



Development Permit Panel

**Council Chambers, City Hall
6911 No. 3 Road**

**Wednesday, January 13, 2016
3:30 p.m.**

Minutes

Motion to adopt the minutes of the Development Permit Panel meeting held on December 16, 2015.

1. **Development Permit 13-629399**
(REDMS No. 4677777)

APPLICANT: Yamamoto Architecture Inc.

PROPERTY LOCATION: 9040 and 9060/9080 No. 2 Road

Director's Recommendations

That a Development Permit be issued which would:

1. *permit the construction of nine (9) townhouse units at 9040 and 9060/9080 No. 2 Road on a site zoned "Low Density Townhouses (RTL4); and*
2. *vary the provisions of Richmond Zoning Bylaw 8500 to:*
 - (a) *reduce the front yard setback from 6.0 m to 5.0 m;*
 - (b) *allow a total of ten (10) tandem parking spaces in five (5) three-storey townhouse units; and*
 - (c) *replace three (3) standard residential parking spaces with small car spaces.*

ITEM

2. **Development Permit 14-660885**

(REDMS No. 4843459 v. 6)

APPLICANT: Rafii Architects Inc. and DYS Architecture on behalf of Kebet Holdings Ltd., Inc. No. BC0712200

PROPERTY LOCATION: 5580 No. 3 Road

Director's Recommendations

That a Development Permit be issued which would:

1. *permit the construction of approximately 132 residential units, which includes 128 units within a residential tower and four (4) two-storey townhouse units above the parking podium, and grade level commercial units along No. 3 Road at 5580 No. 3 Road on a site zoned “Downtown Commercial (CDT1);” and*
2. *vary the provisions of Richmond Zoning Bylaw 8500 to reduce the residential parking rate from the standard City wide parking rate to the City Centre Zone 1 parking rate.*



3. **New Business**

4. **Date of Next Meeting:** **January 27, 2016**

5. **Adjournment**



City of Richmond

Minutes

Development Permit Panel Wednesday, December 16, 2015

Time: 3:30 p.m.

Place: Council Chambers
Richmond City Hall

Present: Joe Erceg, Chair
Robert Gonzalez, General Manager, Engineering and Public Works
John Irving, Director, Engineering

The meeting was called to order at 3:30 p.m.

Minutes

It was moved and seconded

That the minutes of the meeting of the Development Permit Panel held on October 14, 2015, be adopted.

CARRIED

1. Development Permit 11-584805

(File Ref. No.: DP 11-584805) (REDMS No. 4645405)

APPLICANT: Marine Star Homes Corporation

PROPERTY LOCATION: 9780 Alberta Road

INTENT OF PERMIT:

Permit the construction of six (6) three-storey townhouse units at 9780 Alberta Road on a site zoned "Town Housing (ZT60) – North McLennan (City Centre)."

Development Permit Panel

Wednesday, December 16, 2015

Applicant's Comments

Meredith Mitchell, M2 Landscape Architecture, briefed the Panel on the proposed development and commented on urban design and landscape and open space design, noting that (i) vehicle access to the site is through a cross-access easement along the neighbouring property, (ii) the site is dense and on-site trees have been removed, (iii) the site's grade will be raised, (iv) amenities will include green space and the children's play area will be lit with bollard lighting, (v) landscaping will include hedges, and (vi) the proposed architectural form and character of the development is consistent with the surrounding neighbourhood.

Panel Discussion

In reply to queries from the Panel, Wayne Craig, Director, Development, noted that three on-site trees will be removed and replacement trees will be provided.

In reply to queries from the Panel, Ms. Mitchell noted that due to the density of the site, the amenity area will be located adjacent to the drive aisle.

Staff Comments

Mr. Craig advised that the proposed development will include one convertible unit and will be designed to meet EnerGuide 82 standards. He added that, with the exception of the convertible unit, all units will include a side-by-side garage.

In reply to queries from the Panel, Mr. Craig noted that there is a rezoning application on the adjacent three properties for a townhouse development.

Correspondence

None.

Gallery Comments

None.

Panel Decision

It was moved and seconded

That a Development Permit be issued which would permit the construction of six (6) three-storey townhouse units at 9780 Alberta Road on a site zoned "Town Housing (ZT60) – North McLennan (City Centre)."

CARRIED

2. New Business

2.

Development Permit Panel
Wednesday, December 16, 2015

3. Date of Next Meeting: January 13, 2016

4. Adjournment

It was moved and seconded

That the meeting be adjourned at 3:42 p.m.

CARRIED

Certified a true and correct copy of the Minutes of the meeting of the Development Permit Panel of the Council of the City of Richmond held on Wednesday, December 16, 2015.

Joe Erceg
Chair

Evangel Biason
Legislative Services Coordinator



City of Richmond

Report to Development Permit Panel

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of nine (9) townhouse units at 9040 and 9060/9080 No. 2 Road on a site zoned "Low Density Townhouses (RTL4)"; and
 2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - a) reduce the front yard setback from 6.0 m to 5.0 m;
 - b) allow a total of ten (10) tandem parking spaces in five (5) three-storey townhouse units; and
 - c) replace three (3) standard residential parking spaces with small car spaces.

Wayne Craig
Director of Development

Wayne Craig
Director of Development

WC:el
Att.

Staff Report**Origin**

Yamamoto Architecture Inc. has applied to the City of Richmond for permission to develop nine (9) townhouse units at 9040 and 9060/9080 No. 2 Road. The site is being rezoned from "Single Detached (RS1/E)" to "Low Density Townhouses (RTL4)" for this project under Bylaw 8926 (RZ 11-587764), which received Third Reading following the Public Hearing on September 5, 2012. The site is currently vacant.

Frontage improvements were secured through the rezoning process and will be constructed through a separate Servicing Agreement (SA 15-694629), which must be entered into prior to final adoption of the rezoning bylaw. Works include, but are not limited to: 1.5 m concrete sidewalk at the east property line of No. 2 Road with grassed and treed boulevard between the new sidewalk and the existing curb.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

To the north, two (2) newer single-family homes on lots zoned "Single Detached (RS1/C)" fronting Francis Road;

To the east, existing single-family dwellings on lots zoned "Single Detached (RS1/E)" fronting Francis Road and Martyniuk Place;

To the south, an older non-conforming duplex fronting No. 2 Road and then two (2) single-family homes fronting Maple Road, all on lots zoned "Single Detached (RS1/E)"; and

To the west, across No. 2 Road, a 15-unit townhouse complex on a lot zoned "Low Density Townhouses (RTL1)", and existing single-family dwellings on lots zoned "Single Detached (RS1/E)".

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on September 5, 2012. At the Public Hearing, the property owner of the adjacent single-family homes to the north at 6008 and 6028 Francis Road expressed concerns in regards to privacy. The proposal was revised to minimize overlook potential via window placement and room layouts; no windows are being proposed on the second floor of the north elevation, except for two (2) small 30" x 30" obscured safety glass windows in the proposed bathrooms.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable

sections of the Official Community Plan and is in compliance with the “Low Density Townhouses (RTL4)” zone except for the zoning variances noted below.

Zoning Compliance/Variances (staff comments in bold)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Reduce the front yard setback from 6.0 m to 5.0 m.

(Staff supports the proposed variance, as the variance is mainly a result of a dedication of land for future road widening on No. 2 Road as well as preservation of bylaw-sized trees within the centre of the site. The Tree Protection Zone for trees being preserved in the proposed outdoor amenity area dictates the location of the internal drive aisle, which limits potential building placement. The variance allows for varied setbacks to the front property line, which provides for an attractive pedestrian-oriented streetscape along No. 2 Road.)

- 2) Allow a total of ten (10) tandem parking spaces in five (5) three-storey townhouse units;

(Staff supports the proposed variances as this is a minor variance to increase the rate of tandem parking spaces from 50% to 56%. This variance was identified at the Rezoning stage and no opposition was received. In order to address potential concerns related to adverse impact on street parking, the developer is proposing to provide one (1) additional small car visitor parking space on site, for a total of three (3) visitor spaces.

At present, no stopping is permitted on both sides of No. 2 Road; an additional visitor parking space on site should alleviate the demand of street parking from the visitors of the proposed development and minimize impact to the neighbouring single-family neighbourhood. Transportation Division staff have reviewed the proposal and have no concerns. A restrictive covenant to prohibit the conversion of the garage area into habitable space has been secured at Rezoning.)

- 3) Replace three (3) standard residential parking spaces with small car spaces.

(The Zoning Bylaw permits small car parking spaces only when more than 31 parking spaces are proposed on site. The proposed 9-unit project will provide 18 residential and three (3) visitor parking spaces on site. Transportation staff support the proposed variance to allow one (1) small car space in three (3) of the four (4) side-by-side double car garages.)

Advisory Design Panel Comments

The subject application was not presented to the Advisory Design Panel on the basis that the project generally met all the applicable Development Permit Guidelines, and the overall design and site plan adequately addressed staff comments.

Analysis

Conditions of Adjacency

- The proposed height, siting and orientation of the buildings generally address the massing of the surrounding residential developments.
- Two (2) townhouse clusters are proposed along No. 2 Road. The end units adjacent to the north side yards and the entry driveway on the south end are stepped down from three (3)

storeys to two (2) storeys to transition to the adjacent single-family developments and balance the streetscape along No. 2 Road. A new hedgerow is proposed along both the north and south property lines to enhance this transition.

- A two-storey duplex and the outdoor amenity area are proposed along the rear property line to minimize privacy and overlook concerns.
- The proposed rear yard setback of 4.5 m to the duplex building, as shown on the conceptual development plans presented to Planning Committee and Council at Rezoning, exceeds the minimum rear yard setback of 3.0 m specified in the “Low Density Townhouses (RTL4)” zone.
- A portion of the second floor of the duplex facing the east property line is stepped back and the amount of window area is minimized to address potential privacy concerns.
- Existing trees along the east property line on the adjacent property are to be retained and new trees are to be planted within the proposed outdoor amenity area to provide a natural screen between the proposed development and the adjacent single-family homes.
- Windows are also minimized on the north elevation of Building 2, adjacent to the north property line. The second floor of the end unit has only two (2) small obscured glass windows in the proposed bathrooms.
- A development concept plan for 6008 and 6028 Francis Road has been prepared and is on file; the future development at 6008 and 6028 Francis Road can be considered as an extension of the subject townhouse development. The developer agreed to provide outdoor amenity space, garbage/organic waste/recycling collection facilities, and mailbox kiosk in a location on the subject site that will allow shared use of those spaces with the future development at 6008 and 6028 Francis Road. A cross-access easement/agreement will be secured as a condition of Development Permit issuance to facilitate this.
- A PROP SRW on the subject site has been secured at Rezoning to provide vehicle access to future developments at 6008 and 6028 Francis Road as well as the future development to the south.

Urban Design and Site Planning

- The proposed site layout provides for an attractive pedestrian-oriented streetscape of townhouses fronting No. 2 Road, complete with a landscaped edge treatment, low metal fencing, and metal gates to individual townhouse unit front doors.
- The internal road layout is an L-shape with future connections to the neighbouring properties to the north and south, secured by SRW.
- All units have two (2) vehicle parking spaces. A total of three (3) visitor parking spaces are proposed, which exceeds the minimum bylaw requirement. Both residential and visitor bicycle parking are provided in compliance with the zoning bylaw requirements.
- No change in grading is allowed within the SRW along the east property line. The grade of the internal drive aisle has been lowered as much as possible to match the existing grade of the proposed outdoor amenity area. A lot grading plan prepared by an engineer is required prior to Development Permit issuance to the satisfaction of the City's Building Approvals Division and Development Applications Division.

- Outdoor amenity space is proposed between the east property line and the internal drive aisle for maximum casual surveillance opportunity and sun exposure. The size and location of the outdoor amenity space is appropriate in providing open landscape and amenity space convenient to all of the units.
- The required garbage, recycling and organic waste storage enclosures are located at the back of the street fronting buildings and have been incorporated into the design of the townhouse clusters to minimize their visual impact.

Architectural Form and Character

- The street facing units will alternate finish materials between hardi-shingles and hardi-plank to differentiate the units. Decorative brackets are proposed for the gables to provide visual interest and add depth and details to the elevation.
- The proposed building materials (asphalt roof shingles, hardi siding, brick cladding, wood trim/post/ bracket/doors, and metal guard rail) are generally consistent with the Official Community Plan (OCP) Guidelines and compatible with the existing single-family character of the neighbourhood.
- The colour scheme will complement the neighbouring residences.
- Gables with 9/12 slope break up the main roof line. The third floors are also pushed back and incorporated into the 2nd storey roof line to reduce the apparent massing of the street fronting buildings.
- Bay windows and projections from the building face complements surrounding single-family houses.
- The impact of blank garage doors has been mitigated with panel patterned doors, transom windows and planting islands along the drive aisle.

Tree Preservation

- Tree preservation was reviewed once again in 2015; a total of 15 bylaw sized trees on site are identified for removal. Based on the 2:1 tree replacement ratio goal stated in the Official Community Plan (OCP), 30 replacement trees are required. The applicant is proposing to plant 26 replacement trees on-site, including 9 conifers and 17 deciduous trees. The applicant has agreed to provide a voluntary contribution of \$2,000 to the City's Tree Compensation Fund in lieu of planting the remaining 4 replacement trees.
- Two (2) Douglas Fir trees on site and twelve (12) trees located on the neighbouring properties to the north and east are identified for retention. Tree protection fencing is required to be installed as per the Arborist Report recommendations prior to any construction activities (including demolition) occurring on-site.
- In order to ensure that the two (2) protected Douglas Fir trees on site will not be damaged during construction, the applicant is required to submit a \$10,000.00 Tree Survival Security prior to Development Permit issuance. No Tree Survival Security will be returned until the post-construction assessment report, prepared by the Arborist, confirming the protected trees survived the construction, is reviewed by staff.
- The developers are proposing to remove two (2) trees on the adjacent property to the south (9100 No. 2 Road), along the common property line. A consent letter from the property owners of 9100 No. 2 Road is on file. The City's Tree Preservation Coordinator has no

concern on the proposed removal. A separate Tree Cutting Permit and associated replacement planting/compensation will be required at Tree Cutting Permit stage.

Landscape Design and Open Space Design

- The landscape design for this project will provide an attractive and terraced clean modern appearance, with emphasis on coordinating proposed changes in elevation with screening and vegetative buffers. Flowering street trees have been proposed with a low hedge to encourage interaction with the street and community while still providing separation between public and private space.
- The amenity area will provide a green buffer and separation between the internal road and the neighbouring properties.
- The landscape treatment on the north features cedar hedging and perimeter fencing. Where grades are modified at the internal road, an approximately 0.7 m high block wall has been proposed on the inside of the walkway between the planting and the property line. A trellis is proposed at the end of the internal road at the property line to screen the view from the neighbouring property to the internal road.
- The landscape treatment on the south has cedar hedging and perimeter fencing. Where grades are modified at the internal road, an approximately 0.8 m high block wall has been proposed at the property line.
- A sunken sand pit with larger boulders is proposed within the outdoor amenity area to provide a natural play area for small children. The two (2) curved steps going down to the sand pit also provide additional seating and an amphitheatre style outdoor play area.
- The ramp leading down to the play area slopes down to a landing, turns 90 degrees around the retained tree, and then slopes down onto the lawn area.
- Bollards have been provided between the drive isle and the outdoor amenity area.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$138,008.06 in association with the Development Permit.
- Indoor amenity space is not proposed on-site. A \$9,000 cash-in-lieu contribution (\$1,000 per unit) has been secured as a condition of rezoning approval, consistent with the OCP.

Crime Prevention Through Environmental Design

- The architect advised that the following CPTED design/features are incorporated into the proposal:
 - Use of low growing shrubs and ground covers to maintain visibility;
 - Lighting fixtures along internal walkways and drive aisles are to be hooded and downcast to prevent light pollution. Walkway from No. 2 Road and the outdoor amenity area is illuminated with bollard lights, step lights and uplights; and
 - All entrances are visible and overlooked by pedestrians or by neighbour's windows.

Sustainability

- The applicant has committed to achieving an EnerGuide rating of 82 for the proposed town houses and to pre-ducting all units for solar hot water heating. A Certified Energy Advisor

has confirmed that the proposed townhouse units will be designed to achieve an EnerGuide rating of 82. The report prepared by the Energy Advisor is on file and will be utilized through the Building Permit review process to ensure these measures are incorporated in the permit drawings.

- A Restrictive Covenant specifying that all units are to be built and maintained to the EnerGuide rating of 82 or higher, and that all units are to be solar-hot-water-ready, is required to be registered on-title prior to issuance of the Development Permit.
- The developer also advises that the following sustainability features will be incorporated into the development:
 - Low flow fixtures;
 - Energy star appliances; and
 - Double glazed vinyl framed windows w/low E glass.

Accessible Housing

- The proposed development includes one (1) convertible unit that is designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of these units will require installation of a chair lift (where the staircase has been dimensioned to accommodate this in unit C) in the future, if desired.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
 - stairwell hand rails;
 - lever-type handles for plumbing fixtures and door handles; and
 - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Conclusions

The applicant has satisfactorily addressed staff's comments regarding conditions of adjacency, site planning and urban design, architectural form and character, and landscape design. The applicant has presented a development that fits into the existing context. On this basis, staff recommend support of this Development Permit application.



Edwin Lee
Planner 1

EL:rg

The following are to be met prior to forwarding this application to Council for approval:

- Final adoption of the Zoning Amendment Bylaw 8926.
- Registration of a cross-access easement agreement and/or alternative legal agreement(s), to the satisfaction of the City, over the outdoor amenity space and mailbox kiosk, in favour of the future townhouse development at 6008 and 6028 Francis Road, allowing access to/from the outdoor amenity space and mailbox kiosk at the development site.

- Registration of a restrictive covenant and/or alternative legal agreement(s), to the satisfaction of the City, to ensure that a Cross Access Easement Agreement and/or alternative legal agreement(s), to the satisfaction of the City, to allow residents at future development at 6008 and 6028 Francis Road to share the use of the garbage/recycling/organic waste collection facility (in a room within one of the proposed buildings) located on the subject site, be registered currently with the Strata Plan. This easement should be based on a volumetric easement plan based on as-build survey.
- Registration of a restrictive covenant and/or alternative legal agreement(s), to the satisfaction of the City, securing the owner's commitment to have the proposed development achieving Energuide 82 requirements and pre-ducted for solar hot water. This covenant and/or legal agreement(s) will include, at minimum, that no building permit will be issued for a building on the subject site unless the building is designed to achieve Energuide 82 requirements and pre-ducted for solar hot water; and that the owner has provided a professional report by a Certified Energy Advisor (CEA), to the satisfactory to the Director of Development.
- Submission of a Contract entered into between the applicant and a Certified Arborist for supervision of any on-site works conducted near and within the tree protection zone of the trees to be retained. The Contract should include the scope of work to be undertaken, including: the proposed number of site monitoring inspections, and a provision for the Arborist to submit a post-construction assessment report to the City for review.
- City acceptance of the developer's offer to voluntarily contribute \$2,000.00 to the City's Tree Compensation Fund for the planting of four (4) replacement trees within the City.
- Submission of a Tree Survival Security to the City in the amount of \$10,000.00 for the two (2) Douglas Fir trees to be retained. 50% of the security will be released upon completion of the proposed landscaping works on site (design as per Development Permit for 9040 and 9060/9080 No. 2 Road). The remaining 50% of the security will be release two (2) year after final inspection of the completed landscaping in order to ensure that the trees have survived.
- Receipt of a Letter-of-Credit for landscaping in the amount of \$138,008.06; Letter-of-Credit will not be released until the Letter of Assurance from the Landscape Architect, confirming that landscaping are installed as per Development Permit, is reviewed by staff.
- Submission of a Lot Grading Plan to the satisfaction of the City's Building Approvals Division and Development Applications Division.

Prior to future Building Permit issuance, the developer is required to complete the following:

- Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities, including building demolition, occurring on-site.
- Submission of a Tree Cutting Permit application and provide associated compensations, if required, for the removal or remove two (2) trees on the adjacent property to the south (9100 No. 2 Road), along the common property line.
- Incorporation of accessibility, CPTED, and sustainability features/measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<http://www.richmond.ca/services/tp/special.htm>).
- If applicable, payment of latecomer agreement charges associated with eligible latecomer works.



City of Richmond

Development Application Data Sheet

Development Applications Department

DP 13-629399

Attachment 1

Address: 9040 and 9060/9080 No. 2 Road

Applicant: Yamamoto Architecture Inc. Owner: Suncouver Developments Ltd.

Planning Area(s): Blundell

Floor Area Gross: 1,554.3 m² Floor Area Net: 1,049.8 m²

	Existing	Proposed
Site Area:	1,855.0 m ² (19,964.5 ft ²)	1,752.6 m ² (18,864.9 ft ²)
Land Uses:	Single-Family Residential	Multiple-Family Residential
OCP Designation:	Low-Density Residential	No Change
Zoning:	Single Detached (RS1/E)	Low-Density Townhouses (RTL4)
Number of Units:	One (1) single-family dwelling and (1) non-conforming duplex – 3 units in total	9 units

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.60	0.593	none permitted
Lot Coverage – Building:	Max. 40%	37%	none
Lot Coverage – Non-porous Surfaces:	Max. 65%	39.7%	none
Lot Coverage – Landscaping:	Min. 25%	27.6% Min.	none
Setback – Front Yard (m):	Min. 6.0 m	5.0 m Min.	Variance Requested
Setback – North Side Yard (m):	Min. 3.0 m	3.0 m Min.	none
Setback – South Side Yard (m):	Min. 3.0 m	4.68 m Min.	none
Setback – Rear Yard (m):	Min. 3.0 m	4.5 m Min.	none
Height (m):	Max. 12.0 m (3 storeys)	11.03 m (3 storeys) Max.	none
Lot Width:	Min. 50.0 m	66.4 m	none
Off-street Parking Spaces – Regular (R) / Visitor (V):	2 (R) and 0.2 (V) per unit	2 (R) and 0.3 (V) per unit	none
Off-street Parking Spaces – Total:	20	21	none
Tandem Parking Spaces:	Max. 50% of proposed residential spaces in enclosed garages (18 x Max. 50% = 9)	10	Variance Requested

Small Car Parking Spaces	None when fewer than 31 spaces are provided on site	3	Variance Requested
Handicap Parking Spaces:	None when fewer than 3 visitor parking spaces are required	0	none
Amenity Space – Indoor:	Min. 70 m ² or Cash-in-lieu	Cash-in-lieu	none
Amenity Space – Outdoor:	Min. 6 m ² x 9 units = 54 m ²	108.8 m ²	none



City of Richmond

Development Permit

No. DP 13-629399

To the Holder: Yamamoto Architecture Inc.

Property Address: 9040 and 9060/9080 No. 2 Road

Address: c/o Karen Ma
Yamamoto Architecture Inc.
2386 Oak Street
Vancouver, B.C. V6H 4J1

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) reduce the front yard setback from 6.0 m to 5.0 m;
 - b) allow a total of ten (10) tandem parking spaces in five (5) three-storey townhouse units; and
 - c) replace three (3) standard residential parking spaces with small car spaces.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #4 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$138,008.06 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 15-629399

To the Holder: Yamamoto Architecture Inc.

Property Address: 9040 and 9060/9080 No. 2 Road

Address: c/o Karen Ma
Yamamoto Architecture Inc.
2386 Oak Street
Vancouver, B.C. V6H 4J1

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF ,

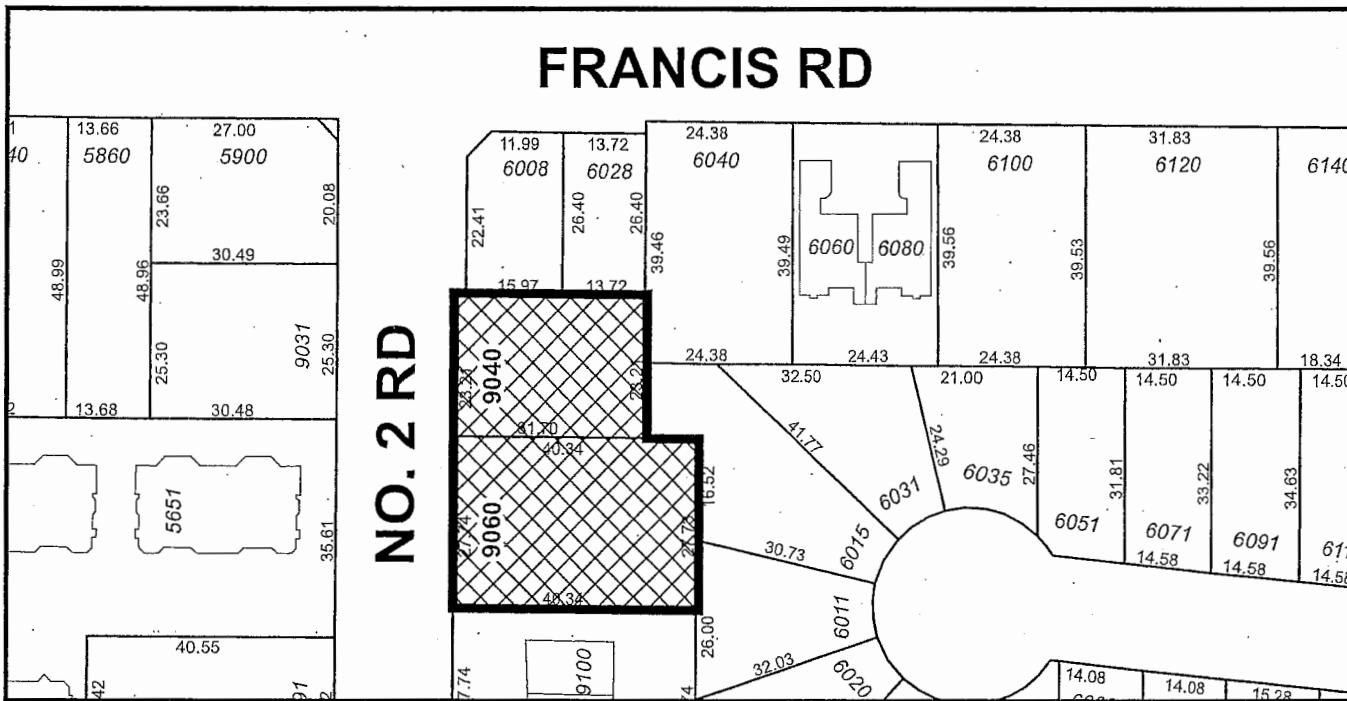
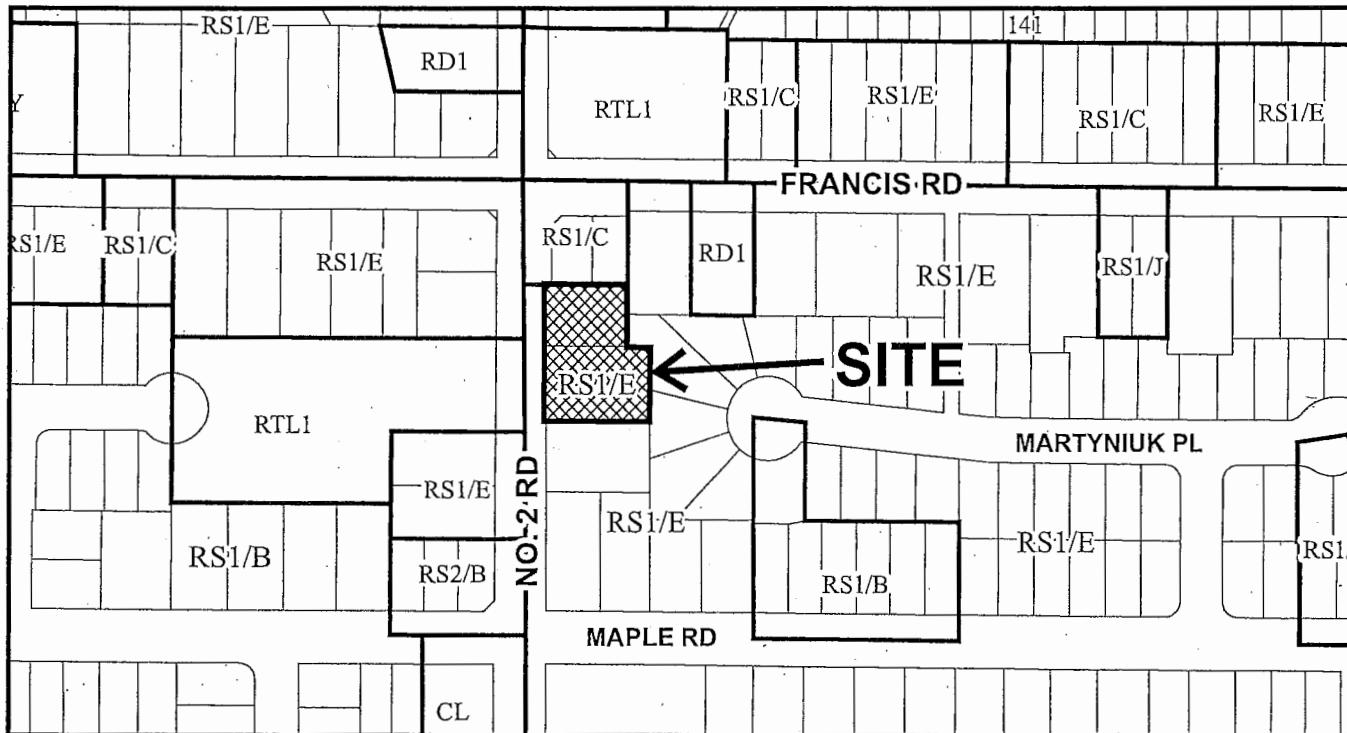
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF ,

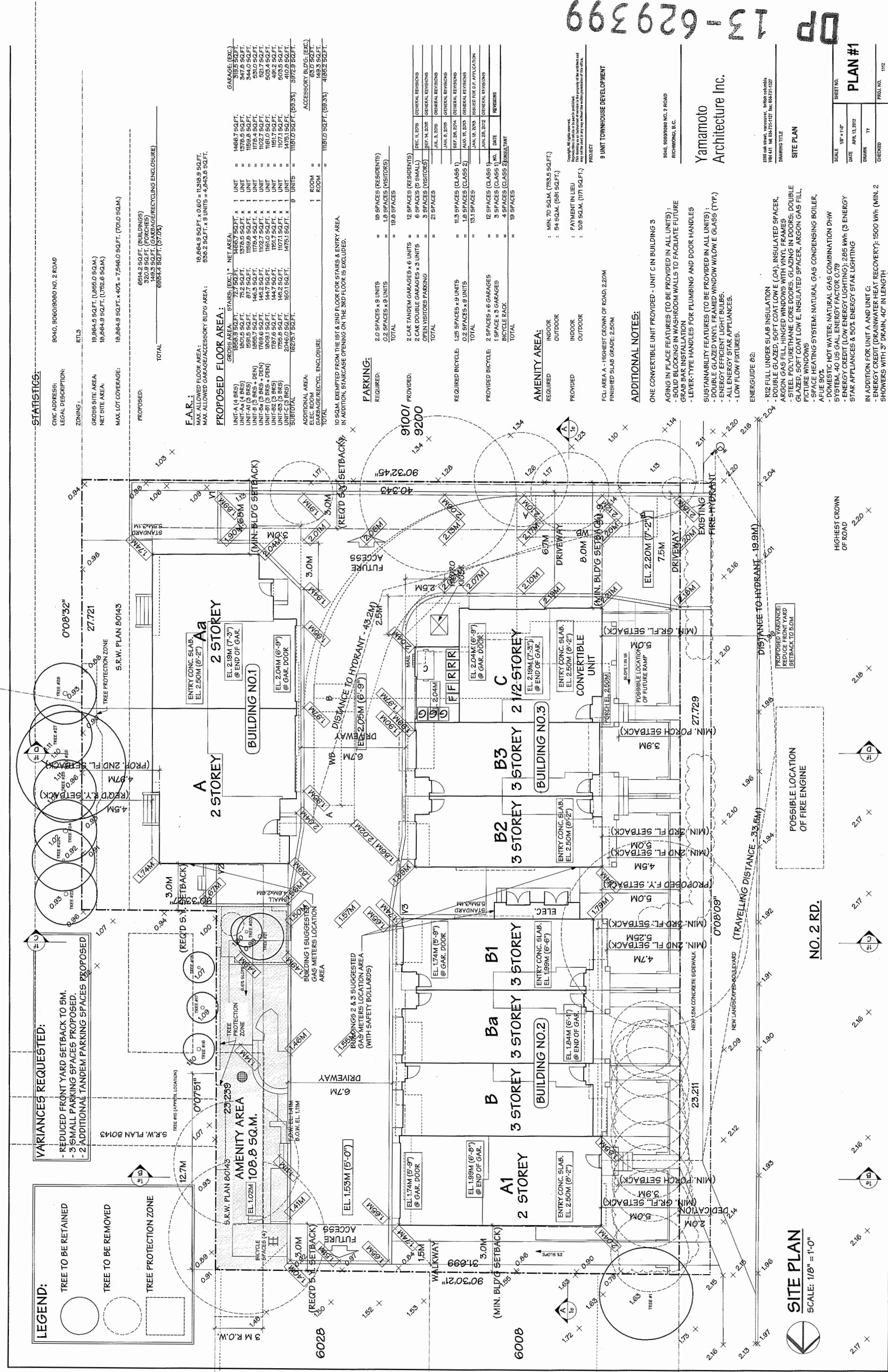
MAYOR



**City of
Richmond**



N	DP 13-629399 SCHEDULE "A"	Original Date: 02/07/13 Revision Date: 12/14/15 Note: Dimensions are in METRES
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DP 13-629399



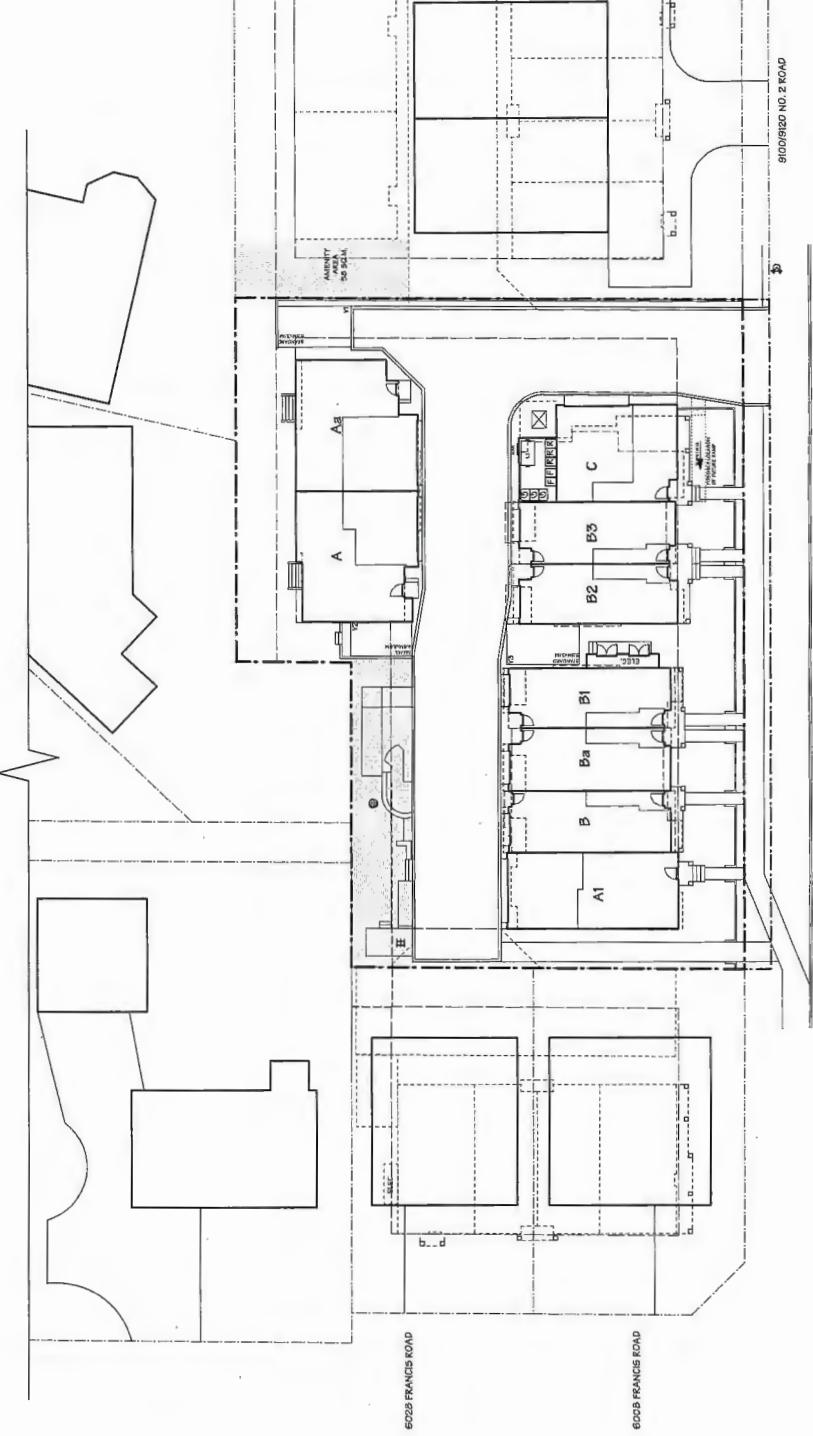
STATISTICS:

CIVIC ADDRESS:	600B, 602B FRANCIS ROAD
SITE AREA :	0,252 SQ.FT. (776 SQ.M.)
SITE COVERAGE (40%):	3,541 SQ.FT.
MAX F.A.R. (0.60):	0,252 SQ.FT. X 0.60 = 5,01 SQ.FT.
PROPOSED :	4 UNITS @ 1,252 SQ.FT.
PARKING :	8 SPACES (RESIDENTS) 19 SPACES (VISITORS)
OUTDOOR AMENITY AREA :	MIN. 24 SQ.M.

CONTEXT PLAN

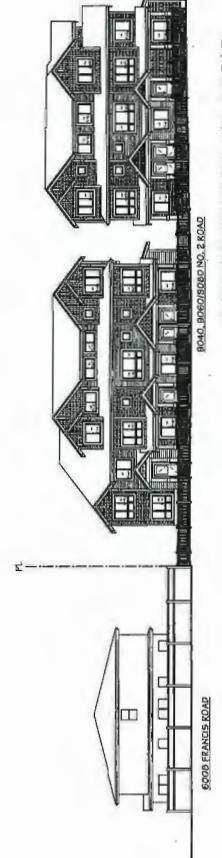


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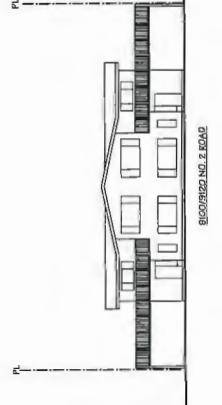


CONCEPTUAL DEVELOPMENT PLAN

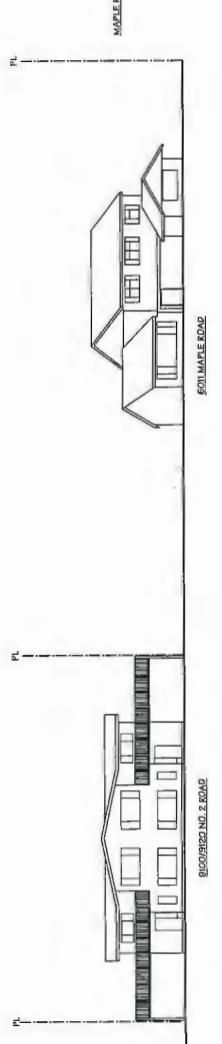
Scale: 1"=20'-0"



STREET ELEVATION - NO. 2 ROAD



STREET ELEVATION - NO. 2 ROAD



STREET ELEVATION - NO. 2 ROAD



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PROJECT
9 UNIT TOWNHOUSE DEVELOPMENT

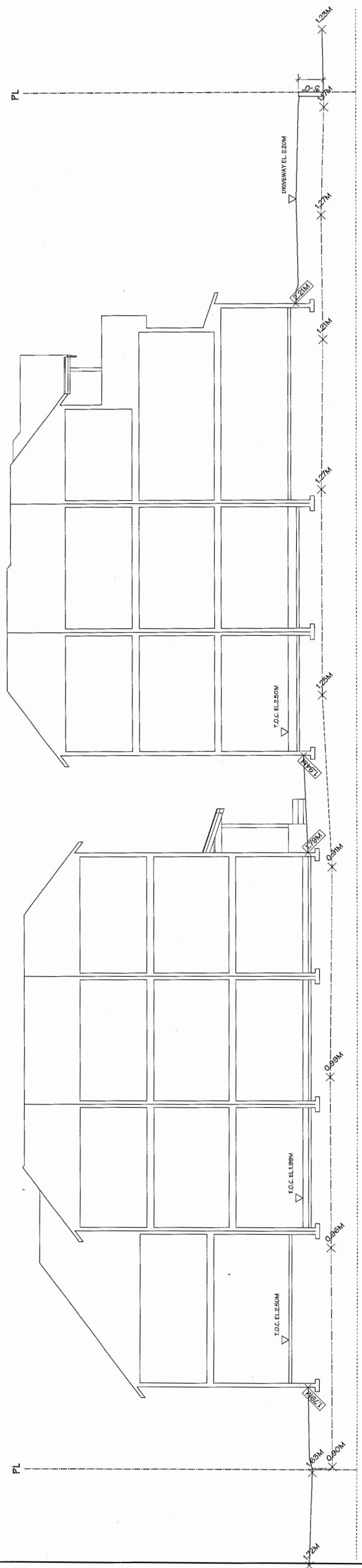
B20, BURGESS RD NO. 2 ROAD
RICHMOND, B.C.

Yamamoto
Architecture Inc.

PLAN #1a

SCALE AS NOTED
DATE MAY 24, 2011
DRAWN TV
CHANGED
PROJ. NO. 1112

DEC 14 2015
PLAN #1A



SITE SECTION - A

.CALE: 3/16" = 1"

GENERAL REVISIONS	
DEC. 11, 2015	GENERAL REVISIONS
SEPT. 14, 2015	GENERAL REVISIONS
JULY 3, 2015	GENERAL REVISIONS
JAN. 8, 2015	GENERAL REVISIONS
SEP. 26, 2014	GENERAL REVISIONS
GENERAL REVISIONS	
AUG. 15, 2013	GENERAL REVISIONS
JAN. 16, 2013	ISSUED FOR D.P. APPLICATION
JUN. 28, 2012	GENERAL REVISIONS
REVISIONS	
NO.	DATE
	CONSULTANT

13-629399

d 0

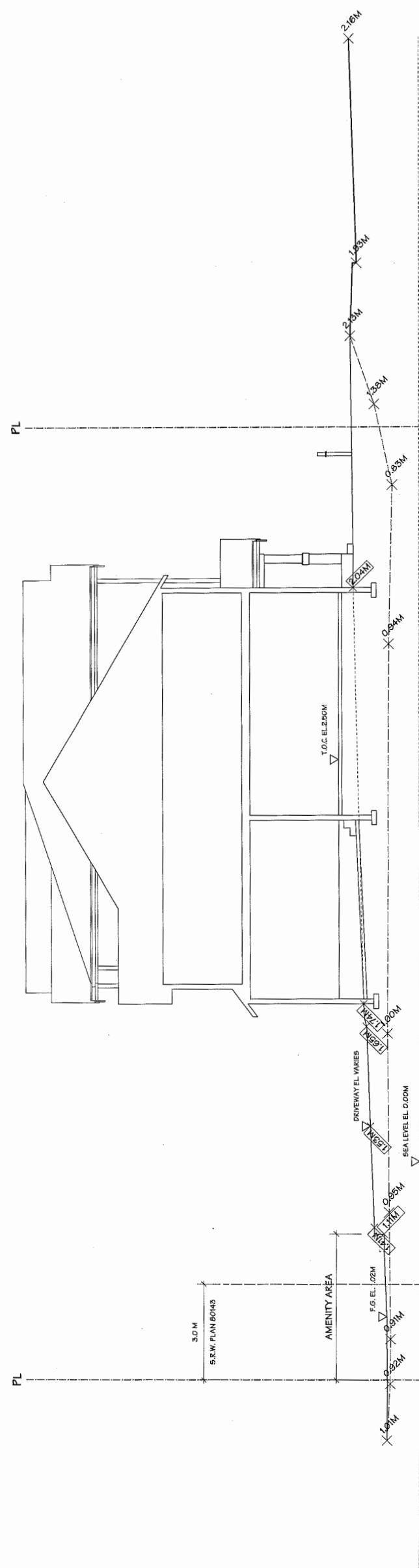
Yamamoto
Architecture Inc.

SITE SECTIONS

SCALE

PLAN #1e

PLAN #1B



SITE SECTION - B

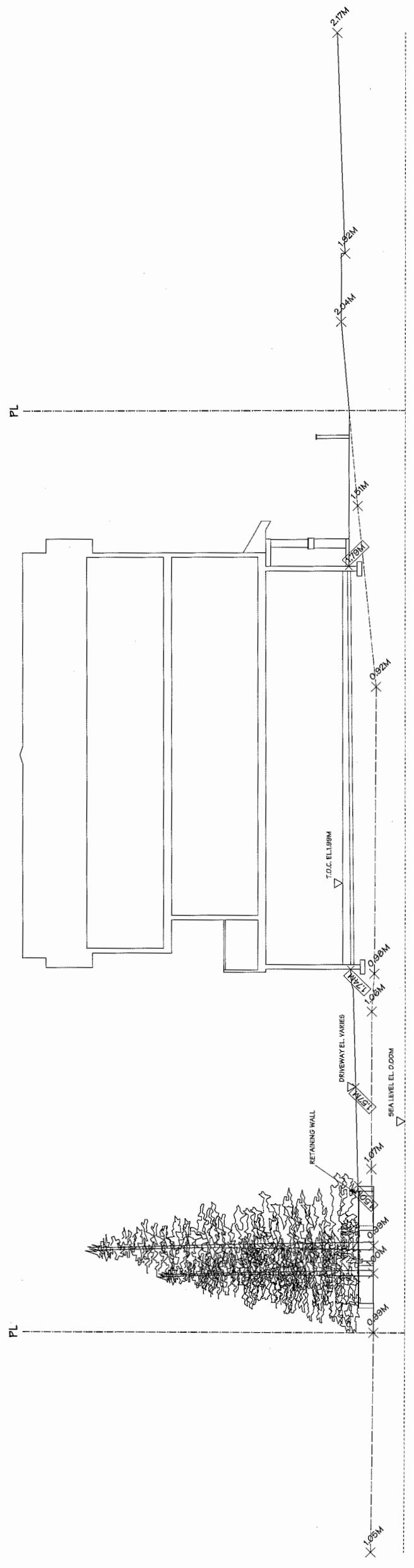
CALE: 3/16" = 1'-0"

SCALE 3'6" x 1'-0"	SHEET NO. PLAN #1e
DATE MAY 24, 2011	PROJ. NO. 1112
BRAIN T/T/M	CHECKED

13-629399

40

DEC 14 2015 PLAN #1C



SITE SECTION - C

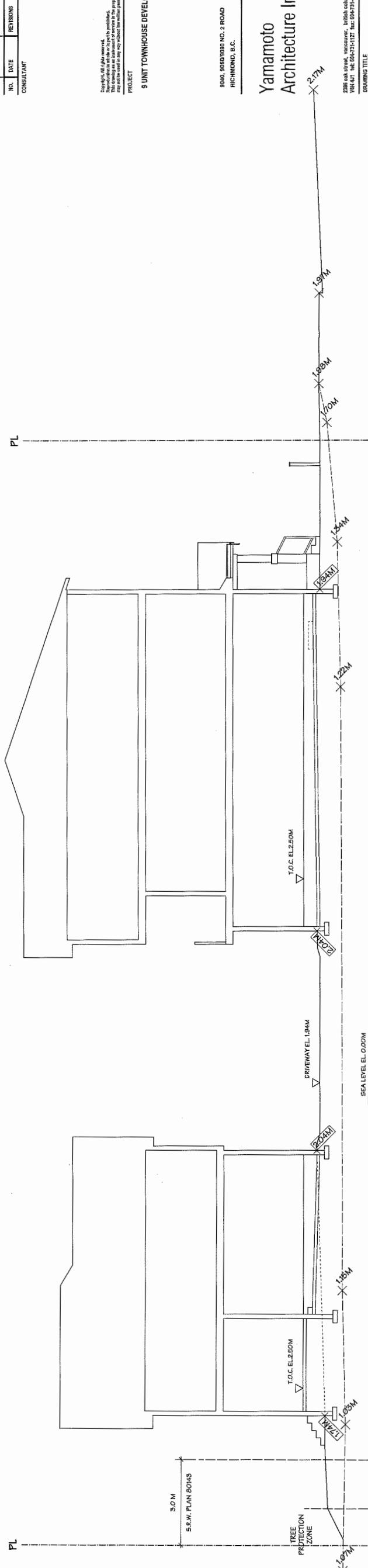
SCALE: 3/16" = 1"-0"

NO.	DATE	REVISIONS	CONSULTANT
		GENERAL REVISIONS	
DEC. 11, 2015		GENERAL REVISIONS	
JULY 14, 2015		GENERAL REVISIONS	
JULY 3, 2015		GENERAL REVISIONS	
JAN. 6, 2015		GENERAL REVISIONS	
SUPER 26, 2014		GENERAL REVISIONS	
AUG. 15, 2013		GENERAL REVISIONS ISSUED FOR D/F APPLICATION	
JANUARY 16, 2013		GENERAL REVISIONS	
JULY 26, 2012		GENERAL REVISIONS	

PROJECT
PROBLEMS IN COMPUTER PROGRAMMING

Yamamoto
Architecture Inc

SITE SECTIONS



SITE SECTION - D

CALE 346 10

SCALE	3'0" x 1'-0"	SHEET NO.	
DATE	JUL 22, 2013	PLAN #	1112
DRAWN	17/7444	FROM, NO.	
CHECKED			

13-629399-B

PLAN #2

DEC. 14 2015

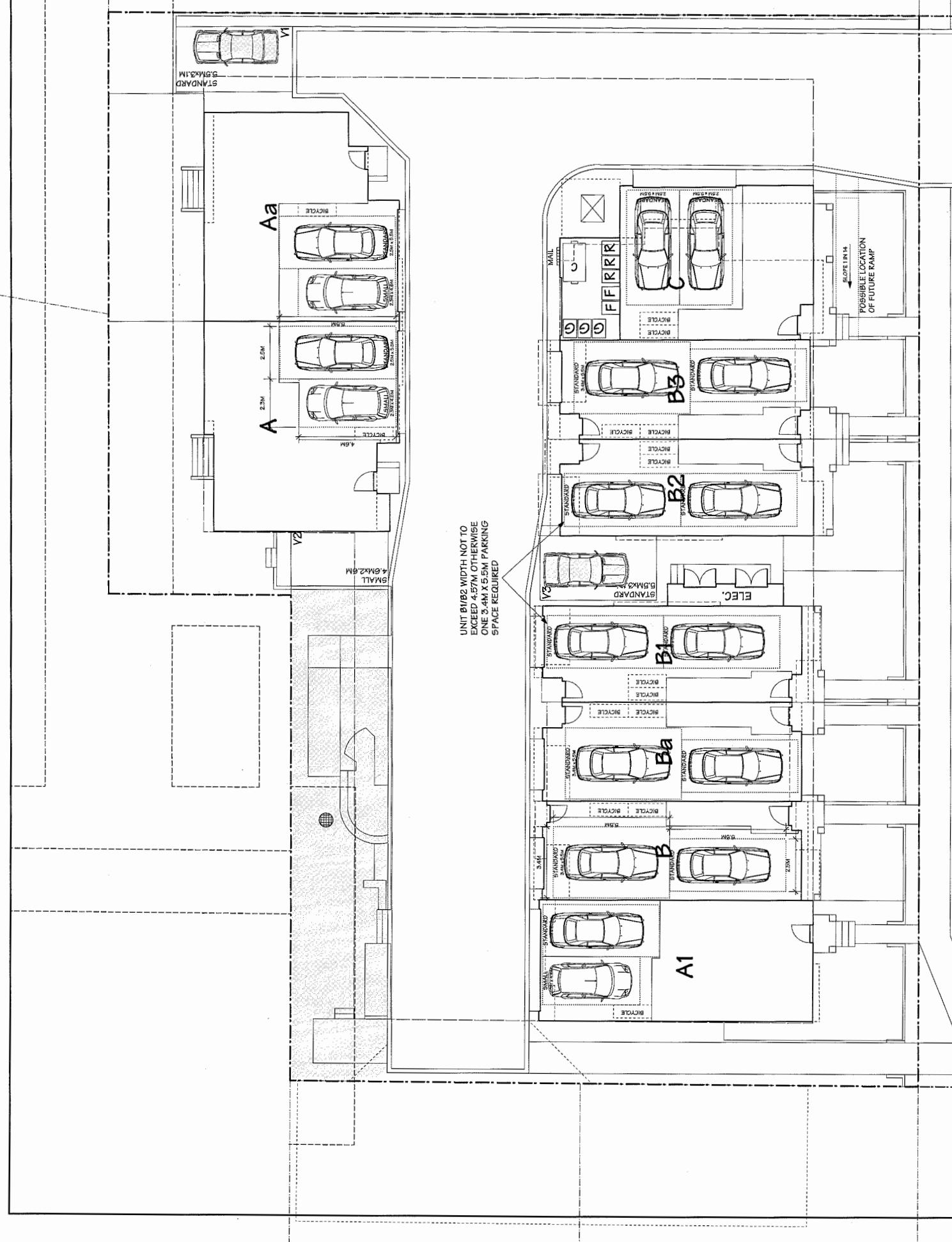
SCALE	18" x 10"	Sheet No.
DATE	JAN. 17, 2012	DRAWN
DRAWN	TT	CHEKED

PLAN #2

PARKING PLAN

208 oak tree, vancouver, british columbia
v6j 4j1 ds-04-151172 fac-04-151127

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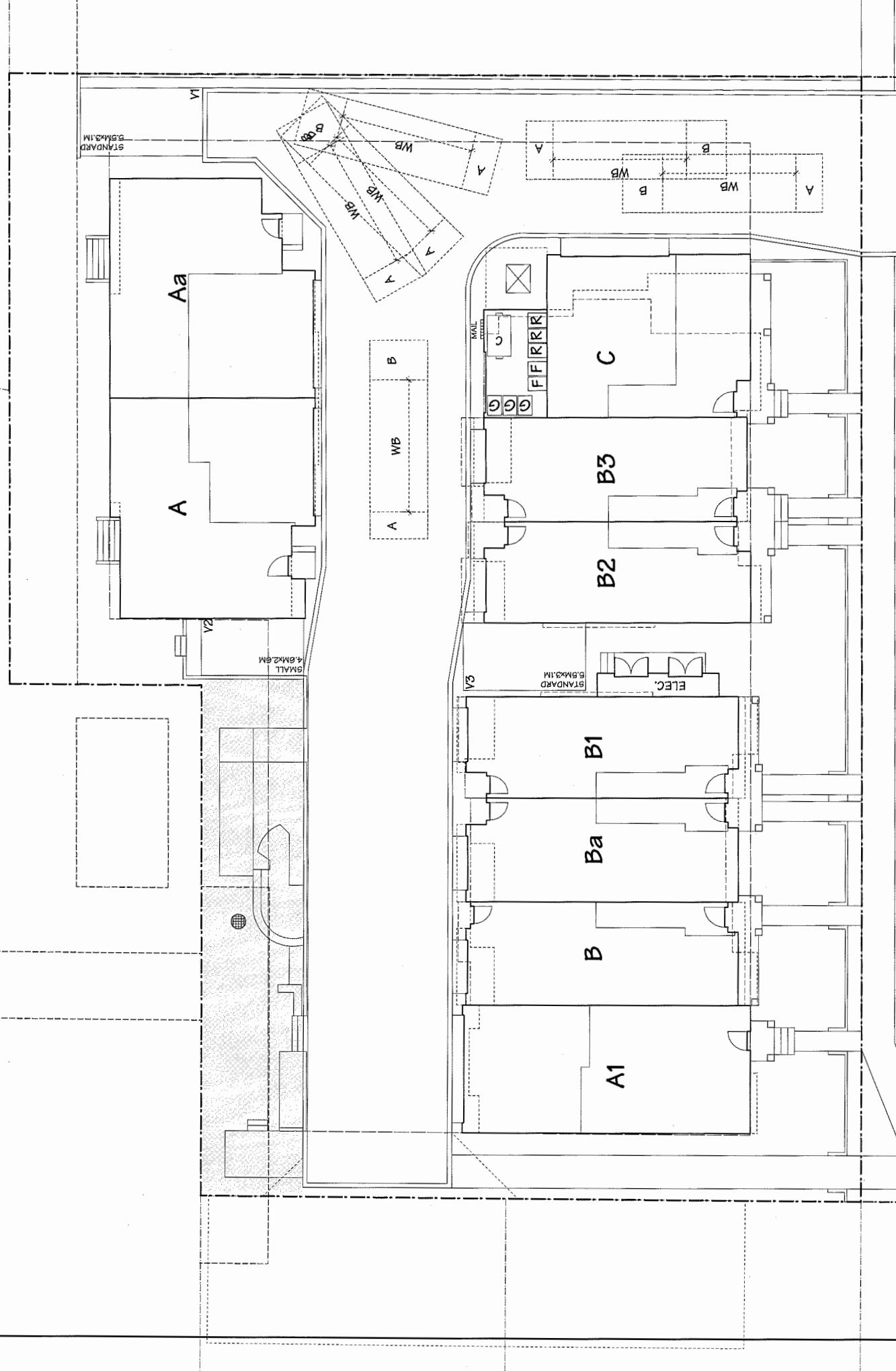
663629-31

do

PLAN #44

PLAN #2A

DEC 14 2015



SU-9 SCHEMATIC ILLUSTRATION

SUCHE

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DEC. 11, 2016	GENERAL REVISIONS
SEPT. 14, 2016	GENERAL REVISIONS
JULY 5, 2016	GENERAL REVISIONS
JAN. 8, 2016	GENERAL REVISIONS
SEP. 26, 2014	GENERAL REVISIONS
AUG. 19, 2013	GENERAL REVISIONS
JAN. 19, 2013	ISSUED FOR P.R. APPLICATION
JUN. 26, 2012	GENERAL REVISIONS
NO.	DATE
	REVISIONS
	CONSULTANT

PROJECT 9 UNIT TOWNHOUSE DEVELOPMENT
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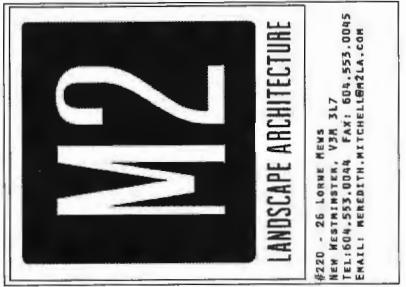
Yamamoto
Architects Inc

2366 oak street, vancouver, british columbia
v6h 4j1 tel: 604-731-1127 fax: 604-731-1327

DRAWING TITLE

SCALE	1"IP = 140'	SHEET NO.	1
DATE	APR 13, 2012	PLAN #	1
DRAWN	TT	PROJ. NO.	1117
		CHECKED	

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LANDSCAPE ARCHITECTURE

#220 - 26 LORNE NEWS
NEW WESTMINSTER, V3N 3L7
TEL: 604-553-0044 FAX: 604-553-0044
EMAIL: MEREDITH.MITCHELL@M2L2.COM



**MULTI-FAMILY
RESIDENTIAL**
PROJECT:
9040, 9060, 9080 NO. 2 RD.
RICHMOND, B.C.

do

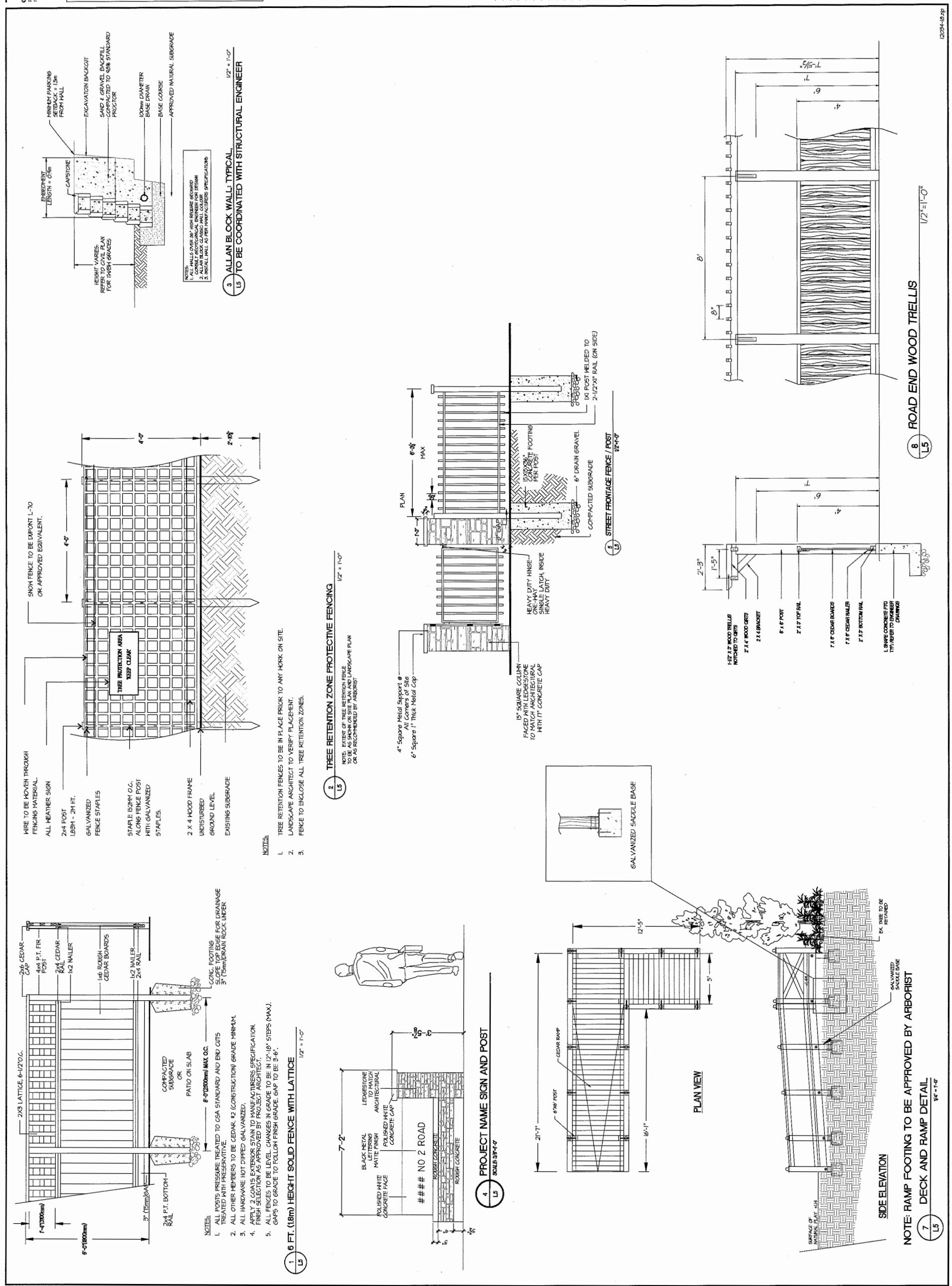
TREE
DIAGRAM

L2
DRAWN: JC
DESIGN: JC

PLANS #3A

DEC 14 2015

NO 2 RD

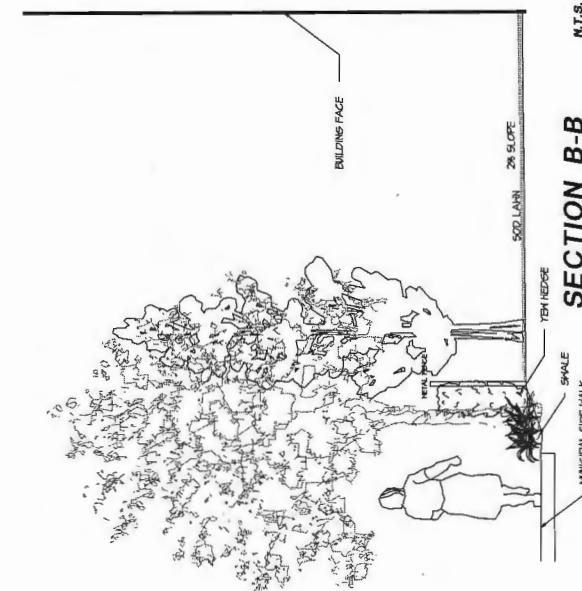
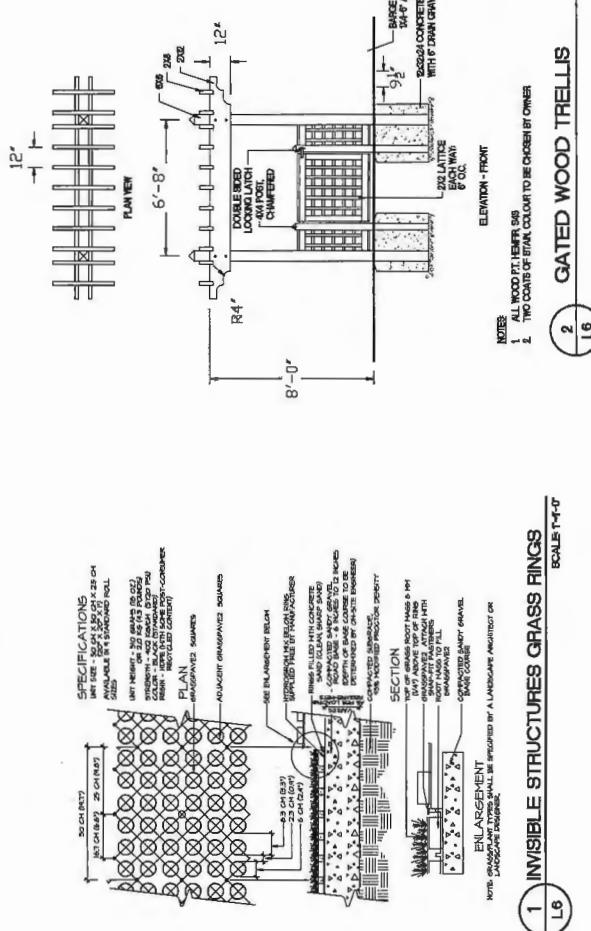


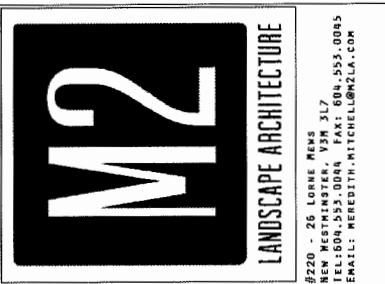


PLANT SCHEDULE		COMMON NAME	PLANTED SIZE / REMARKS
KEY	CITY	BOTANICAL NAME	
TREE			
1	6	ACER GRISEUM	4H HT MULTISTEM B&B
2	8	PAPERBARK MAPLE	4H HT B&B
3	2	SLENDER HINOKI CYPRESS	BCM CAL HT B&B
4	2	DAURICK BEACH MAGNOLIA	BCM CAL HT B&B
5	1	JAPANESE YARROW'S BELL'	BCM CAL HT STDB4B
6	1	STENARIA PSEUDOCANELLA	4H HT B&B
7	1	THUJA PLUMATA	13 POT 40CM
8	1	AZALEA JAPONICA CORAL BELLS'	13 POT 40CM
9	1	AZALEA JAPONICA ROSEBUD'	13 POT 40CM
10	2	HYDRANGEA PANICULATA GLICK FIRE'	13 POT 40CM
11	1	RHODODENDRON BOH BELL'S	13 POT 40CM
12	1	SARCOCOCCA HOPPERANA 'SCAFOLIA'	13 POT 40CM
13	1	SARCOCOCCA HOPPERANA VAR. 'HIMALAYAN SWEET' BOX	13 POT 40CM
14	1	TANIS X MEDIA 'BROWN'	13 HT B&B
15	1	THUJA OCCIDENTALIS 'SHARPNELL'	13 HT B&B
GRASS			
16	C	CAREX TENDUA	11 POT
17	C	DROOPING SEDGE	11 POT
18	A	KINNICKINICK	11 POT 20CM
19	M	LONG LEAF MAHOGANY	11 POT 25CM
20	M	MAHOGANY NEVADA	11 POT 25CM
21	PP	PAEONIA SANGUINEA TERMINALIS	11 POT 25CM
22	P	POLYSTICHUM MONTANUM	11 POT 25CM

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD LATEST EDITION CONTAINER SIZES AS PER CITY STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER SIZES. * REFER TO SPECIFICATIONS FOR PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER HANLAIN AND FRAZER VALLEY. * SUBSTITUTIONS, CERTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL UNAPPROVED SUBSTITUTIONS WILL BE REFUSED. ALONG WITHIN A FIVE DAY PERIOD FROM REQUEST TO SUBSTITUTE TO DELIVER FOR REVIEW TO LANDSCAPE ARCHITECT. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF APPROVALS.

ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.





Landscape Architecture

PART THREE - EXECUTION (cont)

3.6 MINING

- 1 Do not OVER EXCAVATE the site. Further and final mining will occur during the placement of the material.
- 2 All mining shall be performed on a flat hard, level surface approved by the consultant, using the appropriate soil mining equipment.
- 3 Prepare a simple Structural Soil Matrix to determine ratio of mix components. Submit sample with test results for approval.

3.7 PLACEMENT

- 1 Subgrade shall be approved by the Consultant prior to placement of the structural soil mixture.
- 2 Structural soil shall be moist but not saturated with water when placed.
- 3 Compaction of structural soil shall be avoided to avoid damage to drainage structures, irrigation equipment, concrete structures, etc.
- 4 Compaction of structural soil shall be performed in 30mm lifts throughout entire area of structural soil mixture.
- 5 Compaction of structural soil shall be performed with vibrating tamper roller to the satisfaction of the civil engineer.
- 6 Provide Geotechnical Report to confirm compaction. Test to ensure uniform acceptable compaction rates have been achieved for each lift and to all areas of structural soil mixture.
- 7 Refer to Quality Assurance, section 15.
- 8 Provide a uniform firm and level surface allowing for specified depths of road base and/or grading media to meet finished design grade.
- 9 Installation of structural soil in the location of the tree is not recommended. Various techniques such as reinforced root bars, steel bars, large diameter PVC pipe, etc. have been employed to allow for trees to be installed at the tree location on the compacted structure. At the time of tree installation, the same is removed and growing medium is per Section 2.0 added to surround the root ball.

3.8 INSTALLATION OF FILTER FABRIC

- 1 After approval of structural soil mixture compaction, install Filter Fabric.
- 2 Ensure minimum 60mm overlap of all filter sheets and beyond edge of structural soil.

3.9 GRANULAR BASE MATERIAL

- 1 Place minimum 75 mm granular base on top of filter fabric over structural soil layer.
- 2 Compact granular base to 95% Modified Proctor Density. Compaction must be consistent with other surrounding granular base materials.
- 3 All areas shall be graded to the contours and elevations indicated on the contract drawings. Ensure positive drainage.

3.10 PROTECTION

- 1 Protect existing conditions from damage or staining and make good any damage.
- 2 All damage will be repaired at the expense of the initial contractor.

3.11 TREE PLANTING

- 1 Remove surface soil or either backfill material from, see contractor's section 3.7.1 from the full dimensions of the tree graft area (12m x 12m x depth of root ball).
- 2 Re-compact all material below root ball to original specified density to prevent settling of the root ball in the hole.
- 3 Ensure tree plants in the exact centre of the specified planting stem straight and true.
- 4 Install tree in accordance with BFLS Landscape Standard. Cut away synthetic root ball, cut back supportively staked with backfill material.
- 5 Backfill with Growing Medium as per Section 2.1. Ensure the same growing medium used in the structural soil mix is installed as backfill material.
- 6 Place stem depth specified for tree back over the top of the granular pit area.

3.12 TREE BRACKETS

- 1 Set tree bracket and control drawings for tree grafts, stakes and felts.

3.13 ACCEPTANCE

- 1 Consultant shall inspect structural soil in place and determine acceptance of material, and finish grading prior to paving.
- 2 Finish grade shall be within 15mm of proposed grades within 1m of any different faced elevation and to within 5mm of proposed grades above the road base.
- 3 Ensure trees planted in the exact centre of the specified planting stem straight and true.

3.14 SURPLUS MATERIAL

- 1 Remove all excess fill soils and rock piles and dispose of all waste materials, trash and debris from the site.
- 2 Clean up any soil or grit spilled on any paved surface at the end of each working day.
- 3 Upon completion of the structure's soil anchor installation, leave tree bracem- clean. Avoid staining the area until all of the paving has been completed.

3.15 SUBGRADE

- 1 Excavate sub-grade to establish tree pit / trench as indicated on contract drawings. Pare the structural soil under the paving adjacent to the planting pit. NOT in the paving area.

3.16 PREPARATION OF DRAINAGE GRADE

- 1 Verify that grades are correct. If discrepancies occur, notify Contractor and do not commence work until corrected.
- 2 Excavate trench to proposed depth for tree planting pit or trench and install the structural soil mix and backfill material.
- 3 Lay out and install the structural soil mix and backfill material.
- 4 Backfill trench with the structural soil mix and backfill material.
- 5 Re-compact disturbed sub-grade to requirements of master municipal specifications and civil engineering drawings.

3.17 SOIL BANKS

- 1 Instal a re-enforcement of Master Municipal Specification Section 02233: Trenching, Excavation and Compaction allowed for design depth and width of structural soil mix.
- 2 Excavate trench to proposed depth for tree planting pit or trench and install the structural soil mix as indicated on the civil engineering drawings.
- 3 Supply elevations and site specific details to the supervisor of the civil engineer.

3.18 REGULATION

- 1 Instal a re-enforcement of Master Municipal Specification Section 02233: Trenching, Excavation and Compaction allowed for design depth and width of structural soil mix.
- 2 Excavate trench to proposed depth for tree planting pit or trench and install the structural soil mix as indicated on the civil engineering drawings.
- 3 Supply elevations and site specific details to the supervisor of the civil engineer.
- 4 Backfill trench with the structural soil mix and backfill material.
- 5 Re-compact disturbed sub-grade to requirements of master municipal specifications and civil engineering drawings.

3.19 FIELD REVIEW

- 1 Start field review with Consultant to confirm the areas of instability and mining. If and previously submitted, ensure Growing medium sample and test report, representative sample and structural soil sample are ready for inspection at the Start-up Meeting.
- 2 Schedule site meeting with Consultant at the following times:
 - 21 days for commencement of preparation of structural soil source
 - 22 days post preparation of site
 - 23 shipping dates
 - 24 installation of structural soil culture
 - 25 installation dates
 - 26 installation of trees
- 3 Schedule work to co-ordinate with installation of any drainage, irrigation, tree grafting, lighting, paving etc.
- 4 Complete work to ensure tree planting will occur under optimum conditions
- 5 Do not handle or move structural soil mix in vain.

3.20 PRODUCT HANDLING

- 1 All materials used in the composition of structural soil shall be prepared, worked or travelled upon when in a wet or frozen condition.
- 2 Supply and handle soil sample for the preparation of structural soil mixture 10 days prior to commencement of installation. Samples of all material shall be submitted with test report from approved testing agency as per section 13.2 and 13.3
- 3 Complete all stone, growing medium and stabilizer products into a storage, transportation and handling unit.

3.21 BUILDING, STORAGE AND PROTECTION

- 1 For structural soil prepared at source and delivered to site, deliver all materials to site in such a manner as to prevent damage or separation of all materials used in the preparation of structural soil.
- 2 On-site storage of prepared structural soil shall be undertaken in such a manner as to prevent damage or separation of any materials.
- 3 Structural soil to be installed as soon as practicable after arrival. Any structural soils stored overnight, whether on-site or at source shall be covered with tarpaulin or material approved by the consultant, such as materials listed.
- 4 All material to be transported shall be protected in accordance with B.C. Ministry of Environment guidelines.

PLAN # 2H
OF 9

M2LA PROJECT NUMBER: 12-034-1B-2P

DRAWING NUMBER: 12-034

DEC 14 2015

PART ONE - GENERAL

1.1 COPYRIGHT

1. The Structural Soil Specification provided as an instrument of service and retains the property of M2 Landscape Architecture. The information provided in this specification is for exclusive use of M2 Landscape Architecture. This information contained in this document may not be reproduced or distributed, whole or in part, without the permission of M2 Landscape Architecture.

1.2 SCOPE OF WORK

1. The needs of this section shall govern the supply of all equipment, materials and labour necessary for the preparing and placing and compacting Structural Soil Mix as a project's capstone.

2. It is the intent that the structure and soil will provide an adequate load bearing characteristics for light load (car) or heavy load (truck and/or trailer) applications of large scale soil development.

3. Refer to drawings for location and dimension of structural soil mixture.

4. All other related works as described in the drawings and/or this specification.

1.3 RELATED WORK

1 Section 0200, Landscape Requirements

2 Section 0710, Landscape Drainage

3 Section 0210, Irrigation Systems

4 Section 0220, Seeding, Sodding, Turfgrass

5 Section 0240, Planting Trees, Shrubs, and Groundcover

6 Section 0250, Mulches and Compost

7 Section 0260, Site Preparation

8 Section 0270, Landscaping

9 Section 0280, Irrigation Systems

10 Section 0290, Seeding, Sodding, Turfgrass

11 Section 0300, Mulches and Compost

12 Section 0310, Irrigation Systems

13 Section 0320, Seeding, Sodding, Turfgrass

14 RELATED MASTER SPECIFICATION

1 Section 0200, Landscape Requirements

2 Section 0710, Landscape Drainage

3 Section 0210, Irrigation Systems

4 Section 0220, Seeding, Sodding, Turfgrass

5 Section 0240, Planting Trees, Shrubs, and Groundcover

6 Section 0250, Mulches and Compost

7 Section 0260, Site Preparation

8 Section 0270, Landscaping

9 Section 0280, Irrigation Systems

10 Section 0290, Seeding, Sodding, Turfgrass

11 Section 0300, Mulches and Compost

12 Section 0310, Irrigation Systems

13 Section 0320, Seeding, Sodding, Turfgrass

14 Section 0330, Mulches and Compost

15 Section 0340, Irrigation Systems

16 QUALITY ASSURANCE

1 All structural soil material used in street tree planting shall be from a source approved by M2 Landscape and all similar materials supplied to the site shall be of similar nature and from a single source. A due notice to supplier may be required if the source of supply is changed. The consultant shall be provided with a copy of an amendment to the contract and all similar materials supplied to the site shall be of similar nature and from a single source and be supplied by the same source and provide a copy of an amendment to the contract and all similar materials supplied to the site shall be of similar nature and from a single source. A due notice to supplier may be required if the source of supply is changed. 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LANDSCAPE ARCHITECTURE

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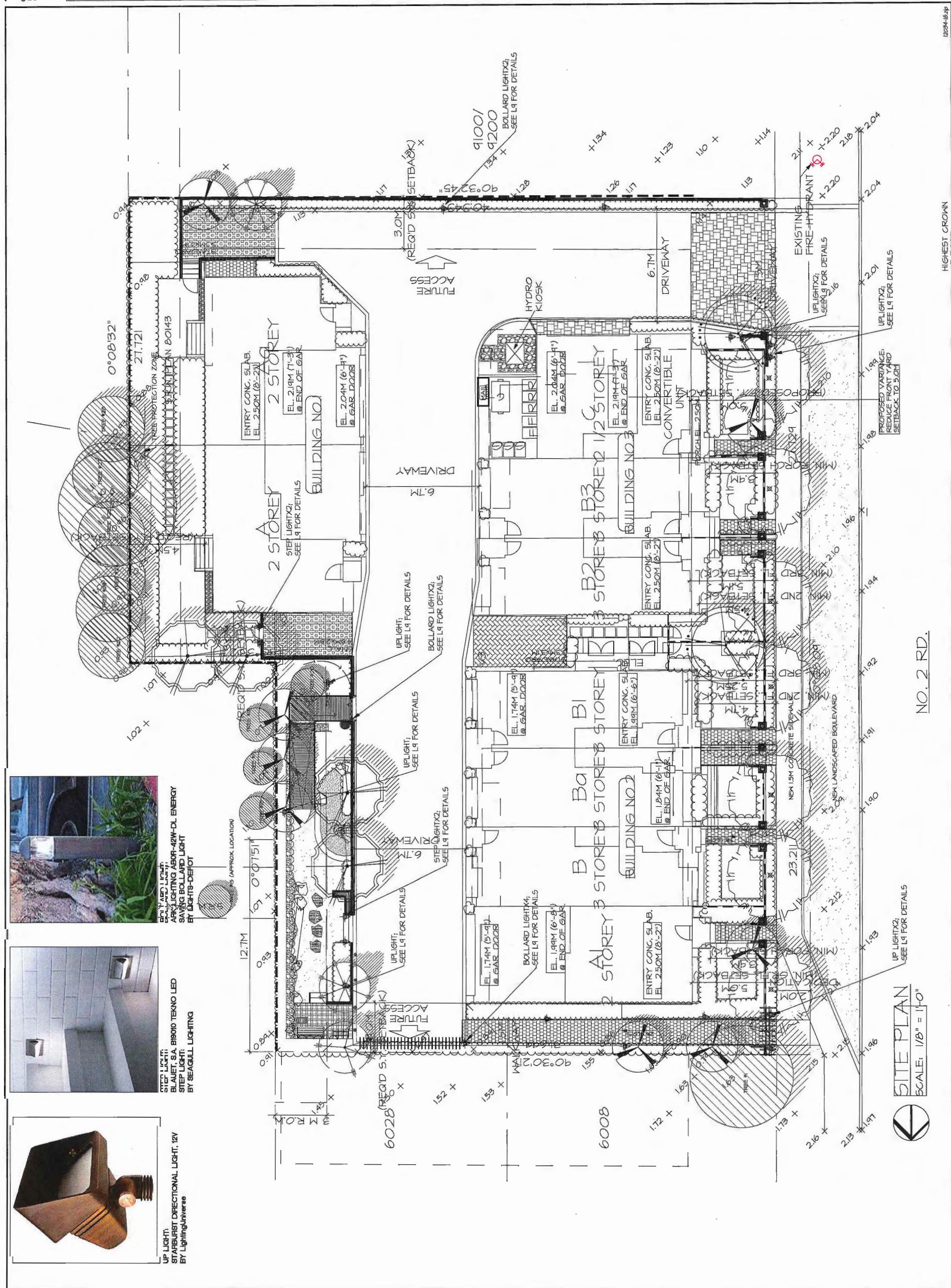
MULTI-FAMILY
RESIDENTIAL
9040, 9060, 9080 NO. 2 RD.
RICHMOND, BC.

LIGHTING PLAN

DRAWING NUMBER:
L9

DATE: 12/MAR/29
SCALE: 1/8"=1'-0"
DRAWN: J.C.
DESIGN: J.C.

CHKD: MTLM OF \$
M2A PROJECT NUMBER: 12-034



DEC 14 2015

PLAN #4

SHEET NO.

112

SCALE: 1" = 1'-0"

DATE: MAY 24, 2011

DRAWN: TT

CHECKED:

13-629399

DB

Yamamoto
Architecture Inc.

NORTH ELEVATION

SOUTH ELEVATION

NORTH ELEVATION

BUILDING NO.2

BUILDING NO.3

ELEVATIONS

9 UNIT TOWNSHOUSE DEVELOPMENT

9016, SEDGEMOOR NO. 2 ROAD
RICHMOND, B.C.

20m one story, two-storey, with common
EL. 4.1 (13') tall, 6.5' (1.98m) wide, 1.5' (0.45m) deep

DRAWING TITLE:

13-629399

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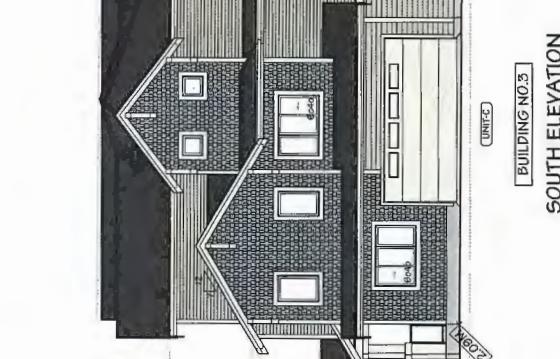
13-629399

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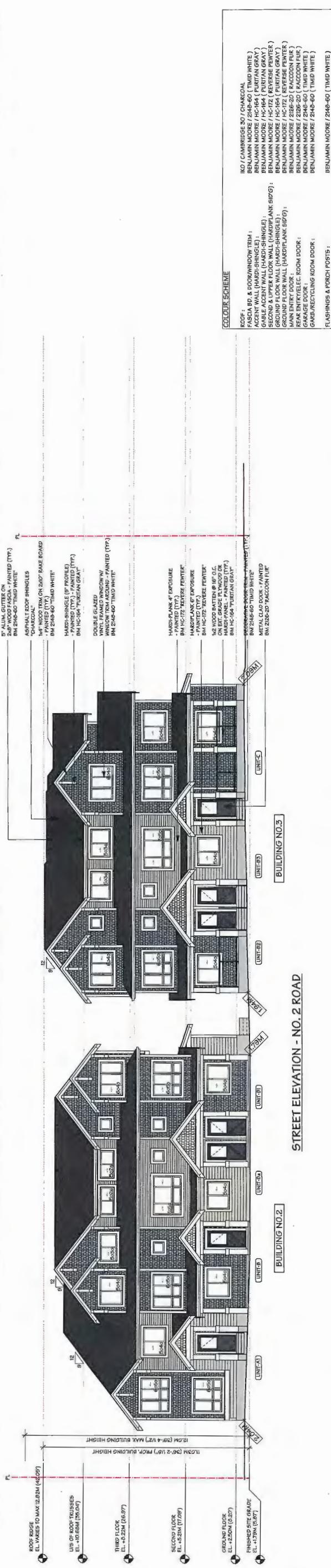
SOUTH ELEVATION

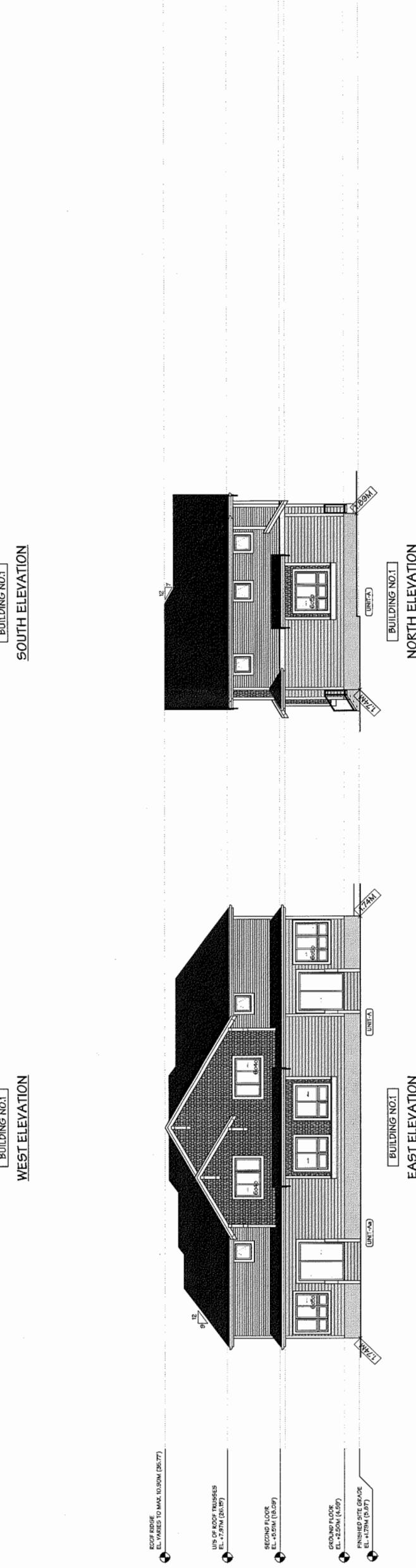
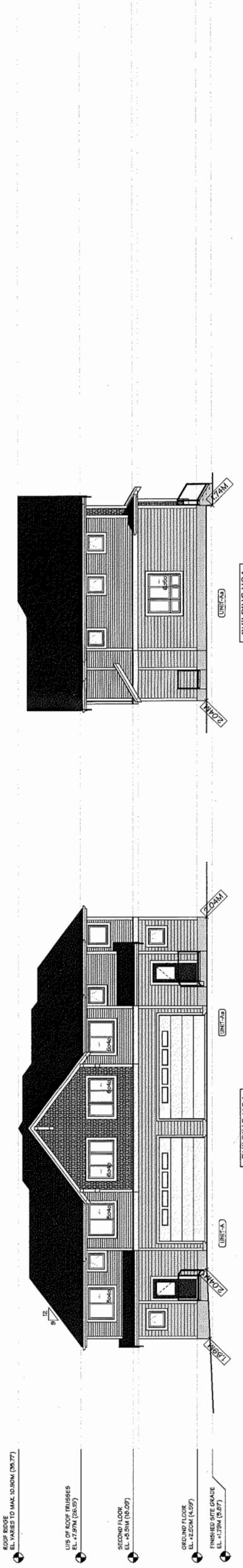


EAST ELEVATION - DRIVEWAY



STREET ELEVATION - NO. 2 ROAD





13-629399-1

PLAN #5

ELEVATIONS

9040, 8868#99 NO. 2 ROAD
RICHMOND, B.C.

Yamamoto
Architecture Inc.

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For my use only and not to be reproduced or given to others.
PROJECT

9 UNIT TOWNHOUSE DEVELOPMENT

SCALE	1'0" = 1'-0"	SHEET NO.
		238 Oak Street, Vancouver, British Columbia
DATE	MAY 24, 2011	VIN 4J1 1B12043151127
DRAWN	T7	DRWNG NO. 1112
CHECKED		

DEC 14 2015 PLAN #4A

6629-13

DP

AGING IN PLACE FEATURES (TO BE PROVIDED IN ALL UNITS):

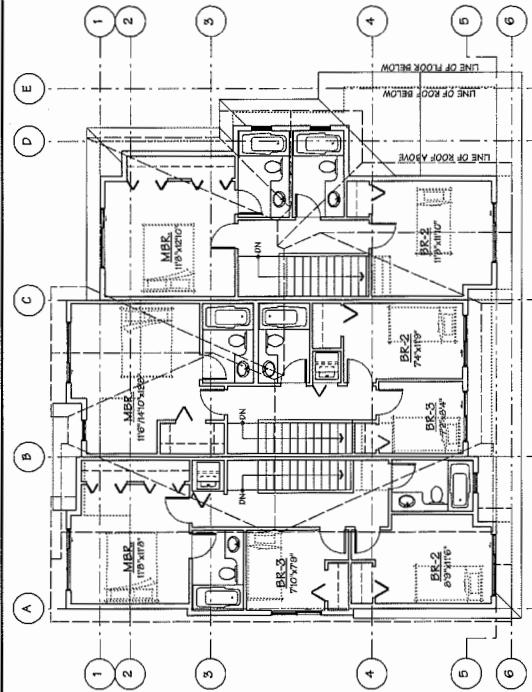
- SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE GRAB BAR INSTALLATION
- LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES

SUSTAINABILITY FEATURES (TO BE PROVIDED IN ALL UNITS):

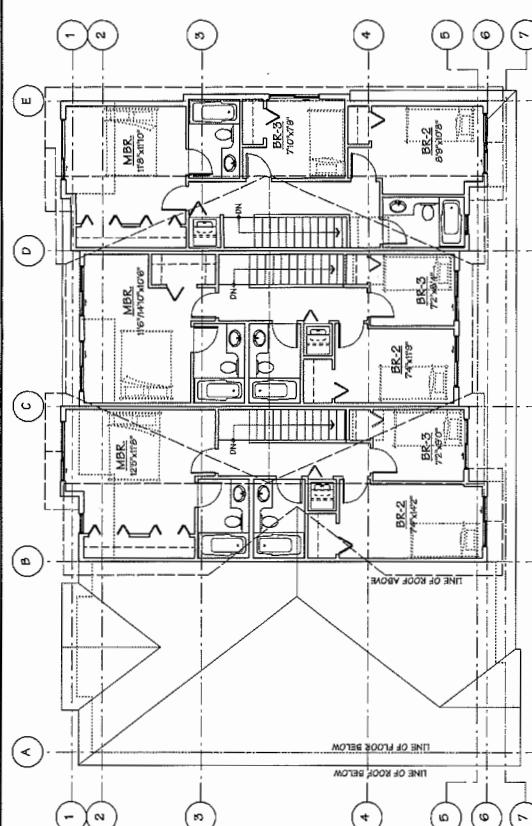
- DOUBLE GLAZED VINYL FRAMED WINDOW (W/ LOW E GLASS)
- ENERGY EFFICIENT LIGHT BULBS.
- ALL ENERGY STAR APPLIANCES.
- LOW FLOW FAUCETS.

ENERGUIDE #2:

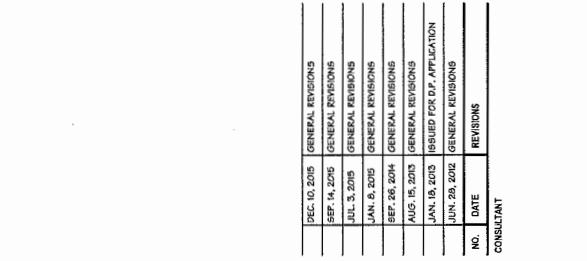
RC2 BULL UNDER FLOOR INSULATION
- DOUBLE GLAZED VINYL FRAMED WINDOW (W/ LOW E GLASS)
- SPACER, AERON GAS FILLED RINGED DIVIDERS WITH VINYL FRAMES
- STEEL POLYURETHANE CORE DOORS, INSULATED IN DOORS;
- AERON GAS FILLED RINGED DIVIDERS WITH VINYL FRAMES
- SPACE HEATING SYSTEM: NATURAL GAS CONDENSING BOILER, AERON AFUE 90%
- DOMESTIC HOT WATER, NATURAL GAS COMBINATION DHW ENERGY SAVING ENERGY LIGHTING 205 WATT (3 ENERGY STAR APPLIANCES & 20% ENERGY STAR LIGHTING IN ADDITION FOR UNIT A AND UNIT C, & RECENTLY INSTALLED IN UNIT B)



THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"
CEIL. HT.: 8'-0"



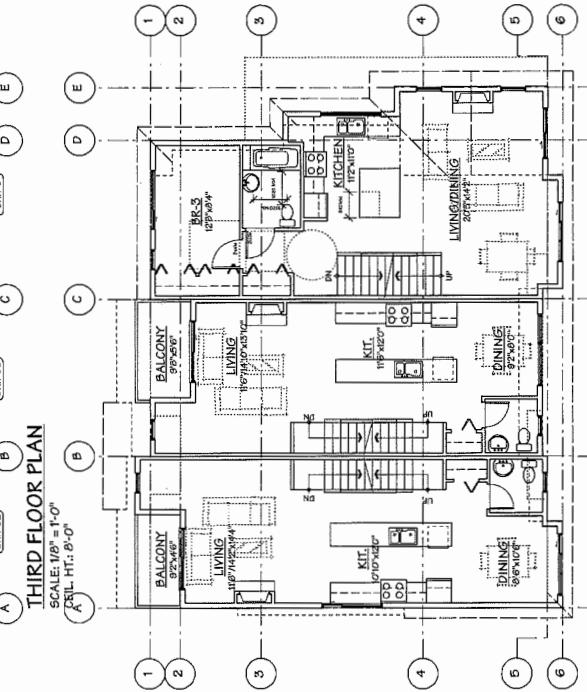
THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"
CEIL. HT.: 8'-0"



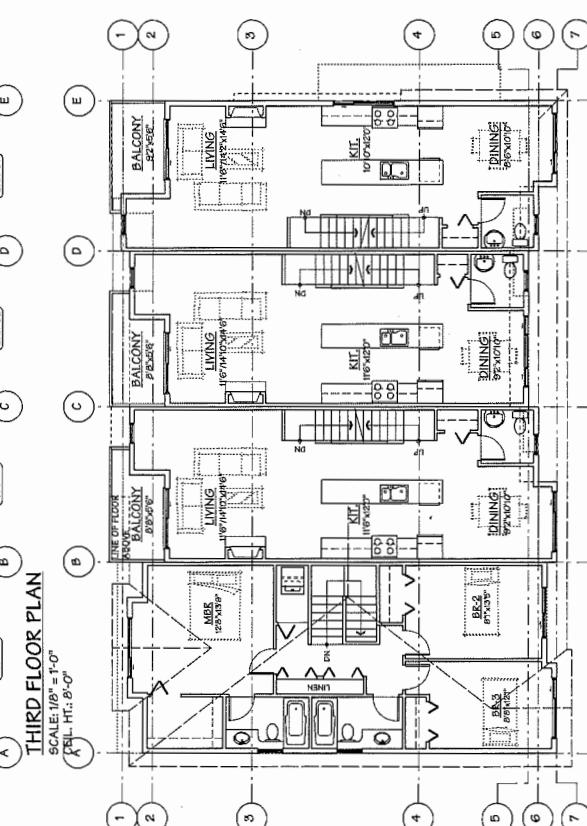
PLC. NO. 2015 GENERAL REVISIONS
SEP. 14, 2015 GENERAL REVISIONS
JULY 3, 2015 GENERAL REVISIONS
SEP. 26, 2014 GENERAL REVISIONS
AUG 15, 2015 GENERAL REVISIONS
JAN. 16, 2015 ISSUED FOR D.F. APPLICATION
JUN. 29, 2012 GENERAL REVISIONS
NO. DATE REVISIONS
CONSULTANT

PROJECT

9 UNIT TOWNHOUSE DEVELOPMENT

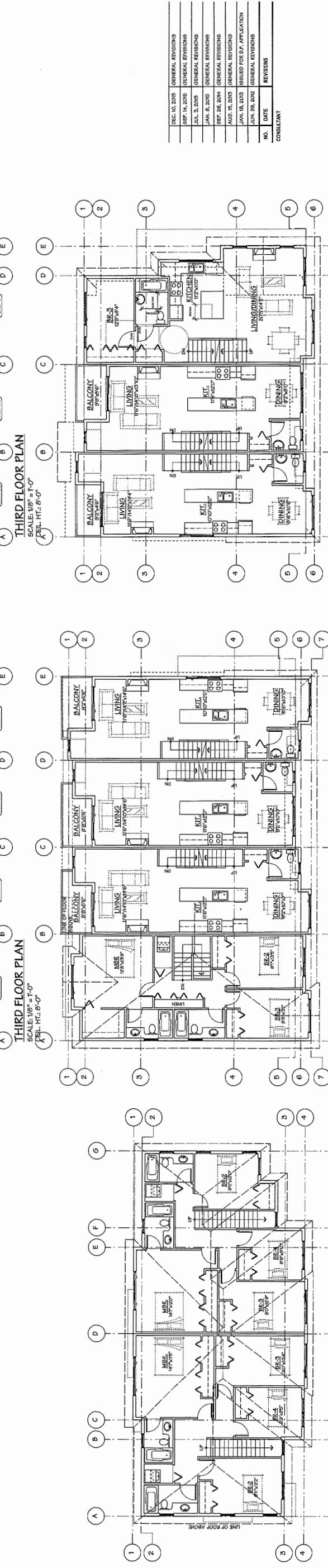


SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"
CEIL. HT.: 8'-0"

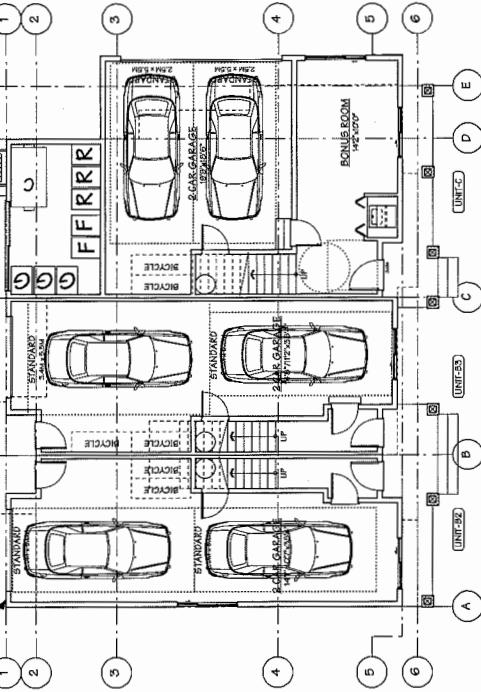


UNIT B1/B2 WIDTH NOT TO EXCEED 45'7" OTHERWISE ONE CAR X 5'5" PARKING SPACE REQUIRED

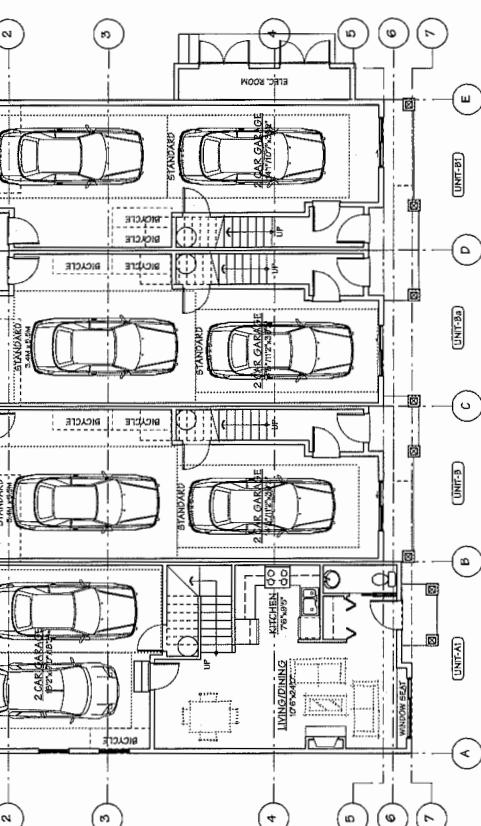
SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"
CEIL. HT.: 8'-0"



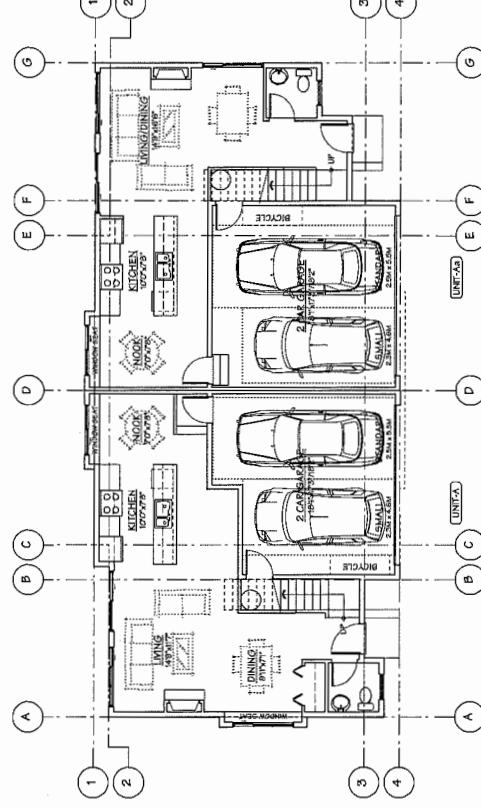
SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"
CEIL. HT.: 8'-0"



GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"
CEIL. HT.: 8'-0"



GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"
CEIL. HT.: 8'-0"



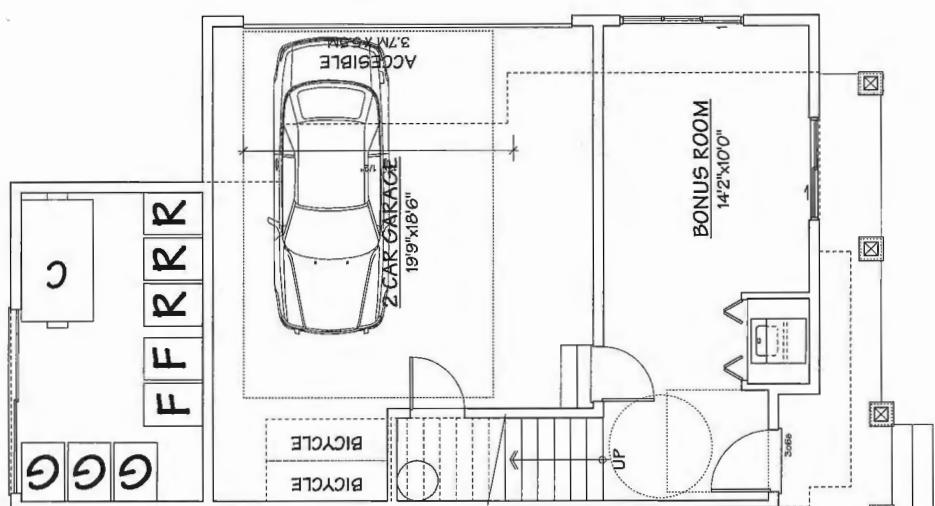
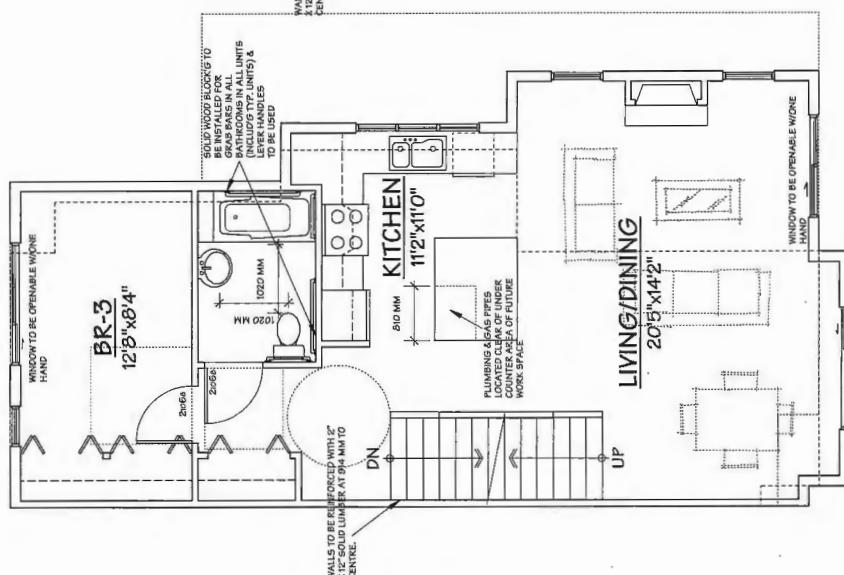
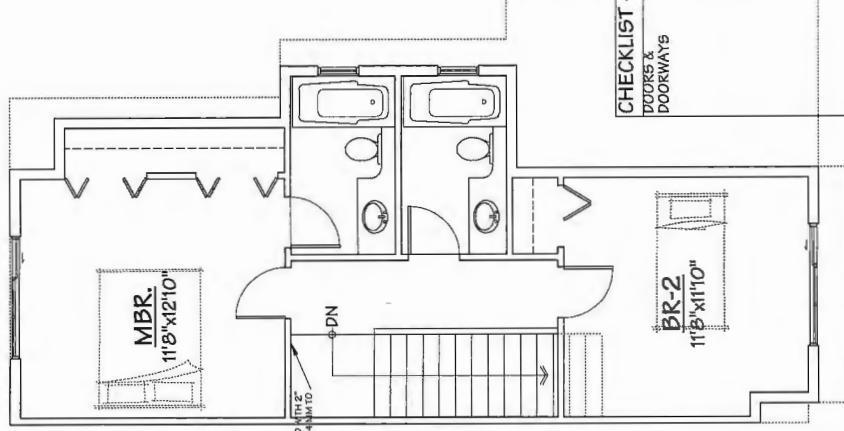
GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"
CEIL. HT.: 8'-0"

2318 oak street, vancouver, british columbia
VER. 1.1. 06/04/2012, DAC 144-11-027
RICHARD, B.C.
FLOOR PLANS

PLAN #6
SHEET NO. 18-1 1/4" x 10'
DATE MAY 24, 2011
DRAWN TY
CHECKED PHO. NO. 1112

DP 13-629399

AGING IN PLACE FEATURES (TO BE PROVIDED IN ALL UNITS):	
- SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION	- LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES
SUSTAINABILITY FEATURES (TO BE PROVIDED IN ALL UNITS):	
- DOUBLE GLAZED VINYL FRAMED WINDOW/WILOW E GLASS (TYPE)	
- ENERGY EFFICIENT LIGHT BULBS.	
- LEVER-TYPE SINK APPLIANCES.	
- LOW FLUXT FIRE RETARDANT.	
ENERGUIDE 82:	
- R2 FULL UNDER SLAB INSULATION	
- DOUBLE GLAZED, SOFT COAT LOW E (L.O.E), INSULATED VINYL FRAMED ARGON GAS FILLED HINGED WINDOWS WITH VINYL POLYURETHANE CORE DOORS GLAZING IN DOORS.	
- DOUBLE GLAZED, SOFT COAT LOW E, INSULATED SPACER, ARGON GAS TILL PICTURE WINDOWS.	
- SPACE HEATING SYSTEM: NATURAL GAS COMBINATION BOILER, AIR-CONDITIONER, WATER HEATER, NATURAL GAS COMBINATION DHW SYSTEM, 40 L/min, ENERGY FACTOR 0.79	
- ENERGY CREDIT (LOW ENERGY LIGHTING): 285 kWh (3 ENERGY STAR APPLIANCES & 80% ENERGY STAR LIGHTING IN ADDITION FOR UNIT A AND UNIT C).	
- IN-SOURCE CREDIT (DEANNAWATER HEAT RECOVERY): 1500 kWh (MIN. 2 SHOWERS WITH 37" DRAIN, 40" IN LENGTH)	



ALT. UNIT C CONVERTIBLE PLAN

SCALE : 1/4" = 1'-0"

CHECKLIST - CONVERTIBLE UNIT FEATURES	
DOORS & DOORWAYS	COMPLETES. ENTRY DOORS ARE A MINIMUM 863 MM BUT IDEALLY 914 MM AND HAVE CLEAR ACCESS.
	ROUGH IN WIRING PROVIDED.
	INTERIOR DOORS TO MAIN LIVING AREAS, 1 BATHROOM, AND 1 BEDROOM, MIN. 800 MM CLEAR OPENING WITH FLUSH THRESHOLDS MAX. 13 MM HIGH. DEMONSTRATE WHEEL CHAIR ACCESS BETWEEN THE HALLWAY AND KITCHEN, AND WIDEN HALLWAY AND/OR DOORWAY(S) IF NECESSARY TO SECURE ACCESS
	PATIO/BALCONY MIN. 860 MM CLEAR OPENING. NOTE HOW ACCESSED.
	ALL INTERIOR THRESHOLDS WITHIN UNITS COMPLY WITH BC BUILDING CODE.
LEVER-TYPE HANDLES FOR ALL DOORS.	COMPLETES.
STAIR LIFT, STAIRCASE WIDTH, FRAMING SUPPORT, AND LANDINGS, AS NOTED ON PLANS IN COMPLIANCE WITH MANUFACTURER SPECIFICATIONS, OR VERTICAL LIFT, DEPRESSED SLAB AREA, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECIFICATIONS	COMPLETES.
	FRAMING TO ACCOMMODATE SHAFT CONSTRUCTION WITHOUT IMPACT TO SURROUNDING STRUCTURE.
HALLWAYS	AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2" X 12" SOLID LUMBER AT 84 MM TO CENTRE.
GARAGE	MIN. 900 MM WIDTH.
BATHROOM (MIN. 1)	ACCESS FROM GARAGE TO LIVING AREA MIN. 800 MM CLEAR OPENING.
	TOILET CLEAR FLOOR SPACE MIN. 1020 MM AT SIDE AND IN FRONT.
	WALL BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TOILET, TUB AND SHOWER, REINFORCED WITH 2" X 12" SOLID LUMBER IN ALL BATHTUB, SHOWER, AND TOILET LOCATIONS.
	LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.
	PRESSURE AND TEMPERATURE CONTROL VALVES ARE INSTALLED ON ALL SHOWER FAUCETS.
	CABINET'S UNDERNEATH SINK(S) ARE EASILY REMOVED.
KITCHEN	DIMONSTRATE BATH AND SHOWER CONTROLS ARE ACCESSIBLE (LAYOUT OR FIXTURE PLACEMENT).
	CLEAR AREA NEEDED UNDER FUTURE WORK SPACE / PLUMBING AND GAS PIPES (IN-WALL AND IN-FLOOR) LOCATED CLEAR OF UNDER COUNTER AREA OF FUTURE WORK SPACE (STOVE, SINK & MIN. 810 MM WIDE COUNTER). ALL PIPES ARE BROUGHT IN NO HIGHER THAN 304 MM TO 355 MM TO THE CENTRE OF THE PIPE FROM FLOOR LEVEL.
	CABINET'S UNDERNEATH SINK ARE EASILY REMOVED.
	LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.
WINDOWS	MIN. 1 WINDOW THAT CAN BE OPENED WITH A SINGLE HAND (BATHROOM, KITCHEN, LIVING ROOM)
OUTLETS & SWITCHES	PLACEMENT LOCATIONS OF ELECTRICAL OUTLETS: BESIDE WINDOW, BOTTOM OF STAIRWAYS, BESIDE TOILET, ABOVE EXTERNAL DOORS (OUTSIDE AND INSIDE), ON FRONT FACE OF KITCHEN COUNTER, WITHIN PROXIMITY OF CONTROL CENTRE FOR SMART HOME OPTIONS, UPGRADE TO FOUR-PLEX OUTLETS IN MASTER BEDROOM, HOME OFFICE, GARAGE, AND RECREATION ROOM.



**City of
Richmond**

Report to Development Permit Panel

To: Development Permit Panel

Date: December 21, 2015

From: Wayne Craig
Director of Development

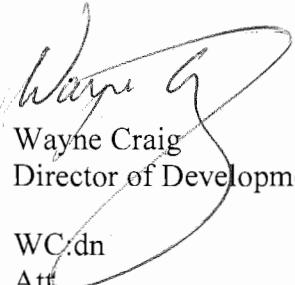
File: DP 14-660885

Re: Application by Rafii Architects Inc. and DYS Architecture on behalf of Kebet Holdings Ltd., Inc. No. BC0712200 for a Development Permit at 5580 No. 3 Road

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of approximately 132 residential units, which includes 128 units within a residential tower and four (4) two-storey townhouse units above the parking podium, and grade level commercial units along No. 3 Road at 5580 No. 3 Road on a site zoned "Downtown Commercial (CDT1)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to reduce the residential parking rate from the standard City wide parking rate to the City Centre Zone 1 parking rate.


Wayne Craig
Director of Development

WC:dn
Att.

Staff Report**Origin**

Rafii Architects Inc. and DYS Architecture have applied on behalf of Kebet Holdings Ltd., Inc. No. BC0712200 to the City of Richmond for permission to develop 5580 No. 3 Road as a mixed-use development that includes 128 residential units within a tower form, four (4) two-storey townhouse units above the proposed parking podium, and approximately 529 m² (5,703 ft²) of commercial space along the No. 3 Road frontage. The proposed development will secure nine (9) units as affordable housing units in accordance with the City's Affordable Housing Strategy. The subject site is zoned "Downtown Commercial (CDT1)". The site is currently developed as a single storey commercial building.

There is no rezoning application associated with this project. The applicant proposes to develop the site in accordance with the site's CDT1 zoning and Urban Core T6 (45 m) designation in the City Centre Area Plan (CCAP).

A Servicing Agreement (SA) is required and is discussed in detail in Attachment 5. The scope of the SA includes improvements to the existing storm sewer and sanitary sewer, and transportation improvements associated with extending a north/south lane at the rear of the proposed building.

Surrounding Development

The subject site is in the Lansdowne Village in an area designated in the City Centre Area Plan (CCAP) for high-density, high-rise commercial and mixed-use development (Attachment 2). Development surrounding the subject site is as follows:

- To the north, an existing single storey restaurant with associated surface parking. The site is zoned "Commercial Downtown (CDT1)" and designated Urban Core T6 (45 m) and Village Centre Bonus in the Lansdowne Village;
- To the east, an existing residential development consisting of two (2) sixteen-storey residential towers set back from Lansdowne Road, a mid-rise building at the northeast corner of the site and two-storey townhouses and tower lobbies along Lansdowne Road. A 6.1 m (20 ft.) wide right of way was secured along the western edge of this site to initiate a lane between Lansdowne Road and Ackroyd Road that will be extended south as properties redevelop along No. 3 Road. The site is zoned "Commercial Downtown (CDT1)" and designated Urban Core T6 (45 m) and Village Centre Bonus in the Lansdowne Village;
- To the south, two (2) free standing single storey restaurants and associated surface parking on a large lot that extends to Ackroyd Road. The site is zoned "Commercial Downtown (CDT1)" and designated Urban Centre T6 (45 m) and Village Centre Bonus in the Lansdowne Village; and
- To the west, the Canada Line elevated rapid transit system, No. 3 Road, and an upholstery and manufacturing building across No. 3 Road, which is zoned "Auto Oriented Commercial (CA)" and designated Urban Centre T6 (45 m) and Village Centre Bonus in the Lansdowne Village.

Development Information

The proposed building consists of a partially submerged three-storey parking podium with ground-level commercial space and residential lobby fronting No. 3 Road, approximately 128 units within a residential tower that is located on the western portion of the podium, and four (4) two-storey townhouse units located on the eastern portion of the podium. The proposed site plan and building design reflect the applicant's response to site specific constraints, which includes the adjacent Canada Line guideway, a relatively small northern adjacent lot, and the introduction of rear lane access in conjunction with an extension of the existing lane network.

Pedestrian access would be provided to the commercial spaces from the No. 3 Road street frontage. Access to the parking, loading and garbage/recycling facilities would be provided from the proposed lane extension.

Common outdoor amenity space for residents is proposed at the third level of the building above the parking podium. Common indoor amenity space would be located within third and fourth storey spaces (L3 & L5) on the west side of the building and east oriented space on the third storey (L3) of the building, which incorporates direct access to the proposed podium level outdoor amenity space. The proposed amenity spaces would comply with Official Community Plan (OCP) guidelines.

The attached Development Application Data Sheet (Attachment 1) provides a comparison of the proposed development data with the relevant Bylaw requirements.

Related Polices & Bylaws

The applicant is required to comply with City bylaws and policies, including the following. In applicable cases, the terms are articulated in the Development Permit Considerations (Attachment 5).

Official Community Plan (OCP)/City Centre Area Plan (CCAP)

The site is designated "Downtown Mixed Use" in the OCP, which supports the proposed mixed residential and commercial use. The site is located within the Lansdowne Village Plan in an area designated for high-density, high-rise commercial and mixed-use development, which supports the proposed use and density (Attachment 2).

Flood Management Implementation Strategy

The development proposal is required to comply with the requirements of the Richmond Flood Plain Designation and Protection Bylaw 8204. In accordance with the Flood Management Strategy, a Flood Indemnity Restrictive Covenant is required prior to Development Permit issuance.

Affordable Housing

- The applicant has chosen to apply a provision in the CDT1 zone that permits an increase of the permitted density from 3.0 FAR to 3.15 FAR provided a minimum of 5% of the proposed residential floor area is secured as affordable housing units.
- Out of the proposed 132 units, nine (9) units will be secured as affordable housing. The associated floor area of these units is approximately 540 m^2 ($5,820 \text{ ft}^2$), which is slightly

greater than 5% of the proposed residential floor area. The units will be located on the west side of the tower, and at the south west and north east corner of the tower. The following units have been identified as future affordable housing units:

- Two (2) bachelor units located on the sixth storey (Unit 607, 608) of the building;
- Four (4) one (1) bedroom units located on the sixth and seventh storey (Unit 606, 609, 706 and 709) of the building; and
- Three (3) two (2) bedroom units located on the third, sixth and seventh storey of the building (Unit 312, 605, 705).
- Community Services staff support the applicant's response to the Affordable Housing Strategy.

OCP Aircraft Noise Sensitive Development (ANSD) Policy

The subject site is located within an area that permits consideration of all aircraft noise sensitive land use types. However, as the site is affected by OCP Airport Noise Contours, the development is required to register a covenant prior to Development Permit issuance.

OCP Sustainability

- As a condition of Development Permit issuance, the applicant will commit to connect the subject development to a future City Centre District Energy Utility (DEU), which includes design and construction of the building to facilitate hook-up to a DEU, entering into a Servicing Provision Agreement(s), and statutory rights of way and/or alternative agreement.
- In accordance with the CCAP, the proposed development will be constructed to achieve LEED Silver equivalency. The applicant has provided a list of sustainability features that may be incorporated to ensure the development proposal achieves LEED Silver equivalency (Attachment 3).

OCP Accessibility Policy

- The proposed development includes nine (9) single storey basic universal housing units (BHU) that are designed to be easily renovated to accommodate a future resident in a wheelchair. Provided the units incorporate all of the accessibility provisions listed in the Basic Universal Housing Features section of the City's Zoning Bylaw, a density exclusion of 1.86 m^2 (20 ft^2) per unit is permitted. The applicant has not utilized the density exemption at this time.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include stairwell hand rails; lever-type handles for plumbing fixtures and door handles; and solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.
- The proposed development would provide barrier-free access to both the commercial units and the residential lobby, as well as barrier-free access to the indoor and outdoor amenity space.

OCP Crime Prevention Through Environmental Design (CPTED)

The development proposal incorporates a range of CPTED principles that include but are not limited to the following:

- The parking structure and the residential lobby are designed to minimize alcoves and hidden corners, and are well illuminated. The interior of the parking structure would be painted white;
- Visitor and commercial parking is separated from residential parking and secured with overhead gates;
- Elevator lobbies and vestibules include appropriate glazing;
- CCTV cameras located at ceiling level at all exit stairs, parkade access ramps, elevator vestibules, bicycle storage and the garbage/recycling room;
- Commercial units are accessed either directly from the sidewalk or from the lower parking level; and
- The proposed site plan and the use of transparent building material at the ground level and between the indoor amenity and the outdoor amenity areas introduce opportunities for passive surveillance.

Public Art

- As a condition of development permit issuance, the applicant would voluntarily contribute approximately \$92,022.00 (\$0.77/ft² per residential buildable square foot, excluding affordable housing, and \$0.44/ft² per commercial buildable square foot) towards the City's public art reserve fund. The contribution would be allocated to administration and installation of public art on the subject site.
- The applicant has submitted a public art plan, which was considered and supported by the Public Art Committee on July 12, 2015. The plan establishes the future location for public art within proximity of the residential lobby entrance along No. 3 Road. The form of public art is intended to be a sculpture, likely raised on a plinth. The process of developing the details of the public art installation will be undertaken in accordance with the Public Art Program (Policy 8703).

Zoning Compliance/Variances (staff comments in bold)

With the exception of the variance noted below, the development proposal complies with the Richmond Zoning Bylaw. The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Reduce the residential parking rate from the standard City wide parking rate to the City Centre Zone 1 parking rate.

(Staff support the proposed variance based on consideration of the subject site's location within the City Centre Zone 1 parking area and proximity to the Canada Line. Consistent with similar past approvals, Transportation staff support application of the City Centre Zone 1 parking rate provisional to the applicant agreeing to:

- 1. Comply with the Affordable Housing Strategy and secure a minimum of five percent (5%) of the total residential floor area as affordable housing units; and*

2. *Provision of transportation improvements that are to the satisfaction of Transportation staff, which contribute toward a transit-oriented environment. The applicant would relocate access to the site from No. 3 Road to a lane on the eastern portion of the site that would extend the existing lane network. The eastern portion of the subject site would be secured as a public lane with a right of way and the applicant is responsible for its construction.*

External Agencies

Ministry of Environment

Historically, an auto dealership/repair/servicing centre operated on-site and the applicant has submitted the required Environmental Site Assessment to the Ministry of Environment. The City has received a letter issued by the Ministry of Environment advising that in accordance with the Local Government Act (Section 946.2(2)(e)), the City may proceed with the issuance of a Development Permit for the subject site as the applicant has satisfactorily addressed site contamination concerns. The release outlines terms required to be undertaken by the project proponent.

TransLink

TransLink has granted preliminary approval for the development proposal and has articulated actions that are required to be undertaken by the applicant to the satisfaction of TransLink prior to the issuance of a Building Permit, which are itemized in Attachment 5.

Among the conditions is the requirement to address TransLink's guideway protection requirement, which is TransLink's response to concerns related to trespass and debris on the guideway. The applicant and TransLink will work together to identify a suitable response, which may include introduction of a physical canopy, registration of an agreement between the owner and TransLink, or an as yet unidentified site specific response. Any proposal that affects the public realm and/or building form and character would be reviewed by the City and be reconsidered by the Development Permit Panel.

Urban Design Response

The proposed design concept is characterized as a mid-block mixed use development consisting of a single residential high-rise tower above a parking podium with ground level commercial uses. A unique element of the proposed development is the four (4) two-storey townhouse units at the podium level that interface with both the outdoor amenity space and the proposed lane extension. The proposal satisfactorily responds to the urban design issues identified during the Development Permit application review process including the urban design objectives of the OCP and CCAP Development Permit Guidelines and the CCAP Mixed Use High-Rise Commercial and Mixed Use Sub Area Guidelines. In the following sections of the report, the proposal is discussed in terms of its urban design response.

Advisory Design Panel Comments

The development proposal was considered by the Advisory Design Panel (ADP) on November 5, 2014. Members of the ADP appreciated many elements of the proposed design including the proposal's design response and were supportive of the:

- Detailed study of the potential impacts of development on the ability of the northern adjacent parcel to develop;
- Building setbacks from the Canada Line;
- Building massing, including balcony design;
- Termination of the tower;
- Ground level treatment; and
- Landscaping design.

The Panel's comments related to items for further consideration were limited to design development of detailed architectural elements such as mullions and parapet wall, consideration of the entry sequence to the building lobby from the street, and additional opportunities to support accessibility within individual units. A copy of the relevant excerpt from the ADP Minutes from November 5, 2014 is attached for reference (Attachment 4). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '***bold italics***'. The applicant has addressed these suggestions to the extent recommended by staff.

Conditions of Adjacency**Northern Adjacency (5500 No. 3 Road)**

- The site is bordered on the north by 5500 No.3 Road, which is a similar size and geometry as the subject site. The applicant was encouraged to consolidate the subject site and 5500 No. 3 Road.
- The applicant did approach the property owner of the northern adjacent site (5500 No. 3 Road) but the owner is not interested in redeveloping at this time.
- As a result, the applicant was required to demonstrate whether the development potential of 5500 No. 3 Road would be unreasonably affected by development of the subject site in accordance with the site's existing CDT1 Zoning and impacts of the interim condition.
- The applicant was required to test the feasibility of future redevelopment of 5500 No. 3 Road at 3.00 FAR and 3.15 FAR and demonstrate compliance with the CDT1 zone and OCP and CCAP design guidelines. This information has been reviewed by staff and the Advisory Design Panel, and has been shared with the owner of 5500 No. 3 Road.
- Redevelopment of the subject site would create an interim condition where the northern three (3) storey parking podium façade would be visible from the north until the adjacent site (5500 No. 3 Road) is redeveloped. To minimize the interim visual impact of the exposed parking podium, the applicant proposes to incorporate vertical reveals into the structural design and introduce color by painting the wider vertical strips white and narrower accent strips light blue.

No. 3 Road (west)

- The site abuts No. 3 Road and the Canada Line guideway.
- The proposed development would not significantly affect current or future development on the west side of No. 3 Road as the physical separation from properties on the west side of No. 3 Road minimizes potential shadowing, outlook and/or privacy impacts.
- The Canada Line guideway and its use result in noise, privacy and overlook impacts on adjacent uses. To minimize the impacts associated specifically with the guideway, the CCAP includes Canada Line setback building guidelines for residential and non-residential uses located adjacent to the Canada Line. The guidelines are intended to enhance residential liveability while at the same time supporting an animated and pedestrian oriented, public realm within proximity of the guideway.
- The applicant has provided an Acoustical Evaluation report, which assesses noise from the Canada Line guideway, as well as aircraft and vehicle traffic noise impacts on the proposed development. The report's analysis of the proposed development indicates that window glazing upgrades and airtight weather stripping for all exterior doors and windows, if undertaken in accordance with the specifications listed in the report, would create indoor living areas where the noise levels comply with criteria listed in the OCP. In addition, all units will have central air conditioning; therefore, it would not be necessary for residents to open a window during warm weather.
- To minimize the visual impact of the guideway on the residential units that are located at the building corners on the third and fourth storey (L3 and L5) of the building, which have the closest proximity to the guideway and a western exposure, the internal layout of the units would be organized to orient active use areas away from the guideway.
- With the exception of the corner units, the western elevation of the tower on the third and fourth storey (L3 and L5) of the proposed building would be indoor amenity space, including an amenity studio guest suite. Locating these non-residential yet active spaces in this location would support an urban interface between residents and Canada Line users without significantly affecting privacy or co-locating incompatible uses.
- Commercial uses at ground level are proposed in accordance with the Canada Line setback for non-residential uses. The width of the public realm resulting from the guideway right of way and the proposed building setback is appropriate to support an urban public realm.

Southern Adjacency (8111 Ackroyd Road)

- To the south, the site is bordered by two (2) existing single-storey commercial buildings and associated surface parking on a large lot (8111 Ackroyd Road) that extends south to Ackroyd Road and eastward beyond the subject site's property line.
- Development of the subject site would create an interim condition where portions of the proposed three (3) storey parking podium wall would visually affect views from the south. The building outline for the commercial structure at 8111 Ackroyd Road is shown in the corresponding elevation plan and shows that the existing building obscures a portion of the southern parking façade. To minimize the interim visual impact of the building façade, a pattern of vertical reveals are proposed to be integrated into the building design and are painted white and light blue.

Eastern Adjacency (8120 Lansdowne Road)

- The site abuts an existing podium and residential tower development.
- Through the development process, the applicant will be responsible for the design and construction of a north/south lane extension, which would establish a 17.2 m (56 ft.) setback from the eastern property line. Further, the subject tower is located on the western most portion of the lot, which minimizes privacy impacts. Shadow impacts would be limited. The townhouse units that are located at the easternmost edge of the podium level are limited to two-storeys. These units will have no shadowing effect on the adjacent site and privacy impacts are limited by the physical separation of the units from the existing residences.
- To address the view from above, the townhouse units will be treated with a green roof and the podium developed with landscaping.

Streetscape & LaneNo. 3 Road

The CCAP designates No. 3 Road a pedestrian-oriented retail precinct – high street & linkage. The proposed development contributes to the establishment of a pedestrian retail high street by:

- Supporting an urban character at the ground level with transparent double height commercial spaces that are framed in Carrera marble cladding;
- Recessing the residential lobby entrance to minimize the interruption of the ground level commercial uses;
- Incorporating design elements that encourage pedestrian activity including weather protection adjacent to the commercial units and at the lobby entrance, and incorporating distinct hard surface treatment that includes basalt pavers at entry points;
- Limiting vehicle functions to the lane; thereby minimizing interruptions to the public realm; and
- Committing to incorporate public art at ground level through the City's public art program.

Lane

- Through the development process, access to the site would be relocated to a north/south lane, which the applicant would extend south and secure for public use and utilities with a right of way. The lane intended to extend south to Ackroyd Road in the future as the rest of the block develops.
- The width of the right of way ranges from 10.0 m (32 ft.) to 17.2 m (56 ft.). There are two (2) primary outcomes from the resulting loss of developable lot area:
 - The overall building design is influenced. Instead of a two (2) storey parkade, three (3) storey parkade is required to meet bylaw requirements. The additional parking level results in a loss of a level of residential units within the tower, which is not permitted to exceed a height of 47 m geodetic (154 ft.). The proposed townhouse units accommodate permitted density outside the proposed residential tower.
 - The 17.2 m (56 ft.) separation from the proposed parking façade and the adjacent "Prado" development would introduce more space at the ground level and facilitate daylight penetration into the lane, which in addition to the overhead

lighting and townhouses located on the eastern edge of the parking podium, would improve safety and pedestrian amenity.

- Parking, and garbage/recycling would be enclosed within the parking podium. A holding area is provided for waste collection between the exterior parkade wall and the loading spaces.
- Similar to the treatment of the north and south parking podium façade, the east parkade wall includes vertical reveals that are painted a simple pattern of alternating white and light blue. Metal panels are arranged to reinforce the vertical expression of the building.

Site and Functional Planning

- The development proposal includes an articulated square residential tower on the western portion of the site and two-storey townhouse units at the podium level on the eastern portion of the site. The proposed square tower form is responsive to the specific site context. The square tower form:
 - Maximizes views and daylight penetration for tower residents;
 - Is sited to comply with tower separation guidelines and minimizes shadow and overlook impacts on the existing residential towers within this block;
 - Minimizes the number of north oriented residential units at the tower base that may be affected by future development of a parking podium on the northern adjacent property (5500 No. 3 Road). Of the three (3) units with a northern exposure, two (2) are corner units with alternate exposures and the third is further recessed; and
 - The maximum width of the west and east tower façade is determined by the site's frontage. Therefore, any changes to the tower form would be limited to elongating the tower in an east/west direction and/or sculpting the tower. A rectangular tower form would present a more expansive north elevation façade when viewed from the north, including the future Lansdowne Linear Park and southbound Canada Line users; thereby affecting the view corridor from the north, and increasing shadow impacts on the northern adjacent site.
 - The tower floor plate would recess significantly at the top two (2) storeys to contribute interest to the skyline and establish a distinct termination to the building.
- 872 m² (9,385 ft²) of common outdoor amenity space is centrally provided between the proposed residential tower and townhouse units at the podium level.
- A 43 m² (467 ft²) indoor amenity lounge directly accesses the common outdoor amenity area. An additional 229 m² (2,470 ft²) of indoor amenity space is proposed on the west side of the tower and includes a double height amenity fitness room and game room at the third storey (L3), and a library and studio guest suite on the fourth storey (L5). The applicant proposes to split the indoor amenities on either side of the central elevator core to maximize non-residential animated uses adjacent to the Canada Line guideway while maintaining a physical connection between indoor and outdoor amenity uses.
- With the exception of the guest suite, which will be secured for common use, all units are provided with outdoor space. A range of balcony sizes are proposed throughout the development. The smallest balconies are a minimum 6m² (64 ft²), which meets the basic OCP area guidelines.

Parking, Loading & Waste Collection

- The site is located within the City Centre and future residents would benefit from the site's proximity to transportation options, including access to the Canada Line. As noted earlier, Transportation staff support the proposed variance to allow application of City Centre Zone 1 parking rates at this site, provided that affordable housing units are secured on-site in accordance with the Affordable Housing Strategy, all vehicle access is relocated to the rear of the building, and that the applicant construct a lane extension for the length of the subject site.
- Resident and commercial/visitor parking is enclosed within a parkade. A total of 176 residential stalls and 27 shared visitor/commercial off-street parking stalls are proposed on-site, which exceeds the City Centre Zone 1 parking rate requirement of 132 residential stalls and 27 shared visitor/commercial stalls.
- Transportation staff support shared visitor and commercial parking conditional to registration of a non-assignment agreement according to the terms outlined in Attachment 5.
- Loading is provided in accordance with the Zoning Bylaw and the applicant has demonstrated to the satisfaction of Transportation staff that loading vehicles and waste collection vehicles can access the site.
- Both long term and short term bicycle parking is provided on-site and meets or exceeds the Zoning Bylaw requirement.
- The proposed development provides electric vehicle charging infrastructure in accordance with the OCP and is noted on the architectural plans.

Architectural Form & Character**Building Articulation & Materials and Color**

- The applicant describes the architectural character of the proposed development as one of structural solidity, permanence of materials, and lightness of articulation.
- The proposed development employs a variety of architectural strategies to minimize the building mass, add variety to the building form and character, and achieve a pedestrian scale along the street frontage.
- As the first redevelopment on the block, the applicant proposes to establish a strong urban commercial presence with the introduction of two-storey glass store front commercial units that are framed using Carrara marble to anchor the building and a glass and polished chrome canopy. A recessed residential lobby is similarly treated with glass and a two-storey entry and has been designed not to compete with the prominence of the commercial spaces. The generous use of windows extends up the building spine on the west façade to include amenity uses at the third and fourth storey of the building (L3 & L5).
- The proposed square tower form is articulated on the north and south façade with twin vertical massing forms. These elements contain the building's edges and articulate the building façade.
- Glass is used at the corners of the tower to blend the edges of the building into the skyline and is a defining character element of the proposed tower that reduces the apparent massing of the proposed tower.
- The west and east tower elevations are characterized by elongated glass and metal balconies. These horizontal bands highlight the spine of the building and introduce a distinct character to the elevations.

- The east and west two-storey townhouse elevations are characterized by the use of architectural concrete with reveals and punched windows.
- The terminus of the tower is designed to feel light and to blend into the skyline and includes liberal use of window and glass material punctuated by landscaped terraces.

Landscape Form & Character

- The applicant describes the character of the landscaping plan as urban and “clipped” with design references to rain drops reflected in the design’s circular motif.
- Within the property lines, the ground level public realm is proposed to be primarily hard surface in response to the commercial uses along No. 3 Road, the lane extension on the east side of the proposed building, and the urban character of the site’s location within a Village Centre. Along No.3 Road, basalt stone tiles would interrupt natural colored broom finished concrete at commercial entrances and at the lobby entrance, which is punctuated with a Green Japanese Maple and Reeves Skimmia shrubs. Bike racks would be introduced along this frontage. Adjacent to the lane, the loading area would be treated with concrete and a band of aggregate paving along the edge of the parking podium, and installation of a small planted island that includes two (2) Armstrong Red Maple trees, shade tolerant Japanese Skimmia and Himalayan Sarcococca shrubs, and Boston Ivy vines.
- Although the north east corner of the site would not accommodate transportation or utilities, the area would be included in the right of way area. In recognition of the visibility of this area from Lansdowne Road and to reduce the area treated with hard surface materials, this small corner will be landscaped in accordance with specifications outlined in Attachment 5.
- The applicant has provided confirmation that the public realm will not be affected by required private utility infrastructure. BC Hydro will not require installation of a junction box, pull box or Vista Switch.
- The proposed podium level outdoor amenity space includes active and passive areas. The common space is separated from semi-private patios with low landscaped planters. The outdoor amenity area includes an outdoor circular, shade structure, an outdoor barbecue, and terraced landscaping that includes a variety of trees, shrubs and ground cover selected to introduce seasonal variety. A centrally located children’s play area is proposed and would include ‘wigglepoles’ on a fibar base, rubber surfaced elevated spheres, and a small sand play area to stimulate imaginative play. Podium level patios would be provided with hosebibs to encourage individual gardening. A combination of lighting fixtures (step/wall mounted lights, in-grade path lights) is proposed to sensitively illuminate the outdoor amenity area without affecting adjacent residential units.
- The townhouse rooftops would be treated as a green roof including a variety of sedums, some of which include flowers that would introduce color and seasonal change. The roof top would be irrigated by an automatic irrigation system.
- The applicant has provided confirmation that there are no bylaw sized trees on the site. Existing off-site trees along No. 3 Road would be protected in accordance with the City’s Tree Bylaw. The applicant is required to install tree protection fencing and to arrange inspection by the Tree Protection Department.

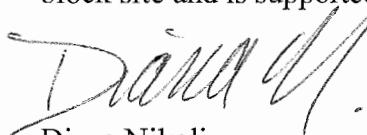
Servicing Agreements/Engineering

Engineering issues will be addressed through the required Servicing Agreement (SA), which is discussed in detail in Attachment 5. The scope of the SA includes provisions for the possible installation of a new water connection, removal of any existing storm sewer inspection chambers and service connections along the No. 3 Road frontage and installation of a new connection and associated infrastructure, installation of a new sanitary sewer connection, and construction of a lane and ancillary space on the eastern portion of the site.

The existing sanitary connections to the subject site and the northern adjacent site (5500 No. 3 Road) are located within an existing right of way (H17837). The existing sanitary would be relocated prior to preload being placed on the site. Discharge of the right of way is identified as a condition of the SA (Attachment 5).

Conclusions

The proposed development is a well considered site specific design response to a challenging mid-block context in the core of the Lansdowne Village. The applicant has satisfactorily demonstrated that the proposed scheme considers the future development potential of the northern adjacent lot (5500 No. 3 Road), impacts from future podium to podium interfaces, setbacks from future and existing development, as well as the Canada Line, and satisfactorily responds to fundamental CCAP design and liveability objectives. The proposal's articulated building mass and design details, contribution to the City Centre lane network, and commercial ground level interface will contribute a quality urban development to this highly visible mid-block site and is supported by staff.



Diana Nikolic
Senior Planner, Urban Design

DN:rg

Attachment 1: Data Sheet

Attachment 2: Lansdowne Village Specific Land Use Map

Attachment 3: LEED Equivalency List (provided by applicant)

Attachment 4: Advisory Design Panel Minutes & Applicant Responses (inserted in bold italics)

Attachment 5: Development Permit Considerations



City of Richmond

Development Application Data Sheet

Development Applications Division

DP 14-660885

Attachment 1

Address: 5580 No. 3 Road

Kebet Holdings Ltd. Inc. No.

Applicant: Rafii Architects Inc. & DYS Architecture

Owner: BC0712200

Planning Area(s): City Centre Area Plan (Lansdowne Village)

Floor Area Gross
(with excluded
amenity): 11,586 m² (124,710 ft²)

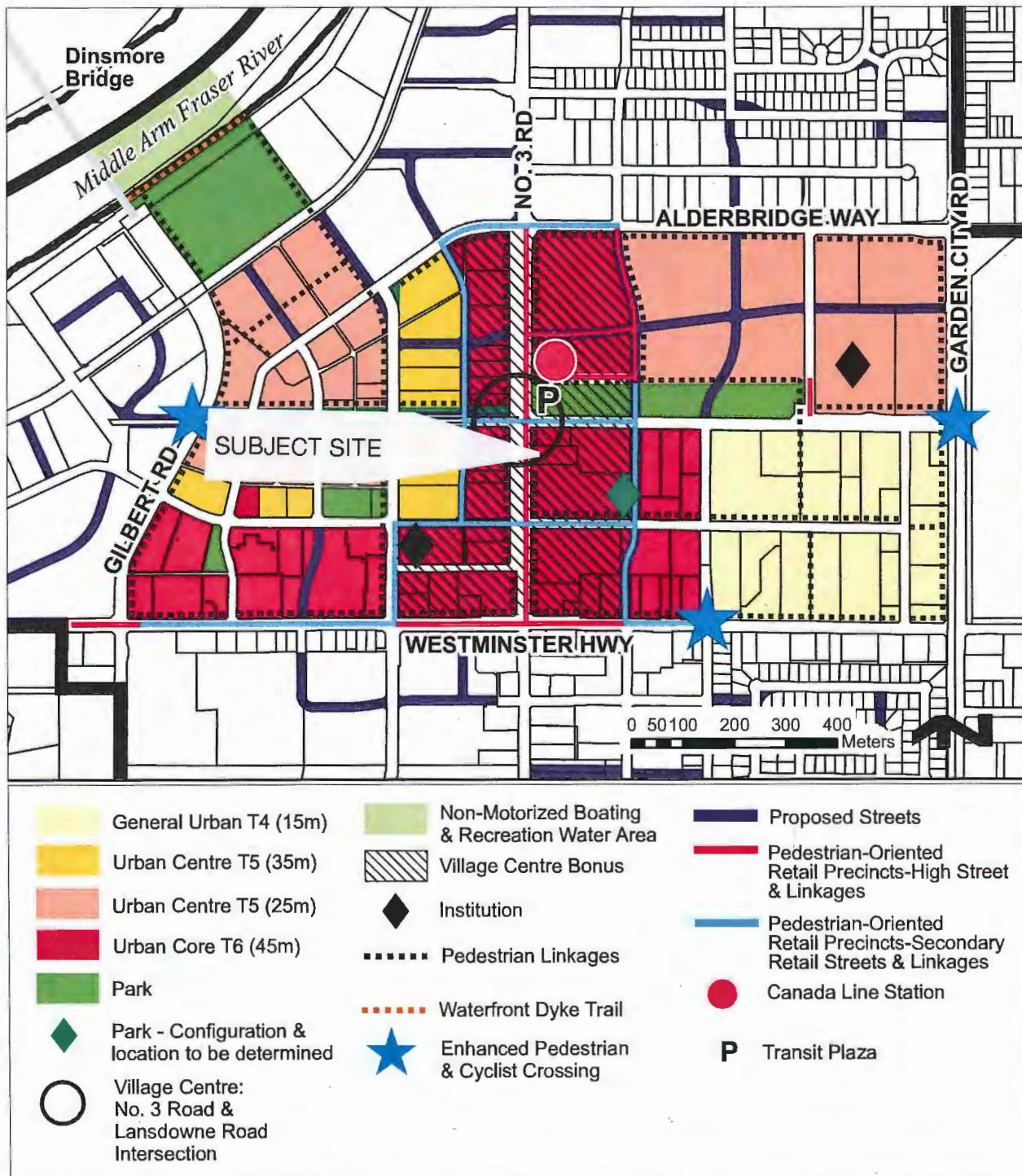
Floor Area Net: 11,313 m² (121,771 ft²)

	Existing	Proposed
Site Area:	3,622 m ² (38,988 ft ²)	3,622 m ² (38,998 ft ²)
Land Uses:	Vacant commercial	Mixed use (commercial/residential)
OCP Designation:	Downtown Mixed Use	Downtown Mixed Use
OCP Designation:	Urban Core T6	Urban Core T6
Zoning:	Downtown Commercial (CDT1)	Downtown Commercial (CDT1)
Number of Units:	1 commercial unit	4 commercial units and 132 residential units

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	3.15 provided Affordable Housing is provided in accordance with Council policy	3.13	none permitted
Lot Coverage:	Max. 90%	76.9%	None
Setback – Front Yard:	No. 3 Road: 6.0 m with provisions to reduce to 3.0 m	3.0 m	None
Setback – Interior Side Yards:	Min. 0 m	0.0 m	None
Setback – Rear Yard:	Min. 0 m if there is a lane	17.2 m to property line 0 m to 8.5 m to lane	None
Height (m):	Max. 47.0 m geodetic	47 m geodetic	None
Lot Size:	No minimum requirements for CDT1	3,622 m ² (38,987 ft ²)	None

Off-street Parking Spaces – Regular/Commercial:	City Centre Zone 1 Rate: Commercial: 3.75/100m ² : 20 stalls Visitor: 0.2/unit:27 stalls (note: commercial and visitor stalls are shared; therefore, a total of 27 stalls is required) Residential (1.0/unit, AH 0.9/unit): 132 (123 regular, 9 AH) Total required: 159	Commercial/visitor shared:28 stalls Residential:148 stalls Total:176 stalls % small car stalls: 35% (63 stalls)	City Centre Zone 1 Rate in lieu of compliance with Affordable Housing Strategy and other transportation improvements supported by Transportation staff
Off-street Parking Spaces – Accessible:	2% of total Residential:3 Visitor/Commercial:1	Residential:5 stalls Visitor/commercial:1 stall	None
Total off-street Spaces:	159	176	None
Tandem Parking Spaces	-	None proposed	None
Electric vehicle charging	-20% provided with 120 volt receptacle: 27 -Additional 25% pre-ducted for future wiring: 33 -Minimum 1 120 volt receptacle for every 10 Class 1 bicycle parking spaces: 17	#120 volt receptacles:32 stalls #stalls pre-ducted:44 spaces #120 volt receptacles (bike):23 spaces	None
Bike Parking	Class 1: 167 Class 2: 29	Class 1: 167 Class 2: 29	
Loading	Residential: 1 medium Commercial: 1 medium Commercial: 1 large	Residential: 1 medium Commercial: 1 medium Commercial: 1 Large (WB 17 can be accommodated by combining the tandem SU9 stalls or in the lane)	
Amenity Space – Indoor:	Min. 100 m ² (1,076 ft ²)	272 m ² (2,939 ft ²)	None
Amenity Space – Outdoor:	Min. 792 m ² (8,525 ft ²)	872 m ² (9383 ft ²)	None

City of Richmond

Specific Land Use Map: Lansdowne Village (2031)Bylaws 8427 & 8516
2010/09/13

ATTACHMENT 3

				Preliminary draft of LEED Canada Project Checklist - LEED Silver Equivalency			
				PROJECT: ORCHID - 5580 No. 3 Road, Richmond B.C.			
Credit	Y	?	N	SUSTAINABLE SITES		Lead	LEED Requirement
	26	15	2	0			
	Y			PreReq	Construction Activity Pollution Reduction	Civil	Reduce Pollution from site activities by controlling soil erosion, waterway sedimentation, and airborne dust generation
1	1			Credit 1	Site Selection	Owner selection	Avoid development of inappropriate sites and reduce environmental impact from the location of the bldg. site.
5	5			Credit 2	Development Density & Community Connectivity	Owner/Arch.	Channel developments to urban areas with existing infrastructure, protect Greenfields, preserve habitat & natural resources
1		N		Credit 3	Brownfield Redevelopment	Owner	Develop on a contaminated site and provide remediation by Provincial Contaminated Sites Program
6	6			Credit 4.1	Alternative Transportation - Public Transportation Access	Dictated by Location	Locate within 800m of rapid transit, 400m of two bus lines
1	1			Credit 4.2	Alternative Transportation - Bicycle Storage & Change Rooms	Arch.	Covered storage facilities for securing bicycles for 15% or more of occupants. This can include storage rooms and bike racks.
3		N		Credit 4.3	Alternative Transportation - Hybrid & Alternative Fuel Vehicles	Arch./Elect.	Install alternative-fuel refueling stations for 3% of total vehicle parking capacity and provide parking for these vehicles
2	1			Credit 4.4	Alternative Transportation - Parking Capacity	Arch.	Size parking capacity to meet but not exceed local zoning requirements and provide preferred parking for carpools equal to 10% of the number of non visiting parking spaces
1		N		Credit 5.1	Reduced Site Disturbance- Protect or restore habitat	Landscape/Civil	Restore or protect minimum of 50% of the site area or 20% of the total site area with native or adapted vegetation
1		N		Credit 5.2	Reduced Site Disturbance- Development Footprint	Landscape/Civil	Conserve existing natural areas and restore damaged areas to provide habitat and promote biodiversity
1	1			Credit 6.1	Storm water Design-Rate and Quantity	Civil	Limit disruption and pollution of natural water flows by managing storm water runoff.
1	1			Credit 6.2	Storm water Design- Quality Control	Landscape	Limit disruption of natural water flows by eliminating storm water runoff, increasing on site filtration and eliminating contaminants
1	1			Credit 7.1	Heat Island Effect - Non-Roof	Arch./Landscape	Place 50% of parking underground or within a covered structure
1		N		Credit 7.2	Heat Island Effect -Roof	Arch./Landscape	75% or greater of roof area has solar reflective index of 78 or 29, or install vegetated roof for 50% of roof area. Covered parking structure does not count towards credit.
1		N		Credit 8	Light Pollution Reduction	Arch./Electrical	Reduce light trespass from building and site.
Credit	Y	?	N	WATER EFFICIENCY		Lead	LEED Requirement
9	2	0	0				
	Y			PreReq	Water use reduction -20% Reduction	Mechanical	Use 20% less water than baseline building
2	2			Credit 1	Water Efficient Landscaping-Reduce by 50%	Landscape	Reduce potable water consumption for irrigation by 50% over conventional means
2		N		Credit 1.2	Water Efficient Landscaping- No Potable Water Use or No Irrigation	Landscape	Use only captured rain or recycled site water to eliminate all potable water use for site irrigation
2		N		Credit 2	Innovative Wastewater Technologies	Mechanical	Reduce potable water for sewage conveyance by 50% or treat 50% of wastewater on-site to tertiary standards.
3				Credit 3.1	Water use reduction -35% Reduction	Mechanical/Owner	Employ strategies that in aggregate use 35% less water than in the water use baseline calculated for the building
Credit	Y	?	N	ENERGY & ATMOSPHERE		Lead	LEED Requirement
35	7	2	0				
	Y			PreReq 1	Fundamental Building Systems Commissioning	Contractor	Verify and ensure the fundamental building elements and systems are designed, installed and calibrated to operate as intended
	Y			PreReq 2	Minimum Energy Performance	Mech./Arch./Envel.	Establish the minimum level of energy efficiency for the base building and systems.
	Y			PreReq 3	Fundamental Refrigerant Management	Mech./Arch./Envel.	
19	6			Credit 1	Optimize Energy Performance	Mech./Arch./Envel.	Improve energy cost compared to the energy cost of ASHRAE 90.1 ~ 2007 reference building
7	2			Credit 2.1	On Site Renewable Energy	Owner/Mechanical	Use on-site renewable energy systems to offset building energy cost.
2		N		Credit 3	Enhanced Commissioning	Mechanical	Implement additional commissioning tactics.
2		N		Credit 4	Enhanced Refrigerant Management	Commission Agent	Do not use refrigerants or install base building level HVAC and fire suppression equipment that do not contribute to ozone depletion
1	1			Credit 5.1	Measurement & Verification - Base Building	Mechanical	Develop measurement and verification plan, extending at least 1 year post-occupancy. Typically requires metering for central equipment and common utilities
2		N		Credit 5.2	Measurement & Verification	Mechanical	
2		N		Credit 6	Green Power	Owner	Engage in at least 2-yr renewable energy contract to provide at least 35% of the building's electricity from renewable resources
Credit	Y	?	N	MATERIALS AND RESOURCES		Lead	LEED Requirement
13	2	1	0				
	Y			PreReq 1	Storage & Collection of Recyclables	Owner	Provide an easily accessible area serving entire building dedicated to separation, collection and storage of materials for recycling including paper, cardboard, glass, plastics and metals
2		N		Credit 1.1	Building Re-Use - 75% of existing walls, floors, roof	Owner	Maintain existing building structures, or % of building structure reused by surface area
1		N		Credit 1.2	Building Re-Use -100% shell 50% Non shell	Owner	Reuse interior non-structural elements in at least 50% of the completed building

1	1		Credit 2.1	Construction Waste Management - Divert 50% from Landfill	Owner	Divert construction, demolition, and land clearing debris from landfill disposal. Redirect recyclable recovered resources back to the manufacturing process. Redirect reusable materials to the appropriate sites
1		N	Credit 2.2	Construction Waste Management - Divert 75% from Landfill as above		
1	1		Credit 3.1	Materials Re-use - 5%	Owner	Use salvaged, refurbished or reused materials, the sum of which constitutes at least 5% (1pt) or 10% (2pts) based on cost of the total value of materials for the project
1		N	Credit 3.2	Materials Re-use - 10%		
1		N	Credit 4.1	Recycled Content - 7.5% -(Post consumer + 1/2 Post industrial)	Struct./Arch.	Increase demand for building products that incorporate recycled content materials and products in order to reduce demand for virgin materials and by-passing energy and greenhouse gas
1		N	Credit 4.2	Recycled Content - 15% -(Post consumer + 1/2 Post industrial)		
1		N	Credit 5.1	Regional Materials - 10% extracted and manufactured regionally	Struct./Arch.	Increase demand for materials and products that are extracted and manufactured within the region, thereby supporting the regional economy and reducing environmental impacts from transportation
1		N	Credit 5.2	Regional Materials - 20% extracted and manufactured regionally		
1		N	Credit 6	Rapidly Renewable Materials	Arch./Owner	Use rapidly renewable materials and products for 2.5% of the total value of all building materials used in the project, based on cost.
1		1	Credit 7	Certified Wood	Arch./Owner	Use a minimum of 50% (based on cost) of wood-based materials and products that are certified in accordance with FSC
Credit	Y	?	N	INDOOR ENVIRONMENTAL QUALITY		
17	12	2	0			
			PreReq	Min. IAQ Performance	Mechanical	Establish minimum IAQ performance to enhance indoor air quality in buildings thus contributing to the comfort and well being of occupants
			PreReq	Environmental Tobacco Smoke Control (ETS)	Mech./Owner	Prevent exposure of building occupants and systems to ETS
1	1		Credit 1	Outdoor Air Delivery Monitoring	Mech./Elec.	Install permanent monitoring systems to ensure that ventilation systems maintain design minimum requirements. Install CO2 and outdoor intake airflow monitoring systems.
1		N	Credit 2	Increase Ventilation Effectiveness	Mechanicl	Design ventilation systems in accordance with ASHRAE 62.1-2007 and provide outside air through a central or individual system, ducted directly to the suite with air distributed to all regularly occupied areas in the suite
1	1		Credit 3.1	Construction IAQ Management Plan - During Construction	Contractor	Prevent indoor air quality problems resulting from the construction/renovation process in order to help sustain the comfort and well being of construction workers and building occupants
1	1		Credit 3.2	Construction IAQ Management Plan - Before Occupancy	Contractor	Prevent indoor air quality problems resulting from the construction/renovation process in order to help sustain the comfort and well being of construction workers and building occupants
1	1		Credit 4.1	Low Emitting Materials - Adhesives and Sealants	Arch./Int./Cont.	Reduce the quantity of indoor air contaminants that are odorous or potentially irritating and/or harmful to the comfort and well being of installers and occupants.
1	1		Credit 4.2	Low Emitting Materials - Paints and Coatings	Arch./Int./Cont.	Reduce the quantity of indoor air contaminants that are odorous or potentially irritating and/or harmful to the comfort and well being of installers and occupants.
1	1		Credit 4.3	Low Emitting Materials - Flooring	Arch./Int./Cont.	
1	1		Credit 4.4	Low Emitting Materials - Composite Wood	Arch./Int./Cont.	
1		1	Credit 5	Indoor Chemical & Pollutant Source Control	Arch./Mech.	Minimize exposure of building occupants to hazardous particulates, biological contaminants, and chemical pollutants that adversely impact air and water quality that adversely impact air quality
1		N	Credit 6.1	Controllability of Systems- Lighting	Electrical	Provide individual lighting controls for 90% of the building occupants to enable adjustments to suit individuals needs.
1		1	Credit 6.2	Controllability of Systems-Thermal Comfort	Mechanical	Provide individual comfort controls for each regularly occupied space to enable adjustments to meet individual needs.
1	1		Credit 7.1	Thermal Comfort - Design	Mechanical	Comply with ASHRAE 55-2004, thermal comfort conditions for human occupancy
1		N	Credit 7.2	Thermal Comfort - Verification	Mechanical	Provide permanent monitoring system to ensure building performance to the desired criteria as determined by IEQ Credit 7.1
3	3		Credit 8.1	Daylight & Views - Daylight	Architecural	75% or more of all regularly occupied spaces achieve daylight illuminance levels of a min. of 250 lux and a max. of 5000 lux on Sept 21 or March 21 at 9am and 3pm
1	1		Credit 8.2	Daylight & Views - Views	Architecural	Achieve direct line of sight to outdoor environment via vision glazing between 0.76m and 2.3m above the finished floor for building occupants in 90% of occupied areas
Credit	Y	?	N	INNOVATION & DESIGN PROCESS		
6	5	1	0			
			Credit 1.1	Innovation in Design	Owner/Arch.	Proximity to regional transit system
1	1		Credit 1.2	Innovation in Design	Owner/Arch.	100% underground/covered parking
1	1		Credit 1.3	Innovation in Design	Owner/Arch.	Proximity to amenities
1	1		Credit 1.4	Innovation in Design	Owner/Arch.	On-site amenities
1	1		Credit 1.5	Innovation in Design	Owner/Arch.	Very high density project
1		1	Credit 2	LEED Accredited Professional		At least one participant of the project team that has successfully completed the LEED Accredited Professional exam
Credit	Y	?	N	REGIONAL PRIORITY CREDITS		
4	3	0	0			
3	3		Credit 1.1	Regional Priority		Regional transit, proximity to amenities and high-density
1		N	Credit 1.2	Regional Priority		
110	46	8	0	PROJECT TOTALS (Pre Certification Estimate)		
54	Silver Equivalency = 50-59 Points					

**Excerpt from the Minutes from
The Design Panel Meeting
with comments from the applicant inserted in bold text**

**Wednesday, November 5, 2014 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall**

(Prior to the consideration of Item No. 4, Norm Chin and Grant Brumpton removed themselves from the Panel in view of conflict of interest)

4. DP 14-660885 – MIXED USE COMMERCIAL AT GRADE, RESIDENTIAL TOWER AND TWO-STORY TOWNHOUSE UNITS ABOVE THE PARKING PODIUM

APPLICANT: Beedie Living

PROPERTY LOCATION: 5500 No. 3 Road

Applicant's Presentation

Architect Norm Chin, DYS Architecture, Architect Foad Rafii, Rafii Architects Inc., and Landscape Architect Bruce Hemstock, PWL Partnership, presented the project and answered queries from the Panel on behalf of the applicant.

Panel Discussion

Comments from the Panel were as follows:

- appreciate the efforts of the applicant; comparative studies helped the Panel better understand the project;
- proximity of the subject site to the Canada Line guideway is not an issue; units facing towards Canada Line are of the right kind;
- massing and form of the building is good; appreciate the top of the building being set back; appreciate the banding on the side; mullions appear massive on the sides; balconies are an important feature of the building; appreciate the detailing of the guardrails; big balconies facing towards Canada Line are usable; consider vertical shades on the balconies;

We will use the privacy screens to act as solar shading.

- look at the detailing of the parapet wall at the entry;

Design development will be carried out to improve this.

- lobby appears crowded; once a handrail for the ramp is installed, the area will be tight;

We are reviewing this, and will look at improving the lobby.

- lots of interesting things in the project; applicant made a good presentation of the present and future context of the proposed project;
- appreciate the high quality of materials at the street level; provides an urban feel and enhances the streetscape;
- appreciate the project's interface with Canada Line; makes an interesting street edge; the project's proximity to Canada Line is not a problem;
- proposed courtyard and units at the back are handled well;
- appreciate the views and angles presented in the package; allows views on how the building and tower are experienced from the ground edge;
- agree with comments regarding the lobby and manoeuvring space for wheelchairs;
- the two horseshoe-shaped elements at the entrance to the lobby fronting the street are dominant features and don't fit well with the weight and feel of the building; consider matching the colour of the glazing above to the colour of the horseshoe-shaped elements to minimize the stark contrast and lighten their feel;

We will match the colour of glazing.

- appreciate the provision of universal housing and aging-in-place features; ensure that the kitchen counter plumbing is flexible to allow future change or adjustment;

The kitchen counter plumbing will be flexible.

- reconsider the use of step overs in unit door access from and to the balconies; consider using weather sealing on the doors in lieu of the step overs;

We will consider this.

- pleased to see the liberal use of pocket doors in the residential units; appreciate the dens with retracting doors; consider a pocket door in lieu of an inward swinging bathroom door adjacent to the den in Suite A;

We will consider this.

- appreciate the extensive use of pocket doors in Suite J; consider pocket doors for walk through closets in other unit types to save on floor space;

Will be considered.

- good design and site planning; building is modern-looking and not boring;
- applicant has given a lot of thought on the energy aspect of the project, e.g. lowering of the window to wall ratio;

- pleased to see the design complying to ASHRAE 90.1-2010 standards which is not done in many projects;
- appreciate the applicant wanting to achieve 6 energy points for the project;
- well-designed project; it is encouraging to see a public art plan for the project; appreciate the treatment of the top of the tower and green roofs treatment;
- appreciate the nobility and boldness of the street front and materials used; the design proposal is right for the urban context and environment; and
- look at the detailing of the entry sequence to the building lobby; ensure that the tree to be planted near the building entry is of appropriate size and species.

Will be coordinated with Landscape Architect.

Panel Decision

It was moved and seconded

That DP 14-660885 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Panel.

CARRIED



**City of
Richmond**

Attachment 5

Development Permit Considerations

Development Applications Division
6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 5580 No. 3 Road

File No.: DP 14-660885

Prior to issuance of the Development Permit, the developer is required to complete the following:

1. Ministry of Environment (MOE) Certificate of Compliance or alternative approval to proceed granted from MOE regarding potential site contamination issues. This approval is required prior to dedication of land or road to the City if applicable.
2. Registration of a public rights of passage right of way, with and without vehicles, that varies in width from 17.2 m at the northern end of the site to 10.0 m at the southern end of the site and that curves toward the east property line and connects to the existing 6.1 m wide right of way that is registered on 8120 Lansdowne Road. The right of way is to be constructed to City Centre lane standards, is to accommodate utilities and public rights of passage, and will provide the sole access to the site. The right of way also includes a landscape island in the northeast corner. The developer is responsible for construction and maintenance and liability for the landscaped area. The City is responsible for maintenance of hard surfaces and infrastructure, and accepts liability for areas that it maintains.
3. Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities, including building demolition, occurring on-site.
4. Receipt of a Letter of Credit for landscaping in the amount of \$373,743.70.
5. Registration of an aircraft noise sensitive use covenant on title.
6. Registration of a covenant on title that identifies the building as a mixed use building and stipulates that residents may be impacted by nuisances related to commercial uses permitted within the building which may include but are not limited to noise, smells, etc..
7. Registration of a flood indemnity covenant on title identifying a minimum habitable elevation of 2.9 m GSC, or at least 0.3 m above the highest elevation of the crown of any adjacent parcel, or as exempted by Section 4.3(a) of the Flood Plain Designation and Protection Bylaw No. 8204.
8. Registration of a legal agreement on title identifying that the proposed development must be designed and constructed in a manner that mitigates potential noise from the Canada Line to the proposed dwelling units. Dwelling units must be designed and constructed to achieve:
 - a) CMHC guidelines for interior noise levels as indicated in the chart below:

Portions of Dwelling Units	Noise Levels (decibels)
Bedrooms	35 decibels
Living, dining, recreation rooms	40 decibels
Kitchen, bathrooms, hallways, and utility rooms	45 decibels

- b) the ASHRAE 55-2004 "Thermal Environmental Conditions for Human Occupancy" standard for interior living spaces.
9. Registration of a legal agreement on title ensuring that the only means of vehicle access is via the lane and there be no access to the site via No. 3 Road.
10. Registration of a legal agreement on title stipulating that the development is subject to potential impacts due to other development that may be approved within the City Centre including without limitation, loss of views in any direction, increased shading, increased overlook and reduced privacy, increased ambient noise and increased levels of night-time ambient light, and requiring that the owner provide written notification of this through the

disclosure statement to all initial purchasers, and erect signage in the initial sales centre advising purchasers of the potential for these impacts.

11. Registration of a legal agreement on title to ensure that the guest suite (unit 506), which is an approximately 39 m² (420 ft²) studio unit located on the building's 4th storey adjacent to the indoor amenity area and limited to only a westward exposure, is accessible to all residents for the duration of the life of the development.
12. Registration of a legal agreement on title stipulating that all shared commercial and visitor parking stalls, will be located on the lower parking level. The minimum number of parking stalls provided must be the greater of the two individual uses. The agreement must specify the parking spaces remain unassigned, visitor parking is accessible 24 hours a day and commercial parking is available during standard business operating hours. This legal agreement is subject to the approval of the Director of Transportation.
13. Registration of a legal agreement on title stipulating provisions that secure:
 - a) A minimum of 20% of parking stalls are provided with a 120 volt receptacle to accommodate electric vehicle charging equipment;
 - b) A minimum of 25% of parking stalls are constructed to accommodate the future installation of electric vehicle charging equipment (e.g. pre-ducted for future wiring);
 - c) A minimum of one 120 volt receptacle is provided to accommodate electric charging equipment for every 10 Class 1 bike parking spaces.
14. City acceptance of the developer's offer to voluntarily contribute \$92,022.00 (e.g. \$0.77/ft² per residential buildable square foot, excluding affordable housing, and \$0.44/ft² per commercial buildable square foot) to the City's public art fund
15. Registration of the City's standard Housing Agreement to secure 9 affordable housing units, the combined habitable floor area of which shall comprise at least 5% of the subject development's total residential building area. Occupants of the affordable housing units subject to the Housing Agreement shall enjoy full and unlimited access to and use of all on-site indoor and outdoor amenity spaces. The terms of the Housing Agreements shall indicate that they apply in perpetuity and provide for the following:

Unit Type	Number of Units	Minimum Unit Area	Maximum Monthly Unit Rent**	Total Maximum Household Income**	Unit Location	Unit Number
Bachelor	2	37 m ² (400 ft ²)	\$850	\$34,000 or less	Building level 5	607, 608
1 Bedroom	4	50 m ² (535 ft ²)	\$950	\$38,000 or less	Building level 5 & 6	606, 609, 706, 709
2 Bedroom	3	80 m ² (860 ft ²)	\$1,162	\$46,500 or less	Building level 3, 5 & 6	312, 605, 705

** May be adjusted periodically as provided for under adopted City policy.

16. Registration of a restrictive covenant and/or alternative legal agreement(s), to the satisfaction of the City, securing the owner's commitment to connect to District Energy Utility (DEU), which covenant and/or legal agreement(s) will include, at minimum, the following terms and conditions:
 - a) No building permit will be issued for a building on the subject site unless the building is designed with the capability to connect to and be serviced by a DEU and the owner has provided an energy modelling report satisfactory to the Director of Engineering;
 - b) If a DEU is available for connection, no final building inspection permitting occupancy of a building will be granted until the building is connected to the DEU and the owner enters into a Service Provider Agreement on terms and conditions satisfactory to the City and grants or acquires the Statutory Right-of-Way(s) and/or easements necessary for supplying the DEU services to the building;
 - c) If a DEU is not available for connection, then the following is required prior to the earlier of subdivision (stratification) or final building inspection permitting occupancy of a building:

- i) the City receives a professional engineer's certificate stating that the building has the capability to connect to and be serviced by a DEU;
 - ii) the owner enters into a covenant and/or other legal agreement to require that the building connect to a DEU when a DEU is in operation;
 - iii) the owner grants or acquires the Statutory Right-of-Way(s) and/or easements necessary for supplying DEU services to the building;
 - iv) if required by the Director of Engineering, the owner provides to the City a letter of credit, in an amount satisfactory to the City, for costs associated with acquiring any further Statutory Right of Way(s) and/or easement(s) and preparing and registering legal agreements and other documents required to facilitate the building connecting to a DEU when it is in operation.
17. Registration of a legal agreement stipulating that no building permit for all or any part of the development shall be issued until the applicant has provided the City with satisfactory written confirmation that all terms required by the South Coast British Columbia Transportation Authority (TransLink) as a condition of issuance of any building permit for the development have been addressed and met.
18. Enter into a Servicing Agreement* for the design and construction of the following works, which include but may not be limited to:

Water:

Using the OCP Model, there is 595 L/s of water available at a 20 psi residual at the No. 3 Road frontage. Based on the proposed development, development of the site requires a minimum fire flow of 220 L/s. Once the building design is confirmed at the Building Permit stage, the development must submit fire flow calculations signed and sealed by a professional engineer based on the Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) to confirm that there is adequate available flow.

If the proposed development does not propose to reuse the existing 100mm diameter water service connection, the developer is required to disconnect and cap at the main the existing connection and install a new connection to the size and location necessary for the development.

Storm Sewer Works

No upgrade is required to the existing storm sewer.

The developer is required to:

- Provide lane drainage from a new manhole at the south end of the new lane tying into the Lansdowne Road drainage conveyance; and
- Remove any existing storm Inspection Chambers (IC) and service connections along the No. 3 Road frontage, and install a new storm service connection tie-in to the box culvert along No. 3 Road and a new IC at the property line.

Sanitary Sewer Works

No upgrade is required to the existing sanitary sewer.

The developer is required to:

- Remove and dispose the existing manhole SMH3187 and install a new manhole at the same location;
- Install a new service connection complete with a type 3 IC and tie-in to the south side of the new manhole; and
- Cut and cap the existing SW sanitary service connection to 5580 No 3 Road at the existing IC and tie-in the existing lead to the new manhole to maintain service to 5500 No. 3 Road.

Discharge of right of way H17837 subject to Engineering's satisfaction. The applicant is required to provide the following to the satisfaction of Engineering:

- Provision of a preload schedule, which includes consideration of how the impacts of preload will be managed to minimize impacts on adjacencies;

- Confirmation that the existing sanitary is relocated prior to preload being placed on the site; and
- Provision of a geo-technical report.

Transportation & Associated Upgrades

The applicant is responsible from the design and construction of the following frontage improvements:

- Lane: 7.5 m wide asphalt driving surface, including roll over curbs on both sides, 1.5 m wide concrete sidewalk with lighting along the west side of the driving surface, roll over curbs, installation of bollards on the east side of the lane's east edge to protect 'Prado's' parking structure and the landscaped area (1.5 m spacing between bollards). The City will maintain the bollards.

The north east corner of the site, which is included within the lane right of way area, is to be landscaped. To ensure this area does not become unsightly or a safety/entrapment concern, landscaping details are to be attached to the SA and are to include:

- Reference to the provision of irrigation;
- Selection of low maintenance and drought resistant landscaping;
- Plant species that will deter use of the landscaped area for unintended uses and cues to establish ownership of the space;
- Elevation details to ensure a consistent elevation with the lane;
- Edge condition details (roll over curb and protective bollards)

No. 3 Road: closure/removal of the existing driveway

General Items:

- For this particular instance, Engineering can accept a SRW for the lane on the condition it be extended into the site's north-east corner. Engineering does not support any Landscaping (except grass) within the north-east corner. City to maintain the road surface, sanitary and future storm/streetlights.
- The developer is required to provide lane lighting from the south end of the new lane to Lansdowne Road.
- Locate all above ground utility cabinets and kiosks required to service the proposed development within the developments site (see list below for examples). A functional plan showing conceptual locations for such infrastructure is to be included in the plans attached to the Development Permit staff report and the development process design review. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the Statutory Right of Way size requirements and the locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be submitted to the City's Engineering Department. The following are examples of Statutory Right of Ways that shall be shown in the functional plan and registered prior to SA design approval:

BC Hydro PMT – Approximately 4.0 m width X 5.0 m depth

BC Hydro LPT – Approximately 3.5 m width X 3.5 m depth

Street light kiosk – Approximately 1.5 m width X 1.5 m depth

Traffic signal kiosk – Approximately 1.0 m width X 1.0 m depth

Traffic signal UPS – Approximately 2.0 m width X 1.5 m depth

Shaw cable kiosk – Approximately 1.0 m width X 1.0 m depth – show possible location in functional plan

Telus FDH cabinet - Approximately 1.1 m width X 1.0 m depth – show possible location in functional plan

- Developer is advised to take note of the street lights/utility poles, and any other existing surface infrastructures along its No. 3 Road frontage to avoid conflicts when proceeding with design.
- Provide, prior to first SA design submission, a geotechnical assessment of preload and soil preparation impacts on the existing utilities fronting or within the development site, proposed utility installations, the

existing buildings at 8120 Lansdowne Road and provide mitigation recommendations. The mitigation recommendations (if required) shall be incorporated into the first SA design submission or if necessary prior to pre-load.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required, including, but not limited to site investigation, testing, monitoring, site preparation, dewatering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Existing City infrastructure (fire hydrant, parking meter, street lighting, etc.) may need to be relocated at the developer's cost to accommodate frontage improvements.

Prior to Building Permit Issuance, the developer must complete the following requirements:

1. Submission of a Construction Parking and Traffic Management Plan to the Transportation Division. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
2. Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Development Permit processes.
3. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Division at 604-276-4285.
4. The applicant is required to demonstrate to the City that approval from TransLink has been granted in writing for the following items, which ensure protection of transit infrastructure:
 - a) Applicant to submit excavation and shoring plans and associated mitigation plan for the development for TransLink's review and acceptance;
 - b) Applicant to conduct a precision survey of the existing Canada Line track geometry prior to any site preloading/construction work, undertake a settlement monitoring program (as established by a qualified geotechnical engineer) and conduct a repeat of the survey post development construction;
 - c) Applicant to submit final (detailed) design drawings of the development for TransLink's review and acceptance; and
 - d) Applicant to address TransLink's guideway protection requirement, which is TransLink's response to concerns related to trespass and debris on the guideway. The applicant and TransLink will work together to identify a suitable response. Any option that affects the public realm and/or building form and character must also be approved by the City. Options are not limited to the following:
 - Option 1: Introduction of a physical canopy. The canopy may be self-supported or fixed to the proposed building. In these scenarios, the public realm and/or building design would be affected; thereby affecting the Development Permit. The applicant would be responsible for proposing a design solution that is supported by the City and would be required to seek reconsideration by the Development Permit Panel.
 - Option 2: Registration of an agreement between the owner and TransLink to assign responsibility for intentional or unintentional damage to the guideway to the owner/strata corporation. The City is not a party to this agreement. The agreement would be a private agreement between TransLink and the owner/strata corporation.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Signed (original on file)

Date



City of Richmond

Development Permit

No. DP 14-660885

To the Holder: DYS ARCHITECTURE

Property Address: 5580 NO 3 ROAD

Address: 260-1770 BURRARD STREET, VANCOUVER, BC V6J 3G7

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) Vary the provisions of Richmond Zoning Bylaw 8500 to reduce the residential parking rate from the standard City wide parking rate to the City Centre Zone 1 parking rate.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #13a to #13r attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$373,743.70 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 14-660885

To the Holder: DYS ARCHITECTURE

Property Address: 5580 NO 3 ROAD

Address: 260-1770 BURRARD STREET, VANCOUVER, BC V6J 3G7

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF ,

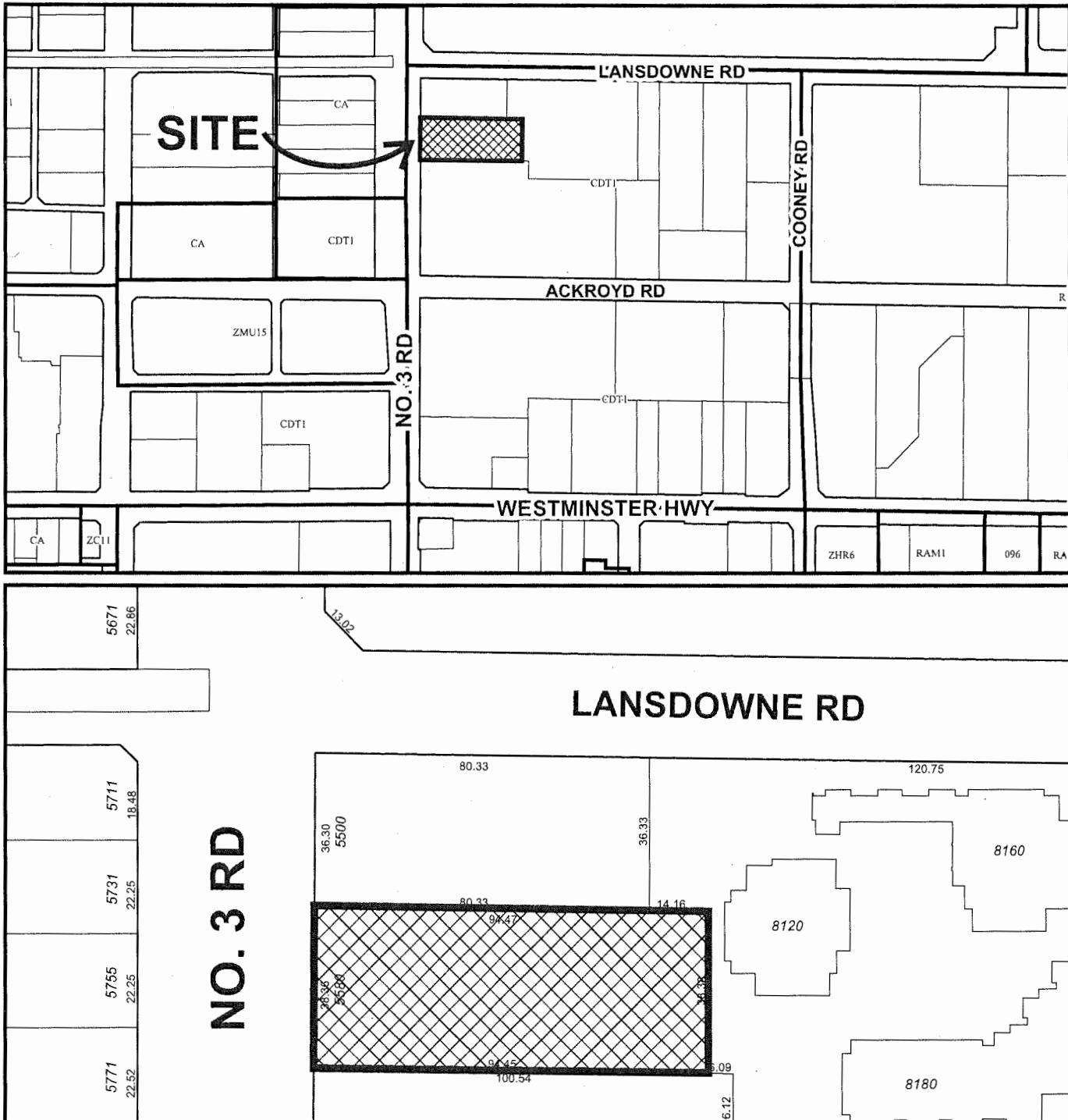
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF ,

MAYOR



City of Richmond



**DP 14-660885
SCHEDULE "A"**

Original Date: 04/22/14

Revision Date:

Note: Dimensions are in METRES

PROJECT DATA

A. DESCRIPTION OF PROJECT

A 13-STORY RESIDENTIAL DEVELOPMENT, WITH A 2-STORY CRU PODIUM AND 3-FLOORS ABOVEGROUND PARKING

B. LEGAL DESCRIPTION:

TOPOGRAPHICAL PLAN LOT 62, EXCEPT: PARTS SUBDIVIDED BY PLAN 53415, PLAN 40661 AND LOT 21 EXCEPT PARCEL "A" (REFERENCE PLAN 22118). BLOCK 3, PLAN 1601, BOTH OF SECTION 4, BLOCK 4 NORTH, RANGE 6 WEST, NEW WESTMINSTER DISTRICT

C. ZONING:

CURRENT:
PROPOSED:
CDT1
CDT1

D. SITE AREA:

GROSS SITE AREA:	38,987 SF	3,622 m ²
DEDICATIONS:	0 SF	0 m ²
NET SITE AREA:	38,987 SF	3,622 m²

E. BUILDING HEIGHT:

PROPOSED STOREYS:
PROPOSED HEIGHT:
15' 154'-2" (47m) GEODEMIC

F. DENSITY/FLOOR AREA RATIO CALCULATION

DESCRIPTION	DENSITY:	ALLOWABLE AREA	DENSITY:	PROPOSED AREA
CRU AND RESIDENTIAL DENSITY [FAR]:	3.000	11,696 SF	10,866 m ²	115,952 SF
AH/DENSITY:	0.149	5,803 SF	539 m ²	5,819 SF
TOTAL DENSITY AREA:	3.149	122,764 SF	11,405 m²	121,771 SF
AMENITY DENSITY (EXCLUDED FROM FAR):	0.100	3,699 SF	362 m ²	2,959 SF
TOTAL DENSITY AREA (W/EXCLUDED AMENITY)	3.249	126,663 SF	11,767 m²	124,710 SF

G. SITE COVERAGE & CALCULATIONS:

NET SITE AREA	38,987 SF	3,622 m ²
BUILDING [FOOTPRINT] AREA	29,994 SF	2,787 m ²
SITE COVERAGE (90% ALLOWABLE)	76.9%	

H. BUILDING AREA STATISTICS

*EXCLUSIONS ARE INDICATED IN WHITE FIELD IN TABLE BELOW (*AMENTIES, AND *COMMON EXCLUSIONS) AND FAR OVERLAY SHEETS.
COMMON AREA COLUMN SHOWN IS EQUALS TO THE SUM OF "COM" + "EXCL." AS SHOWN ON FAR OVERLAY SHEETS.

ALL AREA EXCLUSIONS ARE DEDUCTED FROM THE THE GRA FOR FINAL *FAR AREAS AS SHOWN IN THIS TABLE.

LEVEL	G.F.A.	*AMENITY	A.H.	COMMON	SUITE AREA	*EXCLUSION	**NET FAR	NO. SUITES
P1 LOWER PARKING	246			82	0	164	82	
L1 CRU	4,076			203	3,763	110	3,966	
L2 CRU	1,655			0	1,655	0	1,655	
CRU TOTALS	5,977		0	0	285	5,418	5,703	
P1 VISITOR PARKING	473			134	0	339	134	
L1 RES. LOBBY & PARKING	1,889			1,889	0	0	1,889	
L2 RES. PARKING	678			339	0	339	339	
L3 RESIDENTIAL PODIUM	13,042		2,095	878	1,011	8,681	10,570	11
L5 TOWER & PODIUM UPPER	11,397		844	546	9,639	377	10,176	9
L6	9,320			2,931	527	5,485	377	8,943
L7	9,320			2,010	527	6,406	377	8,943
L8 TYPICAL (LOWER)	9,320			537	8,406	377	8,943	12
L9	9,320			537	8,406	377	8,943	12
L10	9,320			537	8,406	377	8,943	12
L11 TYPICAL (UPPER)	9,320			541	8,402	377	8,943	11
L12	9,320			541	8,402	377	8,943	11
L15	9,320			541	8,402	377	8,943	11
L16	9,320			541	8,402	377	8,943	11
L17 PENTHOUSE MAIN	7,250			514	6,384	352	6,898	8
L18 PENTHOUSE UPPER	5,927			320	5,255	352	5,575	0
RESIDENTIAL TOTALS	124,536		2,939	5,819	9,582	100,667	116,068	132
TOTAL AREAS	130,513		2,939	5,819	9,867	106,085	5,903	121,771

I. EXCLUSIONS:

AMENITY EXIT STAIR SHAFTS, ELEVATOR SHAFT SERVICE SHAFTS AND MECHANICAL/ELECTRICAL ROOM SERVICE SPACES.

J. NE FLOOR AREA:

EQUALS GROSS AREA LESS AMENITY AND EXCLUSIONS.

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Drawing Issue Date

Revision Schedule
Rev # Date Description
Apr. 14, 2014 Issued for DR Application
Oct. 27, 2014 Issued for Advisory Design Panel
Dec. 19, 2014 Revised for DR Application
Jan. 30, 2015 Revised for DP - City Review
Feb. 11, 2015 Revised for DR Application
Nov. 29, 2015 Revised for DP
Dec. 17, 2015 Revised for DR/P & DPP
Dec. 17, 2015 Revised for DR/P & DPP

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*AFFORDABLE HOUSING UNITS INCLUDED IN TOTAL UNITS (132 MARKET + 9 AFFORDABLE)

PARKING SUMMARY

UNIT COUNT/RATIO**	STALLS REQUIRED	STALL RATIO	STALLS PROVIDED	STALLS PROVIDED	REGULAR	SMALL	SUMMARY
P1 CRU /VISITORS STALLS	25	3	24	25	28		
P1 CRU /HC STALL			1	1			
P1 AH UNITS STALLS	9	5	5	9			
P1 HC PARKING			3	3			
P1 RESIDENTIAL STALLS	1,0 STALLS/UNIT	8	8	139			
P1 RESIDENTIAL STALLS	1,0 STALLS/UNIT	123	123				
L1 RESIDENT PARKING	1,0 STALLS/UNIT	20	20				
L1 HC PARKING	1,0 STALLS/UNIT	4	4				
L2 RESIDENT PARKING	1,0 STALLS/UNIT	27	27				
L1 RESIDENT PARKING	1,0 STALLS/UNIT	63	63				
L1 RESIDENT PARKING	1,0 STALLS/UNIT	157	157				
L1 RESIDENT PARKING	1,0 STALLS/UNIT	176	176				

BICYCLE STORAGE SUMMARY

UNIT COUNT/RATIO	STALLS REQUIRED	VERTICAL STALLS PROVIDED	VERTICAL STALLS PROVIDED	FRONTAL STALLS PROVIDED	FRONTAL STALLS PROVIDED
BIKE STALL ROOM #1	** CLASS 2 STALLS	29	29	30	30
BIKE STALL ROOM #1	** CLASS 1 STALLS	167	167	0	10
BIKE STALL ROOM #2	** CLASS 1 STALLS	167	167	24	0
BIKE LOCKER ROOM #3	** CLASS 1 LOCKERS	11	11	30	30
BIKE LOCKER ROOM #4	** CLASS 1 LOCKERS	11	11	0	12
BIKE LOCKER ROOM #5	** CLASS 1 LOCKERS	11	11	0	30
BIKE LOCKER ROOM #6	** CLASS 1 LOCKERS	11	11	0	27
BIKE LOCKER ROOM #7	** CLASS 1 LOCKERS	11	11	0	34
STALL/Locker Size Sum.		24	24	173	173
TOTAL BIKES		196	196	197	197

*CLASS 1 STALLS IS 1.25/UNIT (132 UNITS) = 165 STALLS; PLUS 0.27 STALLS/100SF = 1.50 STALLS; TOTAL STALLS/100SF = 1.56 STALLS.

**CLASS 2 STALLS IS 0.2/UNIT = 26.4 STALLS; PLUS 0.4 STALLS/100SF = 2.22 STALLS; TOTAL STALLS = 29 STALLS.

NOTE: AN ADDITIONAL 6-STALL RACK IS ALSO PROVIDED AT STREET.

PROJECT DATA
DEC 21 2015

Project No.
RA13-131-DVS-A212149
Scale
AS NOTED
Drawing No.
A002
File name:
Rev:

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ISSUE FOR ADP
Reissued for DP Application



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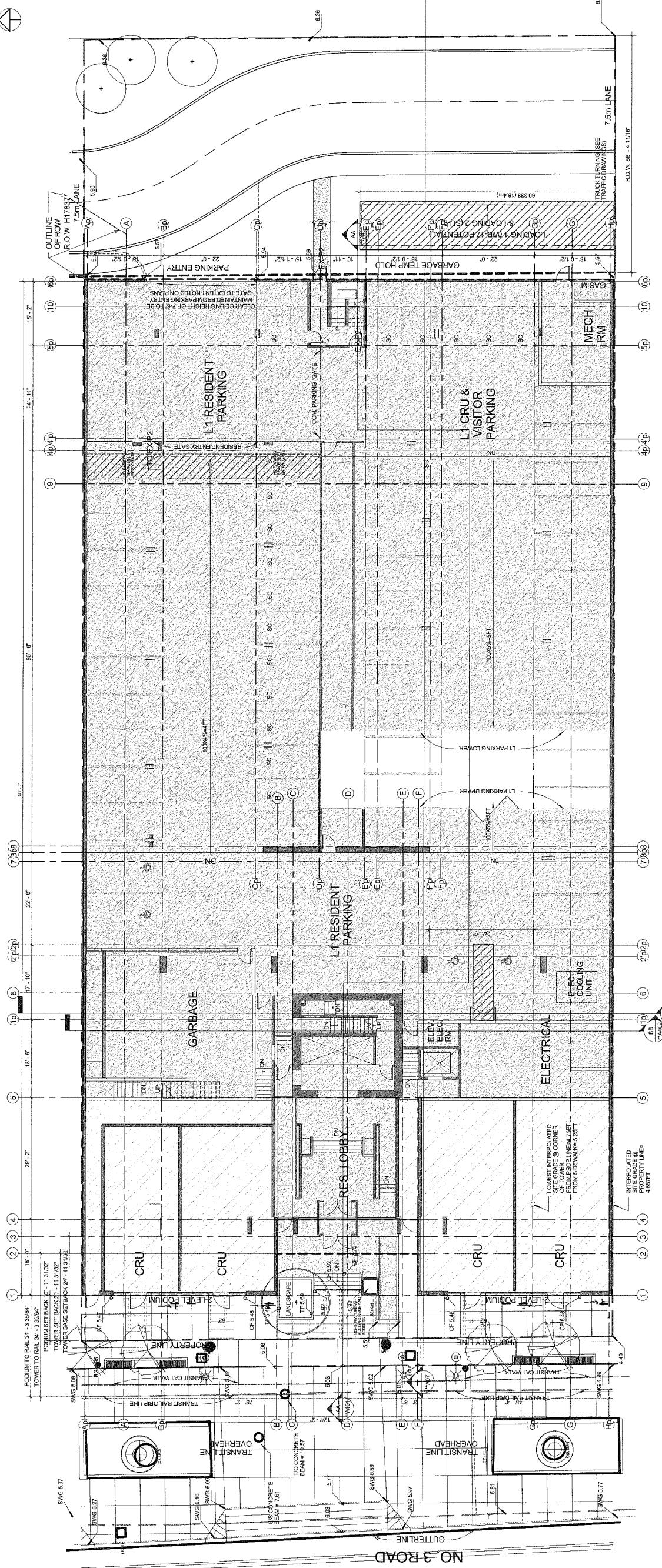
SUITE ONE
1600 HOWE ST.
VANCOUVER BC
V6Z 2L9 CANADA

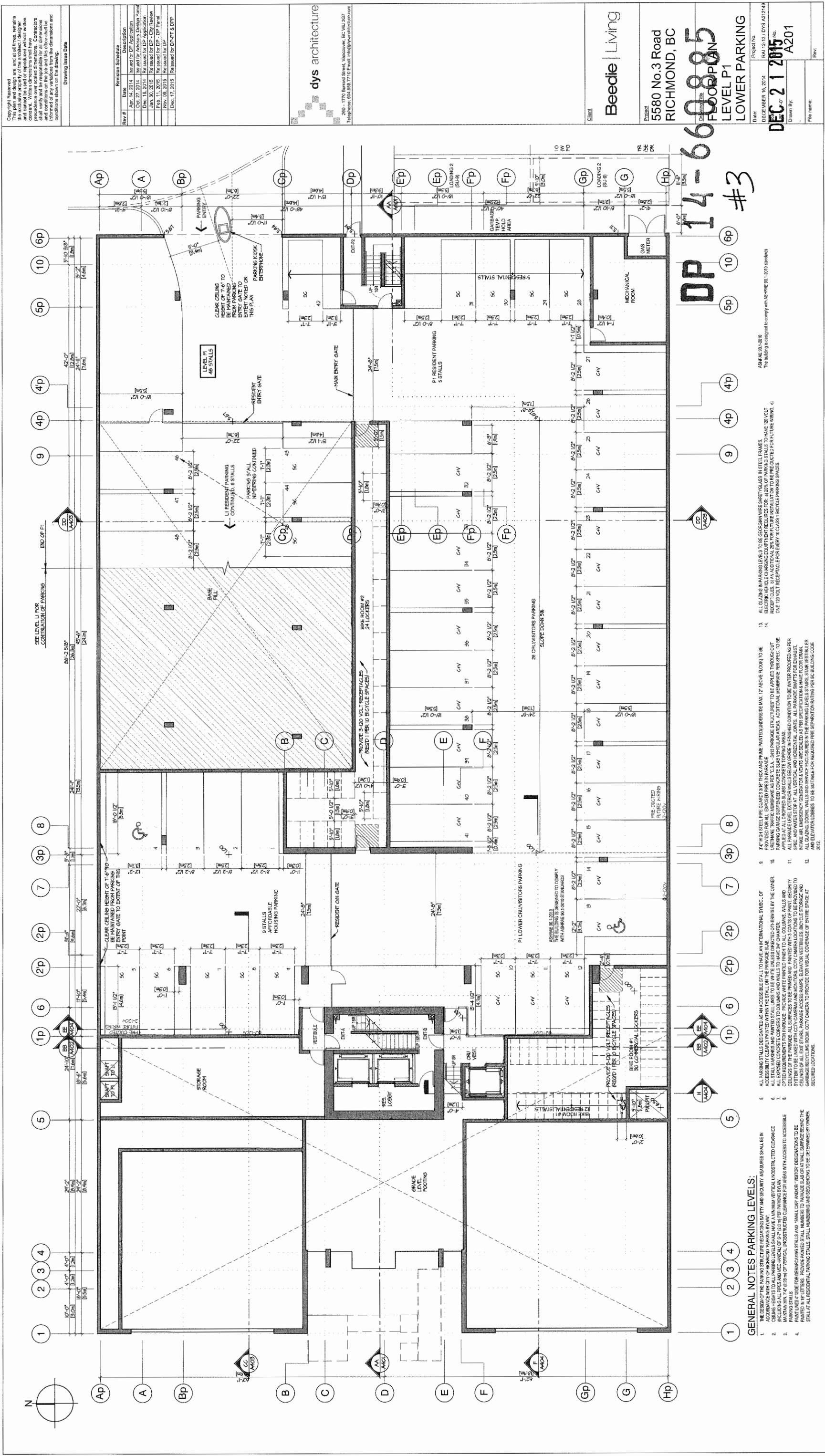
Project
55580 No3 Rd,
RICHMOND, BC

3
2015
12/21

Project No.	12-13	Division No.
Date:	EEPT 30, 2014	Calculate

Rev. **A102**





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Drawing Issue Date

Revision Schedule	
Rev #	Date
Rev A	Apr. 14, 2014
	Issued for DP Application
Rev B	Oct. 27, 2014
	Issued for Advisory Design Panel Review
Rev C	Dec. 18, 2014
	Reissued for DP Application
Rev D	Jan. 30, 2015
	Reissued for DP - City Review
Rev E	Feb. 11, 2015
	Reissued for DP - DP Panel
Rev F	Nov. 09, 2015
	Reissued for DP - City Review

R A F I I A R C H I T E C T S I N C.

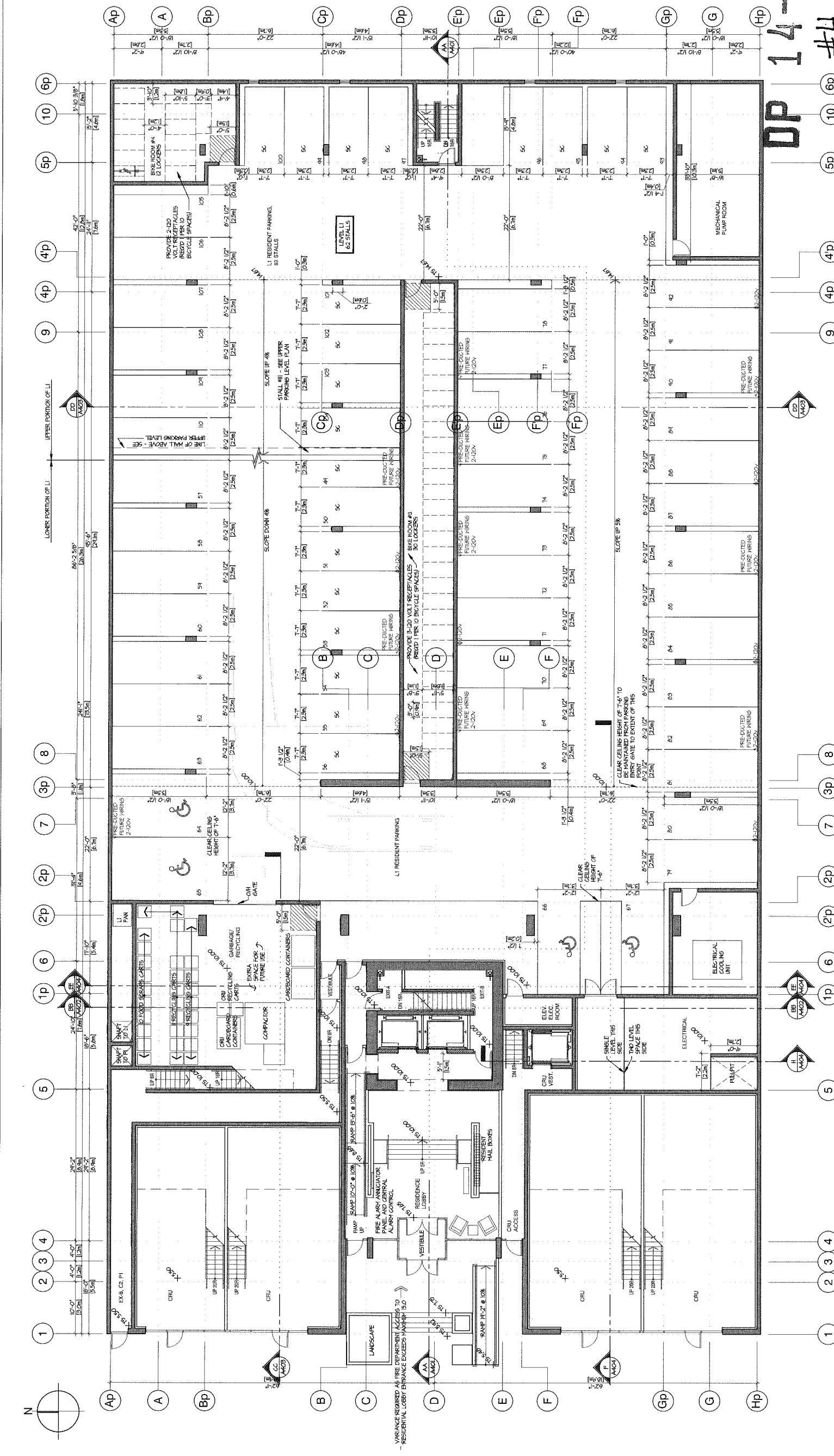


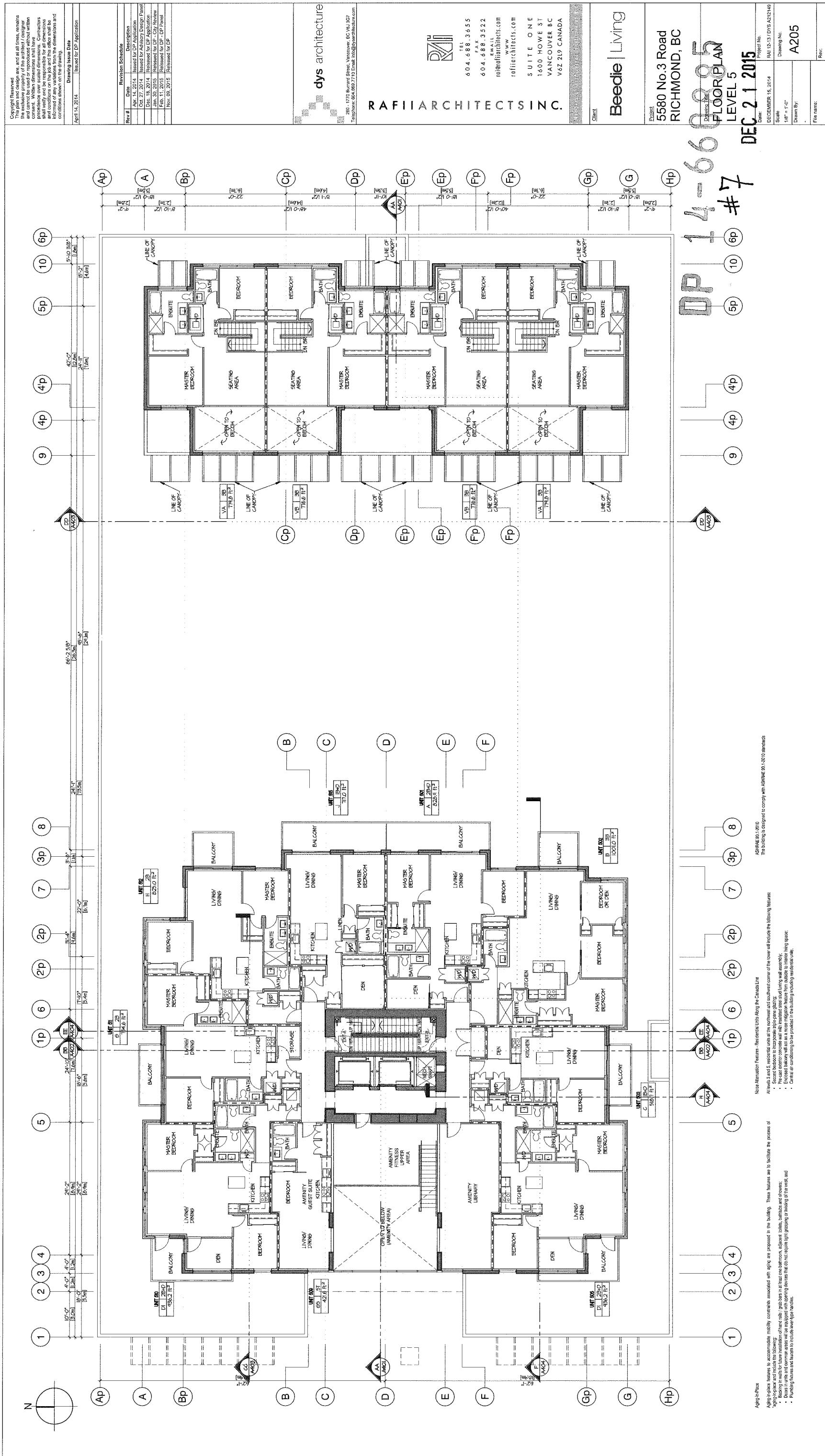
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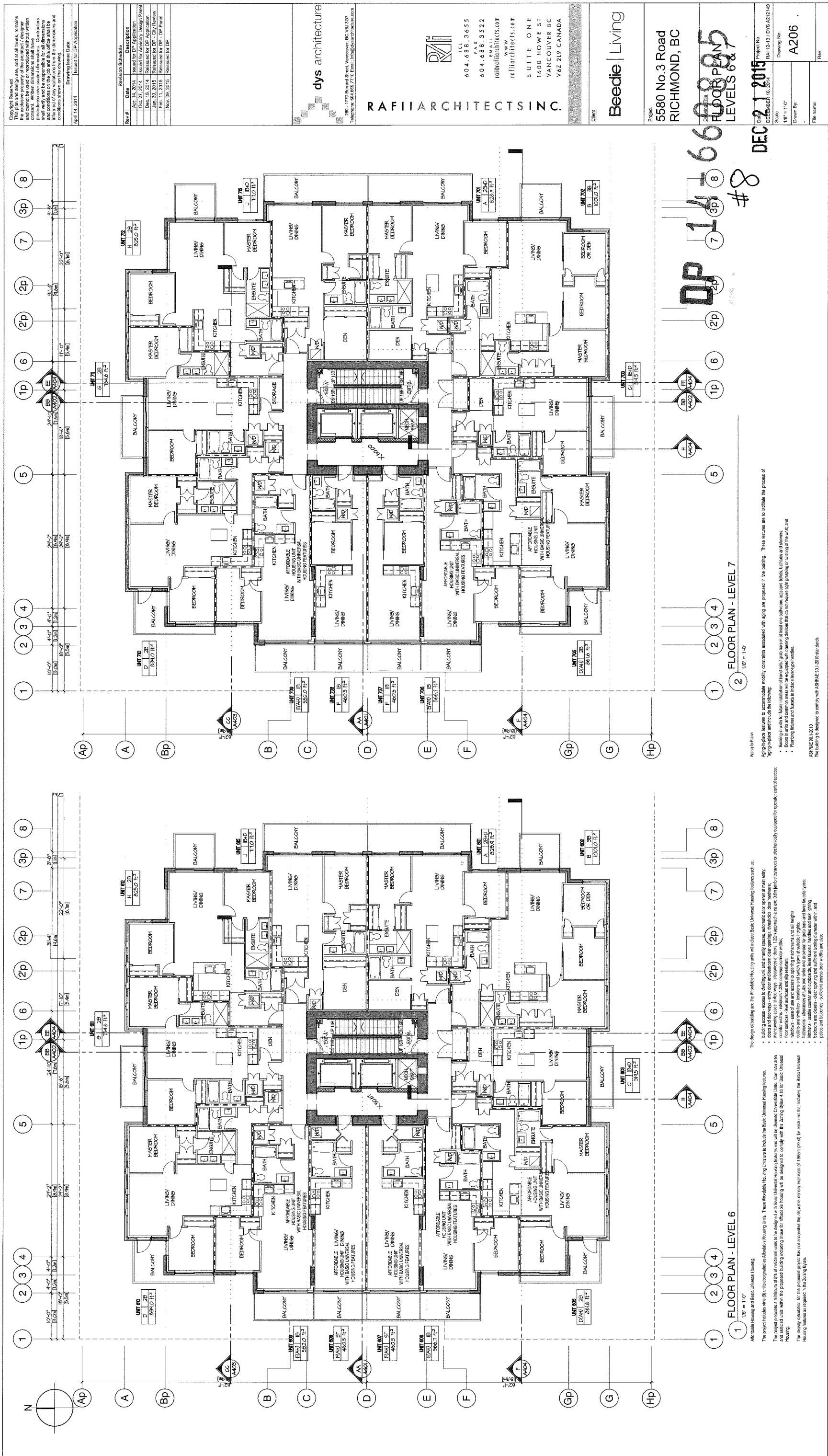
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V A N C O U V E R B C
V 6 Z 2 L 9 C A N A D A

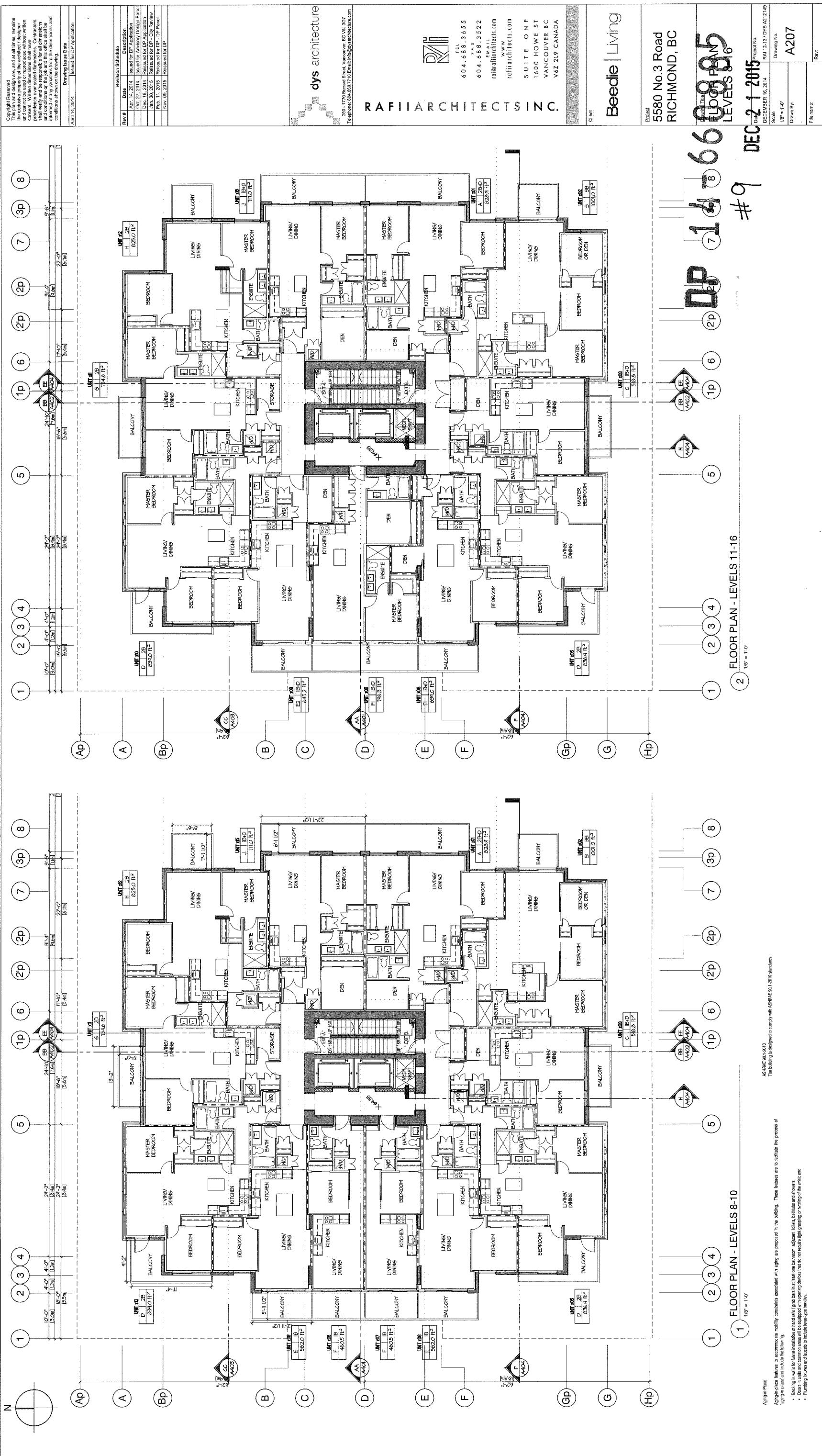
55580 No.3 Road
RICHMOND, BC
FLOOR PLAN
LEVEL 1

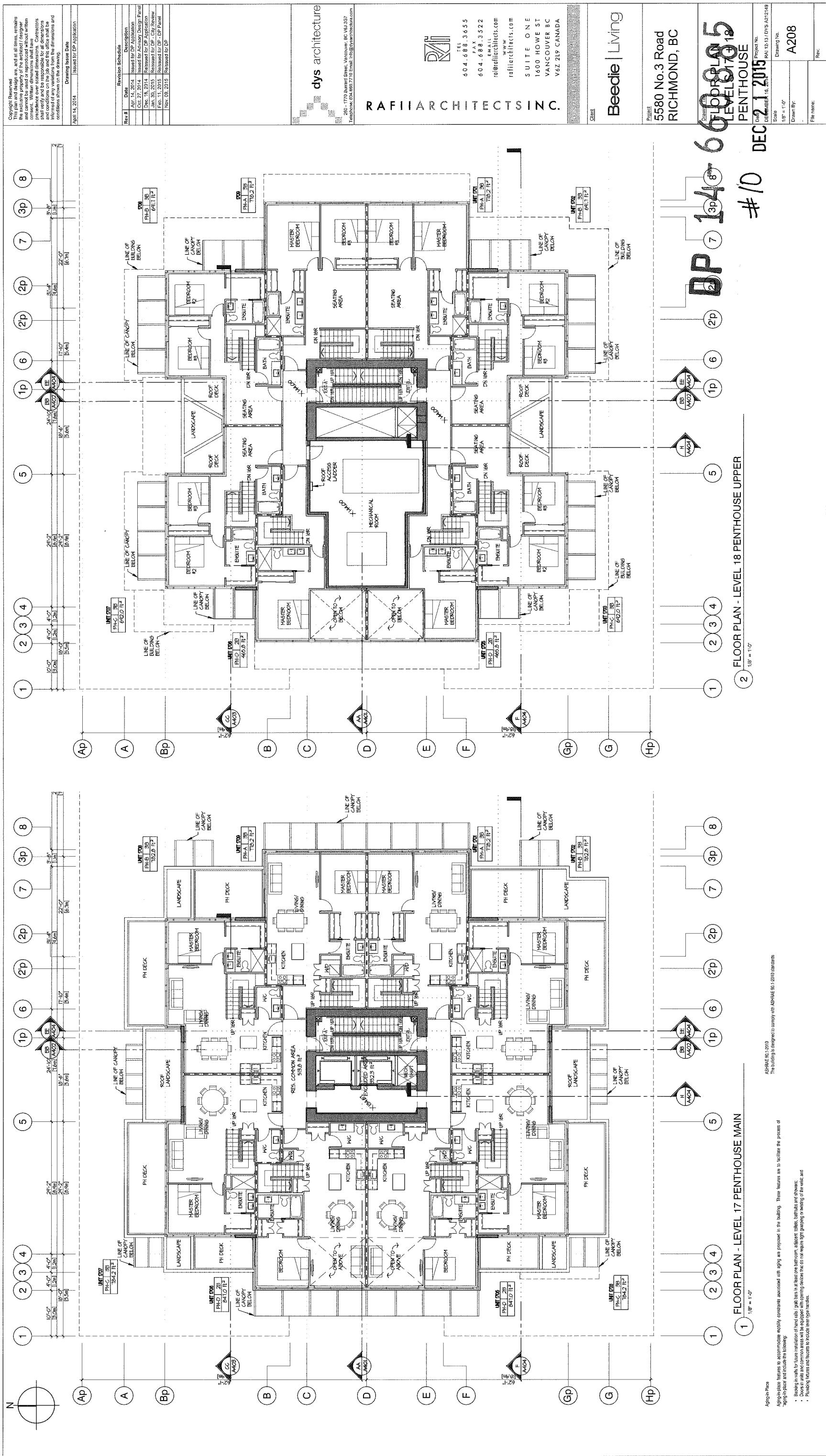
Rev. 1
Drawing No.: A202
Date: 2/1/2015
Scale: 1" = 2'-0"
Drawn By: _____
File name: _____











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Drawing Issue Date

Revision Schedule		
v #	Date	Description
	Apr. 14, 2014	Issued for DP Application
	Oct. 27, 2014	Issued for Advisory Design Pa
	Dec. 18, 2014	Reissued for DP Application
	Feb. 11, 2015	Reissued for DP- DP Panel

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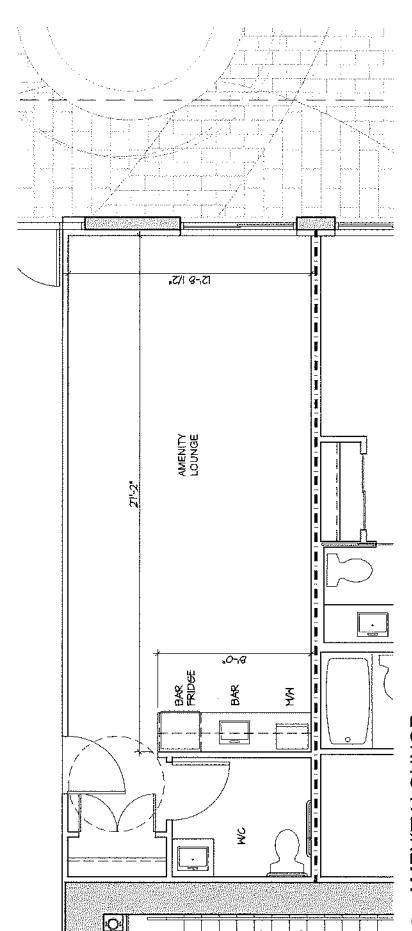
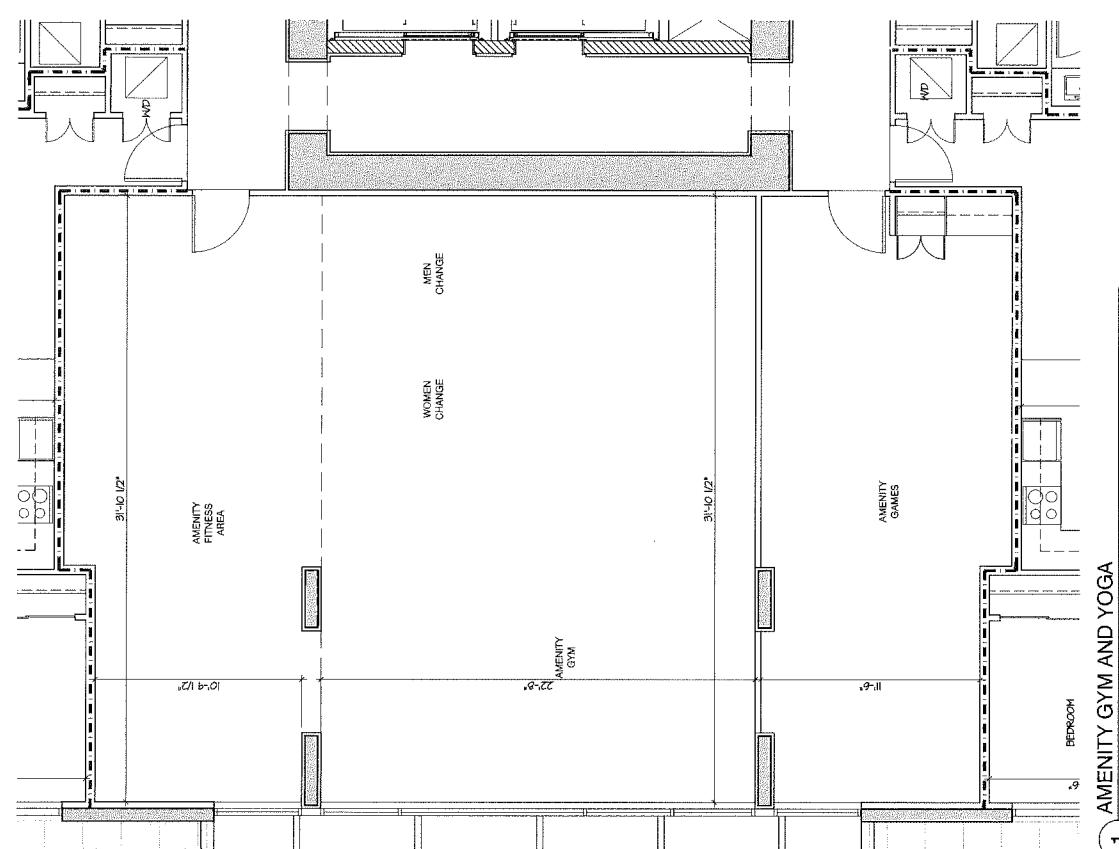
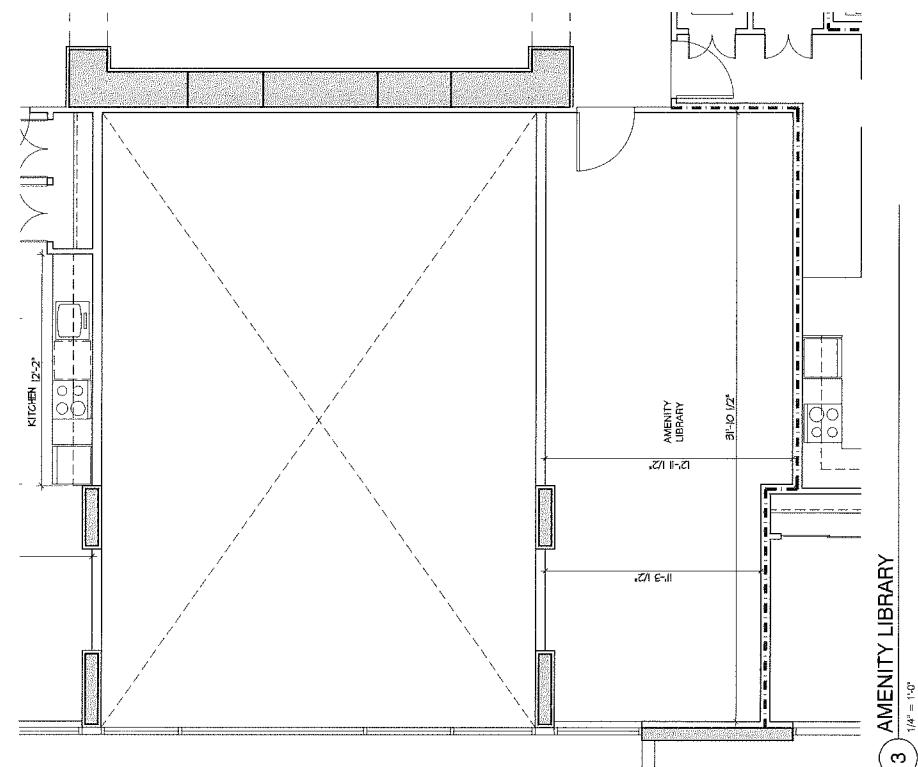
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555580 No. 3 Road
RICHLAND, BC
AMENITY SPACES
ROOM PLANS

	<p>RA 12-3 / DVS A21246 Drawing No. A507</p>
<p>DECEMBER 16, 2014</p>	<p>Date Drawn By:</p>
<p>10/14/14</p>	<p>10/14/14</p>
<p>$1'' = 1'-0''$</p>	

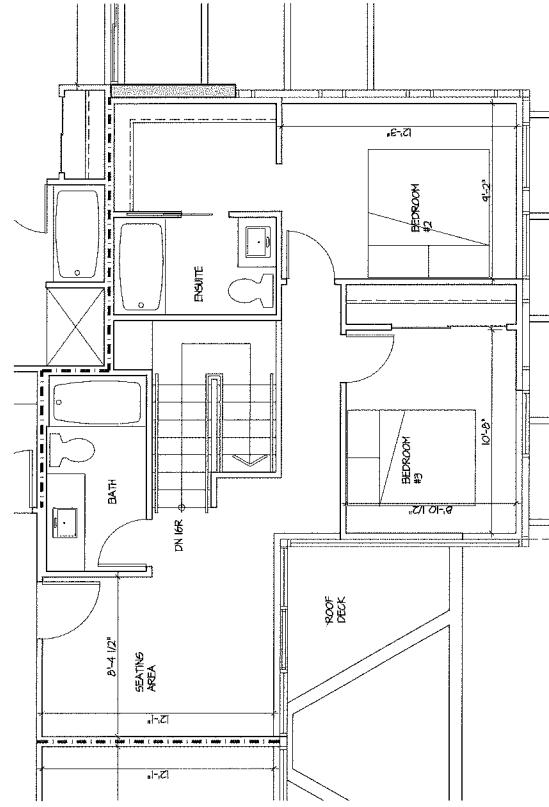


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Drawing Issue Date

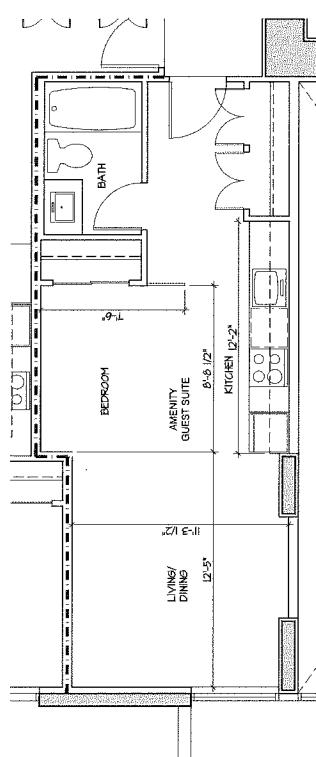
Revision Schedule

Rev #	Date	Description
Ver. 1.0	Jan 14, 2014	Issued to DVS
Ver. 1.01	Oct 23, 2014	Corrected Drawing Errors
Ver. 1.02	Dec 19, 2014	Revised for DVS Submittal
Ver. 1.03	Feb 11, 2015	Revised for DP - PH-B



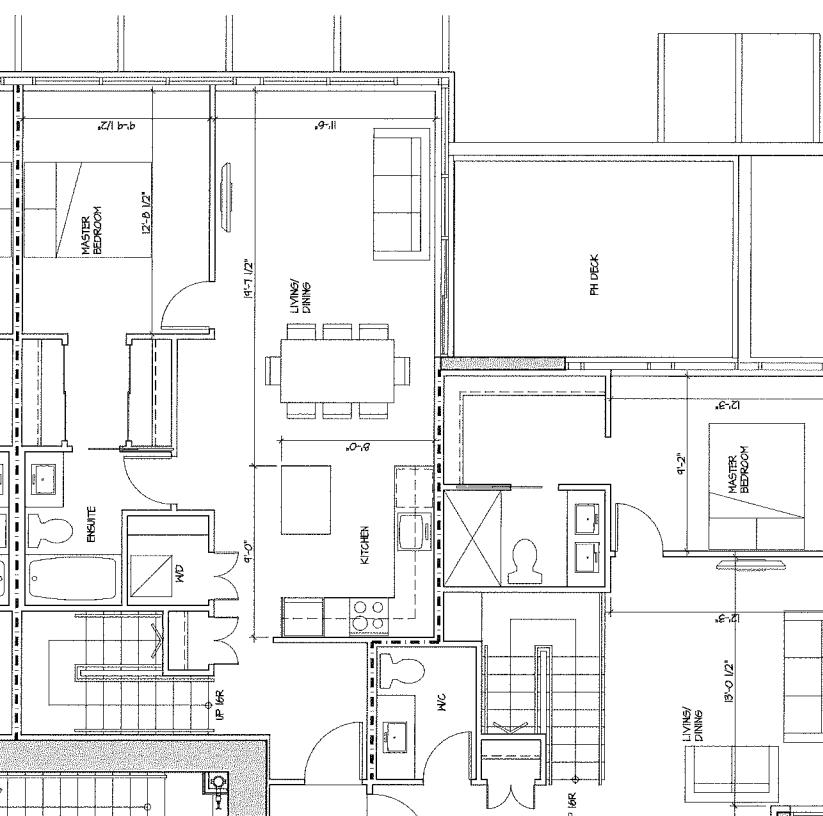
1 UNIT PLAN - UNIT GS (LEVEL 5)

AMENITY GUEST SUITE

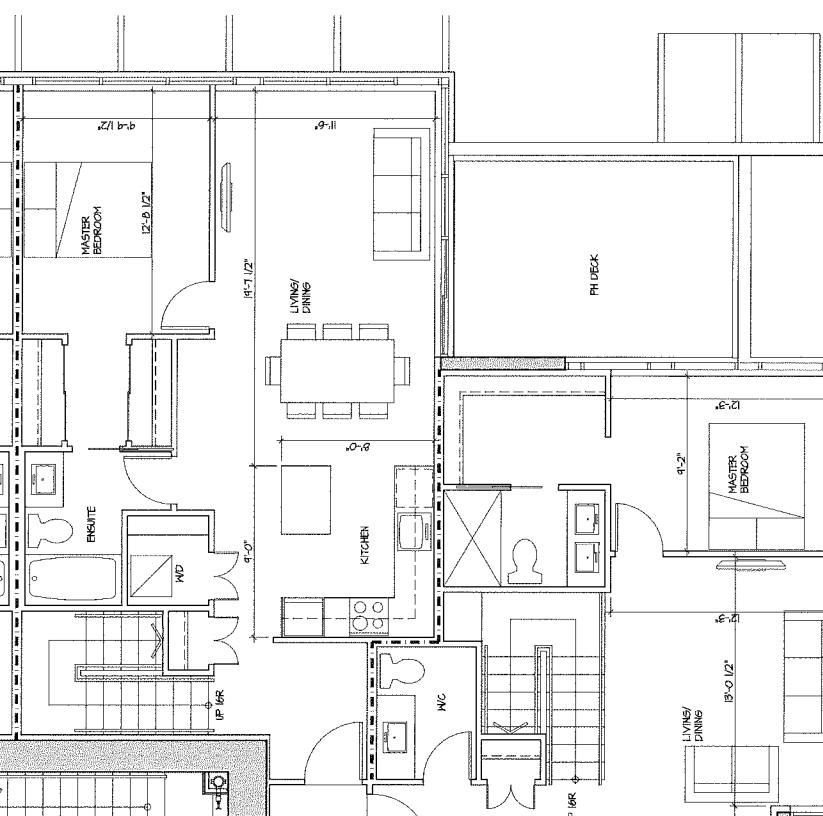


1 UNIT PLAN - UNIT GS (LEVEL 5)

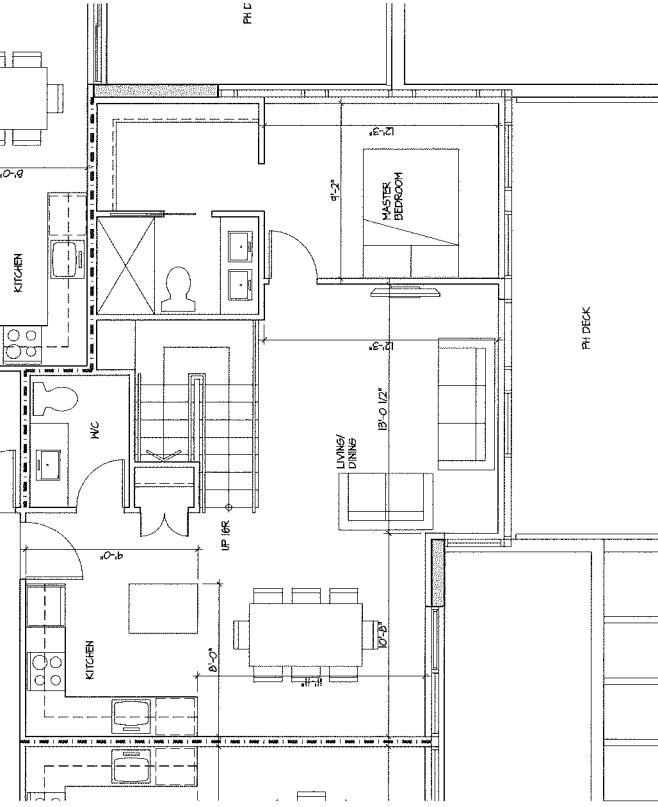
2 UNIT PLAN - UNIT PHA (UPPER)



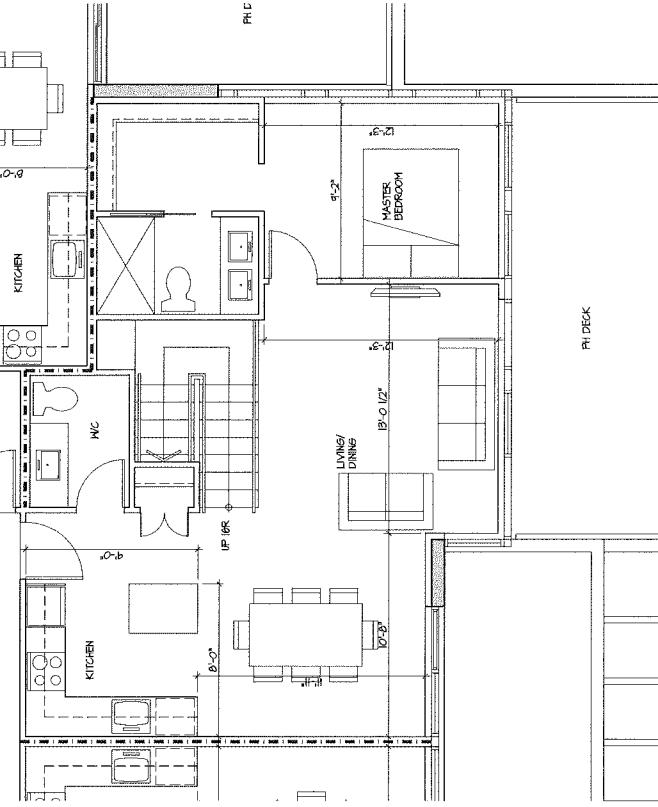
3 UNIT PLAN - UNIT PHA (LOWER)



4 UNIT PLAN - UNIT PH-B (UPPER)



5 UNIT PLAN - UNIT PH-B (LOWER)



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Project No:
RAI 12-13 / DVS A212-149
Scale:
1/4" = 1'-0"
Drawing No:
A504

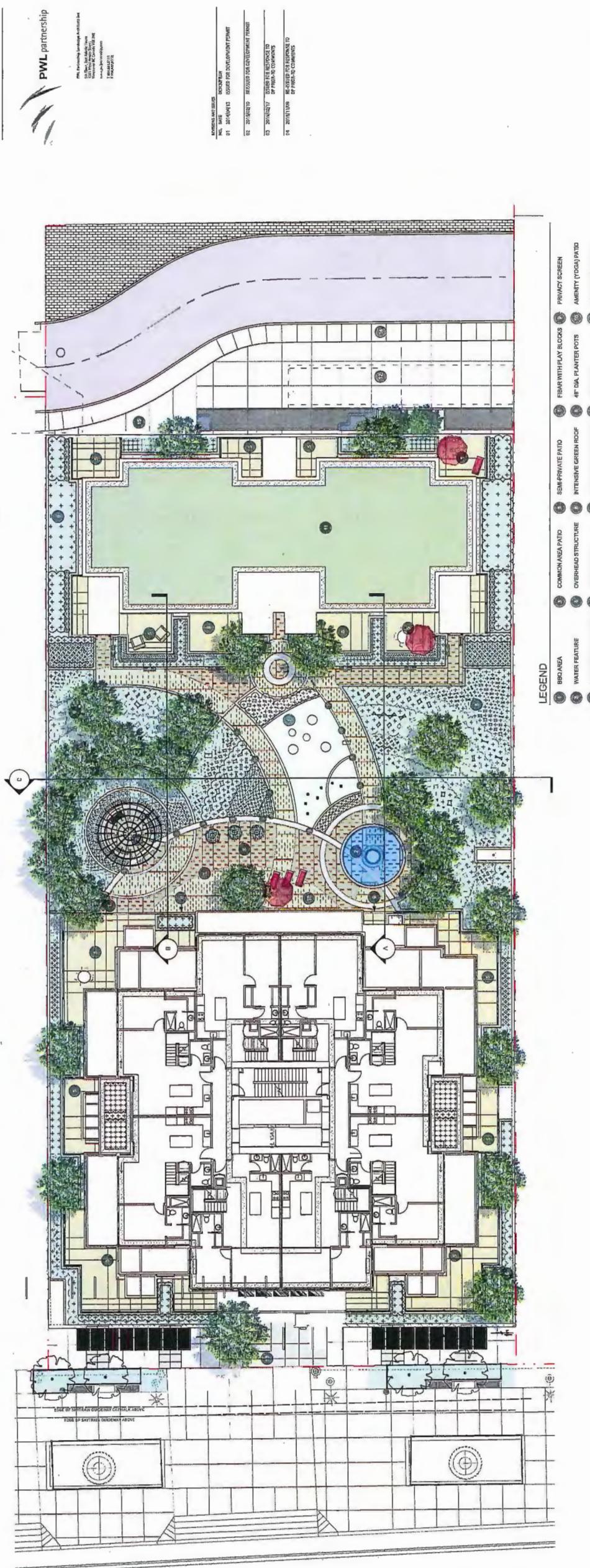
Project No:
DP 14-660885
Scale:
1/4" = 1'-0"
Drawing No:
A504

Date:
DECEMBER 16, 2014
Scale:
1/4" = 1'-0"
Drawing No:
A504

DEC 21 2015

DP 14-660885
Nov 9 2009
#13a

LDP 1.00



FEATURE POT



BIKE RACK

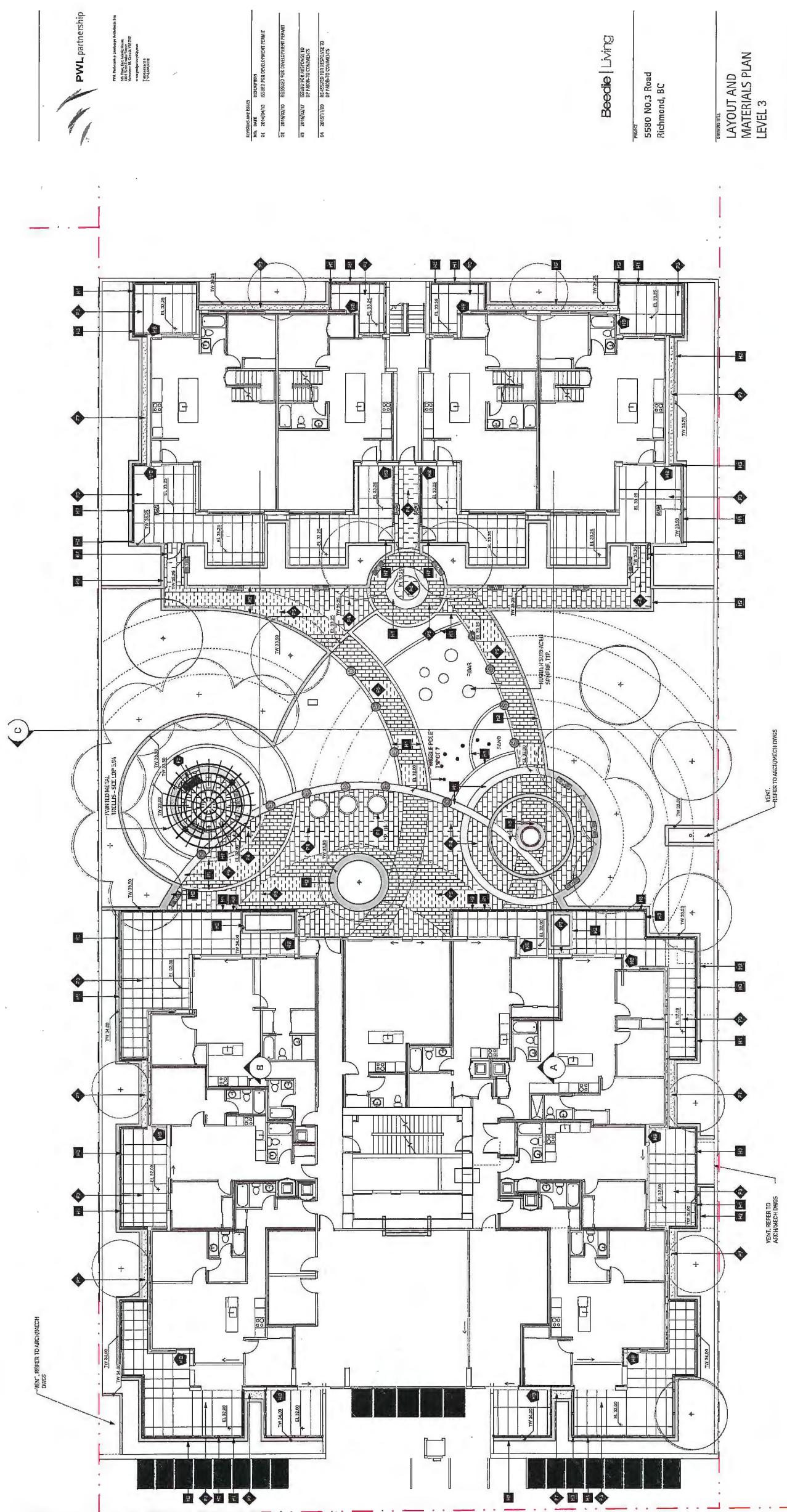
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COLOUR PLAN	
 $3/32"$ = 1"	

NOV 19 2015

#13C

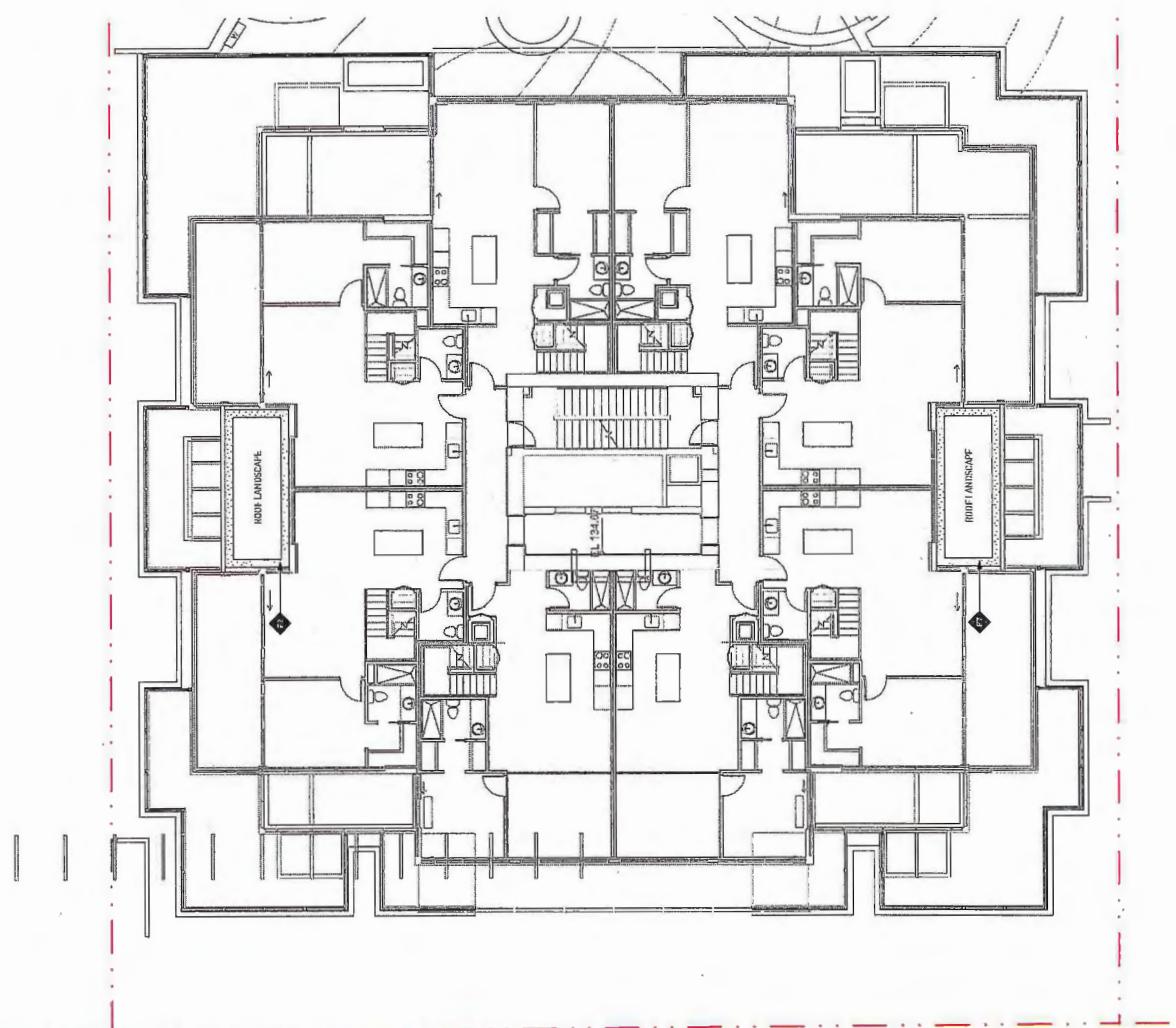
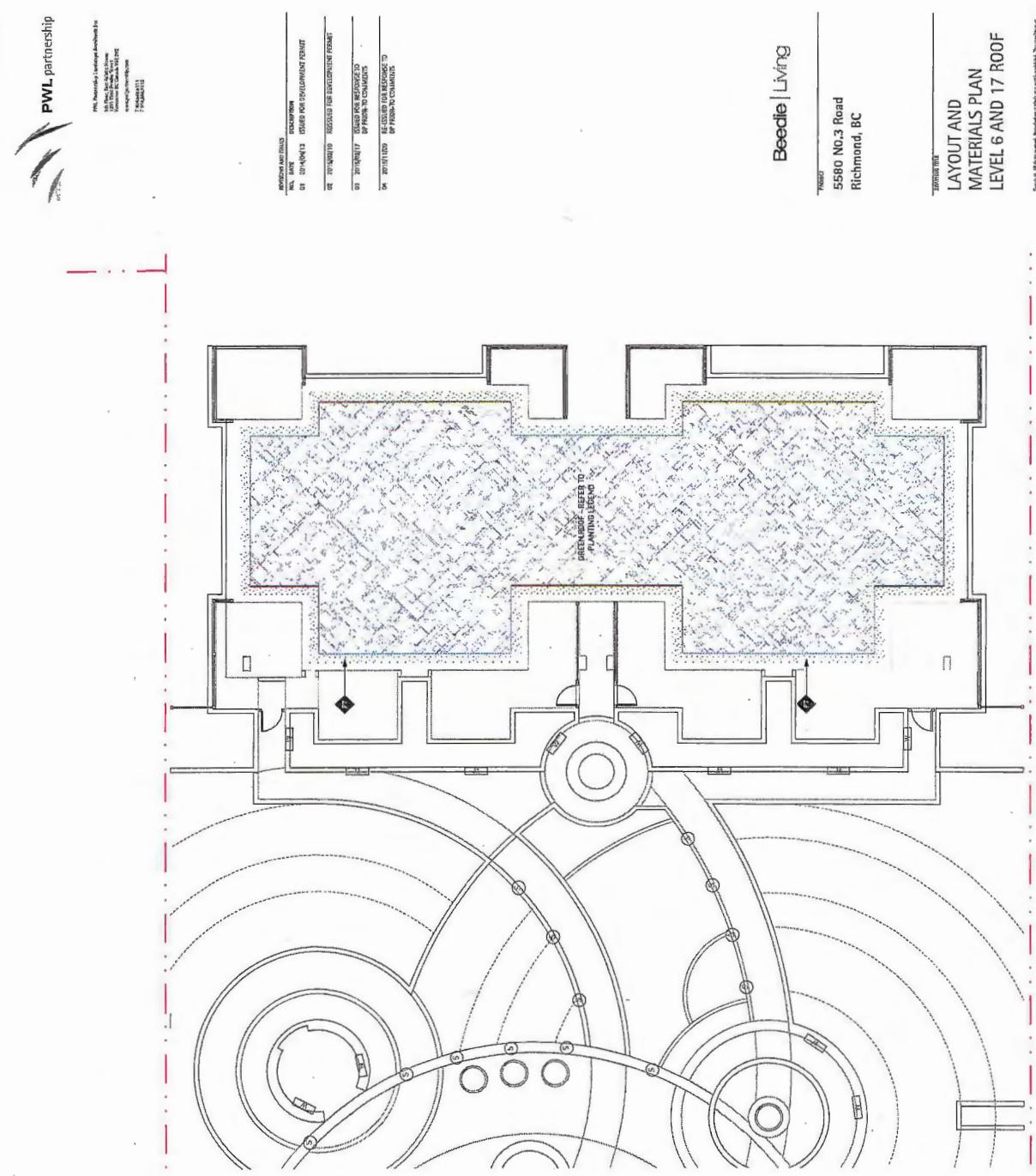
DP 14-660885

LDP 1.02



DP 14-6601885
#13d

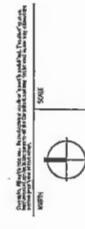
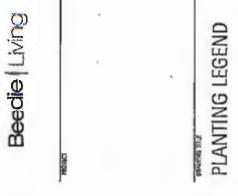
LDP 1.03





www.karlsruhe.de/karlsruhe.de
Karlsruhe Institute of Technology
Institute for Future Energy Consumer
Energy Efficient Vehicles Vol. 2012
<http://www.kit.edu/energy/consumer/>

GREEN ROOF PLANT LIST					
Gly	Botanical Name	Common Name	Scheduled Size	Spacing	Remarks
Trees					
R	Acer circinatum	Vine Maple	2.5 m h, [3-5' w]	As Stems	186. Nuttaly green, minimum 3 years
B	Acer palmatum "Bloodgood"	Japanese Maple	2.5 m h, 1.5 m w,	As Stems	186. Reddish brown, no white var.
C	Acer pseudoplatanus	Norway Maple	2.5 m h, 1.5 m w,	As Stems	186. Yellow branching, dense tree, 6'-12' m std.
D	Acer rubrum "Variegatum"	Yarlungzong Red Maple	2.5 m h, 1.5 m w,	As Stems	186. Uniform branching, dense tree, 6'-12' m std.
E	Fraxinus americana	White Ash	2.5 m h, 1.5 m w,	As Stems	186. Uniform branching, dense tree, 6'-12' m std.
F	Prunus pensylvanica "Purpurea"	Purple Leaf Shrub Cherry	2.5 m h, 1.5 m w,	As Stems	186. Uniform branching, dense tree, 6'-12' m std.
Shrubs					
G	Abelia floribunda "Dorothy"'	Desert Rose	H pot	30 cm [12"]	Well established
H	Camellia sasanqua "Victoria"	Camellia	H pot	30 cm [12"]	Well established
I	Chionanthus retusa	Chinese Fringe Tree	H pot	30 cm [12"]	Well established
J	Crataegus coccinea	Highbush Cranberry	H pot	30 cm [12"]	Well established
K	Crataegus laevigata	Smooth Hawthorn	H pot	30 cm [12"]	Well established
L	Euonymus fortunei "Emerald 'n Gold"	Fortunei Euonymus	H pot	30 cm [12"]	Well established
M	Euonymus fortunei "Emerald 'n Gold"	Fortunei Euonymus	H pot	30 cm [12"]	Well established
N	Gaultheria shallon	Salal	H pot	30 cm [12"]	Well established
O	Gaultheria shallon	Salal	H pot	30 cm [12"]	Well established
P	Gaultheria shallon	Salal	H pot	30 cm [12"]	Well established
Q	Gaultheria shallon	Salal	H pot	30 cm [12"]	Well established
R	Gaultheria shallon	Salal	H pot	30 cm [12"]	Well established
S	Gaultheria shallon	Salal	H pot	30 cm [12"]	Well established
T	Gaultheria shallon	Salal	H pot	30 cm [12"]	Well established
U	Gaultheria shallon	Salal	H pot	30 cm [12"]	Well established
V	Gaultheria shallon	Salal	H pot	30 cm [12"]	Well established
W	Gaultheria shallon	Salal	H pot	30 cm [12"]	Well established
X	Gaultheria shallon	Salal	H pot	30 cm [12"]	Well established
Y	Gaultheria shallon	Salal	H pot	30 cm [12"]	Well established
Z	Gaultheria shallon	Salal	H pot	30 cm [12"]	Well established
Ground Cover					
A	Agrostis capillaris	Spring Pink Winter Heath	H pot	30 cm [12"]	10cm [4"] height
B	Agrostis capillaris	"Blue Blush"	H pot	30 cm [12"]	10cm [4"] height
C	Antennaria parviflora	Spurred Antennaria	H pot	30 cm [12"]	10cm [4"] height
D	Antennaria parviflora	Spurred Antennaria	H pot	30 cm [12"]	10cm [4"] height
E	Antennaria parviflora	Spurred Antennaria	H pot	30 cm [12"]	10cm [4"] height
F	Antennaria parviflora	Spurred Antennaria	H pot	30 cm [12"]	10cm [4"] height
G	Antennaria parviflora	Spurred Antennaria	H pot	30 cm [12"]	10cm [4"] height
H	Antennaria parviflora	Spurred Antennaria	H pot	30 cm [12"]	10cm [4"] height
I	Antennaria parviflora	Spurred Antennaria	H pot	30 cm [12"]	10cm [4"] height
J	Antennaria parviflora	Spurred Antennaria	H pot	30 cm [12"]	10cm [4"] height
K	Antennaria parviflora	Spurred Antennaria	H pot	30 cm [12"]	10cm [4"] height
L	Antennaria parviflora	Spurred Antennaria	H pot	30 cm [12"]	10cm [4"] height
M	Antennaria parviflora	Spurred Antennaria	H pot	30 cm [12"]	10cm [4"] height
N	Antennaria parviflora	Spurred Antennaria	H pot	30 cm [12"]	10cm [4"] height
O	Antennaria parviflora	Spurred Antennaria	H pot	30 cm [12"]	10cm [4"] height
P	Antennaria parviflora	Spurred Antennaria	H pot	30 cm [12"]	10cm [4"] height
Q	Antennaria parviflora	Spurred Antennaria	H pot	30 cm [12"]	10cm [4"] height
R	Antennaria parviflora	Spurred Antennaria	H pot	30 cm [12"]	10cm [4"] height
S	Antennaria parviflora	Spurred Antennaria	H pot	30 cm [12"]	10cm [4"] height
T	Antennaria parviflora	Spurred Antennaria	H pot	30 cm [12"]	10cm [4"] height
U	Antennaria parviflora	Spurred Antennaria	H pot	30 cm [12"]	10cm [4"] height
V	Antennaria parviflora	Spurred Antennaria	H pot	30 cm [12"]	10cm [4"] height
W	Antennaria parviflora	Spurred Antennaria	H pot	30 cm [12"]	10cm [4"] height
X	Antennaria parviflora	Spurred Antennaria	H pot	30 cm [12"]	10cm [4"] height
Y	Antennaria parviflora	Spurred Antennaria	H pot	30 cm [12"]	10cm [4"] height
Z	Antennaria parviflora	Spurred Antennaria	H pot	30 cm [12"]	10cm [4"] height
Perennials					
A	Digitalis purpurea	Common Foxglove	H pot	30 cm [12"]	10cm [4"] height
B	Geum urbanum	Common Geum	H pot	30 cm [12"]	10cm [4"] height
C	Geum urbanum	Common Geum	H pot	30 cm [12"]	10cm [4"] height
D	Geum urbanum	Common Geum	H pot	30 cm [12"]	10cm [4"] height
E	Geum urbanum	Common Geum	H pot	30 cm [12"]	10cm [4"] height
F	Geum urbanum	Common Geum	H pot	30 cm [12"]	10cm [4"] height
G	Geum urbanum	Common Geum	H pot	30 cm [12"]	10cm [4"] height
H	Geum urbanum	Common Geum	H pot	30 cm [12"]	10cm [4"] height
I	Geum urbanum	Common Geum	H pot	30 cm [12"]	10cm [4"] height
J	Geum urbanum	Common Geum	H pot	30 cm [12"]	10cm [4"] height
K	Geum urbanum	Common Geum	H pot	30 cm [12"]	10cm [4"] height
L	Geum urbanum	Common Geum	H pot	30 cm [12"]	10cm [4"] height
M	Geum urbanum	Common Geum	H pot	30 cm [12"]	10cm [4"] height
N	Geum urbanum	Common Geum	H pot	30 cm [12"]	10cm [4"] height
O	Geum urbanum	Common Geum	H pot	30 cm [12"]	10cm [4"] height
P	Geum urbanum	Common Geum	H pot	30 cm [12"]	10cm [4"] height
Q	Geum urbanum	Common Geum	H pot	30 cm [12"]	10cm [4"] height
R	Geum urbanum	Common Geum	H pot	30 cm [12"]	10cm [4"] height
S	Geum urbanum	Common Geum	H pot	30 cm [12"]	10cm [4"] height
T	Geum urbanum	Common Geum	H pot	30 cm [12"]	10cm [4"] height
U	Geum urbanum	Common Geum	H pot	30 cm [12"]	10cm [4"] height
V	Geum urbanum	Common Geum	H pot	30 cm [12"]	10cm [4"] height
W	Geum urbanum	Common Geum	H pot	30 cm [12"]	10cm [4"] height
X	Geum urbanum	Common Geum	H pot	30 cm [12"]	10cm [4"] height
Y	Geum urbanum	Common Geum	H pot	30 cm [12"]	10cm [4"] height
Z	Geum urbanum	Common Geum	H pot	30 cm [12"]	10cm [4"] height
Ornamental Grasses					
A	Mundo Grass	Mondo Grass	H pot	30 cm [12"]	10cm [4"] height
B	Patch Mondo Grass	Patch Mondo Grass	H pot	30 cm [12"]	10cm [4"] height
C	Phragmites communis	Bamboo	H pot	30 cm [12"]	10cm [4"] height
D	Phragmites communis	Bamboo	H pot	30 cm [12"]	10cm [4"] height
E	Phragmites communis	Bamboo	H pot	30 cm [12"]	10cm [4"] height
F	Phragmites communis	Bamboo	H pot	30 cm [12"]	10cm [4"] height
G	Phragmites communis	Bamboo	H pot	30 cm [12"]	10cm [4"] height
H	Phragmites communis	Bamboo	H pot	30 cm [12"]	10cm [4"] height
I	Phragmites communis	Bamboo	H pot	30 cm [12"]	10cm [4"] height
J	Phragmites communis	Bamboo	H pot	30 cm [12"]	10cm [4"] height
K	Phragmites communis	Bamboo	H pot	30 cm [12"]	10cm [4"] height
L	Phragmites communis	Bamboo	H pot	30 cm [12"]	10cm [4"] height
M	Phragmites communis	Bamboo	H pot	30 cm [12"]	10cm [4"] height
N	Phragmites communis	Bamboo	H pot	30 cm [12"]	10cm [4"] height
O	Phragmites communis	Bamboo	H pot	30 cm [12"]	10cm [4"] height
P	Phragmites communis	Bamboo	H pot	30 cm [12"]	10cm [4"] height
Q	Phragmites communis	Bamboo	H pot	30 cm [12"]	10cm [4"] height
R	Phragmites communis	Bamboo	H pot	30 cm [12"]	10cm [4"] height
S	Phragmites communis	Bamboo	H pot	30 cm [12"]	10cm [4"] height
T	Phragmites communis	Bamboo	H pot	30 cm [12"]	10cm [4"] height
U	Phragmites communis	Bamboo	H pot	30 cm [12"]	10cm [4"] height
V	Phragmites communis	Bamboo	H pot	30 cm [12"]	10cm [4"] height
W	Phragmites communis	Bamboo	H pot	30 cm [12"]	10cm [4"] height
X	Phragmites communis	Bamboo	H pot	30 cm [12"]	10cm [4"] height
Y	Phragmites communis	Bamboo	H pot	30 cm [12"]	10cm [4"] height
Z	Phragmites communis	Bamboo	H pot	30 cm [12"]	10cm [4"] height
GREEN ROOF NOTES:					
1. GROWING MEDIUM FOR GREEN ROOF TO BE 6" DEEP.					
2. GREEN ROOF TO BE IRRIGATED BY AN AUTOMATED IRRIGATION SYSTEM.					
3. GREEN ROOF PLANTS TO BE PLANTED D.C. AND MAINTAIN D.C. LAYOUT TO BE REVIEWED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.					



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LDP 3.00

#13e

DP 14-660885
#13f NOV 19 2015

LDP 3.01

NOTE: ALL PLANTING TO BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM

PLANTING PLAN	SCA1
P1 AND L1	1/8" = 1'-0"
PLANTING PLAN	SCA1
PARKING LEVEL 1	1/8" = 1'-0"

PLANTING PLAN
P1 AND L1

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PLANTING PLAN

P1 AND L1

SCA1

1/8" = 1'-0"

PLANTING PLAN

PARKING LEVEL 1

1/8" = 1'-0"

PLANTING PLAN

LEVEL 1

1/8" = 1'-0"

PL

NOV 19 2015

#139

2

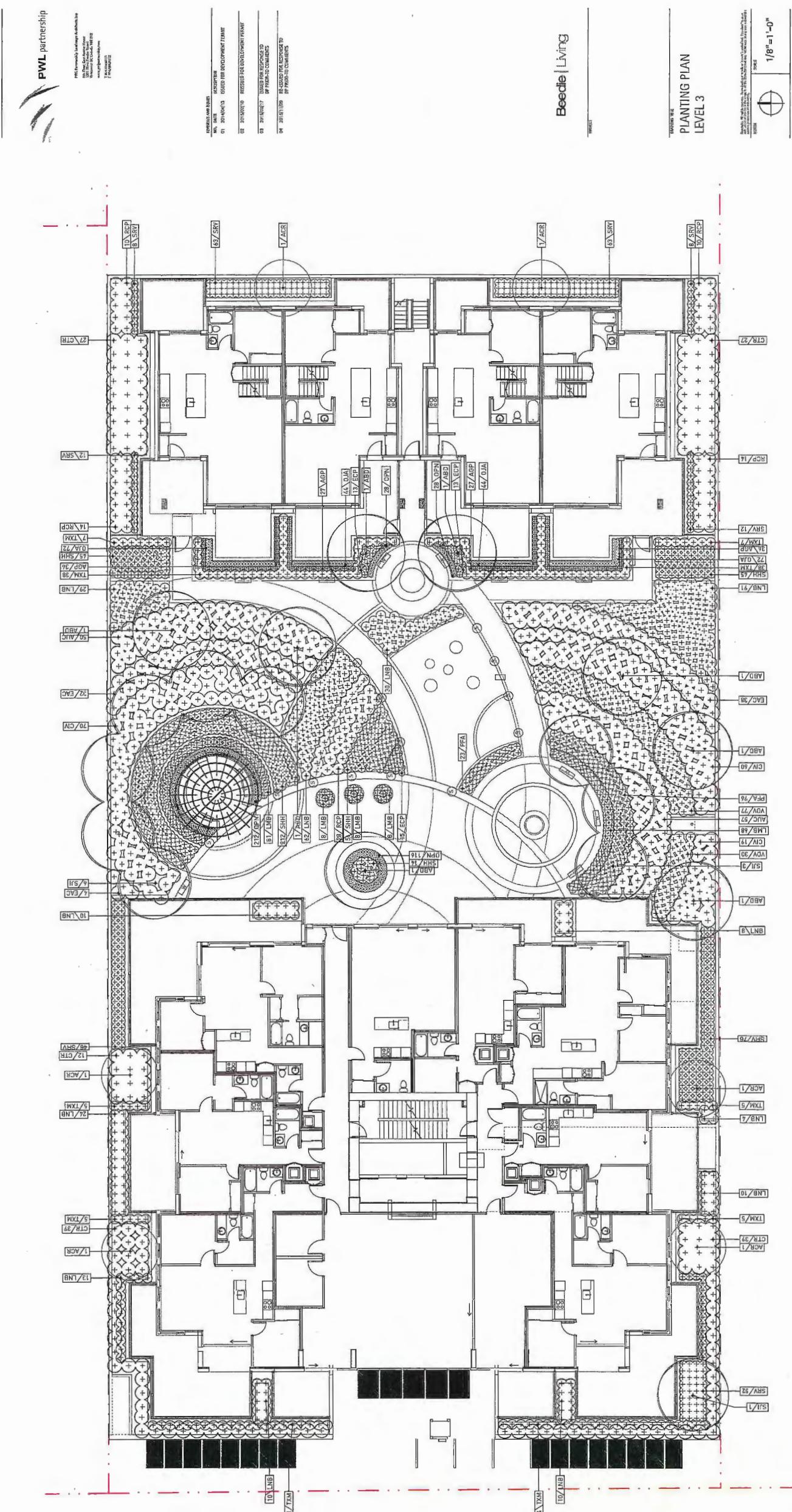
LDp 3.02

$1/8^n = 1 - 0^n$

PLANTING PLAN
LEVEL 3

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PERMIT NUMBER		PERMIT DATE	ISSUED FOR	DESCRIPTION
13	20140113	2014-01-13	ISSUED FOR DEVELOPMENT PERMIT	
10	20150210	2015-02-10	REFUSED FOR DEVELOPMENT PERMIT	
11	20150211	2015-02-11	ISSUED FOR RESPONSE TO OF FRM-A TO COMMENT	
12	20150212	2015-02-12	RE-ISSUED FOR RESPONSE TO OF FRM-A TO COMMENT	
14	20150219	2015-02-19		



#13h NOV 19 2015

Dp 14-660885

LDP 3.03

NOTE: ALL PLANTING TO BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM

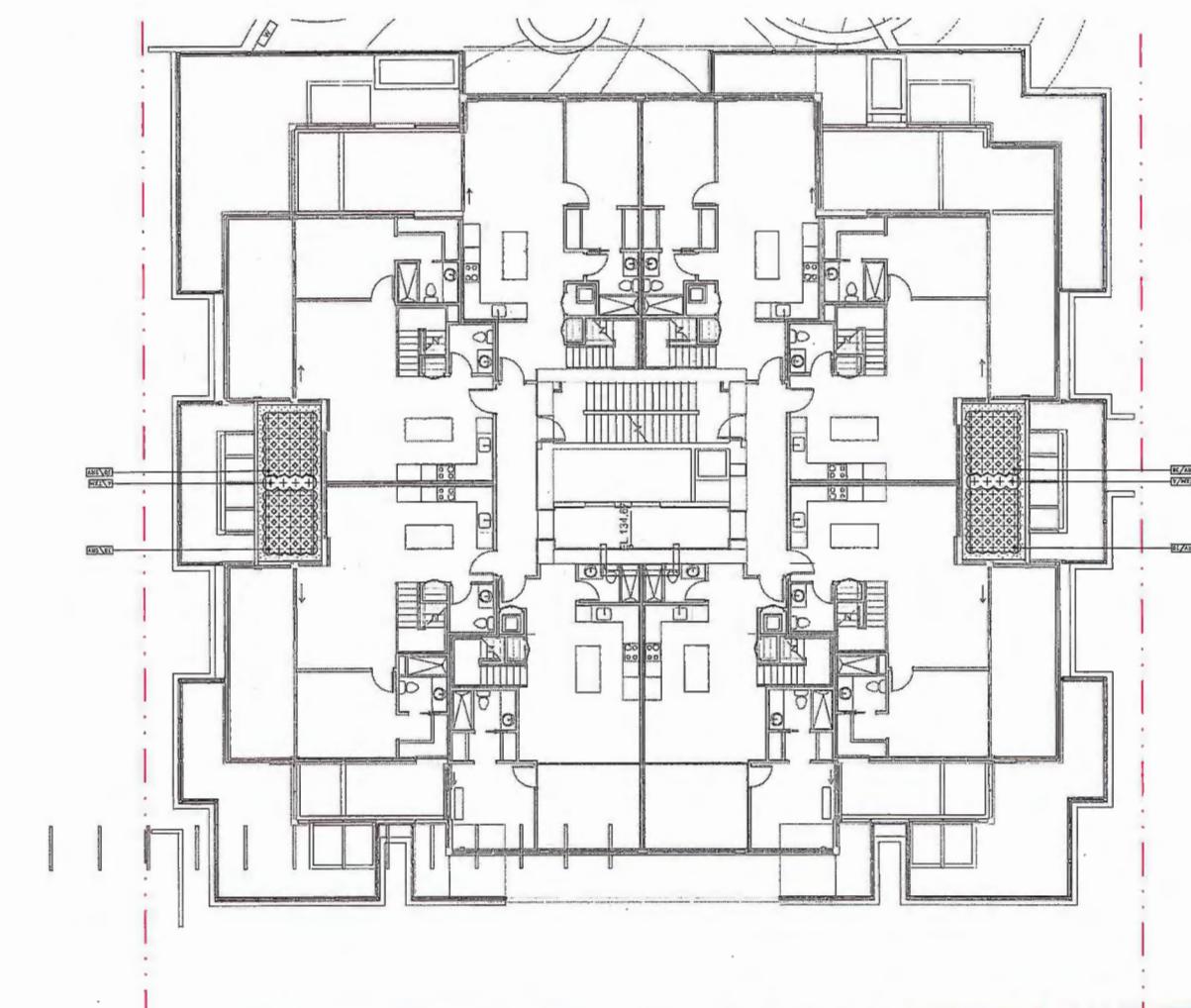
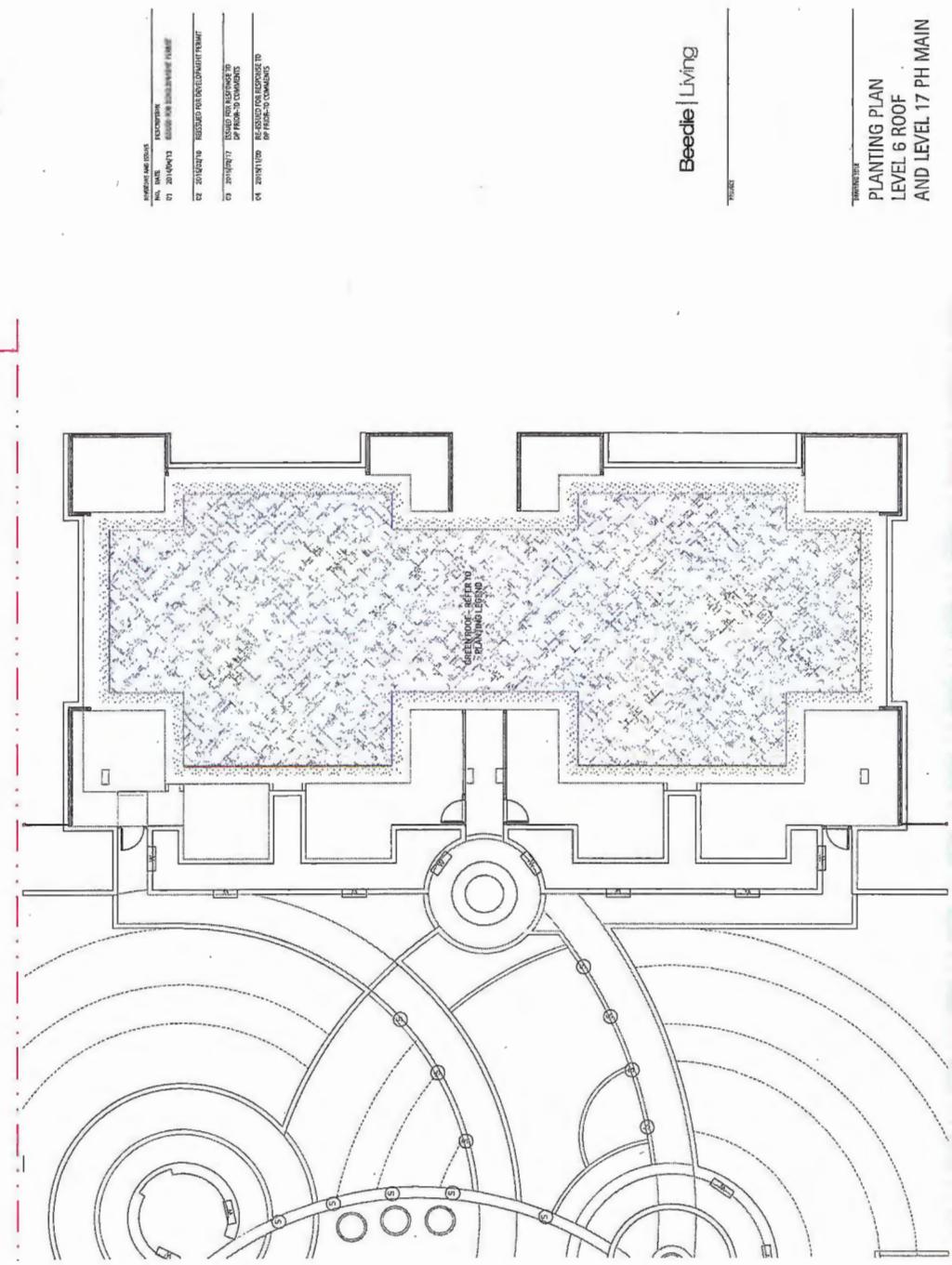
PLANTING PLAN
LEVEL 6 ROOF
AND LEVEL 17 PH MAIN

PLANTING PLAN
LEVEL 6 ROOF
AND LEVEL 17 PH MAIN

PLANTING PLAN
LEVEL 6 ROOF
AND LEVEL 17 PH MAIN

PLANTING PLAN L6
1/8" = 1'-0"

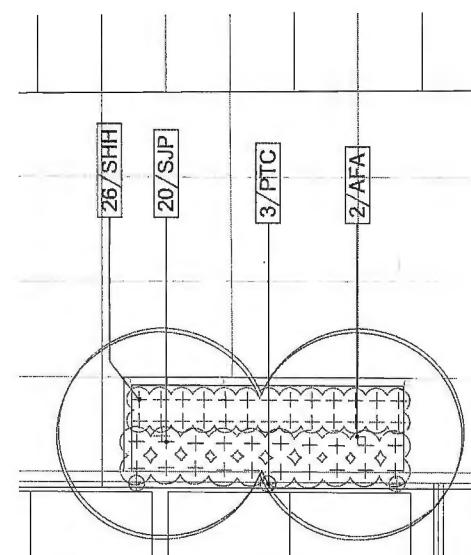
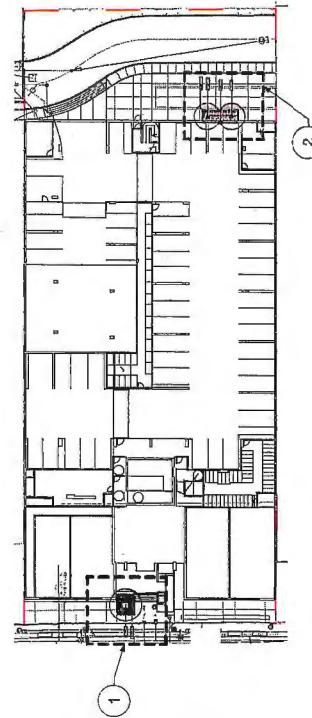
PLANTING PLAN L17 PH MAIN
1/8" = 1'-0"



DP 14-660885
#131 NOV 19 2015

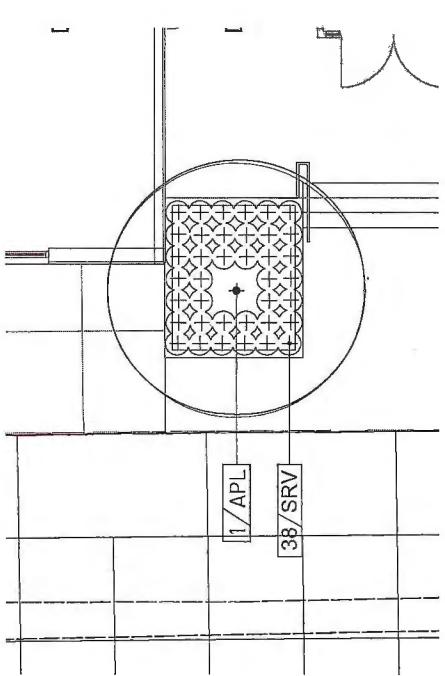
LDP 3.04

KEY PLAN

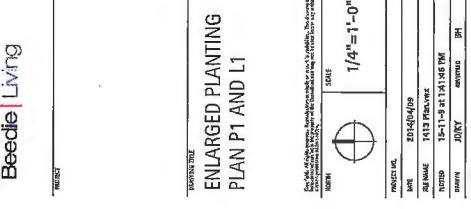


PLANTING - P1
 $\frac{1}{4}'' = 1'-0''$

1 PLANTING - LEVEL 1
 $\frac{1}{4}'' = 1'-0''$



1 PLANTING - P1
 $\frac{1}{4}'' = 1'-0''$



ENLARGED PLANTING
PLAN P1 AND L1

1/4" = 1'-0"

PROJECT NO.
SERIAL
DRAWING NO.
REV.
ELEVATION
SECTION

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P1

REVISION NUMBER	DESCRIPTION
01	2014/07/13 REQUEST FOR INFORMATION FROM DEVELOPER
02	2014/07/10 REQUEST FOR INFORMATION FROM DEVELOPER
03	2014/07/17 RESPONSE TO REQUEST FOR INFORMATION FROM DEVELOPER
04	2014/11/03 REQUEST FOR RESPONSE TO REQUEST FOR COMMENTS



PWL partnership
Project Workforce Leadership Partnership Inc.
Toronto, Ontario, Canada
www.pwl.ca
info@pwl.ca
T 416.481.1000

DP 14-660885
#13j NOV 19 2015

LDP 3.05

② PLANTING - L3
 $\frac{1}{4"} = 1'-0"$

① PLANTING - L3
 $\frac{1}{4"} = 1'-0"$

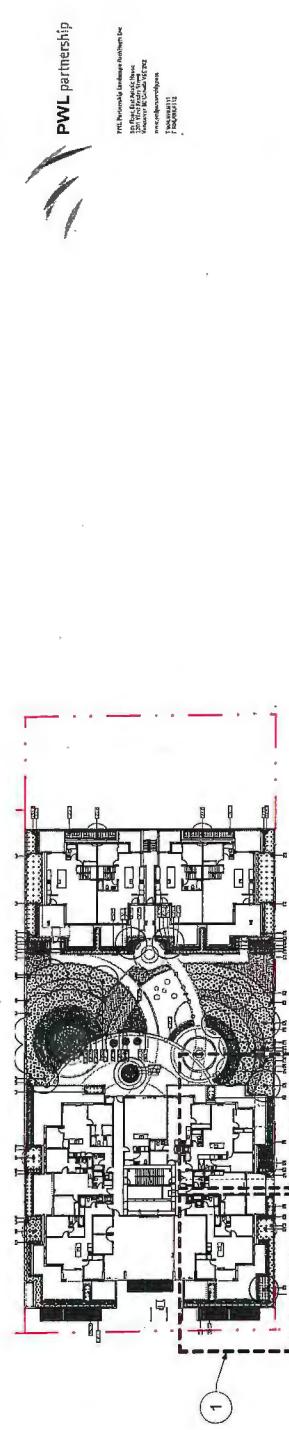
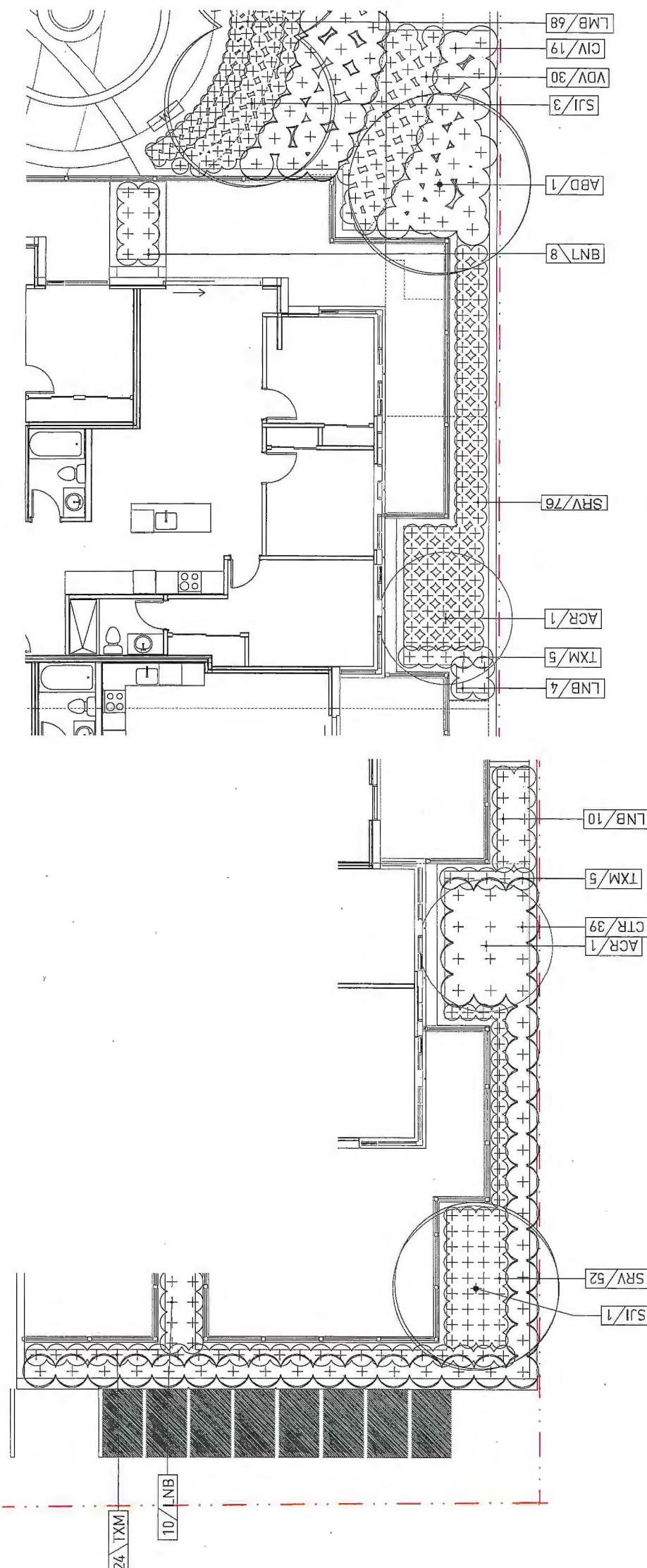
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DATE: 2015-11-19
TIME: 14:13:54
FILE NAME: 1413.PDF
PAGE: 1
REVISION: 0
REVISION DATE: 2015-11-19
REVISION TIME: 14:13:54
REVISION BY: JJKY
REVISION COMMENTS:

REF ID: A1000000000000000000000000000000
DATE: 2015-11-19
TIME: 14:13:54
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PAGE: 1
REVISION: 0
REVISION DATE: 2015-11-19
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REVISION BY: JJKY
REVISION COMMENTS:

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ENLARGED PLANTING
PLAN 13

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TIME: 14:13:54
FILE NAME: 1413.PDF
PAGE: 1
REVISION: 0
REVISION DATE: 2015-11-19
REVISION TIME: 14:13:54
REVISION BY: JJKY
REVISION COMMENTS:



PWL partnership

REF ID: A1000000000000000000000000000000
DATE: 2015-11-19
TIME: 14:13:54
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REVISION TIME: 14:13:54
REVISION BY: JJKY
REVISION COMMENTS:

#13k NOV 19 2015

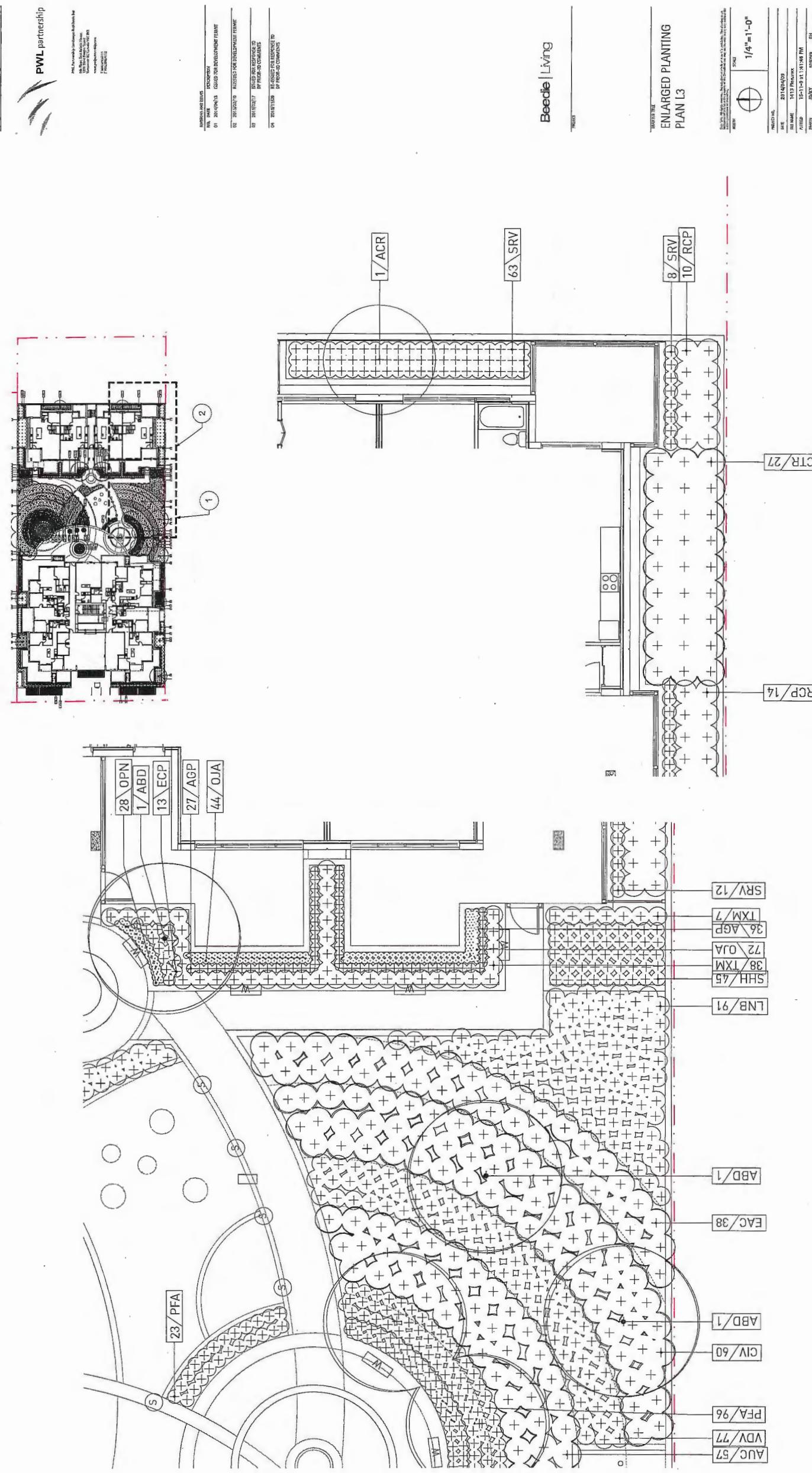
DP 14-660885

2

LDP 3.06
660885

PLANTING - L3

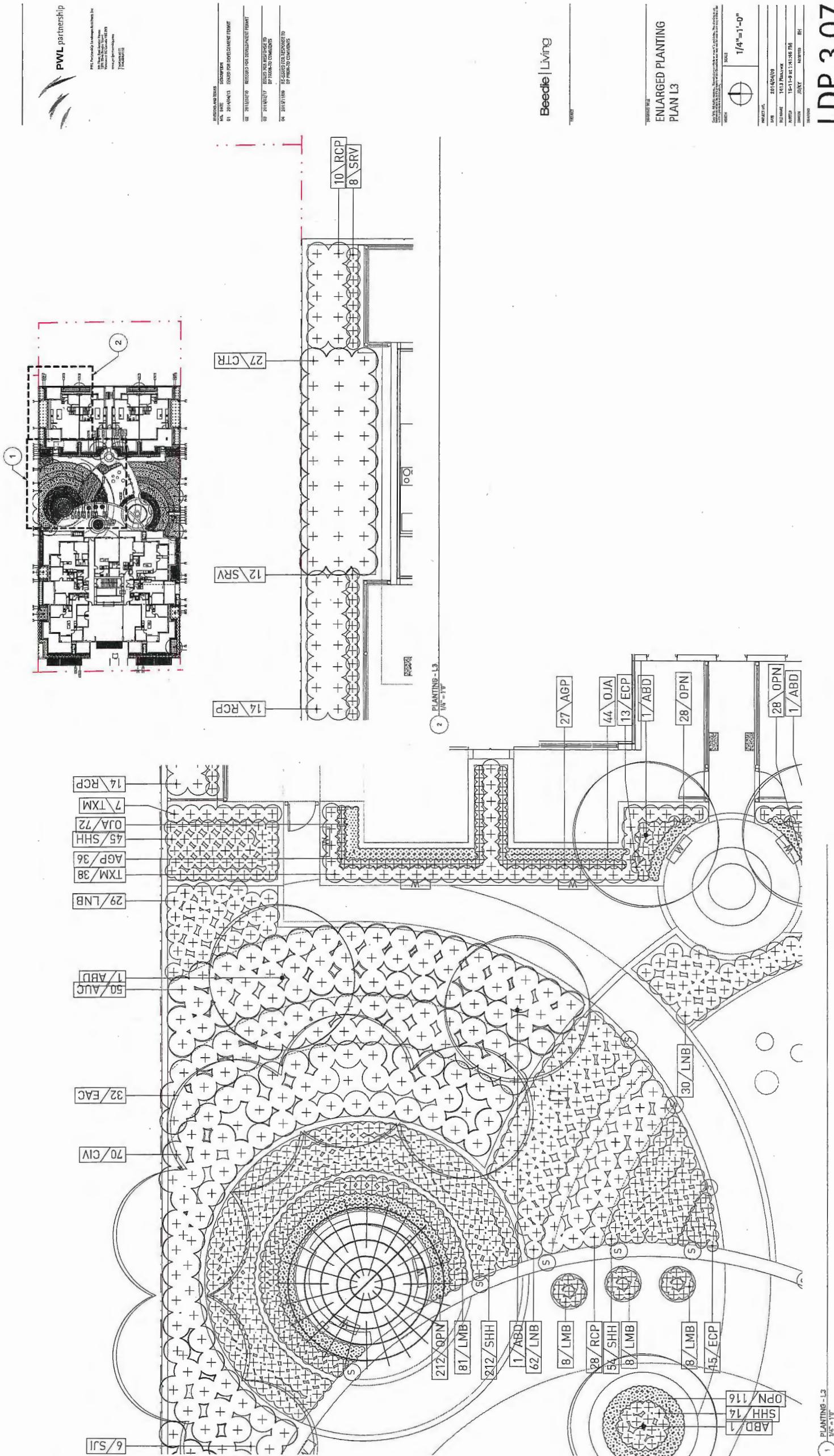
PLANTING - L3
1/4" x 11"



DP 14-660.885
#131 NOV 19 2015

呂

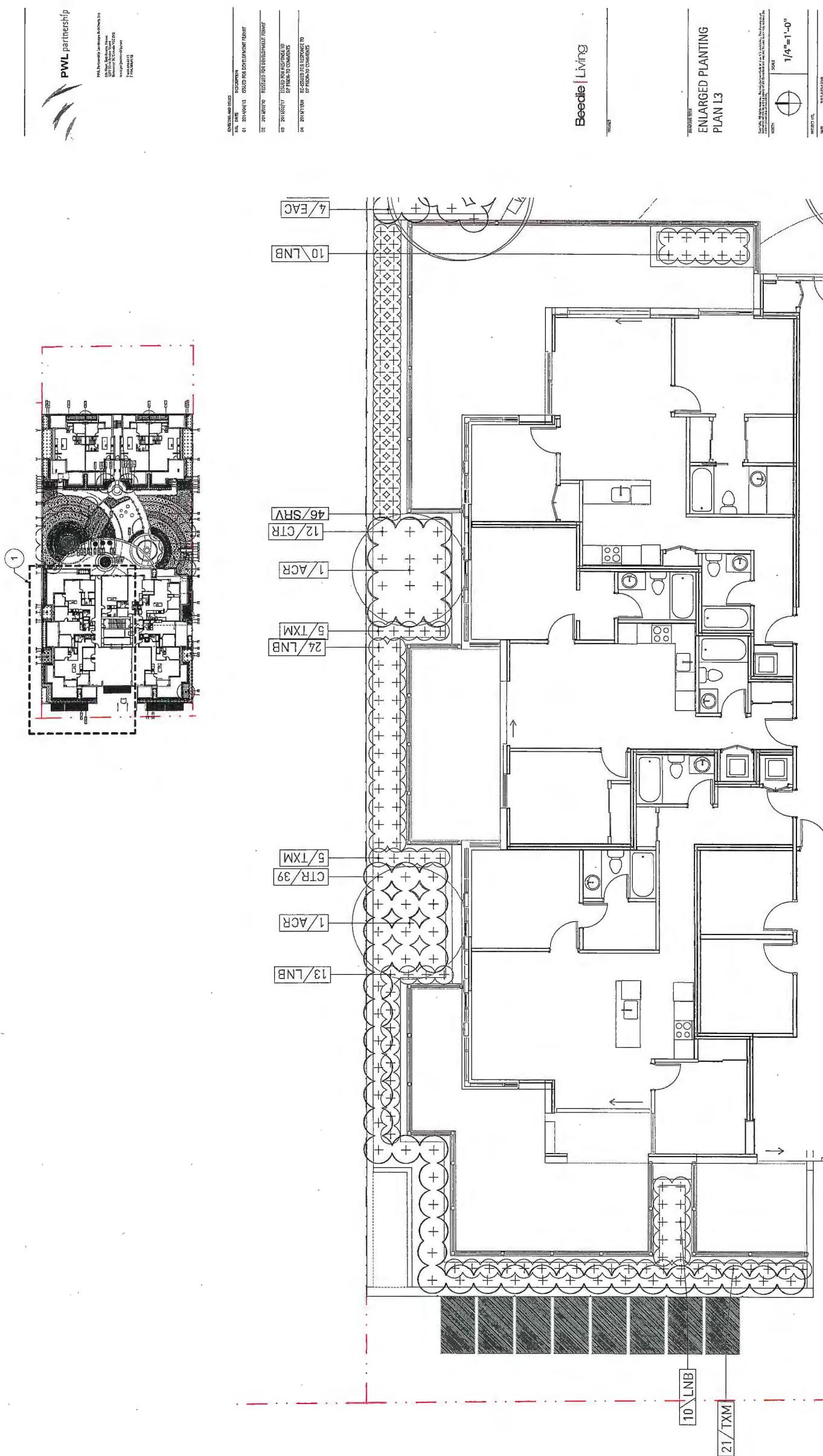
LDP 3.07



UP 14 300000- #13m NOV 19 2015

LDP 3.08

8



DP 14-660885
#131 NOV 19 2015

LDP 3.09

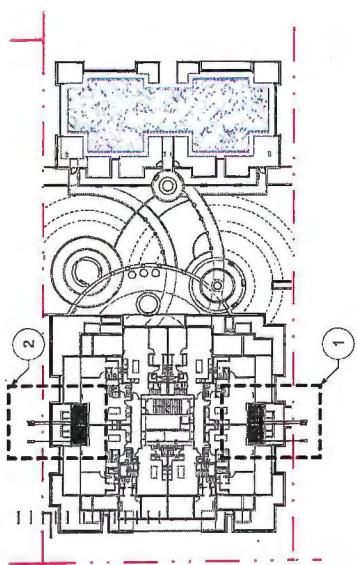
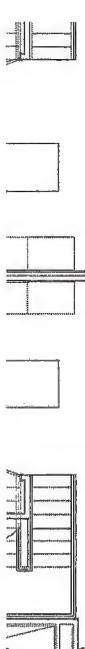
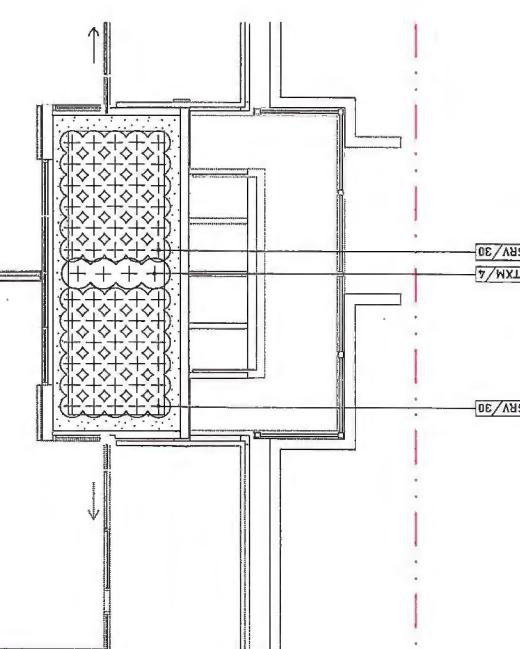
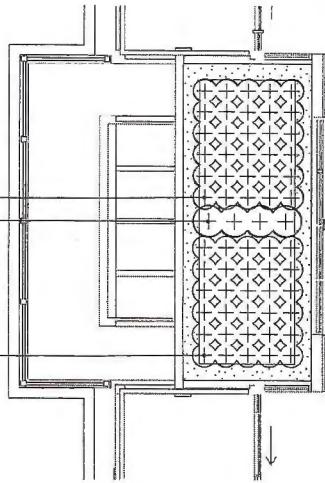
PLANTING PLAN L17 PH MAIN
1/4" = 1'-0"
DATE: 2014/08/08
FILE NAME: 13117_Planter
HOSTED BY: JDNV
NAME: BH
PUBLICATION:

PLANTING PLAN L17 PH MAIN
1/4" = 1'-0"

PLANTING PLAN L17 PH MAIN
1/4" = 1'-0"

ENLARGED PLANTING
L17
TERRAIN

Beehive | Living



PWL partnership
Architects Inc.
1000 University Avenue, Suite 1000
Seattle, Washington 98101
206.467.1200
www.pwl.com

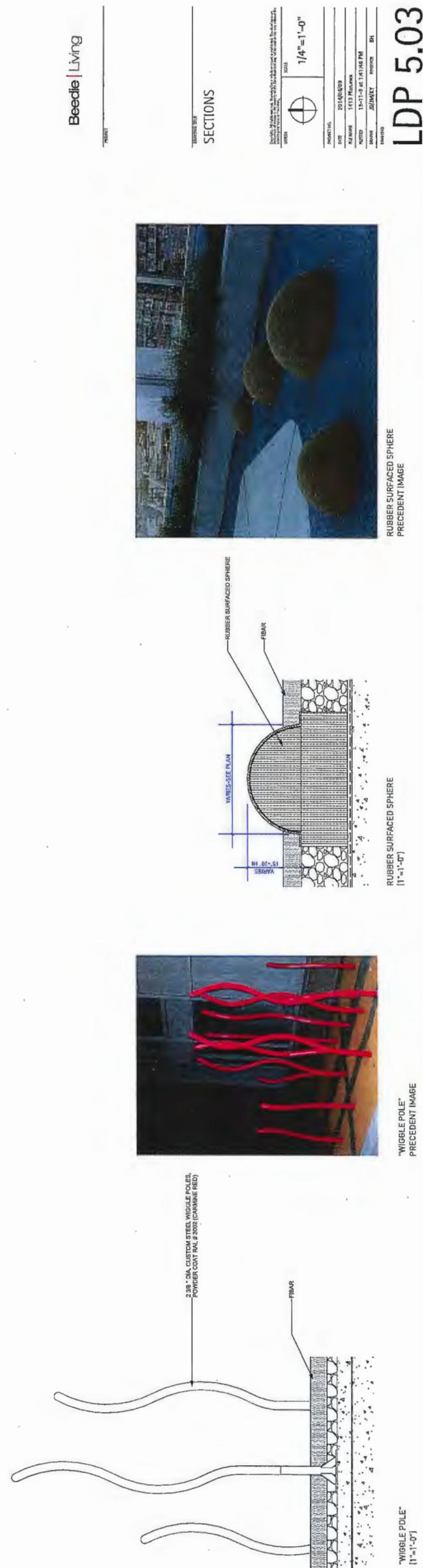
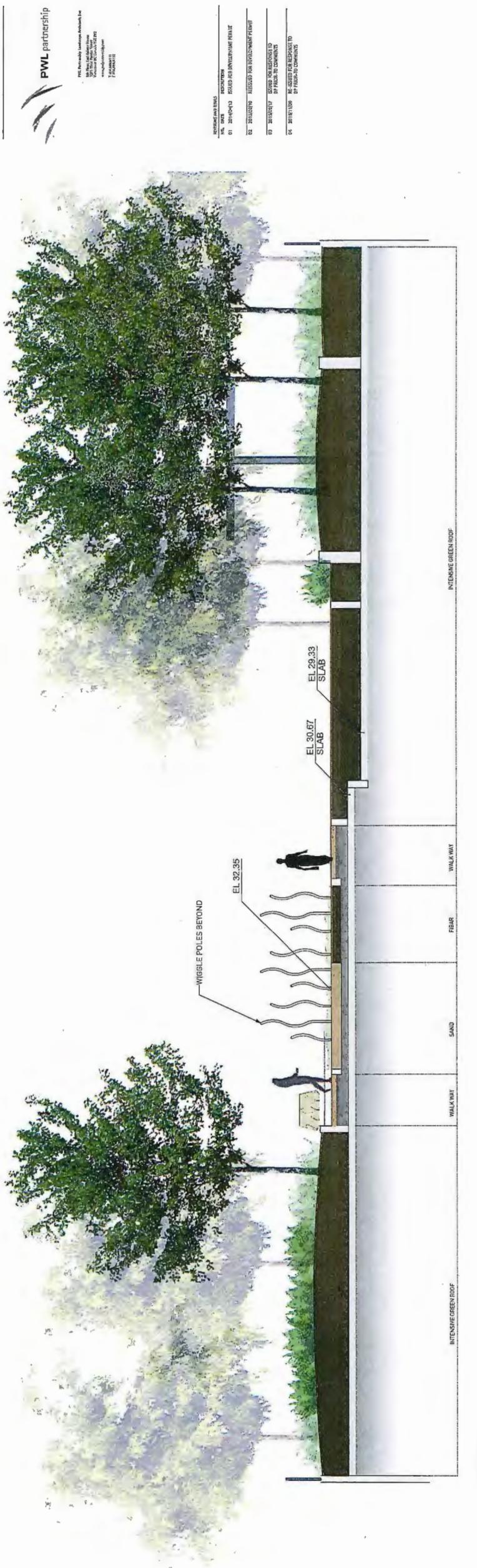
PLANTING PLAN L17 PH MAIN
1/4" = 1'-0"
DATE: 2014/08/08
FILE NAME: 13117_Planter
HOSTED BY: JDNV
NAME: BH
PUBLICATION:

PLANTING PLAN L17 PH MAIN
1/4" = 1'-0"
DATE: 2014/08/08
FILE NAME: 13117_Planter
HOSTED BY: JDNV
NAME: BH
PUBLICATION:

PLANTING PLAN L17 PH MAIN
1/4" = 1'-0"
DATE: 2014/08/08
FILE NAME: 13117_Planter
HOSTED BY: JDNV
NAME: BH
PUBLICATION:

DP 14-660885
#139 NOV 19 2015

二〇一

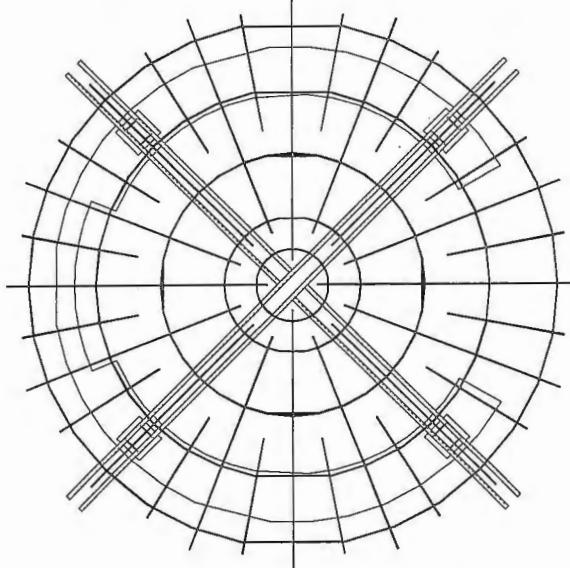
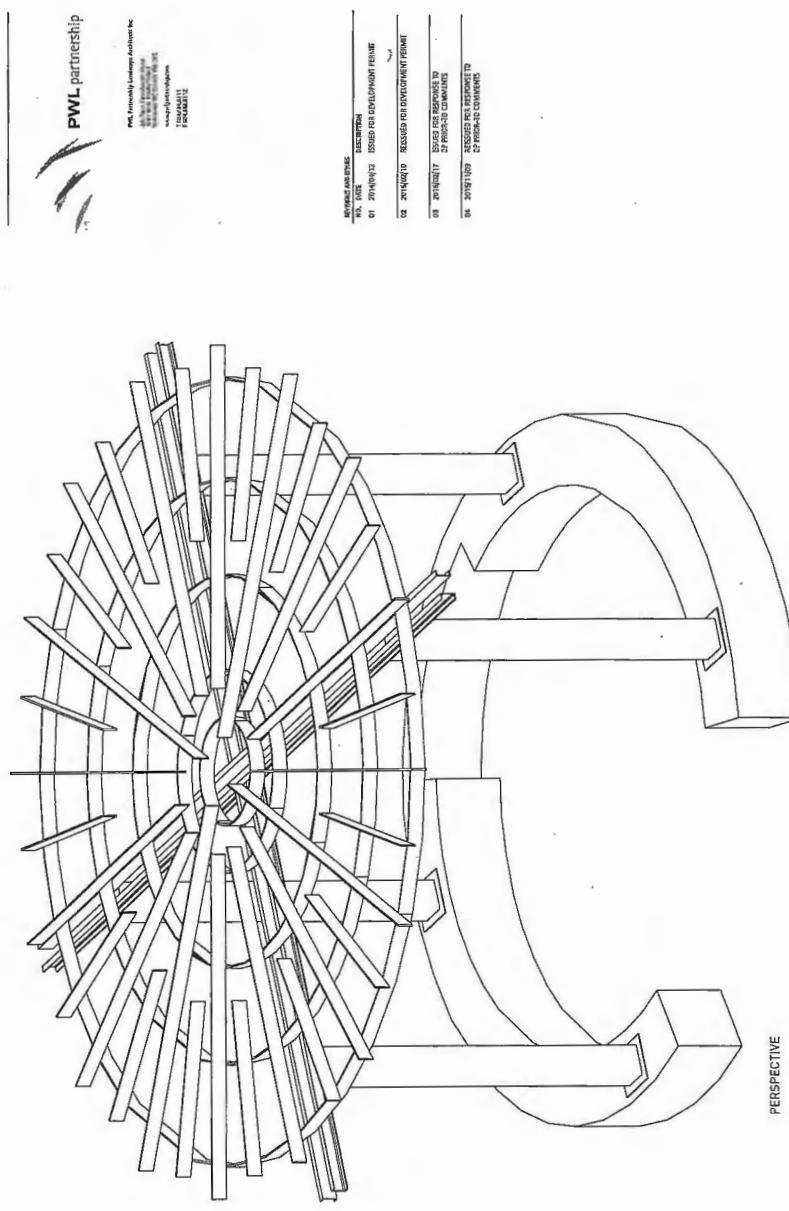


NOV 19 2015

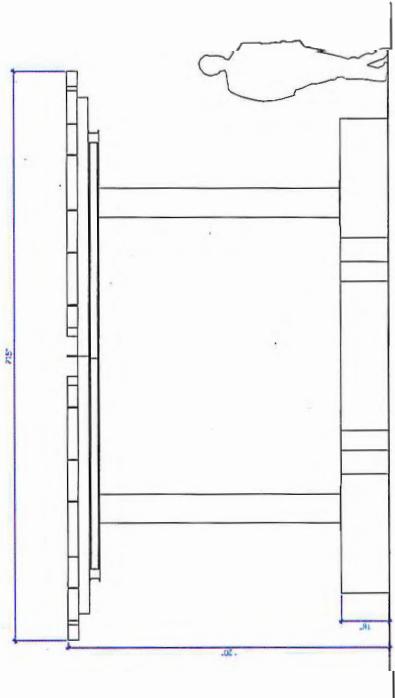
#13 r

DP 14-660885

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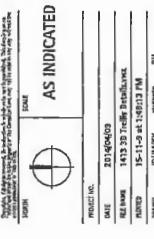
PLAN



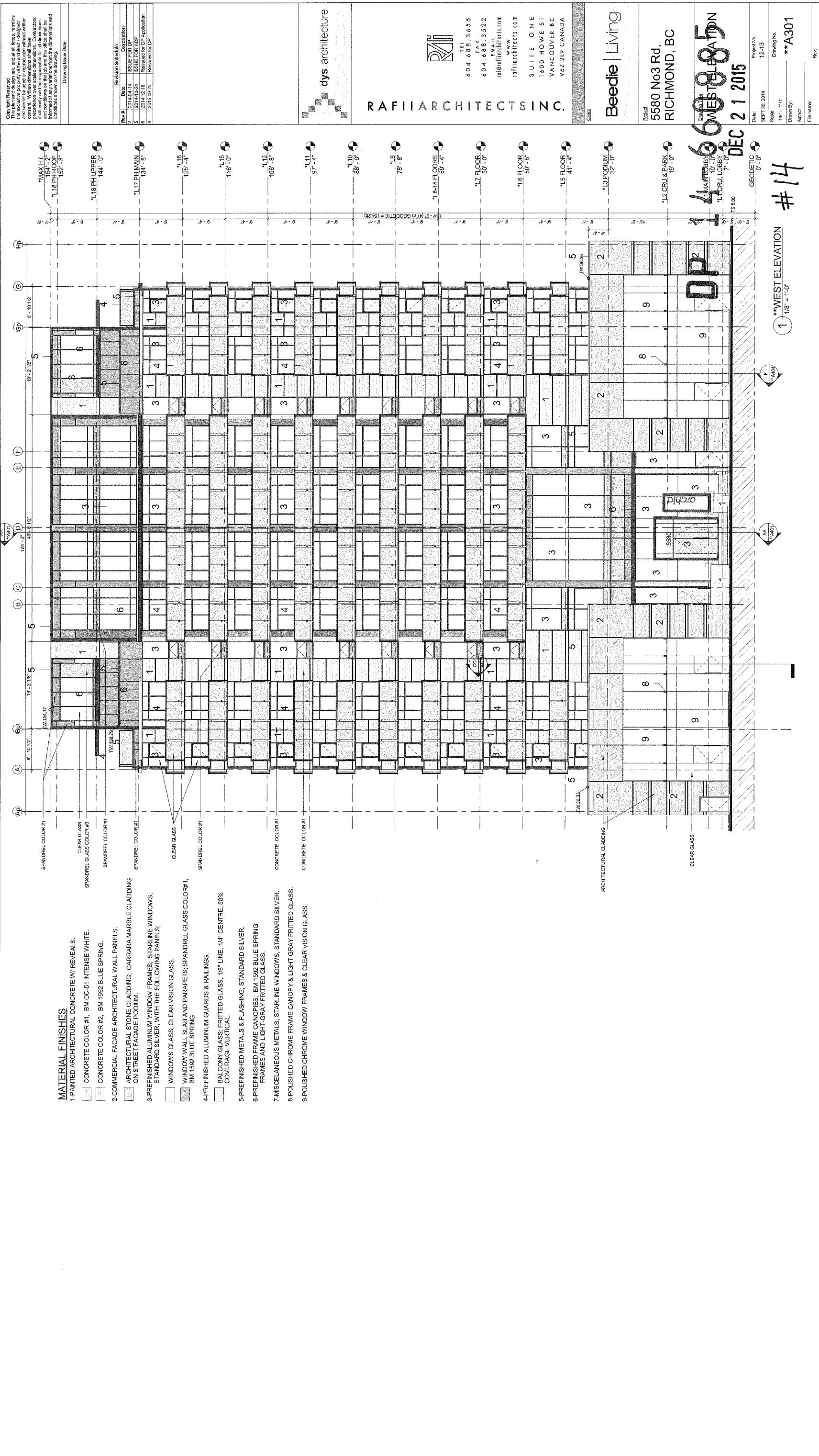
CIRCULAR PAINTER
Scalier Activesig 584



PAINTED METAL TRELLIS



AS INDICATED
SCALE



MATERIAL FINISHES

- 1-PAINTED ARCHITECTURAL CONCRETE W/ REVEALS.
- CONCRETE COLOR #1, BM OC-51 INTENSE WHITE.
- CONCRETE COLOR #2, BM 1582 BLUE SPRING.
- 2-COMMERCIAL FACADE ARCHITECTURAL WALL PANELS.
- ARCHITECTURAL STONE CLADDING: CARRARA MARBLE CLADDING ON STREET FAÇADE PODIUM.
- 3-PREFINISHED ALUMINUM WINDOW FRAMES: STARLINE WINDOWS, STANDARD SILVER, WITH THE FOLLOWING PANELS:
- WINDOWS GLASS: CLEAR VISION GLASS.
- WINDOW WALL SLAB AND PARAPET: SPANDREL GLASS COLOR #1, BM 1582 BLUE SPRING.
- 4-PREFINISHED ALUMINUM GUARDS & RAILINGS.
- BALCONY GLASS: FRITTED GLASS, 1/8" LINE, 1/4" CENTRE, 50% COVERAGE VERTICAL.
- 5-PREFINISHED METALS & FLASHING: STANDARD SILVER.
- 6-PREFINISHED FRAME CANOPIES: BM 1582 BLUE SPRING FRAMES AND LIGHT-GRAY FRITTED GLASS.
- 7-MISCELLANEOUS METALS: STARLINE WINDOWS, STANDARD SILVER.
- 8-POLISHED CHROME FRAME CANOPY & LIGHT-GRAY FRITTED GLASS.
- 9-POLISHED CHROME WINDOW FRAMES & CLEAR VISION GLASS.

RAFI ARCHITECTS INC.

Revision Schedule

No. #	Date	Description
2	2014-04-14	ISSUE FOR DP
5	2014-10-24	ISSUE FOR ADP
6	2014-12-16	Revised for DP Application
8	2015-09-25	Revised for DP

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#15 NORTH ELEV DEC 21 2015

Geodetic Drawing No. A302

Project No. 12-13

Drawing Date Sept 30, 2014

Scale 1:64 = 1'-0"

Drawn By: Author

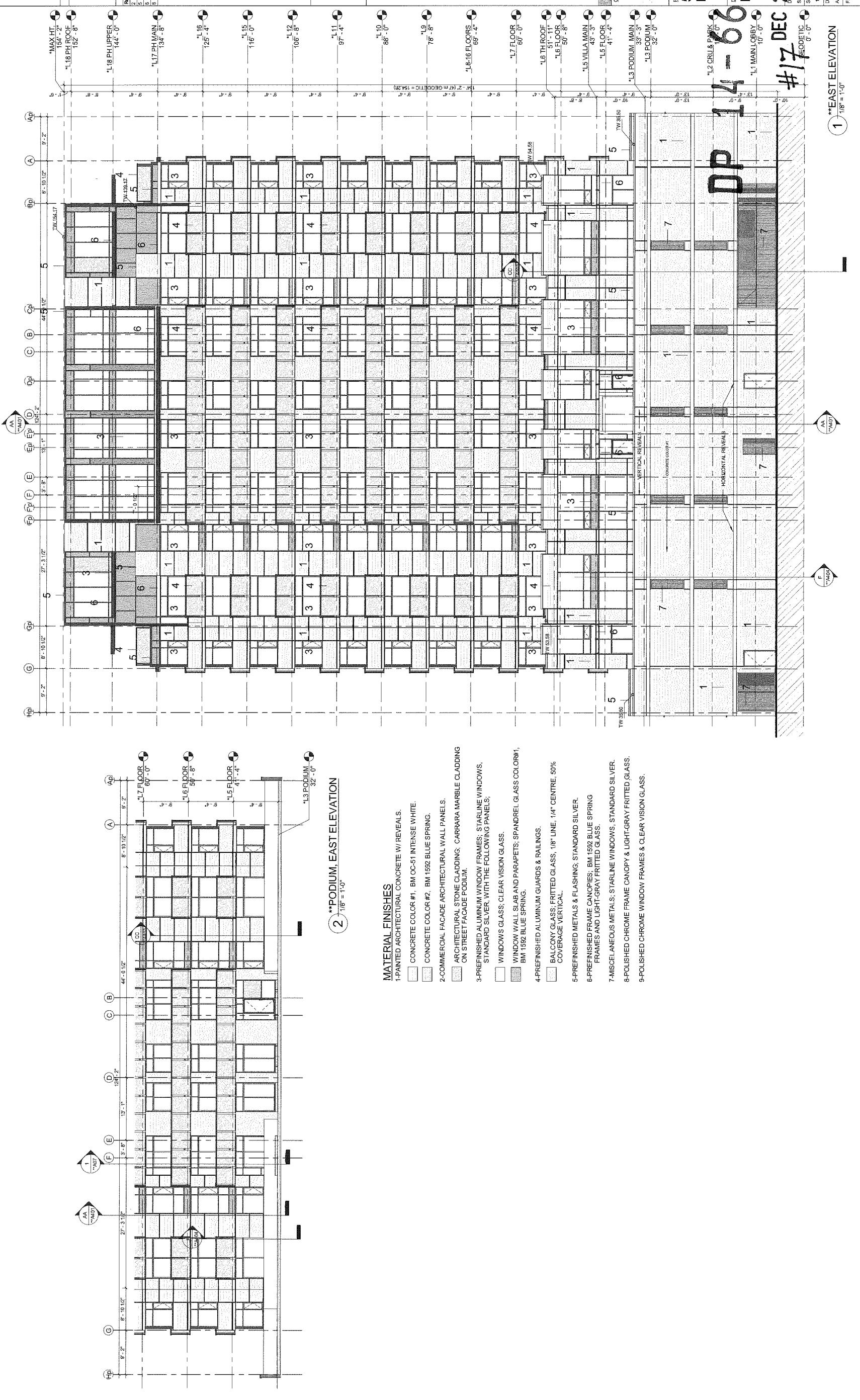
File Name: Rev: 1

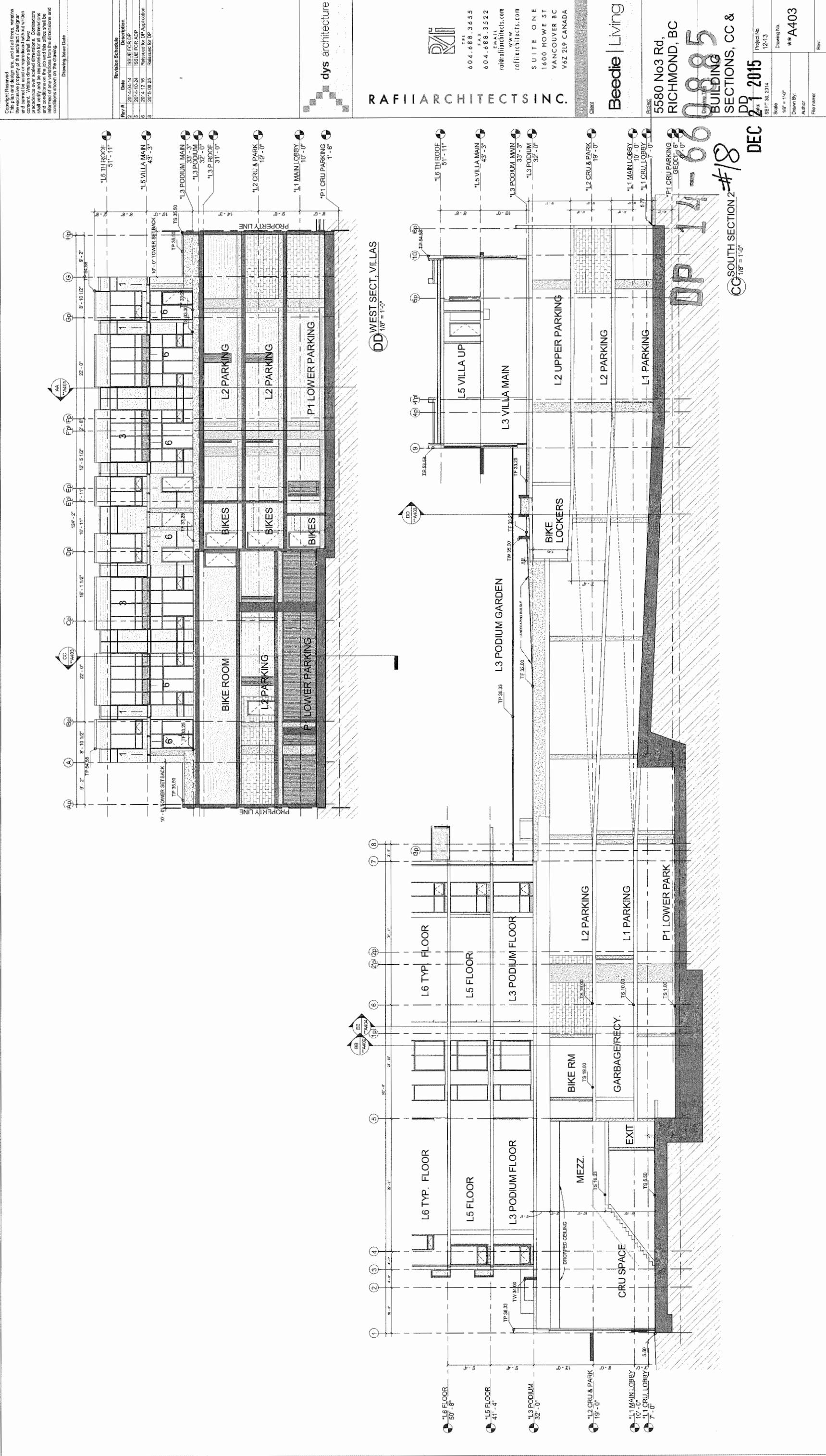
Copyright Reserved. This plan and section are the exclusive property of the architect / designer and cannot be used or reproduced without written consent. Other dimensions than those provided shall verify and be responsible for all contractors and conditions on the job and his office shall be informed of any variations from the dimensions and contractors shown on this drawing.

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precedence over stated dimensions. Contractors
shall verify and be responsible for all dimensions
and conditions on the job and this office shall be
informed of any variations from the dimensions and
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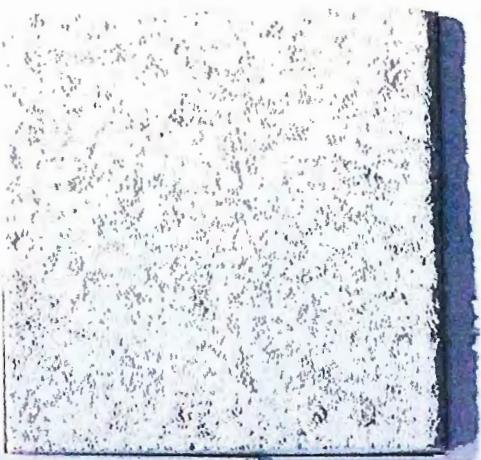
Drawing Issue	Date

dys architecture





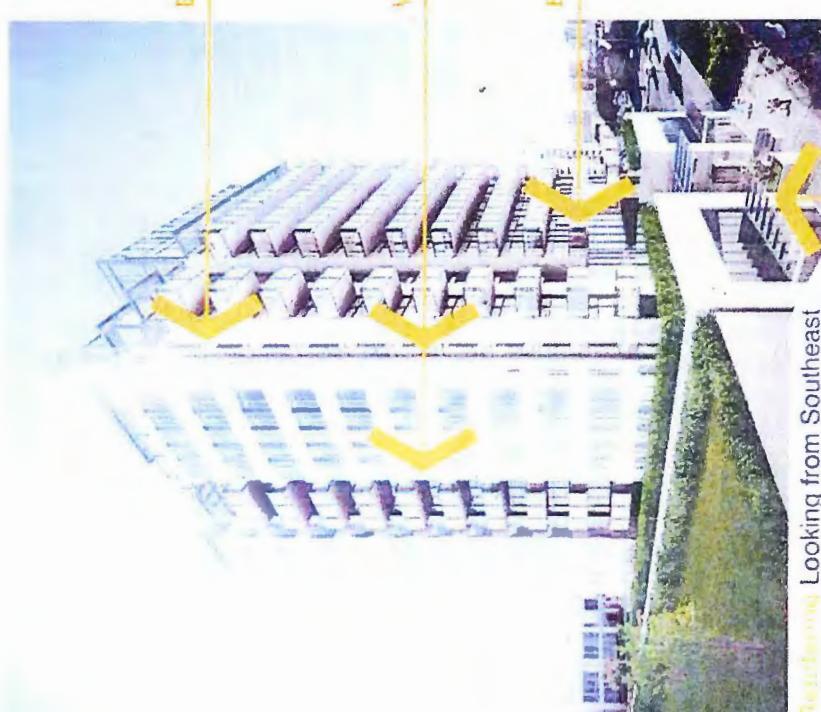
8 Architectural
Painted Concrete
BM OC - 51 Intense White



EXTERIOR WALL Residential Tower

WINDOW ASSEMBLY Residential Tower

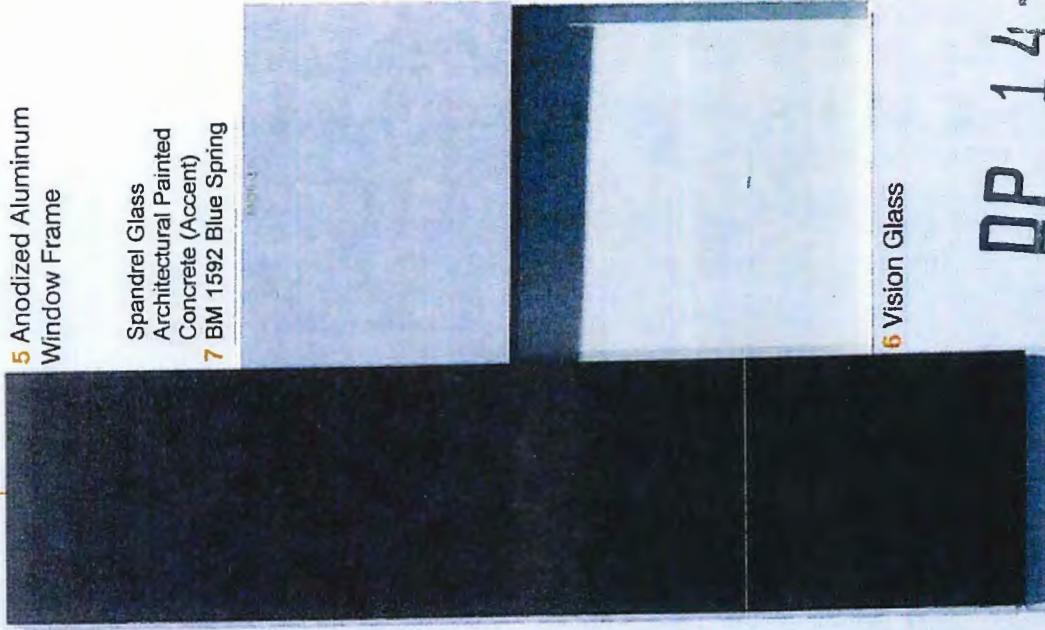
HALCONY Private Outdoor Space



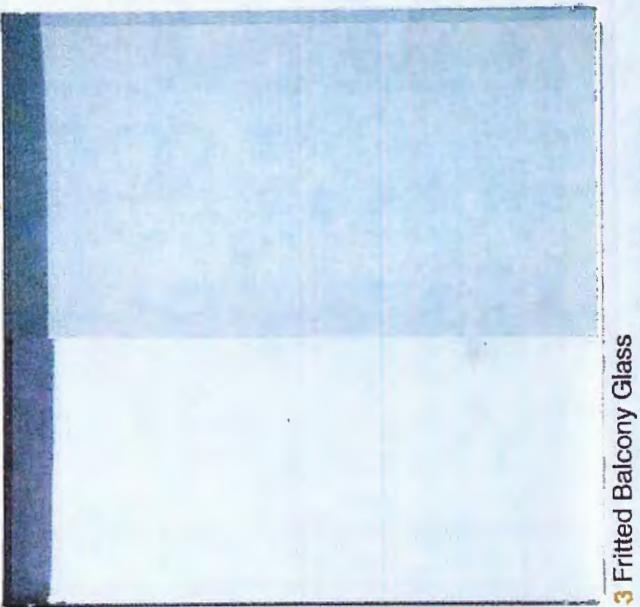
Rendition Looking from Southeast
HIGH STREET Commercial Podium

5 Anodized Aluminum
Window Frame

Spandrel Glass
Architectural Painted
Concrete (Accent)
7 BM 1592 Blue Spring



6 Vision Glass



3 Fritted Balcony Glass
1/8" Line1/4" Centre 50% Coverage Vertical



2 Polished Chrome Canopy

Carrara Marble
Cladding on Podium - High-Street



DP 14-660885
DEC 2015

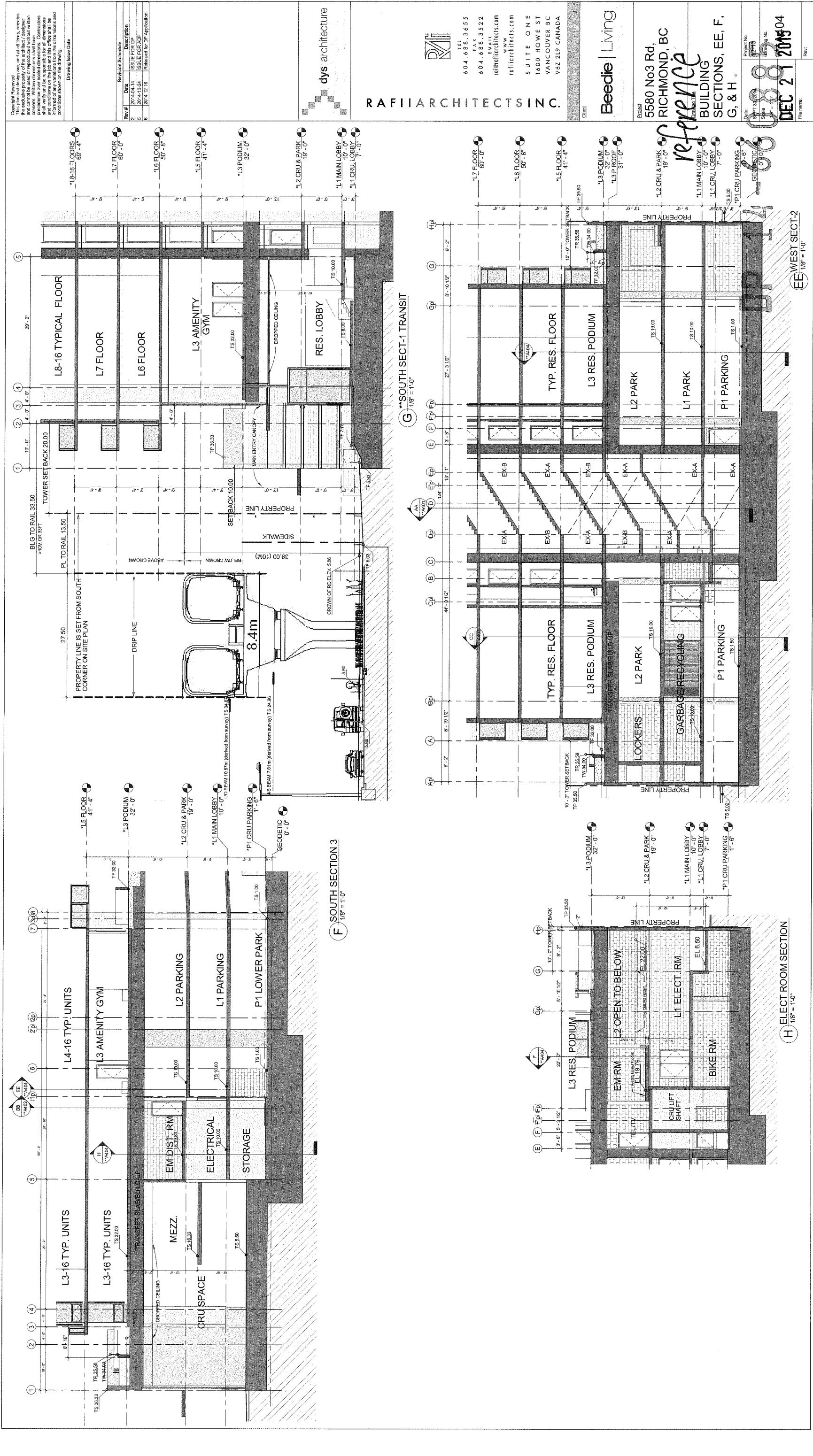
reference

Materials Board

RAFI ARCHITECTS INC.
5580 No.3 Road, Richmond, BC

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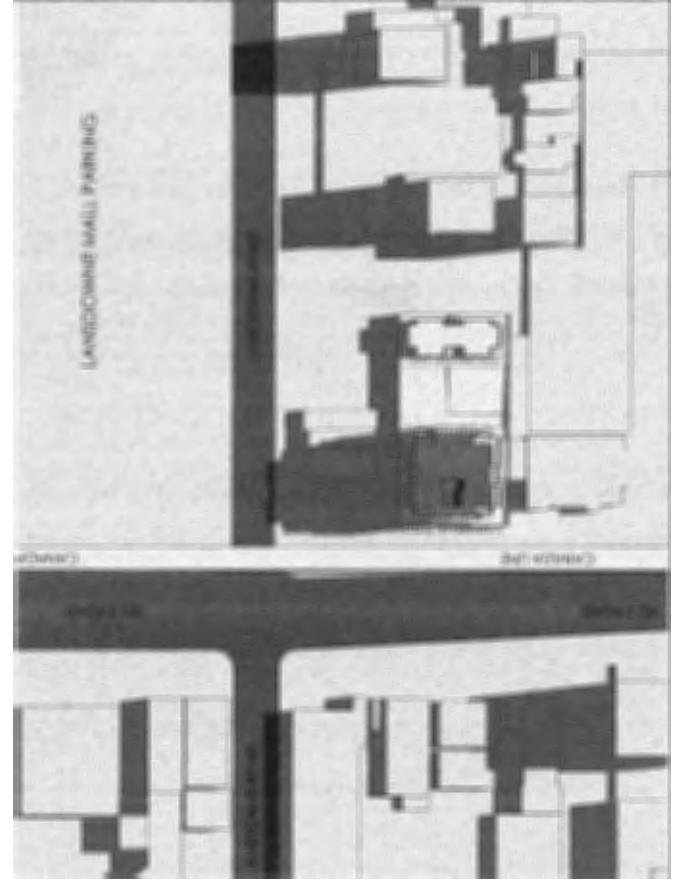
November 05, 2014
Issued for ADP



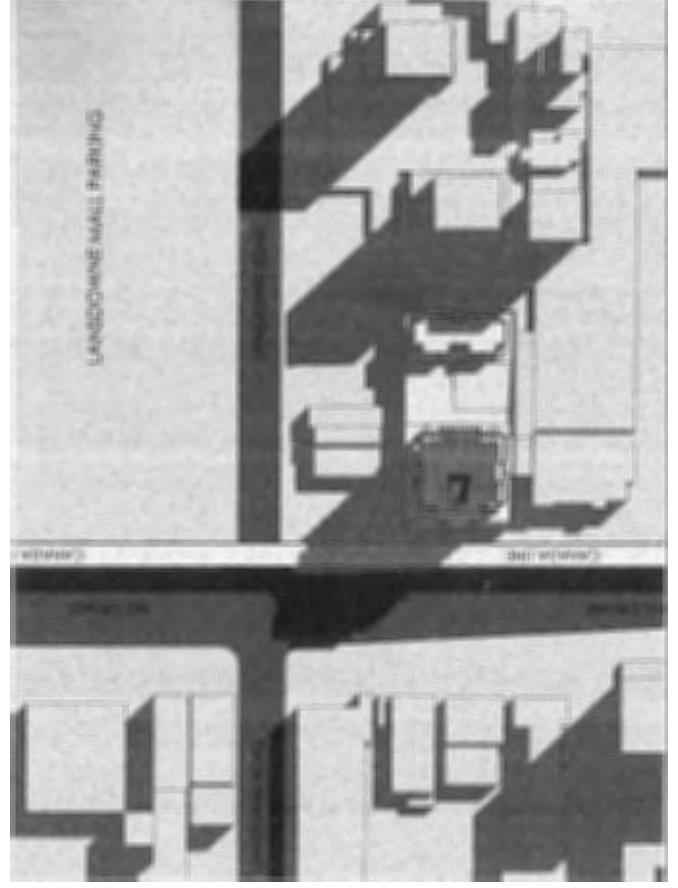
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precedence over scaled dimensions. Contractors
are advised to verify dimensions and other
conditions on the site and his office shall be
informed of any variations from the dimensions and
conditions shown on the drawing.

Drawing Issue Date
April 14, 2014
February 19, 2015
Issued for DP Application
Issued for DP Panel Report

Revision Schedule
Rev # Date Description



B SHADOW STUDY
12:00 PM - MARCH / SEPTEMBER 21



A SHADOW STUDY
10:00 AM - MARCH / SEPTEMBER 21

TEL 604-688-3655
FAX 604-688-3522
EMAIL rai@rafiarchitects.com
WWW raiarchitects.com
5580 No. 3 Road, Vancouver, BC V6J 3G7
Telephone: 604-689-7713 Email: info@rafiarchitects.com

R A F I A R C H I T E C T S I N C .
RAFI ARCHITECTS INC.
1600 HOWE ST
VANCOUVER BC
V6Z 2L9 CANADA

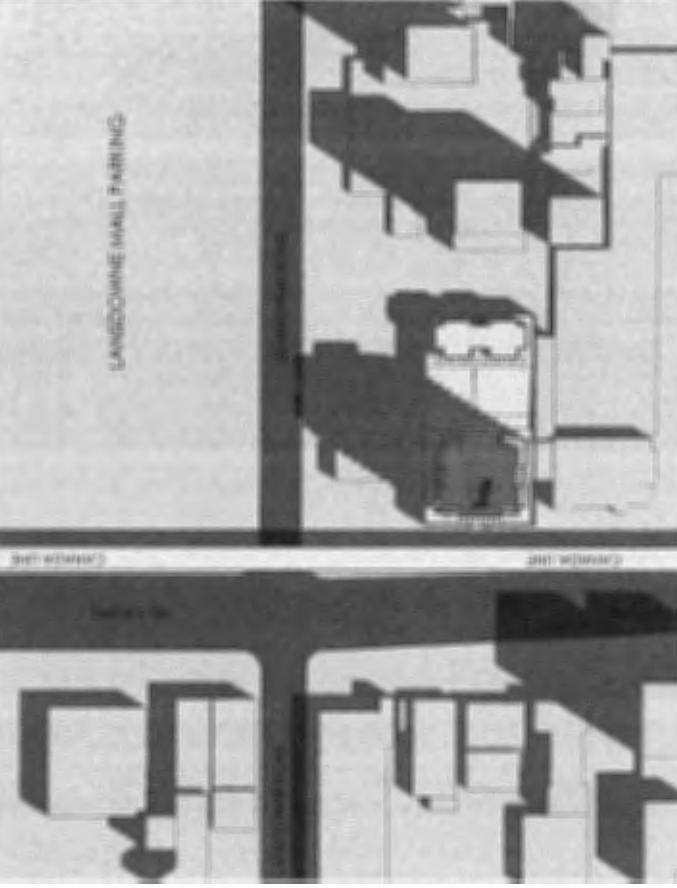
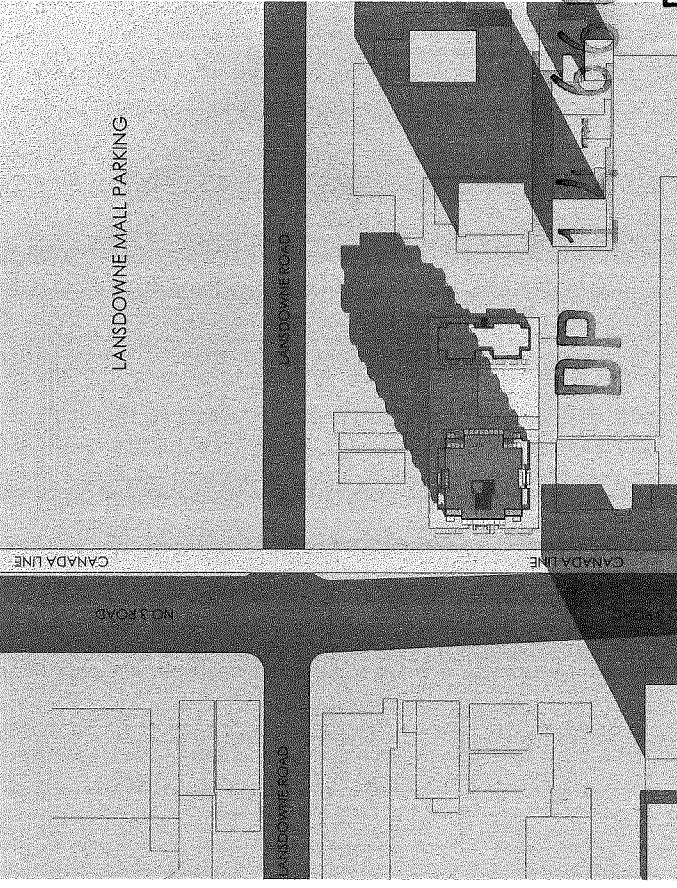
TEL 604-688-3655
FAX 604-688-3522
EMAIL rai@rafiarchitects.com
WWW raiarchitects.com
5580 No. 3 Road, Vancouver, BC V6J 3G7
Telephone: 604-689-7713 Email: info@rafiarchitects.com

Submit

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5580 No. 3 Road
Vancouver
BC V6J 3G7
SHADOW STUDY

DEC 21 2015
RAI 12-13 DVS A212149
Drawing No.
A701
Rev:



MARCH 28, 2014
RAI 12-13 DVS A212149
Drawing No.
A701
Rev:

C SHADOW STUDY
2:00 PM - MARCH / SEPTEMBER 21

D SHADOW STUDY
4:00 PM - MARCH / SEPTEMBER 21