



Development Permit Panel

Council Chambers, City Hall
6911 No. 3 Road

Wednesday, January 13, 2021
3:30 p.m.

MINUTES

Motion to adopt the minutes of the Development Permit Panel meeting held on November 25, 2020.



1. **DEVELOPMENT PERMIT 18-829236**
(REDMS No. 6546593 v. 4)

APPLICANT: 1132865 BC Ltd.

PROPERTY LOCATION: 7464, 7480, 7500, 7520, 7540, 7560/7580 and 7600 No. 1 Road

Director's Recommendations

That a Development Permit be issued which would:

1. *permit the construction of 30 townhouse units at 7464, 7480, 7500, 7520, 7540, 7560/7580 and 7600 No. 1 Road on a site zoned "Medium Density Townhouses (RTM2)"; and*
2. *vary the provisions of Richmond Zoning Bylaw 8500 to reduce the front yard setback along No. 1 Road from 6.0 m to 4.5 m.*



2. **DEVELOPMENT PERMIT 20-896138**
(REDMS No. 6554683 v. 3)

APPLICANT: CLO Ventures K2 Ltd.

Development Permit Panel – Wednesday, January 13, 2021

ITEM

PROPERTY LOCATION: 9571, 9591, 9611, 9671 Steveston Highway and 10831 Southdale Road

Director's Recommendations

That a Development Permit be issued which would:

1. *permit the construction of 20 townhouse units at 9571, 9591, 9611, 9671 Steveston Highway and 10831 Southdale Road on a site zoned "Low Density Townhouses (RTL4)"; and*
2. *vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum exterior side yard setback to Steveston Highway from 6.0 m to 4.5 m.*



3. **New Business**

4. **Date of Next Meeting: January 27, 2021**

ADJOURNMENT



**Development Permit Panel
Wednesday, November 25, 2020**

Time: 3:30 p.m.
Place: Council Chambers
Richmond City Hall
Present: Joe Erceg, Chair
Cecilia Achiam, General Manager, Community Safety
John Irving, General Manager, Engineering and Public Works

The meeting was called to order at 3:30 p.m.

Minutes

It was moved and seconded

That the minutes of the meeting of the Development Permit Panel held on October 28, 2020 be adopted.

CARRIED

**1. DEVELOPMENT PERMIT 19-867710
(REDMS No. 6533031)**

APPLICANT: Matthew Cheng Architect Inc.

PROPERTY LOCATION: 9020 Glenallan Gate, 9460, 9480 and 9500 Garden City Road

INTENT OF PERMIT:

1. Permit the construction of 13 townhouse units at 9020 Glenallan Gate, 9460, 9480 and 9500 Garden City Road on a site zoned "Low Density Townhouses (RTL4)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum exterior side yard setback to Garden City Road from 6.0 m to 4.5 m.

Development Permit Panel

Wednesday, November 25, 2020

Applicant's Comments

Matthew Cheng, Matthew Cheng Architect Inc, with the aid of a visual presentation (copy on file, City Clerk's office), provided background information on the proposed development, including its site context, site plan, adjacencies, floor plans, form and character, elevations, site grade, fire truck and SU-9 truck access, building materials, and sustainability and accessibility features, highlighting the following:

- the proposed exterior side yard (which functions as a front yard) setback variance to Garden City Road will allow for increased setback along the east property line and provides an appropriate interface with adjacent single-family homes to the east;
- a statutory right-of-way (SRW) has been secured to allow for access to/from the adjacent future development to the south through the subject's site's internal drive aisle;
- the height of end units of three-storey townhouse buildings at the corner of Garden City Road and Glenallan Gate and adjacent to the south property line is reduced to provide an appropriate transition to the predominantly single-family neighbourhood;
- the two-storey rear units provide an appropriate transition to adjacent single-family homes to the east;
- no retaining walls are proposed as the finished grade on the proposed development is compatible with the grade along the property lines;
- two side-by-side parking spaces will be provided for each townhouse unit and will be equipped with electric vehicle (EV) charging; no tandem parking is proposed;
- three visitor parking spaces are proposed, one of which is accessible; indoor and outdoor bicycle parking spaces will also be incorporated into the development;
- two convertible units are proposed, one of which includes a secondary suite;
- the proposed common outdoor amenity area is accessible to all residents;
- a privacy screen will be provided for the balcony of the townhouse unit adjacent to the residential property to the south to address potential overlook concerns;
- the proposed development will achieve Step Code 3 of the BC Energy Step Code;
- proposed sustainability features include, among others, the provision of an air source heat pump system; the condensing units will be screened and an acoustical report provided by the applicant indicates that the proposed units comply with the City's Noise Bylaw; and
- the recommendations of the City's Advisory Design Panel have been incorporated into the proposal to improve the project's elevations, landscaping, accessibility, sustainability, provision of common amenities and further define the site's vehicular and residential entries.

Development Permit Panel

Wednesday, November 25, 2020

Yiwen Ruan, PMG Landscape Architects, provided an overview of the landscaping for the project, noting that (i) two on-site trees and three off-site trees will be retained and protected, (ii) 14 on-site trees will be removed and 29 replacement trees are proposed, (iii) a low permeable aluminum fence along the street frontages with concrete columns at the unit entries is proposed to improve the streetscape, (iv) the planting strip along the street frontages includes, among others, flowering trees, to enhance the pedestrian experience, (v) private yards of each unit are enclosed by a hedge and a fence to ensure privacy, (vi) permeable pavers are proposed for the vehicular entry, the pedestrian pathway within the internal drive aisle, and visitor parking spaces to provide visual interest and safety, and (v) the common outdoor amenity area includes, among others, a play area with a large play equipment and natural play elements and a picnic table.

In addition, Mr. Ruan noted that (i) the project's soft landscaping and permeable paving treatment for some on-site surface areas enhance the project's sustainability features, and (ii) drought tolerant and low maintenance plants are proposed to be planted on the site.

In reply to a query from the Panel, Mr. Ruan acknowledged that the two on-site trees to be retained are located along the Garden City Road and Glenallan Gate frontages.

Staff Comments

Wayne Craig, Director, Development, noted that (i) there is a Servicing Agreement associated with the project for frontage works along Garden City Road and Glenallan Gate and site services, (ii) the proposed exterior side yard setback variance is consistent with the City's Arterial Road Guidelines for Townhouses, (iii) a six-meter rear yard setback is provided to create adequate separation from the single-family homes to the east, (iv) there is no road widening associated the project and the setback to the front buildings from the Garden City Road curb will be approximately 8.6 meters, and (v) the project's acoustical engineer has submitted an acoustical report which indicates that the project will meet the Canada Mortgage and Housing Corporation's (CMHC) interior noise standards.

Panel Discussion

It was noted that the proposed use of asphalt roof shingles for the townhouse buildings could negatively impact the sustainability of the project. It was therefore suggested that staff review the use of asphalt roof shingles for future residential developments and investigate the use of alternate roofing materials to enhance the sustainability of residential developments in the City.

Gallery Comments

None.

Correspondence

Norm Roberts (no address provided) ([Schedule 1](#))

Development Permit Panel

Wednesday, November 25, 2020

Mr. Craig noted that Mr. Roberts expressed concern regarding the amount of private outdoor spaces provided for the proposed development.

In reply to a comment from the Panel, Mr. Craig acknowledged that the proposed front yard setback along Garden City Road and the six-meter rear yard setback allow for the provision of adequate private outdoor spaces. In addition, Mr. Craig confirmed that the size of the project's common outdoor amenity area exceeds the City's minimum requirement.

Agnes Trinidad, Unit 30, 9280 Glenallan Drive (Schedule 2)

Mr. Craig noted that Ms. Trinidad and other residents of their unit expressed support for the proposed townhouse development.

Panel Discussion

The Panel expressed support for the proposed development, noting that it is a well thought out and detailed project.

Panel Decision

It was moved and seconded

That a Development Permit be issued which would:

1. *permit the construction of 13 townhouse units at 9020 Glenallan Gate, 9460, 9480 and 9500 Garden City Road on a site zoned "Low Density Townhouses (RTL4)"; and*
2. *vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum exterior side yard setback to Garden City Road from 6.0 m to 4.5 m.*

CARRIED

2. New Business

It was moved and seconded

That the Development Permit Panel meeting scheduled on December 9, 2020 be cancelled.

CARRIED

3. Date of Next Meeting: January 13, 2021

4. Adjournment

Development Permit Panel
Wednesday, November 25, 2020

It was moved and seconded

That the meeting be adjourned at 4:02 p.m.

CARRIED

Certified a true and correct copy of the Minutes of the meeting of the Development Permit Panel of the Council of the City of Richmond held on Wednesday, November 25, 2020.

Joe Erceg
Chair

Rustico Agawin
Committee Clerk

From: Norm Roberts <normrob@telus.net>
Sent: November 14, 2020 4:22 PM
To: CityClerk
Subject: DP 19-867710

Categories: Matt

To Development Permit Panel
Date: <u>NOVEMBER 25, 2020</u>
Item # <u>1</u>
Re: <u>DP 19-867710</u>

It is truly unfortunate that our modern homes do not include that piece of privacy and inner sanctum called a back yard for kids to learn, play and mature. I find this totally unacceptable.



Schedule 2 to the Minutes of the
Development Permit Panel
meeting held on Wednesday,
November 25, 2020.

To Development Permit Panel
Date: <u>NOVEMBER 25, 2020</u>
Item # <u>1</u>
Re: <u>DP 19 - 867710</u>

From: Agnes Trinidad <agnestrinidad3863@gmail.com>
Sent: November 23, 2020 3:43 PM
To: CityClerk
Subject: NOTICE OF DEVELOPMENT PERMIT

Hi, Just to inform you that we received this notice regarding the new development in our neighborhood. We, RAUL, AGNES TRINIDAD, ROMA MACABANTAD, and JUDY MONTAJES are not available to attend the meeting and we agree to your plan.
Our address is 9280 GLENALLAN DR. #30 RICHMOND BC. V7A 2S8

Thank you,
Agnes Trinidad



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City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: December 14, 2020

From: Wayne Craig
Director of Development

File: DP 18-829236

Re: Application by 1132865 BC Ltd. for a Development Permit at 7464, 7480, 7500, 7520, 7540, 7560/7580 and 7600 No. 1 Road

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of 30 townhouse units at 7464, 7480, 7500, 7520, 7540, 7560/7580 and 7600 No. 1 Road on a site zoned "Medium Density Townhouses (RTM2)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to reduce the front yard setback along No. 1 Road from 6.0 m to 4.5 m.

Wayne Craig
Director of Development

WC:el
Att.3

Staff Report

Origin

1132865 BC Ltd. (Incorporation number: BC1132865; Director: Jun Ning, Lin Xiong Chen, and Brian Wah Tak Tsang) has applied to the City of Richmond for permission to develop 30 townhouse units at 7464, 7480, 7500, 7520, 7540, 7560/7580 and 7600 No. 1 Road. Three of the 30 townhouse units are proposed to contain a ground-level secondary suite.

The site is being rezoned from the “Single Family Detached (RS1/E)” zone and “Two Unit Dwelling (RD1)” zone to “Medium Density Townhouse (RTM2)” zone for this project under Bylaw 9983 (RZ 17-794287), which received Third Reading following the Public Hearing on June 17, 2019. The site currently contains six single-family homes and one duplex, which will be demolished.

Frontage improvements including beautification works, installation of a new fire hydrant, and upgrades to a nearby bus stop were secured through the rezoning process and will be constructed through a separate Servicing Agreement (SA 19-873682). The Servicing Agreement must be entered into prior to final adoption of the rezoning bylaw.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the north and south, large lot single family residential zoned “Single Detached (RS1/E)”;
- To the east, behind four of the subject lots are three large lots zoned “Two-Unit Dwellings (RD1)” containing three duplex dwellings fronting Burton Avenue. To the east of the three remaining subject lots are three large single family residential lots zoned “Single Detached (RS1/E)” fronting Amundsen Place; and
- To the west, across No. 1 Road are three lots (7471, 7491 and 7531 No. 1 Road) zoned “Low Density Townhouses (RTL1)”. The lots vary in size from 0.18 ha (0.43 ac) to 2.28 ha (5.64 ac) in area. The dwellings are typically two storeys in height.

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on June 17, 2019. At the Public Hearing, concern related to the development potential of the adjacent orphan lot was raised.

Staff confirm that this concern was considered at Rezoning stage. The adjacent property to the north at 7460 No. 1 Road has a frontage of approximately 20 m along No. 1 Road and has a new (four year old) home on it. The proposed site assembly will leave 7460 No. 1 Road as a residual development site that will not meet the minimum 50 m site frontage requirement for a stand alone arterial road townhouse development. The applicant advised staff that they have made attempts to acquire the adjacent property, but cannot reach an agreement with the owners.

While the proposed development would create an orphan site situation on the north side of the subject site, staff support the proposed development based on:

- The developer has provided a development concept plan for the adjacent site to the north (on file);
- The developer has agreed to provide vehicle access to future townhouse development at 7460 No. 1 Road; a Public Rights-of-Passage (PROP) Statutory Right-of-Way (SRW) over the entry driveway on the subject site has been secured at Rezoning;
- The developer has agreed to provide garbage/recycling collection facilities and additional outdoor amenity space on-site to allow the shared use of these facilities with future townhouse development at 7460 No. 1 Road;
 - the outdoor amenity area proposed on site exceeds the minimum required to serve the proposed development; and
 - Environment Services staff confirmed that the sizes and configurations of the two garbage and recycling enclosures proposed on site will be able to accommodate the needs of the proposed townhouse development on site and future townhouse development at 7460 No. 1 Road;

A cross-access easement/agreement will be registered on Title of the subject site prior to Development Permit issuance in order to secure this arrangement.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the “Medium Density Townhouse (RTM2)” except for the zoning variance noted below.

Zoning Compliance/Variance (staff comments in **bold**)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to reduce the front yard setback along No. 1 Road from 6.0 m to 4.5 m.

(Staff supports the proposed variance as it is consistent with the OCP Development Permit Guidelines for Townhouses on arterial roads, which support front yard setbacks at 4.5m (14.8 ft.) where a 6 m (19.7 ft.) rear yard setback to both the ground and second floors of the rear units is provided. The result will provide a wider space between the rear units of the subject development and the single family and duplex units that back onto the subject site. It will also provide a larger buffer to accommodate tree retention along the rear property line.

The resulting distance from the back of curb to the building face would be approximately 7.74 m. The reduced front yard setback does not compromise tree preservation or tree planting opportunity along the site frontage. The proposed architectural design provides appropriate building articulation and interface with neighbouring properties.

To address the road traffic noise from No. 1 Road, the project acoustical engineer confirmed that the proposed development is designed to meet the interior noise limits as per the CMHC standards.

This variance was identified at rezoning stage, and no concerns were identified at that time.)

Advisory Design Panel Comments

The Advisory Design Panel (ADP) has reviewed the project and supports it. A copy of the relevant excerpt from the Advisory Design Panel Minutes from Thursday, December 19, 2019 is attached for reference (Attachment 2). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '***bold italics***'.

Analysis

Conditions of Adjacency

- The proposed form, massing, and orientation of the buildings are compatible to the existing adjacent developments on the block.
- While three-storey units are proposed along No. 1 Road, the building height is stepped down to one storey along the north property line to provide appropriate transition to the adjacent single-family home.
- A 7.56 m setback to the south property line is proposed to accommodate tree retention and a landscape buffer between the proposed three-storey building and the adjacent single family home to the south.
- Two-storey units in duplex form as well as the outdoor amenity area are proposed along the rear (east) property line to minimize privacy and overlook concerns.
- Deeper rear yards (6.0m instead of 4.5m) are proposed in order to enhance rear yard buffering.
- The existing site grade along the rear (east) property line will be maintained to provide an appropriate transition to the adjacent single-family properties to the east. A 1.8 m tall wood fence will be installed along the rear property line to protect the privacy of the neighbouring single-family homes.
- The site grade of the back yards of Units #10 to #15 will be raised to provide a barrier free outdoor private space to these units, which include three convertible units (i.e., Unit #10, #12 and #14). A set of tiered retaining walls will be installed to the west of the existing sanitary SRW (within the rear yards) and to provide a gradual transition and planting opportunities.
- A number of existing trees will be retained and a variety of new trees will be planted along the rear and side property lines to enhance the interfaces between the proposed townhouse development and the existing adjacent residential developments.
- The site grade along the north property line will be raised to match the existing site grade of the adjacent single family development to the north. No new retaining wall will be required.
- The site grade along the south property line will be raised. The height of the proposed retaining wall will range from 0.42 m to 1.24 m. A 1.2 m tall wood fence will be installed on top of the wall.

- A wood trellis (at approximately 2.5 m tall) is proposed at the ends of the drive aisle to provide a landscaped visual screen.
- Perimeter drainage will be required as part of the Building Permit to ensure storm water is managed and addressed through the development and will not impact the neighbouring properties.
- Adjacent properties to the north and south have future potential for redevelopment as townhouses. A statutory right-of-way (SRW) allowing access to/from the adjacent future development sites through the subject site (over the internal drive aisle) has been secured at rezoning.
- A signage indicating that the driveway on the subject site may connect to the future adjacent townhouse developments is proposed to be installed at each end of the drive aisle so that future residents/owners/strata of the subject development are aware that they may be required to provide access to the north and south.

Urban Design and Site Planning

- The site layout includes 12 two-storey units and 18 three-storey units in 10 clusters.
- The layout of the townhouse units is oriented around a single driveway, providing access to the site from No. 1 Road and a north-south internal manoeuvring aisle providing access to the unit garages.
- Vehicle access will be limited to right-in/right-out only. Registration of a right in/right out only covenant on Title is required prior to Development Permit Issuance. A raised island will be required to channelize and enforce the no left turn access restrictions.
- Units along No. 1 Road are designed to have a strong street presence with individual front entrances and yards; units along the rear (east) property line will have access from the internal drive aisle.
- Three of the three-storey townhouse units (i.e., Units #1, #22 and #30) will each contain a ground-level secondary suite of approximately 25.3 m² (272 ft²) in size.
- All units will have two vehicle parking spaces in a side-by-side double car garage. No additional parking stall is required for the proposed secondary units since the required parking spaces for the units containing a secondary suites are provided in a side-by-side arrangement.
- A total of six visitor parking spaces, including two accessible visitor parking spaces, will be provided throughout the site. The number of visitor parking spaces proposed is in compliance with the minimum bylaw requirement.
- Both internal and external bicycle parking spaces have been incorporated into the proposal and are in compliance with the zoning bylaw requirements.
- The provision of private outdoor spaces complies with the Development Permit Guidelines of the OCP. All units will have private outdoor spaces consisting of a front or a rear yard; the three-storey units will also have deck/balcony spaces on the second floor facing the internal drive aisle and on the third floor facing No. 1 Road.
- Outdoor amenity space is proposed opposite to the site entry for maximum casual surveillance opportunity and sun exposure. The size and location of the outdoor amenity

space is appropriate in providing open landscape and amenity space convenient to all units. A mailbox kiosk will be provided in the outdoor amenity space.

- No indoor amenity space is proposed on site. A \$65,600 cash-in-lieu contribution has been secured as a condition of rezoning approval, consistent with the OCP.
- Two garbage, recycling and organic waste storage enclosures are proposed. The enclosures have been incorporated into the design of the Buildings #1 and #10 to minimize the visual impact.

Architectural Form and Character

- The design of this project follows the West Coast tradition of simple forms and clean lines.
- A pedestrian scale is generally achieved along No. 1 Road and the internal drive aisle through the inclusion of variation in building projections, recesses, varying material/colour combinations, landscape features, and the use of individual unit entrances.
- Individuality of units is expressed through private landscaped patio/yards with gates at front units, bold numbering and stoop lighting at all unit entry doors, and dynamic roof lines.
- The impact of blank garage doors has been mitigated with panel patterned doors, transom windows, unit entrances, and planting islands along the drive aisle.
- The proposed building materials (fiber cement panel siding and lap siding, fiberglass asphalt roof shingles, solid wood doors, etc.) are generally consistent with the Official Community Plan (OCP) Guidelines.
- A palette of earth tone colours with white accents is proposed. Some metal and glass elements are selected to enhance the “west coast modern” aesthetic.

Tree Retention and Replacement

- Tree preservation was reviewed at rezoning stage; a total of 32 bylaw-sized trees were identified on site, eight trees were noted on the neighbouring properties, and two trees were noted on a shared property line with the neighbour.
- Ten trees (tag# 716, 726, 750, 751, 752, 753, 754, 755, 756 and 757) on neighbouring properties or shared property lines are identified to be retained and protected.
- In order to retain the Sycamore Maple tree (tag #726) located along the south property line of the subject site, the south side yard setback at the southwest corner of the site has been increased from 3.0 m to 7.56 m, and the existing site grade within the tree protection area will be maintained.
- Tree protection fencing is required to be installed as per the Arborist Report recommendations prior to any construction activities (including demolition) occurring on-site. A survival security for the two shared trees (#716 and # 726) in the amount of \$10,000 has been secured at Rezoning.
- The applicant has agreed to the relocation of the Japanese Maple tree (tag # 734). This tree will be relocated to the proposed outdoor amenity area. A survival security of \$1,000 has been secured at Rezoning. In addition, submission of a proof of a contract with a company specializing in tree relocation to undertake the transplant of this tree is required prior to Development Permit issuance.

- A total of 31 trees on-site were identified for removal. The majority of these trees are located in three groupings. Overall, the majority of these trees are either dead, dying (sparse canopy foliage), have been previously topped or exhibit structural defects such as cavities at the main branch union and co-dominant stems with inclusions. As a result, these trees are not good candidates for retention and should be replaced.
- Based on the 2:1 tree replacement ratio stated in the Official Community Plan (OCP), 62 replacement trees are required. The applicant is proposing to plant 62 replacement trees on-site, including 13 conifers and 49 deciduous trees.

Landscape Design and Open Space Design

- The street edge along No. 1 Road will be defined with landscaping including various trees, shrubs and ground covers. A low 42 in. tall transparent aluminum fence with gates and architectural concrete columns will be installed along the road frontage to accommodate visually interesting plant species.
- Each unit will have a private front yard with an outdoor patio to generate animation along the streetscape. The front yards will be separated with low aluminum fence with landscaping to provide privacy for individual units. All units will have a private yard with a patio, shade tree, shrub/groundcover planting and open lawn area.
- Landscape pockets with shrubs and grasses will be provided along the main north-south internal drive aisle. Trellis will be provided at the ends of the internal drive aisle to provide visual interests at the terminuses.
- An on-site irrigation system is proposed to ensure continued maintenance of live landscaping.
- The location of outdoor amenity space provides easy access and visual transparency and surveillance for the townhouse residents.
- Two multi-functional play structures and natural play elements such as flat boulders and balance logs are proposed within the outdoor amenity area. These play structures/elements are chosen to fit into the provided space and to allow multiple children to play at the same time. The equipment provides different play opportunities for the development of social, imagination, balance, and motor skills. Benches are also proposed near the children's play area for caregivers.
- Permeable pavers with decorative pattern will be used at the vehicle entrance, at the ends of the internal drive aisle, and on all surface parking spaces to break up the expansive paved surface on-site.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$269,620.74 in association with the Development Permit.

Crime Prevention Through Environmental Design

- The site plan and individual unit layout create opportunity for passive surveillance.
- The sidewalk and internal drive aisle edges will have well-defined landscaped edges, clearly defining the areas for public pedestrian use.
- Front entries are not deeply set back, and will be well-lit with wall sconces or bollards lights.

- Bollard lighting will be provided between buildings and at visitor parking spaces.
- The outdoor amenity and children's play area is centrally located and contained on three sides, with high visibility to the site entry.

Sustainability

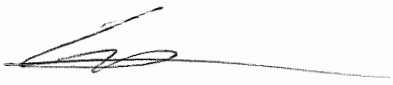
- At the rezoning stage, the applicant committed to achieving an EnerGuide rating of 82 for the proposed town houses and to pre-ducting all units for solar hot water heating. The proposal meets the grandfathering provisions for Energy Step Code approved by Council.
- A Certified Energy Advisor has confirmed that the proposed townhouse units will be designed to achieve an EnerGuide rating of 82. The report prepared by the Energy Advisor is on file and will be utilized through the Building Permit review process to ensure these measures are incorporated in the Permit drawings.
- The architect advised that low-flow toilets and showers, energy-efficient LED lighting and Energy Star appliances will also be incorporated into the development.

Accessible Housing

- The proposed development includes three convertible units that are designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of these units will require installation of a chair lift (where the staircase has been dimensioned to accommodate this in "Bc" units) in the future, if desired.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
 - stairwell hand rails;
 - lever-type handles for plumbing fixtures and door handles; and
 - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Conclusions

The applicant has satisfactorily addressed staff's comments regarding conditions of adjacency, site planning and urban design, architectural form and character, and landscape design. The applicant has presented a development that fits into the existing context. On this basis, staff recommend support of this Development Permit application.



Edwin Lee
Planner 2

EL:cas

Attachment 1: Development Application Data Sheet

Attachment 2: Excerpt from Advisory Design Panel Meeting Minutes (April 24, 2019)

Attachment 3: Development Permit Considerations



DP 18-829236

Attachment 1

Address: 7464, 7480, 7500, 7520, 7540, 7560/7580 and 7600 No. 1 Road

Applicant: 1132865 BC Ltd.

Owner: 1132865 BC Ltd.

Planning Area(s): Seafair

Floor Area Gross: 5,362.64 m²

Floor Area Net: 3,760.34 m²

	Existing	Proposed
Site Area:	5,820.0 m ²	5,820.0 m ²
Land Uses:	Single-Family Residential/Two-Family Residential	Multiple-Family Residential
OCP Designation:	Single-Family Residential	Multiple-Family Residential
Zoning:	Single Detached (RS1/E) and Two-Unit Dwelling (RD1)	Medium Density Townhouses (RTM2)
Number of Units:	6 single-family homes + 2 duplex units	30 townhouse units + 2 secondary suites

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.65	0.65	none permitted
Lot Coverage – Building:	Max. 40%	39.6%	none
Lot Coverage – Non-porous Surfaces:	Max. 65%	64%	none
Lot Coverage – Landscaping:	Min. 25%	27.9%	none
Setback – Front Yard (m):	Min. 6.0 m	4.50 m	Variance Requested
Setback – North Side Yard (m):	Min. 3.0 m	3.15 m	none
Setback – South Side Yard (m):	Min. 3.0 m	3.49 m	none
Setback – Rear Yard (m):	Min. 3.0 m	6.04 m	none
Height (m):	Max. 12.0 m (3 storeys)	10.31 m (3 storeys) 7.51 m (2 storeys)	none
Lot Width:	Min. 50.0 m	137 m	none
Lot Depth:	Min. 35.0 m	41 m	none
Off-street Parking Spaces – Regular (R) / Visitor (V):	2 (R) and 0.2 (V) per unit	2 (R) and 0.2 (V)	none
Off-street Parking Spaces – Total:	60 (R) and 6 (V)	60 (R) and 6 (V)	none

Tandem Parking Spaces:	Max. 50% of proposed residential spaces in enclosed garages (56 x Max. 50% = 28)	0	none
Small Car Parking Spaces	Max. 50% when 31 or more spaces are provided on-site (66 x Max. 50% = 33)	19	none
Handicap Parking Spaces:	Min. 2% when 11 or more spaces are required (66 x 2% = 2 spaces)	2	none
Bicycle Parking Spaces – Class 1 / Class 2:	1.25 (Class 1) and 0.2 (Class 2) per unit	1.3 (Class 1) and 0.23 (Class 2) per unit	none
Off-street Parking Spaces – Total:	38 (Class 1) and 6 (Class 2)	39 (Class 1) and 7 (Class 2)	none
Amenity Space – Indoor:	Min. 70 m ² or Cash-in-lieu	Cash-in-lieu	none
Amenity Space – Outdoor:	Min. 6 m ² x 30 units = 180 m ²	206 m ²	none

Excerpt from the Minutes from
The Design Panel Meeting

Thursday, December 19, 2019 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall

1. DP 18-829236 – 30-UNIT ARTERIAL ROAD TOWNHOUSE DEVELOPMENT

ARCHITECT: Interface Architecture
LANDSCAPE ARCHITECT: PMG Landscape Architects Ltd.
PROPERTY LOCATION: 7464, 7480, 7500, 7520, 7540, 7560/7580 and 7600 No. 1 Road

Applicant's Presentation

Kenneth Chow, Interface Architecture Inc., and Mary Chan Yip, PMG Landscape Architects, presented the project and answered queries from the Panel on behalf of the applicant.

Panel Discussion

Comments from Panel members present were as follows:

- appreciate the provision of aging-in-place features for all townhouse units;
Noted.
- for the convertible units, consider installing pocket doors for all washrooms, ensuite walk-in closet and Level 1 powder room; proposed inward-swinging doors for washrooms are not appropriate for a person in wheelchair in terms of accessibility;
Level 1 powder room: door now to swing outward;
Ensuite walk-in closet: door can be removed if conversion required;
Access hall to ensuite washroom & closet now widened from 3'2 to 3'6.
- proposed stairlift for the convertible units is challenging for people with disabilities, e.g. people using walkers and in wheelchairs would require one on each floor; consider accommodating a vertical lift in lieu of a stairlift;
Vertical lift considered, but no change. A straight run stairlift is a good solution for convertibility.
- appreciate the larger size of the proposed convertible units;
Noted.

- appreciate the provision of side-by-side parking as opposed to tandem parking in the garages of townhouse units;
Noted.
- appreciate the design of the project;
Noted.
- the project is fairly compact and well designed;
Noted.
- consider incorporating roof drains/rainwater leaders in the design of the building at this stage of the project to ensure that the pipe placement is aligned with the building design;
The roof drains & rainwater leaders and shown on the A2 series of plans and elevations.
- consider a lighter colour for the vertical fins that run from the ground up to the roof level with a canopy on top to mitigate its heavy appearance;
The colour of the vertical fins were reviewed, some options identified (i.e. versions of gray and white), and the owners selected the white colour (providing a clean Modern look).
- hardie trims would work better with lighter colours;
Fins now white in colour, instead of dark gray.
- consider extending the permeable paving treatment throughout the internal drive aisle;
Have now added sections to permeable pavers at the ends of the drive aisle (visually indicates the ends of internal drive aisle).
- consider increasing the size of the play area to accommodate larger play structures;
Children's play area substantially increased in size, and added 2nd play structure.
- applicant could have provided a larger image of the proposed play equipment which would have been more useful to the Panel;
Added 2nd play structure.
- consider installing more conifers on site;
More conifer trees have been proposed on-site. Six extra pines – replaces 2 japanese maples, 1 magnolia, 2 sourwood, 1 japanese snowbell.
- consider installing fewer but larger trees;
No change in number of trees, trees have been upsized. Japanese maples, magnolias, sourwoods, snowbells: from 6cm to 8cm; pines from 3.5m ht to 4.0m ht.

- consider installing more permeable pavers on the internal drive aisle to break up the large expanse of asphalt paving;
Added approx 20'x20' areas of permeable pavers at both ends of drive aisles. They indicate the ends of the drive aisle, and if later extended into the adjacent properties, indicate the transition across PL's.
- appreciate the applicant contributing to the City's Public Art Fund; however, the applicant is encouraged to consider incorporating public art into the project as it would enhance the public realm;
Noted.
- investigate opportunities for introducing additional architectural elements in addition to vertical fins to further break down the scale of the townhouse buildings;
We have reviewed all building elevation drawings and analyzed the model from different angles and view heights. We believe that there is sufficient building articulation and human scale in the architectural elements.
- consider an additional set of colour scheme for the rear townhouse units to avoid repetition of unit designs;
The ABAB rhythm is sufficient. This will provide sufficient colour contrast between adjacent units. No changes proposed.
- permeable paving treatment at the centre of the drive aisle helps create a sense of entry and provide a gateway feel;
Noted.
- consider further articulation to the corner unit in Building 2 adjacent to the large private outdoor space as it is prominent from the street; consider installing wider or more windows;
The Level 1 office/den (Building 2, south end) is now provided with a larger window, replacing the previous high slot window.
- consider installing garbage room mechanical ventilation to address potential odour issues;
After reviewing this option, we've opted to replace the solid doors with open slat, black metal swing doors. The metal slat doors will have integrated acrylic panels. This project allows door-to-door pickup of garbage and recycle bins, so with this scenario, the central garbage and recycle depots may be used for common (strata-managed) storage of seasonal items such as lawn/garden maintenance and snow removal equipment for the time being until the strata would like to have central garbage and recycling pick up.
- the applicant is advised to be mindful of potential sightline issues for the large tree in the outdoor amenity area at the centre of the site; the tree could block the view of garbage trucks backing out and children coming out from the outdoor amenity area;
Yes, that issue is valid, but the large tree helps to identify a high traffic area.

- not sure if the applicant has achieved a sense of individuality for the townhouse units or successfully broken down the sameness of units;
hard to explain, but a degree of sameness is a feature of the Modernist heritage.
- consider breaking down the symmetry of units on both sides of the entry driveway to mitigate the repetitiveness of unit designs; and
First, there is nothing wrong with symmetry; it is a good organizing principle that formalizes the 'gateway' into our project. We feel that the added vertical & horizontal fins already create a dynamic interplay of lines and shadows which alleviates any concerns of repetitiveness. With just 4 frontage buildings, the symmetry does not seem overdone.
- consider introducing soft landscaping on the internal drive aisle so it will read as intended for shared use, i.e. for vehicular circulation and play/gathering space for residents; the applicant could design the internal drive aisle with a grass surface in between hard surfaces in lieu of a monolithic hard surface treatment.
The proposed landscape design already introduces as much soft landscaping as possible along the internal drive aisle. The surface treatment recognizes that the hard surface between rollover curbs also functions as an informal, durable play surface. After the ADP, additional sections of permeable pavers have been added to the ends of the drive aisle to visually mark its terminus and, in the future, as transitions to adjacent development.

The following comments were submitted by Jubin Jalili and read into the record by Sara Badyal:

- the project is showing compliance with EnerGuide rating of 82 by use of air source heat pumps;
Noted.
- according to the design rationale report, the outdoor units are proposed to be installed in the pathway between the buildings; however, installation details such as support structure, acoustic enclosure (if any) and refrigerant pipe routing to individual townhomes need to be detailed; and
BP will note that installation will comply with manufacturer's specifications.
- grouping the outdoor units may have adverse noise impact to the adjacent townhomes with need to be reviewed by an acoustic consultant.
After consultation with the acoustic consultant and the construction manager, we are able to relocate the individual outdoor mech (condensing) units from the front yards to the level 2 rear decks of the same units.

Panel Decision

It was moved and seconded

That DP 18-829236 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.

CARRIED



Development Permit Considerations

Development Applications Department
6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 7464, 7480, 7500, 7520, 7540, 7560/7580 and 7600 No 1 Road

File No.: DP 18-829236

Prior to approval of the Development Permit, the developer is required to complete the following:

1. Final adoption of the Zoning Amendment Bylaw 9983.
2. Registration of a cross-access easement agreement over the garbage/recycling collection facilities and outdoor amenity space on-site (design as per Development Permit DP 18-829236), in favour of the future residential (townhouse) development at 7460 No. 1 Road, allowing shared use of these facilities on the subject site with future townhouse development at 7460 No. 1 Road.
3. Registration of a legal agreement on Title identifying that the proposed development must be designed and constructed in a manner that mitigates potential traffic noise from No. 1 Road to the proposed dwelling units. Dwelling units must be designed and constructed to achieve:

a) CMHC guidelines for interior noise levels as indicated in the chart below:

Portions of Dwelling Units	Noise Levels (decibels)
Bedrooms	35 decibels
Living, dining, recreation rooms	40 decibels
Kitchen, bathrooms, hallways, and utility rooms	45 decibels

- b) The ASHRAE 55-2004 "Thermal Environmental Conditions for Human Occupancy" standard for interior living spaces.
4. Registration of a legal agreement on title to restrict access to the property to right in/right out movements only.
 5. Submission of a Contract entered into between the applicant and a company specializing in tree relocation to undertake the transplant of a Japanese Maple tree (tag # 734) with proper removal, storage, and replanting techniques. The Contract should include the scope of work to be undertaken and a provision for the Arborist to submit a post-construction assessment report to the City for review.
 6. Receipt of a Letter of Credit for landscaping in the amount of \$ 269,620.74 (based on the costs estimate provided by a CSLA registered landscape Architect including 10% contingency).

Prior to Building Permit Issuance, the developer must complete the following requirements:

1. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
2. Incorporation of energy efficiency, CPTED, sustainability, and accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
3. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the

Initial: _____

Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Signed

Date



City of Richmond

Development Permit

No. DP 18-829236

To the Holder: 1132865 BC Ltd.

Property Address: 7464, 7480, 7500, 7520, 7540, 7560/7580 and 7600 No. 1 Road

Address: 1132865 BC Ltd.
c/o Interface Architecture Inc.
Suite 230 - 11590 Cambie Road
Richmond, BC V6X 3Z5

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to reduce the front yard setback along No.1 Road from 6.0 m to 4.5 m.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #4 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$ 269,620.74 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 18-829236

To the Holder: 1132865 BC Ltd.

Property Address: 7464, 7480, 7500, 7520, 7540, 7560/7580 and 7600 No. 1 Road

Address: 1132865 BC Ltd.
c/o Interface Architecture Inc.
Suite 230 - 11590 Cambie Road
Richmond, BC V6X 3Z5

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

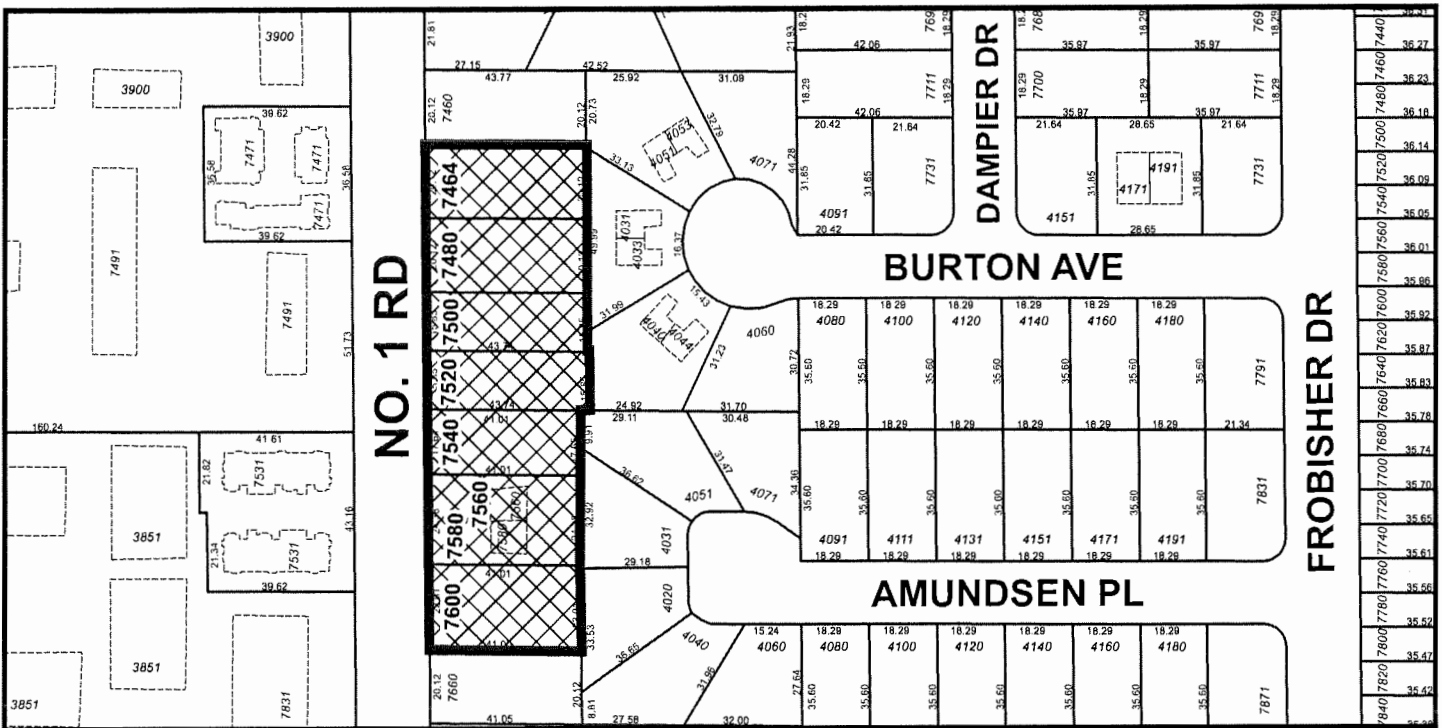
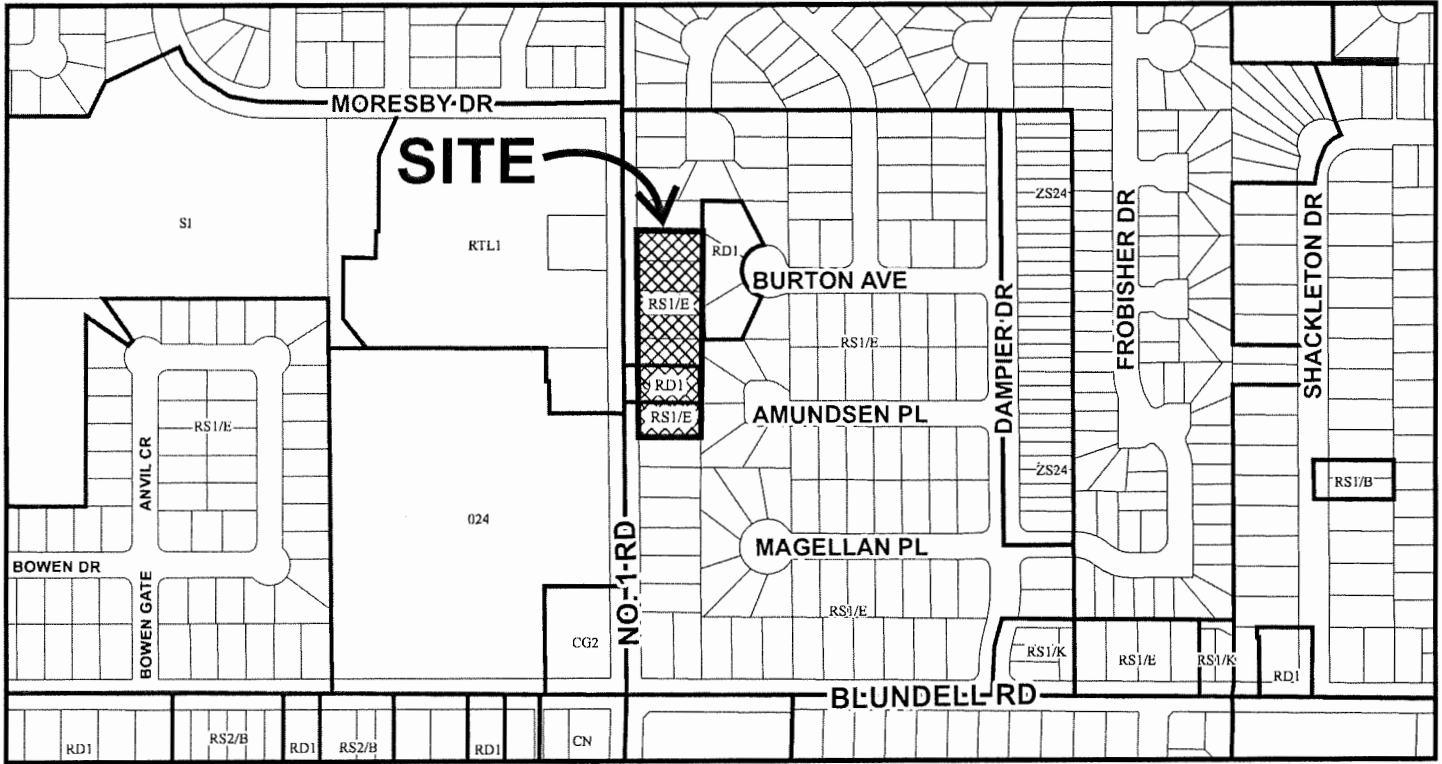
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond



DP 18-829236 SCHEDULE "A"

Original Date: 10/25/18

Revision Date:

Note: Dimensions are in METRES

DEVELOPMENT PERMIT SUBMISSION - DECEMBER 8, 2020

30-UNIT TOWNHOUSE DEVELOPMENT

7464, 7480, 7500, 7520, 7540, 7560, 7580, 7600
NUMBER 1 ROAD, RICHMOND BC



PARTIAL STREET FRONTAGE ALONG NO.1 ROAD



7460 No. 1 ROAD



CONTEXTUAL MAP



7660 No. 1 ROAD



7831 No. 1 ROAD

7531 No. 1 ROAD

7491 No. 1 ROAD

DP 18-829236

CONTEXTUAL PHOTOS OF ADJACENT DEVELOPMENTS

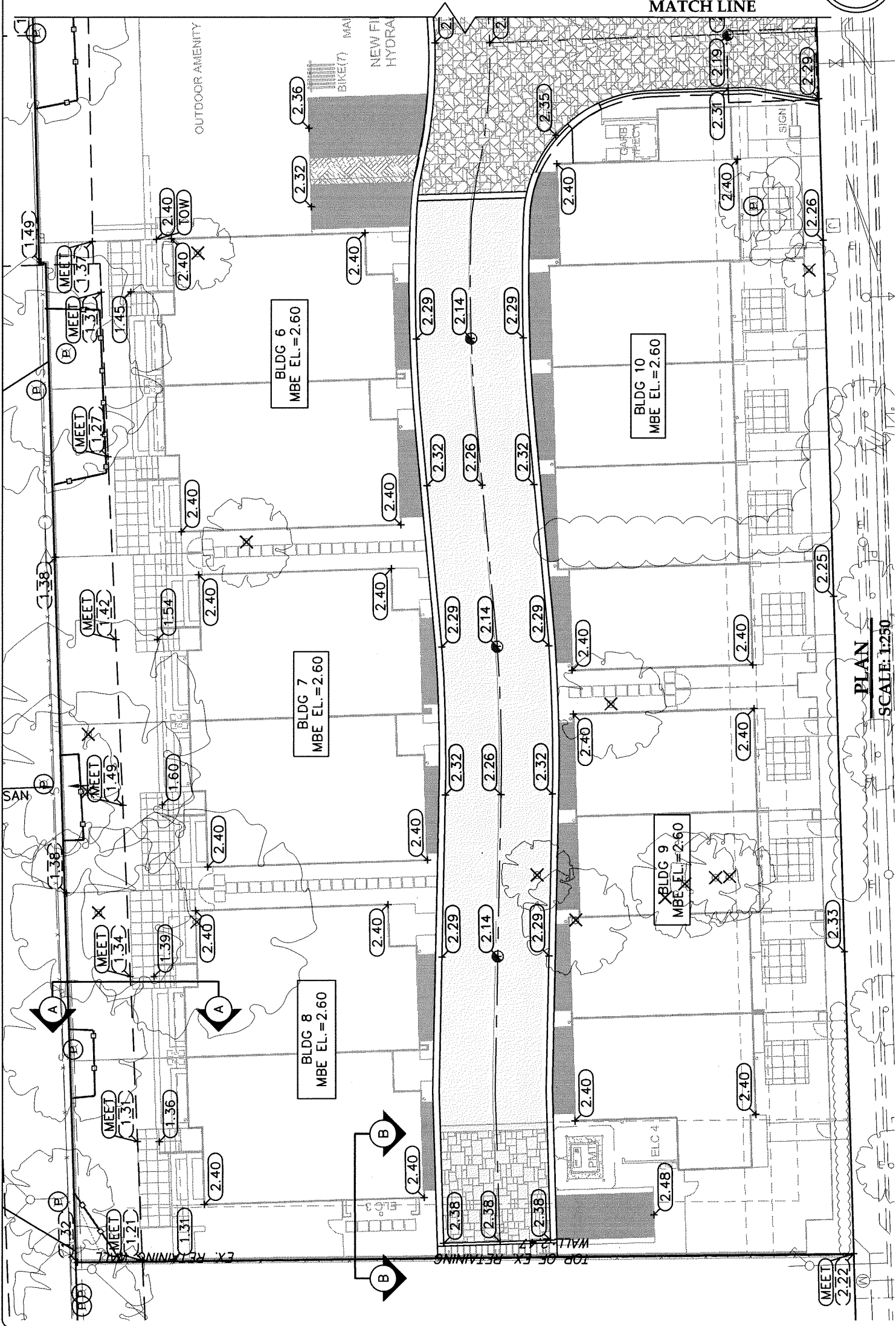
PLAN # 1
DEC 14 2020

RZ17-794287
DP18-829236

REVISIONS	
DEC 08, 2020	DP8 RESUBMISSION
NOV 27, 2020	DP5 RESUBMISSION
JUNE 03, 2020	DP RESUBMISSION
DEC 23, 2019	BP SUBMISSION
DEC 02, 2019	ADP SUBMISSION
APR 26, 2019	RZ RESUBMISSION
JULY 18, 2018	DP APPLICATION
DEC. 22, 2017	RZ APPLICATION
CONSULTANTS	
Architect	
INTERFACE ARCHITECTURE INC.	
4730-11590 CAMBIE ROAD	
RICHMOND, B.C. V6X 3Z5	
Tel: 604-821-1162 Fax: 604-821-1146	
Email: ian@interfacedesign.com	
Surveyor	
J.C. TAM AND ASSOCIATES	
#115- 8633 ODLIN CRESCENT	
RICHMOND, BC V6X 3Z7	
Tel: 604-214-8928 Fax: 604-214-8929	
Email: office@jctam.com	
Civil	
CORE CONCEPTS CONSULTING	
#220- 2638 VIKING WAY	
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Tel: 604-214-5040 Fax: 604-214-5041	
Email: ian@coreconceptconsulting.com	
Landscape Architect	
PMG LANDSCAPE ARCHITECTS	
SUITE C100 - 4188 STILL CREEK DRIVE	
BURNABY, BC V5C 6G6	
Tel: 604-294-0011 Fax: 604-294-0022	
Email: nancy@pmglandscape.com	
Arboust	
FROGGERS CREEK TREE CONSULTANTS	
7783 MCGREGOR AVENUE	
BURNABY, BC V5J 4M4	
Tel: 604-721-6002 Fax: 604-437-0970	
Email: glem@froggerscreek.ca	
Energy	
CAPTURE ENERGY	
8070 HUDSON STREET	
VANCOUVER, BC V6P 4M1	
Tel: 604-787-1852	
Email: scott@capture-energy.ca	
Acoustical	
BAP Acoustics Ltd.	
#122-2227 ST. JAMES STREET	
PORT MOODY, BC V3H 2A6	
Tel: 604-492-3992	
Email: aric@bapacoustics.com	
Electrical	
LIEW ENGINEERING Ltd.	
108-11121 HORSESHOE WAY	
RICHMOND, BC V7A 5G7	
Tel: 604-277-3157	
Email: hiewengli@leus.net	
SEAL	

INTERFACE:
Suite 200
11590 Cambie Road
Richmond BC
Canada V6X 3Z5
T 604 821 1162
F 604 821 1146
www.interfacearchitecture.com

PROJECT	Proposed 30-Unit Townhouse Development
7 LOT ASSEMBLY	7464 / 7480 / 7500 / 7520 / 7540 / 7560 / 7580 / 7600
NO. 1 ROAD	RICHMOND, BC
PROJECT NO.	1717NUM1
SCALE	As Noted
DATE	JULY 16, 2017
DRAWN BY	KYC, SSS, XY
CHECKED BY	KYC
SHEET TITLE	COVER SHEET
DRAWING	A1.0



LEGEND	
X	TREE TO BE REMOVED
(P)	TREE TO BE PRESERVED
	TREE PROTECTION FENCE

City of Richmond

6911 No. 3 Road Richmond B.C. V6Y 2C1

TITLE:

LOT GRADING

7464-7600 NO.1 RD

DEC 14 2020

CITY FILE:

PLAN #18

DESIGN:	DRK	DWG. No.:	
DRAWN:	DRK	CHECKED:	TS
ENGINEER:	TS	SCALE:	1 : 250
		SEC. No.:	14-4-7
		DATE:	NOV 2019
		SHT No.:	1 OF 3

NOT FOR CONSTRUCTION

27 NOV 2020

REV'N	DATE	BY	CH.	DESCRIPTION
2.	08 DEC 2020	AR	TS	RE-ISSUED FOR DP
1.	27 NOV 2020	AR	TS	RE-ISSUED FOR DP
0.	29 MAY 2020	SP	BTR	ISSUED FOR DP

REVISIONS

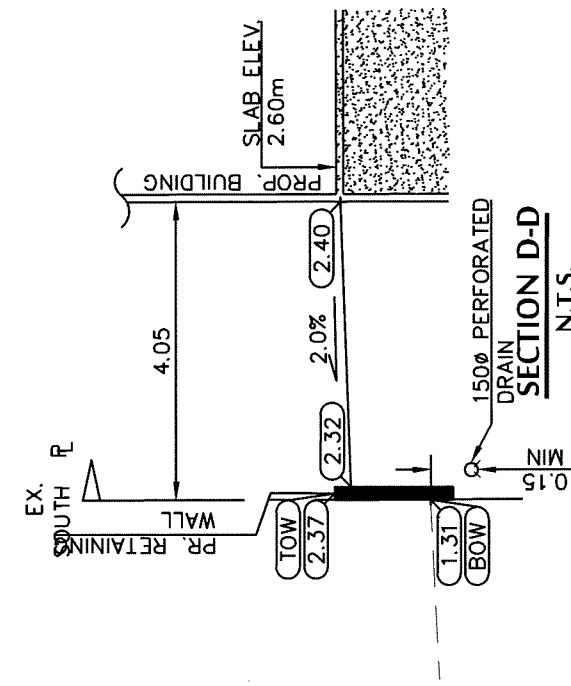
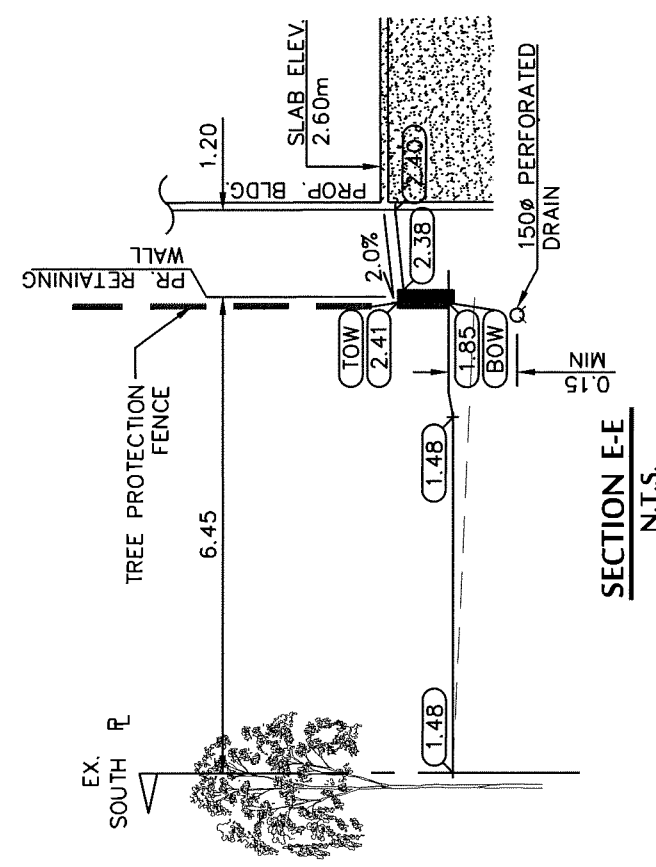
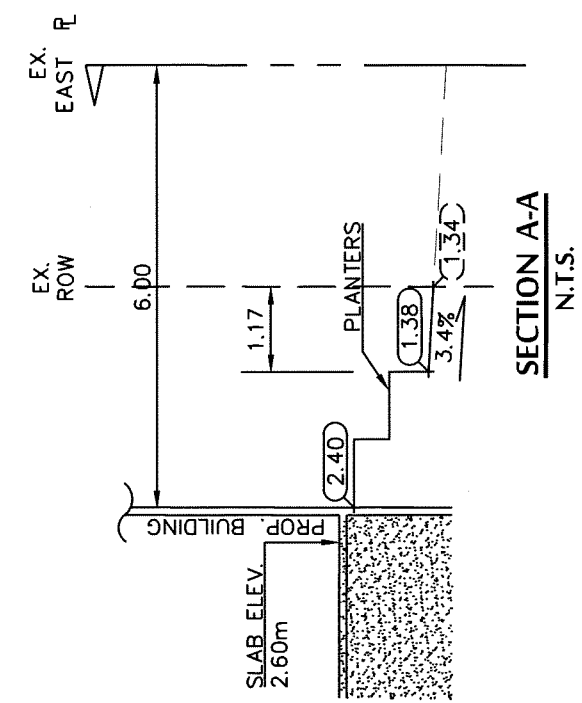
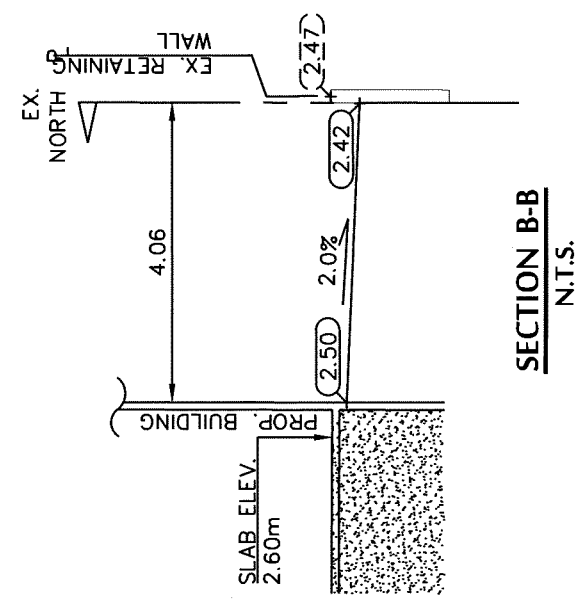
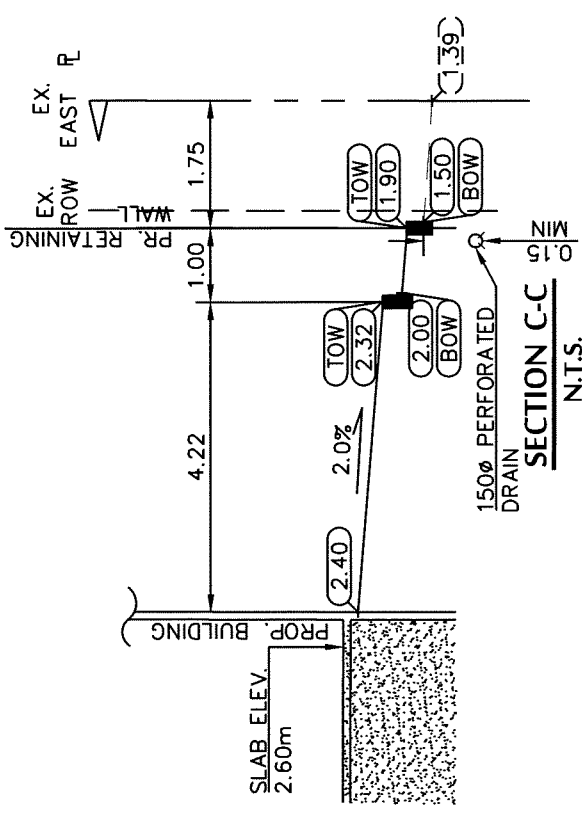
CoreConcept CONSULTING LTD.

tel : 604.249.5040
fax : 604.249.5041

#220-2639 Viking Way, Richmond, BC, V6V 3B7
www.coreconceptconsulting.com

ENRICH DEVELOPMENT
DP 18-829236

Core Concept Consulting Project No. 18076
DWG. 1 OF 3



City of Richmond

6911 No. 3 ROAD RICHMOND B.C. V6Y 2C1

TITLE: **LOT GRADING**

DEC 14 2020

7464-7600 NO.1 RD

CITY FILE: ----

DESIGN: DRK	DWG. No.: .	PLAN # 1D
DRAWN: DRK	TS	SCALE: 1 : 250
CHECKED: TS	DATE: NOV 2019	
ENGINEER: TS	SEC. No.: 14-4-7	SHT No.: 3 OF 3

NOT FOR CONSTRUCTION

27 NOV 2020

REV'N	DATE	BY	CH.	DESCRIPTION
2.	08 DEC 2020	AR	TS	RE-ISSUED FOR DP
1.	27 NOV 2020	AR	TS	RE-ISSUED FOR DP
0.	29 MAY 2020	SP	BTR	ISSUED FOR DP

REVISIONS

CoreConcept CONSULTING LTD.

#220-2639 Viking Way, Richmond, BC, V6V 3B7

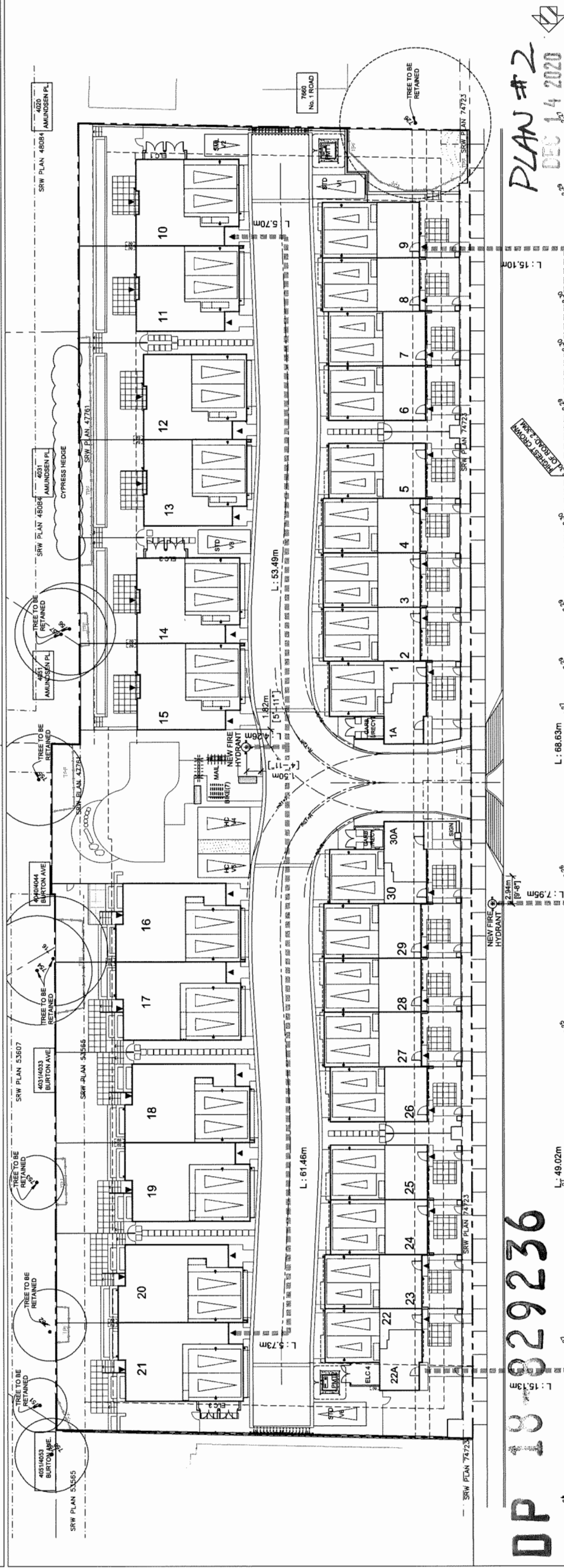
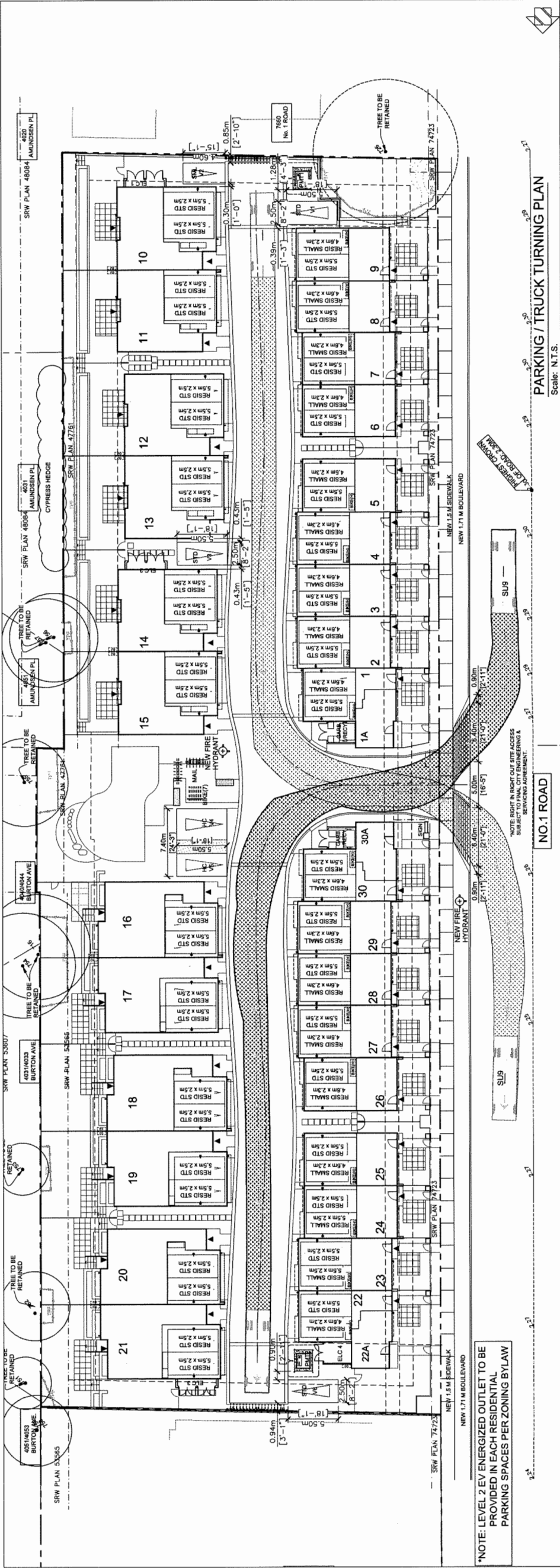
www.coreconceptconsulting.com

ENRICH DEVELOPMENT

DP 18-829236

Core Concept Consulting Project No. 18076

DWG. 3 OF 3



REVISIONS	
DEC 08, 2020	DP6 RESUBMISSION
NOV 27, 2020	DP5 RESUBMISSION
JUNE 03, 2020	DP RESUBMISSION
DEC 23, 2019	BP SUBMISSION
DEC 02, 2019	ADP SUBMISSION
APR 26, 2019	RZ RESUBMISSION
JULY 16, 2018	DP APPLICATION
DEC 22, 2017	RZ APPLICATION
CONSULTANTS	
SEAL	

INTERFACE:

Suite 230
11590 Cambie Road
Richmond BC
Canada V6X 3Z5

T 604 821 1162
F 604 821 1145
www.interfacearchitecture.com

PROJECT

Proposed 30-Unit
Townhouse Development
Z LOT ASSEMBLY
7454 / 7460 / 7500 / 7520 /
7540 / 7560 / 7580 / 7600
NO. 1 ROAD
RICHMOND, BC

PROJECT NO.

1777NUM1

SCALE

A4 N40d4

DATE

JUNE 21, 2018

DRAWN BY

KYC, SRS, XY

CHECKED BY

KYC

SHEET TITLE

PARKING / TRUCK
TURNING PLAN
FIRE ACCESS PLAN

DRAWING

A1.2

NO LOCK BLOCKS OR GRADE CHANGES
INSIDE PROTECTION ZONE OF RETAINED
TREES

APPENDIX 3
TREE MANAGEMENT PLAN

TREE INVENTORY

#	Type	Action	DBH	MPZ
703	Portuguese Laurel	Remove	35/28/25cm	3.0m
704	Cherry	Remove	90cm	5.4m
705	Portuguese Laurel	Remove	28cm	1.7m
706	Portuguese Laurel	Remove	20cm	1.2m
707	Apple	Remove	18/18cm	1.8m
708	Western Redcedar	Remove	27cm	1.6m
709	Cherry	Remove	26cm	1.6m
710	Western Redcedar	Remove	42cm	2.5m
711	Lawson Cypress	Remove	38cm	2.3m
712	Purple Plum	Remove	35cm	2.1m
713	Norway Maple	Remove	51cm	3.1m
714	Cherry	Remove	27/20cm	2.0m
715	Mountain Ash	Remove	20cm	1.2m
716	Norway Maple	Retain	55cm	3.3m
717	Norway Spruce	Remove	28cm	1.7m
718	Cherry	Remove	80cm	4.8m
719	Portuguese Laurel	Remove	20/19cm	1.8m
720	English Walnut	Remove	58cm	3.5m
721	Deodar Cedar	Remove	49cm	2.9m
722	Deodar Cedar	Remove	51cm	3.1m
723	Deodar Cedar	Remove	40cm	2.4m
724	Lombardy Poplar	Remove	110cm	6.6m
725	Lombardy Poplar	Remove	110/90cm	7.0m
726	Sycamore Maple	Retain	75/75/75cm	7.0m
727	Purple Plum	Remove	28cm	1.7m
728	Purple Plum	Remove	30cm	1.8m
729	Laburnum	Remove	28cm	1.7m
730	Laburnum	Remove	25/20cm	2.0m
731	Laburnum	Remove	45cm	2.7m
732	Laburnum	Remove	32cm	1.9m
733	Laburnum	Remove	30cm	1.8m
734	Japanese Maple	Relocate	22/12/12cm	2.5m
735	Lawson Cypress	Remove	30cm	1.8m
736	Blue Spruce	Remove	25cm	1.5m
	Cedar Hedge	Remove	30cm	2.5m
750	Western Redcedar	Retain	35/35cm	3.0m
751	Western Redcedar	Retain	15/15cm	1.8m
752	Cherry	Retain	32cm	1.9m
753	Western Redcedar	Retain	22cm	1.3m
754	Western Redcedar	Retain	80cm	4.8m
755	Western Redcedar	Retain	60cm	3.6m
756	Lawson Cypress	Retain	28cm	1.7m
757	Lawson Cypress	Retain	30cm	1.8m
	Cypress Hedge	Retain	20 to 35cm	2.2m

DBH- trunk diameter, MPZ- protection zone

TREE PROTECTION FENCING

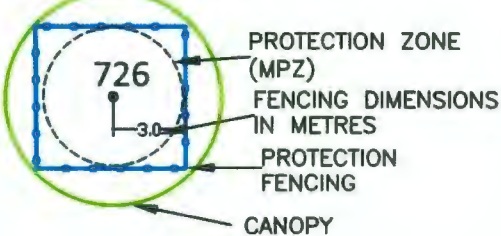
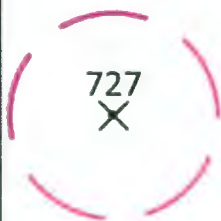
Minimum Radial Distance from trunk

#	Type	DBH	Metres	Feet
716	Norway Maple	55cm	3.3m	10.8ft
726	Sycamore Maple	75/75/75cm	7.0m	23.0ft
750	Western Redcedar	35/35cm	3.0m	9.8ft
751	Western Redcedar	15/15cm	1.8m	5.9ft
752	Cherry	32cm	1.9m	6.3ft
753	Western Redcedar	22cm	1.3m	4.3ft
754	Western Redcedar	80cm	4.8m	15.7ft
755	Western Redcedar	60cm	3.6m	11.8ft
756	Lawson Cypress	28cm	1.7m	5.5ft
757	Lawson Cypress	30cm	1.8m	5.9ft
	Cypress Hedge	20 to 35cm	2.2m	7.2ft

LEGEND

TREE PROPOSED
FOR REMOVAL

TREE PROPOSED
FOR RETENTION



NOTES:
1. SITE LAYOUT
INFORMATION AND TREE
SURVEY DATA PER
SUPPLIED DRAWING

2. REFER TO
ATTACHED TREE
PROTECTION REPORT
FOR INFORMATION
CONCERNING TREE
SPECIES, STEM
DIAMETER, HEIGHT,
CANOPY SPREAD AND
CONDITION.

3. ALL MEASUREMENTS
ARE METRIC

Froggers Creek
Tree Consultants Ltd

7763 McGregor Avenue Burnaby BC V5J 4H4
Telephone: 604-721-6002 Fax: 604-437-0970

7500 No 1 Road Richmond

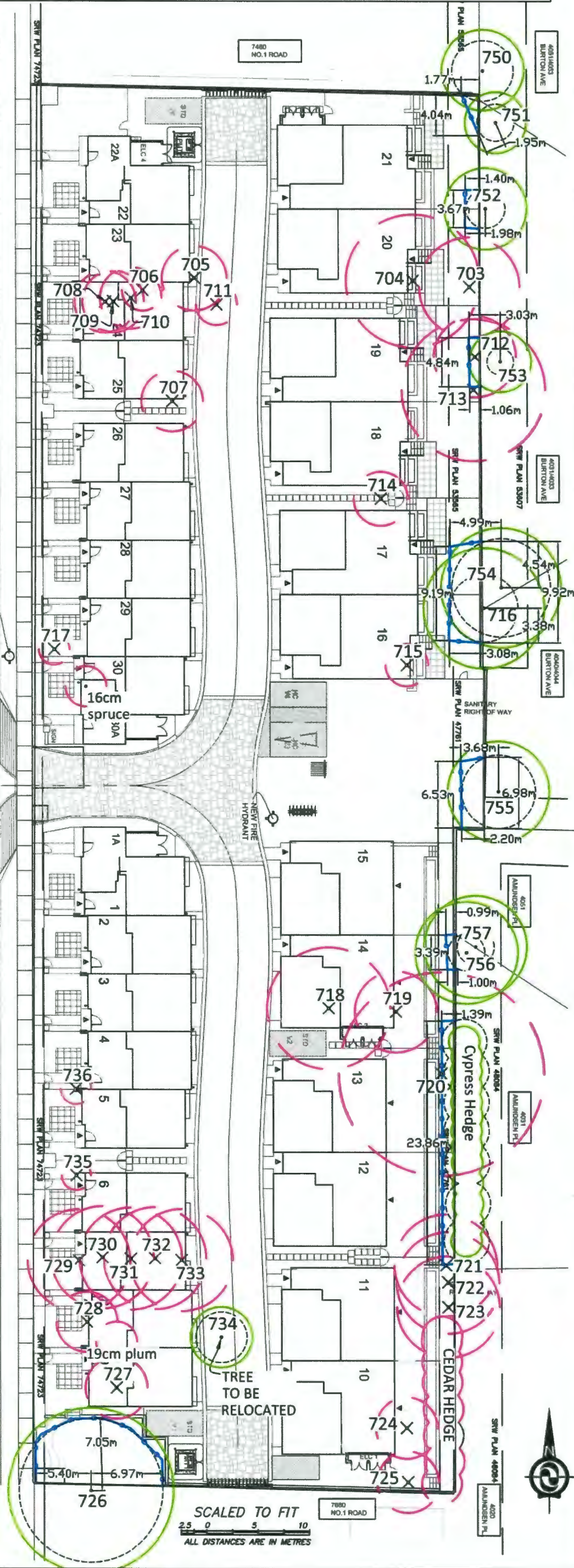
TREE MANAGEMENT DRAWING
THE DRAWING PLOTS ALL TREES, PROPOSED FOR
RETENTION, REMOVAL, THEIR CANOPIES,
PROTECTION ZONES AND PROTECTION FENCING IN
RELATION TO PROPOSED LAYOUT

December 7, 2020

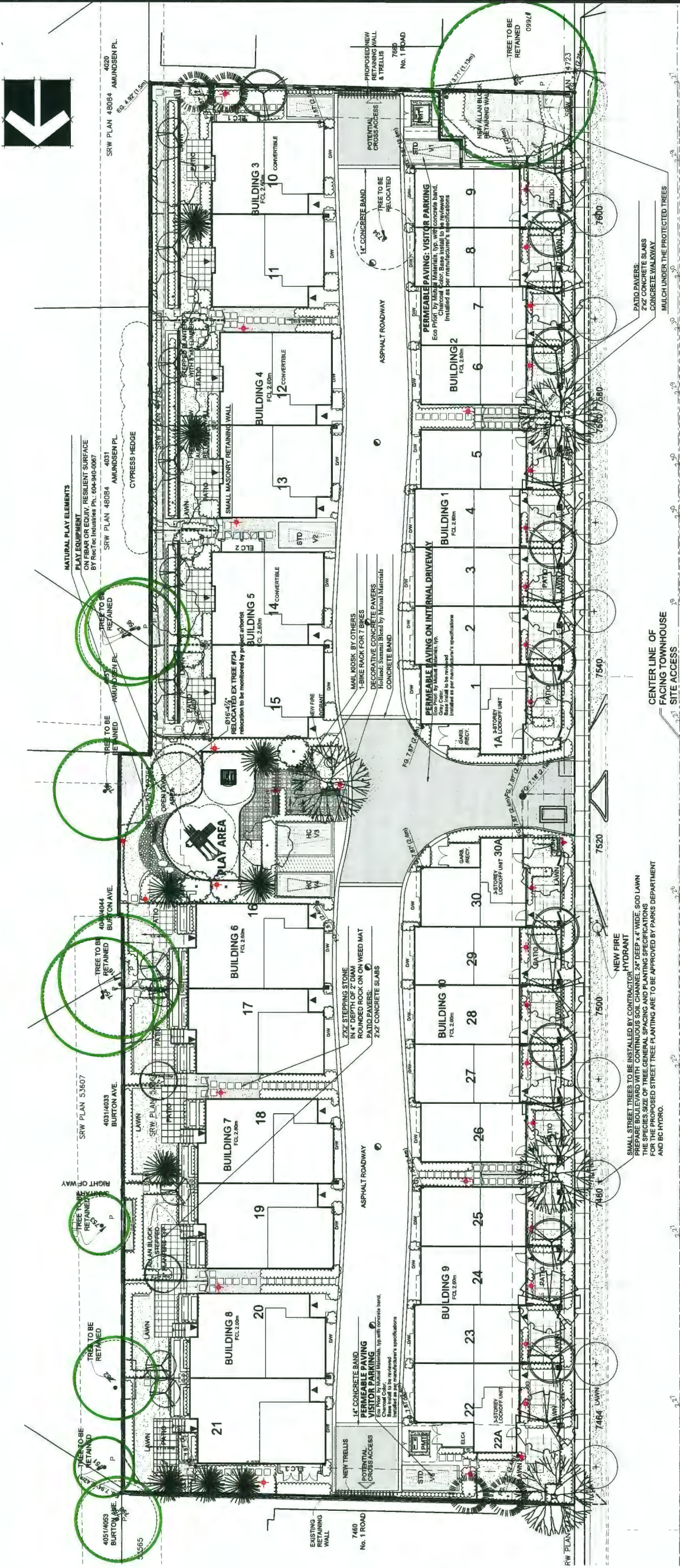
DP 18-829236

NO.1 ROAD

PLAN #3
DEC 14 2020



SEAL:



PLANT SCHEDULE-STREET TREE				PMG PROJECT NUMBER: 17-288
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE	9	STREET TREE	TO BE APPROVED BY PARKS DEPARTMENT	7CM CAL: 2M STD: 848
+				
NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIALS AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.				

PLANT SCHEDULE		
KEY	QTY	BOTANICAL NAME
TREE	8	ACER RUBRUM 'RED SUNSET'
	4	CERCIDIPHYLLUM JAPONICUM
	11	MAGNOLIA KOBUS STELLATA 'PINK STAR'
	9	OXYDENDRON ARBOREUM
	4	PICEA OMORICA
	4	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'
	6	POPULUS TREMULA 'ERECTA'
	2	QUERCUS PALAISTRIS 'GREEN PILLAR'
	9	QUERCUS PALAISTRIS 'PINK CHIMES'
	2	SYRAX JAPONICUS 'PINK CHIMES'
	8	RED SUNSET MAPLE
	10	KATSURA TREE
	8	PINK STAR MAGNOLIA (LIGHT PINK)
	8	SOURWOOD
	4	SERBIAN SPRUCE
	4	VANDERWOLF'S PYRAMIDAL LUMBER PINE
	8	SWEDISH COLUMNAR ASPEN
	8	GREEN PILLAR PIN AK
	8	PINK FLOWERED JAPANESE SNOWBELL
NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIALS AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED CANADIAN LANDSCAPE STANDARD LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.		
NOTE: - All soft landscape area to be irrigated with automatically installation to I.I.A.B.C. Standards, latest edition.		



BIG TREE COMPOST PLANT USE REC-460
NATURAL COLOR BY FRITZ'S INDUSTRIES
TO BE INSTALLED TO MANUFACTURERS
SPECIFICATIONS.

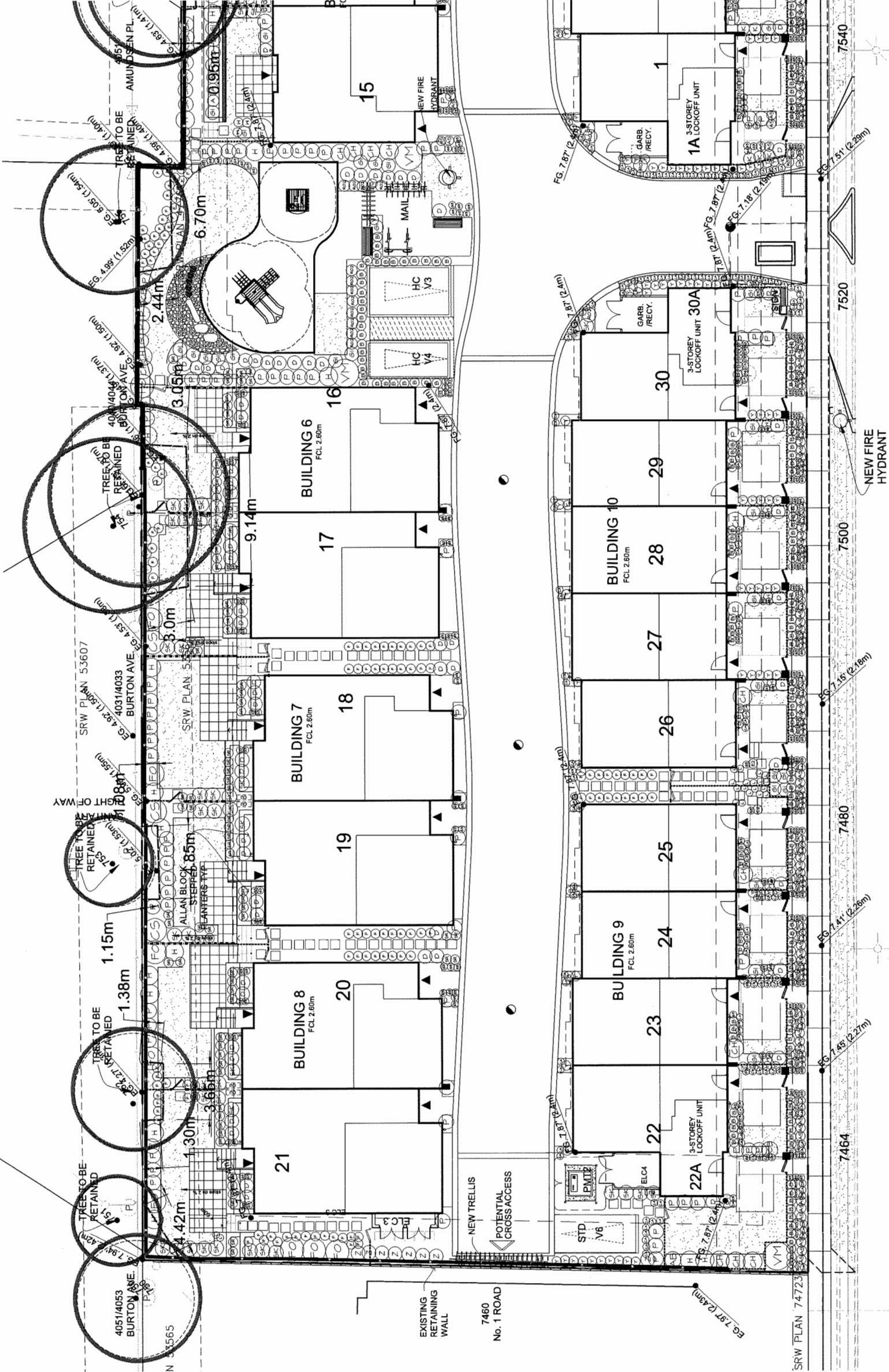
BIG TREE COMPOST PLANT USE REC-460
NATURAL COLOR BY FRITZ'S INDUSTRIES
TO BE INSTALLED TO MANUFACTURERS
SPECIFICATIONS.

BIG TREE COMPOST PLANT USE REC-460
NATURAL COLOR BY FRITZ'S INDUSTRIES
TO BE INSTALLED TO MANUFACTURERS
SPECIFICATIONS.

BIG TREE COMPOST PLANT USE REC-460
NATURAL COLOR BY FRITZ'S INDUSTRIES
TO BE INSTALLED TO MANUFACTURERS
SPECIFICATIONS.

DEC 14 2020

PLAN #3A



CENTER LINE
FACING TOWN
SITE ACCESS

NO.1 ROAD

DEC 14 2020

DP 18-829236

PLAN # 3B

15.	20.BEC.07	REVISION AS PER CITY COMMENTS	00
14.	20.NOV.24	NEW SITE PLAN & CITY COMMENTS	00
13.	20.NOV.24	NEW SITE PLAN & CITY COMMENTS	00
12.	20.NOV.24	NEW SITE PLAN & CITY COMMENTS	00
11.	20.AUG.27	NEW SITE PLAN & CITY COMMENTS	00
10.	19.NOV.29	NEW SITE PLAN	00
9.	19.NOV.25	REVISION AS PER CITY COMMENTS	00
8.	19.NOV.14	NEW SITE PLAN & CITY COMMENTS	00
7.	19.APR.19	NEW SITE PLAN	00
6.	19.APR.19	NEW SITE PLAN & CITY COMMENTS	00
5.	19.MAR.11	REVISION AS PER CITY REQUEST	00
4.	19.MAR.08	REVISION AS PER CITY REQUEST	00
3.	18.OCT.04	NEW SITE PLAN	00
2.	18.OCT.05	NEW SITE PLAN	00
1.	18.JUL.18	ISSUED FOR DP	00
	18.JUL.18	NEW SITE PLAN	00
NO.	DATE	REVISION DESCRIPTION	DR.

CLIENT:

PROJECT:
**30 UNIT TOWNHOUSE
DEVELOPMENT**

**7464-7600 No1 Road
RICHMOND**

DRAWING TITLE:

**SHRUB
PLAN**

DATE: December 12, 2017
SCALE: 3/32"=1'-0"
DRAWN: DD
DESIGN: DD
CHKD: MCY

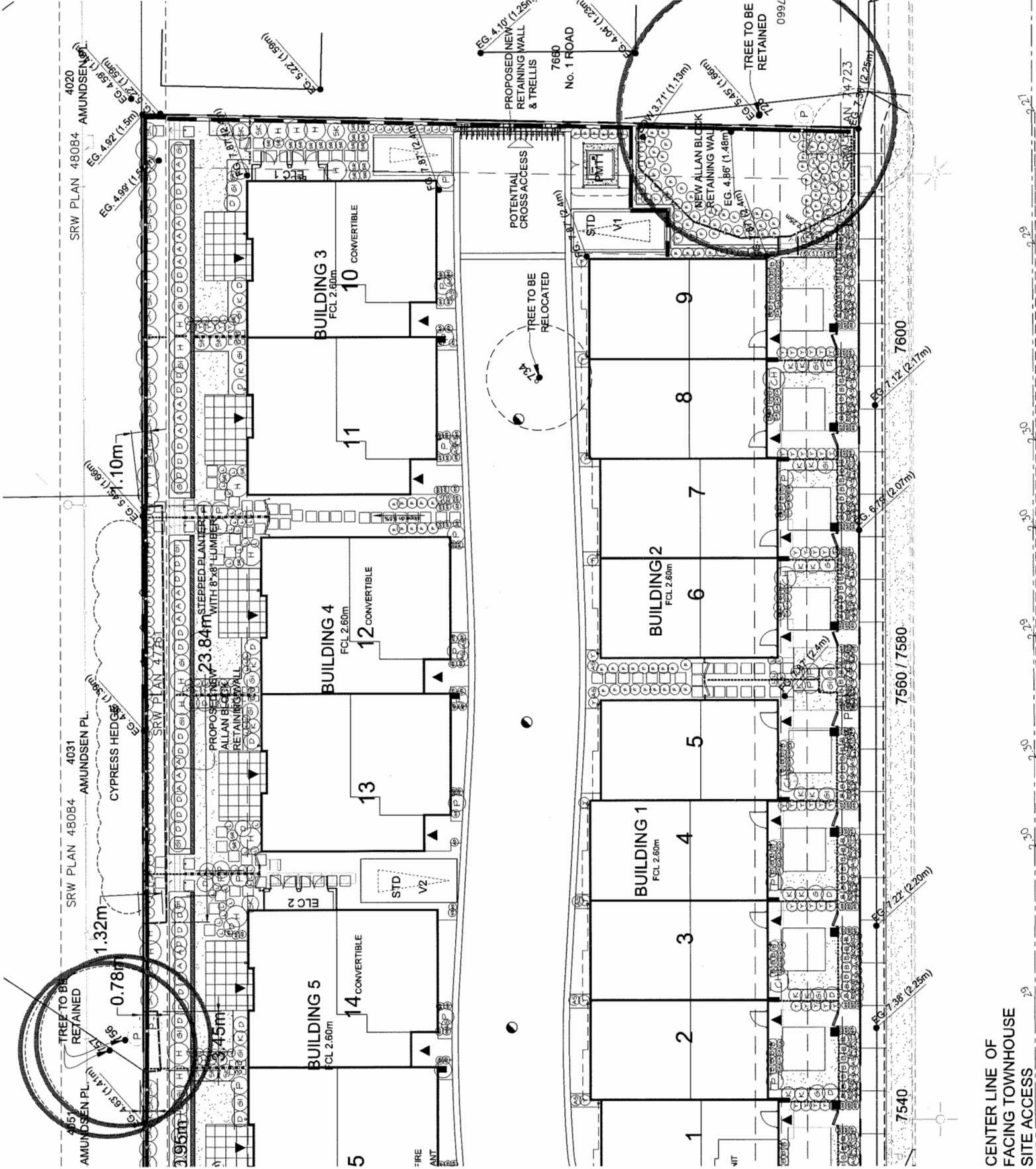
DRAWING NUMBER:

L2

OF 7

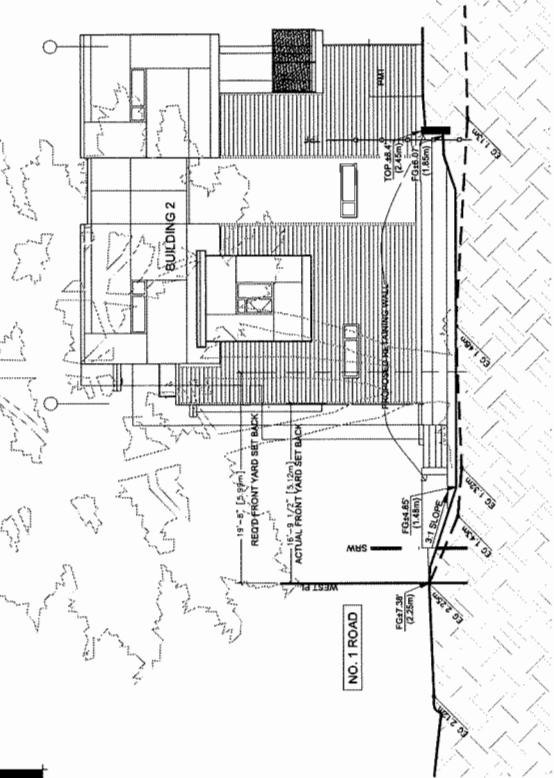
PMG PROJECT NUMBER: 17-268

SEAL:



CENTER LINE OF
FACING TOWNHOUSE
SITE ACCESS

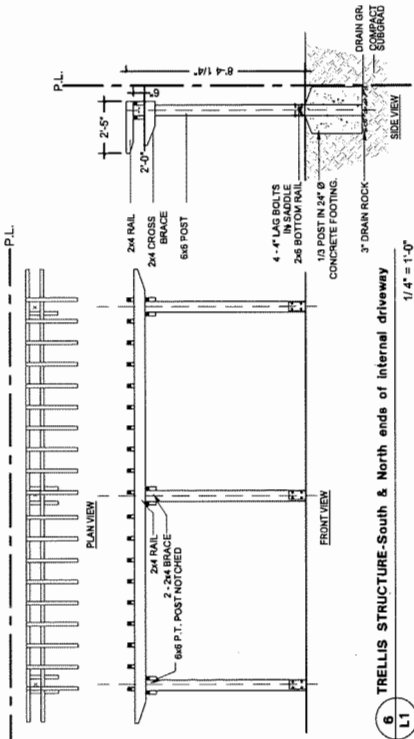
DP 18-829236



SECTION A-A

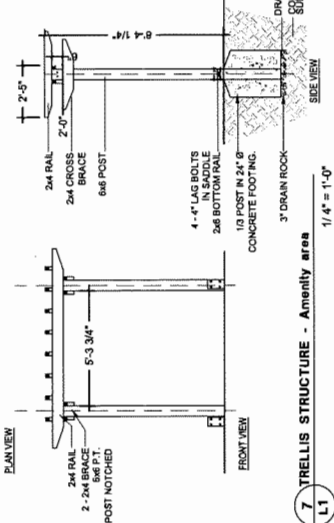
1/8"=1'-0"

- NOTE:
1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
 2. ALL OTHER MEMBERS TO BE CEDAR, #2 (CONSTRUCTION) GRADE MINIMUM.
 3. ALL HARDWARE TO BE HOT-DIPPED GALVANIZED.
 4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION.
 5. MATCH TRIM COLOUR PER ARCH SPEC. CONFIRM WITH ARCHITECT
 6. COAT ALL CUT SURFACES WITH SIMILAR PRESERVATIVE AS ABOVE



6 TRELLIS STRUCTURE-South & North ends of Internal driveway

- NOTE:
1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
 2. ALL OTHER MEMBERS TO BE CEDAR, #2 (CONSTRUCTION) GRADE MINIMUM.
 3. ALL HARDWARE TO BE HOT-DIPPED GALVANIZED.
 4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION.
 5. MATCH TRIM COLOUR PER ARCH SPEC. CONFIRM WITH ARCHITECT
 6. COAT ALL CUT SURFACES WITH SIMILAR PRESERVATIVE AS ABOVE



7 TRELLIS STRUCTURE - Amenity area

PLAN #3C

DEC 14 2020

DRAWING TITLE:
**SHRUB AND GRADING
PLAN**

PROJECT:
**30 UNIT TOWNHOUSE
DEVELOPMENT**

7464-7600 No1 Road
RICHMOND

13	20 DEC 07	REVISION AS PER CITY COMMENTS	DR
14	20 NOV 24	NEW SITE PLAN & CITY COMMENTS	DR
15	20 NOV 24	NEW SITE PLAN & CITY COMMENTS	DR
16	20 NOV 24	NEW SITE PLAN & CITY COMMENTS	DR
17	20 NOV 24	NEW SITE PLAN & CITY COMMENTS	DR
18	20 NOV 24	NEW SITE PLAN & CITY COMMENTS	DR
19	20 NOV 24	NEW SITE PLAN & CITY COMMENTS	DR
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99	20 NOV 24	NEW SITE PLAN & CITY COMMENTS	DR
100	20 NOV 24	NEW SITE PLAN & CITY COMMENTS	DR

CLIENT:

PROJECT:
**30 UNIT TOWNHOUSE
DEVELOPMENT**
**7464-7600 No.1 Road
RICHMOND**

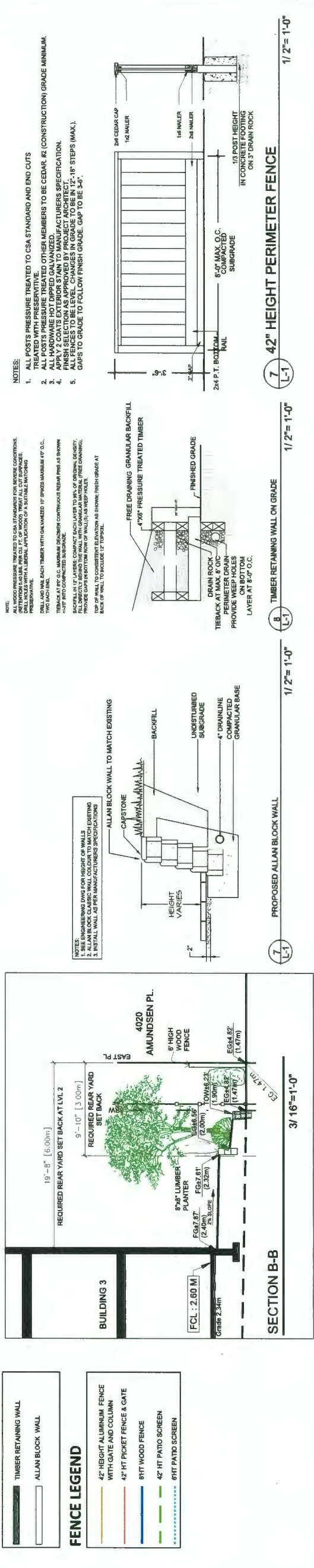
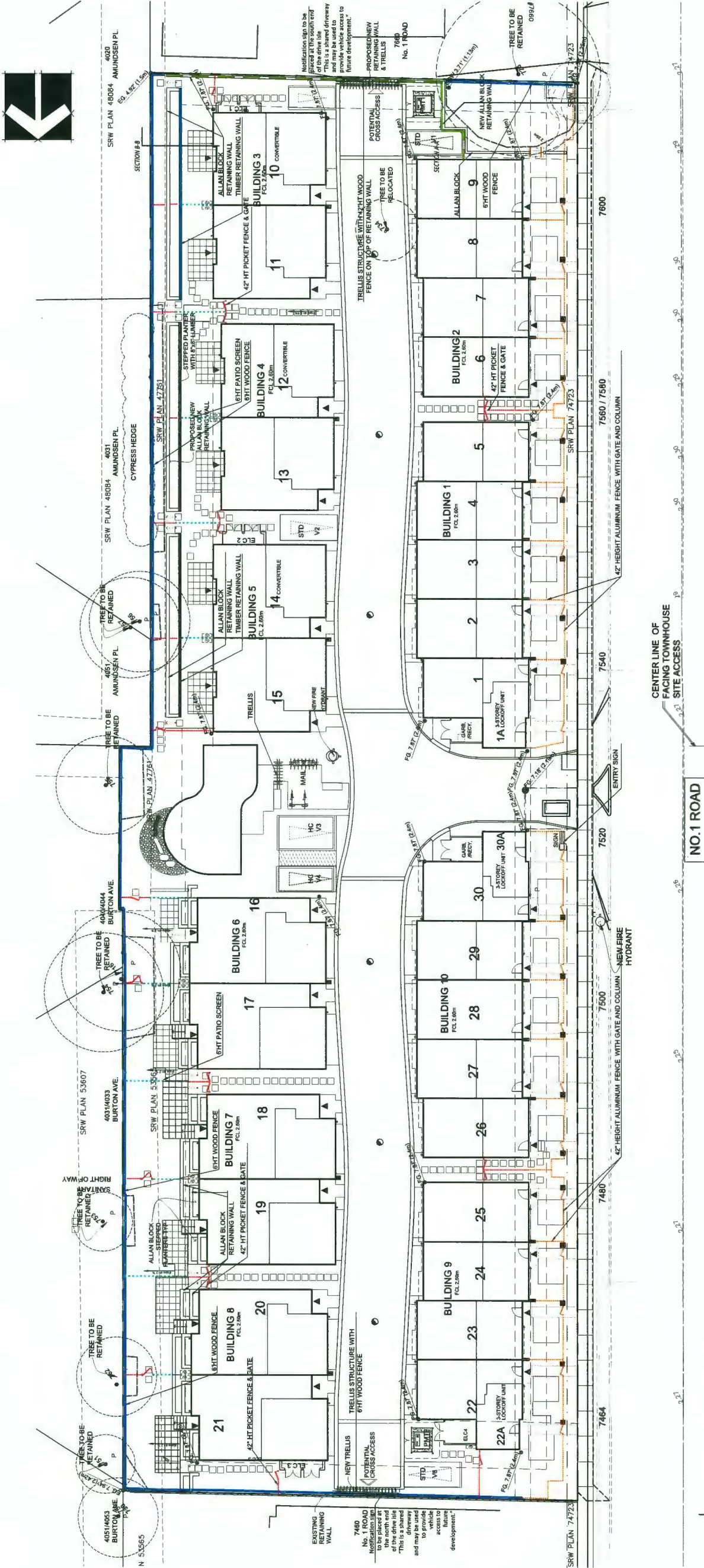
DRAWING TITLE:
**FENCE AND WALL
PLAN**

DATE: December 12, 2017
SCALE: 1/16"=1'-0"
DRAWN: DD
DESIGN: DD
CHKD: MCY

PMG PROJECT NUMBER: 17268-16.2P

DEC 14 2020

17-268

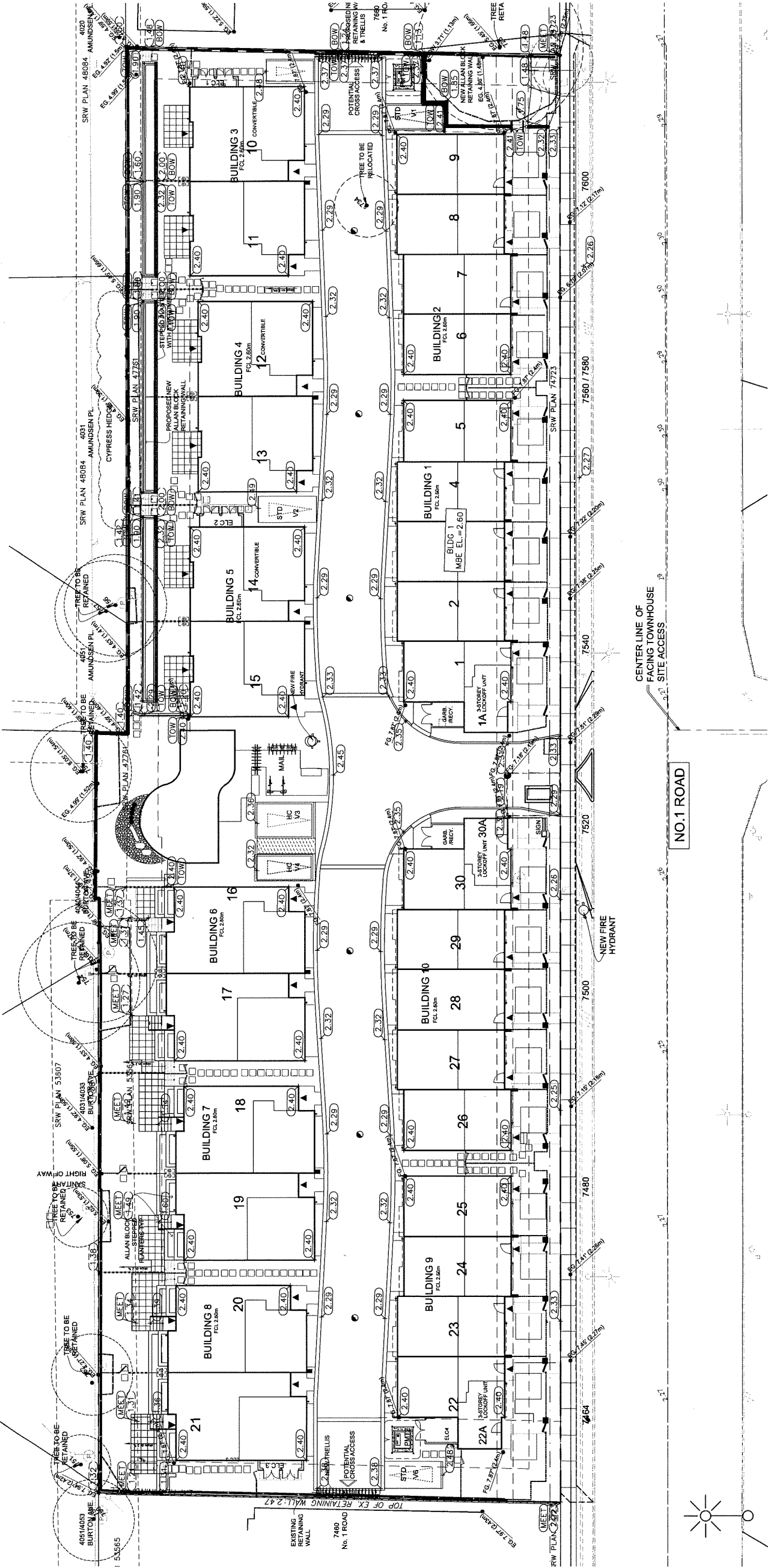


DP 18-829236

PLAN #3D



SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
15	20 DEC 07	REVISION AS PER CITY COMMENTS	DR
14	20 NOV 07	NEW SITE PLAN & CITY COMMENTS	DR
13	20 MAY 07	NEW SITE PLAN & CITY COMMENTS	DR
12	20 MAY 07	NEW SITE PLAN & CITY COMMENTS	DR
11	20 APR 07	NEW SITE PLAN & CITY COMMENTS	DR
10	19 NOV 06	NEW CIVIL PLAN	DR
9	19 NOV 06	REVISION AS PER CITY COMMENTS	DR
8	19 NOV 06	NEW SITE PLAN & CITY COMMENTS	DR
7	15 SEP 05	NEW SITE PLAN	DR
6	15 APR 05	NEW SITE PLAN & CITY COMMENTS	DR
5	19 MAR 08	REVISION AS PER CITY REQUEST	DR
4	18 DEC 04	NEW SITE PLAN	DR
3	18 OCT 05	NEW SITE PLAN	DR
2	18 JUL 05	ISSUED FOR DP	DR
1	18 JUL 05	NEW SITE PLAN	DR

PROJECT:
**30 UNIT TOWNHOUSE
DEVELOPMENT**
**7464-7600 No1 Road
RICHMOND**

DRAWING TITLE
**GRADING
PLAN**

DATE: December 12, 2017
SCALE: 1/16"=1'-0"
DRAWN: DD
DESIGN: DD
CHKD: MGY

PMG PROJECT NUMBER:
17-268

JP 18-829236

PLAN #3E

DEC 14 2020

L5

OF 7



PERSPECTIVE IMAGE - BIRD EYE VIEW LOOKING NORTH-EAST



DP 18-829236

PERSPECTIVE IMAGE - LOOKING SITE ENTRY



PERSPECTIVE IMAGE - END OF DRIVE AISLE LOOKING NORTH



PERSPECTIVE IMAGE - END OF DRIVE AISLE LOOKING SOUTH

REVISIONS	
DEC 08, 2020	DP6 RESUBMISSION
NOV 27, 2020	DP5 RESUBMISSION
JUNE 03, 2020	DP RESUBMISSION
DEC 23, 2019	BP SUBMISSION
DEC 02, 2019	ADP SUBMISSION
APR 26, 2019	RZ RESUBMISSION
JULY 16, 2018	DP APPLICATION
DEC. 22, 2017	RZ APPLICATION
CONSULTANTS	
SEAL	
All drawings and specifications are the property of the firm and are not to be used for any other project without the written permission of the firm. The firm is not responsible for any errors or omissions in these drawings and specifications. The firm is not responsible for any delays or interruptions in the completion of these drawings and specifications. The firm is not responsible for any damages or losses resulting from the use of these drawings and specifications. The firm is not responsible for any claims or liabilities arising from the use of these drawings and specifications.	

INTERFACE:

Suite 230
11690 Cambie Road
Richmond BC
Canada V6X 3Z5
T 604 821 1182
F 604 821 1146
www.interfacearchitecture.com

PROJECT	Proposed 30-Unit Townhouse Development 7 LOT ASSEMBLY 7462 / 7480 / 7500 / 7520 / 7540 / 7560 / 7580 / 7600 NO. 1 ROAD RICHMOND, BC
PROJECT NO.	1717N/UMI
SCALE	As Noted
DATE	JUNE 21, 2017
DRAWN BY	KYC, SRS, XY
CHECKED BY	KYC
SHEET TITLE	PERSPECTIVES
DRAWING	A9.3

PLAN #4
DEC 14 2020



STREETSCAPE ALONG NO 1 ROAD

Scale: 1/16"=1'-0"



KEY PLAN

1



FIBER CEMENT PANEL SIDING
HARDIEPANEL (SMOOTH)
COLOUR: Arctic White

2



FIBER CEMENT PANEL SIDING
HARDIEPANEL (SMOOTH)
COLOUR: Iron Gray

3A



FIBER CEMENT PANEL SIDING
HARDIE ARTISAN (V-GROOVE SIDING)
COLOUR: Pearl Gray

3B



FIBER CEMENT PANEL SIDING
HARDIE ARTISAN (V-GROOVE SIDING)
COLOUR: Evening Blue

4



FIBER CEMENT LAP SIDING
HARDIEPLANK (SELECT CEDARMILL)
COLOUR: Nut Brown

5



FIBERGLASS ASPHALT
ROOF SHINGLES
COLOUR: DARK GRAY
(MULTICOLOR, TEXTURED)

6 7



6: DOUBLE GLAZED VINYL WINDOW
7: DOUBLE GLAZED VINYL SLIDING
DOOR
Colour: BM HC166 (Kendall Charcoal)

8 14



8: ENTRY SOLID WOOD DOOR
14: BUILT UP POST
Door Colour: Light Walnut Stain

9 10



9: ALUMINUM FASCIA GUTTER
10: METAL FLASHED EYE BROW ROOF
Colour: BM HC166 (Kendall Charcoal)

11 17



11: OVERHEAD METAL GARAGE DOOR
17: ELECTRICAL ROOM DOOR
Colour: BM HC-172 (Revere Pewter)

12A 12B



METAL RAILING WITH
A: CLEAR GLASS
B: FROSTED GLASS
Railing Colour: Dark Gray

13



6' HIGH FROSTED GLASS
PARTITION
Railing Colour: Dark Gray

15



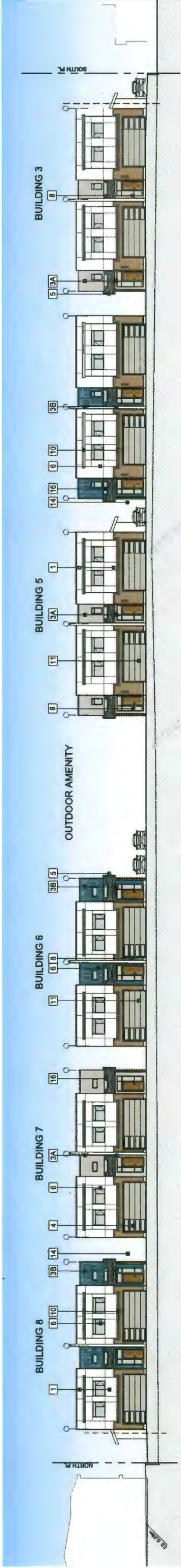
GARBAGE/RECYCLE DEPOT METAL
GRILL DOOR
Colour: BM HC166 (Kendall Charcoal)

REVISIONS	
DEC 04, 2020	DP6 RESUBMISSION
NOV 27, 2020	DP6 RESUBMISSION
JUNE 03, 2020	DP RESUBMISSION
DEC 23, 2019	BP SUBMISSION
DEC 03, 2019	ADP SUBMISSION
APR 26, 2019	RZ RESUBMISSION
JULY 16, 2018	DP APPLICATION
DEC 22, 2017	RZ APPLICATION
CONSULTANTS	
SEAL	

INTERFACE:

Suite 230
11980 Cambie Road
Richmond, BC
Canada V6X 3Z5
T 604 821 1182
F 604 821 1146
www.interfacearchitecture.com

PROJECT	Proposed 30-Unit Townhouse Development
ZLOT ASSEMBLY	7464 / 7400 / 7500 / 7520 / 7540 / 7560 / 7580 / 7600 NO. 1 ROAD RICHMOND, BC
PROJECT NO.	1717NUM1
SCALE	As Noted
DATE	JUNE 21, 2017
DRAWN BY	KYC, SRS, XY
CHECKED BY	KYC
SHEET TITLE	STREETSCAPES & SITE SECTIONS
DRAWING	A9.1



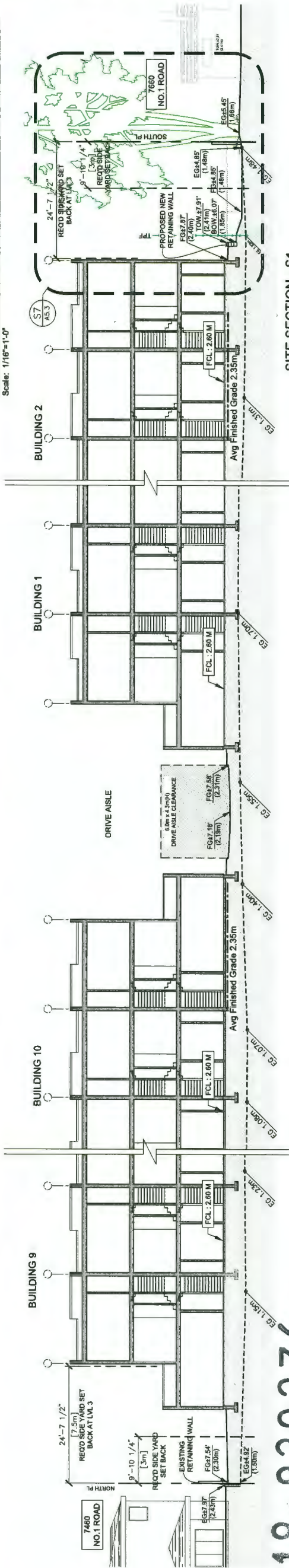
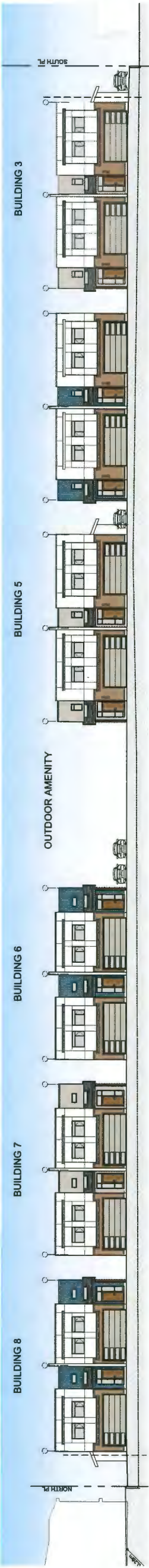
DP 18-829236

STREETSCAPE ALONG DRIVING AISLE - LOOKING EAST

Scale: 1/16"=1'-0"

DEC 14 2020

PLAN #4A



DP 18-829236

DEC 14 2020
SITE SECTION - S1

PLAN #4B

REVISIONS	
DEC 08, 2020	DP5 RESUBMISSION
NOV 27, 2020	DP5 RESUBMISSION
JUNE 03, 2020	DP RESUBMISSION
DEC 23, 2019	BP SUBMISSION
DEC 02, 2019	AOP SUBMISSION
APR 26, 2019	RZ RESUBMISSION
JULY 16, 2018	DP APPLICATION
DEC 22, 2017	RZ APPLICATION
CONSULTANTS	
SEAL	

As designed and after the proposed changes have been made for use as a reference for the construction of the project. The drawings are not to be used for any other purpose without the written consent of the architect.

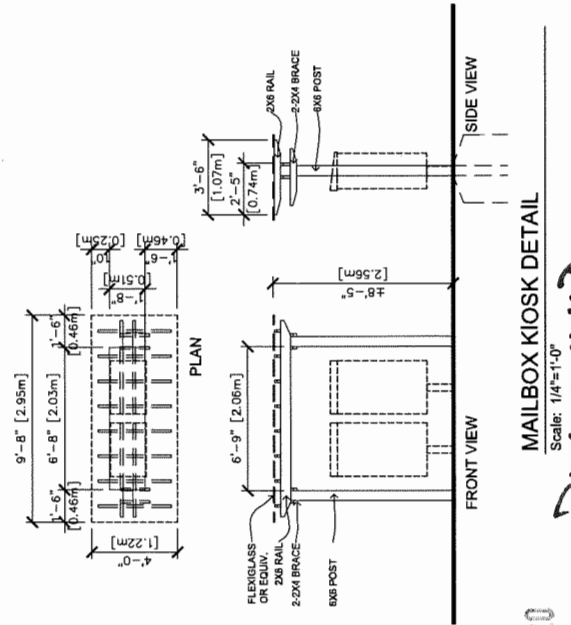
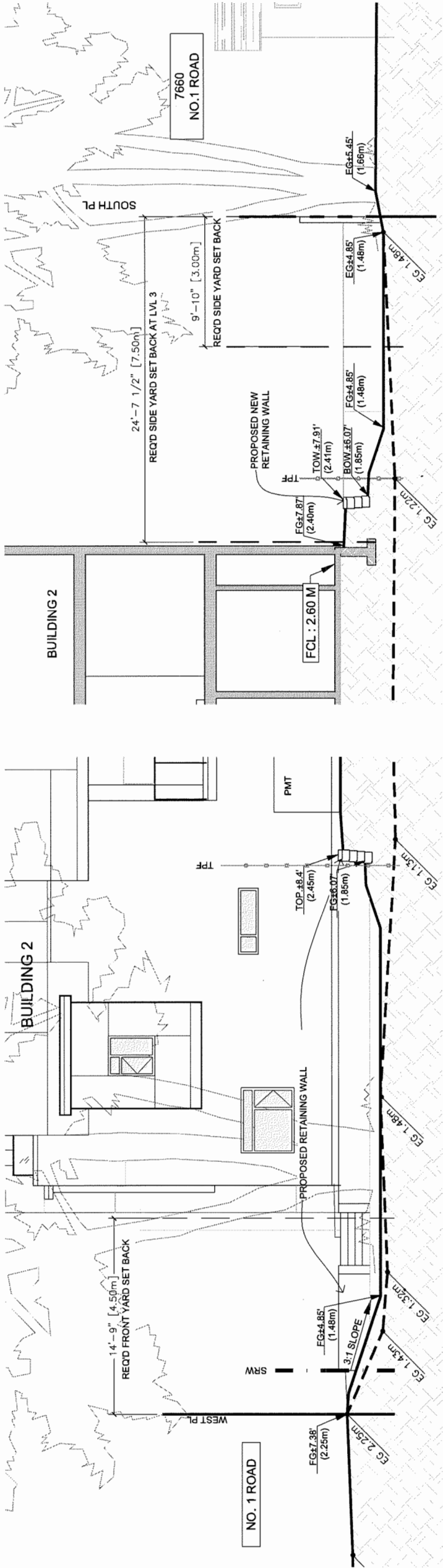
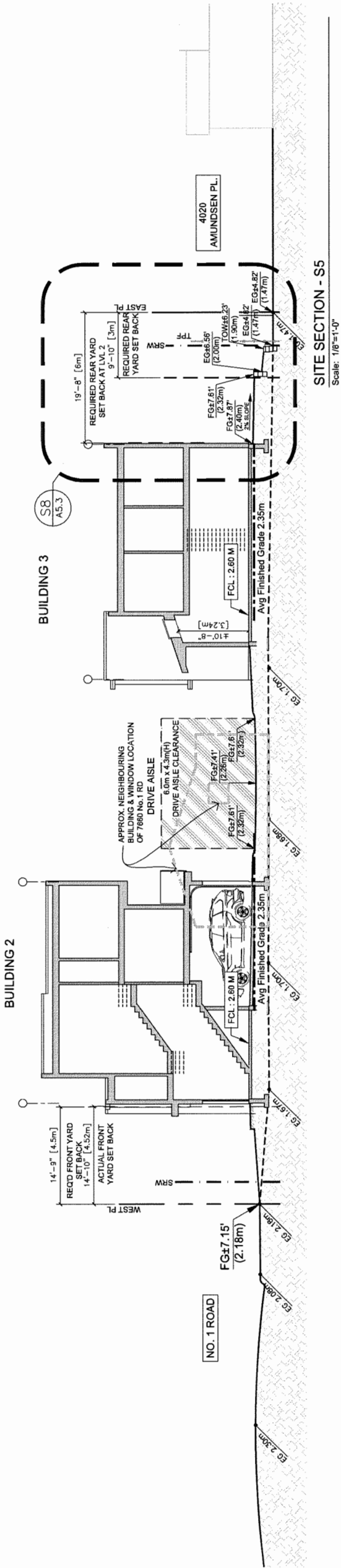
INTERFACE:
Suite 230
11590 Cambie Road
Richmond BC
Canada V6X 3Z5
T 604 821 1182
F 604 821 1146
www.interfacearchitecture.com

PROJECT	
Proposed 30-Unit Townhouse Development 7 LOT ASSEMBLY 7464 / 7469 / 7500 / 7520 / 7540 / 7560 / 7580 / 7600 NO. 1 ROAD RICHMOND, BC	
PROJECT NO.	1717NUM1
SCALE	As Noted
DATE	JUNE 21, 2017
DRAWN BY	KYC, SRS, XY
CHECKED BY	KYC
SHEET TITLE	STREETSCAPES & SITE SECTIONS
DRAWING	
A5.1	

REVISIONS	
DEC 08, 2020	DP8 RESUBMISSION
NOV 27, 2020	DP5 RESUBMISSION
JUNE 03, 2020	DP RESUBMISSION
DEC 23, 2019	BP SUBMISSION
DEC 02, 2019	ADP SUBMISSION
APR 26, 2019	RZ RESUBMISSION
JULY 16, 2018	DP APPLICATION
DEC 22, 2017	RZ APPLICATION
CONSULTANTS	
All drawings and other information shall remain the property of the firm and shall not be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior permission of the firm.	
This drawing was prepared by the firm and is the property of the firm. It is to be used only for the project and site for which it was prepared. It is not to be used for any other project or site without the prior permission of the firm.	
The firm and its consultants shall not be responsible for the accuracy or completeness of the information provided by the client or for the accuracy or completeness of the information provided by the client's consultants.	
The firm and its consultants shall not be responsible for the accuracy or completeness of the information provided by the client or for the accuracy or completeness of the information provided by the client's consultants.	
SEAL	

INTERFACE:
Suite 230
11590 Cambie Road
Richmond BC
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T 604 821 1162
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PROJECT	Proposed 30-Unit Townhouse Development 7 LOT ASSEMBLY 7484 / 7489 / 7500 / 7520 / 7540 / 7560 / 7580 / 7600 NO. 1 ROAD RICHMOND, BC
PROJECT NO.	1717NUM1
SCALE	As Noted
DATE	JUNE 21, 2017
DRAWN BY	KYC, SRS, XY
CHECKED BY	KYC
SHEET TITLE	SITE SECTIONS-2
DRAWING	A5.3



DP 18-829236

DEC 14 2020

MAILBOX KIOSK DETAIL

Scale: 1/4"=1'-0"

PLAN #4D

REVISIONS	
DEC 08, 2020	DP6 RESUBMISSION
NOV 27, 2020	DP5 RESUBMISSION
JUNE 03, 2020	DP RESUBMISSION
DEC 23, 2019	BP SUBMISSION
DEC 02, 2019	ADP SUBMISSION
APR 25, 2019	RZ RESUBMISSION
JULY 16, 2018	DP APPLICATION
DEC. 22, 2017	RZ APPLICATION
CONSULTANTS	
All changes and other alterations shown herein are for your use only and are not intended to be used without the approval of the architect. The drawings must be used in accordance with the provisions of the Building Act and the Building Regulations. The architect and the contractor shall be responsible for all dimensions and materials shown on the drawings. The architect and the contractor shall be responsible for all dimensions and materials shown on the drawings.	
SEAL	

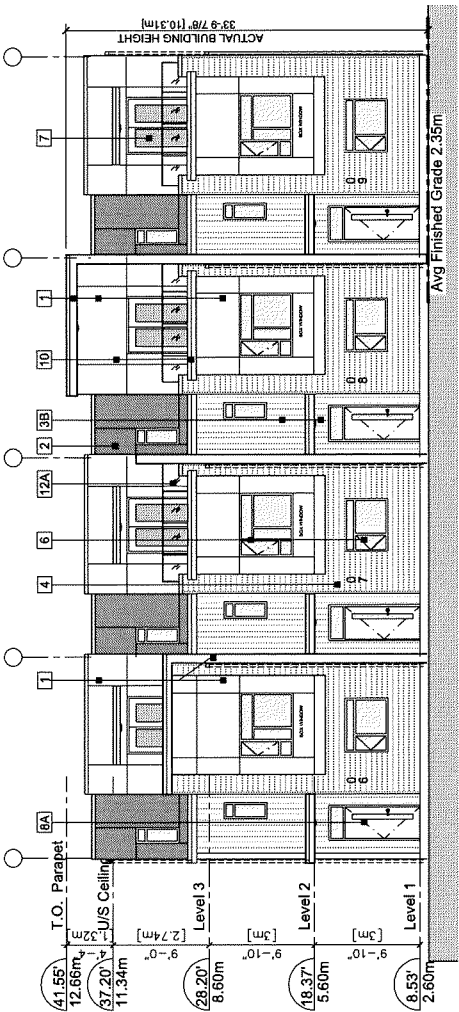
INTERFACE

Suite 200
11590 Cambie Road
Richmond BC
Canada V6X 3Z5

T 604 821 1182
F 604 821 1146
www.interfacearchitecture.com

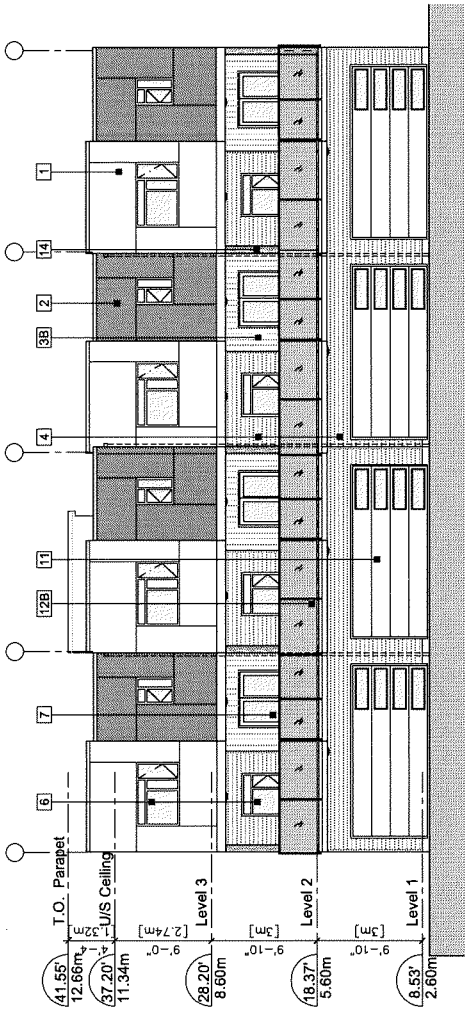
PROJECT	
Proposed 30-Unit Townhouse Development 7 LOT ASSEMBLY 7464 / 7480 / 7500 / 7520 / 7540 / 7560 / 7580 / 7600 NO. 1 ROAD RICHMOND, BC	
PROJECT NO.	1777NUM1
SCALE	As Noted
DATE	JUNE 21, 2018
DRAWN BY	KYC, SRS, XY
CHECKED BY	KYC
SHEET TITLE	ELEVATIONS: BUILDING 1 & 2
DRAWING	

A2.2



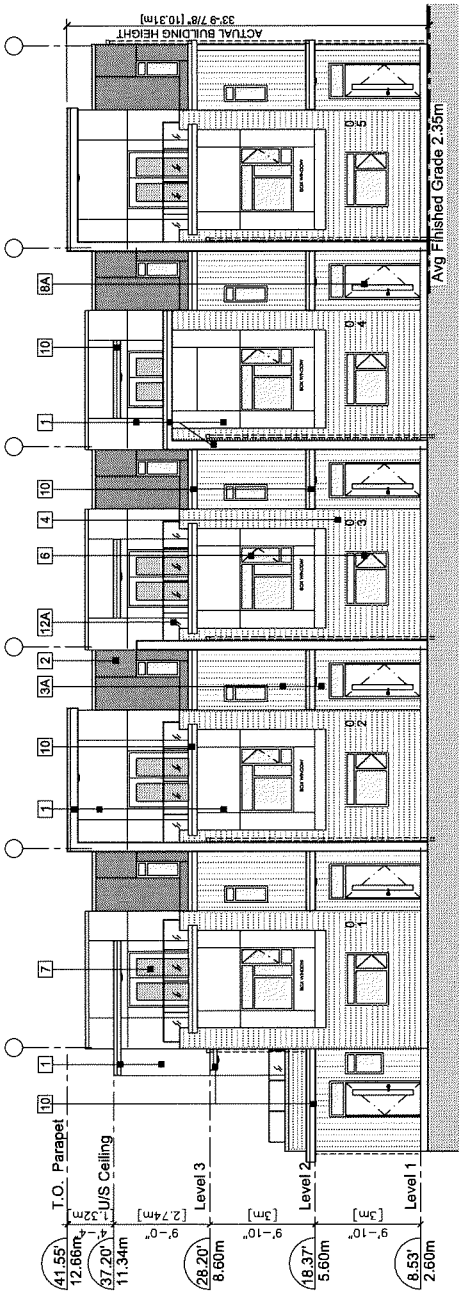
WEST ELEVATION (No.1 ROAD): BUILDING 2

SCALE: 1/8" = 1'-0"



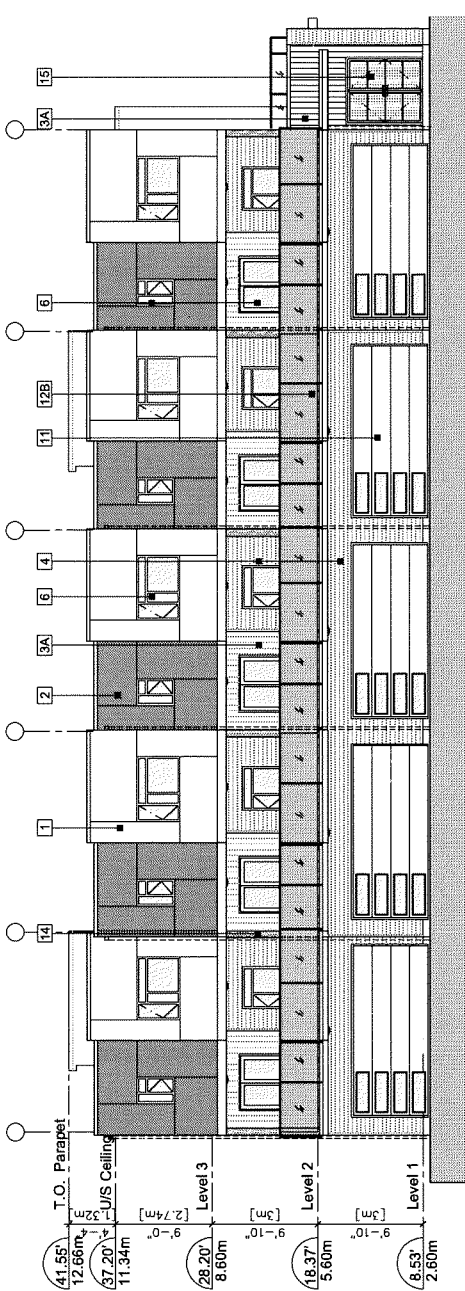
EAST ELEVATION (DRIVE AISLE): BUILDING 2

SCALE: 1/8" = 1'-0"



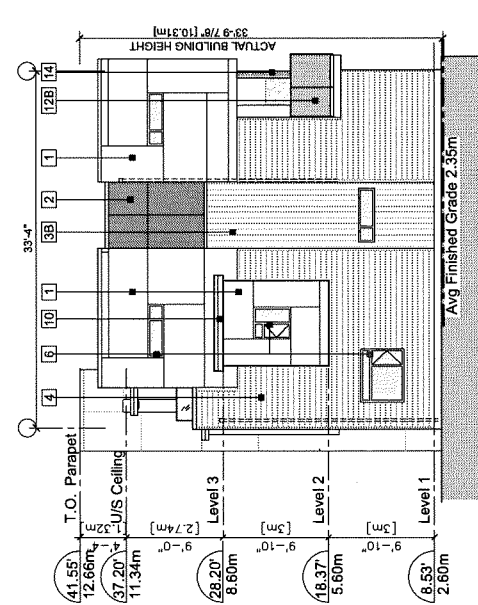
WEST ELEVATION (No.1 ROAD): BUILDING 1

SCALE: 1/8" = 1'-0"



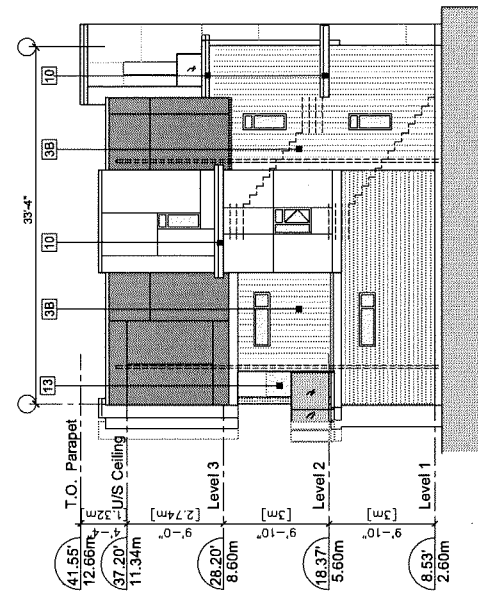
EAST ELEVATION (DRIVE AISLE): BUILDING 1

SCALE: 1/8" = 1'-0"



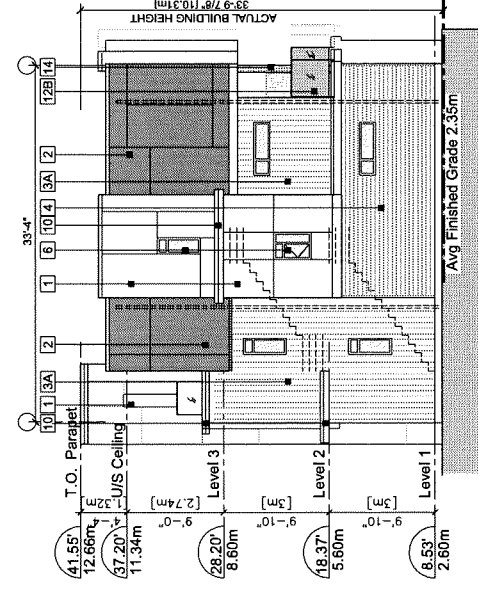
SOUTH ELEVATION: BUILDING 2

SCALE: 1/8" = 1'-0"



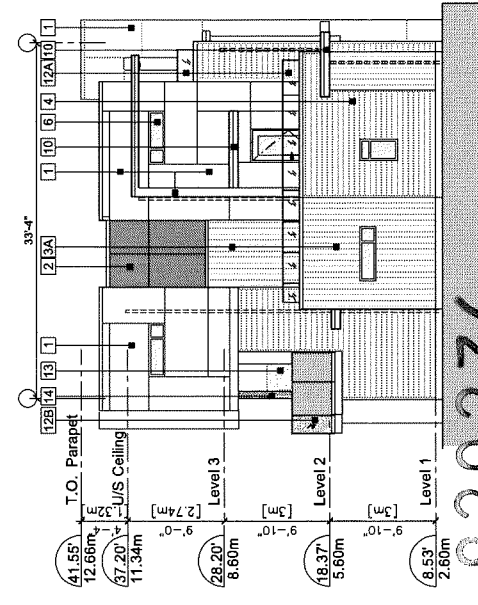
NORTH ELEVATION: BUILDING 2

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION: BUILDING 1

SCALE: 1/8" = 1'-0"



NORTH ELEVATION: BUILDING 1

SCALE: 1/8" = 1'-0"

EXTERIOR FINISHES

- FIBER CEMENT PANEL SIDING
HARDIPANEL (SMOOTH)
Colour: Arctic White
- FIBER CEMENT PANEL SIDING
HARDIPANEL (SMOOTH)
Colour: Iron Gray
*NOTE: [1] [2] Installed using Easyform metal reveal rail screen system or similar.
Colour: Clear Anodized Aluminum
- FIBER CEMENT PANEL SIDING
HARDIE ARTISAN (V-GROOVE SIDING)
Colour: A - Pearl Gray
B - Evening Blue
- FIBER CEMENT LAP SIDING (6" EXPOSURE)
HARDIEPLANK (SELECT CEDAR/MILL)
Colour: Nut Brown
- FIBERGLASS ASPHALT ROOF SHINGLES
Colour: Dark Gray (Multicolour, Textured)
- VINYL-FRAMED DOUBLE-GLAZED WINDOWS
Vinyltek or Equivalent.
Colour: BM HC-166 (Kendall Charcoal)
- DOUBLE-GLAZED VINYL SLIDING DOOR
Colour: BM HC-166 (Kendall Charcoal)
- ENTRY SOLID WOOD DOOR
A - WITH CLEAR GLASS TRANSOM
B - WITH FROSTED GLASS SIDELITE
Door Colour: Light Walnut Stain
- ALUMINUM FASCIA GUTTER
Colour: BM HC-166 (Kendall Charcoal)
- METAL FLASHED BROW ROOF
Colour: BM HC-166 (Kendall Charcoal)
- OVERHEAD METAL GARAGE DOOR
Colour: BM HC-172 (Reverse Pewter)
- METAL RAILING W/ GLASS
A - CLEAR GLASS
B - FROSTED GLASS
Metal Colour: Dark Gray
- 6" HIGH FROSTED GLASS PARTITION
TO MATCH RAILING SYSTEM
- BUILT UP POST
Colour: Light Walnut Stain
- GARBAGE/RECYCLE DEPOT
METAL GRILL DOOR
Colour: BM HC-166 (Kendall Charcoal)
- SKY LIGHT
ELECTRICAL ROOM DOOR
Colour: BM HC-172 (Reverse Pewter)

DP 18-829236

PLAN #4E DP 18-829236 PLAN #4

DEC 14 2020

REVISIONS	
DEC 08, 2020	DP6 RESUBMISSION
NOV 17, 2020	DP5 RESUBMISSION
JUNE 03, 2020	DP RESUBMISSION
DEC 23, 2019	BP SUBMISSION
DEC 02, 2019	ADP SUBMISSION
APR 28, 2019	RZ RESUBMISSION
JULY 16, 2018	DP APPLICATION
DEC 22, 2017	RZ APPLICATION

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Contractors shall verify and be responsible for all dimensions and conditions on the job and this office shall be informed of any variations from the dimensions and conditions shown on the drawing.

SEAL

INTERFACE

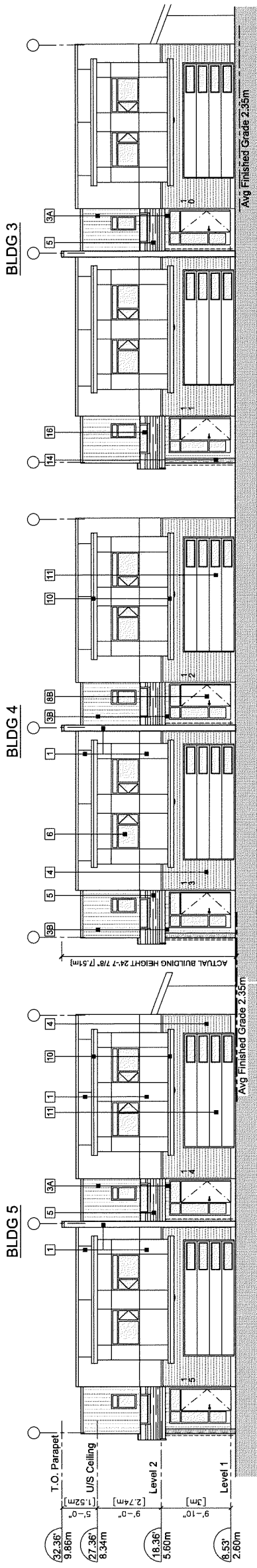
Suite 230
11590 Cambia Road
Richmond BC
Canada V6X 3Z5

T 604 821 1162
F 604 821 1146
www.interfacearchitecture.com

PROJECT	Proposed 30-Unit Townhouse Development
Z/LOT ASSEMBLY	7464 / 7469 / 7500 / 7520 / 7540 / 7550 / 7560 / 7600 NO. 1 ROAD RICHMOND, BC
PROJECT NO.	1717NUM1
SCALE	As Noted
DATE	JUNE 21, 2018
DRAWN BY	KYC, SRS, XY
CHECKED BY	KYC
SHEET TITLE	BUILDING 3, 4 & 5 PLANS & ELEVATIONS
DRAWING	A2.4

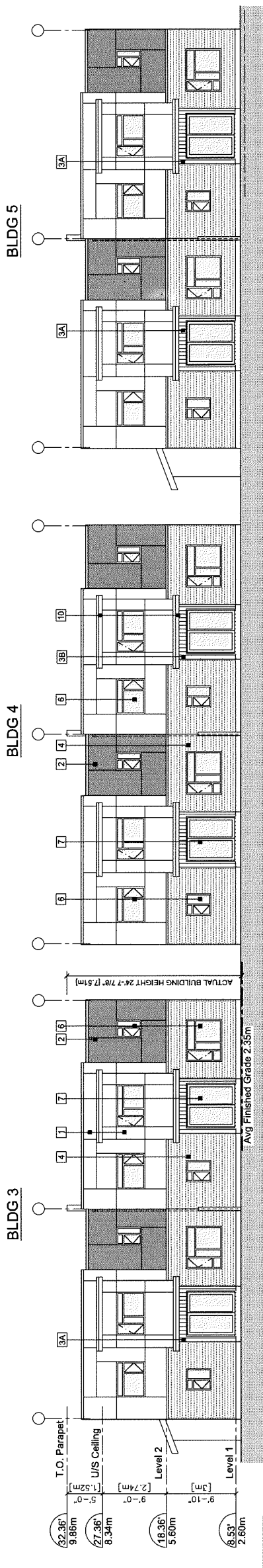
A2.4

DRAWING



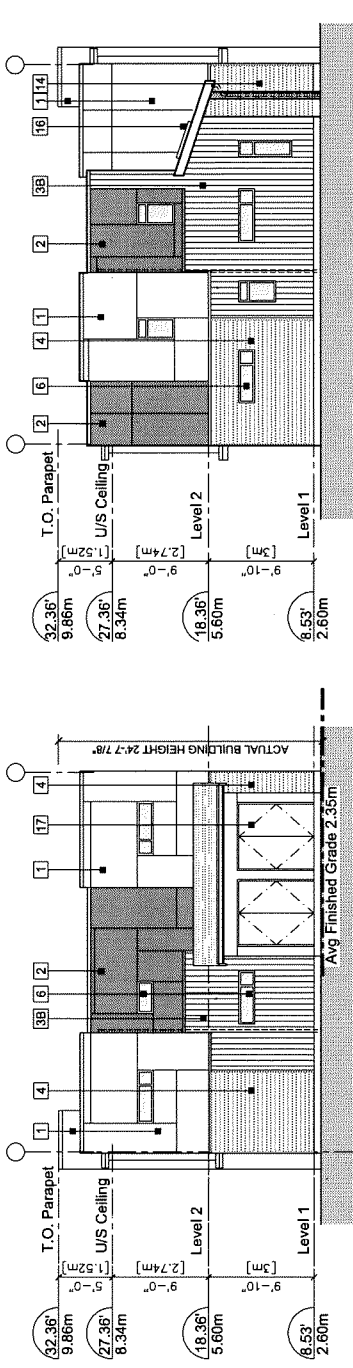
DRIVE AISLE ELEVATION (WEST): BUILDING 3, 4 & 5

SCALE: 1/8" = 1'-0"



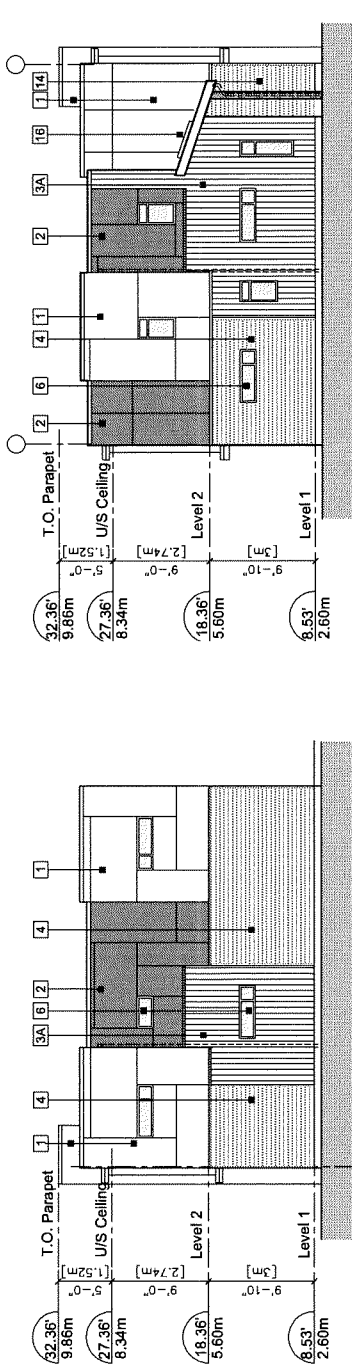
REAR YARD ELEVATION (EAST): BUILDING 3, 4 & 5

SCALE: 1/8" = 1'-0"



SIDE ELEVATION - NORTH : BUILDING 3 & 5

SCALE: 1/8" = 1'-0"



SIDE ELEVATION - NORTH : BUILDING 4

SCALE: 1/8" = 1'-0"

DEC 14 2020 PLAN #4F
SCALE: 1/8" = 1'-0"

DP 8-829236

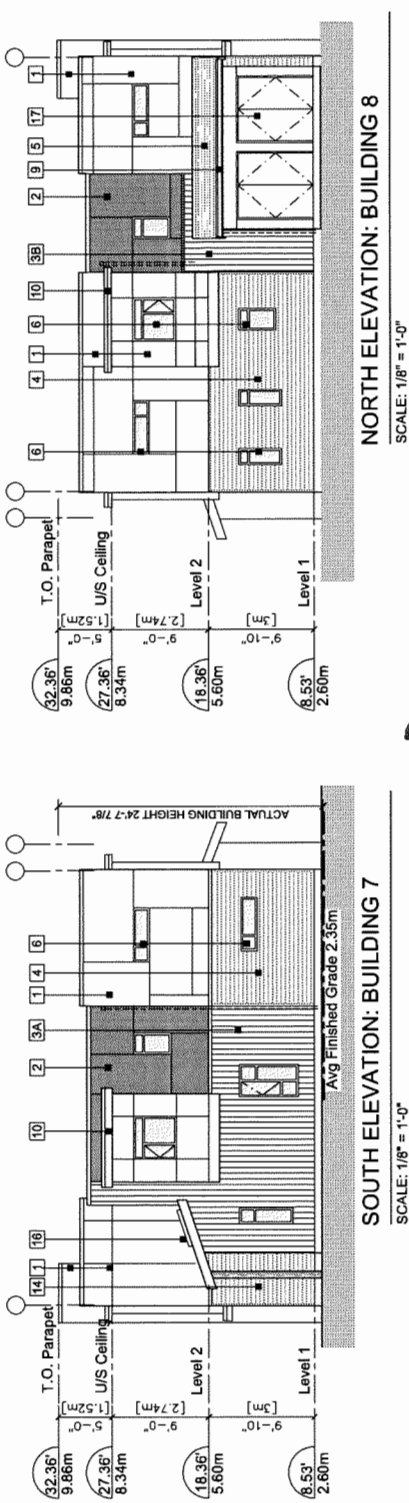
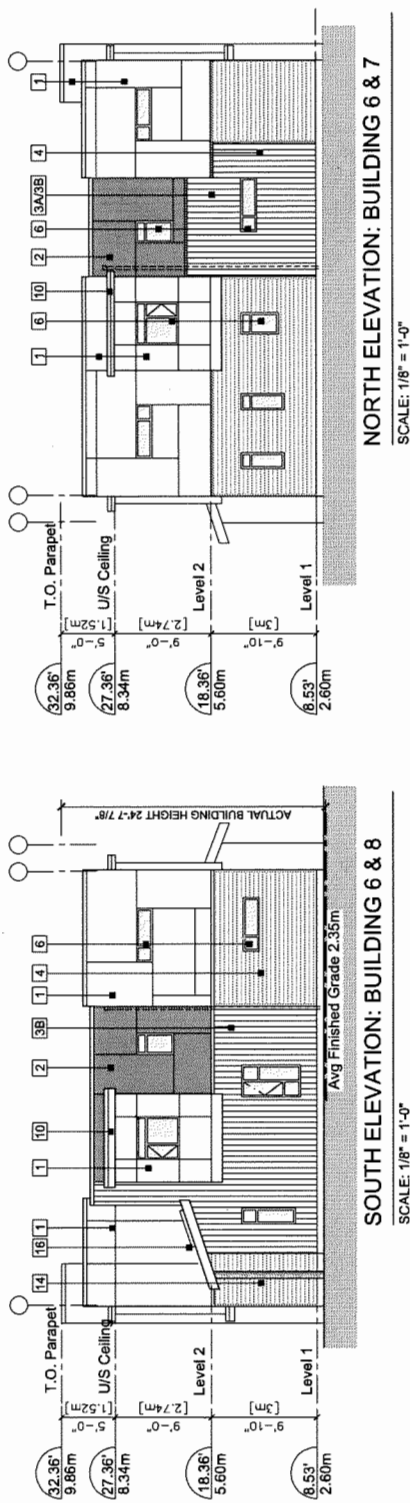
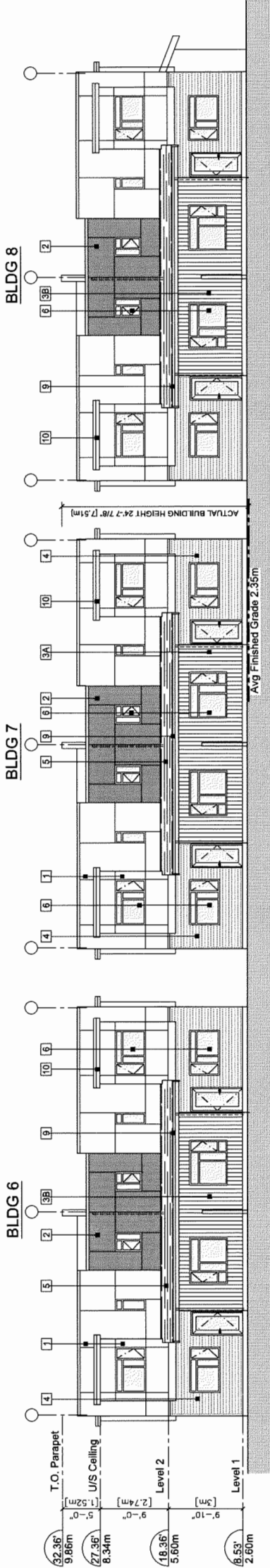
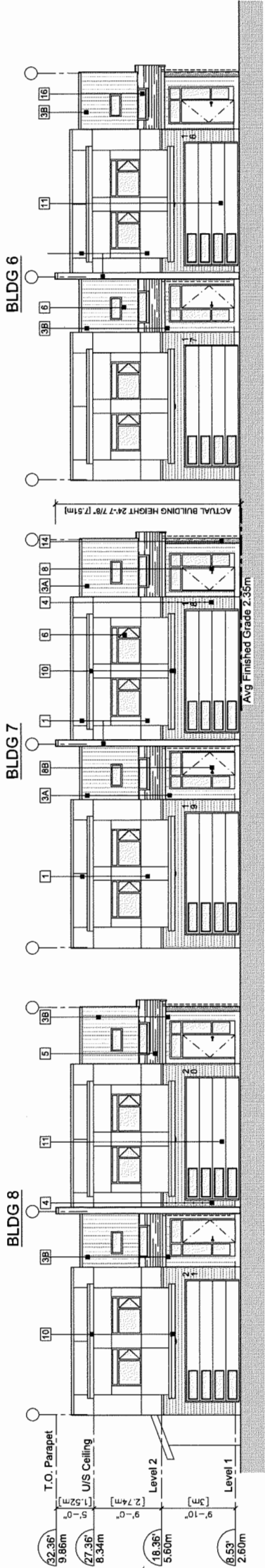
EXTERIOR FINISHES

- | | |
|---|---|
| 1 | FIBER CEMENT PANEL SIDING
HARDIPANEL (SMOOTH)
Colour: Arctic White |
| 2 | FIBER CEMENT PANEL SIDING
HARDIPANEL (SMOOTH)
Colour: Iron Gray |
| NOTE: 1 2 Installed using Easydry™ metal reveal rain screen system or similar.
Colour: Clear Anodized Aluminum | |
| 3 | FIBER CEMENT PANEL SIDING
HARDIE ARTISAN (V-GROOVE SIDING)
Colour: A - Pearl Gray
B - Evening Blue |
| 4 | FIBER CEMENT LAP SIDING (6" EXPOSURE)
HARDIEPLANK (SELECT CEDARMILL)
Colour: Nut Brown |
| 5 | FIBERGLASS ASPHALT ROOF SHINGLES
Colour: Dark Gray (Multicolor, Textured) |
| 6 | VINYL-FRAMED DOUBLE-GLAZED WINDOWS
Vinylok or Equivalent.
Colour: BM HC-166 (Kendall Charcoal) |
| 7 | DOUBLE-GLAZED VINYL SLIDING DOOR
Colour: BM HC-166 (Kendall Charcoal) |
| 8 | ENTRY SOLID WOOD DOOR
A - WITH FROSTED GLASS TRANSOM
B - WITH FROSTED GLASS SIDELITE
Door Colour: Light Walnut Stain |
| 9 | ALUMINUM FASCIA GUTTER
Colour: BM HC-166 (Kendall Charcoal) |
| 10 | METAL FLASHED BROW ROOF
Colour: BM HC-166 (Kendall Charcoal) |
| 11 | OVERHEAD METAL GARAGE DOOR
Colour: BM HC-172 (Revere Pewter) |
| 12 | METAL RAILING W/ GLASS
A - CLEAR GLASS
B - FROSTED GLASS
Metal Colour: Dark Gray |
| 13 | 6" HIGH FROSTED GLASS PARTITION
TO MATCH RAILING SYSTEM |
| 14 | BUILT UP POST
Colour: Light Walnut Stain |
| 15 | GARBAGE/RECYCLE DEPOT
METAL GRILL DOOR
Colour: BM HC-166 (Kendall Charcoal) |
| 16 | SKY LIGHT |
| 17 | ELECTRICAL ROOM DOOR
Colour: BM HC-172 (Revere Pewter) |

REVISIONS	
DEC 08, 2020	DP# RESUBMISSION
NOV 27, 2020	DP# RESUBMISSION
JUNE 03, 2020	DP RESUBMISSION
DEC 23, 2019	BP SUBMISSION
DEC 02, 2019	ADP SUBMISSION
APR 28, 2019	RZ RESUBMISSION
JULY 16, 2018	DP APPLICATION
DEC 22, 2017	RZ APPLICATION
CONSULTANTS	
As prepared and approved by the undersigned, the drawings shall be used in accordance with the conditions and limitations set out in the contract documents and shall be the property of the undersigned. The undersigned shall not be held responsible for any errors or omissions in the drawings or for any consequences arising therefrom. The undersigned shall not be held responsible for any consequences arising from the use of the drawings for any purpose other than that for which they were prepared.	
SEAL	

INTERFACE
Suite 230
11590 Cambie Road
Richmond BC
Canada V6X 3Z5
T 604 821 1162
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PROJECT	Proposed 30-Unit Townhouse Development 7 LOT ASSEMBLY 7464 / 7460 / 7500 / 7520 / 7540 / 7560 / 7580 / 7600 NO. 1 ROAD RICHMOND, BC
PROJECT NO.	1717NUM1
SCALE	As Noted
DATE	JUNE 21, 2018
DRAWN BY	KYC, SRS, XY
CHECKED BY	KYC
SHEET TITLE	BUILDING 6, 7 & 8 PLANS & ELEVATIONS
DRAWING	A2.6



DP 18-829236

DEC 14 2020

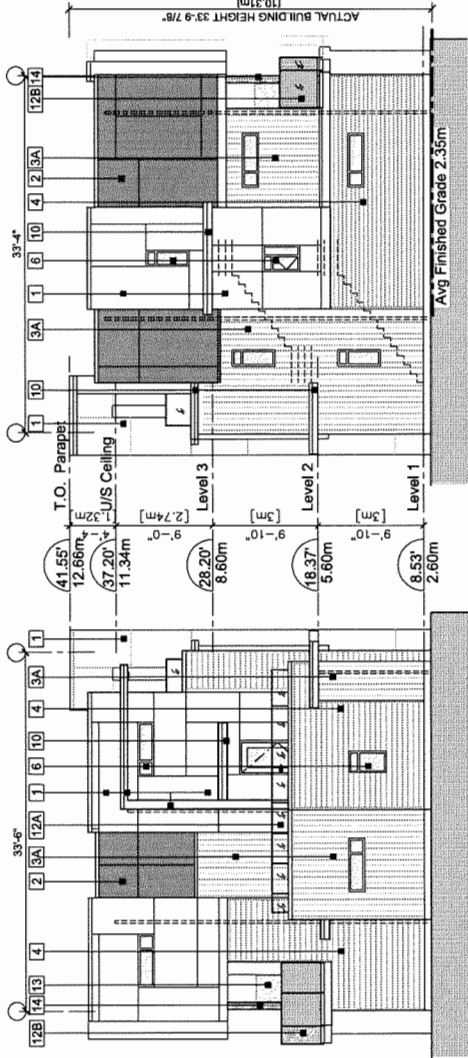
PLAN # 45

NORTH ELEVATION: BUILDING 8

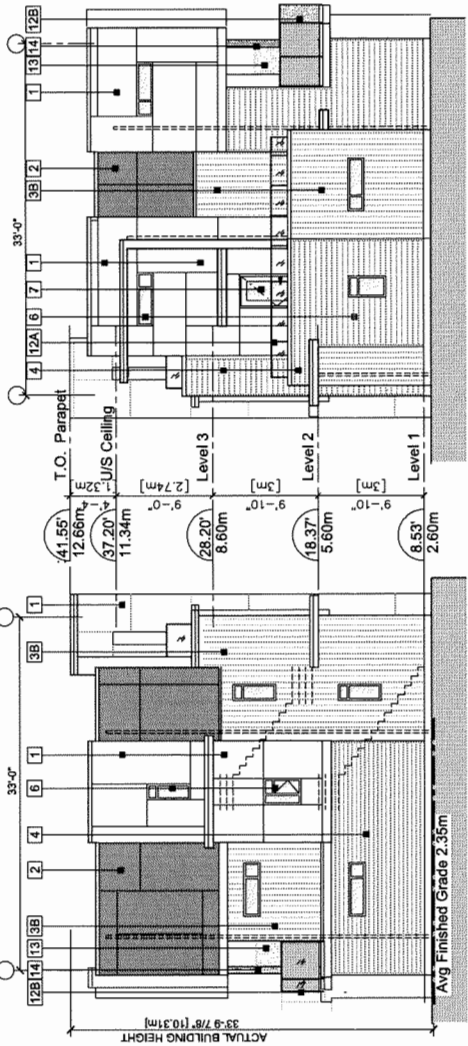
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DP 18-829236 PLAN #5

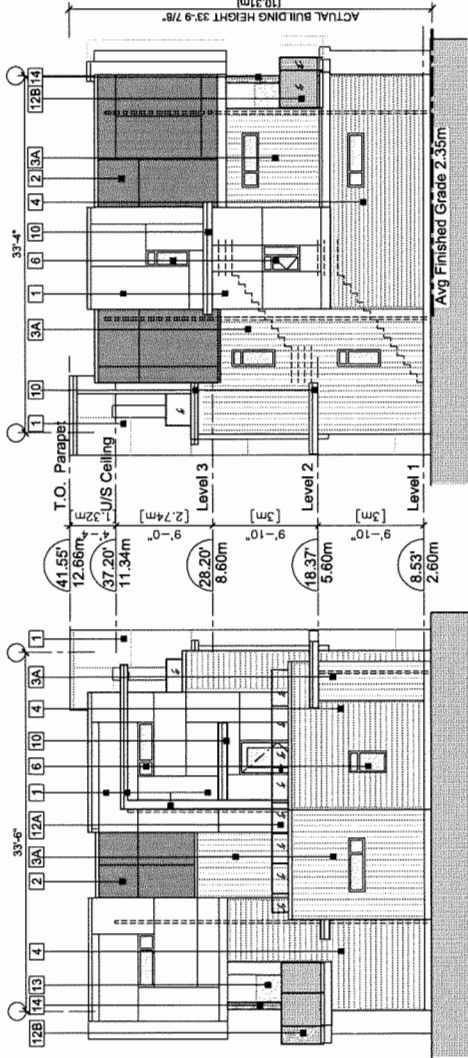
NORTH ELEVATION: BUILDING 9
SCALE: 1/8" = 1'-0"



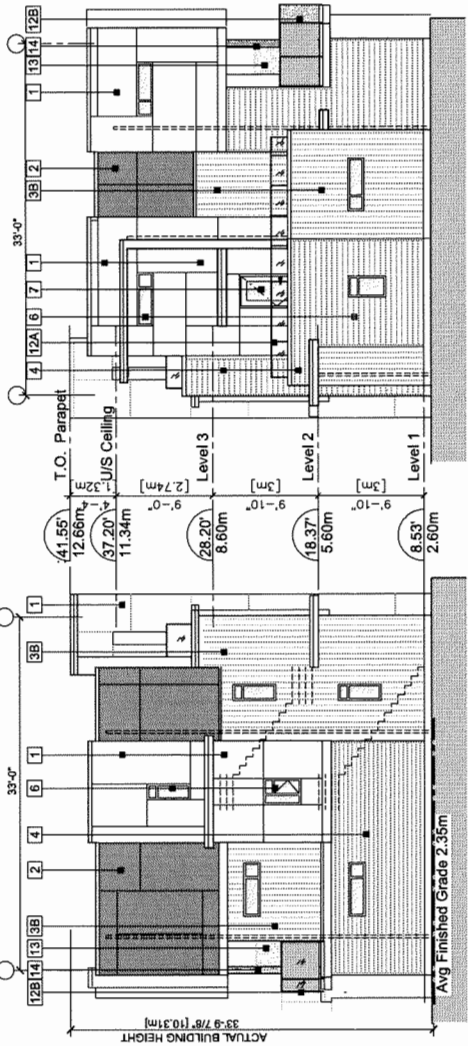
NORTH ELEVATION: BUILDING 10
SCALE: 1/8" = 1'-0"



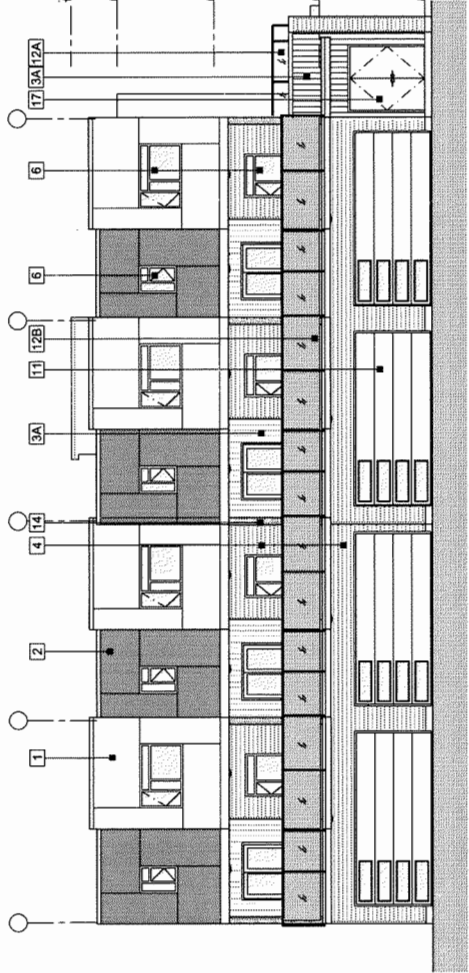
SOUTH ELEVATION: BUILDING 9
SCALE: 1/8" = 1'-0"



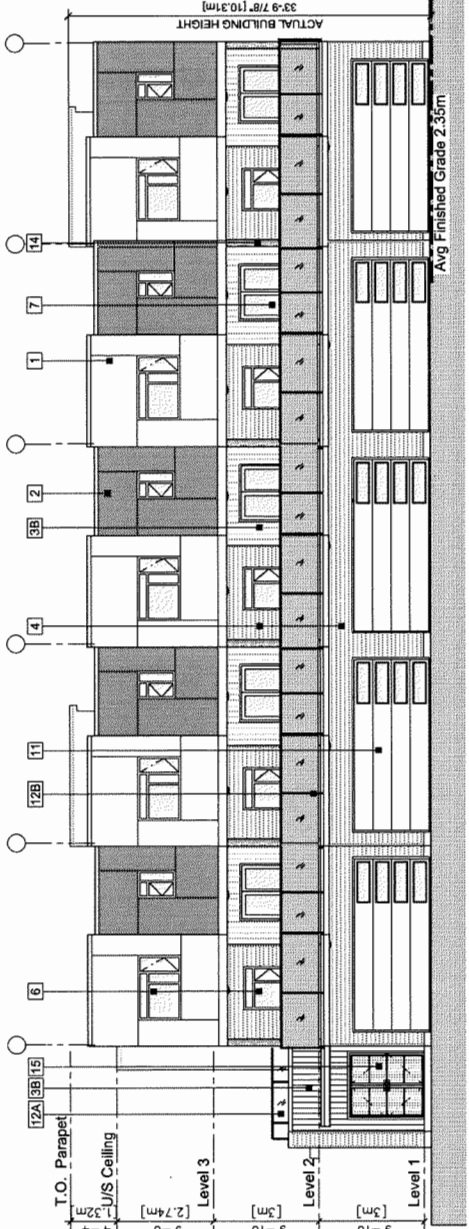
SOUTH ELEVATION: BUILDING 10
SCALE: 1/8" = 1'-0"



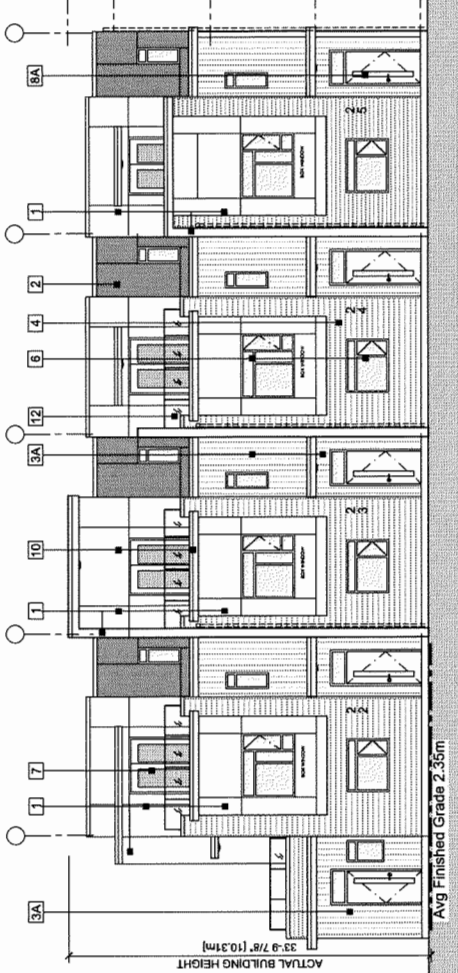
EAST ELEVATION (DRIVE AISLE): BUILDING 9
SCALE: 1/8" = 1'-0"



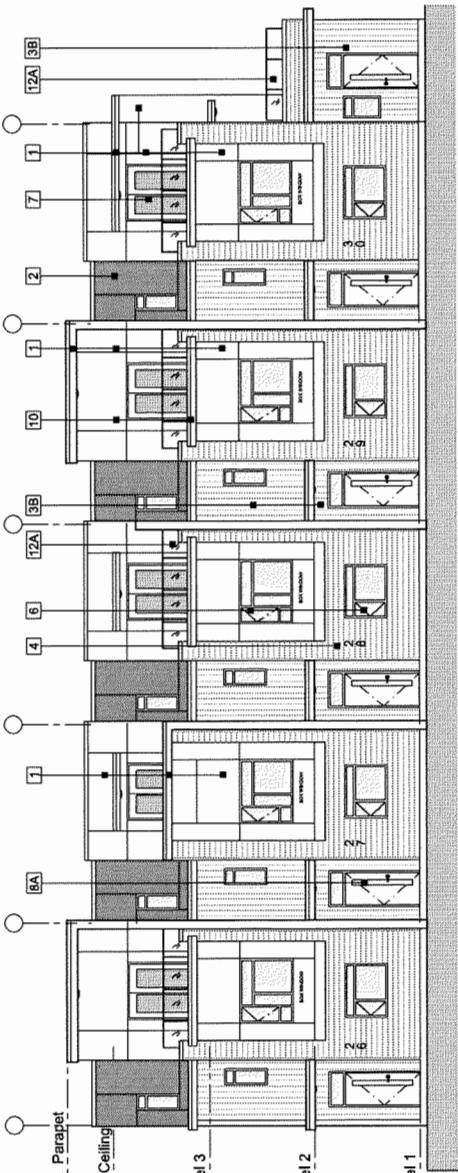
EAST ELEVATION (DRIVE AISLE): BUILDING 10
SCALE: 1/8" = 1'-0"



WEST ELEVATION (No.1 ROAD): BUILDING 9
SCALE: 1/8" = 1'-0"



WEST ELEVATION (No.1 ROAD): BUILDING 10
SCALE: 1/8" = 1'-0"



EXTERIOR FINISHES

- 1 FIBER CEMENT PANEL SIDING
HARDEPANEL (SMOOTH)
Colour: Arctic White
- 2 FIBER CEMENT PANEL SIDING
HARDEPANEL (SMOOTH)
Colour: Iron Gray
- 3 FIBER CEMENT PANEL SIDING
HARDEPANEL (SMOOTH)
Colour: Iron Gray
- 4 FIBER CEMENT LAP SIDING (6" EXPOSURE)
HARDEPANEL (SELECT CEDARMILL)
Colour: Nut Brown
- 5 FIBERGLASS ASPHALT ROOF SHINGLES
Colour: Dark Gray (Multicolour, Textured)
- 6 VINYL-FRAMED DOUBLE-GLAZED WINDOWS
Vinyltek or Equivalent
Colour: BM HC166 (Kendall Charcoal)
- 7 DOUBLE-GLAZED VINYL SLIDING DOOR
Colour: BM HC166 (Kendall Charcoal)
- 8 ENTRY SOLID WOOD DOOR
A - WITH CLEAR GLASS TRANSOM
B - WITH FROSTED GLASS SIDELITE
Door Colour: Light Walnut Stain
- 9 ALUMINUM FASCIA GUTTER
Colour: BM HC166 (Kendall Charcoal)
- 10 METAL FLASHED BROW ROOF
Colour: BM HC166 (Kendall Charcoal)
- 11 OVERHEAD METAL GARAGE DOOR
Colour: BM HC172 (Revere Powder)
- 12 METAL RAILING W/ GLASS
A - CLEAR GLASS
B - FROSTED GLASS
Metal Colour: Dark Gray
- 13 6" HIGH FROSTED GLASS PARTITION
TO MATCH RAILING SYSTEM
- 14 BUILT UP POST
Colour: Light Walnut Stain
- 15 GARBAGE/RECYCLE DEPOT
METAL GRILL DOOR
Colour: BM HC166 (Kendall Charcoal)
- 16 SKY LIGHT
ELECTRICAL ROOM DOOR
Colour: BM HC172 (Revere Powder)
- 17

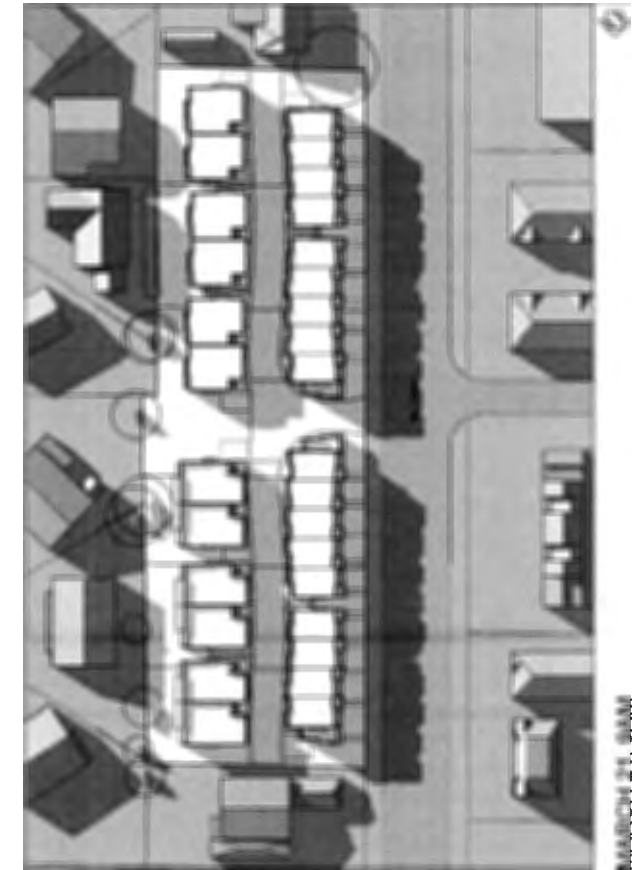
*NOTE: 1 2 Installed using EasyTrim metal reveal rain screen system or similar.
Colour: Clear Anodized Aluminum

REVISIONS	
DEC 08, 2020	DP6 RESUBMISSION
NOV 27, 2020	DP5 RESUBMISSION
JUNE 03, 2020	DP RESUBMISSION
DEC 23, 2019	BP SUBMISSION
DEC 02, 2019	ADP SUBMISSION
APR 26, 2019	RZ RESUBMISSION
JULY 16, 2018	DP APPLICATION
DEC 22, 2017	RZ APPLICATION
CONSULTANTS	
SEAL	

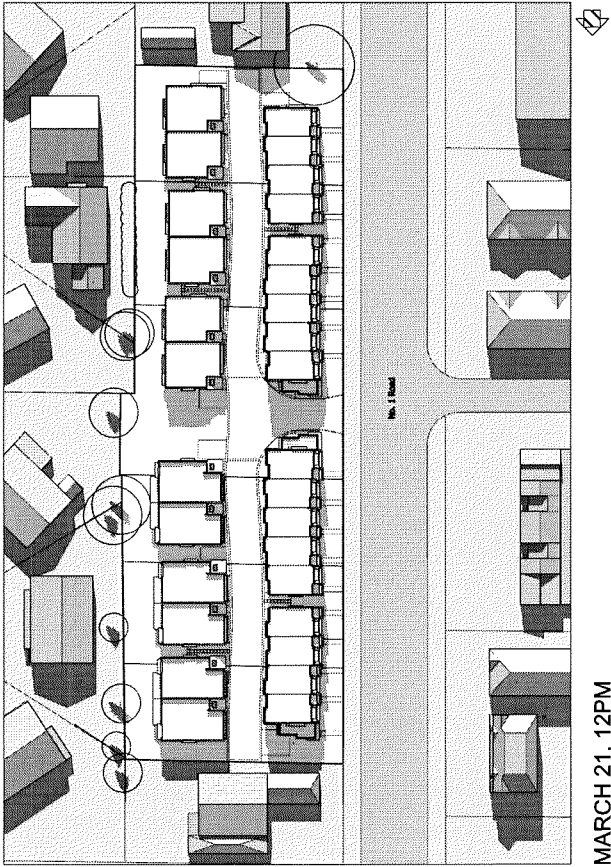
All drawings and specifications shall conform to the requirements of the Building Code of Canada and the National Building Code of Canada. The architect shall be responsible for all drawings and specifications. The contractor shall be responsible for all construction and installation of the building.

INTERFACE:

Suite 230
11590 Cambie Road
Richmond BC
Canada V6X 3Z5
T 604 821 1162
F 604 821 1146
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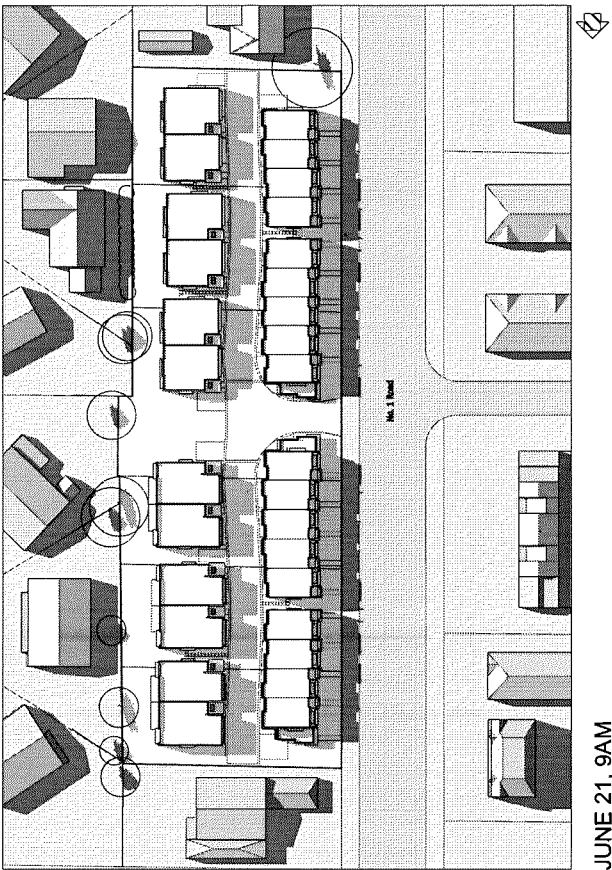
MARCH 21, 9AM



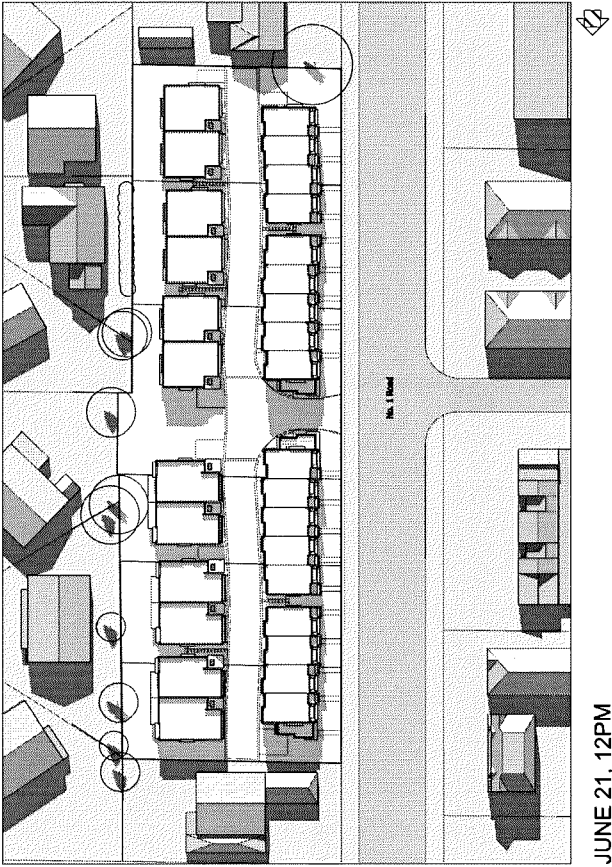
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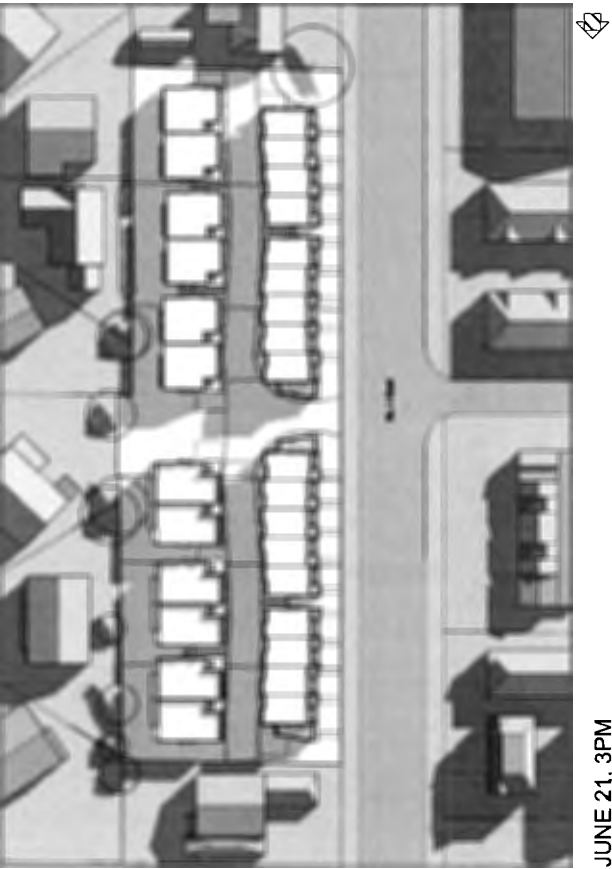
MARCH 21, 3PM



JUNE 21, 9AM



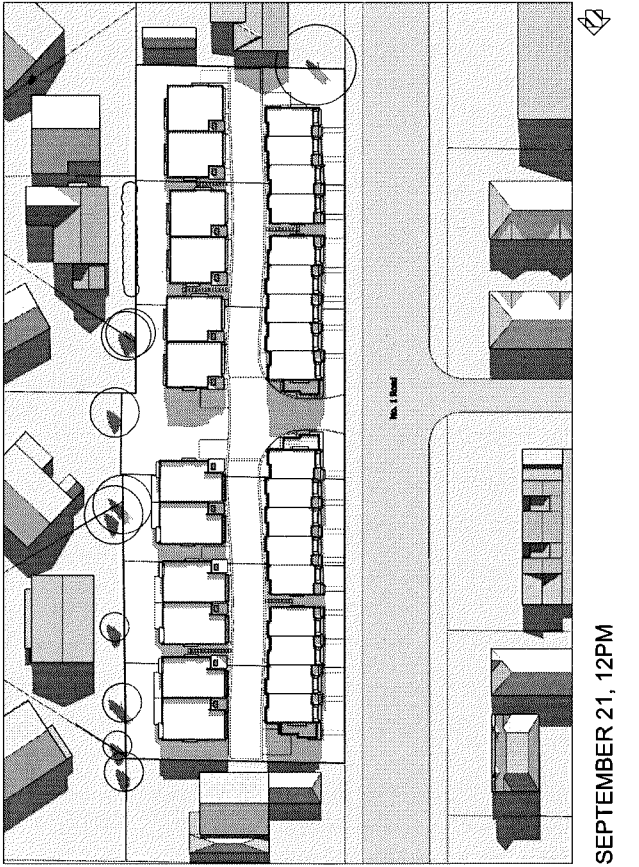
JUNE 21, 12PM



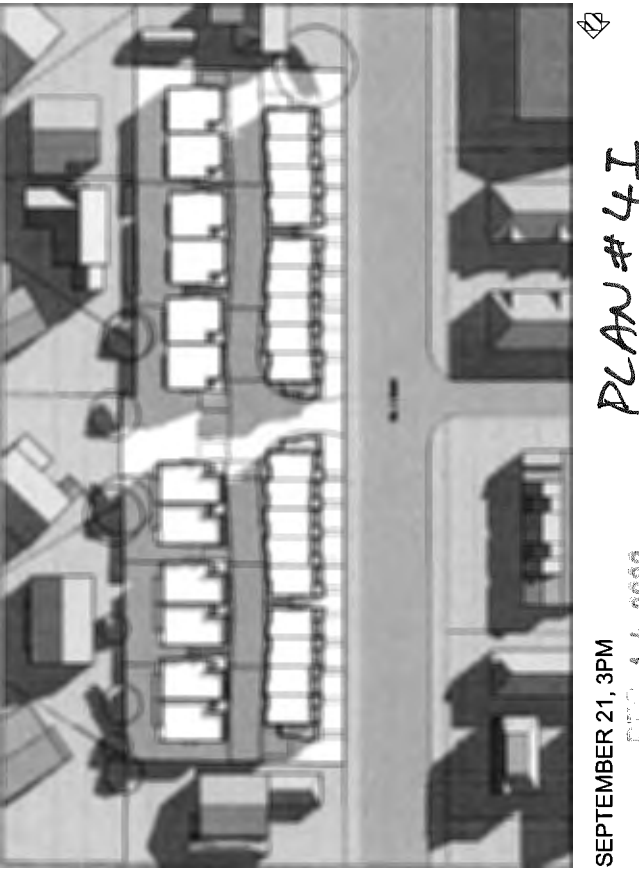
JUNE 21, 3PM



SEPTEMBER 21, 9AM



SEPTEMBER 21, 12PM



SEPTEMBER 21, 3PM

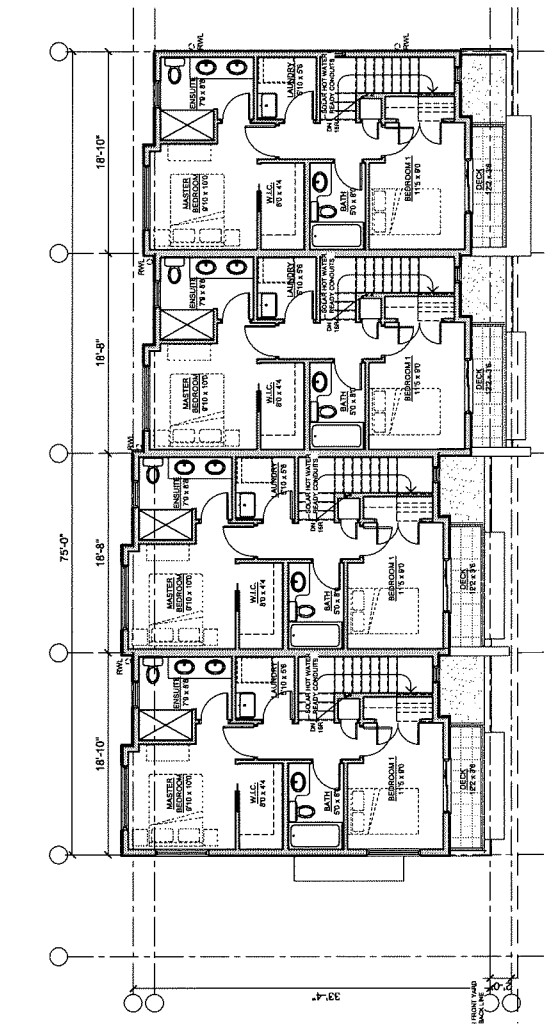
PLAN # 4I
DEC 14 2020

REVISIONS	
DEC 08, 2020	DP6 RESUBMISSION
NOV 27, 2020	DP5 RESUBMISSION
JUNE 03, 2020	DP RESUBMISSION
DEC 23, 2019	BP SUBMISSION
DEC 02, 2019	ADP SUBMISSION
APR 26, 2019	RZ RESUBMISSION
JULY 16, 2018	DP APPLICATION
DEC 22, 2017	RZ APPLICATION
CONSULTANTS	
All drawings and other information shown herein shall be in accordance with the standards of the City of Richmond and the standards of the British Columbia Building Code. The user of these drawings shall be responsible for obtaining all necessary permits and approvals from the City of Richmond and the British Columbia Building Code. The user of these drawings shall be responsible for obtaining all necessary permits and approvals from the City of Richmond and the British Columbia Building Code. The user of these drawings shall be responsible for obtaining all necessary permits and approvals from the City of Richmond and the British Columbia Building Code.	
SEAL	

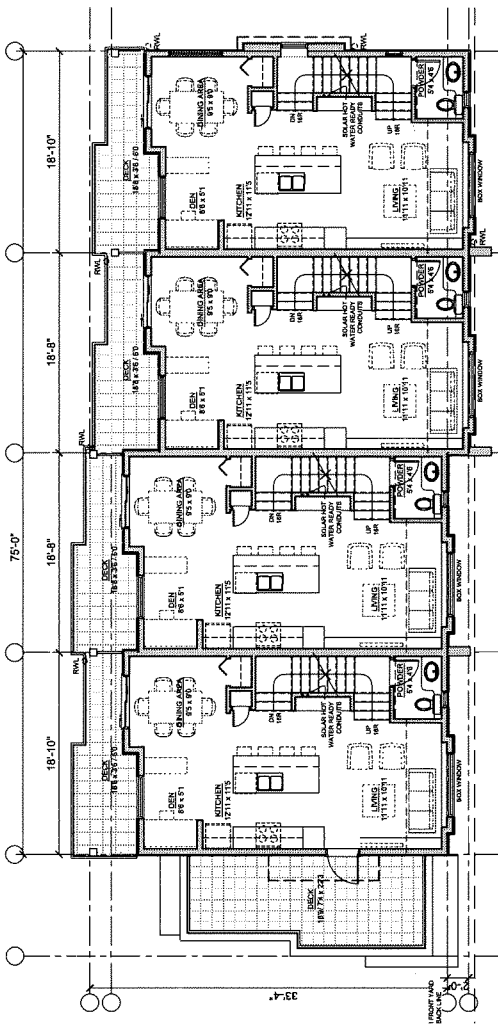
INTERFACE:
Suite 230
11590 Cantile Road
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Canada V6X 3Z5
T 604 821 1162
F 604 821 1146
www.interfacearchitecture.com

PROJECT	
Proposed 30-Unit Townhouse Development Z LOT ASSEMBLY 7464 / 7480 / 7500 / 7520 / 7540 / 7560 / 7580 / 7600 NO. 1 ROAD RICHMOND, BC	
PROJECT NO.	1717NUM1
SCALE	As Noted
DATE	JUNE 21, 2017
DRAWN BY	KYC, SRS, XY
CHECKED BY	KYC
SHEET TITLE	
SHADOW STUDY	
DRAWING	

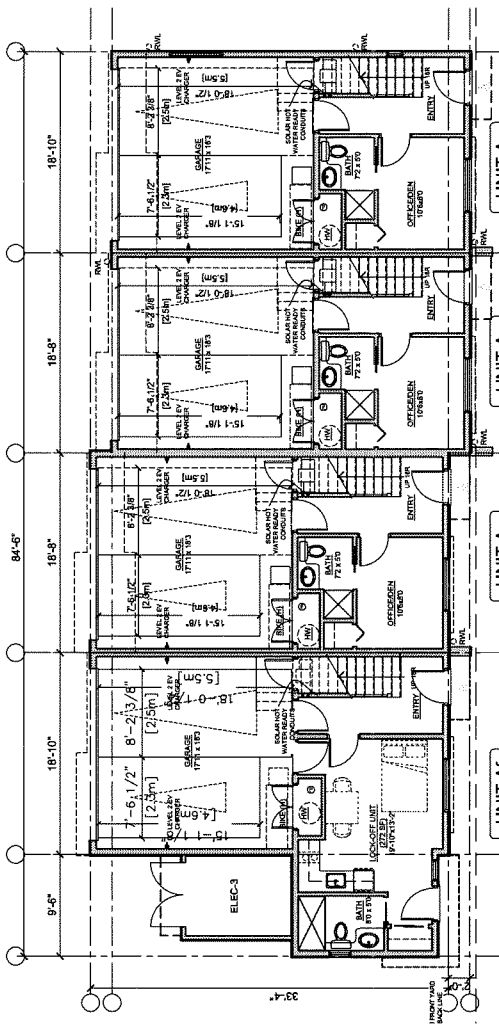
A9.2



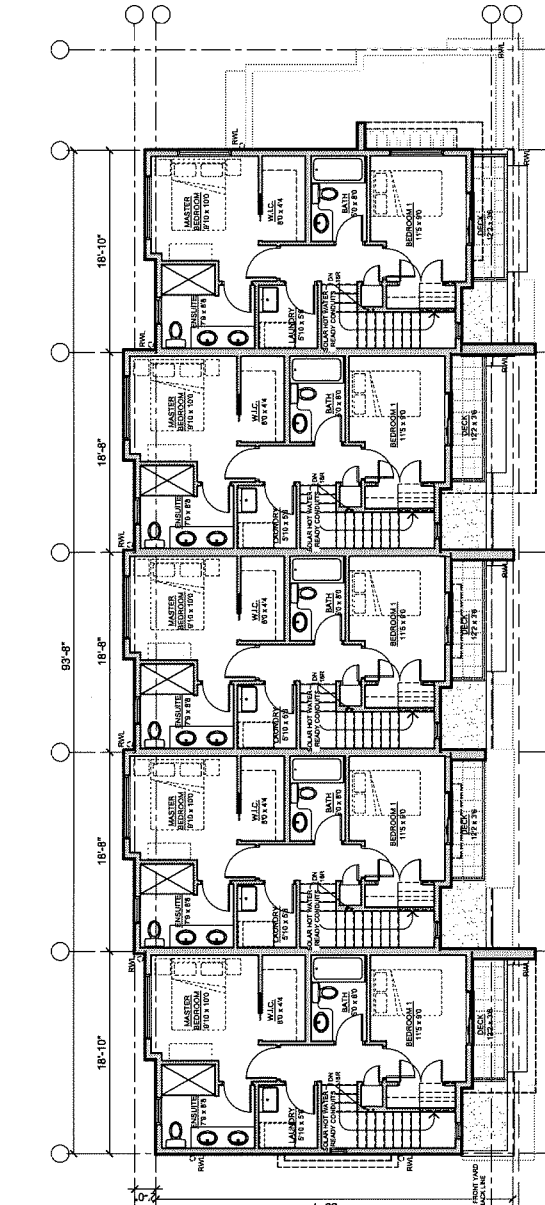
FLOOR PLAN - LEVEL 3, BUILDING 9
SCALE: 1/8" = 1'-0"



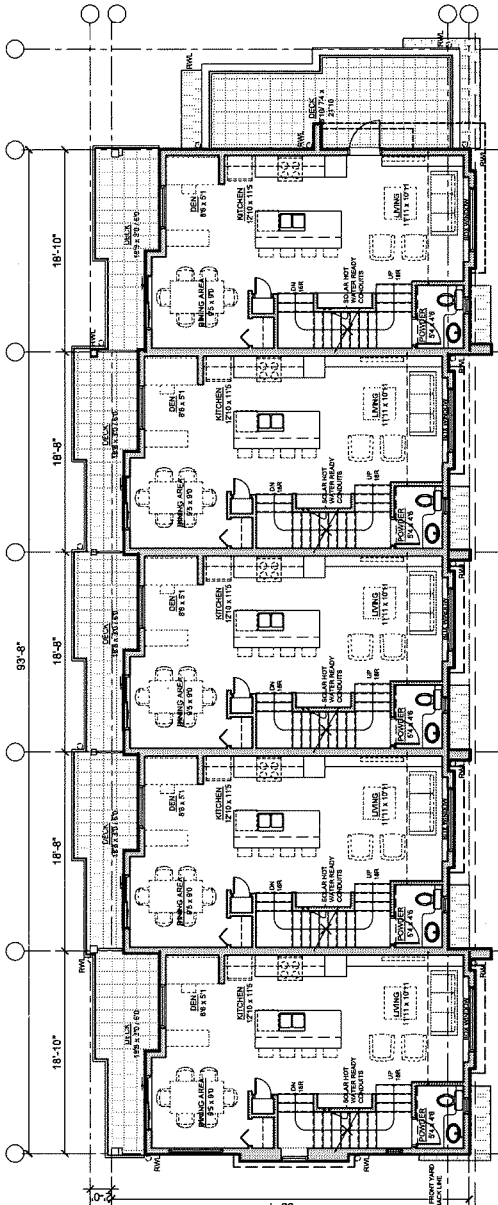
FLOOR PLAN - LEVEL 2, BUILDING 9
SCALE: 1/8" = 1'-0"



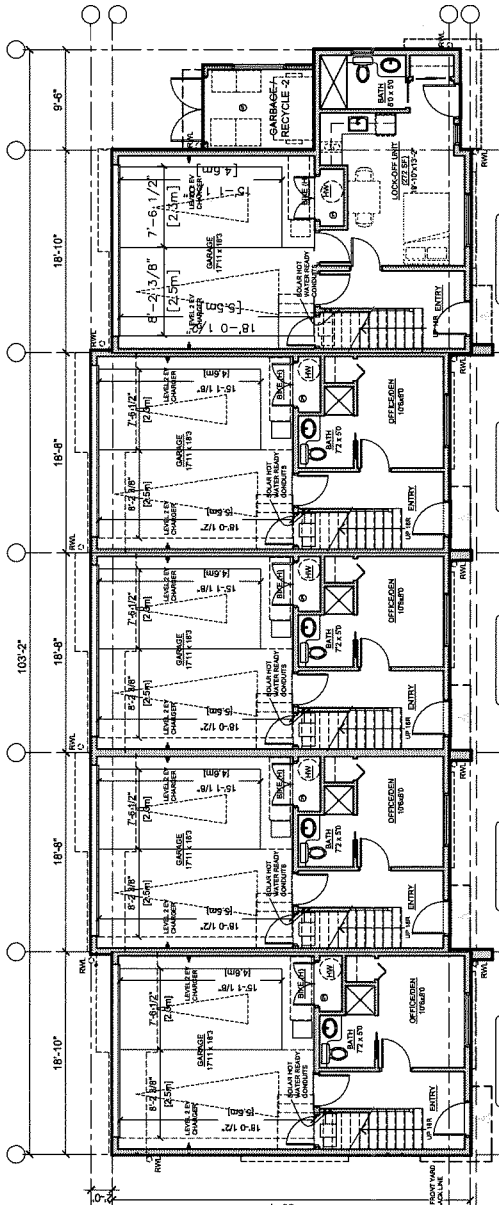
*NOTE: LEVEL 2 EV ENERGIZED OUTLET TO BE PROVIDED IN EACH RESIDENTIAL PARKING SPACES PER ZONING BYLAW
FLOOR PLAN - LEVEL 1, BUILDING 9
SCALE: 1/8" = 1'-0"



FLOOR PLAN - LEVEL 3, BUILDING 10
SCALE: 1/8" = 1'-0"



FLOOR PLAN - LEVEL 2, BUILDING 10
SCALE: 1/8" = 1'-0"

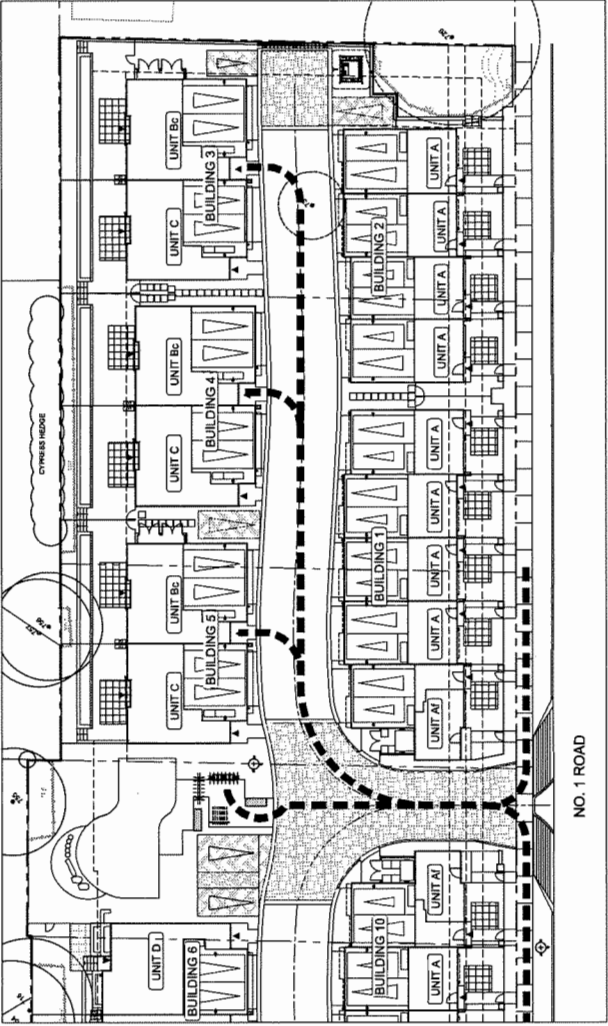


*NOTE: LEVEL 2 EV ENERGIZED OUTLET TO BE PROVIDED IN EACH RESIDENTIAL PARKING SPACES PER ZONING BYLAW
FLOOR PLAN - LEVEL 1, BUILDING 10
SCALE: 1/8" = 1'-0"

REVISIONS	
DEC 08, 2020	DP6 RESUBMISSION
NOV 27, 2020	DP5 RESUBMISSION
JUNE 03, 2020	DP RESUBMISSION
DEC 23, 2019	BP SUBMISSION
DEC 02, 2019	ADP SUBMISSION
APR 26, 2019	RZ RESUBMISSION
JULY 16, 2018	DP APPLICATION
DEC 22, 2017	RZ APPLICATION
CONSULTANTS	
All drawings and other information furnished by the user are the property of the user and shall not be used otherwise without the user's written consent. The user shall be responsible for obtaining all necessary permits and licenses from the appropriate authorities. The user shall be responsible for obtaining all necessary permits and licenses from the appropriate authorities. The user shall be responsible for obtaining all necessary permits and licenses from the appropriate authorities.	
SEAL	

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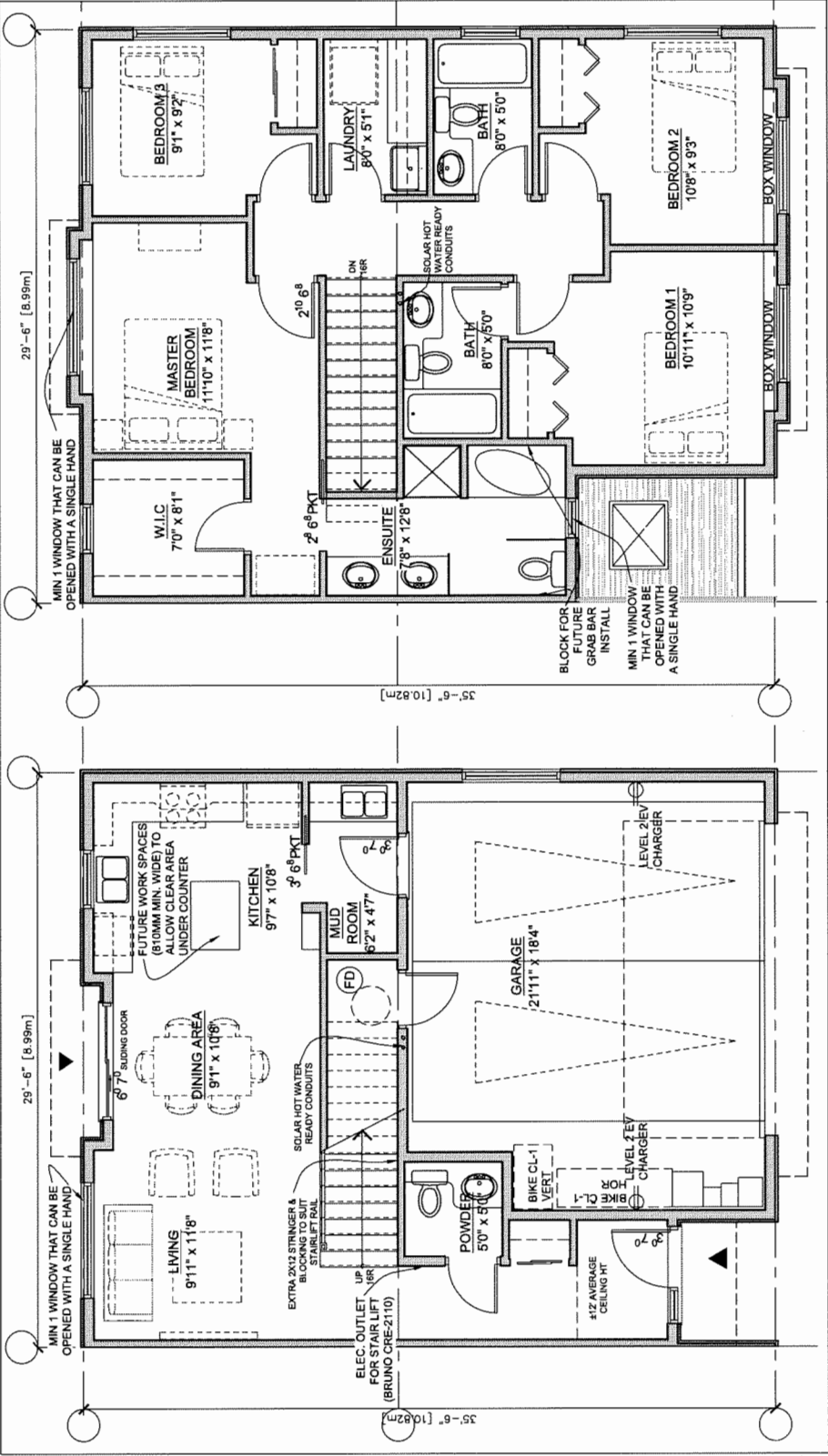
PROJECT	Proposed 30-Unit Townhouse Development 7 LOT ASSEMBLY 7464 / 7480 / 7500 / 7520 / 7540 / 7560 / 7580 / 7600 NO. 1 ROAD RICHMOND, BC
PROJECT NO.	1717N/AM1
SCALE	As Noted
DATE	JUNE 21, 2018
DRAWN BY	KYC, SRS, XY
CHECKED BY	KYC
SHEET TITLE	FLOOR PLANS: BUILDING 9 & 10
DRAWING	A2.7



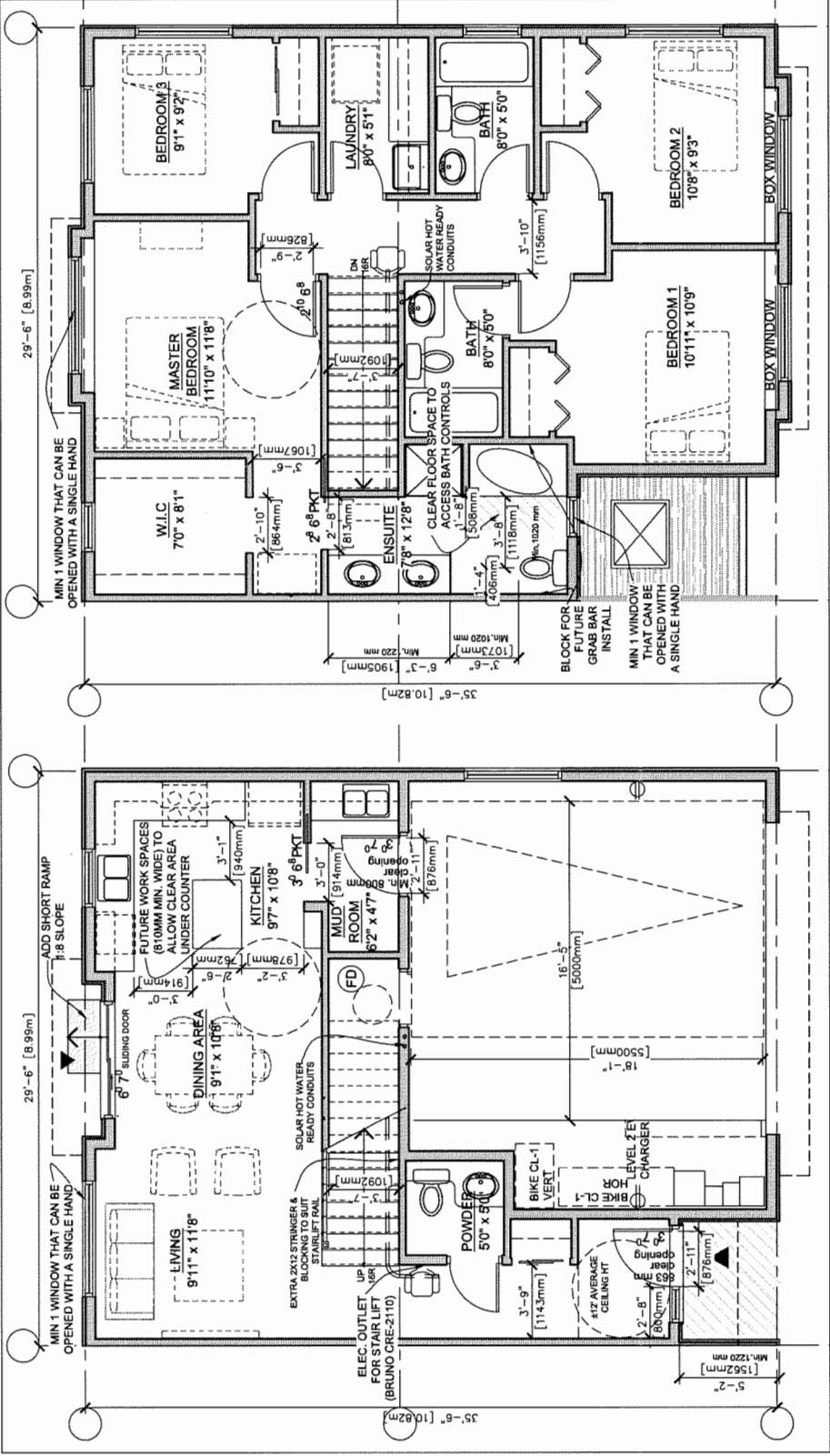
SITE PLAN: ACCESSIBLE PATHS
SCALE: NTS

CONVERTIBLE UNIT FEATURES CHECKLIST	
DOORS & DOORWAYS	ENTRY DOORS MIN. 863 MM BUT IDEALLY 914MM AND HAVE CLEAR ACCESS ENTRY DOOR CLEAR EXTERIOR FLOOR SPACE MIN 1220 MM DEPTH BY DOOR WIDTH PLUS 600 MM LATCH SIDE (NOT NEEDED IF ROUGH IN WIRING PROVIDED FOR FUTURE AUTOMATIC DOOR OPENER) INTERIOR DOORS TO MAIN LIVING AREAS, 1 BATHROOM AND 1 BEDROOM, MIN. 860 MM CLEAR OPENING WITH 1300 MM THRESHOLDS MAX 19 MM HEIGHT. DEMONSTRATE WHEELCHAIR ACCESS BETWEEN HALLWAY AND ROOMS AND WIDEN HALLWAY AND/OR DOORWAYS IF NECESSARY TO SECURE ACCESS PATIO/BALCONY MIN. 860 MM CLEAR OPENING, ACCESSSED FROM REAR DOOR AT GROUND FLOOR. ALL INTERIOR THRESHOLDS WITHIN UNITS COMPLY WITH BCBC.
VERTICAL CIRCULATION	LEVER-TYPE HANDLES FOR ALL DOORS STAIR LIFT, STAIRCASE WIDTH, FRAMING SUPPORT, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECIFICATION. SPEC. NOTE: BRUNO RAIL STAIR LIFT (ELITE CURVE CRE-2110) MAX. LOAD: 400LBS. POWER: 24VDC COMPRISED 2(17AH 12V BATTERIES) ** PROVISION FOR - IN UNIT Bc (BUILDING 3 & 4 & 5) ** VERTICAL LIFT (FUTURE): DEPRESSED SLAB AREA, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECIFICATION. FRAMING TO ACCOMMODATE SHAFT CONSTRUCTION WITHOUT IMPACT TO SURROUNDING STRUCTURE. AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2'X12" SOLID LUMBER AT 3/4" MIN TO CENTRE.
HALLWAYS	MIN. 900 MM WIDTH
GARAGE	MIN. 1 ACCESSIBLE PARKING SPACE WITH MIN. 4M GARAGE WIDTH ACCESS FROM GARAGE TO LIVING AREA MIN. 900 MM CLEAR OPENING
BATHROOMS (MIN 1/UNIT)	TOILET CLEAR FLOOR SPACE MIN. 1020 MM AT SIDE AND IN FRONT WALL BLOCKING FOR FUTURE GRAB BARS AT TOILET, TUB, AND SHOWER, REINFORCED WITH 2'X12" SOLID LUMBER IN ALL BATHTUB, SHOWER, AND TOILET LOCATIONS. LEVER-TYPE HANDLES FOR PLUMBING FIXTURES. PRESSURE AND TEMPERATURE CONTROL VALVES ARE INSTALLED ON ALL SHOWER FAUCETS. CABINET'S UNDERNEATH SINK ARE EASILY REMOVED. DEMONSTRATE BATH AND SHOWER CONTROLS ARE ACCESSIBLE (LAYOUT OR FIXTURE PLACEMENT).
KITCHEN	CLEAR AREA NEEDED UNDER FUTURE WORKSPACE, PLUMBING AND GAS PIPES (IN-WALL AND IN FLOOR) LOCATED CLEAR OF UNDER COUNTER AREA OF FUTURE WORKSPACE (STOVE, SINK & MIN. 810 MM WIDE COUNTER). ALL PIPES ARE BROUGHT IN NO HIGHER THAN 304 MM TO THE CENTRE OF THE PIPE FROM FLOOR LEVEL. CABINET'S UNDERNEATH SINK ARE EASILY REMOVED.
WINDOWS	1500 MM TURNING DIAMETER OR TURNING PATH DIAGRAM LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.
OUTLETS & SWITCHES	MIN. 1 WINDOW THAT CAN BE OPENED WITH A SINGLE HAND (BATHROOM, KITCHEN, LIVING ROOM) PLACEMENT LOCATIONS OF ELECTRICAL OUTLETS: BESIDE WINDOW, BOTTOM OF STAIRWAYS, BESIDE TOILET, ABOVE EXTERNAL DOORS (OUTSIDE AND INSIDE), ON FRONT FACE OF KITCHEN COUNTER, WITHIN PROXIMITY OF CONTROL CENTRE FOR SMART HOME OPTIONS. UPGRADE TO FOUR-PLY OUTLETS IN MASTER BEDROOM, HOME OFFICE, GARAGE, AND RECREATION ROOM.

DP 18-829236



FLOOR PLAN: CONVERTIBLE UNIT Bc (BEFORE CONVERSION)
SCALE: 1/4" = 1'-0"



FLOOR PLAN: CONVERTIBLE UNIT Bc (AFTER CONVERSION)
SCALE: 1/4" = 1'-0"

REFERENCE PLAN

DEC 14 2020

REVISIONS	
DEC 08, 2020	DP6 RESUBMISSION
NOV 27, 2020	DP5 RESUBMISSION
JUNE 03, 2020	DP RESUBMISSION
DEC 23, 2019	BP SUBMISSION
DEC 02, 2019	ADP SUBMISSION
APR 28, 2019	RZ RESUBMISSION
JULY 16, 2018	DP APPLICATION
DEC 22, 2017	RZ APPLICATION
CONSULTANTS	
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Richmond, BC	Canada V6X 3Z5
T: 604.821.1162	F: 604.821.1146
www.interfacearchitecture.com	
PROJECT	
Proposed 30-Unit Townhouse Development	
Z LOT ASSEMBLY	
7464 / 7480 / 7500 / 7520 / 7540 / 7550 / 7580 / 7600	
NO. 1 ROAD RICHMOND, BC	
PROJECT NO. 1717NUM1	
SCALE NTS	
DATE JUNE 21, 2018	
DRAWN BY KYC, SRS, XY	
CHECKED BY KYC	
SHEET TITLE	
FLOOR PLANS: CONVERTIBLE UNIT (Bc)	
DRAWING	

A2.9



To: Development Permit Panel

Date: December 14, 2020

From: Wayne Craig
Director, Development

File: DP 20-896138

Re: Application by CLO Ventures K2 Ltd. for a Development Permit at 9571, 9591, 9611, 9671 Steveston Highway and 10831 Southdale Road

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of 20 townhouse units at 9571, 9591, 9611, 9671 Steveston Highway and 10831 Southdale Road on a site zoned "Low Density Townhouses (RTL4)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum exterior side yard setback to Steveston Highway from 6.0 m to 4.5 m.

Wayne Craig
Director, Development
(604-247-4625)

WC:sds
Att. 3

Staff Report

Origin

CLO Ventures K2 Ltd. (Directors: Xiangren Wu, Shengli Ling & Yan Li) has applied to the City of Richmond for permission to develop 20 townhouse units at 9571, 9591, 9611, 9671 Steveston Highway and 10831 Southdale Road on a site zoned “Low Density Townhouses (RTL4)”. Three of the townhouse units are proposed to contain a secondary suite. The site currently contains five single-family dwellings that will be demolished at a future development stage.

The subject site is being rezoned from the “Single Detached (RS1/E)” zone to the “Low Density Townhouses (RTL4)” zone for this project under Bylaw 10082 (RZ 17-763712), which received Third Reading following the Public Hearing on October 21, 2019.

A Servicing Agreement (SA 20-896440) is required as a condition of Building Permit issuance and includes, but is not limited to, the following improvements:

- New concrete sidewalk and grassed and treed boulevard along Steveston Highway and Southdale Road frontages.
- Storm sewer and sanitary sewer upgrades along Steveston Highway.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the north, single-family dwellings on lots zoned “Single Detached (RS1/E)” fronting Mortfield Court and Southdale Road.
- To the east, across Southdale Road, single-family dwellings on lots zoned “Compact Single Detached (RC1)” fronting Steveston Highway.
- To the south, across Steveston Highway, farm businesses on lots zoned “Agriculture (AG1)” located in the Agricultural Land Reserve (ALR).
- To the west, single-family dwellings on lots zoned “Single Detached (RS1/E)” fronting Steveston Highway.

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on October 21, 2019. At the Public Hearing, no concerns about rezoning the property were expressed, and the rezoning bylaw received second and third readings.

Informational signage has been installed on the property and no correspondence has been received regarding the proposal.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the “Low Density Townhouses (RTL4)” zone except for the zoning variances noted below.

Zoning Compliance/Variations (staff comments in ***bold italics***)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum exterior side yard setback to Steveston Highway from 6.0 m to 4.5 m.

- *The proposed variance is consistent with the Arterial Road Guidelines for Townhouses in the OCP. In this context, the exterior side yard functions as a front yard along Steveston Highway. The Arterial Road Guidelines are supportive of reduced front yard setbacks, provided an appropriate interface with neighbouring properties is provided. The reduced setback along Steveston Highway allows for an increased setback along the north property line, adjacent to existing single-family development.*
- *The proposed 6.0 m setback to both the ground and second floors of the rear units provides an improved rear yard interface with the existing single-family dwellings to the north and enhances solar access to the rear yards. In addition, the increased rear yard setback allows for the retention of the significant Sycamore Maple tree located at the rear of the property.*
- *The location of the existing curb along Steveston Highway will not change as there is no road widening required. New sidewalk and boulevard will be provided between the existing curb and the property line. The distance between the proposed building face and the back of curb on Steveston Highway would be approximately 8.5 m.*
- *The applicant has also provided an acoustical report indicating the proposal will meet CMHC interior noise standards as per the City’s OCP, including the units fronting Steveston Highway.*
- *The variance was identified at the rezoning stage and no concerns were identified by the public at that time.*

Advisory Design Panel Comments

The Advisory Design Panel (ADP) reviewed the proposal on August 19, 2020. A copy of the relevant excerpt from the Advisory Design Panel Minutes from August 19, 2020 is attached for reference (Attachment 2). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in ‘***bold italics***’.

Analysis

Conditions of Adjacency

- The building height of the rear units is 8.8 m (two storeys) in response to the single-family adjacency to the north, consistent with the Arterial Road Land Use Policy. In addition, a 6.0 m setback is provided to both the ground and second floors of the rear units to provide an

improved interface and increased sun exposure. Four duplex buildings are provided along the rear to break up the massing.

- In order to address the existing single-family development to the west, the three-storey units proposed along Steveston Highway are reduced to two storeys within 7.5 m of the west property line and the corner of Southdale Road and Steveston Highway to provide an adequate transition.
- The applicant has provided a shadow study to demonstrate how the proposed height and setbacks address potential shadowing over adjacent properties to the north and west.
- Windows have been located carefully to avoid adjacent overlook and privacy concerns. All units along Steveston Highway include balconies facing the internal driveway.
- Proposed grade along the north property line is sloped to meet existing grade to provide a smooth transition between the subject site and the adjacent single-family development to the north. Retaining walls are proposed at the rear of Units #18 & #19 near the significant tree to be retained in order to provide usable yard space for the units. Retaining walls are provided along a portion of the east property line to address the change in grade from Southdale Road to the flood construction level. The height of the retaining walls along Southdale Road will not exceed 0.5 m in height, consistent with DP Guidelines, and are also setback from the property line with landscaping along Southdale Road to screen the retaining wall from the street.
- Perimeter drainage will be provided as required through the Building Permit application to ensure storm water is managed and addressed through the development and will not impact neighbouring properties.
- A statutory right-of-way (SRW) allowing access to/from the adjacent future development to the west through the subject site (over the entire driveway and internal drive aisle) has been secured at rezoning. The Landscape Plans include signage to inform future residents that the drive aisle may provide access to future development to the west.

Urban Design and Site Planning

- Vehicular access to the proposed development is to be from Steveston Highway through a new driveway in the middle of the site. The driveway will be designed to restrict vehicle movements to right-in/right-out only in order to mitigate traffic impact on Steveston Highway.
- The layout of the townhouse buildings is oriented around an east-west internal manoeuvring drive-aisle, providing access to the unit garages.
- Units along Steveston Highway and Southdale Road will have direct pedestrian access from the street and the units along the rear will have access from the internal drive-aisle.
- Three of the units (Unit #1, 12 & 18) will contain ground-level secondary suites (one studio, two one-bedroom) from 25.1 m² (270 ft²) to 27.5 m² (296 ft²) in floor area, which complies with the minimum Zoning Bylaw required size (25.0 m²), which was secured at rezoning. No additional parking spaces are required for the secondary suites as the units have parking spaces that are provided in a side-by-side arrangement, consistent with Zoning Bylaw requirements.
- A total of four visitor parking spaces will be provided, including an accessible parking space. The total number of parking spaces proposed is in compliance with the minimum Zoning Bylaw requirement.

- Both internal and external bicycle parking spaces have been incorporated into the proposal and are in compliance with Zoning Bylaw requirements.
- The shared outdoor amenity area is located around the significant tree to be retained and the size exceeds Official Community Plan (OCP) requirements.
- Cash-in-lieu of indoor amenity space was secured through rezoning (\$33,600) consistent with OCP Policy.
- The proposal will utilize door-to-door pickup and has accommodated space for garbage and recycling containers within the individual garages and in front of the units without obstructing the drive-aisle. The City's Environmental Programs Department reviewed the arrangement and has no concerns.
- The mail kiosk is located in an accessible area adjacent to the shared outdoor amenity area and has been incorporated into the design of the buildings to minimize visual impact.

Architectural Form and Character

- The proposed building form contains defined entry porches, gable roofs, and balconies to provide articulation to the building façade and establish a residential scale and rhythm.
- The street fronting units will have individual canopies with weather protection over the front entrances. A pedestrian scale is generally achieved along the public streets and internal drive-aisle through the inclusion of variation in building form, projections, recesses, materials/colours and landscape features.
- The main building materials include hardie siding, brick cladding, and wood trim, along with a colour scheme of brown, beige, grey and white, consistent with the proposed traditional Tudor architectural style and character of the surrounding single-family development.
- The combination of building form, materials and colours individualizes each unit and provides each building a distinct top, middle and base.
- The roof pitch is reduced between the front and rear units in response to the single-family adjacency and to provide an adequate transition.

Landscape Design and Open Space Design

- Tree preservation was reviewed at rezoning stage where 14 bylaw-sized on-site trees were identified for removal. Based on a 2:1 tree replacement ratio stated in the OCP, 28 replacement trees on-site are required. The applicant is proposing to plant 36 replacement trees as per the size requirements based on the City's Tree Protection Bylaw.
- One significant Sycamore Maple tree (tag# 346) (130 cm dbh) located at the rear of the property was identified for protection. A contract with a Certified Arborist, including monitoring, and a tree survival security of \$10,000 was secured through rezoning for the retention of this tree.
- The proposal includes a 4.0 m wide landscaped buffer along the south property line as the site is located across lands located in the ALR. The proposed landscaping was designed with consideration of the Ministry of Agriculture's guidelines for edge planning, including planting of native species which will not harbour insects or diseases harmful to nearby farm crops and filter any dust from the agricultural area.
- The proposal provides a pedestrian-oriented streetscape fronting Steveston Highway and Southdale Road with a landscaped edge treatment, including trees, lawn, patio area, low transparent fencing, and a gate to each individual unit.

- Private outdoor space is provided for all units, typically with a patio, lawn area and landscaping. A variety of trees, shrubs and ground covers have been selected to ensure the landscape treatment remains interesting throughout the year.
- Pockets of landscaping will be provided along the drive-aisle between entry doors/garages to soften the internal streetscape. Pedestrian access, shrubs, a trellis, and community gardens will be provided at the east end of the internal drive aisle as an additional shared outdoor amenity for residents and to provide visual interest at the terminus along Southdale Road.
- An irrigation system will be provided for proposed landscaping on-site.
- A children's play area is proposed in the shared outdoor amenity area, and a variety of play equipment has been chosen to provide different play opportunities (i.e., climbing/jumping, social, imagination, balance, motor skills) that can be used by different age groups and for multiple purposes. Seating is provided nearby for caregivers. The proposed shared outdoor amenity area exceeds the area identified in the OCP guidelines.
- The vehicle entrance, large portions of the internal drive-aisle, and surface parking will be treated with permeable pavers for better water infiltration and variety in paving surfaces.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security in the amount of \$185,613.25 in association with the Development Permit.

Crime Prevention Through Environmental Design

- Windows and balconies are located to increase the visual presence and surveillance along Steveston Highway and Southdale Road, the amenity area, as well as the internal drive aisle.
- All entrances are visible and overlooked by pedestrians or neighbour's windows.
- Low permeable fencing and low landscaping are provided to maximize clear unobstructed views and casual surveillance opportunities.
- Landscaping and fencing is provided along the street edge to distinguish the public realm and private space.
- Exterior lighting fixtures will be provided along the internal drive-aisle to provide adequate illumination for outdoor security.

Sustainability

- The applicant has confirmed that the proposed development will meet or exceed Step 3 of the BC Energy Step Code for Part 9 Buildings.
- An air source heat pump system will be used for this development. The units are screened by a low transparent fence. The applicant has also provided an acoustical report indicating the proposed units will comply with the City's Noise Bylaw.
- Level 2 EV charging is proposed in each garage consistent with Zoning Bylaw requirements.
- The architect advised that the following design/features are incorporated into the proposal:
 - Energy efficient windows to alleviate heating and cooling energy consumption.
 - The use of low-flow water fixtures and energy efficient lighting and appliances.
 - Durable and long-lasting materials that can reduce building maintenance and reduce load on Municipal sewers.
 - Permeable ground cover and planting to absorb rainwater runoff.
 - Interior paint with low VOC content.

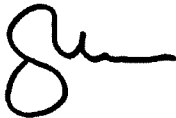
Accessible Housing

- The proposed development includes two convertible units that are designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of these units will require the installation of a vertical lift in the stacked storage place of Unit #19 & 20.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
 - Stairwell hand rails.
 - Lever-type handles for plumbing fixtures and door handles.
 - Solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.

The list of Development Permit Considerations is included in Attachment 3, which has been agreed to by the applicant (signed concurrence on file).



Steven De Sousa
Planner 1
(604-204-8529)

SDS:blg

Attachments

Attachment 1: Development Application Data Sheet

Attachment 2: Excerpt from the Meeting Minutes of the ADP (August 19, 2020)

Attachment 3: Development Permit Considerations



DP 20-896138

Attachment 1

Address: 9571, 9591, 9611, 9671 Steveston Highway & 10831 Southdale Road

Applicant: CLO Ventures K2 Ltd.

Owner: CLO Ventures K2 Ltd.

Planning Area(s): Broadmoor

Floor Area Gross: 3,106.4 m² (33,437 ft²)

Floor Area
Net:

2,127.0 m² (22,895 ft²)

	Existing	Proposed
Site Area:	3,554.2 m ² (38,257 ft ²)	3,546.2 m ² (38,171 ft ²) Corner cut: 8 m ² (86 ft ²)
Land Uses:	Single-family residential	Multiple-family residential
OCP Designation:	Neighbourhood Residential (NRES)	No change
Zoning:	Single Detached (RS1/E)	Low Density Townhouses (RTL4)
Number of Units:	5	20

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.6	0.6	None permitted
Lot Coverage – Buildings:	Max. 40%	37%	None
Lot Coverage – Non-Porous:	Max. 65%	55%	None
Lot Coverage – Live Landscaping:	Min. 25%	30%	None
Setback – Front Yard (East):	Min. 6.0 m	6.0 m	None
Setback – Exterior Side Yard (South):	Min. 6.0 m	4.5 m	Variance requested
Setback – Interior Side Yard (North):	Min. 3.0 m	6.0 m	None
Setback – Rear Yard (West):	Min. 3.0 m	3.0 m	None
Height:	Max. 12.0 m (3 storeys)	Front buildings: 11.9 m (3 storeys) Rear buildings: 8.8 m (2 storeys)	None
Lot Size:	N/A	3,546.2 m ²	None
Lot Width:	Min. 50.0 m	96.0 m	None
Lot Depth:	Min. 35.0 m	36.6 m	None
Off-street Parking Spaces – Regular (R)/Visitor (V):	Min. 2 (R) and 0.2 (V) per unit	2 (R) and 0.2 (V) per unit	None

Off-street Parking Spaces – Accessible:	Min. 2% = 1	1	None
Total off-street Spaces:	Min. 40 (R) and 4 (V)	40 (R) and 4 (V)	None
Tandem Parking Spaces	Permitted – Max. 50%	0	None
Small Car Spaces	Max. 50%	50%	None
Bicycle Parking – Class 1:	Min. 1.25 per unit = 25	29	None
Bicycle Parking – Class 2:	Min. 0.2 per unit = 4	4	None
Amenity Space – Indoor:	Min. 70 m ² or cash-in-lieu	Cash-in-lieu	None
Amenity Space – Outdoor:	Min. 6.0 m ² per unit = 120 m ²	187 m ²	None

**Excerpt from the Minutes of the
Advisory Design Panel (ADP) Meeting**

**Wednesday, August 19, 2020 – 4:00 p.m.
Remote (Webex) Meeting**

DP 20-896138 – 20-UNIT ARTERIAL ROAD TOWNHOUSE DEVELOPMENT

ARCHITECT: Imperial Architecture

LANDSCAPE ARCHITECT: M2 Landscape Architecture

PROPERTY LOCATION: 10831 Southdale Road, 9671, 9611, 9591 and 9571 Steveston Highway

Applicant's Presentation

Jiang Zhu, Imperial Architecture, and Meredith Mitchell, M2 Landscape Architecture, presented the project and answered queries from the Panel.

Panel Discussion

Comments from Panel members were as follows:

- appreciate the comprehensive accessibility strategy of the project which includes the provision of two convertible units; also appreciate the provision of space for future installation of vertical lifts in the convertible units;

Noted.

- doors for the vertical lifts should open outward and the second floor exit should go out into the hallway instead of into the bedroom;

The door and location for future lift space is for current function such as walk in closet and den before “converting it to the lift”. At the time of lift is installed, the doors and part of the wall have to be removed to allow installation of the lift cabin. The door will be installed at the time as part of the lift as per manufacturer’s spec.

- pocket doors are preferable for all washrooms, closets and powder rooms in the convertible units;

Doors for washrooms and closets were revised to pocket doors whenever possible.

- sliding doors for the ground floor patios in the convertible units are more convenient for people with disabilities;

Sliding doors are provided in convertible units to access patios.

- the project meets the Energy Step Code 3 requirements as indicated in the comprehensive proposal package provided by the applicant which includes energy modeling guidelines; the project is on the right track from a sustainability perspective;

Noted.

- the proposed architectural style and materials for the project are coherent; appreciate the site context information provided and how the project relates to its site context;

Noted.

- not sure if the proposed reduction of the exterior side yard setback along Steveston Highway from 6.0 meters to 4.5 meters (to provide a 6-meter rear yard setback to the ground and second floors of the rear units) is appropriate considering that Steveston Highway is a busy street;

The proposal is consistent with recommendation/requirements in City's OCP arterial road townhouse design guidelines.

- choice of landscape palette for softscape and hardscape is appropriate;

Noted.

- appreciate the size of the shared outdoor amenity area which exceeds the minimum requirement and takes advantage of the existing significant Sycamore Maple tree;

Noted.

- concerned about the accessibility of the proposed granular material around the children's play area within the tree protection zone; consider an alternative surface material for the children's play area;

Mulch has been proposed in the children's play area within the tree protection zone to avoid any excavation.

- the proposal package provided by the applicant is clear and easy to follow;

Noted.

- not concerned with the proposed exterior side yard setback variance along Steveston Highway from 6.0 meters to 4.5 meters;

Noted.

- massing of Buildings A, B and F works well; however, the massing of Buildings C, D, and E is not successful as they appear too small and close to each other; consider combining Buildings D and E to create a bigger massing and provide a larger gap between Buildings C and D;

Two storey massing and duplex building form are required by the City's OCP arterial road townhouse design guidelines.

- appreciate the choice of materials and colours for Building B; consider the same material and colour scheme for Building A as they are similar buildings;

Revised design to provide same color pallet for both Buildings A and B.

- appreciate the massing on the edges of the subject site which appropriately addresses the project's predominantly single-family neighbourhood; support the stepping down of the front end unit adjacent to the single-family development to 2 ½ storeys and providing two storeys along the rear;

Noted.

- articulation of the buildings is interesting; appreciate the different sloped roofs which break the monotony of the roof forms;

Noted.

- appreciate the colour scheme; however, there could be too many colours;

Revised design to provide same color pallet for both Buildings A and B.

- the project is cozy, well articulated, and overall massing is successful;

Noted.

- like the scale and character of the project which are compatible with the neighbourhood; not entirely different from recent single-family developments to the east along Steveston Highway;

Noted.

- townhouse units which front Steveston Highway are too similar; consider differentiating the two middle units either in Building A or B in terms of colour or depth;

Revised design provides different color pallet for central units and end units to differentiate them per this comment.

- investigate opportunities for an alternative landscape treatment at the end of the internal drive aisle along Southdale Road to create an additional shared outdoor amenity for residents, e.g. seating or barbeque area; would create diversity in programming considering that it is a pedestrian gateway between the interior of the development and Southdale Road;

A secondary outdoor amenity area was provided at east end of the drive aisle per this comment. A community veggie garden has been proposed in the shared outdoor amenity area to foster a sense of community and enjoy the outdoor area.

- support the proposed Agricultural Land Area (ALR) landscaped buffer along Steveston Highway; and

Noted.

- appreciate the project; however, concerned about the location of vehicle access on Steveston Highway as it is too close to the corner and the existing commercial development across Southdale Road; consider relocating the vehicle access to Southdale Road due to safety concerns.

(Steven De Sousa, Planner 1, clarified that the development across Southdale Road opposite the subject site is a single-family dwelling with lane access and a concrete median barrier will be installed along Steveston Highway to mitigate motorists making left turns to the driveway of the subject site. Subsequently, Charan Sethi withdrew his comment regarding his concern about the location of vehicle access on Steveston Highway and expressed his support for the project.)

Noted.

Panel Decision

It was moved and seconded

That DP 20-896138 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.

CARRIED



Development Permit Considerations

Development Applications Department
6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 9571, 9591, 9611, 9671 Steveston Hwy & 10831 Southdale Rd **File No.:** DP 20-896138

Prior to forwarding the application to Council for approval, the developer is required to complete the following:

1. Final Adoption of Zoning Amendment Bylaw 10082.
2. Receipt of a Letter-of-Credit for landscaping in the amount of \$185,613.25. The letter-of-credit will not be returned until the Letter of Assurance, confirming the landscaping is installed as per the Development Permit, prepared by the Landscape Architect, is reviewed by staff.

Prior to Building Permit Issuance, the developer must complete the following requirements:

1. Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities, including building demolition, occurring on-site. Tree protection fencing must be installed to City standard in accordance with the City's Tree Protection Information Bulletin TREE-03, and must remain in place until construction and landscaping on-site is completed.
2. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
3. Incorporation of energy efficiency, CPTED, sustainability and accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
4. Enter into a Servicing Agreement* for the design and construction of required site servicing and frontage improvements. A Letter of Credit or cash security for the value of the Service Agreement works, as determined by the City, will be required as part of entering into the Servicing Agreement. Works include, but may not be limited to, the following:

Water Works:

- Using the OCP Model, there is 314.0 L/s of water available at a 20 psi residual at the Southdale Rd frontage, and 1,048 L/s of water available at 20 psi residual at the Steveston Hwy frontage. Based on your proposed development, your site requires a minimum fire flow of 220 L/s.
- The Developer is required to:
 - Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm the development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage and Building designs.
- At the Developers cost, the City is to:
 - Cut and cap at main, the existing water service connections at the Steveston Hwy and Southdale Rd frontages.
 - Install a new fire hydrant along the Steveston Highway frontage.
 - Relocate to the ultimate location the existing fire hydrant on the Southdale Road frontage as required to facilitate the required curb, sidewalk, and road widening. Fire Department approval is required for all fire hydrant relocations.
 - Install a new service connection off of the existing 300mm PVC watermain on the south side of Steveston Hwy. Meter to be located onsite (e.g. in a mechanical room).

Storm Sewer Works:

- The Developer is required to:

Initial: _____

- Cut and cap, at main, all existing storm service connections serving the development site and remove inspection chambers.
- Upgrade approximately 140 m of existing 200 mm & 450 mm storm sewer to 600mm along the entire Steveston Hwy frontage, from existing manhole STMH2786 to existing manhole STMH134896, complete with new manhole at the tie-in point to the existing 200 mm storm sewer to the east.
- Remove the existing AC storm sewer to the extent of the storm sewer upgrades and legally dispose offsite, and reconnect all existing catch basins and service connections to the new 600 mm storm sewer.
- Install a new storm service connection, complete with inspection chamber, and tie-in to the proposed 600 mm storm sewer.
- Remove the existing 450 mm storm sewer and infill the existing ditch along the Southdale Road frontage and replace with a new 600 mm storm sewer, complete with a new manhole at the upstream tie-in point.
- Review catch basin spacing along Steveston Highway and Southdale Road, and add catch basins as required to meet City spacing requirements.
- At the Developers cost, the City is to:
 - Perform all tie-ins for the proposed works to existing City infrastructure.

Sanitary Sewer Works:

- The Developer is required to:
 - Cut and cap, at inspection chamber, all existing service connections serving the development site.
 - Upgrade approximately 55 m of existing 150 mm sanitary main to 200 mm along the north property line, from the west property line of 9571 Steveston Highway to existing manhole SMH2069. A new manhole will be required at the tie-in point to the west.
 - Install a new sanitary service connection, complete with inspection chamber, off of the proposed 200 mm sanitary main. A 1.5 x 3.0 m statutory right-of-way from the edge of the existing sanitary right-of-way along the north property line may be required for the inspection chamber, to be determined at the servicing agreement stage.
 - Due to the existing tree to be protected near existing manhole SMH2069, the manhole will not be required to be replaced. Depending on the condition of the manhole, restoration may be required, to the satisfaction of the City. The developer's Civil Engineer shall submit, within the first servicing agreement submission, a signed & sealed inspection report of the manhole complete with reparation recommendations. These recommendations shall be included within the servicing agreement scope.
 - Not start onsite excavation or foundation construction until completion of rear-yard sanitary works by City crews.
 - Widen 43.0 m (measured from the east property line) of the existing sanitary right-of-way along the north property line to 3.0 m deep (measured from the north property line of 9671 Steveston Highway), at no cost to the City.
- At the Developers cost, the City is to:
 - Perform all tie-ins for the proposed works to existing City infrastructure.

Frontage Improvements:

- Transportation requirements include, but are not limited to, the following
 - Vehicle access to the development is to be provided by a single driveway located on Steveston Highway.
 - The driveway width at the property line is to be designed to restrict vehicle movement to right-in/right-out only. A concrete median will be required in the driveway letdown to restrict vehicles from making a left turn into and out of the site. The taper from the wider driveway at the property line to the on-site drive aisle is to be a maximum of 5:1. Geometry wheel path analysis using AutoTurn software to illustrate SU9 trucks turning into and out of the site will be required to review the design of the driveway to the site.
 - Steveston Highway: design and construction of a 1.5 m wide concrete sidewalk along the south property line and the remaining space to the existing curb to be landscaped/treed boulevard.
 - Southdale Road: design and construction of road widening to 5.6 m measured from the existing centreline of the road, new curb and gutter, a 1.5 m concrete sidewalk along the east property line and the remaining space to the new curb to be landscaped/treed boulevard. Curb return at southeast corner to have a 9 m radius.

- There may be hydro/TELUS pole relocations required to maintain a free and clear path of 1.5 m for the new concrete sidewalk. Applicant to engage the appropriate third party utility companies early on in the process to assess hydro implications.
- The developer is responsible for the removal of the existing driveway let-downs and the replacement with barrier curb/gutter, grass/treed boulevard and concrete sidewalk per standards described above.
- The Developer is required to:
 - Coordinate with BC Hydro, Telus and other private communication service providers:
 - To underground overhead service lines.
 - To underground or relocate outside of the proposed sidewalk the existing overhead poles along the Steveston Highway frontage. This may require a BC Hydro right-of-way on the development site for the relocated poles.
 - When relocating/modifying any of the existing power poles and/or guy wires within the property frontages.
 - To locate all above ground utility cabinets and kiosks required to service the proposed development within the developments site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be included in the development process design review. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the requirements (e.g., statutory right-of-way dimensions) and the locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be submitted to the City. The following are examples of statutory right-of-ways that shall be shown in the functional plan and registered prior to servicing agreement design approval:
 - BC Hydro PMT – 4mW X 5m (deep)
 - BC Hydro LPT – 3.5mW X 3.5m (deep)
 - Street light kiosk – 1.5mW X 1.5m (deep)
 - Traffic signal kiosk – 2mW X 1.5m (deep)
 - Traffic signal UPS – 1mW X 1m (deep)
 - Shaw cable kiosk – 1mW X 1m (deep) show possible location in functional plan
 - Telus FDH cabinet-1.1 m W X 1 m (deep) show possible location in functional plan
 - Complete other frontage improvements as per Transportation's requirements.

General Items:

- a. The Developer is required to:
 - Not encroach into the sanitary statutory right-of-way along the north property line with proposed trees, retaining walls, fences, or other obstructions.
 - Provide, prior to soil densification or installation of pre-load, a geotechnical assessment of pre-load and soil preparation impacts on the existing utilities fronting the development site, including but not limited to 150 mm FRP sanitary main along the north property line, and provide mitigation recommendations.
 - Enter into, if required, additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
5. If applicable, payment of latecomer agreement charges, plus applicable interest associated with eligible latecomer works.
6. If applicable, obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

Note:

- * This requires a separate application.

Initial: _____

- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Signed

Date



City of Richmond

Development Permit

No. DP 20-896138

To the Holder: CLO VENTURES K2 LTD.

Property Address: 9571, 9591, 9611, 9671 STEVESTON HIGHWAY AND
10831 SOUTHDAL ROAD

Address: C/O 2959 KINGSWAY
VANCOUVER, BC V5R 5J4

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to reduce the minimum exterior side yard setback to Steveston Highway from 6.0 m to 4.5 m.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #3 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$185,613.25 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 20-896138

To the Holder: CLO VENTURES K2 LTD.

Property Address: 9571, 9591, 9611, 9671 STEVESTON HIGHWAY AND
10831 SOUTHDALE ROAD

Address: C/O 2959 KINGSWAY
VANCOUVER, BC V5R 5J4

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

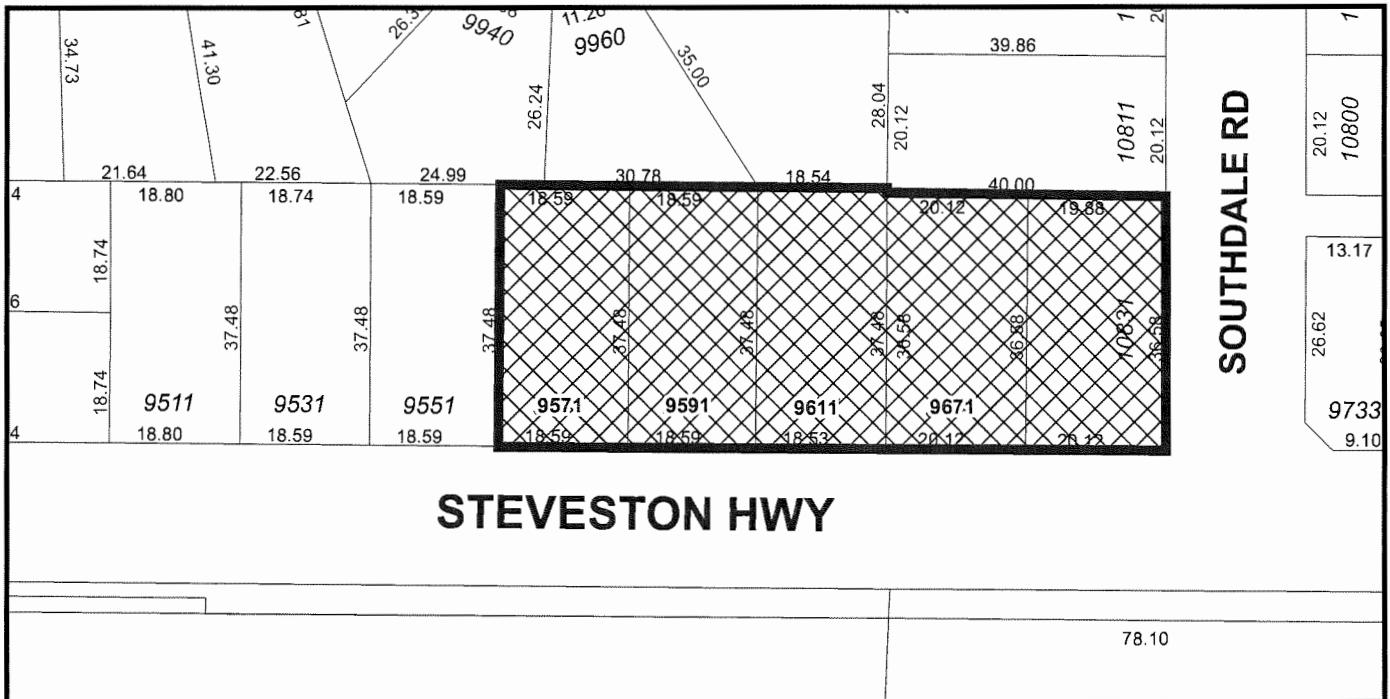
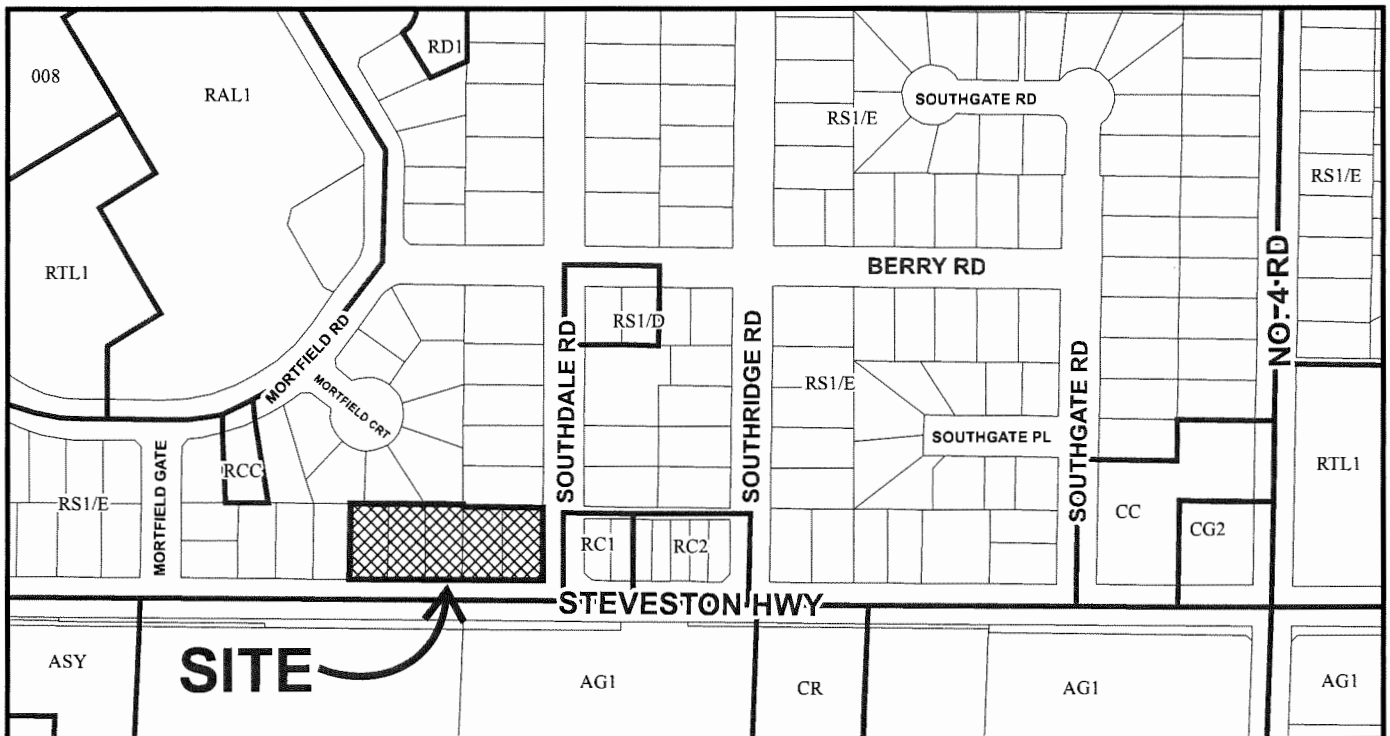
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond



DP 20-896138
SCHEDULE "A"

Original Date: 03/24/20

Revision Date:

Note: Dimensions are in METRES



ISSUED FOR 30P REVIEW	J.T.			20.12.10
ISSUED FOR ADP REVIEW	J.T.			20.08.18
ISSUED FOR 2P SUBMISSION	J.T.			20.07.14
ISSUED FOR 3P SUBMISSION	J.T.			20.03.08
Issued	By			TY.MALCO

Project No.
#8211

Scale
3/32"=1'-0"

Drawing No.

Sheet

A1.4

of



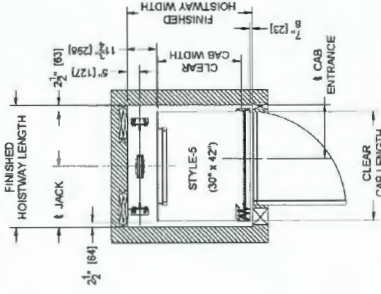
		2 Stalls / Unit	X	20 Unit @ 50%	40 Stalls 20 Stalls
	When More than 31 Stalls Provided				
Residential Parking Required					
Small Car stalls allowed (7.5, 13)					
Residential Parking (Standard) Provided					
Residential Parking (Small Car) Provided					
Total Residential Parking Provided					
Level 2 @ 200V EV Charger Provided		1 Outlet / Unit	X	20 Unit =	20 Stalls 40 Stalls 20 Outlets
Visitor Parking Required					
Visitor Parking Provided		0.2 Stalls / Unit	X	20 Unit =	4 Stalls (Including 1 H/C Van Access Stall)
Total Parking Provided					
Total Small Car Parking Provided					
H/C Visitor Parking (Van Accessible) Required					
H/C Visitor Parking (Van Accessible) Provided					
Class 1 Bike Storage Required		1.25 Spaces / Unit	X	20 Unit =	25 Spaces 11 Spaces 18 Spaces
Class 1 Bike Storage Provided (Horizontal)					
Class 1 Bike Storage Provided (Vertical)					
Class 1 Bike Storage Provided					29 Spaces
Class 2 Bike Parking Required		0.2 Spaces / Unit	X	20 Unit =	4 Spaces 4 Spaces
Class 2 Bike Parking Provided					

[illegible]

Convertible Unit Guidelines (NOTE: SAFERHOME CRITERIA PROPOSED FOR INCLUSION ARE SHOWN IN BOLD ITALICS)		
A	A1	ENTRY CODES ARE A MINIMUM 10" HIGHER THAN THE CLEAR ACCESS.
	A2	ENTRY CODES ARE A MINIMUM 10" HIGHER THAN THE CLEAR ACCESS.
	A3	ENTRY CODES ARE A MINIMUM 10" HIGHER THAN THE CLEAR ACCESS.
	A4	ENTRY CODES ARE A MINIMUM 10" HIGHER THAN THE CLEAR ACCESS.
B	B1	ENTRY CODES ARE A MINIMUM 10" HIGHER THAN THE CLEAR ACCESS.
	B2	ENTRY CODES ARE A MINIMUM 10" HIGHER THAN THE CLEAR ACCESS.
	B3	ENTRY CODES ARE A MINIMUM 10" HIGHER THAN THE CLEAR ACCESS.
	B4	ENTRY CODES ARE A MINIMUM 10" HIGHER THAN THE CLEAR ACCESS.
C	C1	ENTRY CODES ARE A MINIMUM 10" HIGHER THAN THE CLEAR ACCESS.
	C2	ENTRY CODES ARE A MINIMUM 10" HIGHER THAN THE CLEAR ACCESS.
	C3	ENTRY CODES ARE A MINIMUM 10" HIGHER THAN THE CLEAR ACCESS.
	C4	ENTRY CODES ARE A MINIMUM 10" HIGHER THAN THE CLEAR ACCESS.
D	D1	ENTRY CODES ARE A MINIMUM 10" HIGHER THAN THE CLEAR ACCESS.
	D2	ENTRY CODES ARE A MINIMUM 10" HIGHER THAN THE CLEAR ACCESS.
	D3	ENTRY CODES ARE A MINIMUM 10" HIGHER THAN THE CLEAR ACCESS.
	D4	ENTRY CODES ARE A MINIMUM 10" HIGHER THAN THE CLEAR ACCESS.
E	E1	ENTRY CODES ARE A MINIMUM 10" HIGHER THAN THE CLEAR ACCESS.
	E2	ENTRY CODES ARE A MINIMUM 10" HIGHER THAN THE CLEAR ACCESS.
	E3	ENTRY CODES ARE A MINIMUM 10" HIGHER THAN THE CLEAR ACCESS.
	E4	ENTRY CODES ARE A MINIMUM 10" HIGHER THAN THE CLEAR ACCESS.
F	F1	ENTRY CODES ARE A MINIMUM 10" HIGHER THAN THE CLEAR ACCESS.
	F2	ENTRY CODES ARE A MINIMUM 10" HIGHER THAN THE CLEAR ACCESS.
	F3	ENTRY CODES ARE A MINIMUM 10" HIGHER THAN THE CLEAR ACCESS.
	F4	ENTRY CODES ARE A MINIMUM 10" HIGHER THAN THE CLEAR ACCESS.
G	G1	ENTRY CODES ARE A MINIMUM 10" HIGHER THAN THE CLEAR ACCESS.
	G2	ENTRY CODES ARE A MINIMUM 10" HIGHER THAN THE CLEAR ACCESS.
	G3	ENTRY CODES ARE A MINIMUM 10" HIGHER THAN THE CLEAR ACCESS.
	G4	ENTRY CODES ARE A MINIMUM 10" HIGHER THAN THE CLEAR ACCESS.
H	H1	ENTRY CODES ARE A MINIMUM 10" HIGHER THAN THE CLEAR ACCESS.
	H2	ENTRY CODES ARE A MINIMUM 10" HIGHER THAN THE CLEAR ACCESS.
	H3	ENTRY CODES ARE A MINIMUM 10" HIGHER THAN THE CLEAR ACCESS.
	H4	ENTRY CODES ARE A MINIMUM 10" HIGHER THAN THE CLEAR ACCESS.
I	I1	ENTRY CODES ARE A MINIMUM 10" HIGHER THAN THE CLEAR ACCESS.
	I2	ENTRY CODES ARE A MINIMUM 10" HIGHER THAN THE CLEAR ACCESS.
	I3	ENTRY CODES ARE A MINIMUM 10" HIGHER THAN THE CLEAR ACCESS.
	I4	ENTRY CODES ARE A MINIMUM 10" HIGHER THAN THE CLEAR ACCESS.

Garage Lift
T: 604.551.0422 | F: 604.551.0423 | E: info@garagelift.com
www.garagelift.com

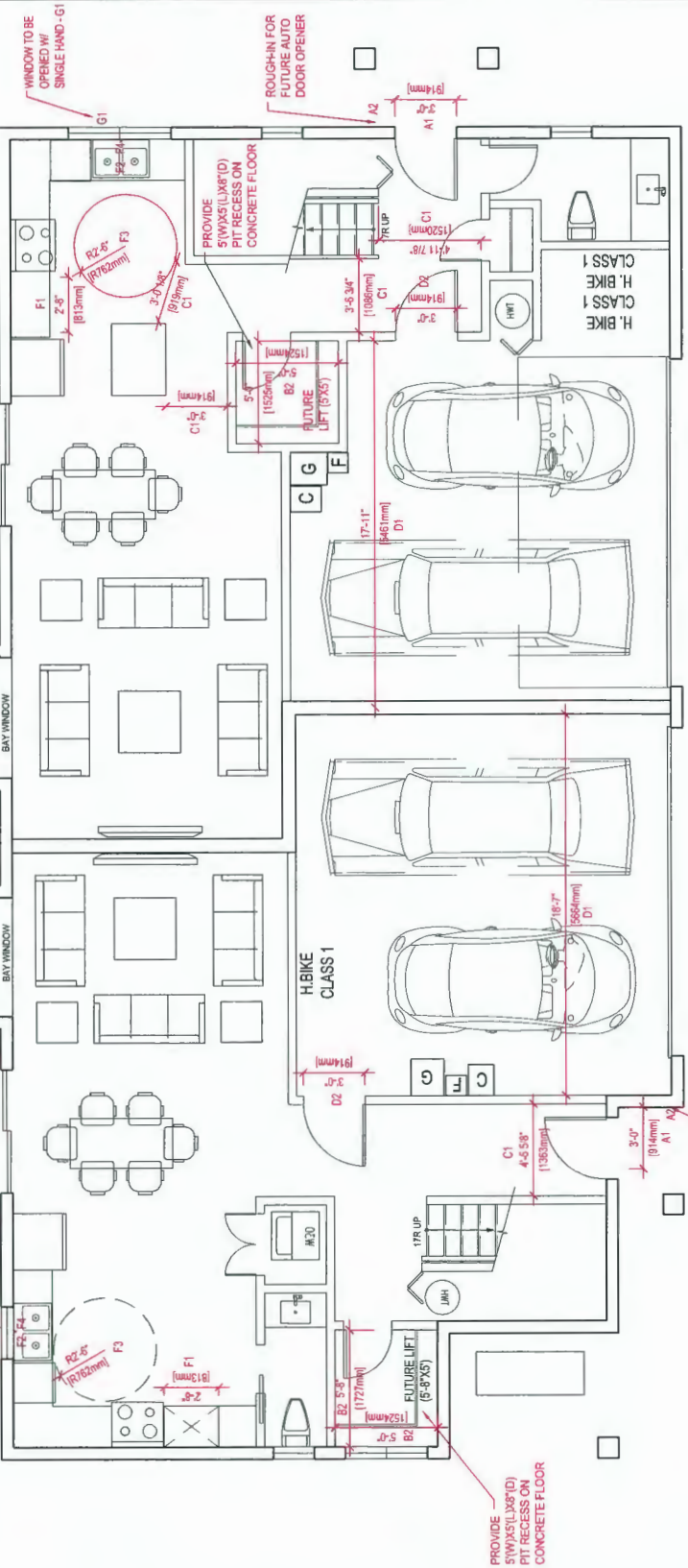
Standard Door Gate



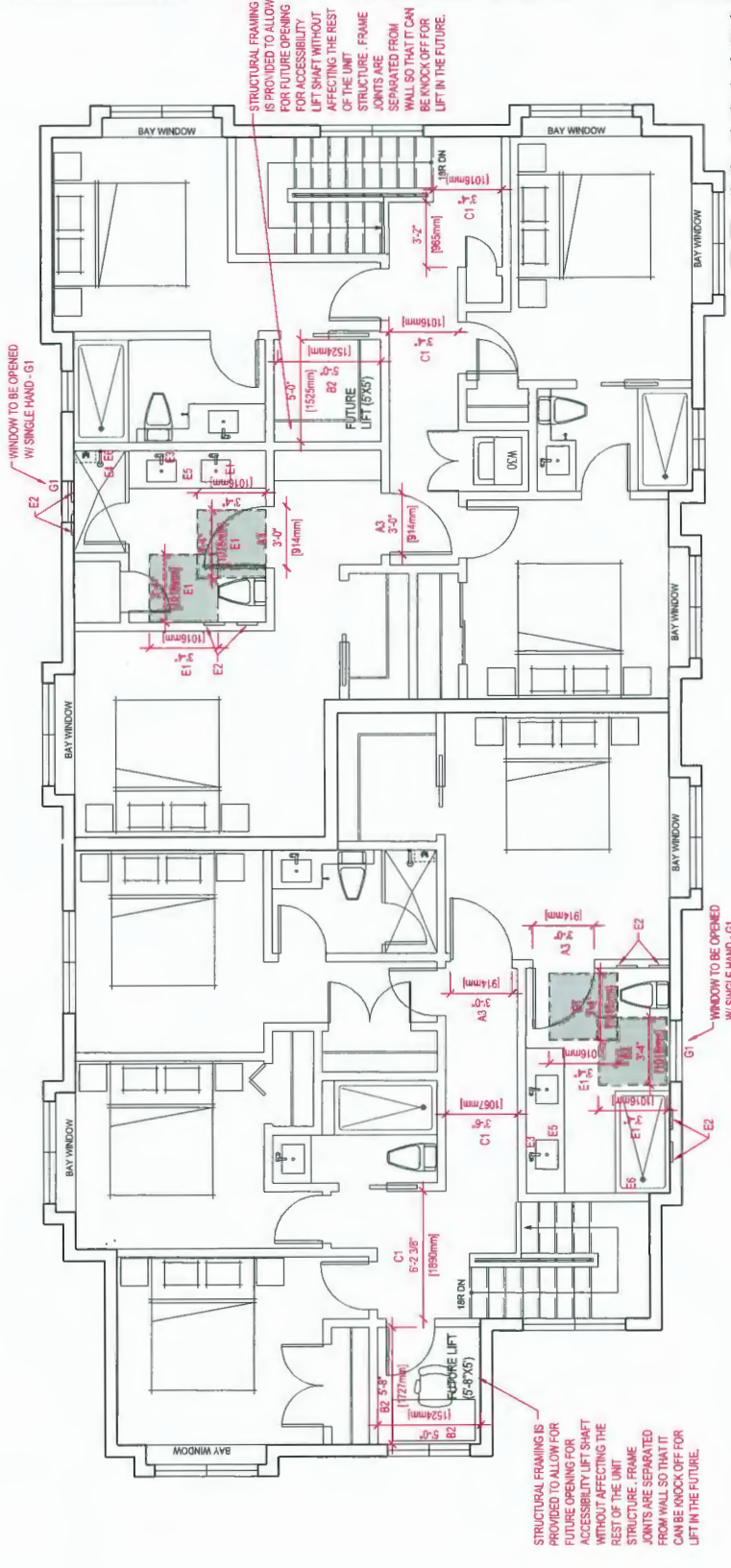
Clearance	Width	Height	Weight	Speed	Travel	Stops	Standard Controls	Standard Safety Features	Hydraulic Drive System	In-Line Drive System	Overhead Clearance Required
40" x 50"	60" x 72"	60" x 72"	60" x 72"	60" x 72"	60" x 72"	60" x 72"	60" x 72"	60" x 72"	60" x 72"	60" x 72"	60" x 72"
40" x 50"	60" x 72"	60" x 72"	60" x 72"	60" x 72"	60" x 72"	60" x 72"	60" x 72"	60" x 72"	60" x 72"	60" x 72"	60" x 72"
40" x 50"	60" x 72"	60" x 72"	60" x 72"	60" x 72"	60" x 72"	60" x 72"	60" x 72"	60" x 72"	60" x 72"	60" x 72"	60" x 72"
40" x 50"	60" x 72"	60" x 72"	60" x 72"	60" x 72"	60" x 72"	60" x 72"	60" x 72"	60" x 72"	60" x 72"	60" x 72"	60" x 72"

Specifications

Overhead Clearance Required:	Hydraulic Drive	In-Line Drive	In-Line Drive w/Controller at top of hoistway
84" Cab height - standard door pkg.	96" (2438 mm)	96" (2438 mm)	108" (2743 mm)
84" Cab height - upgrade / premium door pkg.	96" (2438 mm)	96" (2438 mm)	114" (2896 mm)
96" Cab height - standard door pkg.	108" (2743 mm)	108" (2743 mm)	120" (3048 mm)
96" Cab height - upgrade / premium door pkg.	N/A	N/A	N/A
Rated Load: Standard 750 lbs (340 kg) or 1,000 lbs (455 kg)			
Speed: 40 Rpm (12.2 meters/min) nominal speed			
Travel Range: Up to 50 feet (15.2 m)			
Stops: Up to 6 stops			
Standard Controls: Fully automatic push button operation Digital floor indicator in car Automatic car lighting upon entry Illuminated push buttons			
Standard Safety Features: Battery-powered emergency lowering Safety brake system Car door and hall door safety monitoring system Emergency stop and alarm			
Hydraulic Drive System: 1/2 cable hydraulic drive Quiet submersed pump and motor Two-speed valve for smooth start and stop			
In-Line Drive System: Geared direct drive motor Variable frequency drive for smooth start and stop Speed monitor			
Power Requirements: 230 VAC single phase Optional 208 VAC 3 phase (hydraulic drive only)			
Popular Options: Premium features Integral emergency telephone 3-speed sliding doors			
Flooring: By others to match the home decor Minimum 1/8" thick Maximum 3/4" thick			
Warranty: 2 year standard warranty Optional additional 5 year extended warranty to 7 years (North America Only)			



CONVERTIBLE UNITS L1 PLAN
1/4"=1'-0"
A5.1



CONVERTIBLE UNITS L2 PLAN
1/4"=1'-0"
A5.1

IMPERIAL ARCHITECTURE
ARCHITECTURE
INTERIOR
DESIGN
PLANNING

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Dimensions
The Contractor shall verify all dimensions, and immediately report any errors within 10 days of the date of completion of the work. The Contractor shall be responsible for any errors in dimensions.

KEY PLAN

SOUTHDALE
STEVESTON HIGHWAY

ISSUED FOR
DPP REVIEW
2020-12-10

Client/Project
STEVESTON TOWNHOUSE DEVELOPMENT
9871.5591, 9871.5591 STEVESTON HWY & 10831 SOUTHDALE ROAD, RICHMOND, BC (DP 20-896138)

Title
CONVERTIBLE UNIT FLOOR PLANS

Project No.
#8211

Scale
1/4"=1'-0"

Sheet
A5.1

Revision

9571 STEVESTEN HIGHWAY, RICHMOND, BC

EXTERIOR FINISH SCHEDULE

REFER TO COLORED ELEVATION AND SAMPLE MATERIAL BOARD FOR MORE INFO.



1 ASPHALT SHINGLES (DARK GREY)



2 WOOD TRIM (BROWN)



3 DOUBLE GLAZED VINYL WINDOWS (BROWN COLOR FRAME & CLEAR GLAZING)



4 SOLID WOOD UNIT ENTRY DOOR - W/ OPTIONAL TRANSLUCENT SIDELITE (STAINED WOOD COLOR)



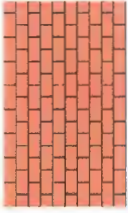
5 ALUMINUM RAILING (BROWN)



6 PREFINISHED ALUMINUM GUTTER & RWL (BROWN)



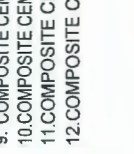
7 PAINTED WOOD FRAME AROUND WINDOW AND DOOR OPENINGS (BROWN)



8 BRICK CLADDING (RED-DARKER)



9 COMPOSITE CEMENT LAP SIDING (HARDIE SIDING)(LIGHT BEIGE)



10 COMPOSITE CEMENT SHAKE (HARDIE SHAKE)(LIGHT GREY)



11 COMPOSITE CEMENT LAP SIDING (HARDIE SIDING)(BROWN)



12 COMPOSITE CEMENT LAP SIDING (HARDIE SIDING)(LIGHT PINK)



5 ALUMINUM RAILING (BROWN)



7 PAINTED WOOD FRAME AROUND WINDOW AND DOOR OPENINGS (BROWN)



8 BRICK CLADDING (RED-DARKER)



9 COMPOSITE CEMENT LAP SIDING (HARDIE SIDING)(LIGHT BEIGE)



10 COMPOSITE CEMENT SHAKE (HARDIE SHAKE)(LIGHT GREY)

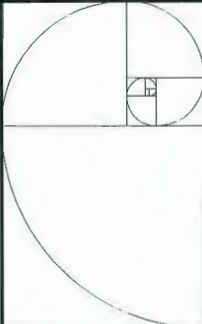


11 COMPOSITE CEMENT LAP SIDING (HARDIE SIDING)(BROWN)



12 COMPOSITE CEMENT LAP SIDING (HARDIE SIDING)(LIGHT PINK)





ARCHITECTURE
INTERIOR
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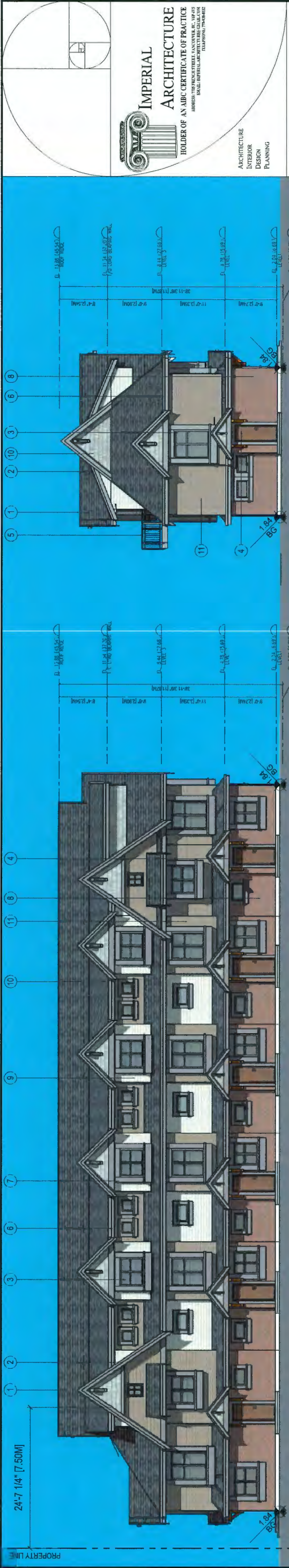
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ISSUED FOR DPP REVIEW	J.E.	W.E.	20.07.14

ISSUED FOR
DPP REVIEW
2020-12-10

Client/Project
STEVESTON TOWNHOUSE
DEVELOPMENT
9571, 9591, 9611, 9671 STEVESTON HWY &
10831 SOUTHDALE ROAD, RICHMOND, BC
(DP 20-896138)

Color/Material
COLOR SAMPLE
MATERIAL BOARD
Project No.
#8211
Scale
N.T.S.
Drawing No.
A0.2
Revision

DP 20-896138
Plan #2.B
December 14, 2020



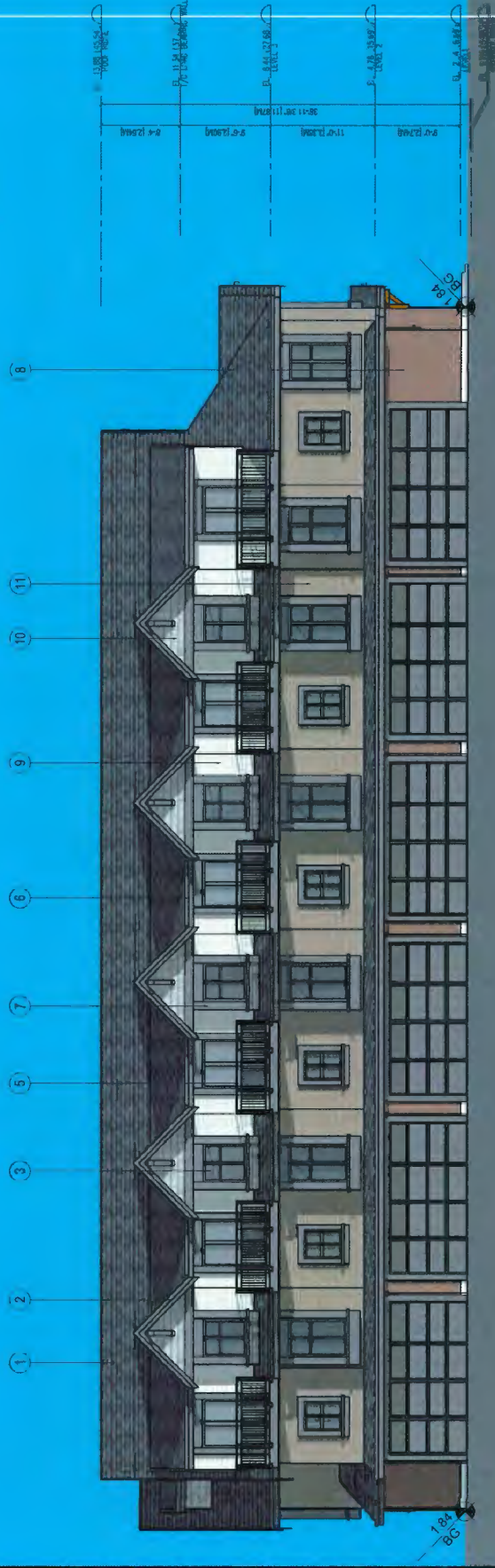
1 BUILDING A SOUTH ELEVATION (STEVESTON HWY)
SCALE 1/8"=1'-0"

EXTERIOR FINISH MATERIAL SCHEDULE

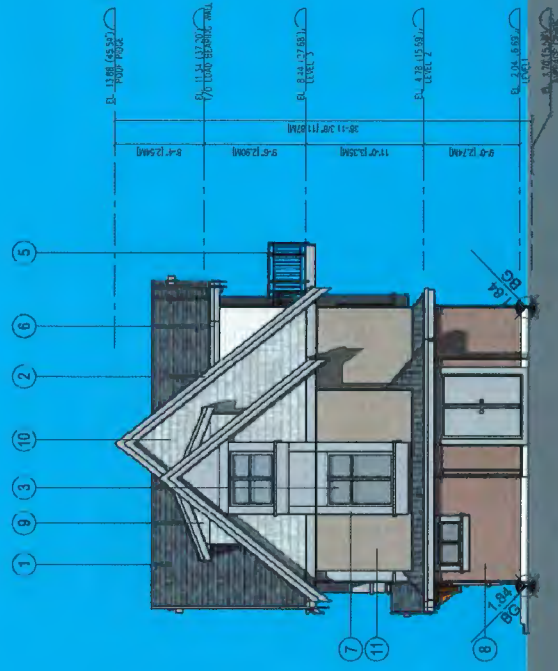
- HIGH PROFILE ASPHALT SHINGLES (DARK GREY)
- WOOD TRIM (BROWN)
- DOUBLE GLAZED VINYL WINDOW (BROWN COLOUR FRAME & CLEAR GLAZING)
- SOLID WOOD UNIT ENTRY DOOR W/ OPTIONAL TRANSLUCENT GLAZING Sidelite (STAINED WOOD COLOUR)
- PRE-FINISHED ALUMINUM RAILING (BROWN)
- PRE-FINISHED ALUMINUM GUTTER & R.W.L. (BROWN)
- PAINTED WOOD FRAME AROUND WINDOW & DOOR OPENING (BROW)

EXTERIOR FINISH MATERIAL SCHEDULE

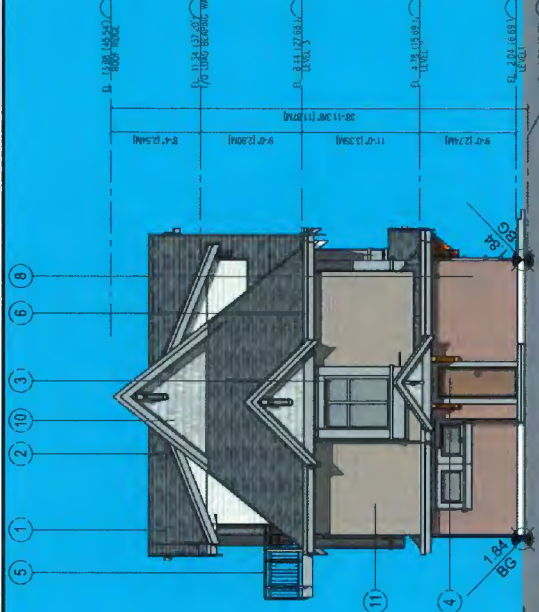
- BRICK CLADDING (RED - DARKER)
- COMPOSITE CEMENT LAP SIDING (HARDIE SIDING, LIGHT BEIGE)
- COMPOSITE CEMENT SHAKE (HARDIE SHAKE, LIGHT GREY)
- COMPOSITE CEMENT LAP SIDING (HARDIE SIDING, BROWN)
- COMPOSITE CEMENT LAP SIDING (HARDIE SIDING, LIGHT PINK)
- COMPOSITE CEMENT LAP SIDING (HARDIE SIDING, WHITE)



2 BUILDING A NORTH ELEVATION (INTERNAL DRIVEWAY)
SCALE 1/8"=1'-0"



4 BUILDING A EAST ELEVATION
SCALE 1/8"=1'-0"



3 BUILDING A WEST ELEVATION
SCALE 1/8"=1'-0"



STEVESTON HIGHWAY
KEY PLAN

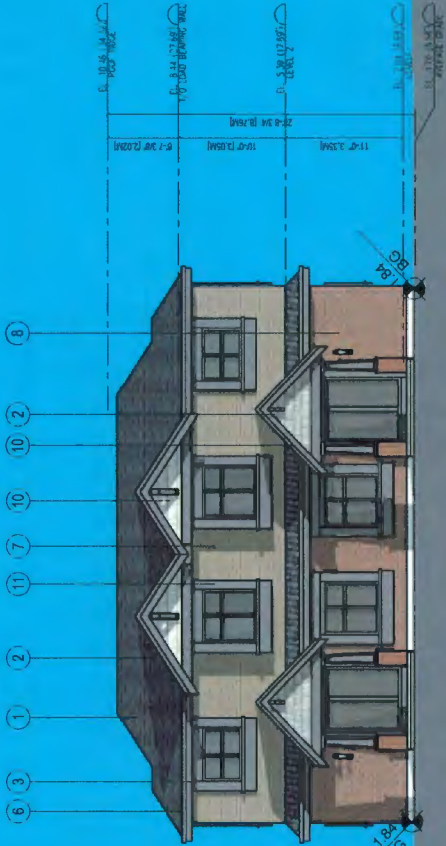
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ISSUED FOR 3P SUBMISSION	20.07.14	W.M.
ISSUED FOR 3P SUBMISSION	20.03.08	W.M.
ISSUED FOR 3P SUBMISSION	17.06.05	W.M.

ISSUED FOR
DPP REVIEW
2020-12-10

Client/Project
STEVESTON TOWNHOUSE
DEVELOPMENT
9571 9591, 9511 9571 STEVESTON HWY &
10331 SOUTHDAL ROAD, RICHMOND, BC
(DP 20-896138)

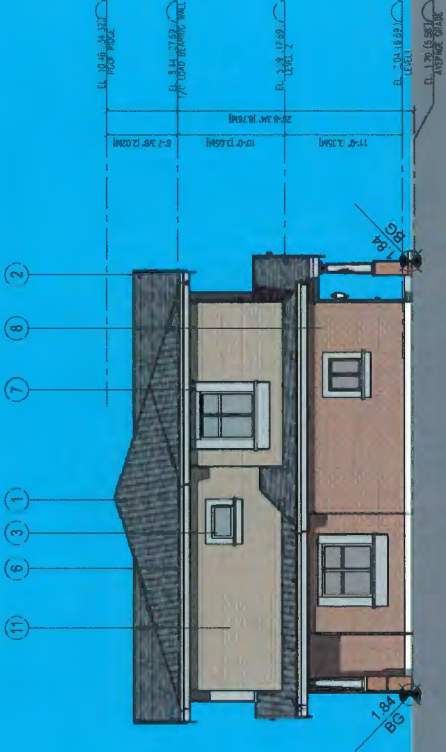
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BUILDING A ELEVATIONS
Project No.
#8211
Drawing No.
Sheet
Revision
A3.1
Scale
1/8"=1'-0"

DP 20-896138
Plan #2.C
December 14, 2020



1
A3.3 SCALE 1/8"=1'-0"

BUILDING C NORTH ELEVATION



3
A3.3 SCALE 1/8"=1'-0"

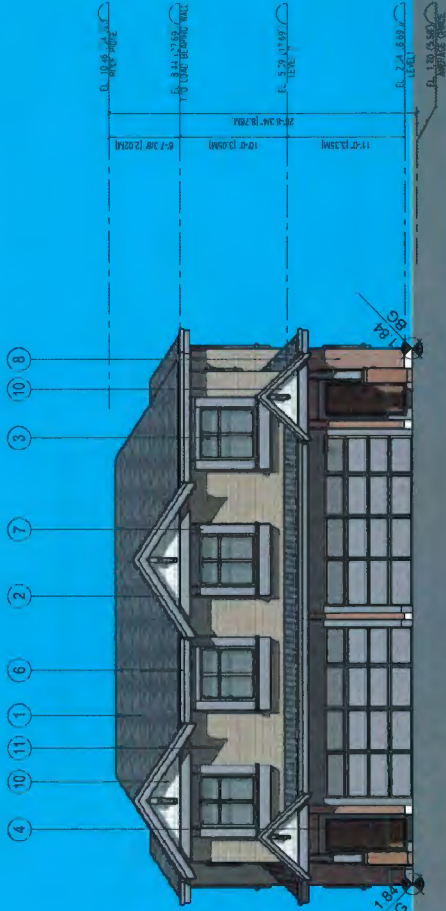
BUILDING C EAST ELEVATION

EXTERIOR FINISH MATERIAL SCHEDULE

1. HIGH PROFILE ASPHALT SHINGLES (DARK GREY)
2. WOOD TRIM (BROWN)
3. DOUBLE GLAZED VINYL WINDOW (BROWN COLOUR FRAME & CLEAR GLAZING)
4. SOLID WOOD UNIT ENTRY DOOR W/ OPTIONAL TRANSLUCENT GLAZING SIDELITE (STAINED WOOD COLOUR)
5. PRE-FINISHED ALUMINUM RAILING (BROWN)
6. PRE-FINISHED ALUMINUM GUTTER & F.W.L. (BROWN)
7. PAINTED WOOD FRAME AROUND WINDOW & DOOR OPENING (BROWN)

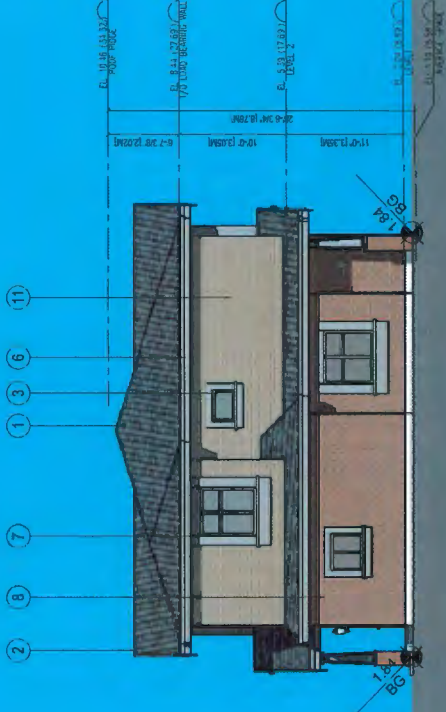
EXTERIOR FINISH MATERIAL SCHEDULE

8. BRICK CLADDING (RED - DARKER)
9. COMPOSITE CEMENT LAP SIDING (HARDIE SIDING, LIGHT BEIGE)
10. COMPOSITE CEMENT SHAKE, (HARDIE SHAKE, LIGHT GREY)
11. COMPOSITE CEMENT LAP SIDING, (HARDIE SIDING, BROWN)
12. COMPOSITE CEMENT LAP SIDING, (HARDIE SIDING, LIGHT PINK)
13. COMPOSITE CEMENT LAP SIDING, (HARDIE SIDING, WHITE)



2
A3.3 SCALE 1/8"=1'-0"

BUILDING C SOUTH ELEVATION



4
A3.3 SCALE 1/8"=1'-0"

BUILDING C WEST ELEVATION

IMPERIAL ARCHITECTURE

HOLDER OF AN ABC CERTIFICATE OF PRACTICE

ADDRESS: 10831 SOUTHDOWN ROAD, STEVENSON HWY & 10831 SOUTHDOWN ROAD, RICHMOND, BC
TEL: 604-273-1111
TEL/FAX: 604-273-1112

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STEVENSON HIGHWAY

KEY PLAN

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ISSUED FOR DPP REVIEW	J.E.	W.E.	20.06.10
ISSUED FOR DPP SUBMISSION	J.E.	W.E.	20.07.11
ISSUED FOR DPP SUBMISSION	J.E.	W.E.	20.03.08
Issued	By	W.E.	11.06.07

ISSUED FOR
DPP REVIEW
2020-12-10

Client/Project

STEVENSON TOWNHOUSE
DEVELOPMENT

9871 9851, 9811 9871 STEVENSON HWY &
10831 SOUTHDOWN ROAD, RICHMOND, BC
(DP 20-896138)

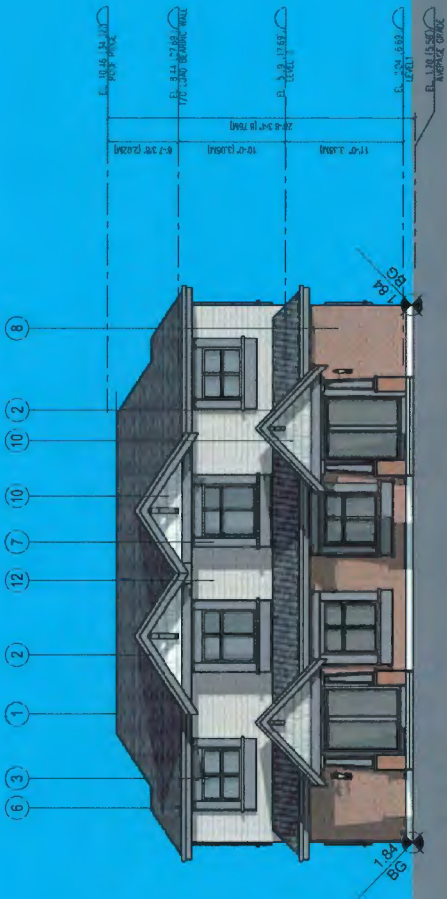
BUILDING C ELEVATIONS

Project No. #8211
Scale 1/8"=1'-0"

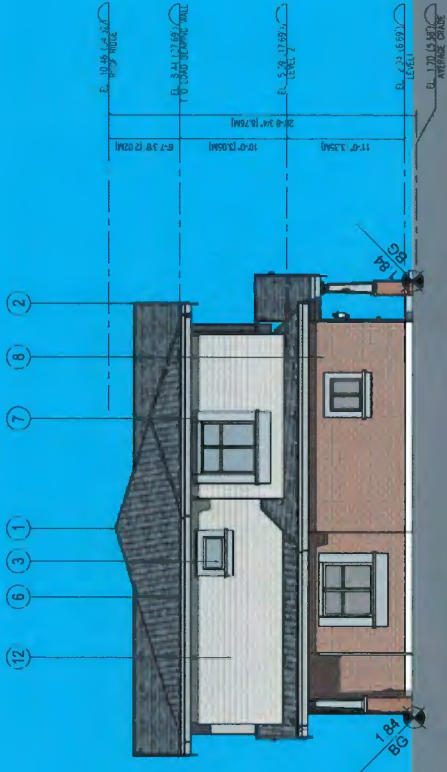
Drawing No. Sheet
Revision

A 3.3

DP 20-896138
Plan #2.E
December 14, 2020



1 BUILDING D NORTH ELEVATION
SCALE 1/8"=1'-0"



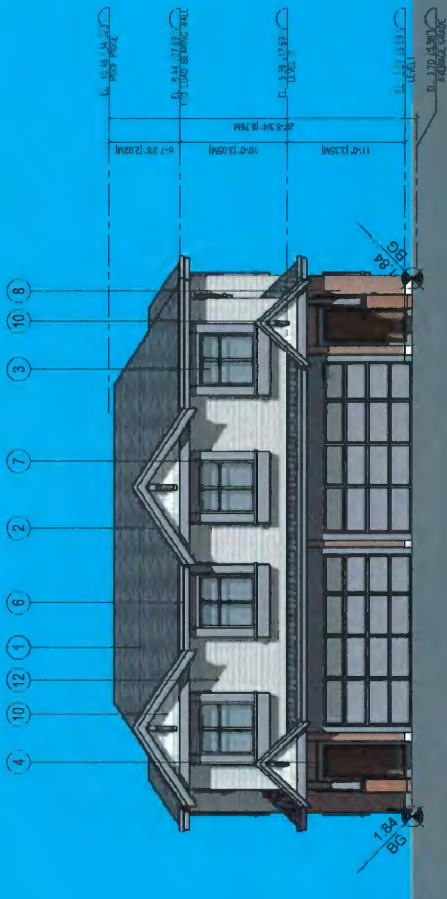
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SCALE 1/8"=1'-0"

EXTERIOR FINISH MATERIAL SCHEDULE

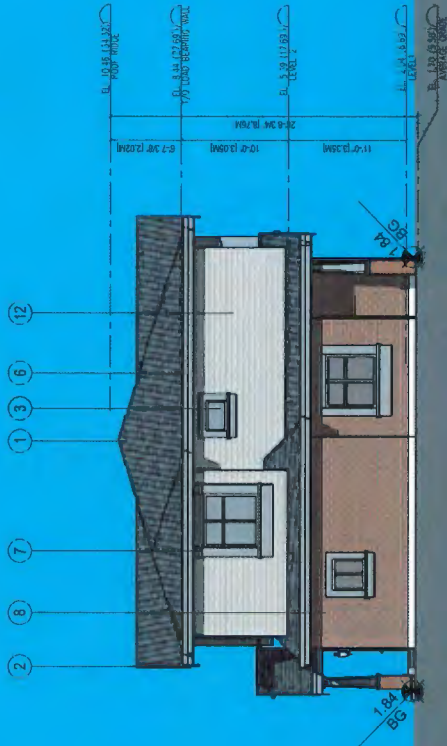
1. HIGH PROFILE ASPHALT SHINGLES (DARK GREY)
2. WOOD TRIM (BROWN)
3. DOUBLE GLAZED VINYL WINDOW (BROWN COLOUR FRAME & CLEAR GLAZING)
4. SOLID WOOD UNIT ENTRY DOOR W/ OPTIONAL TRANSLUCENT GLAZING SIDELITE (STAINED WOOD COLOUR)
5. PRE-FINISHED ALUMINUM RAILING (BROWN)
6. PRE-FINISHED ALUMINUM GUTTER & R.W.L. (BROWN)
7. PAINTED WOOD FRAME AROUND WINDOW & DOOR OPENING (BROW)

EXTERIOR FINISH MATERIAL SCHEDULE

8. BRICK CLADDING (RED - DARKER)
9. COMPOSITE CEMENT LAP SIDING, (HARDIE SIDING, LIGHT BEIGE)
10. COMPOSITE CEMENT SHAKE, (HARDIE SHAKE, LIGHT GREY)
11. COMPOSITE CEMENT LAP SIDING, (HARDIE SIDING, BROWN)
12. COMPOSITE CEMENT LAP SIDING, (HARDIE SIDING, LIGHT PINK)
13. COMPOSITE CEMENT LAP SIDING, (HARDIE SIDING, WHITE)



2 BUILDING D SOUTH ELEVATION
SCALE 1/8"=1'-0"



4 BUILDING D WEST ELEVATION
SCALE 1/8"=1'-0"



**IMPERIAL
ARCHITECTURE**
HOLDER OF AN ABC CERTIFICATE OF PRACTICE
ARCHITECTURE
10831 SOUTHDALE ROAD, RICHMOND, BC
V6V 1K1
TEL: 604-271-7940

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DESIGNED FOR APP PROVISION	2.2	W.E.	20.12.10

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2020-12-10

Client/Project
STEVESTON TOWNHOUSE
DEVELOPMENT
9571 9591, 9611 9671 STEVESTON HWY &
10831 SOUTHDALE ROAD, RICHMOND, BC
(DP 20-896138)

Building D Elevations

Project No.
#8211

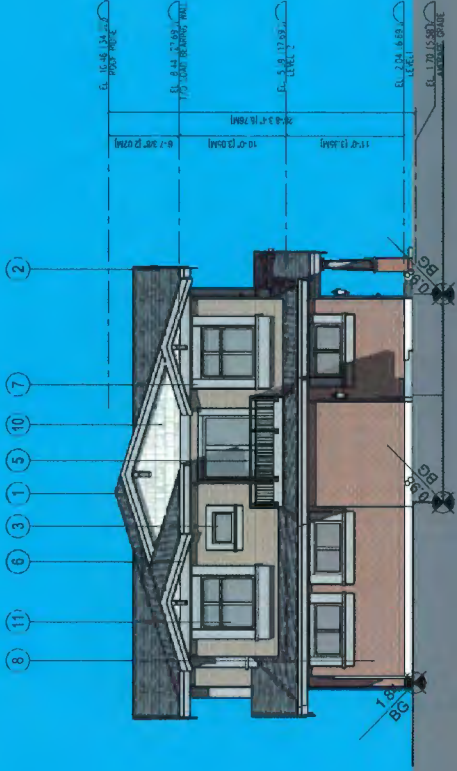
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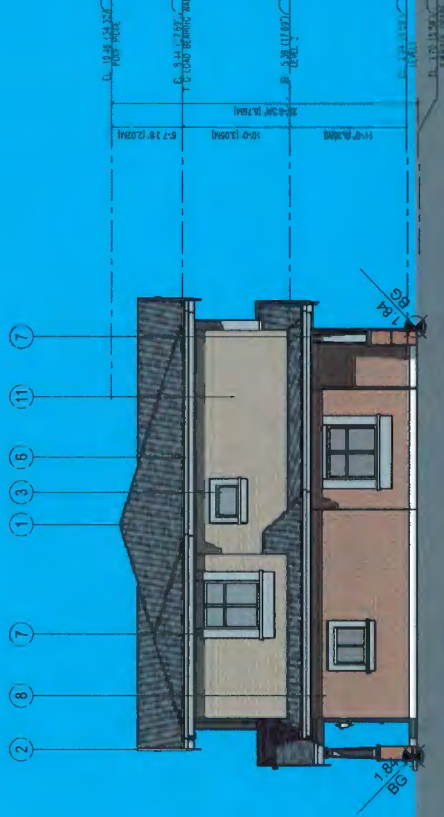
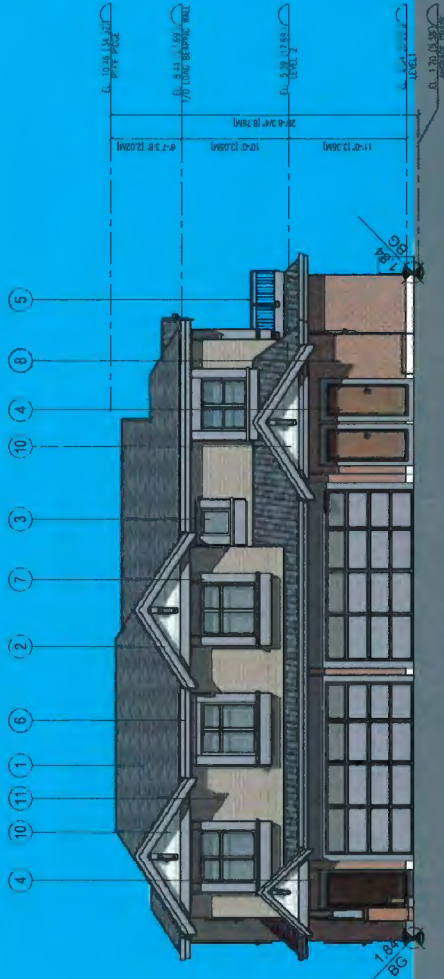
Revision

A3.4

DP 20-896138
Plan #2.F
December 14, 2020



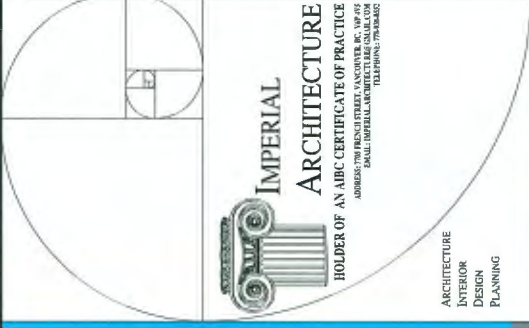
BUILDING E NORTH ELEVATION



2 BUILDING E SOUTH ELEVATION

④ BUILDING E WEST ELEVATION

DP 20-896138
Plan #2.G
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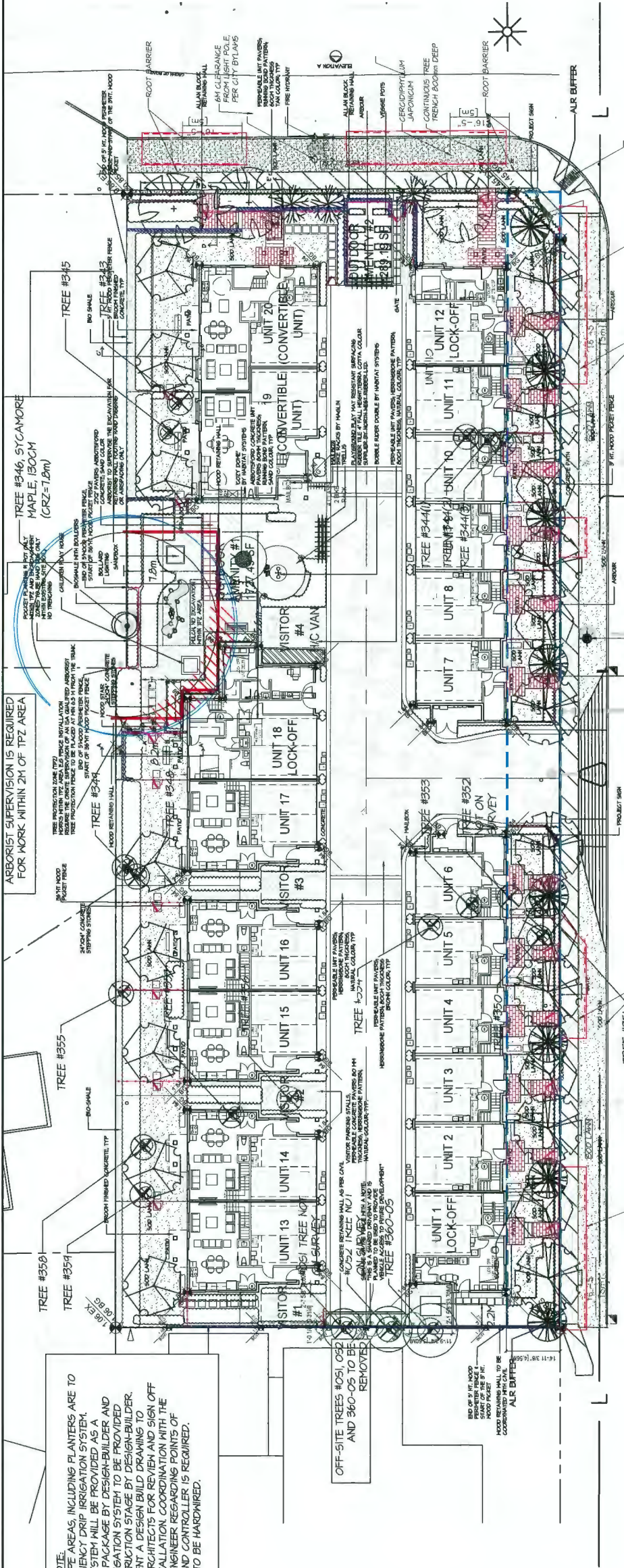


	20.12.10
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ISSUED FOR ADP REVIEW	J.Z.
ISSUED FOR DIP SUBMISSION	J.Z.
ISSUED FOR ADP SUBMISSION	J.Z.
Issued	By Appd.
	YY MM DD

STEVESTON HIGHWAY



#220 - 26 Lorne Mews
New Westminster, British Columbia
V3M 3L7
Tel: 604.553.0044
Fax: 604.553.0045
Email: office@m2la.com



SITE PLAN
SCALE: 1/16"=1'-0"

STEVESTON-HIGHWAY.
CONSTRUCTION METHODS REQUIRED;
ARBORIST SUPERVISION IS REQUIRED
FOR WORK WITHIN 2M OF TPZ AREA

TREE #346, SYCAMORE
MAPLE, 130CM
(CRZ=7.8m)

PLANT SCHEDULE - OVERALL			
KEY QTY	BOTANICAL NAME	M2 JOB NUMBER: 18-039	PLANTED SIZE / REMARKS
1	VINE MALE	604 CAL B4B	
2	ACER CRETATION	604 CAL B4B	
3	ACER GRUBB	23M HI B4B	
4	CHAMAECYPARIS MONTANENSIS	100M HI B4B	
5	MOPTA CYPRESS	100M HI B4B	
6	WILLOW	100M HI B4B	
7	SHRUB BAY	100M HI B4B	
8	LOGANBERRY STRAUSFELIA	100M HI B4B	
9	PIKEA CHORICA	100M HI B4B	

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW HAVE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. * AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS, OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.

NO.	DATE	REVISION DESCRIPTION	DR.
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3	2020/01/24	REVISED PER CITY COMMENTS	GB
4	2020/01/24	REVISED PER CITY COMMENTS	GB
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STEVESTON TOWNHOUSE
DEVELOPMENT
9891-9871 Steveston Hwy
10831 Southdale Rd
RICHMOND, BC

DRAWING TITLE:	
TREE PLAN OVERALL	
DATE:	18 MAY 24
SCALE:	VARIABLE
DRAWN:	DT
DESIGN:	DT
CHECK:	PHH
M2LA PROJECT NUMBER:	18-039

Plan #3.A
December 14, 2020

SOD LAWN



INING WALL TO BE



CONCRETE REINFORCEMENT

CORNUS KOUSA



OF THE 3' HT.
, PICKET

ALR BUFFER



ACER BRISFIM

SITE PLAN

SCALE: 1/8"=1'-0"

THE JOURNAL OF LAW, ECONOMICS, & ORGANIZATION

SEAL: _____

DRAWING TITLE:

DATE: 12 MAY 29	DRAWING NUMBER:
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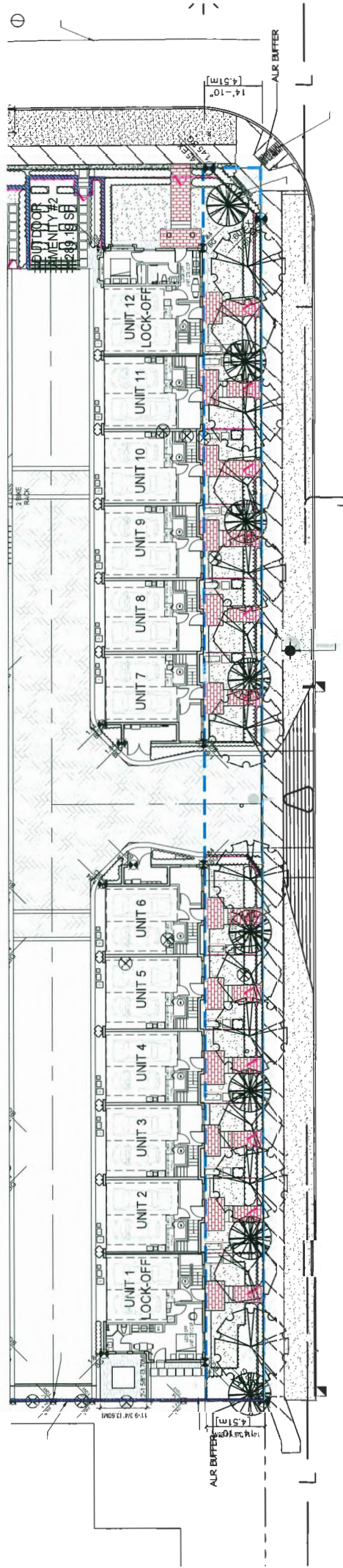
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DESIGN: DT

THE UNIVERSITY OF CHICAGO

Plan #3.B

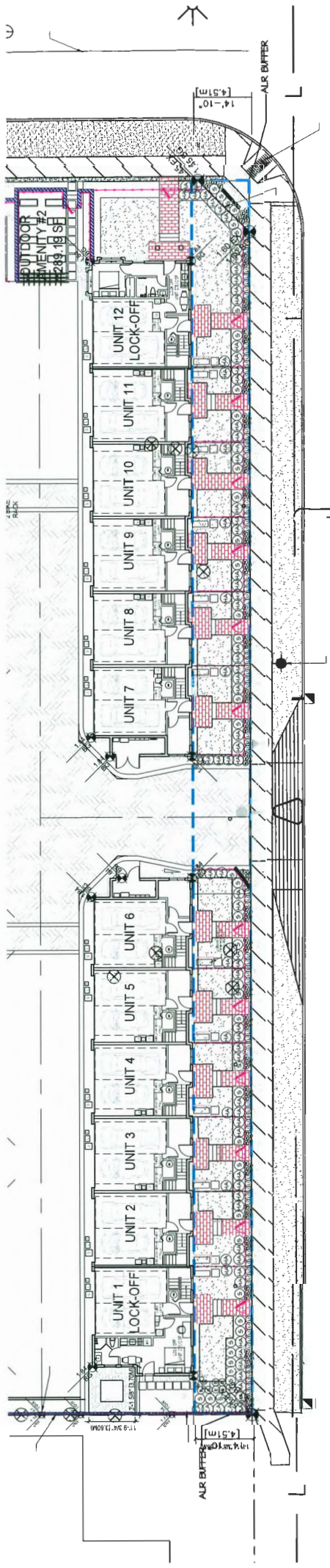


#220 - 26 Lorne Mews
New Westminster, British Columbia
V3M 3L7
Tel: 604.553.0044
Fax: 604.553.0045
Email: office@m2la.com



TREE PLAN - ALR BUFFER
SCALE : 1/16"=1'-0"

PLANT SCHEDULE :ALR			
KEY QTY	BOTANICAL NAME	COMMON NAME	M2 JOB NUMBER: 18-039 PLANTED SIZE / REMARKS
8	ACER GRISEUM	PAPERBARK MAPLE	60" CAL B&B
8	CHAMAECIPARUS NOOTKATENSIS	NOOTKA CYPRESS	25H HT B&B
6	CORNUS KOREA	KOREA DOGWOOD	24 HT BISH PORK B&B
NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER ORTA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER HEADSIZES AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAIN AND PRAGER VALLEY. * SUBSTITUTIONS, OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS. TO THE SPECIFIED MATERIAL UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.			
ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.			



SHRUB PLAN - ALR BUFFER
SCALE : 1/16"=1'-0"

PLANT SCHEDULE			
KEY QTY	BOTANICAL NAME	COMMON NAME	M2 JOB NUMBER: 18-039 PLANTED SIZE / REMARKS
SHRUB			
6	ELONTHES ALATA 'CONTACTUS'	COMPACT HINED BURNING BUSH	12 POT: 30CM
HA 88	HYDRANGEA PANICULATA 'GRANDIFLORA'	SNOWHILL HYDRANGEA	48 POT: 80CM
KA 5	KALMIA LATIFOLIA	MOUNTAIN LAUREL	14 B&B
5	SPIROEA X BRIDALDA 'ANTHONY WATERER'	SPIROEA	12 POT: 40CM
GRAPES 156	FESTUCA OVINA 'BLANCA'	BLUE FESCUE	11 POT
PERENNIAL			
L 80	LAVERGELLA ANGIOSTYFOLIA	ENGLISH LAVENDER	12 POT
NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER ORTA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER HEADSIZES AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAIN AND PRAGER VALLEY. * SUBSTITUTIONS, OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS. TO THE SPECIFIED MATERIAL UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.			
ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.			

20	20200608	REV. AS PER CITY COMMENTS	GB
19	20200608	REV. AFTER CITY COMMENTS	GB
18	20200612	REV. AS PER CITY COMMENTS	GB
17	20200610	REV. AS PER CITY COMMENTS	GB
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1	20200610	REV. AS PER CITY COMMENTS	GB

NO.	DATE	REVISION DESCRIPTION	DR.
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2	20200610	PRELIMINARY DESIGN	DT
3	20200610	PRELIMINARY DESIGN	DT
4	20200610	PRELIMINARY DESIGN	DT
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18	20200610	PRELIMINARY DESIGN	DT
19	20200610	PRELIMINARY DESIGN	DT
20	20200610	PRELIMINARY DESIGN	DT

PROJECT:
STEVESTON TOWNHOUSE DEVELOPMENT
9591-9671 Steveston Hwy
10831 Southdale Rd
RICHMOND, BC

ALR BUFFER PLAN

DATE: 10 MAY 24	DRAWING NUMBER:
SCALE: 1/8"=1'-0"	
DRAWN: DT	
DESIGN: DT	
CHK'D: HTM	
M2LA PROJECT NUMBER: 18-039	

DP 20-896138
Plan #3.D
December 14, 2020
OF 12

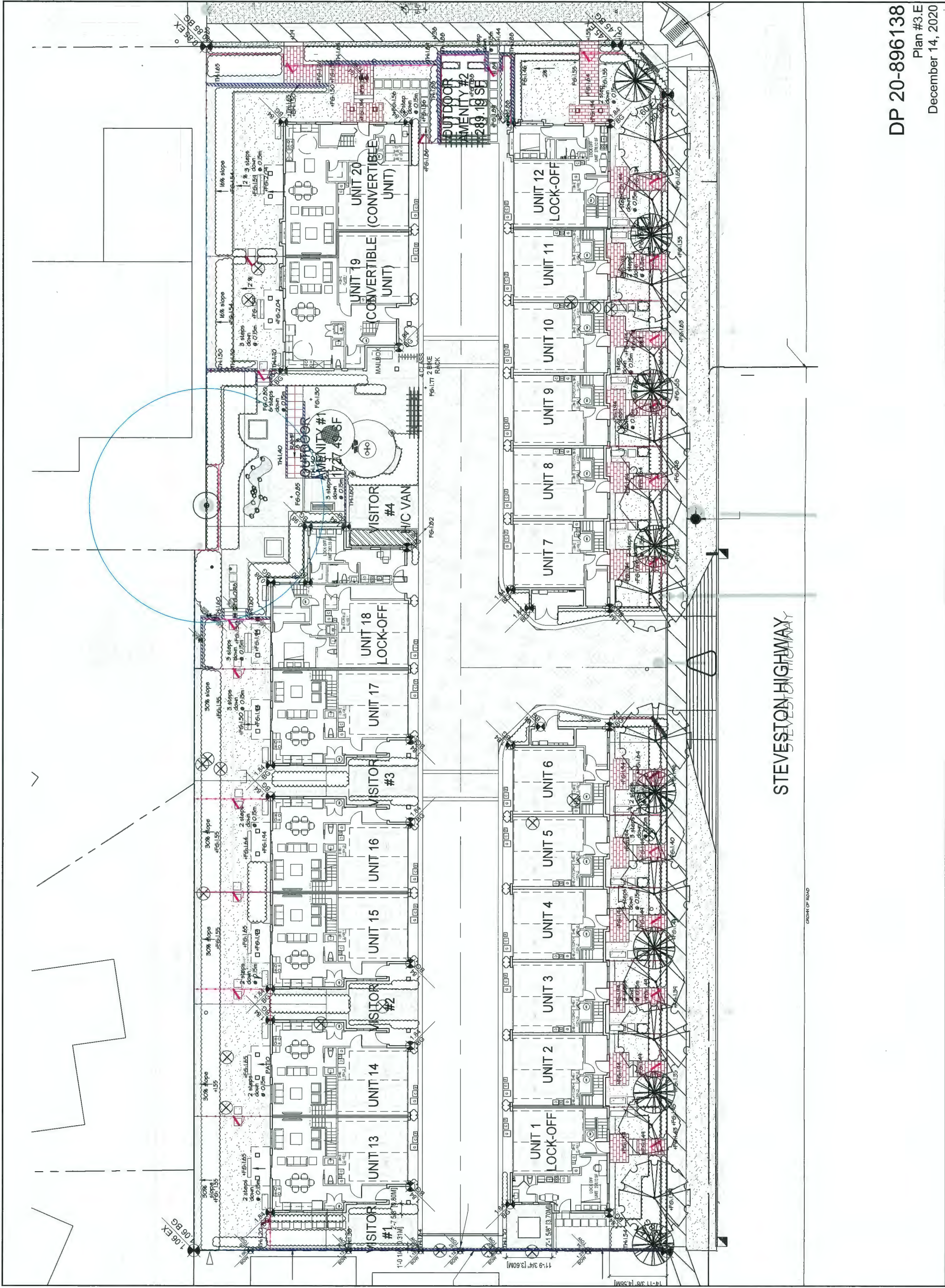
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PROJECT:

**STEVESTON TOWNHOUSE
DEVELOPMENT**
9591-9671 Steveston Hwy
10831 Southdale Rd
RICHMOND, BC

DRAWING TITLE:

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OF 12 18-039	
M2LA PROJECT NUMBER:	



DP 20-896138
Plan #3.E
December 14, 2020

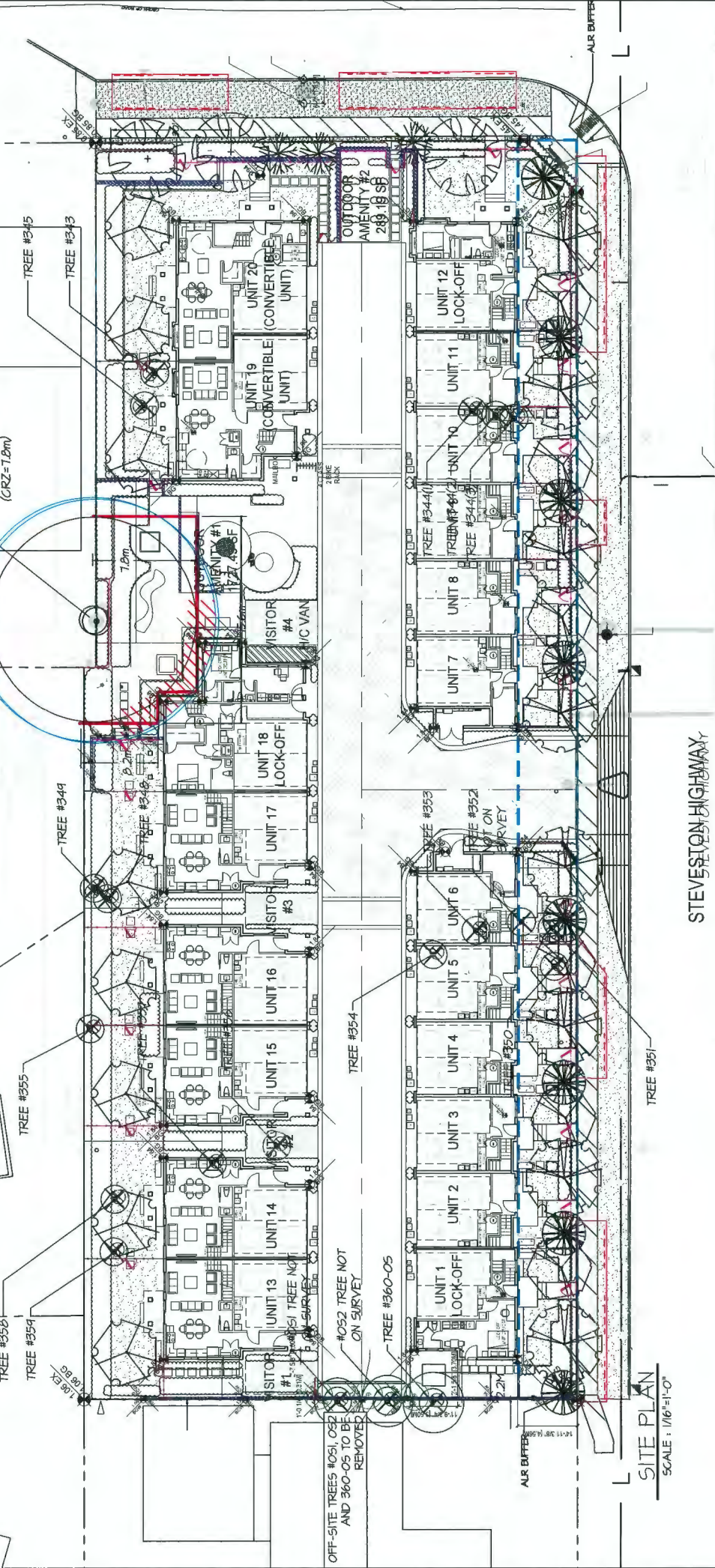
EXISTING TREES:

refer to the arborist report

Tree Number	Species	DBH cm
343	<i>Prunus</i> spp. Flowering cherry	22
344	<i>Chaemacyparis pisifera</i> , Sawara cypress	40 (average)
345	<i>Betula pendula</i> , European birch	62
346	<i>Acer pseudoplatanus</i> , Sycamore maple	130
347	<i>Quercus robur</i> , English oak	57
348	<i>Acer pseudoplatanus</i> , Sycamore maple	15 (average)
349	<i>Acer pseudoplatanus</i> , Sycamore maple	16 (average)
350	<i>Pinus densifolia</i> , Japanese red pine	38
351	<i>Prunus cerasifera</i> , Flowering plum	45
352	<i>Acer palmatum</i> , Japanese maple	10 (average)
353	<i>Pinus densifolia</i> , Japanese red pine	30
354	<i>Pinus densifolia</i> , Japanese red pine	26
355	<i>Picea pungens</i> , Blue colorado spruce	38
356	<i>Prunus cerasifera</i> , Flowering plum	26
357	<i>Aesculus hippocastanum</i> , Horsechestnut	100
358	<i>Malus</i> spp., Apple	30
359	<i>Pyrus calleryana</i> , Pear	20
360-OS	<i>Pinus nigra</i> , Austrian pine	35
OS1	<i>Pinus nigra</i> , Austrian pine	27
OS2	<i>Pinus nigra</i> , Austrian pine	30

TOTAL NO. OF REPLACEMENT TREES : 36

PLANT SCHEDULE - OVERALL			
PLANT	SYMBOL	QUANTITY	REMARKS
343		1	NOT CAL IN R
344		1	NOT CAL IN R
345		1	NOT CAL IN R
346		1	NOT CAL IN R
347		1	NOT CAL IN R
348		1	NOT CAL IN R
349		1	NOT CAL IN R
350		1	NOT CAL IN R
351		1	NOT CAL IN R
352		1	NOT CAL IN R
353		1	NOT CAL IN R
354		1	NOT CAL IN R
355		1	NOT CAL IN R
356		1	NOT CAL IN R
357		1	NOT CAL IN R
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359		1	NOT CAL IN R
360-OS		1	NOT CAL IN R
OS1		1	NOT CAL IN R
OS2		1	NOT CAL IN R



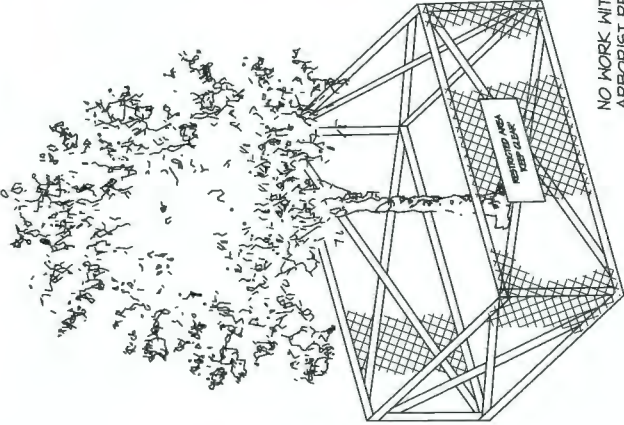
STEEVESTON HIGHWAY

NOTE: ALL TREES REGARDLESS OF SIZE ARE PROTECTED IN HIGH ENVIRONMENTALLY SENSITIVE AREAS

TREE PROTECTION DISTANCE TABLE

TRUNK DIAMETRE In cm. @ dbh. #	MINIMUM REQUIRED PROTECTION RADIUS (DISTANCE FROM TRUNK IN METRES)
20	1.2
25	1.5
30	1.8
35	2.1
40	2.4
45	2.7
50	3
55	3.3
60	3.6
75	4.5
90	5
100	6.0

EXTRAPOLATE PROTECTION RADIUS FOR TREES LARGER THAN 100CM dbh.
*DIAMETRE AT BREAST HEIGHT OR 1.4M FROM GRADE.



SOLID 2x4 CONSTRUCTION WITH CROSS BRACING AND TOP AND BOTTOM RAILS

PLASTIC MESH SCREENING

NO WORK WITHIN 1.5M OF TREE PROTECTION FENCING
ARBORIST REQUIRED ON SITE TO MONITOR ALL WORK WITHIN TPZ

1 TREE PROTECTION BARRIER

N.T.S.

DP 20-896138

Plan #3.F

December 14, 2020

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NO.	DATE	REVISION DESCRIPTION	DR.
20	2020/08/08	REV. AS PER CITY COMMENTS	GB
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18	2020/07/02	REV. AS PER CITY COMMENTS	GB
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SEAL:

PROJECT:

STEEVESTON TOWNHOUSE
DEVELOPMENT
9691-9671 Steveston Hwy
10831 Southdale Rd
RICHMOND, BC

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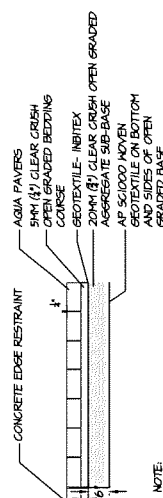
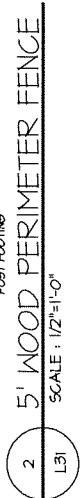
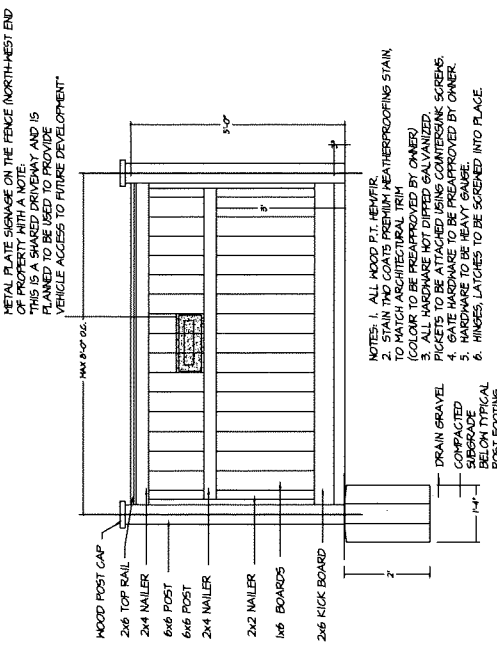
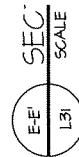
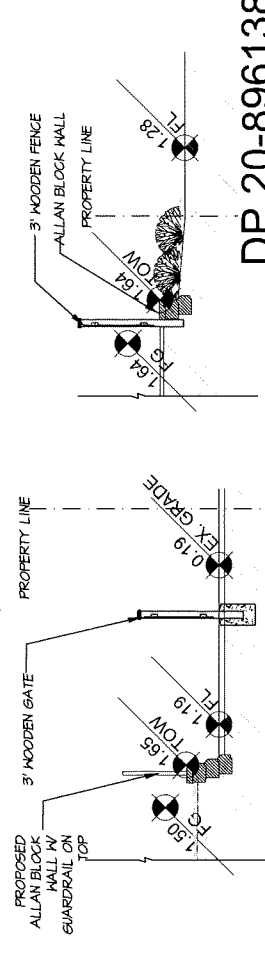
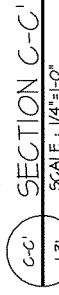
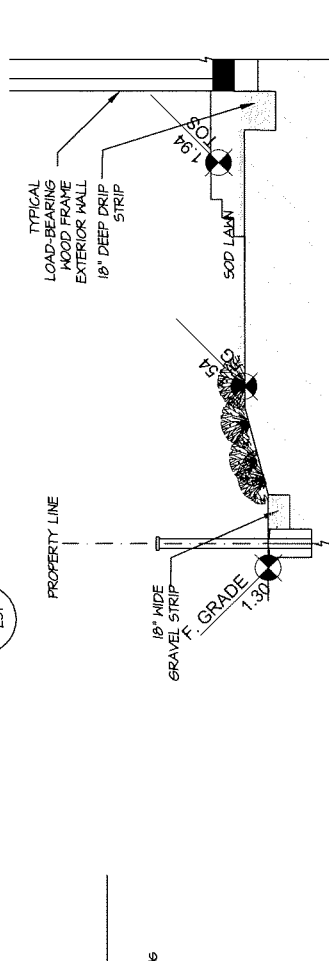
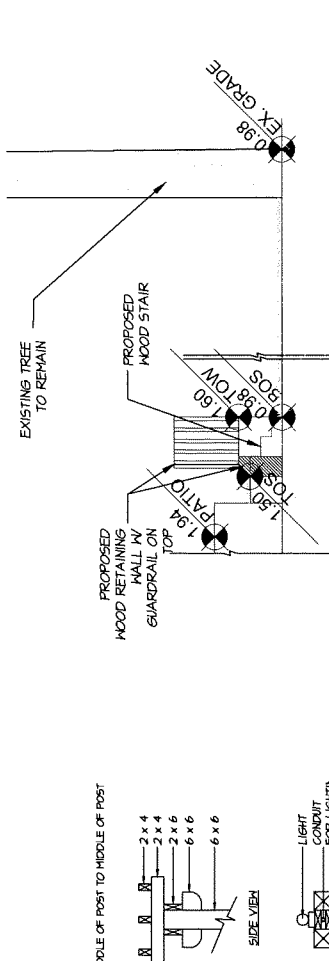
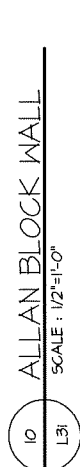
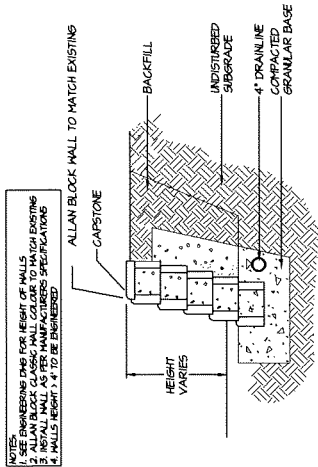
TREE MANAGEMENT
PLAN

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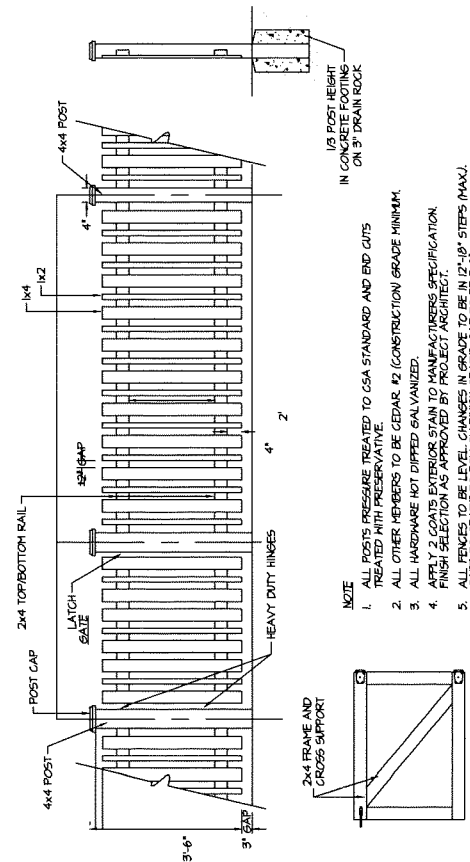
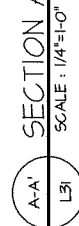
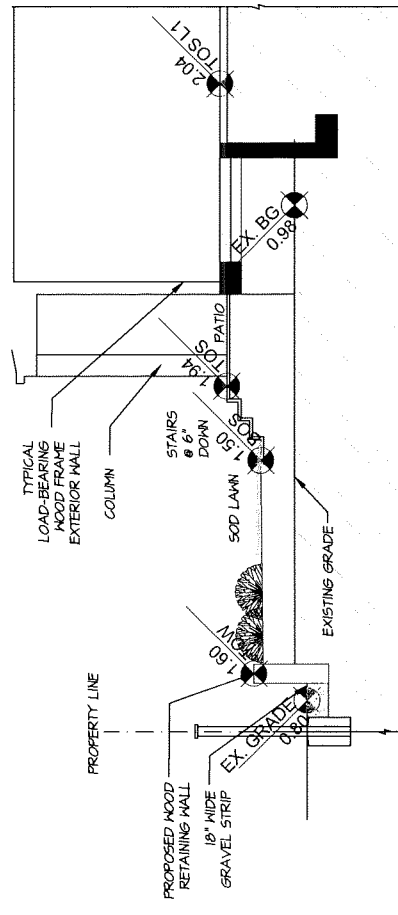
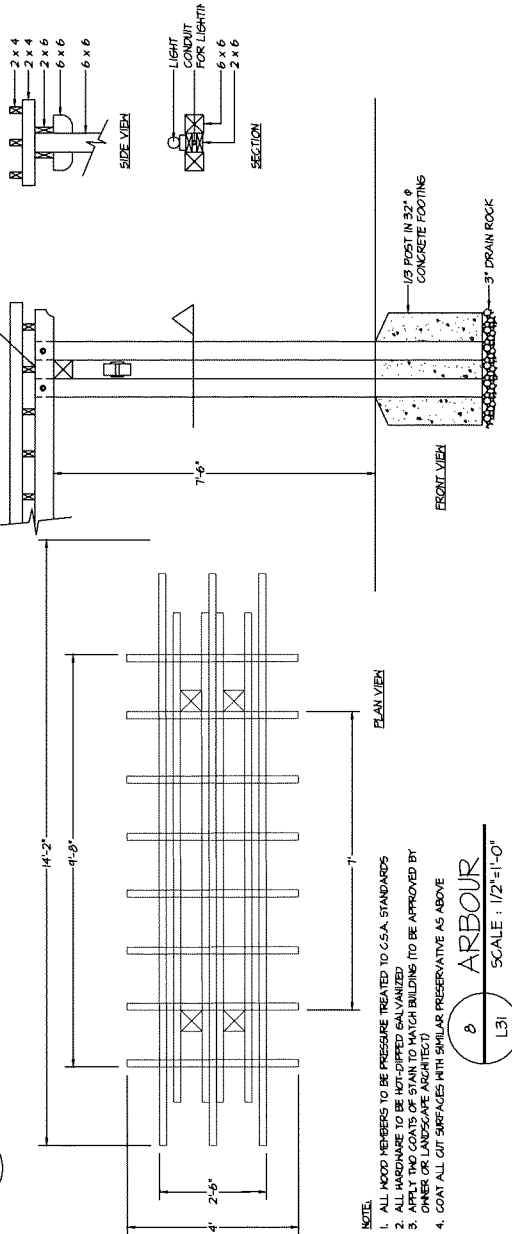
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M2LA PROJECT NUMBER:	19-039

OF 12

#220 - 26 Lorne Mews
New Westminster, British Columbia
V3M 3L7
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Fax: 604.553.0045
Email: office@m2la.com

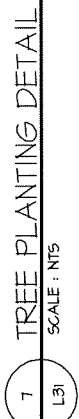
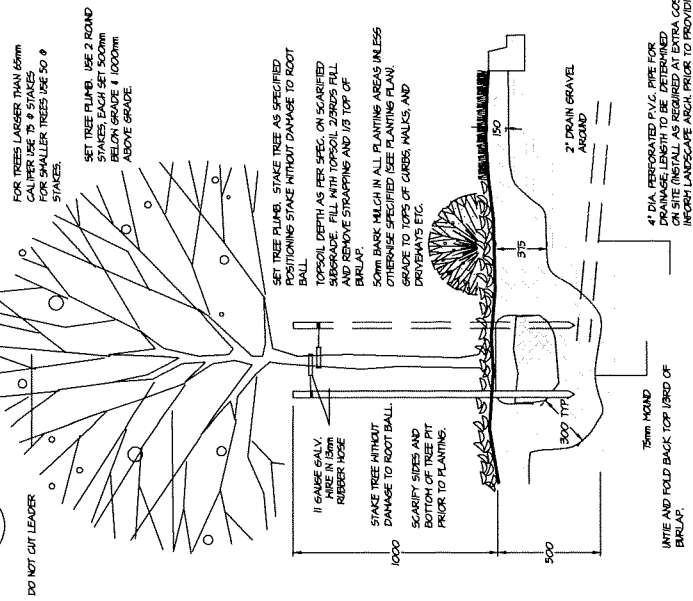
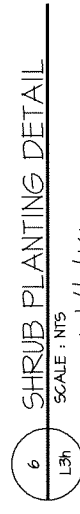
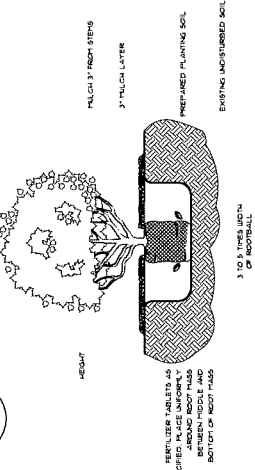
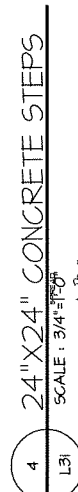
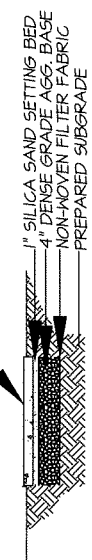
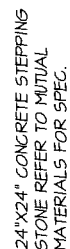


NOTE:
- INSTALLATION AS PER MANUFACTURING SPECIFICATION
- DRAINAGE NEEDS TO COORDINATED WITH CIVIL ENGINEER



NOTE

1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
2. ALL OTHER MEMBERS TO BE CEDAR #2 (CONSTRUCTION) GRADE MINIMUM.
3. ALL HARDWARE NOT DIPPED GALVANIZED.
4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION FOR FINISH AS APPROVED BY PROJECT ARCHITECT.
5. ALL FRAMES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12'-0" STEPS. SLOPE TO GRADE 1:12. UNFINISHED GRADE TO BE 12'-0" TO 12'-6" STEPS.

[illegible]

SEAL:

**STEVESTON TOWNHOUSE
DEVELOPMENT**

1-9671 Steveston Hwy
10831 Southdale Rd
RICHMOND, BC

DRAWING TITLE:

LANDSCAPE DETAILS

DATE: 10 MAY 24	OF 12 18-039 M2LA PROJECT NUMBER:
DRAWING NUMBER:	
SCALE: VARIES	
DRAWN: DY	
DESIGN: DY	
CHK'D: MTH	

DP 20-896138

Plan #3.H
December 14, 2020

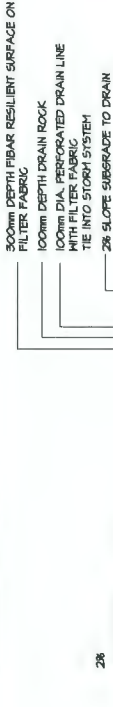
SEC-
SCALE

D-D'
SECTION D-D'
SCALE: 1/4"=1'-0"

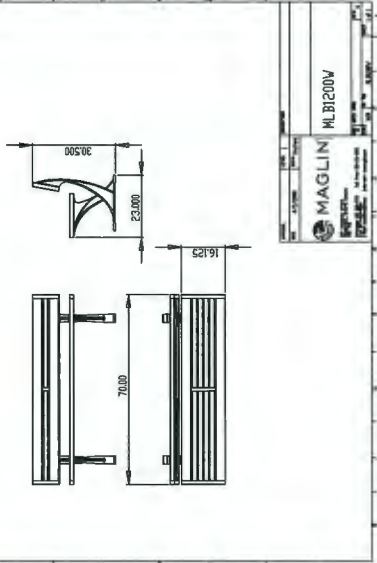
SECTION A-A'
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DETAIL

7 TREE PL
SCALE : NTS



1 PLAY AREA FIBAR SURFACE DETAIL
L3J SCALE : 1/2" = 1'-0"



MAGLIN BENCH SEATING UNIT # MB 2007M BENCH

MATERIALS: THE MB 2007M SERIES BENCHES ARE MADE FROM SOLID CAST ALUMINUM. THE SEAT AND BACK RESTS ARE MADE FROM 100% RECYCLED POLYETHYLENE GLASS FIBER REINFORCED PLASTIC (FRP) PLANKS. THE FRP PLANKS ARE FINISHED WITH A DURABLE FINISH ON ALL METAL SURFACES. THE FRP PLANKS ARE FINISHED WITH A DURABLE FINISH. METAL COLOR TO BE GRANTHURTS FRP PLANKS.

OPTIONS: SEAT AND BACK RESTS MAY BE PROVIDED OR NOT.

SIZE AND WEIGHT: SEAT AND BACK RESTS ARE 70" X 24" X 16".

INSTALLATION: THE MB 2007M SERIES BENCHES ARE DELIVERED PRE-ASSEMBLED. HOLES (2x4") ARE PROVIDED IN EACH PLANK FOR EASY INSTALLATION. THE BENCHES ARE TO BE INSTALLED ON A 6" DEPTH COMPACTED ROAD BASE SUB BASE. TYPICAL.

FINISHES: ALL STEEL COMPONENTS ARE PROTECTED WITH E-COAT RUST PROOFING. THE MAGLIN FRP BENCH SEATING SYSTEM PROVIDES A DURABLE FINISH ON ALL METAL SURFACES. THE FRP PLANKS ARE FINISHED WITH A DURABLE FINISH. METAL COLOR TO BE GRANTHURTS FRP PLANKS.

5 BENCH
L3J BY MAGLIN



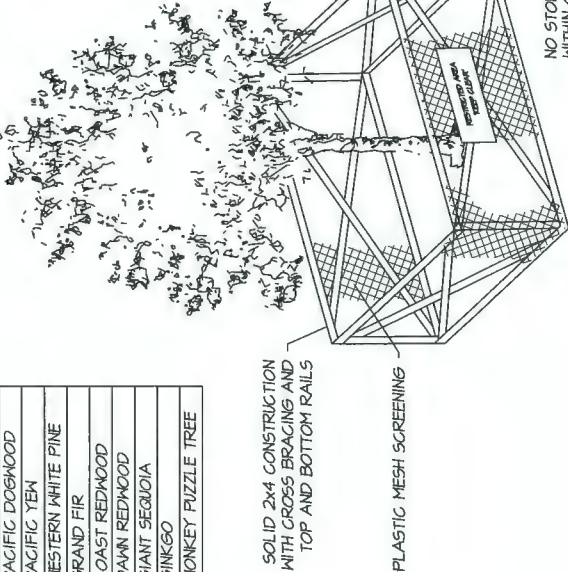
2 EC-018 PLAYHOUSE
L3J BY KOMPAN



6 48"X21"20" PALLET GARDEN BED
L3J BY SHIFTING GROWTH

TREES PROTECTED BY SPECIES

ARBUTUS
GARRY OAK
PACIFIC DOGWOOD
PACIFIC YEW
NORTHERN WHITE PINE
GRAND FIR
COAST REDWOOD
DAWN REDWOOD
GIANT SEQUOIA
GINKGO
MONKEY PUZZLE TREE



8 TREE PROTECTION FENCE
L3J SCALE : NTS



3 BOBBLE RIDER DOUBLE
L3J BY HABITAT SYTEM



1 BIKE RACK
L3J BY MAGLIN 300SERIES-300 BIKE RACK, BLACK POWDER COATED

NOTE: ALL TREES REGARDLESS OF SIZE ARE PROTECTED IN HIGH ENVIRONMENTALLY SENSATIVE AREAS

TREE PROTECTION DISTANCE TABLE

TRUNK DIAMETRE in cm. @ 1.4m	MINIMUM REQUIRED PROTECTION RADIUS (DISTANCE FROM TRUNK IN METRES)
20	1.2
25	1.5
30	1.8
35	2.1
40	2.4
45	2.7
50	3
55	3.3
60	3.6
75	4.5
90	5
100	6.0

EXTRAPOLATE PROTECTION RADIUS FOR TREES LARGER THAN 100CM DBH. *DIAMETRE AT BREAST HEIGHT OR 1.4M FROM GRADE.

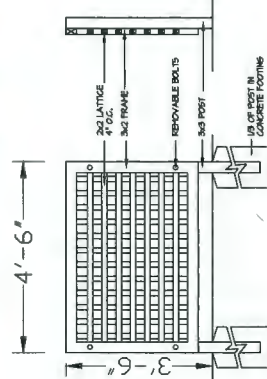
NO STORAGE OF BUILDING MATERIALS WITHIN OR AGAINST PROTECTION BARRIER



4 COZY DOME
L3J BY HABITAT SYSTEM

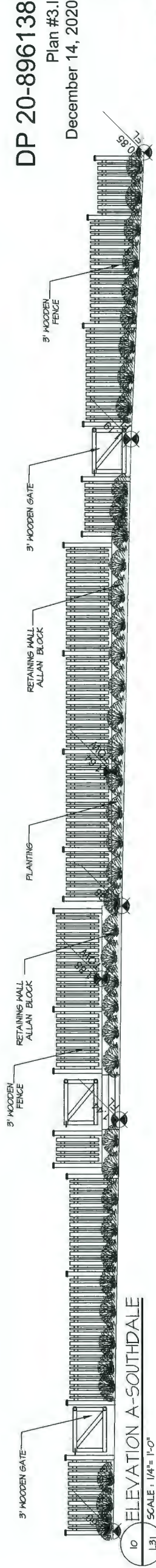


PLAYGROUND PLAY MAT RESISTANT SURFACING RUBBER TILE, DISTRIBUTOR REC TEC INDUSTRIES INC.



NOTES:
1. ALL POSTS AND RAILS PRESSURE TREATED TO CSA STANDARD AND END GRANTS ARE TO BE GALVANIZED.
2. ALL OTHER MATERIALS TO BE GALVANIZED.
3. ALL HARDWARE NOT SUPPLIED GALVANIZED.
4. APPLY 2 COATS EXTERIOR PAINT TO HARDWARE SPECIFICATION.
5. FENCE SECTION AS APPROVED BY PROJECT ARCHITECT.

9 SCREEN
L3J SCALE : 1/2" = 1'-0"



10 ELEVATION A-SOUTHDAL
L3J SCALE : 1/4" = 1'-0"

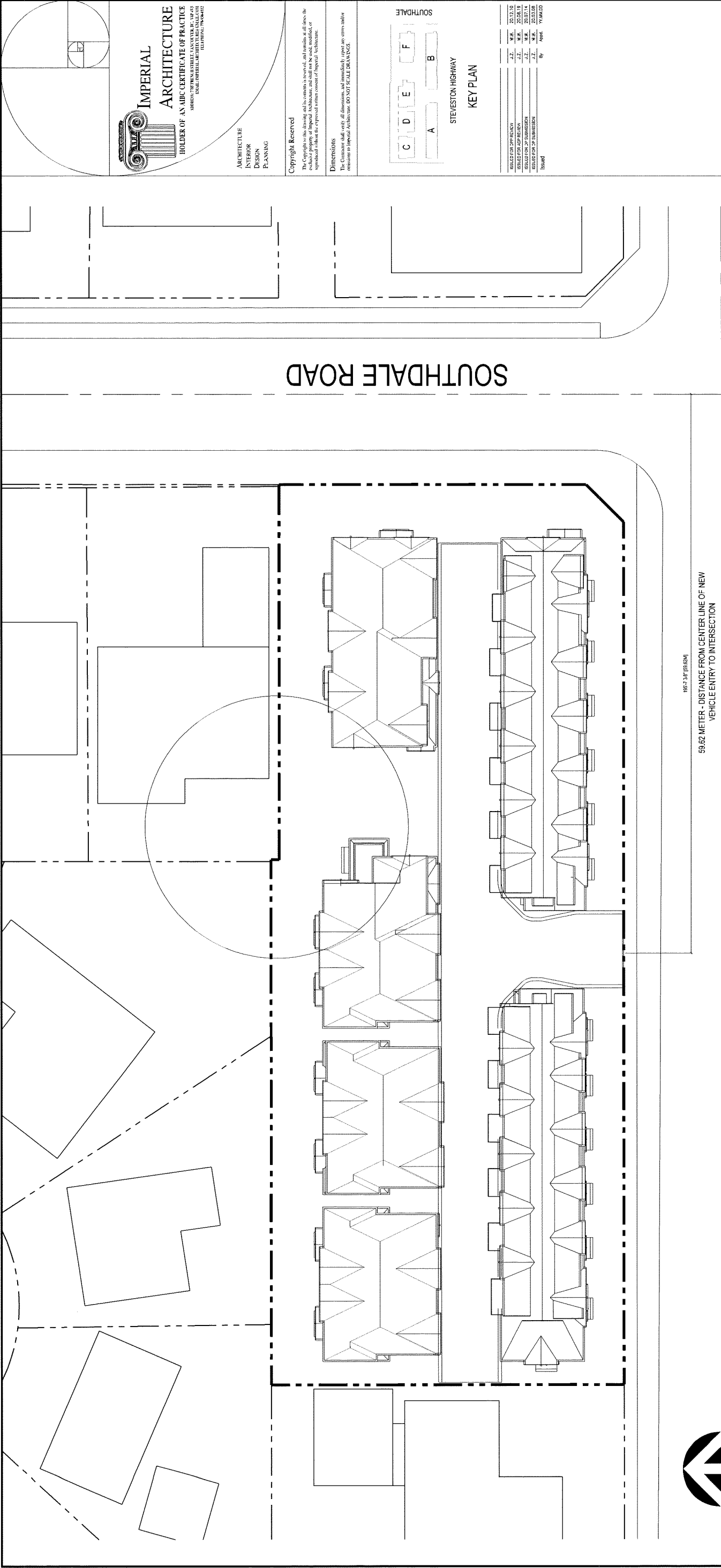
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1	2020/04/10	REV. AS PER CITY COMMENTS	GB
NO.	DATE	REVISION DESCRIPTION	DR.

SEAL:

PROJECT:
STEVESTON TOWNHOUSE DEVELOPMENT
9591-9671 Steveston Hwy
10831 Southdale Rd
RICHMOND, BC

DRAWING TITLE:
LANDSCAPE DETAILS

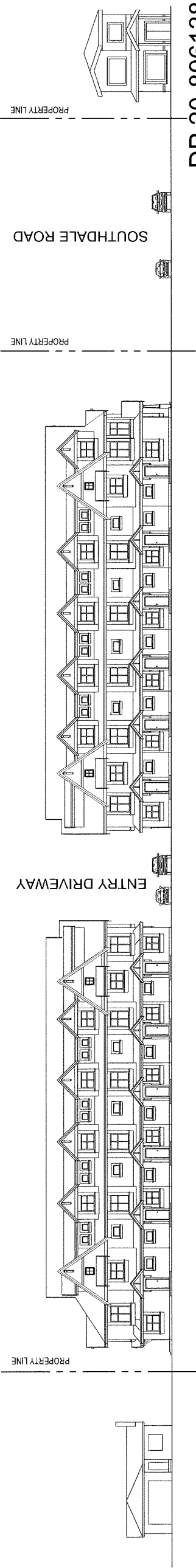
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DRAWN:	DT	
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CHECK:	MTM	



195.7 3.8' (59.6M)
59.62 METER - DISTANCE FROM CENTER LINE OF NEW
VEHICLE ENTRY TO INTERSECTION

1 SITE CONTEXT PLAN
A0.5 SCALE 1/16"=1'-0"

STEVESTON HIGHWAY



2 STEVESTON HWY STREET ELEVATION
A0.5 SCALE 1/16"=1'-0"

DP 20-896138
REFERENCE PLAN
December 14, 2020

IMPERIAL ARCHITECTURE
HOLDER OF AN ABC CERTIFICATE OF PRACTICE
ARCHITECTURE ACT (R.S.O. 1990, CHAPTER A.3)
10851 SOUTHDALE ROAD, RICHMOND, BC
V6X 4C6
(604) 276-1140
WWW.IMPERIAL-ARCHITECTURE.COM

ARCHITECTURE
INTERIOR
DESIGN
PLANNING

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Dimensions
The Contractor shall verify all dimensions and measurements, report any errors, omissions or discrepancies to Imperial Architecture. DO NOT SCALE DRAWINGS.

Revisions
Revisions shall be indicated by a circled number in the revision table below.

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR DPP REVIEW	20.12.10	W.A.
2	ISSUED FOR APP REVIEW	20.06.19	W.A.
3	ISSUED FOR 2P SUBMISSION	20.07.14	W.A.
4	ISSUED FOR 3P SUBMISSION	20.03.08	W.A.
5	ISSUED FOR 3P SUBMISSION	20.03.08	W.A.
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100	ISSUED FOR 3P SUBMISSION	20.03.08	W.A.

ISSUED FOR
DPP REVIEW
2020-12-10

Client/Project
STEVESTON TOWNHOUSE
DEVELOPMENT
9871 9591 9871 STEVESTON HWY &
10851 SOUTHDALE ROAD, RICHMOND, BC
(DP 20-896138)

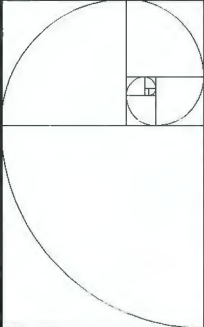
Title
SITE CONTEXT PLAN

Project No.
#8211

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1/16"=1'-0"

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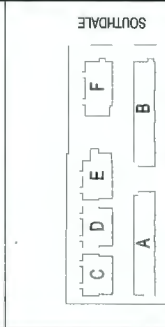
Revision



ARCHITECTURE
INTERIOR
DESIGN
PLANNING

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Dimensions
The Designer shall verify all dimensions, and immediately report any errors and/or omissions to Imperial Architecture. DO NOT SCALE DRAWINGS.



ISSUED FOR DPP REVIEW	1.2	18.0	20.12.10
ISSUED FOR DPP REVIEW	1.2	18.0	20.08.18
ISSUED FOR DPP REVIEW	1.2	18.0	20.07.18
ISSUED FOR DPP REVIEW	1.2	18.0	20.07.18
ISSUED FOR DPP REVIEW	1.2	18.0	20.07.18
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ISSUED FOR DPP REVIEW	1.2	18.0	20.07.18
ISSUED FOR DPP REVIEW	1.2	18.0	20.07.18

Client/Project
STEVESTON TOWNHOUSE
DEVELOPMENT
9571, 9591, 9611, 9671 STEVESTON HWY &
10831 SOUTHDAL ROAD, RICHMOND, BC
(DP 20-896138)

Title
BUILDING A
FLOOR PLANS

Project No.
#8211

Scale
1/8"=1'-0"

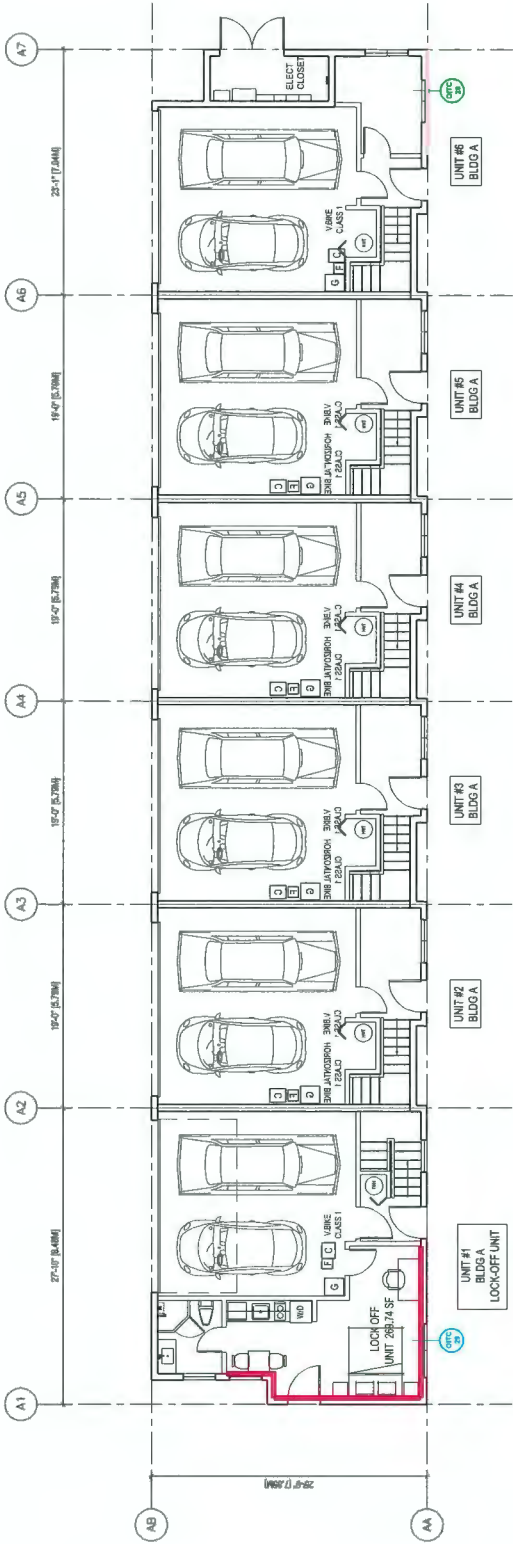
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Revision

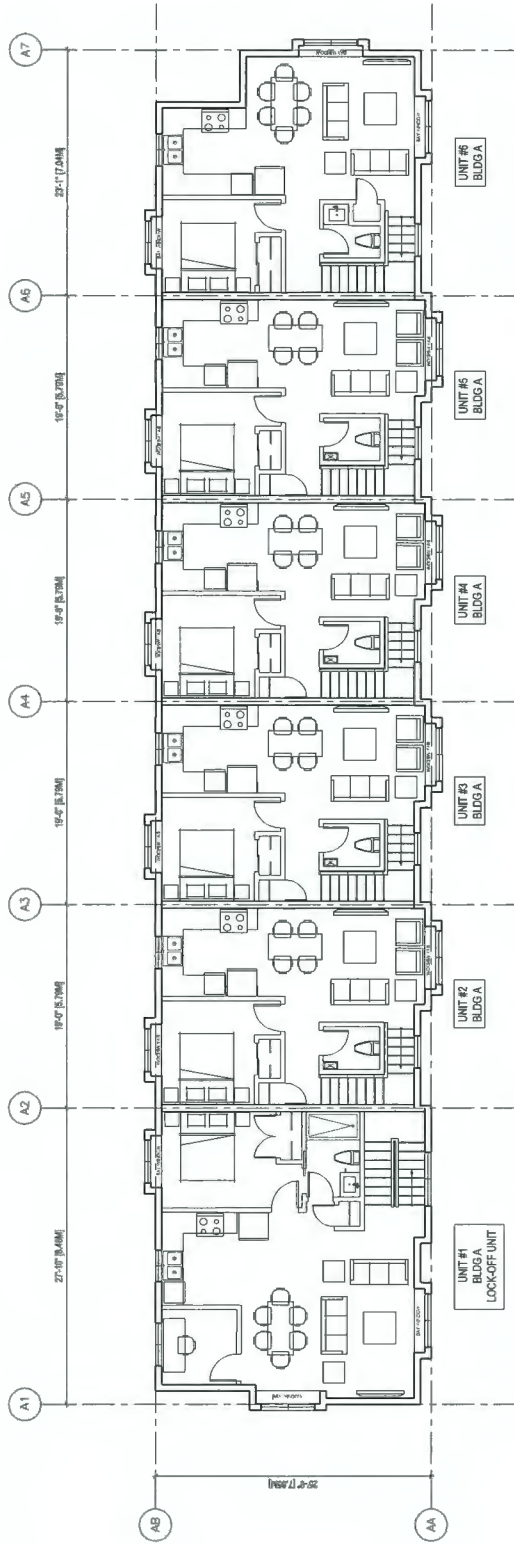
GENERAL NOTES:
1. AGING IN PLACE FEATURES SUCH AS STAIRWELL HANDRAILS, SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BARS INSTALLATION BESIDE TOILET, SHOWER AND BATH TUBS, AND HANDRAILS FOR RAMPING, EXTERIOR AND DOOR HANDLES WILL BE PROVIDED IN ALL UNITS.
2. UNITS 19 & 20 ARE THE CONVERTIBLE UNITS.
3. UNITS 1, 12 & 18 CONTAIN LOCK-OFF UNITS.
4. 3-STORY TOWNHOUSE UNIT FIRE EXITING AND TRAVEL DISTANCE DESIGN COMPLIED WITH BCBC 9.9.3.1.3) AS OPEN BALCONIES ARE PROVIDED TO 3RD FLOOR OF ALL 3-STORY TOWNHOUSE UNITS.

ACQUISITION UPDATE REQUIRED ON EXTERIOR WALLS & WINDOWS - REFER TO ACQUISITION REPORT ISSUED BY BKL DATED OCT 20, 2020	MINIMUM OTIC RATING	EXAMPLE WINDOW GLAZING & WALL UPGRADES
	OTIC 28	WINDOW - MIN. OTIC 28 REQUIRED
	OTIC 29	WINDOW - MIN. OTIC 29 REQUIRED
	OTIC 30	WINDOW - MIN. OTIC 30 REQUIRED
	OTIC 31	WINDOW - MIN. OTIC 31 REQUIRED
	OTIC 32	WINDOW - MIN. OTIC 32 REQUIRED
	OTIC 33	WINDOW - MIN. OTIC 33 REQUIRED
	OTIC 34	WINDOW - MIN. OTIC 34 REQUIRED
	OTIC 35	WINDOW - MIN. OTIC 35 REQUIRED
	OTIC 36	WINDOW - MIN. OTIC 36 REQUIRED
	OTIC 37	WINDOW - MIN. OTIC 37 REQUIRED
	OTIC 38	WINDOW - MIN. OTIC 38 REQUIRED
	OTIC 39	WINDOW - MIN. OTIC 39 REQUIRED
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	OTIC 49	WINDOW - MIN. OTIC 49 REQUIRED
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	OTIC 51	WINDOW - MIN. OTIC 51 REQUIRED
	OTIC 52	WINDOW - MIN. OTIC 52 REQUIRED
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	OTIC 54	WINDOW - MIN. OTIC 54 REQUIRED
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	OTIC 74	WINDOW - MIN. OTIC 74 REQUIRED
	OTIC 75	WINDOW - MIN. OTIC 75 REQUIRED
	OTIC 76	WINDOW - MIN. OTIC 76 REQUIRED
	OTIC 77	WINDOW - MIN. OTIC 77 REQUIRED
	OTIC 78	WINDOW - MIN. OTIC 78 REQUIRED
	OTIC 79	WINDOW - MIN. OTIC 79 REQUIRED
	OTIC 80	WINDOW - MIN. OTIC 80 REQUIRED
	OTIC 81	WINDOW - MIN. OTIC 81 REQUIRED
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	OTIC 84	WINDOW - MIN. OTIC 84 REQUIRED
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	OTIC 93	WINDOW - MIN. OTIC 93 REQUIRED
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	OTIC 97	WINDOW - MIN. OTIC 97 REQUIRED
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	OTIC 100	WINDOW - MIN. OTIC 100 REQUIRED

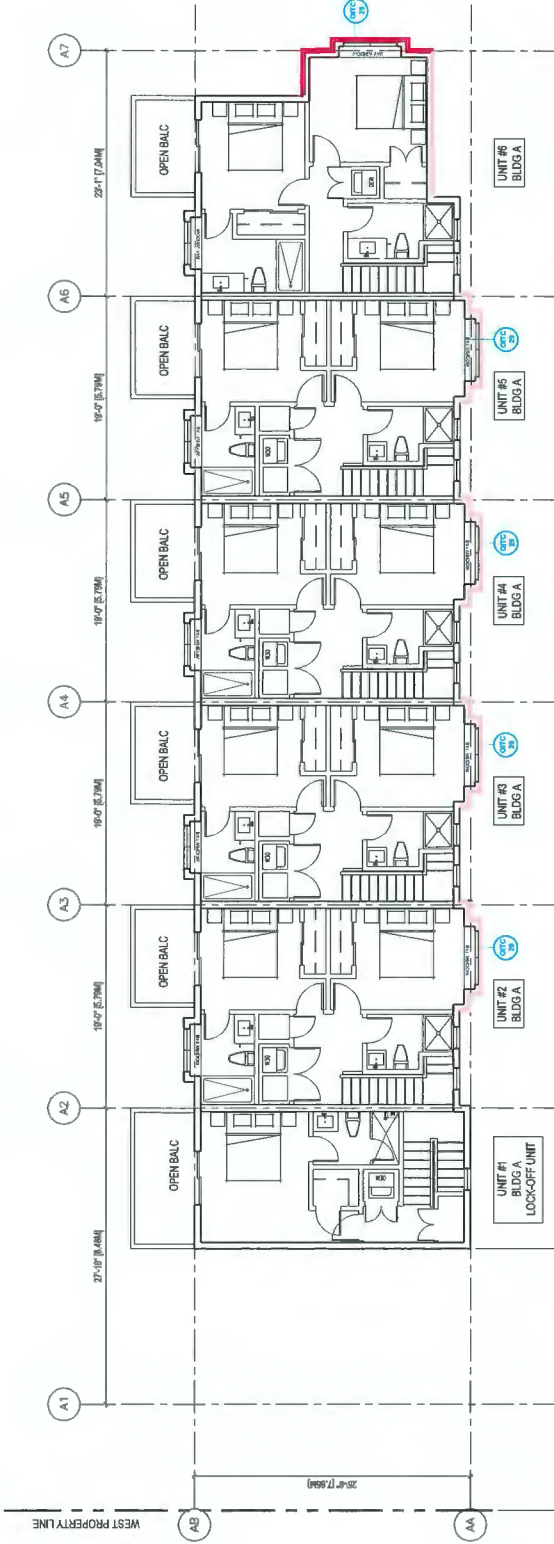
- 120L GARBAGE CART 0.95MH X 0.55MD X 0.48MW
- 46.5L FOOD SCRAPS CART 0.69MH X 0.30MD X 0.48MW
- BLUE CONTAINER BOX 0.37MH X 0.38M X 0.46MW
- GREY GLASS CONTAINER BOX 0.36MH X 0.36MD X 0.27MW
- YELLOW PAPER BAG CART 0.66MH X 0.46MD



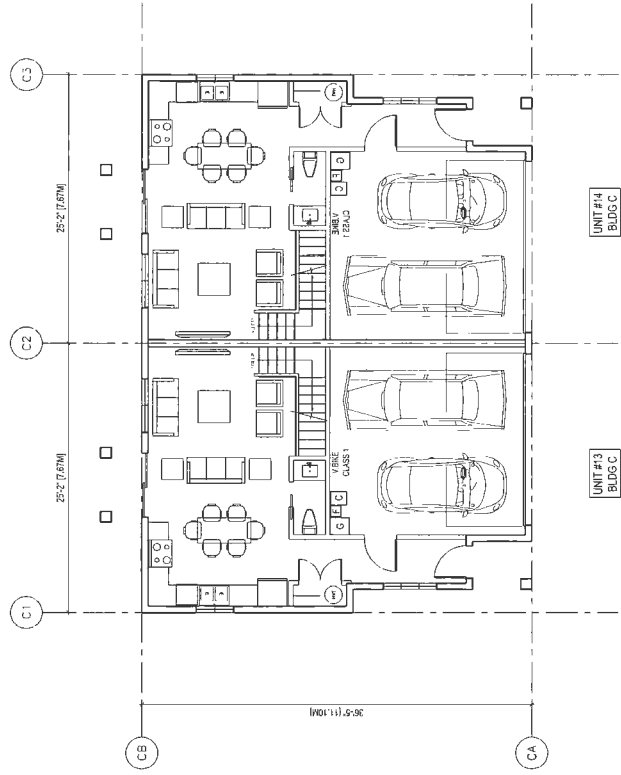
1 BUILDING A LEVEL 1 FLOOR PLAN
A2.1 SCALE 1/8"=1'-0"



2 BUILDING A LEVEL 2 FLOOR PLAN
A2.1 SCALE 1/8"=1'-0"



3 BUILDING A LEVEL 3 FLOOR PLAN
A2.1 SCALE 1/8"=1'-0"



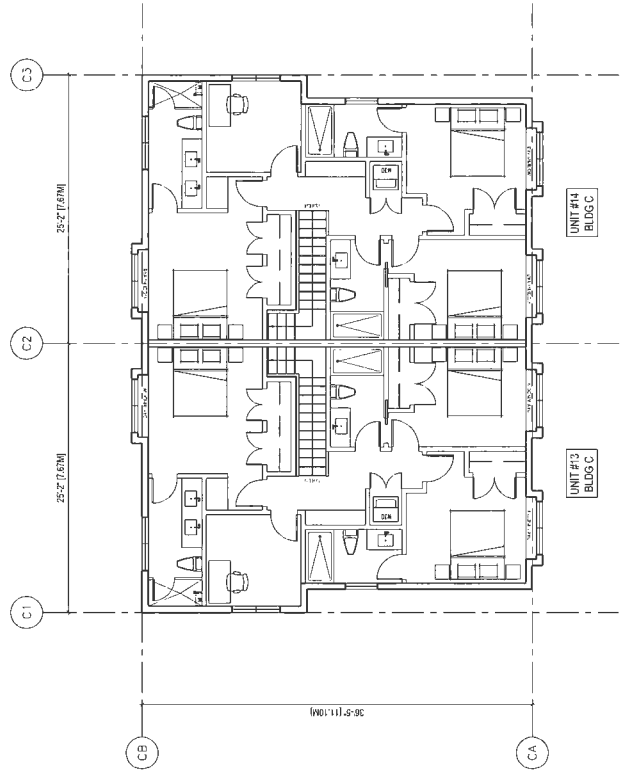
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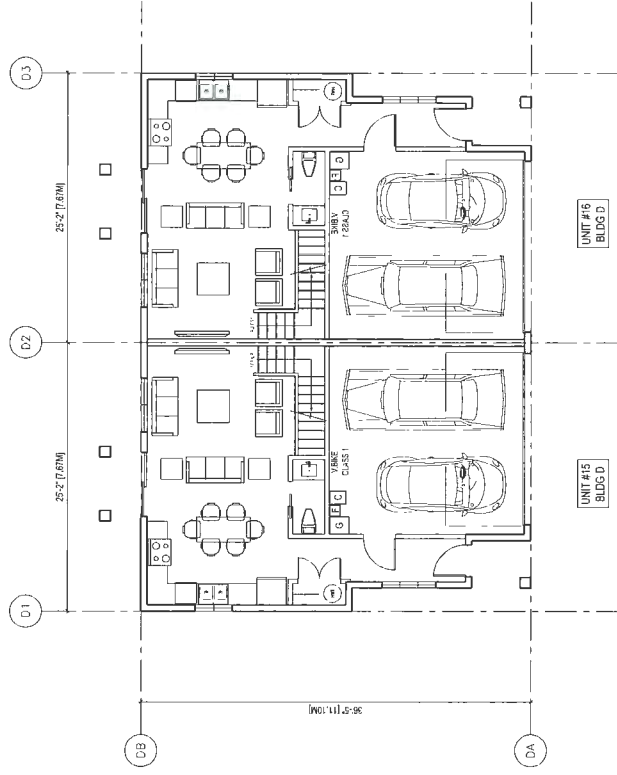
SCALE

1/8"=1'-0"

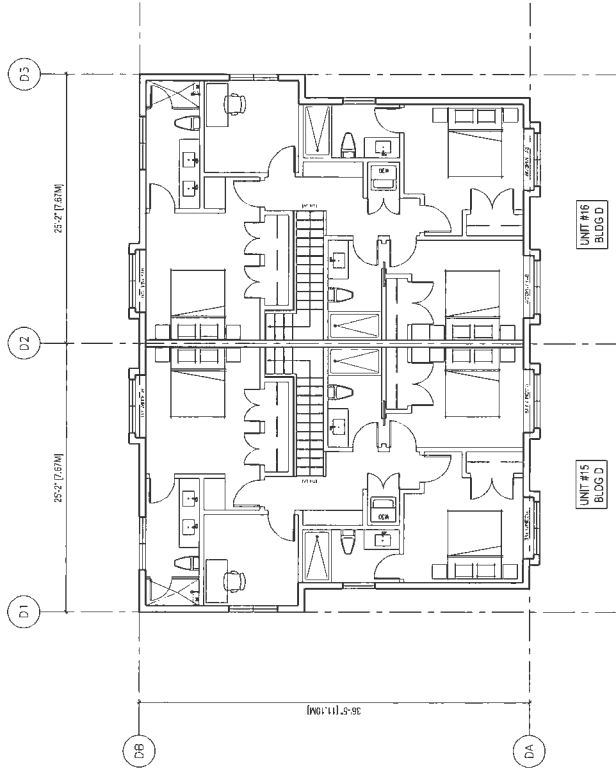
BUILDING C LEVEL 1 FLOOR PLAN



2 BUILDING C LEVEL 2 FLOOR PLAN
A2.3 SCALE 1/8"=1'-0"



3 BUILDING D LEVEL 1 FLOOR PLAN
A2.3 SCALE 1/8"=1'-0"



4 BUILDING D LEVEL 2 FLOOR PLAN
A2.3 SCALE 1/8"=1'-0"

GENERAL NOTES:

1. AGING IN PLACE FEATURES SUCH AS "STAIRWELL HANDRAILS, SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILET, BATHTUB AND SHOWER" AND "LEVER-TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES" WILL BE PROVIDED IN ALL UNITS.

2. UNITS 19 & 20 ARE THE CONVERTIBLE UNITS.

3. UNITS 1, 12 & 18 CONTAIN LOCK-OFF UNITS.

4. 3-STORY TOWNHOUSE UNIT FIRE EXITING AND TRAVEL DISTANCE DESIGN COMPLIED W/ BCBC 9.9.1.3) AS OPEN BALCONIES ARE PROVIDED TO 3RD FLOOR OF ALL 3-STORY TOWNHOUSE UNITS.

ACOUSTICAL UPDATE REQUIRED ON
EXTERIOR WALLS & WINDOWS :
(REFER TO ACOUSTICAL REPORT
ISSUED BY BKL DATED OCT 20, 2020)

MINIMUM OITC RATING		WINDOW - MIN. OITC 28 REQUIRED	EXAMPLE WINDOW GLAZING & WALL UPGRADES
		WINDOW - MIN. OITC 29 REQUIRED	
		WINDOW - MIN. OITC 32 REQUIRED	
		1 ADDITIONAL LAYER	
		2 ADDITIONAL LAYERS OF 5/8" TYPE X GWB	

- 120L GARBAGE CART 0.95MH X 0.55MD X0.48MW
- 46.5L FOOD SCRAPS CART 0.69MH X 0.30MD X 0.48MW
- BLUE CONTAINER BOX 0.37MH X 0.39M X 0.46MW
- GRAY GLASS CONTAINER BOX 0.36MH X 0.36MD X0.27MW
- YELLOW PAPER BAG CART 0.66MH X 0.49MD

ISSUED FOR
DPP REVIEW
2020-12-10

Client/Project

STEVESTON TOWNHOUSE
DEVELOPMENT
9571,9591, 9611,9671 STEVESTON HWY &
10831 SOUTHDIALE ROAD, RICHMOND, BC
(DP 20-896138)

Tide

BUILDING C & D
FLOOR PLANS

Project No. _____

#8211

Drawing No.

A

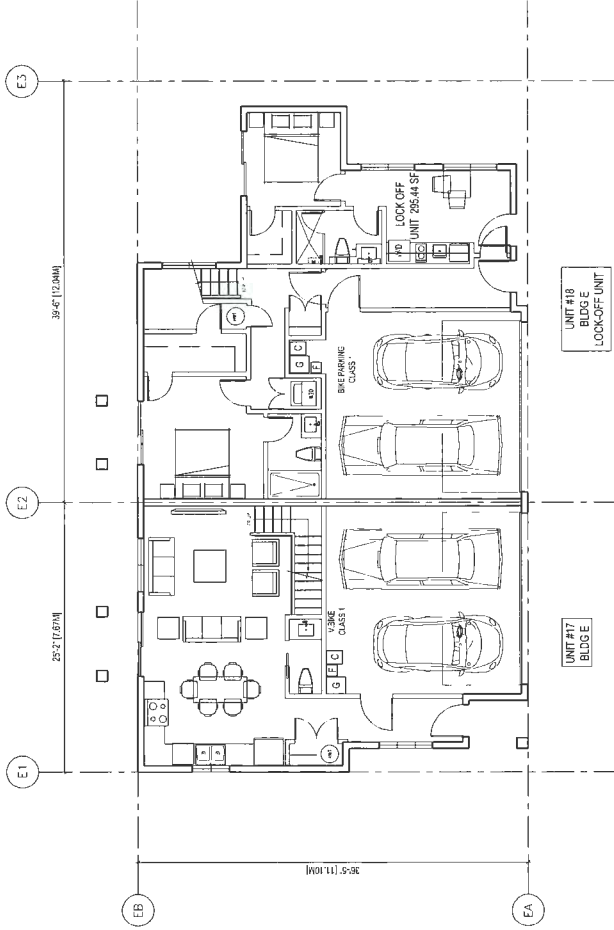
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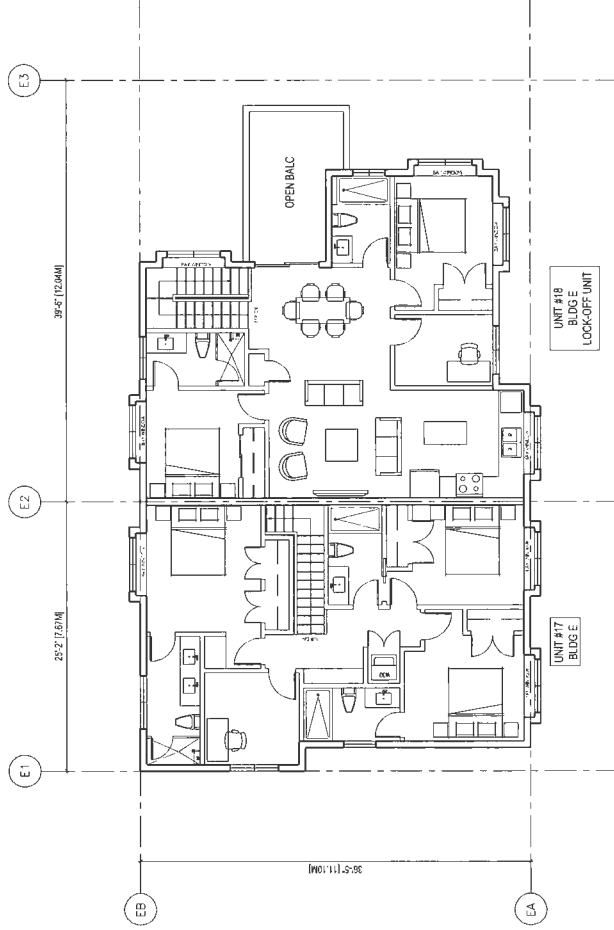
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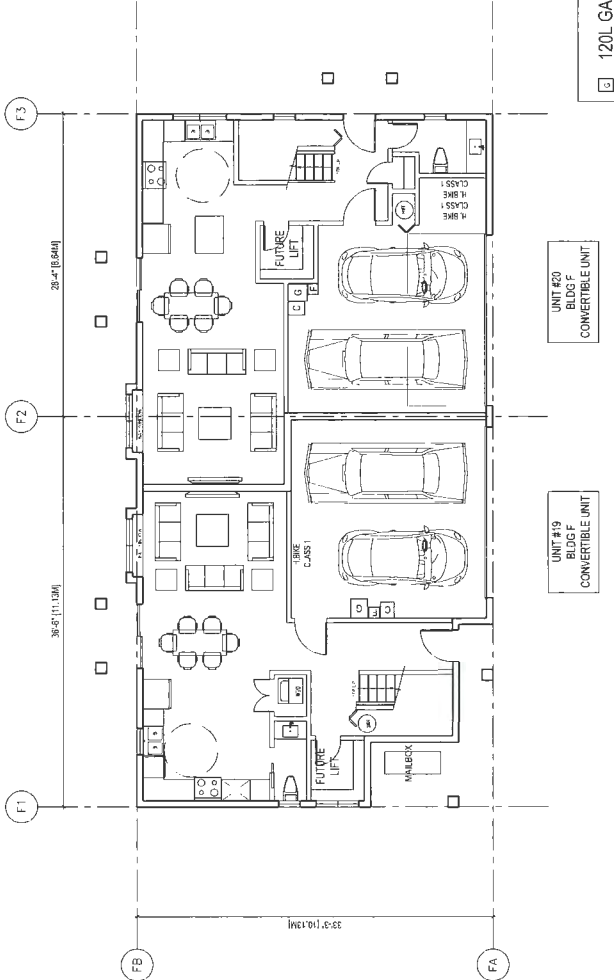
DP 20-896138
REFERENCE PLAN
December 14, 2020



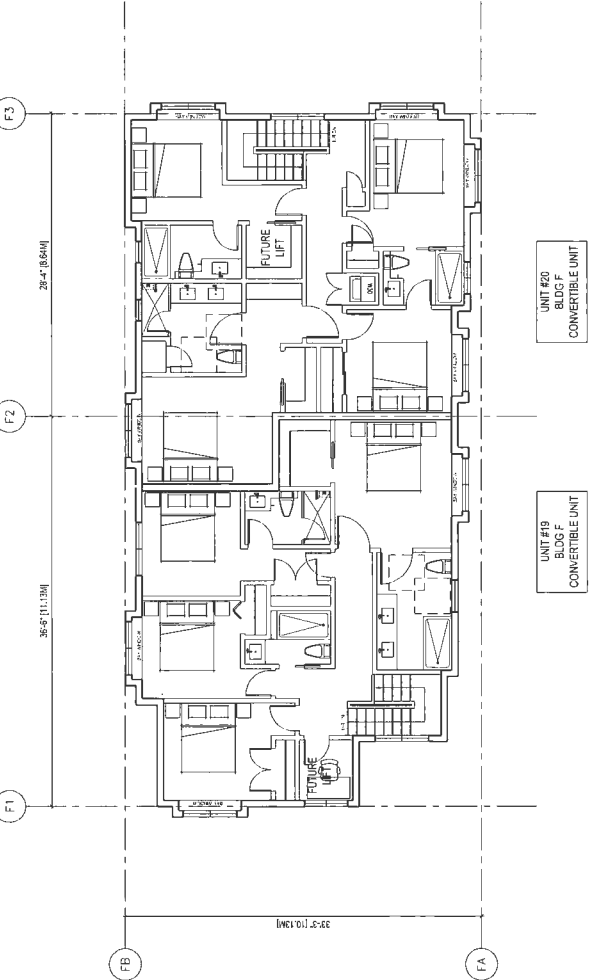
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A2.4 SCALE 1/8"=1'-0"



2 BUILDING E LEVEL 2 FLOOR PLAN
A2.4 SCALE 1/8"=1'-0"



3 BUILDING F LEVEL 1 FLOOR PLAN
A2.4 SCALE 1/8"=1'-0"

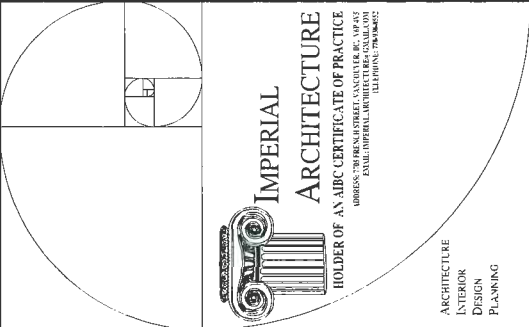


4 BUILDING F LEVEL 2 FLOOR PLAN
A2.4 SCALE 1/8"=1'-0"

GENERAL NOTES:
1. AGING IN PLACE FEATURES SUCH AS "STAIRWELL HANDRAILS, SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILET, BATHTUB AND SHOWER" AND "LEVER-TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES" WILL BE PROVIDED IN ALL UNITS.
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- 120L GARBAGE CART 0.95MH X 0.55MD X 0.48MW
- 46.5L FOOD SCRAPS CART 0.69MH X 0.30MD X 0.48MW
- BLUE CONTAINER BOX 0.37MH X 0.38M X 0.46MW
GREY GLASS CONTAINER BOX 0.36MH X 0.36MD X 0.27MW
YELLOW PAPER BAG CART 0.66MH X 0.46MD

ACoustical UPDATE REQUIRED ON EXTERIOR WALLS & WINDOWS (REFER TO ACoustical REPORT ISSUED BY BKL DATED OCT 20, 2020)	
MINIMUM OITC RATING	EXAMPLE WINDOW GLAZING & WALL UPGRADES
28	WINDOW - MIN. OITC 28 REQUIRED
29	WINDOW - MIN. OITC 29 REQUIRED
32	WINDOW - MIN. OITC 32 REQUIRED
35	WINDOW - MIN. OITC 35 REQUIRED
38	WINDOW - MIN. OITC 38 REQUIRED
41	WINDOW - MIN. OITC 41 REQUIRED
44	WINDOW - MIN. OITC 44 REQUIRED
47	WINDOW - MIN. OITC 47 REQUIRED
50	WINDOW - MIN. OITC 50 REQUIRED
53	WINDOW - MIN. OITC 53 REQUIRED
56	WINDOW - MIN. OITC 56 REQUIRED
59	WINDOW - MIN. OITC 59 REQUIRED
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92	WINDOW - MIN. OITC 92 REQUIRED
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98	WINDOW - MIN. OITC 98 REQUIRED
101	WINDOW - MIN. OITC 101 REQUIRED
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131	WINDOW - MIN. OITC 131 REQUIRED
134	WINDOW - MIN. OITC 134 REQUIRED
137	WINDOW - MIN. OITC 137 REQUIRED
140	WINDOW - MIN. OITC 140 REQUIRED
143	WINDOW - MIN. OITC 143 REQUIRED
146	WINDOW - MIN. OITC 146 REQUIRED
149	WINDOW - MIN. OITC 149 REQUIRED
152	WINDOW - MIN. OITC 152 REQUIRED
155	WINDOW - MIN. OITC 155 REQUIRED
158	WINDOW - MIN. OITC 158 REQUIRED
161	WINDOW - MIN. OITC 161 REQUIRED
164	WINDOW - MIN. OITC 164 REQUIRED
167	WINDOW - MIN. OITC 167 REQUIRED
170	WINDOW - MIN. OITC 170 REQUIRED
173	WINDOW - MIN. OITC 173 REQUIRED
176	WINDOW - MIN. OITC 176 REQUIRED
179	WINDOW - MIN. OITC 179 REQUIRED
182	WINDOW - MIN. OITC 182 REQUIRED
185	WINDOW - MIN. OITC 185 REQUIRED
188	WINDOW - MIN. OITC 188 REQUIRED
191	WINDOW - MIN. OITC 191 REQUIRED
194	WINDOW - MIN. OITC 194 REQUIRED
197	WINDOW - MIN. OITC 197 REQUIRED
200	WINDOW - MIN. OITC 200 REQUIRED



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ISSUED FOR APPROVAL	20.12.10	W.W.
ISSUED FOR APPROVAL	20.08.19	W.W.
ISSUED FOR APPROVAL	20.07.14	W.W.
ISSUED FOR APPROVAL	20.03.08	W.W.
ISSUED FOR APPROVAL	17.04.00	W.W.

STEVESTON HIGHWAY
KEY PLAN
SOUTHDALE

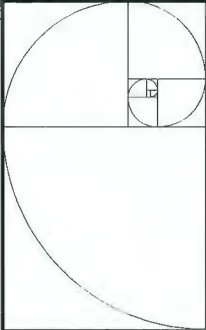
ISSUED FOR
DPP REVIEW
2020-12-10

Client/Project
STEVESTON TOWNHOUSE
DEVELOPMENT
9571, 9501, 9511, 9571 STEVESTON HWY &
10831 SOUTHDALE ROAD, RICHMOND, BC
(DP-20-896138)
Title
BUILDING E & F
FLOOR PLANS
Project No.
#8211
Scale
1/8"=1'-0"
Revision
Drawing No.
A2.4

DP 20-896138
REFERENCE PLAN
December 14, 2020



DP 20-896138
REFERENCE PLAN
December 14, 2020



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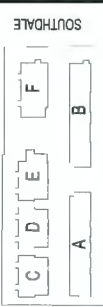
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ISSUED FOR APPROVAL	12.2	12.2	20.12.10
SUBMITTED FOR REVIEW	12.2	12.2	20.08.11
ISSUED FOR SUBMISSION	12.2	12.2	20.07.14
SUBMITTED FOR SUBMISSION	12.2	12.2	20.03.08
Issued	By	Approved	17 JAN 20

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DPP REVIEW
2020-12-10

Client/Project

STEVESTON TOWNHOUSE
DEVELOPMENT
9871, 9891, 9811, 9871 STEVESTON HWY &
10831 SOUTHDALE ROAD, RICHMOND, BC
(DP 20-896138)

Title

COLOR RENDERING

Project No.

#8211

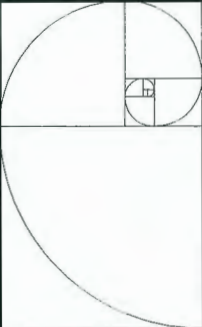
Scale

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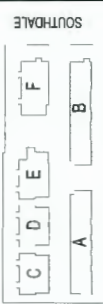
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KEY PLAN

ISSUED FOR DPP REVIEW	2.2	8.8	20.12.10
ISSUED FOR DPP REVIEW	2.2	8.8	20.08.10
ISSUED FOR DPP REVIEW	2.2	8.8	20.07.10
ISSUED FOR DPP REVIEW	2.2	8.8	20.03.08
ISSUED	By	Approved	11.08.09

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2020-12-10

Client/Project

STEVESTON TOWNHOUSE
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9571 9591, 9611 9671 STEVESTON HWY &
10831 SOUTHDALE ROAD, RICHMOND, BC
(DP 20-896138)

Title

COLOR RENDERING

Project No.

#8211

Drawing No.

Sheet

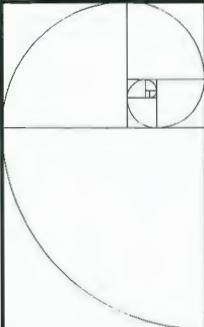
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DP 20-896138
REFERENCE PLAN
December 14, 2020



DP 20-896138
REFERENCE PLAN
December 14, 2020



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ISSUED FOR DPP REVIEW	2.2	8.8	20.12.10
ISSUED FOR DPP REVIEW	2.2	8.8	20.08.17
ISSUED FOR 3P SUBMISSION	2.2	8.8	20.07.14
ISSUED FOR 3P SUBMISSION	2.2	8.8	20.03.08
Issued	By	Apoc	11.08.07

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DPP REVIEW
2020-12-10

Client/Project

STEVESTON TOWNHOUSE
DEVELOPMENT
9871 9891 9811 STEVESTON HWY &
10851 SOUTHDIALE ROAD RICHMOND, BC
(DP 20-896138)

Title

COLOR RENDERING

Project No.

#8211

Scale

N.T.S.

Drawing No.

Revision

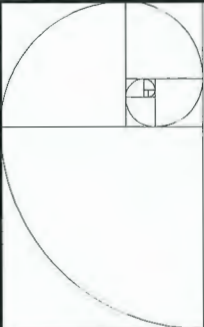
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DP 20-896138
REFERENCE PLAN
December 14, 2020



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ISSUED FOR DPP REVIEW	2.2	8.8	20.12.10
ISSUED FOR APP REVIEW	2.2	8.8	20.08.11
ISSUED FOR 1P SUBMISSION	2.2	8.8	20.07.11
ISSUED FOR 2P SUBMISSION	2.2	8.8	20.03.08
Issued	By	Appr.	11.04.09

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2020-12-10

Client/Project

STEVESTON TOWNHOUSE
DEVELOPMENT
9571 9591, 9811, 9871 STEVESTON HWY. &
10831 SOUTHDALE ROAD, RICHMOND, BC
(DP 20-896138)

Title

COLOR RENDERING

Project No.

#8211

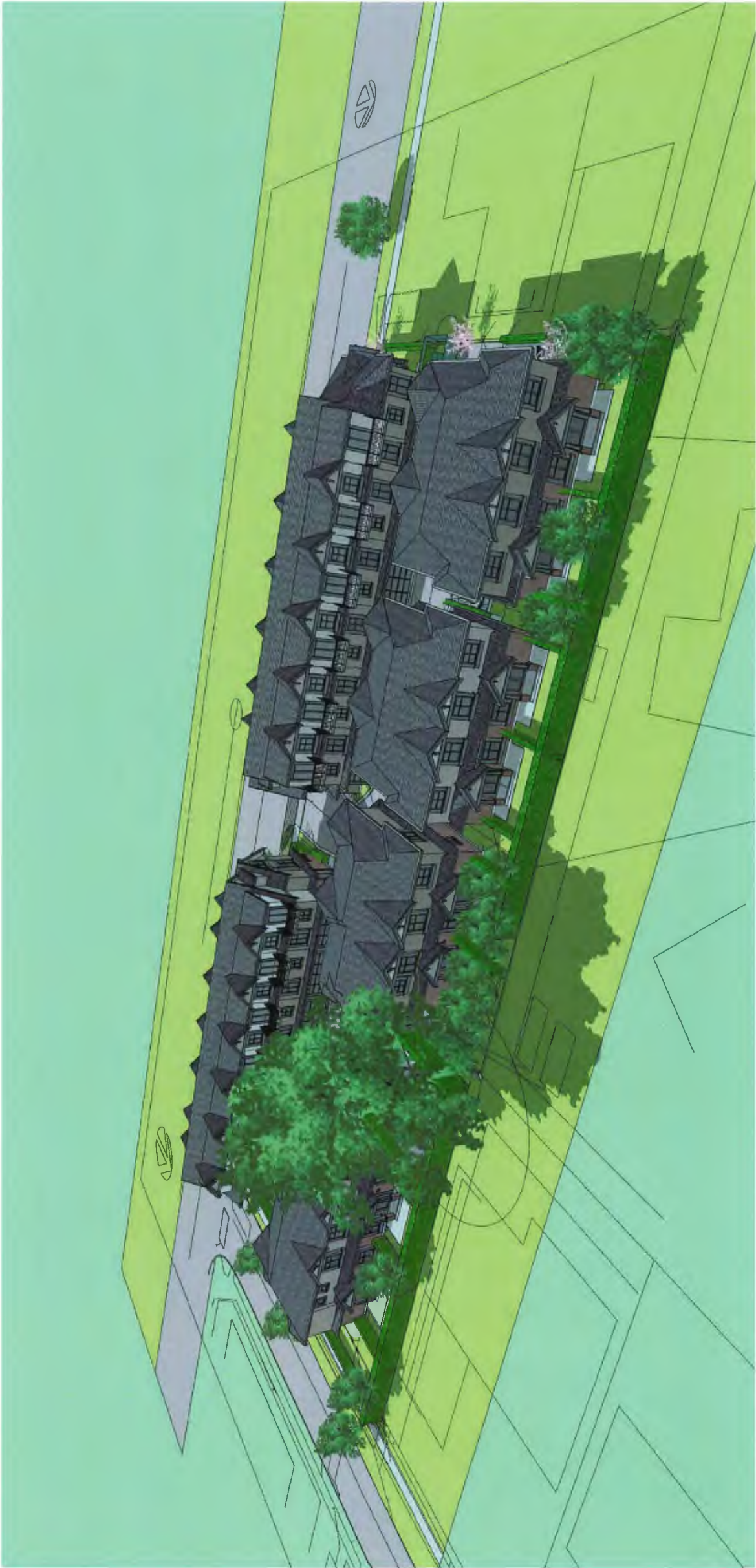
Drawing No.

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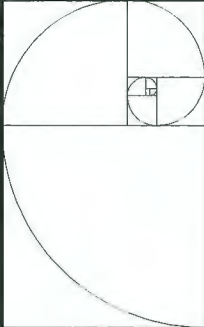
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Revision

of



DP 20-896138
REFERENCE PLAN
December 14, 2020



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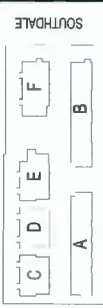
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ISSUED FOR DP SUBMISSION	1:2	8.8	20.11.10
ISSUED FOR DP SUBMISSION	1:2	8.8	20.06.19
ISSUED FOR DP SUBMISSION	1:2	8.8	20.07.14
ISSUED FOR DP SUBMISSION	1:2	8.8	20.03.08
ISSUED	By	Approved	17.04.2020

ISSUED FOR
DPP REVIEW
2020-12-10

Client/Project

STEVESTON TOWNHOUSE
DEVELOPMENT

9571, 9591, 9611, 9671 STEVESTON HWY &
10831 SOUTHDALE ROAD, RICHMOND, BC
(DP 20-896138)

Title

COLOR RENDERING

Project No.

#8211

Scale

N.T.S.

Drawing No.

Revision

Sheet

of

A0.18



SHADOW ANALYSIS
MARCH 20TH - 10:00AM



SHADOW ANALYSIS
MARCH 20TH - 2:00PM



SHADOW ANALYSIS
SEPT 23RD - 10:00AM



SHADOW ANALYSIS
SEPT 23RD - 2:00PM



SHADOW ANALYSIS
JUN 21ST - 10:00AM



SHADOW ANALYSIS
JUN 21ST - 2:00PM



SHADOW ANALYSIS
DEC 23RD - 10:00AM



SHADOW ANALYSIS
DEC 23RD - 2:00PM

DP 20-896138
REFERENCE PLAN
December 14, 2020

Client/Project
STEVESTON TOWNHOUSE
DEVELOPMENT
9571 95ST, 9511 9871 STEVESTON HWY &
10831 SOUTHDALE ROAD, RICHMOND, BC
(DP 20-896138)

SHADOW ANALYSIS

SHADOW ANALYSIS
DEC 23RD - 2:00PM

Project No.
#8211

Scale

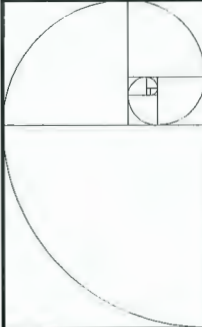
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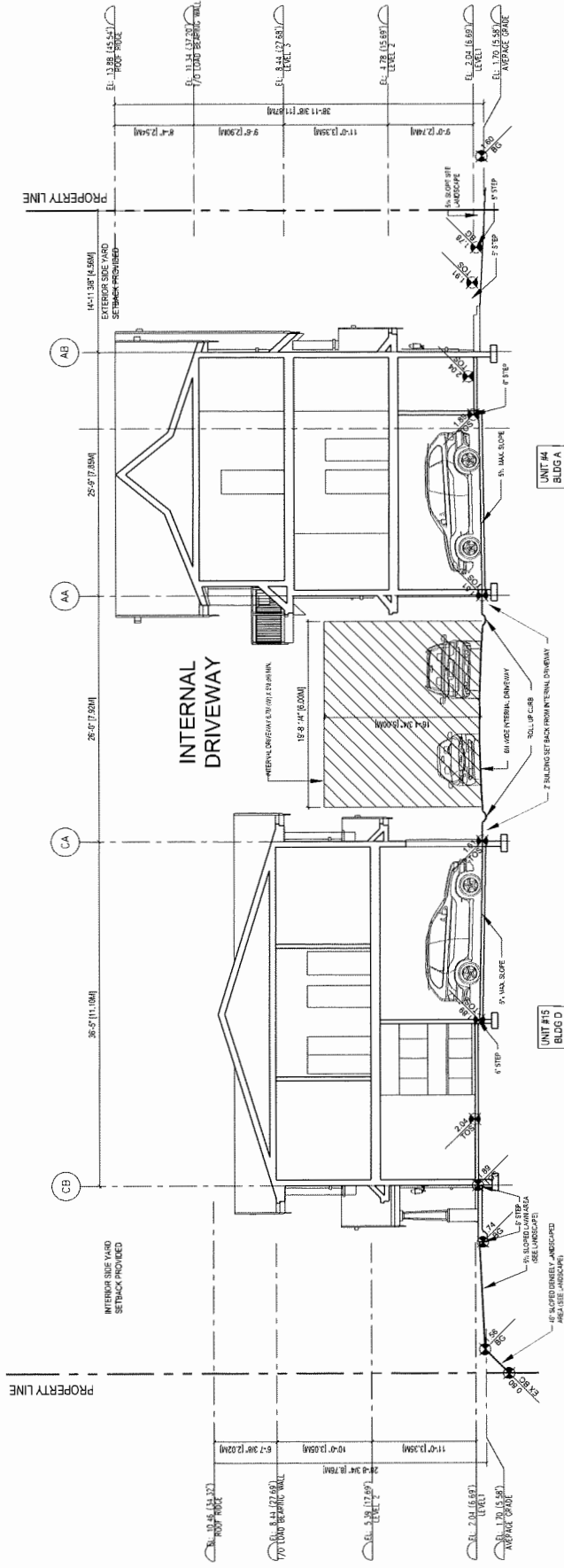
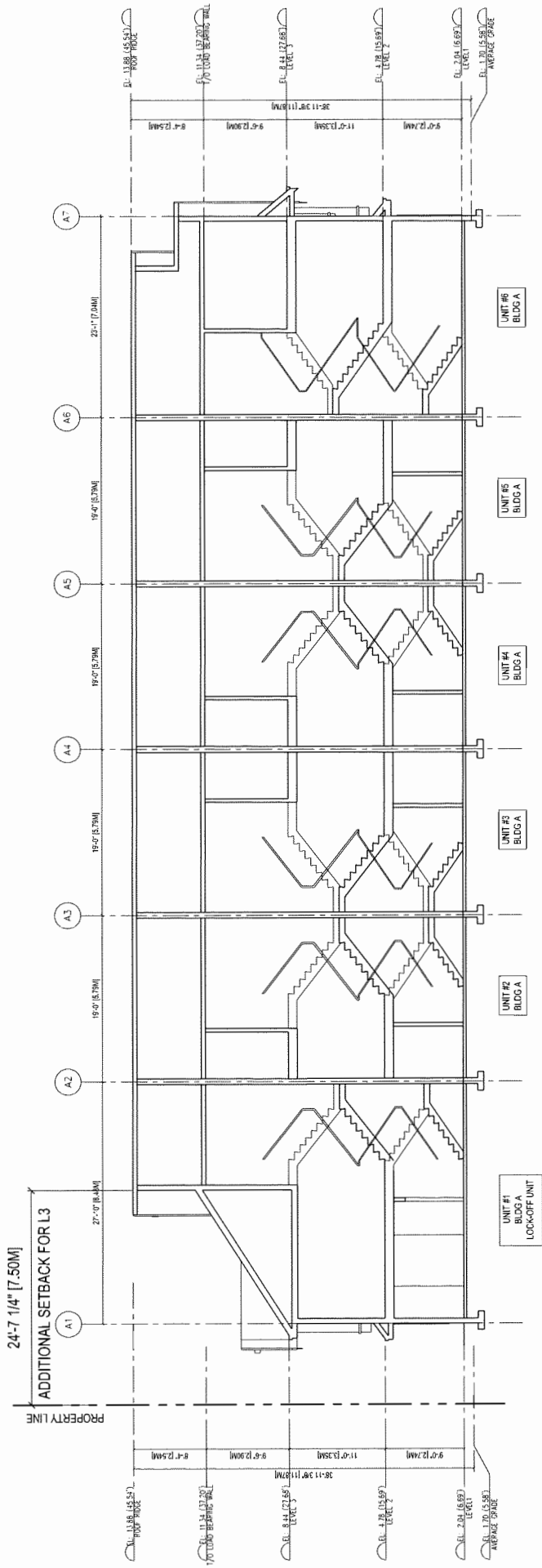
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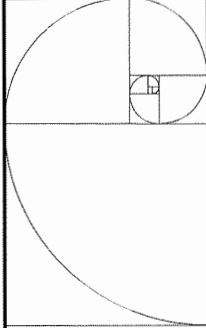


ISSUED FOR DPP REVIEW	2.2	8.8	20.12.10
ISSUED FOR APP REVIEW	2.2	8.8	20.08.10
ISSUED FOR DP SUBMISSION	2.2	8.8	20.07.10
ISSUED FOR DP SUBMISSION	2.2	8.8	20.06.10
ISSUED	2.2	8.8	20.05.10

ISSUED FOR
DPP REVIEW
2020-12-10



DP 20-896138
REFERENCE PLAN
December 14, 2020



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SOUTDALE

1. A
2. B
3. C
4. D
5. E
6. F

	20.12.10	20.08.19	20.07.14	20.03.08	20.01.00
ISSUED FOR 2P REVIEW	J.Z.	J.Z.	J.Z.	J.Z.	Asst.
ISSUED FOR ADP REVIEW	J.Z.	J.Z.	J.Z.	J.Z.	By
ISSUED FOR 2P SUBMISSION	J.Z.	J.Z.	J.Z.	J.Z.	Asst.
ISSUED FOR 2P SUBMISSION	J.Z.	J.Z.	J.Z.	J.Z.	By
Issued	J.Z.	J.Z.	J.Z.	J.Z.	Asst.

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DPP REVIEW
2020-12-10

**STEVESTON TOWNHOUSE
DEVELOPMENT**

9571.9591, 9511.9671 STEVESTON HWY &
10831 SOUTHDALEROAD, RICHMOND, BC
(DP 20-896138)

BUILDING SECTIONS

Project No. **#8211**
Scale **1/8"=1'-0"**

Drawing No.	Sheet	Revision
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A41

