installed over top. No other grade changes can occur within the TPZ. All material for the proposed parking lot within this Zone must be supervised by a Certified Arborist.

EXISTING TREES # 9 TO 14 ARE TO BE REMOVED. PER ARBORIST'S REPORT



HOMINGS
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Revisions

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J	2025-10-22	ISSUED FOR DP
K	2025-11-06	ISSUED FOR DP

NEW COMMERCIAL
DEVELOPMENT










PROJECT ADDRESS:
8880 ALEXANDRA RD. RICHMOND,
BC, CANADA.

PROJECT NUMBER: 23-20
SCALE: 1/8"=1'-0" (1:192)
DRAWN BY: EL
REVIEWED BY: EL

Landscape
Replacement Tree
Plan

L0.2

SYMBOL	MATERIALS	DETAILS
--------	-----------	---------

	PEDESTRIAN CONCRETE UNIT PAVERS	2IL.3.0
	RED COLOR STAMPED ASPHALT PAVING	6IL.3.0
	CHARCOAL COLOR PERMEABLE PAVER	4IL.3.0
	LAWN	4IL.3.1
	PLANTING BED	2IL.3.1
	BIKE RACKS	3IL.3.0
	4' HIGH METAL POCKET FENCE	6IL.3.0
	PROPOSED REPLACEMENT TREES	1IL.3.1
	EXISTING TREES TO BE RETAINED	

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2. LAYOUT DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANT DRAWINGS.
3. ALL EXISTING INFORMATION APPROXIMATE ONLY. REPEAL ALL EXISTING GOUGES AND DIMENSIONS WITH CONSULTANT TEAM PRIOR TO PROCEEDING.
4. THE CONTRACTORS TO PROTECT ALL EXISTING UTILITIES, CONCRETE STRUCTURES, WALLS, AND TREES FOR DURATION OF CONSTRUCTION.
5. THE LOCATION OF ALL PROPOSED HARBORCANE AND SUTTING ARE TO BE FLAGGED OUT ON SITE BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
6. ALL OF SITE WORKS TO CONFORM TO CITY OF RICHMOND STANDARDS.
7. LAYOUT OF ALL OF SITE WORKS, INCLUDING FURNISHINGS, PATHWAYS, WALLS, PLANTING, ETC., TO BE CONFIRMED WITH CITY OF RICHMOND PRIOR TO INSTALLATION.
8. FENCING ALONG WEST PROPERTY LINE TO BE REMOVED UPON THE COMPLETION OF THE TALL SHAW



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LANDSCAPE ARCHITECT TO OMBUDS
MANAGEMENT CONSULTING LTD. 100
PROCEEDINGS WITH WORKS

Revisions	
NO.	Date Note
A	2023-10-06 ISSUED FOR DR
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J	2025-10-22 ISSUED FOR DR
K	2025-11-06 ISSUED FOR DR

PROJECT ADDRESS:
8680 ALEXANDRA RD, RICHMOND
BC, CANADA

8680 ALEXANDRA
ROAD







PROJECT NUMBER: 23-20
SCALE: 1/16"=1'0" (1:192)
DRAWN BY: EL
REVIEWED BY: EL

Landscape Layout
and Materials Plan

L1.0

PLANT LIST
QTY. BOTANICAL NAME COMMON NAME SIZE SPACING

STREET TREE LOCATION, SPECIES
AND SPACING TO BE FINALIZED
AT SERVICING AGREEMENT
APPLICATION

TREES			
5	 <i>Syringa reticulata</i> 'Violet Silk'	Japanese Tree Lilac	8cm cal., B&B as shown
3	 <i>Ginkgo biloba</i> 'Princeton Sentry'	Princeton Sentry® Ginkgo	8cm cal., B&B as shown
2	 <i>Pinus conorta</i> subsp. <i>conorta</i>	Shore Pine	4.0m ht. as shown
5	 <i>Cornus nuttallii</i>	Pacific dogwood	8cm cal., B&B as shown
3	 <i>Fagus sylvatica</i> 'Dawyd'	Dawyd beech	6cm cal., B&B as shown
2	 <i>Acer rubrum</i>	Red Maple	6cm cal., B&B as shown
Street trees species to be finalized at servicing agreement application			

SHRUBS

16	 <i>Cornus sericea</i> 'Keisley'	Keisley's Dwarf Red-Osier Dogwood	#2 pot 24" o.c.
44	 <i>Perfecio Mundo</i> Double Pink azalea	Reblooming Azalea	#2 pot 24" o.c.
16	 <i>Rhododendron</i> 'Crete'	Pink Rhododendron	#3 pot 36" o.c.
15	 <i>Sarcococca hockeiana</i> humilis	Himalayan Sweet Box	#2 pot 24" o.c.
42	 <i>Spiraea bumalda</i> 'Goldflame'	Goldflame Spiraea	#2 pot 24" o.c.
12	 <i>Symphoricarpos albus</i>	Snowberry	#2 pot 36" o.c.
60	 <i>Blechnum spicant</i>	Deer Fern	#1 pot 24" o.c.
18	 <i>Gaultheria shallon</i>	Sailal	#2 pot 24" o.c.
26	 <i>Vaccinium ovalum</i> 'Thunderbird'	Huckleberry	#3 pot 36" o.c.
6	 <i>Thuja occidentalis</i> 'Smaragd'	Emerald Cedar	6' Height 24" o.c.
4	 <i>Daphne x transatlantica</i> 'BLAFRA'	Eternal Fragrance Daphne	#2 pot 24" o.c.

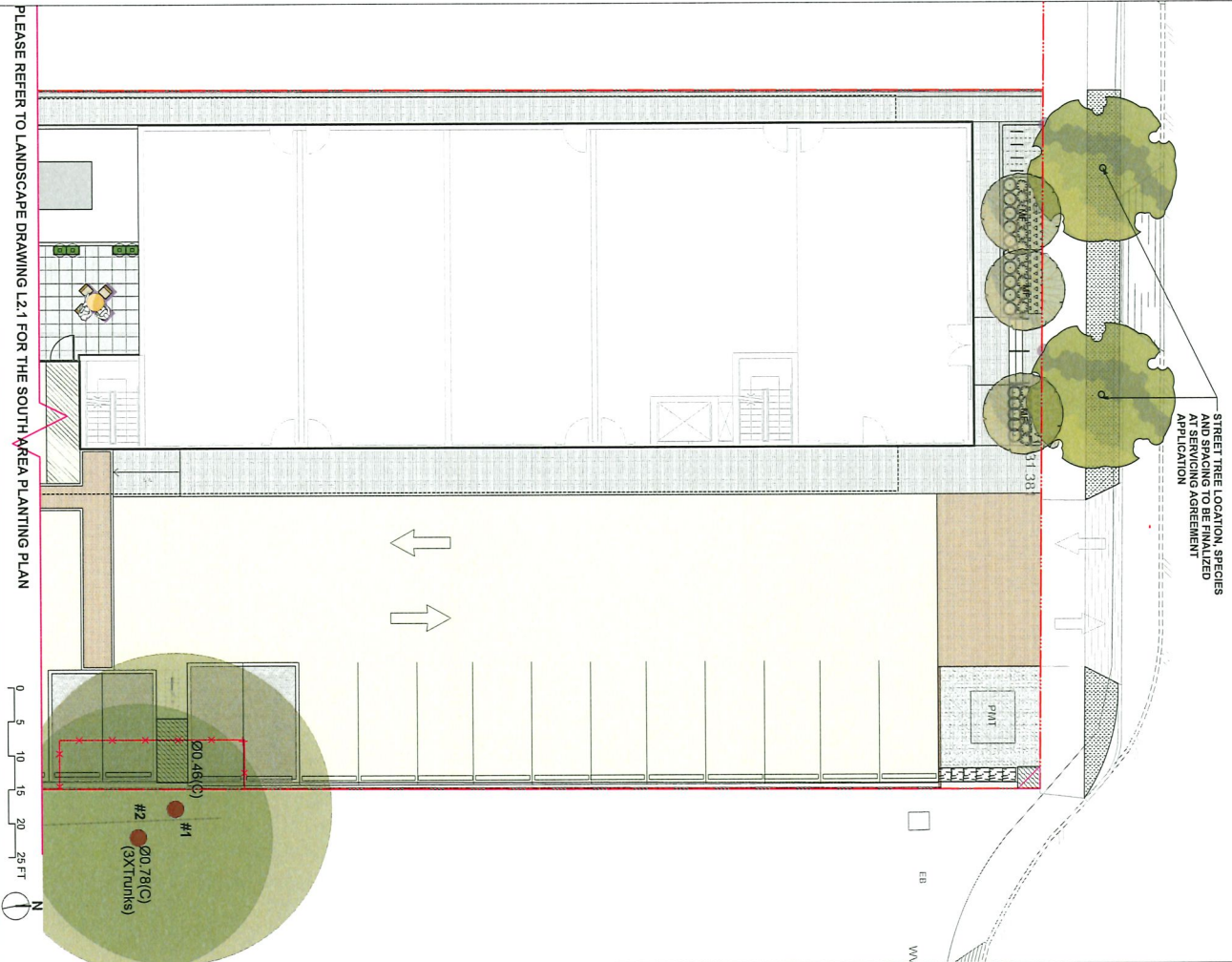
GROUND COVERS


83	 <i>Oxalis oregrana</i>	Redwood Sorrel	4" (10cm) pot 12" o.c.
548	 <i>Arctostaphylos uva-ursi</i>	Bearberry	4" (10cm) pot 12" o.c.

LAWN

856	 #2 Lawn
-----	------------------------------------------------------------------------------------------

NOTES:
1) In case of discrepancy between plant numbers on this list and on the plan, the latter shall prevail.
2) All planting shall be in accordance with CSLA Landscape Standard, latest edition.
3) All planting beds to be installed with 2"(50mm) mulch per specifications.





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Revisions

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8680 ALEXANDRA ROAD

PROJECT ADDRESS:
8680 ALEXANDRA ROAD, RICHMOND,
BC, CANADA

PROJECT NUMBER: 23-20
SCALE: 1/8" = 1'0" (1:96)
DRAWN BY: EL
REVIEWED BY: EL







Landscape Planting Plan - North Area

L2.0












PLEASE REFER TO LANDSCAPE DRAWING L2.0 FOR THE NORTH AREA PLANTING PLAN

PLANT LIST	COMMON NAME	SIZE	SPACING
QTY. BOTANICAL NAME			

TREES

5		<i>Syringa reticulata 'Ivory Silk'</i>	Japanese Tree Lilac	8cm cal., B&B	as shown
3		<i>Ginkgo biloba 'Princeton Sentry'</i>	Princeton Sentry® Ginkgo	8cm cal., B&B	as shown
2		<i>Pinus contorta subsp. contorta</i>	Shore Pine	4.0m ht.	as shown
5		<i>Cornus nuttallii</i>	Pacific dogwood	8cm cal., B&B	as shown
3		<i>Fagus sylvatica 'Dawick'</i>	Dawick beech	6cm cal., B&B	as shown
2		<i>Acer rubrum</i>	Red Maple	6cm cal., B&B	as shown


SHRUBS

16		<i>Cornus sericea 'Kelsey'</i>	Kelsey's Dwarf Red-Osier Dogwood	#2 pot	24" o.c
44		<i>Persea munda Double Pink azalea</i>	Reblooming Azalea	#2 pot	24" o.c
16		<i>Rhododendron 'Cele'</i>	Pink Rhododendron	#3 pot	36" o.c
15		<i>Sarcococca hookeriana humilis</i>	Himalayan Sweet Box	#2 pot	24" o.c
42		<i>Spiraea bumalda 'Goldflame'</i>	Goldflame Spiraea	#2 pot	24" o.c
12		<i>Symphoricarpos albus</i>	Snowberry	#2 pot	36" o.c
60		<i>Blechnum spicant</i>	Deer Fern	#1 pot	24" o.c
18		<i>Gaultheria shallon</i>	Sailai	#2 pot	24" o.c
26		<i>Vaccinium ovatum 'Thunderbird'</i>	Huckleberry	#3 pot	36" o.c
6		<i>Thuja occidentalis 'Smaragd'</i>	Emerald Cedar	6' Height	24" o.c
4		<i>Daphne x transatlantica 'BLAFRA'</i>	Eternal Fragrance Daphne	#2 pot	24" o.c

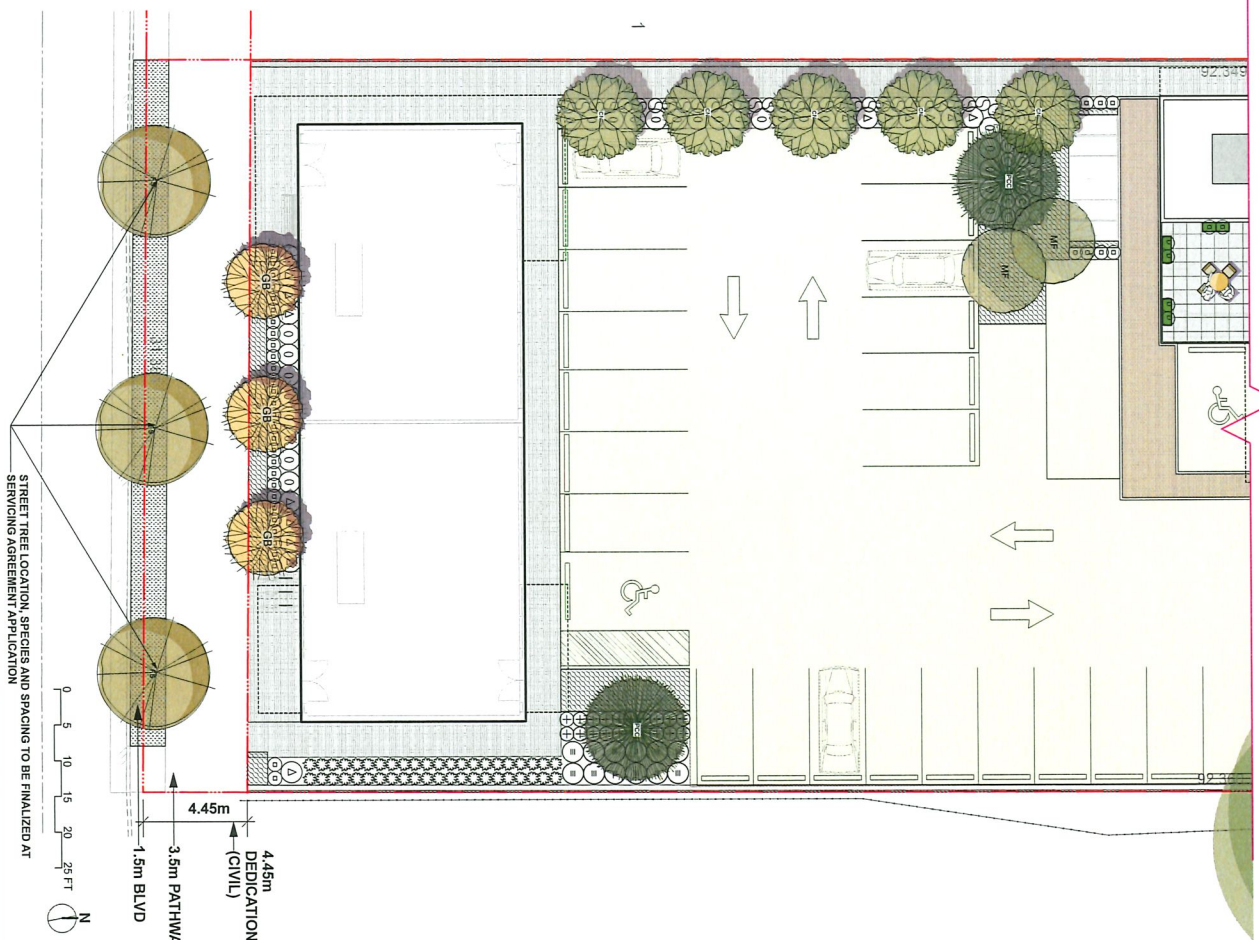
GROUND COVERS

83		<i>Oxalis oreopana</i>	Redwood Sorrel	4" (10cm) pot	12" o.c
548		<i>Actinophylos uva-ursi</i>	Bearberry	4" (10cm) pot	12" o.c

LAWN

856		#2 Lawn			
-----	----------------------------------------------------------------------------------	---------	--	--	--

- NOTES:
- 1) In case of discrepancy between plant numbers on this list and on the plan, the latter shall prevail.
 - 2) All planting shall be in accordance with CSLA Landscape Standard, latest edition.
 - 3) All planting beds to be installed with 2"(50mm) mulch per specifications.



HOMINGS
LANDSCAPE
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ADDRESS: 1423 WYTH AVENUE
VANCOUVER, BC V6L 2Y1
TEL: 778-303-3538
EMAIL: HOMINGLANDSCAPE@GMAIL.COM

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AND THE DIMENSIONS OF THE PROJECT.
SPECIFICATIONS FOR ANY OF THE DOCUMENT
SHALL BE REPORTED IN WRITING TO THE
CLIENT. THE CLIENT SHALL BE RESPONSIBLE FOR
CLARIFICATION AND APPROVAL BEFORE
PROCEEDING WITH THE WORK.

Revisions

NO.	Date	Note
A	2023-10-06	ISSUED FOR DP
B	2024-07-10	ISSUED FOR DP
C	2024-09-06	ISSUED FOR DP
D	2024-09-23	ISSUED FOR DP
E	2025-01-09	ISSUED FOR DP
F	2025-03-19	ISSUED FOR DP
G	2025-06-25	ISSUED FOR DP
H	2025-07-23	ISSUED FOR DP
I	2025-08-06	ISSUED FOR DP
J	2025-10-22	ISSUED FOR DP
K	2025-11-06	ISSUED FOR DP

8680 ALEXANDRA
ROAD

PROJECT ADDRESS:
8680 ALEXANDRA RD, RICHMOND,
BC, CANADA

PROJECT NUMBER: 23-20
SCALE: 1/8"=1'-0" (1:96)
DRAWN BY: EL
REVIEWED BY: EL

Landscape
Planting Plan -
South Area

L2.1

LANDSCAPE LIGHTING LEGENDS

SYMBOL MATERIALS



BOLLARD LIGHT



PARKING LOT POLE DOWNLIGHT WITH SHIELD



STEP LIGHT



WALL MOUNTED DOWNLIGHT



LIGHTING NOTES

- 1. CONCEPTUAL LANDSCAPE LIGHTING PLAN IS PROVIDED FOR INFORMATION ONLY. REFER TO ELECTRICAL ENGINEER'S DRAWINGS FOR CONSTRUCTION.
- 2. CONTRACTOR TO COORDINATE RECESSED FORMING, ELECTRICAL CONDUIT AND LOCATION LOGISTICS WITH OTHER TRADES AS REQUIRED.
- 3. CONTRACTOR TO ENSURE ALL LIGHTING WIRE AND FIXTURES MUST BE INSTALLED TO MEET THE LOCAL ELECTRICAL REGULATIONS AND SAFETY REQUIREMENTS



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Revisions

NO.	Date	Note
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B	2024-07-10	ISSUED FOR DP
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D	2024-09-23	ISSUED FOR DP
E	2025-01-09	ISSUED FOR DP
F	2025-03-18	ISSUED FOR DP
G	2025-06-25	ISSUED FOR DP
H	2025-07-23	ISSUED FOR DP
I	2025-08-06	ISSUED FOR DP
J	2025-10-22	ISSUED FOR DP
K	2025-11-06	ISSUED FOR DP

8680 ALEXANDRA
ROAD

PROJECT ADDRESS:
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BC, CANADA

PROJECT NUMBER: 23-20
SCALE: 1/16"=1'-0" (1:192)
DRAWN BY: EL
REVIEWED BY: EL

Conceptual
Landscape
Lighting Plan



HOMING
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G	2025-06-25	ISSUED FOR DP
H	2025-07-23	ISSUED FOR DP
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J	2025-10-22	ISSUED FOR DP
K	2025-11-06	ISSUED FOR DP

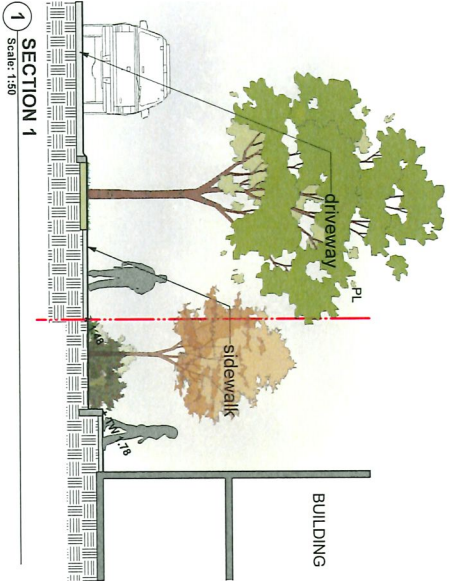
**8680 ALEXANDRA
ROAD**

PROJECT ADDRESS:
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BC, CANADA

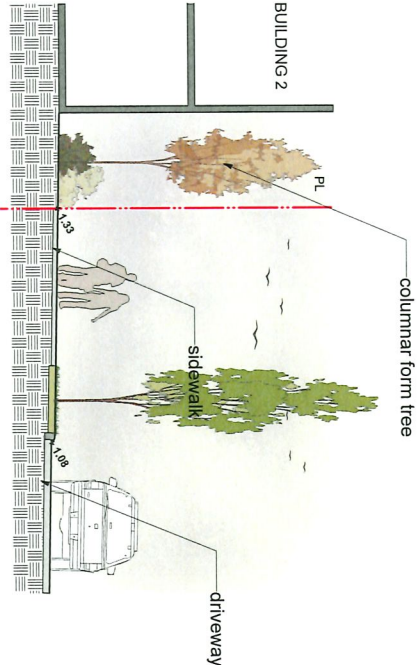
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SCALE: AS SHOWN
DRAWN BY: EL
REVIEWED BY: EL

Sections

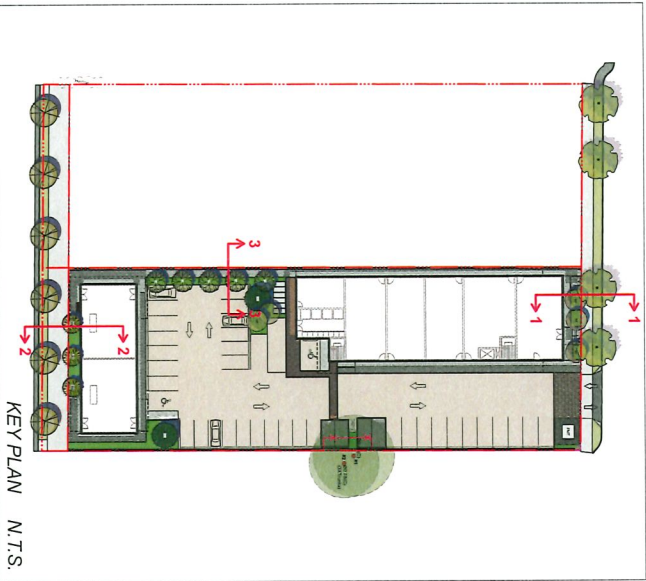
L2.3



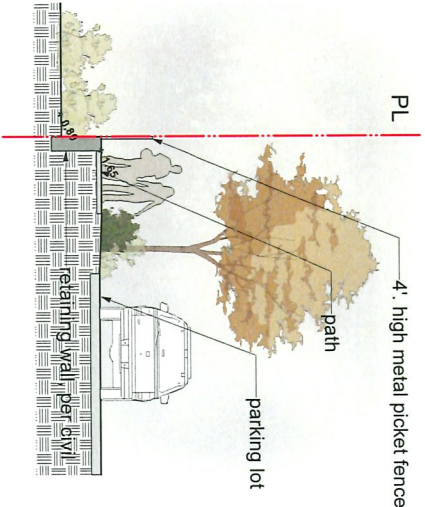
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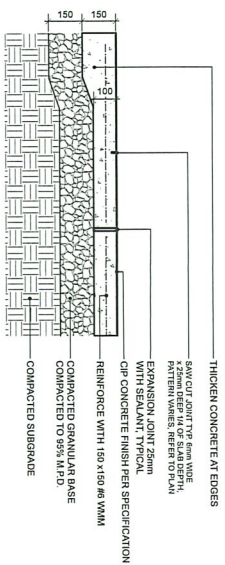
SECTION 2
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KEY PLAN N.T.S.

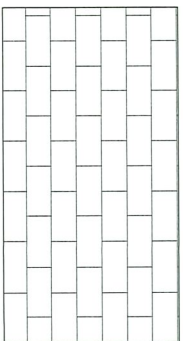


SECTION 3
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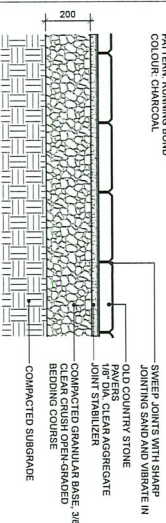


NOTES:
1. EXPANSION JOINTS 6m O.C. MAX. CONTROL JOINTS @ 1.5m O.C. ADJUST TO SUIT SITE LAYOUT PLAN
2. ALL SCORELINES TO BE APPROVED BY LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION.

1 CIP CONCRETE ON GRADE (TYPICAL)
Scale: 1:10

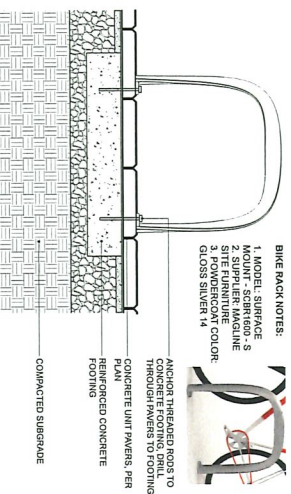


CLASSIC STANDARD PAVERS - STANDARD SIZE BY
 DIMENSIONS: STANDARD CONCRETE (1-800-663-4091)
 DIMENSIONS: STANDARD 225(L) x 112.5(W) x 60(T) mm (8-7/8" x
 4-7/16" x 2-3/8")
 PATTERN: RUNNING BOND
 COLOUR: CHARCOAL



NOTE:
USE CONCRETE HIDDEN EDGE RESTRAINT WHEN PAVERS ARE NOT ADJACENT TO A SOLID EDGE CONDITION.

2 CONCRETE UNIT PAVING ON GRADE
Scale: 1:10

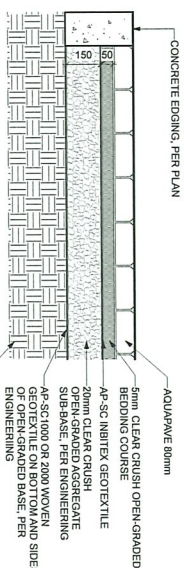


NOTE:
PER SUPPLIER FOR SPECIFICATIONS AND INSTALLATIONS

BIKE RACK
Scale: 1:10



COLOR: CHARCOAL



NOTE:
1. REFER TO ENGINEERING DRAWINGS FOR THE BASE MATERIALS INSTALLED UNDERNEATH THE PAVERS.
2. THE CONDITIONS UNDER THE PAVERS SHALL BE APPROVED BY ENGINEERS BEFORE PAVERS INSTALLATION.

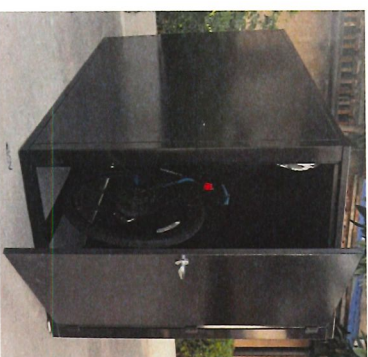
4 **AQUAPAVE PERMEABLE PAVER**
Scale: 1:10



5 4' HIGH METAL PICKET FENCE
Scale: N/A



6 STAMPED ASPHALT PEDESTRIAN PATH
Scale: N/A



7 OUTDOOR BIKE LOCKER
Scale: N/A



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Revisions

NO.	Date	Note
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3	2024-08-06	ISSUED FOR DP
4	2024-08-23	ISSUED FOR DP
5	2025-01-09	ISSUED FOR DP
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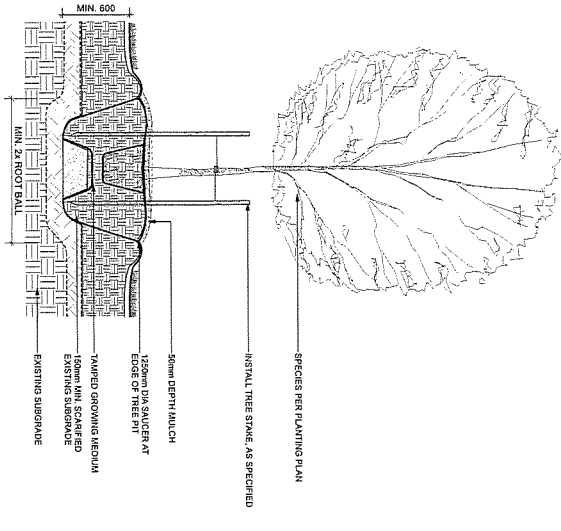
**8680 ALEXANDRA
ROAD**

PROJECT ADDRESS:
8680 ALEXANDRA RD, RICHMOND,
BC, CANADA

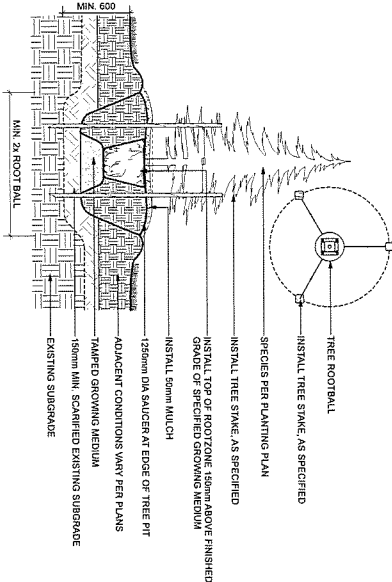
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SCALE: AS SHOWN
DRAWN BY: EL
REVIEWED BY: EL

Softscape Details

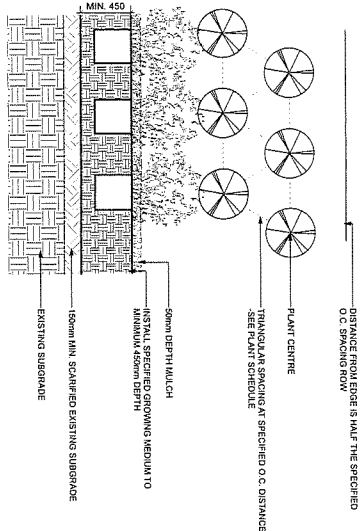
L3.1



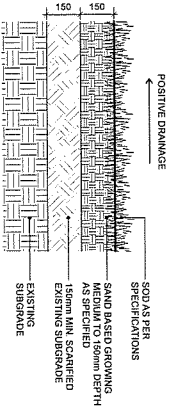
1 DECIDUOUS TREE PLANTING ON GRADE (TYPICAL)
Scale: 1:20



3 CONIFEROUS TREE PLANTING ON GRADE (TYPICAL)
Scale: 1:20



2 PLANTING ON GRADE (TYPICAL)
Scale: 1:20



4 SOD LAWN (TYPICAL)
Scale: 1:10

MIXED-USE RENTAL BUILDING (DP 23-033716)

Existing Address: 9000, No.3 Road, Richmond, BC

The site is a relatively flat, square lot formerly a gas station located at the Southeast corner of the intersection of 40th Street and 1st Avenue South.

The site is identified in the Official Community Plan in the Broadmoor planning area, with the 2041 OCP Land Use Map Designation of Commercial. An OCP amendment is requested to change Commercial to Mixed Use to accommodate the proposed development. The development also requires Rezoning from the current CG-1 (gas services stations) and requires a Development Permit.



Context Map



City of Richmond - OCP Map



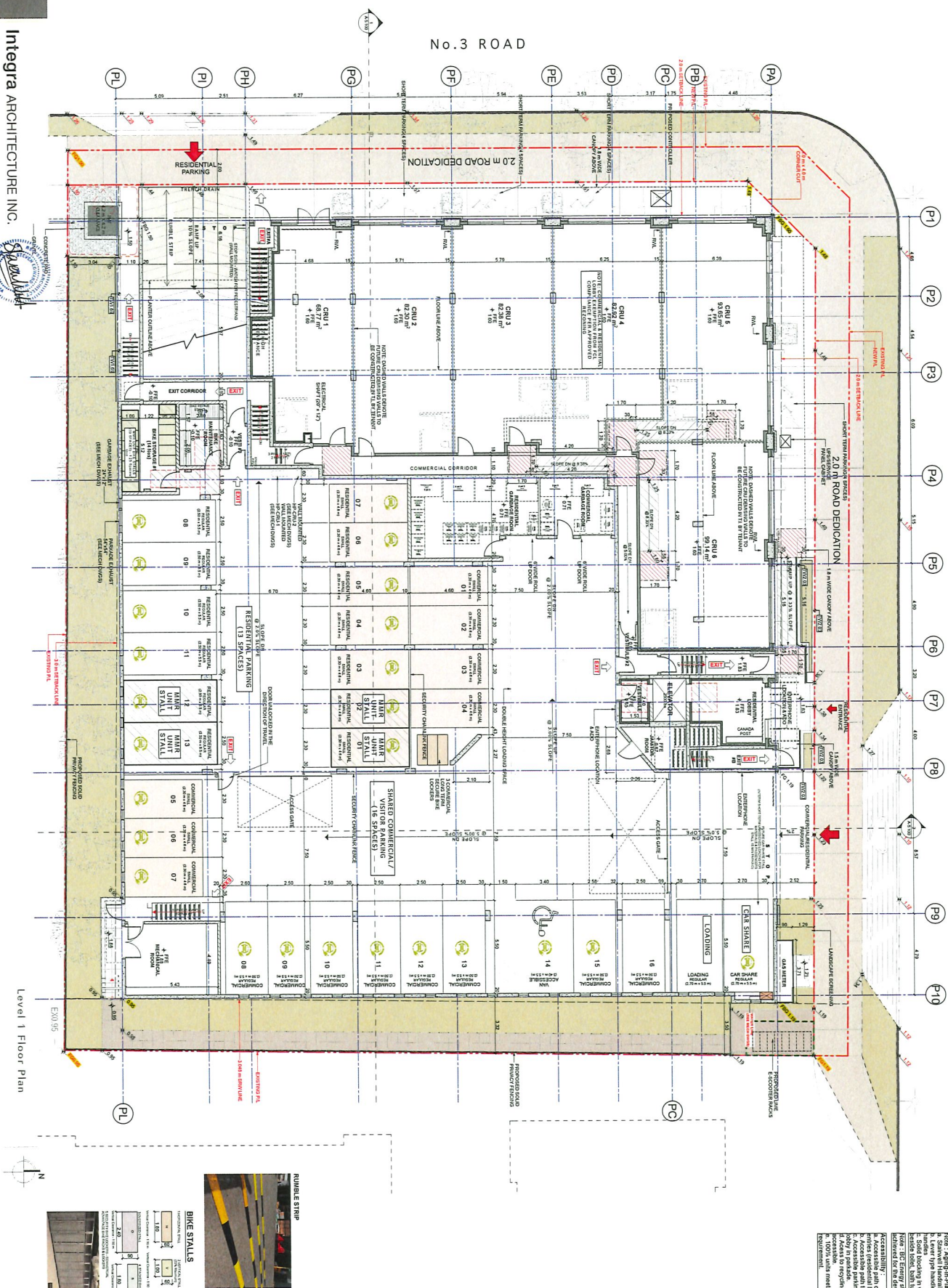
Context 3D



1. Streetscape Along No.3 Road



2. Streetscape Along Francis Road



Note: **Writing-In-Place features Provided**

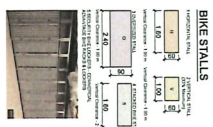
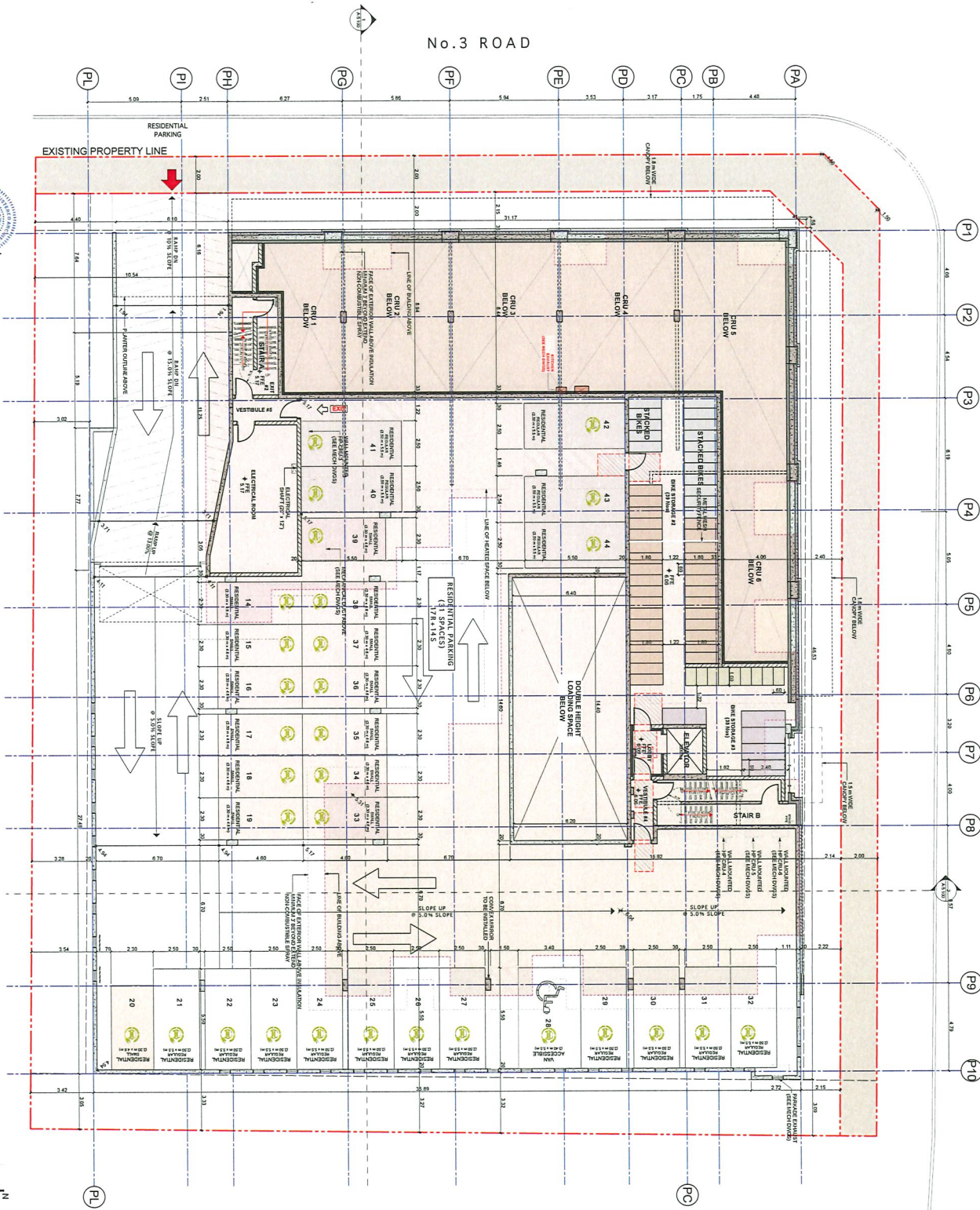
- a. Shallow handrails
- b. Level type handles for plumbing fixtures and door
- c. Accessible handrails for wheelchair users
- d. Accessible handrails in restroom stalls for future grab bars
- e. Accessible lock, built-in and shaver

Note: **BC Energy Step code requirements are to be applied for the development project.**

Accessibility:

- a. Accessible path connecting public sidewalk to the main entrance (residential lobby & CHU units)
- b. Accessible path to the outdoor amenity space on level 1
- c. Accessible parking in the vicinity of main entrance
- d. Access to parking and garage rooms is universal chair accessible.
- e. 100% units meet the Basic Universal Housing (BUH) requirements

Note: 1. Aging-in-place Features Provided
 a. Grab bars in bathroom stalls, showers and door
 b. Lever type handles for plumbing fixtures and door
 c. Accessible parking spaces for future grab bars
 d. Accessible toilet, with lift and shower



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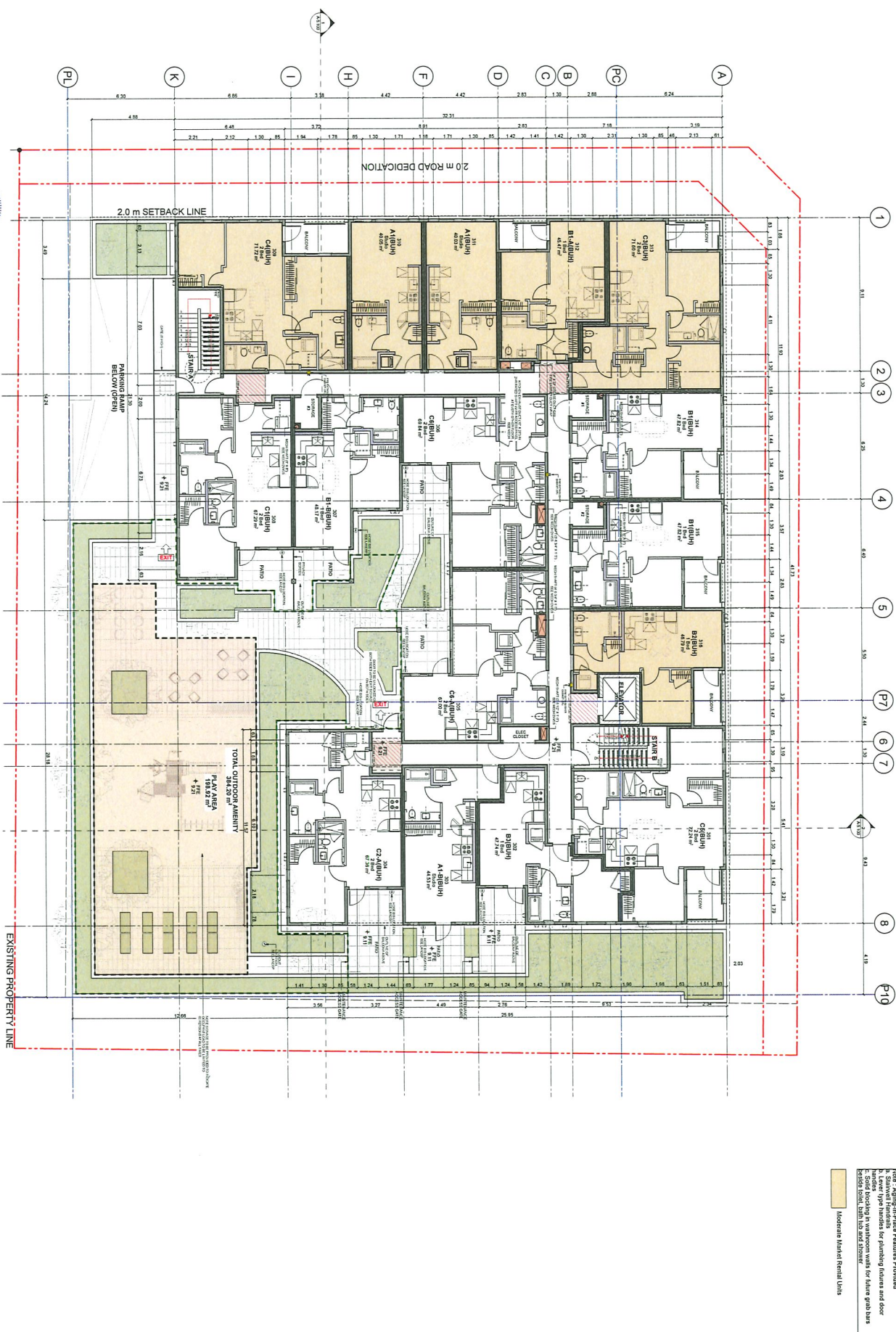


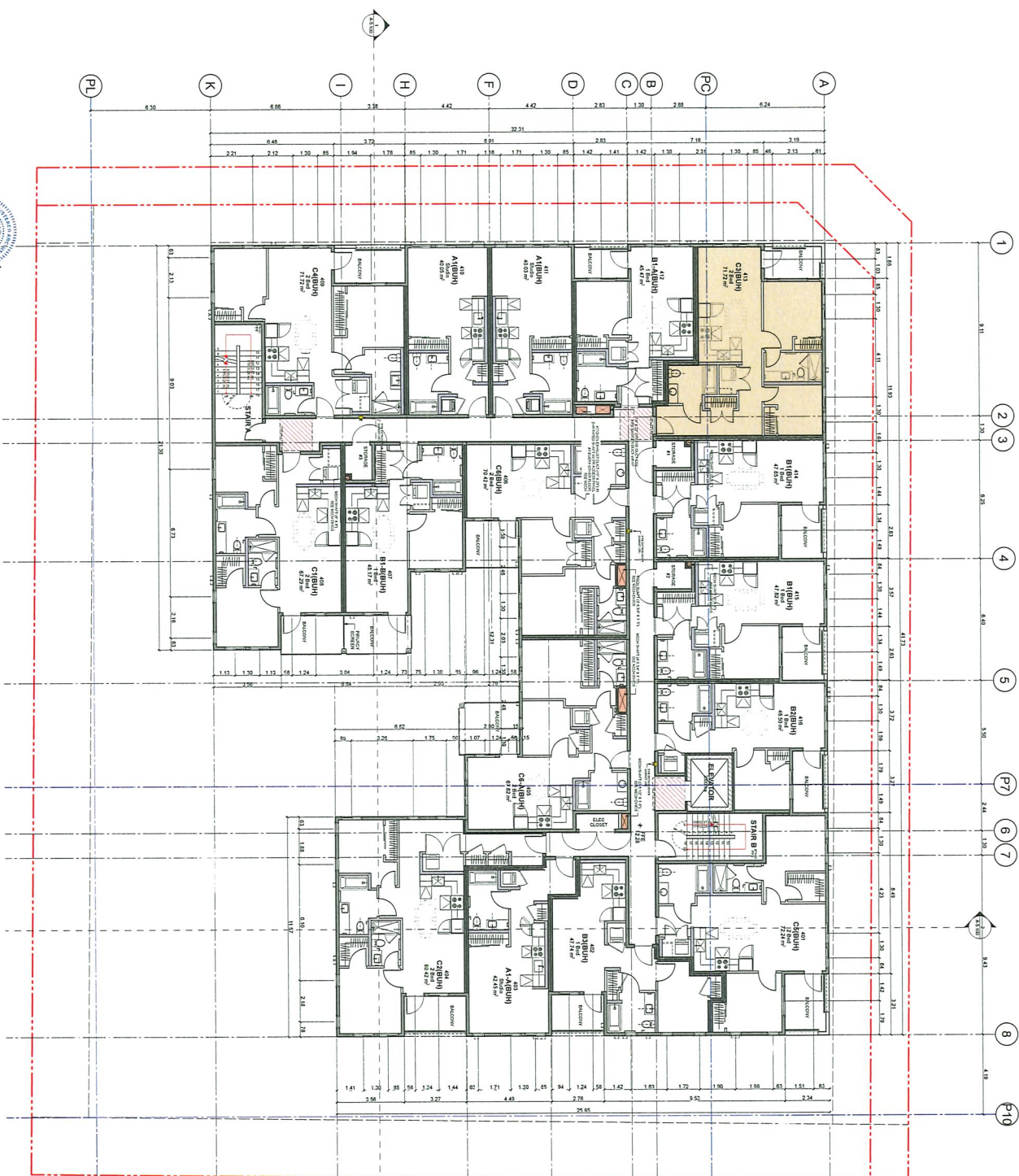
Level 2 Floor Plan



A-004

9000 No. 3 Road
 Richmond, BC





Level 4 to 6 Floor Plan (Typical)



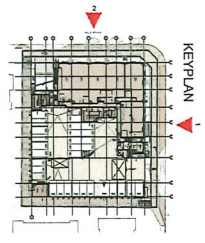
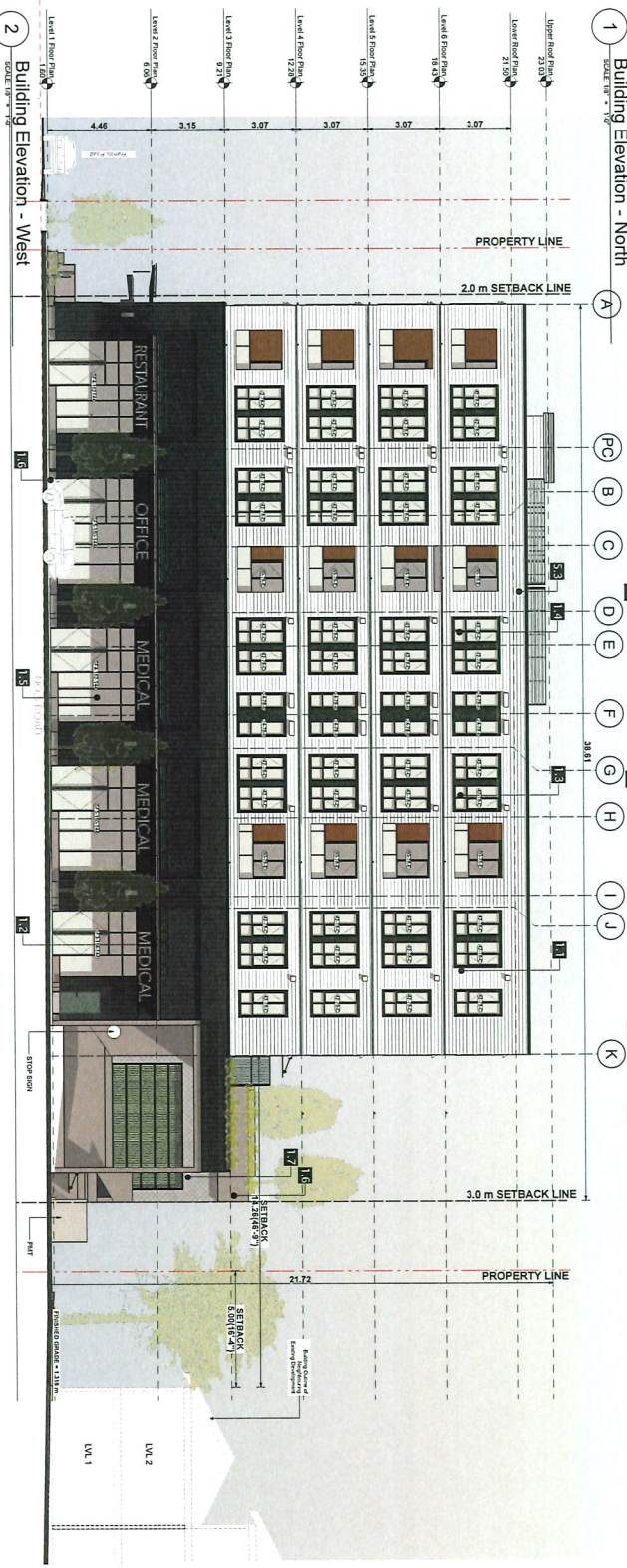
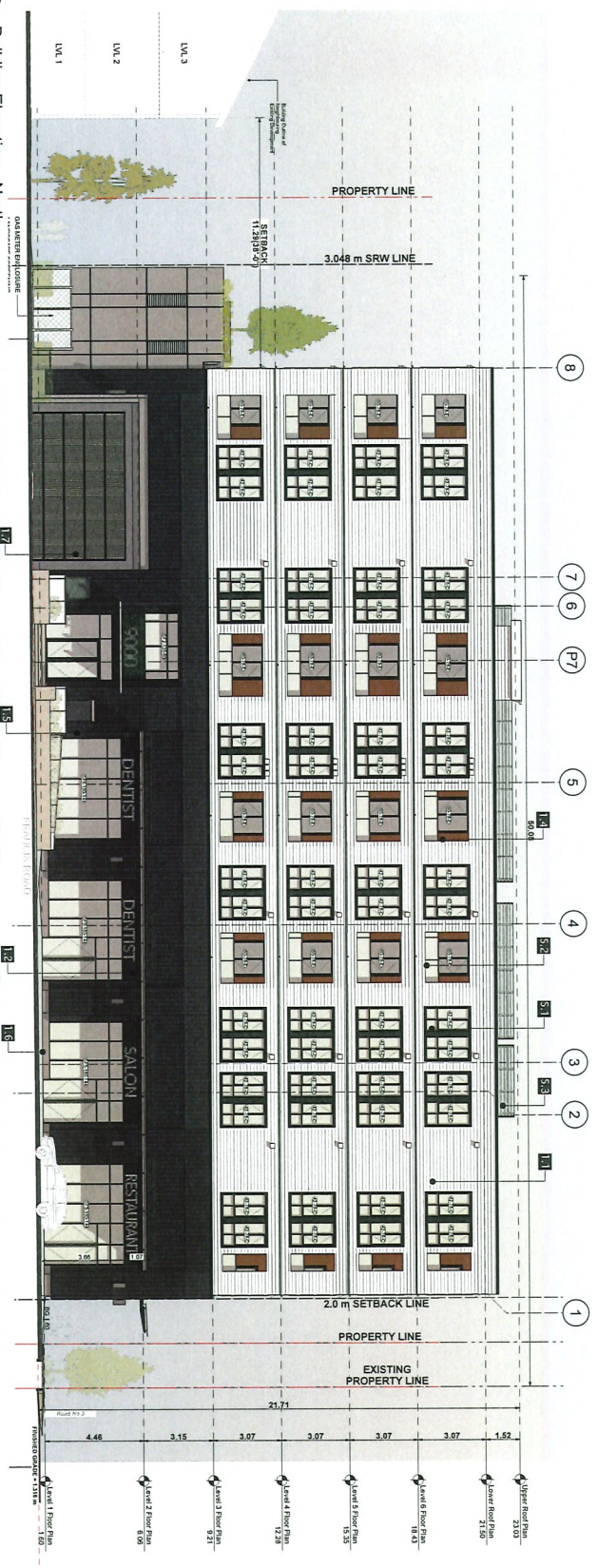
Note - Aging-in-Place Features Provided

- a. Stainless Steel Handrails
- b. Lever type handles for plumbing fixtures and door handles
- c. Solid blocking in washroom walls for future grab bars
- d. Beside toilet, bath tub and shower

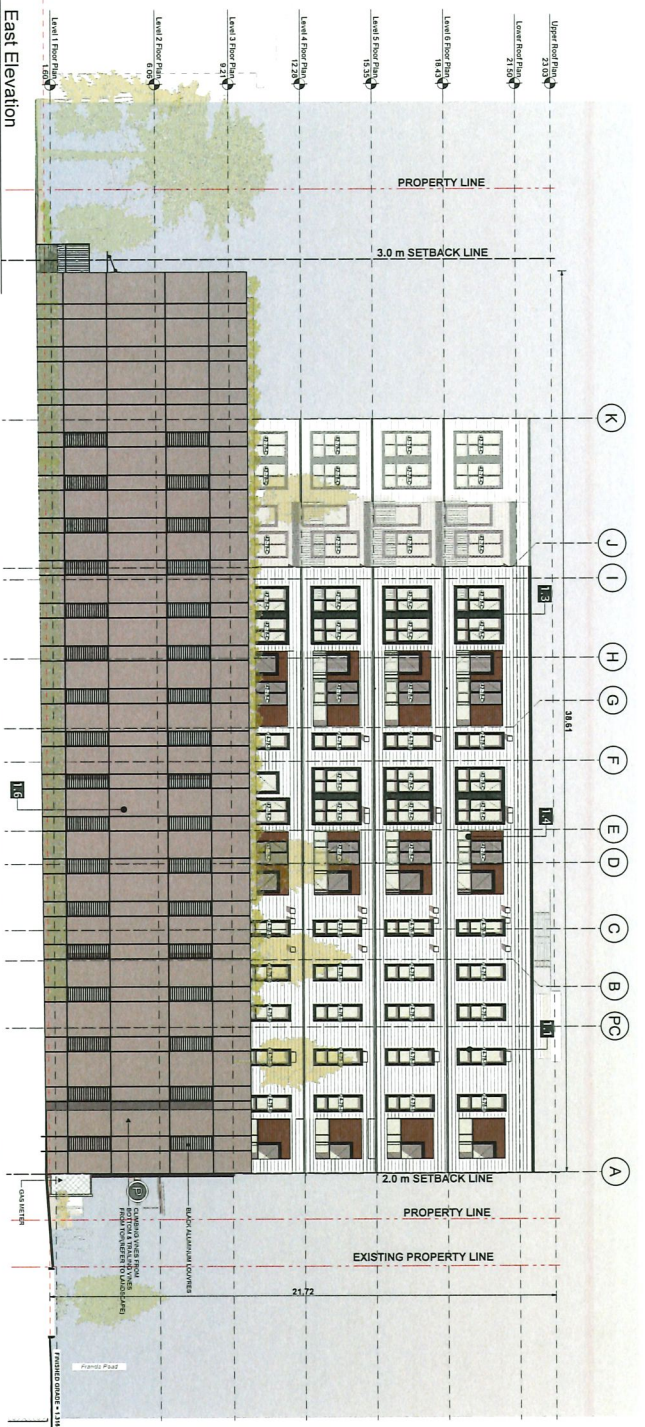
Moderate Market Rental Units

Note : Aging-in-Place Features Provided

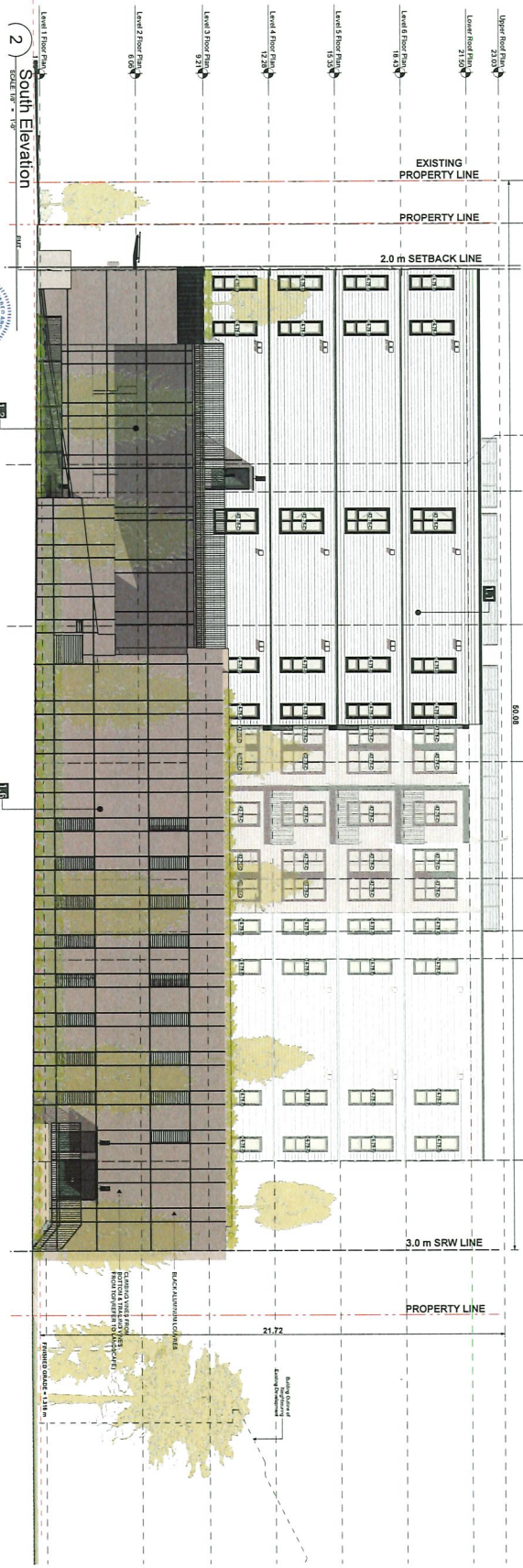
- a. Stairwell Handrails
- b. Lever type handles for plumbing fixtures and door handles
- c. Solid blocking in washroom walls for future grab bars
- d. Beside toilet, bath tub and shower



Material and colour legend	Material (by number)	Finish (by number)
1.1	White	White
1.2	Light Grey	Light Grey
1.3	Dark Grey	Dark Grey
1.4	Medium Grey	Medium Grey
1.5	Dark Grey	Dark Grey
1.6	Dark Grey	Dark Grey
1.7	Dark Grey	Dark Grey
1.8	Dark Grey	Dark Grey
1.9	Dark Grey	Dark Grey
1.10	Dark Grey	Dark Grey
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1.57	Dark Grey	Dark Grey
1.58	Dark Grey	Dark Grey
1.59	Dark Grey	Dark Grey
1.60	Dark Grey	Dark Grey



1 East Elevation
SCALE: 1/8" = 1'-0"



2 South Elevation
SCALE: 1/8" = 1'-0"

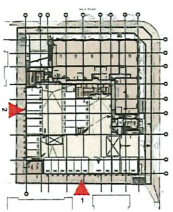


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Material and Colour Legend
Colour: Painted to match. Refer to section.

01	Asph/Flt	Light Grey w/ 7" Exposed (Stone Matrix entry)	X
02	Asph/Flt	Dark Grey w/ 7" Exposed (Stone Matrix entry)	X
03	Wdng	White (Painted) (Stone Matrix entry)	X
04	Wdng	Dark Grey (Painted) (Stone Matrix entry)	X
05	Wdng	Light Grey (Painted) (Stone Matrix entry)	X
06	Wdng	Dark Grey (Painted) (Stone Matrix entry)	X
07	Wdng	Light Grey (Painted) (Stone Matrix entry)	X
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38	Wdng	Dark Grey (Painted) (Stone Matrix entry)	X
39	Wdng	Light Grey (Painted) (Stone Matrix entry)	X
40	Wdng	Dark Grey (Painted) (Stone Matrix entry)	X
41	Wdng	Light Grey (Painted) (Stone Matrix entry)	X
42	Wdng	Dark Grey (Painted) (Stone Matrix entry)	X
43	Wdng	Light Grey (Painted) (Stone Matrix entry)	X
44	Wdng	Dark Grey (Painted) (Stone Matrix entry)	X
45	Wdng	Light Grey (Painted) (Stone Matrix entry)	X
46	Wdng	Dark Grey (Painted) (Stone Matrix entry)	X
47	Wdng	Light Grey (Painted) (Stone Matrix entry)	X
48	Wdng	Dark Grey (Painted) (Stone Matrix entry)	X
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50	Wdng	Dark Grey (Painted) (Stone Matrix entry)	X

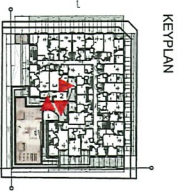
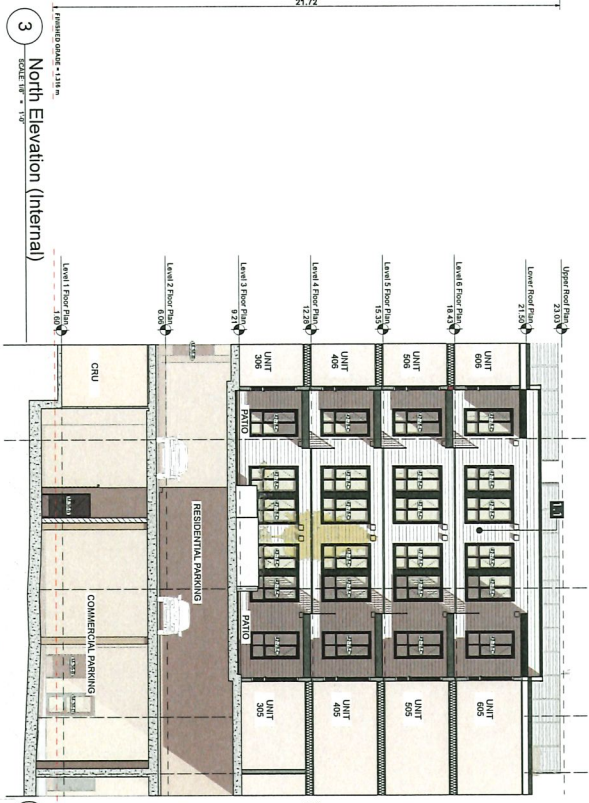
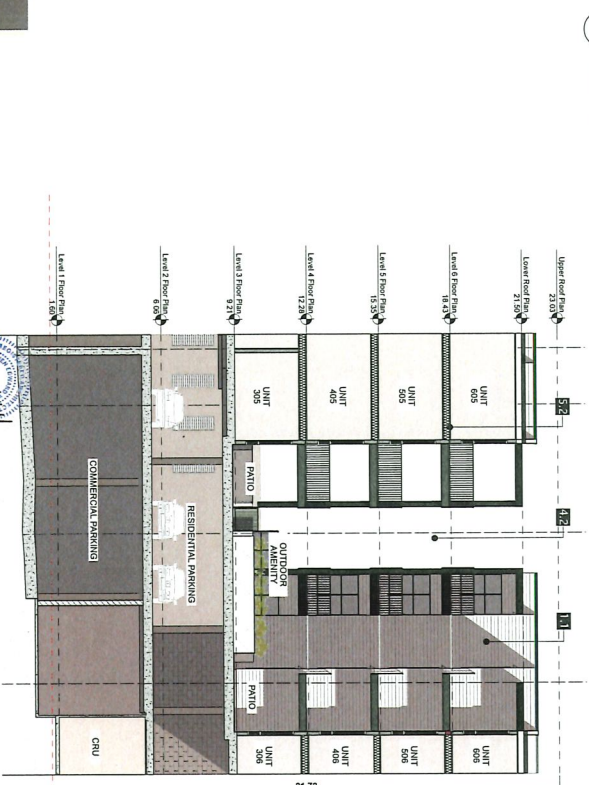
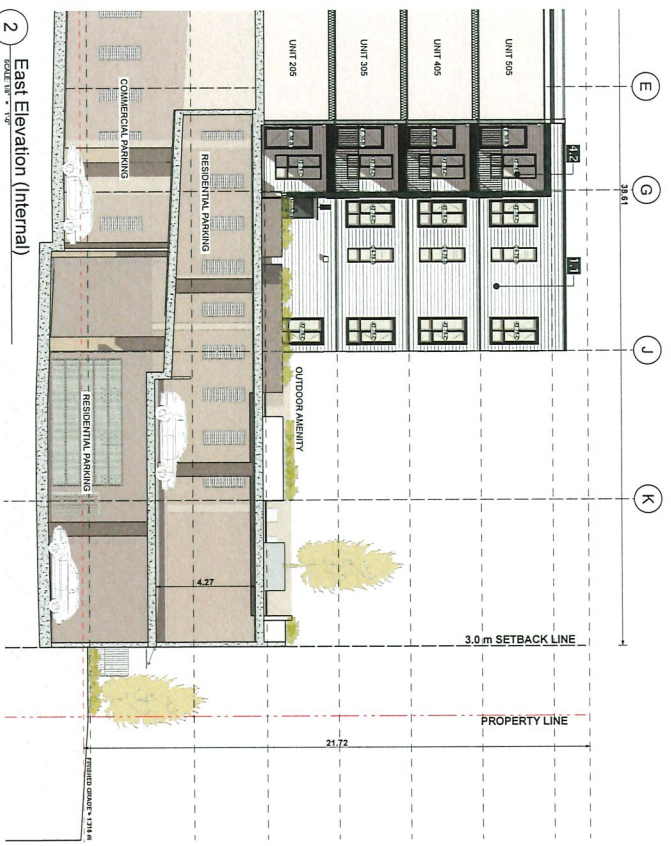
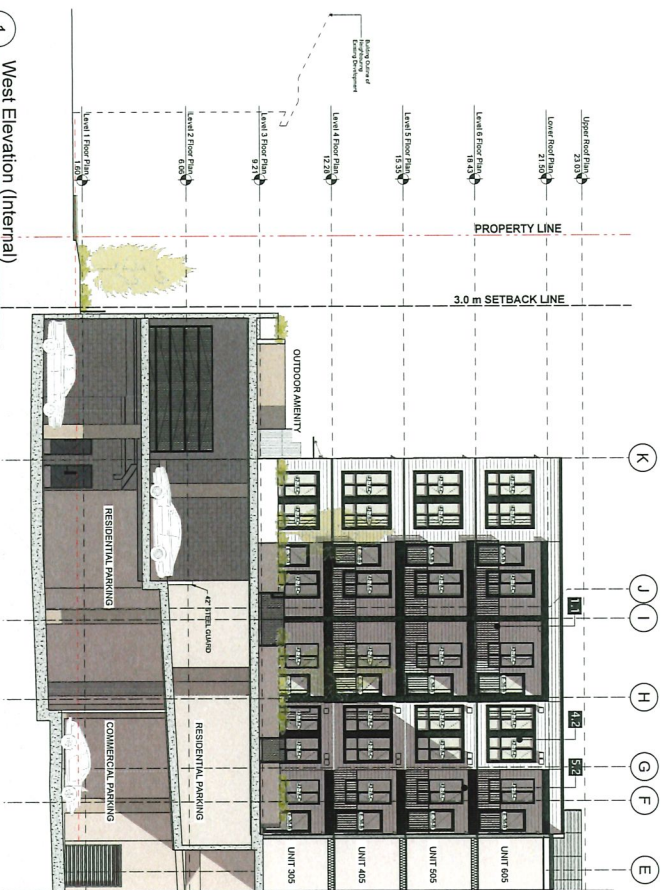


KEYPLAN

Building Elevations

A-009

9000 No. 3 Road
Richmond, BC



Integra ARCHITECTURE INC.



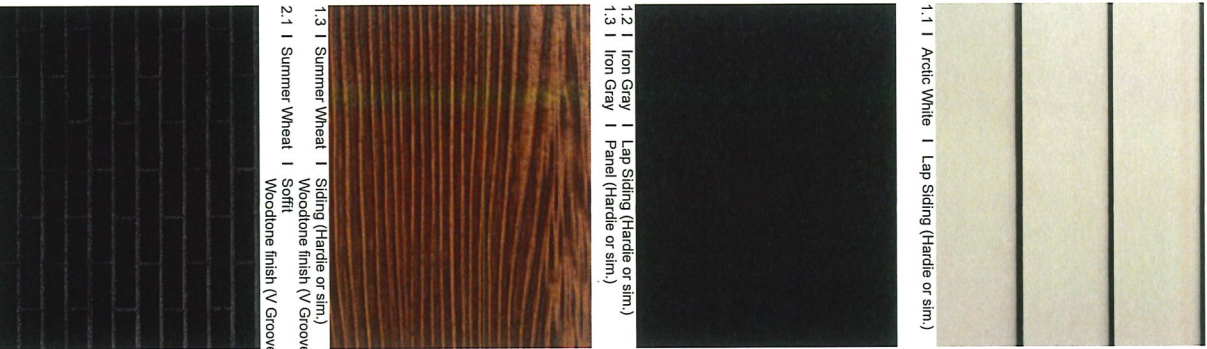
Building Elevations

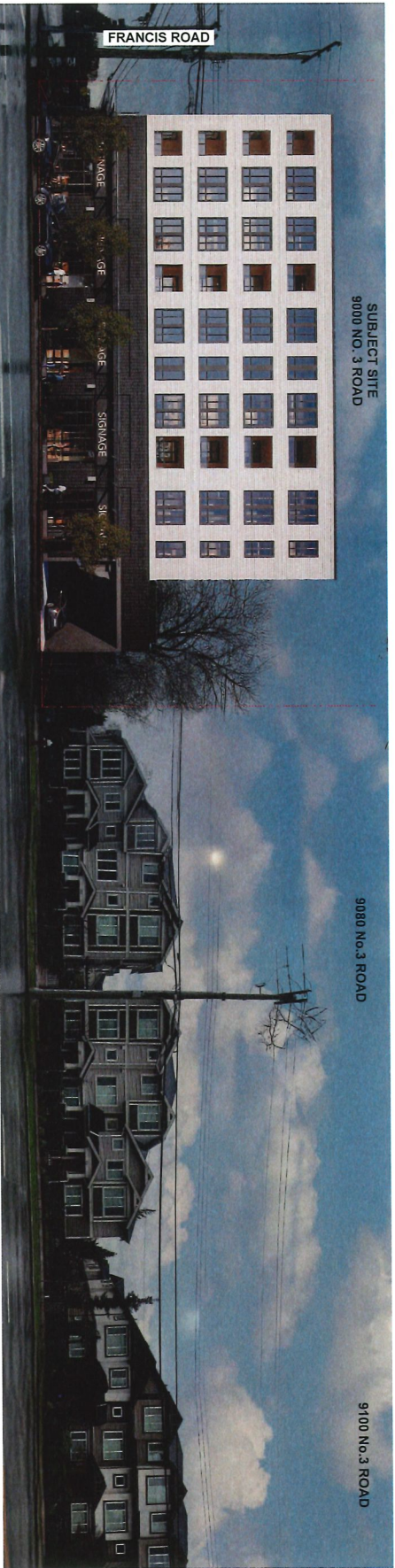
A-010

9000 No. 3 Road
Richmond, BC

Material and colour legend

Colour		Product (to match)		Finish (to match)		Location
CLADDING						
1.0	Arctic White	Lap Siding w/ 7" Exposure (James Hardie or similar)	X			Exterior walls
1.1	Iron Gray	Lap Siding w/ 7" Exposure (James Hardie or similar)	X			Exterior walls
1.2	Iron Gray	Fiber Cement Panel (James Hardie or similar)	X			Exterior walls
1.3	Summer Wheat	Lap Siding - Summer Wheat(Hardie or similar) - Woodstone Finish	X			Exterior walls
1.4	Black	Black (Amora or similar)	X			Exterior walls
1.5	Charcoal Slate	Painted Concrete Concrete(Benjamin Moore - HC-178)	X			Exterior walls
1.6	Gray	Metal Chainlink Fence	X			Interior walls
SOFFIT						
2.0	Summer Wheat	Soffit (James Hardie - Alean Soffit V Groove) with Woodstone Finish to Match Summer Wheat	X			Feature Soffit
TRIMS / FLASHINGS						
3.0	Black	Charcoal Powder coated Aluminum Malt		1.2		Flashings
3.1	White	White Powder coated Aluminum Malt		1.1		Flashings
ROOFS / DECKS						
4.0	White	WhitePowder coated Aluminum Malt		1.1		Roofs /Overhangs/ Flashings
4.1	Black	Charcoal Powder coated Aluminum Malt		1.1		Roofs /Overhangs/ Flashings
WINDOWS / GLAZING						
5.0	Black	Veryl Windows		X		Prefinished vinyl windows
5.1	Black	Railings		X		Black railings w/ clear glazing
5.2	Light Ash	Wood fence screening		X		Roofing equipment screening
5.3	Black	Louvers		X		Aluminum louvers
5.4	Black					
3.1						
3.2						
5.1						
1.1						
1.4						
4.2						





Streetscape Along No. 3 Road



Streetscape Along Francis Road



Integra ARCHITECTURE INC.

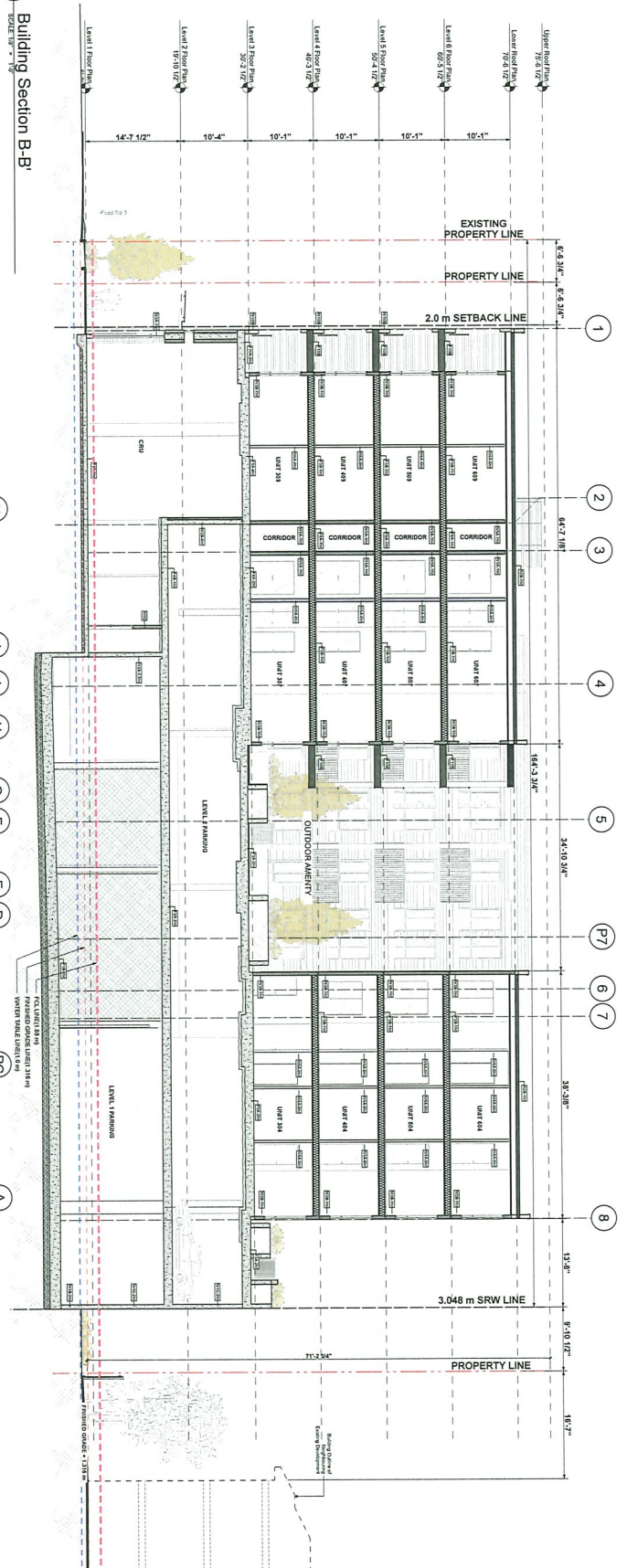


Streetscape

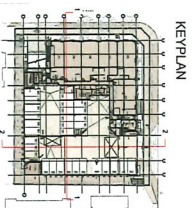
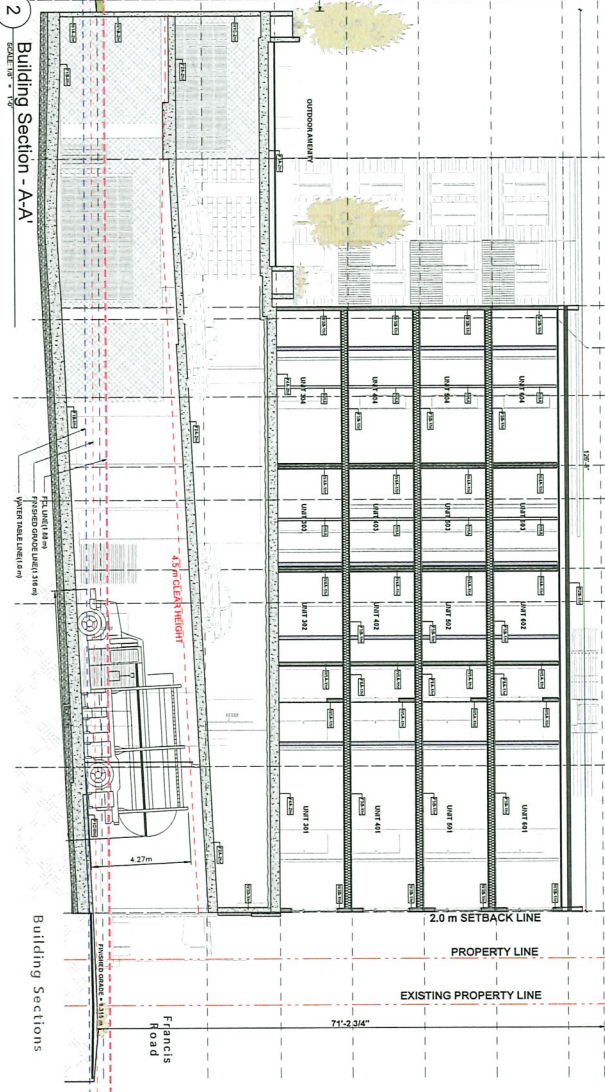
A-012

9000 No. 3 Road
Richmond, BC

1 Building Section B-B'
SCALE 1/8" = 1'-0"

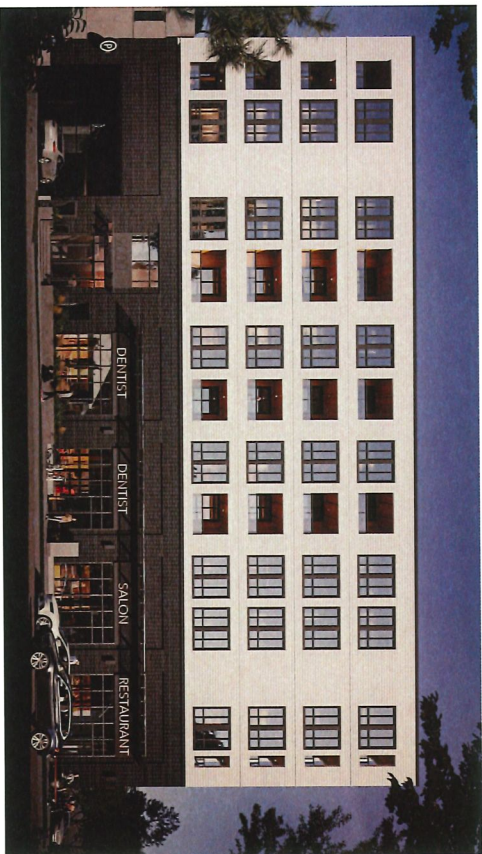


2 Building Section - A-A'





1 3D View Along No.3 Rd & Francis Rd



3 3D View Along Francis Rd



2 3D View Along No.3 Rd



4 3D View Along Francis Rd



Integra ARCHITECTURE INC.



Perspective Renders



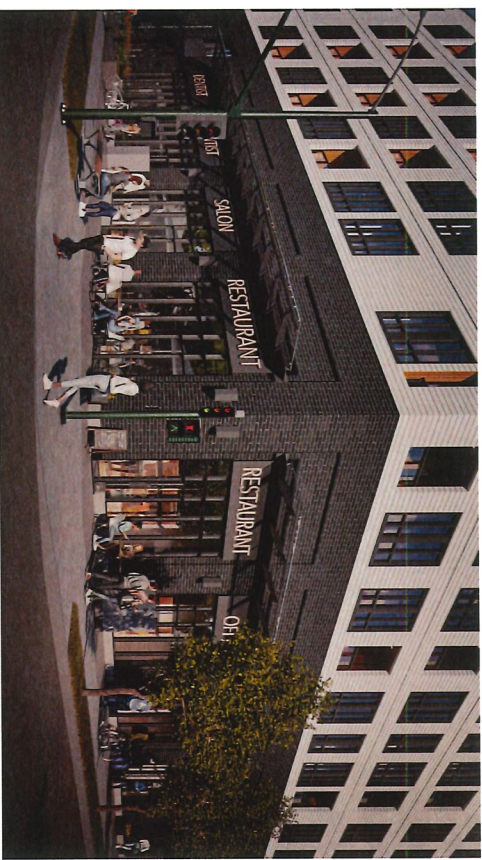
1 3D View Along Residential Lobby



2 3D View Along Outdoor Amenity



3 3D View Along Outdoor Amenity



4 3D View Along Intersection



Integra ARCHITECTURE INC.



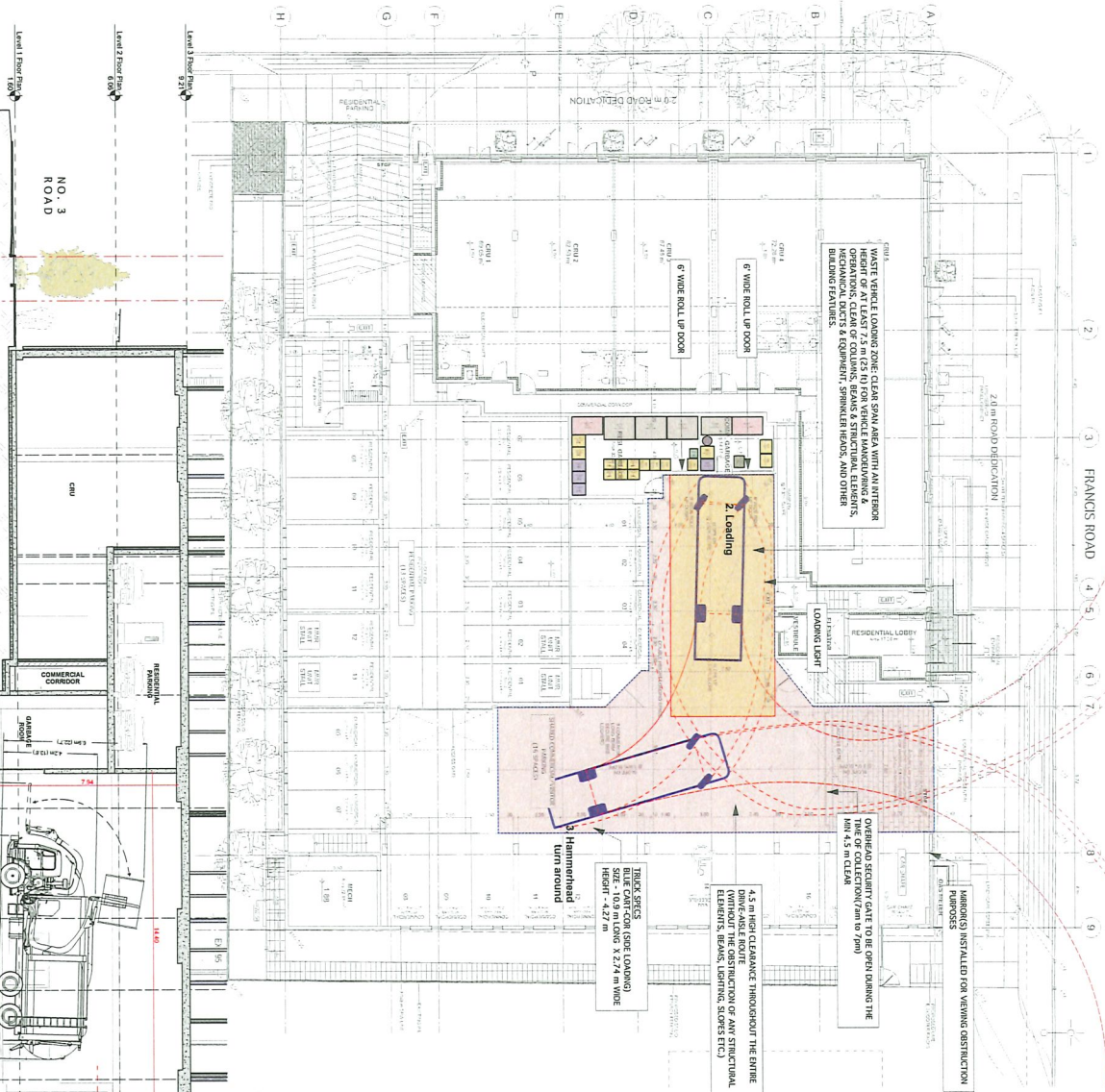
Perspective Renders

BLUE-CART-COR

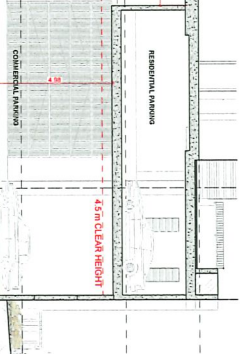
1. Right In

FRANCIS ROAD

4. F



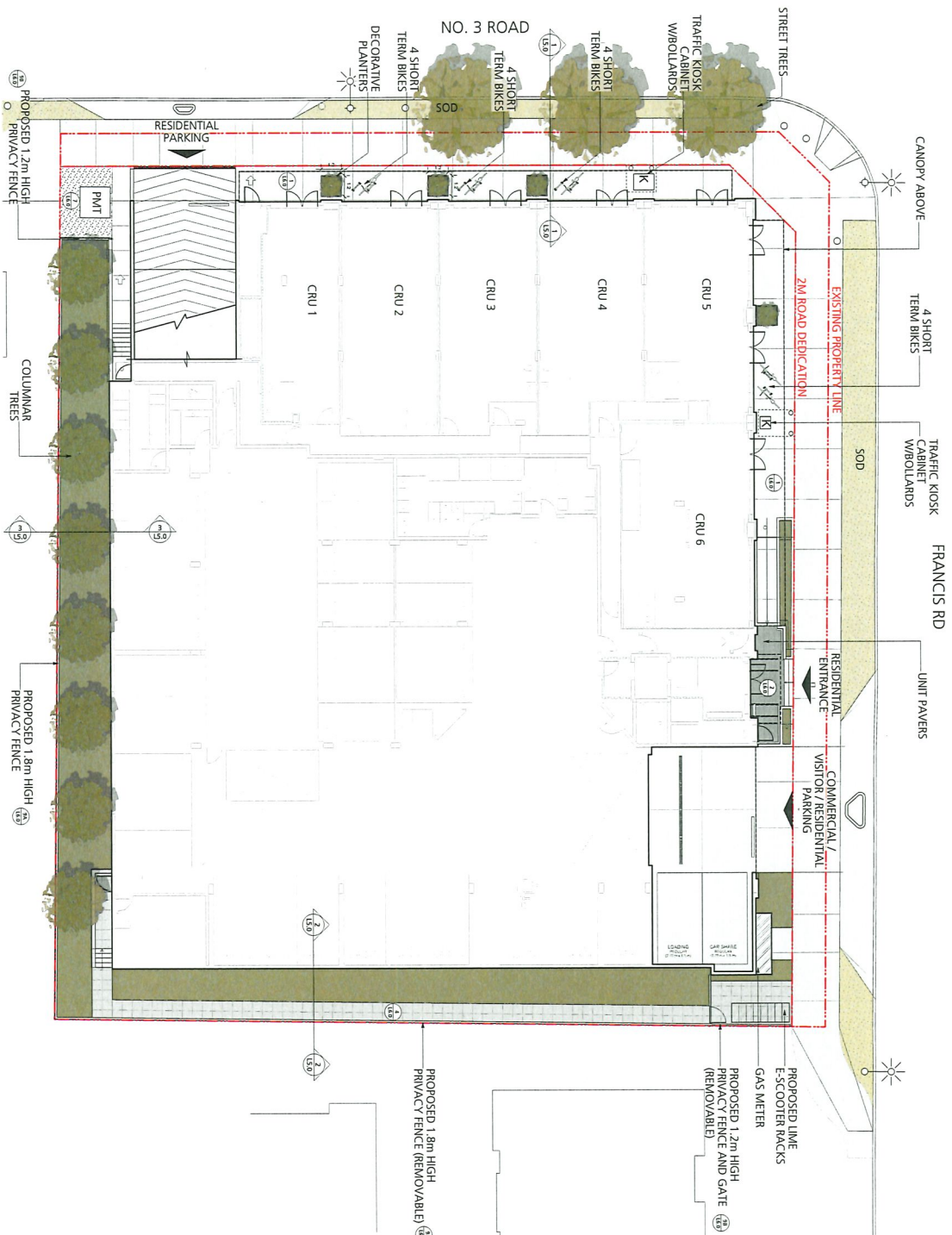
Waste Management Overlay Plan



Waste Management Overlay Plan

[illegible][illegible]

LEGEND	
	TRUCK
	TRUCK
	TRUCK SIDE/FRONT CARGO BAY/BUFFER
	TRUCK PATH
	150" HIGH 12" WIDE ZONE FORBIDS VOICE
BIN TYPES	
	CARDBOARD FRONT END CONTAINER
	GAMMAGE FRONT END CONTAINER
	OIL & GREASE CONTAINER- DRAIN
	PAPER RECYCLING
	MIXED CONTAINERS RECYCLING CART
	GLASS JARS & BOTTLE RECYCLING
	HOOD SCOWS CART



DETAIL KEY LEGEND

- | | |
|----------------------------------|------------------------------|
| 1 CLIP CONCRETE PAVING | 11 MOVEABLE CHAIRS & TABLES |
| 2 ENTRY PAVERS | 12 DINING TABLE & STOOLS |
| 3 AMENITY PAVERS | 13 BACKLESS BENCH |
| 4 REMOVABLE PAVERS | 14 URBAN AGRICULTURE BENCH |
| 5 PLAYFALL TILE RUBBER SURFACING | 15 URBAN AGRICULTURE PLANTER |
| 6 HYDRAPRESSED SLAB | 16 METAL PLANTERS |
| 7 GRAVEL STRIP | 17 ENTRY PLANTERS |
| 8 CONCRETE WALL | 18 PLAY EQUIPMENT |
| 9 1.8 m WOOD FENCE | 19 SHRUB PLANTING |
| 10 1.2 m WOOD FENCE | 20 TREE PLANTING |

Landscape Plan - Level 1



L1.0

9000 No. 3 Road
Richmond, BC

Integra ARCHITECTURE INC.

P+A

Partnership
Perry + Associates
Suzanne Perry
Suzanne Perry





Integra ARCHITECTURE INC.

P+A

Planning + Architecture
5140 Fraser Ave
Richmond, BC

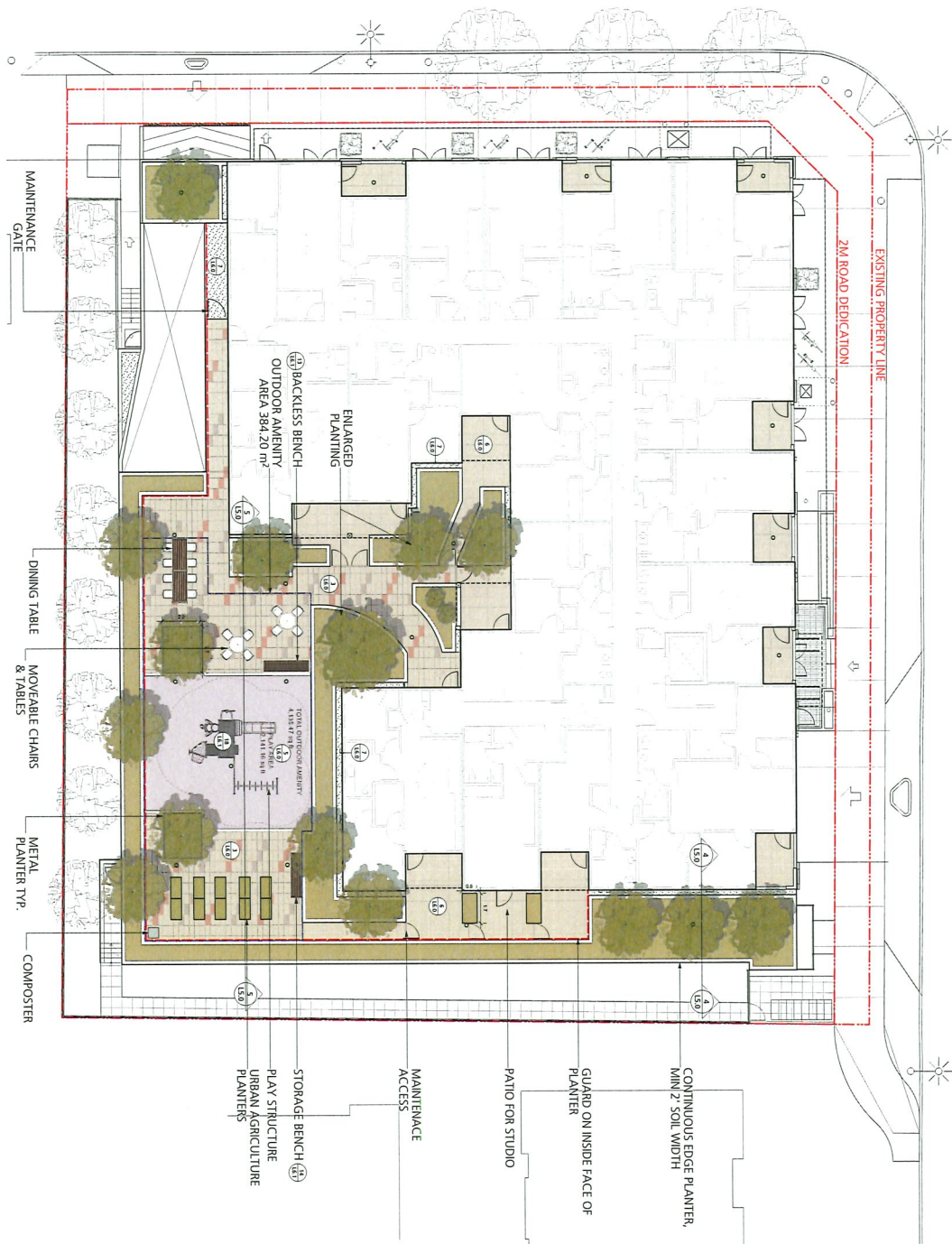
Landscape Plan - Level 3



L1.1
9000 No. 3 Road
Richmond, BC

NO. 3 ROAD

FRANCIS RD



DETAIL KEY LEGEND

- | | |
|--------------------------------------------------|----------------------------------------------|
| 1
CLIP CONCRETE PAVING
(L6.0) | 11
MOVEABLE CHAIRS &
TABLES
(L6.7) |
| 2
ENTRY PAVERS
(L6.0) | 12
DINING TABLE &
STOOLS
(L6.7) |
| 3
AMENITY PAVERS
(L6.0) | 13
BACKLESS BENCH
(L6.7) |
| 4
REMOVABLE PAVERS
(L6.0) | 14
URBAN AGRICULTURE
BENCH
(L6.7) |
| 5
PLAYFALL TILE RUBBER
SURFACING
(L6.0) | 15
URBAN AGRICULTURE
PLANTER
(L6.7) |
| 6
HYDRAPRESSED SLAB
(L6.0) | 16
METAL PLANTERS
(L6.7) |
| 7
GRAVEL STRIP
(L6.0) | 17
ENTRY PLANTERS
(L6.7) |
| 8
CONCRETE WALL
(L6.0) | 18
PLAY EQUIPMENT
(L6.7) |
| 9A
1.8 m WOOD FENCE
(L6.0) | 19
SHRUB PLANTING
(L6.7) |
| 9B
1.2 m WOOD FENCE
(L6.0) | 20
TREE PLANTING
(L6.7) |
| 10
BIKE RACK
(L6.7) | |



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Part 4: Appendix
Site Plan

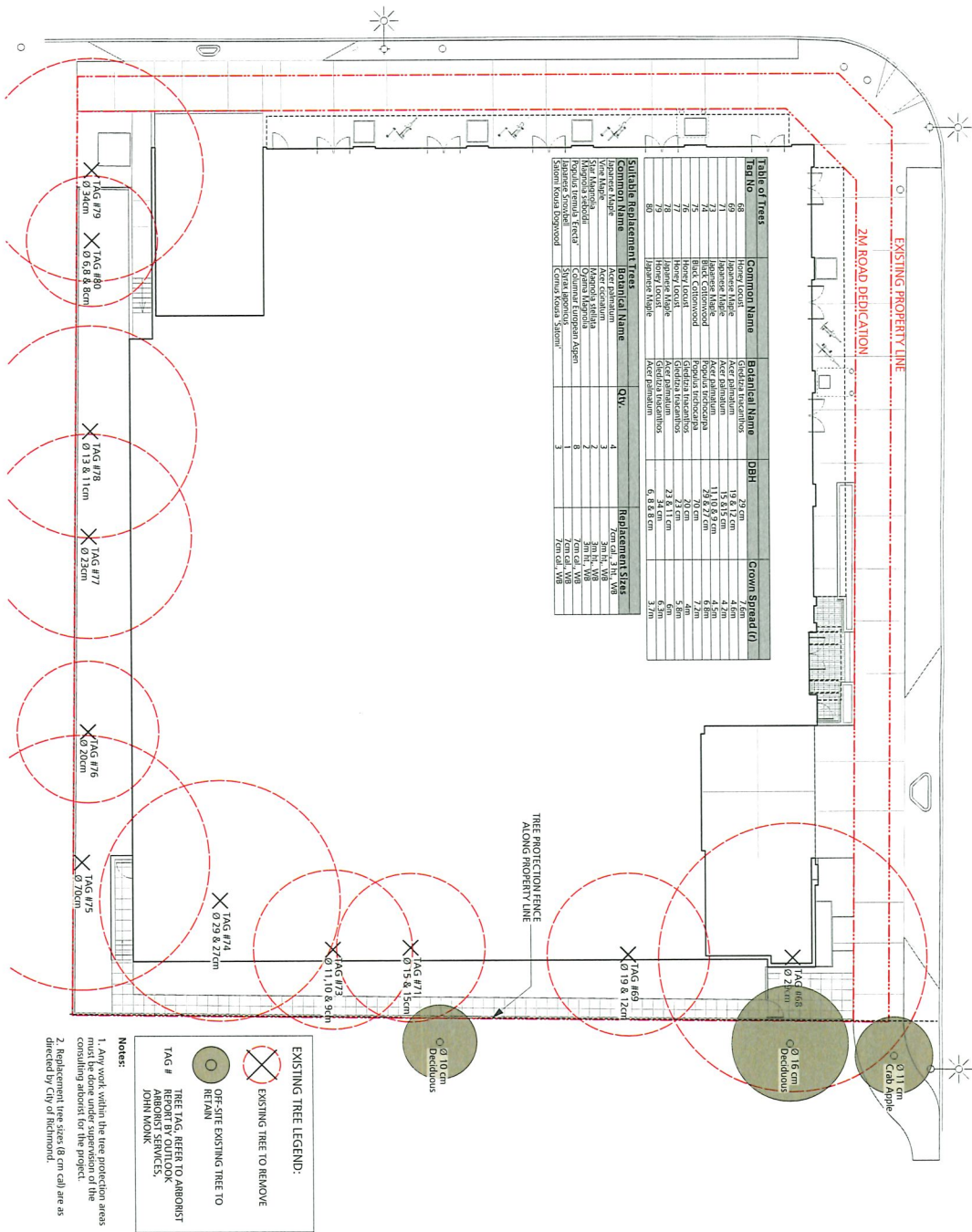
Tree Management Plan



L1.2
9000 No. 3 Road
Richmond, BC

NO. 3 ROAD

FRANKS RD

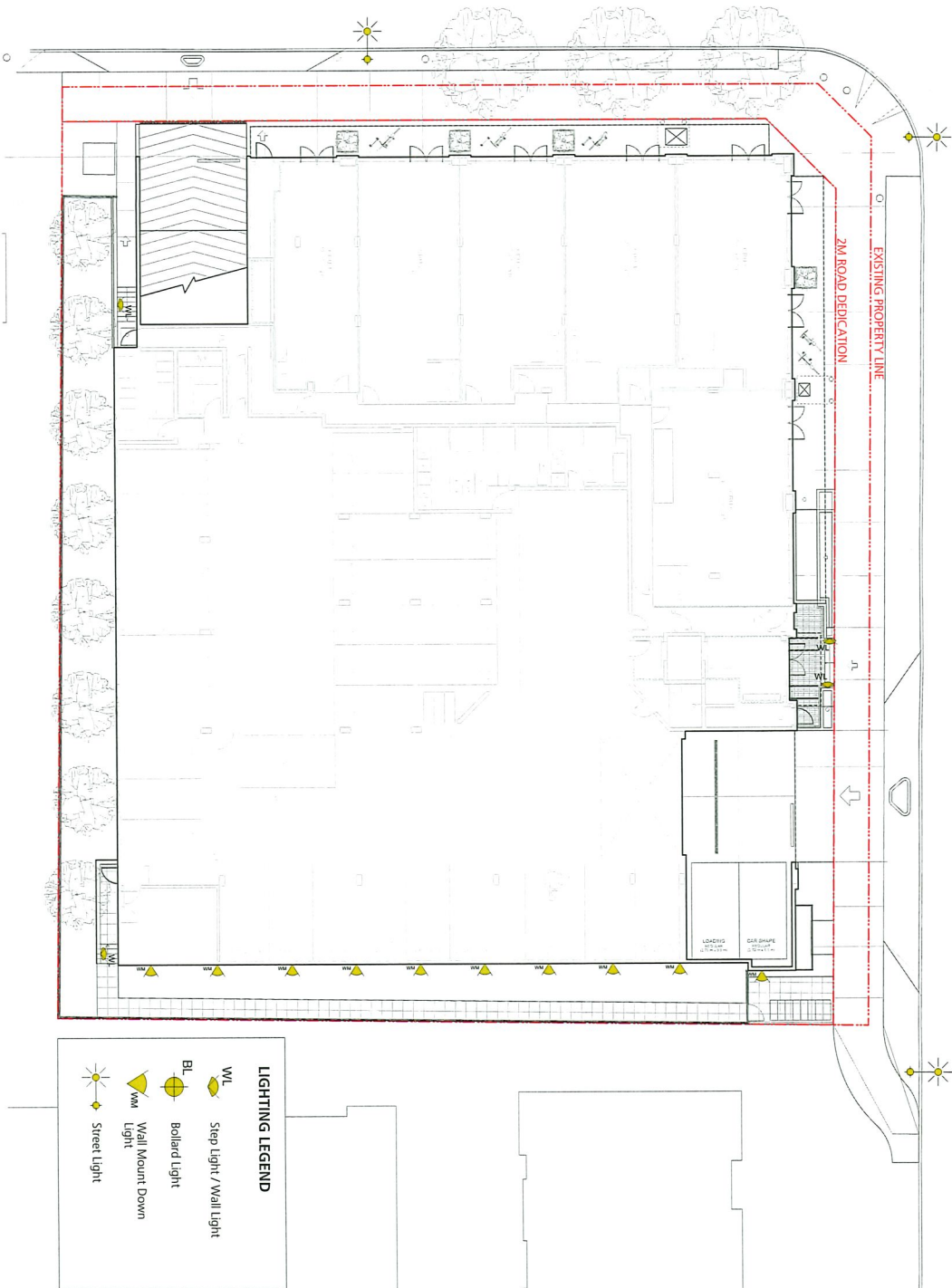




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Page 2 of 2
Site Plan
Site Plan



LIGHTING LEGEND

- WL Step Light / Wall Light
- BL Bollard Light
- WM Wall Mount Down Light
- Street Light

Lighting Plan - Level 1

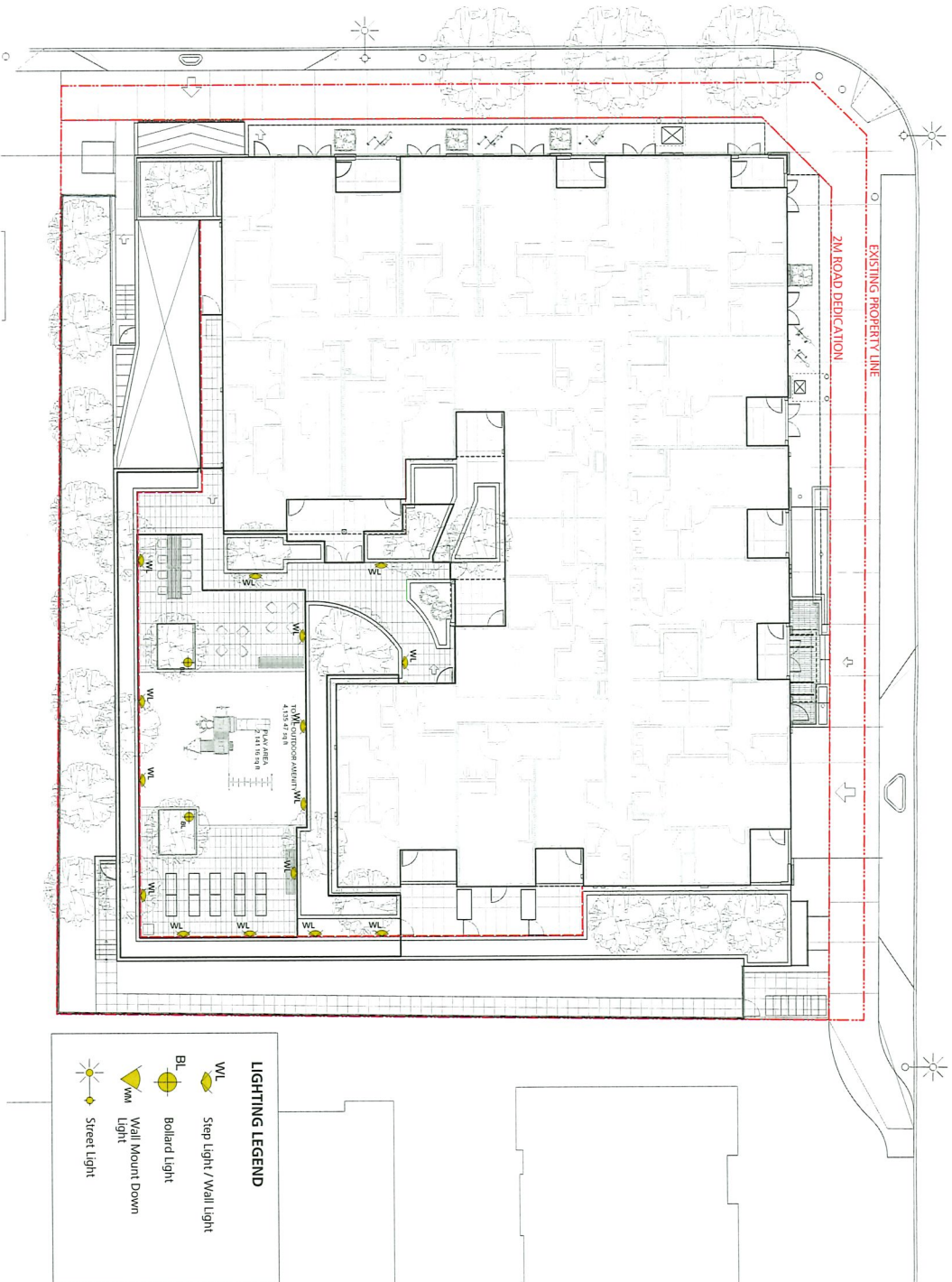




Integra ARCHITECTURE INC.

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Partnership
Site Planning



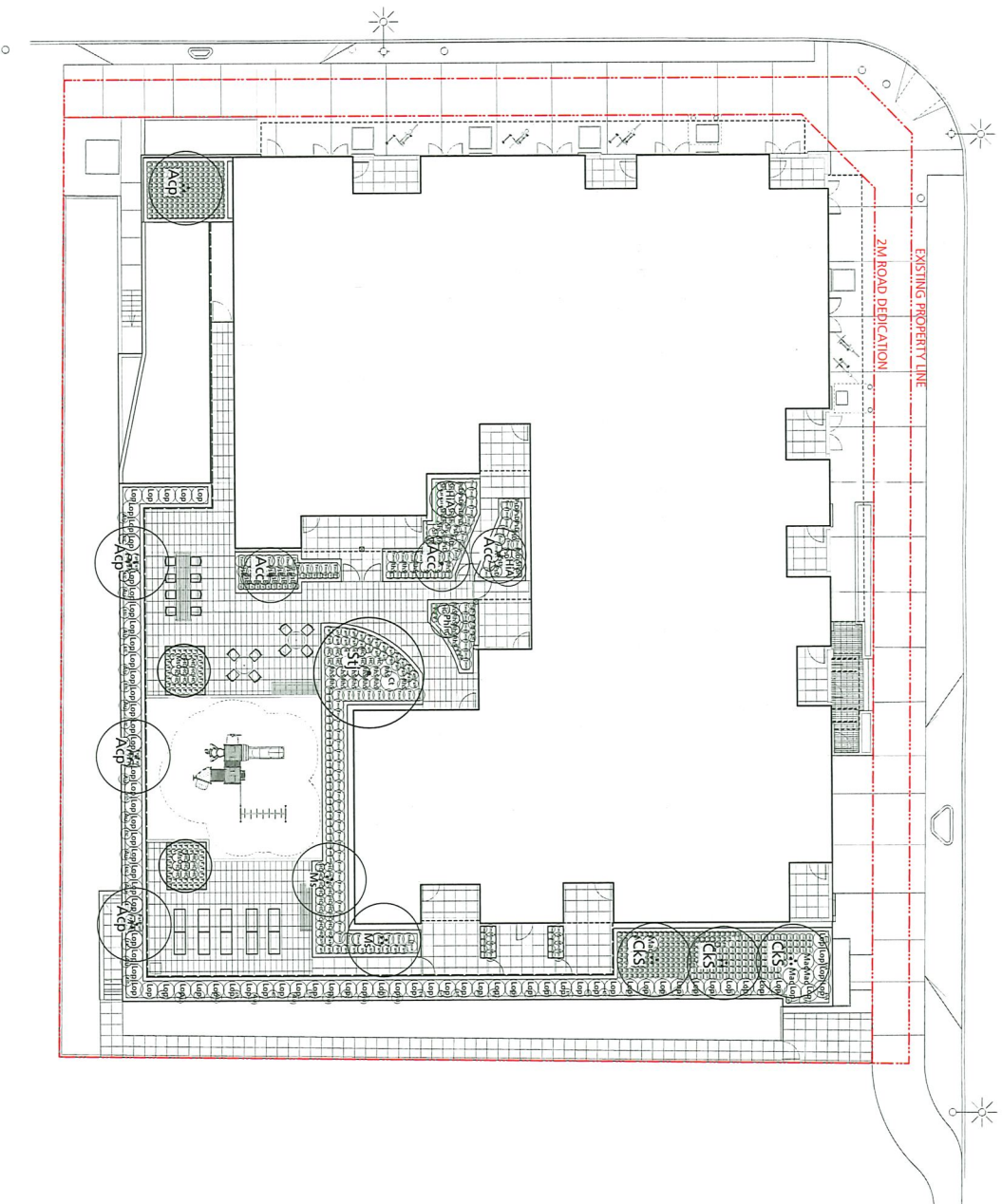
LIGHTING LEGEND

- WL Step Light / Wall Light
- BL Bollard Light
- WMD Wall Mount Down Light
- SL Street Light

Lighting Plan - Level 3





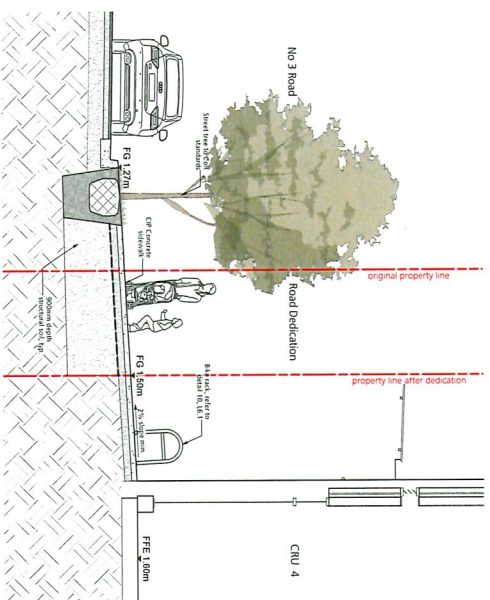


Integra ARCHITECTURE INC.

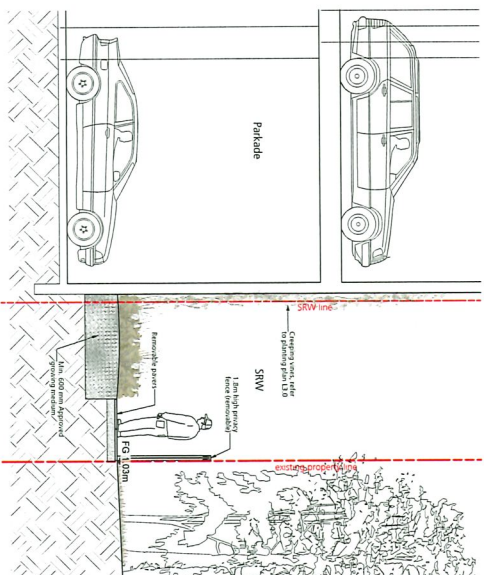
Planting Plan - Level 3

L3.1

9000 No. 3 Road
Richmond, BC

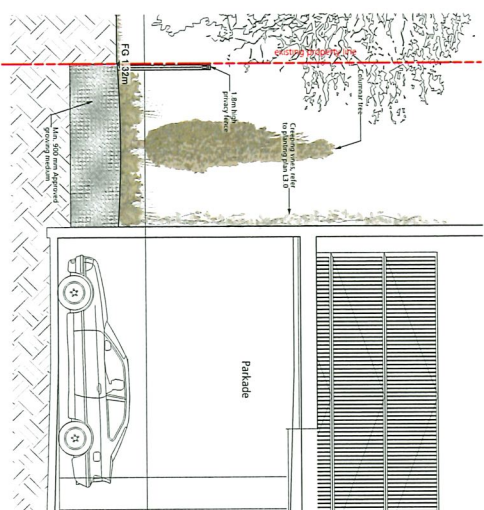


1	Section 1 - Commercial Frontage, No 3 Road
L5.0	1:50

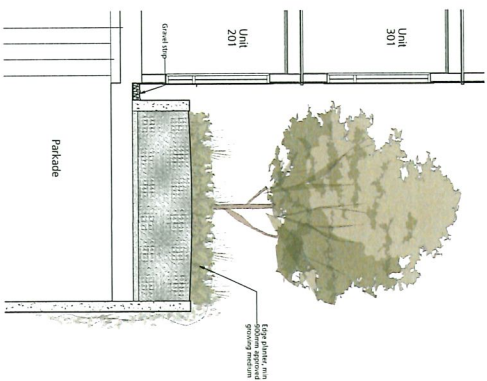


2
15.0

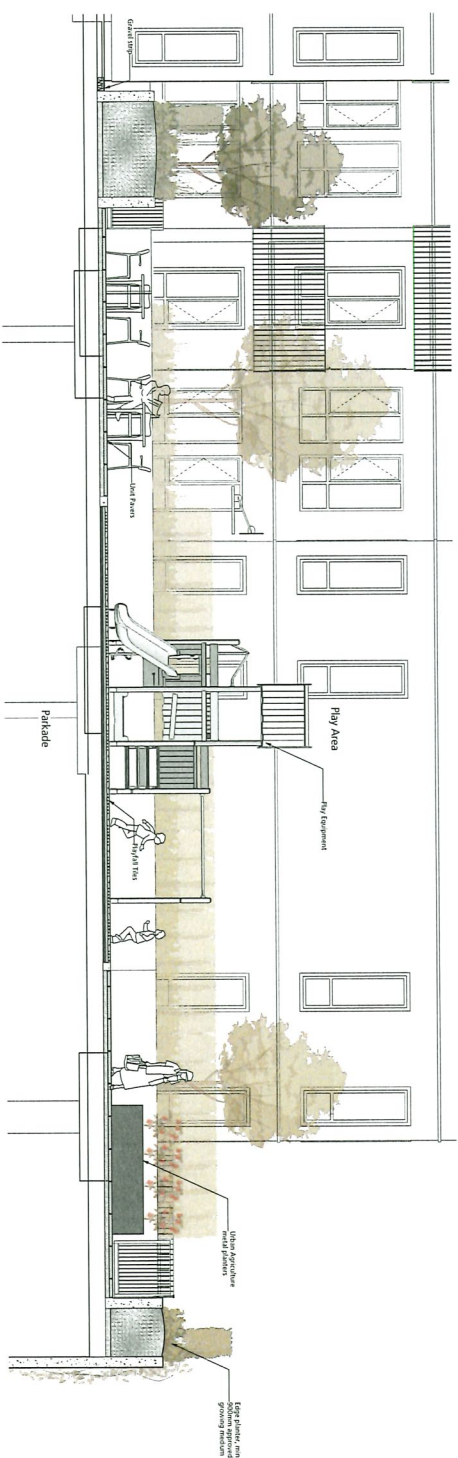
Section 2 - SRW
1:50



3 Section 3 - South building edge
15.0 1:50



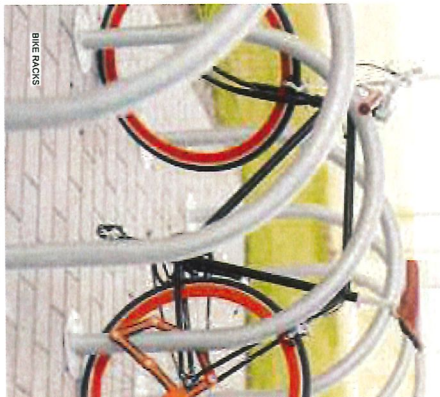
4 Section 4 - Level 2 Edge Planter
L5.0 1:50



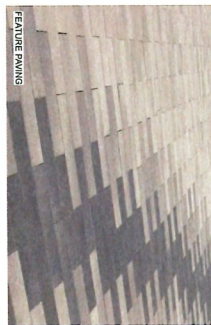
5	Section 5 - Level 2 Outdoor Amenity
15.0	1:50



MOVABLE CHAIRS AND TABLES



BIKE RACKS



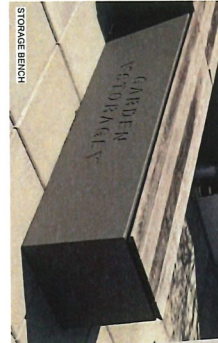
FEATURE PAINTS



CLUTTER SURFACING



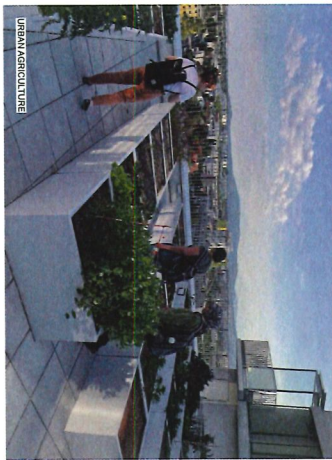
PLANTERS USED TO SEPERATE SPACES



STORAGE BENCH



PLAY EQUIPMENT



URBAN AGRICULTURE



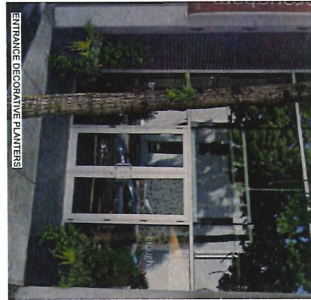
ORNAMENTAL GRASSES



ORNAMENTAL GRASSES



OUTDOOR DINING TABLE



ENTRANCE OR SCENIC PLANTERS



FEATURE PLANTING



FEATURE PLANTING



GREENING TREES



Integra ARCHITECTURE INC.

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Partners Architects
Site Planning

Precedent Images

From: Huang, Dilys
Sent: December 1, 2025 2:53 PM
To: Ken Glinz
Subject: RE: Our Concerns: DP 23-033716

To Development Permit Panel
Date: Dec. 10, 2025
Item # 2
Re: DP 23-033716
9000 No. 3 Rd.

Hi Ken and Arlene,

Thank you for your email and for taking the time to provide feedback regarding the proposed development at 9000 No. 3 Road. The City Clerk's Office has received your correspondence and will forward it to the Development Permit Panel meeting that is scheduled for December 10, 2025.

To provide some additional follow-up information, there was a Traffic Impact Assessment prepared by a Professional Engineer during the earlier rezoning stage, confirming that the traffic impacts from the development are acceptable. The site accesses are located as far away as possible from the intersection and will be limited to right-in/right-out access only to mitigate traffic and safety impacts. New traffic signal infrastructure will also be provided at the southeast corner of the intersection as part of the development's frontage improvement works, and left turn arrows will be added in the north-south direction for No. 3 Road where there are currently left turn lanes.

Kind regards,

Dilys Huang, RPP, MCIP, LEED Green Assoc. | Planner III, Development
Planning and Development | City of Richmond
T: 604-276-4139 | **E:** dhuang2@richmond.ca

From: Ken Glinz <kenglinz@gmail.com>
Sent: November 26, 2025 5:41 PM
To: CityClerk <CityClerk@richmond.ca>
Subject: Our Concerns: DP 23-033716



You don't often get email from kenglinz@gmail.com. [Learn why this is important](#)

City of Richmond Security Warning: This email was sent from an external source outside the City. Please do not click or open attachments unless you recognize the source of this email and the content is safe..

Hello Dilys Huang,

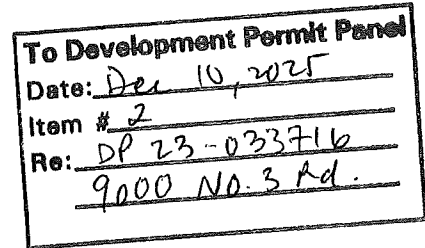
We have received the invitation to your Development Permit Panel meeting but, unfortunately are unable to attend. Can you please add our concern to your meeting agenda. The concern we have with this development is congestion and traffic safety at the intersection of #3 Road and Francis Road. We have lived in a townhouse complex (7651 Francis Road) which is located approximately 300 feet from this intersection for over 35 years, and are very familiar with vehicles (including ours) attempting to make a left-hand turn regardless of which direction they are headed and, unfortunately have observed multiple collisions over the years. At times, it can be downright scary to even attempt a left-hand turn at this intersection without having a close call.

We are not opposed with this development but, we are very concerned with both traffic safety and vehicle access in and out of this mixed-use commercial and rental property due to the proximity of the intersection. Should this Development Permit be approved, we strongly request that the City Of Richmond also upgrade the intersection with new traffic lights which include turning arrows for the multiple directions, like many other major roads in the area.

Sincerely,

Ken and Arlene Glinz

From: Huang, Dilys
Sent: December 4, 2025 10:31 AM
To: Chris Jensen
Subject: RE: DP 23-033716



Hi Chris,

The applicant has conveyed that their further correspondence was with your strata, including the strata president.

In terms of the DP Panel meeting, yes, it will be both live-streamed and recorded online – meetings can be accessed via the City's Agendas & Minutes page link provided earlier (<https://citycouncil.richmond.ca/agendas.htm>) or from the DP Panel page (<https://citycouncil.richmond.ca/schedule/WebAgendaMinutesList.aspx?Category=8&Year=2025>).

Kind regards,

Dilys Huang, RPP, MCIP, LEED Green Assoc. | Planner III, Development
Planning and Development | City of Richmond
T: 604-276-4139 | E: dlhuang2@richmond.ca



From: Chris Jensen <jensencd@gmail.com>
Sent: Thursday, December 4, 2025 8:34 AM
To: Huang, Dilys <DHuang2@richmond.ca>
Subject: Re: DP 23-033716

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safe..

Thanks Dilys,

The communication sent was sent to a single owner, not the strata president or the property manager, so we will
notify them they need to update their contact information.

Will this meeting be available to stream online?

On Wed, Dec 3, 2025 at 4:55 PM Huang, Dilys <DHuang2@richmond.ca> wrote:

Hi Chris,

Thank you for your note and your further correspondence regarding the proposed development at 9000 No. 3 Road
below – a copy has been provided to the City Clerk's Office as part of public correspondence information.

As you are aware, Panatch Group has applied to the City of Richmond for permission to develop a mixed-use commercial and residential building with 64 rental units, including 57 market rental units and seven Moderate Market Rental units, on the subject site.

The current status of the Development Permit (DP) application is that it is on the agenda for consideration at the DP Panel meeting scheduled for 3:30 pm on Wednesday, December 10th. The DP Panel is made up of three senior City staff members. Staff reports are published and included in the meeting agenda package on the City's website at <https://citycouncil.richmond.ca/agendas.htm>

In terms of the shared property line, there are no changes to its location – the applicant will only be developing the land that is located within the boundaries of their own lot and will be installing solid privacy fencing along the common property lines. I understand that there may be some confusion regarding the property line since 8080 Francis Road has landscaping that currently encroaches beyond the shared property line into the 9000 No. 3 Road subject site. Following the Public Hearing during the earlier rezoning stage, the applicant has conveyed that they have had further correspondence with your strata, including confirming that the proposed fencing along the shared property line has been updated from a low picket fence to a 1.8 m high solid wood fence, and confirming that the site survey was prepared by a certified surveyor.

Kind regards,

Dilys Huang, RPP, MCIP, LEED Green Assoc. | Planner III, Development

Planning and Development | City of Richmond

T: 604-276-4139 | E: dhuang2@richmond.ca

From: Chris Jensen <jensencd@gmail.com>

Sent: Tuesday, December 2, 2025 9:12 AM

To: Huang, Dilys <DHuang2@richmond.ca>

Subject: DP 23-033716

You don't often get email from jensencd@gmail.com. [Learn why this is important](#)

City of Richmond Security Warning: This email was sent from an external source outside the City. Please do not click or open attachments unless you recognize the source of this email and the content is safe..

Hi Dilys, would you be able to give me a quick explanation of the Development Permit Panel meeting set for December 10th? I was at the last public meeting and I'm curious where the developer is at this point as they have not had any official discussions with owners regarding the potential build and the substantial amount of land they are planning to take from our complex.

Thanks,

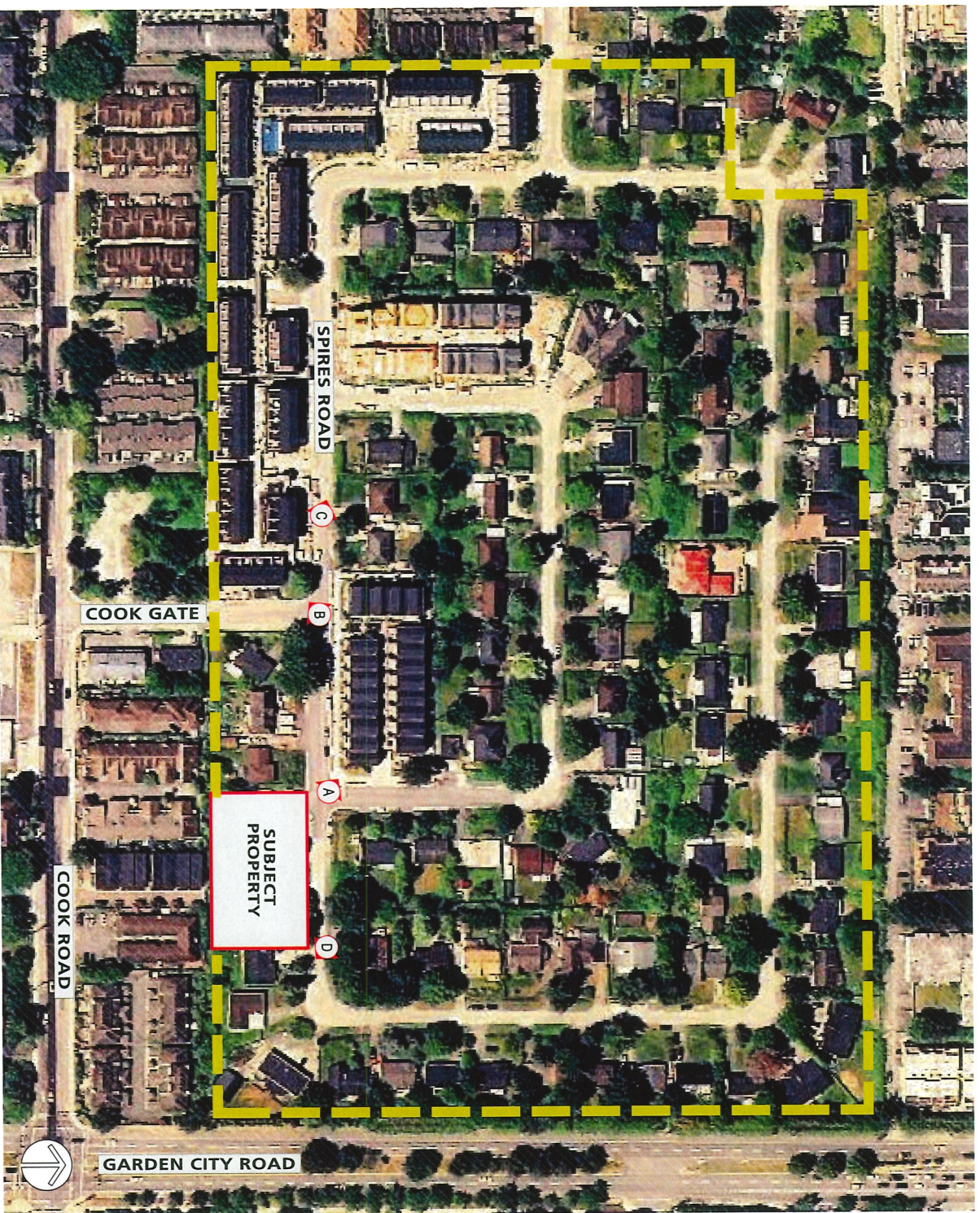
Chris

7-8080 Francis Road



LANDSLOWNE MANOR

Residential rental development at 8620, 8640, 8660 Spires Road for Bains Properties Inc.
by Fougere Architecture Inc. and PMG Landscape Architects



LANDS DOWNE MANOR

Residential rental development at 8620, 8640, 8660 Spires Road for Bains Properties Inc.
by Fougere Architecture Inc. and PMG Landscape Architects

OVERVIEW



90 RENTAL UNITS IN A 6-STORY
APARTMENT BUILDING WITH A
FAR OF 2.730.

THE PROJECT PROVIDES 68 MARKET
RENTAL HOMES AND 22 AFFORDABLE
HOUSING RENTAL HOMES.

41% OF HOMES IN TOTAL HAVE TWO
OR MORE BEDROOMS THAT ARE
SUITABLE FOR FAMILIES WITH
CHILDREN.

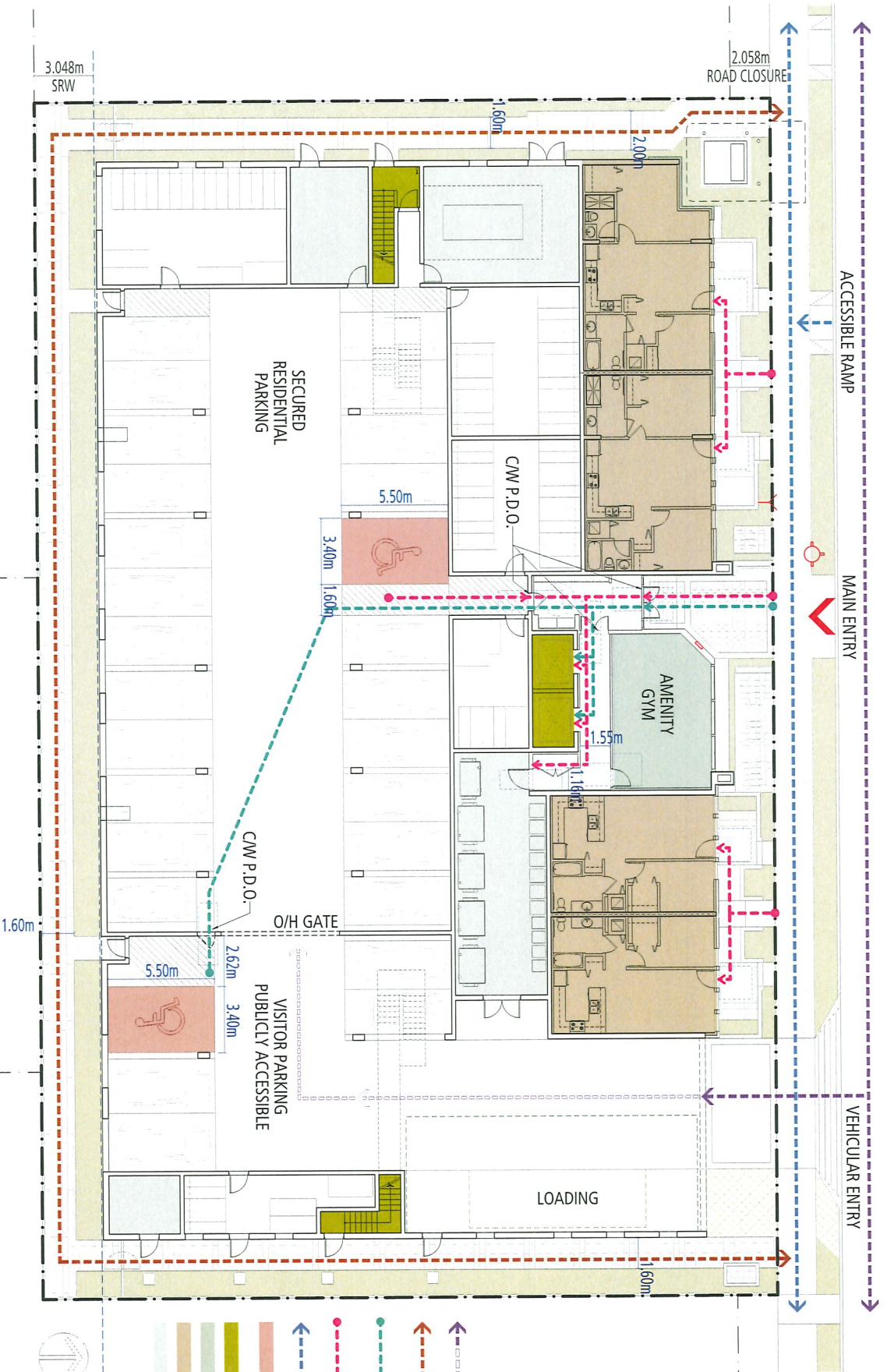
TOTAL OF 27 PARKING SPACES
INCLUDING A CAR SHARE AND
2 ACCESSIBLE PARKING STALLS
ARE PROVIDED FOR RESIDENTIAL
AND VISITOR USE.

LANDOWNE MANOR

Residential rental development at 8620, 8640, 8640, 8660 Spires Road for Bains Properties Inc.
by Fougere Architecture Inc. and PMG Landscape Architects

SPIRES ROAD

SITE LAYOUT, CIRCULATION, AND ACCESSIBILITY

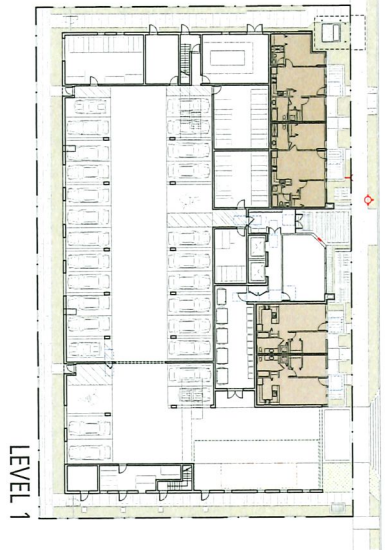


- VEHICULAR CIRCULATION
- ACCESSIBLE PATH 1600mm WIDE
- ACCESSIBLE ROUTE VISITOR
- ACCESSIBLE ROUTE RESIDENT
- ACCESSIBLE SIDEWALK
- VAN ACCESSIBLE PARKING SPACE
- ELEVATORS AND STAIRCASES
- INDOOR AMENITY TOWNHOMES
- SERVICES AND UTILITIES

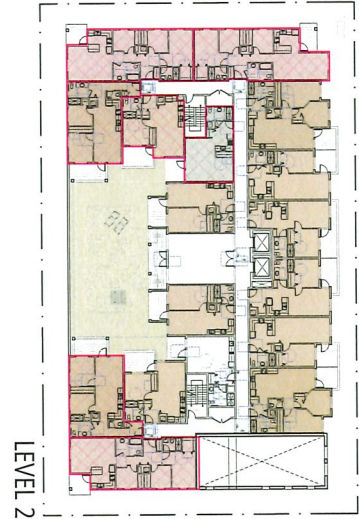
LANDS DOWNE MANOR

Residential rental development at 8620, 8640, 8660 Spires Road for Bains Properties Inc.
by Fougere Architecture Inc. and PMG Landscape Architects

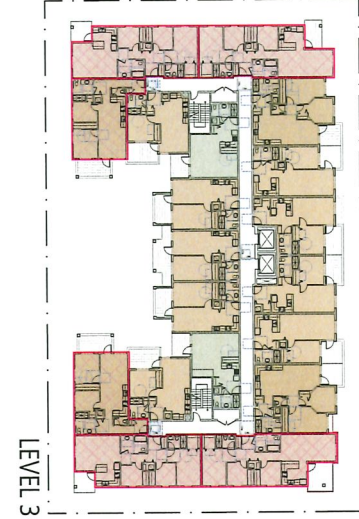
FLOOR PLANS



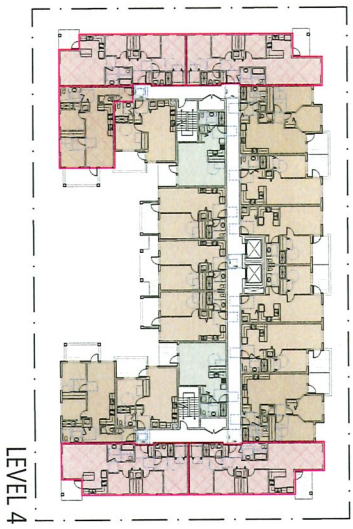
LEVEL 1



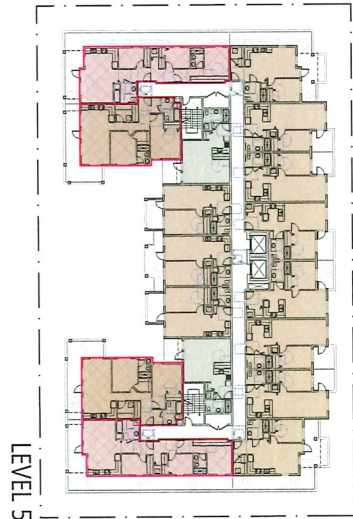
LEVEL 2



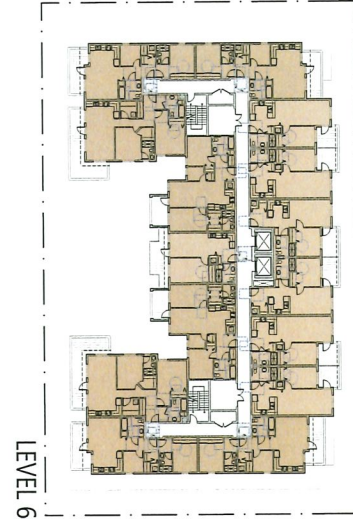
LEVEL 3



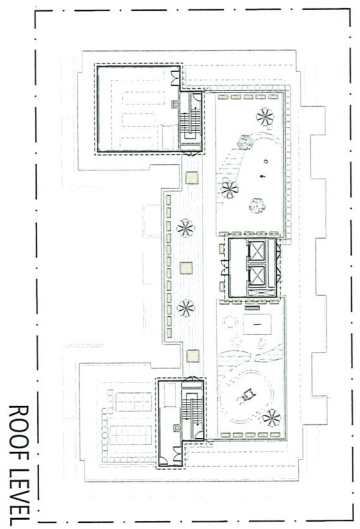
LEVEL 4



LEVEL 5



LEVEL 6



ROOF LEVEL

UNIT MIX

UNIT TYPE	MARKET RENTAL		AFFORDABLE		TOTAL HOMES	
STUDIO	6	9%	1	5%	7	8%
1 BEDROOM	45	66%	1	5%	46	51%
2 BEDROOM	17	25%	7	32%	24	27%
3 BEDROOM	0	0%	13	59%	13	14%
TOTAL	68		22		90	

LEGEND

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- AH/LEMR

All homes have Basic Universal Housing features and are designed in accordance with section 4.16 of Richmond zoning bylaw 8500.

LANDOWNE MANOR

Residential rental development at 8620, 8640, 8640, 8660 Spires Road for Bains Properties Inc.
by Fougere Architecture Inc. and PMG Landscape Architects

COMMON AMENITY SPACES

- ACCESSIBLE ELEVATORS
- OUTDOOR OPEN SPACE
- STAIRCASES
- INDOOR AMENITY ROOMS
- ACCESSIBLE CORRIDORS



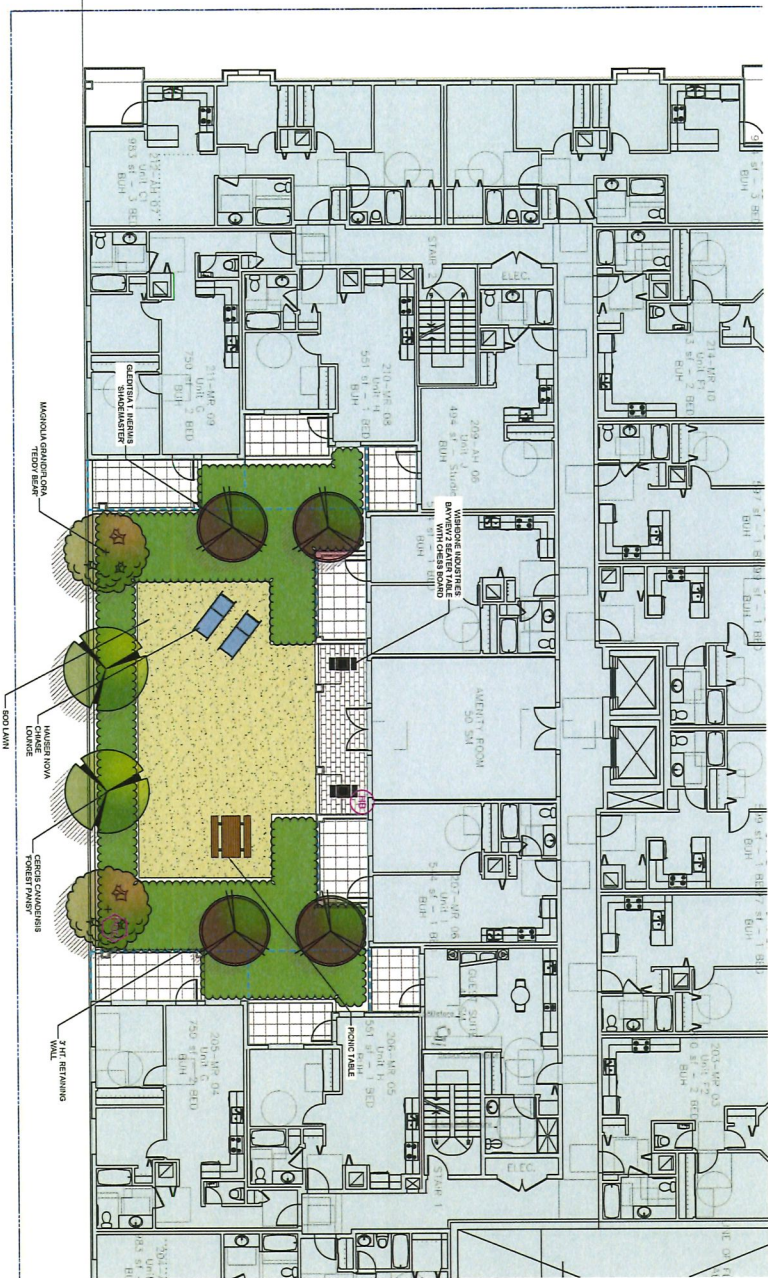
Residential rental development at 8620, 8640, 8660 Spires Road for Bains Properties Inc. by Fougere Architecture Inc. and PMG Landscape Architects

PLANT SCHEDULE

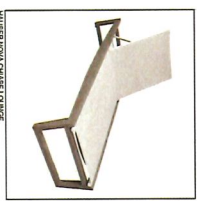
PLANT	QTY	SYMBOL	COMMON NAME	PLANTED BY / DATE	PHOTO PROJECT NUMBER
1	1	[Symbol]	QUERCUS ILEX	SHAW-WALKER	21000
2	1	[Symbol]	QUERCUS ILEX	SHAW-WALKER	21000
3	1	[Symbol]	QUERCUS ILEX	SHAW-WALKER	21000
4	1	[Symbol]	QUERCUS ILEX	SHAW-WALKER	21000
5	1	[Symbol]	QUERCUS ILEX	SHAW-WALKER	21000
6	1	[Symbol]	QUERCUS ILEX	SHAW-WALKER	21000
7	1	[Symbol]	QUERCUS ILEX	SHAW-WALKER	21000
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9	1	[Symbol]	QUERCUS ILEX	SHAW-WALKER	21000
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21	1	[Symbol]	QUERCUS ILEX	SHAW-WALKER	21000

Residential rental development at 8620, 8640, 8660 Spires Road for Bains Properties Inc. by Fougere Architecture Inc. and PMG Landscape Architects

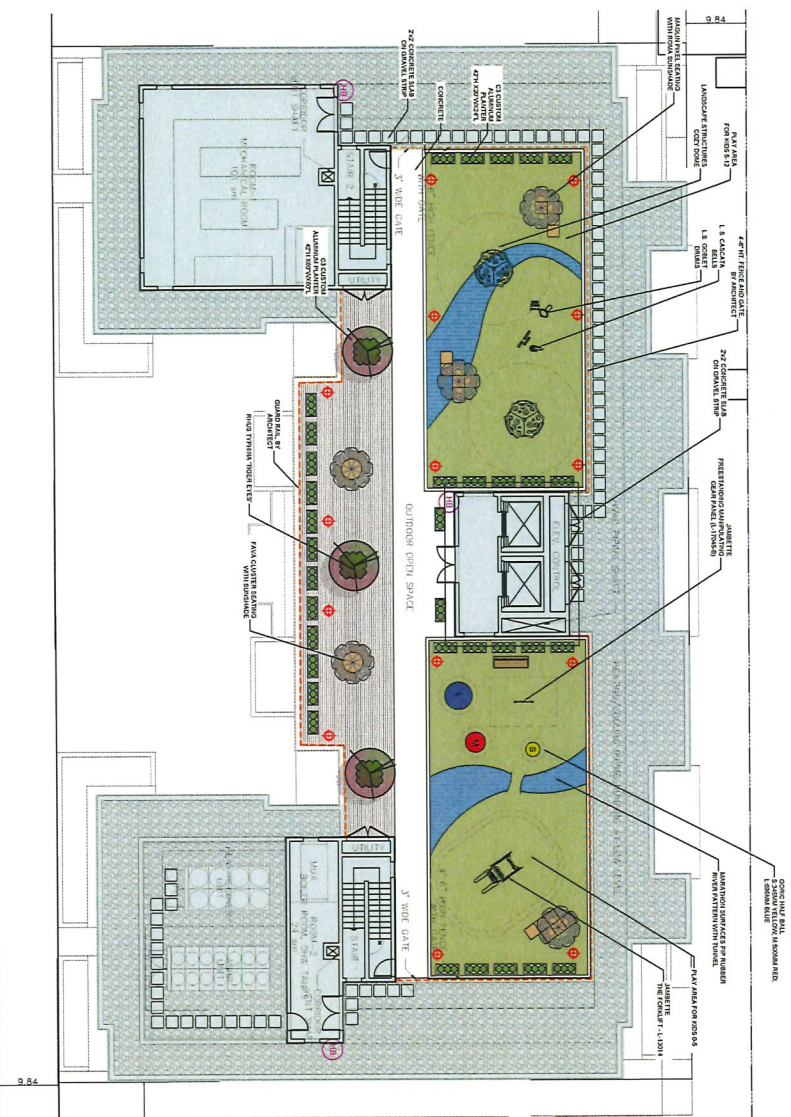
LANDSCAPE PLAN
LEVEL 2




PLANT SCHEDULE			PMG PROJECT NUMBER: 23-063	
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
4		CARPINUS BETULUS FASTIGIATA	PYRAMIDAL EUROPEAN HORNBEE	8CM CAL. 888
2		CERIS CANADENSIS FOREST PANSY	FOREST PANSY REDBUD	8CM CAL. 888
2		MAGNOLIA GRANDIFLORA TEDDY BEAR	TEDDY BEAR SOUTHERN MAGNOLIA	8CM CAL. 888



ROOFTOP



PLANT SCHEDULE			PMG PROJECT NUMBER: 23-063
KEY	QTY	BOTANICAL NAME	COMMON NAME
TREE			PLANTED SIZE / REMARKS
	3	RHUS TYPHALIA TIGER EYES	CUTLEAF STAGHORN SUMAC 2M HT.; BAB. 3 STEMS OR MORE



LANDS DOWN MANOR

Residential rental development at 8620, 8640, 8660 Spires Road for Bains Properties Inc. by Fougere Architecture Inc. and PMG Landscape Architects

SUSTAINABILITY

THE PROPOSED DESIGN WILL MEET STEP 3 + EL2 AND WILL INCLUDE THE FOLLOWING FEATURES TO MEET THE ENERGY TARGET.

THE SITE WILL CONNECT TO A DEU (DISTRICT ENERGY UTILITY).

THE SERVICING STRATEGY FOR THIS SITE IS 'DEU-READY' APPROACH, ENSURING THE BUILDING REMAINS FULLY COMPATIBLE WITH THE CITY CENTRE DISTRICT ENERGY UTILITY FOR HEATING AND COOLING WHEN OFFSITE SYSTEMS ARE DEVELOPED IN THE FUTURE.

100% OF RESIDENTIAL PARKING SPACES ARE PROVIDED WITH AN ENERGIZED OUTLET CAPABLE OF PROVIDING LEVEL 2 CHARGING OR HIGHER.

ALL REQUIRED TREE REMOVAL AND REPLACEMENT REQUIREMENTS WILL BE MET, AND ALL REPLACEMENT TREES ARE PROVIDED ON-SITE.



LANDOWNE MANOR

Residential rental development at 8620, 8640, 8660 Spires Road for Bains Properties Inc.
by Fougere Architecture Inc. and PMG Landscape Architects

BUILDING CHARACTER AND MATERIALS



EXTERIOR FINISHES SCHEME

1a	HEBRON BRICK
1b	TOASTED GRAY GLEN GERY ASPEN WHITE
2a	HARDIE PANELS BROWN - COLOUR TO MATCH SW 6146
2b	UMBER WHITE - COLOUR TO MATCH SW 7009
2c	PEARLY WHITE GRAY - COLOUR TO MATCH SW 7048
2d	URBAN BRONZE BURNT ORANGE - COLOUR TO MATCH SW 6349 PENNYWISE
3	CONCRETE FINISH - SMOOTH
4	ALUMINIUM WINDOW WALL
5	VINYL DOORS / WINDOWS WHITE
6	GLASS & ALUMINIUM RAILING WHITE
7	METAL WINDOW GRILLS WHITE
8	METAL DOORS - GREY COLOUR TO MATCH SW 7048 URBANE BRONZE
9a	METAL FLASHING BROWN - COLOUR TO MATCH SW 6146
9b	UMBER WHITE - COLOUR TO MATCH SW 7009
9c	PEARLY WHITE GRAY - COLOUR TO MATCH SW 7048
9d	URBAN BRONZE BURNT ORANGE - COLOUR TO MATCH SW 6349 PENNYWISE
10a	HARDIE SOFFIT PANELS
10b	WHITE SOFFIT - ARTIC WHITE
10c	GREY SOFFIT - NIGHT GRAY BURNT ORANGE - COLOUR TO MATCH SW 6349 PENNYWISE
11	PRIVACY SCREEN
12	ALUMINIUM AND FROSTED GLASS PERFORATED METAL MESH SCREEN
13	FIBERGLASS DOOR - COLOUR TO MATCH SW 6069 SADDLE UP

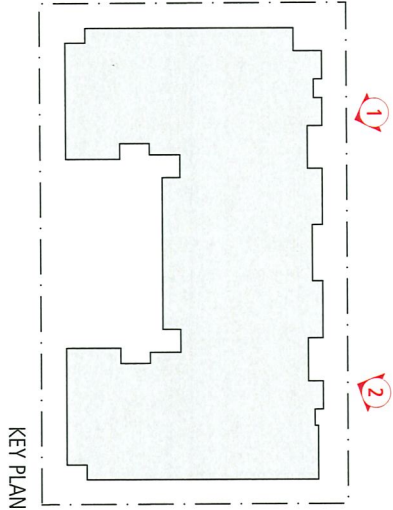
LANDS DOW NE M A N O R

Residential Rental development at 8620, 8640, 8660 Spires Road for Bains Properties Inc.
by Fougere Architecture Inc. and PMG Landscape Architects

PERSPECTIVES



VIEW 1



VIEW 2

LANDOWNE MANOR

Residential rental development at 8620, 8640, 8640, 8660 Spires Road for Bains Properties Inc.
by Fougere Architecture Inc. and PMG Landscape Architects

LANDSOWNE MANOR



Schedule 6 to the Minutes of
the Development Permit Panel
meeting held on Wednesday,
December 10, 2025

To Development Permit Panel	
Date:	DEC. 10, 2025
Item #	3
Re:	DP 25-010558
8620, 8640 AND 8660 SPIRES ROAD	

From: Jose G <corvette_racer@hotmail.com>
Sent: December 4, 2025 10:17 PM
To: Lee, Edwin <ELee@richmond.ca>
Subject: Concerns re DP 25-010558

You don't often get email from corvette_racer@hotmail.com. [Learn why this is important](#)

City of Richmond Security Warning: This email was sent from an external source outside the City. Please do not click or open attachments unless you recognize the source of this email and the content is safe..

Hello Mr. Lee, Thank you for our phone conversation today. As you suggested, I'm putting my concerns in writing as a resident of the Spires Road neighbourhood. This development during its construction will at times remove access to my house at 8935 Cook Crescent. There are already at least 5 major developments plus a water/sewer project in progress in our neighbourhood, which on rare occasion over the last several years (as I have pointed out at previous development permit panel meetings and to several City staff) have prevented access with surprise road closures. These closures have ranged for reasons including roadwork, large delivery trucks bringing supplies, or cranes or construction machinery being stationed in the roadway. The current water/sewer construction on Cook Crescent and construction on properties on Spires Road have shut down access to our house from one side for an extended period. My concerns are about access to my home for myself and for emergency vehicles and the lack of coordination of construction blockages by the City of Richmond. I'm particularly worried about having more road closures and blockages that often last more than 20-30 minutes - especially since this project will impact the only remaining section of road that is open to vehicles coming into houses on Cook Crescent.

Some questions about who has authority and responsibility **at the City of Richmond:**

Who is responsible for ensuring emergency vehicles are able to get to houses in an emergency when they need to cross roadways where construction projects are underway?

Who is responsible for coordinating road impacts from projects to ensure access is maintained across projects affecting a neighbourhood? Does this responsibility include emergency vehicle access?

Who makes sure residents are informed about upcoming road blockages?

Who can I inform when I encounter unexpected blocked roads for more than 20-30 minutes?

Please let me know when you receive this email.

Thank you,
Jose Gonzalez
8935 Cook Crescent
[REDACTED]



To: Development Permit Panel

Date: December 17, 2025

From: Joshua Reis
Director, Development

File: DP 24-045175

Re: Application by DF Architecture Inc. for a Development Permit at 9951, 9991
Blundell Road and 7951 No. 4 Road

Staff Recommendations

That a Development Permit (DP) be issued which would:

1. Permit the construction of 14 townhouse units at 9951, 9991 Blundell Road and 7951 No. 4 Road on a site zoned "Medium Density Townhouses (RTM2)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - a) Reduce the front yard and exterior side yard setbacks for Building 3 from 6.0 m to 4.8 m and 5.1 m, respectively; and
 - b) Increase the ratio of residential parking spaces in tandem arrangement from 50 per cent to 58 per cent.

Joshua Reis
Director, Development
(604-247-4625)

JR:el
Att. 3

Staff Report

Origin

DF Architecture Inc., on behalf of West Karagon Properties Inc. (Incorporation number: BC1016240; Director: Rupinder Kaur Garcha), has applied to the City of Richmond for permission to develop 14 townhouse units at 9951, 9991 Blundell Road and 7951 No. 4 Road (Attachment 1). Two of the townhouse units are proposed to be designed according to the convertible unit guidelines.

The site is being rezoned from the “Small-Scale Multi-Unit Housing (RSM/XL)” zone to the “Medium Density Townhouses (RTM2)” zone for this project under Bylaw 10596 (RZ 19-856171), which received third reading on September 23, 2024.

A Servicing Agreement is required as a condition of rezoning adoption and includes, but is not limited to, the following improvements:

- Design and construct frontage beautification along the site frontages, including:
 - a new 2.0 m wide concrete sidewalk and a 3.55 m wide grass boulevard with street trees along No. 4 Road;
 - a new 2.0 m wide concrete sidewalk and a 3.5 m wide grass boulevard with street trees along Blundell Road;
 - relocation/upgrade/replacement of the traffic signal infrastructure at the northwest corner of the Blundell Road/No. 4 Road intersection affected by the abovementioned frontage improvement works (including junction boxes (for traffic loop, communications and traffic signal), eastbound traffic loop detectors, and traffic signal pole/base, that are beyond those required as a result of the impact of frontage improvements); and
 - a new fire hydrant.
- Remove an existing sanitary sewer along the Blundell Road frontage.
- Provide new service connections.

Development Information

Please refer to the attached Development Application Data Sheet (Attachment 2) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

To the North: An existing 12-unit townhouse complex fronting Keefer Avenue, on a lot zoned “Low Density Townhouses (RTL3)”.

To the South: Across Blundell Road are two single-family homes on lots zoned “Small-Scale Multi-Unit Housing (RSM/L)” and an existing 13-unit townhouse complex on a lot zoned “Low Density Townhouses (RTL1)”.

To the East: Across No. 4 Road and located within the Agricultural Land Reserve, are a Montessori school on a lot zoned “Neighbourhood Commercial (CN)” and single-family homes on lots zoned “Agriculture (AG1)”.

To the West: An existing 25-unit townhouse complex with access from Keefer Avenue, on a lot zoned “Town Housing (ZT60) – North McLennan (City Centre)”.

Rezoning and First Reading Results

The associated rezoning application was granted first, second and third reading by Council at its meeting of September 23, 2024. No concerns regarding the rezoning application were expressed by members of the public during the Council meeting.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject DP application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the “Medium Density Townhouses (RTM2)” zone, except for the zoning variances noted below.

Zoning Compliance/Variations (staff comments in ***bold italics***)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Reduce the front yard and exterior side yard setbacks for Building 3 from 6.0 m to 4.8 m and 5.1 m respectively.

(The proposed reduction in the front yard (Blundell Road) setbacks is a result of the alignment of the internal drive aisle, which must be designed to complete the horseshoe drive aisle pattern envisioned when the neighbouring townhouse complexes were developed and to connect to the internal drive aisle of the townhouse complex to the west of the site. The resulting building setback to Blundell Road is consistent with the same setback at the adjacent townhouse development to the west.

The proposed reduction in the exterior side yard setback (from No. 4 Road) facilitates a larger west side yard setback to provide a protection buffer to the existing trees (on site and on the adjacent property to the west) located along the common property line, which are identified for retention as part of the development.

The resulting distance from the back of the curb of both road frontages to the building face would be approximately 10.38 m to 10.79 m. To protect the future dwelling units at the subject site from potential noise impacts generated by traffic on Blundell Road and No. 4 Road, a restrictive covenant has been secured at rezoning to ensure that noise attenuation is to be incorporated into dwelling unit design and construction.

This variance was identified at the time of the rezoning application. Staff support the requested variance, recognizing that road dedications along both No. 4 Road (approximately 2.42 m) and Blundell Road (approximately 3.0 m are required.)

- 2) Increase the ratio of residential parking spaces in a tandem arrangement from 50 per cent to 58 per cent.

(The applicant proposes a tandem parking arrangement in eight of the 14 units, representing 16 spaces in total.

Based on the City Centre location, 20 residential parking spaces are required for this 14-unit development, where six of these units could have their required parking spaces in a tandem arrangement.

By permitting an extra two units to have their residential parking spaces in a tandem arrangement, the applicant can provide eight extra residential parking spaces on-site. With the extra residential parking spaces provided on-site, and on-street parking available on both sides of both Blundell Road and No. 4 Road during off-peak hours, staff do not envision any noticeable impact to parking in the immediate neighbourhood due to the proposed tandem parking variance.

This variance was identified at the time of the rezoning application and is supported by Transportation Department staff. A restrictive covenant to prohibit the conversion of the tandem garage area into habitable space has been secured at rezoning.)

Advisory Design Panel Comments

The Advisory Design Panel (ADP) has reviewed the project and supports the proposal. A copy of the relevant excerpt from the ADP Minutes, is attached for reference (Attachment 3). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '***bold italics***'.

Analysis

Conditions of Adjacency

- The subject development is considered an extension of the adjacent townhouse developments at 9888 Keefer Avenue (DP 09-500638, issued on February 8, 2010) and 9733 Blundell Road (DP 11-592270, issued on March 25, 2013).
- Vehicle access to the subject site is proposed through an existing access easement registered on Title of the adjacent property to the north at 9888 Keefer Avenue over that site's eastern driveway, and a Public Right-of-Passage (PROP) Statutory Right-of-Way (SRW) registered on Title of the adjacent property to the west at 9733 Blundell Road.
- The proposed internal drive aisle layout on the subject site completes the horseshoe drive aisle pattern and transportation network established through the associated rezoning applications for the adjacent townhouse developments to the north and west, connecting the eastern driveway at 9888 Keefer Avenue to the southeastern end of the internal drive aisle at 9733 Blundell Road.
- A PROP SRW to permit the shared use of the subject site's internal drive aisles by vehicular traffic generated by the adjacent developments at 9888 Keefer Avenue and 9733 Blundell Road has been secured at rezoning.

- The applicant has submitted a copy of a SRW and Easements Repair and Maintenance Agreement (on file), signed by both adjacent strata and the developer of the subject site, confirming the shared uses of the common area (drive aisles) among the three strata/properties, and that the three parties have reached an agreement in repair and maintenance of the shared drive aisles.
- The proposed form and massing of the buildings are compatible with the existing adjacent developments on the block. The proposed massing steps down in building height from three-storey to two-storey at the edges of the two streetscape buildings adjacent to existing developments.
- Deeper rear (west) yard (minimum of 5.98 m instead of 3.0 m) are proposed to enhance rear yard buffering.
- The existing site grade along the north and west property lines will be maintained to provide an appropriate transition to the adjacent residential developments and to accommodate tree retention along the common property lines.
- Existing fence along the north and west property lines will be maintained (and replaced where necessary) to protect the privacy of the neighbouring residential developments.
- Perimeter drainage will be required as part of the building permit to ensure stormwater is managed and addressed through the development and will not impact the neighbouring properties.
- An Agricultural Land Reserve (ALR) buffer is to be provided along the site's No. 4 Road frontage to mitigate land use conflicts between the proposed residential uses on the subject site and any agricultural land uses east of No. 4 Road. The project Landscape Architect confirmed that the design of the proposed 4.5 m wide landscaped buffer is consistent with the Ministry of Agriculture's Guide to Edge Planning. A restrictive covenant has been secured at rezoning to ensure that the ALR buffer will not be removed or modified without the City's approval.

Urban Design and Site Planning

- The proposal of conventional townhouses with individual garages generally complies with the form of housing envisioned under "Sub-Area B.1: Mixed Use – Low-Rise Residential & Limited Commercial" of the City Centre Area Plan (CCAP), as well as the land use designation of "Residential, 2 ½ storeys typical (3-storey maximum) Townhouse, Triplex, Duplex, Single-Family" of the McLennan South Sub-Area Plan.
- The basic concept of McLennan South Sub-Area Plan has been used in this development by providing a larger primary building - Building 3 - which consists of six units and two smaller buildings - Buildings 1 & 2 - consisting of 4 units each.
- The layout of the townhouse units is oriented around a single driveway providing access to the site through an easement registered on Title of the adjacent property to the north at 9888 Keefer Avenue and through a PROP SRW registered on Title of the adjacent property to the west at 9733 Blundell Road.

- Units along the two road frontages are designed to have a strong street presence with individual front entrances and yards. Units in Building 1 will have access from the internal drive aisle and a yard space backing onto the adjacent townhouse development to the west.
- All units will have two-vehicle parking spaces and individual garages. The number of residential parking spaces proposed exceeds the minimum bylaw requirement. Six units are proposed to have garages in a side-by-side arrangement, and eight units are proposed to have garages in a tandem arrangement.
- A total of three visitor parking spaces, including one accessible visitor parking space, will be provided. The number of visitor parking spaces proposed complies with the minimum bylaw requirement.
- Both internal and external bicycle parking spaces have been incorporated into the proposal and comply with the zoning bylaw requirements.
- The provision of private outdoor spaces complies with the DP Guidelines of the OCP.
- All units will have private outdoor spaces consisting of a front or a rear yard, as well as deck/balcony spaces on the second floor.
- Outdoor amenity space is proposed in a central area for maximum casual surveillance opportunity. The size and location of the outdoor amenity space are appropriate for providing an open landscape and amenity space convenient to all units.
- No indoor amenity space is proposed on site. A \$28,924.00 cash-in-lieu contribution has been secured as a condition of rezoning approval, consistent with the OCP.
- This complex is designed for door-to-door garbage, recycling and organic waste pick up and holding areas will be accommodated in the spaces between garage doors and the drive aisle curb.
- An easily accessible mailbox kiosk will be provided at a central location of the site (i.e., by the outdoor amenity space).

Architectural Form and Character

- The architecture reflects a contemporary take on traditional design with elements from West Coast architectural style. This architectural style is characterized by clean lines, simplicity and functionality. The use of different depths and elements like balconies and bay windows creates a dynamic and playful appearance.
- The shape and form of buildings are sufficiently varied to avoid monotonous appearance. A pedestrian scale is generally achieved along the road frontages through the inclusion of the use of individual unit entrances, porches, bay windows projections, dormers, varied roof lines, and landscape features.
- The proposed building materials (such as Hardie siding, Hardie board and batten and brick veneer) are generally consistent with the OCP.
- Consistent with the overall design concept for this development, the colour scheme is designed to be minimalist. A lighter colour palette is used on the bottom part of the building and on the siding and board & batten for the upper parts of the buildings.

Contrasting darker shades are used on window frames, garage doors, entry doors, roof fascia and asphalt roofing shingles in contrast with the lighter shades on the main façade of buildings to enhance the elevations and create visual interest.

Tree Preservation

- At rezoning, the following trees located on the site were identified for retention and will continue to be protected as part of the DP:
 - A 60 cm caliper Western red cedar tree (tag #835) on site is in excellent condition and is to be retained and protected with a 4 m tree protection zone out from the base of the tree. Alignment of the new sidewalk along No. 4 Road will be designed to minimize impact to this protected tree.
 - Three cedar trees (tag# 9, #10 & #11) on site.
- A Tree Survival Security in the amount of \$40,960.00 has been secured at rezoning to ensure that these four trees identified for retention will be protected.
- Five City trees (tag # City01-05) located on City property are also identified for retention; a Tree Survival Security in the amount of \$25,600.00 has been secured at rezoning.
- 11 off-site trees (tag # OS01-OS08 & OS12-OS14) and a row of hedges (tag # OS Hedge01), all located on the adjacent properties to the north and west, will also be retained and protected.
- 15 on-site trees (tag #833 - 834, 836 - 838, 8786, 8787 - 8795) were identified for removal due to their poor to moderate conditions and conflicts with the driveway alignment/connections to the neighbouring sites. Based on the OCP and Tree Protection Bylaw requirements, 30 replacement trees are required. The applicant is proposing to plant 26 replacement trees on-site, including seven conifers and 19 deciduous trees. The landscape architect confirmed that the proposed tree planting on site has been maximized to the extent possible and takes into consideration the trees to be retained on site, on the neighbouring properties, and within the city boulevard.
- A voluntary contribution of \$3,000.00 (\$750/tree) to the City's Tree Compensation Fund in lieu of planting the remaining four replacement trees will be required prior to DP issuance.
- Parks has approved the removal of a cedar tree (tag # Shared1) located in the road dedication area, and a total of \$3,000.00 cash compensation has been secured at rezoning.

Landscape Design and Open Space Design

- The landscape design incorporates drought-tolerant and adaptable plant species, ensuring they are well-suited for their locations, soil depth and sun exposure.
- To protect the privacy of neighbouring homes, trees and layers of shrubs are planted along shared property lines to create natural screening, while a 1.8-meter-high wood fence provides additional privacy.
- The street edge along the road frontages will be defined with landscaping, including large patios, trees, and layers of shrubs. A low transparent aluminum fence with gates will be installed along the road frontages to accommodate visually interesting plant species.

- The design of the 4.5-meter wide ALR buffer generally follows the Ministry of Agriculture's Guide to Edge Planning. A diverse, multi-layered vegetation screen is proposed to mitigate the effects of noise, dust, and light from the agricultural area. A combination of coniferous and deciduous trees and various shrubs will provide year-round screening. Native species have been included.
- An on-site irrigation system is proposed to ensure the continued maintenance of live landscaping.
- The outdoor amenity area has been designed to provide a multifunctional space for residents. The children's play area is designed for younger age groups, featuring equipment that promotes social interaction, imaginative play and balance. A bench is also proposed in the children's play area for caregivers.
- Surface parking spaces and designated walkways on-site will be treated with permeable pavers for better water infiltration and variety in paving surfaces.
- To ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$119,959.62 in association with the DP.

Crime Prevention Through Environmental Design

- The development has been designed with street-oriented townhouses that provide surveillance of Blundell Road and No. 4 Road.
- All entrances are visible and overlooked by pedestrians or by neighbours' windows.
- Plantings near residential entries are low to maximize views.
- Low fencing is designed to encourage interaction between neighbours and foster a sense of community.
- All parking and pedestrian areas will be lit with bollard light, recessed light and surface façade light, as well as building mounted lighting to provide adequate outdoor security illumination; all lighting will be dark sky certified.

Sustainability

- Consistent with Provincial Energy Step Code and Zero Carbon Step Code requirements, this project is expected to be designed to achieve Step 3 with maximum Emission Level 4.
- The following features will also be included in the development:
 - High-efficiency, double-glazed, thermally broken windows with low U-values.
 - High-efficiency, low-water-consumption kitchen and bathroom faucets as well as toilets.
 - Energy-efficient LED lighting and energy-efficient bulbs for fixtures in common areas.


Accessible Housing

- The proposed development includes two convertible units (Units A1 & A2) that are designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of these units will require the installation of a chair lift (where the staircase has been dimensioned to accommodate this in these units) in the future if desired.

- All of the proposed units incorporate aging-in-place features to accommodate mobility constraints associated with aging. These features include:
 - stairwell handrails;
 - lever-type handles for plumbing fixtures and door handles; and
 - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Conclusions

As the proposed development would meet applicable policies and DP Guidelines, staff recommend that the DP be endorsed, and issuance by Council be recommended.



Edwin Lee
Planner 2
(604-276-4121)

EL:js

Att. 1: Location Map
2: Development Application Data Sheet
3: Advisory Design Panel Minutes

The following are to be met prior to forwarding this application to Council for approval:

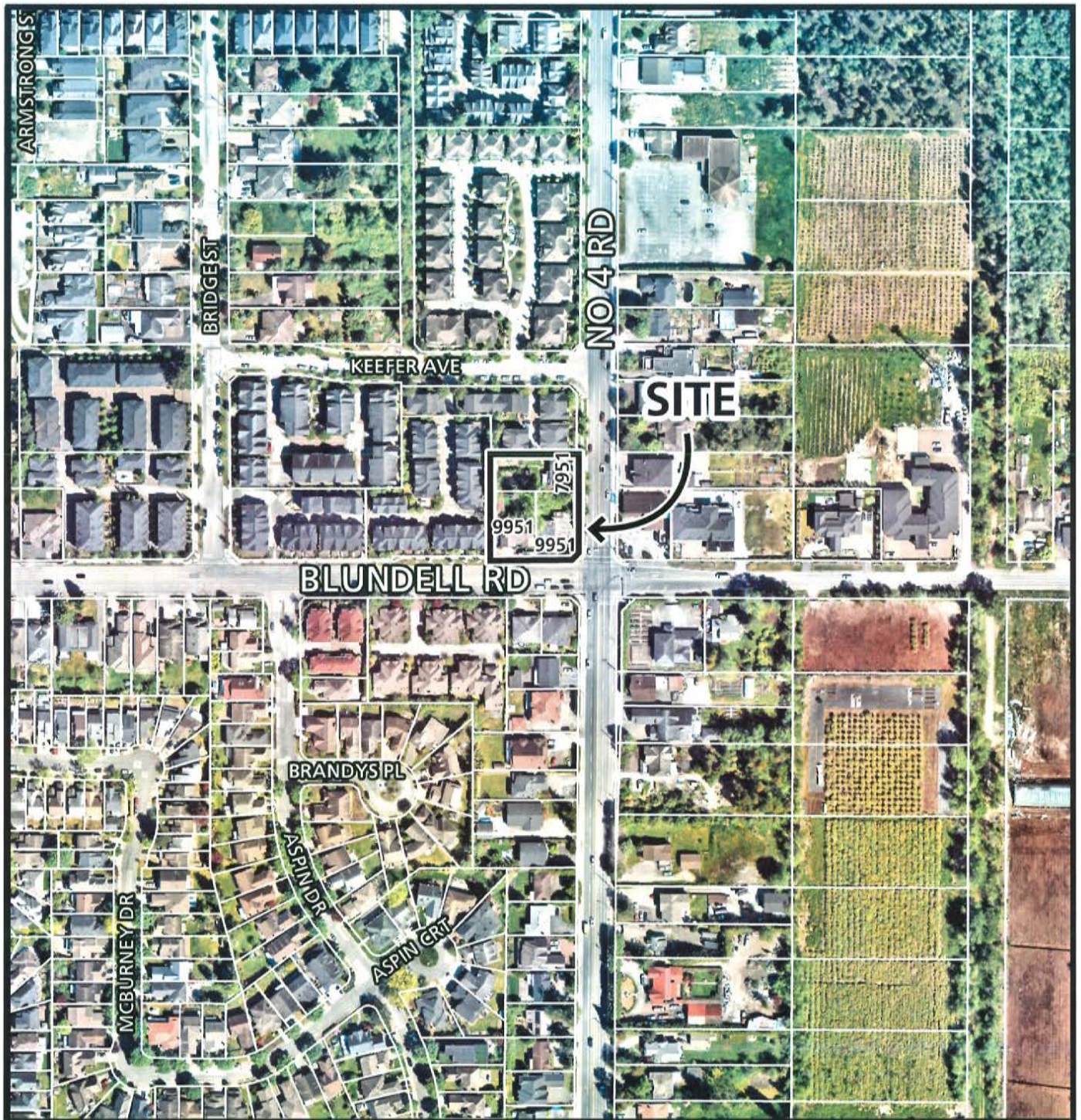
- Receipt of a Letter-of-Credit for landscaping in the amount of \$119,959.62 (based on the cost estimate provided by a CSLA registered landscape Architect including 10% contingency). A legal agreement is required to accompany the Landscape Security to set the terms for its use and release.
- City acceptance of the developer's offer to voluntarily contribute \$3,000.00 to the City's Tree Compensation Fund for the planting of four replacement trees within the City.
- Payment of all fees in full for the cost associated with the Development Permit Panel Meeting Notices, consistent with the City's Consolidated Fees Bylaw No 8636, as amended.

Prior to future Building Permit issuance, the developer is required to complete the following:

- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<https://www.richmond.ca/services/transportation/special.htm#TrafficPlan>).
- If applicable, payment of latecomer agreement charges, plus applicable interest associated with eligible latecomer works.



City of
Richmond



DP 24-045175

Original Date: 12/09/25
Revision Date:

Note: Dimensions are in METRES



DP 24-045175

Attachment 2

Address: 9951, 9991 Blundell Road and 7951 No. 4 Road

Applicant: DF Architecture Inc.

Owner: West Karagon Properties Inc.

Planning Area(s): McLennan South (City Centre)

Floor Area Gross: 2,385.6 m²

Floor Area Net: 1,572.2 m²

	Existing	Proposed
Site Area:	2,679.9 m ²	2,407.0 m ²
Land Uses:	Single-Family	Multiple-Family Residential
OCP Designation:	Low-Density Residential	No Change
Area Plan Designation:	Residential, 2 ½ storeys typical (3-storey maximum)	No Change
Zoning:	Small-Scale Multi-Unit Housing (RSM/XL)	Medium Density Townhouses (RTM2)
Number of Units:	3	14 townhouses

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.65	0.65 Max.	none permitted
Lot Coverage – Building:	Max. 40%	40%	none
Lot Coverage – Non-porous Surfaces:	Max. 65%	61%	none
Lot Coverage – Landscaping:	Min. 25%	25%	none
Setback – Front (South) Yard (Blundell) (m):	Min. 6.0 m	4.8 m	Variance Requested
Setback – Exterior (East) Side Yard (No. 4 Road) (m):	Min. 6.0 m	5.1 m	Variance Requested
Setback – Interior (West) Side Yard (m):	Min. 3.0 m	4.0 m	none
Setback – Rear Yard (north) (m):	Min. 3.0 m	3.45 m	none
Height (m):	Max. 12.0 m (3 storeys)	12 m (3 storeys) Max.	none
Lot Width:	Min. 30.0 m	43.4 m	none
Lot Depth:	Min. 35.0 m	53.2 m	none
Off-street Parking Spaces – Regular (R) / Visitor (V):	1.4 (R) and 0.2 (V) per unit	2 (R) and 0.2 (V)	none
Off-street Parking Spaces – Total:	20 (R) and 3 (V)	28 (R) and 3 (V)	none

Tandem Parking Spaces:	Max. 50% of proposed residential spaces in enclosed garages (28 x Max. 50% = 14)	16	Variance Requested
Small Car Parking Spaces	Max. 50% when 31 or more spaces are provided on-site (31 x Max. 50% = 15)	6	none
Accessible Parking Spaces:	Min. 2% when 11 or more spaces are required (23 x 2% = 1 space)	1	none
Bicycle Parking Spaces – Class 1 / Class 2:	1.25 (Class 1) and 0.2 (Class 2) per unit	1.5 (Class 1) and 0.2 (Class 2) per unit	none
Off-street Parking Spaces – Total:	18 (Class 1) and 3 (Class 2)	22 (Class 1) and 3 (Class 2)	none
Amenity Space – Indoor:	Min. 70 m ² or Cash-in-lieu	Cash-in-lieu	none
Amenity Space – Outdoor:	Min. 6 m ² x 14 units = 84 m ²	86 m ²	none

Excerpt from the Minutes from
The Advisory Design Panel Meeting

Thursday, November 21, 2024 – 4:00 p.m.
Virtual, Microsoft Teams

1. DP 24-045175 - 14-UNIT TOWNHOUSE DEVELOPMENT

ARCHITECT: DF Architecture

LANDSCAPE ARCHITECT: PMG Landscape Architects

PROPERTY LOCATION: 9951, 9991 Blundell Road, and 7951 No. 4 Road

Applicant's Presentation

Architect Deepinder Singh, DF Architecture Inc., and Landscape Architect Yiwen Ruu PMG Landscape Architects, presented the project and answered queries from the Panel.

Panel Discussion

Comments from Panel members were as follows:

- the project is well designed and has a strong street presence; not concerned with the height of the three-storey townhouse buildings.

Appreciate the comment. The height of the 3-story building complements the neighboring developments.

- appreciate the applicant for not segregating the two convertible units by not locating them adjacent to each other but at either ends of Building 3;

Noted.

- does not support the location of the only accessible washroom in the convertible unit as an en-suite washroom of the master bedroom as it may not be directly accessible to other persons with a disability living in the unit other than the occupant of the master bedroom;

The current design complies to the convertible unit guidelines for townhouses as per City of Richmond.

- appreciate the applicant's presentation; pleased to see the refreshing architectural form in contrast to the predominant Tudor style in the neighbourhood; also appreciate the clean design of the townhouse buildings;

This was the goal from the very beginning to design something different than what was already done in this area.

- consider installing alternate porous surface paving materials on the internal drive aisles other than just permeable pavers due to concerns about potential damage from snow removal and heavy trucks;

Permeable pavers are durable and capable of withstanding snow removal and heavy traffic truck traffic.

- overall the plan is good; the plan is symmetrical and repetitive but not boring due to the articulation of the building massing, e.g. stepping down the end units of buildings and installation of glass doors;

Noted.

- the attention to detail makes the project look elegant;

Thanks for the compliment.

- the design approach to maximize the building space leaves little room for planting areas along the internal drive aisles;

We have installed planting wherever possible.

- ensure that the tree along the internal drive aisle is protected;

The tree is located away from the drive aisle, and we have proposed shrub buffer to provide additional protection.

- concerned about the safety of the children's play area as it is too close to the internal drive aisle and site entry;

Landscape architect has proposed a 1.06m high fence around the outdoor amenity for the safety of the children.

- investigate opportunities to install street trees along Blundell Road;

Street trees have been added along Blundell Road.

- wood mulch in the children's play area is not accessible; consider replacing with rubber or other types of accessible surface treatment for the children's play area;

We have replaced the Fibar with PIP rubber.

- the project is nice and going in the right direction; appreciate the clean, straightforward and functional planning;

Noted.

- the plan shows the scale of the building but is comfortable to look at;

Noted.

- concerned about the pedestrian pathway paving on the internal drive aisles as there is inadequate space to segregate pedestrian pathway on the internal drive aisles and could be misread by pedestrians;

This has been already done in other townhouse developments in City of Richmond.

- echo the Panel member's concern regarding the location of the children's play area in close proximity to the internal drive aisle; consider putting in place appropriate control measures to enhance the safety of children using the play area;

Landscape architect has proposed a 1.06m high fence around the outdoor amenity for the safety of the children.

- support the location of garbage and recycling closet at the back of the site;

Noted.

- appreciate the simple yet elegant massing of the buildings; the proportions are well balanced and well considered;

Thank you.

- appreciate the slight curves in the internal drive aisles that allow for the planting of two trees along the internal drive aisles; makes the place more welcoming;

This was done intentionally to reduce the speed of the vehicles using the internal drive aisle as well as to create spaces for trees to be planted.

- agree with Panel comment regarding the possibility of installing street trees along Blundell Road to provide some green buffer to the development;

Street trees have been added along Blundell Road.

- on-site planting of trees has been maximized and there is lack of opportunity to install large trees on the subject site;

Per city requirements, we've followed the 0.9m clearance from the building to the drive aisle

- investigate opportunities to put in place appropriate measures to enhance on-site stormwater management, e.g. installing porous pavement or other stormwater infiltration strategies;

More permeable pavers have been added near the outdoor amenity area to enhance the on-site stormwater management as well as to slow down the vehicles at this junction to increase the safety of the children.

Permeable pavers have been provided for surface parking and at the vehicular entrance.

- overall, the project is successful and well presented;

We appreciate this comment.

- investigate opportunities to accentuate townhouse unit divisions on the façade of Building 2 to make them more identifiable, e.g. installing a shadow gap or treating the downspout.

Downspouts will be added to the elevation at BP or IFC stage.

- concerned about the access to and usefulness of the garbage and recycling closet as it is located behind a visitor parking stall; consider relocating to an alternate location on the site;

We have removed the garbage enclosure and converted it into a garden shed for amenity area.

- consider ways to inset the doors off the mews, particularly in Building 1 and Building 3 to enhance weather protection and make them more identifiable as main entrances to the individual units;

Building 3 main entrance is through the Blundell Road. The other entrance is just secondary entrance to these units. Units in building 1 have already been designed to look like main entrance with weather protection canopies.

- investigate opportunities to provide a balcony for Unit B2 in Building 2 and address potential privacy concerns;

Balcony has been provided for the balcony of Unit B2 in Building 2.

- support the Panel comments regarding looking at the feasibility of installing street trees along Blundell Road; and

Street trees have been added along Blundell Road.

- investigate opportunities to install additional planting at the corner of Blundell Road and No. 4 Road to soften the corner and enhance the buffer to the patio of the townhouse unit at the southeast corner.

We have provided a multi-layered planting at the corner of Blundell Road and No 4 Road, incorporating a variety of shrub species at different heights along with a mix of coniferous and deciduous trees.



No. DP 24-045175

To the Holder: DF Architecture Inc.

Property Address: 9951, 9991 Blundell Road and 7951 No. 4 Road

Address: 10851 Shellbridge Way Unit 350,
Richmond, BC V6X 2W9

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) Reduce the front yard and exterior side yard setbacks for Building 3 from 6.0 m to 4.8 m and 5.1 m respectively; and
 - b) Increase the ratio of residential parking spaces in tandem arrangement from 50 per cent to 58 per cent.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #24 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$119,959.62 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 24-045175

To the Holder: DF Architecture Inc.

Property Address: 9951, 9991 Blundell Road and 7951 No. 4 Road

Address: 10851 Shellbridge Way Unit 350,
Richmond, BC V6X 2W9

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

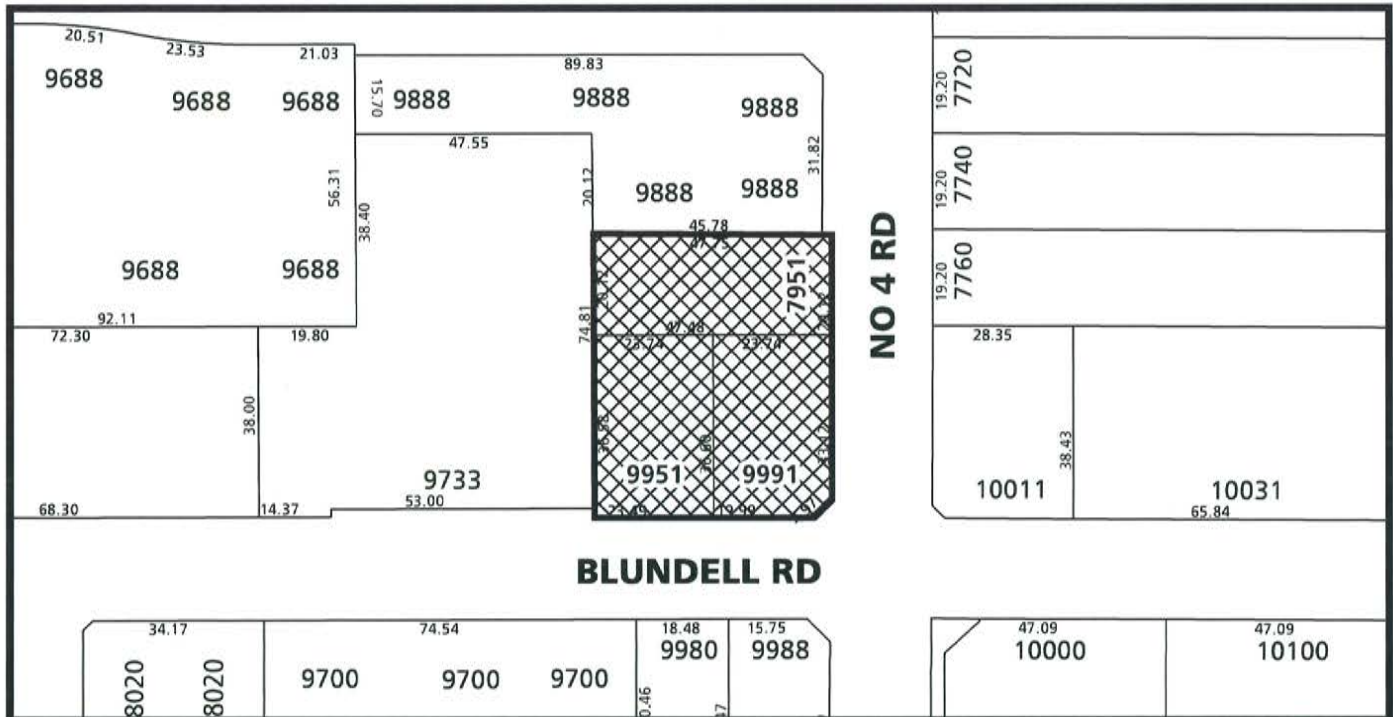
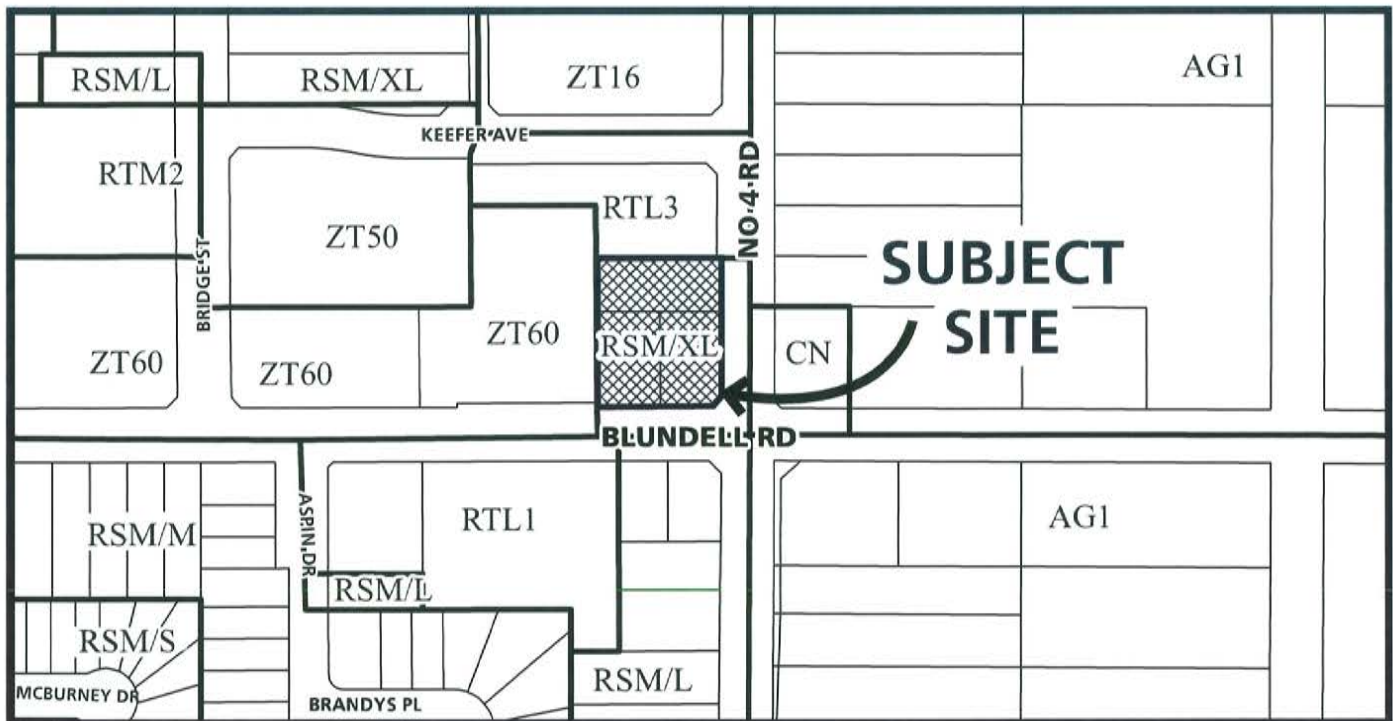
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of
Richmond



DP 24-045175
SCHEDULE "A"

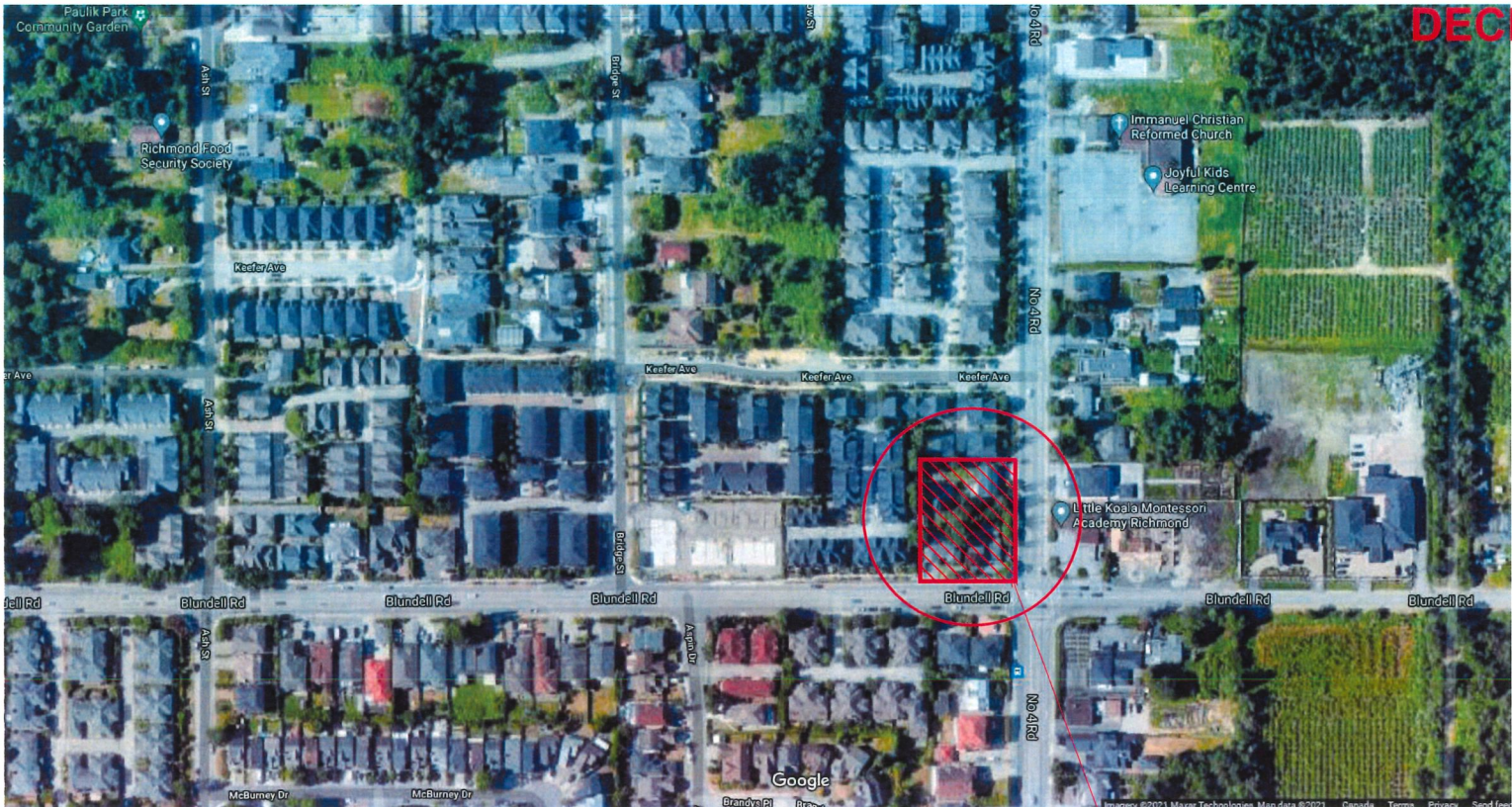
Original Date: 10/01/24

Revision Date:

Note: Dimensions are in METRES

PROPOSED TOWNHOUSE DEVELOPMENT

9951 & 9991 BLUNDELL ROAD & 7951 NO. 4 ROAD, RICHMOND, BRITISH COLUMBIA



DP 24-045175
DECEMBER 15, 2025
PLAN #1

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PROJECT INFO

LEGAL DESCRIPTION:	
LOT 59 SEC 15 BLK 4N RG 6W PL NWP40580 Lot 59, Block 4N, Plan NWP40580, Section 15, Range 6W, New Westminster Land District.	
LOT 60 SEC 15 BLK 4N RG 6W PL NWP40580 Lot 60, Block 4N, Plan NWP40580, Section 15, Range 6W, New Westminster Land District, EX PCL B, BYLAW 64705.	
LOT 61 SEC 15 BLK 4N RG 6W PL NWP40580 Lot 61, Block 4N, Plan NWP40580, Section 15, Range 6W, New Westminster Land District	
CIVIC ADDRESS:	
9951 & 9991 BLUNDELL ROAD & 7951 NO. 4 ROAD, RICHMOND, BRITISH COLUMBIA	
PLANNIG AREA:	
10 CITY CENTRE - MCLENNAN SOUTH SUB-AREA PLAN	
ZONING :	
ZONE:	
EXISTING:	RSM/XL
PROPOSED:	RTM2 (Medium Density Townhouse)
LOT AREA:	
GROSS SITE AREA	- 2680.0 SQM
DEDICATIONS	- 273.00 SQM
NET SITE AREA	- 2407.0 SQM

PROJECT DIRECTORY

CLIENT: WEST KARAGON PROPERTIES INC. CONTACT:KAM GARCHA 6790, Heather Street Vancouver BC, V6P 3PY T: 604-779-5595 7795595@gmail.com	CIVIL : CORE CONCEPT CONSULTING LTD. #220-2639 VIKING WAY, RICHMOND, B.C. V6V 3B7 T 604-249-5040 CONTACT : GAGAN GARCHA & BRUCE DUFFY bduffy@coreconcept.com
	LANDSCAPE : PMG LANDSCAPE ARCHITECTS C100 - 4185 STILL CREEK DRIVE, BURNABY BC V5C 6G9 CONTACT: YIWEN RUAN T 604-294-0011 Yiwen@pmglandscape.com
ARCHITECTURAL : DF ARCHITECTURE INC. 350 - 10851 SHELLBRIDGE WAY RICHMOND, BC V6X 3Z6 CONTACT: JESSIE ARORA T 604-284-5194 jessie@dfarchitecture.ca	ARBORIST : DIAMOND HEAD CONSULTING LTD. 13559 COMMERCIAL STREET, VANCOUVER, BC V5N 4E8 T 604-733-4886 CONTACT: JOEY BANH joey@diamondheadconsulting.com
	ACOUSTICAL : BKL 301 - 3999 HENNING DRIVE, BURNABY, BC V5C 6P9 T 604-988-2508 CONTACT: KATHERINE CHU chu@bkl.ca
SURVEY : J.C TAM AND ASSOCIATES 115 - 8833 ODLIN CRESCENT, RICHMOND, B.C. V6X 3Z7 CONTACT : TORI THOMPSON T 604-214-8928 office@jctam.com	ENERGY : EASY AUDITS LTD. 200 - 7505 134A, SURREY, B.C. V3W 7B3 CONTACT : HARBIR BAL T 778-798-3108 info123@easyairseal.ca
	TRAFFIC ENGINEER : MJL ENGINEERING 101 - 2313 WEST RAILWAY STREET, ABBOTSFORD, B.C. V2S 2E3 CONTACT : NADEEM HYDER T 306-203-9584 nadeem@mjlengineering.com

NOTES:

2025-12-08	S	DP RESUBMISSION
2025-12-01	S	DP RESUBMISSION
2025-11-12	D	DP RESUBMISSION
2025-10-01	P	DP RESUBMISSION
2025-08-20	D	DP RESUBMISSION
2024-11-09	N	ADP SET FOR REVIEW
2024-10-29	M	ADP SET FOR REVIEW
2024-10-29	L	DP RESUBMISSION
2024-09-13	A	DP APPLICATION
2024-07-02	J	BZ RESUBMISSION
2024-06-03	S	BZ RESUBMISSION
2024-05-10	H	BZ RESUBMISSION
2022-11-01	D	BZ RESUBMISSION
2022-10-11	Z	BZ RESUBMISSION
2022-05-29	E	BZ RESUBMISSION
2021-10-10	D	BZ RESUBMISSION
2021-08-10	C	RZ SUBMISSION
2021-06-10	R	ZONING & PRELIMINARY DP SUBMISSION

DF ARCHITECTURE INC.

350-10851 SHELLBRIDGE WAY, RICHMOND, B.C.
CANADA V6X 3Z6
T (604)284-5194 F (604)284-5131
info@dfarchitecture.ca

GROUP 161

DF ARCHITECTURE / ATLAS PACIFIC ARCHITECTURE / BARNETT DESIGN ARCHITECTS

GROUP 161 IS NOT AN ARCHITECTURAL FIRM. ALL ARCHITECTURAL SERVICES ARE PROVIDED THROUGH OUR FIRMS THAT HOLD THE CERTIFICATE OF PRACTICE.

PROJECT:
PROPOSED TOWNHOUSE DEVELOPMENT

9991 & 9951 BLUNDELL ROAD & 7951 NO. 4 ROAD, RICHMOND, B.C.

CLIENT:
WEST KARAGON PROPERTIES INC.

DRAWN: PS	
CHECKED: JA	
SCALE: 1/16" = 1'-0"	
JOB NO: RCH-029	
DATE: MARCH 2019	
SHEET TITLE	

COVER PAGE

DRAWING No.	S	
A-001		

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2025-12-08 - DP RESUBMISSION

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2025-12-08 3:50:45 PM

PROJECT DATA			
CIVIC ADDRESS :		9991 & 9951 BLUNDELL RD & 7951 NO.4 ROAD, RICHMOND, BC	
LEGAL DESCRIPTION :		LOT 59 SEC 15 BLK 4N RG 6W PL NWP40580 LOT 60 SEC 15 BLK 4N RG 6W PL NWP40580 EX PCL B, BYLAW 64705 LOT 61 SEC 15 BLK 4N RG 6W PL NWP40580	
LOT INFO			
GROSS SITE		28,846.1 SQFT	2680.0 SQM
DEDICATIONS		2,938.1 SQFT	273.0 SQM
NET AREA		25,908.0 SQFT	2407.0 SQM
ZONING			
EXISTING		RSM/XL (Small Scale Multi Unit Housing)	
PROPOSED		RTM2 (Medium Density Townhouses)	

SETBACKS	REQUIRED	PROPOSED
NORTH	3.00 M	3.45 M
SOUTH (FROM BLUNDELL RD) - VARIANCE REQUIRED	6.00 M	4.80 M
EAST- BLDG 2 (NO. 4 ROAD)	6.00 M	6.25 M
EAST- BLDG 3 (NO. 4 ROAD) - VARIANCE REQUIRED	6.00 M	5.10 M
WEST	3.00 M	4.04 M

HEIGHT	REQUIRED	PROPOSED
AVERAGE FINISHED SITE GRADE TO HIGHEST POINT OF THE ROOF	12M	11.59M

SITE COVERAGE			
ALLOWED	10,363.2 SQFT	962.74 SQM	40.0%
PROPOSED(ON NET AREA)	10,356.6 SQFT	962.12 SQM	40.0%

FLOOR AREA RATIO(FAR)			
ALLOWED	16,841.2 SQFT	1564.55 SQM	0.65
PROPOSED (ON NET AREA)	16,838.1 SQFT	1,564.3 SQM	0.65

PRIVATE OUTDOOR SPACE				
UNIT TYPE	REQUIRED PER UNIT	PROVIDED (LVL1)	PROVIDED (LVL2)	TOTAL PROVIDED
UNIT A (2 STOREY ELEC)	37 SQM.	42.73 SQM.	11.35 SQM.	54.08 SQM.
UNIT A1 (2 STOREY CONVERTIBLE)	37 SQM.	34.67 SQM.	13.37 SQM.	48.04 SQM.
UNIT A2 (2 STOREY CONVERTIBLE)	37 SQM.	39.56 SQM.	13.37 SQM.	52.93 SQM.
UNIT B	37 SQM.	34.23 SQM.	6.12 SQM.	40.35 SQM.
UNIT B2	37 SQM.	37.99 SQM.	6.04 SQM.	44.03 SQM.
UNIT C	37 SQM.	31.37 SQM.	11.62 SQM.	42.99 SQM.
UNIT C1	37 SQM.	28.55 SQM.	11.81 SQM.	40.36 SQM.
UNIT C2	37 SQM.	29.02 SQM.	12.36 SQM.	41.38 SQM.
UNIT C3	37 SQM.	31.68 SQM.	12.36 SQM.	44.04 SQM.
UNIT C4 & C5	37 SQM.	26.24 SQM.	12.86 SQM.	39.10 SQM.

FAR CALCULATION												
UNIT TYPE	GROSS AREA					GROSS AREA	EXCLUSIONS			NET AREA		
	NOS	LVL 1	LVL 2	LVL 3	UNIT AREA		GARAGE DEDUCTION	STAIRS+ENTRY DEDUCTION	STAIRS DEDUCTION UPPER FLOOR	UNIT AREA	NET AREA	NET AREA(SQM)
A (2 STOREY ELEC.)	1 D.U.	946.02 SFT	880.67 SFT	0.00 SFT	1,826.69 SFT	1,826.69 SFT	447.37 SFT	103.65 SFT	48.81 SFT	1,226.86 SFT	1,226.86 SFT	114.0 SQM
A1 (2 STOREY CONVERTIBLE)	1 D.U.	953.04 SFT	879.61 SFT	0.00 SFT	1,832.65 SFT	1,832.65 SFT	450.08 SFT	107.01 SFT	57.29 SFT	1,218.27 SFT	1,218.27 SFT	113.2 SQM
A2 (2 STOREY CONVERTIBLE)	1 D.U.	953.04 SFT	879.61 SFT	0.00 SFT	1,832.65 SFT	1,832.65 SFT	450.09 SFT	106.98 SFT	57.29 SFT	1,218.29 SFT	1,218.29 SFT	113.2 SQM
B	2 D.U.	570.92 SFT	589.04 SFT	606.46 SFT	1,766.42 SFT	3,532.84 SFT	402.15 SFT	99.41 SFT	48.57 SFT	1,216.29 SFT	2,432.58 SFT	226.0 SQM
B2 CORNER	1 D.U.	576.06 SFT	586.22 SFT	629.09 SFT	1,791.37 SFT	1,791.37 SFT	405.63 SFT	100.10 SFT	48.57 SFT	1,237.07 SFT	1,237.07 SFT	114.9 SQM
C (3 BEDRM. TANDEM)	1 D.U.	624.33 SFT	552.11 SFT	674.59 SFT	1,851.03 SFT	1,851.03 SFT	532.92 SFT	91.41 SFT	50.28 SFT	1,176.42 SFT	1,176.42 SFT	109.3 SQM
C1 (3 BEDRM. TANDEM)	1 D.U.	624.00 SFT	552.11 SFT	674.50 SFT	1,850.61 SFT	1,850.61 SFT	532.92 SFT	91.41 SFT	50.28 SFT	1,176.00 SFT	1,176.00 SFT	109.3 SQM
C2 (CORNER)	1 D.U.	630.50 SFT	566.91 SFT	692.91 SFT	1,890.32 SFT	1,890.32 SFT	538.07 SFT	92.43 SFT	41.92 SFT	1,217.90 SFT	1,217.90 SFT	113.1 SQM
C3 (ELEC. CLOSET)	1 D.U.	630.50 SFT	566.95 SFT	692.97 SFT	1,890.42 SFT	1,890.42 SFT	538.07 SFT	92.43 SFT	41.92 SFT	1,218.00 SFT	1,218.00 SFT	113.2 SQM
C4	2 D.U.	624.00 SFT	549.33 SFT	679.39 SFT	1,852.72 SFT	3,705.44 SFT	538.02 SFT	84.94 SFT	39.93 SFT	1,189.83 SFT	2,379.66 SFT	221.1 SQM
C5	2 D.U.	624.00 SFT	549.33 SFT	663.90 SFT	1,837.23 SFT	3,674.46 SFT	538.02 SFT	84.94 SFT	45.73 SFT	1,168.54 SFT	2,337.08 SFT	217.1 SQM
TOTAL	14 D.U.					25,678.48 SFT					16,838.13 Sq.Ft.	1,564.3 SQM
FAR PROPOSED											0.65	

OFF STREET PARKING				
REQUIRED PARKING	NO. OF UNITS	REQUIRED CARS PER D.U	NO. OF CARS	REQUIRED CARS
RESIDENTIAL REQUIRED (AS PER ZONE 3 CITY CENTRE)	14	1.4	19.6	20
VISITORS CAR PARK REQUIRED	14	0.2	2.8	3
TOTAL NO. OF PARKING REQUIRED				23
REQUIRED ACCESSIBLE PARKING	2% OF TOTAL REQUIRED		0.5	1
DETAIL OF PROPOSED PARKING				
PROPOSED TANDEM RESIDENT PARKING				8
PROPOSED SIDE BY SIDE RESIDENT PARKING (STANDARD)				6
PROPOSED SIDE BY SIDE RESIDENT PARKING (SMALL CAR)				6
PROPOSED VISITORS PARKING	VAN ACCESSIBLE			1
	STANDARD VISITOR			2
PROPOSED ADDITIONAL PARKING (TANDEM UNITS)				8
TOTAL PROPOSED PARKING				31
NOTE: All resident parking spaces to be equipped with level 2 ev charging outlets as per bylaw requirements.				

BICYCLE PARKING				
REQUIRED BIKE PARKING	NO. OF UNITS	REQUIRED BIKES PER D.U	NO. OF BIKES	REQUIRED BIKES
CLASS 1 BIKE PARKING	14	1.25	17.5	18
CLASS 2 BIKE PARKING	14	0.2	2.8	3
PROPOSED BIKE PARKING				
PROPOSED BIKE PARKING	CLASS 1			22
	CLASS 2			3

AMENITY CALCULATION			
OUTDOOR AMENITY	NO. OF UNITS	AREA PER UNIT	AREA
REQUIRED	14	6 SQM.	84 SQM.
PROVIDED			86.32 SQM.

NOTES:

DP 24-045175
DECEMBER 15, 2025
PLAN #2

2025-12-08	S	DP RESUBMISSION
2025-11-04	R	DP RESUBMISSION
2025-11-12	D	DP RESUBMISSION
2025-10-01	P	DP RESUBMISSION
2025-09-20	C	DP RESUBMISSION
2024-11-06	N	ADP SET FOR REVIEW
2024-10-29	M	ADP SET FOR REVIEW
2024-10-20	L	DP RESUBMISSION
2024-09-13	K	DP APPLICATION
2024-07-02	J	P2 RESUBMISSION
2024-04-04	I	P2 RESUBMISSION
2024-01-10	H	P2 RESUBMISSION
2022-11-01	G	P2 RESUBMISSION
2022-10-11	F	P2 RESUBMISSION
2022-05-10	E	P2 RESUBMISSION
2021-10-10	D	P2 RESUBMISSION
2021-09-12	C	P2 SUBMISSION
2021-06-16	B	ZONING & PRELIMINARY DP SUBMISSION

DF ARCHITECTURE INC.

350-10951 SHELLBRIDGE WAY RICHMOND, B.C.
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GROUP 161
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PROJECT:
PROPOSED TOWNHOUSE
DEVELOPMENT

9991 & 9951 BLUNDELL ROAD &
7951 NO. 4 ROAD, RICHMOND, B.C.

CLIENT:
WEST KARAGON PROPERTIES
INC.

DRAWN: PS
CHECKED: JA
SCALE:
JOB NO: RCH-029
DATE: MARCH 2019
SHEET TITLE:



DEVELOPMENT DATA

DRAWING No.	A-002	S	N ↑
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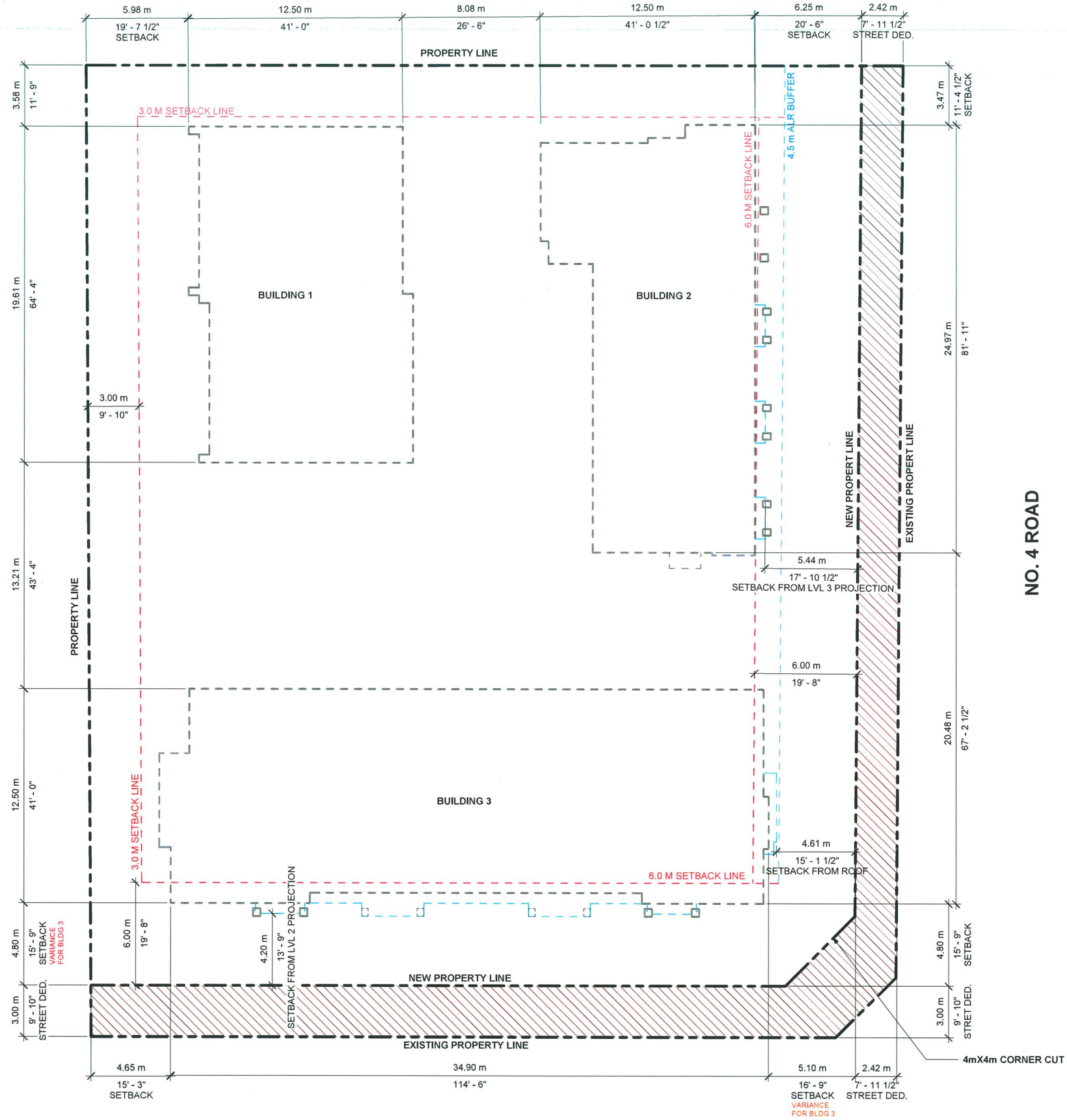
2025-12-08 - DP RESUBMISSION

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NOTES:

DP 24-045175
DECEMBER 15, 2025
PLAN #3



1
A-003
BASE PLAN
3/32" = 1'-0"

2025-12-08	S	DP RESUBMISSION
2025-12-08	R	DP RESUBMISSION
2025-11-12	G	DP RESUBMISSION
2025-10-01	P	DP RESUBMISSION
2025-09-20	C	DP RESUBMISSION
2024-11-09	N	APP SET FOR REVIEW
2024-10-29	M	APP SET FOR REVIEW
2024-10-29	L	DP RESUBMISSION
2024-09-13	E	DP APPLICATION
2024-07-02	J	R7 RESUBMISSION
2024-04-04	S	R7 RESUBMISSION
2024-01-10	H	R2 RESUBMISSION
2022-11-01	R	R7 RESUBMISSION
2022-10-11	F	R7 RESUBMISSION
2022-03-29	C	R2 RESUBMISSION
2021-10-14	D	R7 RESUBMISSION
2021-08-12	C	R2 SUBMISSION
2021-06-16	R	ZONING & PRELIMINARY DP SUBMISSION

DF ARCHITECTURE INC.

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GROUP 161

OF ARCHITECTURE | ATLANTIC PACIFIC ARCHITECTURE | BARNETT DESIGN ARCHITECTS

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PROJECT:
PROPOSED TOWNHOUSE
DEVELOPMENT

9991 & 9951 BLUNDELL ROAD &
7951 NO. 4 ROAD, RICHMOND, B.C.

CLIENT:
WEST KARAGON PROPERTIES
INC.

DRAWN: PS	
CHECKED: JA	
SCALE: 3/32" = 1'-0"	
JOB NO: RCH-029	
DATE: MARCH 2019	
SHEET TITLE	

BASE PLAN

DRAWING No.	S	N
A-003		

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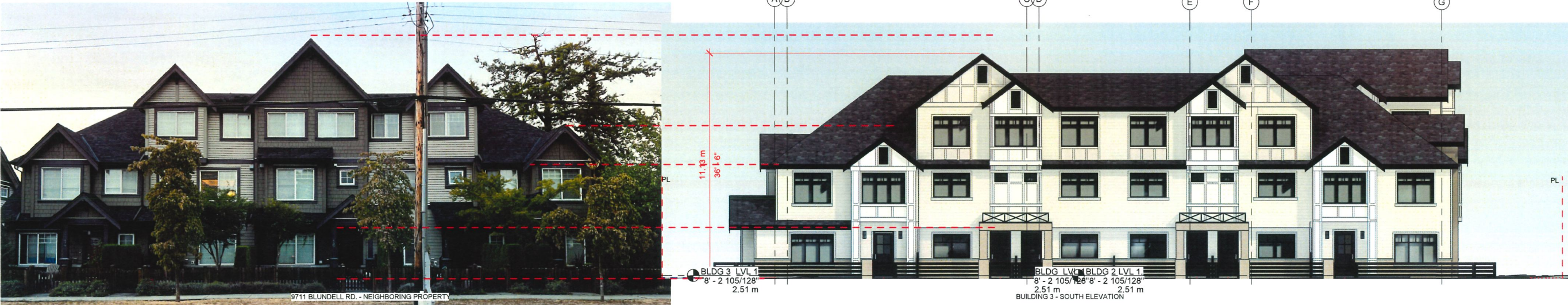
2025-12-08 - DP RESUBMISSION

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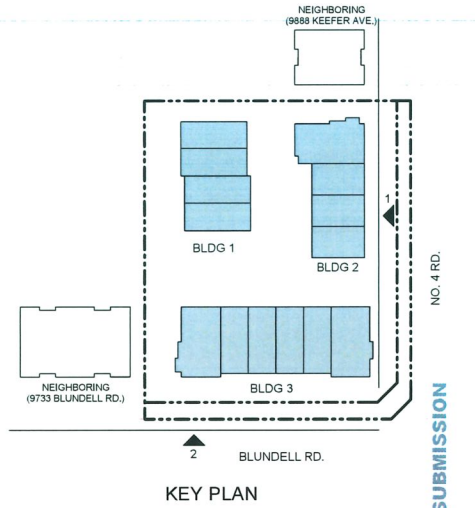
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1 SCALE COMPATIBILITY- NO. 4 RD.
A-306 1/8" = 1'-0"



2 SCALE COMPATIBILITY - BLUNDELL RD.
A-306 1/8" = 1'-0"



2025-12-08	S	DP RESUBMISSION
2025-12-08	R	DP RESUBMISSION
2025-11-12	D	DP RESUBMISSION
2025-10-01	P	DP RESUBMISSION
2025-09-20	G	DP RESUBMISSION
2024-11-09	N	APP SET FOR REVIEW
2024-10-29	M	APP SET FOR REVIEW
2024-10-29	L	DP RESUBMISSION
2024-05-13	K	DP APPLICATION
2024-07-02	J	RZ RESUBMISSION
2024-06-01	I	RZ RESUBMISSION
2024-05-10	H	RZ RESUBMISSION
2022-11-01	G	RZ RESUBMISSION
2022-10-11	F	RZ RESUBMISSION
2022-02-28	E	RZ RESUBMISSION
2021-10-18	D	RZ RESUBMISSION
2021-09-12	C	RZ SUBMISSION
2021-09-12	B	ZONING & PRELIMINARY DP SUBMISSION

DF ARCHITECTURE INC.

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PROJECT
PROPOSED TOWNHOUSE DEVELOPMENT

9991 & 9951 BLUNDELL ROAD &
7951 NO. 4 ROAD, RICHMOND, B.C.

CLIENT:
WEST KARAGON PROPERTIES INC.

DRAWN	PS
CHECKED	JA
SCALE	1/8" = 1'-0"
JOB NO.	RCH-029
DATE	MARCH 2019
SHEET TITLE	2025-12-08

STREETSCAPE

DRAWING No.	A-306	S	N
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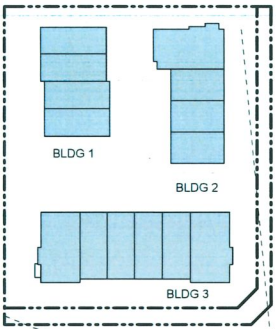
DP 24-045175
DECEMBER 15, 2025
PLAN #5



SCHEDULE OF FINISHES

- 1. COLOR : TWILIGHT GREY
- ASPHALT SHINGLES
- 2. COLOR : SEA GRAY 6
BRICK: HEBRON BRICK UPER SCOTTY
- 3. COLOR : DIVINE WHITE SW 6105
- BOARD AND BATTEN
- HARDIE BOARD SIDING
- WOOD WINDOW AND CORNER TRIMS
- 4. COLOR : ANEW GRAY SW 7030
- SMOOTH FINISH HARDIE LAP - SIDING
- 5. COLOR : ACADE WHITE SW 7100
- HARDIE BOARD AND BATTEN
- 6. COLOR : BM 1603 GRAPHITE
- PAINTED FASCIA
- PERFORATED VINYL SOFFIT
- DOORS AND WINDOW FRAMES
- GUTTERS
- WOODEN GABLE VENTS
- PRIVACY SCREEN.
- DECORATIVE METAL GUARDS

NOTES:



KEY PLAN

DP 24-045175
DECEMBER 15, 2025
PLAN #6

2025-12-08	S	DP RESUBMISSION
2025-12-08	R	DP RESUBMISSION
2025-11-12	G	DP RESUBMISSION
2025-10-01	P	DP RESUBMISSION
2025-09-20	G	DP RESUBMISSION
2024-11-09	N	APP SET FOR REVIEW
2024-10-20	M	APP SET FOR REVIEW
2024-10-20	L	DP RESUBMISSION
2024-09-11	K	DP APPLICATION
2024-08-01	J	P2 RESUBMISSION
2024-07-10	I	P2 RESUBMISSION
2024-06-01	H	P2 RESUBMISSION
2024-05-10	G	P2 RESUBMISSION
2024-04-01	F	P2 RESUBMISSION
2024-03-01	E	P2 RESUBMISSION
2024-02-01	D	P2 RESUBMISSION
2024-01-01	C	P2 RESUBMISSION
2023-12-01	B	ZONING & PRELIMINARY DP SUBMISSION

DF ARCHITECTURE INC.

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PROJECT:
PROPOSED TOWNHOUSE
DEVELOPMENT

9991 & 9951 BLUNDELL ROAD &
7951 NO. 4 ROAD, RICHMOND, B.C

CLIENT:
WEST KARAGON PROPERTIES
INC.

DRAWN PS	
CHECKED JA	
SCALE As indicated	
JOB NO: RCH-029	
DATE MARCH 2019	
SHEET TITLE	2025-12-08

MATERIAL BOARD

DRAWING No.	A-500	S	N
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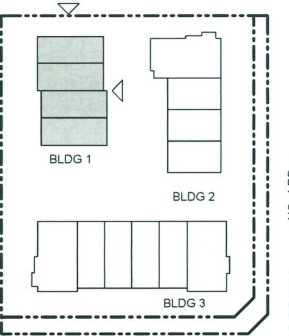


SCHEDULE OF FINISHES

- SMOOTH FINISH HARDIE LAP - SIDING COLOR TO MATCH : DIVINE WHITE SW 6105
- BRICK - SEA GRAY 6 - HEBRON BRICK SUPER SCOTTY
- HARDIE BOARD AND BATTEN- COLOUR TO MATCH : DIVINE WHITE SW 6105
- PAINTED VINYL WINDOWS COLOR TO MATCH: GRAPHITE BM 1603 OR SIMILAR STANDARD
- COLOR : BM 1603 GRAPHITE
- PAINTED FASCIA
- PERFORATED VINYL SOFFIT
- DOORS
- GUTTERS
- WOODEN GABLE VENTS
- PRIVACY SCREEN
- DECORATIVE METAL GUARDS
- ASPHALT SHINGLES - COLOR : TWILIGHT GREY.
- GARAGE DOOR COLOR TO MATCH : BM 2137-40 DESERT TWILIGHT.
- SMOOTH FINISH HARDIE LAP - SIDING COLOR TO MATCH : ANEW GRAY SW 7030
- HARDIE BOARD AND BATTEN- COLOUR TO MATCH : ARCADE WHITE SW 7100

NOTES:

DP 24-045175
DECEMBER 15, 2025
PLAN #7



KEY PLAN

2025-12-08	S	DP RESUBMISSION
2025-12-02	B	DP RESUBMISSION
2025-11-14	G	DP RESUBMISSION
2025-10-01	P	DP RESUBMISSION
2025-09-20	C	DP RESUBMISSION
2024-11-06	N	ADP SET FOR REVIEW
2024-10-20	M	ADP SET FOR REVIEW
2024-10-20	L	DP RESUBMISSION
2024-09-11	K	DP APPLICATION
2024-07-02	J	P2 RESUBMISSION
2024-04-04	I	P2 RESUBMISSION
2024-03-10	H	P2 RESUBMISSION
2022-11-01	G	P2 RESUBMISSION
2022-10-11	F	P2 RESUBMISSION
2021-10-13	E	P2 RESUBMISSION
2021-10-13	D	P2 RESUBMISSION
2021-08-10	C	P2 RESUBMISSION
2021-06-10	B	ZONING & PRELIMINARY DP SUBMISSION

DF ARCHITECTURE INC.

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info@dfarchitecture.ca

GROUP 161
BY ARCHITECTURE / ATLAS PACIFIC ARCHITECTURE / BARNETT ORRICK ARCHITECTS

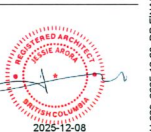
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PROJECT:
PROPOSED TOWNHOUSE DEVELOPMENT

9991 & 9951 BLUNDELL ROAD & 7951 NO. 4 ROAD, RICHMOND, B.C.

CLIENT:
WEST KARAGON PROPERTIES INC.

DRAWN: PS
CHECKED: JA
SCALE: As indicated
JOB NO: RCH-029
DATE: MARCH 2019
SHEET TITLE:



BUILDING 1 ELEVATIONS

DRAWING No. **A-300**

S



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2 BUILDING 1 WEST ELEV.
A-301
1/4" = 1'-0"



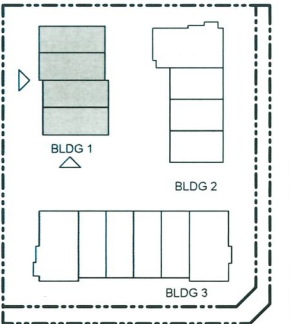
1 BUILDING 1 SOUTH ELEV.
A-301
1/4" = 1'-0"

SCHEDULE OF FINISHES

- SMOOTH FINISH HARDIE LAP - SIDING COLOR TO MATCH: DIVINE WHITE SW 6105
- BRICK - SEA GRAY 6 - HEBRON BRICK SUPER SCOTTY
- HARDIE BOARD AND BATTEN- COLOUR TO MATCH: DIVINE WHITE SW 6105
- PAINTED VINYL WINDOWS COLOR TO MATCH: GRAPHITE BM 1603 OR SIMILAR STANDARD
- COLOR: BM 1603 GRAPHITE
- PAINTED FASCIA
- PERFORATED VINYL SOFFIT
- DOORS
- GUTTERS
- WOODEN GABLE VENTS
- PRIVACY SCREEN
- DECORATIVE METAL GUARDS
- ASPHALT SHINGLES - COLOR: TWILIGHT GREY.
- GARAGE DOOR COLOR TO MATCH: BM 2137-40 DESERT TWILIGHT.
- SMOOTH FINISH HARDIE LAP - SIDING COLOR TO MATCH: ANEW GRAY SW 7030
- HARDIE BOARD AND BATTEN- COLOUR TO MATCH: ARCADE WHITE SW 7100

NOTES:

DP 24-045175
DECEMBER 15, 2025
PLAN #8



KEY PLAN

2025-12-08	A	DP RESUBMISSION
2025-11-09	B	DP RESUBMISSION
2025-11-12	C	DP RESUBMISSION
2025-10-01	D	DP RESUBMISSION
2025-08-20	E	DP RESUBMISSION
2024-11-06	F	ADP SET FOR REVIEW
2024-08-29	M	ADP SET FOR REVIEW
2024-05-29	L	DP RESUBMISSION
2024-05-11	K	DP APPLICATION
2024-07-09	J	BX RESUBMISSION
2024-06-04	I	BX RESUBMISSION
2024-01-19	H	BX RESUBMISSION
2022-11-08	G	BX RESUBMISSION
2022-09-11	F	BX RESUBMISSION
2022-05-12	E	BX RESUBMISSION
2021-09-10	D	BX RESUBMISSION
2021-08-10	C	RZ SUBMISSION
2021-06-16	B	ZONING & PRELIMINARY DP SUBMISSION

DF ARCHITECTURE INC.

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PROJECT: PROPOSED TOWNHOUSE DEVELOPMENT

9991 & 9951 BLUNDELL ROAD &
7951 NO. 4 ROAD, RICHMOND, B.C.

CLIENT:
WEST KARAGON PROPERTIES
INC.

DRAWN: PS
CHECKED: JA
SCALE: As indicated
JOB NO: RCH-029
DATE: MARCH 2019
SHEET TITLE:

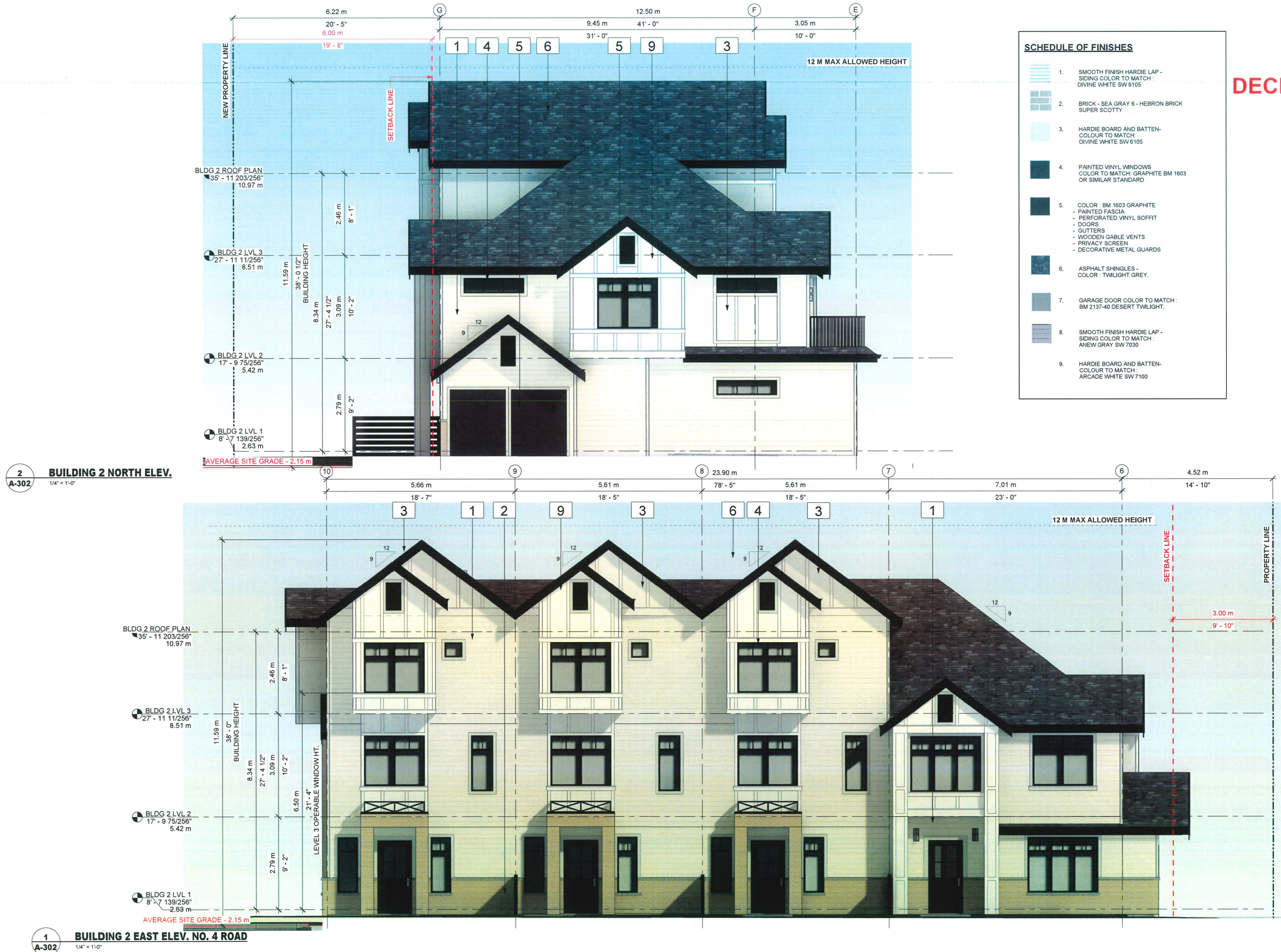


BUILDING 1 ELEVATIONS

DRAWING
No. A-301 S
N

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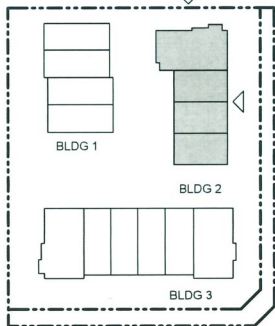


SCHEDULE OF FINISHES

1. SMOOTH FINISH HARDIE LAP - SIDING COLOR TO MATCH : DIVINE WHITE SW 6105
2. BRICK - SEA GRAY 6 - HEBRON BRICK SUPER SCOTTY
3. HARDIE BOARD AND BATTEN- COLOUR TO MATCH: DIVINE WHITE SW 6105
4. PAINTED VINYL WINDOWS COLOR TO MATCH: GRAPHITE BM 1603 OR SIMILAR STANDARD
5. COLOR : BM 1603 GRAPHITE
- PAINTED FASCIA
- PERFORATED VINYL SOFFIT
- DOORS
- GUTTERS
- WOODEN GABLE VENTS
- PRIVACY SCREEN
- DECORATIVE METAL GUARDS
6. ASPHALT SHINGLES - COLOR : TWILIGHT GREY.
7. GARAGE DOOR COLOR TO MATCH : BM 2137-40 DESERT TWILIGHT.
8. SMOOTH FINISH HARDIE LAP - SIDING COLOR TO MATCH : ANEW GRAY SW 7030
9. HARDIE BOARD AND BATTEN- COLOUR TO MATCH : ARCADE WHITE SW 7100

NOTES:

DP 24-045175
DECEMBER 15, 2025
PLAN #9



BLUNDELL RD.

KEY PLAN

2025-12-08	S	DP RESUBMISSION
2025-12-08	S	DP RESUBMISSION
2025-11-12	D	DP RESUBMISSION
2025-10-01	P	DP RESUBMISSION
2025-09-20	C	DP RESUBMISSION
2024-11-09	N	ADP SET FOR REVIEW
2024-10-29	M	ADP SET FOR REVIEW
2024-10-29	L	DP RESUBMISSION
2024-09-11	K	DP APPLICATION
2024-07-29	J	B2 RESUBMISSION
2024-06-29	I	B2 RESUBMISSION
2024-01-10	H	B2 RESUBMISSION
2022-11-01	G	B2 RESUBMISSION
2022-10-11	F	B2 RESUBMISSION
2022-09-12	E	B2 RESUBMISSION
2021-10-11	D	B2 RESUBMISSION
2021-09-11	C	B2 RESUBMISSION
2021-09-11	B	ZONING & PRELIMINARY DP SUBMISSION

DF ARCHITECTURE INC.

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PROJECT:
PROPOSED TOWNHOUSE DEVELOPMENT

9991 & 9951 BLUNDELL ROAD &
7951 NO. 4 ROAD, RICHMOND, B.C.

CLIENT:
WEST KARAGON PROPERTIES INC.

DRAWN: PS
CHECKED: JA
SCALE: As Indicated
JOB NO: RCH-029
DATE: MARCH 2019
SHEET TITLE

BUILDING 2
ELEVATIONS

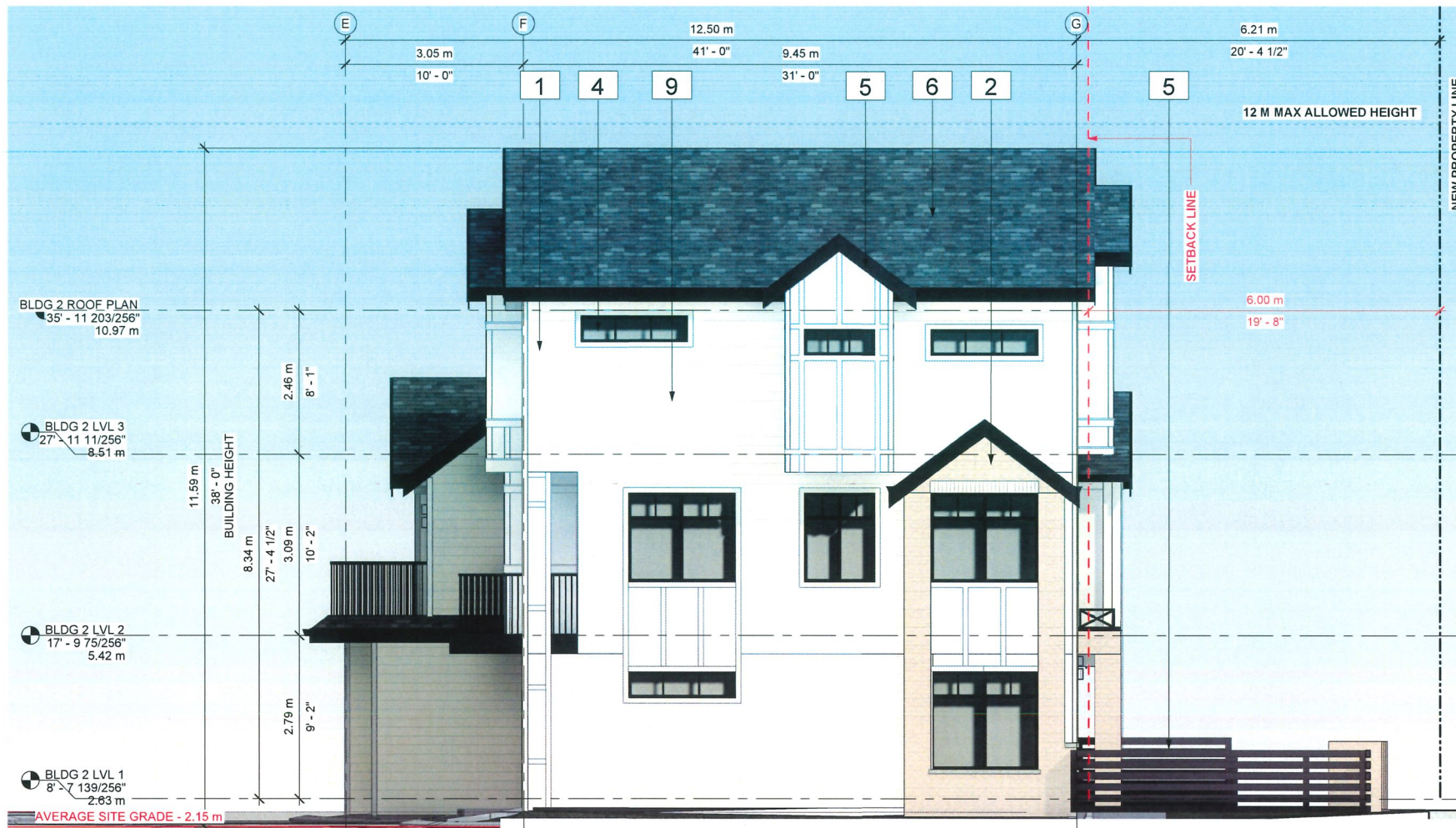
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2025-12-08 - DP RESUBMISSION

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SCHEDULE OF FINISHES	
1.	SMOOTH FINISH HARDIE LAP - SIDING COLOR TO MATCH: DIVINE WHITE SW 6105
2.	BRICK - SEA GRAY 6 - HEBRON BRICK SUPER SCOTTY
3.	HARDIE BOARD AND BATTEN- COLOUR TO MATCH: DIVINE WHITE SW 6105
4.	PAINTED VINYL WINDOWS COLOR TO MATCH: GRAPHITE BM 1603 OR SIMILAR STANDARD
5.	COLOR: BM 1603 GRAPHITE - PAINTED FASCIA - PERFORATED VINYL SOFFIT - DOORS - GUTTERS - WOODEN GABLE VENTS - PRIVACY SCREEN - DECORATIVE METAL GUARDS
6.	ASPHALT SHINGLES - COLOR: TWILIGHT GREY.
7.	GARAGE DOOR COLOR TO MATCH: BM 2137-40 DESERT TWILIGHT.
8.	SMOOTH FINISH HARDIE LAP - SIDING COLOR TO MATCH: ANEW GRAY SW 7030
9.	HARDIE BOARD AND BATTEN- COLOUR TO MATCH: ARCADE WHITE SW 7100

NOTES:

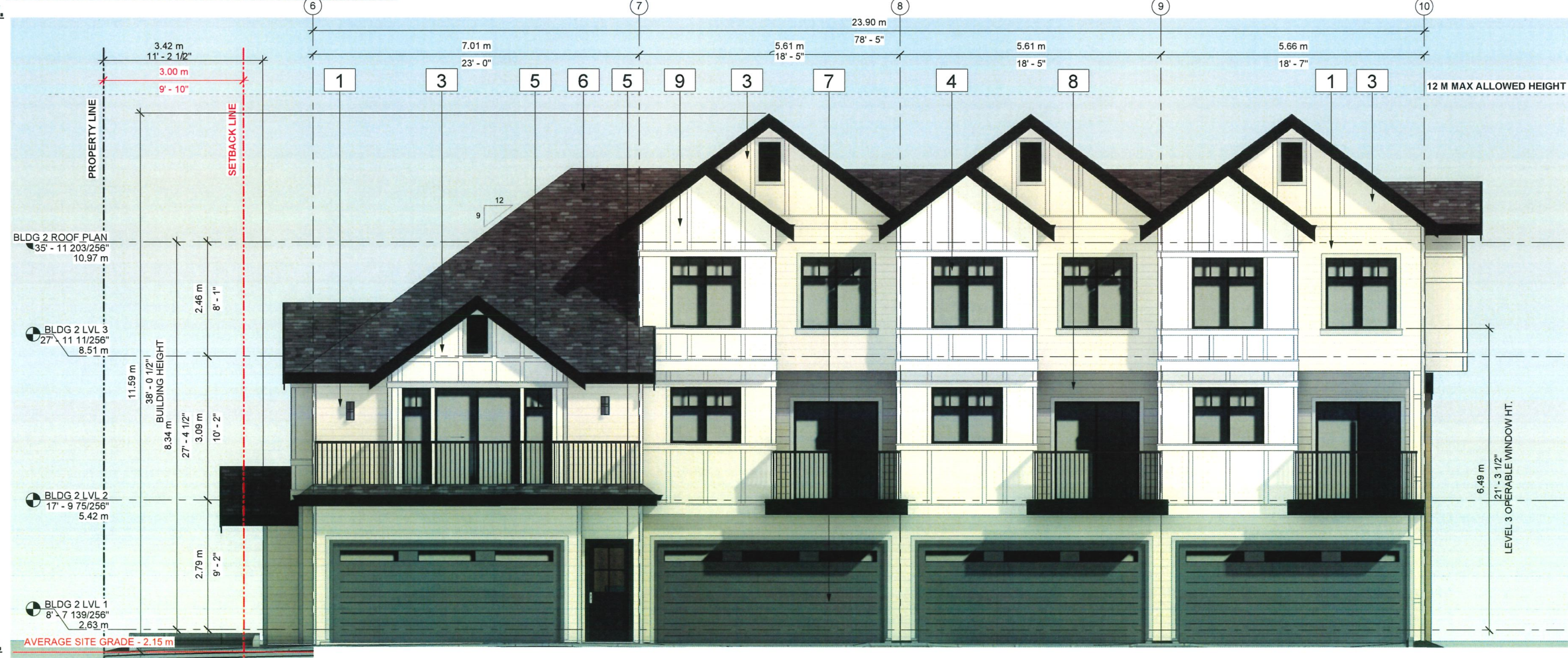
DP 24-045175
DECEMBER 15, 2025
PLAN #10

BLDG 1
BLDG 2
BLDG 3

BLUNDELL RD.

KEY PLAN

2025-12-08	S	DP RESUBMISSION
2025-12-02	R	DP RESUBMISSION
2025-11-17	R	DP RESUBMISSION
2025-10-01	R	DP RESUBMISSION
2025-09-20	R	DP RESUBMISSION
2024-11-06	N	ADP SET FOR REVIEW
2024-10-29	M	ADP SET FOR REVIEW
2024-10-29	L	DP RESUBMISSION
2024-09-11	K	DP APPLICATION
2024-07-02	J	R2 RESUBMISSION
2024-04-24	I	R2 RESUBMISSION
2024-03-10	H	R2 RESUBMISSION
2022-11-01	G	R2 RESUBMISSION
2022-10-11	F	R2 RESUBMISSION
2022-05-19	E	R2 RESUBMISSION
2021-10-19	D	R2 RESUBMISSION
2021-06-18	C	R2 SUBMISSION
2021-06-18	B	ZONING & PRELIMINARY DP SUBMISSION



DF ARCHITECTURE INC.

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GROUP 161

OF ARCHITECTURE + ATELIER PACIFIC ARCHITECTURE + BARNETT COLLEGE ARCHITECTS

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PROJECT: PROPOSED TOWNHOUSE DEVELOPMENT

9991 & 9951 BLUNDELL ROAD & 7951 NO. 4 ROAD, RICHMOND, B.C

CLIENT: WEST KARAGON PROPERTIES INC.

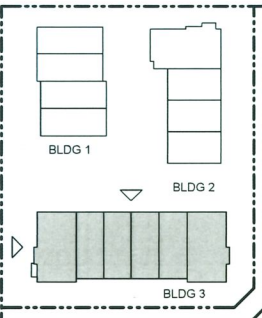
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CHECKED: JA
SCALE: As indicated
JOB NO: RCH-029
DATE: MARCH 2019
SHEET TITLE

BUILDING 2 ELEVATIONS

A-303 S

2025-12-08 3:51:19 PM

DP 24-045175
DECEMBER 15, 2025
PLAN #11



KEY PLAN

2025-12-08	S	DP RESUBMISSION
2025-12-02	B	DP RESUBMISSION
2025-11-12	O	DP RESUBMISSION
2025-10-01	P	DP RESUBMISSION
2025-09-20	O	DP RESUBMISSION
2024-11-05	N	ADP SET FOR REVIEW
2024-10-28	M	ADP SET FOR REVIEW
2024-10-29	L	DP RESUBMISSION
2024-09-13	K	DP APPLICATION
2024-07-02	J	PZ RESUBMISSION
2024-06-01	I	PZ RESUBMISSION
2024-01-10	H	PZ RESUBMISSION
2022-11-01	G	PZ RESUBMISSION
2022-10-11	F	PZ RESUBMISSION
2022-03-28	E	PZ RESUBMISSION
2021-10-18	D	PZ RESUBMISSION
2021-06-12	C	ZONING & PRELIMINARY DP
2021-05-16	B	SUBMISSION

DF ARCHITECTURE INC.

350-1051 SHELLBRIDGE WAY RICHMOND B.C.
CANADA V6X 2V9
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info@dfarchitecture.ca

GROUP 161

DF ARCHITECTURE • ATELIA PACIFIC ARCHITECTURE • BARNETT DESIGN ARCHITECTS

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PROJECT
PROPOSED TOWNHOUSE
DEVELOPMENT

9991 & 9951 BLUNDELL ROAD &
7951 NO. 4 ROAD, RICHMOND, B.C

CLIENT:
WEST KARAGON PROPERTIES
INC.

DRAWN	PS
CHECKED	JA
SCALE	As indicated
JOB NO.	RCH-029
DATE	MARCH 2019
SHEET TITLE	2025-12-08

BUILDING 3
ELEVATIONS

DRAWING NO.	A-304	S	N
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2025-12-08 - DP RESUBMISSION

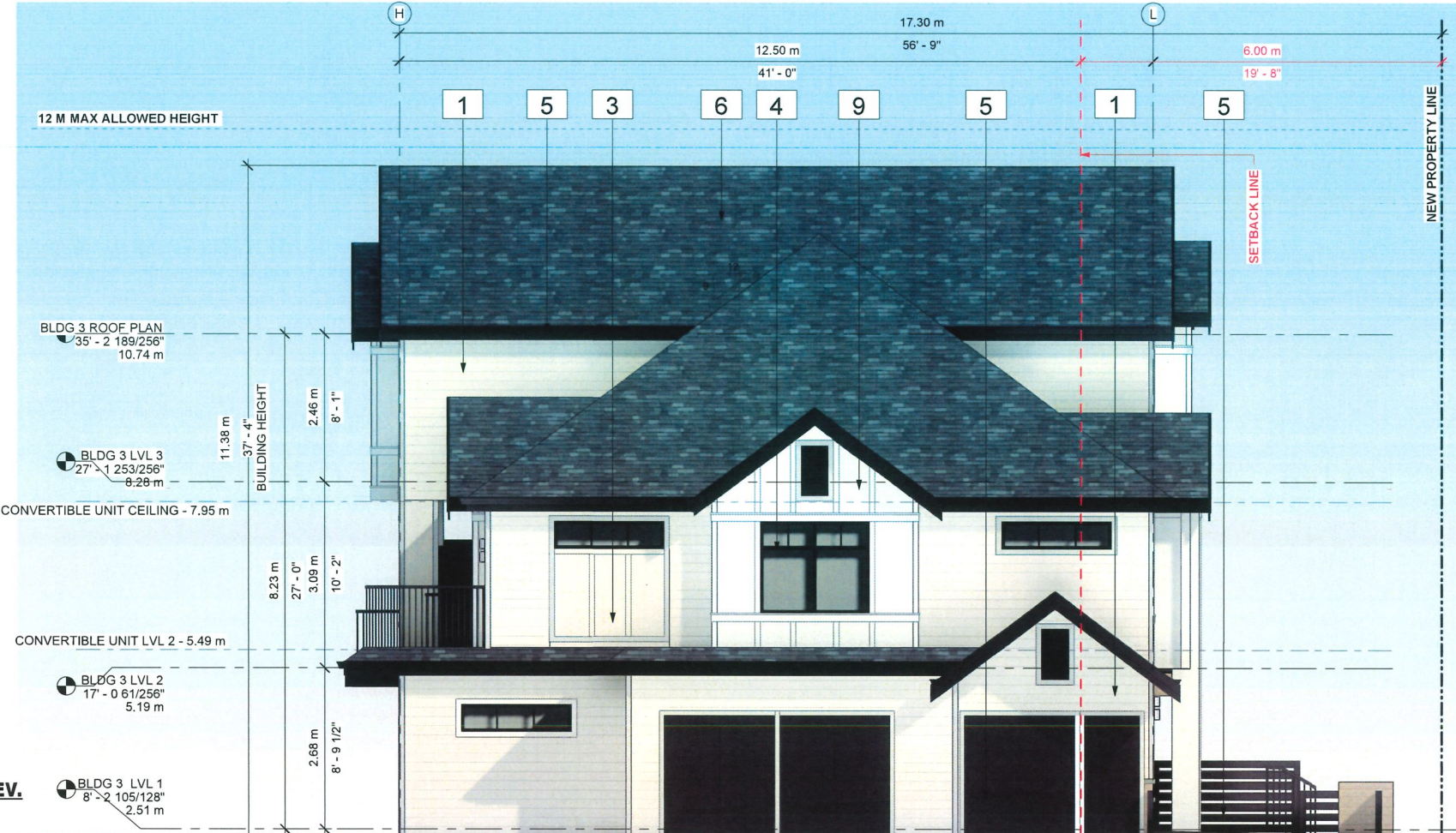
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SCHEDULE OF FINISHES

- SMOOTH FINISH HARDIE LAP - SIDING COLOR TO MATCH: DIVINE WHITE SW 6105
- BRICK - SEA GRAY 6 - HEBRON BRICK SUPER SCOTTY
- HARDIE BOARD AND BATTEN- COLOUR TO MATCH: DIVINE WHITE SW 6105
- PAINTED VINYL WINDOWS COLOR TO MATCH: GRAPHITE BM 1603 OR SIMILAR STANDARD
- COLOR: BM 1603 GRAPHITE
- PAINTED FASCIA
- PERFORATED VINYL SOFFIT
- DOORS
- GUTTERS
- WOODEN GABLE VENTS
- PRIVACY SCREEN
- DECORATIVE METAL GUARDS
- ASPHALT SHINGLES - COLOR: TWILIGHT GREY.
- GARAGE DOOR COLOR TO MATCH: BM 2137-40 DESERT TWILIGHT.
- SMOOTH FINISH HARDIE LAP - SIDING COLOR TO MATCH: ANEW GRAY SW 7030
- HARDIE BOARD AND BATTEN- COLOUR TO MATCH: ARCADE WHITE SW 7100

1
A-304
BUILDING 3 WEST ELEV.
1/4" = 1'-0"



2
A-304
BUILDING 3 NORTH ELEV.
1/4" = 1'-0"

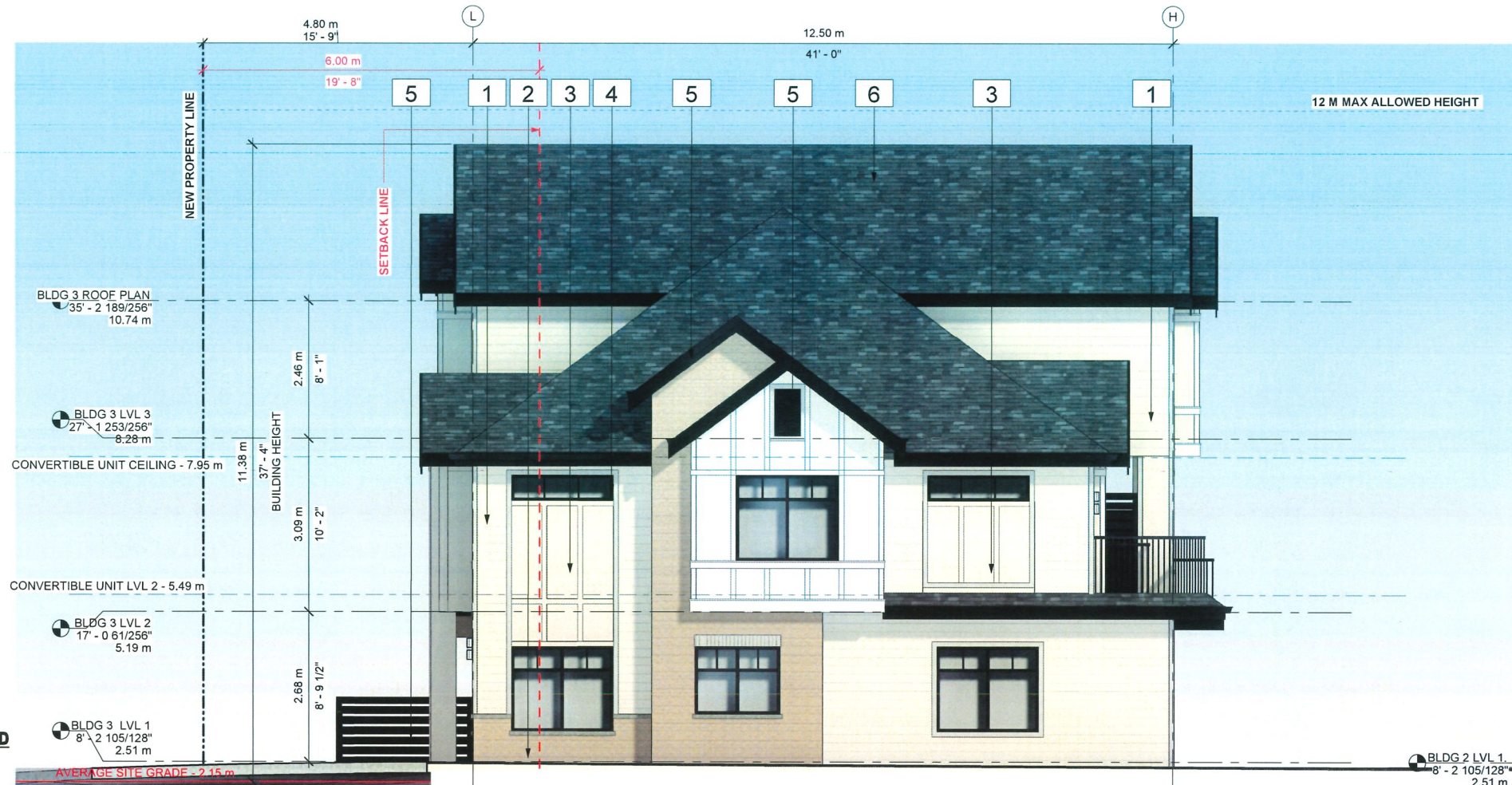


SCHEDULE OF FINISHES

- SMOOTH FINISH HARDIE LAP - SIDING COLOR TO MATCH: DIVINE WHITE SW 6105
- BRICK - SEA GRAY 6 - HEBRON BRICK SUPER SCOTTY
- HARDIE BOARD AND BATTEN - COLOUR TO MATCH: DIVINE WHITE SW 6105
- PAINTED VINYL WINDOWS COLOR TO MATCH: GRAPHITE BM 1603 OR SIMILAR STANDARD
- COLOR - BM 1603 GRAPHITE - PAINTED FASCIA - PERFORATED VINYL SOFFIT - DOORS - GUTTERS - WOODEN GABLE VENTS - PRIVACY SCREEN - DECORATIVE METAL GUARDS
- ASPHALT SHINGLES - COLOR: TWILIGHT GREY.
- GARAGE DOOR COLOR TO MATCH: BM 2137-40 DESERT TWILIGHT.
- SMOOTH FINISH HARDIE LAP - SIDING COLOR TO MATCH: ANEW GRAY SW 7030
- HARDIE BOARD AND BATTEN - COLOUR TO MATCH: ARCADE WHITE SW 7100

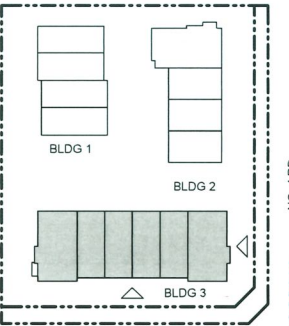
2
A-305

BUILDING 3 EAST ELEV. NO. 4 ROAD
1/4" = 1'-0"



NOTES:

DP 24-045175
DECEMBER 15, 2025
PLAN #12



BLUNDELL RD.

KEY PLAN

2025-12-08	S	DP RESUBMISSION
2025-12-08	R	DP RESUBMISSION
2025-11-17	G	DP RESUBMISSION
2025-10-24	E	DP RESUBMISSION
2025-09-20	F	DP RESUBMISSION
2024-11-06	N	APP SET FOR REVIEW
2024-10-29	M	APP SET FOR REVIEW
2024-10-09	L	DP RESUBMISSION
2024-09-13	K	DP APPLICATION
2024-08-27	J	B2 RESUBMISSION
2024-08-01	I	B2 RESUBMISSION
2024-07-19	H	B2 RESUBMISSION
2024-07-11	G	B2 RESUBMISSION
2024-06-13	F	B2 RESUBMISSION
2024-05-13	E	B2 RESUBMISSION
2024-04-10	D	B2 RESUBMISSION
2024-03-13	C	B2 SUBMISSION
2024-02-10	B	ZONING & PRELIMINARY DP SUBMISSION

DF ARCHITECTURE INC.

350-10851 SHELLBRIDGE WAY, RICHMOND, B.C.
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GROUP 161
DF ARCHITECTURE - ATELIA PACIFIC ARCHITECTURE - BARNETT DESIGN ARCHITECTS

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PROJECT:
PROPOSED TOWNHOUSE DEVELOPMENT

9991 & 9951 BLUNDELL ROAD & 7951 NO. 4 ROAD, RICHMOND, B.C.

CLIENT:
WEST KARAGON PROPERTIES INC.

DRAWN PS
CHECKED JA
SCALE As indicated
JOB NO. RCH-029
DATE MARCH 2019
SHEET TITLE

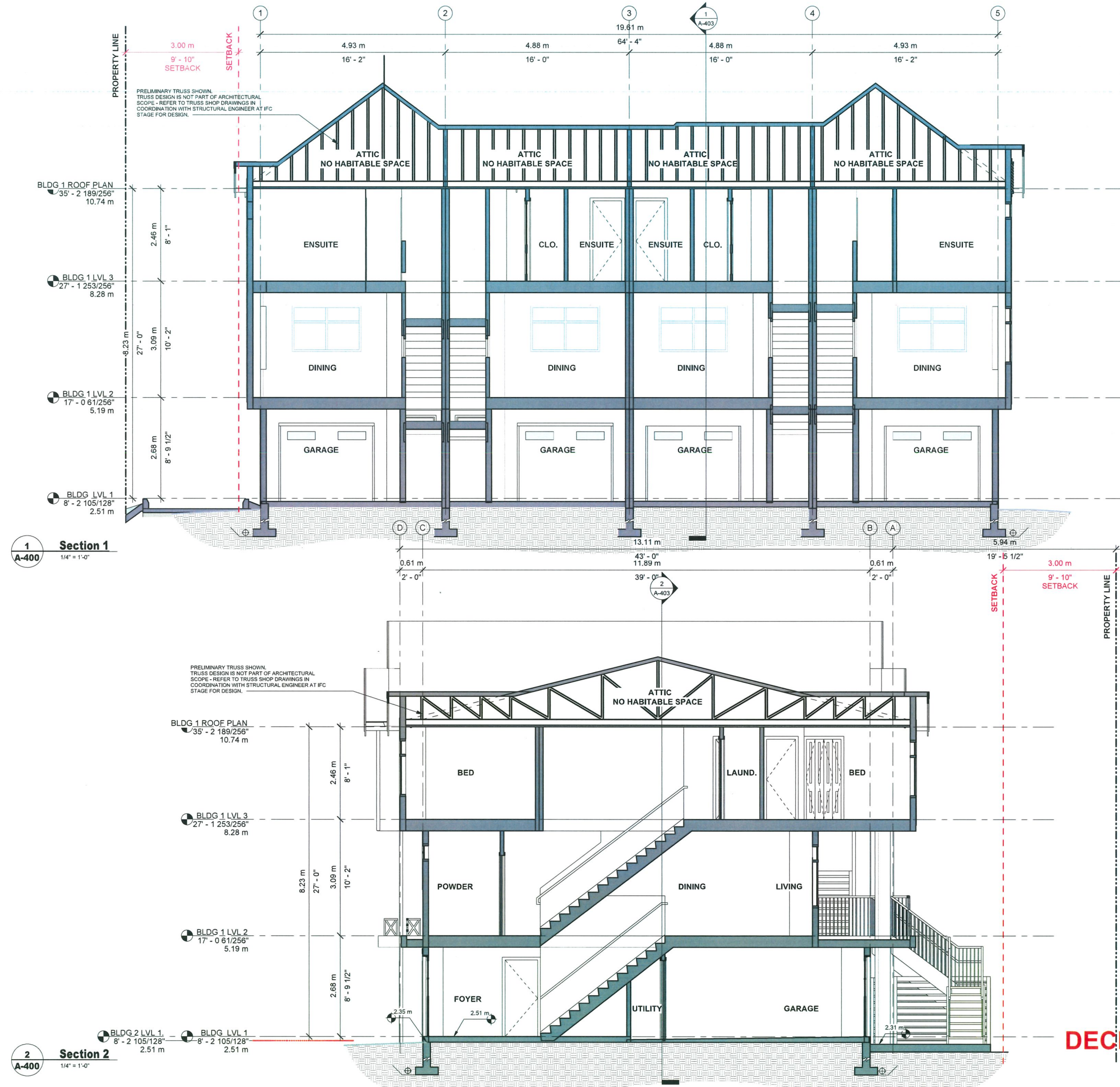
BUILDING 3 ELEVATIONS

DRAWING No. **A-305** **S**

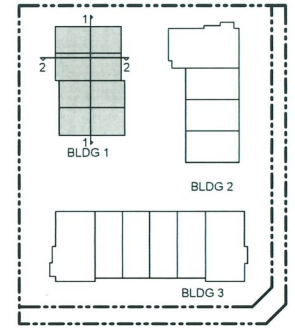


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NOTES:



KEY PLAN

2025-12-08	S	DP RESUBMISSION
2025-12-08	S	DP RESUBMISSION
2025-11-17	D	DP RESUBMISSION
2025-10-01	D	DP RESUBMISSION
2025-09-20	D	DP RESUBMISSION
2024-11-06	N	ADP SET FOR REVIEW
2024-10-20	M	ADP SET FOR REVIEW
2024-10-09	L	DP RESUBMISSION
2024-09-11	K	DP APPLICATION
2024-07-02	J	P2 RESUBMISSION
2024-04-04	L	P2 RESUBMISSION
2024-01-10	Z	P2 RESUBMISSION
2022-11-01	Z	P2 RESUBMISSION
2022-10-11	Z	P2 RESUBMISSION
2022-07-13	Z	P2 RESUBMISSION
2021-10-18	S	DP RESUBMISSION
2021-09-10	S	DP RESUBMISSION
2021-08-12	C	DP RESUBMISSION
2021-06-15	B	ZONING & PRELIMINARY DP SUBMISSION

DF ARCHITECTURE INC.
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www.dfarchitecture.ca

GROUP 161
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PROJECT: PROPOSED TOWNHOUSE DEVELOPMENT

9991 & 9951 BLUNDELL ROAD & 7951 NO. 4 ROAD, RICHMOND, B.C.

CLIENT: WEST KARAGON PROPERTIES INC.

DRAWN: PS	
CHECKED: JA	
SCALE: 1/4" = 1'-0"	
JOB NO: RCH-029	
DATE: MARCH 2019	2025-12-08
SHEET TITLE	

BUILDING 1 SECTIONS

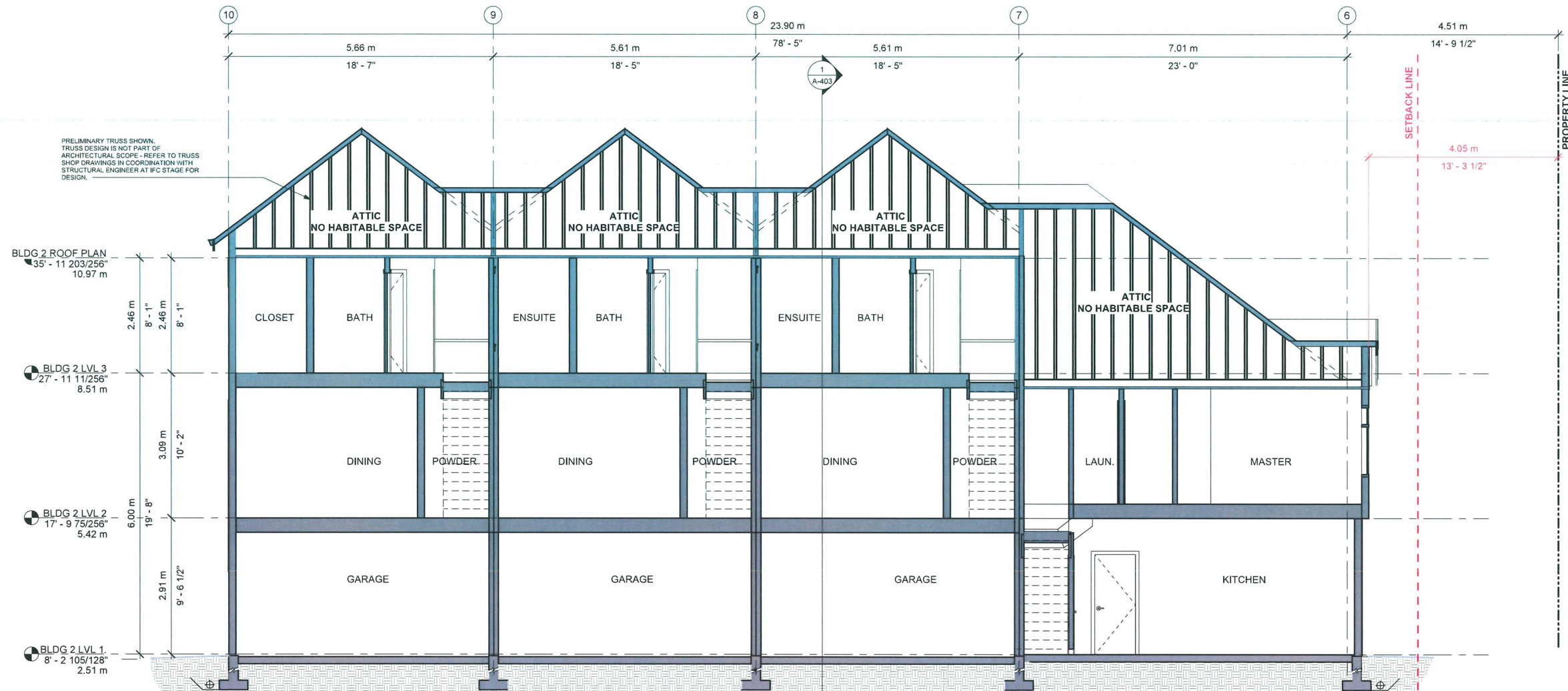
DRAWING NO.	A-400	S	N
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DP 24-045175
DECEMBER 15, 2025
PLAN #13

2025-12-08 - DP RESUBMISSION NO. 4 RD.

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PRELIMINARY TRUSS SHOWN.
TRUSS DESIGN IS NOT PART OF
ARCHITECTURAL SCOPE - REFER TO TRUSS
SHOP DRAWINGS IN COORDINATION WITH
STRUCTURAL ENGINEER AT IFC STAGE FOR
DESIGN.

BLDG 2 ROOF PLAN
35' - 11 203/256"
10.97 m

BLDG 2 LVL 3
27' - 11 11/256"
8.51 m

BLDG 2 LVL 2
17' - 9 75/256"
5.42 m

BLDG 2 LVL 1
8' - 2 105/128"
2.51 m

1
A-401
Section 3
1/4" = 1'-0"

PRELIMINARY TRUSS SHOWN.
TRUSS DESIGN IS NOT PART OF
ARCHITECTURAL SCOPE - REFER TO TRUSS
SHOP DRAWINGS IN COORDINATION WITH
STRUCTURAL ENGINEER AT IFC STAGE FOR
DESIGN.

BLDG 2 ROOF PLAN
35' - 11 203/256"
10.97 m

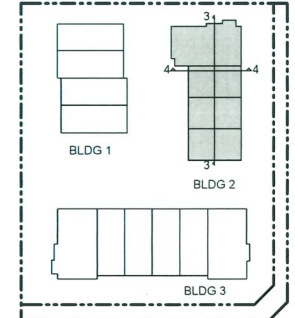
BLDG 2 LVL 3
27' - 11 11/256"
8.51 m

BLDG 2 LVL 2
17' - 9 75/256"
5.42 m

BLDG 2 LVL 1
8' - 2 105/128"
2.51 m

2
A-401
Section 4
1/4" = 1'-0"

NOTES:



KEY PLAN

2025-12-08	A	DP RESUBMISSION
2025-12-08	B	DP RESUBMISSION
2025-11-12	C	DP RESUBMISSION
2025-10-01	D	DP RESUBMISSION
2025-09-20	E	DP RESUBMISSION
2024-11-04	F	ADP SET FOR REVIEW
2024-10-24	G	ADP SET FOR REVIEW
2024-10-24	H	DP RESUBMISSION
2024-10-24	I	DP RESUBMISSION
2024-09-13	J	DP APPLICATION
2024-07-02	K	P7 RESUBMISSION
2024-06-01	L	P2 RESUBMISSION
2024-01-10	M	P7 RESUBMISSION
2022-11-01	N	P7 RESUBMISSION
2022-05-11	O	P7 RESUBMISSION
2022-03-28	P	P7 RESUBMISSION
2021-10-18	Q	P7 RESUBMISSION
2021-06-12	R	P2 SUBMISSION
2021-06-12	S	ZONING & PRELIMINARY DP SUBMISSION

DF ARCHITECTURE INC.

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GROUP 161
DF ARCHITECTURE - ATLAS PACIFIC ARCHITECTURE - BARNETT DEDBY ARCHITECTS

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PROJECT:
PROPOSED TOWNHOUSE
DEVELOPMENT

9991 & 9951 BLUNDELL ROAD &
7951 NO. 4 ROAD, RICHMOND, B.C.

CLIENT:
WEST KARAGON PROPERTIES
INC.

DRAWN: PS	
CHECKED: JA	
SCALE: 1/4" = 1'-0"	
JOB NO: RCH-029	
DATE: MARCH 2019	2025-12-08
SHEET TITLE	

BUILDING 2 SECTIONS

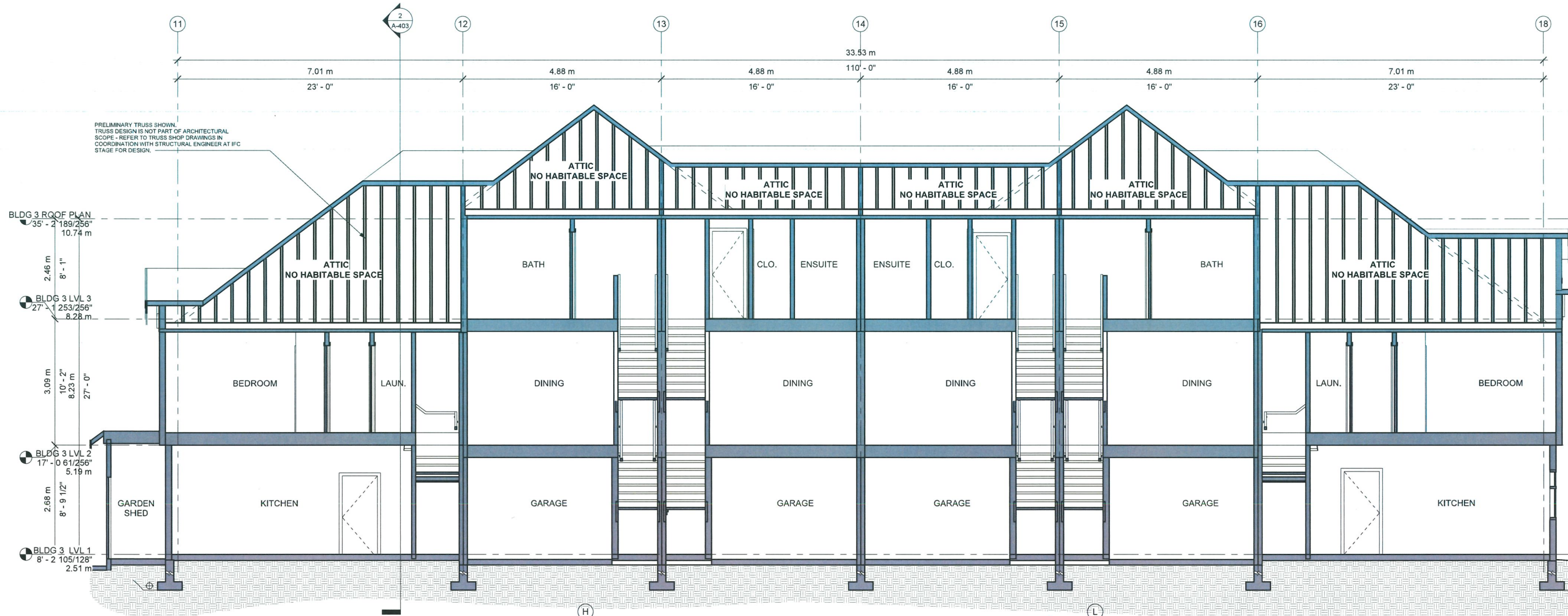
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CONSENT

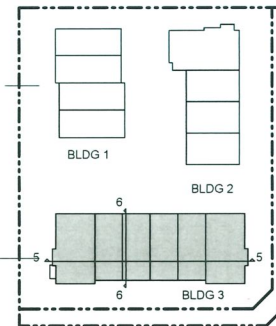
DP 24-045175
DECEMBER 15, 2025
PLAN #14

2025-12-08 - DP RESUBMISSION
NO. 4 RD.

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NOTES:



KEY PLAN

2025-12-08	S	DP RESUBMISSION
2025-12-08	S	DP RESUBMISSION
2025-11-17	D	DP RESUBMISSION
2025-10-24	D	DP RESUBMISSION
2025-09-20	D	DP RESUBMISSION
2024-11-09	N	ADP SET FOR REVIEW
2024-10-24	N	ADP SET FOR REVIEW
2024-10-20	A	DP RESUBMISSION
2024-09-11	E	DP APPLICATION
2024-07-20	D	DP RESUBMISSION
2024-04-01	D	DP RESUBMISSION
2024-01-10	H	DP RESUBMISSION
2022-11-01	D	DP RESUBMISSION
2022-10-11	E	DP RESUBMISSION
2022-09-12	D	DP RESUBMISSION
2021-09-15	S	DP RESUBMISSION
2021-09-15	D	DP RESUBMISSION
2021-09-15	C	ZONING & PRELIMINARY DP SUBMISSION

DF ARCHITECTURE INC.

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PROJECT:
PROPOSED TOWNHOUSE DEVELOPMENT

9991 & 9951 BLUNDELL ROAD & 7951 NO. 4 ROAD, RICHMOND, B.C.

CLIENT:
WEST KARAGON PROPERTIES INC.

DRAWN: PS	
CHECKED: JA	
SCALE: 1/4" = 1'-0"	
JOB NO: RCH-029	
DATE: MARCH 2019	2025-12-08
SHEET TITLE	

BUILDING 3 SECTIONS

DRAWING NO.	A-402	S	N
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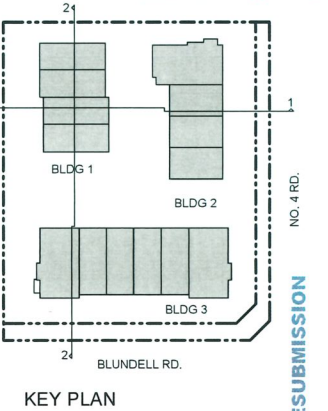
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DP 24-045175
DECEMBER 15, 2025
PLAN #15

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NOTES:

DP 24-045175
DECEMBER 15, 2025
PLAN #16



KEY PLAN

2025-12-08	A	DP RESUBMISSION
2025-12-08	B	DP RESUBMISSION
2025-11-17	A	DP RESUBMISSION
2025-10-01	P	DP RESUBMISSION
2025-09-20	A	DP RESUBMISSION
2024-11-06	N	APP SET FOR REVIEW
2024-10-28	M	APP SET FOR REVIEW
2024-10-09	L	DP RESUBMISSION
2024-09-11	K	DP APPLICATION
2024-07-24	P	DP RESUBMISSION
2024-06-20	S	PZ RESUBMISSION
2024-01-10	V	PZ RESUBMISSION
2022-12-01	P	PZ RESUBMISSION
2022-10-13	P	PZ RESUBMISSION
2022-03-29	S	PZ RESUBMISSION
2021-10-19	S	PZ RESUBMISSION
2021-09-10	C	PZ SUBMISSION
2021-06-10	R	ZONING & PRELIMINARY DP SUBMISSION

DF ARCHITECTURE INC.

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DF ARCHITECTURE / ATLAS PACIFIC ARCHITECTURE BARRISTERS ARCHITECTS
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PROJECT:
PROPOSED TOWNHOUSE
DEVELOPMENT

9991 & 9951 BLUNDELL ROAD &
7951 NO. 4 ROAD, RICHMOND, B.C.

CLIENT:
WEST KARAGON PROPERTIES
INC.

DRAWN: PS	
CHECKED: JA	
SCALE: As indicated	
JOB NO: RCH-029	
DATE: MARCH 2019	

2025-12-08

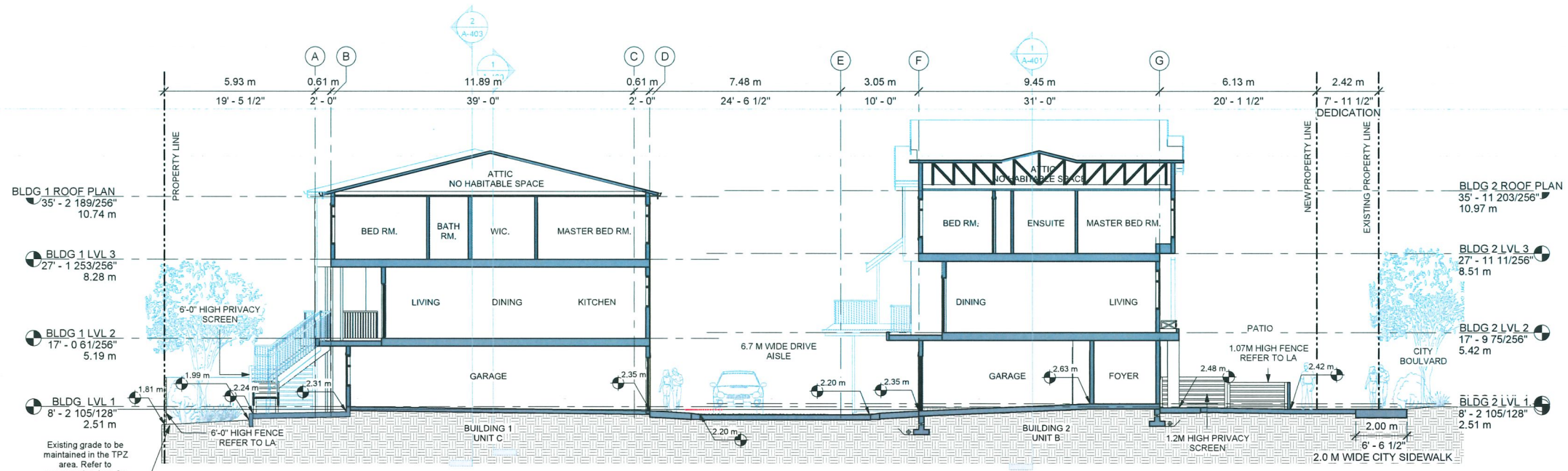
SITE CROSS SECTION

DRAWING No.	A-403	S	N
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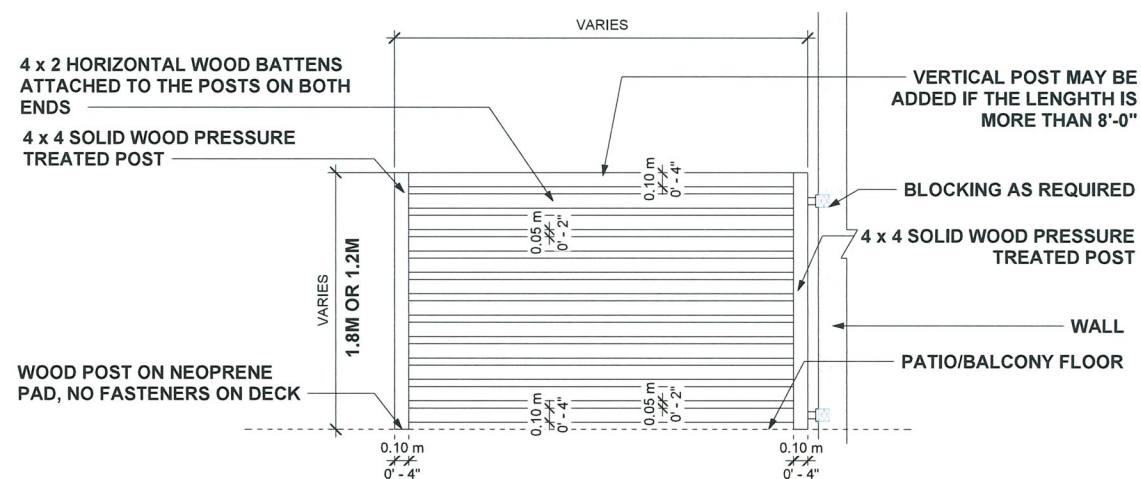
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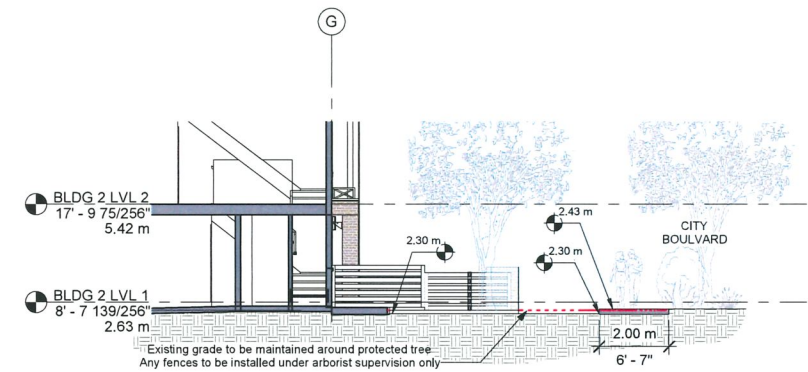
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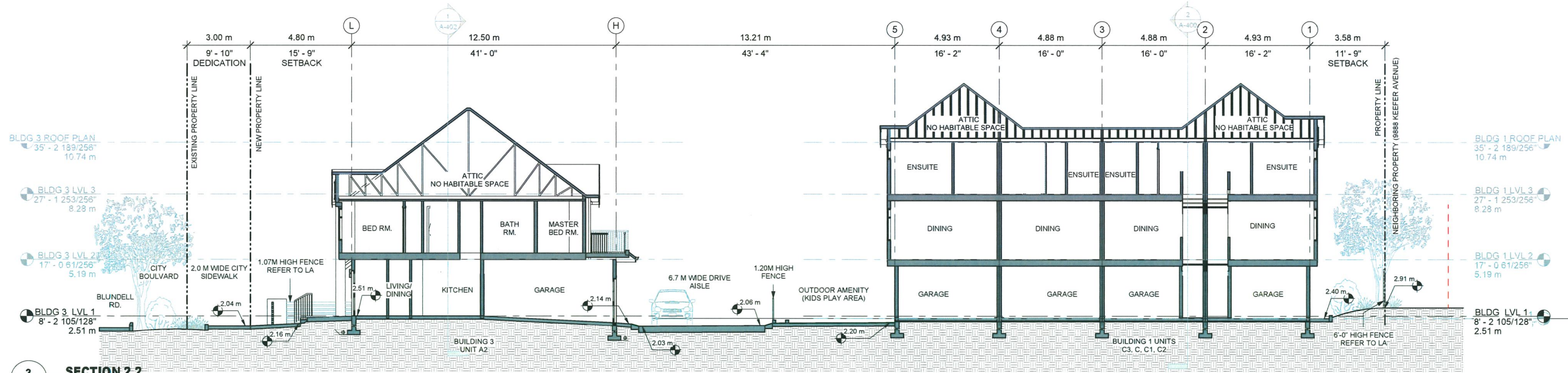
1 SECTION 1.1
A-403 1/8" = 1'-0"



4 PRIVACY SCREEN DETAIL
A-403 1/2" = 1'-0"



3 Grading at protected tree on No. 4 Rd.
A-403 1/8" = 1'-0"



2 SECTION 2.2
A-403 1/8" = 1'-0"

19	25.SEP.26	NEW SITE PLAN/CITY COMMENTS	RJ
18	25.AUG.15	NEW CIVIL/PLAN/NEW GRADING	RJ
17	25.JUN.05	ADP COMMENTS	RJ
16	25.JAN.20	NEW SITE PLAN/CITY COMMENTS	RJ
15	24.NOV.05	CONSULTANT COMMENTS	JR
14	24.NOV.01	CITY COMMENTS	RY
13	24.OCT.25	CONSULTANT COMMENTS	CJ
12	24.OCT.18	CITY COMMENTS	RJ
11	24.OCT.10	NEW SITEPLAN - COMMENTS	MM
10	24.SEP.10	ISSUED FOR DP	RJ
9	24.JUL.25	UPDATE AIR BUFFER	RJ
8	24.JUN.26	NEW SITE PLAN	GMH/YR
7	23.NOV.30	CITY COMMENTS & NEW SITE PLAN	RJ
6	23.APR.03	CITY COMMENTS & NEW SITE PLAN	RY
5	22.MAR.01	NEW SITE PLAN/ABORTIST REPORT	RJ
4	21.OCT.04	DRIVE WAY UPDATED	RJ
3	21.AUG.23	NEW SITE PLAN/AD PLANTING BED	RJ
2	21.AUG.21	NEW SITE PLAN	RJ
1	19.MAR.06	RE-ZONING AND DP SUBMISSION	RJ
NO	DATE	REVISION DESCRIPTION	DR

CLIENT:

PROJECT:

DRAWING TITLE:

**TREE MANAGEMENT
PLAN**

DATE: 18.AUG.10 DRAWING NUMBER:

SCALE: 3/32"=1'-0"

DRAWN: RJ/MM

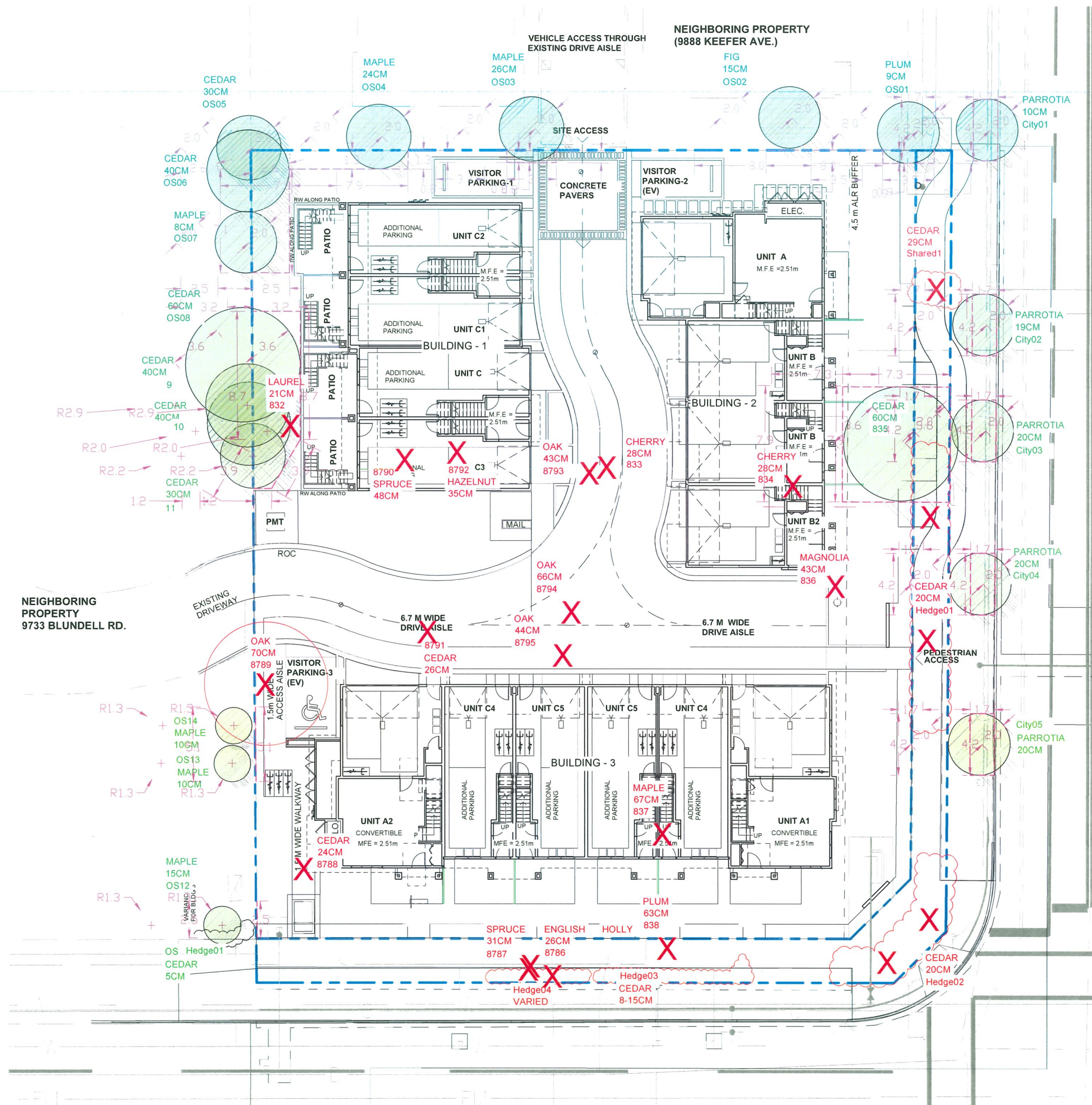
DESIGN: RJ

CHK'D: MCY


L4

OF 9

18160-16C.ZIP PMG PROJECT NUMBER: 18-160

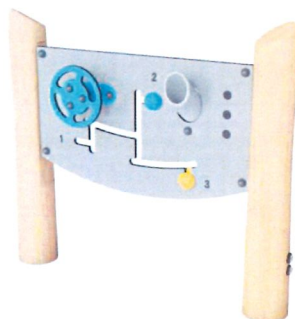




PLANT SCHEDULE				PMG PROJECT NUMBER: 18-160	
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS	
	3	CORNUS FLORIDA 'RUBRA'	PINK FLOWERING DOGWOOD	8CM CAL. B&B	
	3	CORNUS MAS	CORNELIAN CHERRY	8CM CAL. B&B	
	7	FAGUS SYLVATICA 'DAWYCK GOLD'	DAWYCK GOLD BEECH	8CM CAL. B&B	
	2	LIQUIDAMBAR STYRACIFLUA 'PALO ALTO'	PALO ALTO SWEET GUM	8CM CAL. 2M STD. B&B	
	7	PINUS NIGRA 'ARNOLD SENTINEL'	ARNOLD SENTINEL AUSTRIAN BLACK PINE	4M HT. B&B	
	3	PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	8CM CAL. 1.5M STD. B&B	
	1	QUERCUS RUBRA	RED OAK	8CM CAL. 1.8M STD. B&B	
<p>NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.</p>					
<p>NOTES: TREE REPLACEMENT REQUIRED 40, TREE REPLACEMENT PROVIDED 26 - DEFICIT 14. ALL SOFT LANDSCAPE AREAS TO BE IRRIGATED WITH A HIGH EFFICIENCY AUTOMATIC IRRIGATION SYSTEM; INSTALLATION TO I.I.A.B.C STANDARDS, LATEST EDITION. FINAL LOCATION OF HOSE BIB TO BE DETERMINED BY MECHANICAL.</p>					



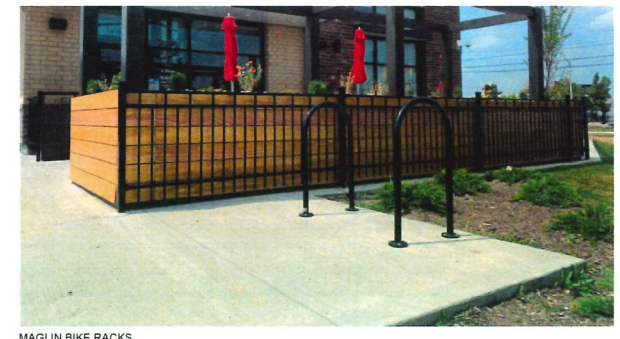
KOMPAN TODDLER SLIDE



KOMPAN PLAY PANEL - CREATIVE: NRO617



MAGLIN BENCH



MAGLIN BIKE RACKS

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SEAL:

DP 24-045175
DECEMBER 15, 2025
PLAN #18

NO.	DATE	REVISION DESCRIPTION	DR.
19	25.SPE.26	NEW SITE PLAN/CITY COMMENTS	RJ
18	25.AUG.15	NEW CIVIL PLAN/NEW GRADING	RJ
17	25.JUN.05	ADD COMMENTS	RJ
16	25.JAN.20	NEW SITE PLAN/CITY COMMENTS	RJ
15	24.NOV.05	CONSULTANT COMMENTS	JR
14	24.NOV.01	CITY COMMENTS	YR
13	24.OCT.25	CONSULTANT COMMENTS	CJ
12	24.OCT.18	CITY COMMENTS	RJ
11	24.OCT.10	NEW SITE PLAN - COMMENTS	MM
10	24.SEP.10	ISSUED FOR DP	RJ
9	24.JUL.25	UPDATE ALR BUFFER	RJ
8	24.JUN.25	NEW SITE PLAN	GHN/YR
7	23.NOV.30	CITY COMMENTS & NEW SITE PLAN	RJ
6	23.APR.03	CITY COMMENTS & NEW SITE PLAN	YR
5	22.MAR.01	NEW SITE PLAN/ARBORIST REPORT	RJ
4	21.OCT.04	DRIVE WAY UPDATED	RJ
3	21.AUG.23	NEW SITE PLAN/ADD PLANTING BED	RJ
2	21.AUG.21	NEW SITE PLAN	RJ
1	19.MAR.06	RE-ZONING AND DP SUBMISSION	RJ

CLIENT:

PROJECT:

16-UNIT TOWNHOUSE DEVELOPMENT
9991 & 9951 BLUNDELL ROAD & 7951 NO.4 ROAD, RICHMOND, BC

DRAWING TITLE:

LANDSCAPE PLAN

DATE: 18.AUG.10
SCALE: 3/32"=1'-0"
DRAWN: RJ/MM
DESIGN: RJ
CHKD: MCY

DRAWING NUMBER:

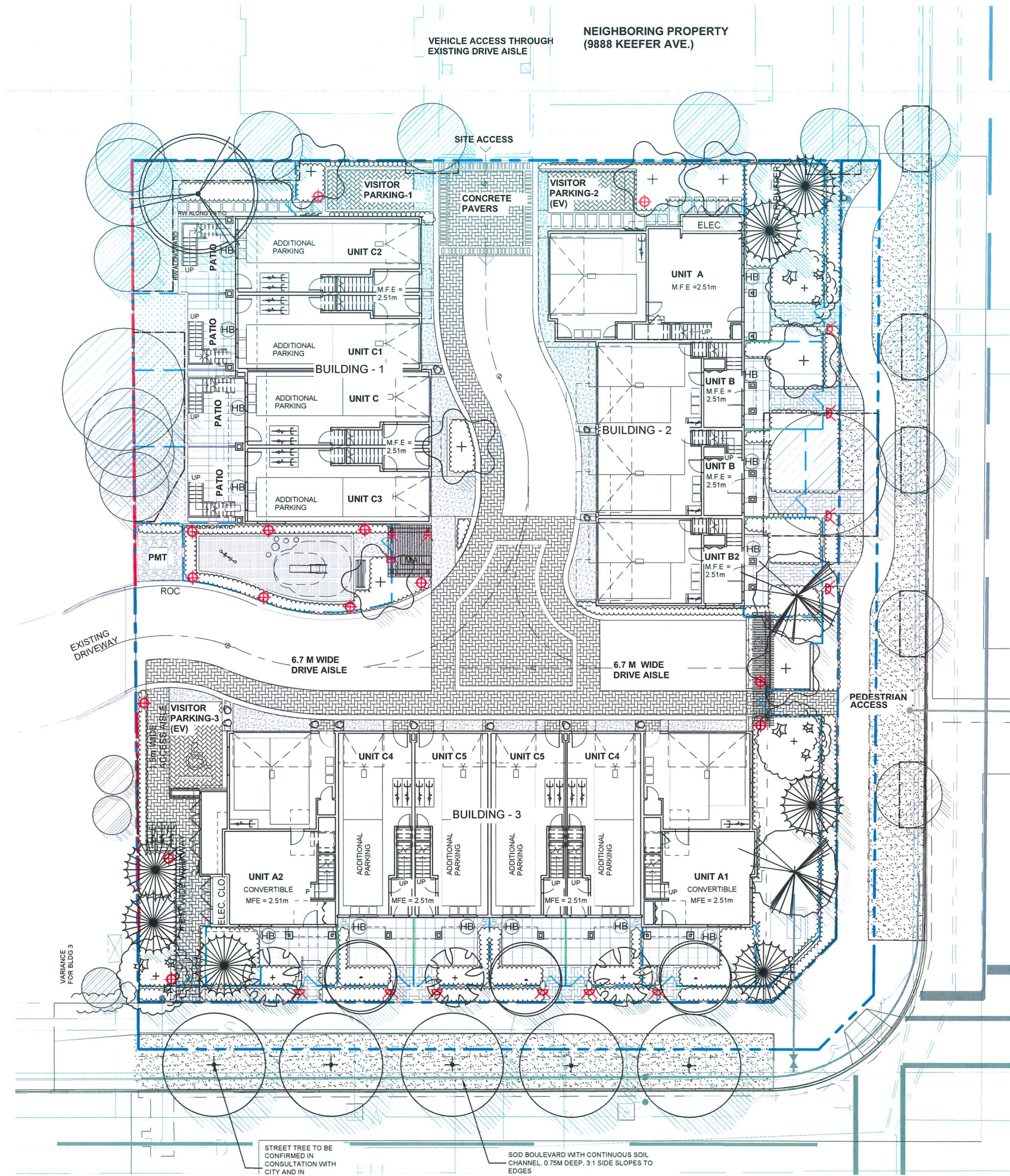
L1
OF 9

PMG PROJECT NUMBER:

18-160



18160-16C.ZIP



LIGHT LEGEND

	BOLLARD LIGHT; LIGMAN; LBX BOLLARD; MATT SILVER DARK SKY CERTIFIED		RECESSED LIGHT; LIGMAN; VIOS 2 SQUARE; BLACK DARK SKY CERTIFIED		SURFACE FACADE LIGHT; LIGMAN; JET 32; BLACK DARK SKY CERTIFIED
--	--------------------------------------------------------------------	--	-----------------------------------------------------------------	--	----------------------------------------------------------------

NOTE: LIGHTING SPEC/LOCATION PER ELECTRICAL DWG.

MATERIAL LEGEND

	ENGINEERED WOOD MULCH
	BELGARD HOLLAND STONE 100 X 200 X 80MM; NATURAL COLOUR
	CONCRETE; BROOM FINISH
	BELGARD AQUALINE 110 X 221 5 X 80MM; MIDNIGHT COLOUR
	GRAVEL
	BELGARD CORTEZ 610X610X50MM; NATURAL COLOUR
	MARATHON SURFACES PIP RUBBER YELLOW

FENCE LEGEND

	42" HT. ALUMINUM FENCE
	6" HT. SOLID WOOD FENCE
	1.8M PRIVACY FENCE BY ARCH
	1.2M PRIVACY FENCE BY ARCH
	EXISTING 6" FENCE TO BE

	HOSE BIB
--	----------

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SEAL:

DP 24-045175
DECEMBER 15, 2025
PLAN #19

NO.	DATE	REVISION DESCRIPTION	DR.
19	25.SPE.26	NEW SITE PLAN/CITY COMMENTS	RJ
18	25.AUG.15	NEW CIVIL PLAN/NEW GRADING	RJ
17	25.JUN.05	ADP COMMENTS	RJ
16	25.JAN.20	NEW SITE PLAN/CITY COMMENTS	RJ
15	24.NOV.06	CONSULTANT COMMENTS	JR
14	24.NOV.01	CITY COMMENTS	YR
13	24.OCT.25	CONSULTANT COMMENTS	CI
12	24.OCT.18	CITY COMMENTS	RJ
11	24.OCT.10	NEW SITE PLAN - COMMENTS	MM
10	24.SEP.10	ISSUED FOR DP	RJ
9	24.JUL.25	UPDATE ALR BUFFER	RJ
8	24.JUN.26	NEW SITE PLAN	GHN/YR
7	23.NOV.30	CITY COMMENTS & NEW SITE PLAN	RJ
6	23.APR.03	CITY COMMENTS & NEW SITE PLAN	YR
5	22.MAR.01	NEW SITE PLAN/ARBORIST REPORT	RJ
4	21.OCT.04	DRIVE WAY UPDATED	RJ
3	21.AUG.23	NEW SITE PLAN/ADD PLANTING BED	RJ
2	21.AUG.21	NEW SITE PLAN	RJ
1	19.MAR.06	RE-ZONING AND DP SUBMISSION	RJ

CLIENT:

PROJECT:

**16-UNIT TOWNHOUSE
DEVELOPMENT**
9991 & 9951 BLUNDELL
ROAD & 7951 NO.4 ROAD,
RICHMOND, BC

DRAWING TITLE:

**MATERIAL
PLAN**

DATE: 18.AUG.10
SCALE: 3/32"=1'-0"
DRAWN: RJ/MM
DESIGN: RJ
CHKD: MCY

DRAWING NUMBER:

L2

OF 9

SEAL

DP 24-045175
DECEMBER 15, 2025
PLAN #20

19	25.09.26	NEW SITE PLAN/CITY COMMENTS	RJ
18	25-AUG.15	NEW CIVIL PLAN/NO GRADING	RJ
17	25 JUN.07	ADP COMMENTS	RJ
16	25.JAN.20	NEW SITE PLAN/CITY COMMENTS	RJ
15	24.NOV.06	CONSULTANT COMMENTS	JR
14	24.NOV.01	CITY COMMENTS	YB
13	24.OCT.25	CONSULTANT COMMENTS	CJ
12	24.OCT.18	CITY COMMENTS	RJ
11	24.OCT.10	NEW STEFAN - COMMENTS	MM
10	24.SEP.10	ISSUED FOR OP	RJ
9	24.JUL.25	UPDATE ALB BUFFER	RJ
8	24.JUN.26	NEW SITE PLAN	GMH/
7	23.NOV.30	CITY COMMENTS & NEW SITE PLAN	RJ
6	23.APR.03	CITY COMMENTS & NEW SITE PLAN	YB
5	22.MAR.01	NEW SITE PLAN/ARBORIST REPORT	RJ
4	21.OCT.04	DRIVE WAY UPDATED	RJ
3	21.AUG.23	NEW SITE PLAN/ADD PLANTING BED	RJ
2	21.AUG.21	NEW SITE PLAN	RJ
1	19.MAR.06	RE-ZONING AND DP SUBMISSION	RJ
NO	DATE	REVISION DESCRIPTION	DP

CLIENT:

PROJECT:

16-UNIT TOWNHOUSE DEVELOPMENT

9991 & 9951 BLUNDELL
ROAD & 7951 NO.4 ROAD,
RICHMOND, BC

DRAWING TITLE:

**SHRUB PLAN
NORTH**

DATE: 18.AUG.10

SCALE: 3/16"=1'-0"

DRAWN: R1/MM

DESIGN: R1

CHK'D: MCY

DRAWING NUMBER:

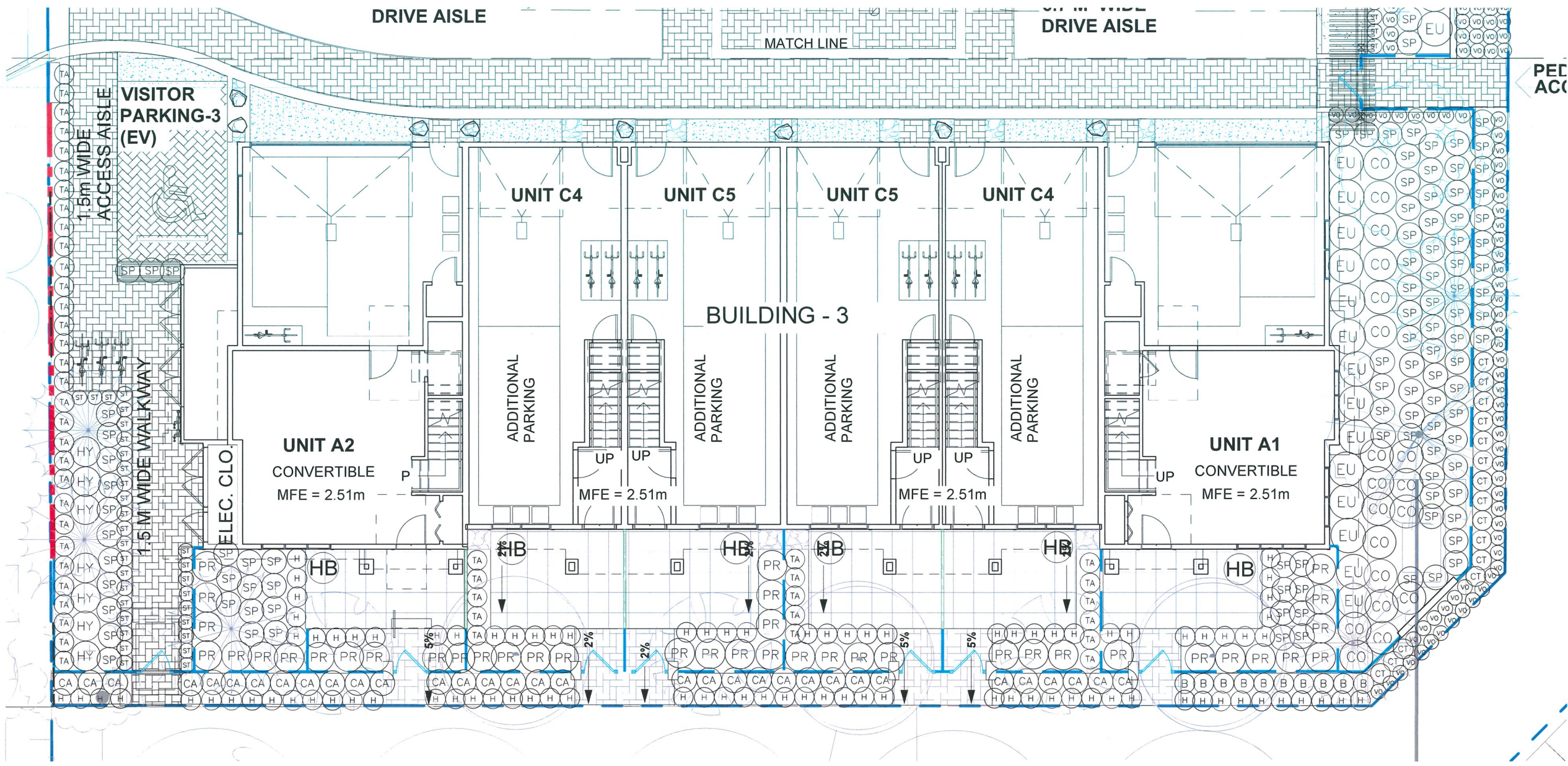
L5

OF 9

18160-16C.ZIP

PMG PROJECT NUMBER

18-160



PLANT SCHEDULE				PMG PROJECT NUMBER: 18-160	
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS	
SHRUB					
AR	2	ARBUTUS UNEDO	STRAWBERRY TREE	#3 POT; 80CM	
B	36	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#3 POT; 40CM	
CO	25	CORNUS ALBA 'SIBIRICA'	SIBERIAN DOGWOOD	#3 POT; 80CM	
CT	45	COTONEASTER LUCIDUS	HEDGE COTONEASTER	#2 POT; 40CM	
EU	39	EUONYMUS ALATA	WINGED BURNING BUSH	#3 POT; 50CM	
HY	7	HYDRANGEA MACROPHYLLA 'SISTER THERESA'	BIGLEAF HYDRANGEA; WHITE	#2 POT; 50CM	
K	8	KALMIA LATIFOLIA 'ELF'	DWARF MOUNTAIN LAUREL	#2 POT; 30CM	
N2	25	NANDINA DOMESTICA 'FIREPOWER'	FIREPOWER HEAVENLY BAMBOO	#2 POT; 40CM	
PR	39	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	#3 POT; 50CM	
RH2	11	RHODODENDRON 'P.J.M.'	RHODODENDRON; LIGHT PURPLE; E. MAY	#3 POT; 50CM	
RO	16	ROSA NUTKANA	NOOTKA ROSE	#2 POT; 40CM	
SP	151	SPIRAEA DOUGLASII	DOUGLAS SPIREA	#3 POT; 60CM	
TA	108	TAXUS X MEDIA 'HICKSII'	HICKSII YEW	1.2M B&B	
VO	131	VACCINIUM OVATUM 'THUNDERBIRD'	EVERGREEN HUCKLEBERRY	#2 POT; 50CM	
GRASS					
CA	33	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	#2 POT	
I	69	CAREX 'OSHIMENSIS EVERGOLD'	SILVER VARIEGATED SEDGE	#1 POT	
ST	41	STIPA TENUISSIMA	MEXICAN FEATHER GRASS	#1 POT	
PERENNIAL					
H	92	HEMEROCALLIS	DAYLILY	#1 POT; 1-2 FAN	
LM	46	LAVENDULA ANGUSTIFOLIA 'MUNSTEAD'	ENGLISH LAVENDER; COMPACT; VIOLET-BLUE	#1 POT	
GC	128	GAULTHERIA SHALLON	SALAL	#1 POT; 20CM	
NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. * AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.					
NOTES: ALL SOFT LANDSCAPE AREAS TO BE IRRIGATED WITH A HIGH EFFICIENCY AUTOMATIC IRRIGATION SYSTEM; INSTALLATION TO I.I.A.B.C STANDARDS, LATEST EDITION.					

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SEAL:

DP 24-045175
DECEMBER 15, 2025
PLAN #21

NO.	DATE	REVISION DESCRIPTION	DR.
19	25.SPE.26	NEW SITE PLAN/CITY COMMENTS	RJ
18	25.AUG.15	NEW CIVIL PLAN/NEW GRADING	RJ
17	25.JUN.05	ADP COMMENTS	RJ
16	25.JAN.20	NEW SITE PLAN/CITY COMMENTS	RJ
15	24.NOV.06	CONSULTANT COMMENTS	JR
14	24.NOV.01	CITY COMMENTS	YR
13	24.OCT.25	CONSULTANT COMMENTS	CI
12	24.OCT.18	CITY COMMENTS	RJ
11	24.OCT.10	NEW SITE PLAN - COMMENTS	MM
10	24.SEP.10	ISSUED FOR DP	RJ
9	24.JUL.25	UPDATE ALR BUFFER	RJ
8	24.JUN.26	NEW SITE PLAN	GHN/YR
7	23.NOV.30	CITY COMMENTS & NEW SITE PLAN	RJ
6	23.APR.03	CITY COMMENTS & NEW SITE PLAN	YR
5	22.MAR.03	NEW SITE PLAN/ARBORIST REPORT	RJ
4	21.OCT.04	DRIVE WAY UPDATED	RJ
3	21.AUG.23	NEW SITE PLAN/ADD PLANTING BED	RJ
2	21.AUG.21	NEW SITE PLAN	RJ
1	19.MAR.06	RE-ZONING AND DP SUBMISSION	RJ

CLIENT:

PROJECT:

**16-UNIT TOWNHOUSE
DEVELOPMENT**
**9991 & 9951 BLUNDELL
ROAD & 7951 NO.4 ROAD,
RICHMOND, BC**

DRAWING TITLE:

**SHRUB PLAN
SOUTH**

DATE: 18.AUG.10

SCALE: 3/16"=1'-0"

DRAWN: RJ/MM

DESIGN: RJ

CHKD: MCY

DRAWING NUMBER:

L6

OF 9

PMG PROJECT NUMBER:

18-160



18160-16C.ZIP

pmg
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ARCHITECTS

SEAL:

DP 24-045175
DECEMBER 15, 2025
PLAN #22



19	15.FE.26	NEW SITE PLAN/CITY COMMENTS	RJ
18	15.AUG.15	NEW CIVIL PLAN/NEW GRADING	RJ
17	25.JUN.07	ADP COMMENTS	RJ
16	15.JAN.20	NEW SITE PLAN/CITY COMMENTS	RJ
15	24.NOV.06	CONSULTANT COMMENTS	RJ
14	24.NOV.01	CITY COMMENTS	YB
13	24.OCT.25	CONSULTANT COMMENTS	CJ
12	24.OCT.18	CITY COMMENTS	RJ
11	24.OCT.10	NEW STEEP LANE - COMMENTS	MM
10	24.SEP.10	ISSUED FOR DP	RJ
9	24.JUL.25	UPDATE ALB BUFFER	RJ
8	24.JUN.26	NEW SITE PLAN	GH/N
7	23.NOV.30	CITY COMMENTS & NEW SITE PLAN	RJ
6	23.APR.03	CITY COMMENTS & NEW SITE PLAN	YB
5	22.MAR.01	NEW SITE PLAN/ARBORIST REPORT	RJ
4	21.OCT.04	DRIVE WAY UPDATED	RJ
3	21.AUG.23	NEW SITE PLAN/ADD PLANTING BED	RJ
2	21.AUG.21	NEW SITE PLAN	RJ
1	19.MAR.06	RE-ZONING AND DP SUBMISSION	RJ
NO DATE	REVISION DESCRIPTION	DR	

CLIENT:

PROJECT:

9991 & 9951 BLUNDELL
ROAD & 7951 NO.4 ROAD,
RICHMOND, BC

DRAWING TITLE:

GRADING PLAN

DATE: 18.AUG.10

SCALE: 3/32"=1'-0"

DRAWN: RI/MM

DESIGN: RJ

CHK'D: MCY

DRAWING NUMBER:

17

DRAWN: RI/MM

DESIGN: RI

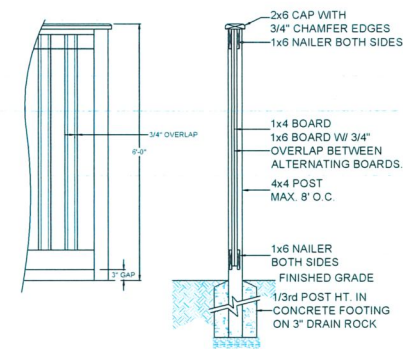
CHK'D: MCY

OF 9

18160-16C.ZIF

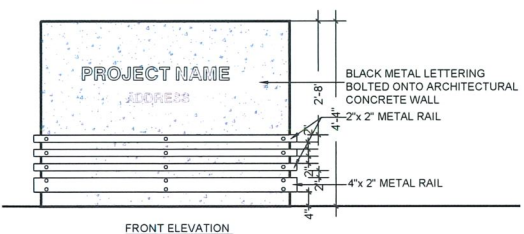
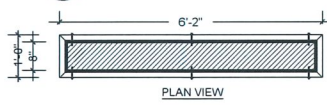
PMG PROJECT NUMBER

18-160



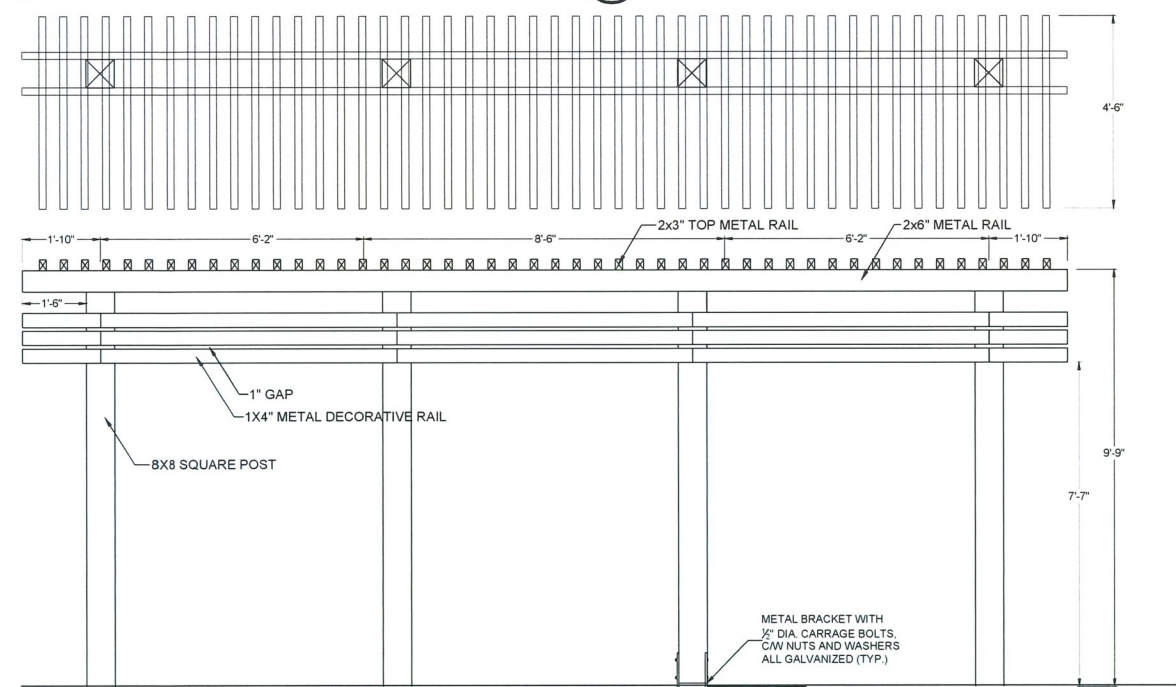
- NOTE:
1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE
 2. ALL OTHER MEMBERS TO BE CEDAR #2 (CONSTRUCTION) GRADE MINIMUM
 3. ALL HARDWARE HOT DIPPED GALVANIZED
 4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURER'S SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
 5. ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12"-18" STEPS (MAX.). GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3-6".

1 6'-0" HEIGHT SOLID WOOD FENCE
SCALE: 1/2"=1'-0"



NOTE:
ALL METAL RAILS TO BE FINISHED IN BLACK

5 SIGN WALL
SCALE: 1/2"=1'-0"

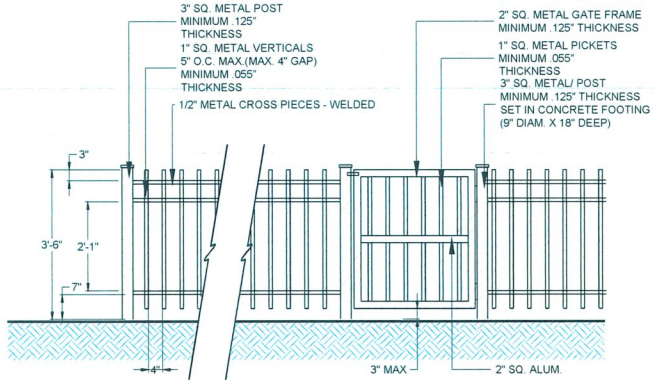


NOTE:
ALL METAL RAILS TO BE FINISHED IN BLACK

CONC. FOOTING ON
6" OF COMPACTED BASE
3/4" ROAD CRUSH ON
COMPACTED SUBGRADE
TYPICAL FOR ALL CONC. FOOTING

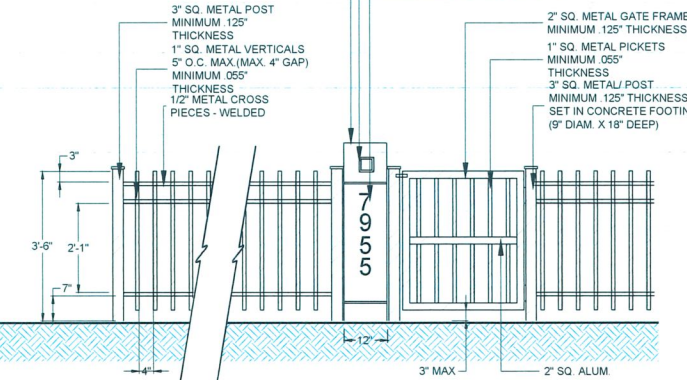
NOTE:
- DELEGATED DESIGN -
PROVIDE ENGINEERED
SHOP DRAWINGS FOR PMG
TO REVIEW PRIOR TO
CONSTRUCTION
- ALL METAL TO BE FINISHED
IN BLACK.

8 TRELLIS STRUCTURE (ENTRY)
SCALE: 1/2"=1'-0"



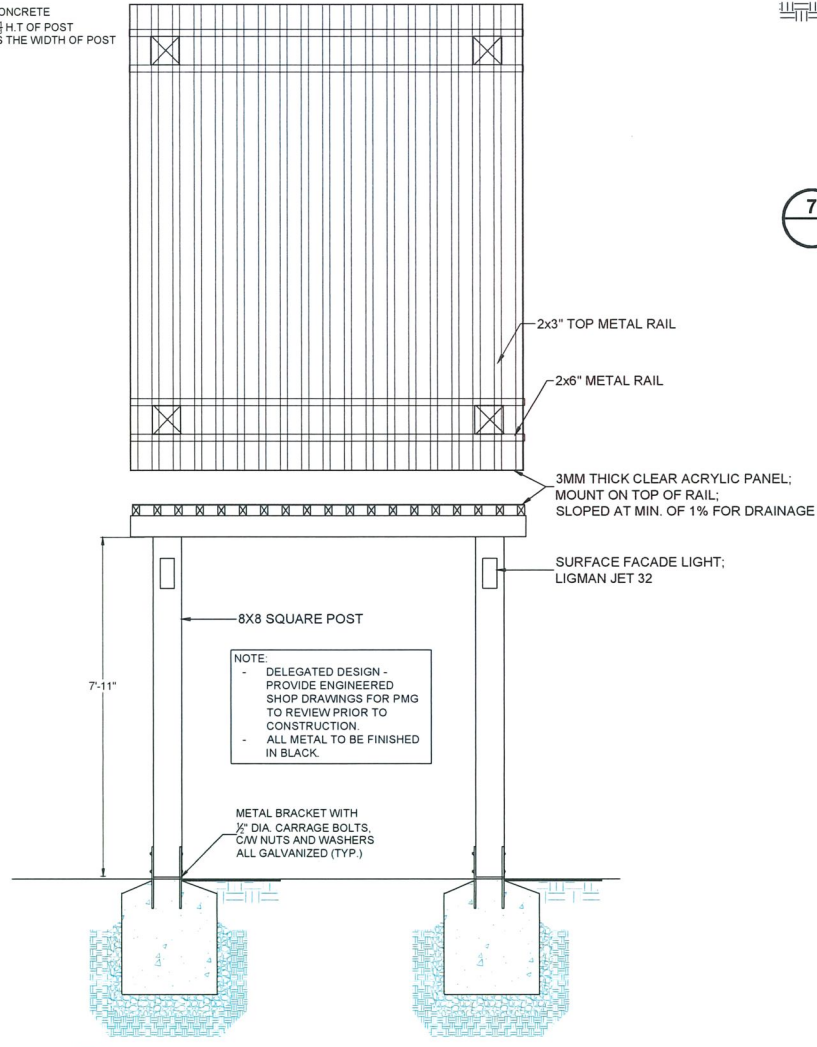
NOTE:
INDUSTRIAL-GRADE METAL FENCING
HEAVY DUTY HANDLE & HINGES
AAMA 2603 COMPLIANT POWDER-COATING
COLOUR OF FENCE TO BE APPROVED BY LANDSCAPE ARCHITECT

2 42" HIGH ALUMINIUM FENCE DETAIL
SCALE: 1/2"=1'-0"



NOTE:
INDUSTRIAL-GRADE METAL FENCING
HEAVY DUTY HANDLE & HINGES
AAMA 2603 COMPLIANT POWDER-COATING
COLOUR OF FENCE TO BE APPROVED BY LANDSCAPE ARCHITECT

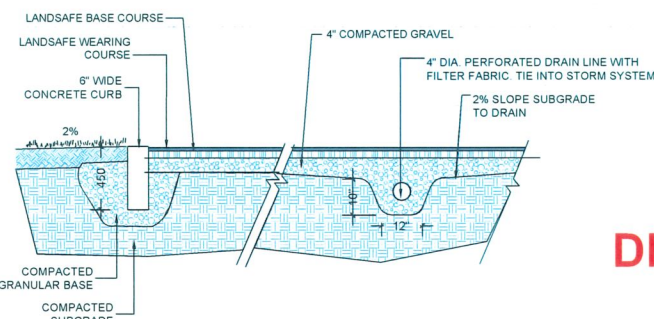
3 ADDRESS COLUMN AND GATE
SCALE: 1/2"=1'-0"



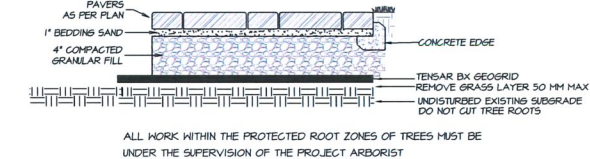
NOTE:
- DELEGATED DESIGN -
PROVIDE ENGINEERED
SHOP DRAWINGS FOR PMG
TO REVIEW PRIOR TO
CONSTRUCTION
- ALL METAL TO BE FINISHED
IN BLACK.

METAL BRACKET WITH
1/2" DIA. CARRAGE BOLTS,
C/W NUTS AND WASHERS
ALL GALVANIZED (TYP.)

9 TRELLIS STRUCTURE (AMENITY AREA)
SCALE: 1/2"=1'-0"



4 PLAYGROUND SAFETY SURFACE
SCALE: 1/2"=1'-0"



ALL WORK WITHIN THE PROTECTED ROOT ZONES OF TREES MUST BE
UNDER THE SUPERVISION OF THE PROJECT ARBORIST

7 PAVER DETAIL THROUGH ROOT ZONE
SCALE: 1"=1'-0"

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SEAL:

DP 24-045175
DECEMBER 15, 2025
PLAN #23

19	25 SEP.20	NEW SITE PLAN/CITY COMMENTS	RJ
18	25 AUG.15	NEW CIVIL PLAN/NEW GRADING	RJ
17	25 JUN.05	ADP COMMENTS	RJ
16	25 JAN.20	NEW SITE PLAN/CITY COMMENTS	RJ
15	24 NOV.06	CONSULTANT COMMENTS	JR
14	24 NOV.01	CITY COMMENTS	YR
13	24 OCT.25	CONSULTANT COMMENTS	CJ
12	24 OCT.18	CITY COMMENTS	RJ
11	24 OCT.10	NEW SITE PLAN - COMMENTS	MM
10	24 SEP.10	ISSUED FOR DP	RJ
9	24 JUL.25	UPDATE ALR BUFFER	RJ
8	24 JUN.26	NEW SITE PLAN	GHN/YR
7	23 NOV.30	CITY COMMENTS & NEW SITE PLAN	RJ
6	23 APR.03	CITY COMMENTS & NEW SITE PLAN	YR
5	22 MAR.01	NEW SITE PLAN/ARBORIST REPORT	RJ
4	21 OCT.04	DRIVE WAY UPDATED	RJ
3	21 AUG.23	NEW SITE PLAN/ADD PLANTING BED	RJ
2	21 AUG.21	NEW SITE PLAN	RJ
1	19 MAR.06	RE-ZONING AND DP SUBMISSION	RJ

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:

**16-UNIT TOWNHOUSE
DEVELOPMENT**
**9991 & 9951 BLUNDELL
ROAD & 7951 NO.4 ROAD,
RICHMOND, BC**

DRAWING TITLE:

**LANDSCAPE
DETAILS**

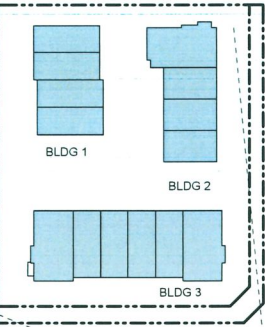
DATE: 18.AUG.10
SCALE: AS SHOWN
DRAWN: RJ/MM
DESIGN: RJ
CHK'D: MCY

DRAWING NUMBER:
L8
OF 9



1. SOUTH-EAST VIEW - FROM THE CROSSROADS OF BLUNDELL RD. AND NO. 4 RD.

NOTES:



KEY PLAN

2025-12-08	S	DP RESUBMISSION
2025-12-08	S	DP RESUBMISSION
2025-11-19	G	DP RESUBMISSION
2025-10-01	B	DP RESUBMISSION
2025-06-20	G	DP RESUBMISSION
2024-11-08	N	ADP SET FOR REVIEW
2024-10-20	M	ADP SET FOR REVIEW
2024-10-08	L	DP RESUBMISSION
2024-09-13	S	DP APPLICATION
2024-07-09	T	P2 RESUBMISSION
2024-04-01	L	P2 RESUBMISSION
2024-01-10	Z	P2 RESUBMISSION
2022-11-01	G	P2 RESUBMISSION
2022-10-11	F	P2 RESUBMISSION
2022-09-13	S	P2 RESUBMISSION
2021-10-18	S	P2 RESUBMISSION
2021-08-18	O	R2 SUBMISSION
2021-08-18	O	ZONING & PRELIMINARY DP SUBMISSION

DF ARCHITECTURE INC.

350-10451 SHELLBRIDGE WAY RICHMOND, B.C.
CANADA V6X 2V9
T (604)284-5134 F (604)284-5131
info@dfarchitecture.ca



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PROJECT:
PROPOSED TOWNHOUSE DEVELOPMENT

9991 & 9951 BLUNDELL ROAD &
7951 NO. 4 ROAD, RICHMOND, B.C

CLIENT:
WEST KARAGON PROPERTIES INC.

DRAWN: PS
CHECKED: JA
SCALE:
JOB NO: RCH-029
DATE: MARCH 2019
SHEET TITLE:



RENDERINGS

DRAWING NO.	S	N
A-450		

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DP 24-045175
DECEMBER 15, 2025
REFERENCE PLAN

2025-12-08 - DP RESUBMISSION

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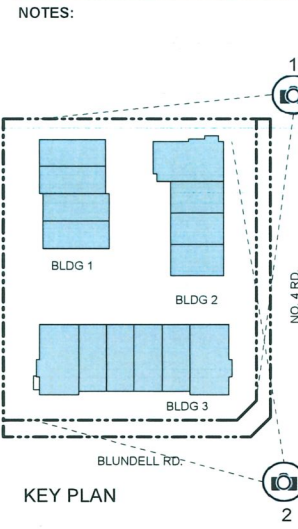
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1. NORTH-EAST VIEW FROM NO.4 RD.



2. SOUTH-EAST VIEW - FROM THE CROSSROADS OF BLUNDELL RD. AND NO. 4 RD.



2025-12-08	S	DP RESUBMISSION
2025-12-07	B	DP RESUBMISSION
2025-11-17	D	DP RESUBMISSION
2025-10-04	E	DP RESUBMISSION
2025-08-20	G	DP RESUBMISSION
2024-11-06	N	ANP SET FOR REVIEW
2024-10-20	M	ANP SET FOR REVIEW
2024-10-09	L	DP RESUBMISSION
2024-09-13	K	DP APPLICATION
2024-07-09	J	D2 RESUBMISSION
2024-04-04	I	D2 RESUBMISSION
2024-01-10	H	D2 RESUBMISSION
2022-11-01	G	D2 RESUBMISSION
2022-10-11	F	D2 RESUBMISSION
2022-09-21	E	D2 RESUBMISSION
2021-10-14	D	D2 RESUBMISSION
2021-08-12	C	R2 SUBMISSION
2021-06-10	B	ZONING & PRELIMINARY DP SUBMISSION

DF ARCHITECTURE INC.
350-10851 SHELLBRIDGE WAY RICHMOND B.C.
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GROUP 161
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PROJECT:
PROPOSED TOWNHOUSE DEVELOPMENT

9991 & 9951 BLUNDELL ROAD & 7951 NO. 4 ROAD, RICHMOND, B.C

CLIENT:
WEST KARAGON PROPERTIES INC.

DRAWN: PS	
CHECKED: JA	
SCALE:	
JOB NO: RCH-029	
DATE: MARCH 2019	
SHEET TITLE: 2025-12-08	

DRAWING No.		
A-451	S	
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DP 24-045175
DECEMBER 15, 2025
REFERENCE PLAN

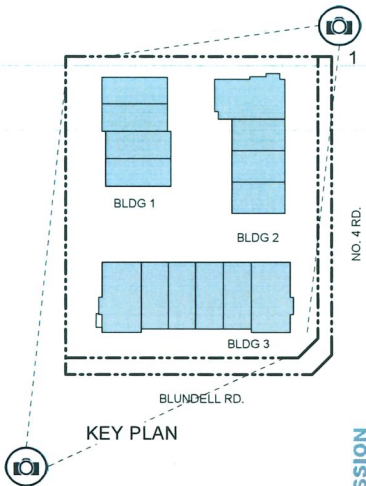


1. NORTH-EAST VIEW FROM NO.4 RD.



2. SOUTH-WEST VIEW FROM BLUNDELL RD.

NOTES:



DP 24-045175
DECEMBER 15, 2025
REFERENCE PLAN

2025-12-08	S	DP RESUBMISSION
2025-12-08	B	DP RESUBMISSION
2025-11-19	A	DP RESUBMISSION
2025-10-04	B	DP RESUBMISSION
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2024-10-08	L	DP RESUBMISSION
2024-09-13	K	DP APPLICATION
2024-07-29	J	P2 RESUBMISSION
2024-04-23	I	P2 RESUBMISSION
2024-01-10	H	P2 RESUBMISSION
2022-11-01	G	P2 RESUBMISSION
2022-10-11	F	P2 RESUBMISSION
2022-09-28	E	P2 RESUBMISSION
2021-09-18	D	P2 RESUBMISSION
2021-04-15	C	P2 SUBMISSION
2021-06-18	B	ZONING & PRELIMINARY DP SUBMISSION

DF ARCHITECTURE INC.

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PROJECT:
PROPOSED TOWNHOUSE DEVELOPMENT

9991 & 9951 BLUNDELL ROAD & 7951 NO. 4 ROAD, RICHMOND, B.C

CLIENT:
WEST KARAGON PROPERTIES INC.

DRAWN: PS	
CHECKED: JA	
SCALE:	
JOB NO: RCH-029	
DATE: MARCH 2019	
SHEET TITLE	2025-12-08

RENDERINGS

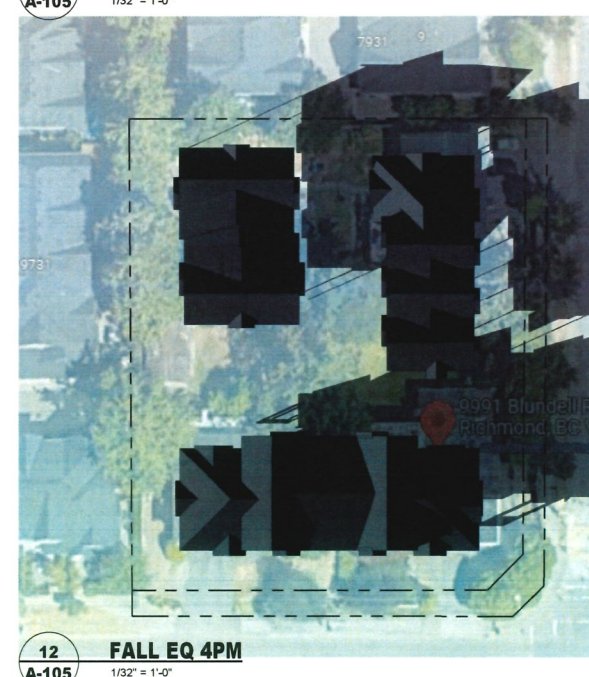
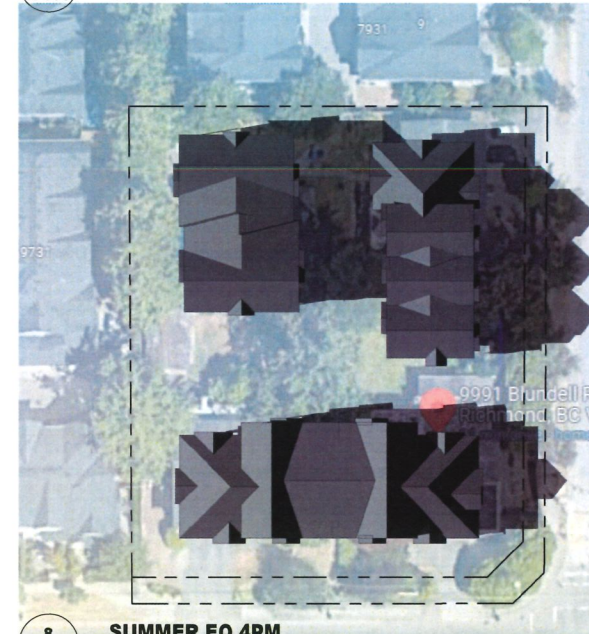
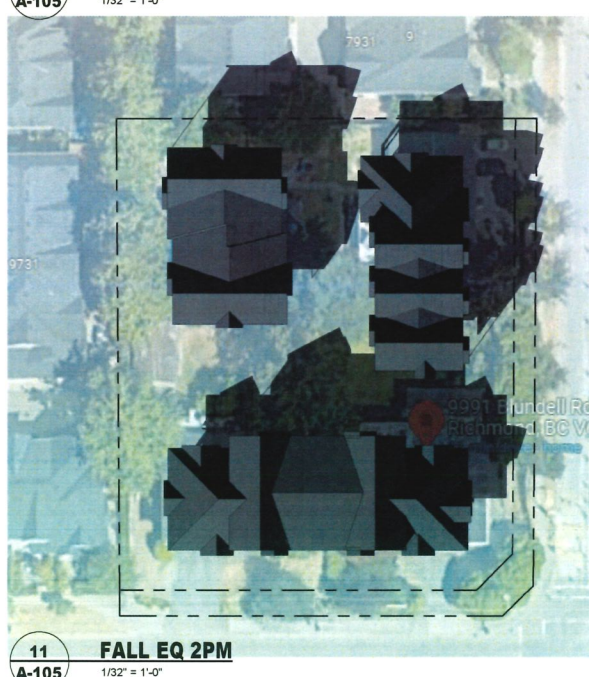
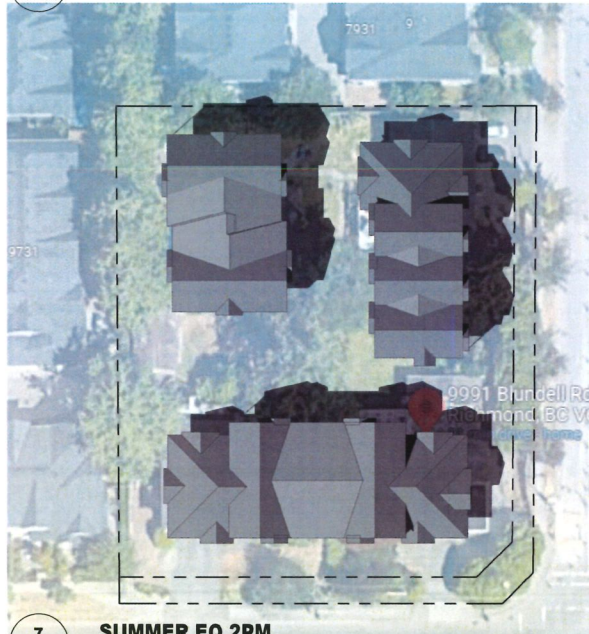
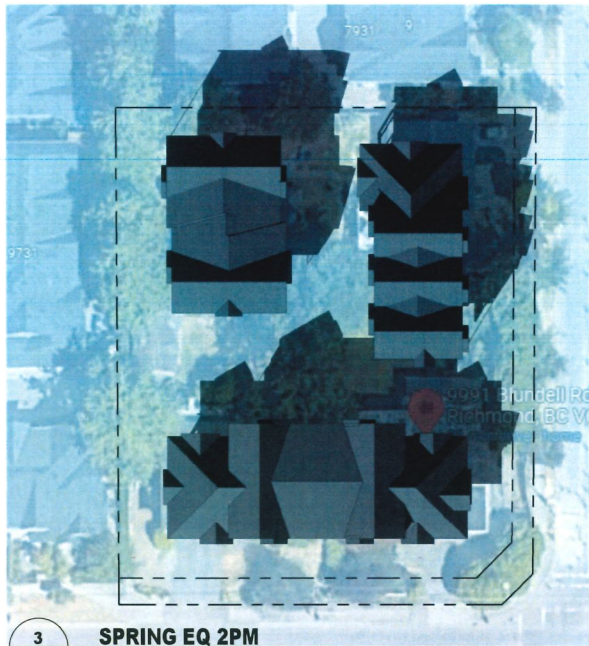
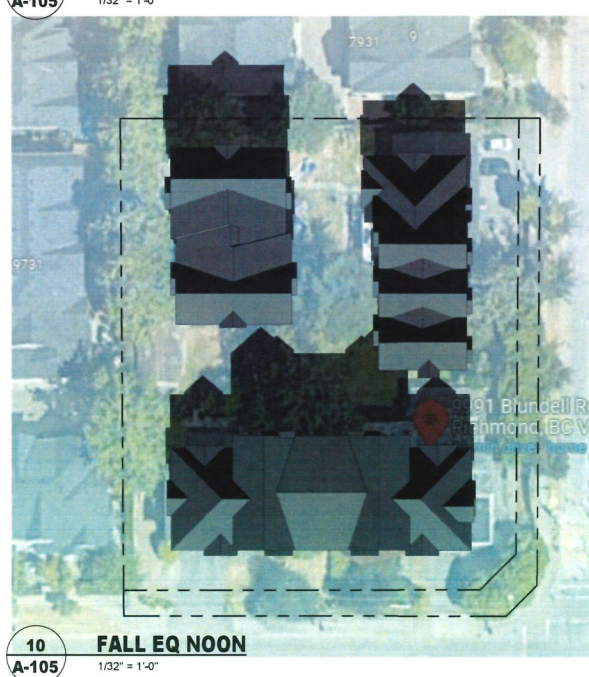
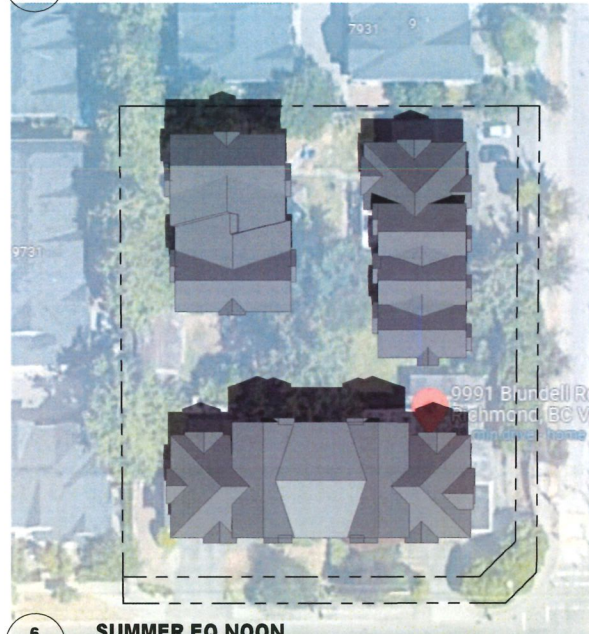
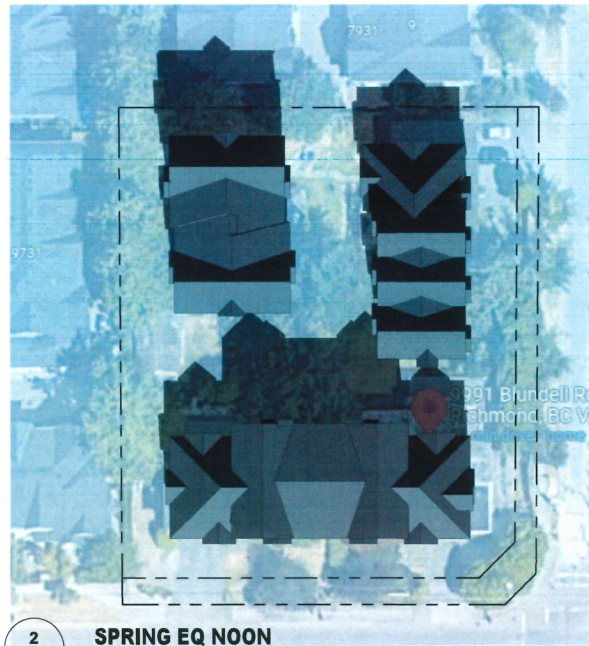
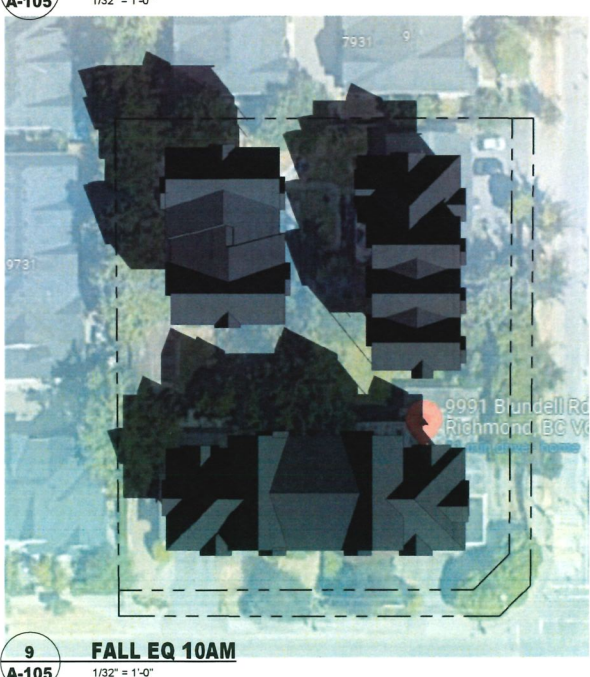
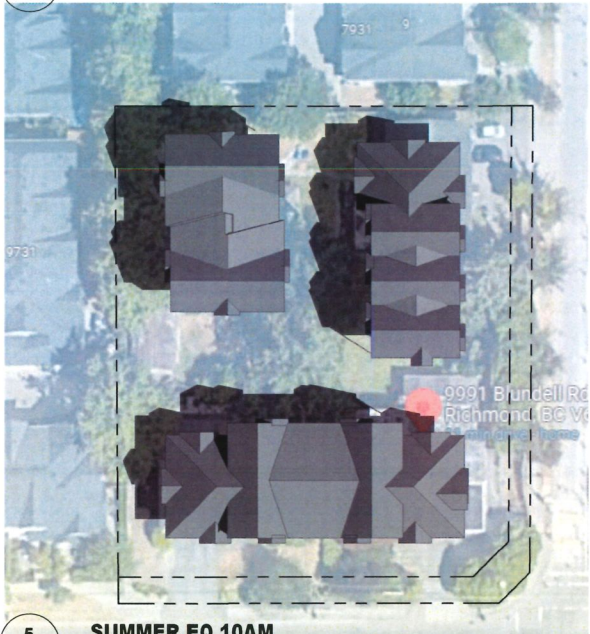
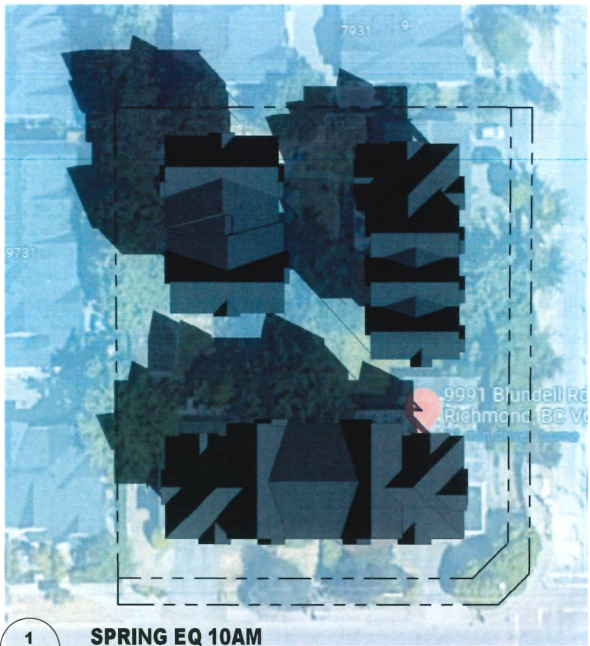
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2025-12-08 - DP RESUBMISSION

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NOTES:

DP 24-045175
DECEMBER 15, 2025
REFERENCE PLAN

2025-12-08	S	DP RESUBMISSION
2025-12-02	S	DP RESUBMISSION
2025-11-17	A	DP RESUBMISSION
2025-10-24	P	DP RESUBMISSION
2025-09-20	C	DP RESUBMISSION
2024-11-09	N	ADP SET FOR REVIEW
2024-10-29	M	ADP SET FOR REVIEW
2024-10-09	L	DP RESUBMISSION
2024-09-13	K	DP APPLICATION
2024-07-20	J	PX RESUBMISSION
2024-04-03	I	PX RESUBMISSION
2024-01-10	H	PX RESUBMISSION
2023-11-01	G	PX RESUBMISSION
2023-10-11	F	PX RESUBMISSION
2023-09-14	E	PX RESUBMISSION
2021-10-10	D	PX RESUBMISSION
2021-08-10	C	PX SUBMISSION
2021-06-10	B	ZONING & PRELIMINARY DP SUBMISSION

DF ARCHITECTURE INC.
350-10451 SHELLBRIDGE WAY, RICHMOND, B.C.
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www.dfarchitecture.ca

GROUP 161
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PROJECT: PROPOSED TOWNHOUSE DEVELOPMENT
9991 & 9951 BLUNDELL ROAD & 7951 NO. 4 ROAD, RICHMOND, B.C.

CLIENT: WEST KARAGON PROPERTIES INC.

DRAWN: PS	
CHECKED: JA	
SCALE: 1/32" = 1'-0"	
JOB NO: RCH-029	
DATE: MARCH 2019	
SHEET TITLE	2025-12-08

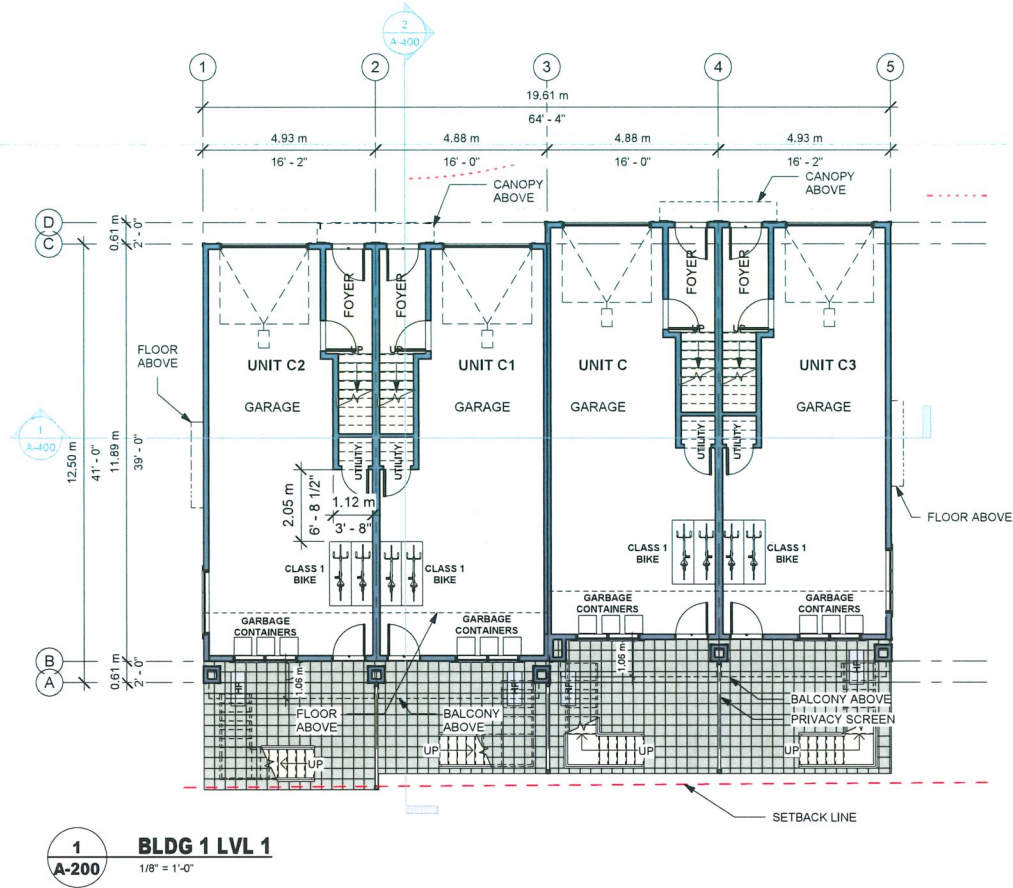
SHADOW ANALYSIS

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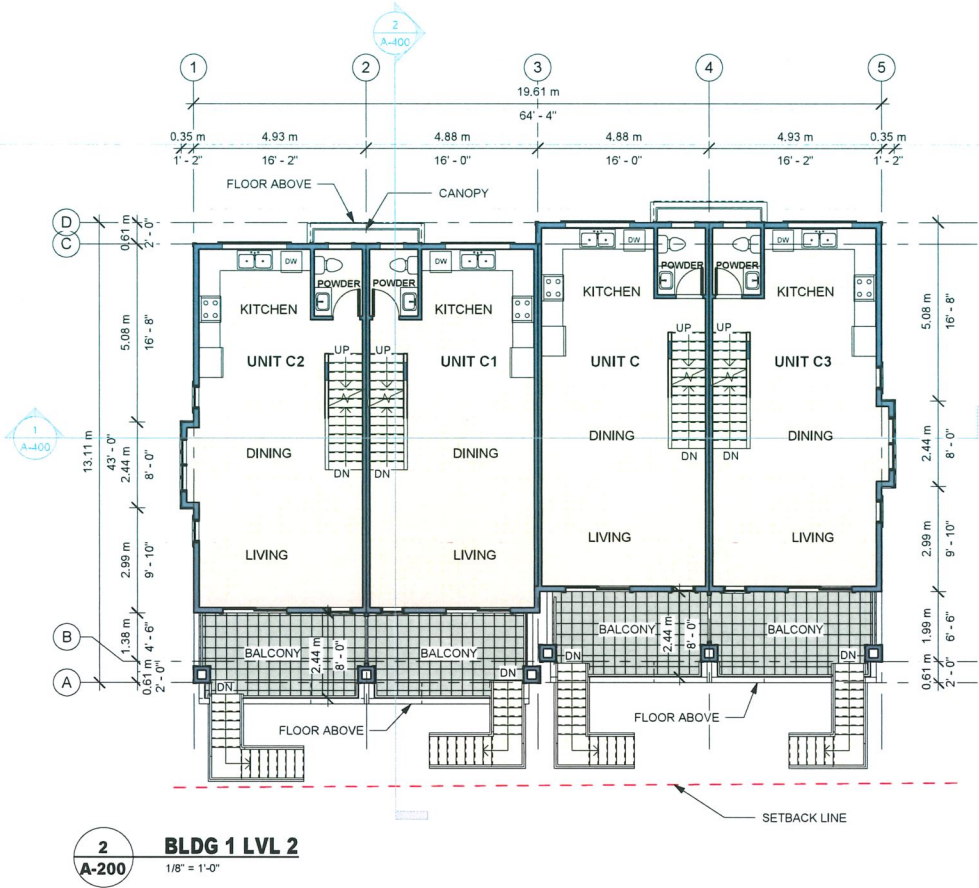
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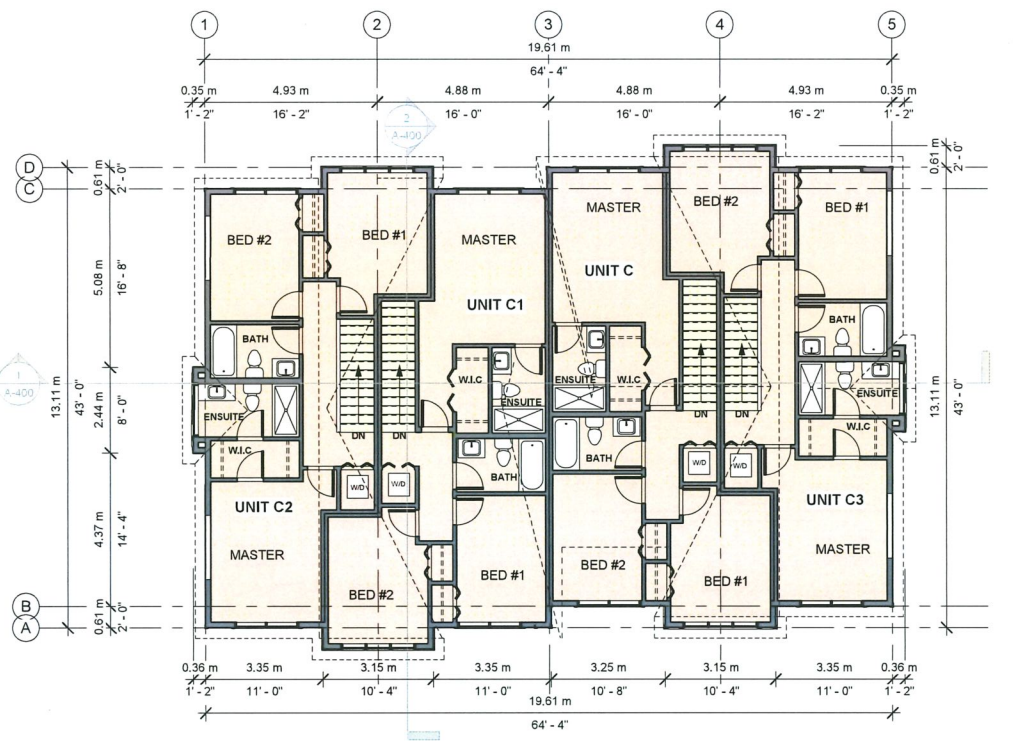
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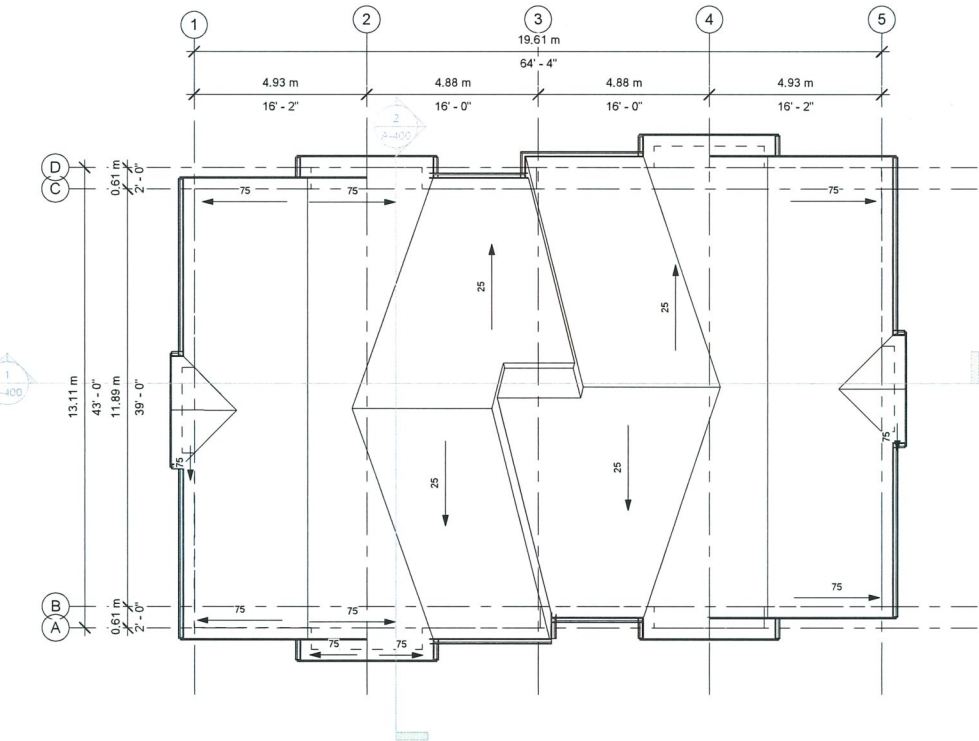
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A-200 1/8" = 1'-0"



2 BLDG 1 LVL 2
A-200 1/8" = 1'-0"

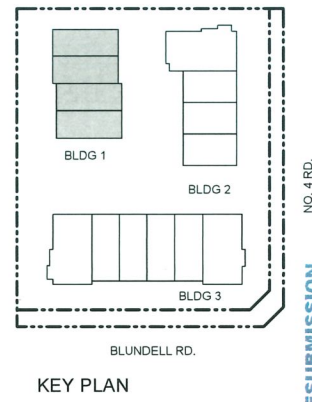


3 BLDG 1 LVL 3
A-200 1/8" = 1'-0"



4 BLDG 1 ROOF PLAN
A-200 1/8" = 1'-0"

NOTES:
ALL MULTIPLE FAMILY RESIDENTIAL DEVELOPMENTS IN RICHMOND ARE REQUIRED TO HAVE AGING IN PLACE FEATURES IN ALL OF THE UNITS (E.G., INCLUSION OF BLOCKING TO BATHROOMS FOR INSTALLATION OF GRAB-BARS, PROVISION OF BLOCKING TO STAIR WALLS TO ACCOMMODATE LIFT INSTALLATION AT A FUTURE DATE, AND PROVISION OF LEVER DOOR HANDLES).



KEY PLAN

2025-12-08	S	DP RESUBMISSION
2025-12-04	R	DP RESUBMISSION
2025-11-14	L	DP RESUBMISSION
2025-10-01	P	DP RESUBMISSION
2025-08-20	G	DP RESUBMISSION
2024-11-05	N	APP SET FOR REVIEW
2024-10-25	M	APP SET FOR REVIEW
2024-10-09	L	DP RESUBMISSION
2024-05-13	K	DP APPLICATION
2024-05-03	J	PZ RESUBMISSION
2024-04-01	I	PZ RESUBMISSION
2024-01-10	H	PZ RESUBMISSION
2023-12-01	G	PZ RESUBMISSION
2023-10-11	F	PZ RESUBMISSION
2023-07-28	E	PZ RESUBMISSION
2021-10-14	D	PZ RESUBMISSION
2021-06-12	C	PZ SUBMISSION
2021-06-10	B	ZONING & PRELIMINARY DP SUBMISSION

DF ARCHITECTURE INC.

350-10151 SHELLBRIDGE WAY, RICHMOND, B.C.
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info@dfarchitecture.ca



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PROJECT: PROPOSED TOWNHOUSE DEVELOPMENT

9991 & 9951 BLUNDELL ROAD & 7951 NO. 4 ROAD, RICHMOND, B.C.

CLIENT: WEST KARAGON PROPERTIES INC.

DRAWN	PS
CHECKED	JA
SCALE	1/8" = 1'-0"
JOB NO.	RCH-029
DATE	MARCH 2019

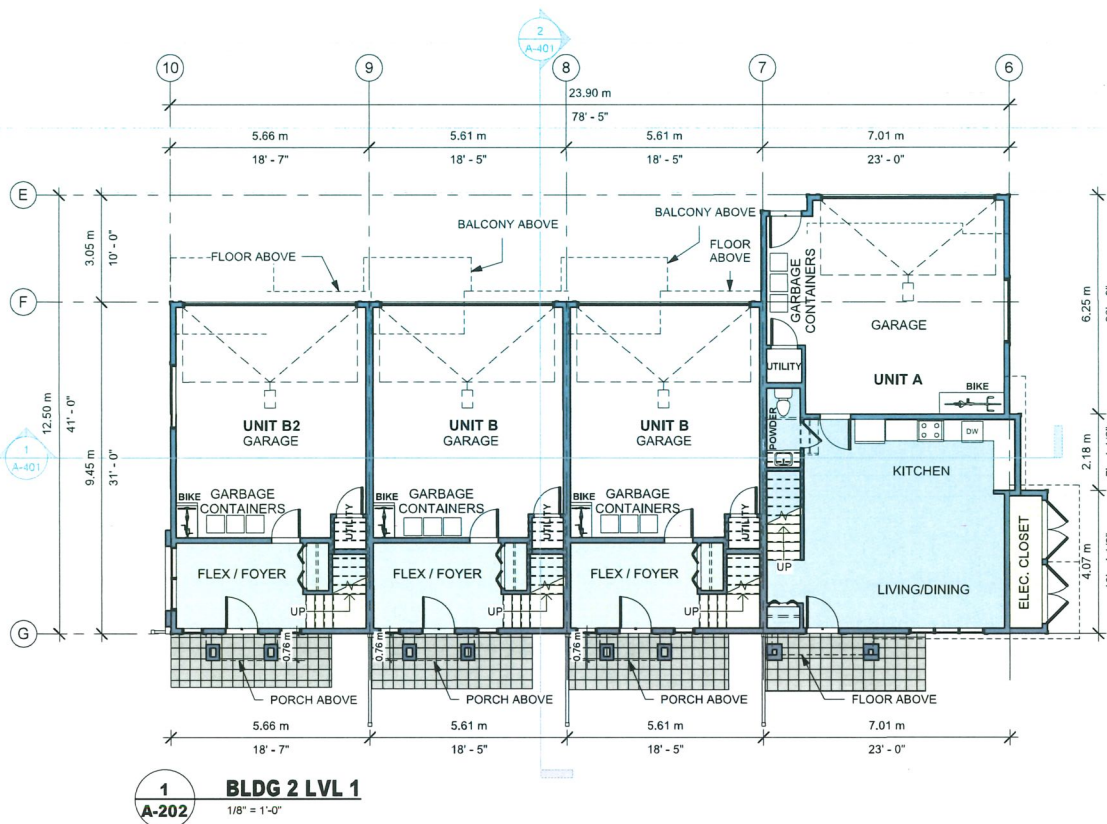
SHEET TITLE

BUILDING 1 - FLOOR PLANS

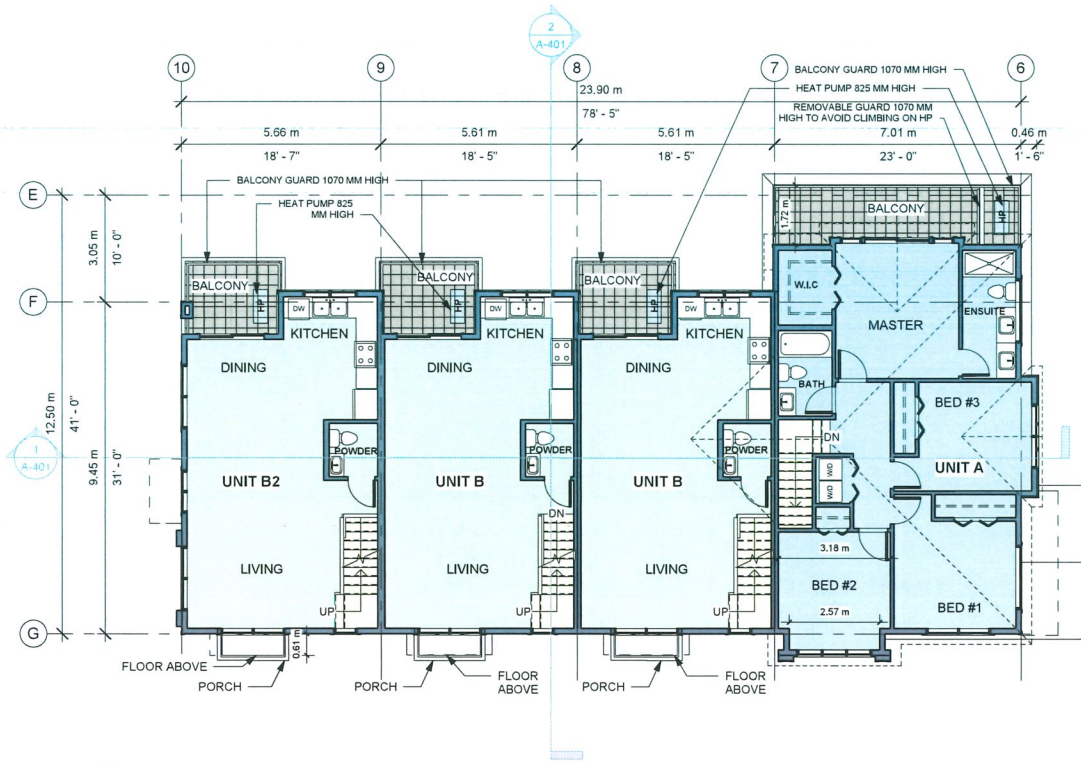
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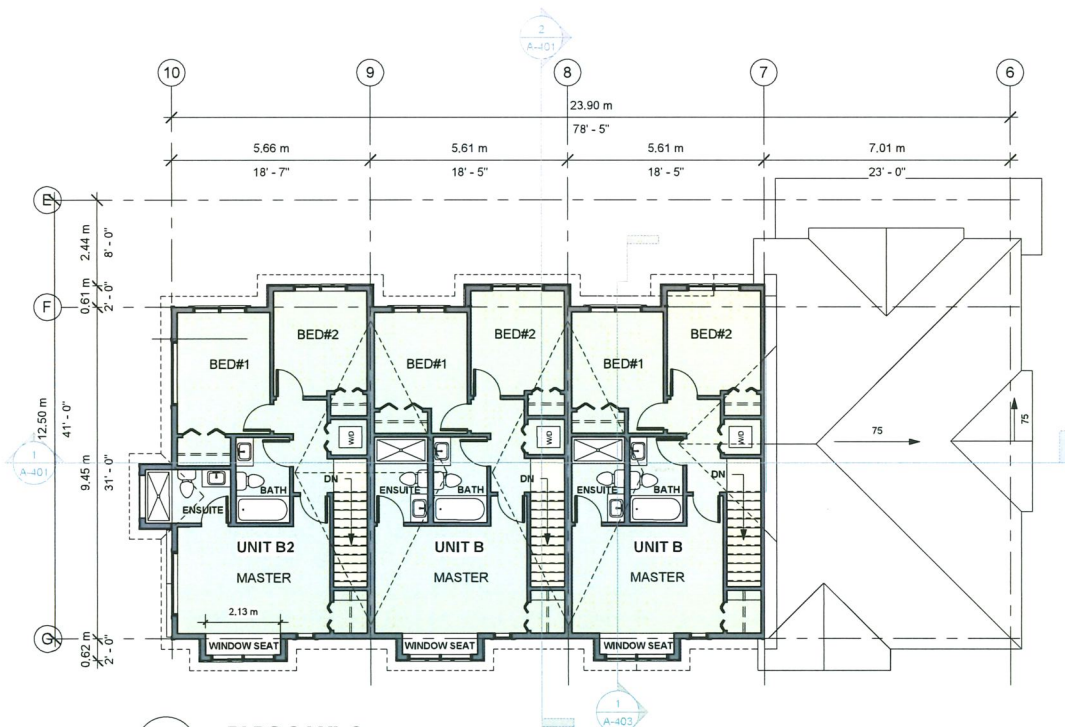
DP 24-045175
DECEMBER 15, 2025
REFERENCE PLAN



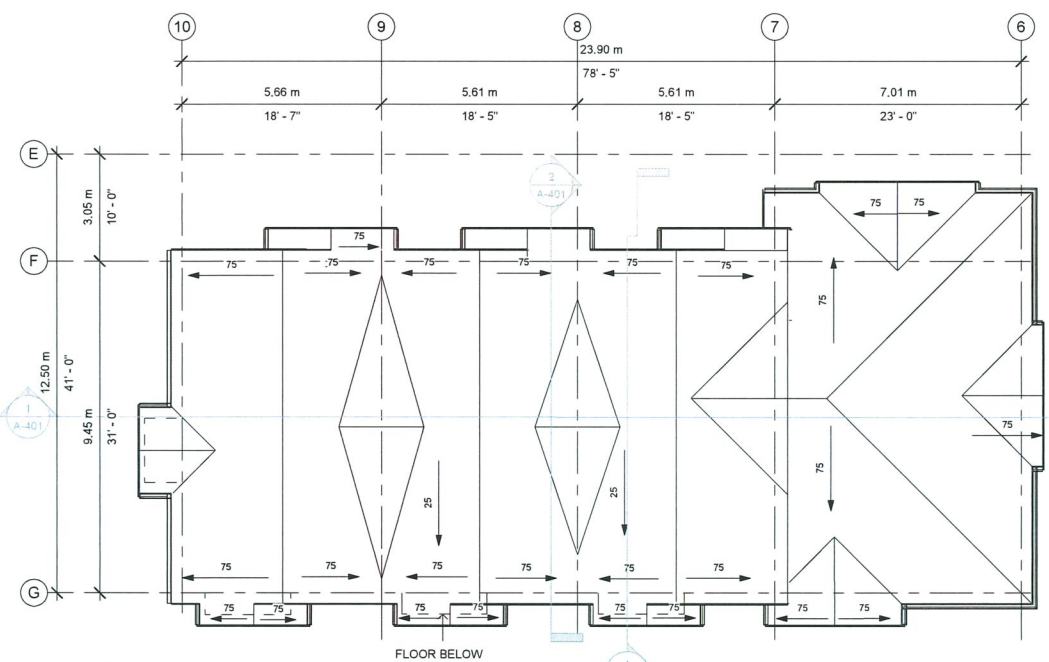
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1/8" = 1'-0"



2 BLDG 2 LVL 2
1/8" = 1'-0"



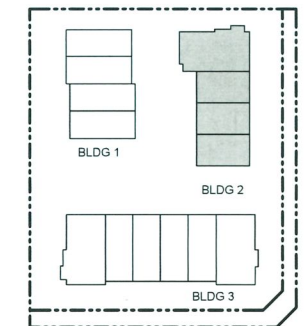
3 BLDG 2 LVL 3
1/8" = 1'-0"



4 BLDG 2 ROOF PLAN
1/8" = 1'-0"

NOTES:

ALL MULTIPLE FAMILY RESIDENTIAL DEVELOPMENTS IN RICHMOND ARE REQUIRED TO HAVE AGING IN PLACE FEATURES IN ALL OF THE UNITS (E.G., INCLUSION OF BLOCKING TO BATHROOMS FOR INSTALLATION OF GRAB-BARS, PROVISION OF BLOCKING TO STAIR WALLS TO ACCOMMODATE LIFT INSTALLATION AT A FUTURE DATE, AND PROVISION OF LEVER DOOR HANDLES).



KEY PLAN

2015-12-09	S	DP RESUBMISSION
2015-12-09	R	DP RESUBMISSION
2015-10-01	P	DP RESUBMISSION
2015-09-20	D	DP RESUBMISSION
2014-11-20	N	ADP SET FOR REVIEW
2014-10-20	M	ADP SET FOR REVIEW
2014-10-20	L	DP RESUBMISSION
2014-08-11	K	DP APPLICATION
2014-07-20	J	B2 RESUBMISSION
2014-06-20	I	B2 RESUBMISSION
2014-01-10	H	B2 RESUBMISSION
2012-11-01	G	B2 RESUBMISSION
2012-08-11	F	B2 RESUBMISSION
2012-03-20	E	B2 RESUBMISSION
2011-10-10	D	B2 RESUBMISSION
2011-06-10	C	B2 RESUBMISSION
2011-06-10	B	ZONING & PRELIMINARY DP SUBMISSION
2010-03-14	A	ZONING & DP SUBMISSION

DF ARCHITECTURE INC.

350-10451 SHELLBRIDGE WAY, RICHMOND, B.C.
CANADA V6X 2V9
T: (604) 274-5134 F: (604) 274-5131
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PROJECT: PROPOSED TOWNHOUSE DEVELOPMENT

9991 & 9951 BLUNDELL ROAD & 7951 NO. 4 ROAD, RICHMOND, B.C.

CLIENT: WEST KARAGON PROPERTIES INC.

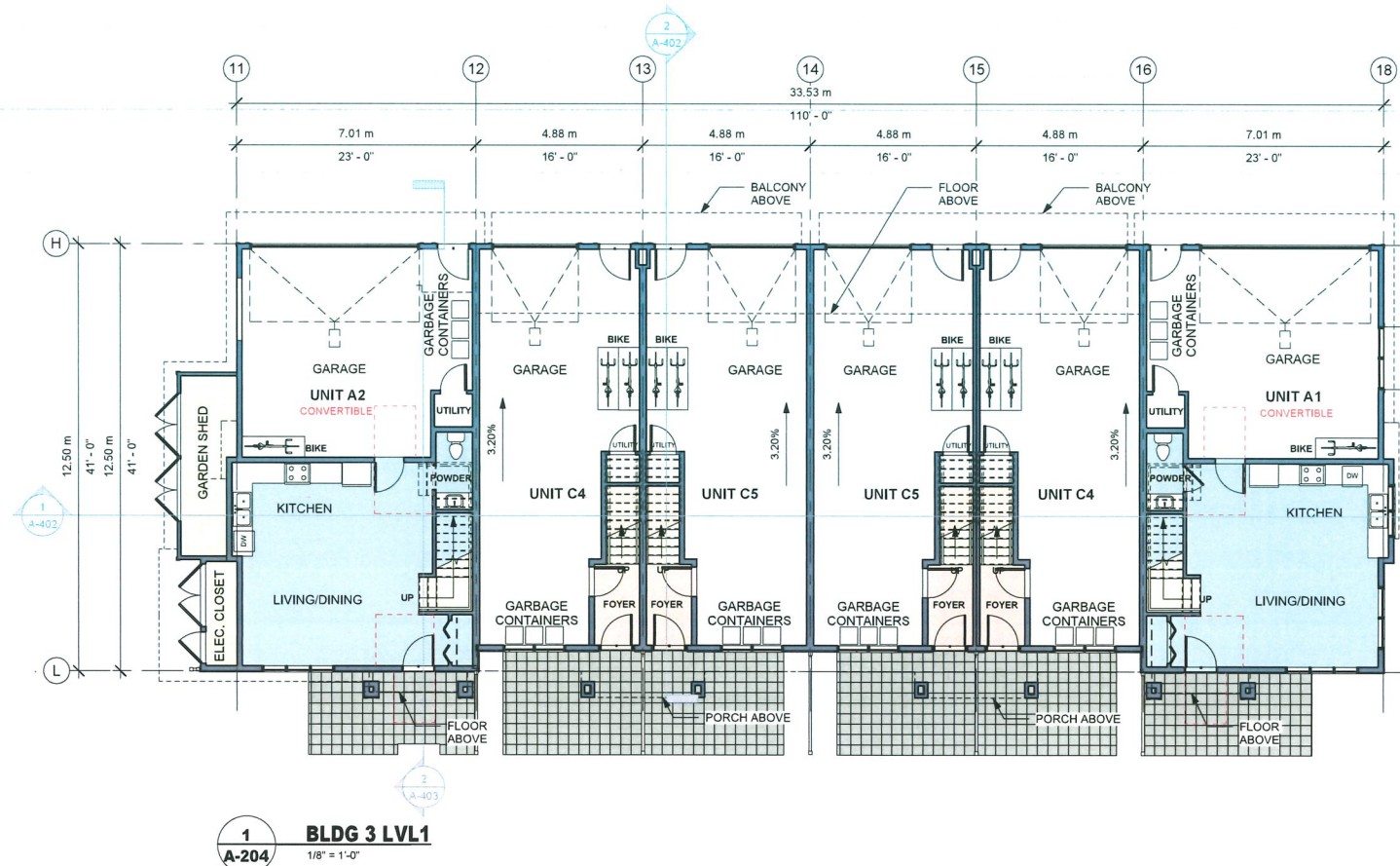
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JOB NO: RCH-029	
DATE: MARCH 2019	2025-12-08
SHEET TITLE	

BUILDING 2 - FLOOR PLANS

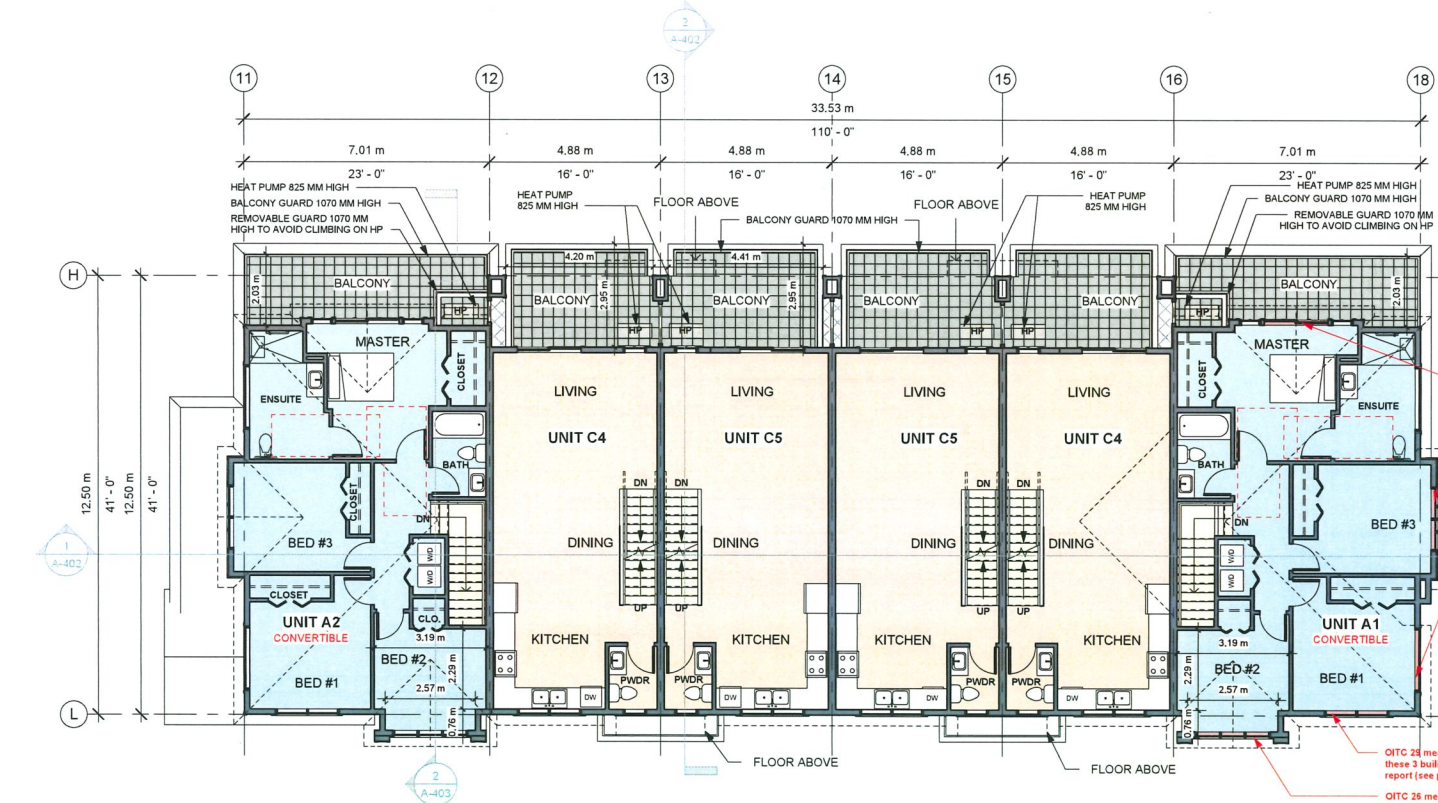
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DP 24-045175
DECEMBER 15, 2025
REFERENCE PLAN

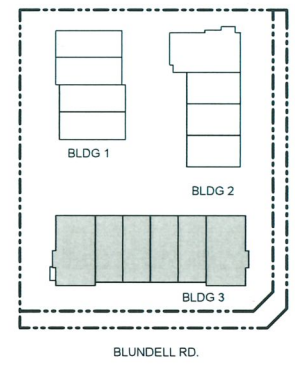


1 BLDG 3 LVL 1
A-204 1/8" = 1'-0"



2 BLDG 3 LVL 2
A-204 1/8" = 1'-0"

NOTES:
ALL MULTIPLE FAMILY RESIDENTIAL DEVELOPMENTS IN RICHMOND ARE REQUIRED TO HAVE AGING IN PLACE FEATURES IN ALL OF THE UNITS (E.G. INSTALLATION OF BLOCKING TO BATHROOMS FOR INSTALLATION OF GRAB-BARS, PROVISION OF BLOCKING TO STAIR WALLS TO ACCOMMODATE LIFT INSTALLATION AT A FUTURE DATE, AND PROVISION OF LEVER DOOR HANDLES).



KEY PLAN

2025-12-08	S	DP RESUBMISSION
2025-12-08	R	DP RESUBMISSION
2025-11-12	A	DP RESUBMISSION
2025-10-01	P	DP RESUBMISSION
2025-08-20	G	DP RESUBMISSION
2024-11-09	N	ADP SET FOR REVIEW
2024-10-28	M	ADP SET FOR REVIEW
2024-10-09	L	DP RESUBMISSION
2024-07-24	J	DP RESUBMISSION
2024-06-20	K	DP APPLICATION
2024-05-20	I	DP RESUBMISSION
2024-05-10	H	DP RESUBMISSION
2024-04-24	G	DP RESUBMISSION
2024-03-11	F	DP RESUBMISSION
2024-01-24	E	DP RESUBMISSION
2021-08-11	C	DP RESUBMISSION
2021-06-18	R	ZONING & PRELIMINARY DP SUBMISSION

DF ARCHITECTURE INC.
350-10451 SHELLBRIDGE WAY, RICHMOND, B.C.
CANADA V6X 2V9
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info@dfarchitecture.ca

GROUP 161
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PROJECT:
PROPOSED TOWNHOUSE DEVELOPMENT

9991 & 9951 BLUNDELL ROAD & 7951 NO. 4 ROAD, RICHMOND, B.C.

CLIENT:
WEST KARAGON PROPERTIES INC.

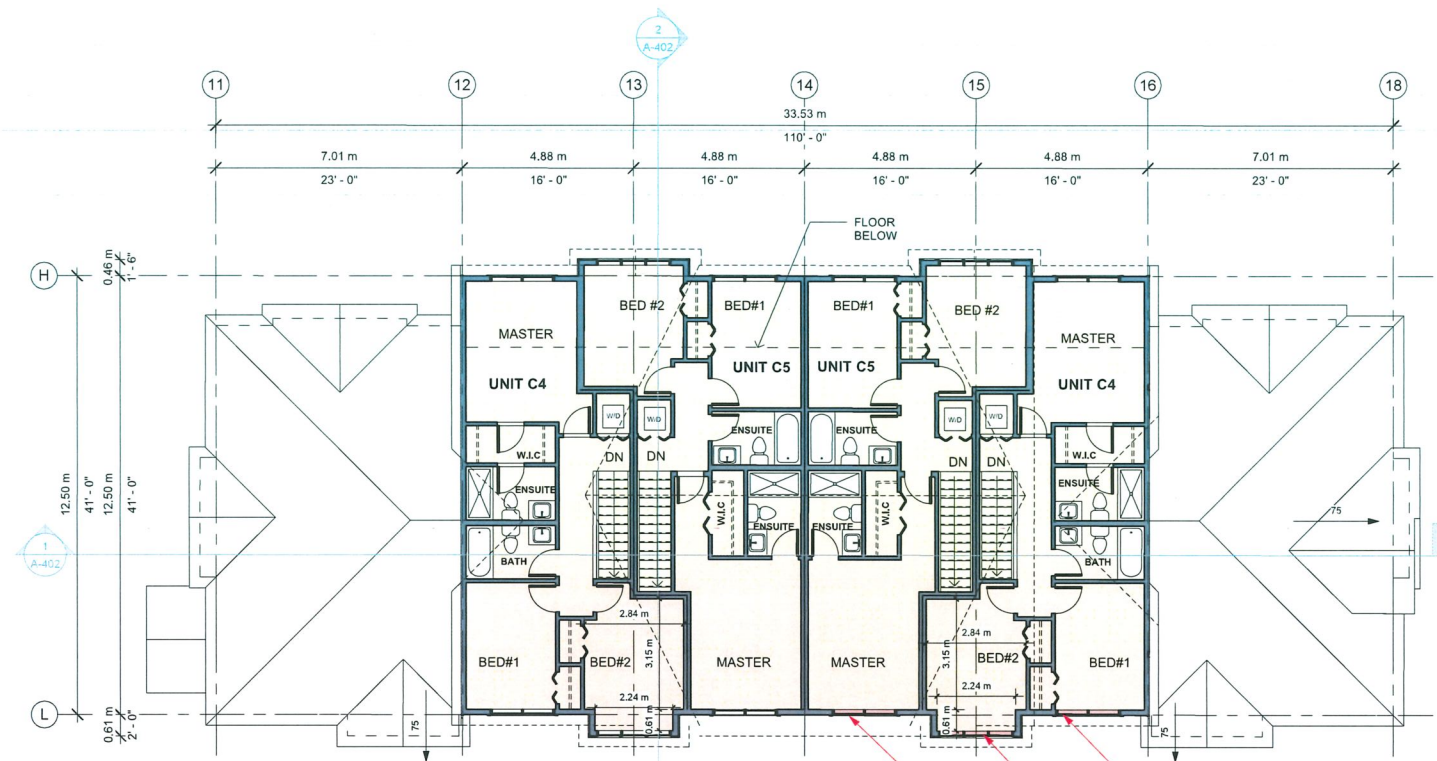
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JOB NO: RCH-029	
DATE: MARCH 2019	
SHEET TITLE	

BUILDING 3 - FLOOR PLANS

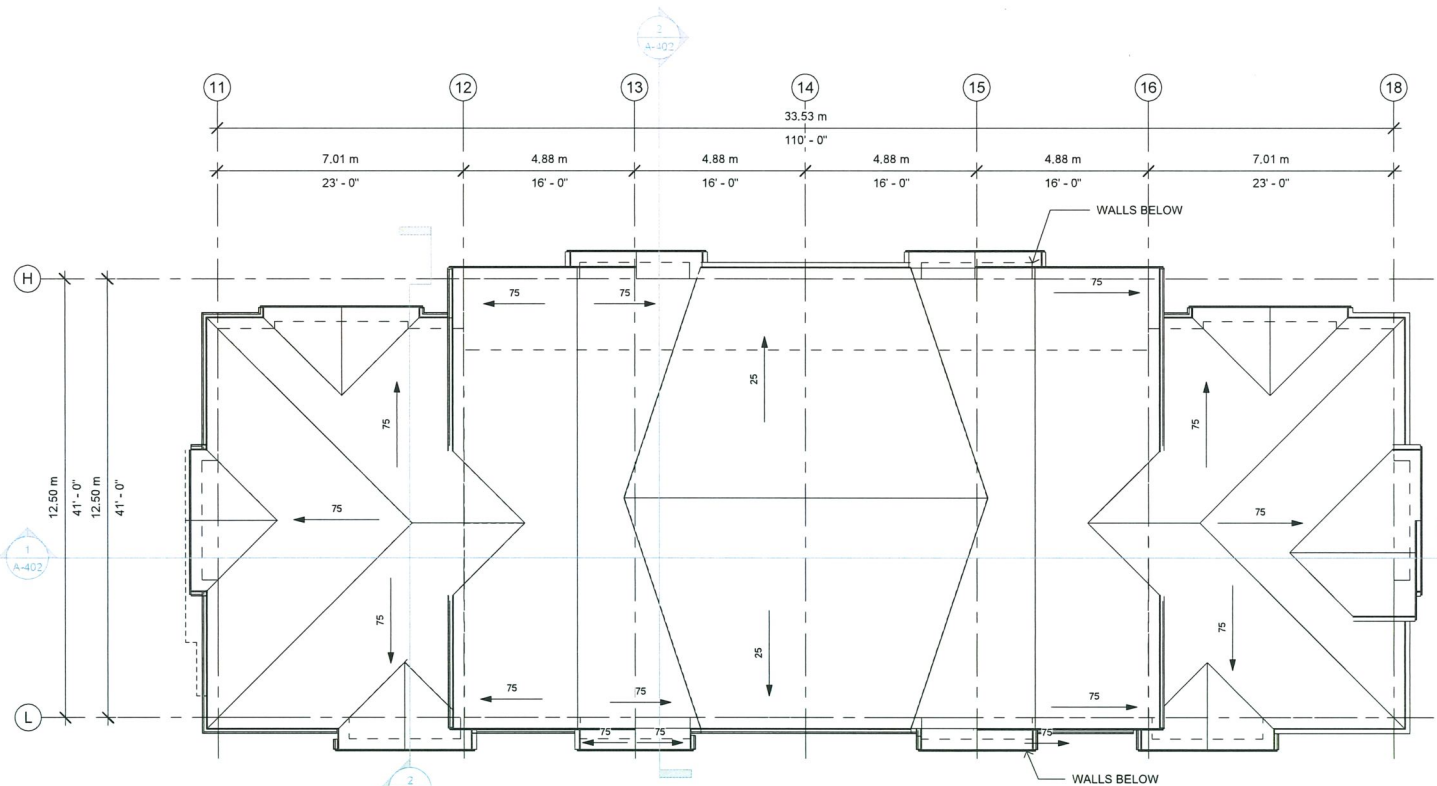
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DP 24-045175
DECEMBER 15, 2025
REFERENCE PLAN

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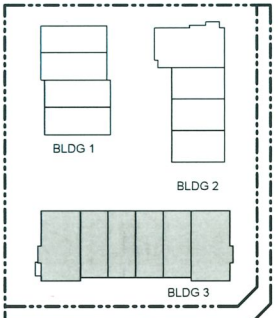


1 BLDG 3 LVL 3
A-205 1/8" = 1'-0"



2 BLDG 3 ROOF PLAN
A-205 1/8" = 1'-0"

NOTES:
ALL MULTIPLE FAMILY RESIDENTIAL DEVELOPMENTS IN RICHMOND ARE REQUIRED TO HAVE AGING IN PLACE FEATURES IN ALL OF THE UNITS (E.G. INCLUSION OF BLOCKING TO BATHROOMS FOR INSTALLATION OF GRAB-BARS, PROVISION OF BLOCKING TO STAIR WALLS TO ACCOMMODATE LIFT INSTALLATION AT A FUTURE DATE, AND PROVISION OF LEVER DOOR HANDLES).



KEY PLAN

2025-12-08	S	DP RESUBMISSION
2025-11-09	B	DP RESUBMISSION
2025-11-12	A	DP RESUBMISSION
2025-10-01	P	DP RESUBMISSION
2025-08-20	C	DP RESUBMISSION
2024-11-06	H	ADP SET FOR REVIEW
2024-10-24	M	ADP SET FOR REVIEW
2024-10-24		DP RESUBMISSION
2024-08-13	K	DP APPLICATION
2024-07-01	P2	DP RESUBMISSION
2024-04-01	L	P2 RESUBMISSION
2024-01-10	S	P2 RESUBMISSION
2022-11-01	A	P2 RESUBMISSION
2022-10-11	J	P2 RESUBMISSION
2022-03-24	S	P2 RESUBMISSION
2021-10-18	D	P2 RESUBMISSION
2021-06-12	C	P2 SUBMISSION
2021-06-18	B	ZONING & PRELIMINARY DP SUBMISSION

DF ARCHITECTURE INC.

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PROJECT:
PROPOSED TOWNHOUSE DEVELOPMENT

9991 & 9951 BLUNDELL ROAD &
7951 NO. 4 ROAD, RICHMOND, B.C.

CLIENT:
WEST KARAGON PROPERTIES INC.

DRAWN PS	
CHECKED JA	
SCALE 1/8" = 1'-0"	
JOB NO. RCH-029	
DATE MARCH 2019	

SHEET TITLE

BUILDING 3 - FLOOR PLANS

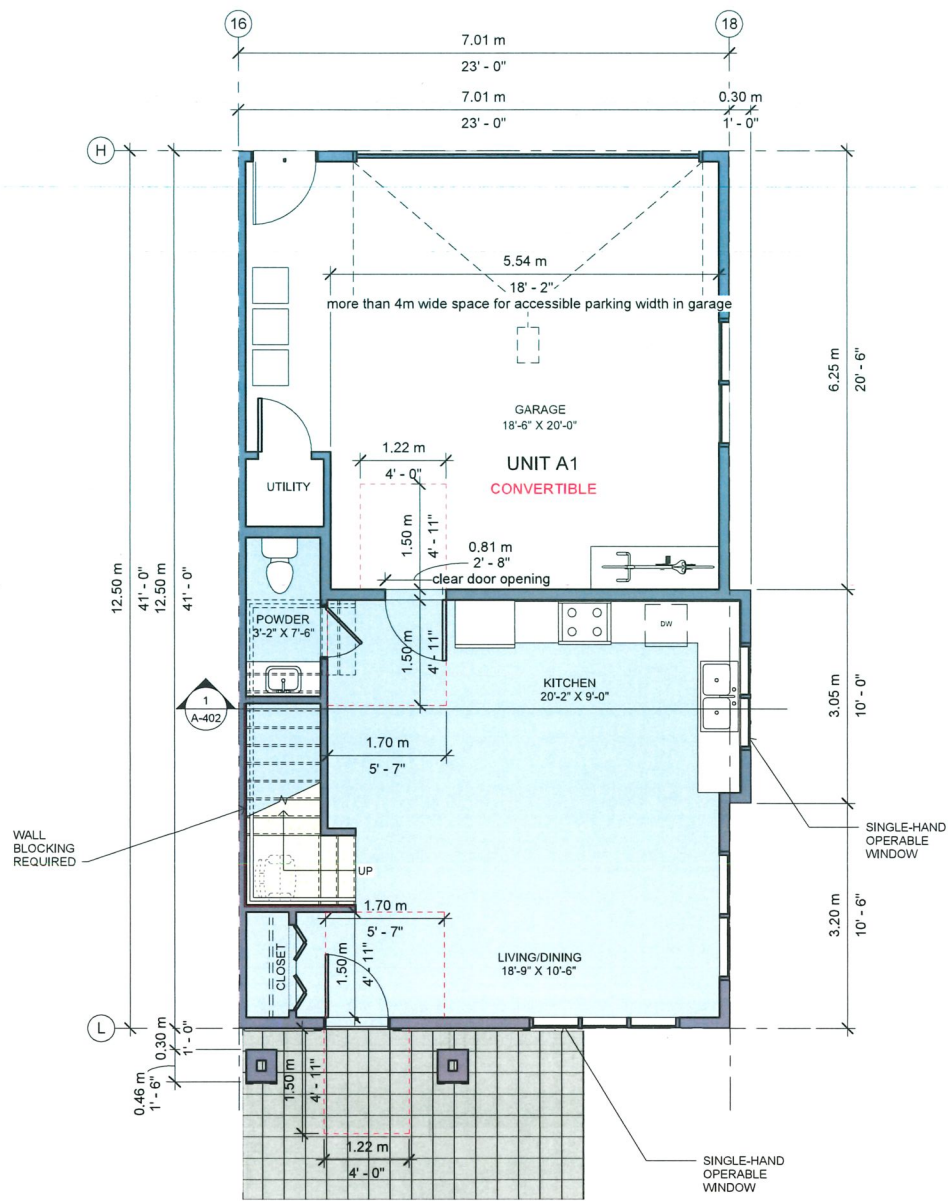
DRAWING No.	A-205	S	N
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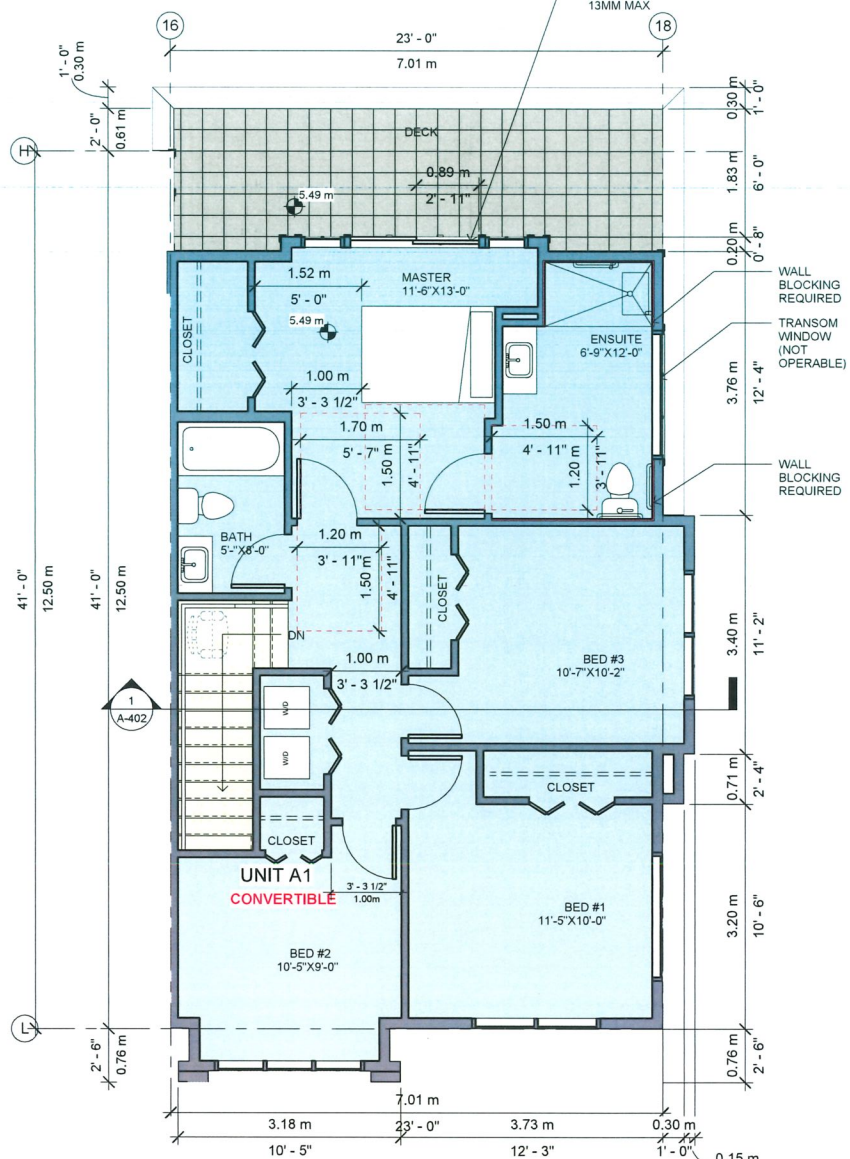
DP 24-045175
DECEMBER 15, 2025
REFERENCE PLAN

2025-12-08 - DP RESUBMISSION NO. 4 RD.

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1
A-501
1/4" = 1'-0"



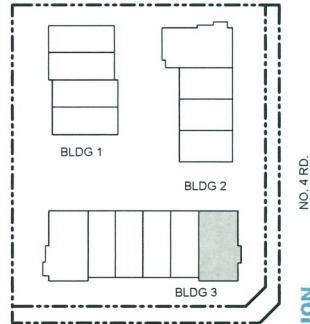
2
A-501
1/4" = 1'-0"

Convertible Unit Guidelines for Townhouses

Convertible Unit Guidelines	
Doors & Doorways	Entry doors are a minimum 863 mm but ideally 914 mm and have clear access. Entry door clear exterior floor space min. 1220 mm depth by door width plus 600 mm on latch side (not needed if rough in wiring provided for future automatic door opener). Interior doors to main living areas, 1 bathroom and 1 bedroom, min. 800 mm clear opening with flush thresholds max. 13 mm height. Demonstrate wheelchair access between the hallway and rooms and widen hallway and/or doorway(s) if necessary to secure access. Patio/balcony min. 860 mm clear opening. Note how accessed. All interior thresholds within units comply with BC Building Code. Lever-type handles for all doors.
Vertical Circulation	Stair lift, staircase width, framing support, and landings, as noted on floor plans in compliance with manufacturer specifications. OR Vertical lift, depressed slab area, and landings, as noted on floor plans in compliance with manufacturer specifications. Framing to accommodate shaft construction without impact to surrounding structure. At the top of all stairways, walls are reinforced with 2" x 12" solid lumber at 914 mm to centre.
Hallways	Min. 900 mm width.
Garage	Min. 1 accessible parking space with min. 4 m garage width. Access from garage to living area min. 800 mm clear opening.
Bathroom (Min. 1)	Toilet clear floor space min. 1020 mm at side and in front. Wall blocking for future grab bar installation at toilet, tub and shower. Reinforced with 2" x 12" solid lumber in all bathtub, shower, and toilet locations. Lever-type handles for plumbing fixtures. Pressure and temperature control valves are installed on all shower faucets. Cabinets underneath sink(s) are easily removed. Demonstrate bath and shower controls are accessible (layout or fixture placement).
Kitchen	Clear area needed under future work space. Plumbing and gas pipes (in-wall and in-floor) located clear of under counter area of future work space (stove, sink & min. 810 mm wide counter). All pipes are brought in no higher than 304 mm to 355 mm to the centre of the pipe from floor level. Cabinets underneath sink are easily removed. 1500 mm turning diameter or turning path diagram. Lever-type handles for plumbing fixtures.
Windows	Min. 1 window that can be opened with a single hand (bathroom, kitchen, living room)
Outlets & Switches	Placement locations of electrical outlets: beside window, bottom of stairways, beside toilet, above external doors (outside and inside), on front face of kitchen counter, within proximity of control centre for smart home options. Upgrade to four-plex outlets in master bedroom, home office, garage, and recreation room.

3875913
27 May 2013
Planning Committee Report: http://www.richmond.ca/agendafiles/Open_Planning_5-22-2013.pdf

NOTES:
DP 24-045175
DECEMBER 15, 2025
REFERENCE PLAN



KEY PLAN

2015-12-08	A	DP RESUBMISSION
2015-12-08	B	DP RESUBMISSION
2015-11-12	C	DP RESUBMISSION
2015-10-24	D	DP RESUBMISSION
2015-09-30	E	DP RESUBMISSION
2014-11-09	F	ADP SET FOR REVIEW
2014-10-29	G	ADP SET FOR REVIEW
2014-10-09	H	DP RESUBMISSION
2014-09-13	I	DP APPLICATION
2014-07-07	J	DP RESUBMISSION
2014-06-19	K	DP RESUBMISSION
2014-01-10	L	DP RESUBMISSION
2013-11-01	M	DP RESUBMISSION
2013-10-11	N	DP RESUBMISSION
2012-09-10	O	DP RESUBMISSION
2011-09-10	P	DP RESUBMISSION
2011-04-13	Q	DP RESUBMISSION
2011-04-13	R	ZONING & PRELIMINARY DP SUBMISSION

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GROUP 161

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PROPOSED TOWNHOUSE DEVELOPMENT

9991 & 9951 BLUNDELL ROAD & 7951 NO. 4 ROAD, RICHMOND, B.C.

CLIENT:
WEST KARAGON PROPERTIES INC.

DRAWN: PS	
CHECKED: JA	
SCALE: 1/4" = 1'-0"	
JOB NO: RCH-029	
DATE: MARCH 2019	
SHEET TITLE	2025-12-08

UNIT PLANS

DRAWING NO.	A-501	S	N
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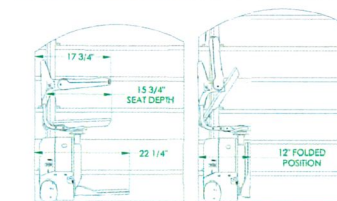
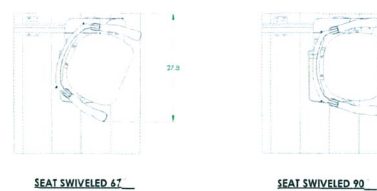
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NOTE : THE STAIR LIFT MODEL IS SHOWN FOR REFERENCE PURPOSES. THIS MAY NOT BE THE MODEL THE UNIT OWNERS MAY CHOOSE IF THEY WANT TO CONVERT IT. THE UNIT OWNERS WILL HAVE THE DISCRETION TO CHOOSE WHATEVER BEST MODELS ARE AVAILABLE IN THE MARKET.

TECHNICAL DATA/SPECIFICATION

MODEL: SRE-3000 ELAN STRAIGHT RAIL STAIRLIFT, PRIVATE RESIDENCE ONLY
RATED LOAD: 300 LBS, ONE PASSENGER
POWER SOURCE: 24 VOLT DC COMPRISED OF (2) 3 AMP/HR 12 VOLT SEALED BATTERIES
105-230 VOLT AC 0.6 AMP, 24 VOLT DC 1 AMP CONTINUOUS MONITORING CHARGER.
DRIVE: 24 VOLT DC DIRECT DRIVE SELF LOCKING POSITIVE GEARED MOTOR, 2 POLE RATED 18 HP MAX., RIGHT ANGLE WORM GEARBOX, 50Nm (442n.lb.) TORQUE MAX., 25.3 RPM SPEED MAX., 16 AMP CURRENT MAX.
SUSPENSION: RACK & PINION - INTEGRATED 8DP GEAR RACK ON RAIL WITH SPUR GEAR ON THE OUTPUT SHAFT OF GEARBOX.
BRAKING: DYNAMIC MOTOR BRAKING THROUGH THE MOTOR CONTROLLER, WORM GEAR, ELECTRO-MECHANICAL MOTOR BRAKE AND OVERSPEED PROTECTION.
CONTROLS: CONTINUOUS PRESSURE ROCKER SWITCH LOCATED ON THE ARMREST AND WALL MOUNTED CALL/SEND CONTROLS LOCATED AT BOTH THE TOP AND BOTTOM LANDINGS.
ANGLES: 22 TO 45 DEGREES (SPECIALS UP TO 52 DEGREES), RIGHT OR LEFT HAND ORIENTATIONS.
FINAL LIMIT SWITCH: STANDARD

SRE-3000 DISTANCE FROM WALL - SEAT SWIVELED

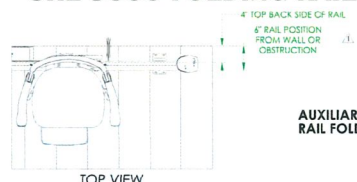


SIDE VIEWS
DIMENSIONS SHOWN IN SIDE VIEWS ARE BASED ON 4-1/2" RAIL POSITION FROM WALL OR OBSTRUCTION

ILS-01345
SHEET 1 OF 3
REV. 1 (6456)(9/01/17)(BHM)

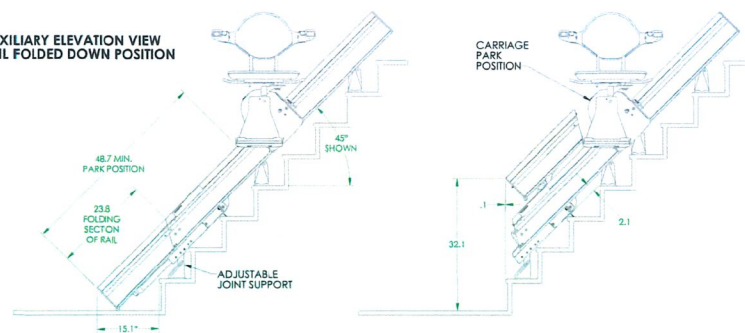
1780 Executive Drive
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Tel 800-882-8181
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www.bruno.com
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SRE-3000 FOLDING RAIL



AUXILIARY ELEVATION VIEW
RAIL FOLDED UP POSITION

AUXILIARY ELEVATION VIEW
RAIL FOLDED DOWN POSITION



*LOWER LANDING EXTENSION DIMENSIONS ARE BASED ON 45° RAIL SLOPE AND 8" RISER HEIGHT. DIMENSIONS WILL VARY BASED ON SLOPE AND RISER HEIGHT.

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ILS-01345 Folding Rail
SHEET 3 OF 3
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