



**Development Permit Panel
Electronic Meeting**

**Council Chambers, City Hall
6911 No. 3 Road**

**Wednesday, January 14, 2026
3:30 p.m.**

MINUTES

*Motion to adopt the **minutes** of the Development Permit Panel meeting held on December 10, 2025.*



1. DEVELOPMENT PERMIT 24-045175
(REDMS No. 8013299)

APPLICANT: DF Architecture Inc.

PROPERTY LOCATION: 9951, 9991 Blundell Road and 7951 No. 4 Road

Director's Recommendations

That a Development Permit (DP) be issued which would:

- 1. permit the construction of 14 townhouse units at 9951, 9991 Blundell Road and 7951 No. 4 Road on a site zoned "Medium Density Townhouses (RTM2)"; and*
- 2. vary the provisions of Richmond Zoning Bylaw 8500 to:*
 - (a) reduce the front yard and exterior side yard setbacks for Building 3 from 6.0 m to 4.8 m and 5.1 m, respectively; and*
 - (b) increase the ratio of residential parking spaces in tandem arrangement from 50 per cent to 58 per cent.*



Development Permit Panel – Wednesday, January 14, 2026

ITEM

2. New Business

3. Date of Next Meeting: January 28, 2026

ADJOURNMENT



**Development Permit Panel
Wednesday, December 10, 2025**

Time: 3:30 p.m.
Place: Remote (Zoom) Meeting
Present: Wayne Craig, General Manager, Planning and Development, Chair
Lloyd Bie, Director, Transportation
Todd Gross, Director, Parks Services

The meeting was called to order at 3:30 p.m.

MINUTES

It was moved and seconded

That the minutes of the meeting of the Development Permit Panel held on November 13, 2025 be adopted.

CARRIED

1. DEVELOPMENT PERMIT 23-031545
(REDMS No. 8206668)

APPLICANT: Carson Lei

PROPERTY LOCATION: 8680 Alexandra Road

INTENT OF PERMIT:

1. Permit the subdivision of 8680 Alexandra Road into two lots and permit construction of two commercial buildings on proposed Lot B on a site zoned "Auto-Oriented Commercial (CA)".
2. Vary the provisions of Richmond Zoning Bylaw 8500 applicable to Lot B to:
 - (a) reduce the minimum interior side yard setback from 3.0 m to 1.5 m; and
 - (b) reduce the minimum rear yard setback from 3.0 m to 2.0 m.

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Applicant's Comments

Patrick (Xu) Yang, Pacific West Architecture, Inc., with the aid of a visual presentation (attached to and forming part of these minutes as Schedule 1), provided background information on the proposed development, highlighting the following:

- the proposed development includes 14 commercial units within two buildings, with the single storey building fronting Alderbridge Way and the two-storey building fronting Alexandra Road;
- an outdoor corridor and amenity terrace are proposed for the two-storey commercial building;
- vehicle access is from Alexandra Road and 40 parking stalls will be provided including two accessible parking stalls; 22 of the parking stalls will be equipped with Level 2 electric vehicle charging;
- a loading station is proposed between the two buildings;
- a 3-metre wide north-south public pedestrian pathway is proposed connecting Alderbridge Way and Alexandra Road to enhance pedestrian connectivity and accessibility on the site;
- the project has been designed to connect to the City Centre District Energy Utility (DEU); and
- proposed sustainability features for the project include, among others, a rough-in for future rooftop solar panels as alternative energy source for future tenants.

Zhipin (Eason) Li, Homing Landscape Architecture, with the aid of the same visual presentation, briefed the Panel on the main landscape features of the project, noting that (i) 15 replacement trees are proposed to be planted on-site, (ii) pedestrian pathways are provided around the two buildings, (iii) a north-south public pedestrian pathway is proposed along the west property line to connect Alderbridge Way and Alexandra Road, (iv) permeable pavers are proposed in some portions of the parking area and pedestrian paths are highlighted with the use of stamped asphalt to enhance pedestrian safety, (v) native and drought tolerant plant species are proposed for planting on the site, (vi) proposed lighting fixtures are consistent with dark sky design principles to mitigate light pollution, and (vii) a 4-metre high metal picket fence is proposed along the east and west property lines for visual porosity.

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Staff Comments

Joshua Reis, Director, Development, noted that (i) a 3.0-metre wide Statutory-Right-of-Way (SRW) providing Pedestrian Right-of-Passage between Alderbridge Way and Alexandra Road is proposed which also acts as another frontage to the two commercial buildings in the subject site, (ii) the buildings have been designed to connect to the City Centre District Energy Utility (DEU) and a connection to the DEU will be established once it becomes available, (iii) a road dedication along Alderbridge Way is proposed, and (iv) a Servicing Agreement is required as a condition of subdivision of the property for utilities and frontage works including a multi-use pathway and landscaped boulevard as well as utility and servicing connections.

Panel Discussion

In reply to a query from the Panel, Mr. Reis noted that (i) the existing trees along the subject site's Alderbridge Way frontage will be removed as they have been identified by the project arborist and confirmed by staff to be in poor condition and would also conflict with the project's required frontage improvement works, and (ii) as part of the Servicing Agreement process, staff will ensure that there will be appropriate tree planting on the boulevard as part of the frontage improvement works.

In reply to the same and subsequent queries from the Panel, the applicant noted that (i) the species of street trees to be planted along the subject site's Alderbridge Way frontage will be determined through the Servicing Agreement process, and (ii) lighting for the proposed multi-use pathway along the Alderbridge Way frontage will be considered as part of the Servicing Agreement process.

The Panel requested the applicant to work with the City's Park Services Department should there be soil removal from the subject site as it could be utilized for the adjacent Garden City Lands. The Chair then advised staff to work with the applicant with regard to this request.

In reply to further queries from the Panel, the applicant noted that rooftop mechanical units are proposed on top of the mechanical room attached to the two-storey commercial building and should additional mechanical rooftop units be required, they could be accommodated on the building rooftop.

In reply to a further query from the Panel, Mr. Reis confirmed that as part of the subject application, frontage improvements along both Lot A and Lot B would be included as part of the servicing works.

Correspondence

None.

Gallery Comments

None.

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Panel Discussion

The Panel expressed support for the project, noting that (i) the street trees along the subject site's Alderbridge Way frontage will need to match the trees across the road, (ii) lighting for the multi-use pathway on the Alderbridge Way frontage be considered as part of the Servicing Agreement process, (iii) the attention to detail on the project is appreciated, and (iv) the proposed frontage improvements along Alderbridge Way and pedestrian connection between Alderbridge Way and Alexandra Road will provide long-term benefits to the City.

Panel Decision

It was moved and seconded

That a Development Permit be issued which would:

1. *permit the subdivision of 8680 Alexandra Road into two lots and permit construction of two commercial buildings on proposed Lot B on a site zoned "Auto-Oriented Commercial (CA)"; and*
2. *vary the provisions of Richmond Zoning Bylaw 8500 applicable to Lot B to:*
 - (a) *reduce the minimum interior side yard setback from 3.0 m to 1.5 m; and*
 - (b) *reduce the minimum rear yard setback from 3.0 m to 2.0 m.*

CARRIED

2. DEVELOPMENT PERMIT 23-033716

(REDMS No. 8185751)

APPLICANT: Panatch Group

PROPERTY LOCATION: 9000 No. 3 Road

INTENT OF PERMIT:

Permit the construction of a mixed-use commercial and rental apartment building at 9000 No. 3 Road on a site zoned "Commercial Mixed Use (ZMU61) – No. 3 Road and Francis Road (Broadmoor)".

Applicant's Comments

Steve Watt, Integra Architecture Inc., with the aid of a visual presentation (attached to and forming part of these minutes as Schedule 2), provided background information on the proposed development, highlighting the following:

- the proposed development consists of a mixed-use building with commercial units at ground level facing No. 3 Road and Francis Road and residential rental units in the upper storeys;

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- the residential lobby is proposed on Francis Road;
- two separate parkade entries are proposed for the two-level parkade for residential and shared commercial and other uses that also accommodates garbage storage and collection;
- the proposed common outdoor amenity area is located on top of the third level parking podium which is overlooked by one-half of the residential units in the building;
- setbacks for levels three to six of the building have been increased to respect adjacent townhouse developments;
- climbing and trailing vines are proposed to be planted to soften the appearance of parkade walls and provide a better interface with adjacent townhouse developments to the east and south; and
- a modern architectural style is proposed with clean form using few simple materials.

Michael Patterson, of Perry + Associates Landscape Architecture, with the aid of the same visual presentation, briefed the Panel on the main landscape features of the project, noting that (i) proposed landscaping along the commercial frontages include, among others, street trees and planters separating the commercial units, (ii) a six-foot high solid wood fence will be installed along the east and south property lines to provide privacy to adjacent townhouse developments, (iii) layered planting including eight trees will be planted along the south property line, (iv) the proposed common outdoor amenity space includes, among others, a children's play area, community gardens, social outdoor dining, and planting, (v) existing neighbouring trees not in conflict with the proposed building will be retained, (vi) 23 replacement trees will be planted on-site, (vii) dark sky compliant lighting fixtures will be installed on the ground plane and common outdoor amenity area to mitigate light pollution, and (viii) a variety of low-maintenance trees and shrubs that provide seasonal interest will be planted on the site.

Staff Comments

Mr. Reis noted that (i) the proposed development is a six-storey building with 64 rental units including seven moderate market rental units which were secured at the time of rezoning application associated with the project, (ii) all required replacement trees will be planted on-site and an on-site irrigation system will be installed to ensure their maintenance, (iii) all units will meet the City's Basic Universal Housing (BUH) requirements, and (iv) there is a Servicing Agreement secured at the rezoning application which includes frontage improvements along No. 3 Road and Francis Road, intersection upgrades and new traffic signal cabinets, storm system upgrades and new water and sanitary service connections.

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Panel Discussion

It was noted that there are *Styrax japonicus* trees proposed to be planted in close proximity to the children's play area in the common outdoor amenity space on top of the third floor parking podium. It was suggested that the applicant consider installing alternative tree species as the *Styrax japonicus* is prone to leaf drop and producing a heavy crop of seeds.

In reply to queries from the Panel, the applicant noted that (i) they will consider the suggestion to replace the *Styrax japonicus* in the common outdoor amenity space with appropriate tree species, (ii) they are amenable to installing signage that are visible from the street for the building's two separate vehicle entrances to provide guidance for vehicles entering the building, (iii) the pedestrian access from Level 1 parkade to the commercial units is through the drive aisle, and (iv) there is good visibility to the sidewalk for vehicles exiting the parkade to Francis Road, and (v) a rumble strip and convex mirror are provided at the parkade's No. 3 Road exit to provide safety for pedestrians using the sidewalk.

Correspondence

Ken and Arlene Glinz, 7651 Francis Road (Schedule 3)

Mr. Reis noted that (i) staff have responded to concerns of Ken and Arlene Glinz with regard to the potential impact of the proposed development to traffic in the area, in particular at the intersection of No. 3 Road and Francis Road, (ii) there was a Traffic Impact Assessment provided by the applicant as part of the associated rezoning application which indicated that there would be no significant impact to traffic from the proposed development, and (iii) there will be intersection improvements as part of the required servicing and frontage works, including the installation of a new signal box to help with left turn traffic from both the north and south intersection approaches.

Chris Jensen, 7-8080 Francis Road (Schedule 4)

Mr. Reis noted that staff have responded to Mr. Jensen's concerns and have received correspondence from the applicant indicating that the developer has worked with the strata of the neighbouring townhouse development to the east regarding proposed improvements along the development's east property line including installing a new 1.8 metre high solid wood fence and providing landscaping including planting of climbing vines along the eastern elevation of the proposed building to soften the interface with the existing townhouse development to the east.

In reply to a query from the Panel, the applicant confirmed that an automatic irrigation system will be installed for both at-grade and podium roof planting.

Gallery Comments

None.

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Panel Discussion

The Panel expressed support for the application, noting (i) the project's accessibility features including the provision for all units with Basic Universal Housing (BUH) features, and (ii) the provision of moderate market rental units.

The Panel then directed staff to work to with the applicant to (i) review the proposed tree species to be planted in the common outdoor amenity area, (ii) ensure that there is a clearly defined, safe and accessible pedestrian pathway from the parkade's commercial parking area to the commercial units, and (iii) provide appropriate signage at the two separate parkade entries in the building indicating their uses (residential and commercial/visitor parking).

Panel Decision

It was moved and seconded

That a Development Permit be issued which would permit the construction of a mixed-use commercial and rental apartment building at 9000 No. 3 Road on a site zoned "Commercial Mixed Use (ZMU61) – No. 3 Road and Francis Road (Broadmoor)".

CARRIED

3. DEVELOPMENT PERMIT 25-010558

(REDMS No. 8137702)

APPLICANT: Fougere Architecture Inc.

PROPERTY LOCATION: 8620, 8640 and 8660 Spires Road

INTENT OF PERMIT:

Permit the construction of one six-storey residential apartment building containing 90 rental units at 8620, 8640 and 8660 Spires Road on a site zoned "Low to Mid Rise Rental Apartment (ZLR49) – Spires Road (Brighthouse Village of City Centre)".

Applicant's Comments

Wayne Fougere, of Fougere Architecture Inc., with the aid of a visual presentation (attached to and forming part of these minutes as Schedule 5), provided background information on the proposed development, highlighting the following:

- the subject site is a consolidation of three lots located within a Transit-Oriented Development Area (TOA) as provided in City's Transit-Oriented Areas Designation Bylaw;
- the proposed six-storey apartment building consists of a five-storey wood frame building on top of a concrete ground-level parking structure;

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- the top two stories of the building have increased setbacks to improve its relationship with neighbouring buildings;
- the development includes 68 market rental housing units and 22 affordable rental housing units all designed with Basic Universal Housing (BUH) features that meet the requirements of the City's Zoning Bylaw;
- a total of 27 parking stalls will be provided in the proposed development, including 22 resident parking stalls, two accessible parking stalls, a car-share parking stall and visitor parking stalls;
- the project's proposed Transportation Demand Management (TDM) measures include a transit pass program, provision of one car-share parking stall, and a small-sized loading space;
- pedestrian and vehicle entrances are located off Spires Road;
- pedestrian walkways are provided along the east, west and south property lines to enhance pedestrian circulation around the subject site as well as to provide access to service and bike rooms;
- indoor amenity spaces are provided on different levels of the proposed building including a gym, a multi-purpose room, a guest suite, a shared workspace and a conference room;
- common outdoor amenity spaces are proposed on the podium and roof levels; and
- the project has been designed to achieve BC Energy Step Code Level 3 with Emission Level 2 and to connect to the City Centre District Energy Utility (CCDEU).

Yiwen Ruan, PMG Landscape Architects, with the aid of the same visual presentation, briefed the Panel on the main landscape features of the project, noting that (i) the proposed landscaping for the subject site's frontage includes, among others, planting of canopy trees and low maintenance shrubs, (ii) bicycle parking and seating are proposed at the main entrance of the building, (iii) a landscape buffer is proposed along the east and west property lines of the subject site, (iv) the applicant has worked with an arborist to retain and protect as many trees as possible on the subject site and neighbouring properties to the south, (v) the proposed common outdoor amenity space on the podium level is located in the central courtyard of the building and designed mainly for adults and includes an open lawn, lounge seating, a picnic table and chess table, (vi) the proposed outdoor amenity space on the rooftop is primarily designed for children of different age groups but also includes lounge seating for adults, (vii) planters and small ornamental trees are also proposed on the rooftop amenity space, (viii) 22 replacement trees and drought tolerant plants are proposed to be planted on-site, and (ix) automatic irrigation will be provided for the maintenance of all planted areas on the subject site.

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Staff Comments

Mr. Reis noted that (i) the project will provide 22 affordable housing units that meet the City's low-end market rental program requirements, (ii) residential parking is not required for the project as the subject site is located within one of the designated Transit Oriented Areas (TOAs) in the City as mandated by Provincial legislation, (iii) the applicant will provide 22 resident parking stalls as well as Transportation Demand Management (TDM) measures that include a transit pass program, car-share parking stall, and 140 Class 1 bicycle parking located on site, and (iv) there is a Servicing Agreement associated with the project that was secured as part of the associated rezoning application for the design and construction of road and engineering improvement works along the frontage of the subject property, upgrades to watermains, storm and sanitary sewers as well as utility connections.

Panel Discussion

In reply to queries from the Panel, the applicant noted that (i) they will consider replacing the proposed musical play equipment in the children's play area on the rooftop amenity space with standardized play equipment to avoid potential noise concerns, and (ii) the proposed location of the car-share parking stall outside of the parkade's overhead gate is a requirement of the City.

In reply to a query from the Panel, Mr. Reis confirmed that Bill 47, a Provincial legislation enacted in 2023 requiring municipalities to designate Transit Oriented Development Areas, prohibits municipalities from requiring residential parking as part of any project located within 800 metres of an identified transit station area.

In reply to a further query from the Panel, Mr. Reis further noted that as part of the project's Building Permit review process should the project move forward, the applicant will be required to provide the City with a Construction Traffic and Parking Management Plan that will be reviewed and approved by the City's Transportation Department and will address, among others, construction-related parking, construction operation hours, and coordination with adjacent development works.

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Gallery Comments

Jose Gonzalez, 8935 Cook Crescent, expressed concern regarding several ongoing residential development projects and a water sewer project in the Spires Road area, resulting in road closures and single vehicle access due to construction related activities that have impacted vehicle access to his and other residents' homes. He noted that the Construction Traffic and Parking Management Plans of projects in the area have not been able to effectively manage residents' access to their homes as well as emergency vehicle access into the neighbourhood. He expressed concern that the proposed development will result in more road blockages and closures in the area that would further limit vehicle access into his home and other properties in Cook Crescent. He then called for (i) postponing the Panel's approval of the proposed development until such time that a more effective Construction Traffic and Parking Management Plan is put in place that would ensure emergency vehicle access into the neighbourhood, (ii) ensuring that residents' vehicle access into their homes will be maintained, and (iii) better coordination in the City regarding road closures and blockages in the neighbourhood.

In reply to Mr. Gonzalez's comments, the Panel noted the inconvenience experienced by residents due to the many construction activities occurring in the area and encouraged him to contact the City's Transportation Department for specific concerns. Also, the Panel noted that (i) emergency vehicles are permitted through the construction zones if required, and (ii) the review of the proposed development's Construction Traffic and Parking Management Plan would include ensuring coordination with the City's public works crews regarding infrastructure work in the area.

Paige Robertson, 8571 Spires Road, noted that the 22 resident parking stalls to be provided in the proposed development would not be sufficient given the large number of residential units in the proposed development. In addition, she queried about the possibility of putting in place a Residents Only Parking program in the neighbourhood.

In reply to Ms. Robertson's comments, Lloyd Bie, Director, Development, noted that there is currently only one applicant for a Residents Only Parking program in the neighbourhood and encouraged Ms. Robertson to contact him directly if she wants to know more about the program. Mr. Bie added that there is a process for applying for a longer term and more permanent Residents Only Parking Program in the neighbourhood that would require neighbourhood consultation by staff and Council approval.

Donald Yoshihara, 8680 Spires Road, noted that he shares the concerns of residents in the neighbourhood regarding the impacts of construction activities in the area. He further noted that (i) there is currently a need for a Residents Only Parking program in the neighbourhood, (ii) the many construction activities in the area have impacted the quality of life of residents in the neighbourhood, and (iii) previous construction activities in the area had resulted in a gas leak and a broken watermain that flooded his yard. In addition, he noted that he had already contacted staff and the developer regarding his concern about potential flooding in his yard. He further noted that he had inquired from the developer whether the catch basins in his property could be connected to the storm sewer that would be installed for the proposed development but did not get a reply.

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In reply to Mr. Yoshihara's concern about potential flooding in his property, the Chair advised that the proposed development is required to install a new perimeter drainage around the site to ensure that no water runoff is directed to adjacent properties. In addition, the Chair directed staff to (i) work with the applicant to ensure that Mr. Yoshihara receive a response to his request and whether there is potential for the developer to connect the catch basins in front of his property to the storm sewer that would be upgraded for the proposed development as part of the Servicing Agreement associated with the project, and (ii) provide Mr. Yoshihara with contact information of the City's Transportation Department to get information regarding the City's Residents Only Parking program.

Correspondence

Jose Gonzalez, 8935 Cook Crescent (Schedule 6)

Mr. Reis advised that staff had responded to Mr. Gonzalez's correspondence and provided the requested contact information.

Panel Discussion

The Panel expressed support for the application, noting that (i) concerns regarding on-site parking for the proposed development were noted by the Panel; however, the Province has prohibited the City through Provincial legislation from requiring any resident parking for residential developments that are within 800 metres of a transit station, and (ii) the proposed development provides 22 resident parking stalls and the applicant is proposing a package of Transportation Demand Management (TDM) measures to encourage future residents of the proposed development to use alternative modes of transportation.

The Panel then directed staff to work with the applicant to provide an alternative to the proposed musical play equipment in the children's play area on the rooftop common outdoor amenity space.

Panel Decision

It was moved and seconded

That a Development Permit (DP) be issued which would permit the construction of one six-storey residential apartment building containing 90 rental units at 8620, 8640 and 8660 Spires Road on a site zoned "Low to Mid Rise Rental Apartment (ZLR49) – Spires Road (Brighthouse Village of City Centre)".

CARRIED

4. New Business

None.

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5. **Date of Next Meeting: January 14, 2026**

ADJOURNMENT

It was moved and seconded
That the meeting adjourn (4:59 p.m.).

CARRIED

Certified a true and correct copy of the Minutes of the meeting of the Development Permit Panel of the Council of the City of Richmond held on Wednesday, December 10, 2025.

Wayne Craig
Chair

Rustico Agawin
Committee Clerk

Schedule 1 to the Minutes of the Development Permit Panel meeting held on Wednesday, December 10, 2025

DEVELOPMENT PERMIT PANEL DP 23-031545

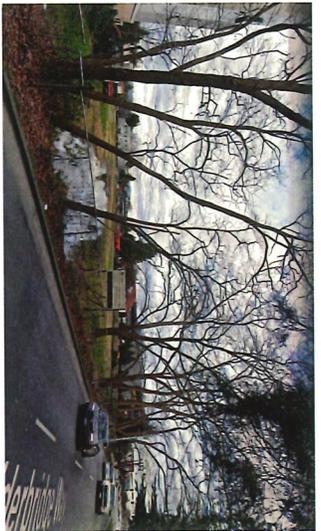


PROPOSED 1&2-STOREY COMMERCIAL BUILDINGS
CIVIC ADDRESS: LOT B 8680 ALEXANDRA RD, RICHMOND BC



1 LOCATION PLAN
Scale: 1:100

SUBJECT PROPERTY:
LOT B, 8680
ALEXANDRA RD.,
RICHMOND, BC



2 VIEW1



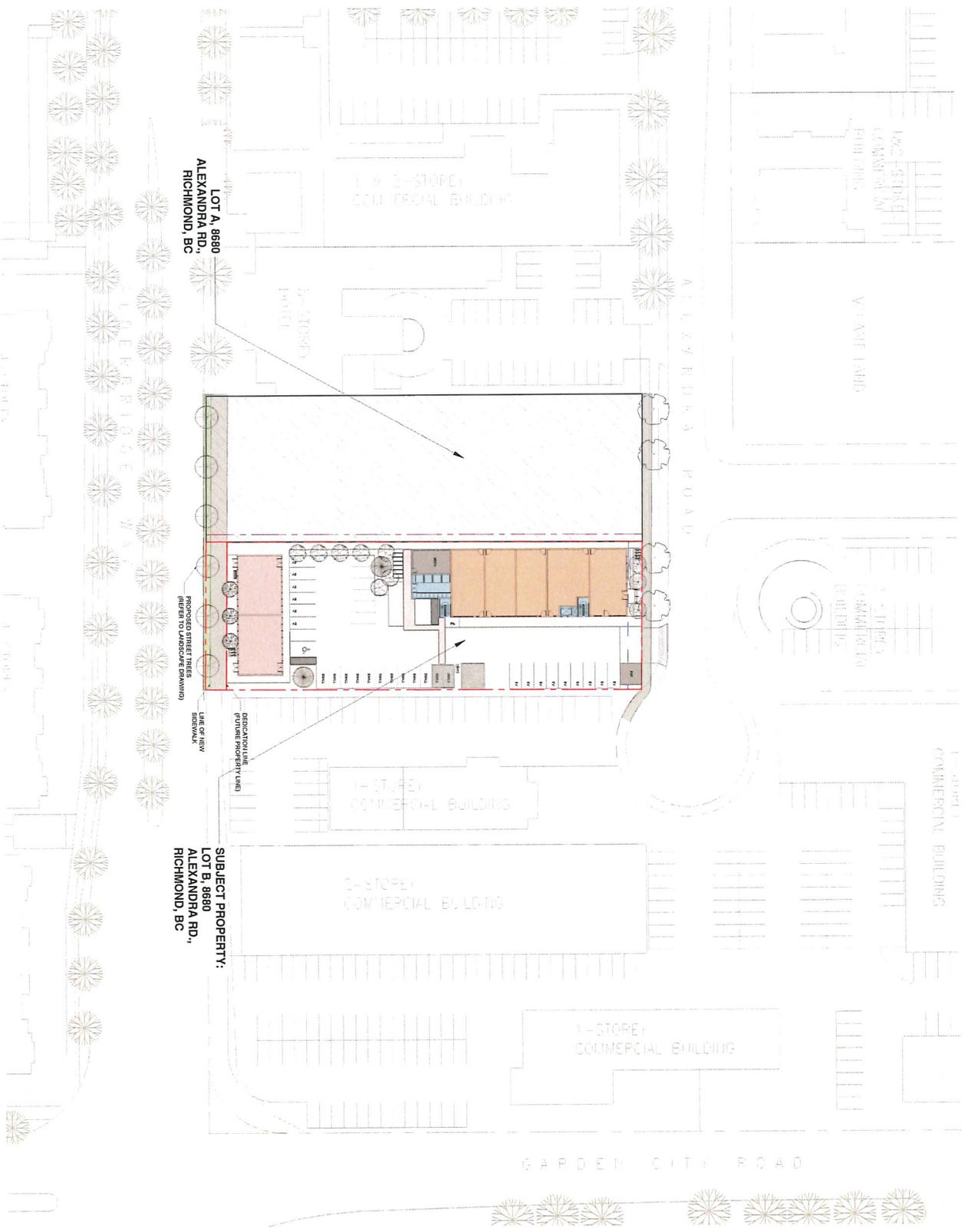
3 VIEW2



4 VIEW3



5 VIEW4



LOT A, 8680
ALEXANDRA RD.,
RICHMOND, BC

SUBJECT PROPERTY:
LOT B, 8680
ALEXANDRA RD.,
RICHMOND, BC

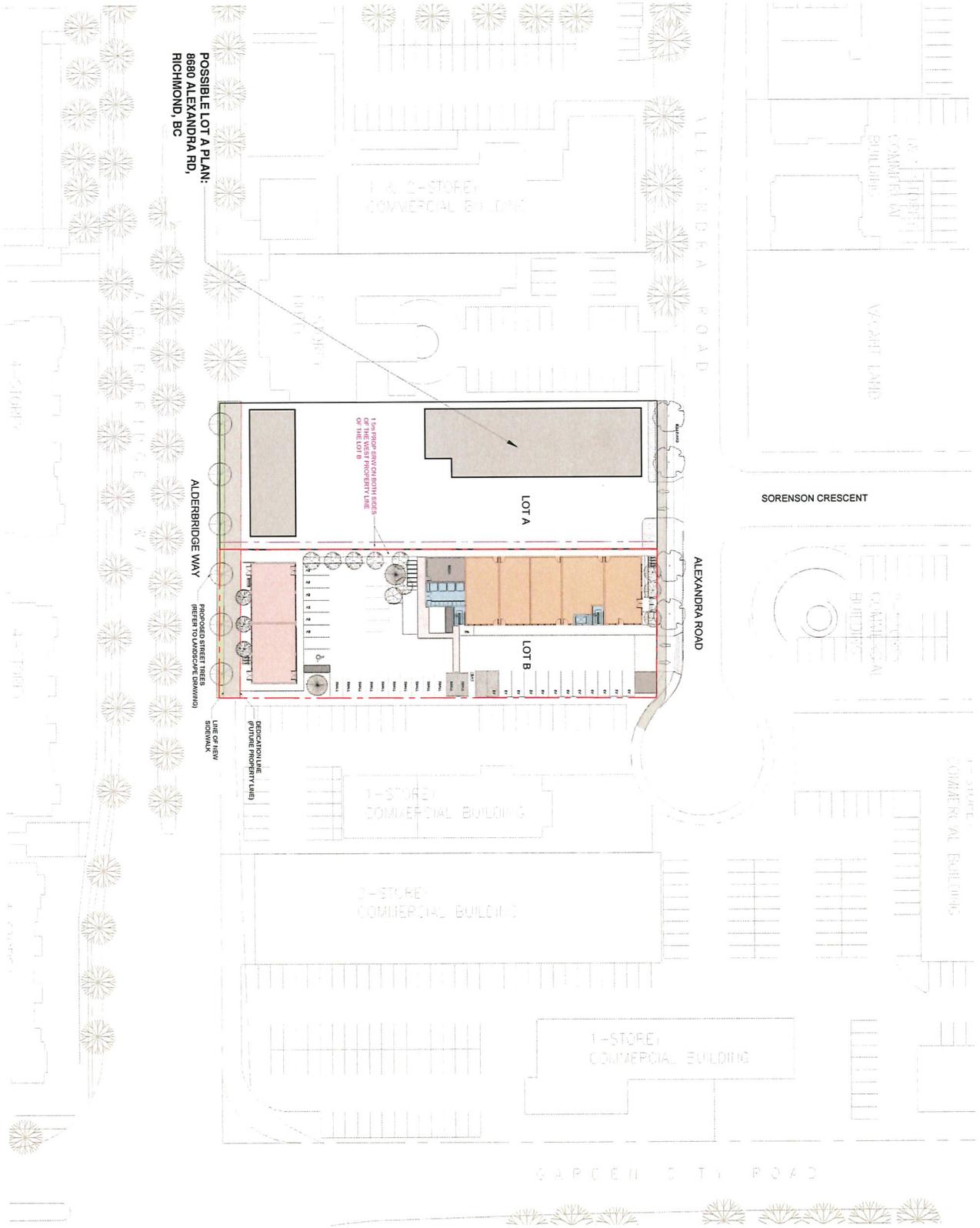
PROPOSED STREET TREES
(REFER TO LANDSCAPE DRAWING)

LINE OF NEW
SIDEWALK

PROPOSED NEW
CYCLIST SUPERVISED
CROSSING



1 LOT A POSSIBLE SITE PLAN
 Scale 1:600=1'



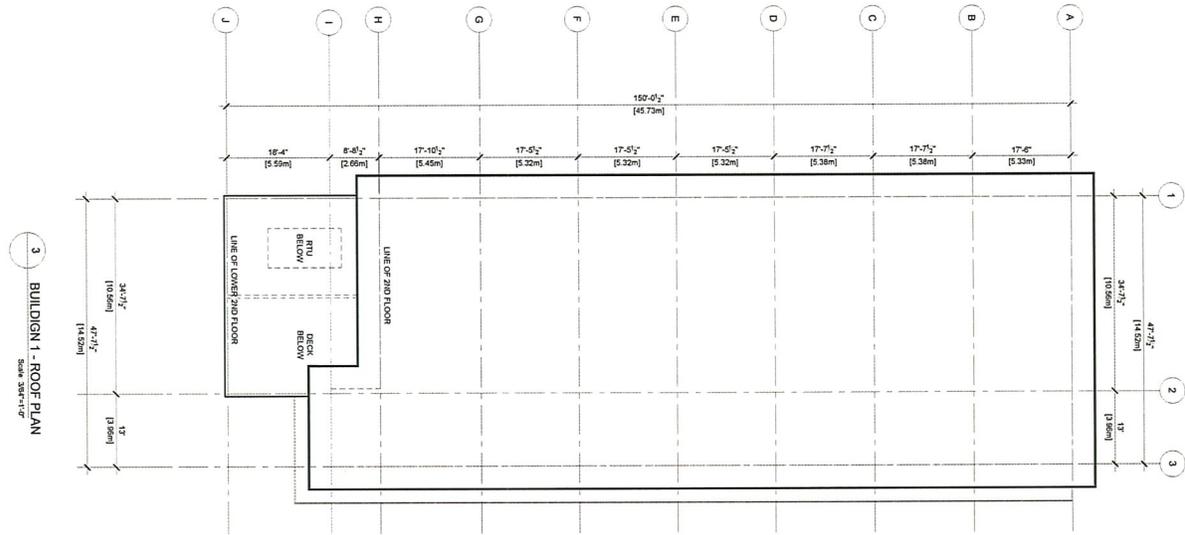
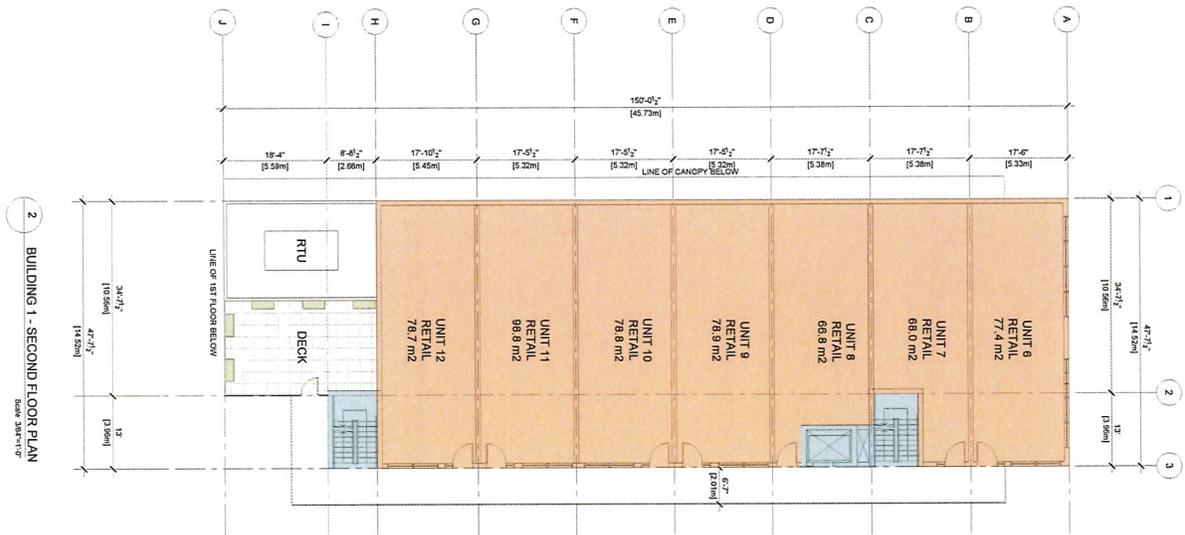
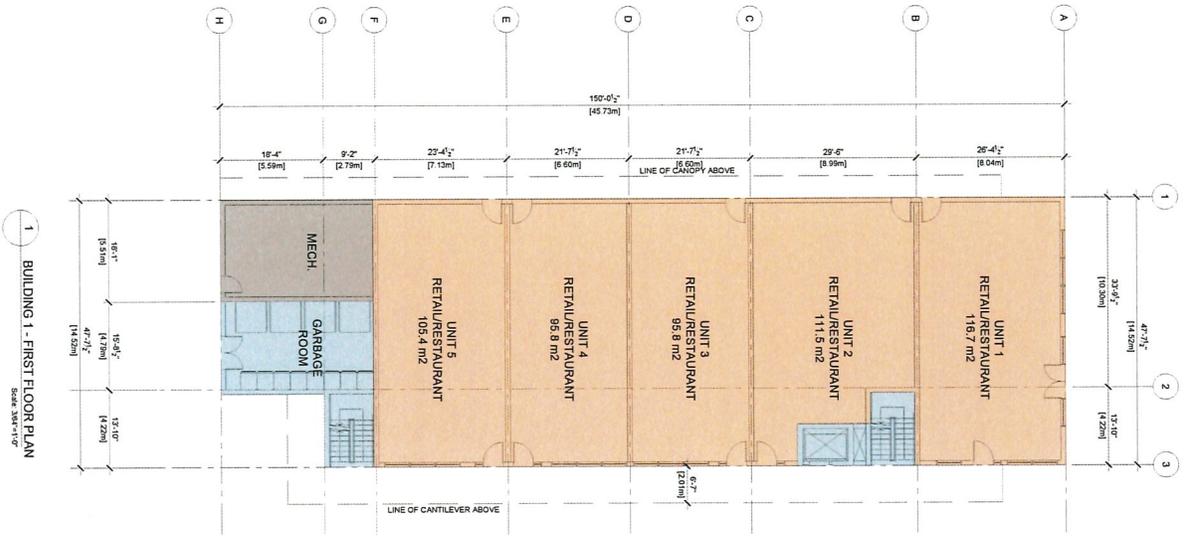
POSSIBLE LOT A PLAN:
 8680 ALEXANDRA RD,
 RICHMOND, BC

1.5m PROPERTY LINE ON BOTH SIDES
 OF THE WEST PROPERTY LINE

ALDERBRIDGE WAY
 PROPOSED STREET TREES
 (REFER TO LANDSCAPE DRAWING)

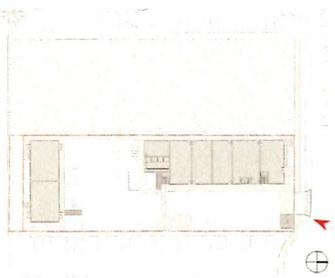
LINE OF NEW
 SIDEWALK
 PROPOSED LINE
 (FUTURE PROPERTY LINE)





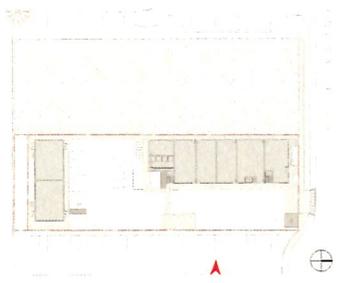


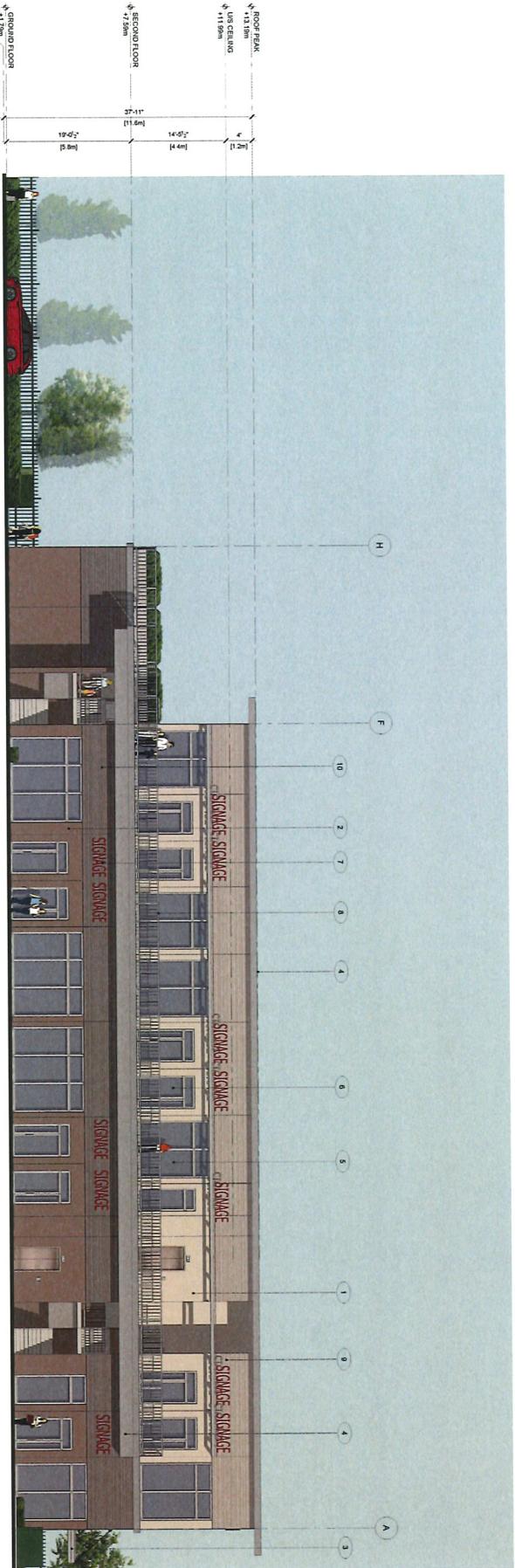
1 PERSPECTIVE - FROM NORTHEAST
SIDE 1115



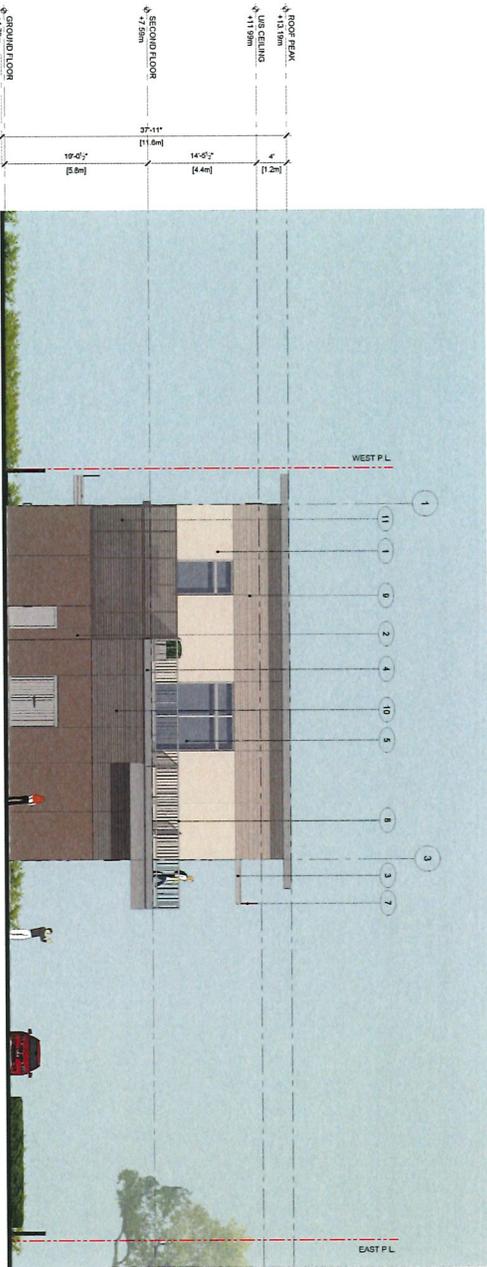


1 PERSPECTIVE - FROM EAST
Scale 1/16"





1 EAST ELEVATION
Scale: 1/8"=1'-0"

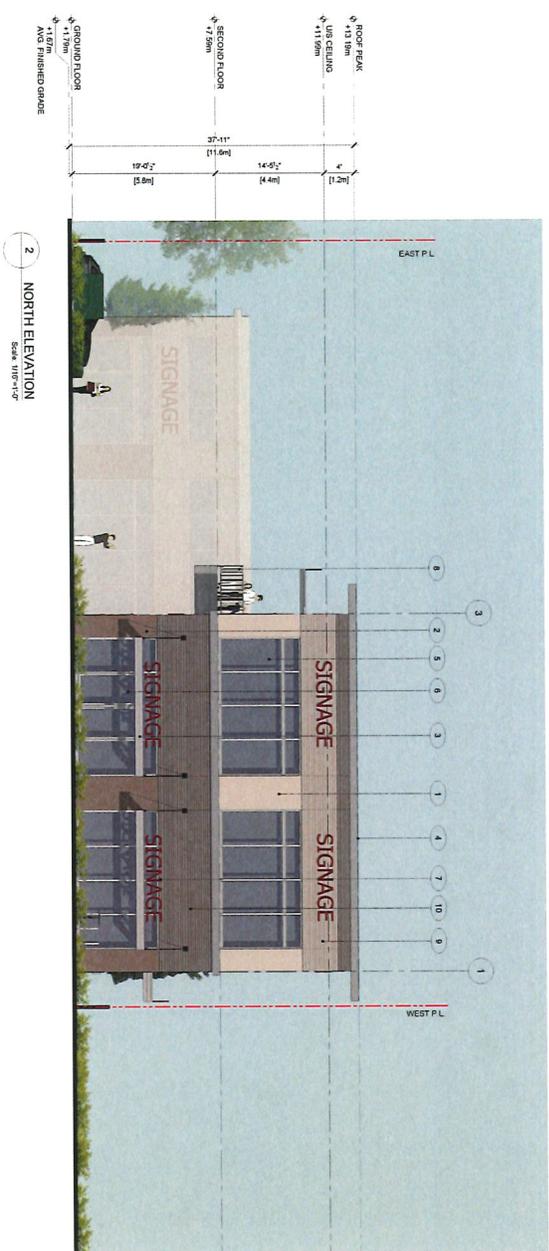
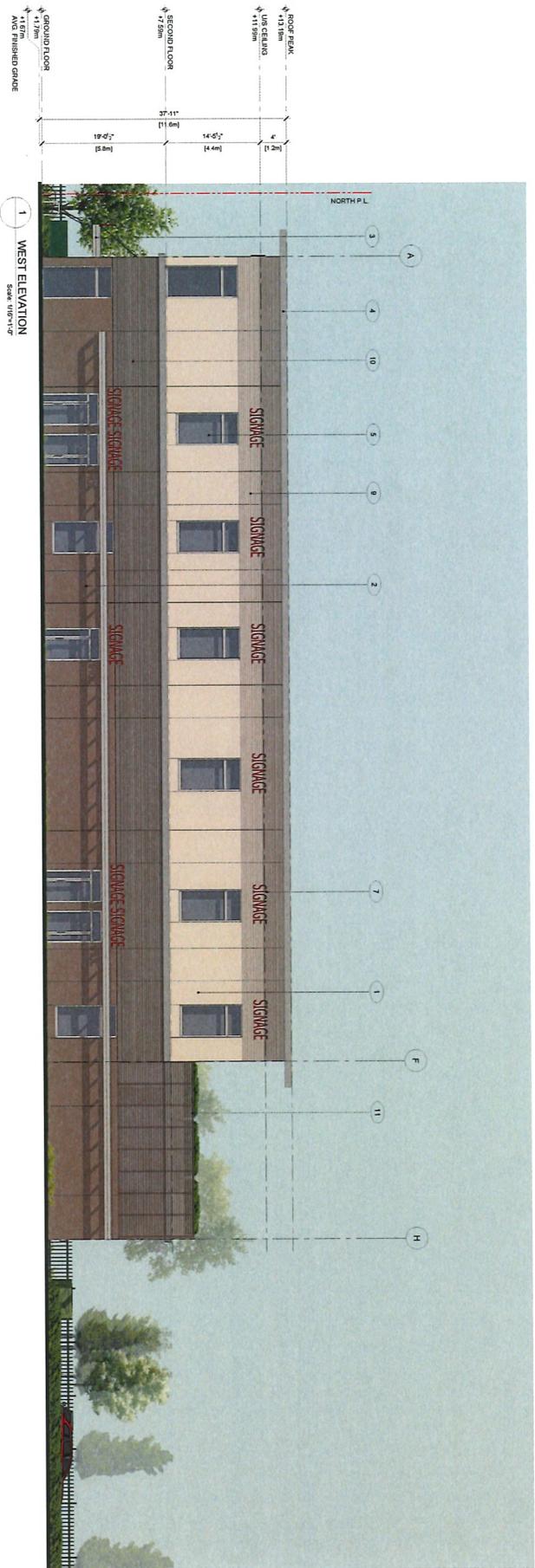


2 SOUTH ELEVATION
Scale: 1/8"=1'-0"

MATERIAL KEY

- 1 COMPOSITE PANEL, COLOR: PEARL WHITE
- 2 COMPOSITE PANEL, COLOR: GREY BEIGE
- 3 SAFETY GLASS CURTAIN WITH METAL FRAME
- 4 METAL PANEL/SLASHING, SILVER METALLIC COLOR
- 5 STAIN APPLIED HIGH PERFORMANCE GLAZING UNIT/PANE, FINISHED LIGHT SILVER METALLIC COLOR ALUMINUM FRAME
- 6 METAL STOPS/POST, LIGHT SILVER METALLIC COLOR TO MATCH CURTAIN WALL
- 7 SIGNAGE
- 8 METAL RAILING, PAINTED - LIGHT GREY
- 9 CORRUGATED COMPOSITE PANEL, COLOR: PEARL WHITE
- 10 CORRUGATED COMPOSITE PANEL, COLOR: GREY BEIGE
- 11 METAL CURTAIN SCREEN

NOTE: SIGNAGE IS SUBJECT TO THE CITY'S SIGNAGE ACT AND IS SUBJECT TO VARIATION BY THE CITY.



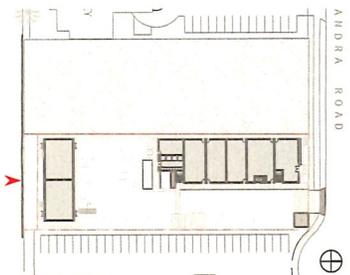
MATERIAL KEY

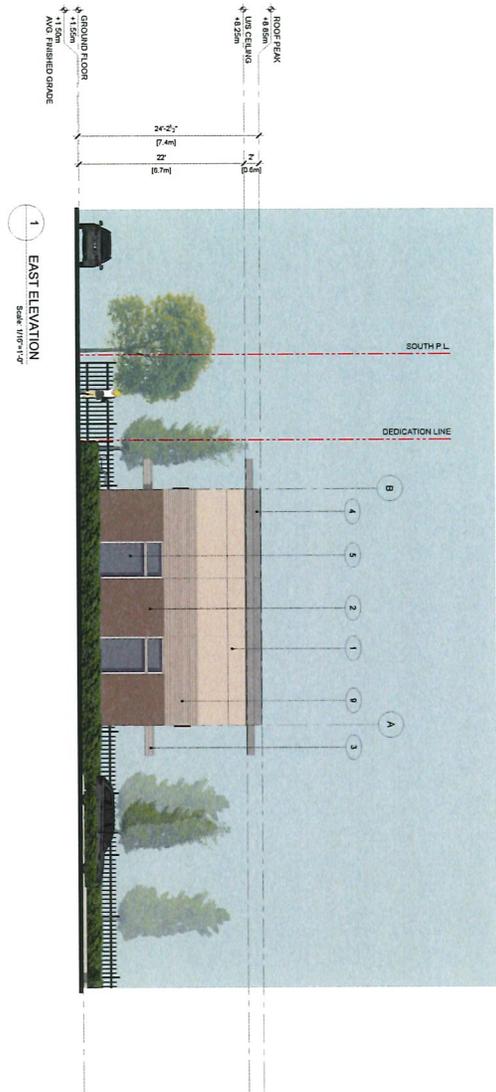
- 1 COMPOSITE PANEL, COLOR PEARL WHITE
- 2 COMPOSITE PANEL, COLOR GREY BEIGE
- 3 SAFETY GLASS CANOPY WITH METAL FRAME
- 4 METAL FINISH/ENAMEL/SLASH, SILVER METALLIC COLOR
- 5 CLEAR ANODIZED HIGH PERFORMANCE GLAZING WITH PINE FINISHED LIGHT SILVER METALLIC COLOR ALUMINUM FRAME
- 6 METAL ANODIZED/ENAMEL/SLASH, LIGHT SILVER METALLIC COLOR TO MATCH CANOPY WALL
- 7 SIGNAGE
- 8 METAL PAINTING, PAINTED - LIGHT GREY
- 9 COMBINATION COMPOSITE PANEL, COLOR PEARL WHITE
- 10 COMBINATION COMPOSITE PANEL, COLOR GREY BEIGE
- 11 METAL LOUVER SCREEN

NOTE
SIGNAGE IS SUBJECT TO THE CITY'S SIGN BYLAW
ALL SIGNAGE IS SUBJECT TO A SEPARATE SIGN APPLICATION

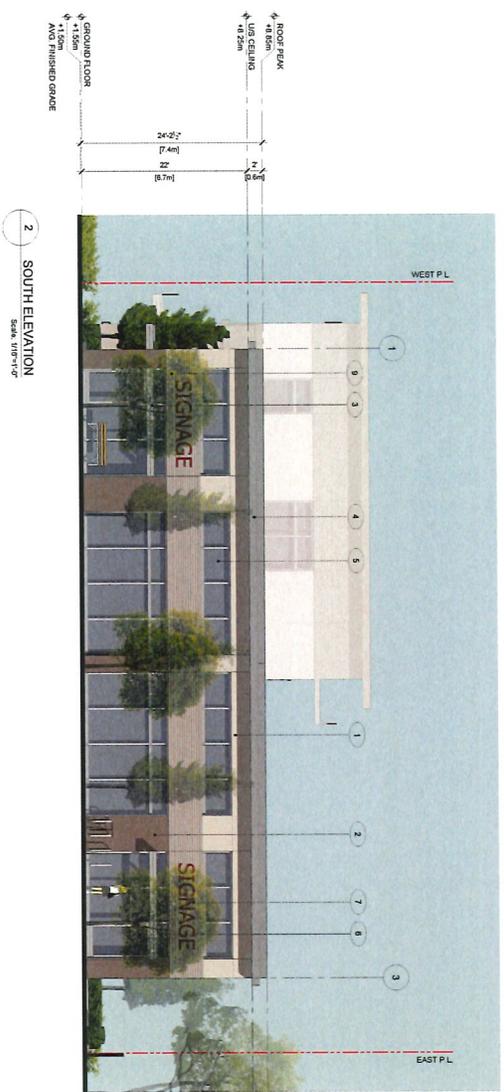


1 PRESPECTIVE - FROM SOUTH-WEST
Scale 1/16"





1 EAST ELEVATION
Scale: 1/8"=1'-0"

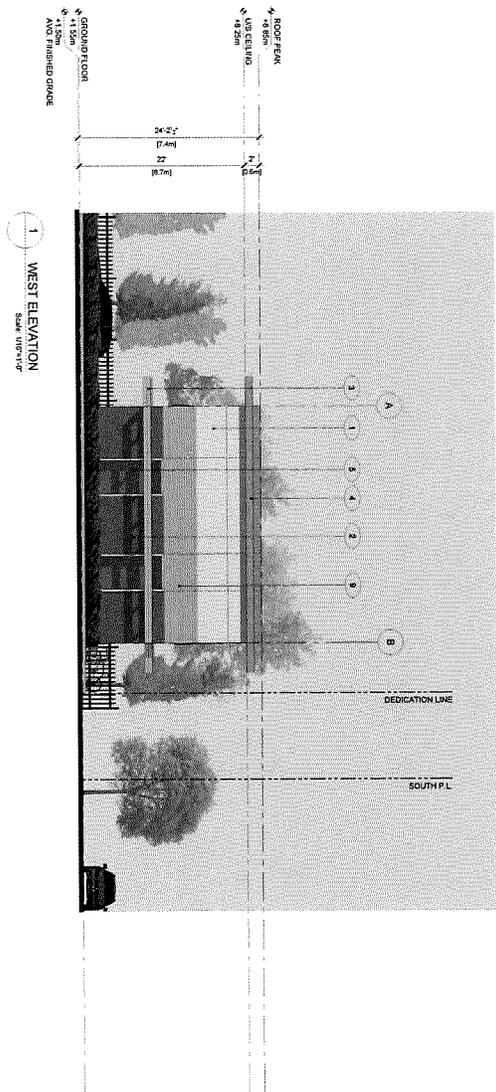


2 SOUTH ELEVATION
Scale: 1/8"=1'-0"

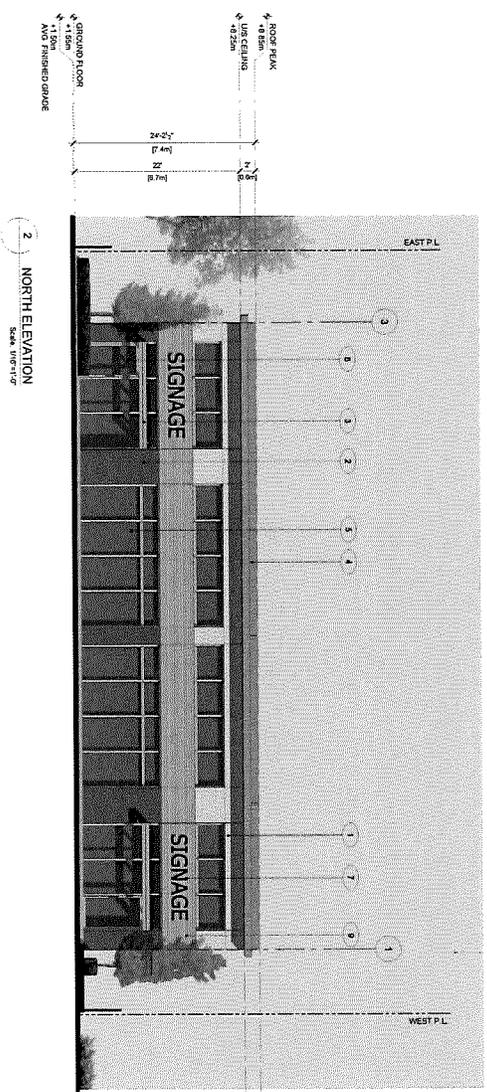
MATERIAL KEY

- 1 COMPOSITE PANEL, COLOR PEARL WHITE
- 2 COMPOSITE PANEL, COLOR GREY BEIGE
- 3 SAFETY GLASS CANOPY WITH METAL FRAME
- 4 METAL PANELING/FLASHING SILVER METALLIC COLOR
- 5 CLEAR ANODIZED HIGH-TYPE BALANCE GLAZING WITH FINE FINISH
- 6 METAL STORMDOOR DOOR, LIGHT SILVER METALLIC COLOR TO MATCH CURTAIN WALL
- 7 BRONZE
- 8 METAL PAINTING, PAINTED LIGHT GREY
- 9 CORRUGATED COMPOSITE PANEL, COLOR PEARL WHITE
- 10 CORRUGATED COMPOSITE PANEL, COLOR GREY BEIGE
- 11 METAL LOUVER SCREEN

NOTE:
ALL SIGNAGE IS SUBJECT TO THE CITY'S SIGN BYLAW
ALL SIGNAGE IS SUBJECT TO THE PRIVATE SIGN PERMITS CONDITION



1 WEST ELEVATION
Scale: 1/8"=1'-0"

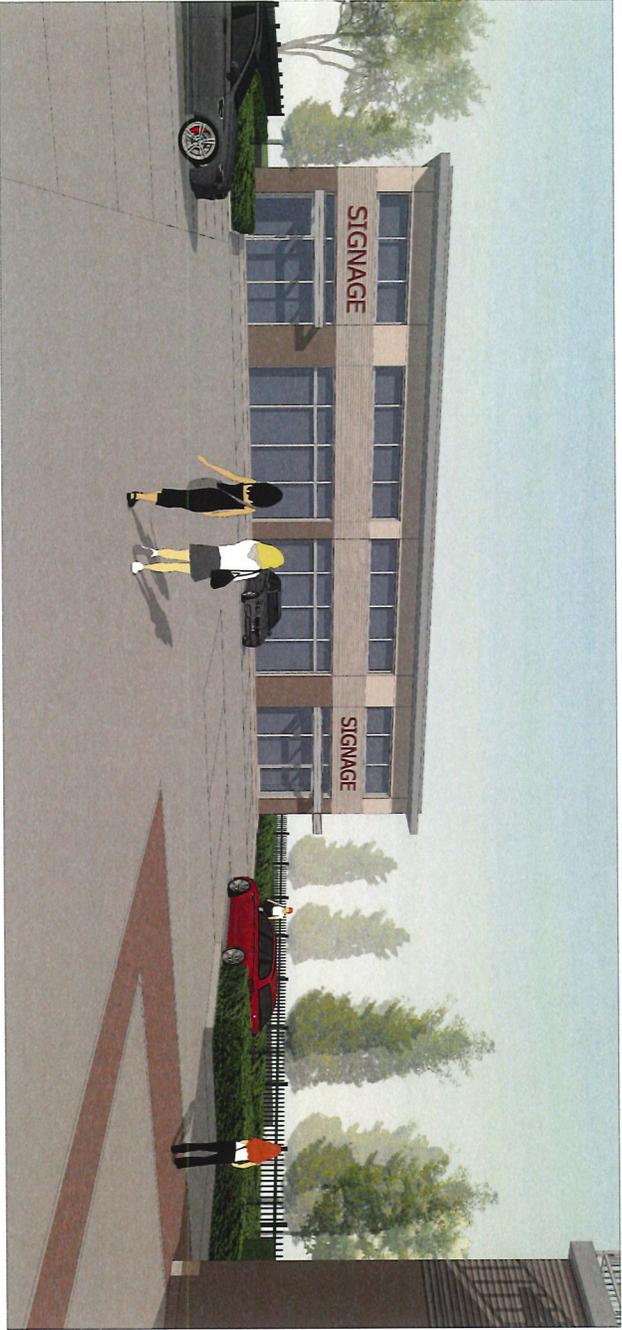


2 NORTH ELEVATION
Scale: 1/8"=1'-0"

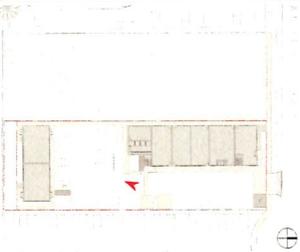
MATERIAL KEY

- 1 COMPOSITE PANEL, COLOR PEARL WHITE
- 2 COMPOSITE PANEL, COLOR GREY BEIGE
- 3 SAFETY GLASS CANOPY WITH METAL FRAME
- 4 METAL PANEL/WINDOW GLASSING, SILVER METALLIC COLOR
- 5 CLEAR ANODIZED HIGH PERFORMANCE GLAZING WITH PINE FINISHED LIGHT SILVER METALLIC COLOR ALUMINUM FRAME
- 6 METAL STONE/ROOF DOOR, LIGHT SILVER METALLIC COLOR TO MATCH CURB/WALL
- 7 SIGNAGE
- 8 METAL RAILING, PAINTED LIGHT GREY
- 9 CORNUCATED COMPOSITE PANEL, COLOR PEARL WHITE
- 10 CORNUCATED COMPOSITE PANEL, COLOR GREY BEIGE
- 11 METAL LOUVER SCREEN

NOTE:
ALL SIGNAGE IS SUBJECT TO THE CITY'S SIGN BYLAW.
ALL SIGNAGE IS SUBJECT TO A SIGN PLAN'S SUBMITTAL AND PERMITS.



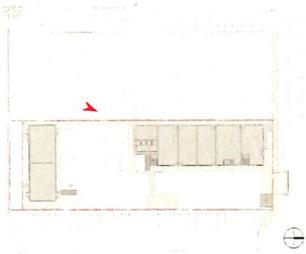
1 3D VIEW 1
Scale: 1/16"



+

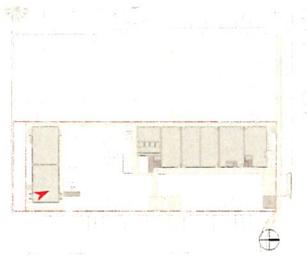


1 3D VIEW 2
SOUTH EAST





1 3D VIEW 3
Scale: 1:175



SPRING EQUINOX
MARCH 21 (DST)



10 AM
(PDT: UTC -7:00)



02 PM
(PDT: UTC -7:00)



04 PM
(PDT: UTC -7:00)

SUMMER EQUINOX
JUNE 21 (DST)



10 AM
(PDT: UTC -7:00)



02 PM
(PDT: UTC -7:00)



04 PM
(PDT: UTC -7:00)

FALL EQUINOX
SEPTEMBER 22 (DST)



10 AM
(PDT: UTC -7:00)

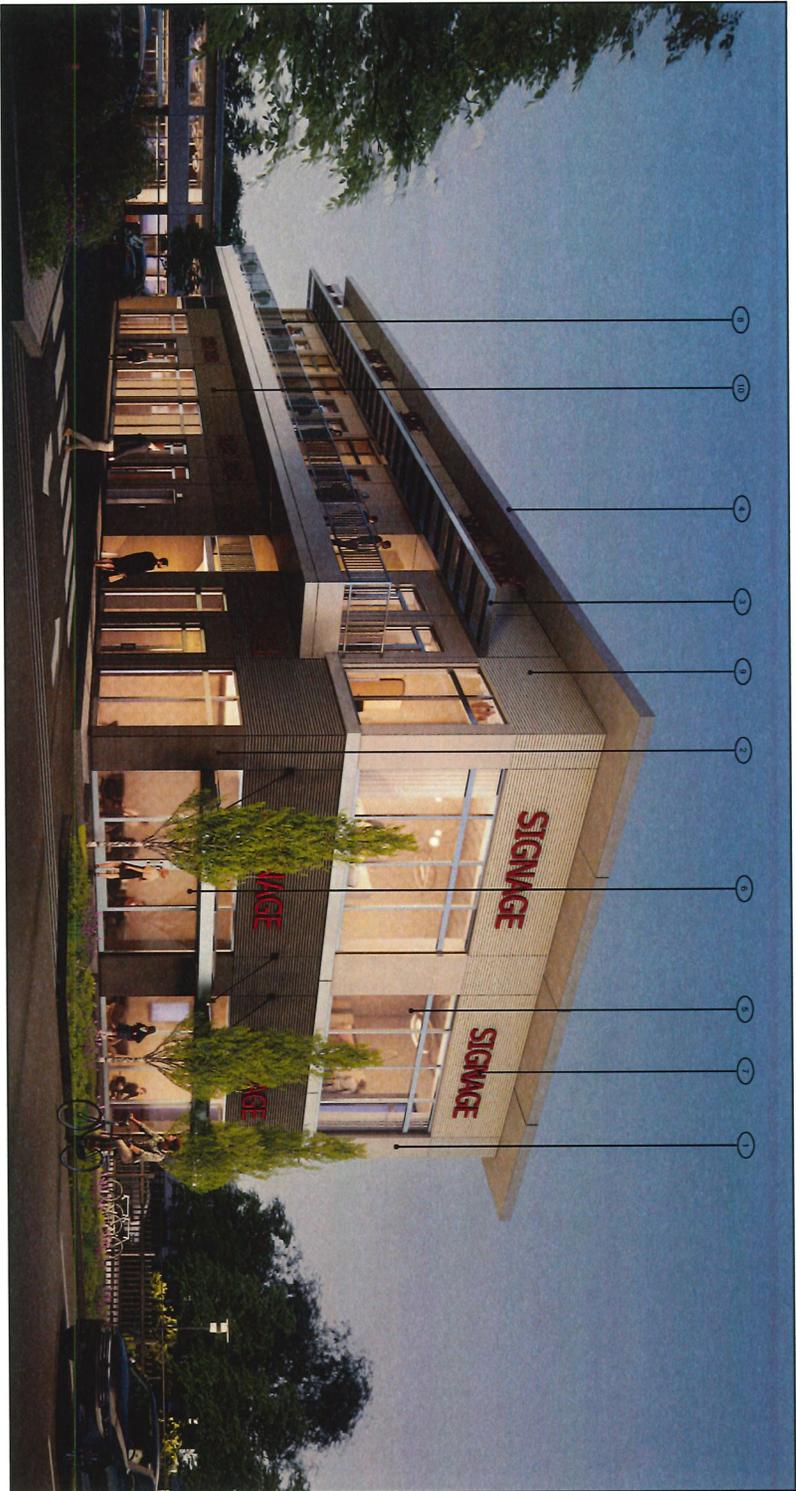


02 PM
(PDT: UTC -7:00)

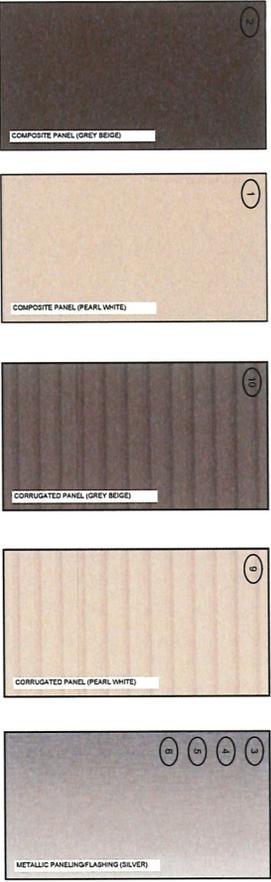


04 PM
(PDT: UTC -7:00)





1 PERSPECTIVE-NORTHEASTERN SIDE N.T.S



2 MATERIAL BOARD SIDE N.T.S

MATERIAL KEY

- 1 COMPOSITE PANEL, COLOR: PEARL WHITE
- 2 COMPOSITE PANEL, COLOR: GREY BEIGE
- 3 SAFETY GLASS CURTAIN WITH METAL FRAME
- 4 METAL PANELING/ASHIRKO, SILVER METALLIC COLOR
- 5 GLASS CURTAIN WITH PERFORMANCE GLASS WITH METAL FRAME (SHIRKO) LIGHT SILVER METALLIC COLOR ALUMINUM FRAME
- 6 METAL ROOFING TOPOL, LIGHT SILVER METALLIC COLOR, 1.5MM THICKNESS WALL
- 7 SIGNAGE
- 8 METAL FLASHING, PAINTED, LIGHT GREY
- 9 CORRUGATED COMPOSITE PANEL, COLOR: PEARL WHITE
- 10 CORRUGATED COMPOSITE PANEL, COLOR: GREY BEIGE
- 11 METAL LOWWAVE SCREEN

NOTE: FINISHES IS SUBJECT TO THE CLIENT'S SELECTION. ALL SIGNAGE IS SUBJECT TO A SEPARATE SIGN APPLICATION

NEW COMMERCIAL DEVELOPMENT

8680 ALEXANDRA RD, RICHMOND BC

LANDSCAPE SET: ISSUED FOR DP

NOVEMBER 6, 2025

LANDSCAPE DRAWING INDEX

| DRAWING INDEX | |
|---------------|--|
| SHEET No. | SHEET NAME |
| L 0 0 | LANDSCAPE COVER SHEET AND DESIGN RATIONALE |
| L 0 1 | LANDSCAPE TREE MANAGEMENT PLAN |
| L 0 2 | LANDSCAPE REPLACEMENT TREE PLAN |
| L 1 0 | LANDSCAPE LAYOUT AND MATERIALS PLAN |
| L 2 0 | LANDSCAPE PLANTING PLAN - NORTH AREA |
| L 2 1 | LANDSCAPE PLANTING PLAN - SOUTH AREA |
| L 2 2 | CONCEPTUAL LANDSCAPE LIGHTING PLAN |
| L 2 3 | SECTIONS |
| L 3 0 | HARDSCAPE & FURNISHING DETAILS |
| L 3 1 | SOFTSCAPE DETAILS |

GENERAL NOTES

ALL LANDSCAPE ARCHITECTURAL DRAWINGS IN THIS PACKAGE SHALL BE READ IN CONJUNCTION WITH ALL OTHER LANDSCAPE ARCHITECTURAL DRAWINGS, DETAILS, SPECIFICATIONS, AND OTHER CORRESPONDENCE THAT MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. IF A DISCREPANCY OCCURS BETWEEN THE DRAWINGS AND THE SPECIFICATIONS OR ANY OTHER DOCUMENT ASSOCIATED WITH THE PROJECT, THE CONFLICT SHALL BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT TO OBTAIN CLARIFICATION AND APPROVAL BEFORE PROCEEDING WITH WORKS.

THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY THE TRUE EXISTING CONDITIONS. ANY UNCLEAR ISSUES SHALL BE CLARIFIED WITH THE LANDSCAPE ARCHITECT. NO CLAIM SHALL BE ALLOWED FOR EXTRAS WHICH MAY ARISE THROUGH NEGLIGENCE OF THIS ADVICE.

ALL EXISTING INFORMATION IS BASED ON AVAILABLE RECORDS AND SHALL NOT BE CONSTRUED TO BE COMPLETE OR ACCURATE.

LAYOUT OF HARDSCAPE, SITE FURNITURE, SOIL, PLANTING, AND ALL OTHER MATERIALS IS TO BE STAKED OUT AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

ALL PLANTING SHALL BE IN ACCORDANCE WITH CSA LANDSCAPE STANDARD, LATEST EDITION.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND CONCEALED STRUCTURES, AND FOR OBTAINING THE NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES (COMPANY, DEPARTMENT OR PERSONS) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

HOMING LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES OR CONCEALED STRUCTURES AT THE PROJECT SITE.

FINAL SELECTION AND APPROVAL OF ALL STREET TREES TO BE DONE BY THE CITY OF RICHMOND.

Revisions

| NO. | Date | Note |
|-----|------------|---------------|
| A | 2023-10-06 | ISSUED FOR DP |
| B | 2024-07-10 | ISSUED FOR DP |
| C | 2024-08-08 | ISSUED FOR DP |
| D | 2024-08-23 | ISSUED FOR DP |
| E | 2025-01-09 | ISSUED FOR DP |
| F | 2025-04-16 | ISSUED FOR DP |
| G | 2025-06-25 | ISSUED FOR DP |
| H | 2025-07-23 | ISSUED FOR DP |
| I | 2025-08-08 | ISSUED FOR DP |
| J | 2025-10-22 | ISSUED FOR DP |
| K | 2025-11-06 | ISSUED FOR DP |

NEW COMMERCIAL DEVELOPMENT

PROJECT ADDRESS:
8680 ALEXANDRA RD, RICHMOND,
BC, CANADA

PROJECT NUMBER: 2330
SCALE: N/A
DRAWN BY: EL
REVIEWED BY: EL

Landscape Cover Sheet

L 0.0



HOMING
LANDSCAPE
ARCHITECTURE

ADDRESS: 1421 WILMINGTON
SUITE 100, RICHMOND, BC
V6V 1Y9
TEL: 778.333.3339
EMAIL: INFO@HOMINGARCH.COM

DO NOT SCALE THE DRAWINGS. CONSULT THE DRAWING FOR DIMENSIONS. ALL DIMENSIONS SHALL BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH WORKS.

TREE MANAGEMENT LEGEND



EXISTING TREE TO BE RETAINED, REFER TO ARBORIST REPORT AND TREE MANAGEMENT PLAN PREPARED BY ARBORIST



EXISTING TREE AND TREE STUMP TO BE REMOVED, REFER TO ARBORIST REPORT AND TREE MANAGEMENT PLAN PREPARED BY ARBORIST. ON-SITE WITH CITY OF RICHMOND STAFF FOR APPROVAL AND ARBORIST TRIM TO REMOVAL



TREE PROTECTION FENCING TO BE INSTALLED PER CITY OF RICHMOND STANDARDS AND TREE MANAGEMENT PLAN PREPARED BY ARBORIST

TREE MANAGEMENT NOTES

- DO NOT REMOVE OR RELOCATE ANY TREE, EXCEPT AS INDICATED ON PLANS.
- DO NOT ALTER EXISTING GRADE OR STORE MATERIALS UNDER THE DRIP LINE OR WITHIN TREE PROTECTION ZONE. EXCAVATION WITHIN DRIP LINES OF TREES ONLY WHERE INDICATED ON PLANS.
- INFORM ARBORIST WHEN ALL TREE BARRIERS HAVE BEEN INSTALLED. ARBORIST TO PROVIDE WRITTEN INSPECTION AND APPROVAL OF ALL BARRIERS AND SUBMIT INSPECTION REPORT TO CITY OF RICHMOND STAFF FOR REVIEW AND APPROVAL PRIOR TO DEMOLITION / MOBILIZATION / CONSTRUCTION ACTIVITY.
- CONTRACTOR TO CONTACT CITY ARBORIST, PROJECT ARBORIST AND ARBORIST ARCHITECT PRIOR TO ANY CONSTRUCTION WORK AND AVOIDING THE DRIP LINE OF TREES.
- CONSTRUCTION WORK WITHIN THE DRIP LINES OF TREES SHALL MINIMIZE DISTURBANCE TO TREES AND ROOTS.
- ALL ROOTS GREATER THAN 25mm IN DIAMETER SHOULD BE HAND PRUNED.
- ADEQUATELY CARE FOR TREES THROUGHOUT CONSTRUCTION. WATER THE REMAINTED TREES REGULARLY.
- STUMPS TO BE CUT FLUSH TO GRADE AND DUG OUT IF NOTED TO BE REMOVED FROM SITE.

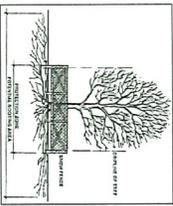
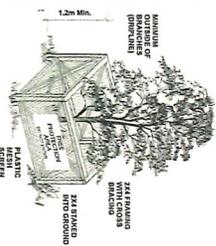
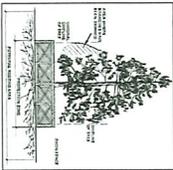
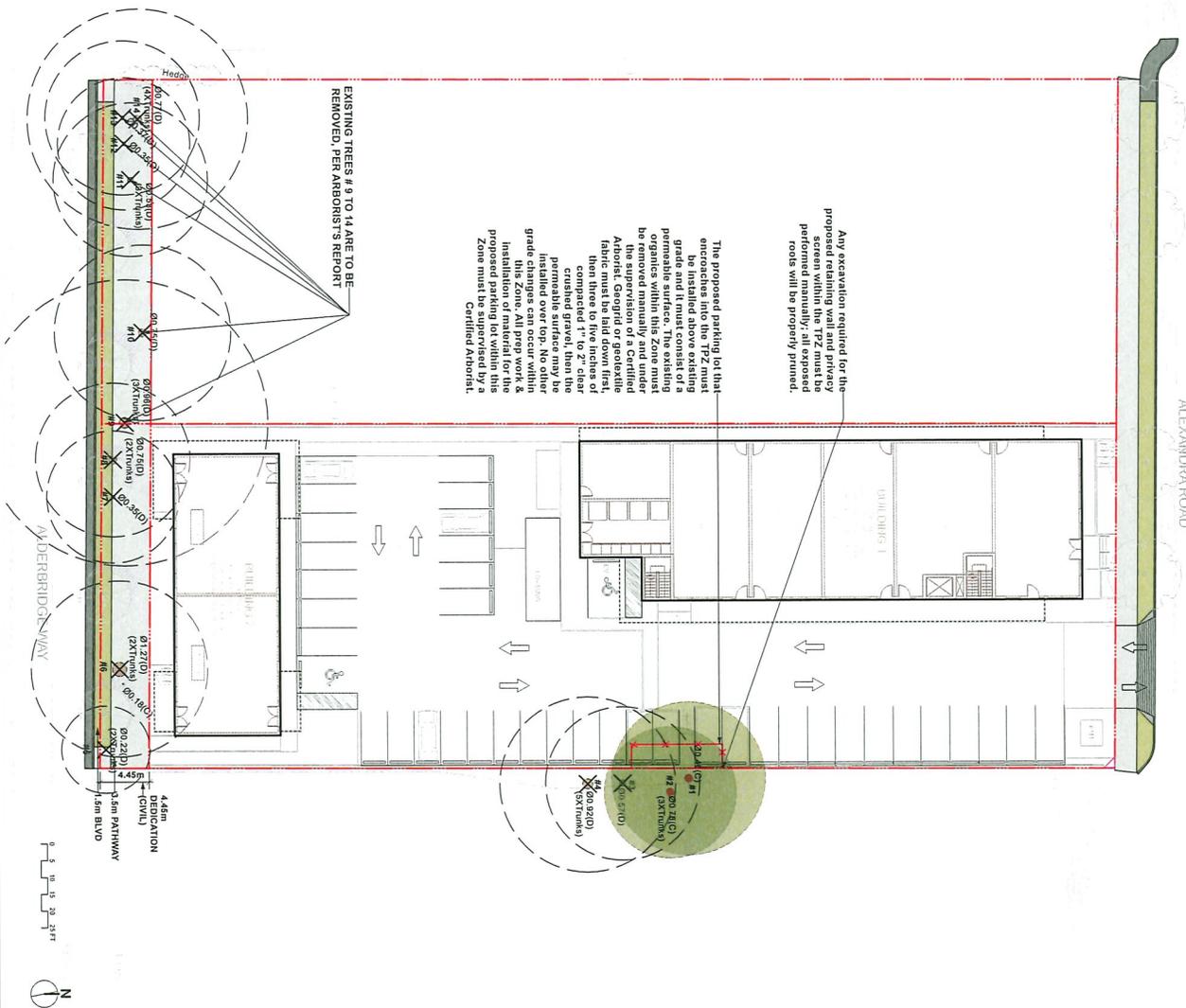


Fig. 1a - Example of a drip line on a tree



Note: If the tree is on an adjacent property, the drip line must still be protected on your side of the property line. If the branches have been cut or pruned, the TPZ must protect the original drip line of the tree (Fig. 1b).



Any excavation required for the proposed retaining wall and privacy screen within the TPZ must be installed above existing grade and it must consist of a permeable surface. The existing ground surface must be removed manually and under the supervision of a Certified Arborist. Geogrid or geotextile fabric must be laid down first, then three to five inches of crushed gravel, then the permeable surface may be installed over top. No other grade changes can occur within the TPZ. All work must be installed in accordance with the installation of all work for the proposed parking lot within this Zone must be supervised by a Certified Arborist.

EXISTING TREES # 9 TO 14 ARE TO BE REMOVED, PER ARBORIST'S REPORT

HOMINGS
LANDSCAPE
ARCHITECTURE

ADDRESS: 1423 WINTH AVENUE
SUITE 100, RICHMOND, BC V6V 1K9
TEL: 778-333-5358
EMAIL: HOMINGS@HOMINGSARCH.COM

NEW COMMERCIAL DEVELOPMENT

PROJECT ADDRESS:
8880 ALEXANDRA RD, RICHMOND,
BC, CANADA

PROJECT NUMBER: 23-30
SCALE: 1/8"=1'-0" (1:192)
DRAWN BY: EL
REVIEWED BY: EL

Landscape Tree Management Plan

L0.1

| NO. | Date | Note |
|-----|------------|---------------|
| A | 2023-10-06 | ISSUED FOR DP |
| B | 2024-07-10 | ISSUED FOR DP |
| C | 2024-08-06 | ISSUED FOR DP |
| D | 2024-08-23 | ISSUED FOR DP |
| E | 2025-01-09 | ISSUED FOR DP |
| F | 2025-03-10 | ISSUED FOR DP |
| G | 2025-06-25 | ISSUED FOR DP |
| H | 2025-07-23 | ISSUED FOR DP |
| I | 2025-08-06 | ISSUED FOR DP |
| J | 2025-10-22 | ISSUED FOR DP |
| K | 2025-11-06 | ISSUED FOR DP |

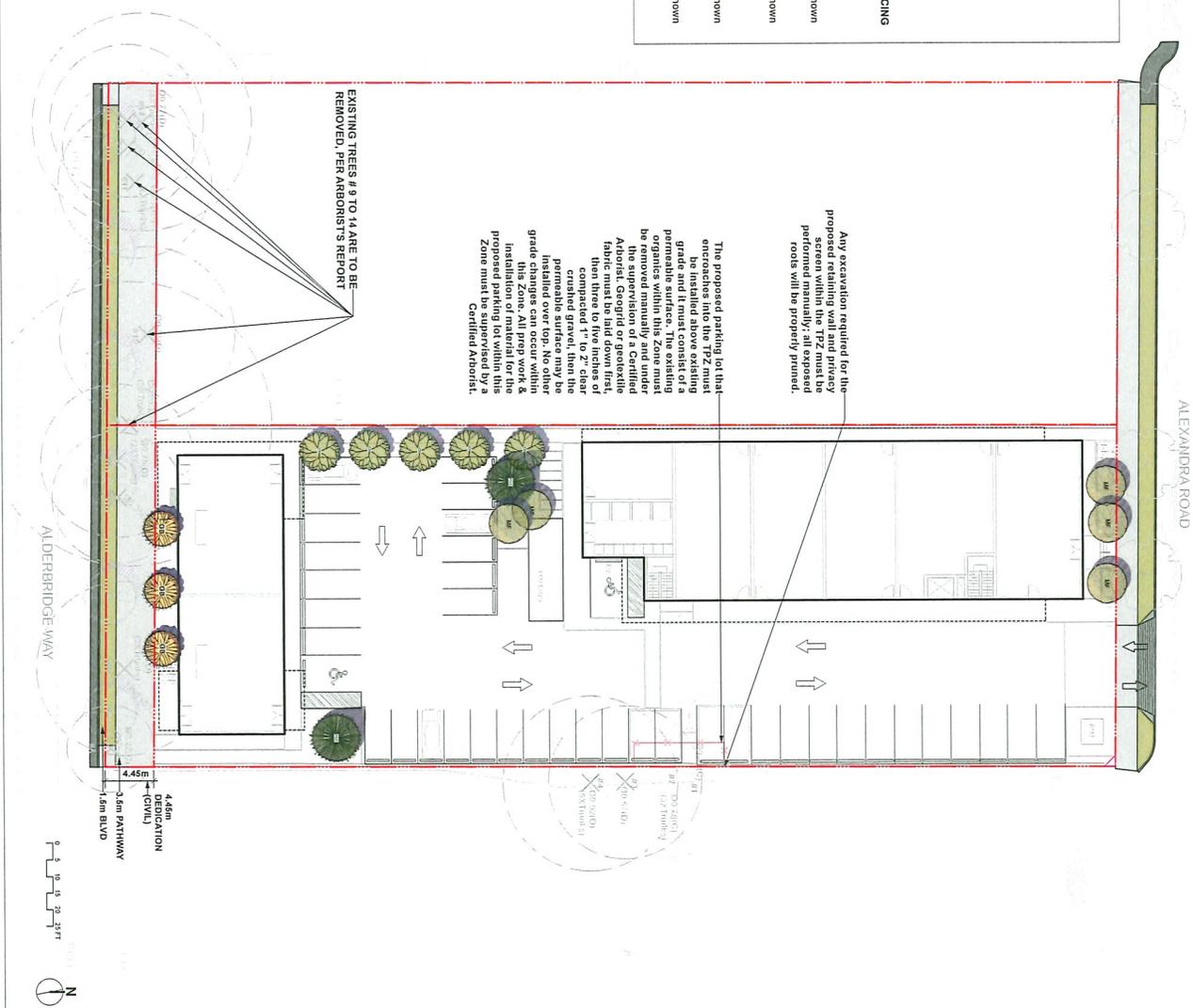
DO NOT SCALE THE DRAWINGS. COPYRIGHT RESERVED BY ARCHITECTURAL CONCEPTS INC. ALL RIGHTS RESERVED. THIS DOCUMENT IS THE PROPERTY OF ARCHITECTURAL CONCEPTS INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED TO THE CLIENT. ANY REUSE OR REPRODUCTION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF ARCHITECTURAL CONCEPTS INC. IS STRICTLY PROHIBITED.

REPLACEMENT TREES SUMMARY

TOTAL 5 ONSITE TREES AND 2 OFFSITE TREES TO BE REMOVED, WHICH REQUIRES 14 REPLACEMENT TREES TO BE INSTALLED. ALL REPLACEMENT TREES WILL BE INSTALLED ON SITE, REFER TO THE PLANT LIST BELOW.

REPLACEMENT TREES LEGEND

| PLANT LIST | QTY: | BOTANICAL NAME | COMMON NAME | SIZE | SPACING |
|------------|------|---------------------------------|-------------------------|---------------|----------|
| TREES | | | | | |
| 5 | | Syringa reticulata 'Ivory Silk' | Japanese Tree Lilac | 8cm cal., 88B | as shown |
| 3 | | Ginkgo biloba 'Pincelton Senny' | Pincelton Senny® Ginkgo | 8cm cal., 88B | as shown |
| 2 | | Pinus contorta ssp. contorta | Shore Pine | 4.0m Ht. | as shown |
| 5 | | Cornus nuttallii | Pacific dogwood | 8cm cal., 88B | as shown |



EXISTING TREES # 9 TO 14 ARE TO BE REMOVED. PER ARBORIST'S REPORT

4.48m DEDICATION (CONV)
3.6m PATHWAY
1.6m BVD



HOMINGS
LANDSCAPE
ARCHITECTURE
ADDRESS: 1423 WINTH AVENUE
SUITE 100
VANCOUVER, BC V6L 2S8
TEL: 783-3358
EMAIL: HOMINGLANDSCAPE@GMAIL.COM

1:00 NOT SCALE THE DRAWING CORNER
REVISIONS ARE INDICATED BY THE
REVISION NUMBER AND DATE. THE
REVISIONS SHALL BE REPORTED TO THE
CLIENT AND APPROVED BEFORE
PROCEEDING WITH THE WORK.

| NO. | Date | Revisions | Note |
|-----|------------|---------------|------|
| A | 2023-10-06 | ISSUED FOR DP | |
| B | 2024-07-10 | ISSUED FOR DP | |
| C | 2024-08-08 | ISSUED FOR DP | |
| D | 2024-08-23 | ISSUED FOR DP | |
| E | 2025-01-09 | ISSUED FOR DP | |
| F | 2025-03-19 | ISSUED FOR DP | |
| G | 2025-06-25 | ISSUED FOR DP | |
| H | 2025-07-23 | ISSUED FOR DP | |
| I | 2025-08-08 | ISSUED FOR DP | |
| J | 2025-10-22 | ISSUED FOR DP | |
| K | 2025-11-08 | ISSUED FOR DP | |

NEW COMMERCIAL DEVELOPMENT

PROJECT ADDRESS:
8880 ALEXANDRA RD RICHMOND,
BC, CANADA.

PROJECT NUMBER: 23-20
SCALE: 1/8"=1'-0" (1:192)
DRAWN BY: EL
REVIEWED BY: EL

Landscape Replacement Tree Plan

L0.2

| PLANT LIST QTY. | BOTANICAL NAME | COMMON NAME | SIZE | SPACING |
|-----------------|----------------|-------------|------|---------|
|-----------------|----------------|-------------|------|---------|

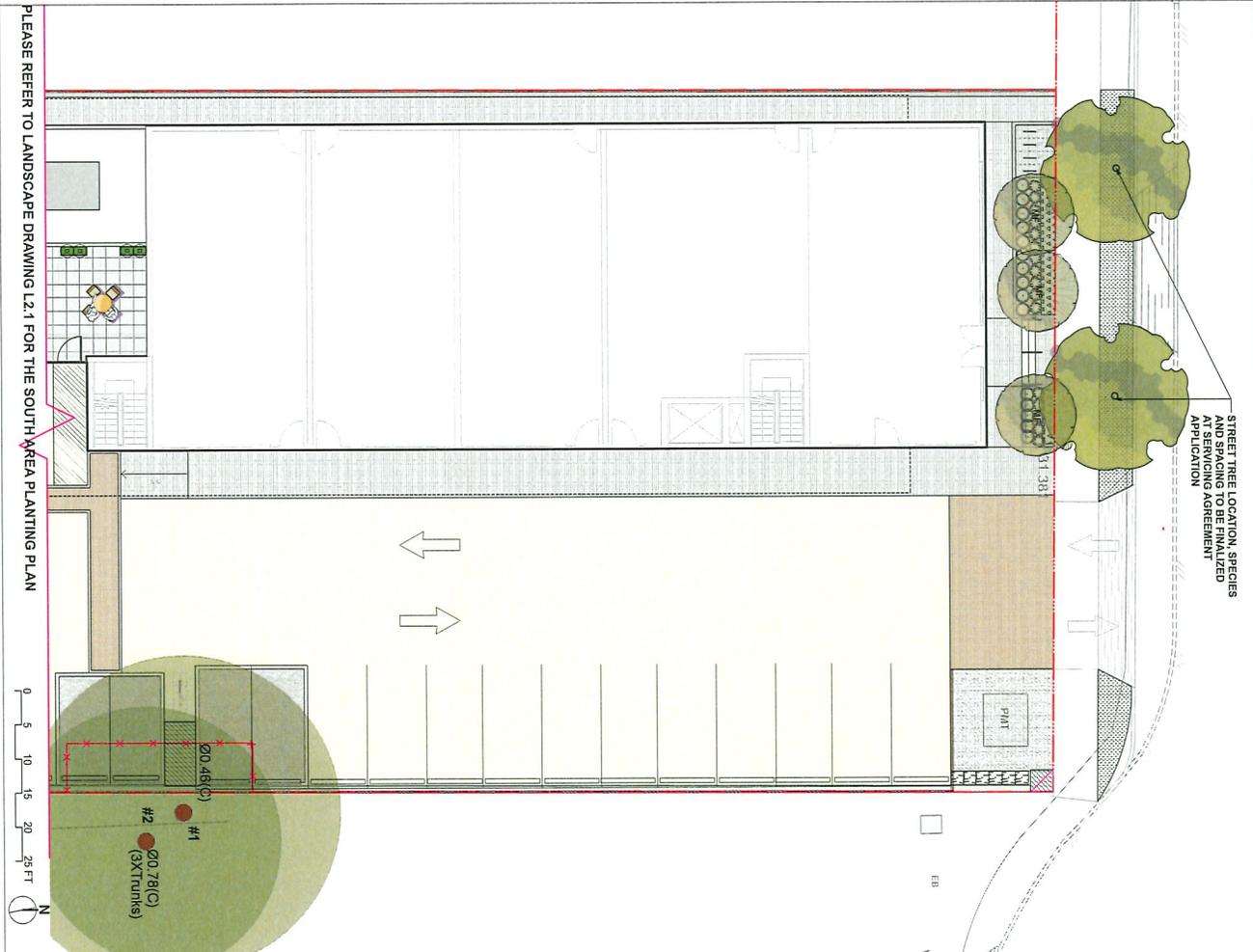
| TREES | | | | |
|-------|--|--------------------------|---------------|----------|
| 5 | <i>Syringa reticulata</i> 'Vivry Silk' | Japanese Tree Lilac | 8cm cal., B&B | as shown |
| 3 | <i>Ginkgo biloba</i> 'Princeton Sentry' | Princeton Sentry® Ginkgo | 8cm cal., B&B | as shown |
| 2 | <i>Pinus conifera</i> subsp. <i>conifera</i> | Shore Pine | 4.0m ht. | as shown |
| 5 | <i>Cornus nuttallii</i> | Pacific dogwood | 8cm cal., B&B | as shown |
| 3 | <i>Fagus sylvatica</i> 'Dawck' | Dawck beech | 6cm cal., B&B | as shown |
| 2 | <i>Acer rubrum</i> | Red Maple | 6cm cal., B&B | as shown |

| SHRUBS | | | | |
|--------|---|----------------------------------|-----------|----------|
| 16 | <i>Cornus sericea</i> 'Kelsey' | Kelsey's Dwarf Red-Osier Dogwood | #2 pot | 24" o.c. |
| 44 | <i>Perfeo Mundo Double Pink azalea</i> | Reeboning Azalea | #2 pot | 24" o.c. |
| 16 | <i>Rhododendron 'Cele'</i> | Pink Rhododendron | #3 pot | 36" o.c. |
| 15 | <i>Sarcococca hookeriana humilis</i> | Himalayan Sweet Box | #2 pot | 24" o.c. |
| 42 | <i>Spiraea bumalda</i> 'Goldflame' | Goldflame Spiraea | #2 pot | 24" o.c. |
| 12 | <i>Symphoricarpos albus</i> | Snowberry | #2 pot | 36" o.c. |
| 60 | <i>Blechnum spicant</i> | Deer Fern | #1 pot | 24" o.c. |
| 18 | <i>Gaultheria shallon</i> | Sisal | #2 pot | 24" o.c. |
| 26 | <i>Vaccinium ovatum</i> 'Thunderbird' | Huckleberry | #3 pot | 36" o.c. |
| 6 | <i>Thuja occidentalis</i> 'Smaragd' | Emerald Cedar | 6' Height | 24" o.c. |
| 4 | <i>Daphne x transatlantica</i> 'BLAFRA' | Eternal Fragrance Daphne | #2 pot | 24" o.c. |

| GROUND COVERS | | | | |
|---------------|--------------------------------|----------------|--------------|----------|
| 83 | <i>Oxalis oregana</i> | Redwood Sorrel | 4"(10cm) pot | 12" o.c. |
| 548 | <i>Acetostaphylos uva-ursi</i> | Bearberry | 4"(10cm) pot | 12" o.c. |

| LAWN | | | | |
|------|---------|--|--|--|
| 856 | #2 Lawn | | | |

NOTES:
 1) In case of discrepancy between plant numbers on this list and on the plan, the latter shall prevail.
 2) All planting shall be in accordance with CSLA Landscape Standard, latest edition.
 3) All planting beds to be installed with 2"(50mm) mulch per specifications.



8680 ALEXANDRA ROAD

PROJECT ADDRESS:
8680 ALEXANDRA RD RICHMOND,
BC, CANADA

PROJECT NUMBER: 2320
SCALE: 1/8"=1'-0" (1/8")
DRAWN BY: EL
REVIEWED BY: EL

Landscaping Plan - North Area

L2.0

HOWING LANDSCAPE ARCHITECTURE

1423 W. HAVENUE
VANCOUVER, BC V6P 1R6
TEL: 778-232-5288
EMAIL: HOWINGLANDSCAPE@GMAIL.COM

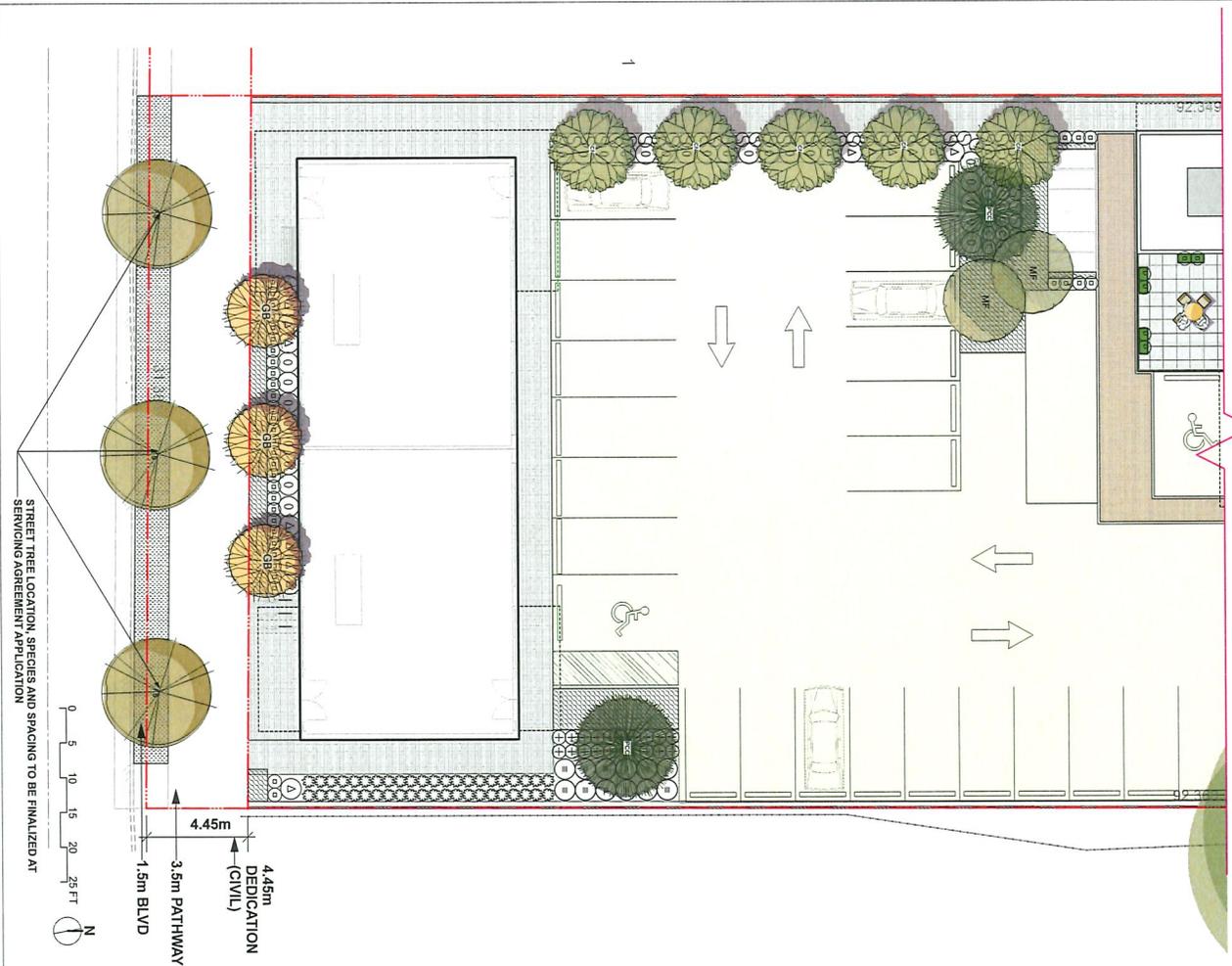
FOR THE SCALE THE DRAWING, COMMENT RELEVANT TO A LANSCLAPING OCCURRING SPECIFICATIONS AND/OR CONDITIONS SHALL BE REPORTED IN WRITING TO THE CLIENT AND APPROVED BEFORE PROCEEDING WITH WORK.

| NO. | Date | Revisions |
|-----|------------|---------------|
| A | 2023-10-06 | ISSUED FOR DP |
| B | 2024-07-10 | ISSUED FOR DP |
| C | 2024-08-06 | ISSUED FOR DP |
| D | 2024-08-23 | ISSUED FOR DP |
| E | 2025-01-09 | ISSUED FOR DP |
| F | 2025-03-18 | ISSUED FOR DP |
| G | 2025-06-25 | ISSUED FOR DP |
| H | 2025-07-23 | ISSUED FOR DP |
| I | 2025-08-06 | ISSUED FOR DP |
| J | 2025-10-22 | ISSUED FOR DP |
| K | 2025-11-06 | ISSUED FOR DP |

PLEASE REFER TO LANDSCAPE DRAWING L2.0 FOR THE NORTH AREA PLANTING PLAN

| PLANT LIST | QTY. | BOTANICAL NAME | COMMON NAME | SIZE | SPACING |
|----------------------|------|-----------------------------------|----------------------------------|---------------|----------|
| TREES | | | | | |
| 5 | | Syringa reticulata 'Hory Silk' | Japanese Tree Lilac | 8cm cal., B&B | as shown |
| 3 | | Ginkgo biloba 'Princeton Sentry' | Princeton Sentry® Ginkgo | 8cm cal., B&B | as shown |
| 2 | | Pinus contorta subsp. contorta | Shore Pine | 4.0m ht. | as shown |
| 5 | | Cornus nuttallii | Pacific dogwood | 8cm cal., B&B | as shown |
| 3 | | Fagus sylvatica 'Dawck' | Dawck beech | 6cm cal., B&B | as shown |
| 2 | | Acer rubrum | Red Maple | 6cm cal., B&B | as shown |
| SHRUBS | | | | | |
| 16 | | Cornus sericea 'Kelsey' | Kelsey's Dwarf Red-Osier Dogwood | #2 pot | 24" o.c. |
| 44 | | Perfeoio Mundo Double Pink azalea | Reblooming Azalea | #2 pot | 24" o.c. |
| 16 | | Rhododendron 'Cele' | Pink Rhododendron | #3 pot | 36" o.c. |
| 15 | | Sarcococca hookeriana humilis | Himalayan Sweet Box | #2 pot | 24" o.c. |
| 42 | | Spiraea humulda 'Goldflame' | Goldflame Spiraea | #2 pot | 24" o.c. |
| 12 | | Symphoricarpos albus | Snowberry | #2 pot | 36" o.c. |
| 80 | | Blechnum spicant | Deer Fern | #1 pot | 24" o.c. |
| 18 | | Gaultheria spicata | Sisal | #2 pot | 24" o.c. |
| 26 | | Vaccinium ovalum 'Thunderbird' | Huckleberry | #3 pot | 36" o.c. |
| 6 | | Thuja occidentalis 'Smaragd' | Emerald Cedar | 6' Height | 24" o.c. |
| 4 | | Daphne x transsialantica 'BLAFRA' | Eternal Fragrance Daphne | #2 pot | 24" o.c. |
| GROUND COVERS | | | | | |
| 83 | | Oxalis oreopana | Redwood Sorrel | 4"(10cm) pot | 12" o.c. |
| 548 | | Actostaphylos uva-ursi | Bearberry | 4"(10cm) pot | 12" o.c. |
| LAWN | | | | | |
| | | 856 | #12 Lawn | | |

NOTES:
 1) In case of discrepancy between plant numbers on this list and on the plan, the latter shall prevail.
 2) All planting shall be in accordance with CSLA Landscape Standard, latest edition.
 3) All planting beds to be installed with 2"(50mm) mulch per specifications.



8680 ALEXANDRA ROAD

PROJECT ADDRESS:
 8680 ALEXANDRA RD, RICHMOND,
 BC, CANADA

PROJECT NUMBER: 23-26

SCALE: 1/8"=1'-0" (1:96)

DRAWN BY: EL

REVIEWED BY: EL

HOMING LANDSCAPE ARCHITECTURE

ADDRESS: 1423 WYTH AVENUE
 VANCOUVER, BC
 TEL: 778-353-3538
 EMAIL: HOMINGLANDSCAPE@GMAIL.COM

Revisions

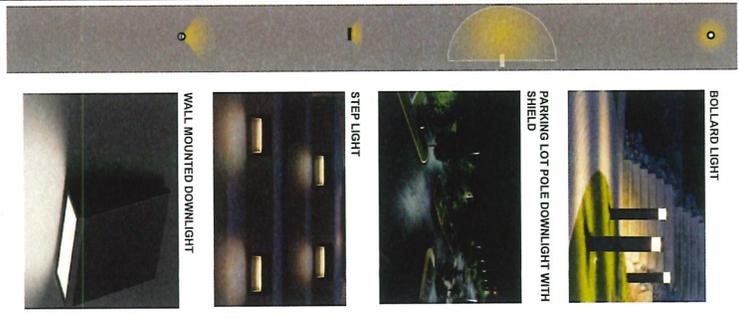
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| A | 2023-10-05 | ISSUED FOR DP |
| B | 2024-07-10 | ISSUED FOR DP |
| C | 2024-08-06 | ISSUED FOR DP |
| D | 2024-08-23 | ISSUED FOR DP |
| E | 2025-01-09 | ISSUED FOR DP |
| F | 2025-03-19 | ISSUED FOR DP |
| G | 2025-06-25 | ISSUED FOR DP |
| H | 2025-07-23 | ISSUED FOR DP |
| I | 2025-08-08 | ISSUED FOR DP |
| J | 2025-10-22 | ISSUED FOR DP |
| K | 2025-11-08 | ISSUED FOR DP |

Landscape Planting Plan - South Area

L2.1

LANDSCAPE LIGHTING LEGENDS

SYMBOL MATERIALS



LIGHTING NOTES

1. CONCEPTUAL LANDSCAPE LIGHTING PLAN IS PROVIDED FOR INFORMATION ONLY. REFER TO ELECTRICAL ENGINEERS DRAWINGS FOR CONSTRUCTION.
2. CONTRACTOR TO COORDINATE RECESSED FORMING, ELECTRICAL CONDUIT AND LOCATION LOGISTICS WITH OTHER TRADES AS REQUIRED.
3. CONTRACTOR TO ENSURE ALL LIGHTING WIRE AND FIXTURES MUST BE INSTALLED TO MEET THE LOCAL ELECTRICAL REGULATIONS AND SAFETY REQUIREMENTS



HOMMING
LANDSCAPE
ARCHITECTURE

ADDRESS: 1423 WILLOW AVENUE
SUITE 100
VANCOUVER, BC V6L 2S6
TEL: 778-323-5556
EMAIL: INFO@HOMMINGLANDSCAPEARCH.COM

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| A | 2023-10-06 | ISSUED FOR DP | |
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| F | 2025-03-18 | ISSUED FOR DP | |
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| H | 2025-07-23 | ISSUED FOR DP | |
| I | 2025-08-06 | ISSUED FOR DP | |
| J | 2025-10-22 | ISSUED FOR DP | |
| K | 2025-11-06 | ISSUED FOR DP | |

8680 ALEXANDRA ROAD

PROJECT ADDRESS:
8680 ALEXANDRA RD RICHMOND,
BC, CANADA

PROJECT NUMBER: 2320
SCALE: 1/8"=1'-0" (1:192)
DRAWN BY: EL
REVIEWED BY: EL

Conceptual
Landscape
Lighting Plan



HOMING
LANDSCAPE
ARCHITECTURE
 ADDRESS: 1421 VINTAGE
 DRIVE
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| C | 2024-08-06 | ISSUED FOR DP |
| D | 2024-08-23 | ISSUED FOR DP |
| E | 2025-01-09 | ISSUED FOR DP |
| F | 2025-03-19 | ISSUED FOR DP |
| G | 2025-06-25 | ISSUED FOR DP |
| H | 2025-07-23 | ISSUED FOR DP |
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| J | 2025-10-22 | ISSUED FOR DP |
| K | 2025-11-06 | ISSUED FOR DP |

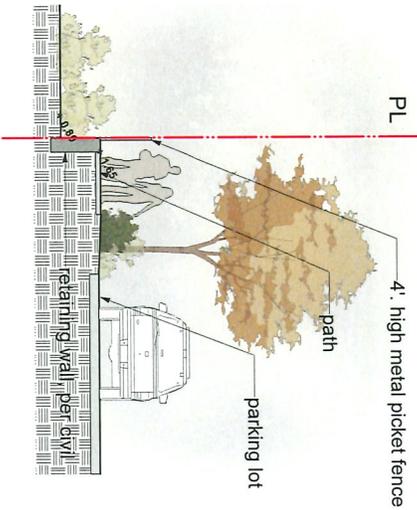
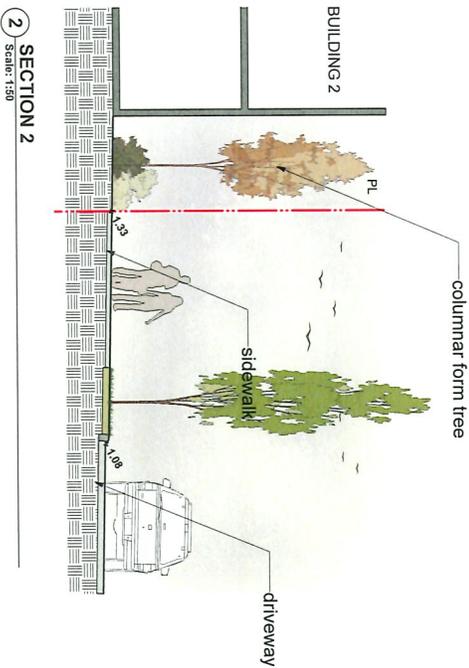
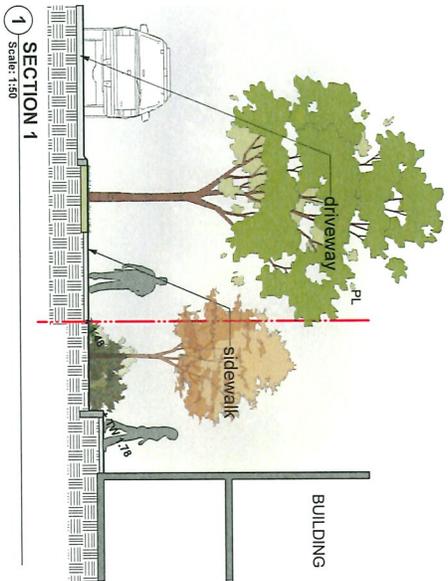
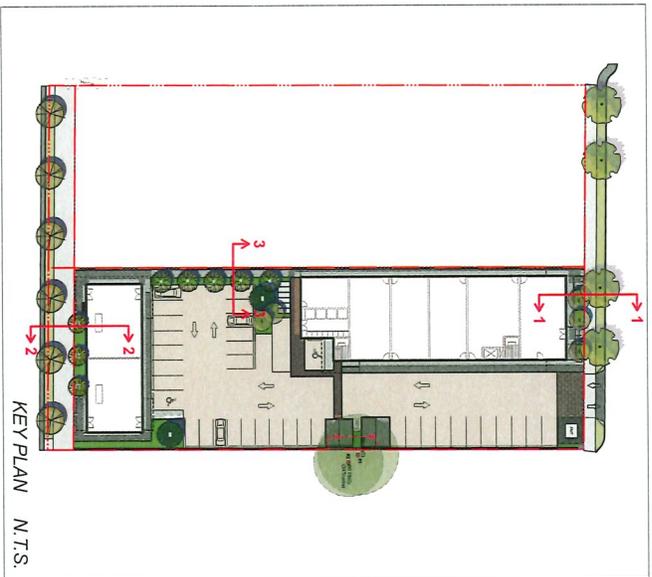
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PROJECT ADDRESS:
 8680 ALEXANDRA RD, RICHMOND,
 BC, CANADA

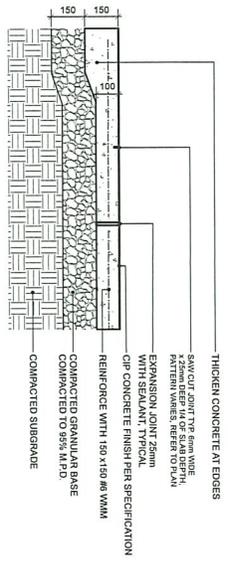
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 SCALE: AS SHOWN
 DRAWN BY: EL
 REVIEWED BY: EL

Sections

L2.3

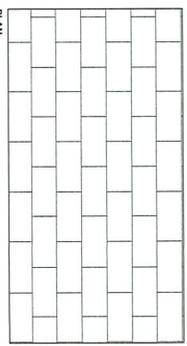


3 SECTION 3
 Scale: 1:40

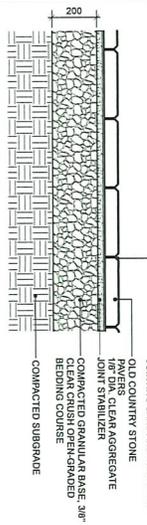


THICKENED CONCRETE AT EDGES
 SAW CUT JOINT TOP FINISH
 25mm (1 IN) OF SLAB DEPTH
 PATTERN VAINES, REF. TO PLAN
 EXPANSION JOINT 25mm
 WITH SEALANT, TYPICAL
 CONCRETE FINISH PER SPECIFICATION
 REINFORCE WITH 150 X 150 MM W/M
 COMPACTED GRANULAR BASE
 COMPACTED TO 95% MFD
 COMPACTED SUBGRADE

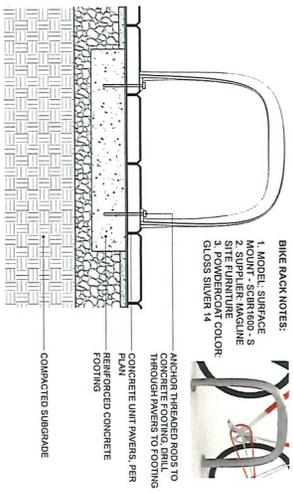
1 CIP CONCRETE ON GRADE (TYPICAL)
 Scale: 1:10



CLASSIC STANDARD PAVERS - STANDARD SIZE BY
 DIMENSIONS: STANDARD 225(x) x 112.5(y) x 60(z) mm (8-7/8" x
 4-1/8" x 2-3/8")
 FINISH: POLISHED
 COLOUR: CHARCOAL



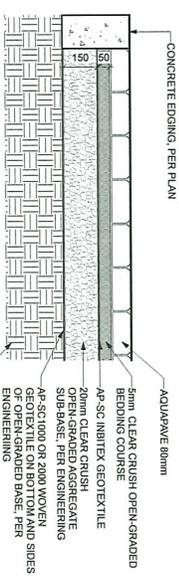
2 CONCRETE UNIT PAVING ON GRADE
 Scale: 1:10



3 BIKE RACK
 Scale: 1:10



AQUAPAVE PERMEABLE PAVER
 BY ABBOTSFORD CONCRETE PRODUCTS
 PATTERN: HERRINGBONE
 LENGTH: 8.38" (213MM)
 WIDTH: 8.38" (213MM)
 THICKNESS: 3.18" (80MM)



4 AQUAPAVE PERMEABLE PAVER
 Scale: 1:10



5 4' HIGH METAL PICKET FENCE
 Scale: N/A



6 STAMPED ASPHALT PEDESTRIAN PATH
 Scale: N/A



7 OUTDOOR BIKE LOCKER
 Scale: N/A

HOMING LANDSCAPE ARCHITECTURE
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| 3 | 2024-08-06 | ISSUED FOR DP | |
| 4 | 2024-08-23 | ISSUED FOR DP | |
| 5 | 2025-01-09 | ISSUED FOR DP | |
| 6 | 2025-03-18 | ISSUED FOR DP | |
| 7 | 2025-06-25 | ISSUED FOR DP | |
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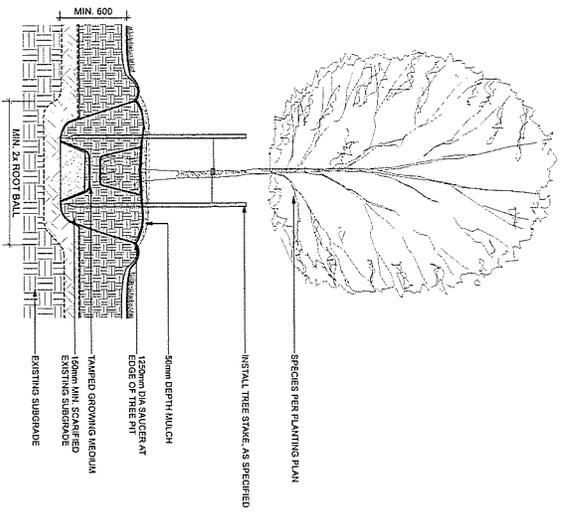
8680 ALEXANDRA ROAD

PROJECT ADDRESS:
 8680 ALEXANDRA RD, RICHMOND,
 BC, CANADA

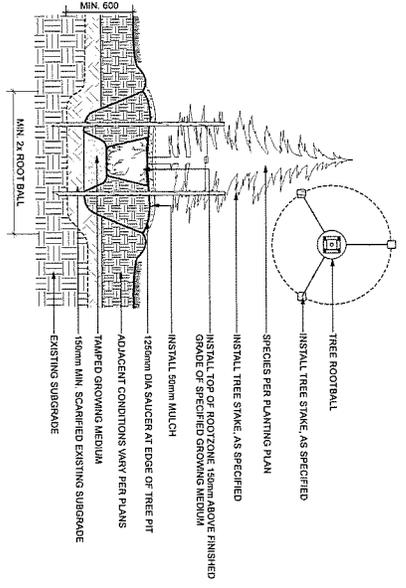
PROJECT NUMBER: 23-20
 SCALE: AS SHOWN
 DRAWN BY: EL
 REVIEWED BY: EL

Hardscape & Furnishing Details

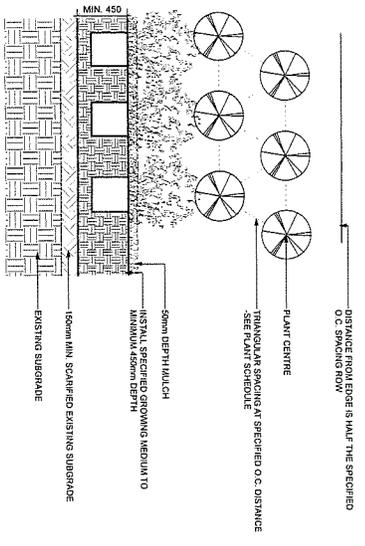
L3.0



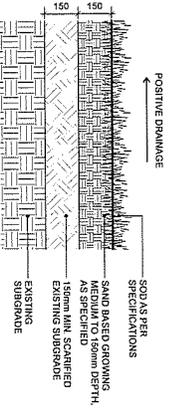
1 DECIDUOUS TREE PLANTING ON GRADE (TYPICAL)
Scale: 1:20



3 CONIFEROUS TREE PLANTING ON GRADE (TYPICAL)
Scale: 1:20



2 PLANTING ON GRADE (TYPICAL)
Scale: 1:20



4 SOD LAWN (TYPICAL)
Scale: 1:10

HOMINGS
LANDSCAPE
ARCHITECTURE

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| NO. | Date | Revisions | Note |
|-----|------------|---------------|------|
| 1 | 2023-10-03 | ISSUED FOR DP | |
| 2 | 2024-07-10 | ISSUED FOR DP | |
| 3 | 2024-08-06 | ISSUED FOR DP | |
| 4 | 2024-08-22 | ISSUED FOR DP | |
| 5 | 2025-01-09 | ISSUED FOR DP | |
| 6 | 2025-03-19 | ISSUED FOR DP | |
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| 9 | 2025-08-06 | ISSUED FOR DP | |
| 10 | 2025-10-22 | ISSUED FOR DP | |
| 11 | 2025-11-06 | ISSUED FOR DP | |

8680 ALEXANDRA ROAD

PROJECT ADDRESS:
8680 ALEXANDRA RD, RICHMOND,
BC, CANADA

PROJECT NUMBER: 23-20

SCALE: AS SHOWN

DRAWN BY: EL

REVIEWED BY: EL

Softscape Details

L3.1

Schedule 2 to the Minutes of the Development Permit Panel meeting held on Wednesday, December 10, 2025

MIXED-USE RENTAL BUILDING (DP 23-033716)

DEVELOPMENT PERMIT PANEL

Existing Address: 9000, No.3 Road, Richmond, BC



| | |
|-------|-----------------------------------|
| A-001 | Cover Sheet |
| A-002 | Site Context |
| A-003 | Level 1 Floor Plan |
| A-004 | Level 2 Floor Plan |
| A-005 | Level 3 Floor Plan |
| A-006 | Level 4 to 6 Floor Plan (Typical) |
| A-007 | Roof Plan |
| A-008 | Building Elevations |
| A-009 | Building Elevations |
| A-010 | Building Elevations |
| A-011 | Material Board |
| A-012 | Siteplan |
| A-013 | Building Sections |
| A-014 | Building Sections |
| A-015 | Perspective Renders |
| A-016 | Perspective Renders |
| A-017 | Vase Management Overlay Plan |
| L1.0 | Landscape Plan - Level 1 |
| L1.1 | Landscape Plan - Level 1 |
| L1.2 | Tree Management Plan |
| L2.0 | Lighting Plan - Level 1 |
| L2.1 | Lighting Plan - Level 3 |
| L3.0 | Planting Plan - Level 1 |
| L3.1 | Planting Plan - Level 3 |
| L5.0 | Landscape Sections |
| L7.0 | Precedent Images |

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 Michael Patterson
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 mp@periyandassociates.ca



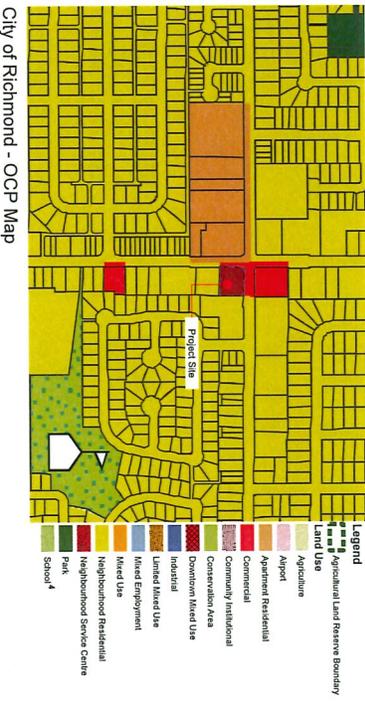
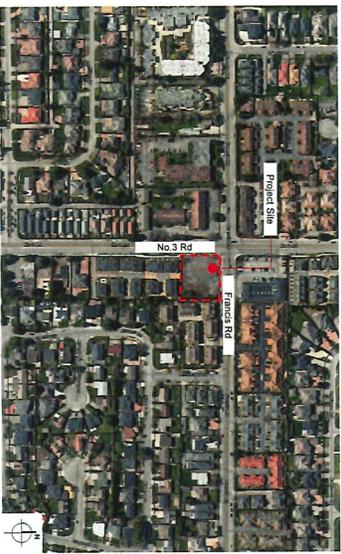
Cover Sheet



SITE CONTEXT

The site is a relatively flat, square lot formerly a gas station located at the Southeast corner of the intersection of No. 3 Road and Francis Road. The site has been vacant for approximately 10 years. Both the South and East sides are landlocked, with a sanitary SROW and townhouse developments to the East and another townhouse development to the South. The adjacent townhouse developments are well established and vary from 2-3 storeys in height. To the North, across Francis Road, there is a single-storey commercial strip mall and 1.5-2-storey duplex/triplex townhouses. To the West is an older apartment building of 2 storeys.

The site is identified in the Official Community Plan in the Broadmoor planning area, with the 2041 OCP Land Use Map Designation of Commercial. An OCP amendment is requested to change Commercial to Mixed Use to accommodate the proposed development. The development also requires Rezoning from the current CG-1 (Gas & services stations), and requires a Development Permit.



Context 3D

Context Map



1. Streetscape Along No. 3 Road



2. Streetscape Along Francis Road

Site Context



Integra ARCHITECTURE INC.

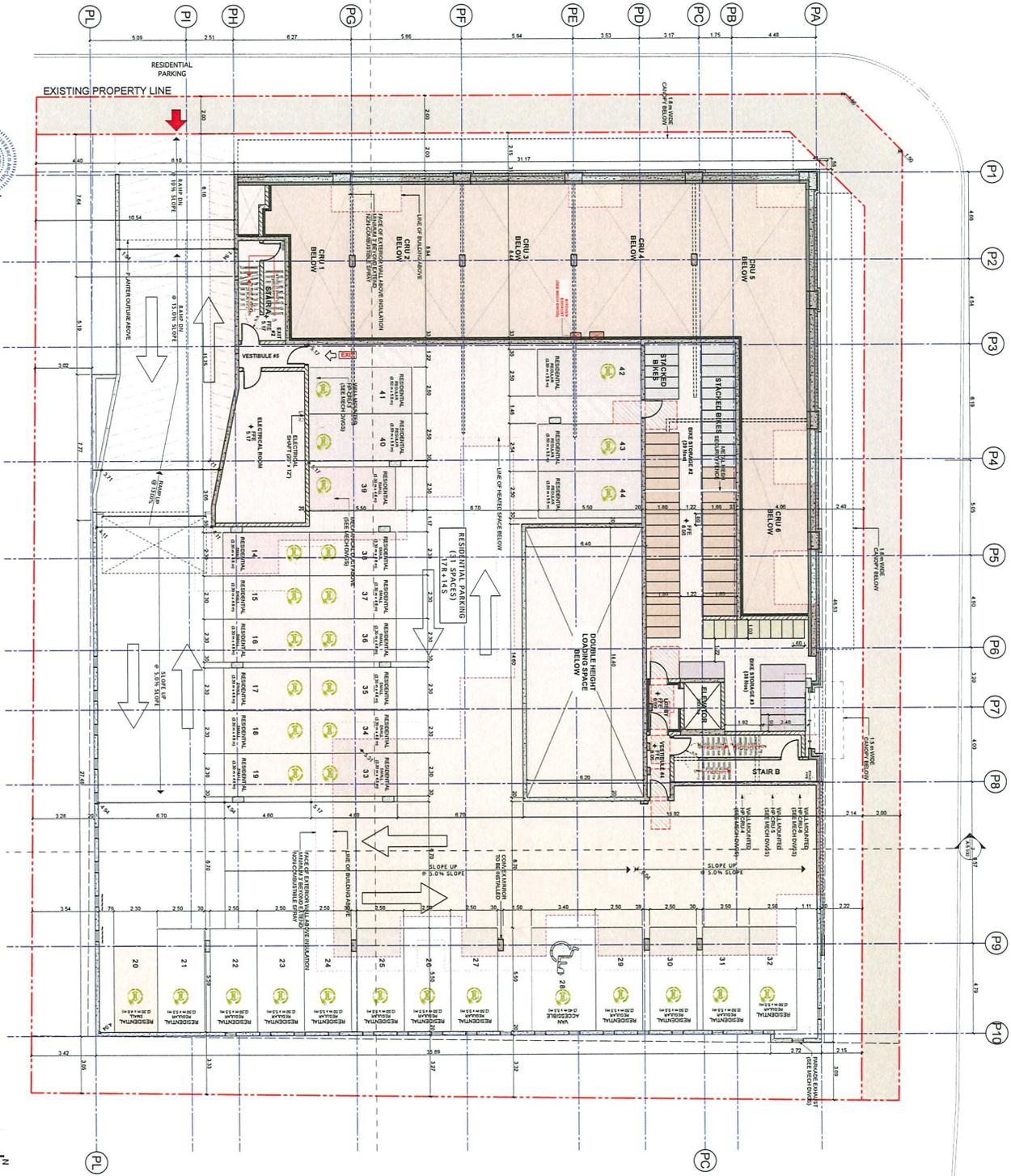




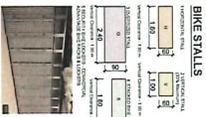
Integra ARCHITECTURE INC.



No. 3 ROAD



Level 2 Floor Plan



Note: 2. All in-floor features provided
 3. All in-floor features provided
 4. Level 2 type business for plumbing fixtures and door
 5. Level 2 type business for plumbing fixtures and door
 6. Level 2 type business for plumbing fixtures and door
 7. Level 2 type business for plumbing fixtures and door
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 9. Level 2 type business for plumbing fixtures and door
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A-004

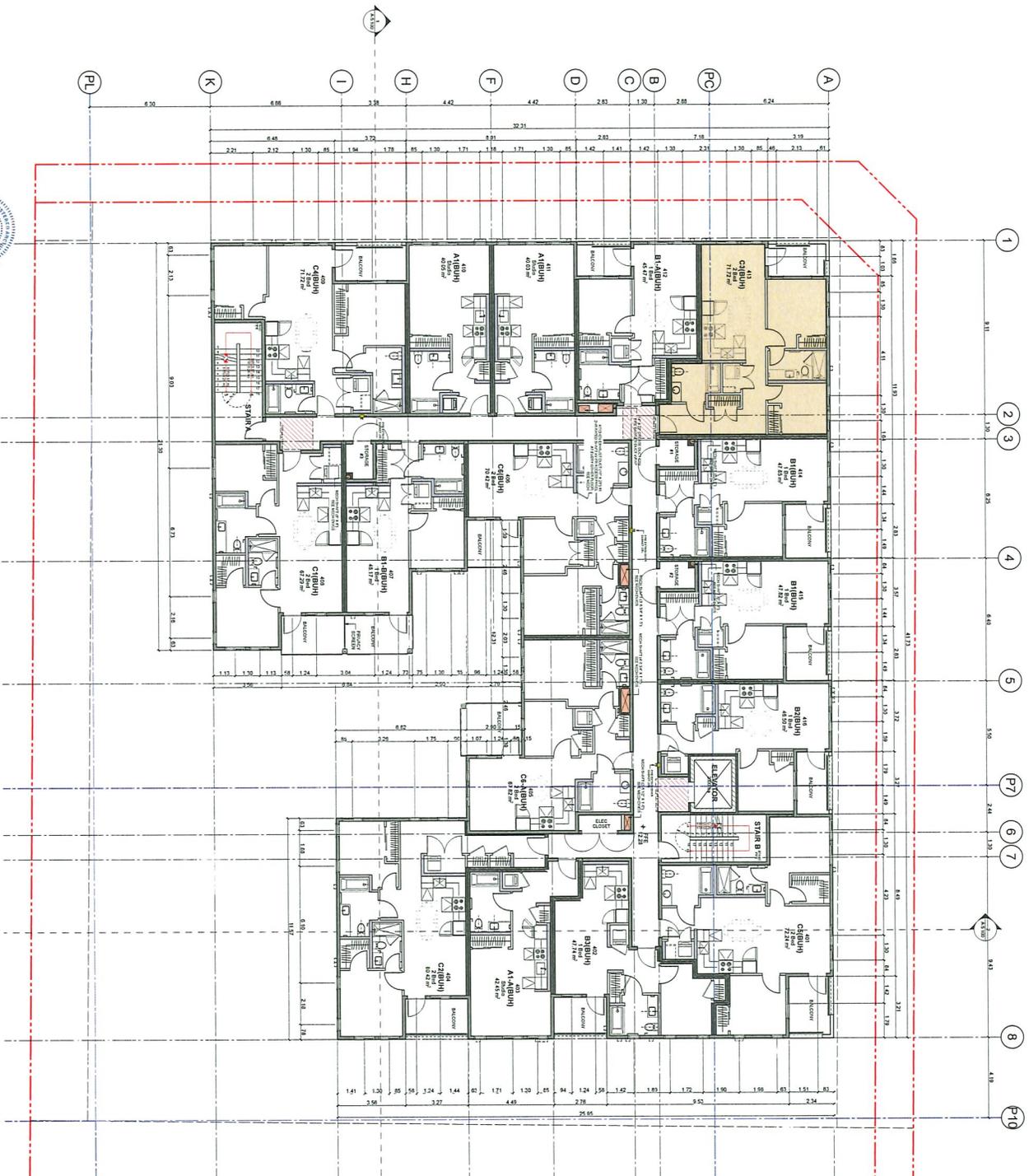
9000 No. 3 Road
Richmond, BC



Integra ARCHITECTURE INC.



Level 4 to 6 Floor Plan (Typical)

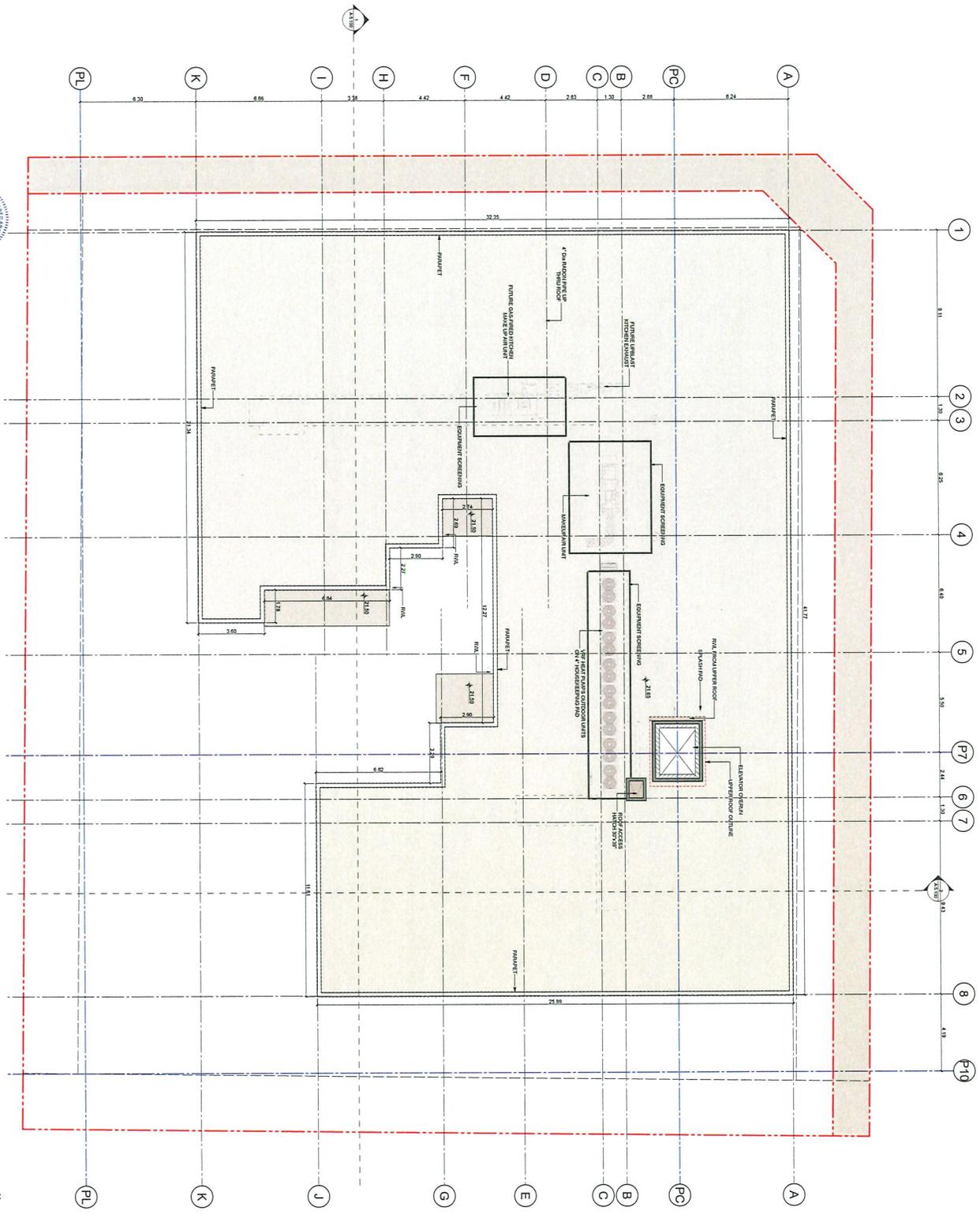


Note: Aging-in-Place Features Provided

- a. Stairways, elevators or ramping fixtures and door handles meeting to uniform width for future grab bars
- b. Recessed door, toilet and shower

Moderns Market Rental Units

Note: All glass-in-place features provided in this drawing are for planning purposes and door handles are shown in workshop walls for future grab bars. Hidden door, handle and shower.



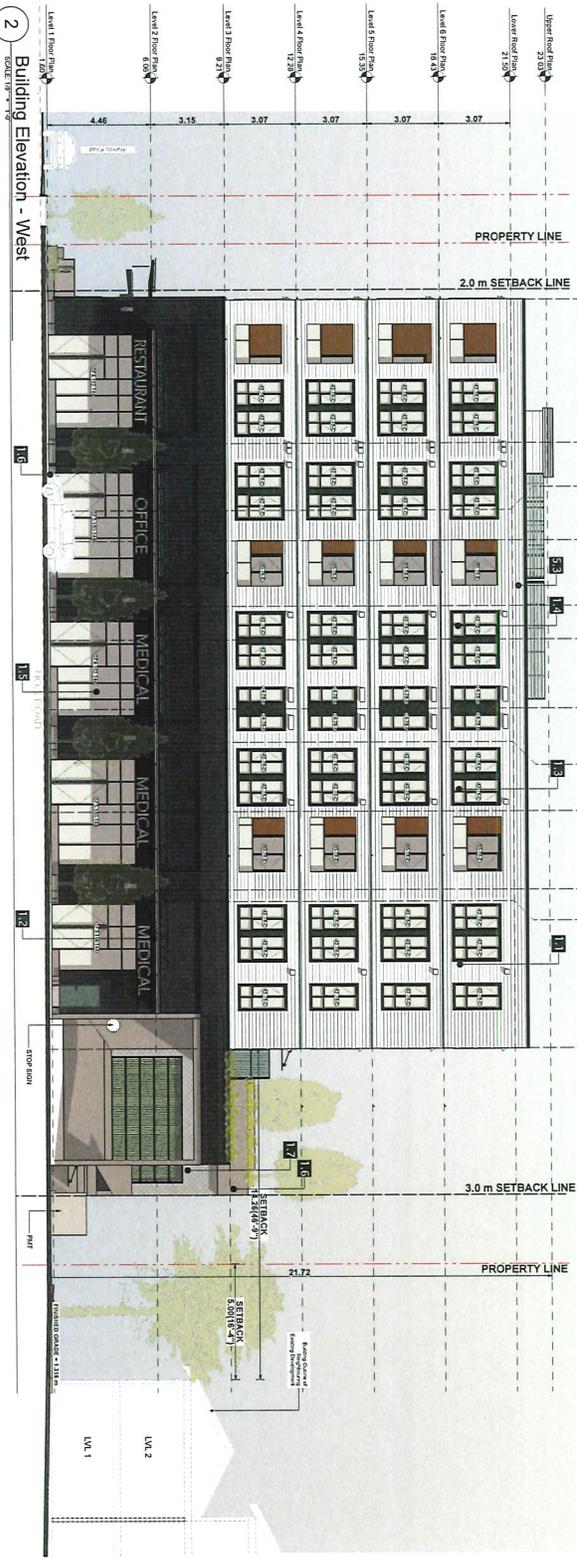
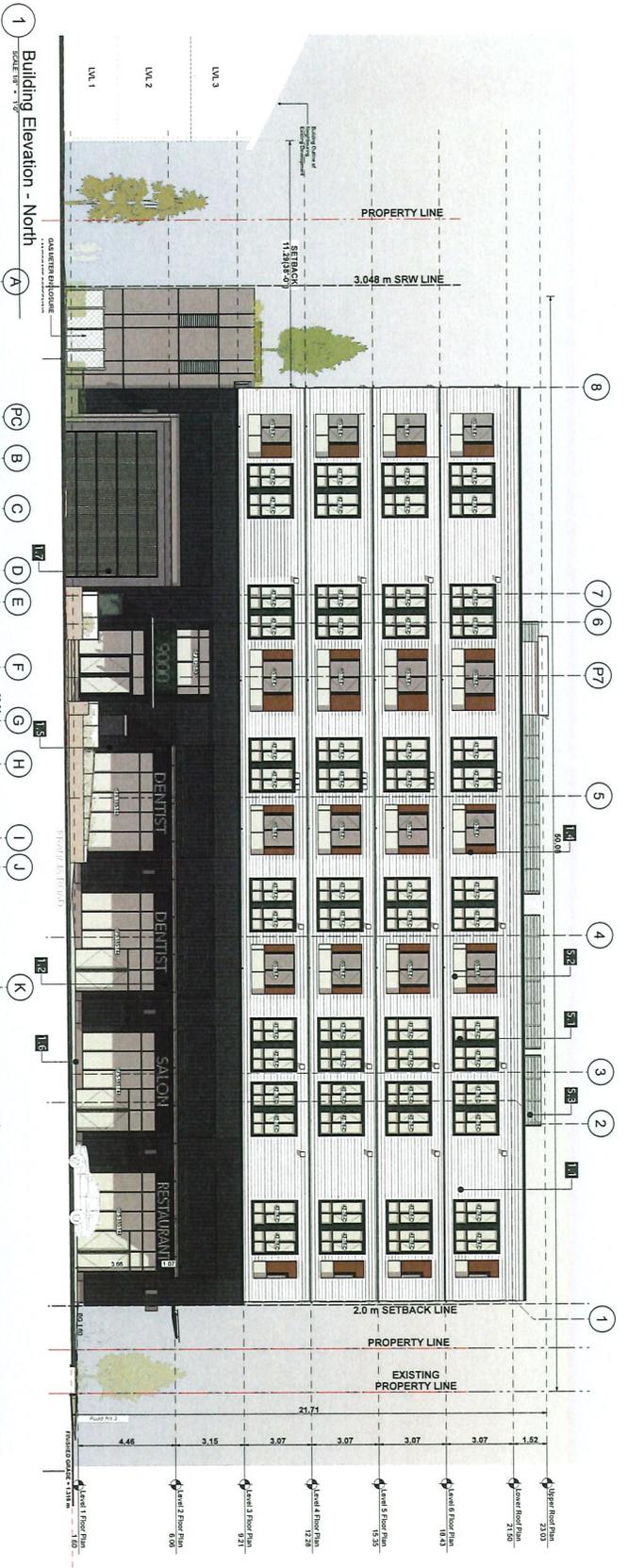
Roof Plan



Integra ARCHITECTURE INC.



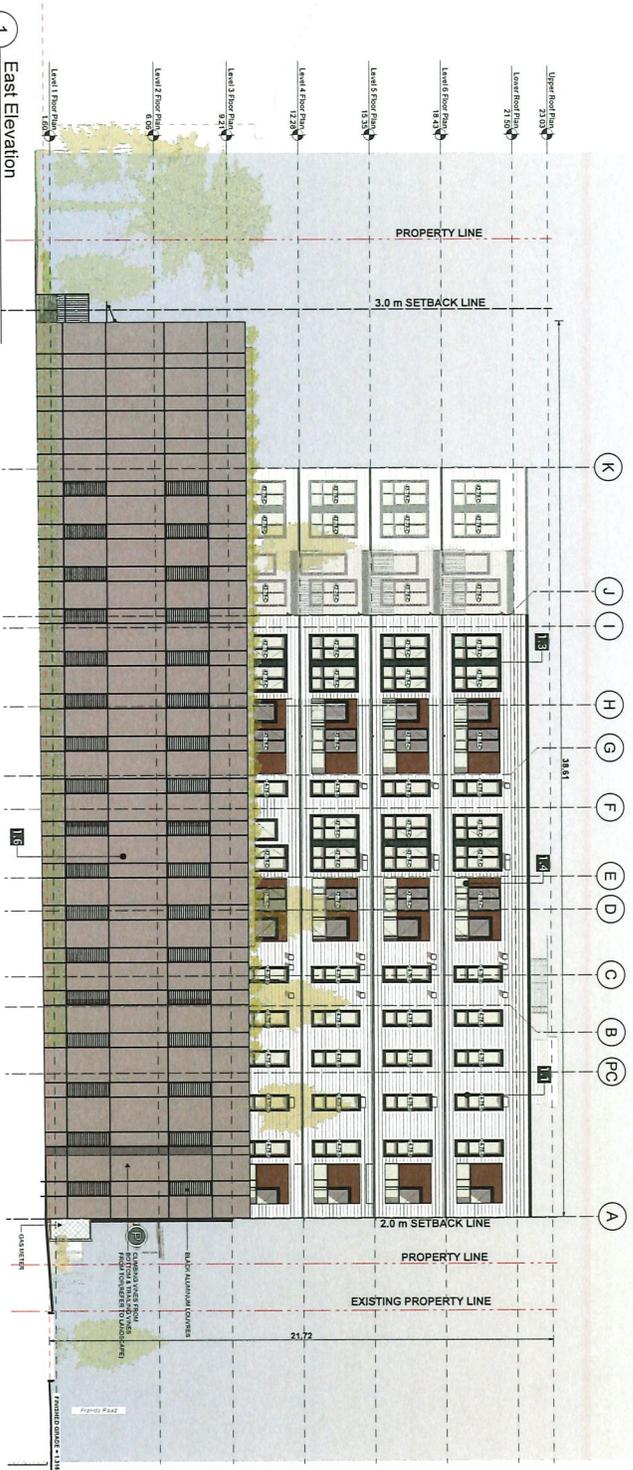
A-007
9000 No. 3 Road
Richmond, BC



KEYPLAN

Material and colour legend

| Code | Material | Colour |
|------|------------|------------|
| 10 | Concrete | Grey |
| 11 | Light Grey | Light Grey |
| 12 | Dark Grey | Dark Grey |
| 13 | Light Grey | Light Grey |
| 14 | Dark Grey | Dark Grey |
| 15 | Light Grey | Light Grey |
| 16 | Dark Grey | Dark Grey |
| 17 | Light Grey | Light Grey |
| 18 | Dark Grey | Dark Grey |
| 19 | Light Grey | Light Grey |
| 20 | Dark Grey | Dark Grey |
| 21 | Light Grey | Light Grey |
| 22 | Dark Grey | Dark Grey |
| 23 | Light Grey | Light Grey |
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| 25 | Light Grey | Light Grey |
| 26 | Dark Grey | Dark Grey |
| 27 | Light Grey | Light Grey |
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| 29 | Light Grey | Light Grey |
| 30 | Dark Grey | Dark Grey |
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| 93 | Light Grey | Light Grey |
| 94 | Dark Grey | Dark Grey |
| 95 | Light Grey | Light Grey |
| 96 | Dark Grey | Dark Grey |
| 97 | Light Grey | Light Grey |
| 98 | Dark Grey | Dark Grey |
| 99 | Light Grey | Light Grey |
| 100 | Dark Grey | Dark Grey |



Integra ARCHITECTURE INC.

Building Elevations

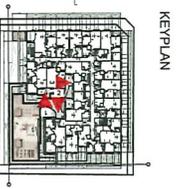
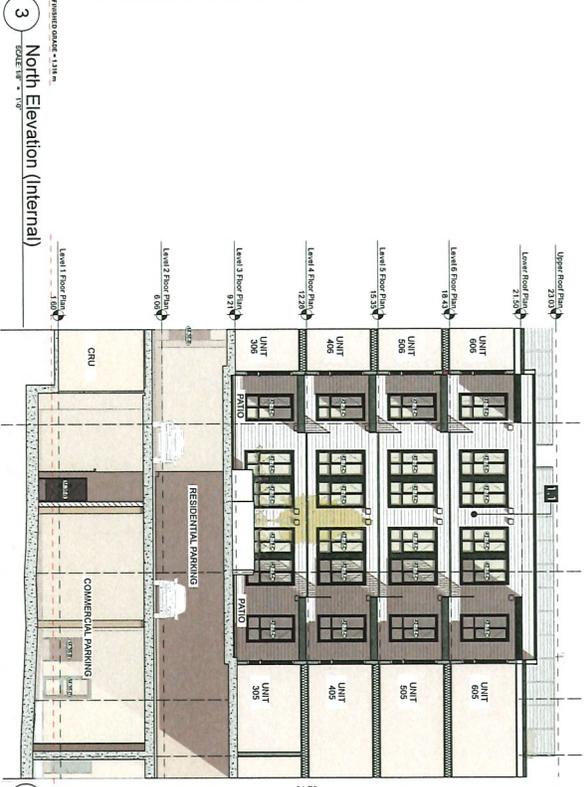
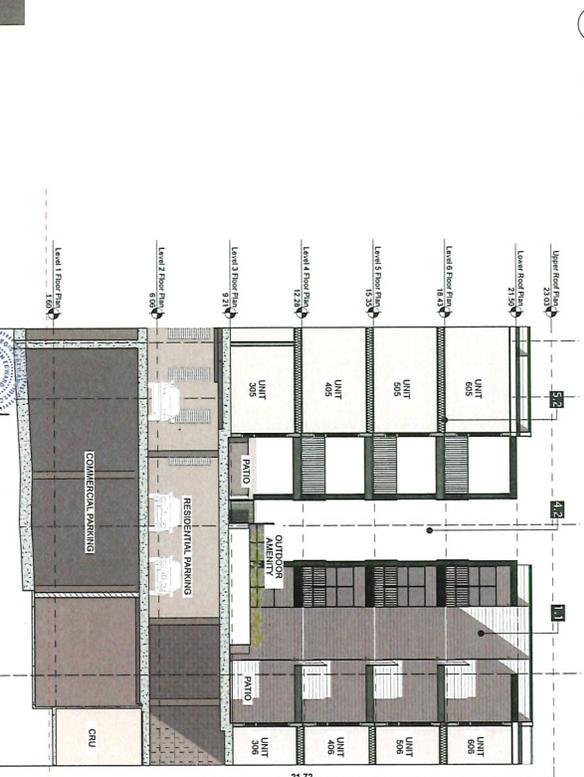
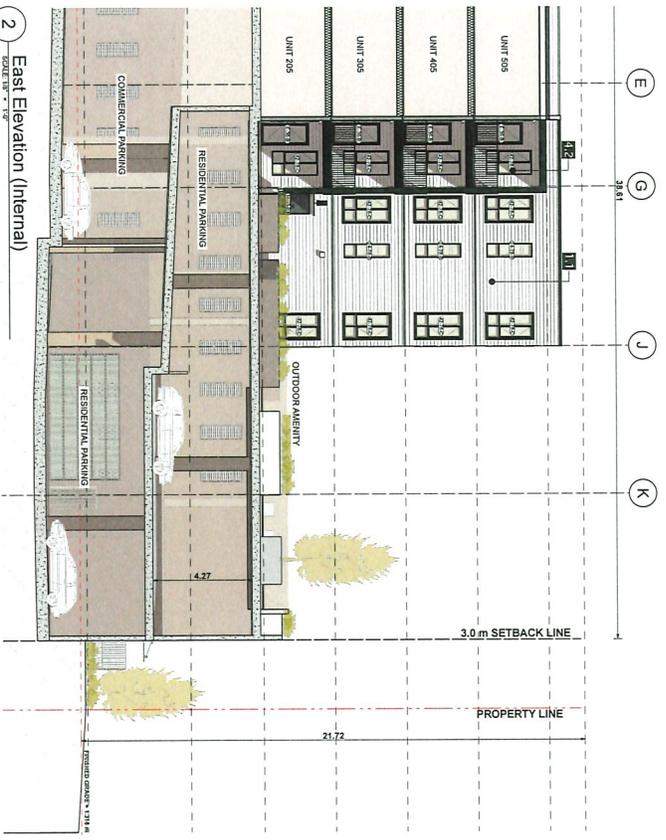
A-009
9000 No. 3 Road
Richmond, BC

Material and Colour Legend

| Code | Description | Material | Colour |
|------|-------------|---|--------|
| 1.1 | Asph/Flt | Light Grey / 7" Expanded Polystyrene Insulation | X |
| 1.2 | Asph/Flt | Red Clay Roof Tiles | X |
| 1.3 | Asph/Flt | Red Clay Roof Tiles (stone or moss) | X |
| 1.4 | Asph/Flt | Light Grey / 7" Expanded Polystyrene Insulation | X |
| 1.5 | Asph/Flt | Red Clay Roof Tiles | X |
| 1.6 | Asph/Flt | Red Clay Roof Tiles (stone or moss) | X |
| 1.7 | Asph/Flt | Light Grey / 7" Expanded Polystyrene Insulation | X |
| 2.1 | Asph/Flt | Light Grey / 7" Expanded Polystyrene Insulation | X |
| 2.2 | Asph/Flt | Red Clay Roof Tiles | X |
| 2.3 | Asph/Flt | Red Clay Roof Tiles (stone or moss) | X |
| 2.4 | Asph/Flt | Light Grey / 7" Expanded Polystyrene Insulation | X |
| 2.5 | Asph/Flt | Red Clay Roof Tiles | X |
| 2.6 | Asph/Flt | Red Clay Roof Tiles (stone or moss) | X |
| 2.7 | Asph/Flt | Light Grey / 7" Expanded Polystyrene Insulation | X |
| 2.8 | Asph/Flt | Red Clay Roof Tiles | X |
| 2.9 | Asph/Flt | Red Clay Roof Tiles (stone or moss) | X |
| 2.10 | Asph/Flt | Light Grey / 7" Expanded Polystyrene Insulation | X |
| 2.11 | Asph/Flt | Red Clay Roof Tiles | X |
| 2.12 | Asph/Flt | Red Clay Roof Tiles (stone or moss) | X |
| 2.13 | Asph/Flt | Light Grey / 7" Expanded Polystyrene Insulation | X |
| 2.14 | Asph/Flt | Red Clay Roof Tiles | X |
| 2.15 | Asph/Flt | Red Clay Roof Tiles (stone or moss) | X |
| 2.16 | Asph/Flt | Light Grey / 7" Expanded Polystyrene Insulation | X |
| 2.17 | Asph/Flt | Red Clay Roof Tiles | X |
| 2.18 | Asph/Flt | Red Clay Roof Tiles (stone or moss) | X |
| 2.19 | Asph/Flt | Light Grey / 7" Expanded Polystyrene Insulation | X |
| 2.20 | Asph/Flt | Red Clay Roof Tiles | X |
| 2.21 | Asph/Flt | Red Clay Roof Tiles (stone or moss) | X |
| 2.22 | Asph/Flt | Light Grey / 7" Expanded Polystyrene Insulation | X |
| 2.23 | Asph/Flt | Red Clay Roof Tiles | X |
| 2.24 | Asph/Flt | Red Clay Roof Tiles (stone or moss) | X |
| 2.25 | Asph/Flt | Light Grey / 7" Expanded Polystyrene Insulation | X |
| 2.26 | Asph/Flt | Red Clay Roof Tiles | X |
| 2.27 | Asph/Flt | Red Clay Roof Tiles (stone or moss) | X |
| 2.28 | Asph/Flt | Light Grey / 7" Expanded Polystyrene Insulation | X |
| 2.29 | Asph/Flt | Red Clay Roof Tiles | X |
| 2.30 | Asph/Flt | Red Clay Roof Tiles (stone or moss) | X |

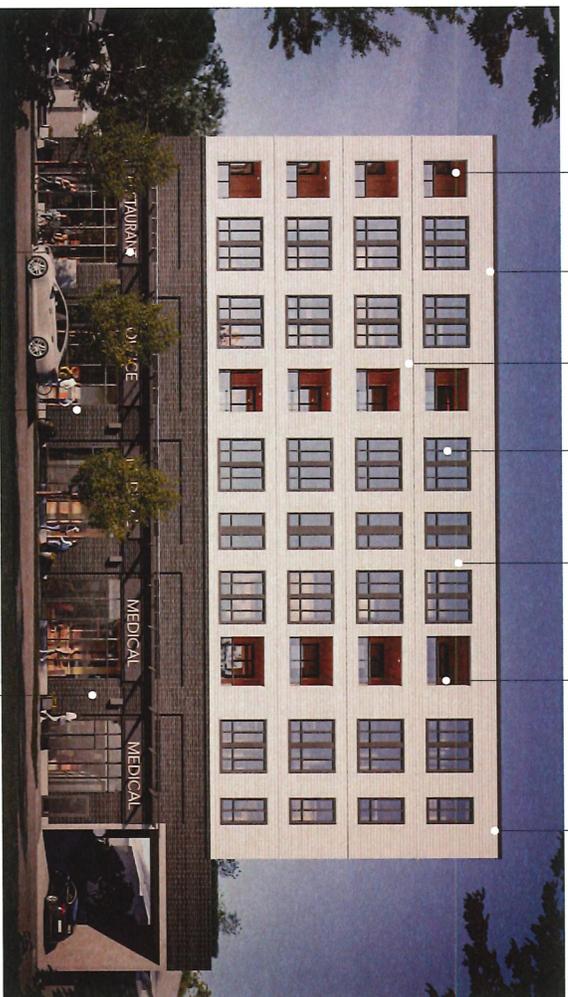
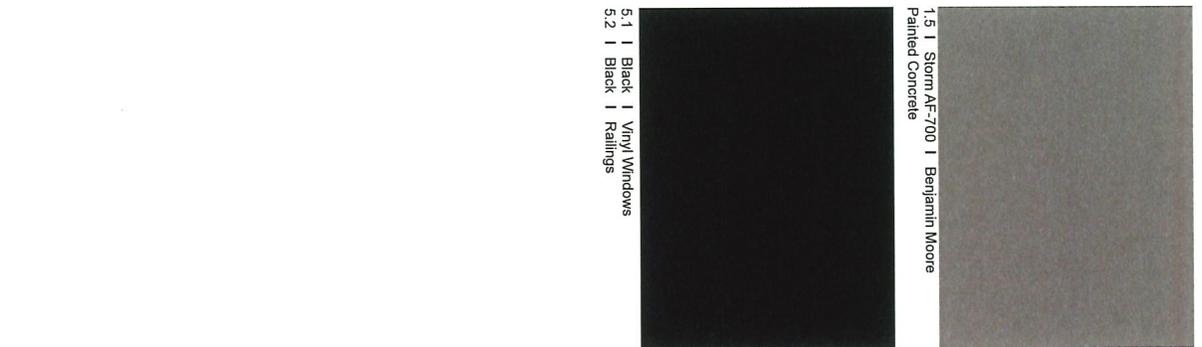
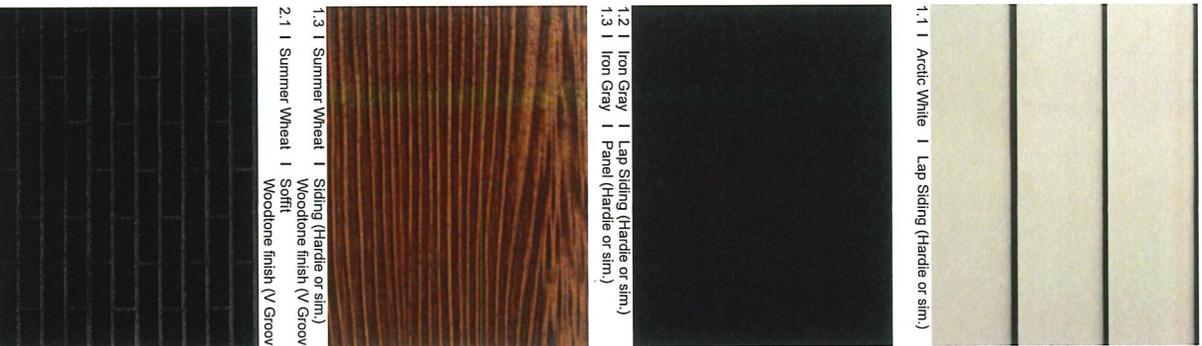


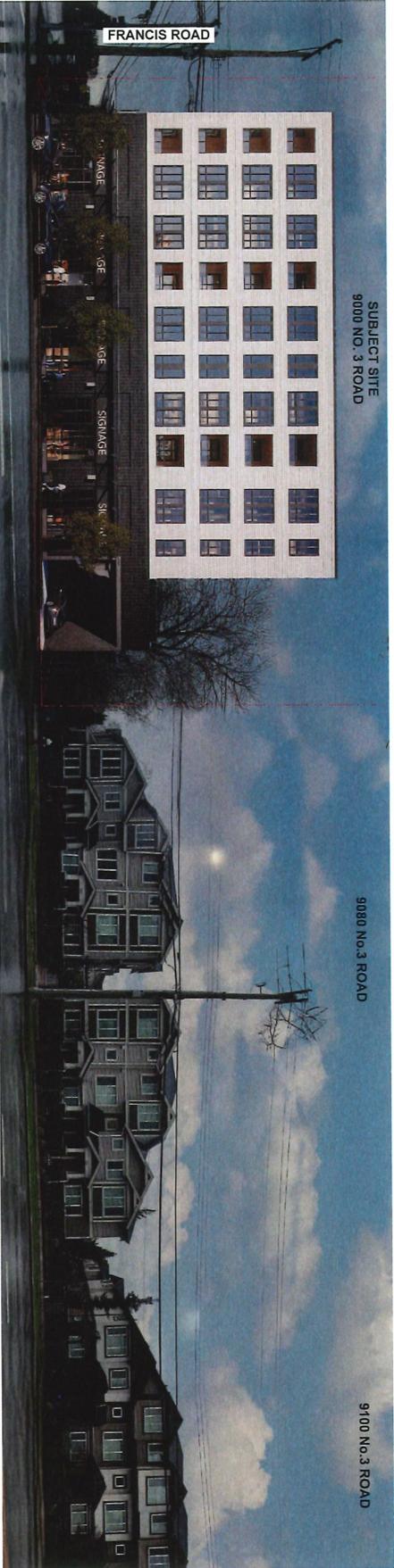
KEYPLAN



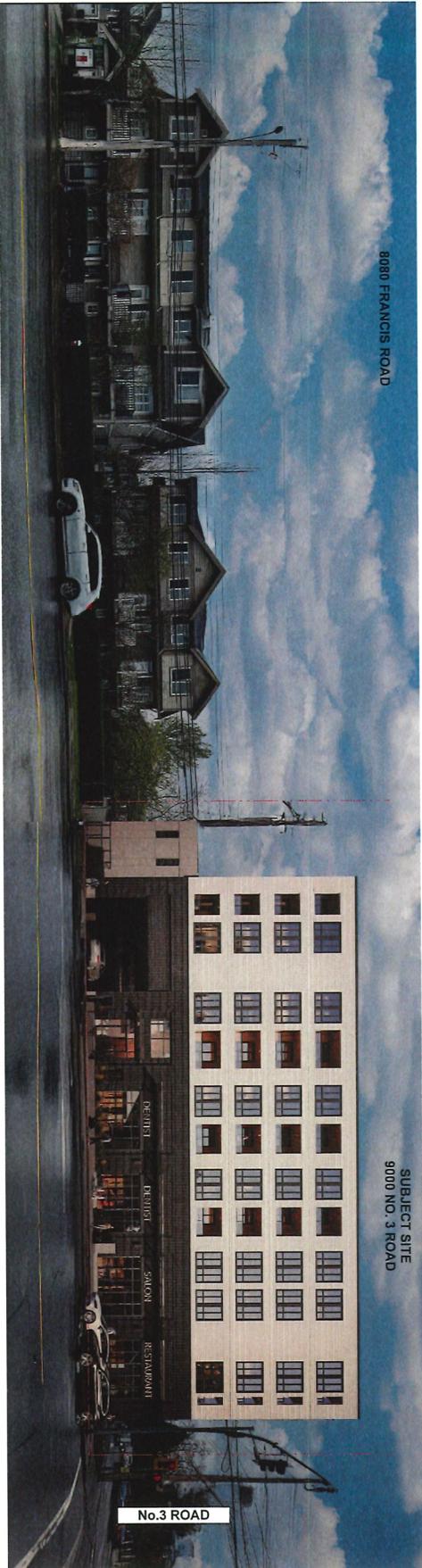
Material and colour legend

| Colour | Product (to match) | Finish (to match) | Location |
|--------------------------------------|--------------------|--|---------------------------------|
| C L A D D I N G | | | |
| 1.0 | | | |
| 1.1 | Arctic White | Lap Siding w/ 7" Exposure (James Hardie or similar) | Exterior walls |
| 1.2 | Iron Gray | Lap Siding w/ 7" Exposure (James Hardie or similar) | Exterior walls |
| 1.3 | Iron Gray | Fiber Cement Panel (James Hardie or similar) | Exterior walls |
| 1.4 | Summer Wheat | Lap Siding - Summer Wheat(Hardie or similar) - Woodstone Finish | Exterior walls |
| 1.5 | Black | Brick (Amora or similar) | Exterior walls |
| 1.6 | Charcoal Slate | Painted Concrete (Benjamin Moore - HC-178) | Exterior walls |
| 1.7 | Gray | Metal Charleack Fence | Interior walls |
| S O F F I T | | | |
| 2.0 | | | |
| 2.1 | Summer Wheat | Soffit (James Hardie - Adlean Soffit V Groove) with Woodstone Finish to Match Summer Wheat | Feature Soffit |
| T R I M S / F L A S H I N G S | | | |
| 3.0 | | | |
| 3.1 | Black | Charcoal Powder coated Aluminum Mill | Flashings |
| 3.2 | White | White Powder coated Aluminum Mill | Flashings |
| R O O F S / D E C K S | | | |
| 4.0 | | | |
| 4.1 | White | White Powder coated Aluminum Mill | Roofs / Overhangs / Flashings |
| 4.2 | Black | Charcoal Powder coated Aluminum Mill | Roofs / Overhangs / Flashings |
| W I N D O W S / G L A Z I N G | | | |
| 5.0 | | | |
| 5.1 | Black | Vinyl Windows | Prefinished vinyl windows |
| 5.2 | Black | Railings | Black railings w/ clear glazing |
| 5.3 | Light Ash | Wood fence screening | Rooftop equipment screening |
| 5.4 | Black | Louvers | Aluminum Louvers |





Streetscape Along No.3 Road



Streetscape Along Francis Road



Integra ARCHITECTURE INC.



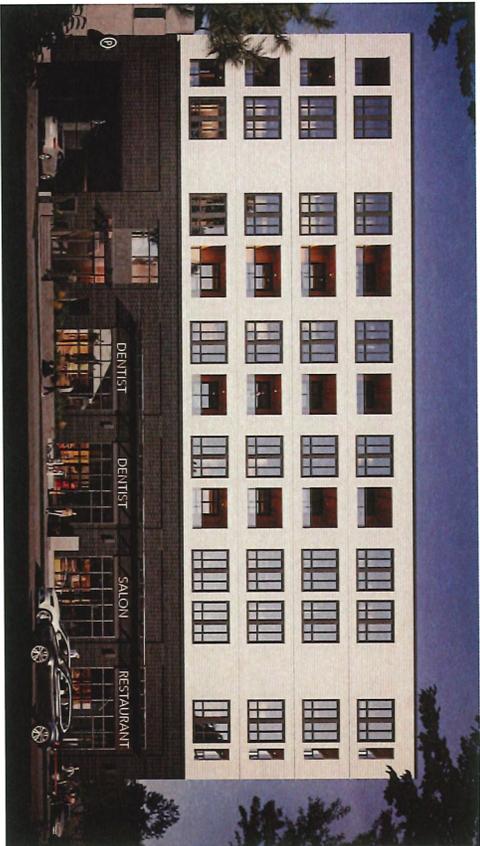
Streetscape

A-012

9000 No. 3 Road
Richmond, BC



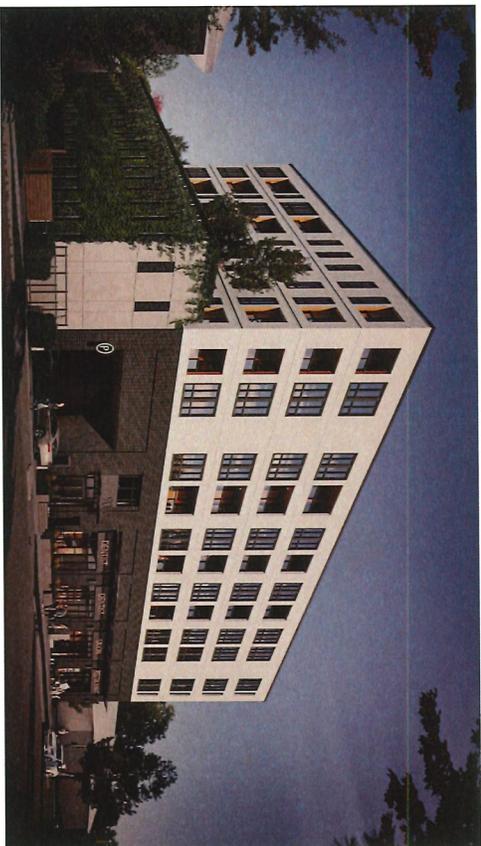
1 3D View Along No.3 Rd & Francis Rd



3 3D View Along Francis Rd



2 3D View Along No.3 Rd



4 3D View Along Francis Rd



Integra ARCHITECTURE INC.



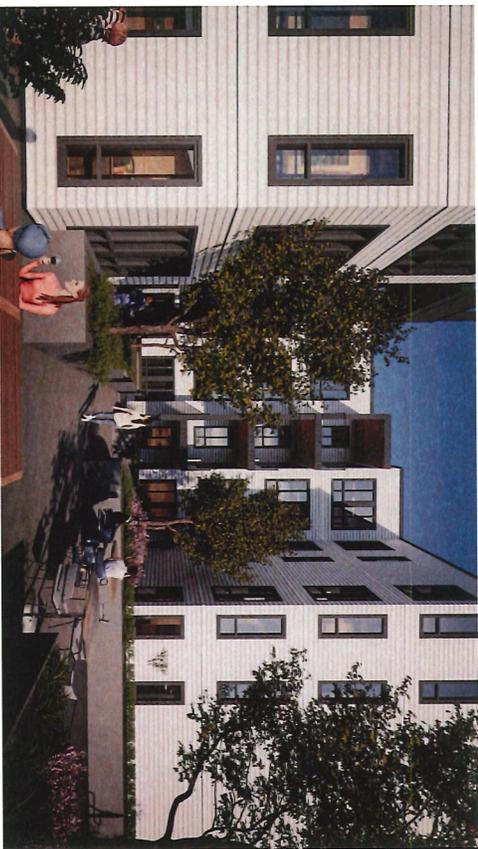
Perspective Renders



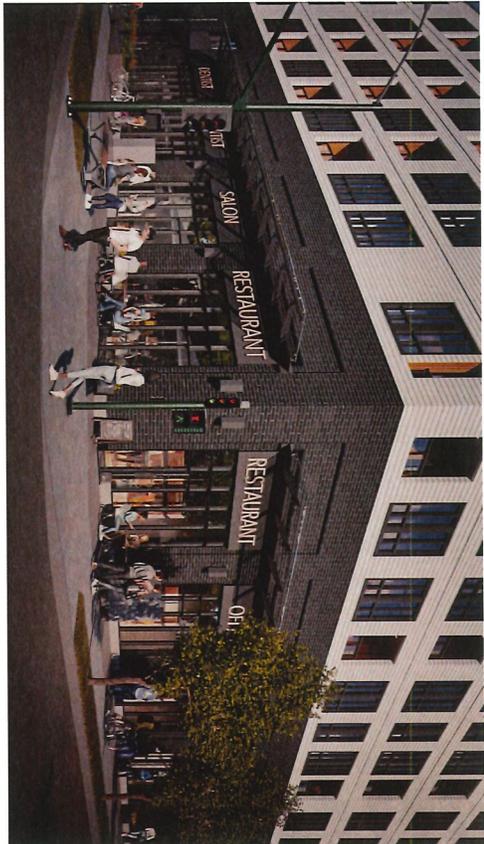
1 3D View Along Residential Lobby



2 3D View Along Outdoor Amenity



3 3D View Along Outdoor Amenity



4 3D View Along Intersection



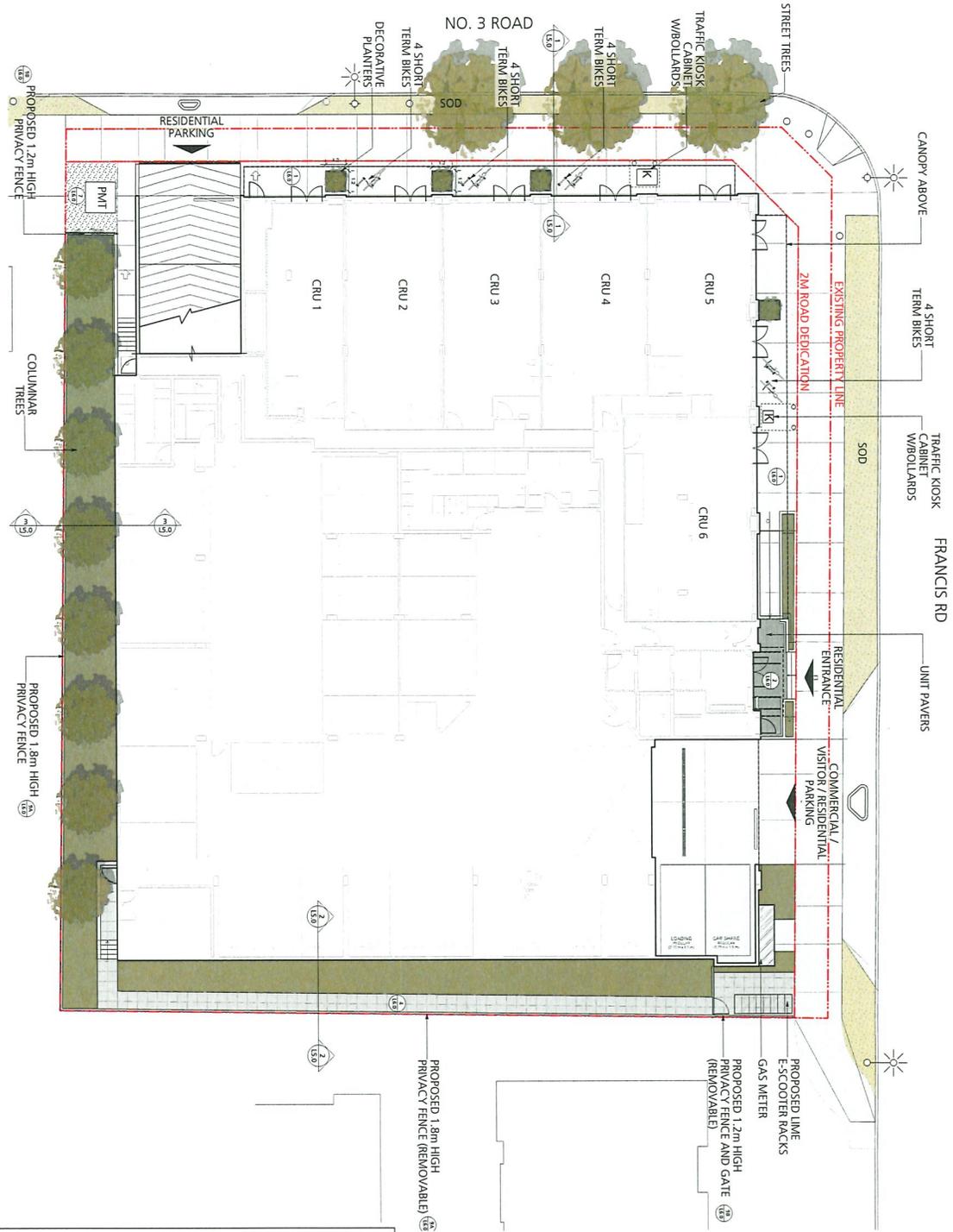
Integra ARCHITECTURE INC.



Perspective Renders

A-015

9000 No. 3 Road
Richmond, BC



DETAIL KEY LEGEND

| | | | |
|----|--------------------------------|----|---------------------------|
| 1 | CLIP CONCRETE PAVING | 11 | MOVEABLE CHAIRS & TABLES |
| 2 | ENTRY PAVERS | 12 | DINING TABLE & STOOLS |
| 3 | AMENITY PAVERS | 13 | BACKLESS BENCH |
| 4 | REMOVABLE PAVERS | 14 | URBAN AGRICULTURE BENCH |
| 5 | PLAYFALL TILE RUBBER SURFACING | 15 | URBAN AGRICULTURE PLANTER |
| 6 | HYDRAPRESSED SLAB | 16 | METAL PLANTERS |
| 7 | GRAVEL STRIP | 17 | ENTRY PLANTERS |
| 8 | CONCRETE WALL | 18 | PLAY EQUIPMENT |
| 9 | 1.8 m WOOD FENCE | 19 | SHRUB PLANTING |
| 10 | 1.2 m WOOD FENCE | 20 | TREE PLANTING |
| | BIKE RACK | | |

Landscape Plan - Level 1





Integra ARCHITECTURE INC.

P+A

Partners & Associates
Landscape Architects
5500 West Broadway
Vancouver, BC

Landscape Plan - Level 3

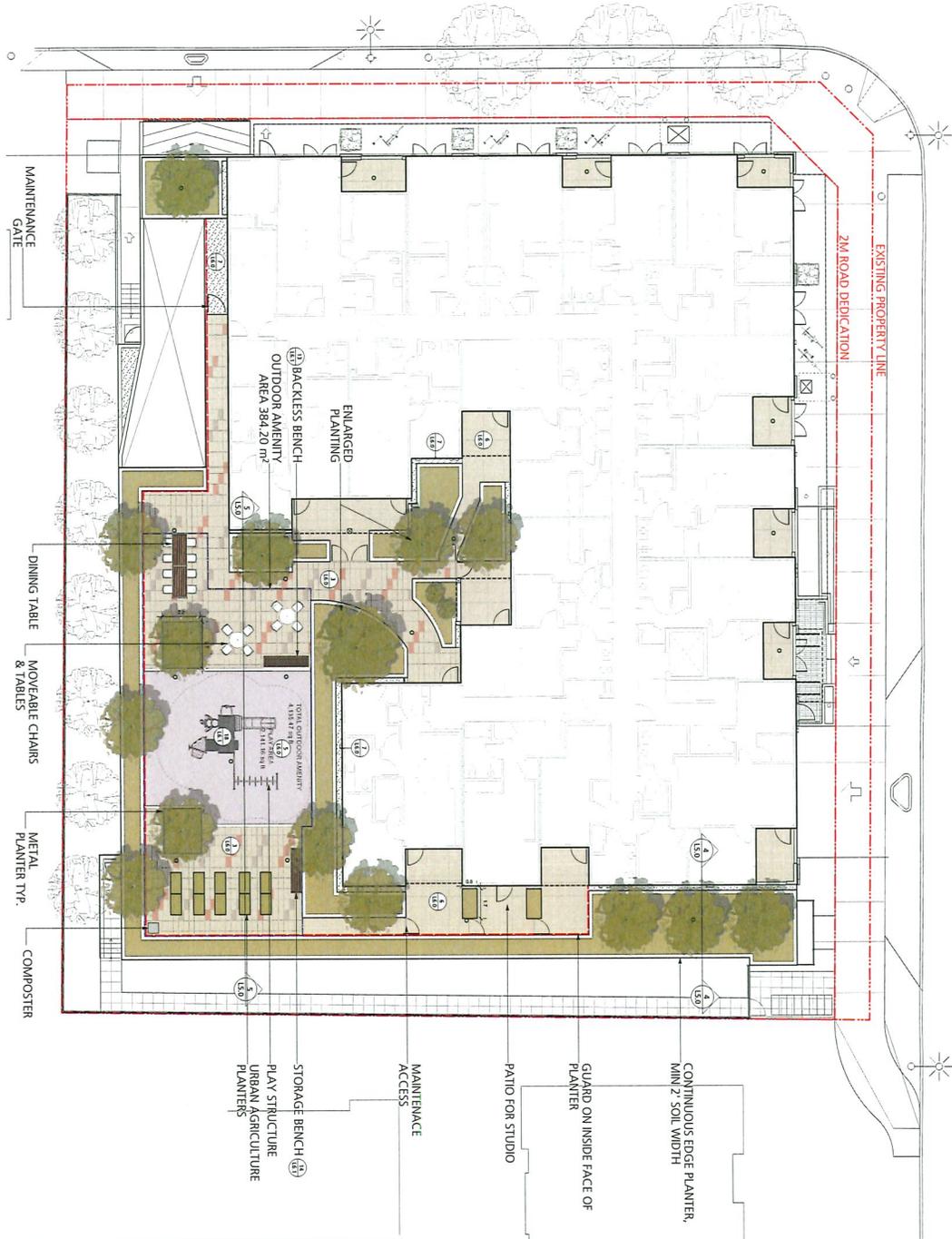


L1.1

9000 No. 3 Road
Richmond, BC

NO. 3 ROAD

FRANCIS RD



DETAIL KEY LEGEND

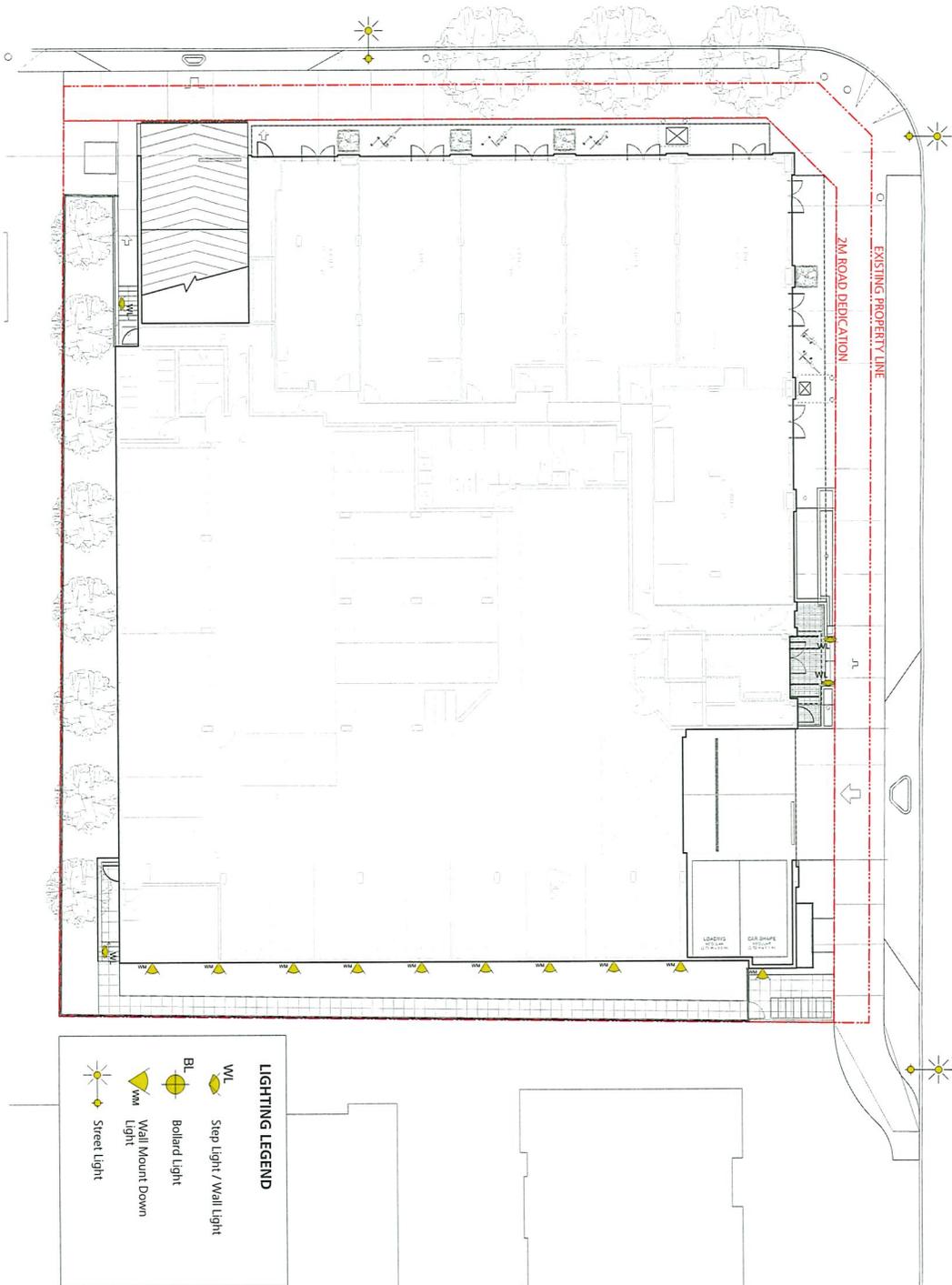
- 1 (1E0) CLIP CONCRETE PAVING
- 2 (1E0) ENTRY PAVERS
- 3 (1E0) AMENITY PAVERS
- 4 (1E0) REMOVABLE PAVERS
- 5 (1E0) PLAYFALL TILE RUBBER SURFACING
- 6 (1E0) HYDRAPRESSED SLAB
- 7 (1E0) GRAVEL STRIP
- 8 (1E0) CONCRETE WALL
- 9A (1E0) 1.8 m WOOD FENCE
- 9B (1E0) 1.2 m WOOD FENCE
- 10A (1E1) BIKE RACK
- 10B (1E1)
- 11 (1E1) MOVEABLE CHAIRS & TABLES
- 12 (1E1) DINING TABLE & STOOLS
- 13 (1E1) BACKLESS BENCH
- 14 (1E1) URBAN AGRICULTURE BENCH
- 15 (1E1) URBAN AGRICULTURE PLANTER
- 16 (1E1) METAL PLANTERS
- 17 (1E1) ENTRY PLANTERS
- 18A (1E1) PLAY EQUIPMENT
- 18B (1E1)
- 19 (1E1) SHRUB PLANTING
- 20 (1E1) TREE PLANTING



Integra ARCHITECTURE INC.

P+A

Partners Architects
Site Planning
Site Architecture



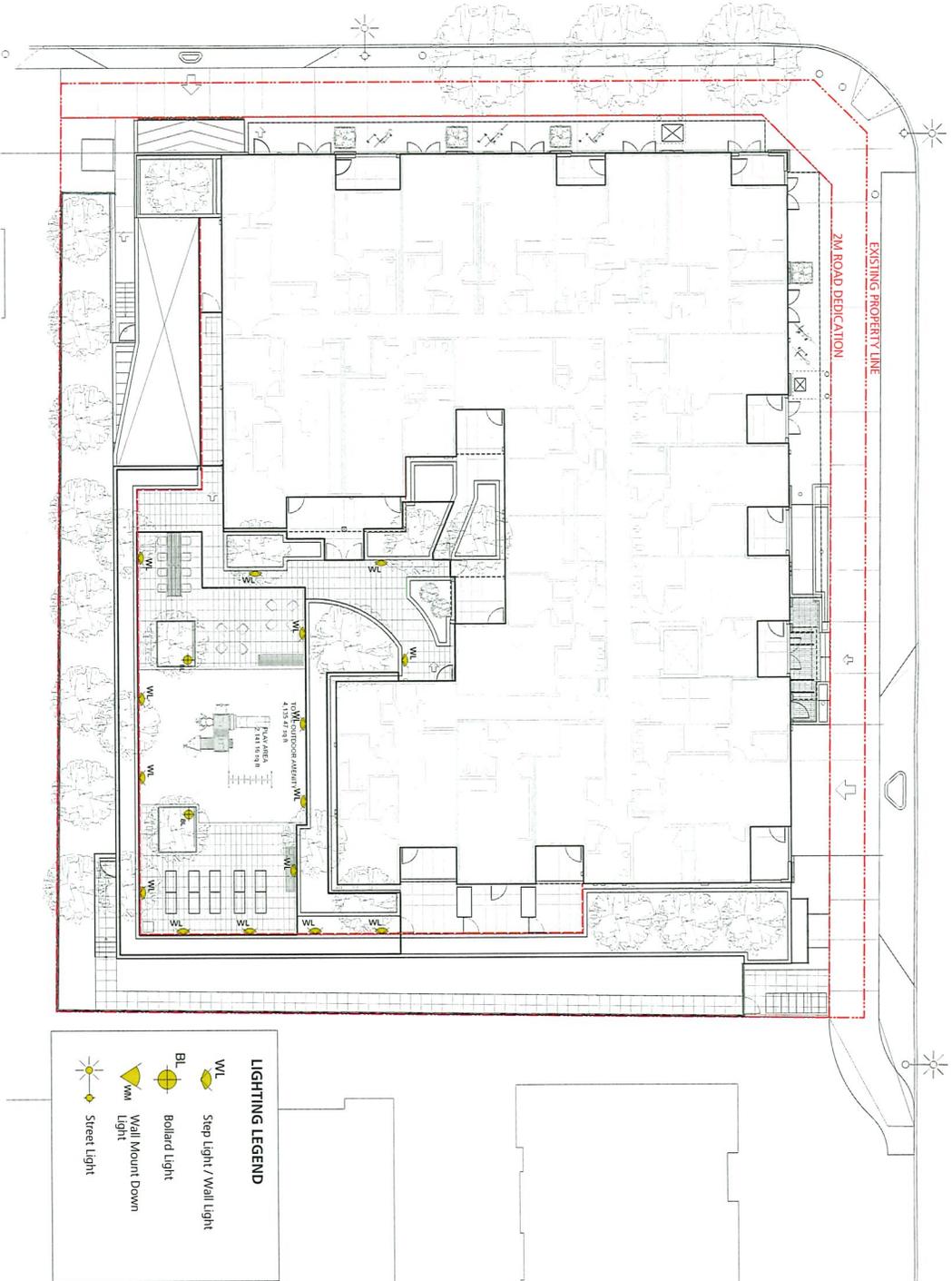
LIGHTING LEGEND

- WL Step Light / Wall Light
- BL Bollard Light
- WM Wall Mount Down Light
- Street Light

Lighting Plan - Level 1



FRANCIS ROAD



LIGHTING LEGEND

- WL Step Light / Wall Light
- BL Bollard Light
- WM Wall Mount Down Light
- SL Street Light

Integra ARCHITECTURE INC.

P+A

Partners Architects
5160 Renfrew

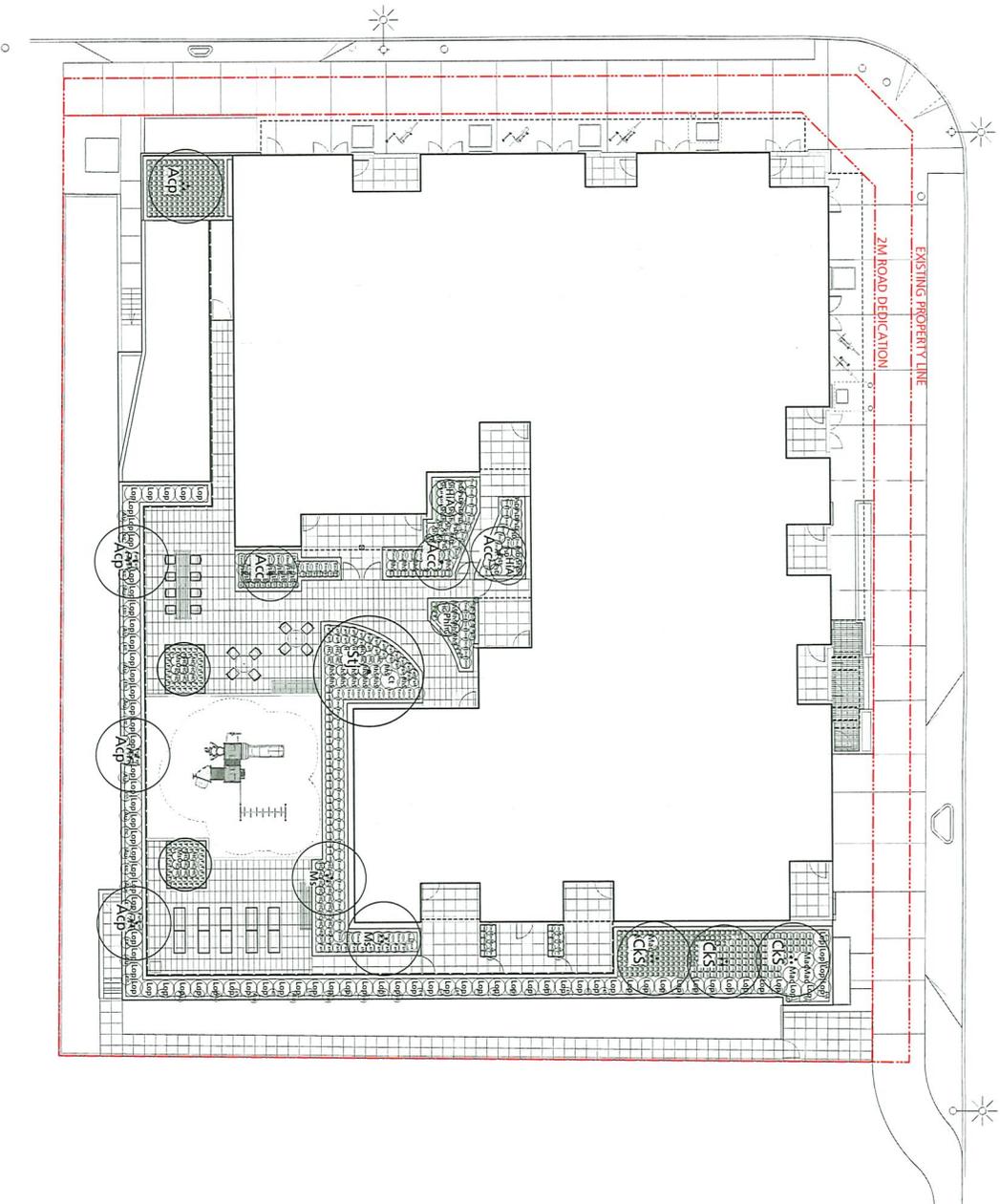
Lighting Plan - Level 3



L2.1

9000 No. 3 Road
Richmond, BC





Integra ARCHITECTURE INC.

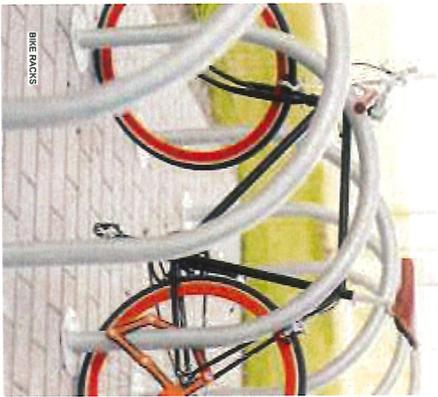
Planting Plan - Level 3

L3.1

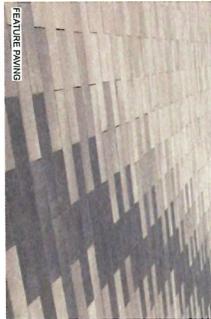
9000 No. 3 Road
Richmond, BC



MOVABLE CHAIRS AND TABLES



BIKE RACKS



FEATURE FINISH



ROOBER SURFACING



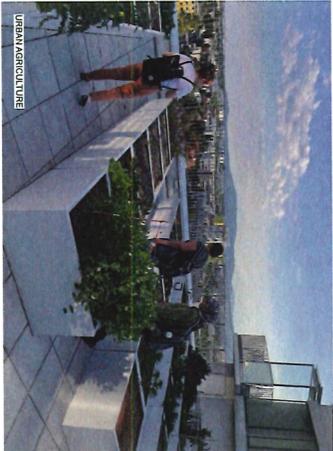
PLANTERS USED TO SEPERATE SPACES



STORAGE BENCH



PLAY EQUIPMENT



URBAN AGRICULTURE



ORNAMENTAL GRASSES



ORNAMENTAL GRASSES



OUTDOOR DINING TABLE



ENTRANCE OR DECORATIVE PLANTERS



FEATURE PLANTING



FEATURE PLANTING



CREeping VINES



Integra ARCHITECTURE INC.



Partners Architects
Studio Architecture
Sustainable Design

Precedent Images

L7.0

9000 No. 3 Road
Richmond, BC

From: Huang, Dilys
Sent: December 1, 2025 2:53 PM
To: Ken Glinz
Subject: RE: Our Concerns: DP 23-033716

| |
|------------------------------------|
| To Development Permit Panel |
| Date: <u>Dec. 10, 2025</u> |
| Item # <u>2</u> |
| Re: <u>DP 23-033716</u> |
| <u>9000 No. 3 Rd.</u> |

Hi Ken and Arlene,

Thank you for your email and for taking the time to provide feedback regarding the proposed development at 9000 No. 3 Road. The City Clerk's Office has received your correspondence and will forward it to the Development Permit Panel meeting that is scheduled for December 10, 2025.

To provide some additional follow-up information, there was a Traffic Impact Assessment prepared by a Professional Engineer during the earlier rezoning stage, confirming that the traffic impacts from the development are acceptable. The site accesses are located as far away as possible from the intersection and will be limited to right-in/right-out access only to mitigate traffic and safety impacts. New traffic signal infrastructure will also be provided at the southeast corner of the intersection as part of the development's frontage improvement works, and left turn arrows will be added in the north-south direction for No. 3 Road where there are currently left turn lanes.

Kind regards,

Dilys Huang, RPP, MCIP, LEED Green Assoc. | Planner III, Development
Planning and Development | City of Richmond
T: 604-276-4139 | E: dhuang2@richmond.ca

From: Ken Glinz <kenglinz@gmail.com>
Sent: November 26, 2025 5:41 PM
To: CityClerk <CityClerk@richmond.ca>
Subject: Our Concerns: DP 23-033716



You don't often get email from kenglinz@gmail.com. [Learn why this is important](#)

City of Richmond Security Warning: This email was sent from an external source outside the City. Please do not click or open attachments unless you recognize the source of this email and the content is safe..

Hello Dilys Huang,

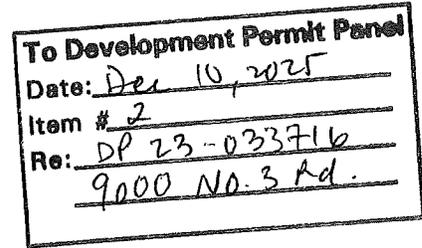
We have received the invitation to your Development Permit Panel meeting but, unfortunately are unable to attend. Can you please add our concern to your meeting agenda. The concern we have with this development is congestion and traffic safety at the intersection of #3 Road and Francis Road. We have lived in a townhouse complex (7651 Francis Road) which is located approximately 300 feet from this intersection for over 35 years, and are very familiar with vehicles (including ours) attempting to make a left-hand turn regardless of which direction they are headed and, unfortunately have observed multiple collisions over the years. At times, it can be downright scary to even attempt a left-hand turn at this intersection without having a close call.

We are not opposed with this development but, we are very concerned with both traffic safety and vehicle access in and out of this mixed-use commercial and rental property due to the proximity of the intersection. Should this Development Permit be approved, we strongly request that the City Of Richmond also upgrade the intersection with new traffic lights which include turning arrows for the multiple directions, like many other major roads in the area.

Sincerely,

Ken and Arlene Glinz

From: Huang, Dilys
Sent: December 4, 2025 10:31 AM
To: Chris Jensen
Subject: RE: DP 23-033716



Hi Chris,

The applicant has conveyed that their further correspondence was with your strata, including the strata president.

In terms of the DP Panel meeting, yes, it will be both live-streamed and recorded online – meetings can be accessed via the City’s Agendas & Minutes page link provided earlier (<https://citycouncil.richmond.ca/agendas.htm>) or from the DP Panel page (<https://citycouncil.richmond.ca/schedule/WebAgendaMinutesList.aspx?Category=8&Year=2025>).

Kind regards,

Dilys Huang, RPP, MCIP, LEED Green Assoc. | Planner III, Development Planning and Development | City of Richmond
T: 604-276-4139 | E: dhuang2@richmond.ca



From: Chris Jensen <jensencd@gmail.com>
Sent: Thursday, December 4, 2025 8:34 AM
To: Huang, Dilys <DHuang2@richmond.ca>
Subject: Re: DP 23-033716

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Thanks Dilys,

The communication sent was sent to a single owner, not the strata president or the property manager, so we will notify them they need to update their contact information.

Will this meeting be available to stream online?

On Wed, Dec 3, 2025 at 4:55 PM Huang, Dilys <DHuang2@richmond.ca> wrote:

Hi Chris,

Thank you for your note and your further correspondence regarding the proposed development at 9000 No. 3 Road below – a copy has been provided to the City Clerk’s Office as part of public correspondence information.

As you are aware, Panatch Group has applied to the City of Richmond for permission to develop a mixed-use commercial and residential building with 64 rental units, including 57 market rental units and seven Moderate Market Rental units, on the subject site.

The current status of the Development Permit (DP) application is that it is on the agenda for consideration at the DP Panel meeting scheduled for 3:30 pm on Wednesday, December 10th. The DP Panel is made up of three senior City staff members. Staff reports are published and included in the meeting agenda package on the City's website at <https://citycouncil.richmond.ca/agendas.htm>

In terms of the shared property line, there are no changes to its location – the applicant will only be developing the land that is located within the boundaries of their own lot and will be installing solid privacy fencing along the common property lines. I understand that there may be some confusion regarding the property line since 8080 Francis Road has landscaping that currently encroaches beyond the shared property line into the 9000 No. 3 Road subject site. Following the Public Hearing during the earlier rezoning stage, the applicant has conveyed that they have had further correspondence with your strata, including confirming that the proposed fencing along the shared property line has been updated from a low picket fence to a 1.8 m high solid wood fence, and confirming that the site survey was prepared by a certified surveyor.

Kind regards,

Dilys Huang, RPP, MCIP, LEED Green Assoc. | Planner III, Development

Planning and Development | City of Richmond

T: 604-276-4139 | E: dhuang2@richmond.ca

From: Chris Jensen <jensencd@gmail.com>

Sent: Tuesday, December 2, 2025 9:12 AM

To: Huang, Dilys <DHuang2@richmond.ca>

Subject: DP 23-033716

You don't often get email from jensencd@gmail.com. [Learn why this is important](#)

City of Richmond Security Warning: This email was sent from an external source outside the City. Please do not click or open attachments unless you recognize the source of this email and the content is safe..

Hi Dilys, would you be able to give me a quick explanation of the Development Permit Panel meeting set for December 10th? I was at the last public meeting and I'm curious where the developer is at this point as they have not had any official discussions with owners regarding the potential build and the substantial amount of land they are planning to take from our complex.

Thanks,

Chris

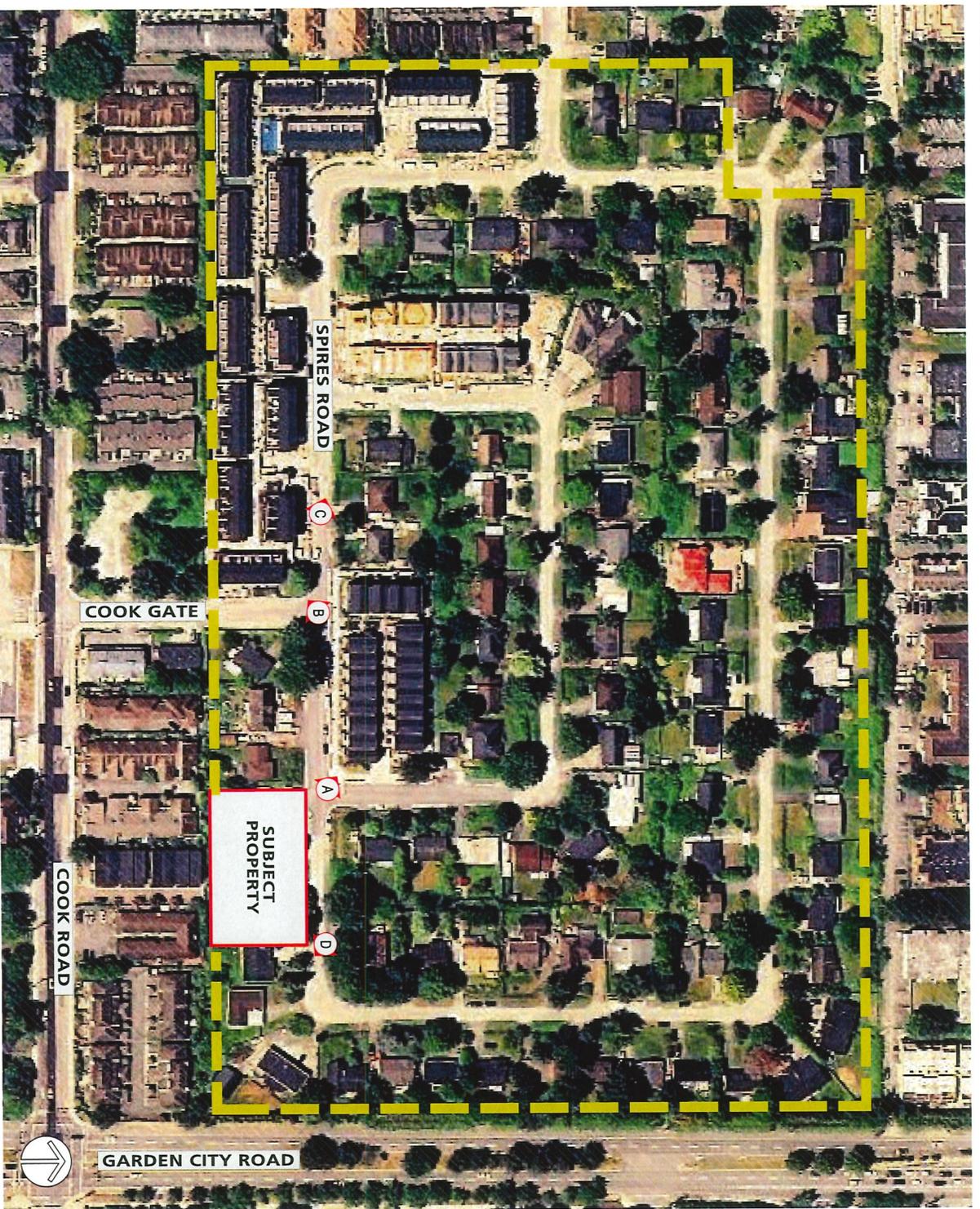
7-8080 Francis Road

Schedule 5 to the Minutes of the Development Permit Panel meeting held on Wednesday, December 10, 2025



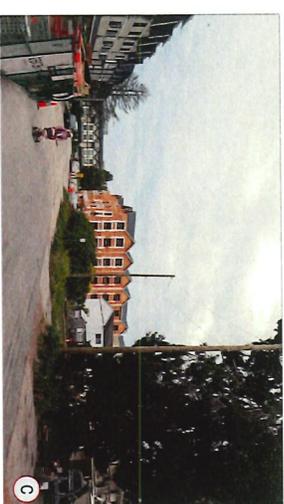
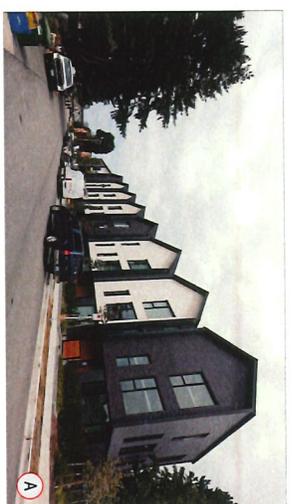
LANDS DOWNE MANOR

Residential rental development at 8620, 8640, 8660 Spires Road for Bains Properties Inc.
by Fougere Architecture Inc. and PMG Landscape Architects



LANSDOWNE MANOR

Residential rental development at 8620, 8640, 8660 Spires Road for Bains Properties Inc.
 by Fougere Architecture Inc. and PMG Landscape Architects



OVERVIEW



90 RENTAL UNITS IN A 6-STORY APARTMENT BUILDING WITH A FAR OF 2.730.

THE PROJECT PROVIDES 68 MARKET RENTAL HOMES AND 22 AFFORDABLE HOUSING RENTAL HOMES.

41% OF HOMES IN TOTAL HAVE TWO OR MORE BEDROOMS THAT ARE SUITABLE FOR FAMILIES WITH CHILDREN.

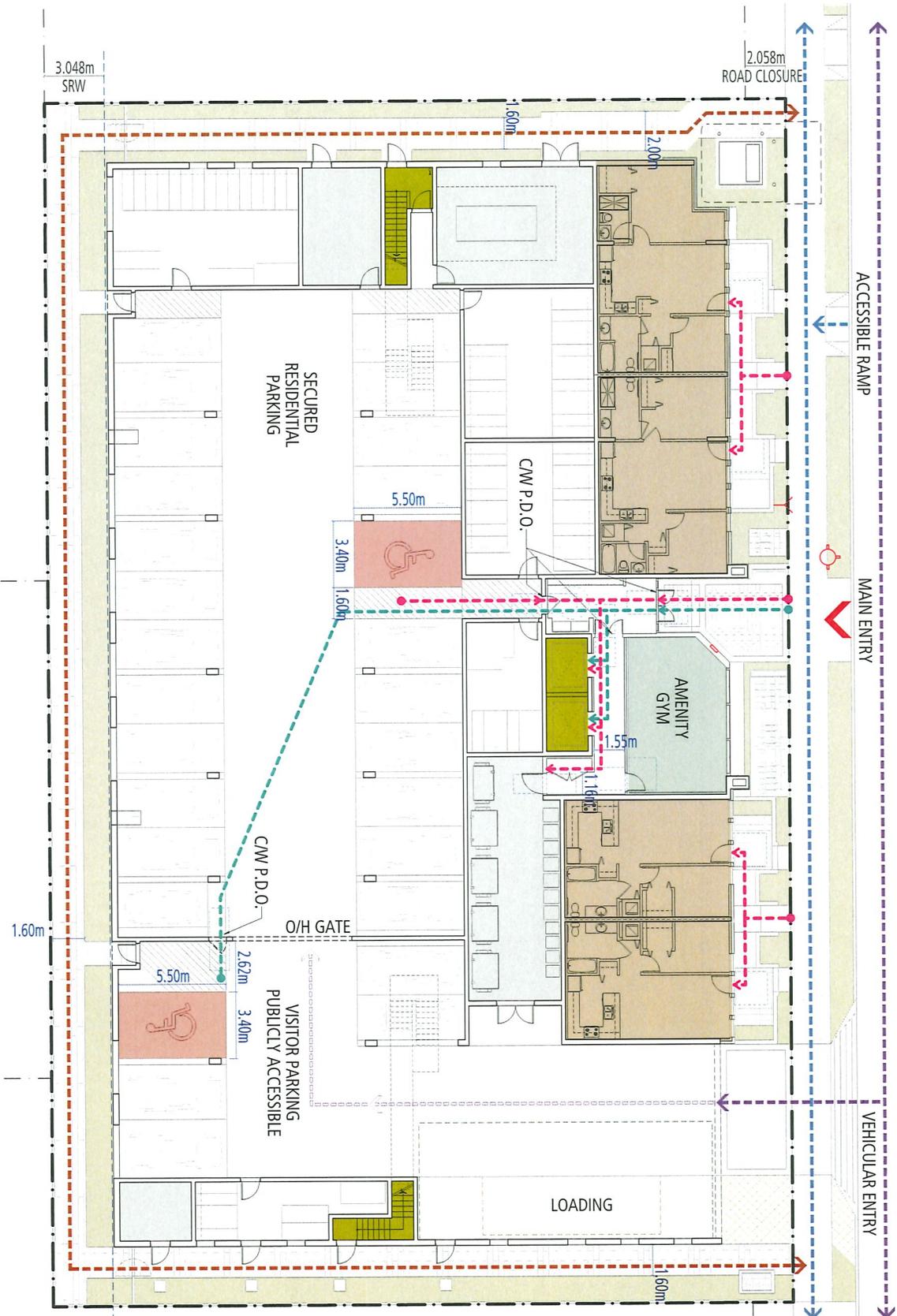
TOTAL OF 27 PARKING SPACES INCLUDING A CAR SHARE AND 2 ACCESSIBLE PARKING STALLS ARE PROVIDED FOR RESIDENTIAL AND VISITOR USE.

LANSDOWNE MANOR

Residential rental development at 8620, 8640, 8640, 8660 Spires Road for Bains Properties Inc.
by Fougere Architecture Inc. and PMG Landscape Architects

SPIRES ROAD

SITE LAYOUT, CIRCULATION, AND ACCESSIBILITY



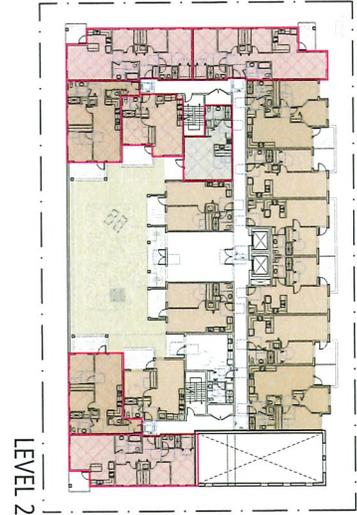
- ➡ VEHICULAR CIRCULATION
- ➡ ACCESSIBLE PATH 1600mm WIDE
- ➡ ACCESSIBLE ROUTE VISITOR
- ➡ ACCESSIBLE ROUTE RESIDENT
- ➡ ACCESSIBLE SIDEWALK
- ➡ VAN ACCESSIBLE PARKING SPACE
- ➡ ELEVATORS AND STAIRCASES
- ➡ INDOOR AMENITY TOWNHOMES
- ➡ SERVICES AND UTILITIES

LANDOWNE MANOR
 Residential rental development at 8620, 8640, 8660 Spires Road for Bains Properties Inc.
 by Fougere Architecture Inc. and PMG Landscape Architects

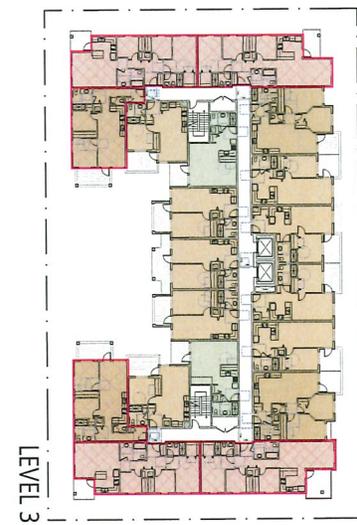
FLOOR PLANS



LEVEL 1



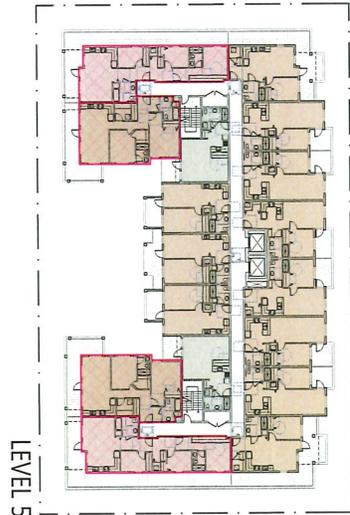
LEVEL 2



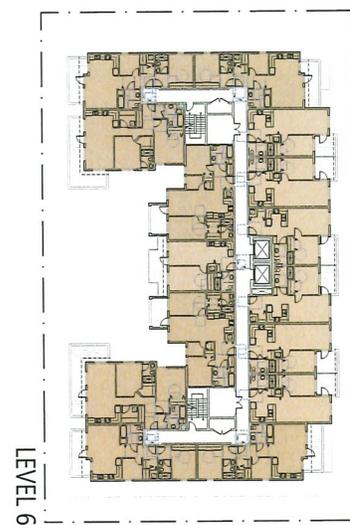
LEVEL 3



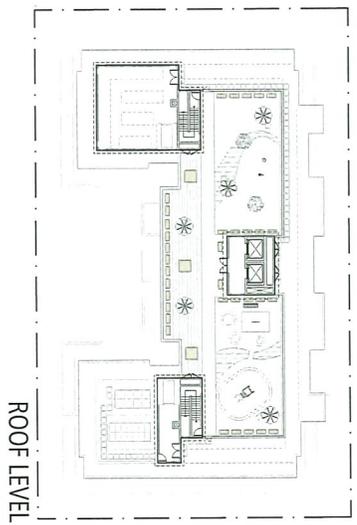
LEVEL 4



LEVEL 5



LEVEL 6



ROOF LEVEL



UNIT MIX

| UNIT TYPE | MARKET RENTAL | | AFFORDABLE | | TOTAL HOMES | |
|--------------|---------------|------------|------------|------------|-------------|------------|
| | Count | Percentage | Count | Percentage | Count | Percentage |
| STUDIO | 6 | 9% | 1 | 5% | 7 | 8% |
| 1 BEDROOM | 45 | 66% | 1 | 5% | 46 | 51% |
| 2 BEDROOM | 17 | 25% | 7 | 32% | 24 | 27% |
| 3 BEDROOM | 0 | 0% | 13 | 59% | 13 | 14% |
| TOTAL | 68 | | 22 | | 90 | |

LEGEND

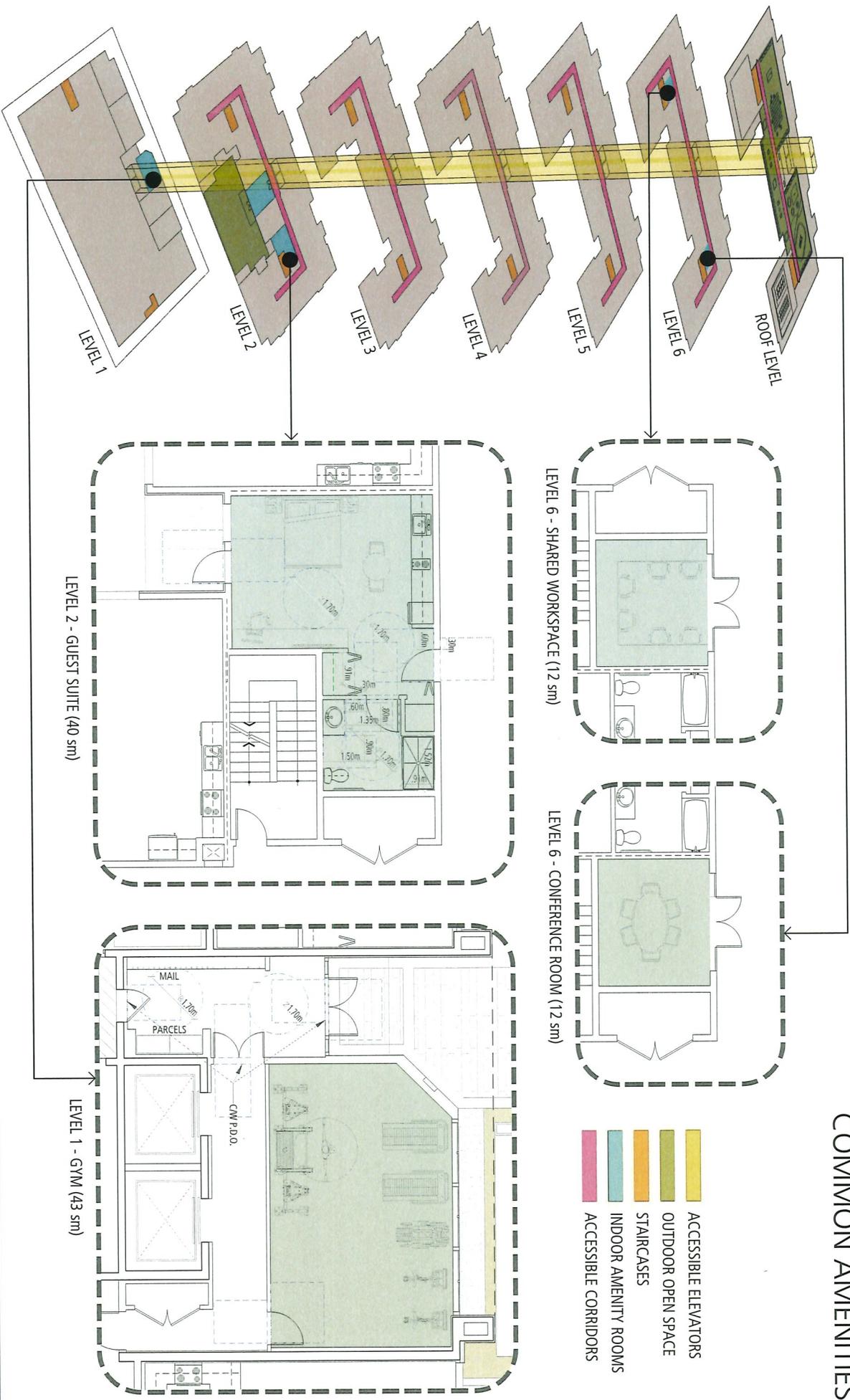
- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- AH/LEM/R

All homes have Basic Universal Housing features and are designed in accordance with section 4.16 of Richmond zoning bylaw 8500.

LANDS DOWNE MANOR

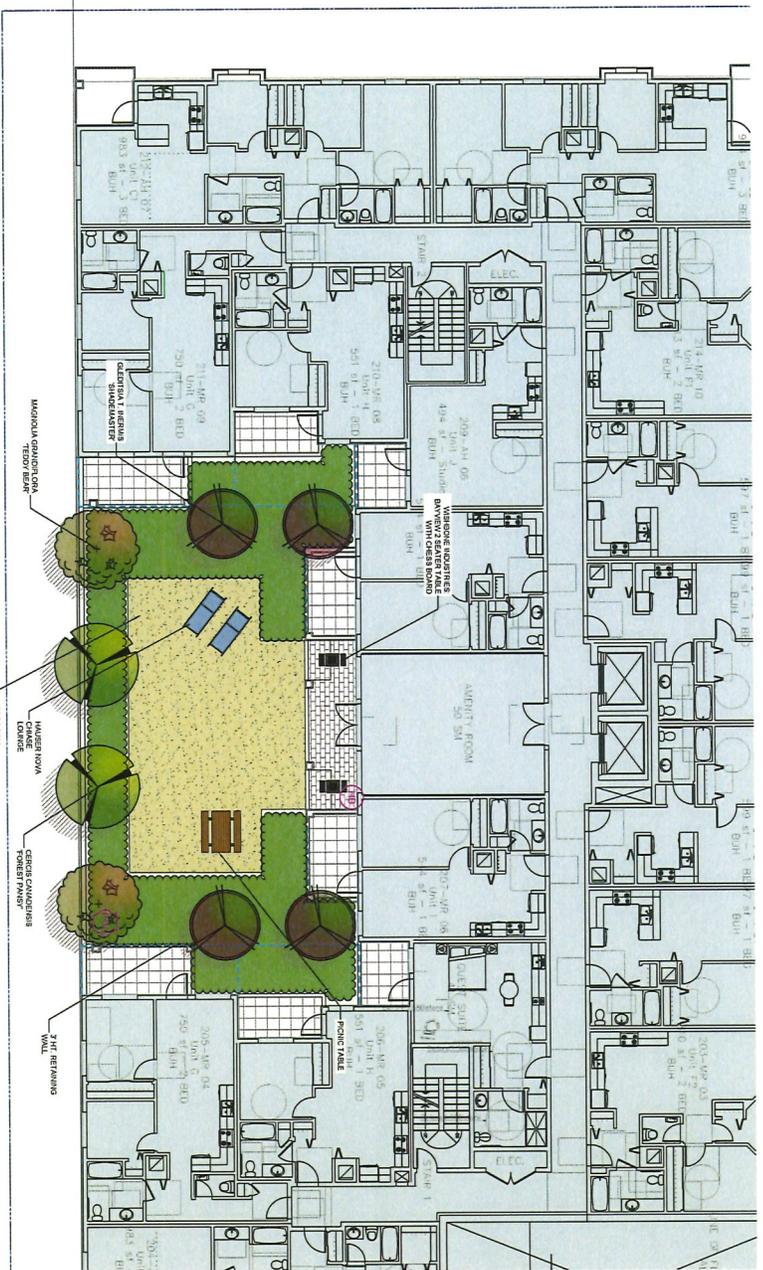
Residential rental development at 8620, 8640, 8640, 8660 Spitres Road for Bains Properties Inc.
by Fougere Architecture Inc. and PMG Landscape Architects

COMMON AMENITIES



LANDSDOWNE MANOR
 Residential rental development at 8620, 8640, 8660 Spires Road for Bains Properties Inc.
 by Fougere Architecture Inc. and PMG Landscape Architects

LANDSCAPE PLAN LEVEL 2



| PLANT SCHEDULE | | | PMG PROJECT NUMBER: 23-083 | |
|----------------|-----|---------------------------------|------------------------------|----------------------|
| KEY | QTY | BOTANICAL NAME | COMMON NAME | PLANTED SIZE/REMARKS |
| 4 | | CARPINUS BETULUS FASTIGIATA | PYRAMIDAL EUROPEAN HORRIBEAM | 8CM CAL. 888 |
| 2 | | CEROS CANADENSIS FOREST PANIS | FOREST PANIS REDBUD | 8CM CAL. 888 |
| 2 | | MANGOLIA GRANDIFLORA TEDDY BEAR | TEDDY BEAR SOUTHERN MANGOLIA | 8CM CAL. 888 |



LANDSCAPE PLAN

Residential rental development at 8620, 8640, 8660 Spires Road for Bains Properties Inc.
by Fougere Architecture Inc. and PMG Landscape Architects

SUSTAINABILITY



THE PROPOSED DESIGN WILL MEET STEP 3 + EL2 AND WILL INCLUDE THE FOLLOWING FEATURES TO MEET THE ENERGY TARGET.

THE SITE WILL CONNECT TO A DEU (DISTRICT ENERGY UTILITY).

THE SERVICING STRATEGY FOR THIS SITE IS 'DEU-READY' APPROACH, ENSURING THE BUILDING REMAINS FULLY COMPATIBLE WITH THE CITY CENTRE DISTRICT ENERGY UTILITY FOR HEATING AND COOLING WHEN OFF-SITE SYSTEMS ARE DEVELOPED IN THE FUTURE.

100% OF RESIDENTIAL PARKING SPACES ARE PROVIDED WITH AN ENERGIZED OUTLET CAPABLE OF PROVIDING LEVEL 2 CHARGING OR HIGHER.

ALL REQUIRED TREE REMOVAL AND REPLACEMENT REQUIREMENTS WILL BE MET, AND ALL REPLACEMENT TREES ARE PROVIDED ON-SITE.

LANDS DOWNE MANOR

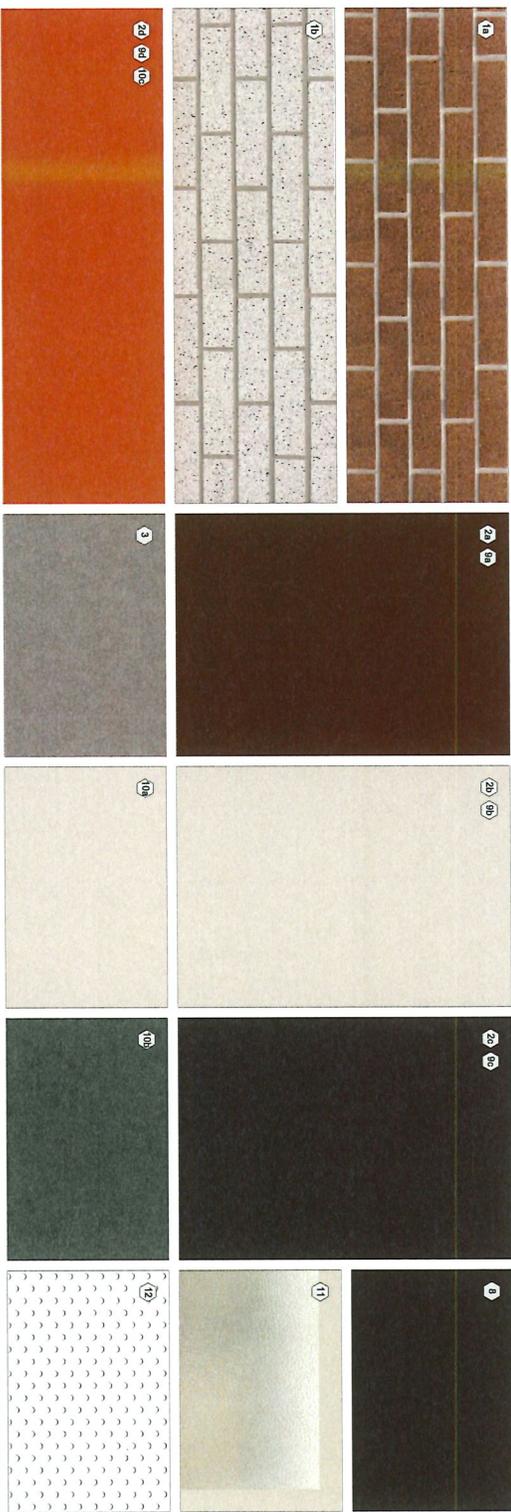
Residential rental development at 8620, 8640, 8640, 8660 Spires Road for Bains Properties Inc.
by Fougere Architecture Inc. and PMG Landscape Architects

BUILDING CHARACTER AND MATERIALS



EXTERIOR FINISHES SCHEME

| | |
|-----|---|
| 1a | HEBRON BRICK TOASTED GRAY |
| 1b | GLEN GERY ASPEN WHITE |
| 2a | HARDE PANELS BROWN - COLOUR TO MATCH SW 6146 |
| 2b | UMBER WHITE - COLOUR TO MATCH SW 7009 |
| 2c | PEARLY WHITE GRAY - COLOUR TO MATCH SW 7048 |
| 2d | URBAN BRONZE BURNT ORANGE - COLOUR TO MATCH SW 6349 PENNYWISE |
| 3 | CONCRETE FINISH - SMOOTH |
| 4 | ALUMINIUM WINDOW WALL |
| 5 | VINYL DOORS / WINDOWS WHITE |
| 6 | GLASS & ALUMINIUM RAILING WHITE |
| 7 | METAL WINDOW GRILLS WHITE |
| 8 | METAL DOORS - GREY COLOUR TO MATCH SW 7048 URBANE BRONZE |
| 9a | METAL FLASHING BROWN - COLOUR TO MATCH SW 6146 |
| 9b | UMBER WHITE - COLOUR TO MATCH SW 7009 |
| 9c | PEARLY WHITE GRAY - COLOUR TO MATCH SW 7048 |
| 9d | URBAN BRONZE BURNT ORANGE - COLOUR TO MATCH SW 6349 PENNYWISE |
| 10a | HARDE SOFFIT PANELS WHITE SOFFIT - ARTIC WHITE |
| 10b | GREY SOFFIT - NIGHT GRAY |
| 10c | BURNT ORANGE - COLOUR TO MATCH SW 6349 PENNYWISE |
| 11 | ALUMINIUM AND FROSTED GLASS PERFORATED METAL MESH SCREEN |
| 12 | PRIVACY SCREEN |
| 13 | FIBERGLASS DOOR - COLOUR TO MATCH SW 9089 SADDLE UP |



LANDS DOWNE MANOR

Residential rental development at 8620, 8640, 8660 Spires Road for Bains Properties Inc.
by Fougere Architecture Inc. and PMG Landscape Architects

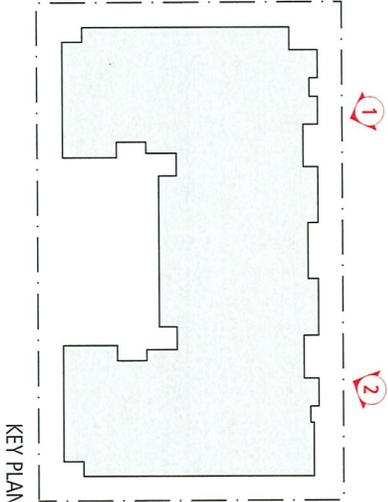
PERSPECTIVES



VIEW 1



VIEW 2



KEY PLAN

LANDOWNE MANOR

Residential rental development at 8620, 8640, 8640, 8660 Spires Road for Bains Properties Inc.
by Fougere Architecture Inc. and PMG Landscape Architects



LANSDOWNE MANOR

Schedule 6 to the Minutes of
the Development Permit Panel
meeting held on Wednesday,
December 10, 2025

| |
|--|
| To Development Permit Panel |
| Date: <u>DEC. 10, 2025</u> |
| Item # <u>3</u> |
| Re: <u>DP 25-010558</u> |
| <u>8620, 8640 AND 8660</u> <u>SPIRES ROAD</u> |

From: Jose G <corvette_racer@hotmail.com>
Sent: December 4, 2025 10:17 PM
To: Lee, Edwin <ELee@richmond.ca>
Subject: Concerns re DP 25-010558

You don't often get email from corvette_racer@hotmail.com. [Learn why this is important](#)

City of Richmond Security Warning: This email was sent from an external source outside the City. Please do not click or open attachments unless you recognize the source of this email and the content is safe..

Hello Mr. Lee, Thank you for our phone conversation today. As you suggested, I'm putting my concerns in writing as a resident of the Spires Road neighbourhood. This development during its construction will at times remove access to my house at 8935 Cook Crescent. There are already at least 5 major developments plus a water/sewer project in progress in our neighbourhood, which on rare occasion over the last several years (as I have pointed out at previous development permit panel meetings and to several City staff) have prevented access with surprise road closures. These closures have ranged for reasons including roadwork, large delivery trucks bringing supplies, or cranes or construction machinery being stationed in the roadway. The current water/sewer construction on Cook Crescent and construction on properties on Spires Road have shut down access to our house from one side for an extended period. My concerns are about access to my home for myself and for emergency vehicles and the lack of coordination of construction blockages by the City of Richmond. I'm particularly worried about having more road closures and blockages that often last more than 20-30 minutes - especially since this project will impact the only remaining section of road that is open to vehicles coming into houses on Cook Crescent.

Some questions about who has authority and responsibility **at the City of Richmond:**

Who is responsible for ensuring emergency vehicles are able to get to houses in an emergency when they need to cross roadways where construction projects are underway?

Who is responsible for coordinating road impacts from projects to ensure access is maintained across projects affecting a neighbourhood? Does this responsibility include emergency vehicle access?

Who makes sure residents are informed about upcoming road blockages?

Who can I inform when I encounter unexpected blocked roads for more than 20-30 minutes?

Please let me know when you receive this email.

Thank you,
Jose Gonzalez
8935 Cook Crescent
[REDACTED]



To: Development Permit Panel

Date: December 17, 2025

From: Joshua Reis
Director, Development

File: DP 24-045175

Re: Application by DF Architecture Inc. for a Development Permit at 9951, 9991
Blundell Road and 7951 No. 4 Road

Staff Recommendations

That a Development Permit (DP) be issued which would:

1. Permit the construction of 14 townhouse units at 9951, 9991 Blundell Road and 7951 No. 4 Road on a site zoned "Medium Density Townhouses (RTM2)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - a) Reduce the front yard and exterior side yard setbacks for Building 3 from 6.0 m to 4.8 m and 5.1 m, respectively; and
 - b) Increase the ratio of residential parking spaces in tandem arrangement from 50 per cent to 58 per cent.

Joshua Reis
Director, Development
(604-247-4625)

JR:el
Att. 3

Staff Report

Origin

DF Architecture Inc., on behalf of West Karagon Properties Inc. (Incorporation number: BC1016240; Director: Rupinder Kaur Garcha), has applied to the City of Richmond for permission to develop 14 townhouse units at 9951, 9991 Blundell Road and 7951 No. 4 Road (Attachment 1). Two of the townhouse units are proposed to be designed according to the convertible unit guidelines.

The site is being rezoned from the “Small-Scale Multi-Unit Housing (RSM/XL)” zone to the “Medium Density Townhouses (RTM2)” zone for this project under Bylaw 10596 (RZ 19-856171), which received third reading on September 23, 2024.

A Servicing Agreement is required as a condition of rezoning adoption and includes, but is not limited to, the following improvements:

- Design and construct frontage beautification along the site frontages, including:
 - a new 2.0 m wide concrete sidewalk and a 3.55 m wide grass boulevard with street trees along No. 4 Road;
 - a new 2.0 m wide concrete sidewalk and a 3.5 m wide grass boulevard with street trees along Blundell Road;
 - relocation/upgrade/replacement of the traffic signal infrastructure at the northwest corner of the Blundell Road/No. 4 Road intersection affected by the abovementioned frontage improvement works (including junction boxes (for traffic loop, communications and traffic signal), eastbound traffic loop detectors, and traffic signal pole/base, that are beyond those required as a result of the impact of frontage improvements); and
 - a new fire hydrant.
- Remove an existing sanitary sewer along the Blundell Road frontage.
- Provide new service connections.

Development Information

Please refer to the attached Development Application Data Sheet (Attachment 2) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

To the North: An existing 12-unit townhouse complex fronting Keefer Avenue, on a lot zoned “Low Density Townhouses (RTL3)”.

To the South: Across Blundell Road are two single-family homes on lots zoned “Small-Scale Multi-Unit Housing (RSM/L)” and an existing 13-unit townhouse complex on a lot zoned “Low Density Townhouses (RTL1)”.

To the East: Across No. 4 Road and located within the Agricultural Land Reserve, are a Montessori school on a lot zoned “Neighbourhood Commercial (CN)” and single-family homes on lots zoned “Agriculture (AG1)”.

To the West: An existing 25-unit townhouse complex with access from Keefer Avenue, on a lot zoned “Town Housing (ZT60) – North McLennan (City Centre)”.

Rezoning and First Reading Results

The associated rezoning application was granted first, second and third reading by Council at its meeting of September 23, 2024. No concerns regarding the rezoning application were expressed by members of the public during the Council meeting.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject DP application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the “Medium Density Townhouses (RTM2)” zone, except for the zoning variances noted below.

Zoning Compliance/Variations (staff comments in *bold italics*)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Reduce the front yard and exterior side yard setbacks for Building 3 from 6.0 m to 4.8 m and 5.1 m respectively.

(The proposed reduction in the front yard (Blundell Road) setbacks is a result of the alignment of the internal drive aisle, which must be designed to complete the horseshoe drive aisle pattern envisioned when the neighbouring townhouse complexes were developed and to connect to the internal drive aisle of the townhouse complex to the west of the site. The resulting building setback to Blundell Road is consistent with the same setback at the adjacent townhouse development to the west.

The proposed reduction in the exterior side yard setback (from No. 4 Road) facilitates a larger west side yard setback to provide a protection buffer to the existing trees (on site and on the adjacent property to the west) located along the common property line, which are identified for retention as part of the development.

The resulting distance from the back of the curb of both road frontages to the building face would be approximately 10.38 m to 10.79 m. To protect the future dwelling units at the subject site from potential noise impacts generated by traffic on Blundell Road and No. 4 Road, a restrictive covenant has been secured at rezoning to ensure that noise attenuation is to be incorporated into dwelling unit design and construction.

This variance was identified at the time of the rezoning application. Staff support the requested variance, recognizing that road dedications along both No. 4 Road (approximately 2.42 m) and Blundell Road (approximately 3.0 m are required.)

- 2) Increase the ratio of residential parking spaces in a tandem arrangement from 50 per cent to 58 per cent.

(The applicant proposes a tandem parking arrangement in eight of the 14 units, representing 16 spaces in total.

Based on the City Centre location, 20 residential parking spaces are required for this 14-unit development, where six of these units could have their required parking spaces in a tandem arrangement.

By permitting an extra two units to have their residential parking spaces in a tandem arrangement, the applicant can provide eight extra residential parking spaces on-site. With the extra residential parking spaces provided on-site, and on-street parking available on both sides of both Blundell Road and No. 4 Road during off-peak hours, staff do not envision any noticeable impact to parking in the immediate neighbourhood due to the proposed tandem parking variance.

This variance was identified at the time of the rezoning application and is supported by Transportation Department staff. A restrictive covenant to prohibit the conversion of the tandem garage area into habitable space has been secured at rezoning.)

Advisory Design Panel Comments

The Advisory Design Panel (ADP) has reviewed the project and supports the proposal. A copy of the relevant excerpt from the ADP Minutes, is attached for reference (Attachment 3). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '*bold italics*'.

Analysis

Conditions of Adjacency

- The subject development is considered an extension of the adjacent townhouse developments at 9888 Keefer Avenue (DP 09-500638, issued on February 8, 2010) and 9733 Blundell Road (DP 11-592270, issued on March 25, 2013).
- Vehicle access to the subject site is proposed through an existing access easement registered on Title of the adjacent property to the north at 9888 Keefer Avenue over that site's eastern driveway, and a Public Right-of-Passage (PROP) Statutory Right-of-Way (SRW) registered on Title of the adjacent property to the west at 9733 Blundell Road.
- The proposed internal drive aisle layout on the subject site completes the horseshoe drive aisle pattern and transportation network established through the associated rezoning applications for the adjacent townhouse developments to the north and west, connecting the eastern driveway at 9888 Keefer Avenue to the southeastern end of the internal drive aisle at 9733 Blundell Road.
- A PROP SRW to permit the shared use of the subject site's internal drive aisles by vehicular traffic generated by the adjacent developments at 9888 Keefer Avenue and 9733 Blundell Road has been secured at rezoning.

- The applicant has submitted a copy of a SRW and Easements Repair and Maintenance Agreement (on file), signed by both adjacent strata and the developer of the subject site, confirming the shared uses of the common area (drive aisles) among the three strata/properties, and that the three parties have reached an agreement in repair and maintenance of the shared drive aisles.
- The proposed form and massing of the buildings are compatible with the existing adjacent developments on the block. The proposed massing steps down in building height from three-storey to two-storey at the edges of the two streetscape buildings adjacent to existing developments.
- Deeper rear (west) yard (minimum of 5.98 m instead of 3.0 m) are proposed to enhance rear yard buffering.
- The existing site grade along the north and west property lines will be maintained to provide an appropriate transition to the adjacent residential developments and to accommodate tree retention along the common property lines.
- Existing fence along the north and west property lines will be maintained (and replaced where necessary) to protect the privacy of the neighbouring residential developments.
- Perimeter drainage will be required as part of the building permit to ensure stormwater is managed and addressed through the development and will not impact the neighbouring properties.
- An Agricultural Land Reserve (ALR) buffer is to be provided along the site's No. 4 Road frontage to mitigate land use conflicts between the proposed residential uses on the subject site and any agricultural land uses east of No. 4 Road. The project Landscape Architect confirmed that the design of the proposed 4.5 m wide landscaped buffer is consistent with the Ministry of Agriculture's Guide to Edge Planning. A restrictive covenant has been secured at rezoning to ensure that the ALR buffer will not be removed or modified without the City's approval.

Urban Design and Site Planning

- The proposal of conventional townhouses with individual garages generally complies with the form of housing envisioned under "Sub-Area B.1: Mixed Use – Low-Rise Residential & Limited Commercial" of the City Centre Area Plan (CCAP), as well as the land use designation of "Residential, 2 ½ storeys typical (3-storey maximum) Townhouse, Triplex, Duplex, Single-Family" of the McLennan South Sub-Area Plan.
- The basic concept of McLennan South Sub-Area Plan has been used in this development by providing a larger primary building - Building 3 - which consists of six units and two smaller buildings - Buildings 1 & 2 - consisting of 4 units each.
- The layout of the townhouse units is oriented around a single driveway providing access to the site through an easement registered on Title of the adjacent property to the north at 9888 Keefer Avenue and through a PROP SRW registered on Title of the adjacent property to the west at 9733 Blundell Road.

- Units along the two road frontages are designed to have a strong street presence with individual front entrances and yards. Units in Building 1 will have access from the internal drive aisle and a yard space backing onto the adjacent townhouse development to the west.
- All units will have two-vehicle parking spaces and individual garages. The number of residential parking spaces proposed exceeds the minimum bylaw requirement. Six units are proposed to have garages in a side-by-side arrangement, and eight units are proposed to have garages in a tandem arrangement.
- A total of three visitor parking spaces, including one accessible visitor parking space, will be provided. The number of visitor parking spaces proposed complies with the minimum bylaw requirement.
- Both internal and external bicycle parking spaces have been incorporated into the proposal and comply with the zoning bylaw requirements.
- The provision of private outdoor spaces complies with the DP Guidelines of the OCP.
- All units will have private outdoor spaces consisting of a front or a rear yard, as well as deck/balcony spaces on the second floor.
- Outdoor amenity space is proposed in a central area for maximum casual surveillance opportunity. The size and location of the outdoor amenity space are appropriate for providing an open landscape and amenity space convenient to all units.
- No indoor amenity space is proposed on site. A \$28,924.00 cash-in-lieu contribution has been secured as a condition of rezoning approval, consistent with the OCP.
- This complex is designed for door-to-door garbage, recycling and organic waste pick up and holding areas will be accommodated in the spaces between garage doors and the drive aisle curb.
- An easily accessible mailbox kiosk will be provided at a central location of the site (i.e., by the outdoor amenity space).

Architectural Form and Character

- The architecture reflects a contemporary take on traditional design with elements from West Coast architectural style. This architectural style is characterized by clean lines, simplicity and functionality. The use of different depths and elements like balconies and bay windows creates a dynamic and playful appearance.
- The shape and form of buildings are sufficiently varied to avoid monotonous appearance. A pedestrian scale is generally achieved along the road frontages through the inclusion of the use of individual unit entrances, porches, bay windows projections, dormers, varied roof lines, and landscape features.
- The proposed building materials (such as Hardie siding, Hardie board and batten and brick veneer) are generally consistent with the OCP.
- Consistent with the overall design concept for this development, the colour scheme is designed to be minimalist. A lighter colour palette is used on the bottom part of the building and on the siding and board & batten for the upper parts of the buildings.

Contrasting darker shades are used on window frames, garage doors, entry doors, roof fascia and asphalt roofing shingles in contrast with the lighter shades on the main façade of buildings to enhance the elevations and create visual interest.

Tree Preservation

- At rezoning, the following trees located on the site were identified for retention and will continue to be protected as part of the DP:
 - A 60 cm caliper Western red cedar tree (tag #835) on site is in excellent condition and is to be retained and protected with a 4 m tree protection zone out from the base of the tree. Alignment of the new sidewalk along No. 4 Road will be designed to minimize impact to this protected tree.
 - Three cedar trees (tag# 9, #10 & #11) on site.
- A Tree Survival Security in the amount of \$40,960.00 has been secured at rezoning to ensure that these four trees identified for retention will be protected.
- Five City trees (tag # City01-05) located on City property are also identified for retention; a Tree Survival Security in the amount of \$25,600.00 has been secured at rezoning.
- 11 off-site trees (tag # OS01-OS08 & OS12-OS14) and a row of hedges (tag # OSHedge01), all located on the adjacent properties to the north and west, will also be retained and protected.
- 15 on-site trees (tag #833 - 834, 836 - 838, 8786, 8787 - 8795) were identified for removal due to their poor to moderate conditions and conflicts with the driveway alignment/connections to the neighbouring sites. Based on the OCP and Tree Protection Bylaw requirements, 30 replacement trees are required. The applicant is proposing to plant 26 replacement trees on-site, including seven conifers and 19 deciduous trees. The landscape architect confirmed that the proposed tree planting on site has been maximized to the extent possible and takes into consideration the trees to be retained on site, on the neighbouring properties, and within the city boulevard.
- A voluntary contribution of \$3,000.00 (\$750/tree) to the City's Tree Compensation Fund in lieu of planting the remaining four replacement trees will be required prior to DP issuance.
- Parks has approved the removal of a cedar tree (tag # Shared1) located in the road dedication area, and a total of \$3,000.00 cash compensation has been secured at rezoning.

Landscape Design and Open Space Design

- The landscape design incorporates drought-tolerant and adaptable plant species, ensuring they are well-suited for their locations, soil depth and sun exposure.
- To protect the privacy of neighbouring homes, trees and layers of shrubs are planted along shared property lines to create natural screening, while a 1.8-meter-high wood fence provides additional privacy.
- The street edge along the road frontages will be defined with landscaping, including large patios, trees, and layers of shrubs. A low transparent aluminum fence with gates will be installed along the road frontages to accommodate visually interesting plant species.

- The design of the 4.5-meter wide ALR buffer generally follows the Ministry of Agriculture's Guide to Edge Planning. A diverse, multi-layered vegetation screen is proposed to mitigate the effects of noise, dust, and light from the agricultural area. A combination of coniferous and deciduous trees and various shrubs will provide year-round screening. Native species have been included.
- An on-site irrigation system is proposed to ensure the continued maintenance of live landscaping.
- The outdoor amenity area has been designed to provide a multifunctional space for residents. The children's play area is designed for younger age groups, featuring equipment that promotes social interaction, imaginative play and balance. A bench is also proposed in the children's play area for caregivers.
- Surface parking spaces and designated walkways on-site will be treated with permeable pavers for better water infiltration and variety in paving surfaces.
- To ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$119,959.62 in association with the DP.

Crime Prevention Through Environmental Design

- The development has been designed with street-oriented townhouses that provide surveillance of Blundell Road and No. 4 Road.
- All entrances are visible and overlooked by pedestrians or by neighbours' windows.
- Plantings near residential entries are low to maximize views.
- Low fencing is designed to encourage interaction between neighbours and foster a sense of community.
- All parking and pedestrian areas will be lit with bollard light, recessed light and surface façade light, as well as building mounted lighting to provide adequate outdoor security illumination; all lighting will be dark sky certified.

Sustainability

- Consistent with Provincial Energy Step Code and Zero Carbon Step Code requirements, this project is expected to be designed to achieve Step 3 with maximum Emission Level 4.
- The following features will also be included in the development:
 - High-efficiency, double-glazed, thermally broken windows with low U-values.
 - High-efficiency, low-water-consumption kitchen and bathroom faucets as well as toilets.
 - Energy-efficient LED lighting and energy-efficient bulbs for fixtures in common areas.

Accessible Housing

- The proposed development includes two convertible units (Units A1 & A2) that are designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of these units will require the installation of a chair lift (where the staircase has been dimensioned to accommodate this in these units) in the future if desired.

- All of the proposed units incorporate aging-in-place features to accommodate mobility constraints associated with aging. These features include:
 - stairwell handrails;
 - lever-type handles for plumbing fixtures and door handles; and
 - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Conclusions

As the proposed development would meet applicable policies and DP Guidelines, staff recommend that the DP be endorsed, and issuance by Council be recommended.



Edwin Lee
Planner 2
(604-276-4121)

EL:js

- Att. 1: Location Map
2: Development Application Data Sheet
3: Advisory Design Panel Minutes

The following are to be met prior to forwarding this application to Council for approval:

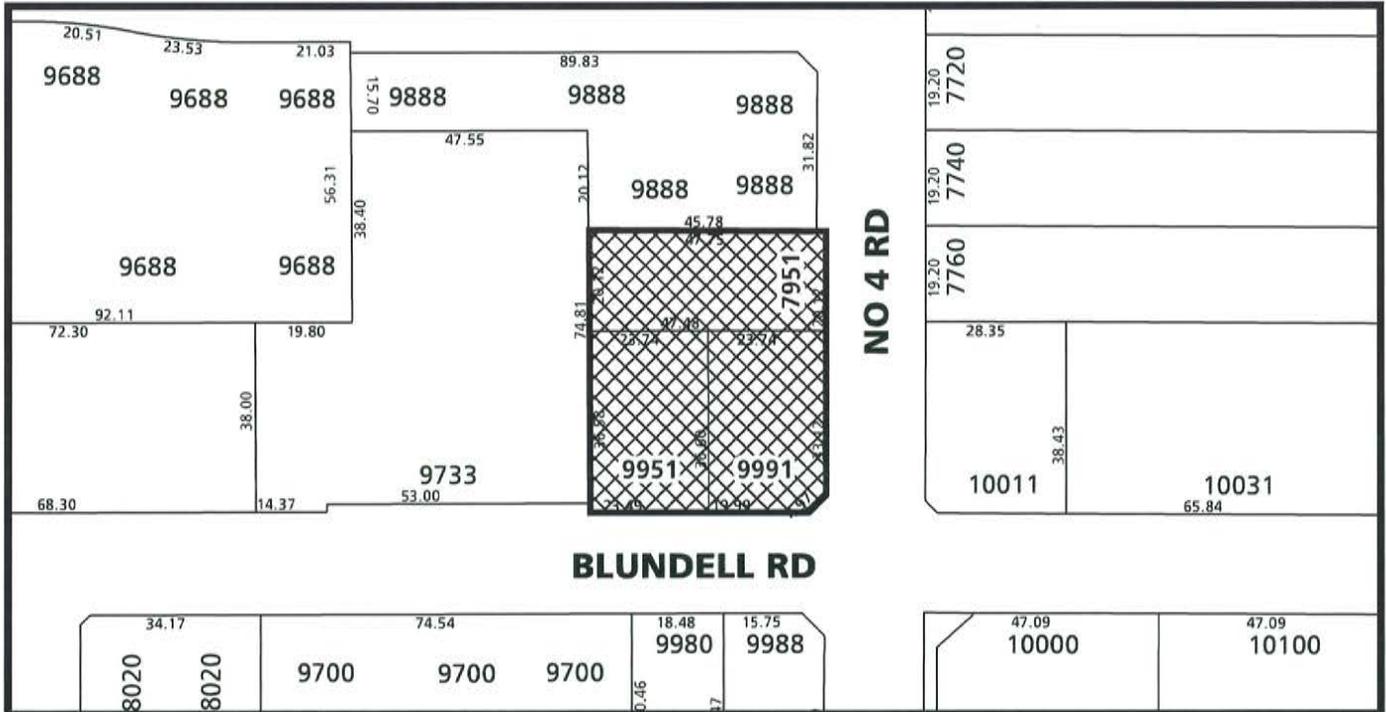
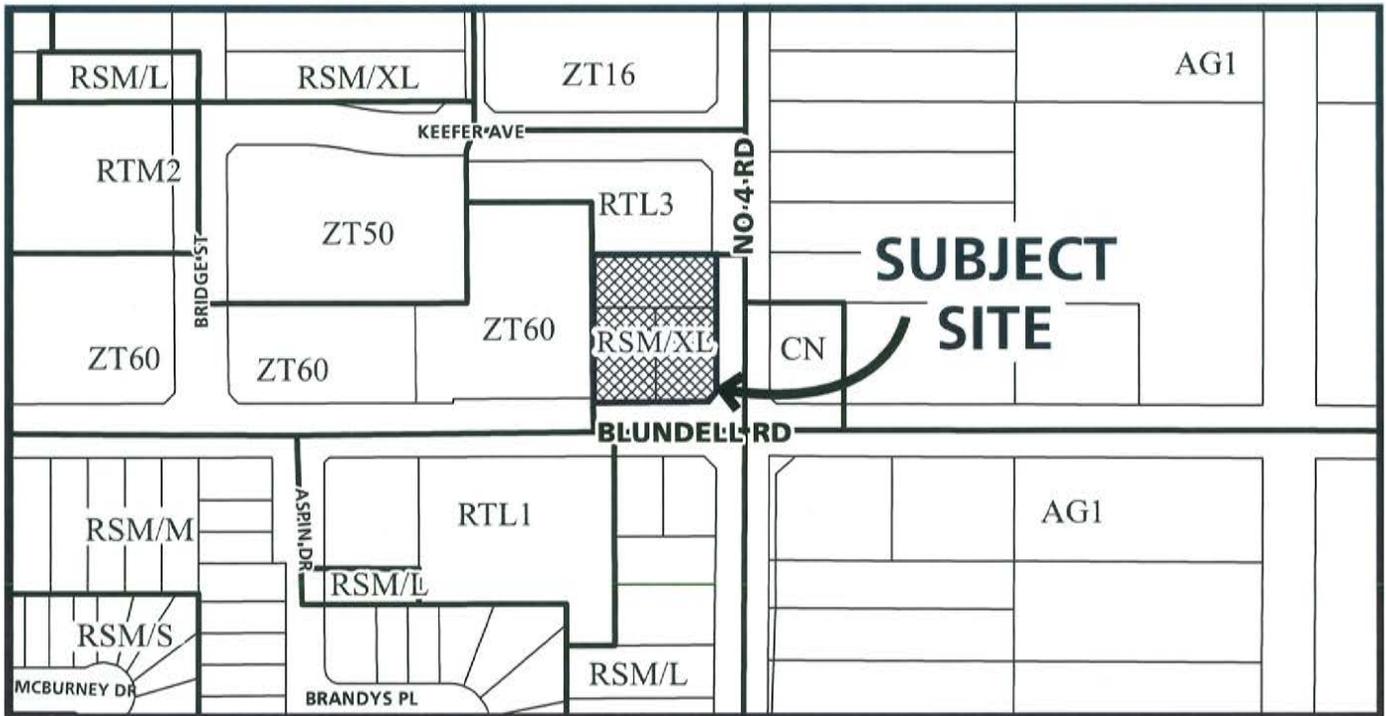
- Receipt of a Letter-of-Credit for landscaping in the amount of \$119,959.62 (based on the cost estimate provided by a CSLA registered landscape Architect including 10% contingency). A legal agreement is required to accompany the Landscape Security to set the terms for its use and release.
- City acceptance of the developer's offer to voluntarily contribute \$3,000.00 to the City's Tree Compensation Fund for the planting of four replacement trees within the City.
- Payment of all fees in full for the cost associated with the Development Permit Panel Meeting Notices, consistent with the City's Consolidated Fees Bylaw No 8636, as amended.

Prior to future Building Permit issuance, the developer is required to complete the following:

- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<https://www.richmond.ca/services/transportation/special.htm#TrafficPlan>).
- If applicable, payment of latecomer agreement charges, plus applicable interest associated with eligible latecomer works.



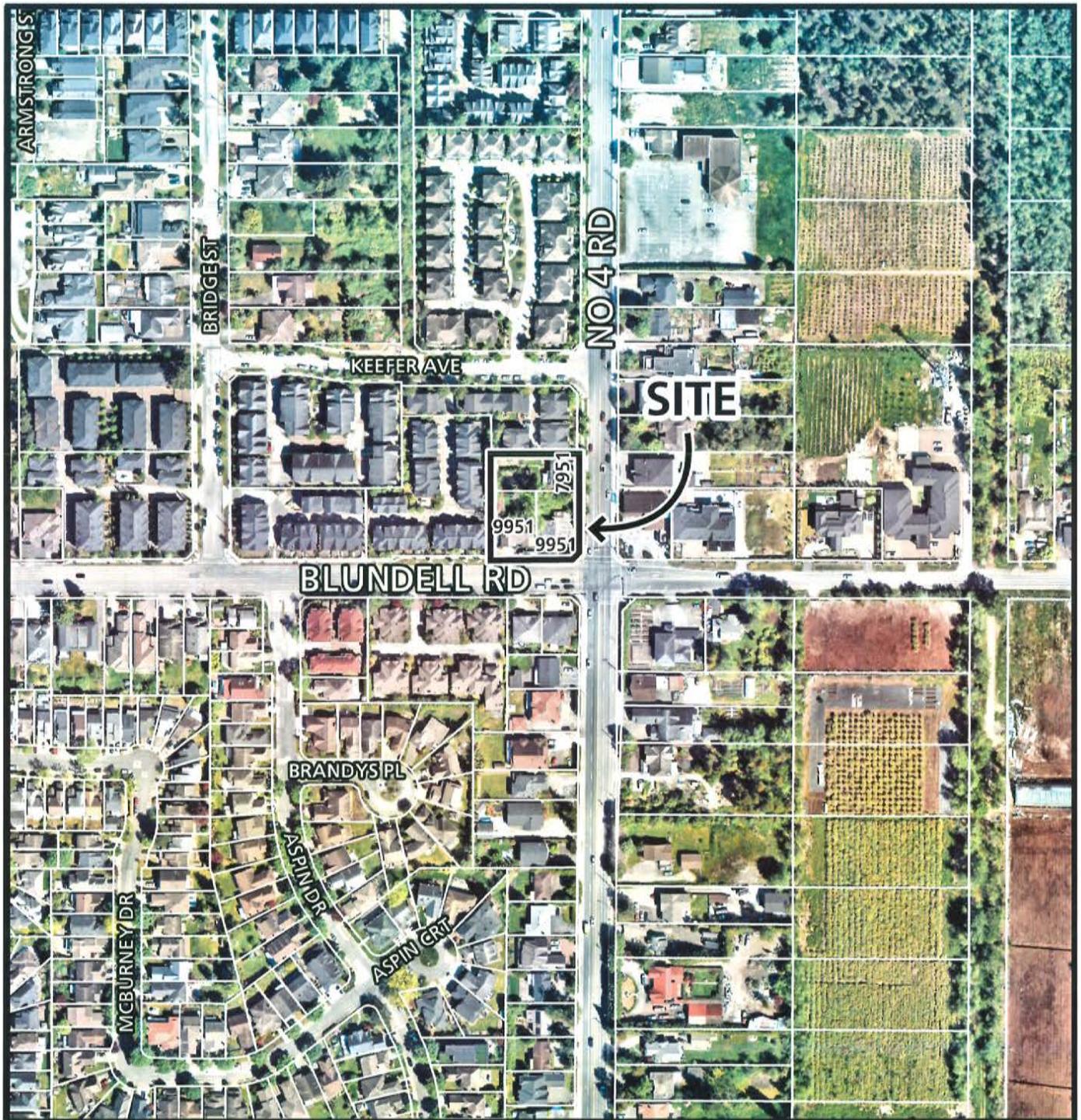
City of Richmond



| | | |
|--|--|--|
| | <p style="text-align: center; font-size: 2em; font-weight: bold;">DP 24-045175</p> | <p>Original Date: 10/01/24 Revision Date: Note: Dimensions are in METRES</p> |
|--|--|--|



City of Richmond



DP 24-045175

Original Date: 12/09/25
Revision Date:

Note: Dimensions are in METRES



DP 24-045175

Attachment 2

Address: 9951, 9991 Blundell Road and 7951 No. 4 Road

Applicant: DF Architecture Inc.

Owner: West Karagon Properties Inc.

Planning Area(s): McLennan South (City Centre)

Floor Area Gross: 2,385.6 m²

Floor Area Net: 1,572.2 m²

| | Existing | Proposed |
|------------------------|---|----------------------------------|
| Site Area: | 2,679.9 m ² | 2,407.0 m ² |
| Land Uses: | Single-Family | Multiple-Family Residential |
| OCP Designation: | Low-Density Residential | No Change |
| Area Plan Designation: | Residential, 2 ½ storeys typical (3-storey maximum) | No Change |
| Zoning: | Small-Scale Multi-Unit Housing (RSM/XL) | Medium Density Townhouses (RTM2) |
| Number of Units: | 3 | 14 townhouses |

| | Bylaw Requirement | Proposed | Variance |
|--|------------------------------|-----------------------|--------------------|
| Floor Area Ratio: | Max. 0.65 | 0.65 Max. | none permitted |
| Lot Coverage – Building: | Max. 40% | 40% | none |
| Lot Coverage – Non-porous Surfaces: | Max. 65% | 61% | none |
| Lot Coverage – Landscaping: | Min. 25% | 25% | none |
| Setback – Front (South) Yard (Blundell) (m): | Min. 6.0 m | 4.8 m | Variance Requested |
| Setback – Exterior (East) Side Yard (No. 4 Road) (m): | Min. 6.0 m | 5.1 m | Variance Requested |
| Setback – Interior (West) Side Yard (m): | Min. 3.0 m | 4.0 m | none |
| Setback – Rear Yard (north) (m): | Min. 3.0 m | 3.45 m | none |
| Height (m): | Max. 12.0 m (3 storeys) | 12 m (3 storeys) Max. | none |
| Lot Width: | Min. 30.0 m | 43.4 m | none |
| Lot Depth: | Min. 35.0 m | 53.2 m | none |
| Off-street Parking Spaces – Regular (R) / Visitor (V): | 1.4 (R) and 0.2 (V) per unit | 2 (R) and 0.2 (V) | none |
| Off-street Parking Spaces – Total: | 20 (R) and 3 (V) | 28 (R) and 3 (V) | none |

| | | | |
|---|---|--|---------------------------|
| Tandem Parking Spaces: | Max. 50% of proposed residential spaces in enclosed garages (28 x Max. 50% = 14) | 16 | Variance Requested |
| Small Car Parking Spaces | Max. 50% when 31 or more spaces are provided on-site (31 x Max. 50% = 15) | 6 | none |
| Accessible Parking Spaces: | Min. 2% when 11 or more spaces are required (23 x 2% = 1 space) | 1 | none |
| Bicycle Parking Spaces – Class 1 / Class 2: | 1.25 (Class 1) and 0.2 (Class 2) per unit | 1.5 (Class 1) and 0.2 (Class 2) per unit | none |
| Off-street Parking Spaces – Total: | 18 (Class 1) and 3 (Class 2) | 22 (Class 1) and 3 (Class 2) | none |
| Amenity Space – Indoor: | Min. 70 m ² or Cash-in-lieu | Cash-in-lieu | none |
| Amenity Space – Outdoor: | Min. 6 m ² x 14 units = 84 m ² | 86 m ² | none |

Excerpt from the Minutes from
The Advisory Design Panel Meeting

Thursday, November 21, 2024 – 4:00 p.m.
Virtual, Microsoft Teams

1. **DP 24-045175 - 14-UNIT TOWNHOUSE DEVELOPMENT**

ARCHITECT: DF Architecture

LANDSCAPE ARCHITECT: PMG Landscape Architects

PROPERTY LOCATION: 9951, 9991 Blundell Road, and 7951 No. 4 Road

Applicant's Presentation

Architect Deepinder Singh, DF Architecture Inc., and Landscape Architect Yiwen Rua PMG Landscape Architects, presented the project and answered queries from the Panel.

Panel Discussion

Comments from Panel members were as follows:

- the project is well designed and has a strong street presence; not concerned with the height of the three-storey townhouse buildings.

Appreciate the comment. The height of the 3-story building complements the neighboring developments.

- appreciate the applicant for not segregating the two convertible units by not locating them adjacent to each other but at either ends of Building 3;

Noted.

- does not support the location of the only accessible washroom in the convertible unit as an en-suite washroom of the master bedroom as it may not be directly accessible to other persons with a disability living in the unit other than the occupant of the master bedroom;

The current design complies to the convertible unit guidelines for townhouses as per City of Richmond.

- appreciate the applicant's presentation; pleased to see the refreshing architectural form in contrast to the predominant Tudor style in the neighbourhood; also appreciate the clean design of the townhouse buildings;

This was the goal from the very beginning to design something different than what was already done in this area.

- consider installing alternate porous surface paving materials on the internal drive aisles other than just permeable pavers due to concerns about potential damage from snow removal and heavy trucks;

Permeable pavers are durable and capable of withstanding snow removal and heavy traffic truck traffic.

- overall the plan is good; the plan is symmetrical and repetitive but not boring due to the articulation of the building massing, e.g. stepping down the end units of buildings and installation of glass doors;

Noted.

- the attention to detail makes the project look elegant;

Thanks for the compliment.

- the design approach to maximize the building space leaves little room for planting areas along the internal drive aisles;

We have installed planting wherever possible.

- ensure that the tree along the internal drive aisle is protected;

The tree is located away from the drive aisle, and we have proposed shrub buffer to provide additional protection.

- concerned about the safety of the children's play area as it is too close to the internal drive aisle and site entry;

Landscape architect has proposed a 1.06m high fence around the outdoor amenity for the safety of the children.

- investigate opportunities to install street trees along Blundell Road;

Street trees have been added along Blundell Road.

- wood mulch in the children's play area is not accessible; consider replacing with rubber or other types of accessible surface treatment for the children's play area;

We have replaced the Fibar with PIP rubber.

- the project is nice and going in the right direction; appreciate the clean, straightforward and functional planning;

Noted.

- the plan shows the scale of the building but is comfortable to look at;

Noted.

- concerned about the pedestrian pathway paving on the internal drive aisles as there is inadequate space to segregate pedestrian pathway on the internal drive aisles and could be misread by pedestrians;

This has been already done in other townhouse developments in City of Richmond.

- echo the Panel member's concern regarding the location of the children's play area in close proximity to the internal drive aisle; consider putting in place appropriate control measures to enhance the safety of children using the play area;

Landscape architect has proposed a 1.06m high fence around the outdoor amenity for the safety of the children.

- support the location of garbage and recycling closet at the back of the site;

Noted.

- appreciate the simple yet elegant massing of the buildings; the proportions are well balanced and well considered;

Thank you.

- appreciate the slight curves in the internal drive aisles that allow for the planting of two trees along the internal drive aisles; makes the place more welcoming;

This was done intentionally to reduce the speed of the vehicles using the internal drive aisle as well as to create spaces for trees to be planted.

- agree with Panel comment regarding the possibility of installing street trees along Blundell Road to provide some green buffer to the development;

Street trees have been added along Blundell Road.

- on-site planting of trees has been maximized and there is lack of opportunity to install large trees on the subject site;

Per city requirements, we've followed the 0.9m clearance from the building to the drive aisle

- investigate opportunities to put in place appropriate measures to enhance on-site stormwater management, e.g. installing porous pavement or other stormwater infiltration strategies;

More permeable pavers have been added near the outdoor amenity area to enhance the on-site stormwater management as well as to slow down the vehicles at this junction to increase the safety of the children.

Permeable pavers have been provided for surface parking and at the vehicular entrance.

- overall, the project is successful and well presented;

We appreciate this comment.

- investigate opportunities to accentuate townhouse unit divisions on the façade of Building 2 to make them more identifiable, e.g. installing a shadow gap or treating the downspout.

Downspouts will be added to the elevation at BP or IFC stage.

- concerned about the access to and usefulness of the garbage and recycling closet as it is located behind a visitor parking stall; consider relocating to an alternate location on the site;

We have removed the garbage enclosure and converted it into a garden shed for amenity area.

- consider ways to inset the doors off the mews, particularly in Building 1 and Building 3 to enhance weather protection and make them more identifiable as main entrances to the individual units;

Building 3 main entrance is through the Blundell Road. The other entrance is just secondary entrance to these units. Units in building 1 have already been designed to look like main entrance with weather protection canopies.

- investigate opportunities to provide a balcony for Unit B2 in Building 2 and address potential privacy concerns;

Balcony has been provided for the balcony of Unit B2 in Building 2.

- support the Panel comments regarding looking at the feasibility of installing street trees along Blundell Road; and

Street trees have been added along Blundell Road.

- investigate opportunities to install additional planting at the corner of Blundell Road and No. 4 Road to soften the corner and enhance the buffer to the patio of the townhouse unit at the southeast corner.

We have provided a multi-layered planting at the corner of Blundell Road and No 4 Road, incorporating a variety of shrub species at different heights along with a mix of coniferous and deciduous trees.



No. DP 24-045175

To the Holder: DF Architecture Inc.
Property Address: 9951, 9991 Blundell Road and 7951 No. 4 Road
Address: 10851 Shellbridge Way Unit 350,
Richmond, BC V6X 2W9

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) Reduce the front yard and exterior side yard setbacks for Building 3 from 6.0 m to 4.8 m and 5.1 m respectively; and
 - b) Increase the ratio of residential parking spaces in tandem arrangement from 50 per cent to 58 per cent.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #24 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$119,959.62 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 24-045175

To the Holder: DF Architecture Inc.
Property Address: 9951, 9991 Blundell Road and 7951 No. 4 Road
Address: 10851 Shellbridge Way Unit 350,
Richmond, BC V6X 2W9

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

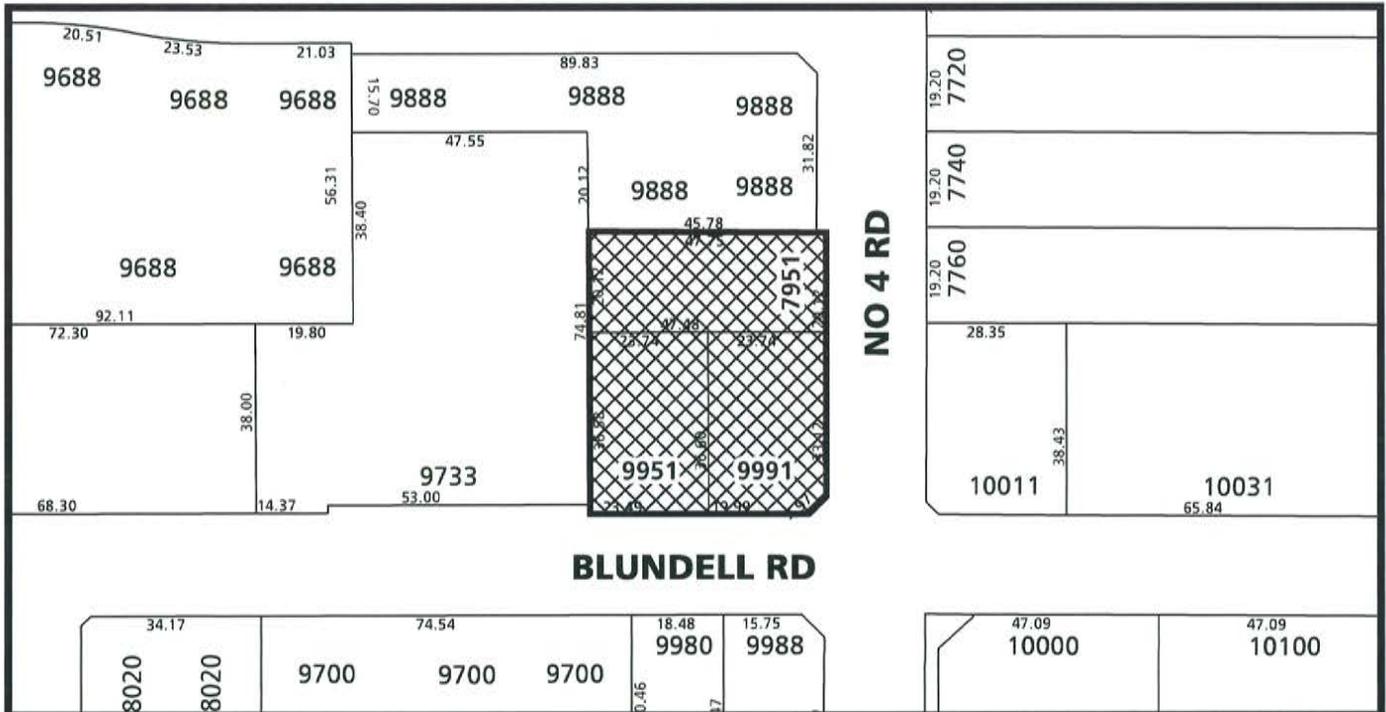
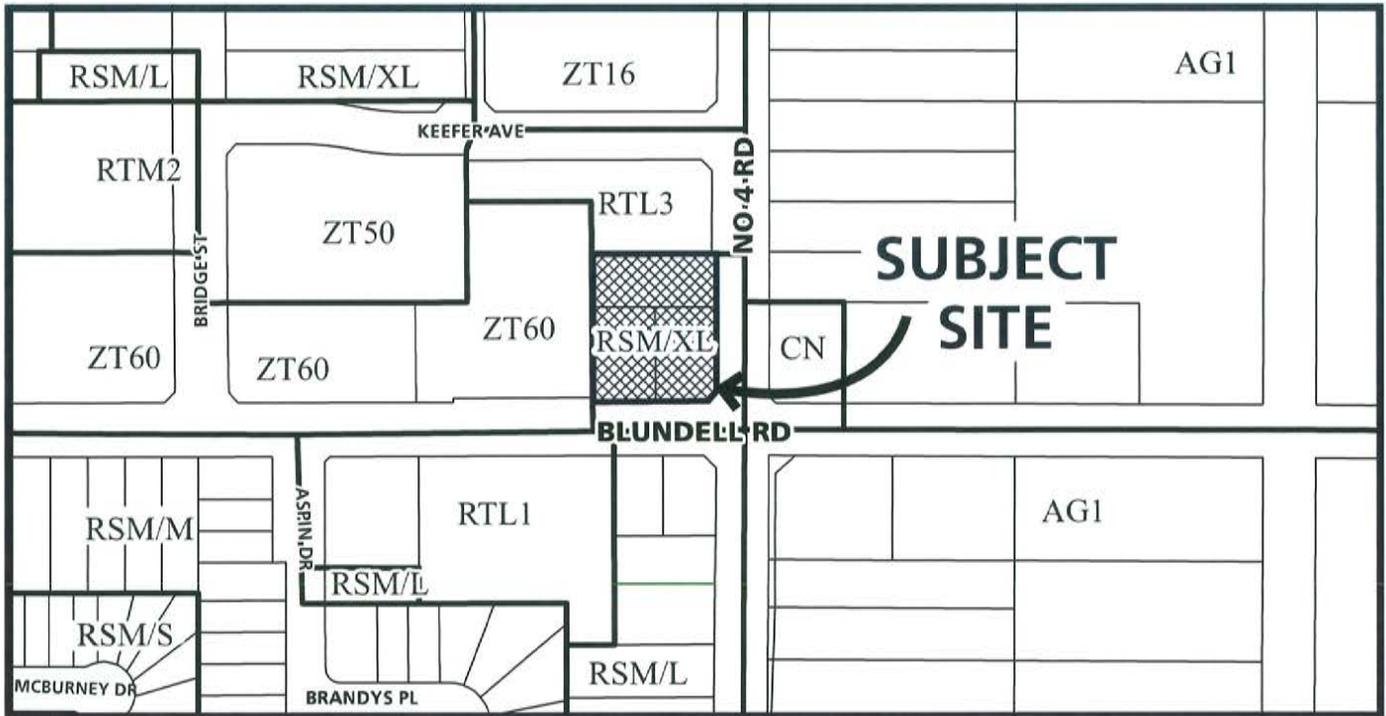
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



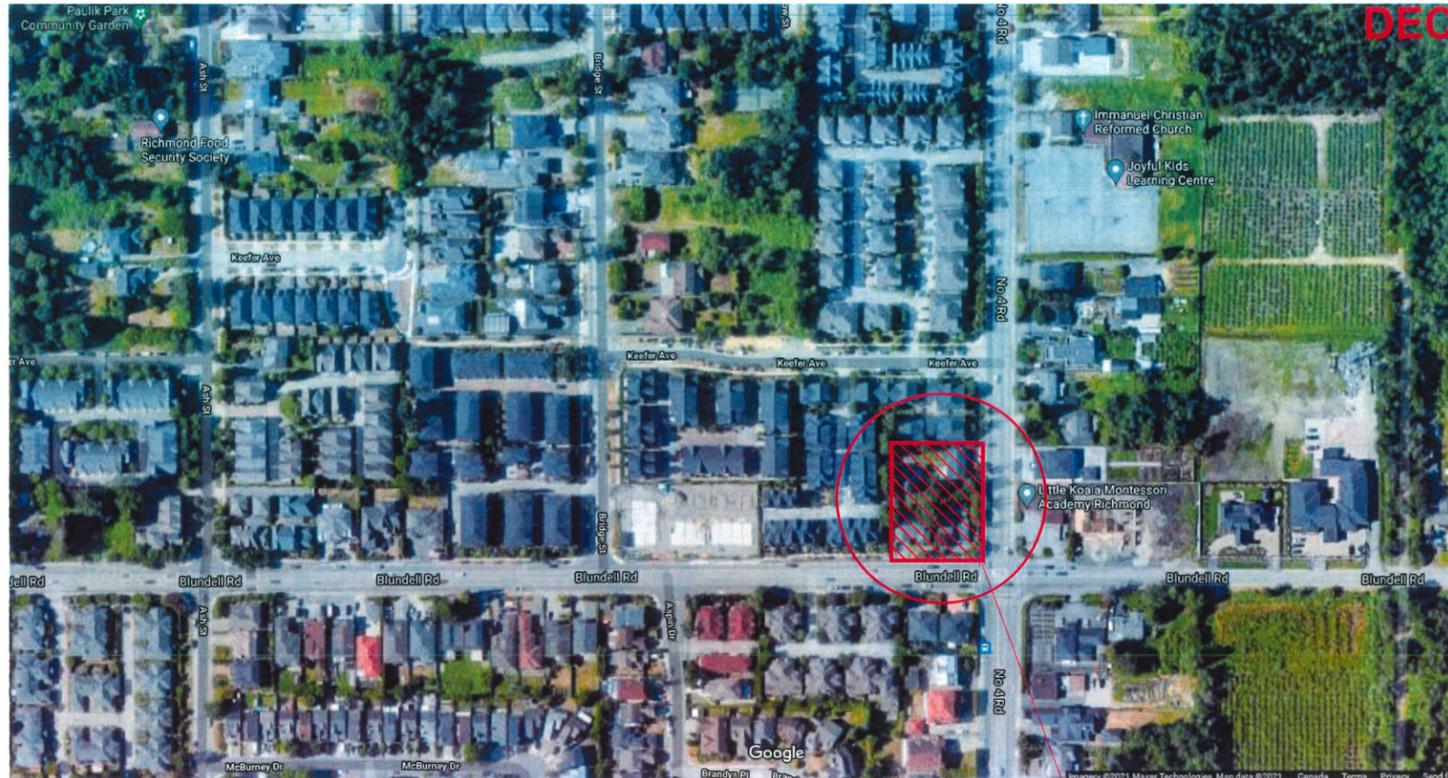
City of Richmond



| | | |
|---|---|--|
|  | <h2>DP 24-045175</h2> <h2>SCHEDULE "A"</h2> | <p>Original Date: 10/01/24</p> <p>Revision Date:</p> <p>Note: Dimensions are in METRES</p> |
|---|---|--|

PROPOSED TOWNHOUSE DEVELOPMENT

9951 & 9991 BLUNDELL ROAD & 7951 NO. 4 ROAD, RICHMOND, BRITISH COLUMBIA



SUBJECT SITE

DP 24-045175
DECEMBER 15, 2025
PLAN #1

NOTES:

2025-12-08 - DP RESUBMISSION

| DATE | DESCRIPTION |
|------------|------------------------------------|
| 2025-12-08 | DP RESUBMISSION |
| 2025-12-08 | DP RESUBMISSION |
| 2025-11-11 | DP RESUBMISSION |
| 2025-10-01 | DP RESUBMISSION |
| 2025-08-28 | DP RESUBMISSION |
| 2024-11-01 | ADP SET FOR REVIEW |
| 2024-10-20 | ADP SET FOR REVIEW |
| 2024-10-20 | DP RESUBMISSION |
| 2024-09-13 | DP APPLICATION |
| 2024-07-01 | RZ RESUBMISSION |
| 2024-04-01 | RZ RESUBMISSION |
| 2024-03-15 | RZ RESUBMISSION |
| 2023-11-01 | RZ RESUBMISSION |
| 2022-10-11 | RZ RESUBMISSION |
| 2022-09-29 | RZ RESUBMISSION |
| 2021-10-15 | RZ RESUBMISSION |
| 2021-08-11 | RZ SUBMISSION |
| 2021-06-16 | ZONING & PRELIMINARY DP SUBMISSION |

DF ARCHITECTURE INC.

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GROUP 161

DF ARCHITECTURE | ATLAS PACIFIC ARCHITECTURE | BARNETT DENNIS ARCHITECTS

GROUP 161 IS NOT AN ARCHITECTURAL FIRM. ALL ARCHITECTURAL SERVICES ARE PROVIDED THROUGH OUR FIRMS THAT HOLD THE CERTIFICATE OF PRACTICE.

PROJECT: PROPOSED TOWNHOUSE DEVELOPMENT

9991 & 9951 BLUNDELL ROAD & 7951 NO. 4 ROAD, RICHMOND, B.C.

CLIENT: WEST KARAGON PROPERTIES INC.

| | |
|---------|---------------|
| DRAWN | PS |
| CHECKED | JA |
| SCALE | 1/16" = 1'-0" |
| JOB NO. | RCH-029 |
| DATE | MARCH 2019 |



SHEET TITLE

COVER PAGE

| | | | |
|-------------|--------------|----------|--|
| DRAWING No. | A-001 | S | |
|-------------|--------------|----------|--|

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| A-305 | BUILDING 3 ELEVATIONS | | |

PROJECT INFO

LEGAL DESCRIPTION:
LOT 59 SEC 15 BLK 4N RG 6W PL NWP40580 Lot 59, Block 4N, Plan NWP40580, Section 15, Range 6W, New Westminster Land District.
LOT 60 SEC 15 BLK 4N RG 6W PL NWP40580 Lot 60, Block 4N, Plan NWP40580, Section 15, Range 6W, New Westminster Land District, EX PCL B, BYLAW 64705.
LOT 61 SEC 15 BLK 4N RG 6W PL NWP40580 Lot 61, Block 4N, Plan NWP40580, Section 15, Range 6W, New Westminster Land District

CIVIC ADDRESS:
9951 & 9991 BLUNDELL ROAD & 7951 NO. 4 ROAD, RICHMOND, BRITISH COLUMBIA

PLANNING AREA:
10 CITY CENTRE - MCLENNAN SOUTH SUB-AREA PLAN

ZONING:
ZONE:
EXISTING: RSM/XL
PROPOSED: RTM2 (Medium Density Townhouse)

LOT AREA:
GROSS SITE AREA - 2680.0 SQM
DEDICATIONS - 273.00 SQM
NET SITE AREA - 2407.0 SQM

PROJECT DIRECTORY

CLIENT:
WEST KARAGON PROPERTIES INC.
CONTACT: KAM GARCHA
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RICHMOND, BC V6X 3Z6
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LANDSCAPE:
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Yiwen@pmglandscape.com

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joey@diamondheadconsulting.com

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info123@easyairseal.ca

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chu@bkl.ca

C:\Users\paul\Documents\RCH-029_2025-12-08_DP_FINAL_Central_layout\A001\A001.dwg

NOTES:

DP 24-045175
DECEMBER 15, 2025
PLAN #2

| PROJECT DATA | | | |
|---------------------|--|-------------------|--|
| CIVIC ADDRESS : | 9991 & 9951 BLUNDELL RD & 7951 NO.4 ROAD, RICHMOND, BC | | |
| LEGAL DESCRIPTION : | LOT 59 SEC 15 BLK 4N RG 6W PL NWP40580 LOT 60 SEC 15 BLK 4N RG 6W PL NWP40580 EX PCL B, BYLAW 64705 LOT 61 SEC 15 BLK 4N RG 6W PL NWP40580 | | |
| LOT INFO | | | |
| GROSS SITE | 28,846.1 SQFT | 2680.0 SQM | |
| DEDICATIONS | 2,938.1 SQFT | 273.0 SQM | |
| NET AREA | 25,908.0 SQFT | 2407.0 SQM | |

| ZONING | |
|----------|---|
| EXISTING | RSM/XL (Small Scale Multi Unit Housing) |
| PROPOSED | RTM2 (Medium Density Townhouses) |

| SETBACKS | REQUIRED | PROPOSED |
|---|----------|----------|
| NORTH | 3.00 M | 3.45 M |
| SOUTH (FROM BLUNDELL RD) - VARIANCE REQUIRED | 6.00 M | 4.80 M |
| EAST- BLDG 2 (NO. 4 ROAD) | 6.00 M | 6.25 M |
| EAST- BLDG 3 (NO. 4 ROAD) - VARIANCE REQUIRED | 6.00 M | 5.10 M |
| WEST | 3.00 M | 4.04 M |

| HEIGHT | REQUIRED | PROPOSED |
|--|----------|----------|
| AVERAGE FINISHED SITE GRADE TO HIGHEST POINT OF THE ROOF | 12M | 11.59M |

| SITE COVERAGE | | | |
|-----------------------|---------------|------------|-------|
| ALLOWED | 10,363.2 SQFT | 962.74 SQM | 40.0% |
| PROPOSED(ON NET AREA) | 10,356.6 SQFT | 962.12 SQM | 40.0% |

| FLOOR AREA RATIO(FAR) | | | |
|------------------------|---------------|-------------|------|
| ALLOWED | 16,841.2 SQFT | 1564.55 SQM | 0.65 |
| PROPOSED (ON NET AREA) | 16,838.1 SQFT | 1,564.3 SQM | 0.65 |

| PRIVATE OUTDOOR SPACE | | | | |
|--------------------------------|-------------------|-----------------|-----------------|----------------|
| UNIT TYPE | REQUIRED PER UNIT | PROVIDED (LVL1) | PROVIDED (LVL2) | TOTAL PROVIDED |
| UNIT A (2 STOREY ELEC) | 37 SQM. | 42.73 SQM. | 11.35 SQM. | 54.08 SQM. |
| UNIT A1 (2 STOREY CONVERTIBLE) | 37 SQM. | 34.67 SQM. | 13.37 SQM. | 48.04 SQM. |
| UNIT A2 (2 STOREY CONVERTIBLE) | 37 SQM. | 39.56 SQM. | 13.37 SQM. | 52.93 SQM. |
| UNIT B | 37 SQM. | 34.23 SQM. | 6.12 SQM. | 40.35 SQM. |
| UNIT B2 | 37 SQM. | 37.99 SQM. | 6.04 SQM. | 44.03 SQM. |
| UNIT C | 37 SQM. | 31.37 SQM. | 11.62 SQM. | 42.99 SQM. |
| UNIT C1 | 37 SQM. | 28.55 SQM. | 11.81 SQM. | 40.36 SQM. |
| UNIT C2 | 37 SQM. | 29.02 SQM. | 12.36 SQM. | 41.38 SQM. |
| UNIT C3 | 37 SQM. | 31.68 SQM. | 12.36 SQM. | 44.04 SQM. |
| UNIT C4 & C5 | 37 SQM. | 26.24 SQM. | 12.86 SQM. | 39.10 SQM. |

| OFF STREET PARKING | | | | |
|--|----------------------|-----------------------|-------------|---------------|
| REQUIRED PARKING | NO. OF UNITS | REQUIRED CARS PER D.U | NO. OF CARS | REQUIRED CARS |
| RESIDENTIAL REQUIRED (AS PER ZONE 3 CITY CENTRE) | 14 | 1.4 | 19.6 | 20 |
| VISITORS CAR PARK REQUIRED | 14 | 0.2 | 2.8 | 3 |
| TOTAL NO. OF PARKING REQUIRED | | | | 23 |
| REQUIRED ACCESSIBLE PARKING | | | | |
| | 2% OF TOTAL REQUIRED | | 0.5 | 1 |
| DETAIL OF PROPOSED PARKING | | | | |
| PROPOSED TANDEM RESIDENT PARKING | | | | 8 |
| PROPOSED SIDE BY SIDE RESIDENT PARKING (STANDARD) | | | | 6 |
| PROPOSED SIDE BY SIDE RESIDENT PARKING (SMALL CAR) | | | | 6 |
| PROPOSED VISITORS PARKING | VAN ACCESSIBLE | | | 1 |
| | STANDARD VISITOR | | | 2 |
| PROPOSED ADDITIONAL PARKING (TANDEM UNITS) | | | | 8 |
| TOTAL PROPOSED PARKING | | | | 31 |

NOTE: All resident parking spaces to be equipped with level 2 ev charging outlets as per bylaw requirements.

| BICYCLE PARKING | | | | |
|-----------------------|--------------|------------------------|--------------|----------------|
| REQUIRED BIKE PARKING | NO. OF UNITS | REQUIRED BIKES PER D.U | NO. OF BIKES | REQUIRED BIKES |
| CLASS 1 BIKE PARKING | 14 | 1.25 | 17.5 | 18 |
| CLASS 2 BIKE PARKING | 14 | 0.2 | 2.8 | 3 |
| PROPOSED BIKE PARKING | | | | |
| PROPOSED BIKE PARKING | CLASS 1 | | | 22 |
| | CLASS 2 | | | 3 |

| AMENITY CALCULATION | | | |
|---------------------|--------------|---------------|-------------------|
| OUTDOOR AMENITY | NO. OF UNITS | AREA PER UNIT | AREA |
| REQUIRED | 14 | 6 SQM. | 84 SQM. |
| PROVIDED | | | 86.32 SQM. |

| FAR CALCULATION | | | | | | | | | | | | | |
|---------------------------|----------------|------------|------------|------------|------------------|----------------------|------------|------------------------|------------------------------|--------------|-------------------------|--------------------|--|
| UNIT TYPE | NOS | GROSS AREA | | | | UNIT AREA | GROSS AREA | EXCLUSIONS | | | UNIT AREA | NET AREA | |
| | | LVL 1 | LVL 2 | LVL 3 | GARAGE DEDUCTION | | | STAIRS+ENTRY DEDUCTION | STAIRS DEDUCTION UPPER FLOOR | NET AREA | | NET AREA(SQM) | |
| A (2 STOREY ELEC.) | 1 D.U. | 946.02 SFT | 880.67 SFT | 0.00 SFT | 1,826.69 SFT | 1,826.69 SFT | 447.37 SFT | 103.65 SFT | 48.81 SFT | 1,226.86 SFT | 1,226.86 SFT | 114.0 SQM | |
| A1 (2 STOREY CONVERTIBLE) | 1 D.U. | 953.04 SFT | 879.61 SFT | 0.00 SFT | 1,832.65 SFT | 1,832.65 SFT | 450.08 SFT | 107.01 SFT | 57.29 SFT | 1,218.27 SFT | 1,218.27 SFT | 113.2 SQM | |
| A2 (2 STOREY CONVERTIBLE) | 1 D.U. | 953.04 SFT | 879.61 SFT | 0.00 SFT | 1,832.65 SFT | 1,832.65 SFT | 450.09 SFT | 106.98 SFT | 57.29 SFT | 1,218.29 SFT | 1,218.29 SFT | 113.2 SQM | |
| B | 2 D.U. | 570.92 SFT | 589.04 SFT | 606.46 SFT | 1,766.42 SFT | 3,532.84 SFT | 402.15 SFT | 99.41 SFT | 48.57 SFT | 1,216.29 SFT | 2,432.58 SFT | 226.0 SQM | |
| B2 CORNER | 1 D.U. | 576.06 SFT | 586.22 SFT | 629.09 SFT | 1,791.37 SFT | 1,791.37 SFT | 405.63 SFT | 100.10 SFT | 48.57 SFT | 1,237.07 SFT | 1,237.07 SFT | 114.9 SQM | |
| C (3 BEDRM. TANDEM) | 1 D.U. | 624.33 SFT | 552.11 SFT | 674.59 SFT | 1,851.03 SFT | 1,851.03 SFT | 532.92 SFT | 91.41 SFT | 50.28 SFT | 1,176.42 SFT | 1,176.42 SFT | 109.3 SQM | |
| C1 (3 BEDRM. TANDEM) | 1 D.U. | 624.00 SFT | 552.11 SFT | 674.50 SFT | 1,850.61 SFT | 1,850.61 SFT | 532.92 SFT | 91.41 SFT | 50.28 SFT | 1,176.00 SFT | 1,176.00 SFT | 109.3 SQM | |
| C2 (CORNER) | 1 D.U. | 630.50 SFT | 566.91 SFT | 692.91 SFT | 1,890.32 SFT | 1,890.32 SFT | 538.07 SFT | 92.43 SFT | 41.92 SFT | 1,217.90 SFT | 1,217.90 SFT | 113.1 SQM | |
| C3 (ELEC. CLOSET) | 1 D.U. | 630.50 SFT | 566.95 SFT | 692.97 SFT | 1,890.42 SFT | 1,890.42 SFT | 538.07 SFT | 92.43 SFT | 41.92 SFT | 1,218.00 SFT | 1,218.00 SFT | 113.2 SQM | |
| C4 | 2 D.U. | 624.00 SFT | 549.33 SFT | 679.39 SFT | 1,852.72 SFT | 3,705.44 SFT | 538.02 SFT | 84.94 SFT | 39.93 SFT | 1,189.83 SFT | 2,379.66 SFT | 221.1 SQM | |
| C5 | 2 D.U. | 624.00 SFT | 549.33 SFT | 663.90 SFT | 1,837.23 SFT | 3,674.46 SFT | 538.02 SFT | 84.94 SFT | 45.73 SFT | 1,168.54 SFT | 2,337.08 SFT | 217.1 SQM | |
| TOTAL | 14 D.U. | | | | | 25,678.48 SFT | | | | | 16,838.13 Sq.Ft. | 1,564.3 SQM | |
| FAR PROPOSED | | | | | | | | | | | | 0.65 | |

| | | |
|------------|---|------------------------------------|
| 2025-12-08 | A | DP RESUBMISSION |
| 2025-11-02 | B | DP RESUBMISSION |
| 2025-11-12 | D | DP RESUBMISSION |
| 2025-10-01 | F | DP RESUBMISSION |
| 2025-09-29 | G | DP RESUBMISSION |
| 2024-11-06 | N | ADP SET FOR REVIEW |
| 2024-10-29 | M | ADP SET FOR REVIEW |
| 2024-10-09 | L | DP RESUBMISSION |
| 2024-09-11 | K | DP ADP ACTION |
| 2024-07-02 | J | PZ RESUBMISSION |
| 2024-06-04 | I | PZ RESUBMISSION |
| 2024-05-19 | H | PZ RESUBMISSION |
| 2022-11-01 | G | PZ RESUBMISSION |
| 2022-10-11 | F | PZ RESUBMISSION |
| 2022-09-29 | E | PZ RESUBMISSION |
| 2021-10-19 | D | PZ RESUBMISSION |
| 2021-08-17 | C | PZ SUBMISSION |
| 2021-06-16 | B | ZONING & PRELIMINARY DP SUBMISSION |

DF ARCHITECTURE INC.
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info@dfarchitecture.ca

GROUP 161
OF ARCHITECTURE + URBAN/PLANNING ARCHITECTURE + INTERIOR DESIGN ARCHITECTS
GROUP 161 IS NOT AN ARCHITECTURAL FIRM. ALL ARCHITECTURAL SERVICES ARE PROVIDED THROUGH OUR FIRMS THAT HOLD THE CERTIFICATE OF PRACTICE.

PROJECT:
PROPOSED TOWNHOUSE DEVELOPMENT
9991 & 9951 BLUNDELL ROAD & 7951 NO. 4 ROAD, RICHMOND, B.C.

CLIENT:
WEST KARAGON PROPERTIES INC.

DRAWN: PS
CHECKED: JA
SCALE:
JOB NO: RCH-029
DATE: MARCH 2019
SHEET TITLE:



DEVELOPMENT DATA

DRAWING No. **A-002** **S**

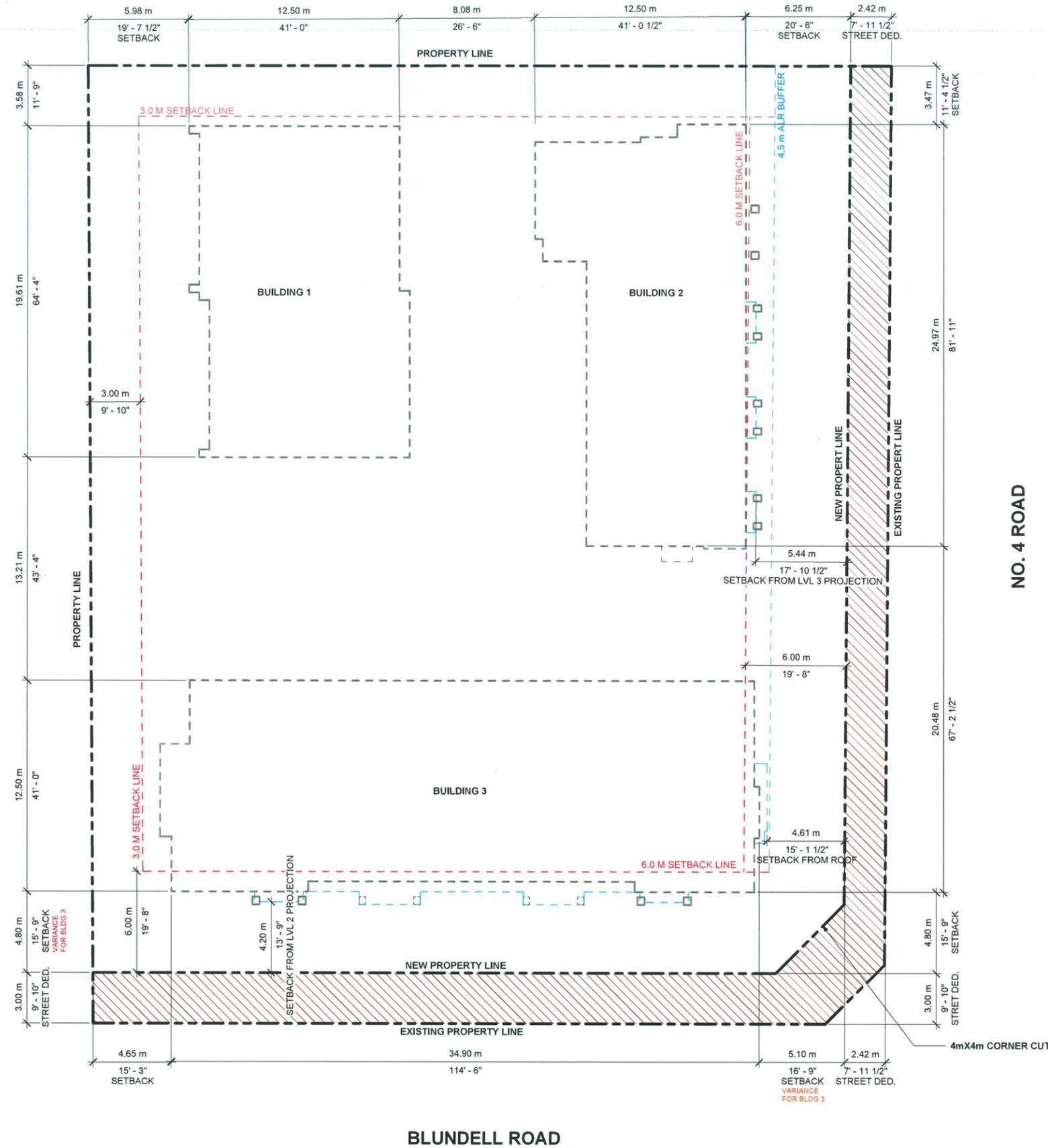
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2025-12-08 - DP RESUBMISSION

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NOTES:

DP 24-045175
DECEMBER 15, 2025
PLAN #3



NO. 4 ROAD

BLUNDELL ROAD

1
A-003
BASE PLAN
 3/32" = 1'-0"

| | | |
|------------|---|------------------------------------|
| 2025-12-09 | R | DP RESUBMISSION |
| 2025-12-09 | R | DP RESUBMISSION |
| 2025-11-12 | R | DP RESUBMISSION |
| 2025-10-21 | R | DP RESUBMISSION |
| 2025-09-29 | R | DP RESUBMISSION |
| 2024-11-09 | N | ADP SET FOR REVIEW |
| 2024-10-29 | M | ADP SET FOR REVIEW |
| 2024-10-29 | L | DP RESUBMISSION |
| 2024-09-11 | R | DP APPLICATION |
| 2024-07-02 | L | B7 RESUBMISSION |
| 2024-04-24 | L | B7 RESUBMISSION |
| 2024-01-19 | L | B7 RESUBMISSION |
| 2022-11-01 | R | B7 RESUBMISSION |
| 2022-10-11 | R | B7 RESUBMISSION |
| 2022-03-29 | R | B7 RESUBMISSION |
| 2021-10-19 | R | B7 RESUBMISSION |
| 2021-09-12 | C | RZ SUBMISSION |
| 2021-06-16 | R | ZONING & PRELIMINARY DP SUBMISSION |

DF ARCHITECTURE INC.

350-10851 SHELLBRIDGE WAY, RICHMOND, B.C.
 CANADA V6X 2W2
 T: (604) 284-5194 F: (604) 284-5131
 www.dfarchitecture.ca



OF ARCHITECTURE | ATLAS PACIFIC ARCHITECTURE | BARNETT DESIGN ARCHITECTS
 GROUP 161 IS NOT AN ARCHITECTURAL FIRM. ALL ARCHITECTURAL SERVICES ARE PROVIDED THROUGH OUR FIRMS THAT HOLD THE CERTIFICATE OF PRACTICE.

PROJECT:
PROPOSED TOWNHOUSE DEVELOPMENT

9991 & 9951 BLUNDELL ROAD & 7951 NO. 4 ROAD, RICHMOND, B.C.

CLIENT:
WEST KARAGON PROPERTIES INC.

| | |
|-------------|---------------|
| DRAWN | PS |
| CHECKED | JA |
| SCALE | 3/32" = 1'-0" |
| JOB NO. | RCH-029 |
| DATE | MARCH 2019 |
| SHEET TITLE | |



BASE PLAN

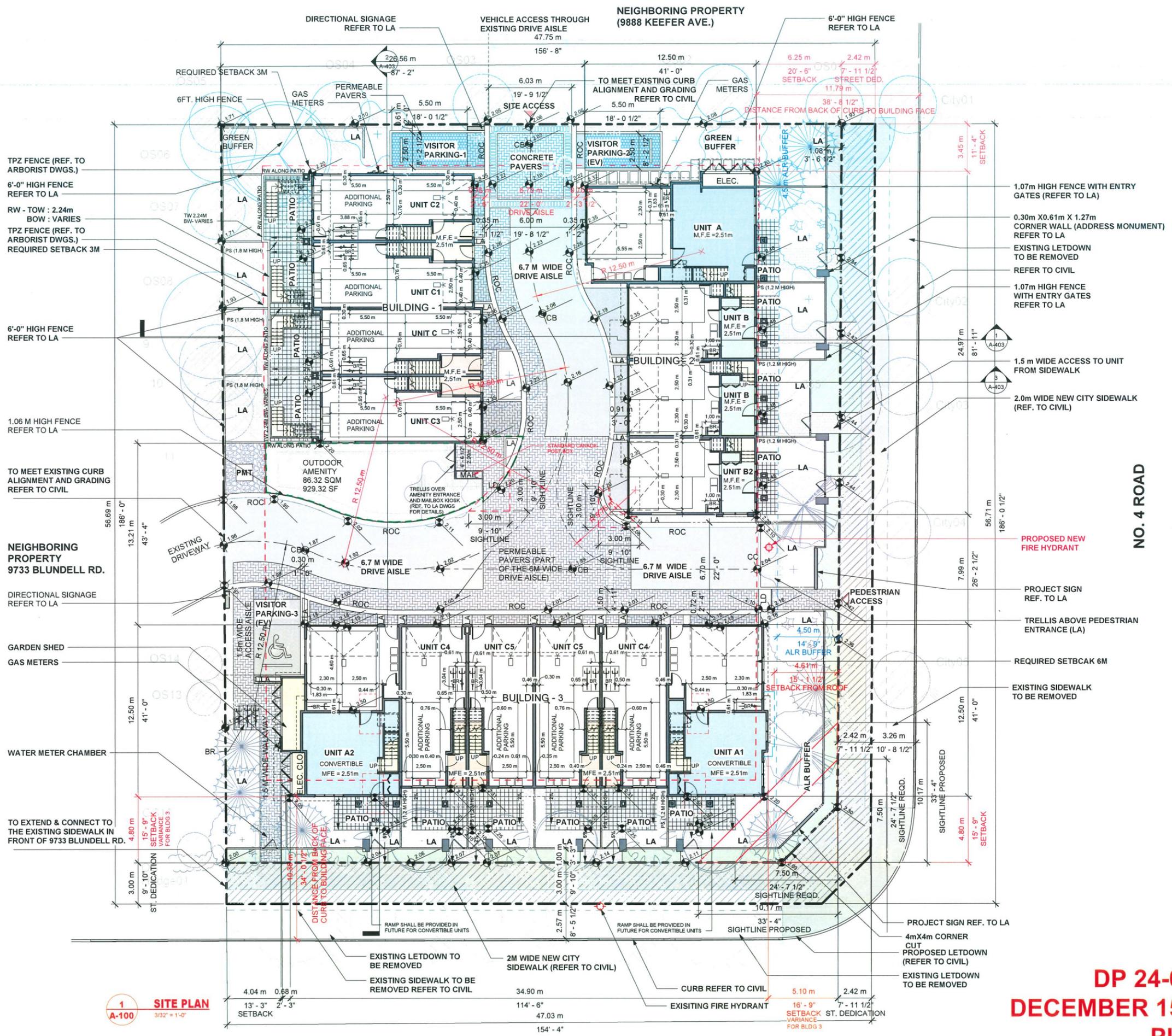
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| DRAWING No. | A-003 | S | N |
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2025-12-08 - DP RESUBMISSION

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NOTES:

- CHARACTER AND COLOR OF CONCRETE PAVERS REF. TO LANDSCAPE DRAWINGS.
- ALL PLANTING MATERIAL AND LANDSCAPE DESIGN AREA REF. TO LANDSCAPE DRAWINGS.
- ALL GRADING, LOCATION OF CATCH BASINS, CURB ALIGNMENT, PEDESTRIAN CROSSING REF. TO CIVIL DRAWINGS.
- EXCAVATION TO BE CARRIED OUT UNDER THE SUPERVISION OF THE ARBORIST.

LEGEND:

- PL - PROPERTY LINE
- LA - LANDSCAPING
- BR - BIKE RACK
- BL - BOLLARD LIGHT
- CC - CONCRETE CURB
- ROC - ROLL OVER CURB
- SC - SMALL CAR
- LD - LETDOWN
- CB - CATCH BASIN

AVERAGE GRADE CALCULATIONS:

SITE CORNERS:
 SW - 2.00
 NW - 1.71
 SE - 2.09 & 2.30 AVG = 2.19
 NE - 1.93
 SITE AVERAGE = 1.96

BUILDING 1 CORNERS:
 SW - 2.20
 NW - 2.20
 SE - 2.35
 NE - 2.35
 BUILDING 1 AVG GRADE = 2.28

BUILDING 2 CORNERS:
 SW - 2.15
 NW - 2.32
 SE - 2.20
 NE - 2.20
 BUILDING 2 AVG GRADE = 2.22

BUILDING 3 CORNERS:
 SW - 2.05
 NW - 2.18
 SE - 2.20
 NE - 2.18
 BUILDING 3 AVG GRADE = 2.15

FINISHED AVERAGE SITE GRADE:
 (1.96 + 2.28 + 2.22 + 2.15) / 4 = 2.15M

| NO. | REVISION | DATE | DESCRIPTION |
|-----|-----------------|------|-------------|
| 01 | DP RESUBMISSION | | |
| 02 | DP RESUBMISSION | | |
| 03 | DP RESUBMISSION | | |
| 04 | DP RESUBMISSION | | |
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| 97 | DP RESUBMISSION | | |
| 98 | DP RESUBMISSION | | |
| 99 | DP RESUBMISSION | | |
| 100 | DP RESUBMISSION | | |

DF ARCHITECTURE INC.
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 www.dfarchitecture.ca

GROUP 161
 DF ARCHITECTURE + ATLAS PACIFIC ARCHITECTURE BARNETT DESIGN ARCHITECTS

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PROJECT: PROPOSED TOWNHOUSE DEVELOPMENT

9991 & 9951 BLUNDELL ROAD & 7951 NO. 4 ROAD, RICHMOND, B.C.

CLIENT:
WEST KARAGON PROPERTIES INC.

| | |
|-------------|---------------|
| DRAWN | PS |
| CHECKED | JA |
| SCALE | 3/32" = 1'-0" |
| JOB NO. | RCH-029 |
| DATE | MARCH 2019 |
| SHEET TITLE | 2025-12-08 |

SITE PLAN

DRAWING NO. **A-100 S**

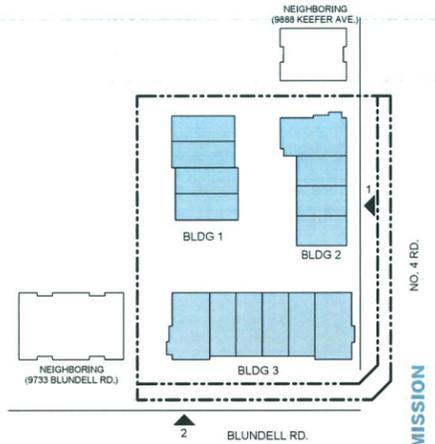
DP 24-045175
DECEMBER 15, 2025
PLAN #4

2025-12-08 - DP RESUBMISSION

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NOTES:



KEY PLAN

| REVISION NUMBER | DATE | DESCRIPTION |
|-----------------|------|-------------------------------------|
| 2025-12-08 | S | DP RESUBMISSION |
| 2025-12-02 | R | DP RESUBMISSION |
| 2025-11-12 | Q | DP RESUBMISSION |
| 2025-10-01 | P | DP RESUBMISSION |
| 2025-09-20 | O | DP RESUBMISSION |
| 2024-11-05 | N | ADP SET FOR REVIEW |
| 2024-10-29 | M | ADP SET FOR REVIEW |
| 2024-10-29 | L | DP RESUBMISSION |
| 2024-09-13 | K | DP APPLICATION |
| 2024-07-02 | J | PZ RESUBMISSION |
| 2024-04-01 | I | PZ RESUBMISSION |
| 2024-01-10 | H | PZ RESUBMISSION |
| 2022-11-01 | G | PZ RESUBMISSION |
| 2022-10-11 | F | PZ RESUBMISSION |
| 2022-03-28 | E | PZ RESUBMISSION |
| 2021-09-14 | D | PZ RESUBMISSION |
| 2021-09-12 | C | CONCEPT & PRELIMINARY DP SUBMISSION |
| 2021-09-14 | B | CONCEPT & PRELIMINARY DP SUBMISSION |

DF ARCHITECTURE INC.

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info@dfarchitecture.ca

GROUP 161

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**PROJECT
PROPOSED TOWNHOUSE
DEVELOPMENT**

9991 & 9951 BLUNDELL ROAD &
7951 NO. 4 ROAD, RICHMOND, B.C.

CLIENT:
**WEST KARAGON PROPERTIES
INC.**

| | |
|---------|--------------|
| DRAWN | PS |
| CHECKED | JA |
| SCALE | 1/8" = 1'-0" |
| JOB NO. | RCH-029 |
| DATE | MARCH 2019 |
| DATE | 2025-12-08 |

SHEET TITLE

STREETSCAPE

| | | | |
|-------------|--------------|----------|----------|
| DRAWING No. | A-306 | S | N |
|-------------|--------------|----------|----------|

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1 SCALE COMPATIBILITY- NO. 4 RD.

1/8" = 1'-0"



2 SCALE COMPATIBILITY - BLUNDELL RD.

1/8" = 1'-0"

**DP 24-045175
DECEMBER 15, 2025
PLAN #5**

2025-12-08 - DP RESUBMISSION

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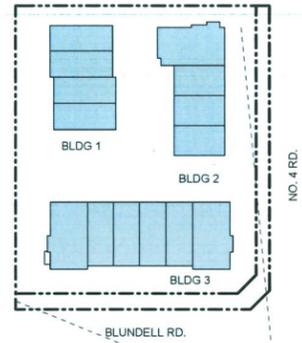
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SCHEDULE OF FINISHES

1. COLOR : TWILIGHT GREY
- ASPHALT SHINGLES
2. COLOR : SEA GRAY 6
BRICK: HEBRON BRICK UPER SCOTTY
3. COLOR : DIVINE WHITE SW 6105
- BOARD AND BATTEN
- HARDIE BOARD SIDING
- WOOD WINDOW AND CORNER TRIMS
4. COLOR : ANEW GRAY SW 7030
- SMOOTH FINISH HARDIE LAP - SIDING
5. COLOR : ACADE WHITE SW 7100
- HARDIE BOARD AND BATTEN
6. COLOR : BM 1603 GRAPHITE
- PAINTED FASCIA
- PERFORATED VINYL SOFFIT
- DOORS AND WINDOW FRAMES
- GUTTERS
- WOODEN GABLE VENTS
- PRIVACY SCREEN.
- DECORATIVE METAL GUARDS

NOTES:



KEY PLAN

DP 24-045175
DECEMBER 15, 2025
PLAN #6

| REVISION NUMBER | DATE | DESCRIPTION |
|-----------------|------|------------------------------------|
| 2025-12-08 | A | DP RESUBMISSION |
| 2025-12-08 | B | DP RESUBMISSION |
| 2025-11-11 | C | DP RESUBMISSION |
| 2025-10-21 | D | DP RESUBMISSION |
| 2025-09-29 | E | DP RESUBMISSION |
| 2024-11-09 | N | APP SET FOR REVIEW |
| 2024-10-29 | M | APP SET FOR REVIEW |
| 2024-10-29 | L | DP RESUBMISSION |
| 2024-09-11 | K | DP APPLICATION |
| 2024-07-29 | J | PZ RESUBMISSION |
| 2024-06-24 | I | PZ RESUBMISSION |
| 2024-05-14 | H | PZ RESUBMISSION |
| 2022-11-01 | G | PZ RESUBMISSION |
| 2022-10-14 | F | PZ RESUBMISSION |
| 2021-09-29 | E | PZ RESUBMISSION |
| 2021-10-19 | D | PZ RESUBMISSION |
| 2021-09-12 | C | PZ RESUBMISSION |
| 2021-09-10 | B | ZONING & PRELIMINARY DP SUBMISSION |

DF ARCHITECTURE INC.

350-10951 SHELLBROCKE WAY RICHMOND B.C.
CANADA V6X 2V9
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info@dfarchitecture.ca



OF ARCHITECTURE | TELUS PACIFIC ARCHITECTURE | BARNETT DESIGN ARCHITECTS

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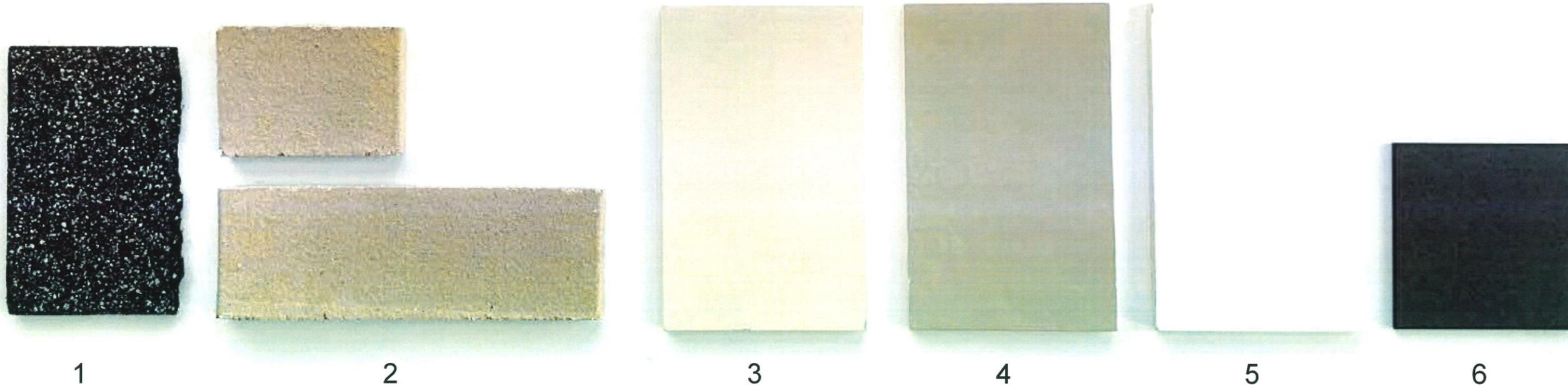
PROJECT:
PROPOSED TOWNHOUSE DEVELOPMENT

9991 & 9951 BLUNDELL ROAD & 7951 NO. 4 ROAD, RICHMOND, B.C

CLIENT:
WEST KARAGON PROPERTIES INC.

| | |
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| DRAWN | PS |
| CHECKED | JA |
| SCALE | As indicated |
| JOB NO. | RCH-029 |
| DATE | MARCH 2019 |
| SHEET TITLE | 2025-12-08 |

MATERIAL BOARD



| | | | |
|-------------|--------------|----------|--|
| DRAWING No. | A-500 | S | |
|-------------|--------------|----------|--|

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1 BUILDING 1 EAST ELEV.
1/4" = 1'-0"

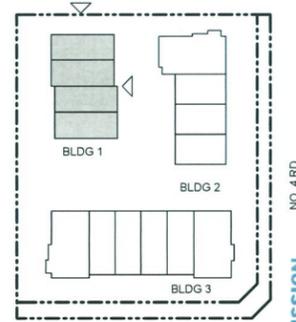


2 BUILDING 1 NORTH ELEV.
1/4" = 1'-0"

SCHEDULE OF FINISHES

- SMOOTH FINISH HARDIE LAP - SIDING COLOR TO MATCH: DIVINE WHITE SW 6105
- BRICK - SEA GRAY 6 - HEBRON BRICK SUPER SCOTTY
- HARDIE BOARD AND BATTEN - COLOUR TO MATCH: DIVINE WHITE SW 6105
- PAINTED VINYL WINDOWS - COLOR TO MATCH: GRAPHITE BM 1603 OR SIMILAR STANDARD
- COLOR: BM 1603 GRAPHITE
- PAINTED FASCIA
- PERFORATED VINYL SOFFIT
- DOORS
- GUTTERS
- WOODEN GABLE VENTS
- PRIVACY SCREEN
- DECORATIVE METAL GUARDS
- ASPHALT SHINGLES - COLOR: TWILIGHT GREY.
- GARAGE DOOR COLOR TO MATCH: BM 2137-40 DESERT TWILIGHT.
- SMOOTH FINISH HARDIE LAP - SIDING COLOR TO MATCH: ANEW GRAY SW 7030
- HARDIE BOARD AND BATTEN - COLOUR TO MATCH: ARCADE WHITE SW 7100

DP 24-045175
DECEMBER 15, 2025
PLAN #7



KEY PLAN

| DATE | DESCRIPTION | BY |
|------------|------------------------------------|----|
| 2025-12-08 | DP RESUBMISSION | A |
| 2025-12-02 | DP RESUBMISSION | B |
| 2025-11-14 | DP RESUBMISSION | G |
| 2025-10-01 | DP RESUBMISSION | P |
| 2025-09-29 | DP RESUBMISSION | C |
| 2024-11-06 | ADP SET FOR REVIEW | N |
| 2024-10-29 | ADP SET FOR REVIEW | M |
| 2024-10-29 | DP RESUBMISSION | L |
| 2024-09-11 | DP APPLICATION | K |
| 2024-07-20 | PZ RESUBMISSION | J |
| 2024-06-04 | PZ RESUBMISSION | I |
| 2024-01-10 | PZ RESUBMISSION | H |
| 2022-11-01 | PZ RESUBMISSION | G |
| 2022-10-11 | PZ RESUBMISSION | F |
| 2022-09-29 | PZ RESUBMISSION | E |
| 2021-10-19 | PZ RESUBMISSION | D |
| 2021-06-11 | PZ RESUBMISSION | C |
| 2021-05-19 | ZONING & PRELIMINARY DP SUBMISSION | B |

DF ARCHITECTURE INC.

350-1015 SHELLBRIDGE WAY, RICHMOND B.C.
CANADA V6X 2W9
T (604) 284-5134 F (604) 284-5131
www.dfarchitecture.ca

GROUP 161

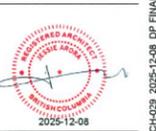
BY ARCHITECTURE / ATLAS PACIFIC ARCHITECTURE / BARNETT DRIBBLE ARCHITECTS
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PROJECT: PROPOSED TOWNHOUSE DEVELOPMENT

9991 & 9951 BLUNDELL ROAD & 7951 NO. 4 ROAD, RICHMOND, B.C.

CLIENT: WEST KARAGON PROPERTIES INC.

DRAWN PS
CHECKED JA
SCALE As indicated
JOB NO. RCH-029
DATE MARCH 2019



SHEET TITLE

BUILDING 1 ELEVATIONS

DRAWING No. **A-300 S**

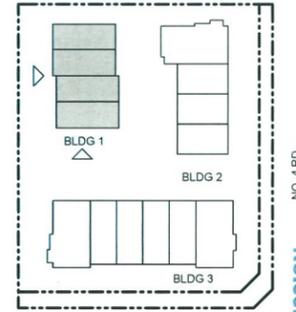
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2025-12-08 - DP RESUBMISSION NO. 4 RD.

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DP 24-045175
DECEMBER 15, 2025
PLAN #8

NOTES:



KEY PLAN

| DATE | BY | DESCRIPTION |
|------------|----|------------------------------------|
| 2025-12-08 | A | DP RESUBMISSION |
| 2025-12-02 | B | DP RESUBMISSION |
| 2025-11-17 | C | DP RESUBMISSION |
| 2025-10-01 | D | DP RESUBMISSION |
| 2025-09-29 | E | DP RESUBMISSION |
| 2024-11-06 | N | APP SET FOR REVIEW |
| 2024-10-29 | M | APP SET FOR REVIEW |
| 2024-10-29 | L | DP RESUBMISSION |
| 2024-09-11 | K | DP APPLICATION |
| 2024-07-29 | J | PZ RESUBMISSION |
| 2024-06-04 | I | PZ RESUBMISSION |
| 2024-05-17 | H | PZ RESUBMISSION |
| 2023-11-01 | G | PZ RESUBMISSION |
| 2022-10-11 | F | PZ RESUBMISSION |
| 2022-09-29 | E | PZ RESUBMISSION |
| 2021-10-19 | D | PZ RESUBMISSION |
| 2021-09-16 | C | PZ RESUBMISSION |
| 2021-08-18 | B | ZONING & PRELIMINARY DP SUBMISSION |

DF ARCHITECTURE INC.

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 info@dfarchitecture.ca

GROUP 161

OF ARCHITECTURE | ATLAS ARCHITECTURE | BARNETT ORRIS ARCHITECTS
 GROUP 161 IS NOT AN ARCHITECTURAL FIRM. ALL ARCHITECTURAL SERVICES ARE PROVIDED THROUGH OUR FIRMS THAT HOLD THE CERTIFICATE OF PRACTICE.

PROJECT: PROPOSED TOWNHOUSE DEVELOPMENT

9991 & 9951 BLUNDELL ROAD & 7951 NO. 4 ROAD, RICHMOND, B.C.

CLIENT: **WEST KARAGON PROPERTIES INC.**

| | |
|---------|--------------|
| DRAWN | PS |
| CHECKED | JA |
| SCALE | As indicated |
| JOB NO. | RCH-029 |
| DATE | MARCH 2019 |



SHEET TITLE

BUILDING 1 ELEVATIONS

| | | | |
|-------------|--------------|----------|--|
| DRAWING No. | A-301 | S | |
|-------------|--------------|----------|--|

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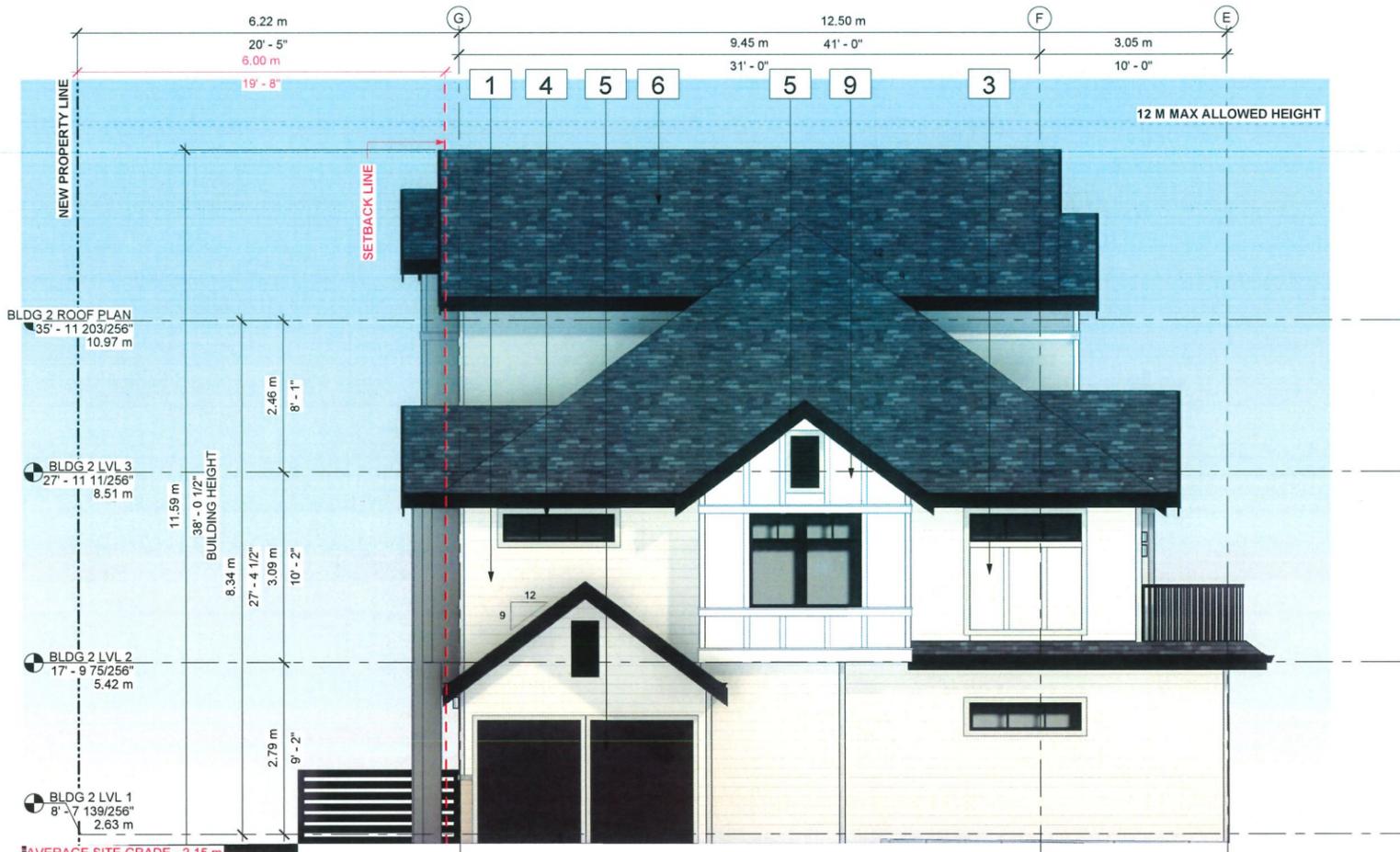
2 BUILDING 1 WEST ELEV.
 A-301 1/4" = 1'-0"



1 BUILDING 1 SOUTH ELEV.
 A-301 1/4" = 1'-0"

2025-12-08 - DP RESUBMISSION NO. 4 RD.

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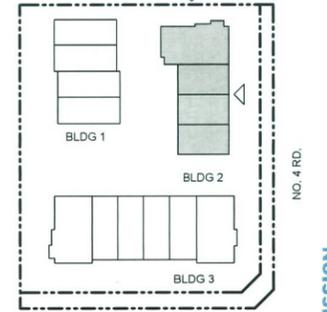


SCHEDULE OF FINISHES

- SMOOTH FINISH HARDIE LAP - SIDING COLOR TO MATCH: DIVINE WHITE SW 6105
- BRICK - SEA GRAY 6 - HEBRON BRICK SUPER SCOTTY
- HARDIE BOARD AND BATTEN - COLOUR TO MATCH: DIVINE WHITE SW 6105
- PAINTED VINYL WINDOWS - COLOR TO MATCH: GRAPHITE BM 1603 OR SIMILAR STANDARD
- COLOR - BM 1603 GRAPHITE - PAINTED FASCIA - PERFORATED VINYL SOFFIT - DOORS - GUTTERS - WOODEN GABLE VENTS - PRIVACY SCREEN - DECORATIVE METAL GUARDS
- ASPHALT SHINGLES - COLOR: TWILIGHT GREY.
- GARAGE DOOR COLOR TO MATCH: BM 2137-40 DESERT TWILIGHT.
- SMOOTH FINISH HARDIE LAP - SIDING COLOR TO MATCH: ANEW GRAY SW 7030
- HARDIE BOARD AND BATTEN - COLOUR TO MATCH: ARCADE WHITE SW 7100

NOTES:

DP 24-045175
DECEMBER 15, 2025
PLAN #9



KEY PLAN

| DATE | REVISION | DESCRIPTION |
|------------|----------|------------------------------------|
| 2025-12-08 | A | DP RESUBMISSION |
| 2025-12-02 | B | DP RESUBMISSION |
| 2025-11-14 | C | DP RESUBMISSION |
| 2025-10-01 | D | DP RESUBMISSION |
| 2025-09-28 | E | DP RESUBMISSION |
| 2024-11-05 | N | APP SET FOR REVIEW |
| 2024-10-29 | M | APP SET FOR REVIEW |
| 2024-10-28 | L | DP RESUBMISSION |
| 2024-05-11 | K | DP APPLICATION |
| 2024-07-29 | J | PZ RESUBMISSION |
| 2024-04-04 | I | PZ RESUBMISSION |
| 2024-03-19 | H | PZ RESUBMISSION |
| 2022-11-01 | G | PZ RESUBMISSION |
| 2022-10-14 | F | PZ RESUBMISSION |
| 2022-03-28 | E | PZ RESUBMISSION |
| 2021-10-14 | D | PZ RESUBMISSION |
| 2021-08-14 | C | PZ RESUBMISSION |
| 2021-06-18 | B | ZONING & PRELIMINARY DP SUBMISSION |

DF ARCHITECTURE INC.

350-10951 SHELLBRIDGE WAY RICHMOND, B.C.
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 info@dfarchitecture.ca



GROUP 161 IS NOT AN ARCHITECTURAL FIRM. ALL ARCHITECTURAL SERVICES ARE PROVIDED THROUGH OUR FIRMS THAT HOLD THE CERTIFICATE OF PRACTICE.

PROJECT:
PROPOSED TOWNHOUSE DEVELOPMENT

9991 & 9951 BLUNDELL ROAD & 7951 NO. 4 ROAD, RICHMOND, B.C.

CLIENT:
WEST KARAGON PROPERTIES INC.

| | |
|-------------|--------------|
| DRAWN | PS |
| CHECKED | JA |
| SCALE | As indicated |
| JOB NO. | RCH-029 |
| DATE | MARCH 2019 |
| SHEET TITLE | |



BUILDING 2 ELEVATIONS

| | | | |
|-------------|--------------|----------|--|
| DRAWING No. | A-302 | S | |
|-------------|--------------|----------|--|

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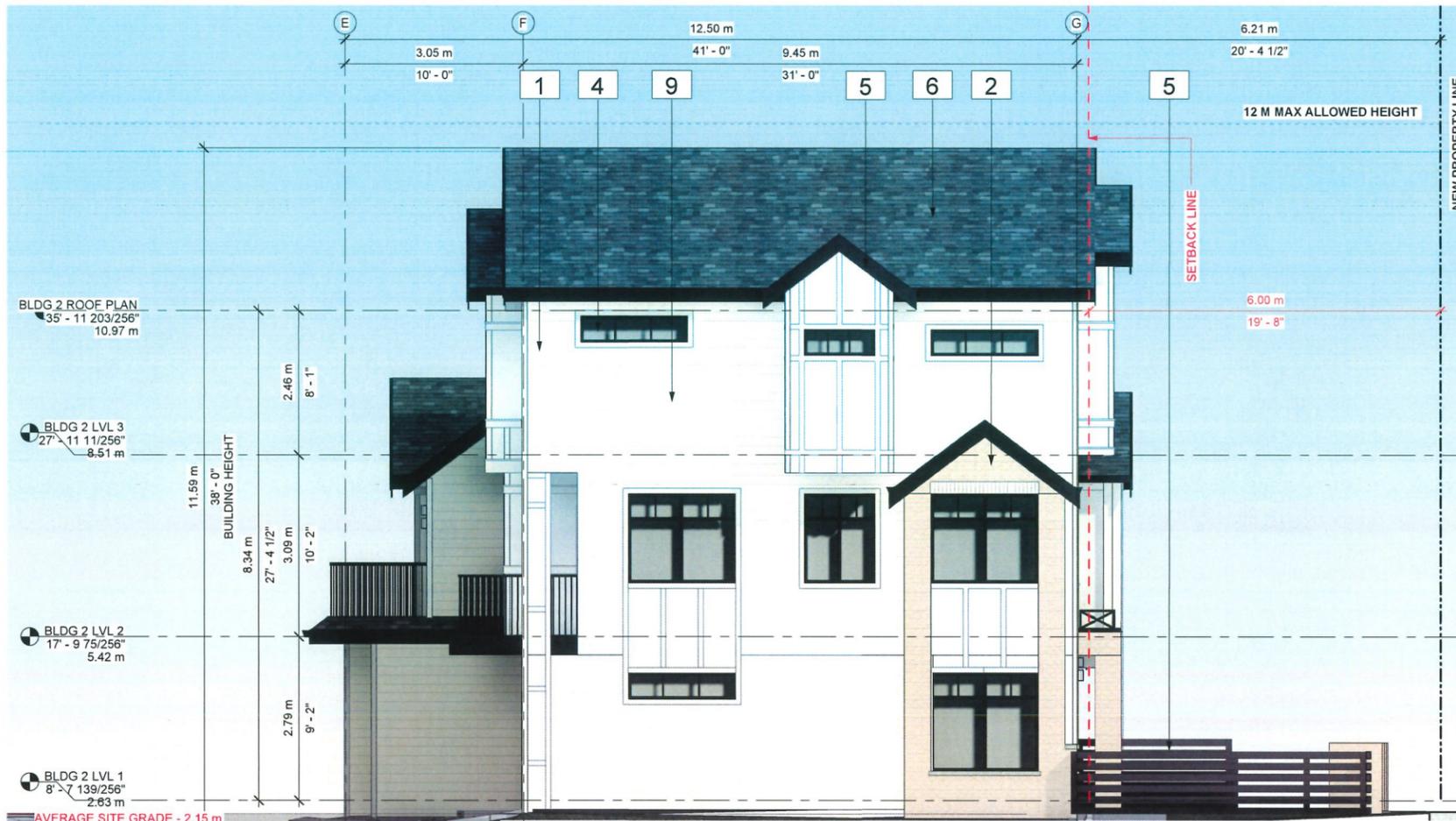
2
A-302
BUILDING 2 NORTH ELEV.
 1/4" = 1'-0"

1
A-302
BUILDING 2 EAST ELEV. NO. 4 ROAD
 1/4" = 1'-0"

2025-12-08 - DP RESUBMISSION

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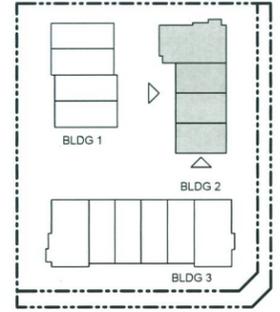
2025-12-08 3:53:00 PM



SCHEDULE OF FINISHES

- SMOOTH FINISH HARDIE LAP - SIDING COLOR TO MATCH: DIVINE WHITE SW 6105
- BRICK - SEA GRAY 6 - HEBRON BRICK SUPER SCOTTY
- HARDIE BOARD AND BATTEN - COLOUR TO MATCH: DIVINE WHITE SW 6105
- PAINTED VINYL WINDOWS - COLOR TO MATCH: GRAPHITE BM 1603 OR SIMILAR STANDARD
- COLOR: BM 1603 GRAPHITE - PAINTED FASCIA - PERFORATED VINYL SOFFIT - DOORS - GUTTERS - WOODEN GABLE VENTS - PRIVACY SCREEN - DECORATIVE METAL GUARDS
- ASPHALT SHINGLES - COLOR: TWILIGHT GREY.
- GARAGE DOOR COLOR TO MATCH: BM 2137-40 DESERT TWILIGHT.
- SMOOTH FINISH HARDIE LAP - SIDING COLOR TO MATCH: ANEW GRAY SW 7030
- HARDIE BOARD AND BATTEN - COLOUR TO MATCH: ARCADE WHITE SW 7100

NOTES:
DP 24-045175
DECEMBER 15, 2025
PLAN #10



REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------------|--------------------|
| 1 | 2025-12-08 | DP RESUBMISSION |
| 2 | 2025-12-01 | DP RESUBMISSION |
| 3 | 2025-11-17 | DP RESUBMISSION |
| 4 | 2025-10-31 | DP RESUBMISSION |
| 5 | 2025-09-29 | DP RESUBMISSION |
| 6 | 2024-11-08 | ADP SET FOR REVIEW |
| 7 | 2024-10-29 | ADP SET FOR REVIEW |
| 8 | 2024-10-29 | DP RESUBMISSION |
| 9 | 2024-09-11 | DP APPLICATION |
| 10 | 2024-07-02 | RZ RESUBMISSION |
| 11 | 2024-06-04 | RZ RESUBMISSION |
| 12 | 2024-05-10 | RZ RESUBMISSION |
| 13 | 2024-11-01 | RZ RESUBMISSION |
| 14 | 2024-10-14 | RZ RESUBMISSION |
| 15 | 2024-09-24 | RZ RESUBMISSION |
| 16 | 2024-09-11 | RZ RESUBMISSION |
| 17 | 2024-08-14 | RZ RESUBMISSION |
| 18 | 2024-08-14 | RZ RESUBMISSION |
| 19 | 2024-08-14 | RZ RESUBMISSION |
| 20 | 2024-08-14 | RZ RESUBMISSION |
| 21 | 2024-08-14 | RZ RESUBMISSION |
| 22 | 2024-08-14 | RZ RESUBMISSION |
| 23 | 2024-08-14 | RZ RESUBMISSION |
| 24 | 2024-08-14 | RZ RESUBMISSION |
| 25 | 2024-08-14 | RZ RESUBMISSION |
| 26 | 2024-08-14 | RZ RESUBMISSION |
| 27 | 2024-08-14 | RZ RESUBMISSION |
| 28 | 2024-08-14 | RZ RESUBMISSION |
| 29 | 2024-08-14 | RZ RESUBMISSION |
| 30 | 2024-08-14 | RZ RESUBMISSION |
| 31 | 2024-08-14 | RZ RESUBMISSION |
| 32 | 2024-08-14 | RZ RESUBMISSION |
| 33 | 2024-08-14 | RZ RESUBMISSION |
| 34 | 2024-08-14 | RZ RESUBMISSION |
| 35 | 2024-08-14 | RZ RESUBMISSION |
| 36 | 2024-08-14 | RZ RESUBMISSION |
| 37 | 2024-08-14 | RZ RESUBMISSION |
| 38 | 2024-08-14 | RZ RESUBMISSION |
| 39 | 2024-08-14 | RZ RESUBMISSION |
| 40 | 2024-08-14 | RZ RESUBMISSION |
| 41 | 2024-08-14 | RZ RESUBMISSION |
| 42 | 2024-08-14 | RZ RESUBMISSION |
| 43 | 2024-08-14 | RZ RESUBMISSION |
| 44 | 2024-08-14 | RZ RESUBMISSION |
| 45 | 2024-08-14 | RZ RESUBMISSION |
| 46 | 2024-08-14 | RZ RESUBMISSION |
| 47 | 2024-08-14 | RZ RESUBMISSION |
| 48 | 2024-08-14 | RZ RESUBMISSION |
| 49 | 2024-08-14 | RZ RESUBMISSION |
| 50 | 2024-08-14 | RZ RESUBMISSION |
| 51 | 2024-08-14 | RZ RESUBMISSION |
| 52 | 2024-08-14 | RZ RESUBMISSION |
| 53 | 2024-08-14 | RZ RESUBMISSION |
| 54 | 2024-08-14 | RZ RESUBMISSION |
| 55 | 2024-08-14 | RZ RESUBMISSION |
| 56 | 2024-08-14 | RZ RESUBMISSION |
| 57 | 2024-08-14 | RZ RESUBMISSION |
| 58 | 2024-08-14 | RZ RESUBMISSION |
| 59 | 2024-08-14 | RZ RESUBMISSION |
| 60 | 2024-08-14 | RZ RESUBMISSION |
| 61 | 2024-08-14 | RZ RESUBMISSION |
| 62 | 2024-08-14 | RZ RESUBMISSION |
| 63 | 2024-08-14 | RZ RESUBMISSION |
| 64 | 2024-08-14 | RZ RESUBMISSION |
| 65 | 2024-08-14 | RZ RESUBMISSION |
| 66 | 2024-08-14 | RZ RESUBMISSION |
| 67 | 2024-08-14 | RZ RESUBMISSION |
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| 70 | 2024-08-14 | RZ RESUBMISSION |
| 71 | 2024-08-14 | RZ RESUBMISSION |
| 72 | 2024-08-14 | RZ RESUBMISSION |
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| 75 | 2024-08-14 | RZ RESUBMISSION |
| 76 | 2024-08-14 | RZ RESUBMISSION |
| 77 | 2024-08-14 | RZ RESUBMISSION |
| 78 | 2024-08-14 | RZ RESUBMISSION |
| 79 | 2024-08-14 | RZ RESUBMISSION |
| 80 | 2024-08-14 | RZ RESUBMISSION |
| 81 | 2024-08-14 | RZ RESUBMISSION |
| 82 | 2024-08-14 | RZ RESUBMISSION |
| 83 | 2024-08-14 | RZ RESUBMISSION |
| 84 | 2024-08-14 | RZ RESUBMISSION |
| 85 | 2024-08-14 | RZ RESUBMISSION |
| 86 | 2024-08-14 | RZ RESUBMISSION |
| 87 | 2024-08-14 | RZ RESUBMISSION |
| 88 | 2024-08-14 | RZ RESUBMISSION |
| 89 | 2024-08-14 | RZ RESUBMISSION |
| 90 | 2024-08-14 | RZ RESUBMISSION |
| 91 | 2024-08-14 | RZ RESUBMISSION |
| 92 | 2024-08-14 | RZ RESUBMISSION |
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| 94 | 2024-08-14 | RZ RESUBMISSION |
| 95 | 2024-08-14 | RZ RESUBMISSION |
| 96 | 2024-08-14 | RZ RESUBMISSION |
| 97 | 2024-08-14 | RZ RESUBMISSION |
| 98 | 2024-08-14 | RZ RESUBMISSION |
| 99 | 2024-08-14 | RZ RESUBMISSION |
| 100 | 2024-08-14 | RZ RESUBMISSION |

1 BUILDING 2 SOUTH ELEV.
 1/4" = 1'-0"



2 BUILDING 2 WEST ELEV.
 1/4" = 1'-0"

DF ARCHITECTURE INC.
 350-1095 SHELLBROCKE WAY RICHMOND, B.C.
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 www.dfarchitecture.ca

GROUP 161
 ARCHITECTURE + INTERIOR ARCHITECTURE + BARNETT DESIGN ARCHITECTS
 GROUP 161 IS NOT AN ARCHITECTURAL FIRM. ALL ARCHITECTURAL SERVICES ARE PROVIDED THROUGH OUR FIRMS THAT HOLD THE CERTIFICATE OF PRACTICE.

PROJECT: PROPOSED TOWNHOUSE DEVELOPMENT
9991 & 9951 BLUNDELL ROAD & 7951 NO. 4 ROAD, RICHMOND, B.C.

CLIENT: WEST KARAGON PROPERTIES INC.

| | |
|-------------|--------------|
| DRAWN | PS |
| CHECKED | JA |
| SCALE | As indicated |
| JOB NO. | RCH-029 |
| DATE | MARCH 2019 |
| SHEET TITLE | |



BUILDING 2 ELEVATIONS

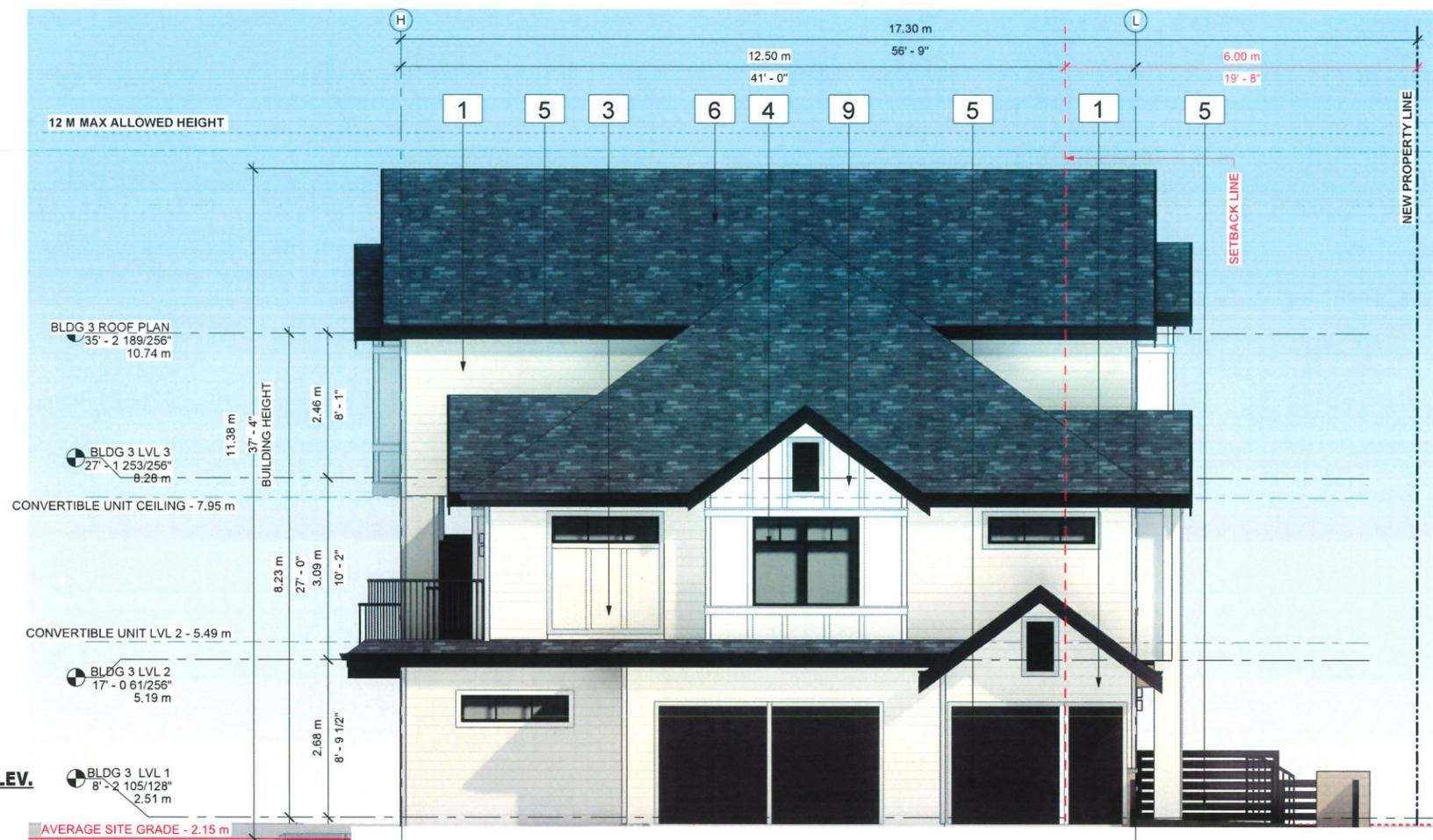
A-303 S

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2025-12-08 - DP RESUBMISSION NO. 4 RD.

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| SCHEDULE OF FINISHES | |
|----------------------|---|
| 1. | SMOOTH FINISH HARDIE LAP - SIDING COLOR TO MATCH: DIVINE WHITE SW 6105 |
| 2. | BRICK - SEA GRAY 6 - HEBRON BRICK SUPER SCOTTY |
| 3. | HARDIE BOARD AND BATTEN - COLOUR TO MATCH: DIVINE WHITE SW 6105 |
| 4. | PAINTED VINYL WINDOWS COLOR TO MATCH: GRAPHITE BM 1603 OR SIMILAR STANDARD |
| 5. | COLOR: BM 1603 GRAPHITE - PAINTED FASCIA - PERFORATED VINYL SOFFIT - DOORS - GUTTERS - WOODEN GABLE VENTS - PRIVACY SCREEN - DECORATIVE METAL GUARDS |
| 6. | ASPHALT SHINGLES - COLOR: TWILIGHT GREY. |
| 7. | GARAGE DOOR COLOR TO MATCH: BM 2137-40 DESERT TWILIGHT. |
| 8. | SMOOTH FINISH HARDIE LAP - SIDING COLOR TO MATCH: ANEW GRAY SW 7030 |
| 9. | HARDIE BOARD AND BATTEN - COLOUR TO MATCH: ARCADE WHITE SW 7100 |



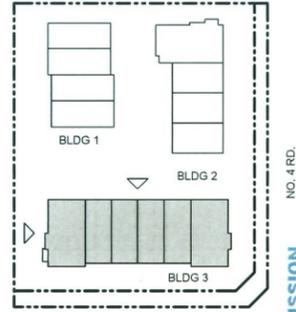
1 BUILDING 3 WEST ELEV.
A-304 1/4" = 1'-0"



2 BUILDING 3 NORTH ELEV.
A-304 1/4" = 1'-0"

NOTES:

DP 24-045175
DECEMBER 15, 2025
PLAN #11



KEY PLAN

| DATE | DESCRIPTION |
|------------|----------------------|
| 2025-12-08 | S DP RESUBMISSION |
| 2025-11-07 | B DP RESUBMISSION |
| 2025-11-17 | D DP RESUBMISSION |
| 2025-10-01 | F DP RESUBMISSION |
| 2025-09-29 | G DP RESUBMISSION |
| 2024-11-05 | N ADP SET FOR REVIEW |
| 2024-10-29 | M ADP SET FOR REVIEW |
| 2024-10-29 | L DP RESUBMISSION |
| 2024-09-13 | K DP APPLICATION |
| 2024-07-02 | J DP RESUBMISSION |
| 2024-04-01 | I DP RESUBMISSION |
| 2024-01-10 | H DP RESUBMISSION |
| 2024-11-01 | G DP RESUBMISSION |
| 2024-10-11 | F DP RESUBMISSION |
| 2024-09-24 | E DP RESUBMISSION |
| 2024-10-18 | D DP RESUBMISSION |
| 2021-08-17 | C DP RESUBMISSION |
| 2021-08-16 | B DP RESUBMISSION |

DF ARCHITECTURE INC.

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info@dfarchitect.com

GROUP 161

OF ARCHITECTURE | ATLAS ARCHITECTURE | BARNETT DOUGLAS ARCHITECTS

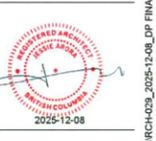
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PROPOSED TOWNHOUSE DEVELOPMENT

9991 & 9951 BLUNDELL ROAD & 7951 NO. 4 ROAD, RICHMOND, B.C.

CLIENT: **WEST KARAGON PROPERTIES INC.**

| | |
|---------|--------------|
| DRAWN | PS |
| CHECKED | JA |
| SCALE | As indicated |
| JOB NO. | RCH-029 |
| DATE | MARCH 2019 |



BUILDING 3 ELEVATIONS

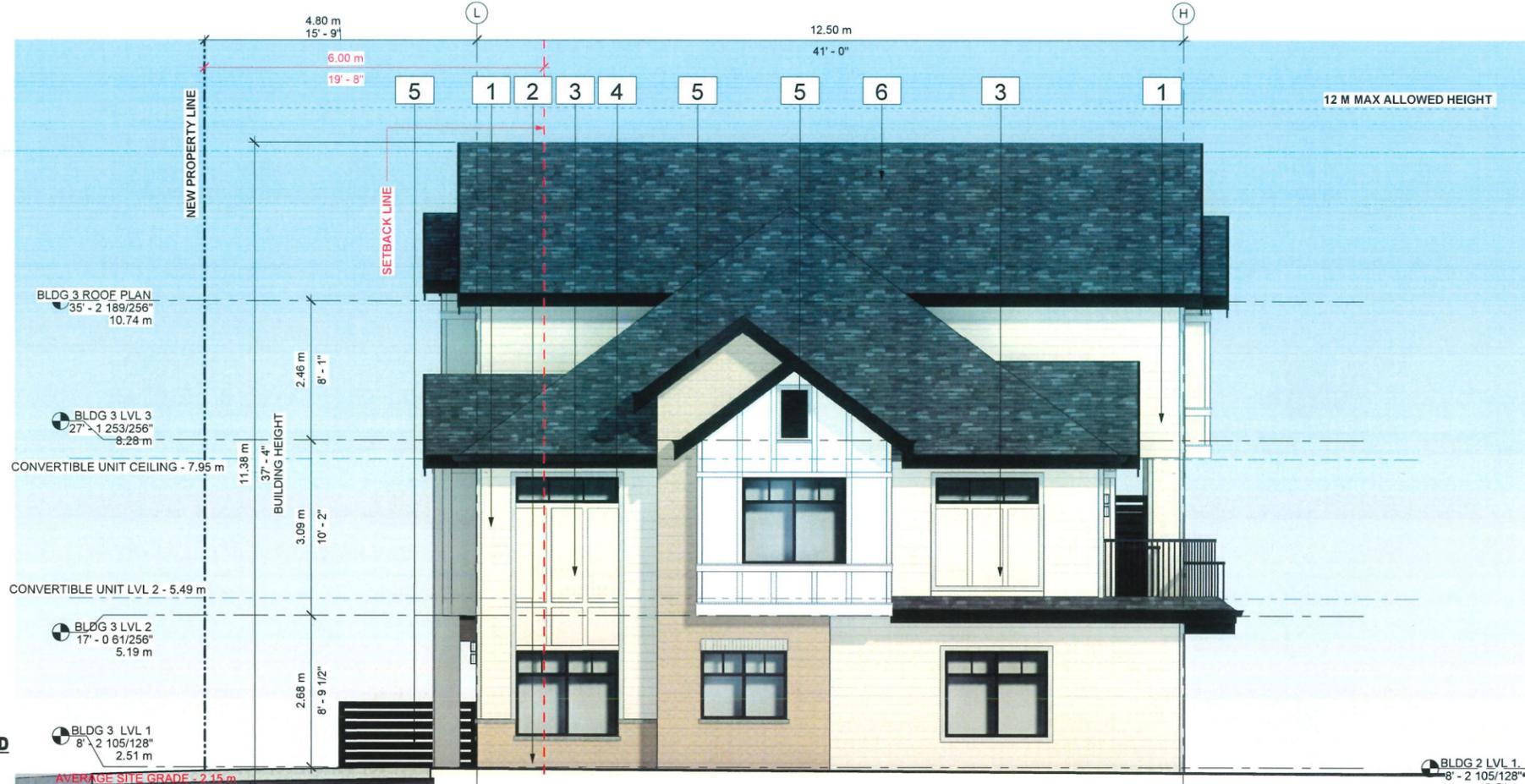
| | | | |
|-------------|--------------|----------|--|
| DRAWING NO. | A-304 | S | |
|-------------|--------------|----------|--|

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2025-12-08 - DP RESUBMISSION NO. 4 R.D.

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| SCHEDULE OF FINISHES | |
|----------------------|--|
| 1. | SMOOTH FINISH HARDIE LAP - SIDING COLOR TO MATCH: DIVINE WHITE SW 6105 |
| 2. | BRICK - SEA GRAY 6 - HEBRON BRICK SUPER SCOTTY |
| 3. | HARDIE BOARD AND BATTEN- COLOUR TO MATCH: DIVINE WHITE SW 6105 |
| 4. | PAINTED VINYL WINDOWS COLOR TO MATCH: GRAPHITE BM 1603 OR SIMILAR STANDARD |
| 5. | COLOR - BM 1603 GRAPHITE - PAINTED FASCIA - PERFORATED VINYL SOFFIT - DOORS - GUTTERS - WOODEN GABLE VENTS - PRIVACY SCREEN - DECORATIVE METAL GUARDS |
| 6. | ASPHALT SHINGLES - COLOR: TWILIGHT GREY. |
| 7. | GARAGE DOOR COLOR TO MATCH: BM 2137-40 DESERT TWILIGHT. |
| 8. | SMOOTH FINISH HARDIE LAP - SIDING COLOR TO MATCH: ANEW GRAY SW 7030 |
| 9. | HARDIE BOARD AND BATTEN- COLOUR TO MATCH: ARCADE WHITE SW 7100 |

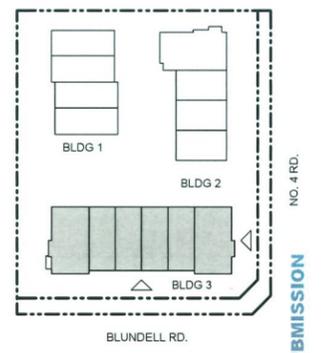


2 BUILDING 3 EAST ELEV. NO. 4 ROAD
1/4" = 1'-0"
A-305



1 BUILDING 3 SOUTH ELEV. BLUNDELL RD.
1/4" = 1'-0"
A-305

NOTES:
DP 24-045175
DECEMBER 15, 2025
PLAN #12



KEY PLAN

| DATE | BY | DESCRIPTION |
|------------|----|------------------------------------|
| 2025-12-08 | S | DP RESUBMISSION |
| 2025-12-01 | R | DP RESUBMISSION |
| 2025-11-17 | Q | DP RESUBMISSION |
| 2025-10-21 | P | DP RESUBMISSION |
| 2025-09-20 | P | DP RESUBMISSION |
| 2024-11-06 | N | APP SET FOR REVIEW |
| 2024-10-29 | M | APP SET FOR REVIEW |
| 2024-09-25 | L | DP RESUBMISSION |
| 2024-09-11 | K | DP APPLICATION |
| 2024-07-29 | J | DP RESUBMISSION |
| 2024-07-11 | I | DP RESUBMISSION |
| 2024-06-04 | H | DP RESUBMISSION |
| 2024-05-13 | G | DP RESUBMISSION |
| 2024-04-23 | F | DP RESUBMISSION |
| 2024-03-19 | E | DP RESUBMISSION |
| 2024-02-19 | D | DP RESUBMISSION |
| 2024-01-12 | C | DP RESUBMISSION |
| 2023-09-18 | B | ZONING & PRELIMINARY DP SUBMISSION |

DF ARCHITECTURE INC.
350-1051 SHELLBRIDGE WAY, RICHMOND, B.C.
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T: (604) 284-5194 F: (604) 284-5131
info@dfarchitecture.ca

GROUP 161
BY ARCHITECTURE - A TELUS PACIFIC ARCHITECTURE - BARNETT ORIBEL ARCHITECTS

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PROJECT:
PROPOSED TOWNHOUSE DEVELOPMENT

9991 & 9951 BLUNDELL ROAD & 7951 NO. 4 ROAD, RICHMOND, B.C

CLIENT:
WEST KARAGON PROPERTIES INC.

| | |
|---------|--------------|
| DRAWN | PS |
| CHECKED | JA |
| SCALE | As indicated |
| JOB NO. | RCH-029 |
| DATE | MARCH 2019 |
| | 2025-12-08 |

SHEET TITLE
BUILDING 3 ELEVATIONS

DRAWING No. **A-305 S**

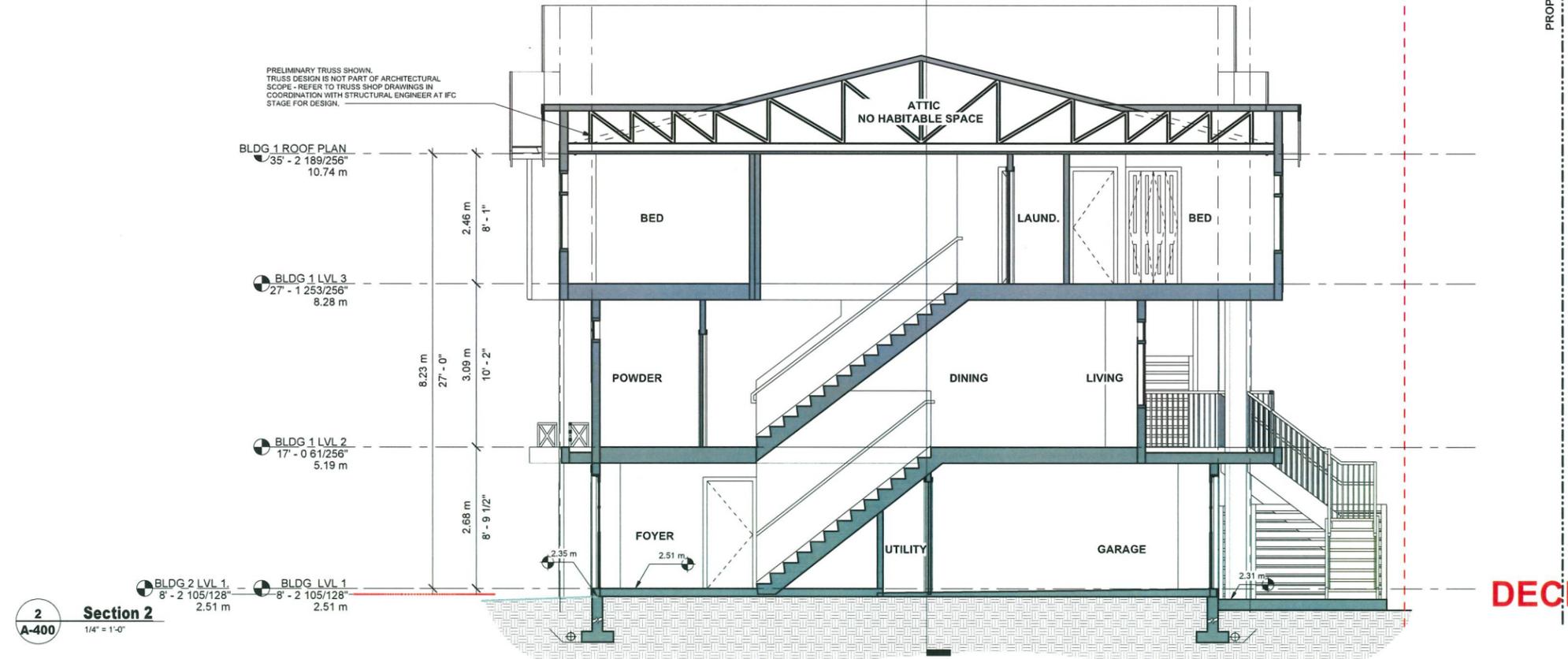
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2025-12-08 - DP RESUBMISSION NO. 4 RD.

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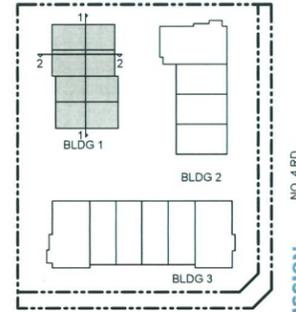


1 Section 1
1/4" = 1'-0"



2 Section 2
1/4" = 1'-0"

NOTES:



KEY PLAN

| DATE | DESCRIPTION | BY |
|------------|------------------------------------|----|
| 2015-12-08 | DP RESUBMISSION | S |
| 2016-12-01 | DP RESUBMISSION | B |
| 2015-11-17 | DP RESUBMISSION | L |
| 2015-10-01 | DP RESUBMISSION | B |
| 2015-09-28 | DP RESUBMISSION | L |
| 2014-11-05 | APP SET FOR REVIEW | N |
| 2014-10-27 | APP SET FOR REVIEW | M |
| 2014-10-06 | DP RESUBMISSION | L |
| 2014-09-11 | DP APPLICATION | K |
| 2014-07-27 | DP RESUBMISSION | T |
| 2014-04-04 | DP RESUBMISSION | L |
| 2014-01-10 | DP RESUBMISSION | H |
| 2012-11-21 | DP RESUBMISSION | L |
| 2012-10-11 | DP RESUBMISSION | F |
| 2012-03-24 | DP RESUBMISSION | F |
| 2011-10-10 | DP RESUBMISSION | C |
| 2011-08-17 | DP RESUBMISSION | C |
| 2011-06-14 | ZONING & PRELIMINARY DP SUBMISSION | B |

DF ARCHITECTURE INC.

350-10651 SHELLBRIDGE WAY RICHMOND B.C.
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www.dfarchitecture.ca



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PROJECT: PROPOSED TOWNHOUSE DEVELOPMENT

9991 & 9951 BLUNDELL ROAD & 7951 NO. 4 ROAD, RICHMOND, B.C.

CLIENT: **WEST KARAGON PROPERTIES INC.**

| | |
|-------------|--------------|
| DRAWN | PS |
| CHECKED | JA |
| SCALE | 1/4" = 1'-0" |
| JOB NO. | RCH-029 |
| DATE | MARCH 2019 |
| SHEET TITLE | |



BUILDING 1 SECTIONS

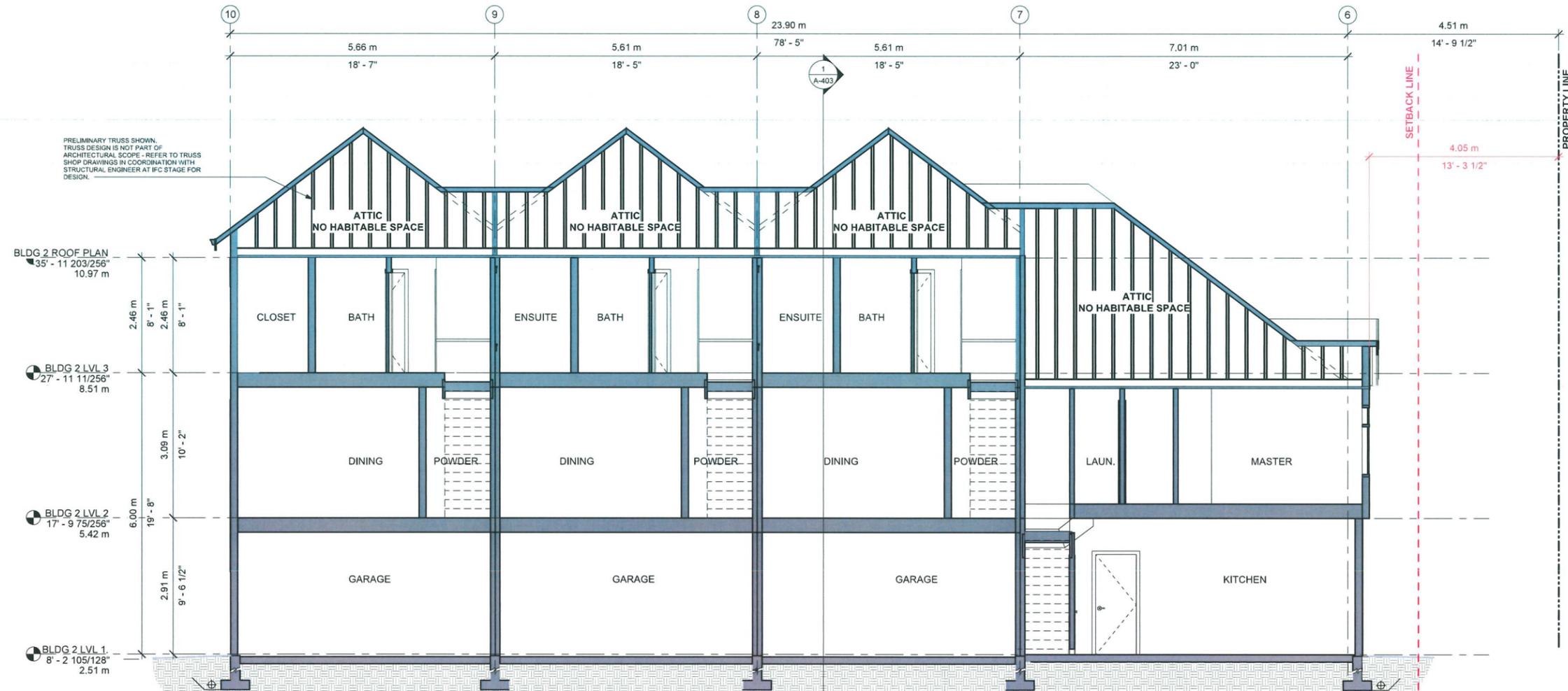
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|-------------|--------------|----------|--|
| DRAWING No. | A-400 | S | |
|-------------|--------------|----------|--|

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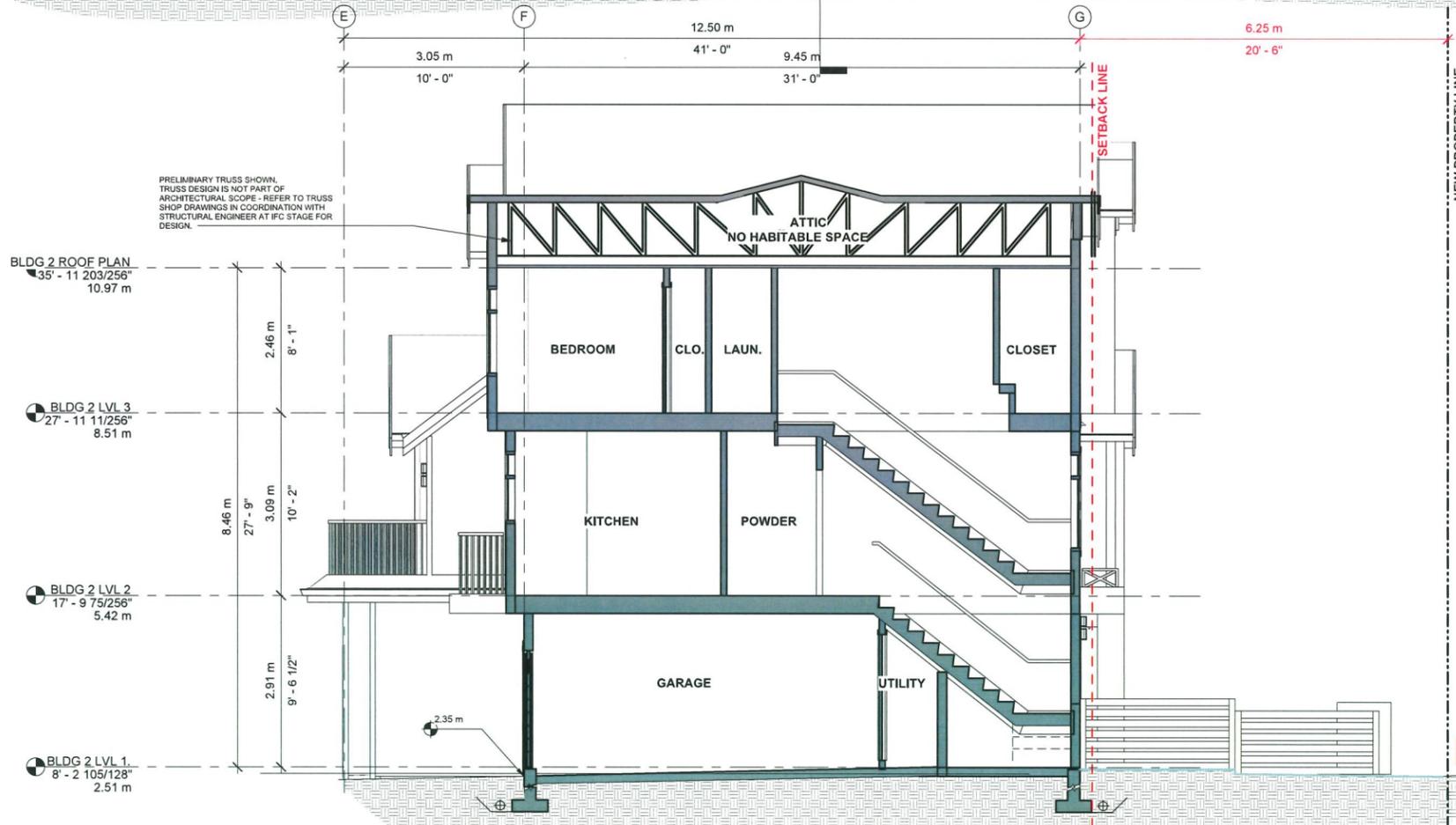
DP 24-045175
DECEMBER 15, 2025
PLAN #13

2025-12-08 - DP RESUBMISSION NO. 4 RD.

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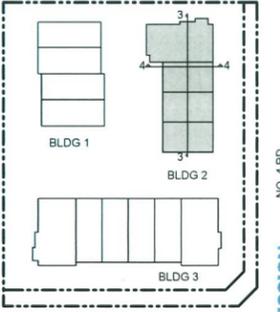


1 Section 3
1/4" = 1'-0"



2 Section 4
1/4" = 1'-0"

NOTES:



KEY PLAN

| | | |
|------------|---|------------------------------------|
| 2025-12-08 | S | DP RESUBMISSION |
| 2025-12-01 | R | DP RESUBMISSION |
| 2025-11-12 | C | DP RESUBMISSION |
| 2025-10-01 | R | DP RESUBMISSION |
| 2025-09-24 | C | DP RESUBMISSION |
| 2024-11-05 | R | ADP SET FOR REVIEW |
| 2024-10-29 | M | ADP SET FOR REVIEW |
| 2024-10-29 | L | DP RESUBMISSION |
| 2024-09-11 | R | DP APPLICATION |
| 2024-07-09 | T | P7 RESUBMISSION |
| 2024-04-01 | L | P2 RESUBMISSION |
| 2024-01-10 | S | P1 RESUBMISSION |
| 2023-11-01 | C | P7 RESUBMISSION |
| 2023-10-11 | C | P7 RESUBMISSION |
| 2022-03-11 | S | P7 RESUBMISSION |
| 2021-10-19 | C | P7 RESUBMISSION |
| 2021-06-12 | C | R2 SUBMISSION |
| 2021-06-12 | R | ZONING & PRELIMINARY DP SUBMISSION |

DF ARCHITECTURE INC.

350-10951 SHELLBRIDGE WAY RICHMOND B.C.
CANADA V6X 2W5
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GROUP 161

OF ARCHITECTURE + INTERIORS ARCHITECTURE + BARNETT CEDERBACH ARCHITECTS
GROUP 161 IS NOT AN ARCHITECTURAL FIRM. ALL ARCHITECTURAL SERVICES ARE PROVIDED THROUGH OUR FIRMS THAT HOLD THE CERTIFICATE OF PRACTICE.

PROPOSED TOWNHOUSE DEVELOPMENT

9991 & 9951 BLUNDELL ROAD & 7951 NO. 4 ROAD, RICHMOND, B.C.

CLIENT:
WEST KARAGON PROPERTIES INC.

| | |
|-------------|--------------|
| DRAWN | PS |
| CHECKED | JA |
| SCALE | 1/4" = 1'-0" |
| JOB NO. | RCH-029 |
| DATE | MARCH 2019 |
| SHEET TITLE | |



BUILDING 2 SECTIONS

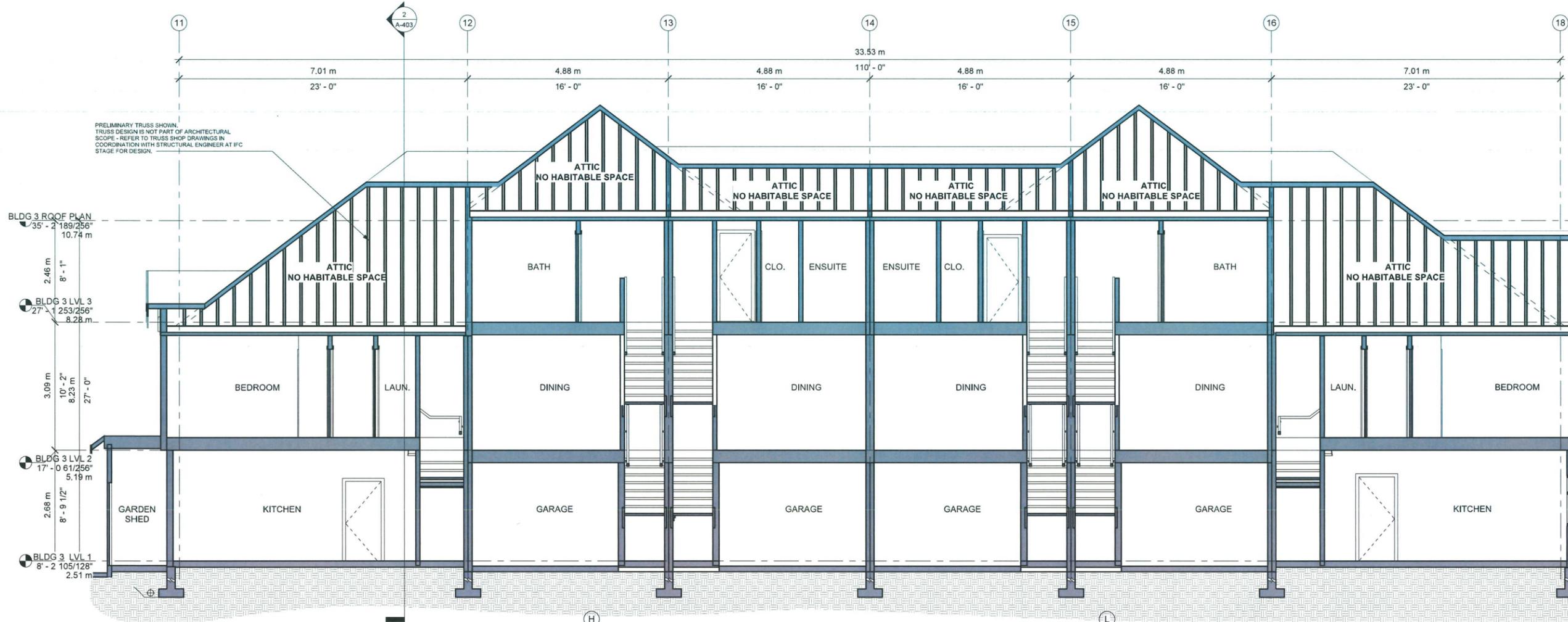
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DP 24-045175
DECEMBER 15, 2025
PLAN #14

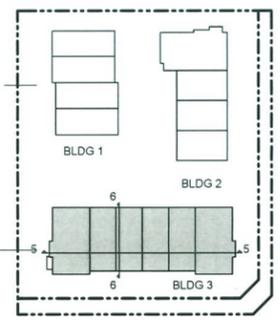
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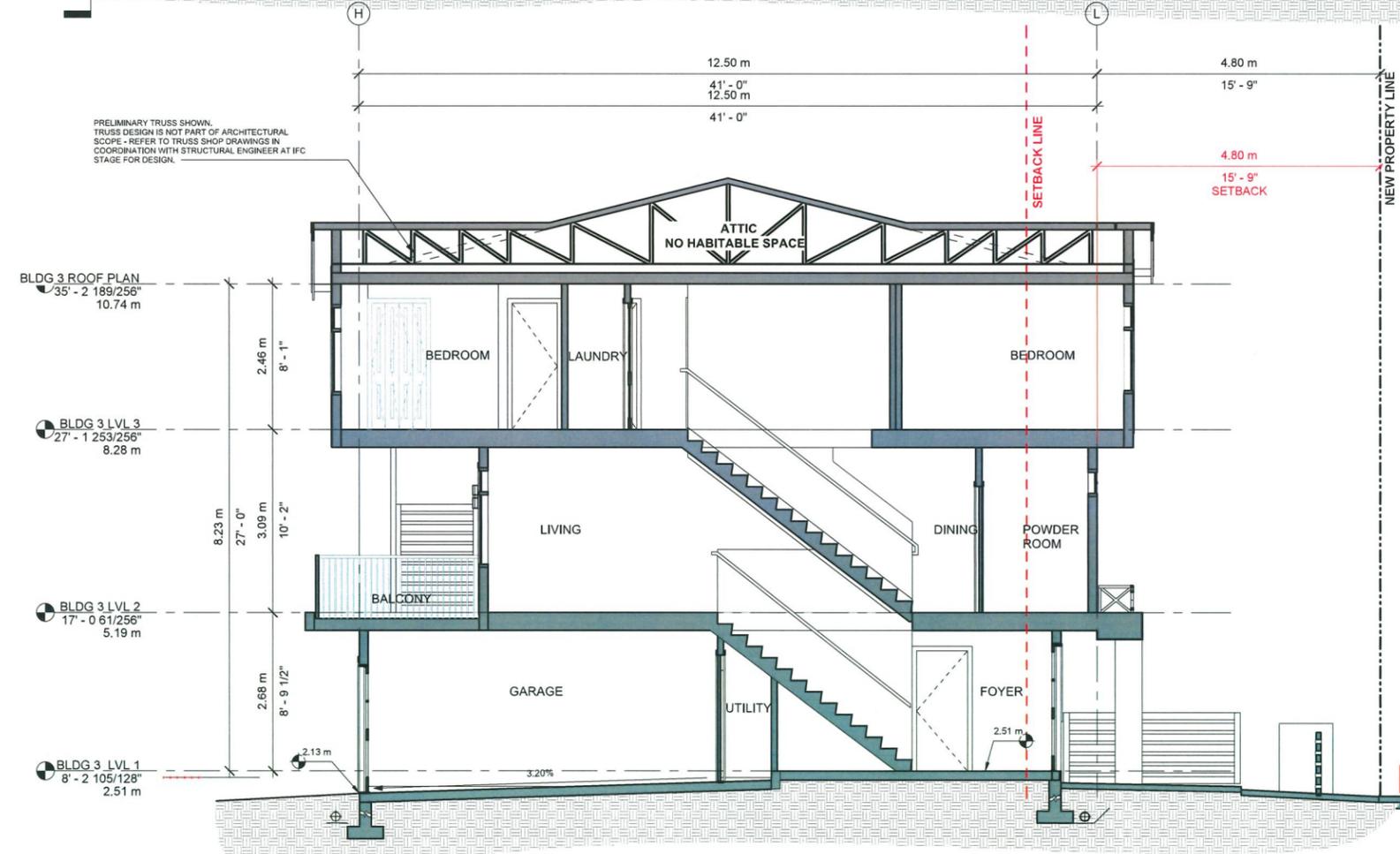
NOTES:



KEY PLAN

| | | |
|------------|---|------------------------------------|
| 2025-12-08 | S | DP RESUBMISSION |
| 2025-12-01 | R | DP RESUBMISSION |
| 2025-11-17 | G | DP RESUBMISSION |
| 2025-10-01 | R | DP RESUBMISSION |
| 2025-09-20 | G | DP RESUBMISSION |
| 2024-11-09 | N | APP SET FOR REVIEW |
| 2024-10-29 | M | APP SET FOR REVIEW |
| 2024-10-29 | L | DP RESUBMISSION |
| 2024-09-11 | K | DP APPLICATION |
| 2024-07-29 | J | P2 RESUBMISSION |
| 2024-06-20 | I | P2 RESUBMISSION |
| 2024-01-19 | H | P2 RESUBMISSION |
| 2023-11-01 | G | P2 RESUBMISSION |
| 2023-09-12 | F | P2 RESUBMISSION |
| 2023-03-28 | E | P2 RESUBMISSION |
| 2021-10-11 | D | P2 RESUBMISSION |
| 2021-08-12 | C | P2 SUBMISSION |
| 2021-06-11 | B | ZONING & PRELIMINARY DP SUBMISSION |

1 Section 5
A-402 1/4" = 1'-0"



2 Section 6
A-402 1/4" = 1'-0"

DP 24-045175
DECEMBER 15, 2025
PLAN #15

DF ARCHITECTURE INC.

350-10451 SHELLBRIDGE WAY, RICHMOND, B.C.
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info@dfarchitecture.ca



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PROJECT: PROPOSED TOWNHOUSE DEVELOPMENT

9991 & 9951 BLUNDELL ROAD & 7951 NO. 4 ROAD, RICHMOND, B.C.

CLIENT: **WEST KARAGON PROPERTIES INC.**

| | |
|---------|--------------|
| DRAWN | PS |
| CHECKED | JA |
| SCALE | 1/4" = 1'-0" |
| JOB NO. | RCH-029 |
| DATE | MARCH 2019 |
| | 2025-12-08 |

BUILDING 3 SECTIONS

| | | | |
|-------------|--------------|----------|--|
| DRAWING No. | A-402 | S | |
|-------------|--------------|----------|--|

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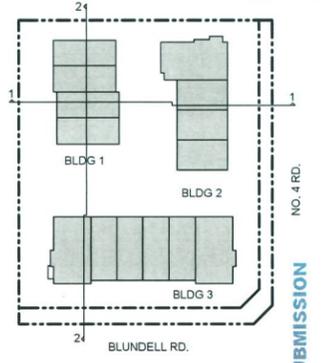
2025-12-08 - DP RESUBMISSION NO. 4 RD.

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DP 24-045175
DECEMBER 15, 2025
PLAN #16

NOTES:



KEY PLAN

| | | |
|------------|---|------------------------------------|
| 2025-12-08 | A | DP RESUBMISSION |
| 2025-12-08 | B | DP RESUBMISSION |
| 2025-11-17 | A | DP RESUBMISSION |
| 2025-10-01 | P | DP RESUBMISSION |
| 2025-08-20 | G | DP RESUBMISSION |
| 2024-11-08 | N | APP SET FOR REVIEW |
| 2024-10-28 | M | APP SET FOR REVIEW |
| 2024-10-08 | L | DP RESUBMISSION |
| 2024-09-11 | K | DP APPLICATION |
| 2024-07-24 | J | DP RESUBMISSION |
| 2024-04-21 | I | DP RESUBMISSION |
| 2024-04-10 | H | DP RESUBMISSION |
| 2024-03-11 | F | DP RESUBMISSION |
| 2024-03-11 | E | DP RESUBMISSION |
| 2024-03-11 | D | DP RESUBMISSION |
| 2024-03-11 | C | DP RESUBMISSION |
| 2024-03-11 | B | DP RESUBMISSION |
| 2024-03-11 | A | DP RESUBMISSION |
| 2024-03-11 | Z | ZONING & PRELIMINARY DP SUBMISSION |

DF ARCHITECTURE INC.

350-10451 SHELLBRIDGE WAY RICHMOND, B.C.
 CANADA V6X 2V9
 T: (604) 274-5124 F: (604) 274-5131
 info@dfarchitecture.ca

GROUP 161

OF ARCHITECTURE / ARCHITECTURE ARCHITECTURE ARCHITECTURE ARCHITECTURE
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PROJECT: PROPOSED TOWNHOUSE DEVELOPMENT

9991 & 9951 BLUNDELL ROAD & 7951 NO. 4 ROAD, RICHMOND, B.C.

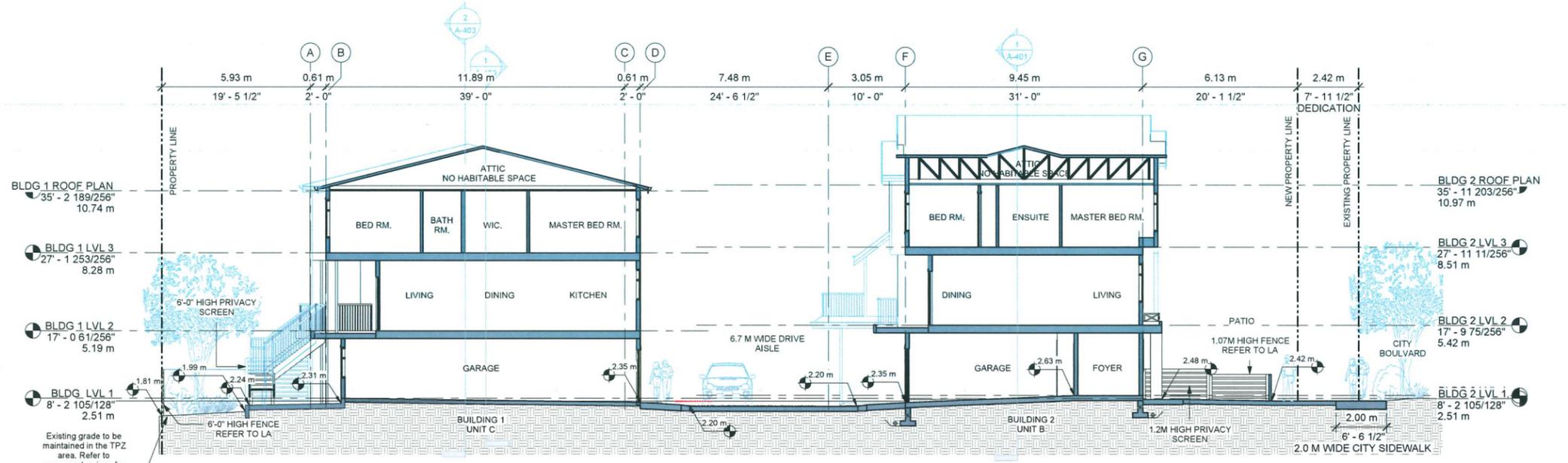
CLIENT:
WEST KARAGON PROPERTIES INC.

| | |
|---------|--------------|
| DRAWN | PS |
| CHECKED | JA |
| SCALE | As Indicated |
| JOB NO. | RCH-029 |
| DATE | MARCH 2019 |
| | 2025-12-08 |

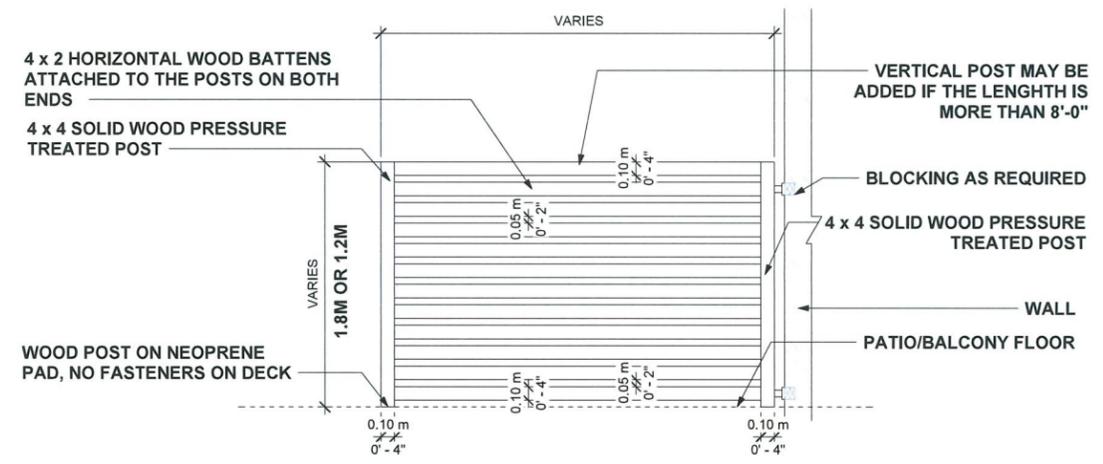
SITE CROSS SECTION

| | |
|-------------|--------------|
| DRAWING No. | A-403 |
| | S |

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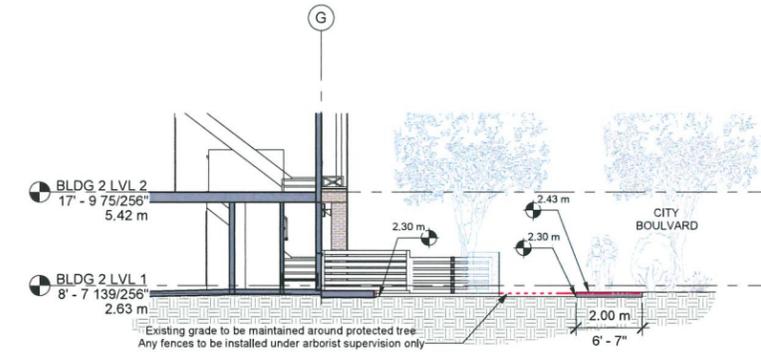


1 SECTION 1.1
 1/8" = 1'-0"

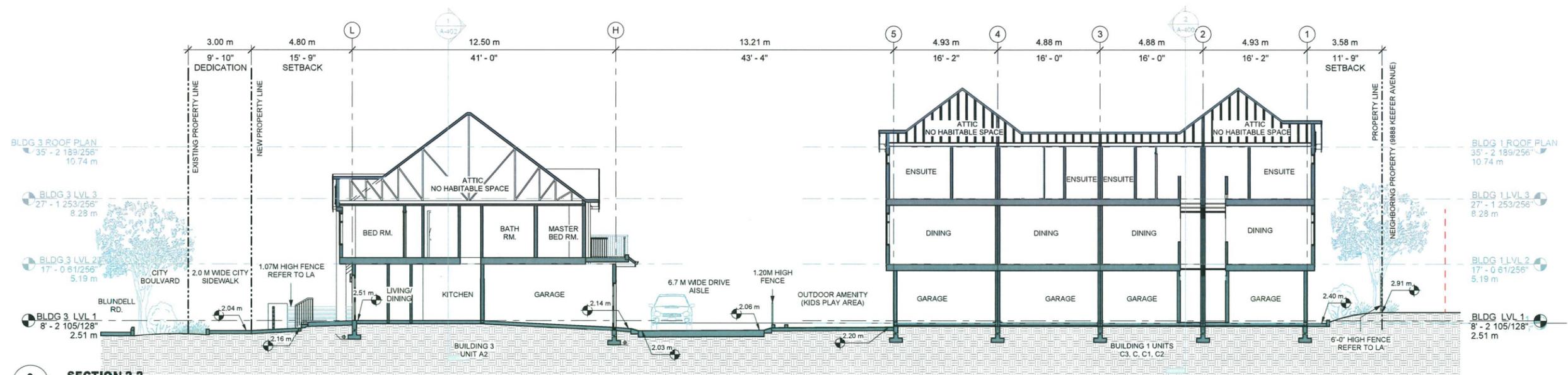


4 PRIVACY SCREEN DETAIL
 1/2" = 1'-0"

NOTE : HEIGHT OF PRIVACY SCREEN WILL BE MAX 1.2 M HIGH IF IT IS INSIDE THE STREET FACING SETBACK. 1.8 M HIGH IF IT IS PROPOSED ELSEWHERE.



3 Grading at protected tree on No. 4 Rd.
 1/8" = 1'-0"

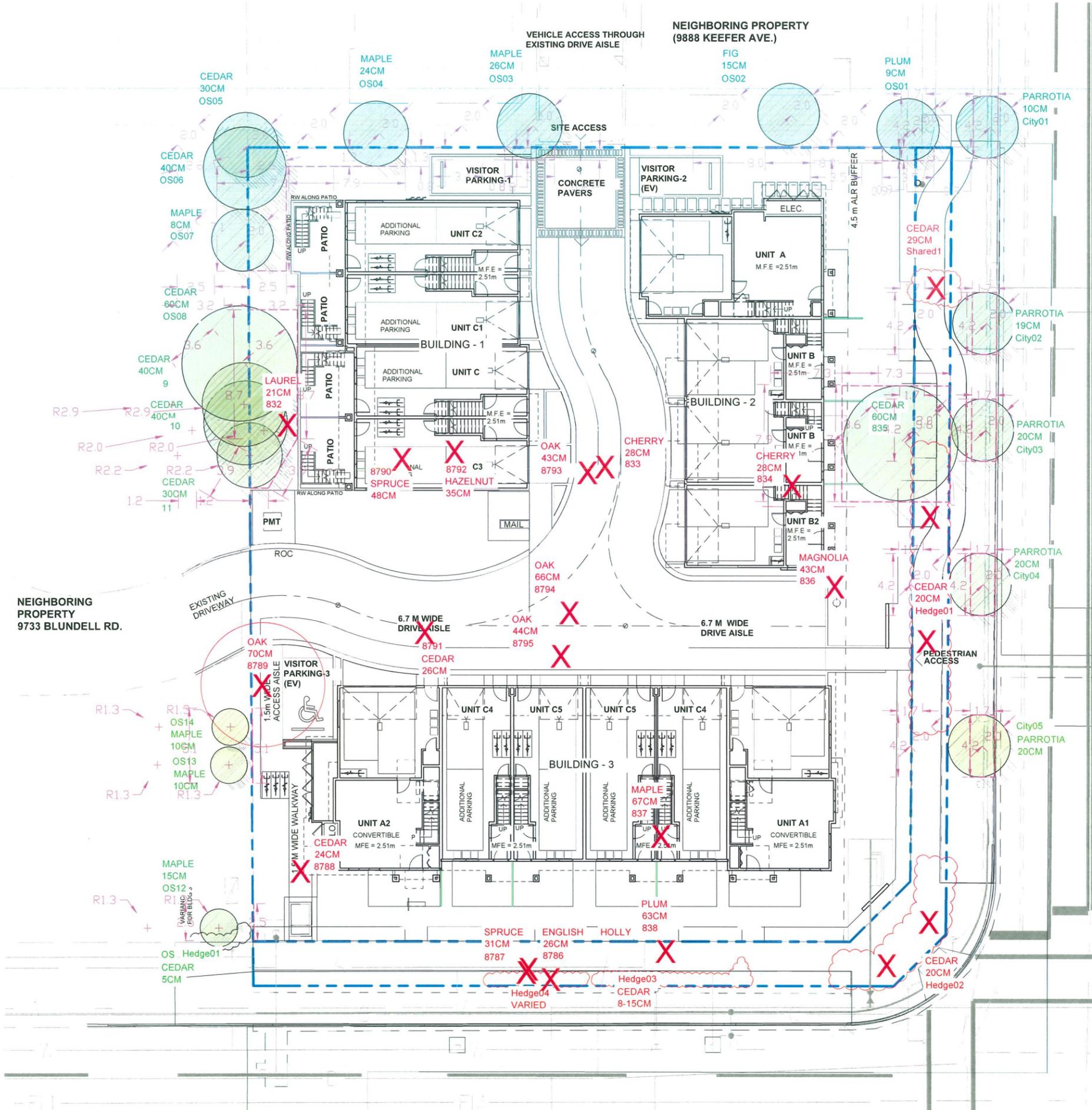


2 SECTION 2.2
 1/8" = 1'-0"

2025-12-08 - DP RESUBMISSION

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DP 24-045175
DECEMBER 15, 2025
PLAN #17



| NO. | DATE | REVISION DESCRIPTION | DR. |
|-----|-----------|--------------------------------|--------|
| 19 | 25.SEP.26 | NEW SITE PLAN/CITY COMMENTS | RJ |
| 18 | 25.AUG.15 | NEW CIVIL PLAN/NEW GRADING | RJ |
| 17 | 25.JUN.05 | ADP COMMENTS | RJ |
| 16 | 25.JAN.30 | NEW SITE PLAN/CITY COMMENTS | RJ |
| 15 | 24.NOV.06 | CONSULTANT COMMENTS | JR |
| 14 | 24.NOV.01 | CITY COMMENTS | YR |
| 13 | 24.OCT.25 | CONSULTANT COMMENTS | CJ |
| 12 | 24.OCT.18 | CITY COMMENTS | RJ |
| 11 | 24.OCT.10 | NEW SITEPLAN - COMMENTS | MM |
| 10 | 24.SEP.10 | ISSUED FOR DP | RJ |
| 9 | 24.JUL.25 | UPDATE ALR BUFFER | RJ |
| 8 | 24.JUN.26 | NEW SITE PLAN | GHN/YR |
| 7 | 23.NOV.30 | CITY COMMENTS & NEW SITE PLAN | RJ |
| 6 | 23.APR.03 | CITY COMMENTS & NEW SITE PLAN | YR |
| 5 | 22.MAR.01 | NEW SITE PLAN/ARBORIST REPORT | RJ |
| 4 | 21.OCT.04 | DRIVE WAY UPDATED | RJ |
| 3 | 21.AUG.23 | NEW SITE PLAN/ADD PLANTING BED | RJ |
| 2 | 21.AUG.21 | NEW SITE PLAN | RJ |
| 1 | 19.MAR.06 | RE-ZONING AND DP SUBMISSION | RJ |

CLIENT:

PROJECT:
16-UNIT TOWNHOUSE DEVELOPMENT
9991 & 9951 BLUNDELL ROAD & 7951 NO.4 ROAD, RICHMOND, BC

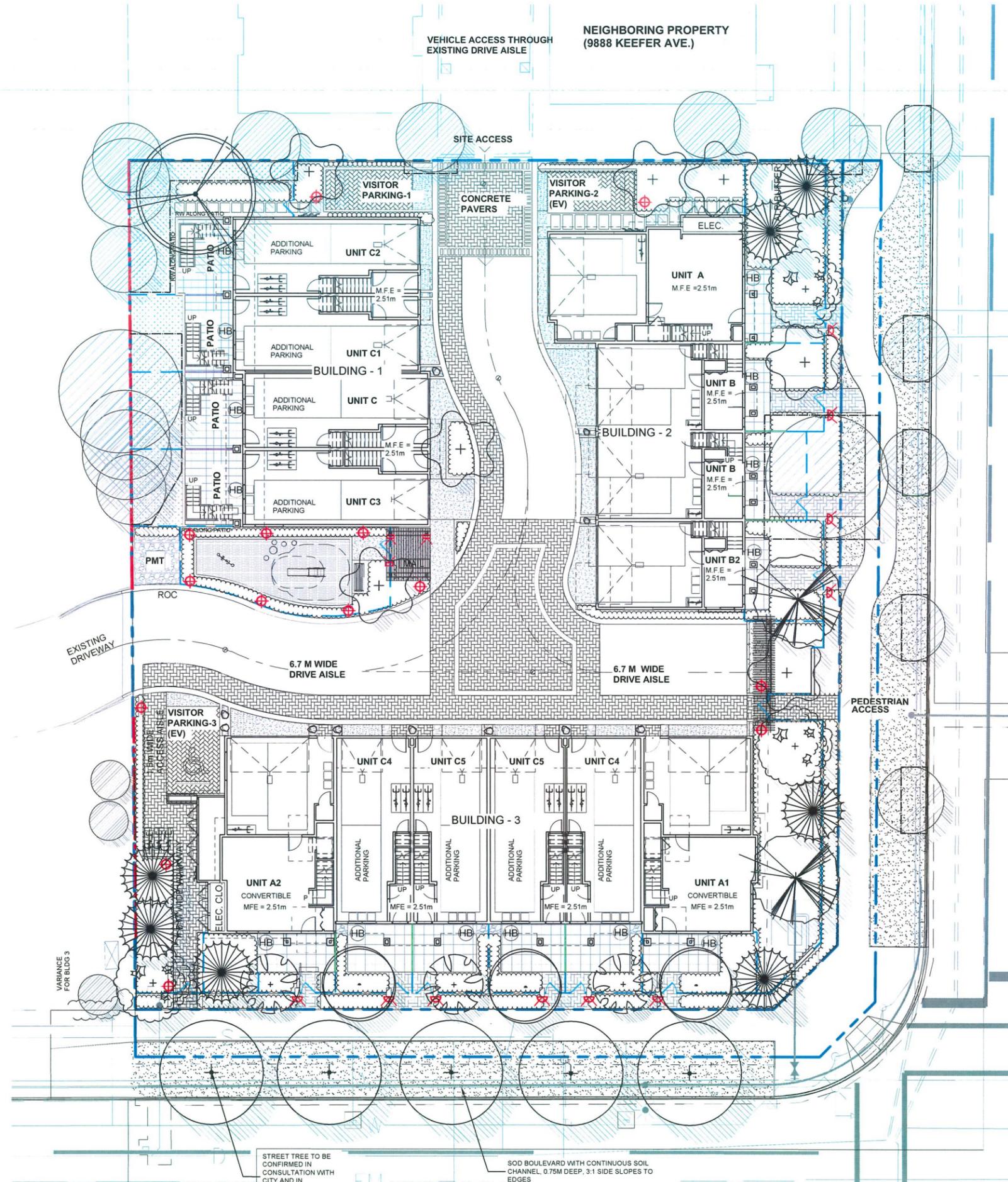
DRAWING TITLE:
TREE MANAGEMENT PLAN

DATE: 18.AUG.10
SCALE: 3/32"=1'-0"
DRAWN: RJ/MM
DESIGN: RJ
CHK'D: MCY



SEAL:

DP 24-045175
DECEMBER 15, 2025
PLAN #19



LIGHT LEGEND

| | | | | | |
|--|--|--|---|--|--|
| | BOLLARD LIGHT, LIGMAN, LBX BOLLARD, MATT SILVER DARK SKY CERTIFIED | | RECESSED LIGHT, LIGMAN, VIOS 2 SQUARE, BLACK DARK SKY CERTIFIED | | SURFACE FACADE LIGHT, LIGMAN, JET 32, BLACK DARK SKY CERTIFIED |
|--|--|--|---|--|--|

NOTE: LIGHTING SPEC/LOCATION PER ELECTRICAL DWG.

MATERIAL LEGEND

| | |
|--|--|
| | ENGINEERED WOOD MULCH |
| | BELGARD HOLLAND STONE 100 X 200 X 80MM, NATURAL COLOUR |
| | CONCRETE, BROOM FINISH |
| | BELGARD AQUALINE 110 X 221 5 X 80MM, MIDNIGHT COLOUR |
| | GRAVEL |
| | BELGARD CORTEZ 610X610X50MM, NATURAL COLOUR |
| | MARATHON SURFACES PIP RUBBER YELLOW |

FENCE LEGEND

| | |
|--|----------------------------|
| | 42" HT. ALUMINUM FENCE |
| | 6" HT. SOLID WOOD FENCE |
| | 1.8M PRIVACY FENCE BY ARCH |
| | 1.2M PRIVACY FENCE BY ARCH |
| | EXISTING 6" FENCE TO BE |

| | |
|--|----------|
| | HOSE BIB |
|--|----------|

| NO. | DATE | REVISION DESCRIPTION | DR. |
|-----|-----------|--------------------------------|--------|
| 19 | 25.SPE.26 | NEW SITE PLAN/CITY COMMENTS | RJ |
| 18 | 25.AUG.15 | NEW CIVIL PLAN/NEW GRADING | RJ |
| 17 | 25.JUN.05 | ADP COMMENTS | RJ |
| 16 | 25.JAN.30 | NEW SITE PLAN/CITY COMMENTS | RJ |
| 15 | 24.NOV.06 | CONSULTANT COMMENTS | JR |
| 14 | 24.NOV.01 | CITY COMMENTS | YR |
| 13 | 24.OCT.25 | CONSULTANT COMMENTS | CJ |
| 12 | 24.OCT.18 | CITY COMMENTS | RJ |
| 11 | 24.OCT.10 | NEW SITE PLAN - COMMENTS | MM |
| 10 | 24.SEP.10 | ISSUED FOR DP | RJ |
| 9 | 24.JUL.25 | UPDATE AIR BUFFER | RJ |
| 8 | 24.JUN.26 | NEW SITE PLAN | GHN/YR |
| 7 | 23.NOV.30 | CITY COMMENTS & NEW SITE PLAN | RJ |
| 6 | 23.APR.03 | CITY COMMENTS & NEW SITE PLAN | YR |
| 5 | 22.MAR.01 | NEW SITE PLAN/ARBORIST REPORT | RJ |
| 4 | 21.OCT.04 | DRIVE WAY UPDATED | RJ |
| 3 | 21.AUG.23 | NEW SITE PLAN/ADD PLANTING BED | RJ |
| 2 | 21.AUG.21 | NEW SITE PLAN | RJ |
| 1 | 19.MAR.06 | RE-ZONING AND DP SUBMISSION | RJ |

CLIENT:

PROJECT:
16-UNIT TOWNHOUSE DEVELOPMENT
9991 & 9951 BLUNDELL ROAD & 7951 NO.4 ROAD, RICHMOND, BC

DRAWING TITLE:
MATERIAL PLAN

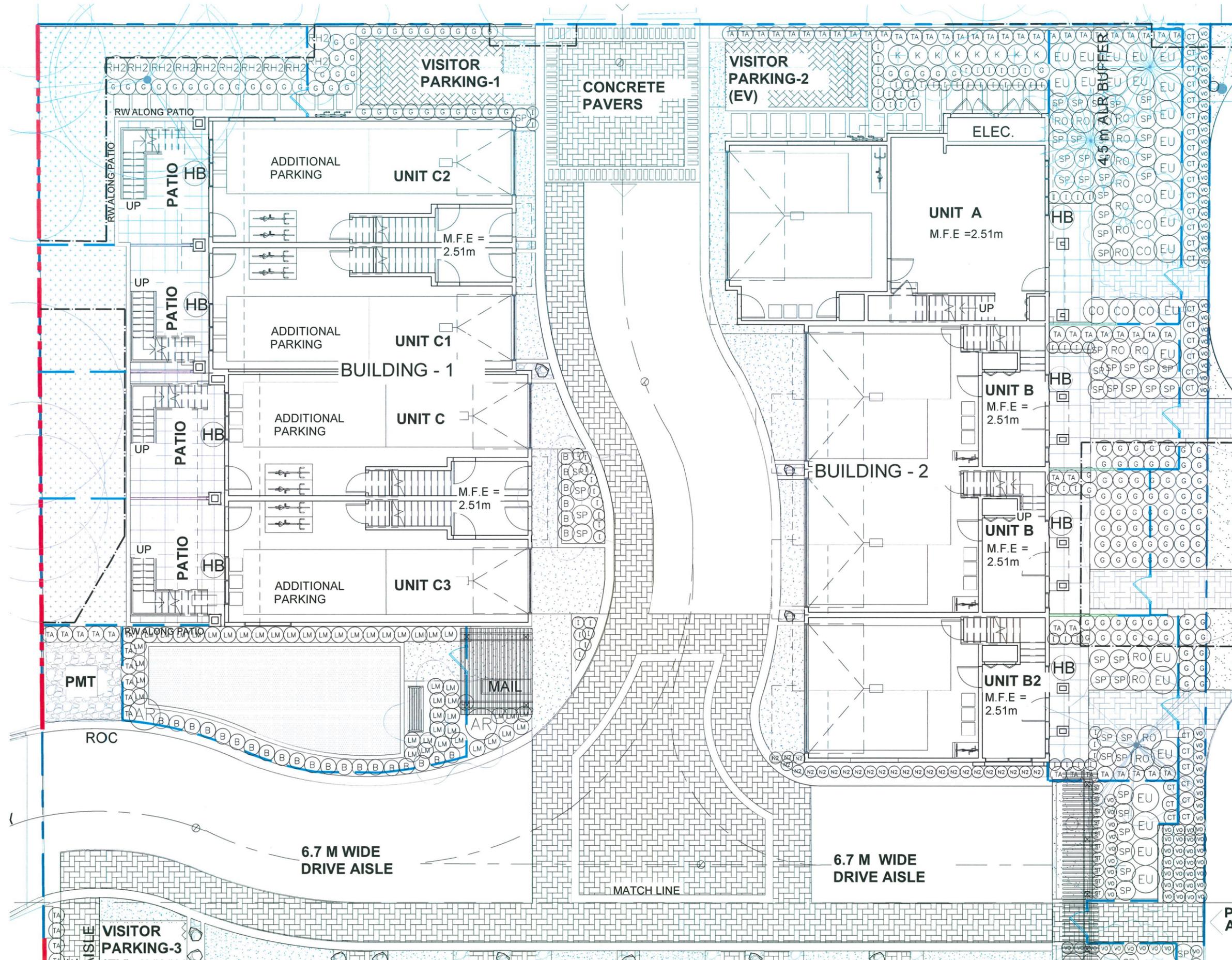
DATE: 18.AUG.10 DRAWING NUMBER:
SCALE: 3/32"=1'-0"
DRAWN: RJ/MM
DESIGN: RJ
CHK'D: MCY

L2
OF 9



SEAL:

DP 24-045175
DECEMBER 15, 2025
PLAN #20



| NO. | DATE | REVISION DESCRIPTION | DR |
|-----|-----------|--------------------------------|--------|
| 19 | 25.SPE.26 | NEW SITE PLAN/CITY COMMENTS | RJ |
| 18 | 25.AUG.15 | NEW CIVIL PLAN/NEW GRADING | RJ |
| 17 | 25.JUN.09 | ADP COMMENTS | RJ |
| 16 | 25.JAN.20 | NEW SITE PLAN/CITY COMMENTS | RJ |
| 15 | 24.NOV.06 | CONSULTANT COMMENTS | JR |
| 14 | 24.NOV.01 | CITY COMMENTS | YR |
| 13 | 24.OCT.25 | CONSULTANT COMMENTS | CJ |
| 12 | 24.OCT.18 | CITY COMMENTS | RJ |
| 11 | 24.OCT.10 | NEW SITE PLAN - COMMENTS | MM |
| 10 | 24.SEP.10 | ISSUED FOR DP | RJ |
| 9 | 24.JUL.25 | UPDATE AIR BUFFER | RJ |
| 8 | 24.JUN.26 | NEW SITE PLAN | GHN/YR |
| 7 | 23.NOV.30 | CITY COMMENTS & NEW SITE PLAN | RJ |
| 6 | 23.APR.03 | CITY COMMENTS & NEW SITE PLAN | YR |
| 5 | 22.MAR.01 | NEW SITE PLAN/ARBORIST REPORT | RJ |
| 4 | 21.OCT.04 | DRIVE WAY UPDATED | RJ |
| 3 | 21.AUG.23 | NEW SITE PLAN/ADD PLANTING BED | RJ |
| 2 | 21.AUG.21 | NEW SITE PLAN | RJ |
| 1 | 19.MAR.06 | RE-ZONING AND DP SUBMISSION | RJ |

CLIENT:

PROJECT:

16-UNIT TOWNHOUSE DEVELOPMENT
9991 & 9951 BLUNDELL ROAD & 7951 NO.4 ROAD, RICHMOND, BC

DRAWING TITLE:

SHRUB PLAN NORTH

DATE: 18.AUG.10

DRAWING NUMBER:

SCALE: 3/16"=1'-0"

DRAWN: RJ/MM

DESIGN: RJ

CHKD: MCY

PMG PROJECT NUMBER:

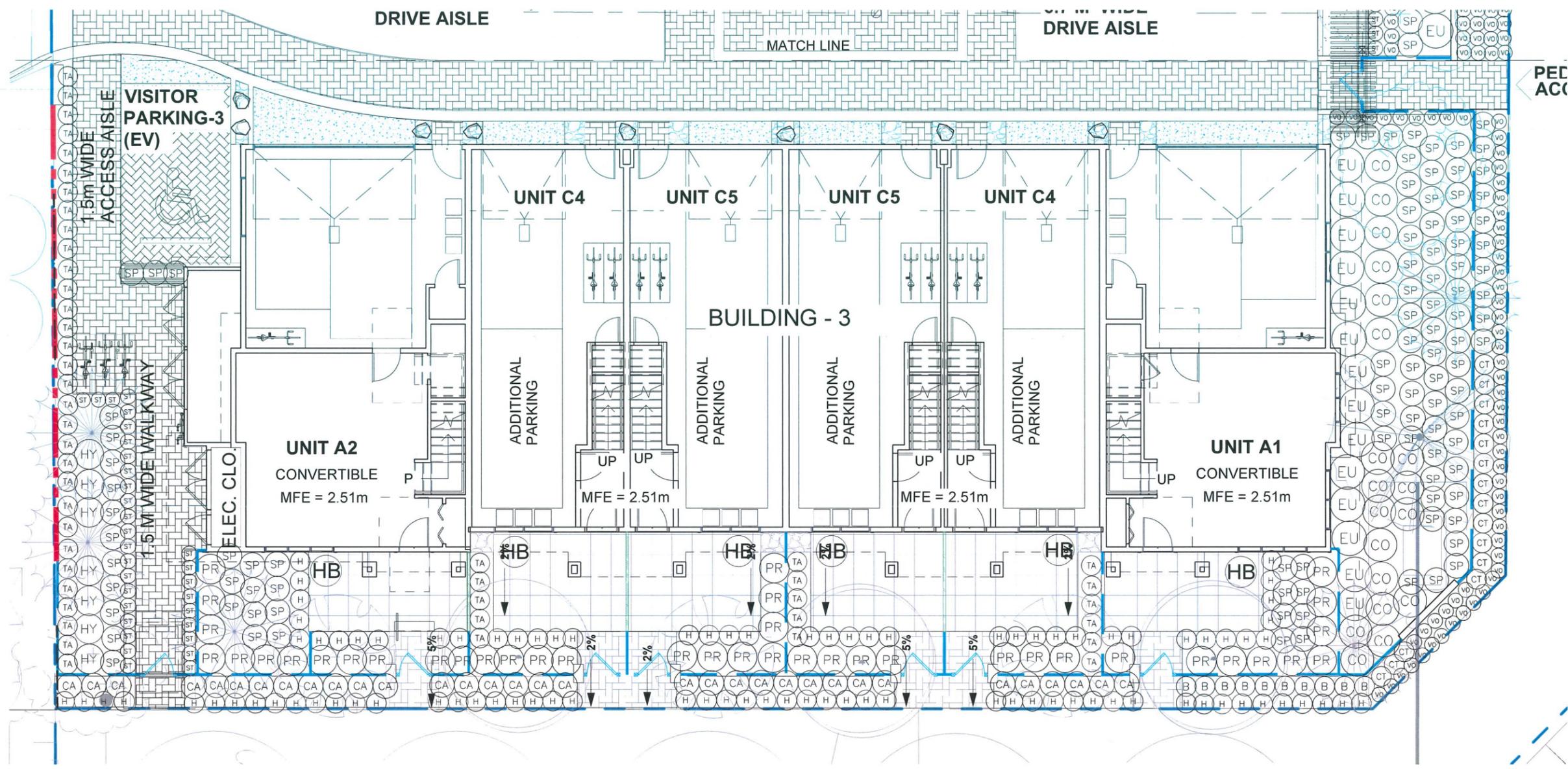
L5

OF 9

18-160



PE AC



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pmg
LANDSCAPE ARCHITECTS
Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6G9
p. 604 294-0011 f. 604 294-0022

SEAL:

DP 24-045175
DECEMBER 15, 2025
PLAN #21

| NO. | DATE | REVISION DESCRIPTION | DR. |
|-----|-----------|--------------------------------|--------|
| 19 | 25.SPE.25 | NEW SITE PLAN/CITY COMMENTS | RJ |
| 18 | 25.AUG.15 | NEW CIVIL PLAN/NEW GRADING | RJ |
| 17 | 25.JUN.05 | ADP COMMENTS | RJ |
| 16 | 25.JAN.20 | NEW SITE PLAN/CITY COMMENTS | RJ |
| 15 | 24.NOV.06 | CONSULTANT COMMENTS | JR |
| 14 | 24.NOV.01 | CITY COMMENTS | YR |
| 13 | 24.OCT.25 | CONSULTANT COMMENTS | CI |
| 12 | 24.OCT.18 | CITY COMMENTS | RJ |
| 11 | 24.OCT.10 | NEW SITE PLAN - COMMENTS | MM |
| 10 | 24.SEP.10 | ISSUED FOR DP | RJ |
| 9 | 24.JUL.25 | UPDATE ALA BUFFER | RJ |
| 8 | 24.JUN.26 | NEW SITE PLAN | GHN/YR |
| 7 | 23.NOV.30 | CITY COMMENTS & NEW SITE PLAN | RJ |
| 6 | 23.APR.03 | CITY COMMENTS & NEW SITE PLAN | YR |
| 5 | 22.MAR.01 | NEW SITE PLAN/ARBORIST REPORT | RJ |
| 4 | 21.OCT.04 | DRIVE WAY UPDATED | RJ |
| 3 | 21.AUG.23 | NEW SITE PLAN/ADD PLANTING BED | RJ |
| 2 | 21.AUG.21 | NEW SITE PLAN | RJ |
| 1 | 19.MAR.06 | RE-ZONING AND DP SUBMISSION | RJ |

CLIENT:

PROJECT:

16-UNIT TOWNHOUSE DEVELOPMENT
9991 & 9951 BLUNDELL ROAD & 7951 NO.4 ROAD, RICHMOND, BC

DRAWING TITLE:

SHRUB PLAN SOUTH

DATE: 18.AUG.10

DRAWING NUMBER:

SCALE: 3/16"=1'-0"

L6

DRAWN: RJ/MM

DESIGN: RJ

CHK'D: MCY

OF 9

PMG PROJECT NUMBER:

18160

| PLANT SCHEDULE | | | | PMG PROJECT NUMBER: 18-160 |
|------------------|-----|--|--|----------------------------|
| KEY | QTY | BOTANICAL NAME | COMMON NAME | PLANTED SIZE / REMARKS |
| SHRUB | | | | |
| AR | 2 | ARBUTUS UNEDO | STRAWBERRY TREE | #3 POT; 80CM |
| B | 36 | BUXUS MICROPHYLLA 'WINTER GEM' | LITTLE-LEAF BOX | #3 POT; 40CM |
| CO | 25 | CORNUS ALBA 'SIBIRICA' | SIBERIAN DOGWOOD | #3 POT; 80CM |
| CT | 45 | COTONEASTER LUCIDUS | HEDGE COTONEASTER | #2 POT; 40CM |
| EU | 39 | EUONYMUS ALATA | WINGED BURNING BUSH | #3 POT; 50CM |
| HY | 7 | HYDRANGEA MACROPHYLLA 'SISTER THERESA' | BIGLEAF HYDRANGEA, WHITE | #2 POT; 50CM |
| K | 8 | KALMIA LATIFOLIA 'ELF' | DWARF MOUNTAIN LAUREL | #2 POT; 30CM |
| NZ | 25 | NANDINA DOMESTICA 'FIREPOWER' | FIREPOWER HEAVENLY BAMBOO | #2 POT; 40CM |
| PR | 39 | PRUNUS LAUROCERASUS 'OTTO LUYKEN' | OTTO LUYKEN LAUREL | #3 POT; 50CM |
| RH2 | 11 | RHODODENDRON 'P.J.M.' | RHODODENDRON, LIGHT PURPLE, E. MAY | #3 POT; 50CM |
| RO | 16 | ROSA NUTKANA | NOOTKA ROSE | #2 POT; 40CM |
| SP | 151 | SPIRAEA DOUGLASII | DOUGLAS SPIREA | #3 POT; 60CM |
| TA | 108 | TAXUS X MEDIA 'HICKSII' | HICKSII YEW | 1.2M B&B |
| VO | 131 | VACCINIUM OVATUM 'THUNDERBIRD' | EVERGREEN HUCKLEBERRY | #2 POT; 50CM |
| GRASS | | | | |
| CA | 33 | CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER' | FEATHER REED GRASS | #2 POT |
| I | 69 | CAREX 'OSHIMENSIS EVERGOLD' | SILVER VARIEGATED SEDGE | #1 POT |
| ST | 41 | STIPA TENUISSIMA | MEXICAN FEATHER GRASS | #1 POT |
| PERENNIAL | | | | |
| H | 92 | HEMEROCALLIS | DAYLILY | #1 POT; 1-2 FAN |
| LM | 46 | LAVENDULA ANGUSTIFOLIA 'MUNSTEAD' | ENGLISH LAVENDER, COMPACT, VIOLET-BLUE | #1 POT |
| GC | 128 | GAULTHERIA SHALLON | SALAL | #1 POT; 20CM |

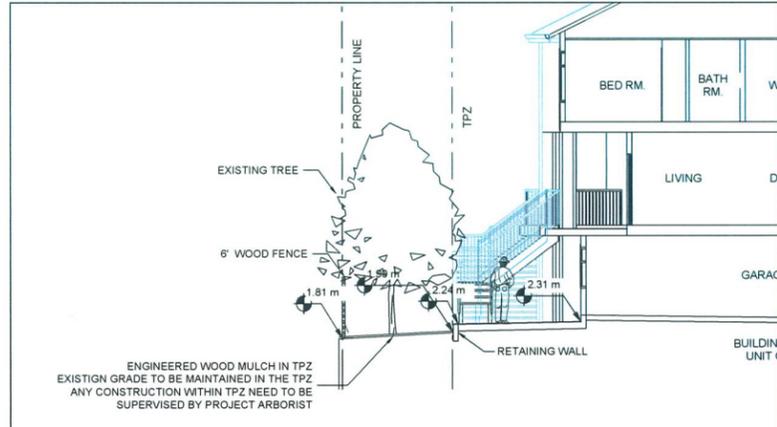
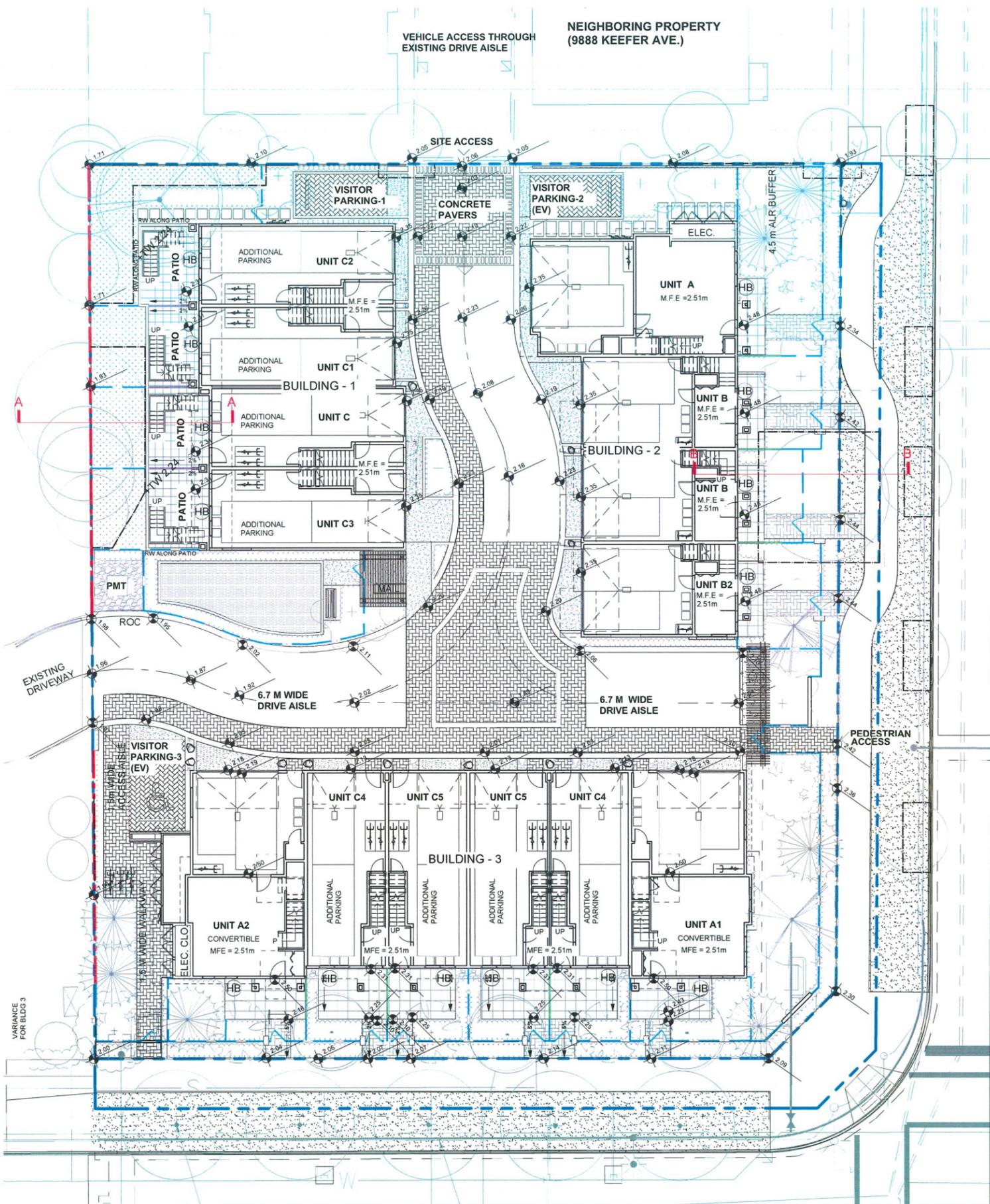
NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. * AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

NOTES: ALL SOFT LANDSCAPE AREAS TO BE IRRIGATED WITH A HIGH EFFICIENCY AUTOMATIC IRRIGATION SYSTEM. INSTALLATION TO I.I.A.B.C STANDARDS, LATEST EDITION.

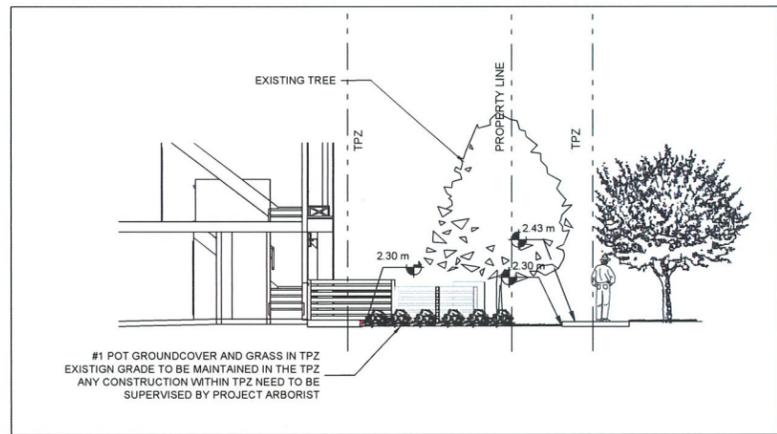


NEIGHBORING PROPERTY
(9888 KEEFER AVE.)

VEHICLE ACCESS THROUGH
EXISTING DRIVE AISLE



SECTION A-A 1/8" = 1'-0"



SECTION B-B 1/8" = 1'-0"

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pmg
LANDSCAPE ARCHITECTS
Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6G9
p. 604 294-0011 ; f. 604 294-0022

SEAL:

DP 24-045175
DECEMBER 15, 2025
PLAN #22

| NO. | DATE | REVISION DESCRIPTION | DR. |
|-----|-----------|--------------------------------|--------|
| 19 | 25.SPE.26 | NEW SITE PLAN/CITY COMMENTS | RJ |
| 18 | 25.AUG.15 | NEW CIVIL PLAN/NEW GRADING | RJ |
| 17 | 25.JUN.05 | ADD COMMENTS | RJ |
| 16 | 25.APR.20 | NEW SITE PLAN/CITY COMMENTS | RJ |
| 15 | 24.NOV.06 | CONSULTANT COMMENTS | JR |
| 14 | 24.NOV.01 | CITY COMMENTS | YR |
| 13 | 24.OCT.25 | CONSULTANT COMMENTS | CJ |
| 12 | 24.OCT.18 | CITY COMMENTS | RJ |
| 11 | 24.OCT.10 | NEW SITE PLAN - COMMENTS | MM |
| 10 | 24.SEP.10 | ISSUED FOR DP | RJ |
| 9 | 24.JUL.25 | UPDATE ALR BUFFER | RJ |
| 8 | 24.JUN.26 | NEW SITE PLAN | GHN/YR |
| 7 | 23.NOV.30 | CITY COMMENTS & NEW SITE PLAN | RJ |
| 6 | 23.APR.03 | CITY COMMENTS & NEW SITE PLAN | YR |
| 5 | 22.MAR.01 | NEW SITE PLAN/ARBORIST REPORT | RJ |
| 4 | 21.OCT.04 | DRIVE WAY UPDATED | RJ |
| 3 | 21.AUG.23 | NEW SITE PLAN/ADD PLANTING BED | RJ |
| 2 | 21.AUG.21 | NEW SITE PLAN | RJ |
| 1 | 19.MAR.06 | RE-ZONING AND DP SUBMISSION | RJ |

CLIENT:

PROJECT:
16-UNIT TOWNHOUSE DEVELOPMENT
9991 & 9951 BLUNDELL ROAD & 7951 NO.4 ROAD, RICHMOND, BC

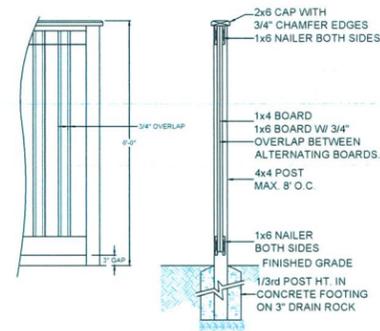
DRAWING TITLE:
GRADING PLAN

DATE: 18.AUG.10 DRAWING NUMBER:
SCALE: 3/32"=1'-0"
DRAWN: RJ/MM
DESIGN: RJ
CHKD: MCY

L7
OF 9



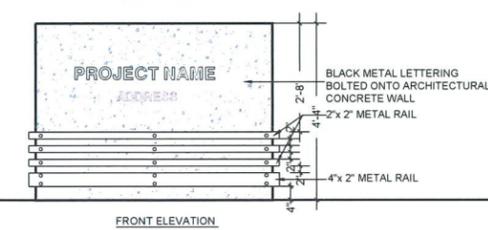
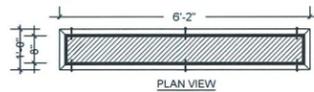
DP 24-045175
DECEMBER 15, 2025
PLAN #23



- NOTE:
1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE
 2. ALL OTHER MEMBERS TO BE CEDAR #2 (CONSTRUCTION) GRADE MINIMUM
 3. ALL HARDWARE HOT DIPPED GALVANIZED
 4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURER'S SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
 5. ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12"-18" STEPS (MAX.). GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3-6".

1 6'-0" HEIGHT SOLID WOOD FENCE

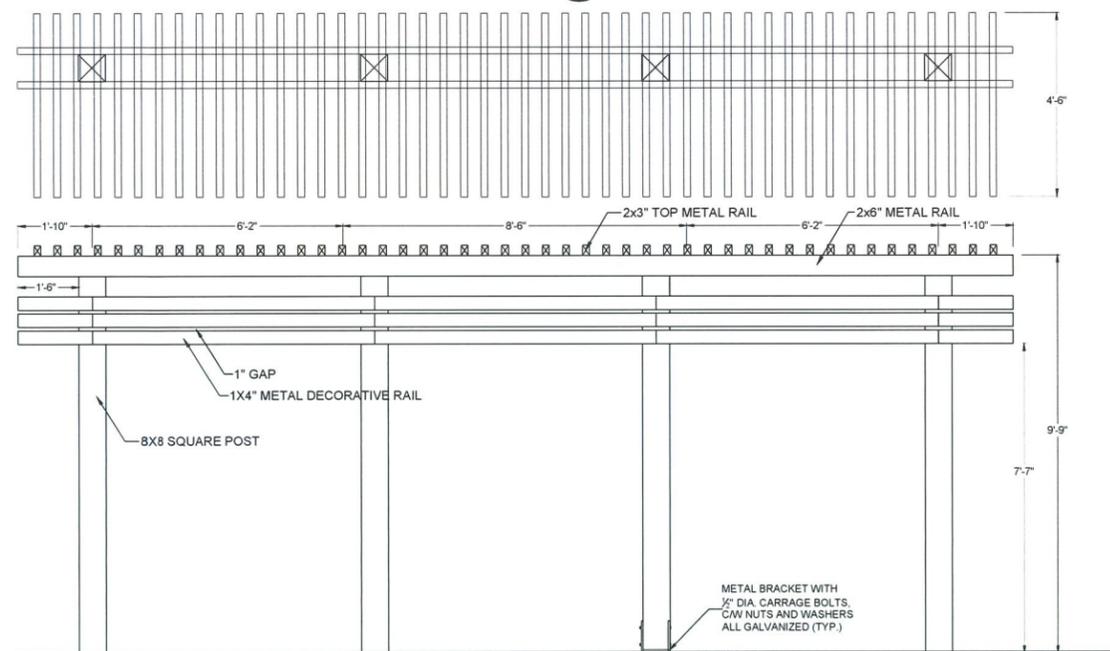
SCALE: 1/2"=1'-0"



- NOTE:
ALL METAL RAILS TO BE FINISHED IN BLACK

5 SIGN WALL

SCALE: 1/2"=1'-0"



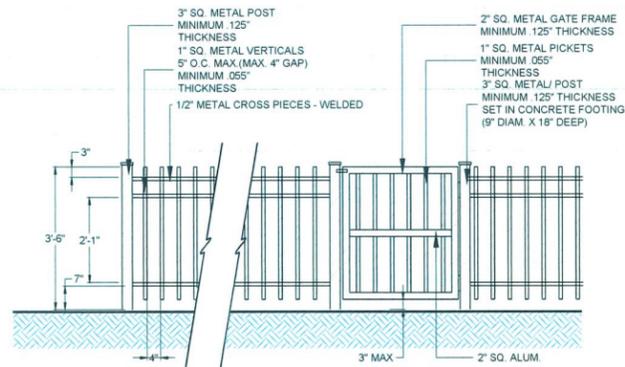
- NOTE:
ALL METAL RAILS TO BE FINISHED IN BLACK

CONC. FOOTING ON 6" OF COMPACTED BASE
3/4" ROAD CRUSH ON COMPACTED SUBGRADE
TYPICAL FOR ALL CONC. FOOTING

- NOTE:
- DELEGATED DESIGN - PROVIDE ENGINEERED SHOP DRAWINGS FOR PMG TO REVIEW PRIOR TO CONSTRUCTION.
- ALL METAL TO BE FINISHED IN BLACK.

8 TRELLIS STRUCTURE (ENTRY)

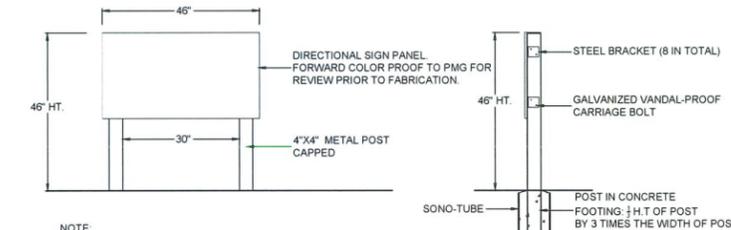
SCALE: 1/2"=1'-0"



- NOTE:
INDUSTRIAL-GRADE METAL FENCING
HEAVY DUTY HANDLE & HINGES
AAMA 2603 COMPLIANT POWDER-COATING
COLOUR OF FENCE TO BE APPROVED BY LANDSCAPE ARCHITECT

2 42" HIGH ALUMINIUM FENCE DETAIL

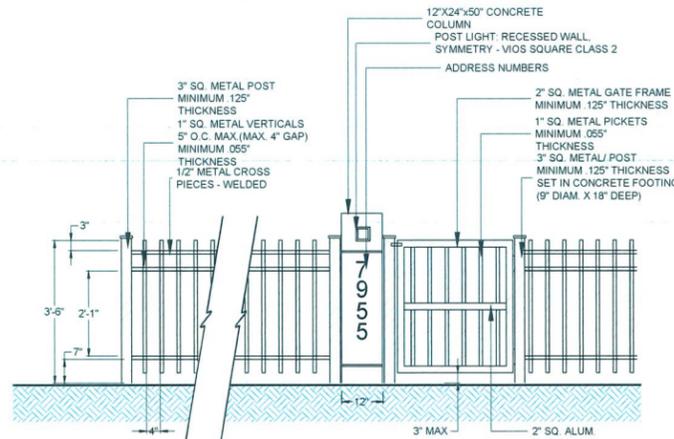
SCALE: 1/2"=1'-0"



- NOTE:
METAL TO BE POWDER COATED (2 COATS) IN SEMI-GLOSS BLACK
CONTRACTOR TO SUPPLY SHOP DRAWINGS FOR REVIEW BY LANDSCAPE ARCHITECT

6 DIRECTIONAL SIGNAGE

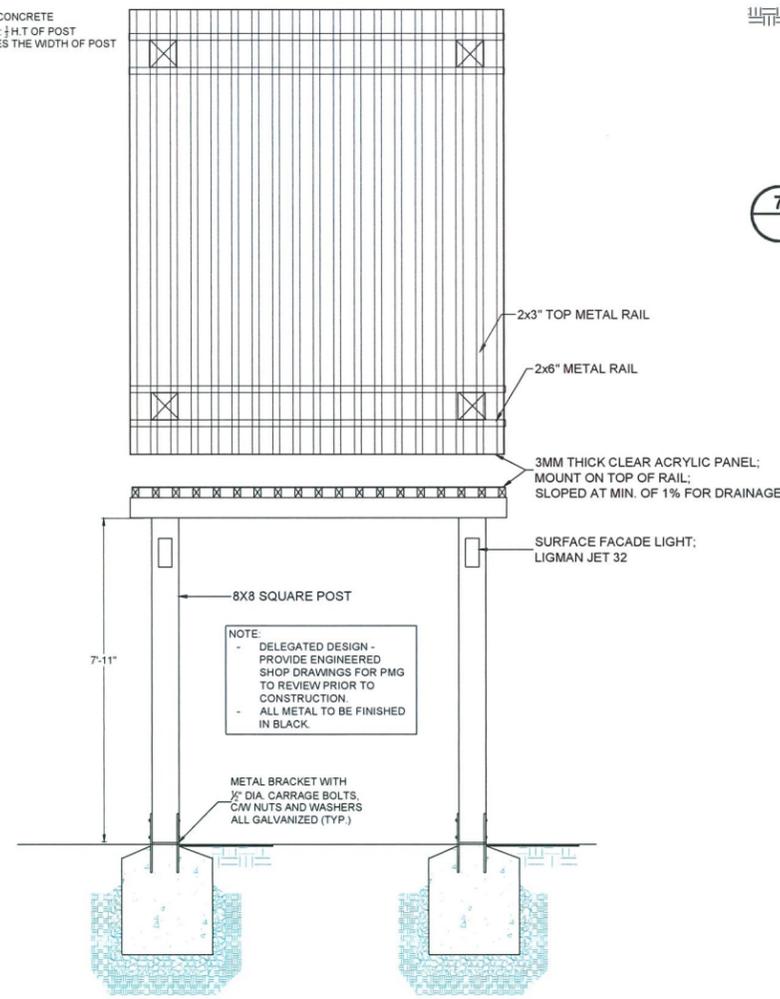
SCALE: 1/2"=1'-0"



- NOTE:
INDUSTRIAL-GRADE METAL FENCING
HEAVY DUTY HANDLE & HINGES
AAMA 2603 COMPLIANT POWDER-COATING
COLOUR OF FENCE TO BE APPROVED BY LANDSCAPE ARCHITECT

3 ADDRESS COLUMN AND GATE

SCALE: 1/2"=1'-0"

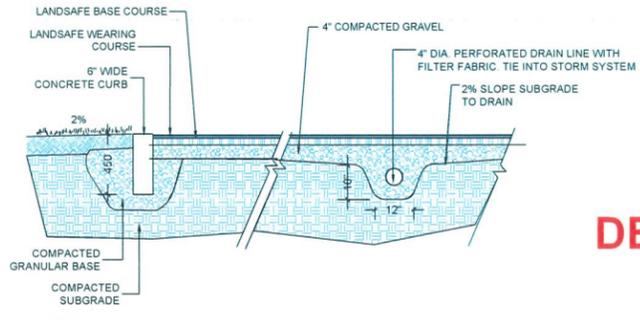


- NOTE:
- DELEGATED DESIGN - PROVIDE ENGINEERED SHOP DRAWINGS FOR PMG TO REVIEW PRIOR TO CONSTRUCTION.
- ALL METAL TO BE FINISHED IN BLACK.

METAL BRACKET WITH 3/8" DIA. CARRIAGE BOLTS, CW NUTS AND WASHERS ALL GALVANIZED (TYP.)

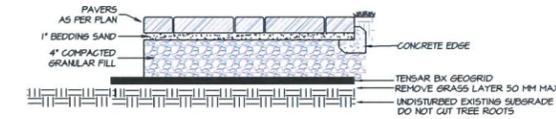
9 TRELLIS STRUCTURE (AMENITY AREA)

SCALE: 1/2"=1'-0"



4 PLAYGROUND SAFETY SURFACE

SCALE: 1/2"=1'-0"



- ALL WORK WITHIN THE PROTECTED ROOT ZONES OF TREES MUST BE UNDER THE SUPERVISION OF THE PROJECT ARBORIST

7 PAVER DETAIL THROUGH ROOT ZONE

SCALE: 1"=1'-0"

| NO. | DATE | REVISION DESCRIPTION | DR. |
|-----|-----------|--------------------------------|--------|
| 19 | 25.SEP.26 | NEW SITE PLAN/CITY COMMENTS | RJ |
| 18 | 25.AUG.15 | NEW CIVIL PLAN/NEW GRADING | RJ |
| 17 | 25.JUN.05 | ADP COMMENTS | RJ |
| 16 | 25.JAN.20 | NEW SITE PLAN/CITY COMMENTS | RJ |
| 15 | 24.NOV.06 | CONSULTANT COMMENTS | JR |
| 14 | 24.NOV.01 | CITY COMMENTS | YR |
| 13 | 24.OCT.25 | CONSULTANT COMMENTS | CJ |
| 12 | 24.OCT.18 | CITY COMMENTS | RJ |
| 11 | 24.OCT.10 | NEW SITE PLAN - COMMENTS | MM |
| 10 | 24.SEP.10 | ISSUED FOR DP | RJ |
| 9 | 24.JUL.25 | UPDATE ALR BUFFER | RJ |
| 8 | 24.JUN.26 | NEW SITE PLAN | GHR/YR |
| 7 | 23.NOV.30 | CITY COMMENTS & NEW SITE PLAN | RJ |
| 6 | 23.APR.03 | CITY COMMENTS & NEW SITE PLAN | YR |
| 5 | 22.MAR.01 | NEW SITE PLAN/ARBORIST REPORT | RJ |
| 4 | 21.OCT.04 | DRIVE WAY UPDATED | RJ |
| 3 | 21.AUG.23 | NEW SITE PLAN/ADD PLANTING BED | RJ |
| 2 | 21.AUG.21 | NEW SITE PLAN | RJ |
| 1 | 19.MAR.06 | RE-ZONING AND DP SUBMISSION | RJ |

CLIENT:

PROJECT:

16-UNIT TOWNHOUSE DEVELOPMENT
9991 & 9951 BLUNDELL ROAD & 7951 NO.4 ROAD, RICHMOND, BC

DRAWING TITLE:

LANDSCAPE DETAILS

DATE: 18.AUG.10

DRAWING NUMBER:

SCALE: AS SHOWN

DRAWN: RJ/MM

DESIGN: RJ

CHK'D: MCY

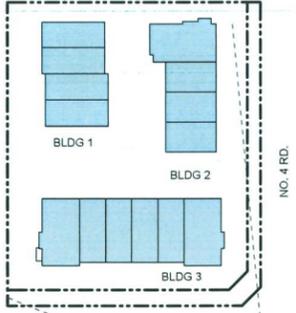
L8

OF 9



1. SOUTH-EAST VIEW - FROM THE CROSSROADS OF BLUNDELL RD. AND NO. 4 RD.

NOTES:



KEY PLAN

| | | |
|------------|---|------------------------------------|
| 2015-12-08 | S | DP RESUBMISSION |
| 2016-12-01 | B | DP RESUBMISSION |
| 2016-11-17 | G | DP RESUBMISSION |
| 2016-10-01 | F | DP RESUBMISSION |
| 2016-09-20 | G | DP RESUBMISSION |
| 2014-11-09 | H | APP SET FOR REVIEW |
| 2014-10-29 | M | APP SET FOR REVIEW |
| 2014-10-08 | L | DP RESUBMISSION |
| 2014-09-11 | K | DP APPLICATION |
| 2014-07-09 | J | P2 RESUBMISSION |
| 2014-04-01 | I | P2 RESUBMISSION |
| 2014-01-10 | H | P2 RESUBMISSION |
| 2013-12-11 | F | P2 RESUBMISSION |
| 2013-11-01 | G | P2 RESUBMISSION |
| 2013-10-11 | E | P2 RESUBMISSION |
| 2013-09-20 | E | P2 RESUBMISSION |
| 2013-10-11 | F | P2 RESUBMISSION |
| 2013-08-15 | C | P2 SUBMISSION |
| 2013-08-15 | B | CONNET & PRELIMINARY DP SUBMISSION |

DF ARCHITECTURE INC.

350-10851 SHELLBRIDGE WAY RICHMOND, B.C.
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PROJECT: PROPOSED TOWNHOUSE DEVELOPMENT

9991 & 9951 BLUNDELL ROAD & 7951 NO. 4 ROAD, RICHMOND, B.C

CLIENT:
WEST KARAGON PROPERTIES INC.

| | |
|-------------|------------|
| DRAWN | PS |
| CHECKED | JA |
| SCALE | |
| JOB NO. | RCH-029 |
| DATE | MARCH 2019 |
| SHEET TITLE | RENDERINGS |



DP 24-045175
DECEMBER 15, 2025
REFERENCE PLAN

| | | | |
|-------------|--------------|----------|--|
| DRAWING No. | A-450 | S | |
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2025-12-08 - DP RESUBMISSION

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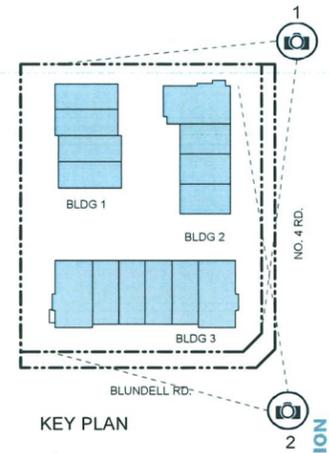


1. NORTH-EAST VIEW FROM NO.4 RD.



2. SOUTH-EAST VIEW - FROM THE CROSSROADS OF BLUNDELL RD. AND NO. 4 RD.

NOTES:



KEY PLAN

| DATE | DESCRIPTION | BY |
|------------|-------------|------------------------------------|
| 2025-12-08 | S | DP RESUBMISSION |
| 2025-12-01 | R | DP RESUBMISSION |
| 2025-11-17 | Q | DP RESUBMISSION |
| 2025-10-21 | P | DP RESUBMISSION |
| 2025-09-29 | G | DP RESUBMISSION |
| 2024-11-05 | N | APP SET FOR REVIEW |
| 2024-10-29 | M | APP SET FOR REVIEW |
| 2024-10-29 | L | DP RESUBMISSION |
| 2024-09-11 | K | DP APPLICATION |
| 2024-07-29 | T | P2 RESUBMISSION |
| 2024-04-29 | L | P2 RESUBMISSION |
| 2024-01-18 | H | P2 RESUBMISSION |
| 2022-11-01 | G | P2 RESUBMISSION |
| 2022-10-11 | F | P2 RESUBMISSION |
| 2022-05-24 | E | P2 RESUBMISSION |
| 2021-10-14 | D | P2 RESUBMISSION |
| 2021-09-14 | C | P2 SUBMISSION |
| 2021-06-18 | B | ZONING & PRELIMINARY DP SUBMISSION |

DF ARCHITECTURE INC.

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GROUP 161

OF ARCHITECTURE • ATLAS PACIFIC ARCHITECTURE • BARNETT COBB ARCHITECTS

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PROJECT: PROPOSED TOWNHOUSE DEVELOPMENT

9991 & 9951 BLUNDELL ROAD & 7951 NO. 4 ROAD, RICHMOND, B.C

CLIENT:
WEST KARAGON PROPERTIES INC.

| | |
|-------------|------------|
| DRAWN | PS |
| CHECKED | JA |
| SCALE | |
| JOB NO. | RCH-029 |
| DATE | MARCH 2019 |
| SHEET TITLE | 2025-12-08 |

RENDERINGS

| | | | |
|-------------|--------------|----------|--|
| DRAWING No. | A-451 | S | |
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DP 24-045175
DECEMBER 15, 2025
REFERENCE PLAN

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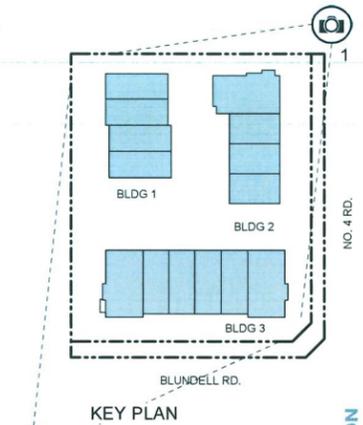


1. NORTH-EAST VIEW FROM NO.4 RD.



2. SOUTH-WEST VIEW FROM BLUNDELL RD.

NOTES:



KEY PLAN

DP 24-045175
DECEMBER 15, 2025
REFERENCE PLAN

| | | |
|------------|---|------------------------------------|
| 2025-12-08 | S | DP RESUBMISSION |
| 2025-12-07 | B | DP RESUBMISSION |
| 2025-11-17 | G | DP RESUBMISSION |
| 2025-10-04 | F | DP RESUBMISSION |
| 2025-09-20 | D | DP RESUBMISSION |
| 2024-11-06 | H | APP SET FOR REVIEW |
| 2024-10-29 | M | APP SET FOR REVIEW |
| 2024-10-08 | L | DP RESUBMISSION |
| 2024-09-13 | K | DP APPLICATION |
| 2024-07-29 | J | P2 RESUBMISSION |
| 2024-04-03 | I | P2 RESUBMISSION |
| 2024-01-10 | H | P2 RESUBMISSION |
| 2022-11-01 | G | P2 RESUBMISSION |
| 2022-10-11 | F | P2 RESUBMISSION |
| 2022-08-20 | E | P2 RESUBMISSION |
| 2021-10-10 | D | P2 RESUBMISSION |
| 2021-09-10 | C | P2 SUBMISSION |
| 2021-06-10 | B | ZONING & PRELIMINARY DP SUBMISSION |

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PROJECT:
PROPOSED TOWNHOUSE DEVELOPMENT

9991 & 9951 BLUNDELL ROAD & 7951 NO. 4 ROAD, RICHMOND, B.C.

CLIENT:
WEST KARAGON PROPERTIES INC.

| | |
|---------|------------|
| DRAWN | PS |
| CHECKED | JA |
| SCALE | |
| JOB NO. | RCH-029 |
| DATE | MARCH 2019 |
| | 2025-12-08 |



SHEET TITLE

RENDERINGS

| | | | |
|-------------|--------------|----------|----------|
| DRAWING No. | A-452 | S | N |
|-------------|--------------|----------|----------|

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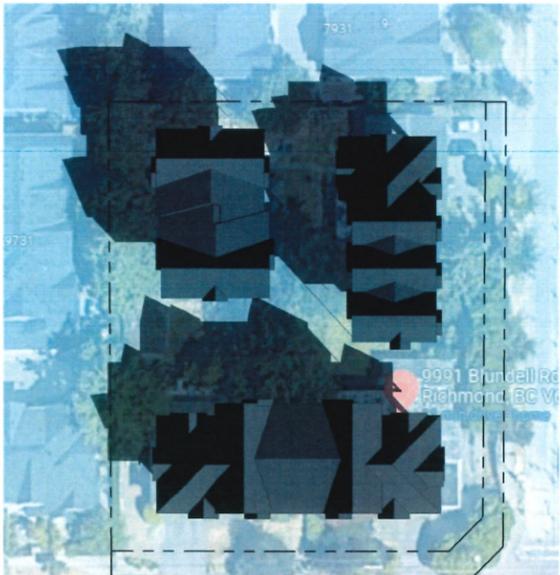
2025-12-08 - DP RESUBMISSION

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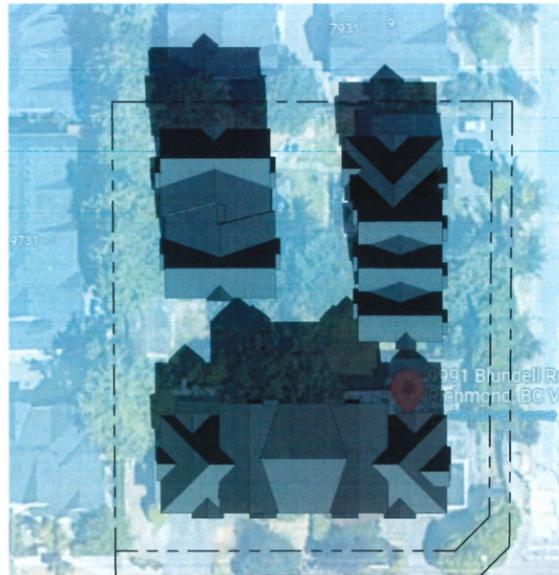
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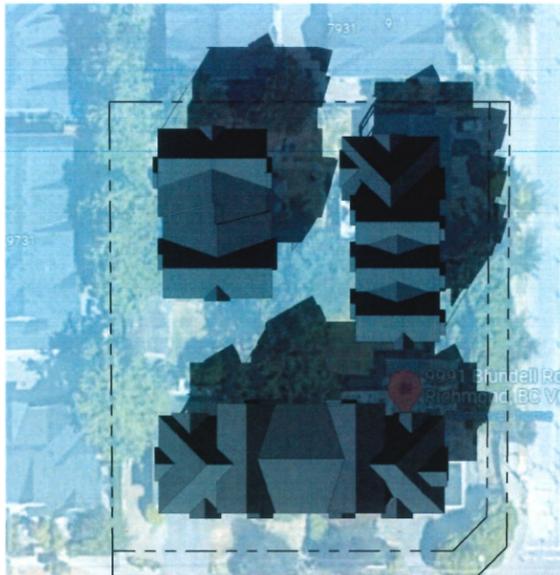
DP 24-045175 DECEMBER 15, 2025 REFERENCE PLAN



1 **SPRING EQ 10AM**
A-105 1/32" = 1'-0"



2 **SPRING EQ NOON**
A-105 1/32" = 1'-0"



3 **SPRING EQ 2PM**
A-105 1/32" = 1'-0"



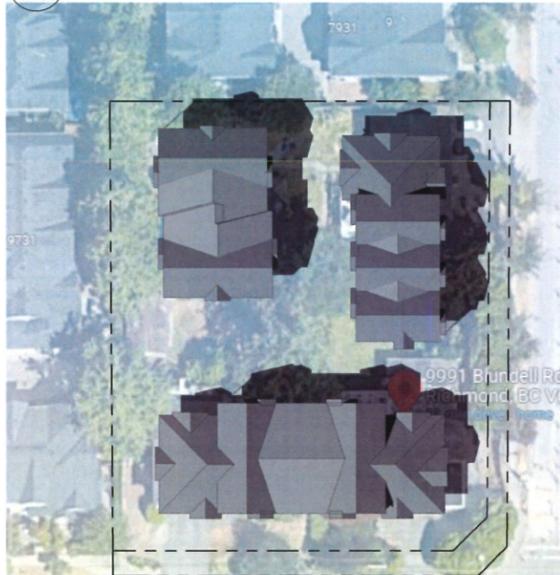
4 **SPRING EQ 4PM**
A-105 1/32" = 1'-0"



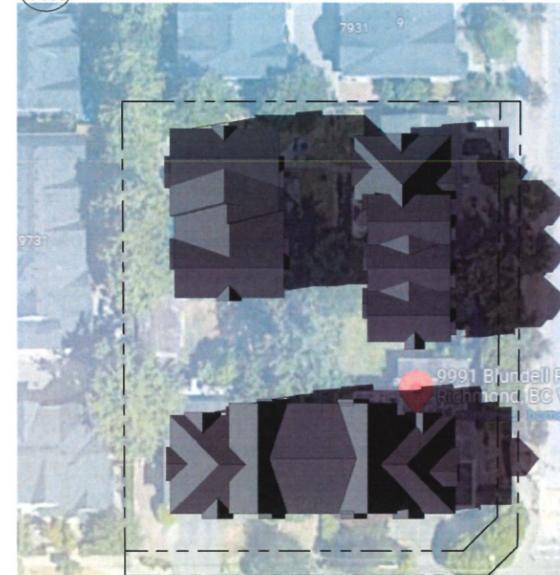
5 **SUMMER EQ 10AM**
A-105 1/32" = 1'-0"



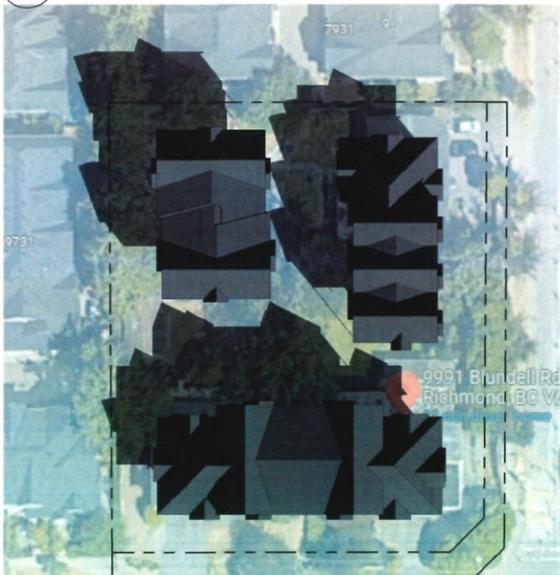
6 **SUMMER EQ NOON**
A-105 1/32" = 1'-0"



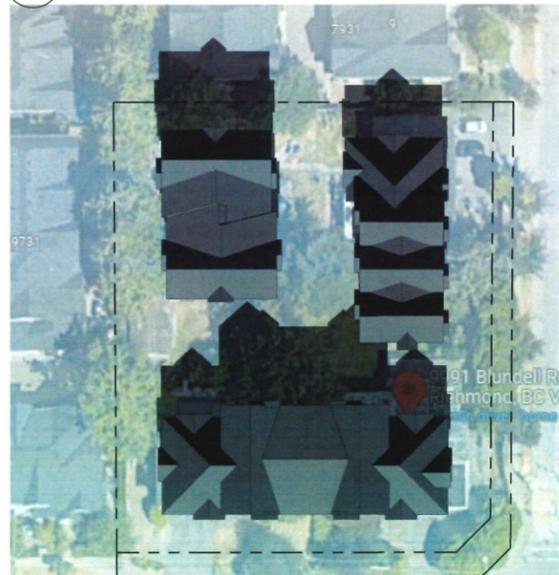
7 **SUMMER EQ 2PM**
A-105 1/32" = 1'-0"



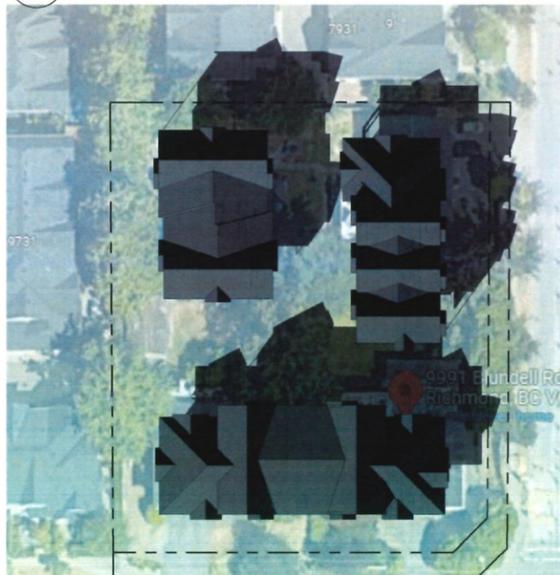
8 **SUMMER EQ 4PM**
A-105 1/32" = 1'-0"



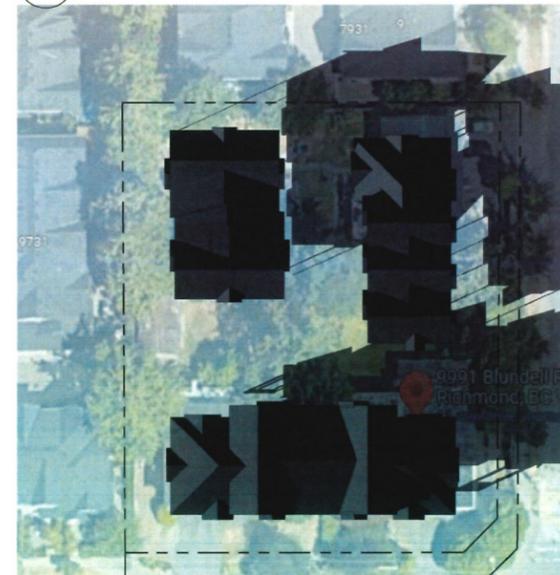
9 **FALL EQ 10AM**
A-105 1/32" = 1'-0"



10 **FALL EQ NOON**
A-105 1/32" = 1'-0"



11 **FALL EQ 2PM**
A-105 1/32" = 1'-0"



12 **FALL EQ 4PM**
A-105 1/32" = 1'-0"

| | | |
|------------|---|------------------------------------|
| 2025-12-08 | S | DP RESUBMISSION |
| 2025-12-01 | R | DP RESUBMISSION |
| 2025-11-17 | D | DP RESUBMISSION |
| 2025-10-21 | R | DP RESUBMISSION |
| 2025-09-29 | D | DP RESUBMISSION |
| 2024-11-09 | N | APP SET FOR REVIEW |
| 2024-10-29 | M | APP SET FOR REVIEW |
| 2024-10-29 | L | DP RESUBMISSION |
| 2024-09-11 | K | DP APPLICATION |
| 2024-07-29 | J | P2 RESUBMISSION |
| 2024-06-03 | I | P2 RESUBMISSION |
| 2024-01-19 | H | P2 RESUBMISSION |
| 2023-11-07 | G | P2 RESUBMISSION |
| 2023-08-17 | F | P2 RESUBMISSION |
| 2023-05-24 | E | P2 RESUBMISSION |
| 2023-04-11 | D | P2 RESUBMISSION |
| 2023-03-15 | C | P2 SUBMISSION |
| 2021-08-18 | B | ZONING & PRELIMINARY DP SUBMISSION |

DF ARCHITECTURE INC.

350-10651 SHELLBRIDGE WAY, RICHMOND, B.C.
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www.dfarchitecture.ca



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PROJECT: TOWNHOUSE DEVELOPMENT

9991 & 9951 BLUNDELL ROAD & 7951 NO. 4 ROAD, RICHMOND, B.C.

CLIENT: WEST KARAGON PROPERTIES INC.

| | |
|-------------|---------------|
| DRAWN | PS |
| CHECKED | JA |
| SCALE | 1/32" = 1'-0" |
| JOB NO. | RCH-029 |
| DATE | MARCH 2019 |
| SHEET TITLE | 2025-12-08 |



SHADOW ANALYSIS

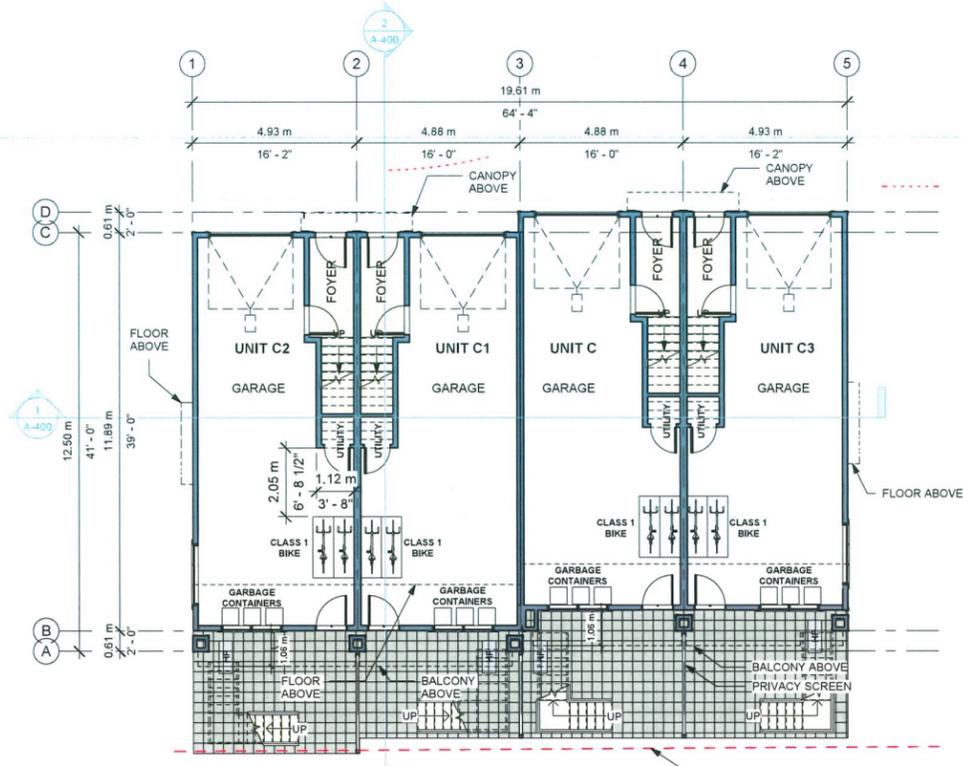
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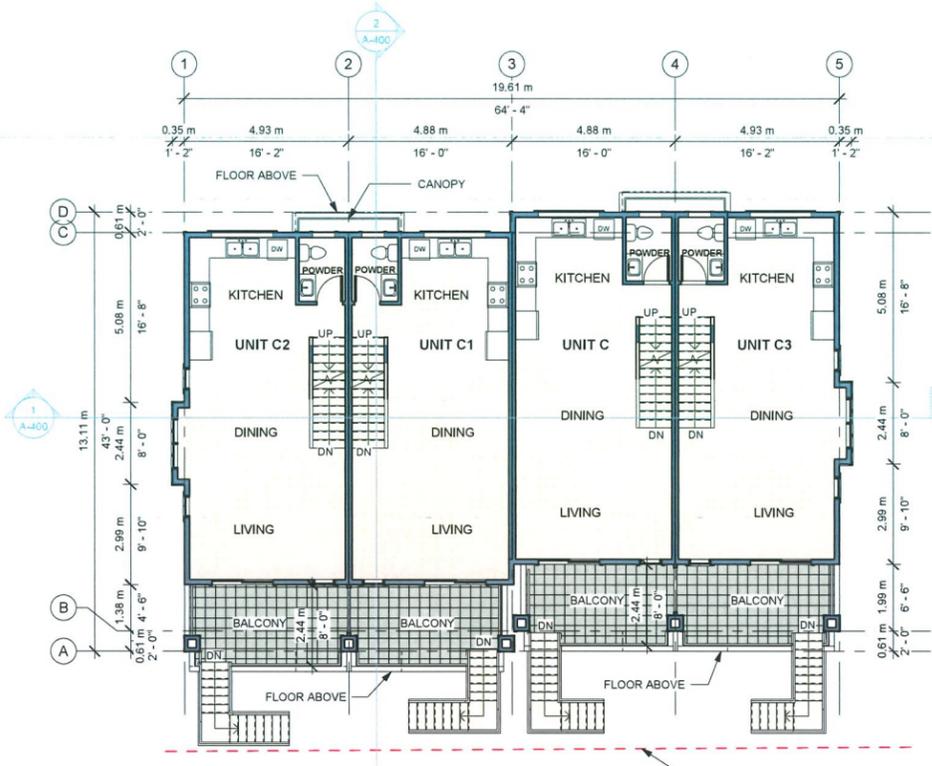
2025-12-08 - DP RESUBMISSION

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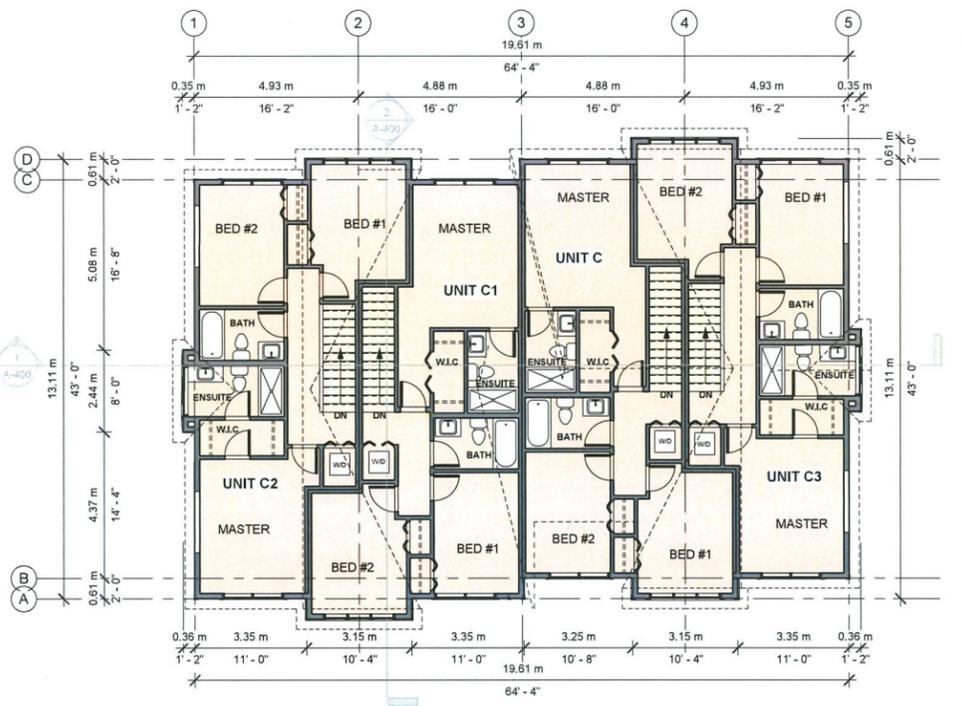
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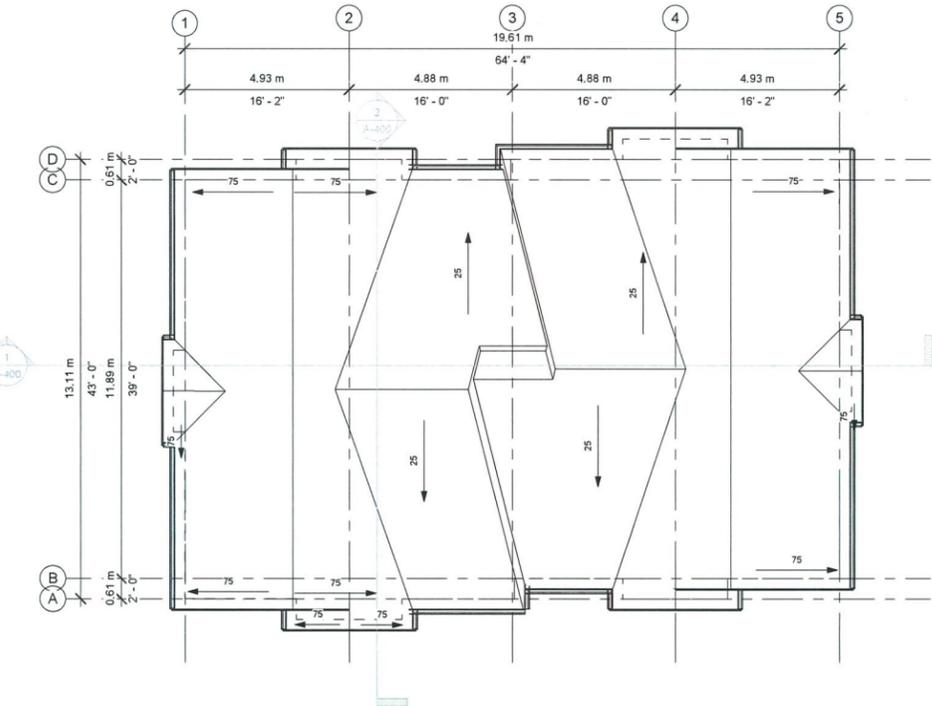
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A-200 1/8" = 1'-0"



2 BLDG 1 LVL 2
A-200 1/8" = 1'-0"

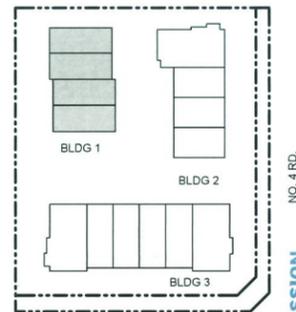


3 BLDG 1 LVL 3
A-200 1/8" = 1'-0"



4 BLDG 1 ROOF PLAN
A-200 1/8" = 1'-0"

NOTES:
ALL MULTIPLE FAMILY RESIDENTIAL DEVELOPMENTS IN RICHMOND ARE REQUIRED TO HAVE AGING IN PLACE FEATURES IN ALL OF THE UNITS (E.G. INSTALLATION OF GRAB-BARS, PROVISION OF BLOCKING TO STAIR WALLS TO ACCOMMODATE LIFT INSTALLATION AT A FUTURE DATE, AND PROVISION OF LEVER DOOR HANDLES).



KEY PLAN

| REV | DATE | DESCRIPTION |
|-----|------------|-----------------|
| 01 | 2025-12-08 | DP RESUBMISSION |
| 02 | 2025-12-08 | DP RESUBMISSION |
| 03 | 2025-12-08 | DP RESUBMISSION |
| 04 | 2025-12-08 | DP RESUBMISSION |
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| 99 | 2025-12-08 | DP RESUBMISSION |
| 100 | 2025-12-08 | DP RESUBMISSION |

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PROJECT: PROPOSED TOWNHOUSE DEVELOPMENT

9991 & 9951 BLUNDELL ROAD & 7951 NO. 4 ROAD, RICHMOND, B.C.

CLIENT: WEST KARAGON PROPERTIES INC.

| | |
|-------------|--------------|
| DRAWN | PS |
| CHECKED | JA |
| SCALE | 1/8" = 1'-0" |
| JOB NO. | RCH-029 |
| DATE | MARCH 2019 |
| SHEET TITLE | 2025-12-08 |

BUILDING 1 - FLOOR PLANS

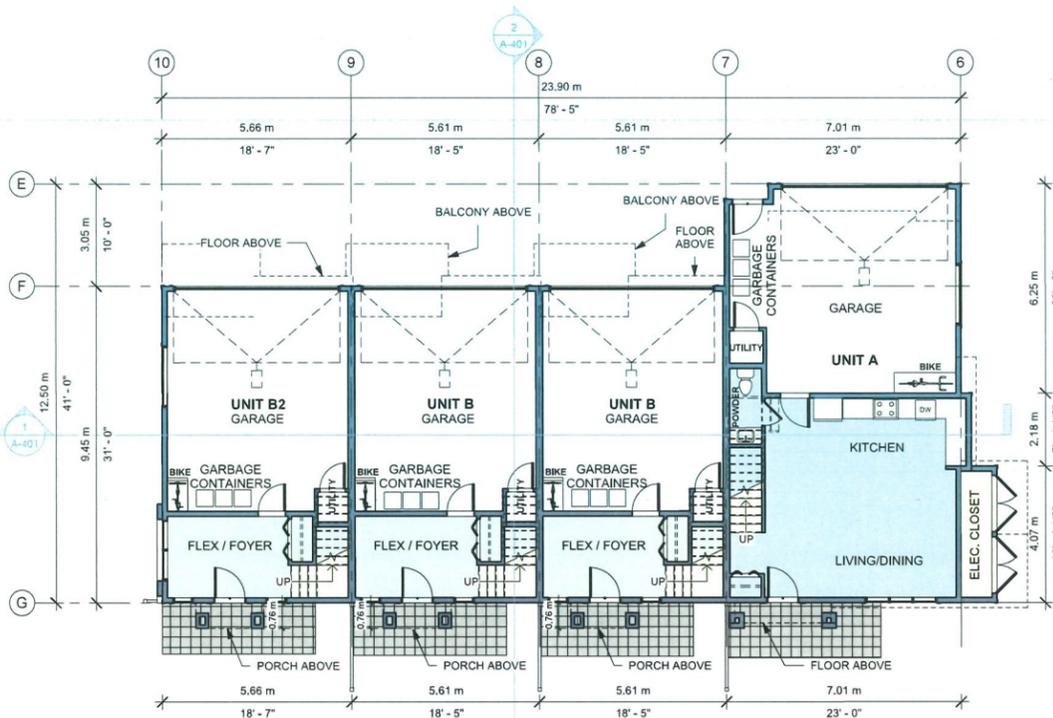
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| North Arrow | |

DP 24-045175
DECEMBER 15, 2025
REFERENCE PLAN

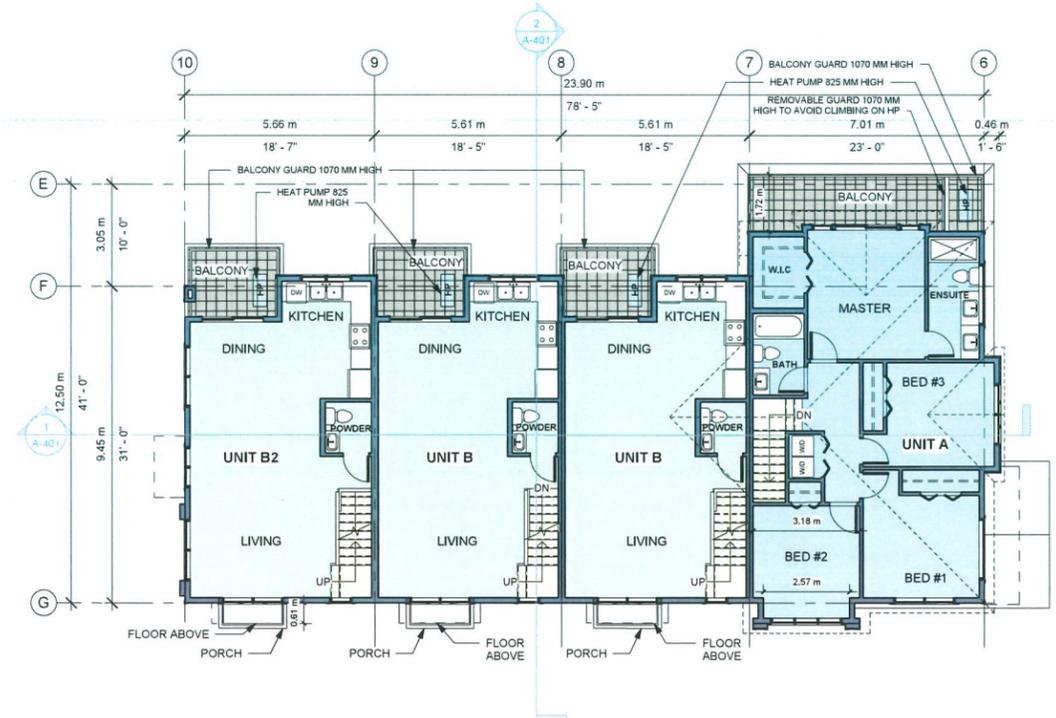
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2025-12-08 - DP RESUBMISSION NO. 4 RD.

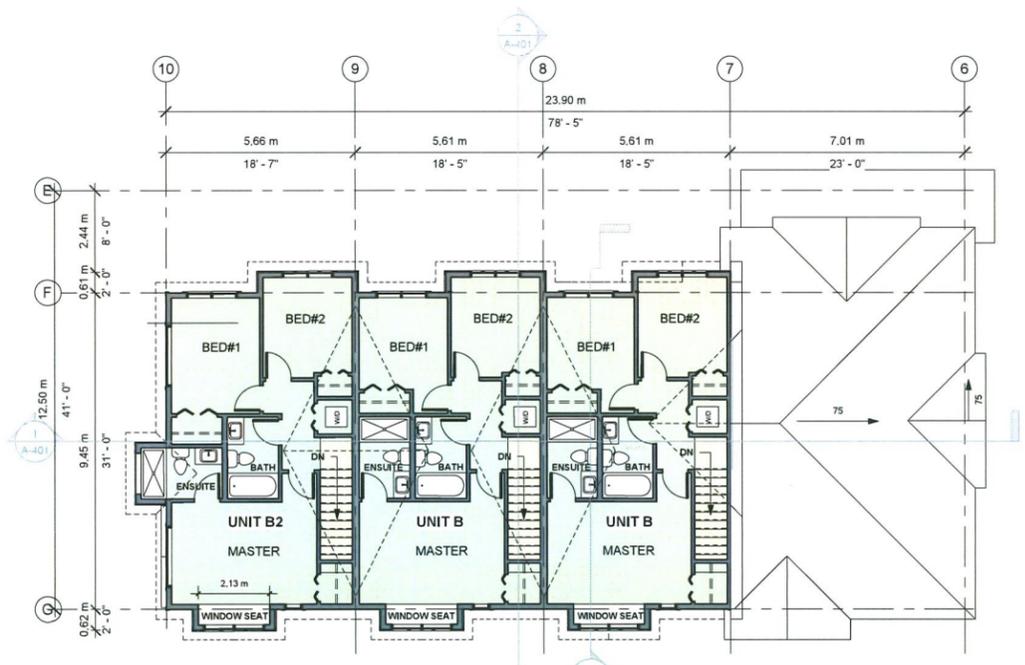
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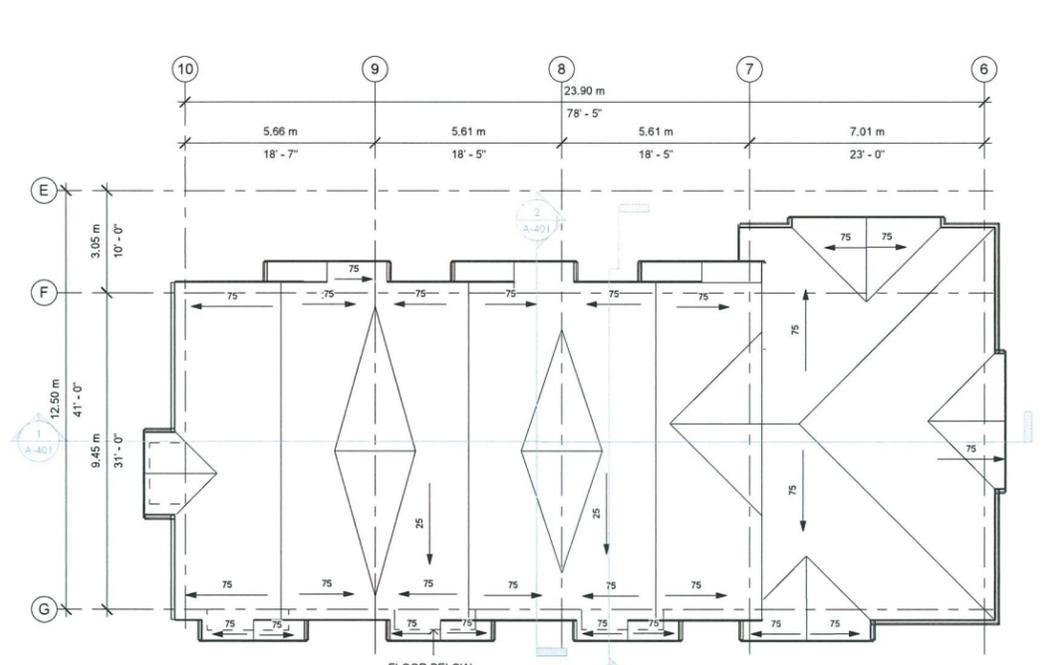
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1/8" = 1'-0"



2 BLDG 2 LVL 2
1/8" = 1'-0"

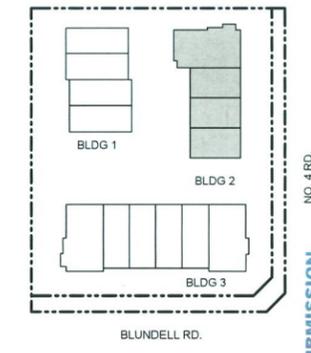


3 BLDG 2 LVL 3
1/8" = 1'-0"



4 BLDG 2 ROOF PLAN
1/8" = 1'-0"

NOTES:
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KEY PLAN

| DATE | DESCRIPTION |
|------------|--------------------------------------|
| 2025-12-08 | S DP RESUBMISSION |
| 2025-12-04 | R DP RESUBMISSION |
| 2025-10-01 | P DP RESUBMISSION |
| 2025-08-20 | D DP RESUBMISSION |
| 2024-11-05 | N APP SET FOR REVIEW |
| 2024-10-29 | M APP SET FOR REVIEW |
| 2024-10-29 | L DP RESUBMISSION |
| 2024-08-11 | K DP APPLICATION |
| 2024-07-29 | J BZ RESUBMISSION |
| 2024-06-01 | I BZ RESUBMISSION |
| 2024-01-10 | H BZ RESUBMISSION |
| 2022-11-01 | G BZ RESUBMISSION |
| 2022-10-14 | F BZ RESUBMISSION |
| 2022-05-23 | E BZ RESUBMISSION |
| 2021-10-10 | D BZ RESUBMISSION |
| 2021-06-18 | C ZONING & PRELIMINARY DP SUBMISSION |
| 2019-03-14 | A ZONING & DP SUBMISSION |

DF ARCHITECTURE INC.

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info@dfarchitecture.ca



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PROJECT: PROPOSED TOWNHOUSE DEVELOPMENT

9991 & 9951 BLUNDRELL ROAD & 7951 NO. 4 ROAD, RICHMOND, B.C.

CLIENT: WEST KARAGON PROPERTIES INC.

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| DRAWN | PS |
| CHECKED | JA |
| SCALE | 1/8" = 1'-0" |
| JOB NO. | RCH-029 |
| DATE | MARCH 2019 |
| DATE | 2025-12-08 |



SHEET TITLE

BUILDING 2 - FLOOR PLANS

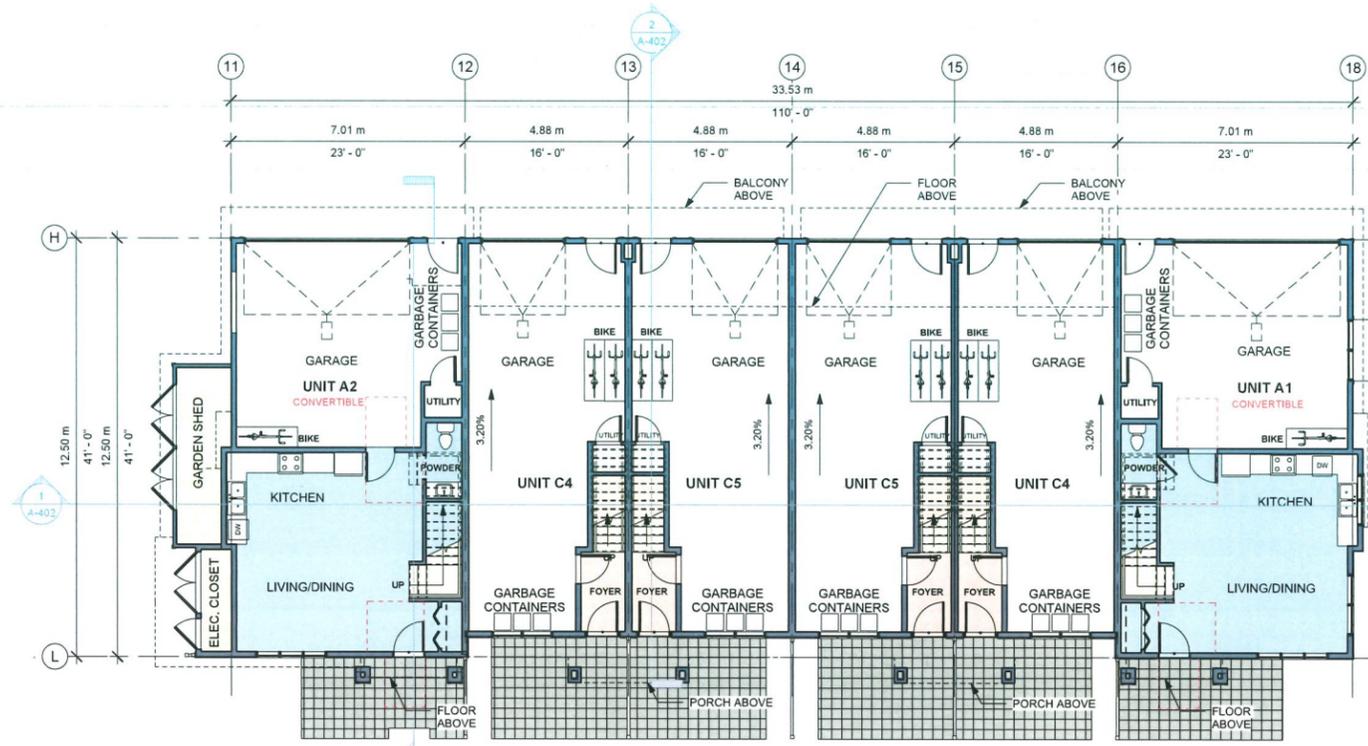
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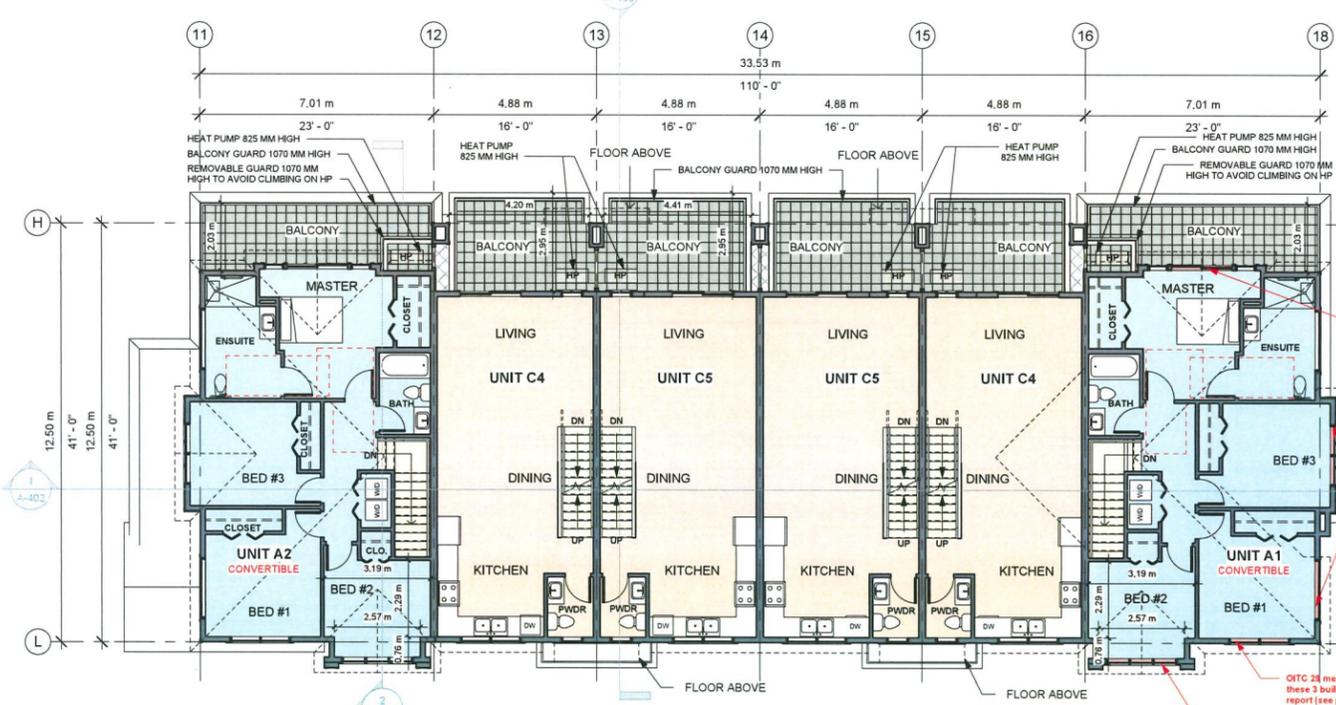
DP 24-045175
DECEMBER 15, 2025
REFERENCE PLAN

NO. 4 RD. 2025-12-08 - DP RESUBMISSION

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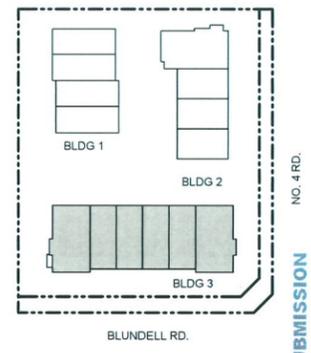


1 BLDG 3 LVL 1
A-204 1/8" = 1'-0"



2 BLDG 3 LVL 2
A-204 1/8" = 1'-0"

NOTES:
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KEY PLAN

| DATE | BY | DESCRIPTION |
|------------|----|------------------------------------|
| 2025-12-08 | S | DP RESUBMISSION |
| 2025-12-08 | R | DP RESUBMISSION |
| 2025-11-17 | G | DP RESUBMISSION |
| 2025-10-01 | P | DP RESUBMISSION |
| 2025-08-20 | G | DP RESUBMISSION |
| 2024-11-09 | N | ADP SET FOR REVIEW |
| 2024-10-20 | M | ADP SET FOR REVIEW |
| 2024-10-09 | L | DP RESUBMISSION |
| 2024-09-11 | K | DP APPLICATION |
| 2024-07-09 | L | P2 RESUBMISSION |
| 2024-05-07 | L | P2 RESUBMISSION |
| 2024-01-10 | H | P2 RESUBMISSION |
| 2022-11-21 | A | P2 RESUBMISSION |
| 2022-10-11 | F | P2 RESUBMISSION |
| 2022-03-27 | E | P2 RESUBMISSION |
| 2021-10-19 | D | P2 RESUBMISSION |
| 2021-08-12 | C | P2 SUBMISSION |
| 2021-06-18 | R | ZONING & PRELIMINARY DP SUBMISSION |

DF ARCHITECTURE INC.

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DF ARCHITECTURE | 4585 PACIFIC AVENUE | BURNETT SQUARE OFFICE
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**PROJECT:
PROPOSED TOWNHOUSE
DEVELOPMENT**

**9991 & 9951 BLUNDELL ROAD &
7951 NO. 4 ROAD, RICHMOND, B.C**

**CLIENT:
WEST KARAGON PROPERTIES
INC.**

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| DRAWN | PS |
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| SCALE | 1/8" = 1'-0" |
| JOB NO. | RCH-029 |
| DATE | MARCH 2019 |
| DATE | 2025-12-08 |

SHEET TITLE
**BUILDING 3 - FLOOR
PLANS**

| | |
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| DRAWING No. | A-204 |
| Scale | S |

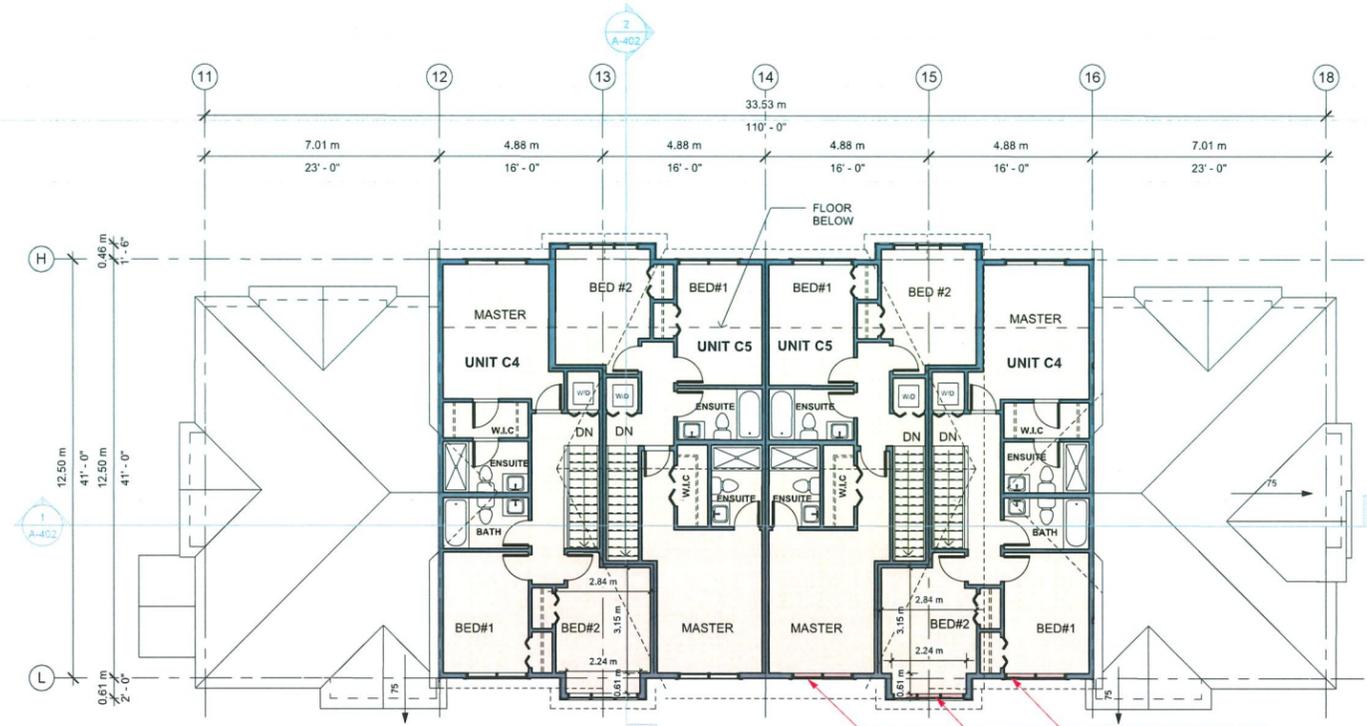
**DP 24-045175
DECEMBER 15, 2025
REFERENCE PLAN**

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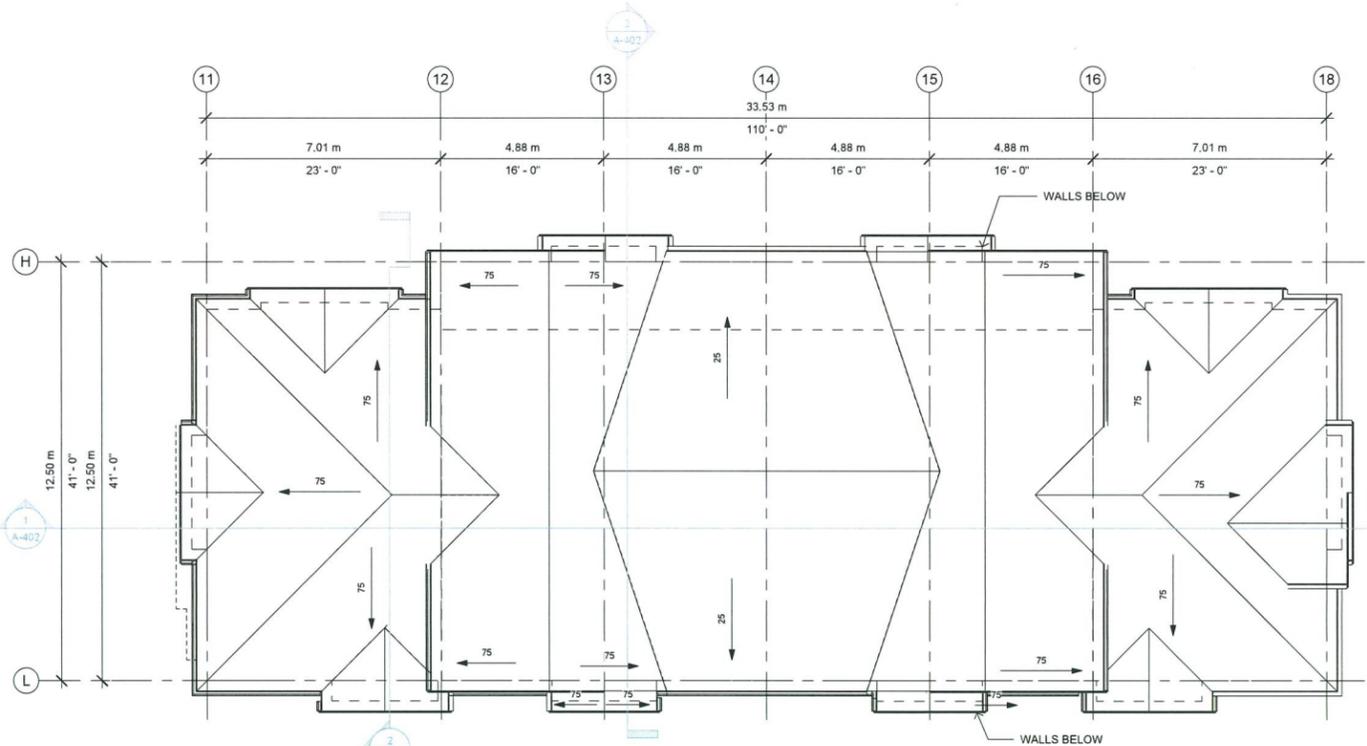
2025-12-08 - DP RESUBMISSION NO. 4 RD.

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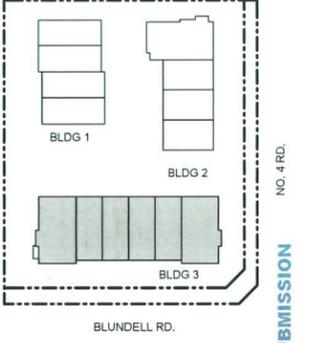


1 BLDG 3 LVL 3
A-205 1/8" = 1'-0"



2 BLDG 3 ROOF PLAN
A-205 1/8" = 1'-0"

NOTES:
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KEY PLAN

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| 2025-12-08 | S | DP RESUBMISSION |
| 2025-11-09 | R | DP RESUBMISSION |
| 2025-11-17 | R | DP RESUBMISSION |
| 2025-10-01 | DP | DP RESUBMISSION |
| 2025-09-20 | C | DP RESUBMISSION |
| 2024-11-09 | N | APP SET FOR REVIEW |
| 2024-10-29 | N | APP SET FOR REVIEW |
| 2024-09-20 | N | DP RESUBMISSION |
| 2024-09-13 | R | DP APPLICATION |
| 2024-07-09 | R | P2 RESUBMISSION |
| 2024-04-03 | S | P2 RESUBMISSION |
| 2024-01-10 | S | P2 RESUBMISSION |
| 2022-11-01 | R | P2 RESUBMISSION |
| 2022-10-13 | R | P2 RESUBMISSION |
| 2022-07-29 | S | P2 RESUBMISSION |
| 2021-09-16 | R | P2 RESUBMISSION |
| 2021-09-13 | C | P2 SUBMISSION |
| 2021-06-16 | R | ZONING & PRELIMINARY DP SUBMISSION |

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PROJECT:
PROPOSED TOWNHOUSE DEVELOPMENT

9951 & 9951 BLUNDELL ROAD & 7951 NO. 4 ROAD, RICHMOND, B.C.

CLIENT:
WEST KARAGON PROPERTIES INC.

| | |
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| DRAWN | PS |
| CHECKED | JA |
| SCALE | 1/8" = 1'-0" |
| JOB NO. | RCH-029 |
| DATE | MARCH 2019 |
| | 2025-12-08 |

BUILDING 3 - FLOOR PLANS

| | | | |
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| DRAWING No. | A-205 | S | |
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DP 24-045175
DECEMBER 15, 2025
REFERENCE PLAN

2025-12-08 - DP RESUBMISSION NO. 4 RD.

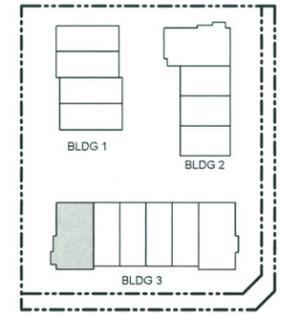
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NOTES:
DP 24-045175
DECEMBER 15, 2025
REFERENCE PLAN

Convertible Unit Guidelines for Townhouses

| Convertible Unit Guidelines | |
|-----------------------------|---|
| Doors & Doorways | Entry doors are a minimum 863 mm but ideally 914 mm and have clear access. Entry door clear exterior floor space min. 1220 mm depth by door width plus 600 mm on latch side (not needed if rough in wiring provided for future automatic door opener). Interior doors to main living areas, 1 bathroom and 1 bedroom, min. 800 mm clear opening with flush thresholds max. 13 mm height. Demonstrate wheelchair access between the hallway and rooms and widen hallway and/or doorway(s) if necessary to secure access. Patio/balcony min. 860 mm clear opening. Note how accessed. All interior thresholds within units comply with BC Building Code. Lever-type handles for all doors. |
| Vertical Circulation | Stair lift, staircase width, framing support, and landings, as noted on floor plans in compliance with manufacturer specifications. OR Vertical lift, depressed slab area, and landings, as noted on floor plans in compliance with manufacturer specifications. Framing to accommodate shaft construction without impact to surrounding structure. At the top of all stairways, walls are reinforced with 2" x 12" solid lumber at 914 mm to centre. |
| Hallways | Min. 900 mm width. |
| Garage | Min. 1 accessible parking space with min. 4 m garage width. Access from garage to living area min. 800 mm clear opening. |
| Bathroom (Min. 1) | Toilet clear floor space min. 1020 mm at side and in front. Wall blocking for future grab bar installation at toilet, tub and shower. Reinforced with 2" x 12" solid lumber in all bathtub, shower, and toilet locations. Lever-type handles for plumbing fixtures. Pressure and temperature control valves are installed on all shower faucets. Cabinets underneath sink(s) are easily removed. Demonstrate bath and shower controls are accessible (layout or fixture placement). |
| Kitchen | Clear area needed under future work space. Plumbing and gas pipes (in-wall and in-floor) located clear of under counter area of future work space (stove, sink & min. 810 mm wide counter). All pipes are brought in no higher than 304 mm to 355 mm to the centre of the pipe from floor level. Cabinets underneath sink are easily removed. 1500 mm turning diameter or turning path diagram. Lever-type handles for plumbing fixtures. |
| Windows | Min. 1 window that can be opened with a single hand (bathroom, kitchen, living room) |
| Outlets & Switches | Placement locations of electrical outlets: beside window, bottom of stairways, beside toilet, above external doors (outside and inside), on front face of kitchen counter, within proximity of control centre for smart home options. Upgrade to four-plex outlets in master bedroom, home office, garage, and recreation room. |



KEY PLAN

| DATE | BY | DESCRIPTION |
|------------|----|------------------------------------|
| 2025-12-08 | A | DP RESUBMISSION |
| 2025-12-01 | B | DP RESUBMISSION |
| 2025-11-17 | CA | DP RESUBMISSION |
| 2025-10-20 | B | DP RESUBMISSION |
| 2025-09-20 | D | DP RESUBMISSION |
| 2024-11-09 | H | APP SET FOR REVIEW |
| 2024-10-20 | M | APP SET FOR REVIEW |
| 2024-10-20 | L | DP RESUBMISSION |
| 2024-09-13 | K | DP APPLICATION |
| 2024-07-26 | D | DP RESUBMISSION |
| 2024-06-03 | J | DP RESUBMISSION |
| 2024-05-10 | I | DP RESUBMISSION |
| 2024-04-19 | E | DP RESUBMISSION |
| 2024-03-11 | F | DP RESUBMISSION |
| 2024-02-13 | G | DP RESUBMISSION |
| 2024-01-10 | C | R2 SUBMISSION |
| 2023-12-11 | D | DP RESUBMISSION |
| 2023-11-13 | A | R2 SUBMISSION |
| 2023-08-11 | C | R2 SUBMISSION |
| 2021-06-11 | C | ZONING & PRELIMINARY DP SUBMISSION |

DF ARCHITECTURE INC.

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GROUP 161

DF ARCHITECTURE • ATLAS PACIFIC ARCHITECTURE • BARNETT DESIGN ARCHITECTS
 GROUP 161 IS NOT AN ARCHITECTURAL FIRM. ALL ARCHITECTURAL SERVICES ARE PROVIDED THROUGH OUR FIRMS THAT HOLD THE CERTIFICATE OF PRACTICE.

PROJECT:
PROPOSED TOWNHOUSE DEVELOPMENT

9991 & 9951 BLUNDELL ROAD & 7951 NO. 4 ROAD, RICHMOND, B.C.

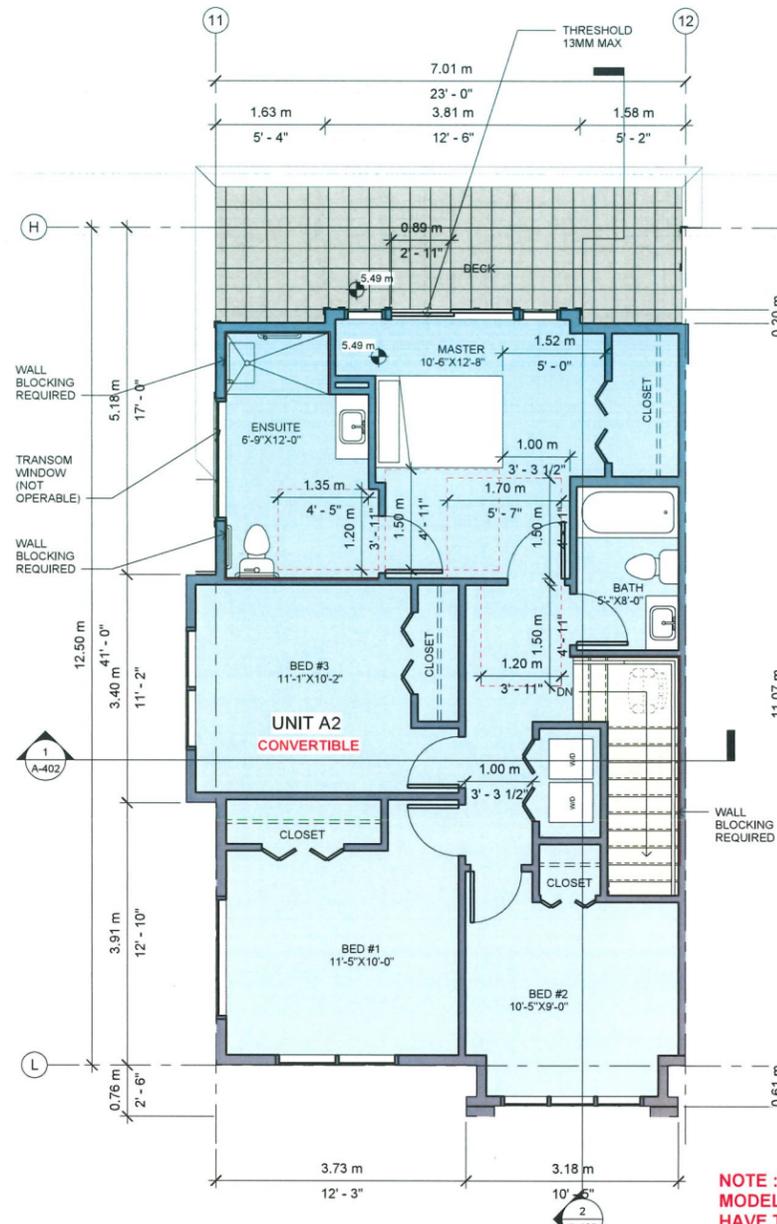
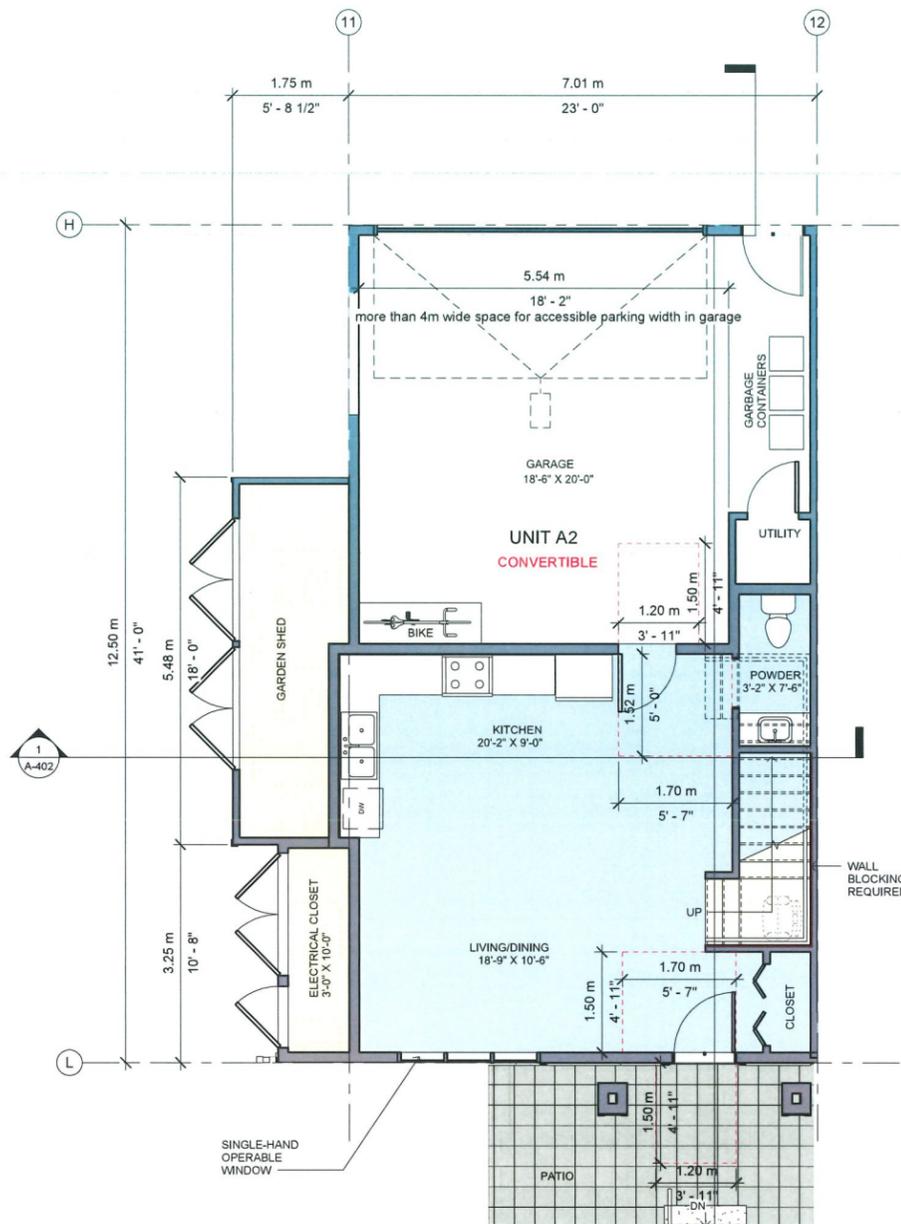
CLIENT:
WEST KARAGON PROPERTIES INC.

| | |
|-------------|--------------|
| DRAWN | PS |
| CHECKED | JA |
| SCALE | 1/4" = 1'-0" |
| JOB NO. | RCH-029 |
| DATE | MARCH 2019 |
| SHEET TITLE | 2025-12-08 |

UNIT PLANS

| | | | |
|-------------|-------|---|---|
| DRAWING NO. | A-502 | S | N |
|-------------|-------|---|---|

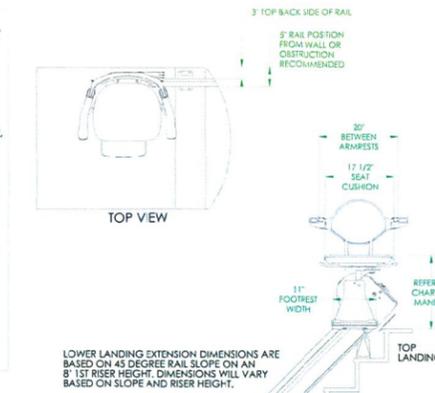
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NOTE : THE STAIR LIFT MODEL IS SHOWN FOR REFERENCE PURPOSES. THIS MAY NOT BE THE MODEL THE UNIT OWNERS MAY CHOOSE IF THEY WANT TO CONVERT IT. THE UNIT OWNERS WILL HAVE THE DISCRETION TO CHOOSE WHATEVER BEST MODELS ARE AVAILABLE IN THE MARKET.

TECHNICAL DATA/SPECIFICATION

MODEL: SRE-3000 ELAN STRAIGHT RAIL STAIRLIFT, PRIVATE RESIDENCE ONLY
 RATED LOAD: 300 LBS. ONE PASSENGER
 POWER SOURCE: 24 VOLT DC COMPRISED OF (2) 3 AMP/HR 12 VOLT SEALED BATTERIES 105-230 VOLT AC 0.6 AMP, 24 VOLT DC 1 AMP CONTINUOUS MONITORING CHARGER.
 DRIVE: 24 VOLT DC DIRECT DRIVE SELF LOCKING POSITIVE GEARED MOTOR, 2 POLE RATED, 18 HP MAX., RIGHT ANGLE WORM GEARBOX, 50mm (442n.lb.) TORQUE MAX., 25.3 RPM SPEED MAX., 16 AMP CURRENT MAX.
 SUSPENSION: RACK & PINION - INTEGRATED 8DP GEAR RACK ON RAIL WITH SPUR GEAR ON THE OUTPUT SHAFT OF GEARBOX.
 BRAKING: DYNAMIC MOTOR BRAKING THROUGH THE MOTOR CONTROLLER, WORM GEAR, ELECTRO-MECHANICAL MOTOR BRAKE AND OVERSPEED PROTECTION.
 CONTROLS: CONTINUOUS PRESSURE ROCKER SWITCH LOCATED ON THE ARMREST AND WALL MOUNTED CALL/SEND CONTROLS LOCATED AT BOTH THE TOP AND BOTTOM LANDINGS.
 ANGLES: 22 TO 45 DEGREES (SPECIALS UP TO 52 DEGREES), RIGHT OR LEFT HAND ORIENTATIONS.
 FINAL LIMIT SWITCH: STANDARD



SRE-3000 DISTANCE FROM WALL - SEAT SWIVELED

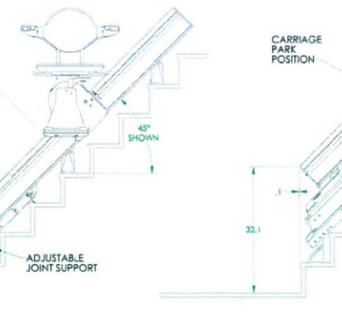


1 A-502 1/4" = 1'-0"

SRE-3000 FOLDING RAIL



AUXILIARY ELEVATION VIEW RAIL FOLDED DOWN POSITION



ILS-01345 Folding Rail SHEET 3 OF 3 REV. 1 (6456)(9/01/17)(BHM)

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2025-12-08 - DP RESUBMISSION

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