



Development Permit Panel

Council Chambers, City Hall
6911 No. 3 Road

Wednesday, January 11, 2017
3:30 p.m.

Minutes

Motion to adopt the minutes of the Development Permit Panel meeting held on December 14, 2016.



1. **Development Permit 16-731461**
(REDMS No. 5065727)

APPLICANT: Musson Cattell Mackey Partnership Architects Designers
Planners

PROPERTY LOCATION: 8811 Bridgeport Road

Director's Recommendations

That a Development Permit be issued which would permit an exterior renovation at 8811 Bridgeport Road, on a site zoned "Auto-Oriented Commercial (CA)".



2. **Development Variance 16-733949**
(REDMS No. 5129854 v. 2)

APPLICANT: MQN Architects

PROPERTY LOCATION: 9580 Williams Road (Formerly 9580 & 9600 Williams Road
& 10140 Gower Street) and 10060 Gower Street

ITEM

Director's Recommendations

That a Development Variance Permit be issued which would vary the following provisions of Richmond Zoning Bylaw 8500:

- (a) Increase the maximum permitted lot coverage from 45% to 48%;*
- (b) Reduce the minimum side yard setback from 6.0 m to 2.2 m for the west side yard and 4.7 for the east side yard; and*
- (c) Revise Transportation related requirements to:*
 - (i) Increase the maximum on-site parking reduction with transportation demand management measures from 10% to 13%;*
 - (ii) Reduce the minimum number of on-site loading spaces from 2 medium size and 1 large size loading spaces to 1 medium size loading space and manoeuvring for an additional medium size truck; and*
 - (iii) Reduce the minimum number of on-site bicycle parking spaces from 31 to 8 Class 1 spaces and from 31 to 11 Class 2 spaces;*

to permit the construction of a 199 bed residential intermediate care facility at 9580 Williams Road on a site zoned "Health Care (HC)" with associated existing garden at 10060 Gower Street.



3. Development Variance 16-743379

(REDMS No. 5214026 v. 3)

APPLICANT: Cypress Land Services Inc., on behalf of TM Mobile Inc.
(Telus)

PROPERTY LOCATION: 3911 No. 3 Road

Director's Recommendations

That a Development Variance Permit be issued which would vary the provisions of Richmond Zoning Bylaw 8500 to reduce the interior side yard setback from 3.0 m (9.8 ft.) to 2.025 m (6.65 ft.) in the "Auto-Oriented Commercial (CA)" zoning district in order to permit the construction of a 14.9 m (48.9 ft.) high monopole antenna tower at 3911 No. 3 Road.



ITEM

4. New Business

5. Date of Next Meeting: January 25, 2017

6. Adjournment



**Development Permit Panel
Wednesday, December 14, 2016**

Time: 3:30 p.m.
Place: Council Chambers
Richmond City Hall
Present: Joe Erceg, Chair
Cathryn Volkering-Carlile, General Manager, Community Services
Victor Wei, Director, Transportation

The meeting was called to order at 3:30 p.m.

Minutes

It was moved and seconded

That the minutes of the meeting of the Development Permit Panel held on November 30, 2016, be adopted.

CARRIED

**1. Development Permit 15-696896
(REDMS No. 5217904)**

APPLICANT: McDonald's Restaurants of Canada Ltd.

PROPERTY LOCATION: 7120 No. 3 Road

INTENT OF PERMIT:

1. Permit the construction of a single storey restaurant with a drive-through at 7120 No. 3 Road on a site zoned "Auto-Oriented Commercial (CA)".

Applicant's Comments

Brian Johnson, Reprise Design and Architecture, provided background information on the proposed development and highlighted the following:

- a wide pedestrian walkway fronting No. 3 Road with pedestrian scale furniture is proposed to provide direct access to the main entrance of the restaurant;

Development Permit Panel

Wednesday, December 14, 2016

- proposed building materials, e.g. metal panel, natural stone, and natural brick, provide a West Coast feel to the building façade;
- sustainability features of the project include white roofing, energy management systems for lighting and HVAC controls, full LED lighting for interior and exterior lighting, low-e solar grade glazing and low-flow plumbing fixtures; and
- a screened rooftop area is being proposed to replace the original proposal for five individual HVAC rooftop units to address potential noise and aesthetic concerns of neighbouring developments.

In response to queries from the Panel, Mr. Johnson noted that (i) the rooftop mechanical units will be screened with metal louvers on top, (ii) a preliminary acoustic study was done and a final acoustic study is currently being conducted and a report will be submitted, (iii) the project will meet Noise Bylaw requirements, and (iv) the proposed commercial grade kitchen exhaust fans will discharge air vertically with a high rate of velocity.

Cameron Owen, IBI Group, provided a brief background on the proposed landscaping features for the project, noting that (i) Advisory Design Panel recommendations have been integrated into the proposed plans, (ii) a seating area is provided adjacent to the existing free-standing heritage McDonald's sign which is proposed to be retained and refurbished, (iii) safety measures have been incorporated to ensure safe on-site pedestrian circulation such as installation of signs and bollards at the drive through exit and protecting the outdoor seating area with physical barriers, (iv) additional trees are proposed on the parking lot to provide more shade, (v) certain tree species have been replaced in the original proposal to address Advisory Design Panel concerns, (vi) a new 1.8-meter high wood fence on the north, south and east property lines provide separation and screening to adjacent properties, and (vii) root barriers are proposed to be installed around trees along the north side for tree protection when the east-west City lane will be widened in the future.

In response to a query from the Panel, Mr. Owen confirmed that the proposed buffering along the north property line consists of a 1.8-meter high wood fence, row of large canopy trees, dense low shrub planting and a strip of lawn to provide separation to the adjacent development to the north and mitigate traffic noise on the drive through lane.

Graham Fane, Real Estate Representative, McDonald's Restaurants of Canada Ltd., spoke on the project's proposed measures to mitigate potential noise and odour concerns of neighbouring developments, noting that (i) drive through speakers will be equipped with automatic volume controls (AVC) to control volume based on outdoor day and night time noise levels, (ii) screening for the rooftop mechanical units will be custom specified louvered acoustic walls, (iii) the restaurant will be equipped with high performing state of the art exhaust fans and range hoods, and (iv) projected noise and odour levels would be lower than currently existing and will comply with City regulations.

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Panel Discussion

In response to queries from the Panel, the project team commented that (i) metal display boxes for newspapers and similar structures will not be allowed on the subject site, (ii) proposed ramps will provide accessibility to people in wheelchairs, (iii) the white roof is being proposed from a sustainability perspective, but the applicant will consider the suggestion for using other colours or introducing patterning on the rooftop surface, and (iv) a stamped concrete surface treatment is proposed for the loading area.

Discussion ensued on the proposed rooftop surface treatment and staff was directed to work with the applicant to investigate opportunities to enhance the proposed rooftop treatment through replacing the white colour and/or introducing patterns and designs to enhance the roof's visual appeal and address potential overlook concerns from the high-rise commercial/residential building to the north of the subject site.

Joe Guzzo, McDonald's restaurant owner, noted that (i) the McDonald's restaurant on the subject site is the first McDonald's restaurant in Canada and outside of the United States and will be celebrating its 50th anniversary in 2017, and (ii) significant improvements in sustainability features will be incorporated into the project.

Staff Comments

Wayne Craig, Director, Development, advised that (i) staff appreciate the proposed retention and refurbishing of the McDonald's free-standing heritage sign along No. 3 Road, (ii) the landscape plan is respectful of existing trees along the perimeter of the site which are in good condition, (iii) the applicant will introduce a significant amount of permeable pavers on site, and (iv) there is a Servicing Agreement associated with frontage improvements along No. 3 Road.

In response to a query from the Panel, Mr. Craig confirmed that the City is requesting the applicant to provide Public Rights of Passage (PROP) Statutory Right of Way (SRW) along the entire west property lines for frontage improvements along No. 3 Road and along the north property line for future widening and extension of the east-west City lane.

Panel Discussion

The Panel expressed support for the proposed development, noting that the project was well thought out.

Correspondence

None.

Gallery Comments

None.

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Panel Decision

It was moved and seconded

That a Development Permit be issued which would permit the construction of a single storey restaurant with a drive-through at 7120 No. 3 Road on a site zoned "Auto-Oriented Commercial (CA)".

CARRIED

2. Development Permit 16-723753 Heritage Alteration Permit 16-723754 (REDMS No. 5229080)

APPLICANT: City of Richmond

PROPERTY LOCATION: 3811 Moncton Street

INTENT OF PERMIT:

Permit the construction of an enclosure containing information technology and building mechanical equipment on a portion of the east side of Steveston Museum, a designated heritage building in the Steveston Village Heritage Conservation Area, at 3811 Moncton Street on a site zoned Steveston Commercial (CS2).

Applicant's Comments

Wendy Andrews, Andrews Architects, Inc., accompanied by Greg Andrews, provided background information on the development proposal and highlighted the following:

- an enclosure is proposed to be constructed to contain City IT-related infrastructure and screen an HVAC unit for the Steveston Museum, a designated heritage building in the Steveston Village Heritage Conservation Area;
- the proposed enclosure will be located between the Steveston Museum and the Japanese Fishermen's Benevolent Society building which is also a designated heritage building;
- the existing HVAC unit will be replaced with a more compact unit and will be moved along the side of the Steveston Museum building so that the window on the north side of the building will not be blocked;
- the proposed enclosure will provide ventilation for the HVAC unit and will have a low slope wood shingle roofing to avoid blocking the windows on the east and north sides of the building; and
- the proposed enclosure will be a separate structure from the Steveston Museum building and designed to match cladding and roof materials and colour consistent with the heritage character of the building.

Development Permit Panel

Wednesday, December 14, 2016

Staff Comments

None.

Correspondence

Linda Barnes, Steveston Historical Society, 3811 Moncton St. (Schedule 1)

Mr. Craig advised that the email from Linda Barnes on behalf of the Steveston Historical Society expressed support for the development proposal, noting that the proposed enclosure is consistent with the design provided to the Society's Building Committee.

Panel Discussion

In response to queries from the Panel, Ms. Andrews advised that (i) the proposed colour of the enclosure is consistent with the colour of the Steveston Museum building, (ii) the proposed cedar shingles for the roofing of the enclosure will age over time and match the colour of the building's roof, and (iii) the proposed slope of the roofing for the enclosure will be lower than the slopes of the roofs of the Museum building and the adjacent Japanese Fishermen's Benevolent Society building in order not to block the Museum's windows, and (iv) security features will be incorporated into the proposed enclosure.

Gallery Comments

None.

Panel Decision

It was moved and seconded

1. *That a Development Permit be issued which would permit the construction of an enclosure containing information technology and building mechanical equipment on a portion of the east side of Steveston Museum, a designated heritage building in the Steveston Village Heritage Conservation Area, at 3811 Moncton Street on a site zoned Steveston Commercial (CS2); and*
2. *That a Heritage Alteration Permit (HA 16-723754) be issued for 3811 Moncton Street in accordance with the Development Permit.*

CARRIED

3. New Business

None.

4. Date of Next Meeting: January 11, 2017

5. Adjournment

5.

Development Permit Panel
Wednesday, December 14, 2016

It was moved and seconded

That the meeting be adjourned at 4:10 p.m.

CARRIED

Certified a true and correct copy of the Minutes of the meeting of the Development Permit Panel of the Council of the City of Richmond held on Wednesday, December 14, 2016.

Joe Erceg
Chair

Rustico Agawin
Auxiliary Committee Clerk

To Development Permit Panel	
Date:	<u>DECEMBER 12, 2016</u>
Item #	<u>2</u>
Re:	<u>DP 16 - 723753</u>
	<u>HAP 16 - 723754</u>

-----Original Message-----

From: Linda Barnes [mailto:loulindy50@gmail.com]

Sent: Thursday, 8 December 2016 15:46

To: Gillis, David

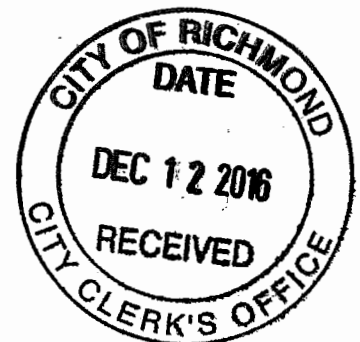
Cc: Baxter, Connie; Forrest, Rebecca; Sharp, Gabrielle; Carmen Keitsch

Subject: Steveston HVAC/IT enclosure DPP/HAP

On behalf of the Steveston Historical Society I am writing in support of the application going forward re: the enclosure on the Steveston museum. The design is in keeping with what had been discussed at the Building Committee, is esthetically pleasing and in keeping with the existing museum. I know that, as a heritage building, all due care will be taken where the new enclosure meets the existing cladding. Again, thank-you to city staff, particularly Jim Young, for the work being done. The Society looks forward to our continuing partnership with the City of Richmond on the Steveston Historical Building Committee and many other endeavors.

Cheers

Linda Barnes





City of Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: December 15, 2016

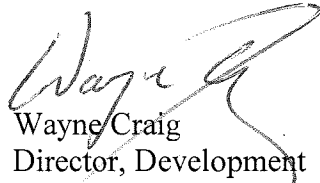
From: Wayne Craig
Director, Development

File: DP 16-731461

Re: Application by Musson Cattell Mackey Partnership Architects Designers
Planners for a Development Permit at 8811 Bridgeport Road

Staff Recommendation

That a Development Permit be issued which would permit an exterior renovation at 8811 Bridgeport Road, on a site zoned "Auto-Oriented Commercial (CA)".



Wayne Craig
Director, Development

WC:blg
Att. 2

Staff Report

Origin

Musson Cattell Mackey Partnership Architects Designers Planners has applied to the City of Richmond for permission to renovate an existing hotel building at 8811 Bridgeport Road; on a site zoned "Auto-Oriented Commercial (CA)". The purpose of this project is to upgrade the image of the existing hotel to the new Hampton Inn's corporate standards and image.

Development Information

Please refer to the attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the north; across the rear lane; a "Days Inn"; on a lot zoned "Auto-Oriented Commercial (CA)".
- To the south; across Bridgeport Road; a "Big Box" retail store; on a lot zoned "Auto-Oriented Commercial (CA)".
- To the east; a single-family dwelling and an auto repair shop; on lots zoned "Auto-Oriented Commercial (CA)".
- To the west; across Sexsmith Road; an existing commercial and industrial building; on a site zoned "Light Industrial (IL)".

Related Policies & Studies

City Centre Area Plan (CCAP)

The existing site is designated within the City Centre Area Plan (CCAP) as "Urban Centre T5" in the Bridgeport Village Plan. It is also located within Sub-Area A.3 – "Commercial Reserve – Mid-Rise" area; which is intended for medium density, mid-rise commercial uses including street-oriented retail and restaurants, entertainment, office, education, and related uses. The area situated is also intended to be strongly airport related (e.g., hotel). The CCAP provides for higher density commercial development; with a maximum density of 2.0 floor area ratio (FAR) and a maximum height of 25 m.

Floodplain Management Implementation Strategy

The applicant is required to comply with the Flood Plain Designation and Protection Bylaw (No. 8204). In accordance with the Flood Management Strategy, a Flood Indemnity Restrictive Covenant is required prior to Development Permit issuance.

OCP Aircraft Noise Sensitive Development (ANSND) Policy

The subject site is located within an area where new aircraft noise sensitive land uses are prohibited. Although noise sensitive land use is not proposed, an aircraft noise indemnity covenant is required as a condition of rezoning.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application.

The subject proposal involves relatively minor renovations to the exterior of an existing hotel building and is in compliance with the provisions of the existing “Auto-Oriented Commercial (CA)” zone except for the existing building setback to the north property line. The existing hotel building was developed based on the “Automobile-Oriented Commercial District (C6)” zone under the previous Richmond Zoning & Development Bylaw 5300 (rescinded November 16, 2009); where there was no setback requirement to the side/rear property lines. The current “Auto-Oriented Commercial (CA)” zone requires a minimum of 3.0 m setback to a side property line (i.e., the north property line on this site), but a portion of the existing building is located approximately 0.94 m from the north side property line. Since this is an existing non-conforming situation and that the current renovation proposal does not intensify the non-conformity, no variance to the side yard setback is required.

Advisory Design Panel Comments

The Advisory Design Panel supported the design of the project and the Design Panel’s suggested design changes have been incorporated into the proposal. A copy of the relevant excerpt from the Advisory Design Panel Minutes from Wednesday, November 9, 2016 is attached for reference (Attachment 2). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in ‘*bold italics*’.

Analysis

Conditions of Adjacency

- The site is bounded on three (3) sides by Bridgeport Road, Sexsmith Road and the rear lane to the north.
- There is an existing row of mature hedge and trees along the east property line; providing a natural screen between the existing hotel building and the adjacent single-family dwelling.
- The existing lighting from the east parking area is non-glare and is screened from the adjacent single-family property. No new pole lighting within the parking area is proposed.

Urban Design and Site Planning

- The project involves renovation of the exterior of an existing hotel building built in the late 1990s. The hotel was built on a lot zoned for auto-oriented commercial developments. It is typical of hotels of that age in an auto-oriented commercial area to be set back from the fronting road and surrounded by surface parking.
- No change is being proposed on the site layout.

Architectural Form and Character

- The current orange metal mansard roof will be removed and replaced with a slim line curved parapet. A lighting element will be incorporated into the new parapet for night time recognition.
- The current orange roof of the porte cochere will also be replaced with a simpler parapet echoing the element of the main roof.
- The building is currently painted with acrylic stucco on concrete; the base of the building will be clad with wafer stone, and the balance of the building will be painted with a new colour scheme to emphasize a vertical expression. The columns of the porte cochere will be clad with the same stone material as the base of the building.
- While building form is typical of such suburban hotel buildings, the proposed new roof form, cladding at the building base, and new exterior colours should make the building more complimentary to the new mid-rise commercial buildings and high-density residential buildings being developed in the area.

Landscape Design and Open Space Design

- All existing landscape is to be retained except for one (1) dead tree; a small Dawykii Beach tree on the lane side of the building. This dead tree will be removed and replaced.
- Proposed plantings will supplement existing plantings to provide further layering and will be added in and around existing plants.
- New planters will be installed adjacent to the building in front of the “décor arch screening” by the covered parking area to provide a green edge for the building.
- New planters will also be installed at the top of the building base (i.e., on top of the ground level); proposed landscaping in the planters will overhang the stone wall to provide a nice transition between the lower stone wall and the upper portion of the building.
- A new automatic irrigation system will be provided for all planters installed at the top of the building base.
- A rubberized paving is proposed on the existing concrete surface on the entry driveway to create a two-tone pattern in order to add visual interests at the main entry to the site.
- In order to ensure the landscaping works are undertaken, the applicant is required to provide a landscape security of \$16,726.00 with the Development Permit.

Crime Prevention Through Environmental Design

- The building is an existing building and minimal changes can be made to the physical structure at this time.
- Public entrance to the hotel is visible from the street.
- Landscaping maintains visual permeability.
- There is adequate lighting for the parking under the building and the surface lot.

Accessibility

- Accessible features consist of handicap parking near the parking entrance and an accessible access from the handicap parking stall via a ramp less than 5% to the hotel's main lobby.
- The hotel also includes three (3) handicap guest rooms; featuring larger doors, larger bathrooms and accessible showers.
- A minimum 1.5 m wide accessible path of travel from the city sidewalk to the hotel lobby is provided.

Sustainability

- This renovation is an exterior upgrade of finishes and re-configuration of the parapet; it is not feasible to undertake sustainability improvement as the mechanical and electrical systems are not being rebuilt.
- Additional landscape elements are proposed throughout the site; new irrigation system will be installed.
- Drought-tolerant species are proposed throughout the site.

Conclusions

The proposal is for renovations to the roof and exterior finishes of an existing hotel building. These improvements will provide updated architectural expression and new landscaping elements along the façade, which will benefit both the Bridgeport Road and Sexsmith Road streetscapes. Therefore, staff recommend support of this Development Permit application.



Edwin Lee
Planner 1
(604-276-4121)

EL:blg

Attachment 1: Development Application Data Sheet

Attachment 2: Minutes of November 9, 2016 Design Panel Meeting

The following are to be met prior to forwarding this application to Council for approval:

- Receipt of a Letter-of-Credit for landscaping in the amount of \$16,726.00.
- Registration of a flood indemnity covenant on Title.
- Registration of an aircraft noise indemnity covenant on title.

Prior to future Building Permit issuance, the developer is required to complete the following:

- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<http://www.richmond.ca/services/ttp/special.htm>).
- If applicable, payment of latecomer agreement charges associated with eligible latecomer works.



City of Richmond

Development Application Data Sheet

Development Applications Department

DP 16-731461**Attachment 1**Address: 8811 Bridgeport RoadMusson Cattell Mackey PartnershipApplicant: Architects Designers Planners Owner: Maple Hospitality Inc.Planning Area(s): City Centre – Bridgeport VillageFloor Area Gross: 3,822 m² Floor Area Net: 3,822 m²

	Existing	Proposed
Site Area:	2,987 m ²	No Change
Land Uses:	Hotel	No Change
OCP Designation:	OCP: Commercial CCAP: Urban Centre T5 (Sub-Area A.3 – Commercial Reserve – Mid-Rise)	No Change
Zoning:	Auto-Oriented Commercial (CA)	No Change
Number of Units:	110 hotel rooms	No Change

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	1.5	1.28	none permitted
Lot Coverage:	Max. 50%	47%	none
Setback – Bridgeport Road:	Min. 3.0 m	10.73 m	none
Setback – Sexsmith Road:	Min. 3.0 m	6.8 m	none
Setback – Lane:	Min. 3.0 m	0.94 m	existing non-conforming
Setback – East Side:	Min. 3.0 m	14.51 m	none
Height (m):	Max. 45 m	17.47 m	none
Off-street Parking Spaces:	47	48	none
Off-street Parking Spaces – Accessible:	1	1	none

Excerpt from the Minutes from
The Design Panel Meeting

Wednesday, November 9, 2016 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall

2. **DP 16-731461 – HAMPTON INN ROOF REPLACEMENT RENOVATION**

ARCHITECT: Musson Cattell Mackey Partnership / Jacques Beaudreault
Architect Ltd.

PROPERTY LOCATION: 8811 Bridgeport Road

Applicant's Presentation

Jacques Beaudreault, MCM Partnership, and Patricia Campbell, PMG Landscape Architects, presented the project and answered queries from the Panel on behalf of the applicant.

Panel Discussion

Comments from the Panel were as follows:

- proposed small changes to the existing building create a fresher and smaller scale suburban look, but not a contemporary urban appearance;

Agreed.

- proposed design of cornices at the corners on top of the building appears like an applique; consider adding a 45-degree corner piece to wrap the corners to provide the impression of the cornice lifting in the opposite direction; will help create a more authentic architectural element;

The plans and elevations have been revised to incorporate this comment.

- proposed changes provide a good refresh to the existing building; no concerns with the proposed planting; however, consider increasing the planting pot size of perennials for visual impact;

Specific reference was made to upsizing perennials to #1 pot. All perennials are specified at 15cm pots, the equivalent pot size used by perennial growers. It is a large size planting with the visual impact suggested.

- support the applicant's proposal to apply a rubberized paving on the existing concrete surface on the entry driveway to create a two-tone pattern; assumed that the applicant has studied the long-term durability of the paving material;

Agreed.

- appreciate the proposed improvements to the building; however, concerned on the long-term maintenance of stucco in view of Richmond's wet climate;

The point is well taken. Stucco is not the best material to use in this climate. However the re-cladding of the building is not within the scope of this refresh. The existing material is acrylic stucco and it makes sense to continue the acrylic stucco to form the curved portion of the parapet at the top.

- no concern on the ground plane; appreciate the proposed paving treatment and landscaping irrigation;

Concur.

- appreciate the landscape element on top of the base of the building (between the first and second level);

Concur.

- proposed improvements to the building are consistent with the intent of the development application;

Concur.

- appreciate the proposed update for the building; however, suggest that an urban version be considered due to the urban context in Richmond; consider bringing down the height of the central element in the south elevation to match the height of the central element in the north elevation; will create a more subtle and urban look to the building; and

The design has been revised to decrease the height of the south parapet to align it with the north parapet. This impacts the signage which will be on a single line and has been approved by Hampton Inn.

- ensure accessibility of the landscaping on top of the base of the building to facilitate maintenance.

Maintenance of the raised planters will be accessed by extension ladder. As this is an existing building the only other possible access would be through one of the bedrooms when not occupied. In this case there are a number of WorkSafe BC requirement for fall prevention that would be onerous in initiate. Given the tenuous access through a room, we propose that the only reasonable maintenance access is by extension ladder. The planters would be in easy reach by this method.

Panel Decision

It was moved and seconded

That DP 16-731461 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.

CARRIED

Opposed: Harley Grusko



City of Richmond

Development Permit

No. DP 16-731461

To the Holder: MUSSON CATTELL MACKEY PARTNERSHIP ARCHITECTS
DESIGNERS PLANNERS

Property Address: 8811 BRIDGEPORT ROAD

Address: C/O JACQUES BEAUDREULT
1600 – TWO BENTALL CENTRE
555 BURRARD STREET, BOX 264
VANCOUVER, BC V7X 1M9

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #3 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$16,726.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 16-731461

To the Holder: MUSSON CATTELL MACKEY PARTNERSHIP ARCHITECTS
DESIGNERS PLANNERS

Property Address: 8811 BRIDGEPORT ROAD

Address: C/O JACQUES BEAUDREAULT
1600 – TWO BENTALL CENTRE
555 BURRARD STREET, BOX 264
VANCOUVER, BC V7X 1M9

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

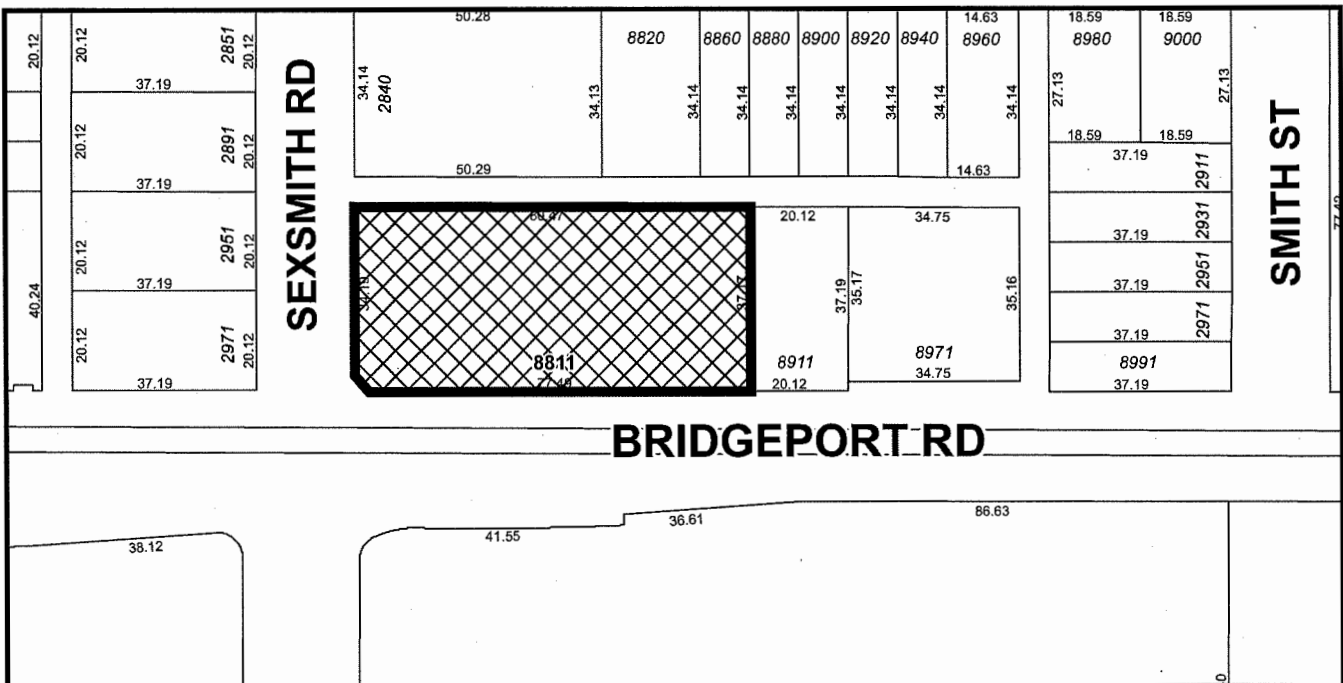
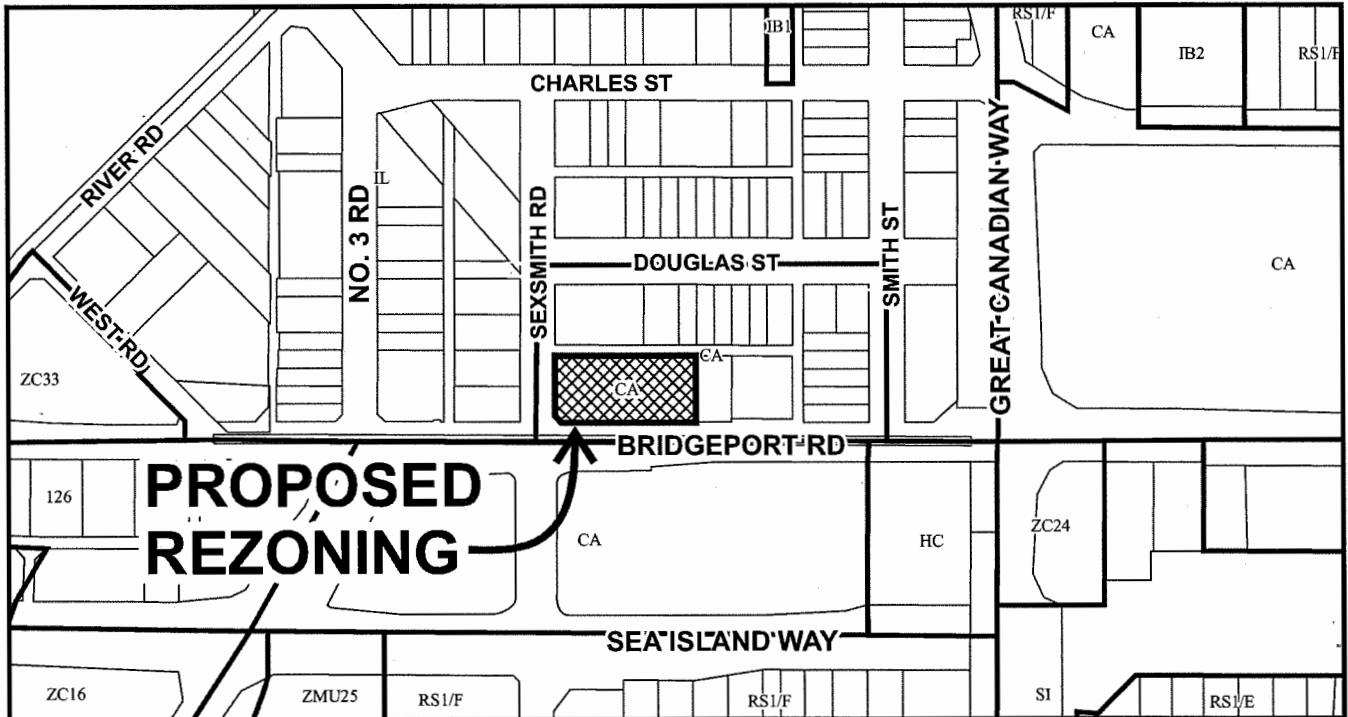
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond



DP 16-731461
SCHEDULE "A"

Original Date: 05/12/16

Revision Date:

Note: Dimensions are in METRES

October 31, 2016

Seal

Hampton Inn
Richmond, BC

Maple Hospitality Ltd.

Project

Site Plan

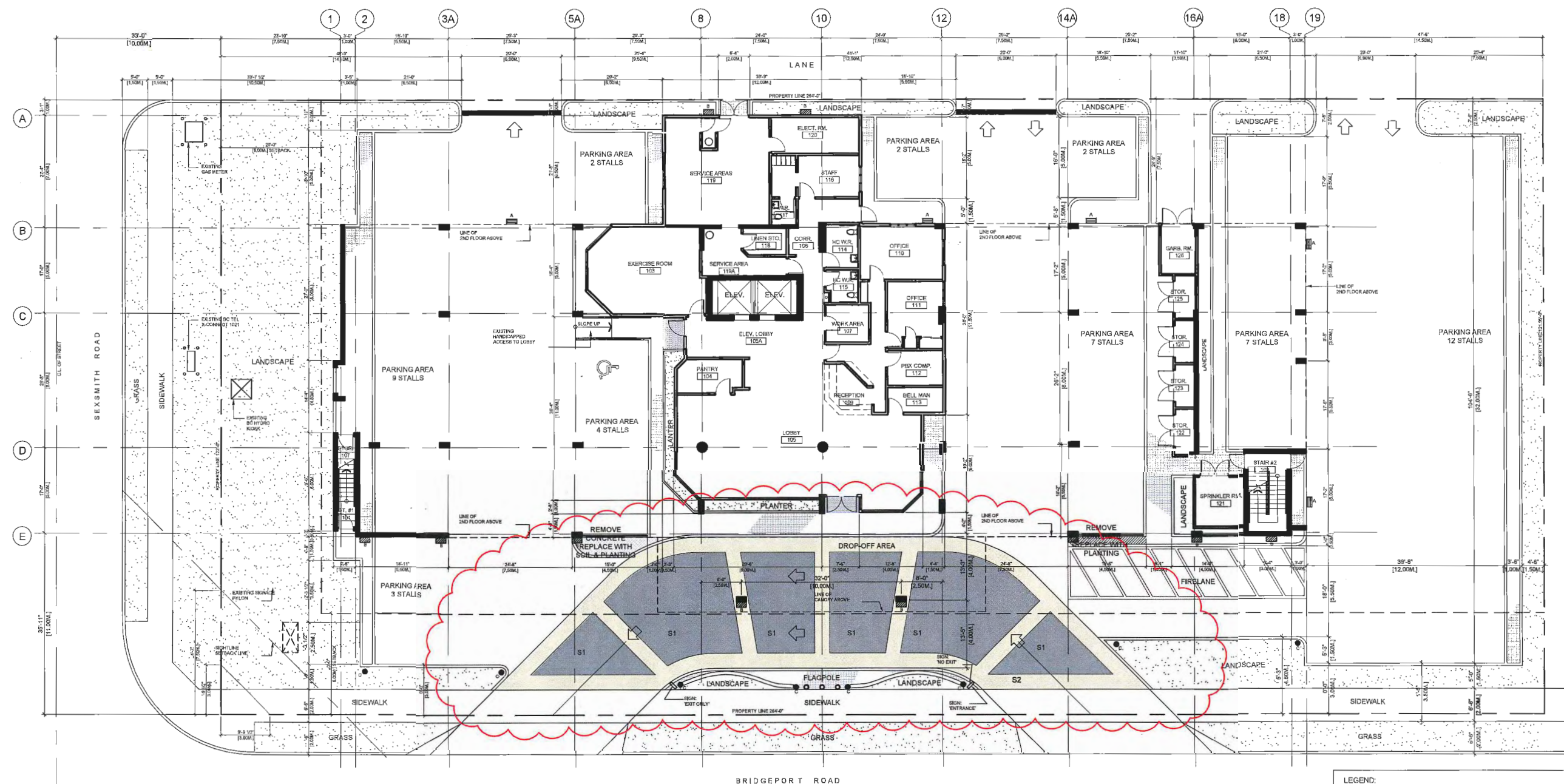
Drawing

Scale 1" = 22'

Project 215048.01

Sheet

DP 1



DEC 15 2016

DP 16-731461

PLAN #1



SCHEDULE OF PLANTINGS FOR ROOF PLANTERS				PMG FILE 16-178
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
PERENNIAL	212	SEDUM TELEPHIUM 'HERBSTFREUDE'	AUTUMN JOY STONECROP	15 CM POT
110	110	LONICERA PILEATA	PRIVET HONEYSUCKLE	#1 POT; 25CM
58	58	RUBUS PENTALOBUS	CREEPING RASPBERRY	#1 POT

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CMA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD'S LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.

LEVEL TWO PLANTING PALETTE



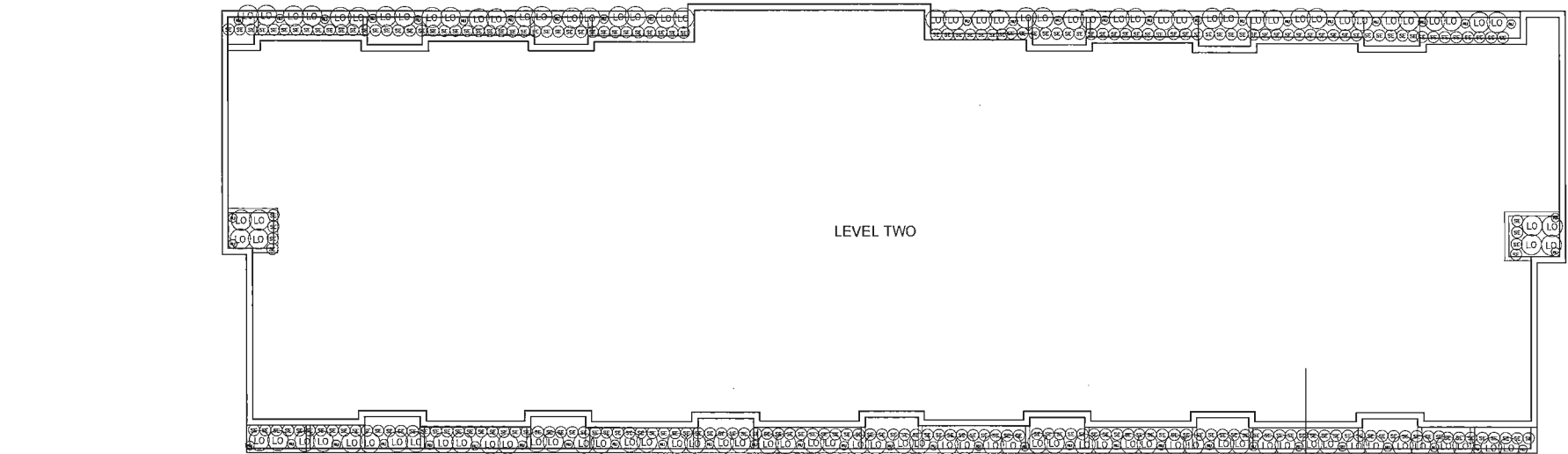
LONICERA PILEATA



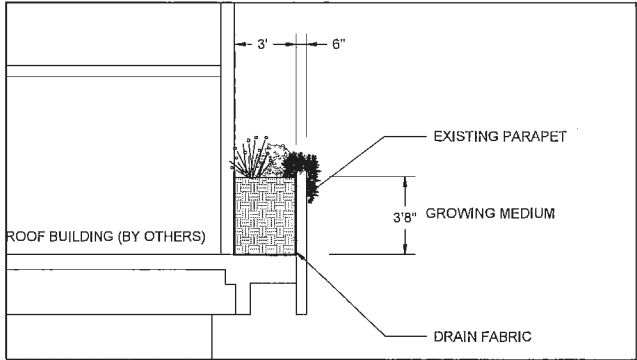
RUBUS PENTALOBUS



SEDUM T. AUTUMN JOY



NOTE: PROVIDE DESIGN-BUILD AUTOMATIC IRRIGATION SYSTEM FOR ALL ROOF DECK PLANTINGS ONLY. PROVIDE SHOP DRAWINGS.



SECTION A 1/4"=1'-0"

GROUND LEVEL PLANTING PALETTE



EUONYMUS ALATUS 'COMPACTA'



ROSA MEIDILAND RED



RHODODENDRON 'PURPLE SPLENDOR'



ECHINACEA 'SECRET LUST'



PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'



RUDBECKIA FULG. 'GOLDSTURM'



SALVIA SUPERBA

DP 16-731461

PLAN # 2A

DEC 15 2016

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pmg
LANDSCAPE
ARCHITECTS

Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604 294-0011 ; f: 604 294-0022

SEAL:

NO.	DATE	REVISION DESCRIPTION	PC	DR.
-----	------	----------------------	----	-----

CLIENT:

PROJECT:

HAMPTON INN
RENOVATION
8811 BRIDGEPORT RD
RICHMOND, BC

DRAWING TITLE:

LEVEL 2
LANDSCAPE PLAN

DATE:	16.OCT.05	DRAWING NUMBER:
SCALE:	3/32" = 1'-0"	L2
DRAWN:	MR	
DESIGN:		
CHKD:	PCM	OF 2

16178-3.2/P

PMG PROJECT NUMBER:

16-178



Legend:

- B1- Arriscraft Thin-stone Veneer "Graphite" on Concrete Wall
- B2- Arriscraft Thin-stone Veneer "Champagne" on Concrete Wall
- P1- Contextual Colour on Acrylic Stucco
- P2- Neutral Colour on Acrylic Stucco & Metal Screen
- P3- Accent Colour on Acrylic Stucco

PLAN # 3 DEC 15 2016
DP 16-731461

December 2016

Seal

**Hampton Inn
Richmond, BC**

Maple Hospitality Ltd.

Project

**South Elevation
Day View**

Drawing

Scale 1" = 28'

Project 215048.01

Sheet **DP 4**

December 2016

Seal

**Hampton Inn
Richmond, BC**

Maple Hospitality Ltd.

Project

**North Elevation
Day View**

Drawing

Scale 1" = 20'

Project 215048.01

Sheet **DP 5****Legend:**

-  B1- Arriscraft Thin-stone Veneer "Graphite" on Concrete Wall
-  B2- Arriscraft Thin-stone Veneer "Champagne" on Concrete Wall
-  P1- Contextual Colour on Acrylic Stucco
-  P2- Neutral Colour on Acrylic Stucco & Metal Screen
-  P3- Accent Colour on Acrylic Stucco

PLAN #3A DEC 15 2016
DP 16-731461



East Elevation



West Elevation

Legend:

- B1- Arriscraft Thin-stone Veneer "Graphite" on Concrete Wall
- B2- Arriscraft Thin-stone Veneer "Champagne" on Concrete Wall
- P1- Contextual Colour on Acrylic Stucco
- P2- Neutral Colour on Acrylic Stucco & Metal Screen
- P3- Accent Colour on Acrylic Stucco

PLAN # 3B DEC 15 2016
DP 16-731461

Seal

**Hampton Inn
Richmond, BC**

Maple Hospitality Ltd.

Project

**East & West
Elevations
Day Views**

Drawing

Scale 1" = 28'

Project 215048.01

Sheet **DP 6**

**Legend:**

-  B1- Arriscraft Thin-stone Veneer "Graphite" on Concrete Wall
-  B2- Arriscraft Thin-stone Veneer "Champagne" on Concrete Wall
-  P1- Contextual Colour on Acrylic Stucco
-  P2- Neutral Colour on Acrylic Stucco & Metal Screen
-  P3- Accent Colour on Acrylic Stucco

PLAN # 3C DEC 15 2016
DP 16-731461

December 2016

Seal

**Hampton Inn
Richmond, BC**

Maple Hospitality Ltd.

Project

**South Elevation
Night View**

Drawing

Scale 1" = 28'

Project 215048.01

Sheet

DP 7

December 2016

Seal

**Hampton Inn
Richmond, BC**

Maple Hospitality Ltd.

Project

**North Elevation
Night View**

Drawing

Scale 1" = 28'

Project 215048.01

Sheet

DP 8**Legend:**

-  B1- Arriscraft Thin-stone Veneer "Graphite" on Concrete Wall
-  B2- Arriscraft Thin-stone Veneer "Champagne" on Concrete Wall
-  P1- Contextual Colour on Acrylic Stucco
-  P2- Neutral Colour on Acrylic Stucco & Metal Screen
-  P3- Accent Colour on Acrylic Stucco

PLAN # 3D DEC 15 2016
DP 16-731461

December 2016

Seal

**Hampton Inn
Richmond, BC**

Maple Hospitality Ltd.

Project

**East & West
Elevations
Night Views**

Drawing

Scale 1" = 28'

Project 215048.01

Sheet **DP 9**



East Elevation



West Elevation

Legend:

-  B1- Arriscraft Thin-stone Veneer "Graphite" on Concrete Wall
-  B2- Arriscraft Thin-stone Veneer "Champagne" on Concrete Wall
-  P1- Contextual Colour on Acrylic Stucco
-  P2- Neutral Colour on Acrylic Stucco & Metal Screen
-  P3- Accent Colour on Acrylic Stucco

PLAN # 3E DEC 15 2016

DP 16-731461

December 2016

Seal

**Hampton Inn
Richmond, BC**

Maple Hospitality Ltd.

Project

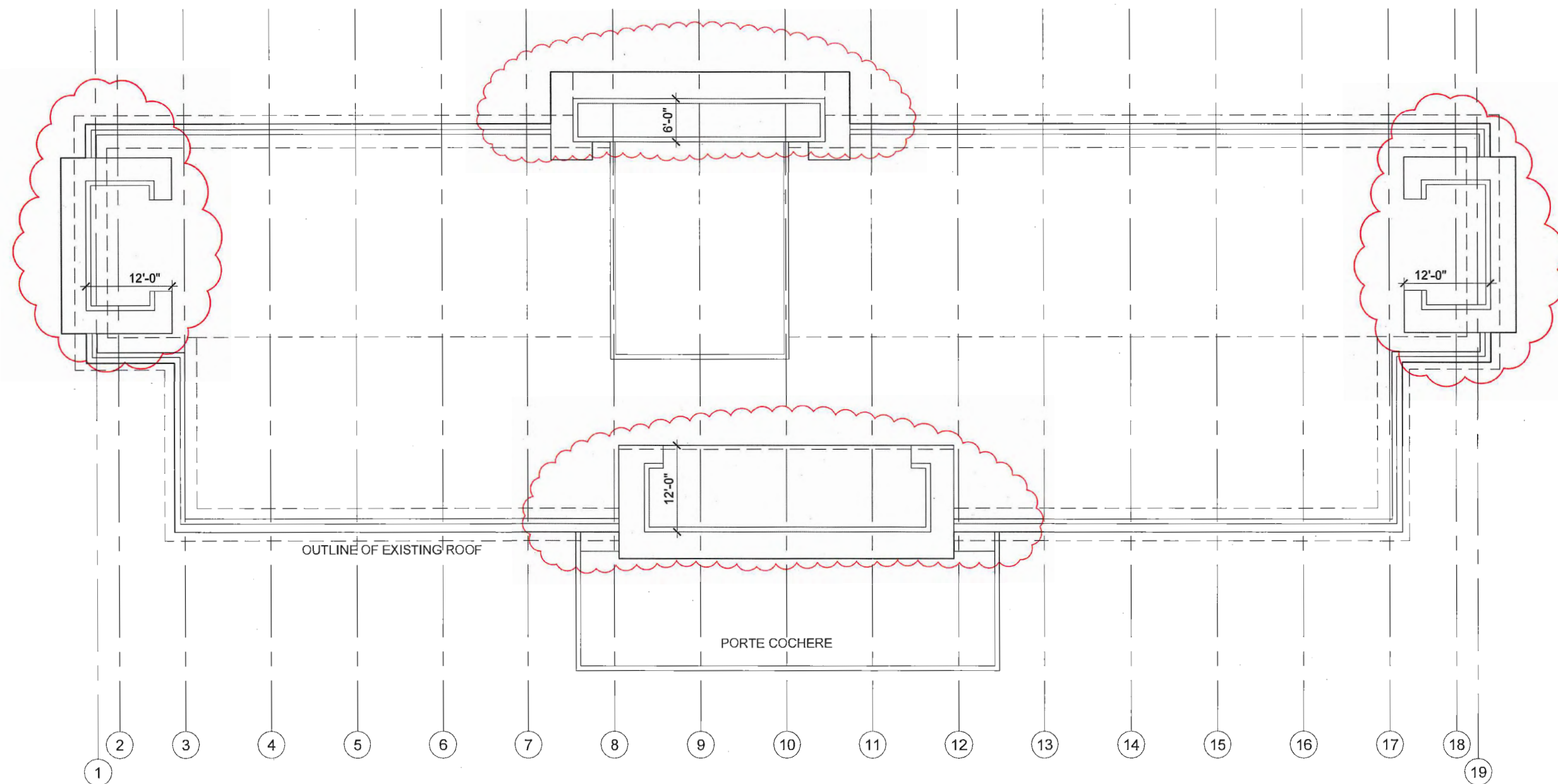
Roof Plan

Drawing

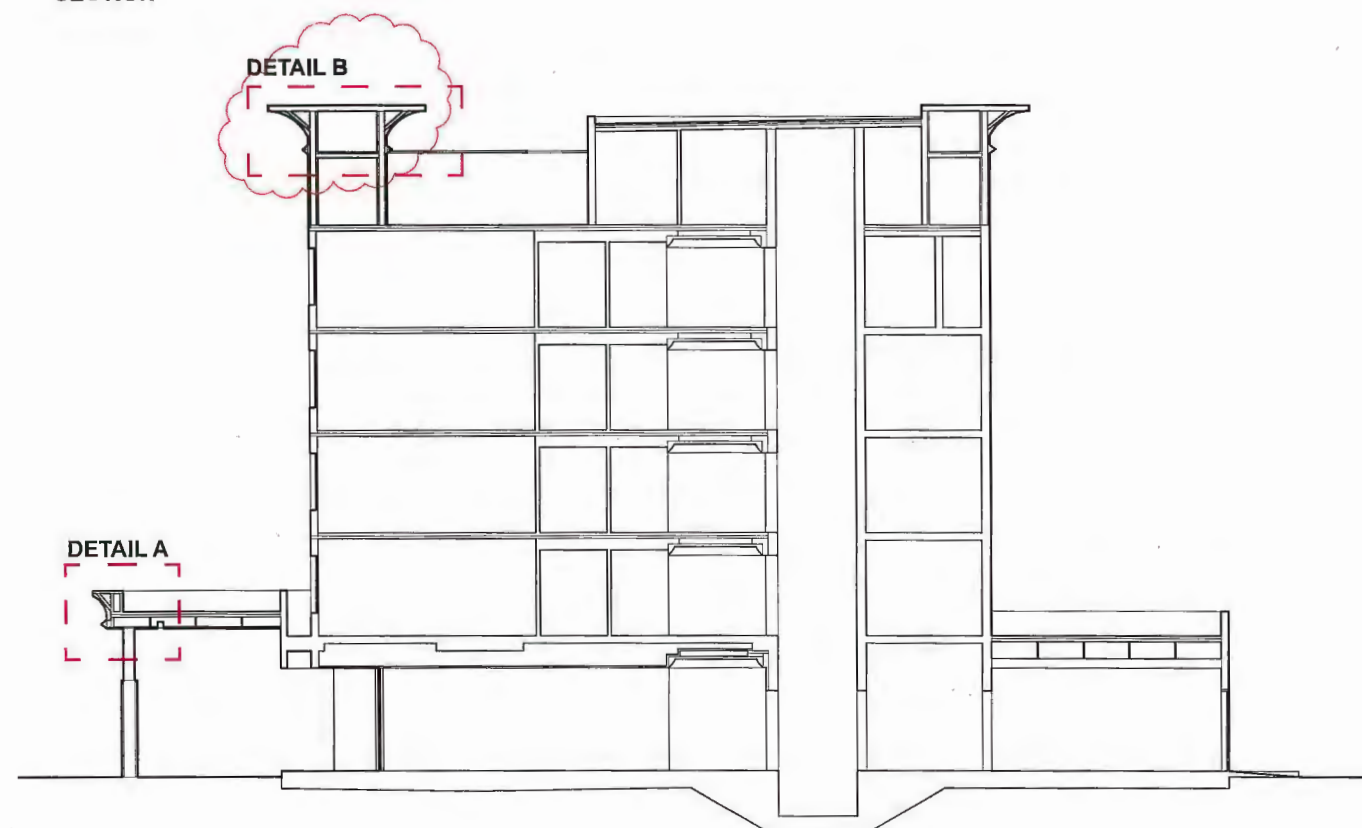
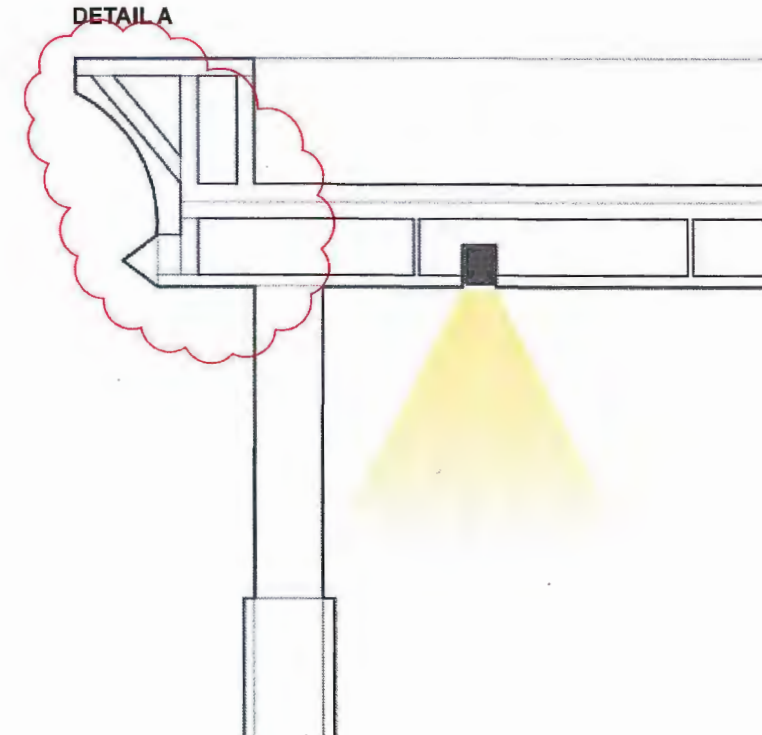
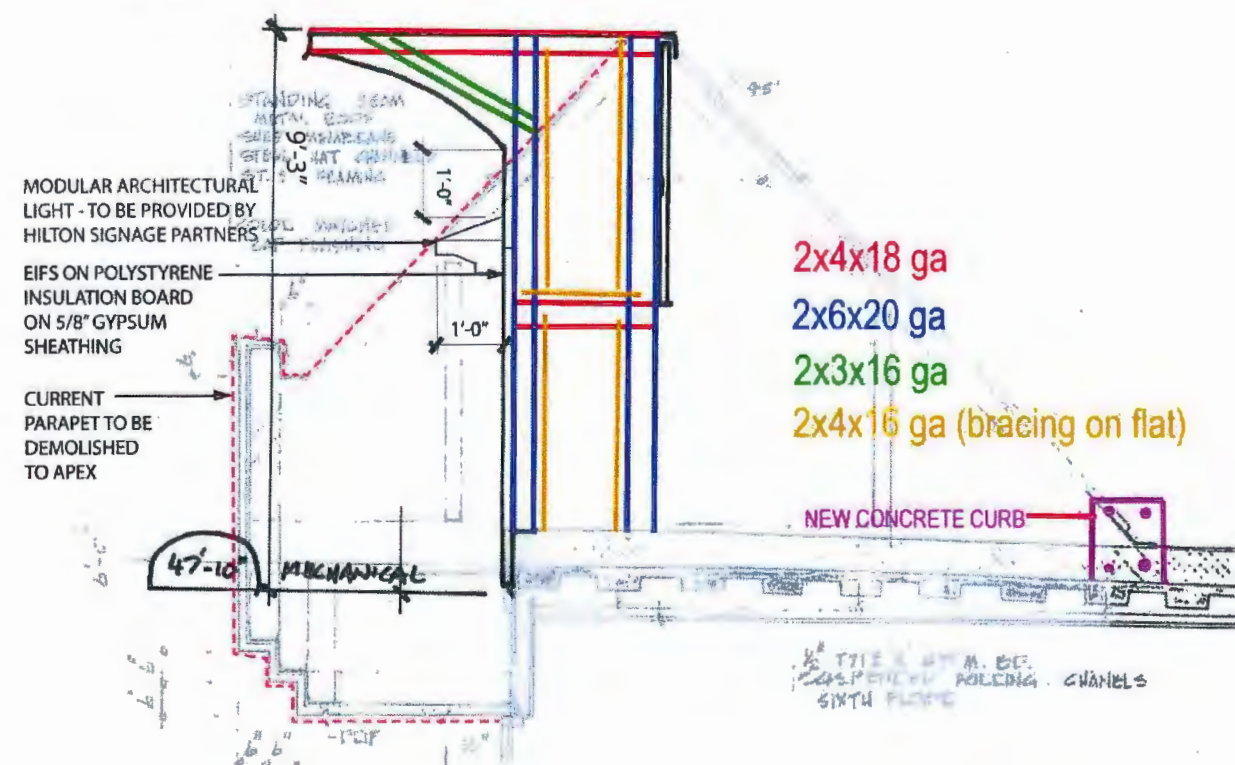
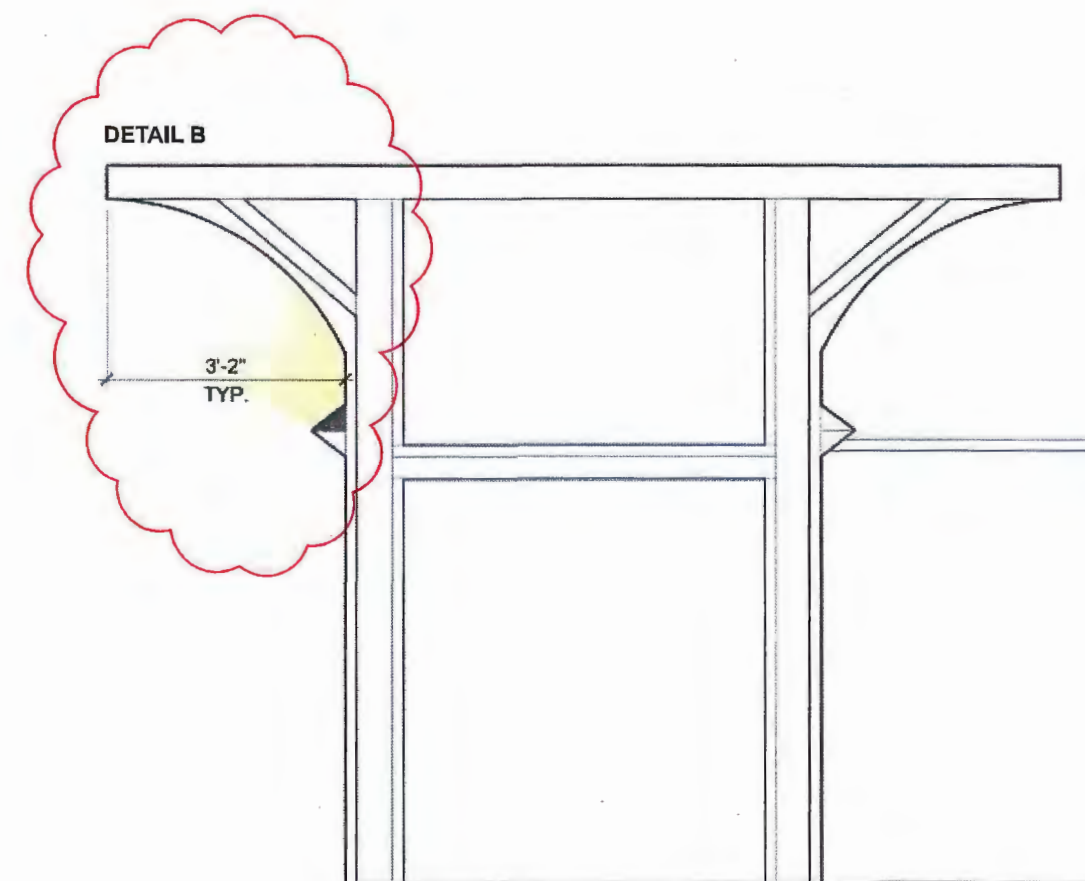
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Project 215048.01

Sheet

DP 2

PLAN # 3F
DEC 15 2016
DP 16-731461

SECTION**DETAIL A****DETAIL B STRUCTURAL****DETAIL B****DP 16-731461**

PLAN # 36

DEC 15 2016



City of Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: December 12, 2016

From: Wayne Craig
Director of Development

File: DV 16-733949

Re: Application by MQN Architects for a Development Variance Permit at 9580 Williams Road (Formerly 9580 & 9600 Williams Road & 10140 Gower Street) and 10060 Gower Street

Staff Recommendation

That a Development Variance Permit be issued which would vary the following provisions of Richmond Zoning Bylaw 8500:

- a) Increase the maximum permitted lot coverage from 45% to 48%;
- b) Reduce the minimum side yard setback from 6.0 m to 2.2 m for the west side yard and 4.7 for the east side yard; and
- c) Revise Transportation related requirements to:
 - i. Increase the maximum on-site parking reduction with transportation demand management measures from 10% to 13%;
 - ii. Reduce the minimum number of on-site loading spaces from 2 medium size and 1 large size loading spaces to 1 medium size loading space and manoeuvring for an additional medium size truck; and
 - iii. Reduce the minimum number of on-site bicycle parking spaces from 31 to 8 Class 1 spaces and from 31 to 11 Class 2 spaces;

to permit the construction of a 199 bed residential intermediate care facility at 9580 Williams Road on a site zoned "Health Care (HC)" with associated existing garden at 10060 Gower Street.


Wayne Craig
Director of Development

WC:sb
Att.

Staff Report

Origin

MQN Architects has applied to the City of Richmond for permission to vary the provisions of Richmond Zoning Bylaw 5800 to:

- Increase the maximum permitted lot coverage from 45% to 48%.
- Reduce the minimum side yard setback from 6.0 m to 2.2 m for the west side yard and 4.7 for the east side yard.
- Revise Transportation related requirements to: (i) increase the maximum on-site parking reduction with transportation demand management measures from 10% to 13%; (ii) reduce the minimum number of on-site loading spaces from 2 medium size and 1 large size loading spaces to 1 medium size loading space and manoeuvring for an additional medium size truck; and (iii) reduce the minimum number of on-site bicycle parking spaces from 31 to 8 Class 1 spaces and from 31 to 11 Class 2 spaces.

There is no rezoning application associated with the subject application. The requested variances would permit the redevelopment of the existing 101 bed residential intermediate care facility into a new 199 bed residential intermediate care facility at 9580 Williams Road on a site zoned "Health Care (HC)". The main garden space for the existing facility is located on the adjacent property at 10060 Gower Street on a site zoned "Single Detached (RS1/E)". The garden will be retained and will continue to be available for the use of residents of the proposed facility.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

The site was recently consolidated from three lots into one development lot addressed as 9580 Williams Road with a total site area of 9,083 square meters. In addition, the existing main garden open space for the existing facility is located on an adjacent lot addressed as 10060 Gower Street. The garden is proposed to be retained for the proposed facility and will be secured by a legal agreement to be registered on title.

Background

Development surrounding the subject site is as follows:

To the north, across Williams Road are single-family homes on lots zoned "Single Detached (RS1/E)" and "Compact Single Detached (RC1)";

To the east are single-family homes on a lots zoned "Single Detached (RS1/E)"; duplexes on lots zoned "Two-Unit Dwellings (RD1)"; and an approximate 4,388 square meter assembly of Williams Road lots zoned "Single Detached (RS1/E)" under application for an arterial road townhouse development;

To the south are a single-family home on a lot zoned "Single Detached (RS1/E)" and a duplex on a lot zoned "Two-Unit Dwellings (RD1)"; and

To the west, abutting the subject site and across Gower Street are single-family homes on lots zoned "Single Detached (RS1/E)".

Neighbour Consultation

On October 26, 2016, the applicant went door to door to visit homes in the vicinity of the subject site, available to answer any questions in English, Mandarin or Cantonese. They spoke with 24 residents and delivered a copy of the development proposal by hand or mailbox to 78 homes located within 50 m of the subject site or along the local street portion of the truck delivery route to the facility. A summary report of the neighbourhood consultation is attached (Attachment 2). The summary report indicates that the following comments regarding the application were received from the residents. The applicant response is indicated in '*bold italics*'.

- Concern that existing on-site trees and hedges adjacent to 9560 Williams Road are too tall and require trimming. *There is existing on-site hedging located along the west edge of the proposed parking area, adjacent to a single-family lot to the west. Roughly one third of the hedge close to Williams Road is proposed to be removed and replaced with new emerald green cedar hedging. The remaining roughly two-thirds of the on-site hedge will be retained and trimmed for the health and maintenance of the hedge. The owner has entered into a contract with an arborist to ensure the health of all on-site trees and hedges identified for retention. The owner will follow up with the neighbour prior to commencing hedge trimming work.*
- Request to maintain the height of the existing hedge adjacent to 9711 and 9731 Swansea Drive. *The on-site hedge adjacent to the neighbouring properties will be retained and the owners will work with their arborist to ensure its health.*
- Request tree planting along Gower Street frontage at an adequate size to screen building. *Significant tree planting is proposed on-site in a mix of sizes and five of the six existing cherry trees in the Gower Street boulevard will be retained.*
- Request to continue pest control program. *A pest control program is currently in place and will continue to be part of the owner's operating model.*
- Request delivery and landscaping hours be not too early. *Construction and landscaping work activity is required to comply with the City's Noise Regulation Bylaw No. 8856. The owner has agreed to enter into a legal agreement to limit truck activity on Gower Street, including: (i) no more than six trucks per week with maximum 9.1 m truck length and loading activity to occur on-site; (ii) no more than 8 trucks with maximum 10 m truck length and truck turnaround to occur on-site; (iii) limited delivery hours of 8 am to 5 pm Monday through Friday and no deliveries on weekends; and (iv) provision of an on-site loading and turnaround area.*
- Supportive of proposed removal of driveway on Gower Street.
- Supportive of proposal.

Staff Comments

The proposed variances comply with the intent of the applicable sections of the Official Community Plan and the proposal is generally in compliance with the Richmond Zoning Bylaw 8500 with the exception of the requested variances noted below. The proposed siting, architectural and landscape designs are provided in the attached plans.

Zoning Compliance/Variances (staff comments in **bold**)

The applicant requests to vary the following provisions of Richmond Zoning Bylaw 8500:

- 1) Increase the maximum permitted lot coverage from 45% to 48%.

(Staff support the proposed variance as it allows for a needed expansion and renovation to the existing intermediate care facility on an overall site that includes generous outdoor garden area on an adjacent property. The site consists of two separate properties with separate zoning. Lot coverage is required to be calculated against the area of the Williams Road property only and does not include the Gower Street garden property. The coverage would only be 44% if it were able to be considered across the overall facility site area including the garden. The applicant has agreed to register a legal agreement on title to 10060 Gower Street to ensure there is no future development of the site, and retention of the outdoor open space garden with structures for the use of care facility residents.)

- 2) Reduce the minimum side yard setback from 6.0 m to 2.2 m for the west side yard and 4.7 for the east side yard.

(Staff supports the proposed variance as it allows for a needed expansion to an existing intermediate care facility that has been designed to minimize the impact to adjacent homes to west and east through breaking up building massing with height and set back variations.

The existing facility does not comply with the required 6 m side yards (Attachment 3). The two single-storey north wings have an existing 4.6 m setback to the east. The two-storey south wing has an existing east setback of 4.6 m with localized areas of 3.6 m setback and has an existing west setback of 2.2 m to Gower Street at the service area.

The central kitchen and service area in the existing two storey building is required to be retained to meet operational needs of the existing and future facility. The construction will be carefully phased as the existing care facility residents will remain on-site throughout construction.

The proposed facility includes a two-storey improved central portion and new three-storey wings to the north and south of the site. The north wing is designed as far to the west as possible to minimize potential impacts on the neighbouring homes to the east. Along the east edge of the site, the interior side yard would be reduced to a 5.7 m east setback for the north wing, and a 4.7 m east setback for the central portion. The south wing would comply with the required 6 m side and rear yards. The east and south building set back areas are proposed to be treated with 1.8 m height solid wood privacy fencing, shrubs, perennials, ground covers as well as walkways, benches and measures to protect two existing on-site hedges and existing neighbouring trees. No new tree planting is permitted in the sanitary sewer SRWs located east and north of the proposed building.

Along the west edge of the site, a reduced 3.6 m west setback would be provided at the north wing which is adjacent to the facility's Gower Street garden property and Gower Street. The existing reduced 2.2 m west setback would be maintained along Gower Street for the retained kitchen and service area. The south wing would comply with the required 6 m setback to Gower Street.)

- 3) Revise Transportation related requirements to:
- i. Increase the maximum on-site parking reduction with transportation demand management measures from 10% to 13%;
 - ii. Reduce the minimum number of on-site loading spaces from 2 medium size and 1 large size loading spaces to 1 medium size loading space and manoeuvring for an additional medium size truck; and
 - iii. Reduce the minimum number of on-site bicycle parking spaces from 31 to 8 Class 1 spaces and from 31 to 11 Class 2 spaces.

(Staff supports these proposed transportation related variances as they reflect the anticipated demand for this unique use and the proposal includes Transportation Demand Management features. A Transportation Parking and Loading Study prepared by Bunt & Associates Engineering (BC) Ltd. was submitted in support of the proposal and has been reviewed and accepted by Transportation staff. The study addresses the anticipated demand for vehicle parking, bicycle parking, and truck loading for this care facility use.

As a result of the parking study, 58 parking spaces are proposed to be provided on-site. This represents a reduction from the Zoning Bylaw rate of 0.33 spaces per bed to 0.29 spaces per bed, which is consistent with the current parking supply of 0.29 spaces per bed for the existing facility. All parking spaces will be located in the surface parking area accessed from Williams Road for the shared use of visitors and staff. The applicant has agreed to register a legal agreement on title to ensure no parking spaces are assigned.

Transportation Demand Management features associated with the proposal include voluntary contribution of \$25,000 for the installation of a bus shelter in the vicinity of the subject site, 5 scooter parking spaces with 120 volt receptacles for charging, end of trip change room with shower for employees.

The applicant has also agreed to register a legal agreement on title to restrict truck loading locations, size and number of trucks, and loading activity hours of operation.)

Analysis

Flood Construction Level

- The existing kitchen and service area facing Gower Street is proposed to be retained and the new facility built around it. The floor elevation of the existing portion of the building that is being retained is 0.83 m GSC. The proposal has been reviewed and is acceptable to Engineering staff.
- The site is located in Area A which requires a Flood Construction Level for new construction minimum 0.3 m above highest crown of road. The site fronts both Williams Road and Gower Street and the proposed building is set back from Williams Road behind a surface parking area. Engineering staff have reviewed the proposal and confirm that the minimum flood construction level for the new construction is a minimum of 0.3 m above the crown of adjacent Gower Street. The applicant has agreed to register a flood plain covenant on title.

Conditions of Adjacency

- The subject site is adjacent to Williams Road. The proposed building would be set back from Williams Road behind a surface parking area, which is proposed to be screened from Williams Road with landscape buffers including yew hedging, tree planting and retention of existing on-site trees. Proposed screening on the west edge of the parking area includes the retention of the existing on-site trees and hedging along with new cedar hedge planting and solid wood privacy fencing. Proposed screening on the east edge of the parking area includes the planting of five new trees in a landscape buffer and solid wood privacy fencing.
- The subject site is adjacent to Gower Street. The existing garden and the width of Gower Street would provide an adequate separation between the proposed building and the homes to the west.
- The interior side and rear yards of the proposed building would be adjacent to back yards of neighbouring duplexes and single-family homes. The applicant has requested side yard variances as discussed above. The proposed interior side and rear yards would be treated with privacy fencing, landscaping, walkways and hedge retention and protection of existing trees on neighbouring properties. Unfortunately no new trees are permitted to be planted in the sanitary sewer SRW area.

Site Planning, Architectural Form and Character

- The proposed facility includes a retained and improved two-storey central portion and new three-storey wings to the north and south of the site.
- The massing of the proposed building mitigates adjacency to existing homes to the east by breaking up the three-storey height with a lower two-storey central section and breaking up the long façade into north, central and south areas, including an inset courtyard area; adding residential character and visual relief with horizontal siding, sloped roof forms and gable roof dormer bay elements; and using a subdued colour palette. The same architectural design approach is used on all facades, with a simpler south façade.
- The proposed pedestrian and vehicle access to the subject site is from Williams Road. The proposed central pedestrian entry leads through a surface parking area to the building's main entrance. There is an on-site truck loading bay in the surface parking area north of the building and an on-site truck turn around area off Gower Street at the existing kitchen and service area to accommodate limited truck loading activity on Gower Street.

Landscape Design and Open Space Design

- The landscape design includes retention of trees and hedges and the proposed planting of a variety of trees, shrubs, vines, ornamental grasses, perennials and ground cover for visual interest. Benches are proposed throughout the site and bicycle lockers and racks are proposed at the north edge of the proposed building.
- The Williams Road pedestrian entry design includes a bench, trellis and a raised concrete walkway to the main building entry. The parking area will be screened from Williams Road with a yew hedge. The entry and parking area will be treated with the retention of two mature trees, the planting of ten new trees and a variety of shrubs and lower planting.

- The existing Gower Street garden is designed in a circular pattern to encourage walking and proposed walkways connect the garden with the proposed building. The garden is proposed to be retained for the proposed facility and will be secured by a 'no development' legal agreement to be registered on title.
- Additional secure walking path garden areas with seating opportunities are proposed along the entire east and south edges of the building and a portion of the Gower Street edge.
- All outdoor areas for resident use will be secured with tall fencing and gates in compliance with Vancouver Coastal Health licensing requirements.
- Three interior courtyards provide natural light and views for central rooms, and a secure outdoor area adjacent to indoor amenity areas.
- To ensure that retention trees are protected and landscaping is installed as per the permit drawings, the applicant has agreed to provide a landscaping and tree survival security in the amount of \$222,814.74.

Tree Retention and Replacement

The applicant has submitted a Certified Arborist's Report; which identifies on-site and off-site tree species, assesses tree structure and condition, and provides recommendations on tree retention and removal relative to the proposed development. The Report assesses 28 bylaw-sized trees on the subject property, 9 trees on City property, and 13 trees on neighbouring properties.

The City's Tree Preservation Coordinator has reviewed the Arborist's Report and has the following comments:

- Nine trees (tag #286, 287, 310, 311, 331, 332, 333, 334 and 335) located on-site are in suitable condition for retention and not expected to be impacted by any proposed new construction. These trees are to be retained as per City of Richmond Tree Protection Information Bulletin Tree-03 or as per Arborist report recommendations. The two trees (tag #286 and 287) along the Williams Road frontage will require project arborist supervision during construction.
- Three hedge rows (tag# 289, 309 and 314) located on-site are in suitable condition for retention as impacts from proposed construction is expected to be minimal. These trees are to be retained as per City of Richmond Tree Protection Information Bulletin Tree-03 or as per Arborist report recommendations.
- 16 trees (tag #288, 290, 291, 292, 293, 294, 295, 312, 315, 322, 323, 324, 325, 326, 303 and 328) located on-site have been identified as unsuitable for retention. These trees are not good candidates for retention and should be replaced. Four trees (tag# 312, 322, 323 and 328) are in poor structural condition. Nine trees (tag #288, 290, 291, 292, 293, 294, 295, 315 and 326) are in marginal or poor condition with poor structural condition or in poor health and would be in conflict with proposed new construction. Three trees (tag# 324, 325 and 303) are in moderate condition but located within the middle of the proposed building envelope.
- Eight trees (tag# 316, 317, 318, 319, 320, 327, 329 and 330) located off-site along Gower Street on City property are to be protected as per Arborist report recommendations. Parks arborist staff have reviewed these trees and are in agreement.
- One tree (tag# 321) located off-site along Gower Street on City property is in very poor condition due to structural defects, decay and declining health and conflicts with sidewalk

works. As a result, this tree is not a good candidate for retention and should be removed. Parks arborist staff have reviewed the tree and are in agreement. The applicant has agreed to provide a voluntary contribution of \$650 for tree compensation planting elsewhere in the City.

- 13 trees (tag# 296, 297, 298, 299, 300, 301, 302, 304, 305, 306, 307, 308 & 313) located on neighbouring properties are identified to be retained and protected as per City of Richmond Tree Protection Information Bulletin Tree-03 or as per Arborist report recommendations.
- Replacement trees should be specified at 2:1 ratio as per the OCP.

Tree Replacement

The applicant wishes to remove 16 on-site trees (tag #288, 290, 291, 292, 293, 294, 295, 312, 315, 322, 323, 324, 325, 326, 303 and 328). The 2:1 OCP replacement ratio would require a total of 32 replacement trees, which the applicant has agreed to plant. As noted above, a landscaping and tree survival security letter of credit will be provided.

Tree Protection

Off-site, 13 trees on neighbouring properties and 8 trees in the City boulevard are to be retained and protected. The tree management plan included in the Development Variance Permit drawings identifies the trees to be retained and the measures taken to protect them during development stage. To ensure that the trees identified for retention are protected at development stage, the applicant is required to complete the following items:

- Prior to Development Variance Permit issuance, submission to the City of a contract with a Certified Arborist for the supervision of all works conducted within or in close proximity to tree protection zones. The contract must include the scope of work required, the number of proposed monitoring inspections at specified stages of construction, any special measures required to ensure tree protection, and a provision for the arborist to submit a post-construction impact assessment to the City for review.
- Prior to demolition or construction activity on the subject site, installation of tree protection fencing around all trees to be retained. Tree protection fencing must be installed to City standard in accordance with the City's Tree Protection Information Bulletin Tree-03 prior to any works being conducted on-site, and remain in place until construction and landscaping on-site is completed.

Engineering Works

The applicant has agreed to enter into a Servicing Agreement prior to future Building Permit issuance for the design and construction of frontage improvements and engineering infrastructure (Attachment 4). The works include frontage improvements along Williams Road and Gower Street and a water system upgrade through the site. Along Williams Road, new sidewalk and boulevard with street trees are proposed along the site frontage. Along Gower Street, new sidewalk and boulevard with street trees are proposed along the site frontage, connecting to the existing sidewalk at the cul-de-sac and a new sidewalk is proposed beyond the site frontage to Swansea Drive to the south. A new water main is proposed to connect the Williams Road and Gower Street water mains in a new proposed utilities statutory-right-of-way through the site.

Residential Intermediate Care Facility Requirements

Vancouver Coastal Health staff advise that the proposal was reviewed through a thorough evaluation process and is one of the successful projects for new/renovated beds for Vancouver Coastal Health in Richmond. This project aims to replace an aging facility that can no longer meet standards for the delivery of quality residential care. The new facility will meet or exceed standards, is in compliance with Vancouver Coastal Health Design Guidelines and licensing regulations.

The existing facility will be redeveloped, replacing 101 existing beds with 199 new beds of which 176 will be funded through a contract with Vancouver Coastal Health and 23 will be available for the private sector.

Vancouver Coastal Health staff advise that the garden on Gower Street is required for the provision of outdoor space for the residents and all outdoor spaces must be entirely secured with tall fencing and gates for the safety of residents in care, as the majority can suffer from moderate to severe dementia.

Conclusions

The proposal will provide an upgraded intermediate residential care facility with 98 additional beds addressing a need in our community and providing an improved facility for the residents in the existing facility. The variances have been satisfactorily addressed with the treatment of building massing, landscaping and the provision of parking, loading, Transportation Demand Management measures. The applicant has agreed to provide Development Variance Permit considerations and to enter into a Servicing Agreement for frontage improvements and infrastructure upgrades (Attachment 3). On this basis, staff recommend that the Development Variance Permit be endorsed and issued by Council.



Sara Badyal
Planner 2

SB:rg

- Attachment 1: Development Application Data Sheet
- Attachment 2: Neighbourhood consultation summary
- Attachment 3: Existing Facility Ground Floor Plan and Aerial Photo
- Attachment 4: Development Variance Permit Considerations



DV 16-733949

Attachment 1

Address: 9580 Williams Road and 10060 Gower Street

Applicant: MQN Architects

Owner: Fraserview Retirement Community Ltd.

Planning Area(s): Broadmoor

	Existing	Proposed
Site Area	9580 Williams Rd 9,083.3 m ² (10060 Gower St) (795 m ²)	No change
Land Uses	Single-family residential Care Facility, Major Vacant Land (Garden at 10060 Gower St)	Care Facility, Major (Garden maintained at 10060 Gower St)
OCP Designation	Apartment Residential (Neighbourhood Residential at 10060 Gower St)	Complies
Zoning	Health Care (HC) (Single Detached (RS1/E) at 10060 Gower St)	No change Variances to HC zone noted below
Number of Units	1 single-family home 101 bed care facility	199 bed care facility

9580 Williams Road	Bylaw Requirement	Proposed	Variance
Floor Area Ratio (FAR)	Max. 1.0 Max. 0.4 Amenity	1.0 0.24	None permitted
Lot Coverage	Max. 45%	48%	3% increase
Setbacks: Williams Rd Gower St Side Yard (East) Rear Yard (South)	Min. 6 m Min. 6 m Min. 6 m Min. 6 m	50.7 m 2.2 m to 6 m 4.7 m to 6 m 6 m	From 6 m to 2.2 m From 6 m to 4.7 m
Height	Max. 12 m	11.95 m	None
Off-street Parking Spaces	61 with TDMs	58 with TDMS	3 space reduction
Accessible Parking Spaces	2%	2%	None
Small Car Parking Spaces	Max. 50%	47%	None
Tandem Parking Spaces	None permitted	None	None
Loading Spaces	2 Medium SU-9 1 Large WB-17	1 Medium SU-9 & Manoeuvring for SU-9/MSU	Providing 1 SU-9 & SU-9/MSU manoeuvring
Bicycle Parking Class 1 secure Class 2 outdoor	31 31	8 11	23 space reduction 20 space reduction



Fraserview Neighbourhood Consultation

16.11.04

Overview

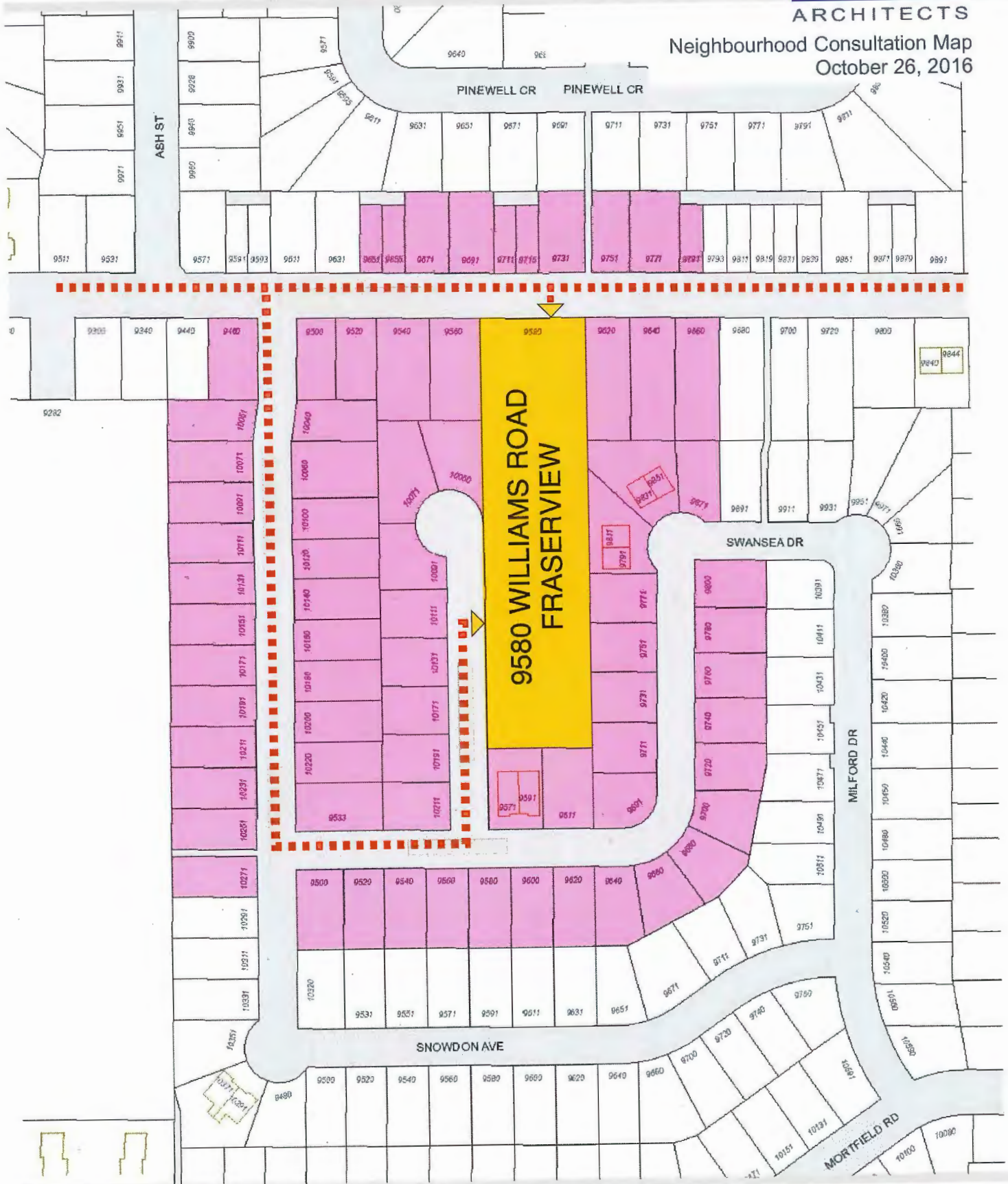
On October 26, 2016 Kevin Svoboda, President, and Sharlene Liang, Administrative Assistant, Fraserview Retirement Community Ltd., walked door to door to all houses within 50 meters of the proposed project. A detailed summary of all houses visited and if there were any comments by owners is provided on the attached schedule.

Sharlene speaks both Mandarin and Cantonese and this was helpful in explaining details of the proposal to a variety of neighbours.

One follow up email was received from Hitoshi Yamamoto (9731 Swansea Drive) the evening of October 26th and it is attached. Sharlene and Dash (10191 Gower Street) bumped into each other on Gower Street on November 1st and Dash asked if it could be mentioned that he is unhappy about garbage trucks making noise at 7 am on most Friday's and driving unprofessional.

All deliveries and private contracted garbage services for the facility are being informed that they are only to deliver between 08:00 and 17:00. The client has contacted the private garbage contractor and conveyed the neighbour's concern about the unprofessional driving.

No other correspondence or phone calls were received by Kevin Svoboda or Roger Green, Architect.



Properties highlighted in pink received consultation packages
Dotted orange line represents delivery routes to property

Fraserview Neighbourhood Consultation - October 26, 2016

House Address	Time	Package Delivered		Comments/Discussion with the home owner
		In Person	Mailbox	
Williams Rd				
9791	9:45am		✓	
9771	9:47am		✓	
9751	9:49am		✓	
9731	9:51am		✓	
				Owner's name: Sunny
9715	9:53am	✓		Family of Fraserview resident , happy with things and looking forward to the new building
9711	9:54am		✓	
9691	9:56am		✓	
9671	9:57am		✓	
9655	9:59am		✓	Spoke over the intercom. Asked to leave information in mailbox
9651	10:00am		✓	
9500	10:01am		✓	
9520	10:02am	✓		After providing an overview of proposal owner joked, please keep a room for me as I am getting older
9540	10:06am		✓	
				Owner's name: Raymond
				Contact: 778-865-3822
				1. Was happy to hear driveway entrance is being moved to other side of property
				2. Complained the trees and the hedge are too tall as they block the second floor view and squirrels and pine needles get on to their property. Would like to see those trees trimmed.
				Note: Will follow up with property owner prior to trimming hedge to confirm height.
9560	10:07am	✓		
9620	10:14am		✓	
9640	10:16am	✓		Thank you. If I have any questions I will contact you
9660	10:18am		✓	
9460	10:23am	✓		Thank you
Severn Dr, W				
10051	10:24am		✓	
10071	10:25am		✓	
10091	10:26am	✓		Owner only speaks mandarin. Sharlene explained about the project and they will contact her if have any questions
10111	10:29am	✓		Thank you, no questions at this point
10131	10:33am	✓		Thank you, will review it
10151	10:34am		✓	
10171	10:35am	✓		Thank you, will review it
10191	10:36am		✓	
10211	10:37am		✓	
10231	10:38am		✓	
10251	10:39am	✓		questions

10271	10:42am	✓		Explained project details and after reviewing the schematics, commented very beautiful facility
Swansea Dr.				
				Owner invited us in the house and we explained project. He was surprised at the amount of soil being trucked away. We reviewed construction plan, timelines and building details. He was happy to see the facility upgrading. He did mention that when the equipment is working he can feel the ground shaking and it makes you realize how fluid the Richmond soil is. He asked if we would be able to mention that the Harvest composting/recycling facility causes a really bad smell in the air around the community and everybody is complaining about it and something needs to be done
9500	10:47am	✓		
9520	10:54am		✓	
9540	10:55am		✓	
9560	10:56am		✓	
				Owner's name: Dharam have no concerns, it is good for the seniors. Good for kitchen access and main entrance access to be separate. This is a good area for a seniors home.
9580	10:58am	✓		
9600	11:05am		✓	
9620	11:06am		✓	
9640	11:07am		✓	
9660	11:08am		✓	
9680	11:09am		✓	
9700	11:10am		✓	
				I like the facility very much. I heard about the expansion and I am happy about it. I appreciate that you, as an owner, inform us door to door making all this effort. When will it be finished as my in laws will need spots in Fraserview.
9720	11:12am	✓		
9740	11:17am	✓		Thank you no questions
9760	11:18am		✓	
9780	11:19am	✓		Thank you will leave it for my parents
9800	11:22am	✓		Thank you, will review it
9871	11:25am		✓	
9851A	11:26am	✓		
9851B	11:26am		✓	
9831A	11:27am		✓	
9831B	11:27am		✓	
9811	11:28am		✓	
9791	11:29am		✓	
9771	11:32am		✓	
9751	11:33am		✓	

				Thank you. Please note Kevin went back at 4:00 pm and met with this property owner Hitoshi as well as Valencia the neighbour from 9711 Swansea. One hour was spent talking about the proposal as well as details of operations, including memory care and activities provided. Main items - Maintain the hedge as high as possible, continue with pest control as not done by previous owner and deliveries and garden work should not be too early (had an issue with a neighbours gardener). If fence is to be replaced Fraserview will cover the cost. Valencia joked about having a gate through the fence so her and her family could enjoy the walkways and garden area. Hitoshi also provided information on a water filter that he could sell to Fraserview.
9731	11:34am	✓		
9711	11:35am		✓	
9691	11:36am		✓	
9611	11:39am		✓	
9591	11:40am		✓	
9571	1:21pm	✓		Thank you, will review it
Gower St.				
10091	1:04pm	✓		Owner only speaks mandarin, will contact sharlene if have any questions about proposal
10111	1:06pm		✓	
10131	1:08pm		✓	
10171	1:10pm		✓	
				Owner's name : Dash Asked about timelines and was happy to hear that preloading was only 6-8 weeks and not months. Was also happy that there was no driveway on Gower as there currently is one on the empty lot. Asked to plant more nice size trees and have more nice landscaping so he does not only see building from his upstairs.
10191	1:12pm	✓		
10211	1:19pm		✓	
Severn Dr. E				
9533	1:23pm		✓	
10220	1:25pm		✓	
10200	1:27pm		✓	
10180	1:28pm		✓	
10160	1:30pm		✓	
10140	1:31pm	✓		questions
				Owner's name : Eliza After explaining project she had the following comments: I support it, it is no nice and so close to our home. I would like to have beds for my in-laws. It is good no residents need to move during construction. Do you have a job in the facility for me as I am a stay at home mom.
10120	1:32pm	✓		
10100	1:38pm		✓	
10080	1:39pm		✓	
10060	1:39pm		✓	
10040	1:40pm		✓	

Summary

Total house visited	78	
Williams:	18	
Severn:	23	
Gower:	6	
Swansea:	31	
Total in person delivery	24	(31% of total house visited)
Total in mailbox delivery	54	(69% of total house visited)
Total Mandarin speaker:	4	(5% of total house visited)

Roger Green

From: Hitoshi Yamamoto <yamayama@shaw.ca>
Sent: Wednesday, October 26, 2016 7:52 PM
To: Kevin Svoboda
Subject: Re: Fraserview Retirement Community

Follow Up Flag: Follow up
Flag Status: Completed

Hi Kevin,

It was please to meet you today at my home.
It will be an exciting 3 years to come.
If any thing I notice, I will inform you.

By the way,
Here are some information about water pipe that I showed you today.

This is our company video.
<https://www.youtube.com/watch?v=5JI2kG8P4to>

This is why we need Hydrogen, please watch the video
<http://www.molecularhydrogenfoundation.org/videos/>

Here are some testimonials
<http://newg7.com/en/>

This is Mindfulness video, Tameshite-Gatten
<https://www.youtube.com/watch?v=nh8jgdtUPYA>

This is Japanese main company's site
<http://crystal-gaia.com/index.php?syohin>

Please contact me for any question.

Best Regards,

Hitoshi Yamamoto

From: Kevin Svoboda
Sent: Wednesday, October 26, 2016 12:06 PM
To: yamayama@shaw.ca
Subject: Re: Fraserview Retirement Community

Hi Hitoshi

I just dropped an information package off at your house and would be available to meet earlier if that works for you as it would help me out.

Please let me know if you are available. If not I will meet you at 4:30.

Regards Kevin

Sent from my iPhone

On Oct 26, 2016, at 10:46 AM, "yamayama@shaw.ca" <yamayama@shaw.ca> wrote:

9731 Swansea drive. Richmond

Thank you

Sent from my BlackBerry® phone powered by Koodo Mobile®.

From: Kevin Svoboda <KSvoboda@kaigo.ca>

Date: Wed, 26 Oct 2016 15:30:04 +0000

To: Hitoshi Yamamoto <yamayama@shaw.ca>

Subject: Re: Fraserview Retirement Community

Hi Hitoshi

I can't seem to find your address. If you could please provide.

I look forward to meeting you this afternoon.

Kevin

Sent from my iPhone

On Oct 25, 2016, at 8:05 PM, Hitoshi Yamamoto <yamayama@shaw.ca> wrote:

I will meet you at 430 pm.

Hitoshi

From: Kevin Svoboda

Sent: Tuesday, October 25, 2016 4:42 PM

To: Hitoshi Yamamoto

Subject: RE: Fraserview Retirement Community

Hi Hitoshi:

4:30 tomorrow afternoon would work. Please confirm your address.

I was hoping to meet individually with the neighbours to spend more personal time answering questions and providing an overview of the project.

Look forward to meeting.

Regards,

Kevin Svoboda
President
Kaigo Senior Living Group
#303-1055 West Broadway
Vancouver, B.C. V6H 1E2
Tel: 604-733-6229 #101

Fax: 604-733-6228

This email may contain confidential or privileged information. If you are not the intended recipient please delete this email and notify us immediately. Thank you.

From: Hitoshi Yamamoto [mailto:yamayama@shaw.ca]
Sent: Tuesday, October 25, 2016 4:32 PM
To: Kevin Svoboda <KSvoboda@kaigo.ca>
Subject: Re: Fraserview Retirement Community

Hi Kevin,

Did you invite neighbours? I think we should all get together in one area to talk instead of individually.

I don't know neighbour's schedules.

I can be home around 4 30 pm tomorrow unless I get emergency call.

Thank you

Hitoshi

From: Kevin Svoboda
Sent: Tuesday, October 25, 2016 3:54 PM
To: HITOSHI YAMAMOTO
Subject: RE: Fraserview Retirement Community

Hello Hitoshi:

I know it is short notice but tomorrow I will be in the area and hope to meet the neighbours to provide some information about the project. Please let me know if there is a good time I could come by your house.

Regards,

Kevin Svoboda
President
Kaigo Senior Living Group
#303-1055 West Broadway
Vancouver, B.C. V6H 1E2
Tel: 604-733-6229 #101
Fax: 604-733-6228

This email may contain confidential or privileged information. If you are not the intended recipient please delete this email and notify us immediately. Thank you.

From: HITOSHI YAMAMOTO [mailto:yamayama@shaw.ca]
Sent: Friday, September 09, 2016 1:15 PM
To: Kevin Svoboda <KSvoboda@kaigo.ca>
Subject: Re: Fraserview Retirement Community

Hi Kevin,
Thank you for your reply.
I forwarded your answers to my both side of neighbors.
I will wait their responses and talk to them.

I am looking forward to meet you soon.

Thank you

Hitoshi Yamamoto

From: "Kevin Svoboda" <KSvoboda@kaigo.ca>
To: "Hitoshi Yamamoto" <yamayama@shaw.ca>
Cc: "Lawrence Chiu" <Lawrence.Chiu@wspgroup.com>, "Steven Case" <Steven.Case@wspgroup.com>, RGreen@mqn.ca, SBadyal@richmond.ca
Sent: Friday, September 9, 2016 11:00:48 AM
Subject: RE: Fraserview Retirement Community

Hi Hitoshi:

Thank you for your questions. Please see answers below.

Also to share that in the next couple weeks I plan to walk the area to try and meet with the neighbour's to review the plans and answer any questions. If you like I can email you when I know the date so we could meet and review the items?

Regards,

Kevin Svoboda
President
Kaigo Senior Living Group
#303-1055 West Broadway
Vancouver, B.C. V6H 1E2
Tel: 604-733-6229 #101
Fax: 604-733-6228

This email may contain confidential or privileged information. If you are not the intended recipient please delete this email and notify us immediately. Thank you.

From: Hitoshi Yamamoto [mailto:yamayama@shaw.ca]
Sent: Sunday, September 04, 2016 9:04 AM
To: Kevin Svoboda <KSvoboda@kaigo.ca>
Cc: Lawrence.Chiu@wspgroup.com; Steven.Case@wspgroup.com; RGreen@mqn.ca; SBadyal@richmond.ca
Subject: Re: Fraserview Retirement Community

Hi Kevin,

We had a couple of gentlemen from WSP to assess my house and property. They took many pictures for evidences before construction begins. I would like to have those pictures with explanations for my record. I asked a few questions to them but they are not in position to answer me.

- if I ask a copy of those reports, who is going to pay for it? I would be happy to provide a copy of the section of the report that outlines your property. I would cover the cost.

- if I find new cracks or existing cracks get bigger, wider, longer than original on walls, that is not difficult to repair,

but why cracks get bigger or so, because the house foundation is shifting, who will fix this shifting foundation, how? This is difficult to answer without knowing details of any possible pre-existing condition and construction quality. I have retained engineers to plan, oversee, and assess construction throughout the building process to mitigate any potential damage. Now I can say that if there was something that was clearly due to the contractors actions I would repair the damage.

- when you dig your side deep for new building foundation close to the fence, you are cutting off Roots of trees which may lead to killing of trees

how can you prevent this? On the south lot there is a 6 meter setback. An Arborist has also been retained and will oversee the process.

Your previous answer regarding trees said "in bad shape" but I don't see any bad shape trees from my yard. Did arborist come to my yard to exam? Sorry for the confusion I was referring to some trees that are on my vacant lot. The Arborist did not enter your yard.

Thank you

Hitoshi Yamamoto

From: Kevin Svoboda

Sent: Wednesday, August 31, 2016 10:26 AM

To: yamayama@shaw.ca

Cc: Lawrence.Chiu@wspgroup.com ; mailto:Steven.Case@wspgroup.com ;

mailto:RGreen@mqn.ca ; mailto:SBadyal@richmond.ca

Subject: Fraserview Retirement Community

Hello Mr. Yamamoto:

I am the owner of Fraserview and was forwarded your email that was sent to Lawrence at WSP. Below, please find answers to your questions:

-what kind of heavy machineries to be used for this project? - An excavator, bulldozer and compactor will be used during construction.

-are you piling spikes to ground for postings? - No this is not anticipated.

-how many story is this new building? - A mix of 2 and 3 stories

-how close new building to the fence? - The new building is 4.7m to 6m away from the east property line.

-are you going to cut trees between your property and my backyard? - We are still finalizing details of the arborist report but the hedge that is along the East property line is in bad shape and may need to be removed. If this is the case a new hedge will be planted.

-any commercial kitchen is in new building? - The existing kitchen will be upgraded and retained at the original location along Gower St.

-any kitchen exhaust fan? - Yes, a new exhaust fan will be installed.

-any odour control is used, (UV system?) - This is not necessary as we don't have heavy effluent as we do not have a deep fryer or char broiler. All cooking is done in pots, the oven or steamer.

-any rodents control applied? - **Yes. We have a contract with PCO for pest control and this will be maintained during and after construction.**

Thank you for contacting us and should you have any further questions please do not hesitate contacting me.

Regards,

Kevin Svoboda
President
Kaigo Senior Living Group
#303-1055 West Broadway
Vancouver, B.C. V6H 1E2
Tel: 604-733-6229 #101
Fax: 604-733-6228

This email may contain confidential or privileged information. If you are not the intended recipient please delete this email and notify us immediately. Thank you.

Fraserview

Retirement Community Ltd.

Fraserview has been an integral part of the Richmond community for 45 years, providing complex care to 101 residents in private and semi-private furnished rooms. Over these 45 years the facility has grown and changed with the needs of its residents however the existing building is no longer capable of meeting the demand and client needs. In order to continue providing care in Richmond, Fraserview is proposed to undergo an exciting redevelopment.

Over the next three years a new two/three-storey residence is proposed to be constructed on site to replace the current aging facility. This proposed redevelopment will be done in stages to ensure that residents are not displaced. When complete, the new facility will be equipped to care for 199 residents with 176 government-subsidized complex care beds to meet the community's growing needs.

The new Fraserview facility will provide a higher standard of living for residents including the following complex care services:

- 24-hour professional staff supervision
- Medical coordinator
- Dietician
- Recreation therapist
- Occupational therapist
- Physical therapist
- Social worker
- Music / art therapist
- Dementia / memory care specialist

So what does this all mean to you?

As neighbours of this proposed redevelopment project you are likely curious as to how this project will affect your neighbourhood. To enable this project to proceed a Development Variance Permit is required to request a reduction to the Gower Street and east setbacks and parking requirements (refer to City of Richmond DV 16-733949) which are further described on the following pages. Attached to this letter are a set of drawings showing the proposed new facility.

In preparation for construction the project has engaged a company to video-analyze the adjacent city pipes. A second company has been engaged to conduct a pre-construction building assessment of adjacent properties and has contacted neighbours and is finalizing their report. The property currently has a number of trees on it, a certified arborist has been engaged to assess the condition of the existing trees. Should you like a copy of the arborist report and pre-construction building assessment please contact the owner.



Fraserview
Retirement Community Ltd.

MQN
ARCHITECTS

Fraserview

Retirement Community Ltd.

The site is currently Zoned Health Care (HC). The proposed facility will conform to the requirements as set out in Richmond's Zoning & Development Bylaw 8500 except for the Variances outlined below. The facility is classified as a Community Care Facility, Major.

This project is applying for the following variances to achieve the Vancouver Coastal Health Authority's design guidelines:

1. **Lot Coverage:** The zoning for this project allows for 45% maximum lot coverage. Currently the facility design is at 47.8%. We are proposing to mitigate this 2.8% overage on site coverage by incorporating permeable surfaces. Although coverage exceeds the maximum, this facility also utilizes 10060 Gower Street as gardens for the residents. 10060 Gower is not included in the lot coverage calculation as it is zoned differently, however it is required for the operation and includes an additional 795m² of outdoor area. If the area of 10060 Gower was included the lot coverage would be 44.0%.
2. **Setbacks:** The zoning requires minimum front, side and rear yard's = 6.0m
 - i) **North Building (Houses A & B) – West setback (House A)** - The existing House A has a West setback = 5.99m. The new proposed House A has a West setback = 3.6m. The west setback has been reduced to enable an increase in the east setback from the existing 4.6m to 5.7m. This reduction in setback is required because the New VCH Design Guidelines require larger resident rooms than what currently exist in the demolished Existing House A. We would point out that a large portion of this House A fronts onto the existing outdoor garden located on the adjacent lot which is also owned by Fraserview Retirement Community Ltd. This garden has been in existence for many years and is the primary outdoor amenity space for the entire facility.
 - ii) **Centre Building (House C) – East setback** - The existing House C has an East setback ranging from 3.5m to 4.7m. The new proposed House C has an East setback = 4.7m. The new East setback is an improved condition. The height of the proposed House C is 2 stories which is consistent with the existing.
West setback - The existing House C has a West setback = 2.2m. The setback remains the same as this portion of the existing building is being incorporated into the new facility.



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Retirement Community Ltd.

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Fraserview

Retirement Community Ltd.

Project Information

Development Variance Permit Application - DV 16-733949

Development Address - 9580 & 9600 Williams Rd, 10060 & 10140 Gower St, Richmond, BC
(Addresses may change through combining of lots)

Applicant: MQN Architects

Should you have any questions or comments please feel free to contact Architect Roger Green (250) 542-1199 or the Owner Representative Kevin Svoboda (604) 733-6229.

Architect:

Roger Green
MQN Architects
(250)542-1199
rgreen@mqn.ca

Owner:

Kevin Svoboda
Fraserview Retirement Community Ltd.
(604)733-6229
ksvoboda@kaigo.ca

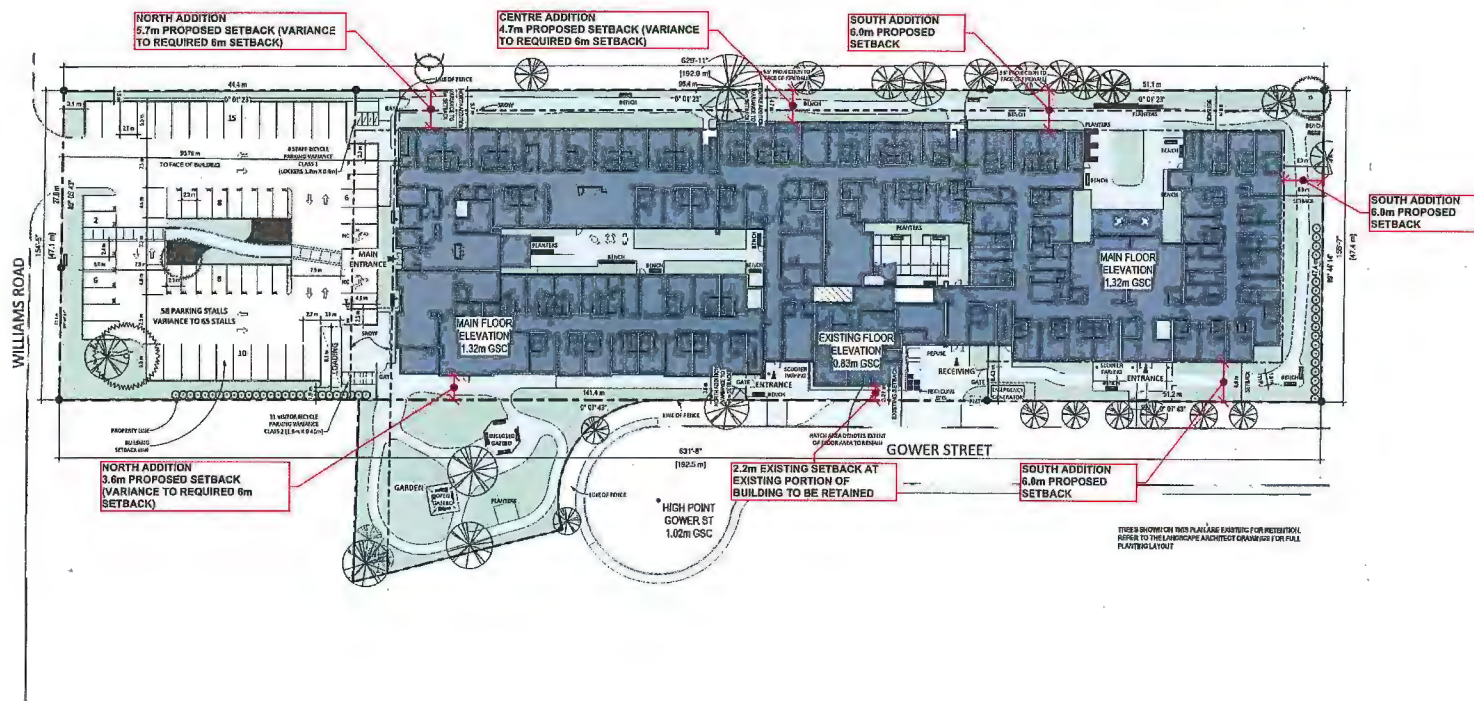
City of Richmond Planning Department:

Sara Badyal - Planner 2
Development Applications Department
City of Richmond
(604)276-4282
sbadyal@richmond.ca

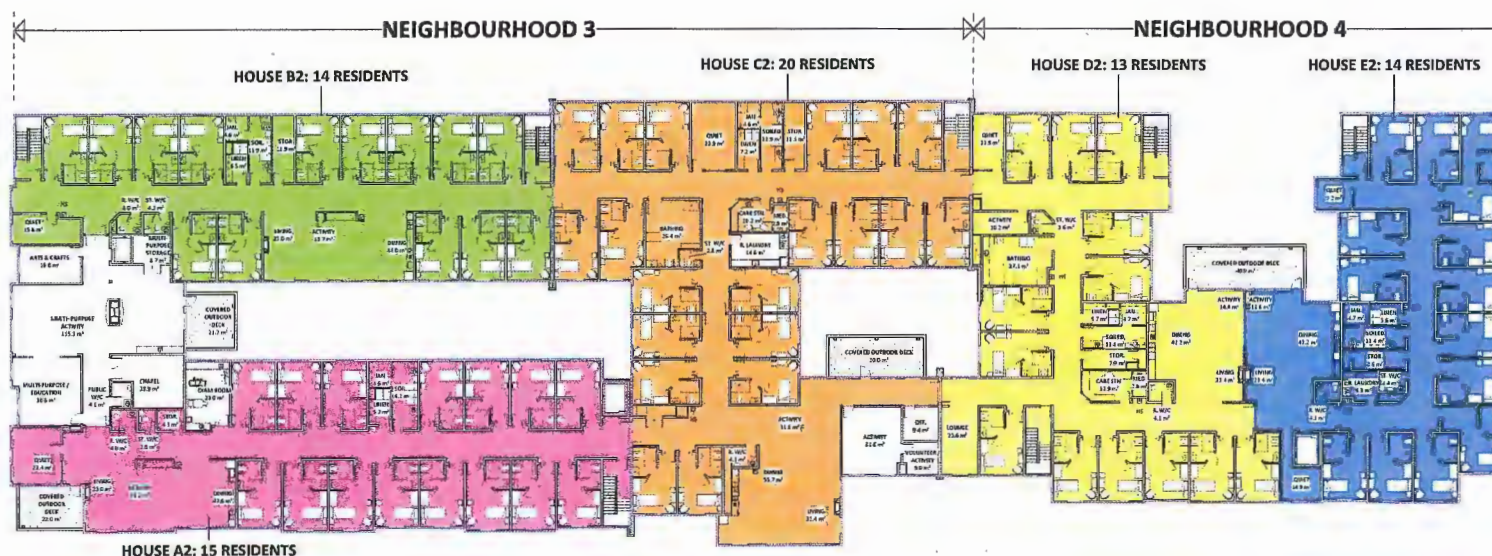


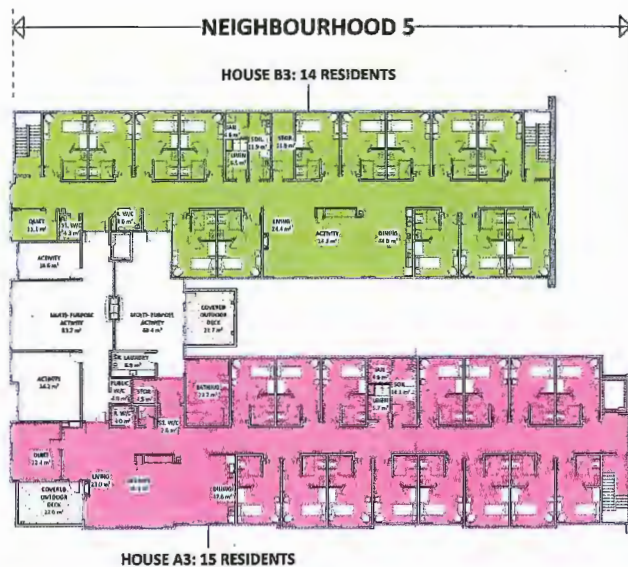
Fraserview
Retirement Community Ltd.

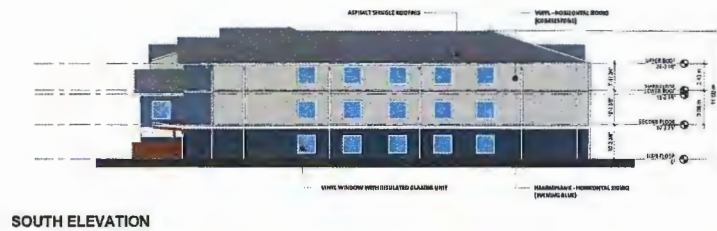
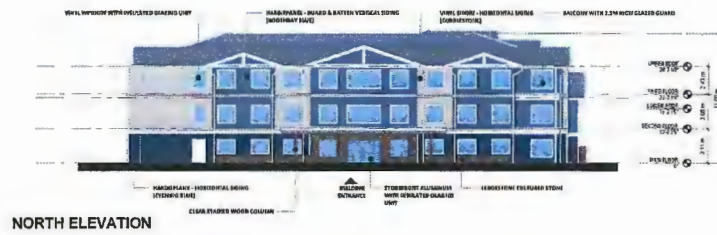
MQN
ARCHITECTS











NOTE: MAIN FLOOR ELEVATION 0.00m = 1.32m GSC
THE HIGH POINT OF GOWER STREET = 1.02m GSC





PERSPECTIVE - NORTHWEST VIEW - MAIN ENTRY



PERSPECTIVE - SOUTHWEST VIEW - HOUSES D&E



PERSPECTIVE - TYPICAL HOUSE LIVING / DINING / ACTIVITY AREA

MON
ARCHITECTS

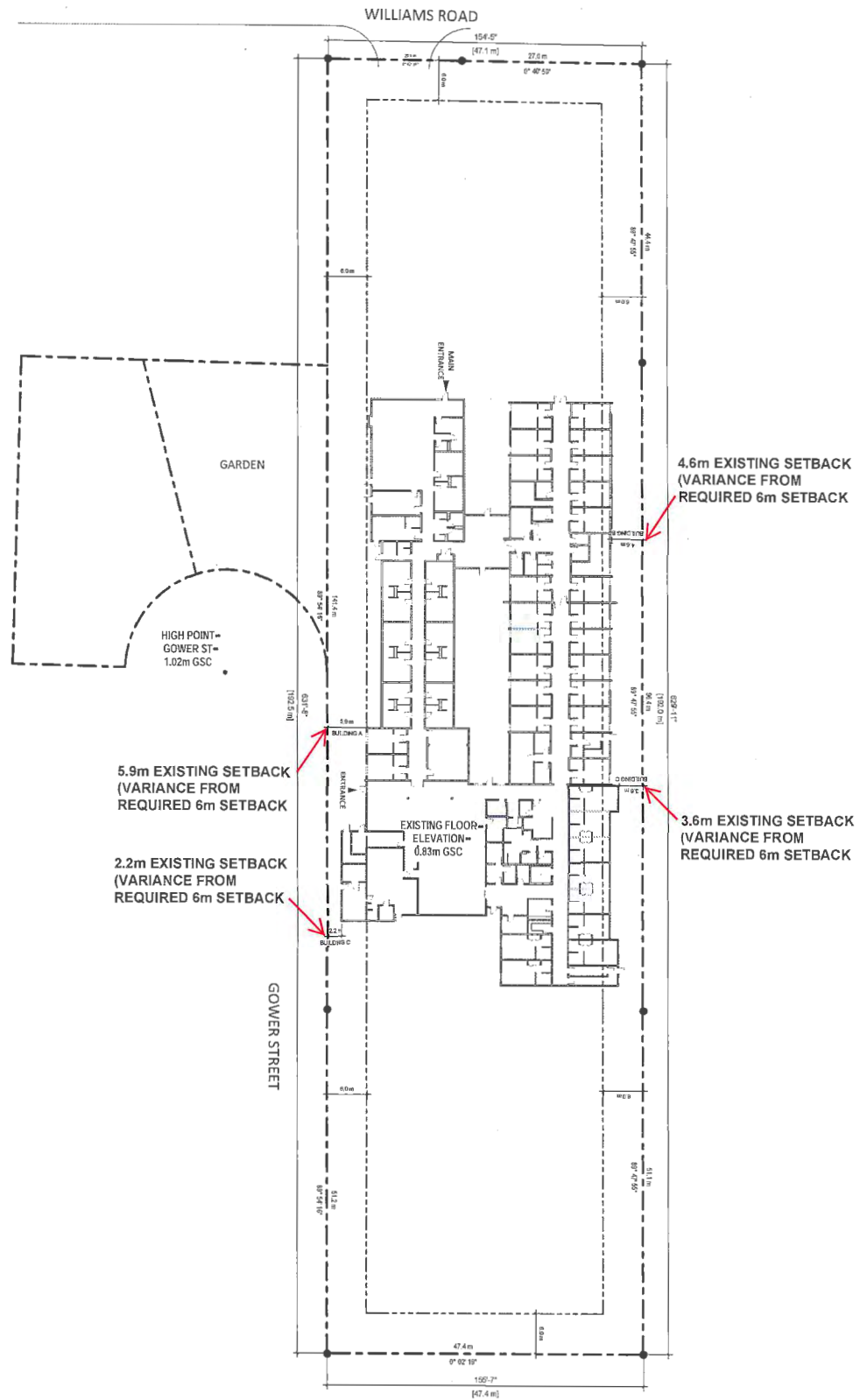
PERSPECTIVE VIEWS

11002 PERS VIEW
11/20/2022 W/ 11/15/2022 REV

KAIGO

DRAWING	11
PROJECT	11875
DATE	05/11/2022
BY	11/8

EXISTING FACILITY
GROUND FLOOR PLAN



EXISTING FACILITY
AERIAL PHOTO



IMCON
ARCHITECTS

SITE PLAN - EXISTING FACILITY

KATO - FRASER
ROMEO TRIM COLLEGE

KAIGO

DRAWING
PROJECT
DATE
SCALE
14874
2018/04/20
NTS



Address: 9580 Williams Road and 10060 Gower Street

File No.: DV 16-733949

Prior to final approval of the Development Variance Permit, the developer is required to complete the following:

1. Registration of a flood plain covenant on title (Area A with Flood Construction Level for new construction minimum 0.3 m above highest crown of Gower Street as per Director of Engineering).
2. Registration of a legal agreement on title to 10060 Gower Street to prohibit future development and to ensure the provision of the outdoor open space garden with structures for the use of care facility residents.
3. Registration of a legal agreement on title to restrict truck access to and egress from the site to/from Gower Street to:
(i) a maximum of 6 Single Unit (SU9) or smaller trucks per week with maximum 9.1 m truck length and loading activity to occur on-site; (ii) a maximum of 8 Medium Single Unit (MSU) or smaller trucks with maximum 10 m truck length and truck turnaround to occur on-site; (iii) limited loading hours of 8am to 5pm Monday through Friday only, no weekend deliveries; and (iv) specified on-site loading and turnaround area free and clear of any obstructions.
4. Registration of a legal agreement on title to prohibit parking space assignment.
5. Submission of a Contract entered into between the applicant and a Certified Arborist for supervision of any on-site works conducted within the tree protection zone of the 9 on-site trees and 3 on-site hedges to be retained, 8 off-site trees in the Gower Street City boulevard to be protected, and 13 trees on neighbouring residential properties to be protected. The Contract should include the scope of work to be undertaken, including: the proposed number of site monitoring inspections (no less than 4), and a provision for the Arborist to submit a post-construction assessment report to the City for review. Tree protection fencing is to be installed on-site prior to any construction activities occurring on-site.
6. City acceptance of the developer's offer to voluntarily contribute \$650.00 to the City's Tree Compensation Fund for the planting of replacement trees within the City in compensation for the removal of one cherry tree from the City's Gower Street boulevard.
7. City acceptance of the developer's offer to voluntarily contribute \$25,000.00 towards a bus shelter near the vicinity of the site on Williams Road.
8. Receipt of a Letter of Credit for landscaping and tree survival in the amount of \$222,814.74. Letter-of-Credit will not be released until the Letter of Assurance from the Landscape Architect confirming that landscaping has been installed as per Development Variance Permit, as well as the Post Construction Impact Assessment Report from the Arborist; confirming that the protected trees survived the construction, are reviewed by staff.

Prior to Building Permit Issuance, the developer must complete the following requirements:

1. Incorporation of the following measures in Building Permit (BP) plans as determined via development design and legal agreements via the Development Variance Permit process: vehicle and bicycle parking; truck loading and manoeuvring; 5 dedicated scooter parking spaces with electrical outlets for charging; and end of trip washrooms with showers for male and female employees.
2. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
3. If applicable, payment of latecomer agreement charges associated with eligible latecomer works.
4. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

5. Enter into a Servicing Agreement* for the design and construction of engineering infrastructure improvements and grant any statutory public rights of passage and utilities rights-of-way to accommodate the works as needed. Works include, but may not be limited to, the following frontage improvements and servicing upgrades:
- a. Road Works:
 - i. Williams Road: provide minimum 1.5 m wide grass boulevard with street trees behind barrier curb; provide 1.5 m wide concrete sidewalk at property line with transitions tying into existing sidewalk east and west of the development site; meander sidewalk onsite to avoid conflict with existing hydro pole if the pole cannot be relocated; and provide bike lane green bike paint and stencil at drive way crossing.
 - ii. Gower Street: provide 1.5 m wide concrete sidewalk behind barrier curb tying into existing sidewalk at the cul-de-sac and Swansea Drive to the south of the development site; provide grass boulevard with street trees between sidewalk and property line; and meander sidewalk onsite to avoid conflict with tree protection zone of the 5 cherry trees to be retained in the Gower Street boulevard.
 - iii. Granting of statutory public rights of passage and utilities rights-of-way (PROP and utilities SRW) for the purposes of City sidewalk and City utilities meandering onto the development site along the Williams Road and Gower Street property lines. The works are to be built by the developer and are to be maintained by the City. A functional plan based on survey is required to the satisfaction of the City to confirm new sidewalk/SRW alignment along Williams Road and Gower Street.
 - b. Water Works:

Using the OCP Model, there is currently 86 L/s of water available at 20 psi residual at the hydrant on Gower Street and 652 L/s of water available at 20 psi residual at the Williams Road frontage. Based on the proposed development, the site requires a minimum fire flow of 250 L/s.

 - i. The Developer is required to:
 - Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm the development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage and Building designs.
 - Install approximately 110m of 200mm watermain connecting Gower Street and Williams Road watermain to satisfy fire flow requirements at the Gower Street frontage.
 - Grant a 6.0 m wide statutory utilities rights-of-way (utilities SRW) through the development site to accommodate the new required watermain.
 - Connect all on-site fire hydrants necessary to meet Fire Department requirements internally to the sites water service connection. On-site fire hydrants shall not connect directly to City watermain.
 - ii. At the Developer's cost, the City will:
 - Cut and cap at main, the existing water service connections to lots 9580 and 9600 Williams Road.
 - Install a single new water service connection off of the existing 300mm PVC watermain on Williams Road. Meter to be placed onsite (i.e. mechanical room). Alternatively, the proposed water service may be installed off of the proposed watermain to be located within the proposed SRW parallel to Gower Street if that helps with phasing.
 - Perform all tie-ins of proposed works to existing City infrastructure.
 - c. Storm Sewer Works:
 - i. The Developer is required to:
 - Direct all onsite drainage to the Williams Road frontage to be picked up by the newly installed service connection. Alternatively, connection to the sewer system on Gower Street may be permitted; however, upgrades to the system downstream, to be determined via a capacity analysis by the developer, may be required beyond the site's frontage.
 - ii. At the Developer's cost, the City will:
 - Install a new storm service connection complete with inspection chamber at the Williams Road frontage.
 - Cut and cap all existing storm service connections to the development site and remove inspection chambers STIC48840 at the Williams Road frontage, STIC52931 and STIC38532 at the Gower Street frontage.

- If required, re-connect storm service connections of all affected lots to the newly upgraded storm sewer.
- d. Sanitary Sewer Works:
 - i. The Developer is required to:
 - Video inspect the existing sanitary sewer along the entire east property line of the development site and the sewer running within the site to confirm the condition both prior to and post preload and soil densification works. Any portions of the sanitary sewer impacted by the pre-load, soil densification, or other site preparations shall be replaced at the developer's cost.
 - ii. At the Developer's cost, the City will:
 - Cut and cap all existing sanitary service connections to the development site and remove inspection chambers SIC16502, SIC2942 and SIC16478.
 - Install three new sanitary service leads, complete with inspection chambers, to service the development site throughout the three phases. Provided that hydraulic requirements are met, the existing manholes may serve as inspection chambers, re-benched as needed.
- e. Third Party Utilities Works:
 - i. The Developer is required to:
 - Coordinate with BC Hydro, Telus, and other private communication providers when modifying or relocating poles, anchors, or overhead lines along the developments frontage.
 - Relocate the existing BC Hydro kiosk on the Gower Street frontage to the ultimate location on-site as required to facilitate installation of the proposed frontage upgrades (sidewalk, boulevard, etc.). The developer should coordinate with BC Hydro early to identify a location within the development site if relocation is necessary. Any relocation works to be at the developer's cost.
 - Locate all above ground utility cabinets and kiosks required to service the proposed development within the developments site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be provided for design review. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the right of ways dimensions and the locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be submitted to the City. The following are examples of SRWs that shall be shown in the functional plan and registered prior to SA design approval:

BC Hydro PMT	4 m x 5 m	(width x depth)
BC Hydro LPT	3.5 m x 3.5 m	(width x depth)
Street light kiosk	1.5 m x 1.5 m	(width x depth)
Traffic signal kiosk	1 m x 1 m	(width x depth)
Traffic signal UPS	2 m x 1.5 m	(width x depth)
Shaw cable kiosk	1 m x 1 m	(width x depth) – show possible location in functional plan
Telus FDH cabinet	1.1 m x 1 m	(width x depth) – show possible location in functional plan
- f. General Items:
 - i. The Developer is required to:
 - Provide, prior to pre-load installation, a geotechnical assessment of preload and soil preparation impacts on the existing utilities fronting or within the development site (e.g., existing sanitary main to the east and within the site, watermain to the west of the site), proposed utility installations, the existing houses surrounding the site, and provide mitigation recommendations. The mitigation recommendations shall be incorporated into the first SA design submission or if necessary to be implemented prior to pre-load.
 - Enter into, if required, additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.



City of Richmond

Development Variance Permit

No. DV 16-733949

To the Holder: MQN ARCHITECTS

Property Address: 9580 WILLIAMS ROAD AND 10060 GOWER STREET

Address: ROGER GREEN
MQN ARCHITECTS
3313 32ND AVENUE, UNIT 100
VERNON, BC V1T 2M7

1. This Development Variance Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied by this Permit.
2. This Development Variance Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied as follows:
 - a) Increase the maximum permitted lot coverage from 45% to 48%.
 - b) Reduce the minimum side yard setback from 6.0 m to 2.2 m for the west side yard and 4.7 for the east side yard.
 - c) Revise Transportation related requirements to:
 - i. Increase the maximum on-site parking reduction with transportation demand management measures from 10% to 13%;
 - ii. Reduce the minimum number of on-site loading spaces from 2 medium size and 1 large size loading spaces to 1 medium size loading space and manoeuvring for an additional medium size truck; and
 - iii. Reduce the minimum number of on-site bicycle parking spaces from 31 to 8 Class 1 spaces and from 31 to 11 Class 2 spaces.
 - d) The dimension and siting of buildings and structures on the land shall be as shown on Plans #1 to 11 attached hereto.
 - e) The siting of off-street parking and loading facilities shall be as shown on Plan #2 attached hereto.
4. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

Development Variance Permit

No. DV 16-733949

To the Holder: MQN ARCHITECTS

Property Address: 9580 WILLIAMS ROAD AND 10060 GOWER STREET

Address: ROGER GREEN
MQN ARCHITECTS
3313 32ND AVENUE, UNIT 100
VERNON, BC V1T 2M7

5. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

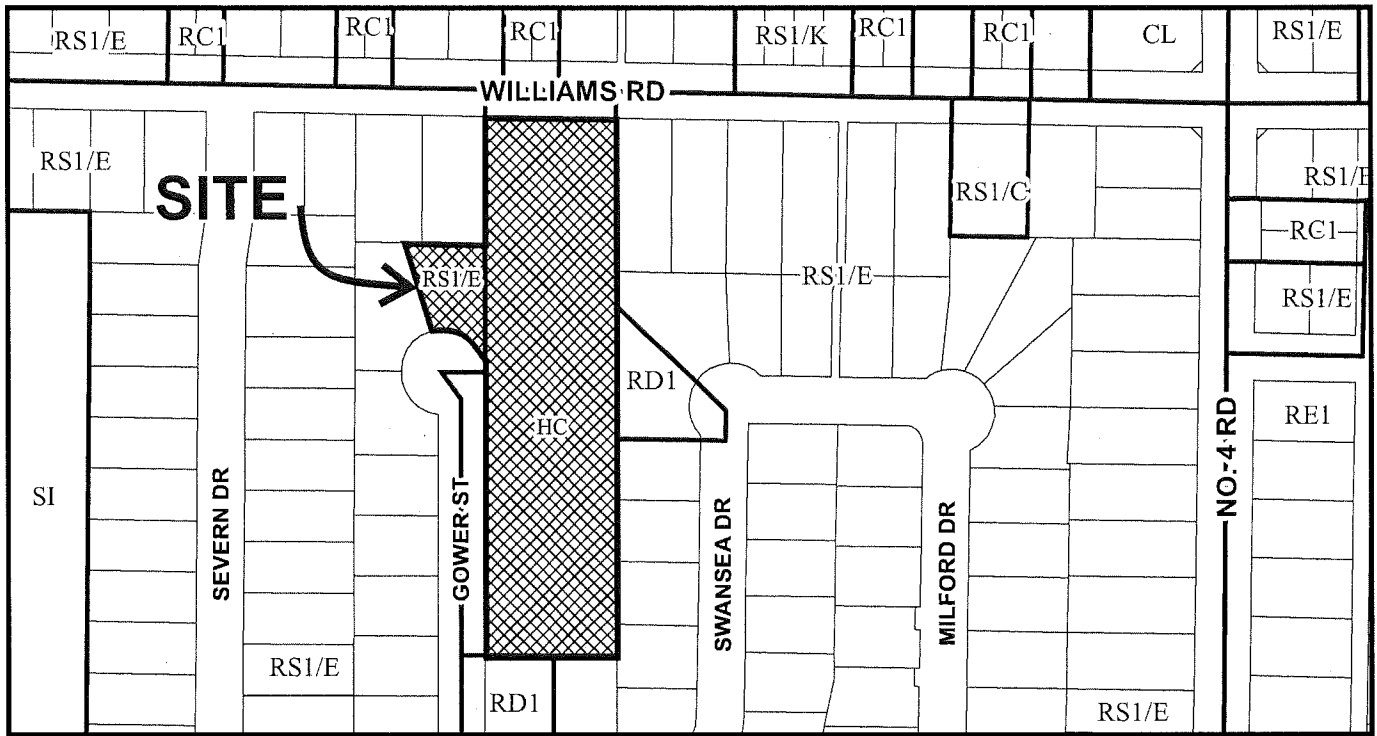
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond

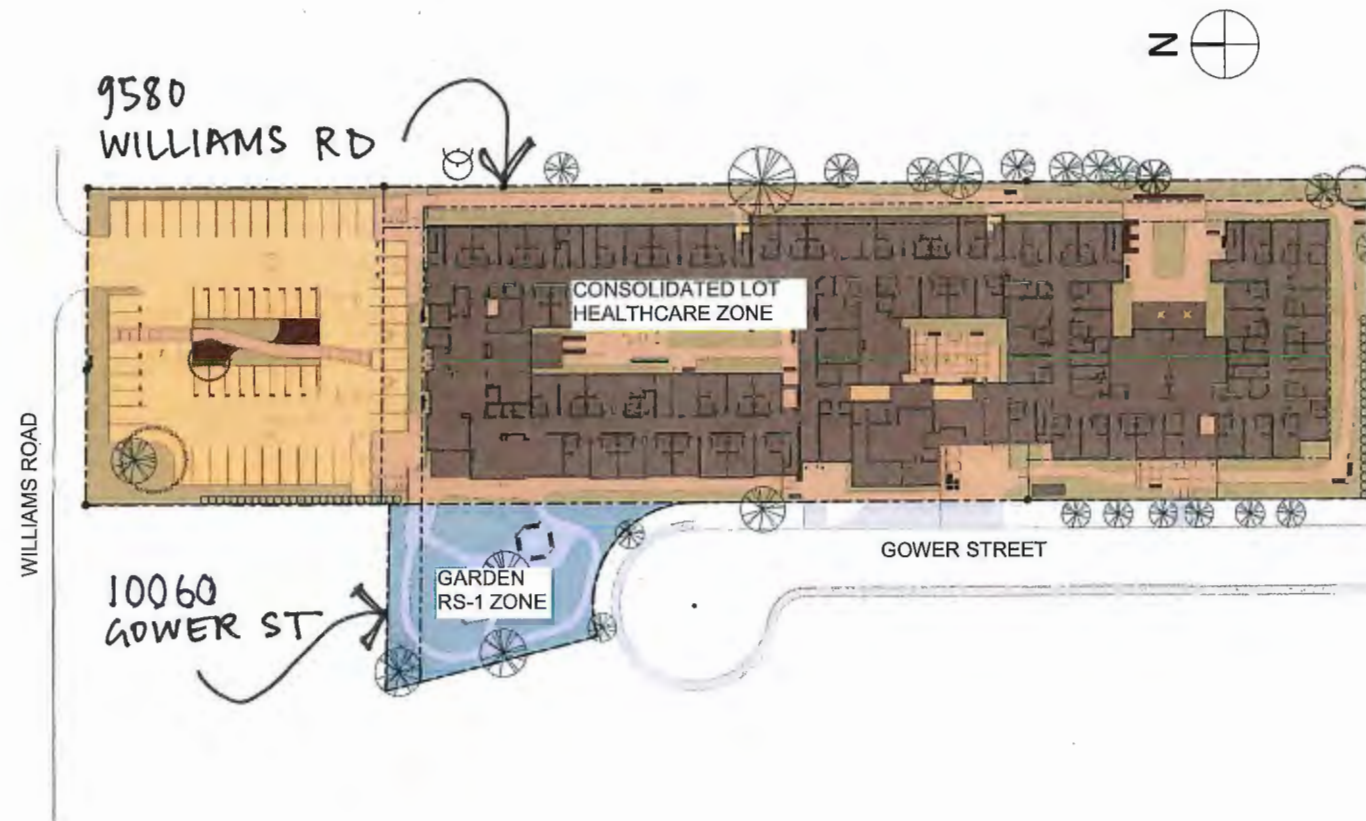


DV 16-733949
SCHEDULE "A"

Original Date: 06/20/16

Revision Date: 11/21/16

Note: Dimensions are in METRES



Notes:

- Variances included to:
 - Increase the maximum permitted lot coverage from 45% to 47.8% (Zoning Bylaw Section 13.4.5).
 - Reduce the minimum side yard setback from 6.0-m to a range of 2.2 m to 6.0 m (Zoning Bylaw Section 13.4.6).
 - Increase the maximum on-site parking reduction from 10% to 13% (Zoning Bylaw Section 7.4.4).
 - Reduce the minimum number of on-site loading spaces from 2 medium size and 1 large size loading spaces to 1 medium size loading space and manoeuvring for an additional medium size truck (Zoning Bylaw Section 7.13.6).
 - Reduce the minimum number of on-site bicycle parking spaces from 31 to 8 Class 1 spaces and from 31 to 11 Class 2 spaces (Zoning Bylaw Section 7.14.9).
- Existing tree and hedge protection as per Tree Management DV Plan. 9 trees and 3 hedges required to be protected on-site. 8 trees in Gower Street boulevard to be protected off-site. 13 trees on neighbouring properties to south and east required to be protected on-site. Tree protective fencing and contract for Certified Arborist supervision required.
- Flood Construction Level for new construction minimum 0.3 m above highest crown of Gower Street via legal agreement.
- Existing garden at 10140 Gower Street required to be retained for care facility outdoor open space via legal agreement.
- Truck access and egress to the site from Gower Street restricted via legal agreement to:
 - (i) maximum 6 Single Unit (SU9) or smaller trucks per week and loading activity to occur on-site;
 - (ii) maximum 8 Medium Single Unit (MSU) or smaller trucks and truck turnaround to occur on-site;
 - (iii) limited loading hours of 8am to 5pm Monday through Friday; and
 - (iv) specified on-site loading and turnaround area free and clear of any obstructions.
- Assignment of parking spaces is prohibited via legal agreement.
- 2 accessible parking spaces required.
- End of trip washrooms with showers for male and female employees required.
- Retaining walls are not permitted in right-of-way areas or tree protection zones without prior written approval from the City.
- Off-site works via separate required Servicing Agreement for frontage, water system and service connection work.

PROJECT STATISTICS

ADDRESS

9580 WILLIAMS ROAD, RICHMOND, BC
P.I.D. 008-115-320, LOT 1, PLAN 75272, SEC 34-4-6

ZONING

ZONE HC

PROPOSED USE: COMMUNITY CARE FACILITY, MAJOR

ALLOWABLE USE: HEALTH SERVICE (MAJOR/MINOR), CONGREGATE HOUSING, COMMUNITY CARE FACILITY, MAJOR

ITEM	REQUIRED	PROVIDED
HEIGHT	12.0 m (MAX)	11.6 m [4/12 PITCH]
LOT AREA (GROSS)	/	9,083.3 m ²
LOT AREA (NET)	/	9,083.3 m ²
FLOOR AREA RATIO	1.00 (MAX)	0.99
BUILDING SITE COVERAGE	45.0% (MAX)	47.8%*

1. SETBACKS

FRONT YARD (NORTH)	6.0 m	50.9 m
SIDE YARD (EAST) a) NORTH ADDITION	6.0 m	5.7 m*
- b) CENTRE ADDITION	6.0 m	4.7 m*
- c) SOUTH ADDITION	6.0 m	6.0 m
SIDE YARD (WEST) a) NORTH ADDITION	6.0 m	3.6 m*
- b) EXISTING CENTRE	6.0 m	2.2 m
- c) SOUTH ADDITION	6.0 m	6.0 m
REAR YARD (SOUTH)	6.0 m	6.3 m

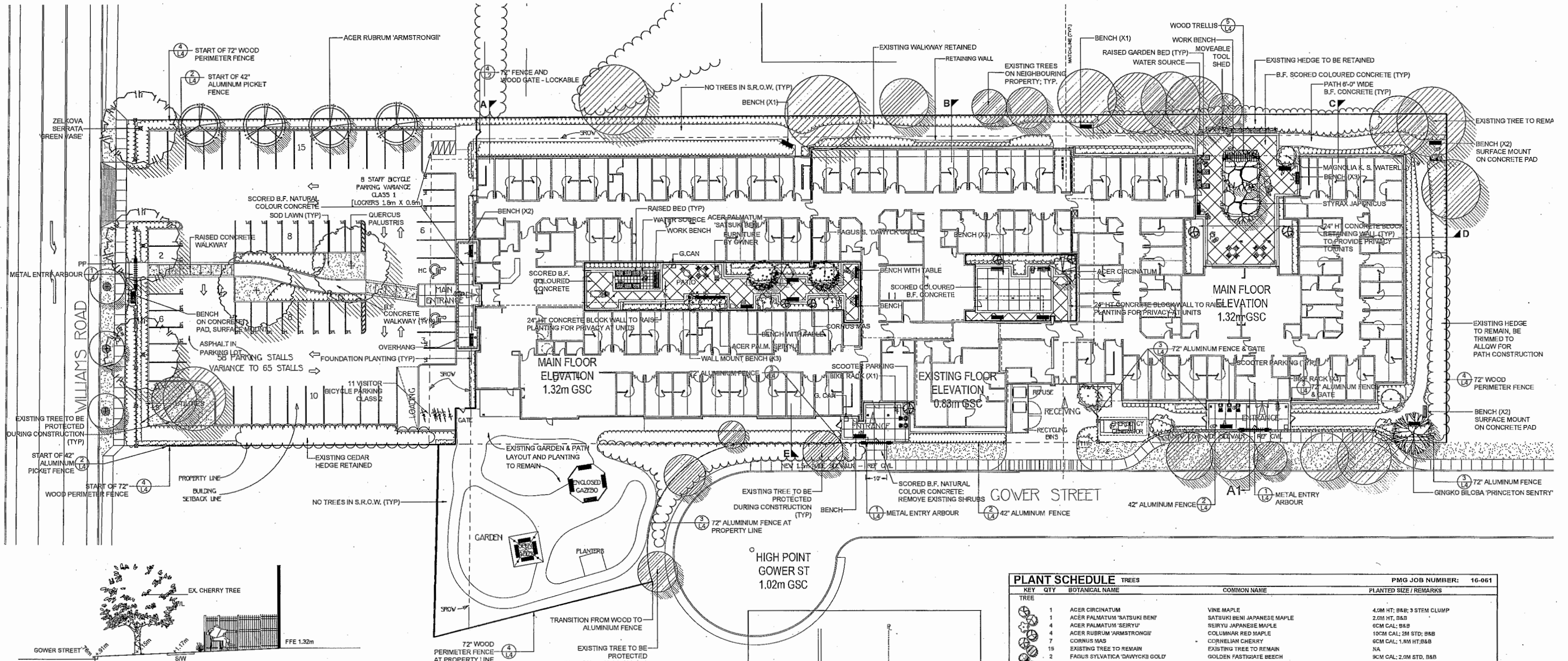
2. LANDSCAPE BUFFERS

FRONT YARD (NORTH)	3.0 m	3.0 m
SIDE YARD (EAST)	1.5 m	1.5 m
SIDE YARD (WEST)	1.5 m	1.9 m
REAR YARD (SOUTH)	0.0 m	6.3 m

ITEM	REQUIRED	PROVIDED
3. FLOOR AREA RATIO		
TOTAL FLOOR AREA (EXCLUDING AMMENITY)	/	9,064.8 m ²
STAIR / ELEVATOR AREA EXCLUDED	/	270.7 m ²
LOT AREA (NET)	/	9,083.3 m ²
FLOOR AREA RATIO	1.00 (MAX)	9,064.8/9,083.3 = 0.99
AMMENITY FLOOR AREA	/	2,173.8 m ²
AMMENITY FLOOR AREA RATIO	0.40 (MAX)	2,173.8/9,083.3 = 0.24
COMBINED FLOOR AREA RATIO	1.40 (MAX)	1.24
4. BUILDING LOT COVERAGE		
TOTAL BUILDING COVERAGE	/	4,340.2 m ²
LOT AREA (NET)	/	9,083.3 m ²
LOT COVERAGE	45.0% (MAX)	47.8%
5. PARKING		
COMMUNITY CARE FACILITY, MAJOR	199 BEDS x (1/3 BEDS) = 67	58 SPACES*
SMALL CAR PARKING	62 SPACES * 50% = 31 SPACES (MAX)	25 SPACES
STANDARD CAR PARKING	/	31 SPACES
HANDICAP PARKING	67 x (1 / 50) = 2 SPACES	2 SPACES
6. LOADING		
NON-RESIDENTIAL LOADING SPACES	1 + 11,455.1 m ² x (1/5,000m ² over 1,860m ² GLFA) = 2 SPACES	1 SPACES
7. BICYCLE PARKING		
COMMUNITY CARE FACILITY, MAJOR (CLASS I) [EMPLOYEE - WATERPROOF]	11455.1 m ² x (0.27 / 100m ² GLFA over 100m ²) = 31 SPACES	8*
COMMUNITY CARE FACILITY, MAJOR (CLASS II) [GUEST - OUTDOOR]	11455.1 m ² x (0.27 / 100m ² GLFA over 100m ²) = 31 SPACES	11*

* NOTE: LINE ITEMS HIGHLIGHTED IN GREY REPRESENT VARIANCES SOUGHT FOR THIS PROJECT

BED COUNT		PARKING COUNT		GROSS FLOOR AREA					
HOUSE	#	STALL TYPE	#	LEVEL	AREA TYPE	AREA (m²)	AREA (SF)		
MAIN FLOOR				90° - HC - 3.7mx5.5m	2	MAIN FLOOR	COMMON AREA	7407 m²	8,045 SF
HOUSE A1	15	90° - SMALL - 2.3mx4.8m	19	MAIN FLOOR	HOUSE A1	706 m²	7,604 SF		
HOUSE B1	14	90° - SMALL - 2.65mx5.0m	6	MAIN FLOOR	HOUSE B1	679 m²	7,306 SF		
HOUSE C1	12	90° - STANDARD - 2.65mx5.5m	31	MAIN FLOOR	HOUSE C1	718 m²	7,727 SF		
HOUSE D1	12	TOTAL STALLS:	58	MAIN FLOOR	HOUSE D1	715 m²	7,694 SF		
HOUSE E1	14			MAIN FLOOR	HOUSE E1	642 m²	6,911 SF		
	67			MAIN FLOOR		4207 m²	45,287 SF		
SECOND FLOOR									
HOUSE A2	15			SECOND FLOOR	COMMON AREA	322 m²	3,464 SF		
HOUSE B2	14			SECOND FLOOR	HOUSE A2	717 m²	7,715 SF		
HOUSE C2	20			SECOND FLOOR	HOUSE B2	684 m²	7,363 SF		
HOUSE D2	13			SECOND FLOOR	HOUSE C2	1002 m²	10,790 SF		
HOUSE E2	14			SECOND FLOOR	HOUSE D2	772 m²	8,309 SF		
	76			SECOND FLOOR	HOUSE E2	667 m²	7,178 SF		
THIRD FLOOR									
HOUSE A3	15			SECOND FLOOR		4164 m²	44,818 SF		
HOUSE B3	14			THIRD FLOOR	COMMON AREA	161 m²	1,736 SF		
HOUSE D3	13			THIRD FLOOR	HOUSE A3	754 m²	8,121 SF		
HOUSE E3	14			THIRD FLOOR	HOUSE B3	760 m²	8,176 SF		
	56			THIRD FLOOR	HOUSE D3	742 m²	7,989 SF		
TOTAL BEDS	199			THIRD FLOOR	HOUSE E3	667 m²	7,178 SF		
				THIRD FLOOR		3084 m²	33,201 SF		
				GROSS FLOOR AREA		11455 m²	123,305 SF		



PLANT SCHEDULE TREES				PMG JOB NUMBER: 16-061
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
1	1	ACER CIRCINATUM	VINE MAPLE	4.0M HT; 8.8B; 3 STEM CLUMP
2	1	ACER PALMATUM 'SATSUKI BEN'	SATSUKI BENI JAPANESE MAPLE	2.0M HT; 8.8B
3	1	ACER PALMATUM 'SEIRYU'	SEIRYU JAPANESE MAPLE	6CM CAL; 8.8B
4	1	ACER RUBRUM 'ARMSTRONGII'	COLUMNAR RED MAPLE	10CM CAL; 2M STD; 8.8B
5	1	CORNUS MAS	CORNELIAN CHERRY	6CM CAL; 1.5M HT; 8.8B
6	1	EXISTING TREE TO REMAIN	EXISTING TREE TO REMAIN	NA
7	1	FAGUS SYLVATICA 'DAWYCK GOLD'	GOLDEN FASTIGIATE BEECH	9CM CAL; 2.0M STD; 8.8B
8	1	GINGKO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY MAIDENHAIR TREE	11CM CAL; 1.8M STD; 8.8B
9	1	MAGNOLIA ROBUS 'STELLATA WATERLILY'	WATERLILY STAR MAGNOLIA	6CM CAL; 8.8B; STD FORM
10	1	MALUS X 'JEFFSHIRE'	PURPLE SPIRE COLUMNAR CRABAPPLE	8CM CAL; 1.2M WIK; STD; 8.8B
11	1	QUERCUS PALUSTRIS 'CROWN RIGHT'	CROWN RIGHT PIN OAK	11CM CAL; 2.0M STD; 8.8B
12	1	STYRAX JAPONICUS	JAPANESE SNOWBELL	8CM CAL; 1.5M STD; 8.8B
13	1	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	11CM CAL; 2.0M STD; 8.8B

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD'S LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY

FENCE LEGEND	
KEY	NAME
---	42" ALUMINUM FENCE
---	72" WOOD PERIMETER FENCE
---	72" ALUMINUM FENCE

pmg
LANDSCAPE ARCHITECTS
Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 8G9
p: 604 294-0011 ; f: 604 294-0022

CLIENT:
MQN Architects

NO.	DATE	REVISION DESCRIPTION	DR.
9	16.OCT.14	WEST PL HEDGE RETAINED	
8	16.NOV.23	NEW SITE PLAN	MR
7	16.NOV.14	REISSUE FOR DP	MR
6	16.NOV.08	NEW SITE PLAN	MR
5	16.OCT.20	NEW SITE PLAN	MR
4	16.SEP.15	ISSUED FOR BUILDING PERMIT	MR
3	16.SEP.13	NEW SITE PLAN	MR
2	16.SEP.01	NEW SITE PLAN	MR
1	16.AUG.23	NEW SITE PLAN	MM

PROJECT:
KAIGO - FRASERVIEW
Williams Road &
Gower Street
RICHMOND, BC

SEAL:
DRAWING TITLE:
LANDSCAPE TREE PLAN

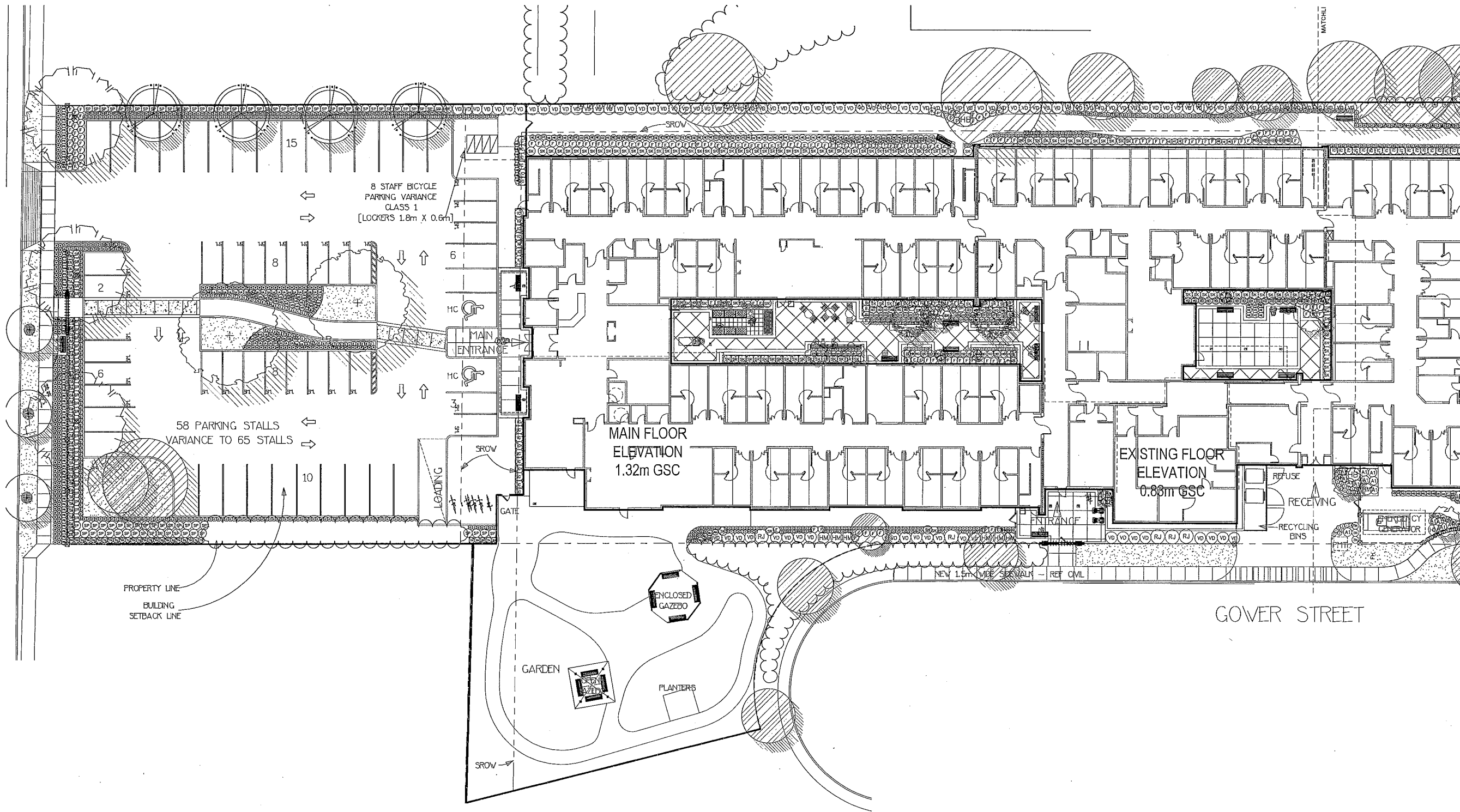
DATE: 16.MAY.18
SCALE: 3/64"=1'-0"
DRAWN: BJ
DESIGN: MCT

L1 OF 5

PMG PROJECT NUMBER: 16-061

Plan 4 Dec 1, 2016
DV 16-733949

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Plan 5 Dec 1, 2016
DV 16-733949

pmg
LANDSCAPE
ARCHITECTS
Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 8G9
p: 604 294-0011 ; f: 604 294-0022

CLIENT:
MQN Architects

NO.	DATE	REVISION DESCRIPTION	DR.
9	18.DEC.14	WEST PL HEDGE RETAINED	
8	16.NOV.23	NEW SITE PLAN	MR
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6	16.NOV.08	NEW SITE PLAN	MR
5	16.OCT.20	NEW SITE PLAN	MR
4	15.SEP.15	ISSUED FOR BUILDING PERMIT	MR
3	15.SEP.13	NEW SITE PLAN	MR
2	15.SEP.01	NEW SITE PLAN	MR
1	18.AUG.23	NEW SITE PLAN	MM

PROJECT:
KAIGO - FRASERVUE
Williams Road &
Gower Street
RICHMOND, BC

SEAL:

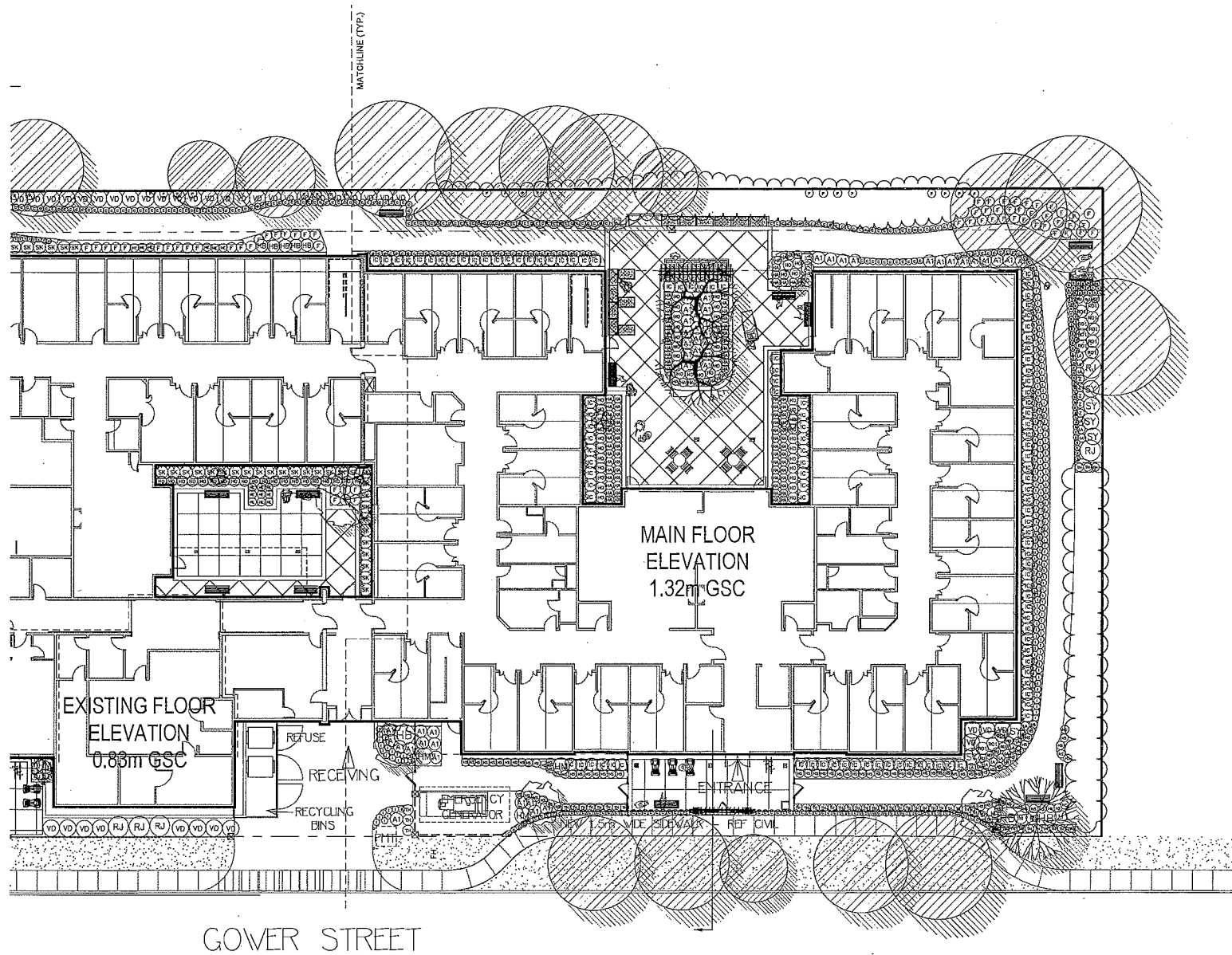
DRAWING TITLE:
**LANDSCAPE
SHRUB PLAN**

DATE: 18.AUGUST.15
SCALE: 1/16"=1'-0"
DRAWN: BJ/MM
DESIGN: BJ/MM
CHK'D: MCT

L2 OF 5

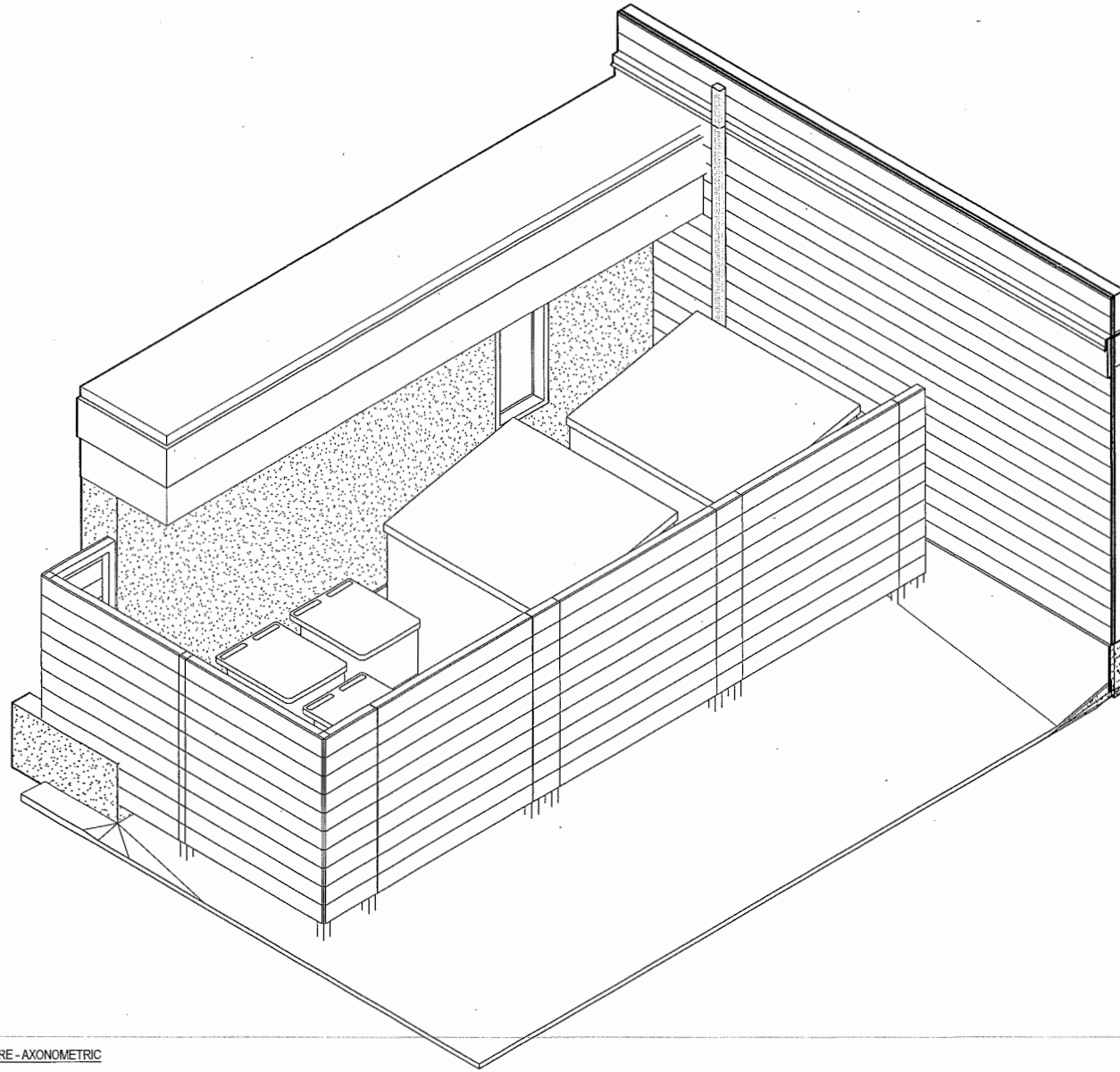
PMG PROJECT NUMBER: 16-061

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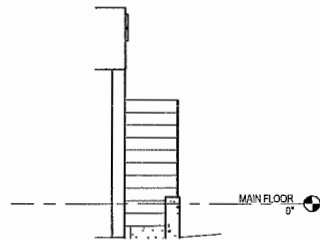


PLANT SCHEDULE				SHRUBS	PMG JOB NUMBER: 16-061
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS	
SHRUB					
(A)	47	AZALEA JAPONICA 'PURPLE SPLENDOR'	AZALEA; RED-VIOLET	#2 POT; 25CM	
(A)	12	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#2 POT; 25CM	
(A)	10	HYDRANGEA MACROPHYLLA 'MAJSA'	BIGLEAF HYDRANGEA; RED	#3 POT; 80CM	
(A)	9	HYDRANGEA QUERCIFOLIA DHARUMA	DHARUMA HYDRANGEA; DWARF	#3 POT; 60CM	
(A)	139	ILEX CRENATA 'GREEN THUMB'	HOLLY; COMPACT	#2 POT; 30CM	
(A)	7	RHOODODENDRON 'KEN JANECK'	RHOODODENDRON; LIGHT PURPLE; MAY	#3 POT; 30CM	
(A)	12	ROSA MEIDLAND 'BONICA'	MEIDLAND ROSE; PINK	#2 POT; 40CM	
(A)	141	SKIMMIA JAPONICA 'RUBELLA'	RUBELLA SKIMMIA	#2 POT; 30CM	
(A)	112	SPIRAEA X BUMALDA 'NEON FLASH'	NEON FLASH SPIRAEA	#2 POT; 40CM	
(A)	6	SYRINGA PATULA 'MISS KIM'	MIDD KIM COMPACT LILAC	#3 POT; 60CM	
(A)	40	TAXUS X MEDIA 'HICKSII'	HICKS' YEW	1.5M B&B	
(A)	78	THUJA OCCIDENTALIS 'SMARAGO'	EMERALD GREEN CEDAR	1.2M HT; B&B	
(A)	110	VIBURNUM DAVIDII	DAVID'S VIBURNUM	#3 POT; 50CM	
GRASS					
(A)	558	CAREX OSHIMENSIS 'EVERGOLD'	EVERGOLD JAPANESE SEDGE	#1 POT	
(A)	97	HAKONECHLOA MACRA 'AUREOLA'	GOLD VARIEGATED JAPANESE FOREST GRASS	#1 POT	
(A)	129	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	#1 POT	
(A)	199	IMPERATA CYLINDRICA 'RED BARON'	BLOOD GRASS	#1 POT	
(A)	4	MISCANTHUS SINENSIS 'ADAGIO'	MAIDEN GRASS	#1 POT	
(A)	56	PANICUM VIRGATUM 'ROTSTRAHLBUSCH'	RED SWITCH GRASS	#1 POT	
VINE					
(A)	36	PARTHENOCISSUS TRICUSPIDATA 'VEITCHII'	BOSTON IVY	#2 POT; 60CM; STAKED	
PERENNIAL					
(A)	118	HEUCHERA X HEUCHERELLA 'SWEET TEA'	SWEET TEA HEUCHERELLA	15CM POT	
(A)	97	HOSTA UNDULATA	WAVY LEAF HOSTA	#1 POT; 1 EYE	
(A)	52	LAVENDULA ANGUSTIFOLIA 'HIDCOTE BLUE'	ENGLISH LAVENDER; COMPACT; DEEP PURPLE	#1 POT	
(A)	14	RUDBECKIA FULGIDA VAR SULLIVANTII 'GOLDSTURM'	RUDBECKIA; YELLOW	15CM POT	
(A)	85	SEDUM REFLEUUM 'ANGELIA'	STONECROP	9CM POT	
(A)	256	TIARELLA CORDIFOLIA	HEART-LEAF FOAMFLOWER	15CM POT	
(A)	5	ZANTEDESCHIA AETHIOPICA 'CROWBOROUGH'	HARDY WHITE ARUM LILY	#1 POT	
FERN					
(A)	58	CYRTOMIUM FORTUNEI	FORTUNE'S COLD HARDY HOLLY FERN	#1 POT; 25CM	
(A)	53	ERICA X DARLEYENSIS 'KRAMER'S RED'	WINTER HEATH; RED	#1 POT	
(A)	215	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT; 25CM	
(A)	203	WALDSTEINIA TERNATA	BARREN STRAWBERRY	#1 POT; 20CM	

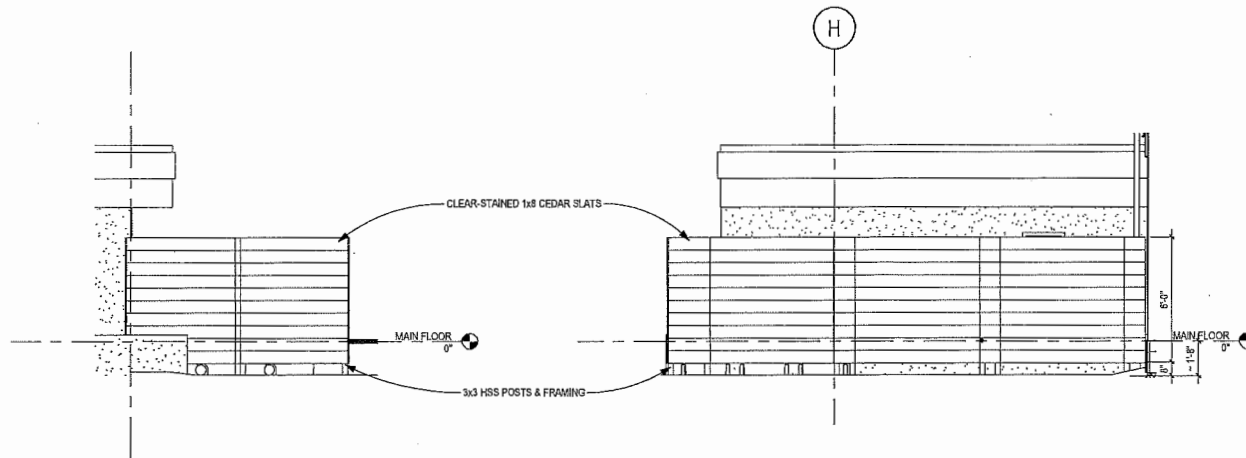
NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER ONLA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD'S LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY



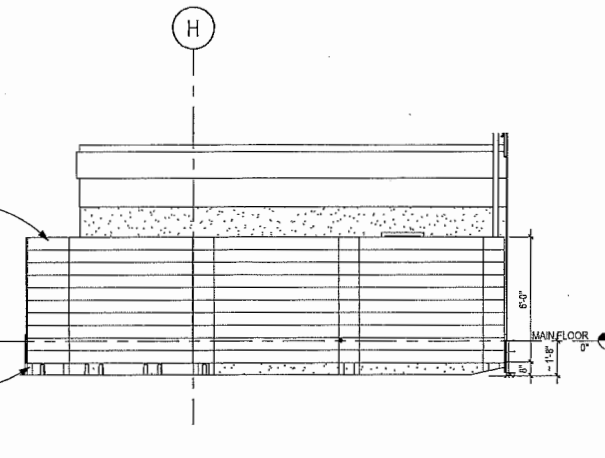
1 GARBAGE ENCLOSURE - AXONOMETRIC
SCALE: 1/2" = 1'-0"



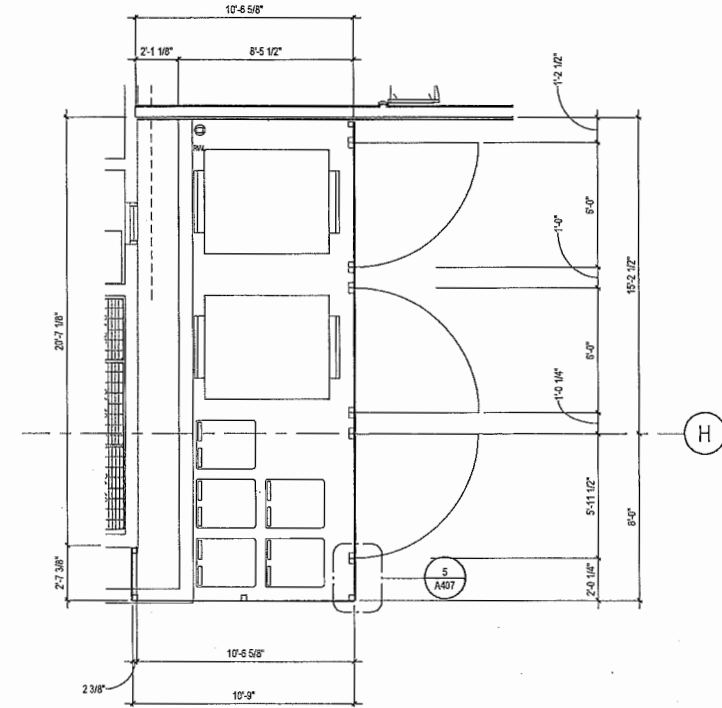
2 GARBAGE ENCLOSURE - NORTH
SCALE: 1/4" = 1'-0"



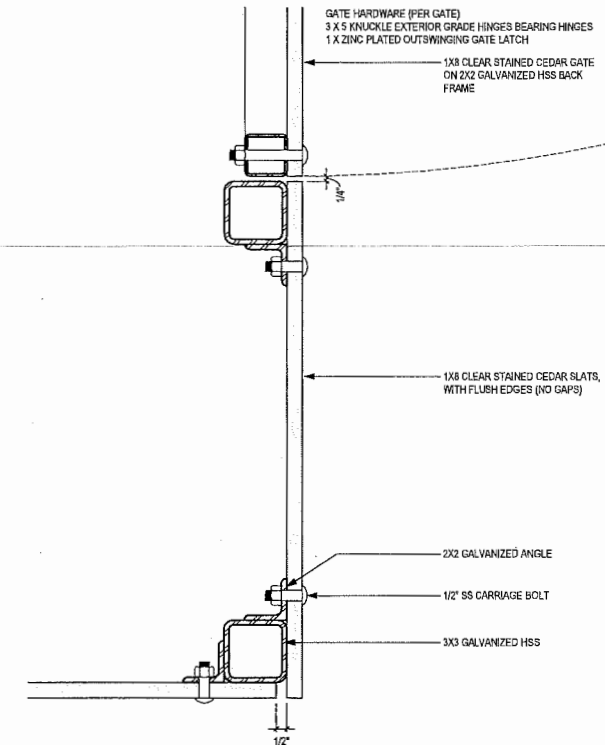
3 GARBAGE ENCLOSURE - WEST
SCALE: 1/4" = 1'-0"



4 GARBAGE ENCLOSURE - SOUTH
SCALE: 1/4" = 1'-0"



6 GARBAGE ENCLOSURE - FLOOR PLAN
SCALE: 1/4" = 1'-0"



5 GARBAGE ENCLOSURE - DETAIL
SCALE: 3" = 1'-0"

SEAL

CONSULTANT

NO.	REV.	ISSUE
1	A	ISSUED FOR BUILDING PERMIT DOC.

PROJECT TITLE

GARBAGE ENCLOSURE - KAIGO - FRASERVUE
LIAMS ROAD,
4D, BRITISH COLUMBIA

Plan 9 Dec 1, 2016
DV 16-733949

PROJECT:	14874
SCALE:	AS NOTED
DRAWN BY:	SV
CHECKED BY:	RG
DRAWING:	

A407

5 - Siding: Vinyl 4" Lap Siding,
Mitten "Sandcastle"

8 - Trim, Fascia & Belly Bands:
Fibre Cement Flat Trim,
James Hardie "Arctic White"



4 - Siding: Fibre Cement 7" Lap Siding,
James Hardie "Evening Blue"

11 - Glazing:
Vinyl
Windows,
White



6 - Siding: Fibre Cement
Board & Batt Siding,
James Hardie "Boothbay Blue"

19 - Roofing: 3-Tab Asphalt
Shingle, IKO "Charcoal Grey"

20 - Roofing: SBS Membrane,
Black



15 - Soffits, Gutters
& Downspouts:
Aluminum, White

17 - Flashing: White



12 - Glazing: Storefront,
Anodized Aluminum



2 - Siding: Cultured Stone,
Boral Country LedgeStone
"Hudson Bay"



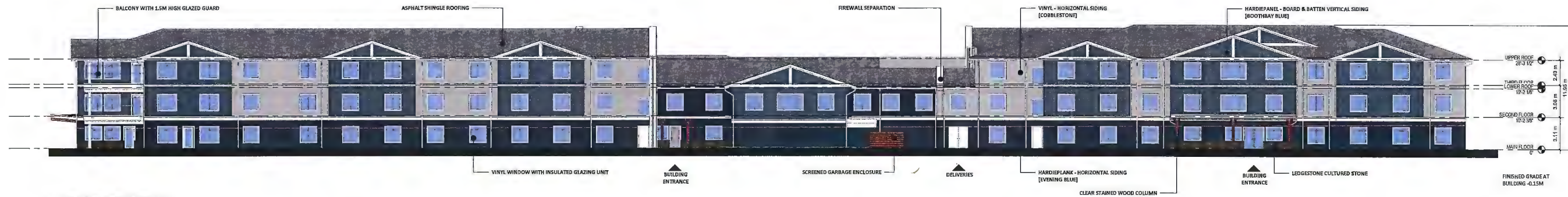
7 - Timbers:
Stained Fir,
Light Walnut



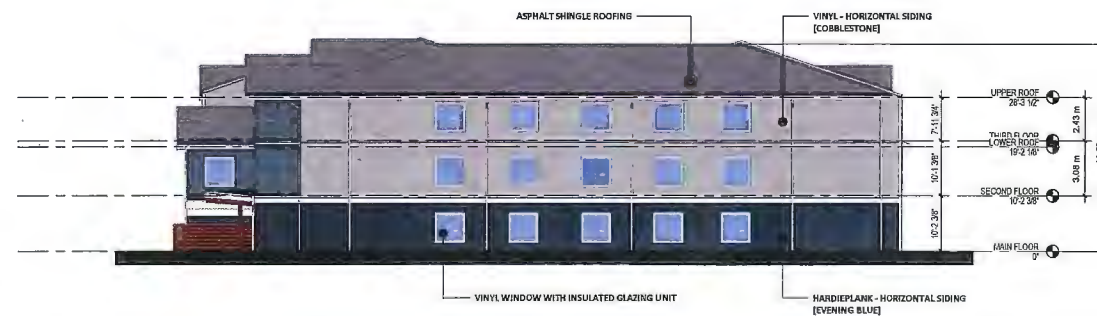
Plan 10 Dec 1, 2016
DV 16-733949



NORTH ELEVATION

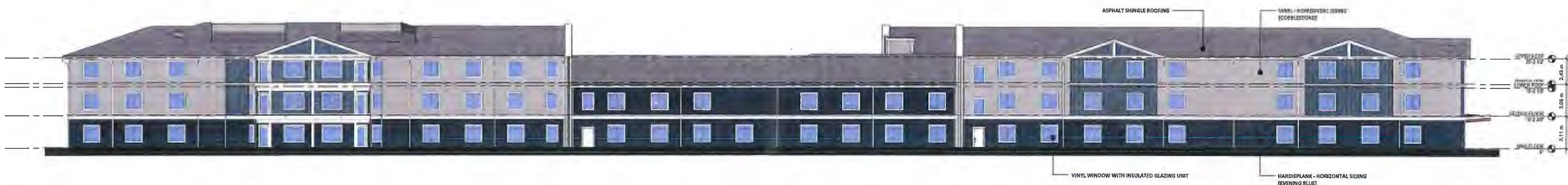


WEST ELEVATION



SOUTH ELEVATION

NOTE: MAIN FLOOR ELEVATION 0.00m = 1.32m GSC
THE HIGH POINT OF GOWER STREET = 1.02m GSC



EAST ELEVATION

Plan 11 Dec 1, 2016
DV 16-733949



BUILDING ELEVATIONS
KAIGO - FRASERVUE
9580 WILLIAMS ROAD,
RICHMOND, BRITISH COLUMBIA



DRAWING: 10
PROJECT: 14874
DATE: 2016/10/06
SCALE: 1 : 150



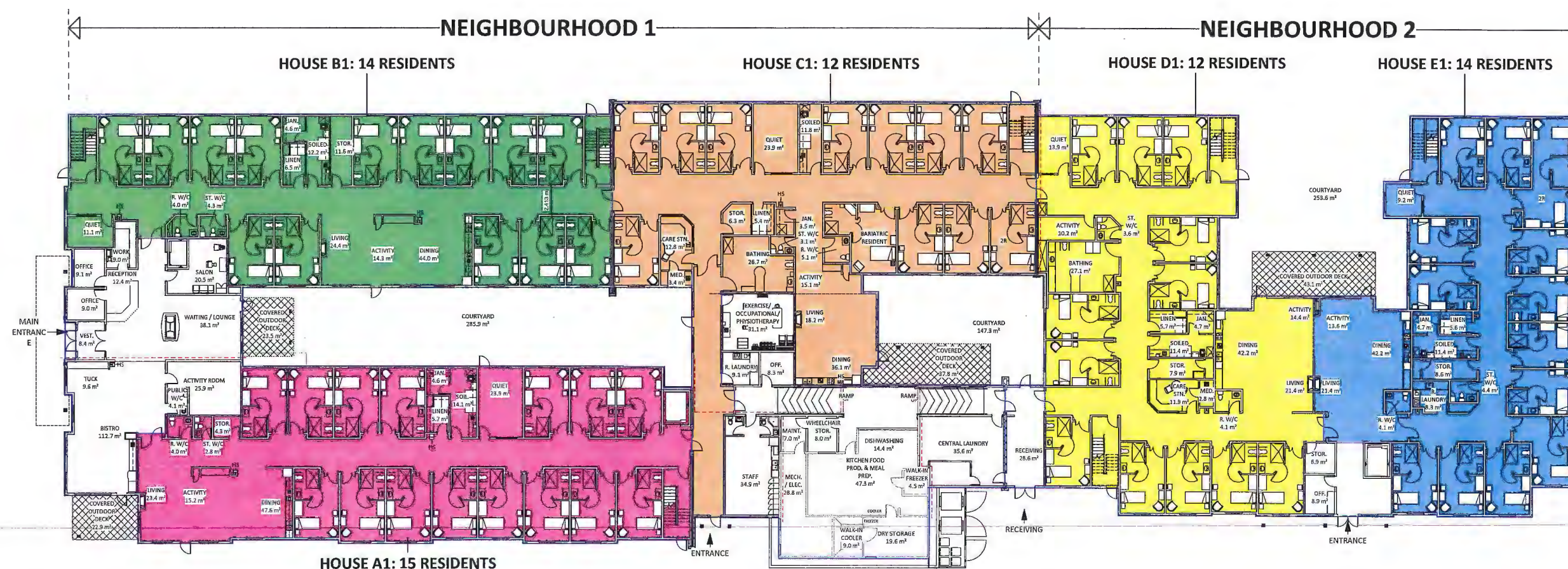
PERSPECTIVE - NORTHWEST VIEW - MAIN ENTRY

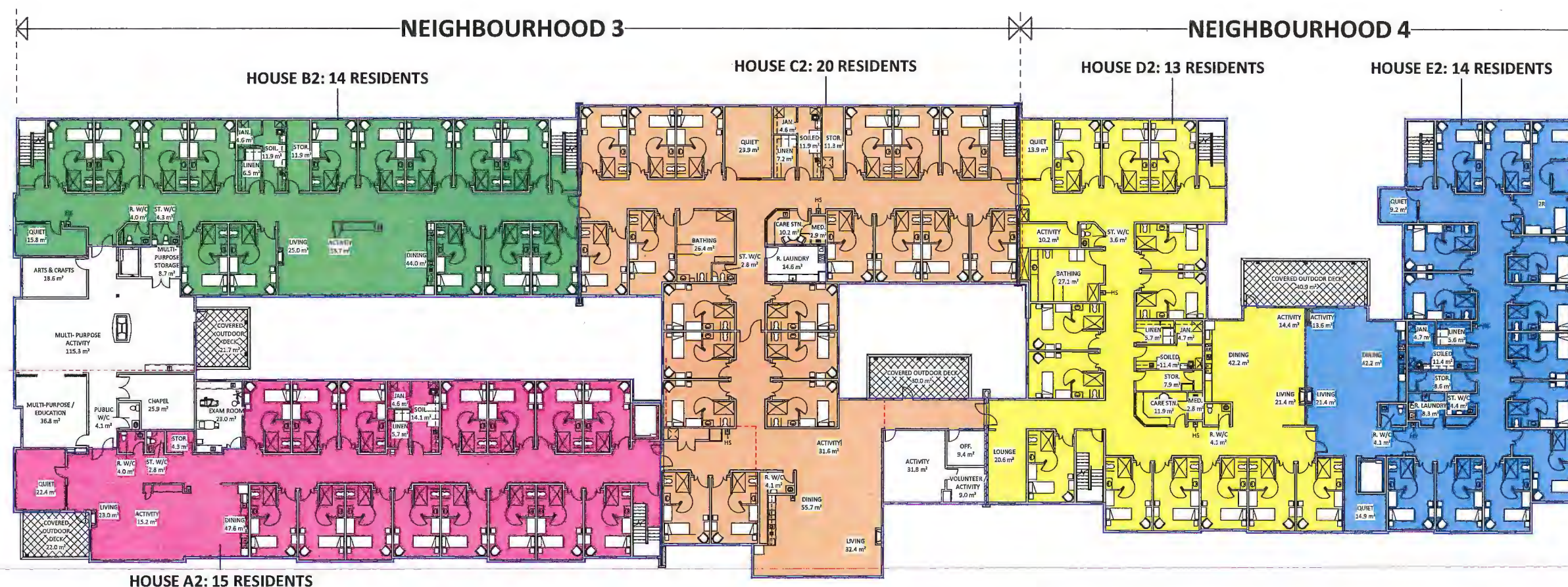


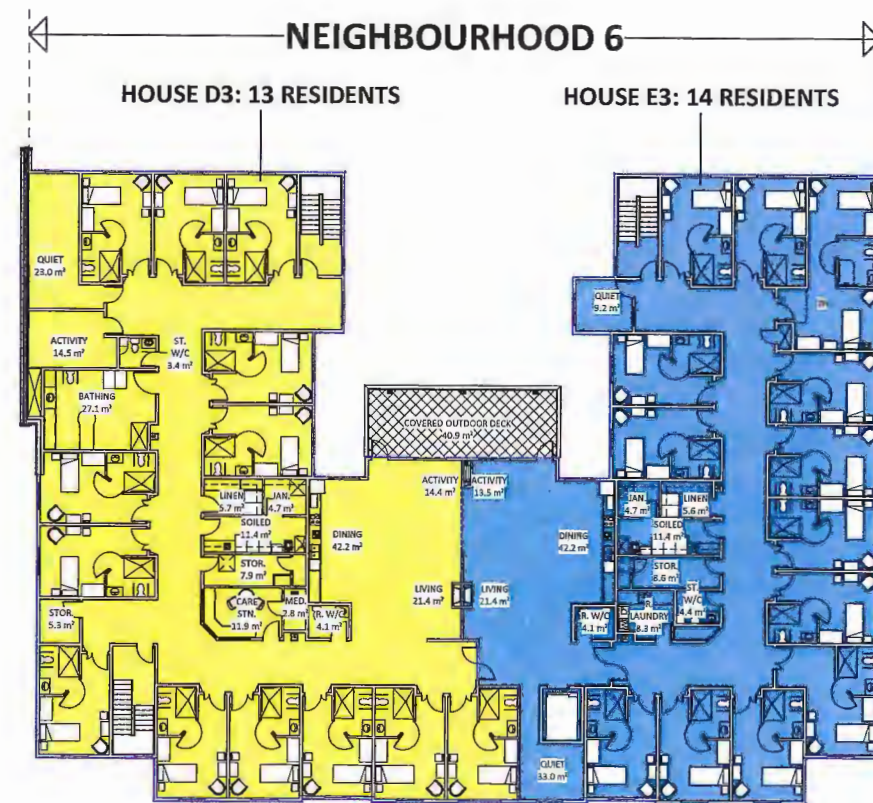
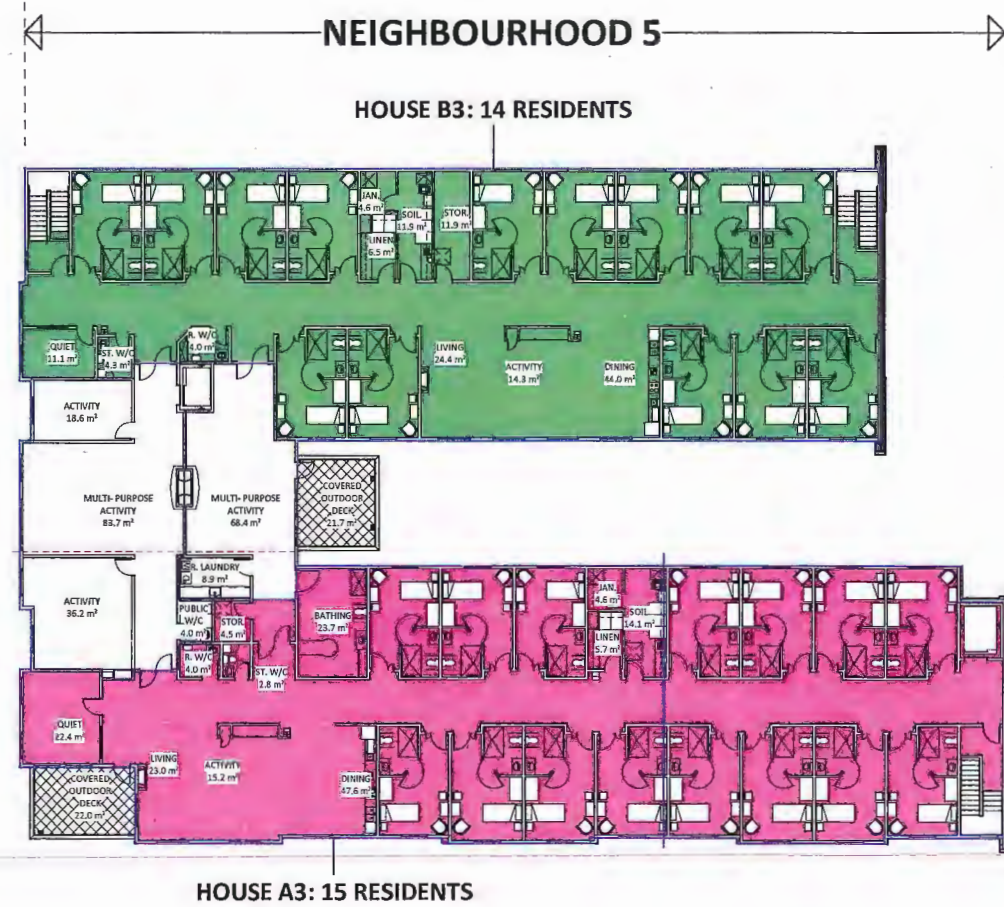
PERSPECTIVE - SOUTHWEST VIEW - HOUSES D&E

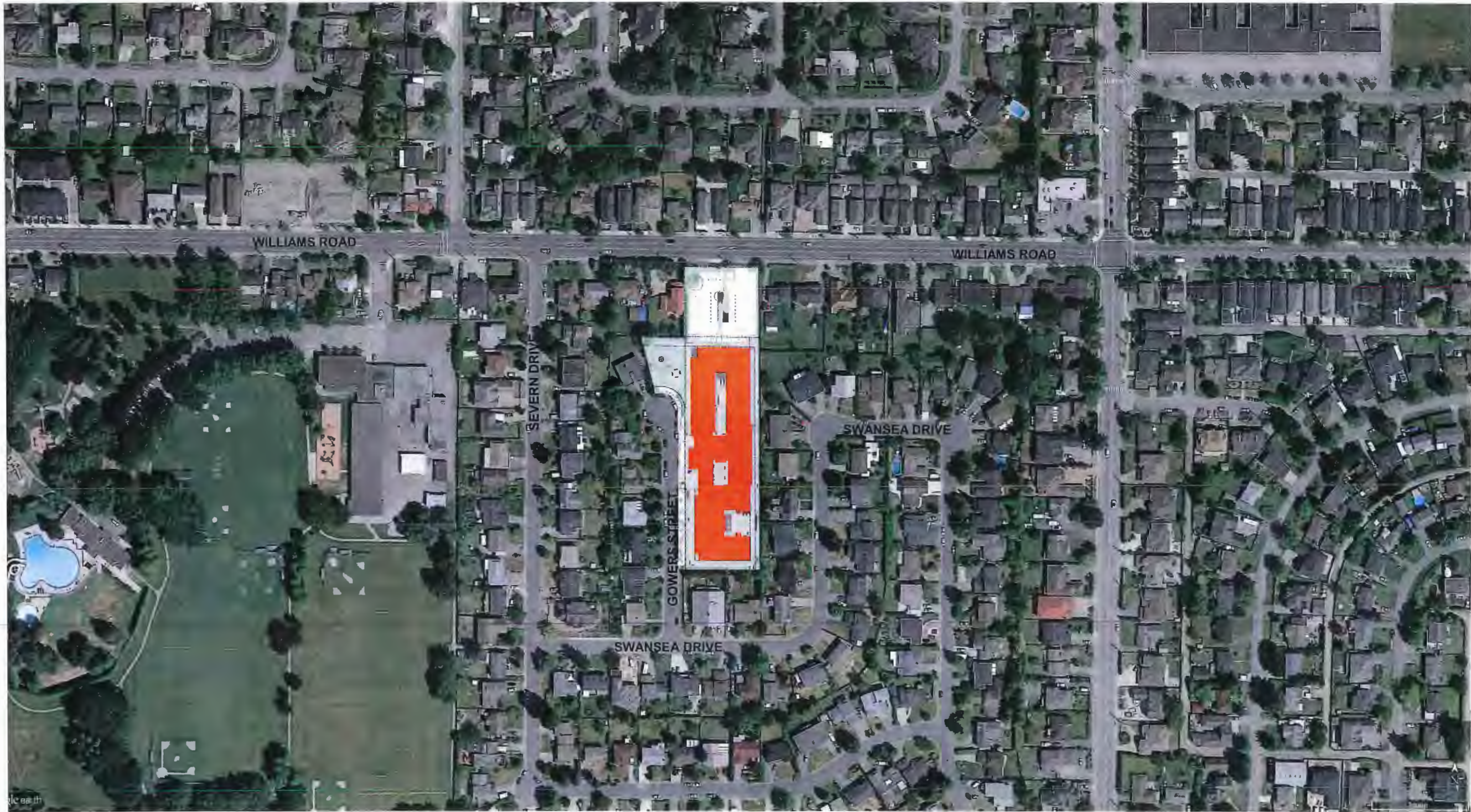


PERSPECTIVE - TYPICAL HOUSE LIVING / DINING / ACTIVITY AREA



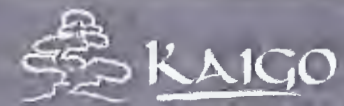






MQN
ARCHITECTS

CONTEXT SITE PLAN
KAIGO - FRASERVUE
9580 WILLIAMS ROAD,
RICHMOND, BRITISH COLUMBIA



DRAWING: 12
PROJECT: 14874
DATE: 2016/10/06
SCALE: NTS

Reference Plan Dec 1, 2016
DV 16-733949

NORTH SIDE WILLIAMS ROAD



EAST SIDE
OF SITE



NORTH END
GOWER
STREET



WEST SIDE
GOWER STREET



ORIGINAL SITE (SOUTH SIDE)



SWANSEA DRIVE (NORTH SIDE)



SWANSEA DRIVE
(WEST SIDE)



Reference Plan Dec 1, 2016
DV 16-733949

IMQN
ARCHITECTS

CONTEXT PHOTOS

KAIGO - FRASERVUE
9580 WILLIAMS ROAD,
RICHMOND, BRITISH COLUMBIA

KAIGO

DRAWING:
PROJECT:
DATE:
SCALE:

13
14874
2016/10/06
NTS

CityClerk

From: Home <mommamayam@telus.net>
Sent: Friday, 30 December 2016 10:43
To: Badyal,Sara
Subject: Fraserview Care Home Clarification

To Development Permit Panel	
Date:	January 11, 2017
Item #	2
Re:	DVP 16-733949

Hello Sara.

I met with you a few months ago about the redevelopment project for the Fraserview Care Home on Williams Road and appreciate the time you took to show me the proposed plans. I live at 9711 Swansea Drive. My back yard is adjacent to the south east part of the project.

I just left a phone message however, I thought I should clarify my question. We received a "Notice of Application for a Development Variance Permit" from the city on behalf of MQN Architects. Would you be so kind to clarify Intent b on our letter (Reduce the minimum side yard setback from 6.0 m to 2.2m for the west side yard and 4.7 for the east side yard)

My question is in relation to the original proposal (Site Plan sent to neighbourhood) where the 3 additional buildings have 3 different proposed setbacks along the East Side as:

North addition- 5.7m

Centre Addition- 4.7m

South Addition- 6.0m (our back yard)

My question: Is the variance permit as stated in our letter "Intent of Permit" item b in reference for ALL 3 building additions or just the centre addition as originally proposed?

As per the Site Plan the neighbourhood received, intent b is referenced along different areas of the 3 building additions but not along the whole perimeter so I would like to confirm my understanding.

Thank you for your time and addressing my concern.
Val Yamamoto



Director, City Clerk's office,
Council Chambers, Richmond City hall,

To Development Permit Panel
Date: <u>January 11, 2017</u>
Item # <u>2</u>
Re: <u>DV 16-733949</u>

2-JAN-2017

Re: development variance permit DV16-733949, located 9580 Williams Road.


I am resident and owner of 9560 Williams Road, Richmond. I have following questions and proposal for the the aboved permit.

1/ the proposed 199 beds, together with 80 staff and 50 visitor per day. That means they will have more than 300 persons moving around that building. That will generate a lot of noise, emission of smoke, transmission of disease, the kitchen will create food left over and rats, and transportation problem because the increase of cars moving in and out of the building. The houses around the proposed property are mostly single family house with a population of 5-6 persons per house, therefore the proposed project will have the population of 60 houses. In fact I saw a lot of rats after they put down the two old buildings.

2/ the side yard setback, they have more than ten parking lots beside my house on the east side of my building. The exhaust air from the cars are pushing into my house and they should not allow car to back up into the parking lots or they should build a fence to stop it from coming into my house. They should keep the setback enough to let fresh air moving and pushing the exhaust away .

Lastly, I want to point out that they have trees growing along the east side and south side of my house and those trees block the sunlight coming into my property and the branches from the trees crossing the boundary and touching my building and I have to spend money to trim those trees which are not belong to me. I hope they should do something tho trim those trees which belong to the proposed property.

yours truly



Raymond Ng, 9560 Williams Road.





City of Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: December 16, 2016

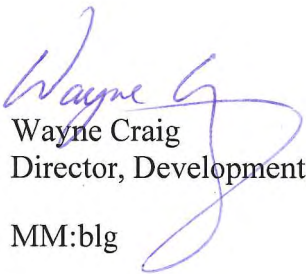
From: Wayne Craig
Director, Development

File: DV16-743379

Re: Application by Cypress Land Services Inc., on behalf of TM Mobile Inc. (Telus),
for a Development Variance Permit at 3911 No. 3 Road

Staff Recommendation

That a Development Variance Permit be issued which would vary the provisions of Richmond Zoning Bylaw 8500 to reduce the interior side yard setback from 3.0 m (9.8 ft.) to 2.025 m (6.65 ft.) in the "Auto-Oriented Commercial (CA)" zoning district in order to permit the construction of a 14.9 m (48.9 ft.) high monopole antenna tower at 3911 No. 3 Road.


Wayne Craig
Director, Development
MM:blg

Staff Report

Origin

Cypress Land Services Inc., on behalf of TM Mobile Inc. (Telus), has applied to the City of Richmond for permission to vary Richmond Zoning Bylaw 8500 to reduce the required minimum interior side yard setback from 3.0 m (9.8 ft.) to 2.025 m (6.65 ft.) in the “Auto-Oriented Commercial (CA)” zone in order to permit the construction of 14.9 m (48.9 ft.) tall monopole antenna tower at 3911 No. 3 Road.

City staff had already provided concurrence on a Telecommunications Protocol Application (TE15-713388) for the proposed replacement tower as provided under the City’s *Telecommunication Antenna Consultation and Siting Protocol Policy 5045*, subject to meeting the zoning regulations for the site. Aside from the proposed steel replacement tower, the site currently contains a Telus switching and equipment building with roof-mounted antennas, accessory buildings and the existing 15.3 m (50 ft.) wood monopole antenna.

Subsequent to the above-noted staff concurrence, Telus determined that the replacement monopole tower needed to be located closer than the required 3.0 m (9.8 ft.) setback to the northern interior side lot line due to potential radio frequency interference and size of the concrete footing.

Development Information

Please refer to the attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the north, low-rise retail buildings and parking lots zoned “Auto-Oriented Commercial (CA)”.
- To the east, No. 3 Road and the *Presidents Plaza* commercial development zoned “Hotel Commercial (ZC1) – Aberdeen Village (City Centre)”.
- To the south, low-rise retail buildings and parking lots zoned “Auto-Oriented Commercial (CA)”.
- To the west, the former CPR rail line and the *Richmond Rod and Gun Club* zoned “Auto-Oriented Commercial (CA)”.

Staff Comments

The proposed scheme attached to this report has satisfactorily addresses the design issues and other staff comments identified as part of the review of the subject Development Variance Permit application. In addition, the proposal complies with the intent of the applicable sections of the Official Community Plan (OCP) and is in compliance with the “Auto-Oriented Commercial (CA)” zone except for the zoning variance noted below.

Telecommunication Antenna Consultation and Siting Protocol Policy 5045 (Protocol) requires that those constructing telecommunications towers over 15 m (49.2 ft.) must also submit applications to seek concurrence from City Council. As the proposed replacement monopole antenna is less than 15 m (49.2 ft.) in height, concurrence from City Council is not required. As the proposal requires a zoning variance, the Protocol requires the variance application be reviewed by the Development Permit Panel.

Innovation, Science and Economic Development Canada (ISED), the Federal agency that grants approvals for telecommunications installations, requires that proponents seek concurrence from local governments prior ISED considering approval for new installations. For the subject application, ISED has confirmed in writing that it does not require further public consultation for the installation, as it is a replacement monopole within an existing installation, and would be in close proximity, at 3.7 m (12 ft.), to the existing monopole.

The applicant has made the subject Development Variance Permit application for the setback variance only.

Zoning Compliance/Variations (staff comments in **bold**)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to reduce the interior side yard setback from 3.0 m (9.8 ft.) to 2.025 m (6.65 ft.) in the "Auto-Oriented Commercial (CA)" zone in order to permit the construction of a 14.9 m (48.9 ft.) high monopole antenna tower at 3911 No. 3 Road.

(Staff supports the proposed variance, as the proposed 14.9 m (48.9 ft.) monopole replaces a slightly taller existing 15.3 m (50 ft.) monopole. The replacement monopole is also located in close proximity (3.7 m (12.0 ft.)) to the existing monopole which is also within the 3.0 m (9.8 ft.) interior side lot line setback. The proposed steel monopole is structurally stronger than the existing wood pole as required to support the installation of new, additional heavier antennas on the pole. The antennas on the new monopole tower also necessitate that it be located approximately 1.0 m (3.3 ft.) further north within the zoning setback so as to reduce radio frequency interference with the existing roof-top antennas on the adjacent Telus building to the south. The applicant is also proposing to plant cedar hedge trees against the existing 2.0 m (6.6 ft.) tall chain link fence located along the adjacent interior side lot line.)

Analysis

Conditions of Adjacency

- The subject site is located on the west side of No. 3 Road; just north of Cambie Road. The area on the west side of No. 3 Road is comprised of properties with older auto-oriented retail buildings and parking lots. The *City Centre Area Plan* (CCAP) designates the properties as "T5 Urban (35m)" for redevelopment with mid-rise, high density buildings, with a range of retail, institutional and offices uses. The adjacent site at 3891 No. 3 Road, immediately to the north of the proposed tower, includes a large parking lot/works yard for a window supply company with blackberries and stacked building materials located against a 2.0 m (6.6 ft.) chain link fence located just within the property line on the subject Telus site (see photo in Attachment 2).

- The area on the east side of No. 3 Road includes the newer *Aberdeen Centre* and *Presidents Plaza* commercial developments with mid-rise, high density buildings, with a range of retail, institutional and offices uses. This area is also designated by the CCAP as “T5 Urban (35m)”.
- Telus completed a Health Canada Safety Code 6 Compliance Report that modelled the possible radio frequency (RF) exposure effects on the lots to the north and west for the existing built condition which found the RF exposure was well within the applicable limits at the Telus site property lines.
- Telus’ engineers completed a further a Health Canada Safety Code 6 Compliance Report for the closest lot to the north (3891 No. 3 Road) to assess the development potential possible under the CCAP policies. This report found the RF exposure was well within the applicable limits. Telus’ engineers also confirmed that if a building over 14.0 m (39.3 ft.) in height were built, the Telus monopole tower would no longer be usable due to blockage of the cell signal, and would need to be decommissioned by Telus.

Urban Design and Site Planning

- The proposed tower is a relatively slender steel monopole located within the same fenced compound as the existing wood monopole with a similar height. Photos of the installation from four (4) vantage points have been provided showing the existing tower and simulations of the proposed tower are included within Attachment 3.
- The two (2) tiers of antennas attached to the proposed tower are flush mounted; as opposed to the existing “pinwheel” type of tower with more visible, expansive antennas extending 1.0 m (3.3 ft.) out from the wood monopole. (See attached Development Variance Permit Plan DV16-743379-4).

Landscape Design and Open Space Design

- The telecom installation is located adjacent to north interior side lot line, and is surrounded by a chain link fence on three (3) sides and the rear wall of the Telus telecommunications building on the south side of compound. The applicant will plant 2.0 m (6.6 ft.) tall cedar hedge shrubs, on 0.60 m (2.0 ft.) centres, adjacent to this fence to provide screening to the above-noted window supply company site located on the north side of the fence.
- Large coniferous trees along the No. 3 Road frontage of the property provide screening of the monopole when viewed immediately from the east or southeast of the site.

Public Consultation

For the setback variance request, the City’s standard Development Variance Permit notice was sent to all owners and occupiers to the of properties within a 50 m (164 ft.) notification radius from the subject site.

As noted above, the City’s Telecom Protocol Policy 5045 does not require that City Council provide concurrence for the subject telecommunications tower installation, nor that the applicant undertake pre-application public consultation for this type of application.

While additional consultation is not required, the applicant contacted the occupiers of three (3) adjacent properties to the north and west of the subject Telus site to provide information and seek comments regarding the proposed new replacement tower. Of the three (3) occupants with

whom the applicant had a conversation, no concerns were expressed. On the fourth nearby City-owned property to the west (the Richmond Rod and Gun Club), the applicant left an information/notice pamphlet. No comment has been received further to this notice. Staff also contacted City Real Estate Services staff who did not have a concern regarding the proposed replacement monopole antenna.

Conclusions

The proposed scheme attached to this report has satisfactorily addressed the siting and consultation requirements of the City's Protocol identified previously as part of the City's concurrence provided on the proposed installation. In addition, the proposed monopole installation complies with the "Auto-Oriented Commercial (CA)" zone except for the proposed interior side yard variance.

The proposed steel monopole has a cleaner, more modern appearance than the existing wood monopole located within similar proximity to the northerly interior side yard setback with a cedar hedge planted adjacent to the existing fence along the north property line. Therefore, staff recommends that the proposed Development Variance Permit be supported and forwarded to Council for consideration of issuance.



Mark McMullen
Senior Coordinator - Major Projects
(604-276-4173)

MM:blg

Prior to Development Permit issuance, the developer is required to complete the following:

- Provide an estimate from a landscape architect or professional landscape company to the satisfaction of the City for the value of the 2.0 m (6.6 ft.) tall cedar hedge shrubs planted on 0.60 m (2.0 ft.) centers, adjacent to on the fence on north interior property line; and provide to the City a security for this amount.

Prior to future Building Permit issuance, the developer is required to complete the following:

- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<http://www.richmond.ca/services/ttp/special.htm>).



City of Richmond

Development Application Data Sheet

Development Applications Division

DV 16-743379

Attachment 1

Address: 3911 No. 3 Road
Cypress Land Services Inc.
 Applicant: on behalf of TM Mobile Inc. (Telus) Owner: Telus Communications Inc.
 Planning Area(s): City Centre
 Floor Area Gross: 25 m² (Antenna Equipment Shed) Floor Area Net: 25 m² (Antenna Equipment Shed)

	Existing	Proposed
Site Area:	2,648 m ²	2,648 m ²
Land Uses:	Telecommunications Installation	Telecommunications Installation
OCP Designation:	Commercial	Commercial
Zoning:	Auto-Oriented Commercial (CA)	Auto-Oriented Commercial (CA)
Number of Units:	N/A	N/A

On Future Subdivided Lots	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.50	No Change	none permitted
Lot Coverage:	Max. 50%	No Change	none
Setback – Front Yard:	Min. 3.0 m	No Change	none
Setback – Interior Side Yard:	Min. 3.0 m	1.5 m	0.975 m relaxation from 3.0 m to 2.025 m
Setback – Exterior Side Yard:	Min. 3.0 m	No Change	none
Setback – Rear Yard:	Min. 3.0 m	No Change	none
Height (Telecom Tower) (m):	Max. 15.0 m	14.9 m	none
Lot Size:	N/A	N/A	N/A
Off-street Parking Spaces – Regular/Commercial:	N/A	N/A	N/A
Off-street Parking Spaces – Accessible:	N/A	N/A	N/A
Total off-street Spaces:	N/A	N/A	N/A
Tandem Parking Spaces	N/A	N/A	N/A



3911 No.3 Road DV16-743379 (BC0036)



Photo 1: Looking North

BEFORE



AFTER



AFTER – EXISTING REMOVED

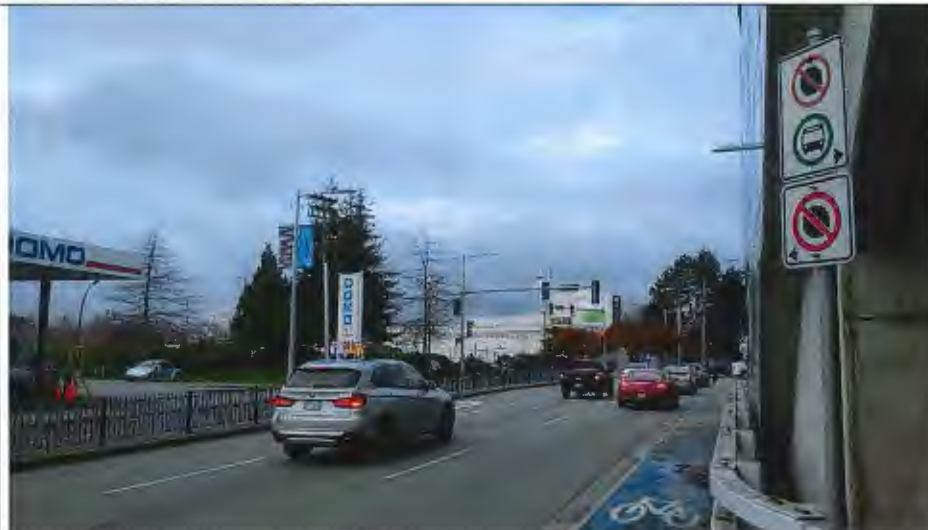


Photo 2: Looking West



Photo 3: Looking Southwest

BEFORE



AFTER



AFTER – EXISTING REMOVED



Photo 4: Looking Northeast

BEFORE



AFTER



AFTER – EXISTING REMOVED





City of Richmond

Development Variance Permit

No. DV16-743379

To the Holder: CYPRESS LAND SERVICES INC.
ON BEHALF OF TM MOBILE INC. (TELUS)

Property Address: 3911 NO. 3 ROAD

Address: C/O TAWNY VERIGIN
SUITE 120 – 736 GRANVILLE STREET
VANCOUVER, BC V6Z 1G3

1. This Development Variance Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied by this Permit.
2. This Development Variance Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied as follows:
 - a) To reduce the interior side yard setback from 3.0 m (9.8 ft.) to 2.025 m (6.65 ft.) in the "Auto-Oriented Commercial (CA)" zoning district in order to permit the construction of a 14.9 m (48.9 ft.) high monopole antenna tower at 3911 No. 3 Road.
4. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.
5. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF

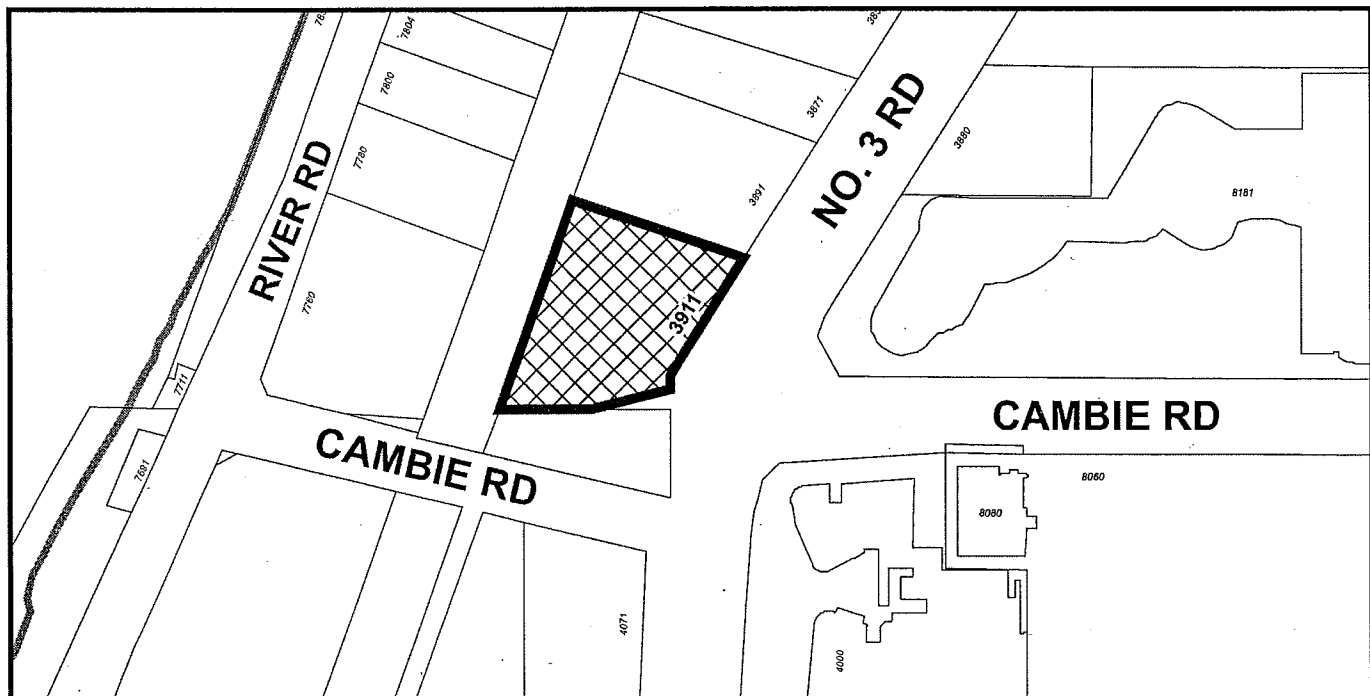
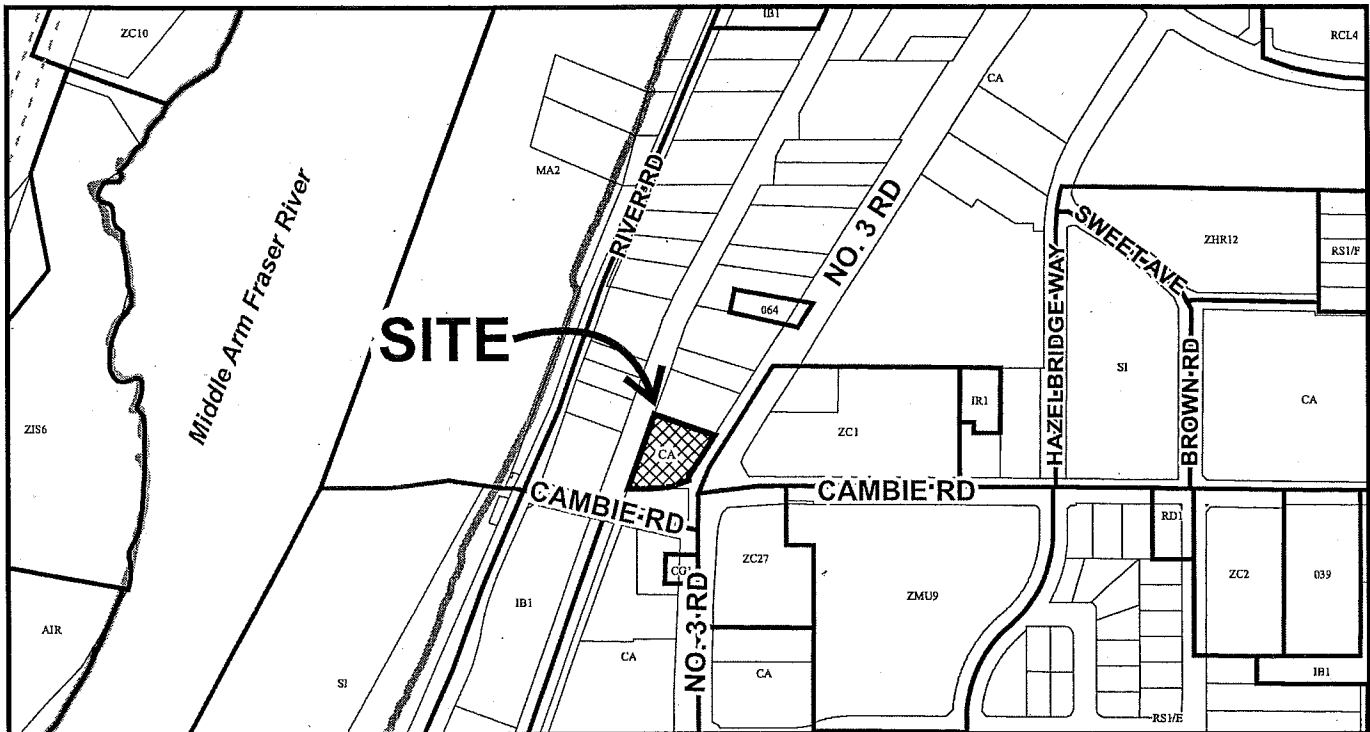
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

MAYOR



City of
Richmond



DV 16-743379
SCHEDULE "A"

Original Date: 09/26/16

Revision Date:

Note: Dimensions are in METRES



SITE NAME:

LOCATION:

SITE TYPE:

SITE CODE:

PID:

LEGAL:

RICHMOND C.O.

3911 NO. 3 ROAD,
RICHMOND, BC

MONOPOLE

BC0036

005-434-068

LOT 23 EXCEPT: PARCEL H
(BYLAW PLAN 80333)
SECTIONS 28 AND 29,
BLOCK 5 NORTH, RANGE 6 WEST,
PLAN 40717, NEW WEST. DISTRICT

ARCHITECTURAL & STRUCTURAL	
DRAWING NO.	DRAWING TITLE
B19-2163B-100	SITE PLAN
B19-2163B-101	SITE LAYOUT PLAN
B19-2163B-102	NORTH ELEVATION
B19-2163B-103	LEVEL 1 & 2 ANTENNA ORIENTATION PLANS
B19-2163B-200	FOUNDATION PLAN
B19-2163B-201	MONOPOLE FOUNDATION DETAIL
B19-2163B-202	HELICAL PILE ANCHOR DETAIL
B19-2163B-203	W/G BRIDGE FOUNDATION DETAIL
B19-2163B-204	GENERAL NOTES
B19-2163B-300	W/G BRIDGE PLAN
B19-2163B-301	'TUNING-FORK' W/G STANCHION DETAILS
B19-2163B-302	W/G STANCHION DETAILS

LOCATION CO-ORDINATESNAD 83ZONE 10

LATITUDE:49° 11' 6"N

LONGITUDE:123° 8' 12.12"W

NORTHING:5448030

EASTING:490039

ELEVATION:1.55m

CONTACTS

TELUS

PROJECT MANAGER: — —

RF ENGINEER: — —

DESIGN SPECIALIST: — —

RKTG ASSOCIATES LTD.

CONTACT:M. RAMSAY604-736-4344

ENGINEER: — —

ENGINEER TECH: — —

RKTG

ROBERTSON KOLBEINS TEEVAN
GALLAHER ASSOCIATES LTD

CONSULTING ENGINEERS
Suite 202 - 1965 W. 4th Avenue
Vancouver, British Columbia V6J 1M8
Office:604-736-4344 Fax:604-736-8235
rktg@telus.net

SITE NAME:RICHMOND C.O.

SITE CODE:BC0036

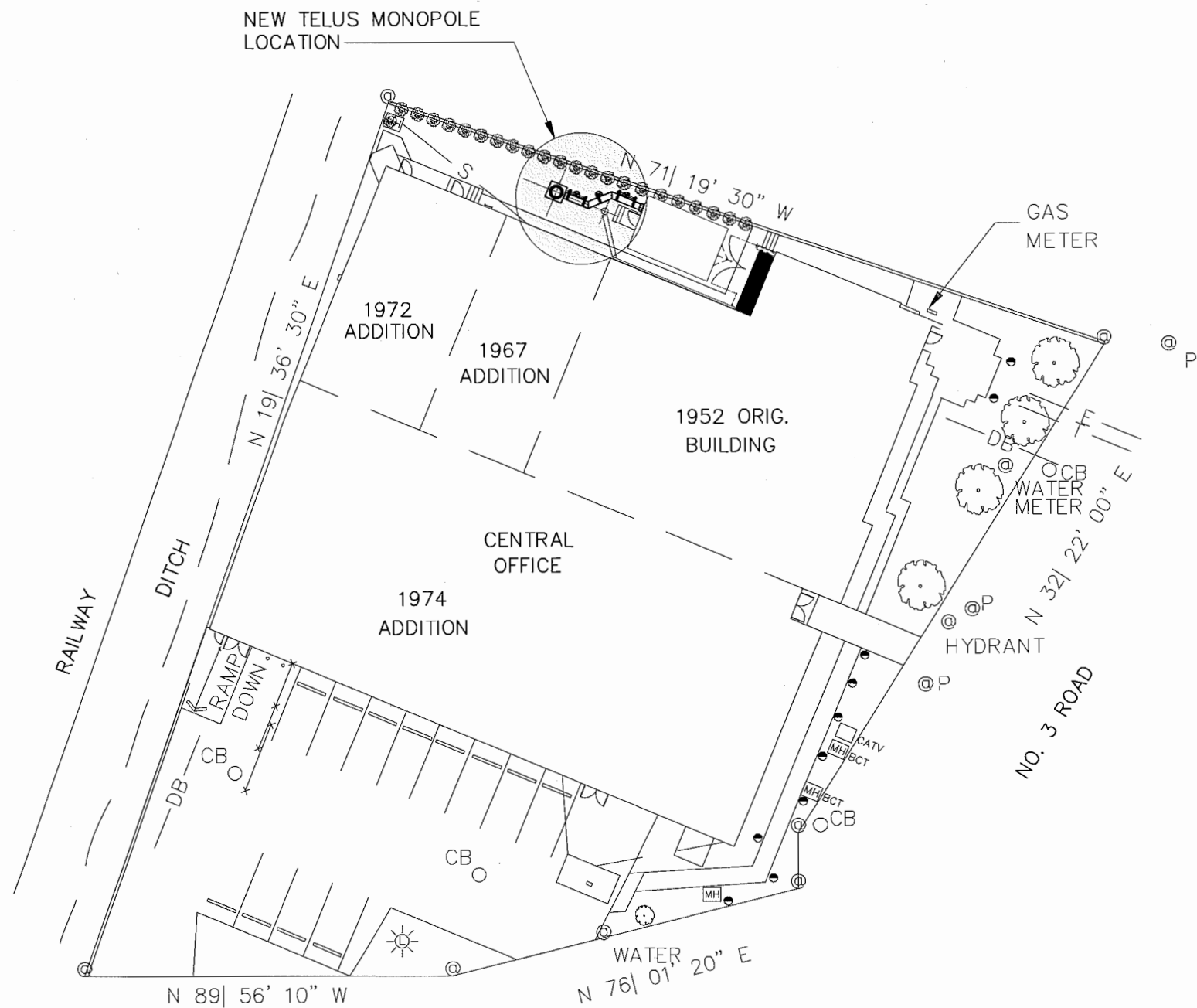
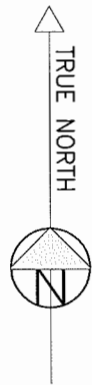
ENGINEER: —DATE: —

DRAWN: ANP PLOT SCALE: 1 : 1

CHECKED: — PLOT DATE: MAY 2016

APPROVED: —DATE: —

FILE NAME: B19-2163B-TITLEPAGE.DWG



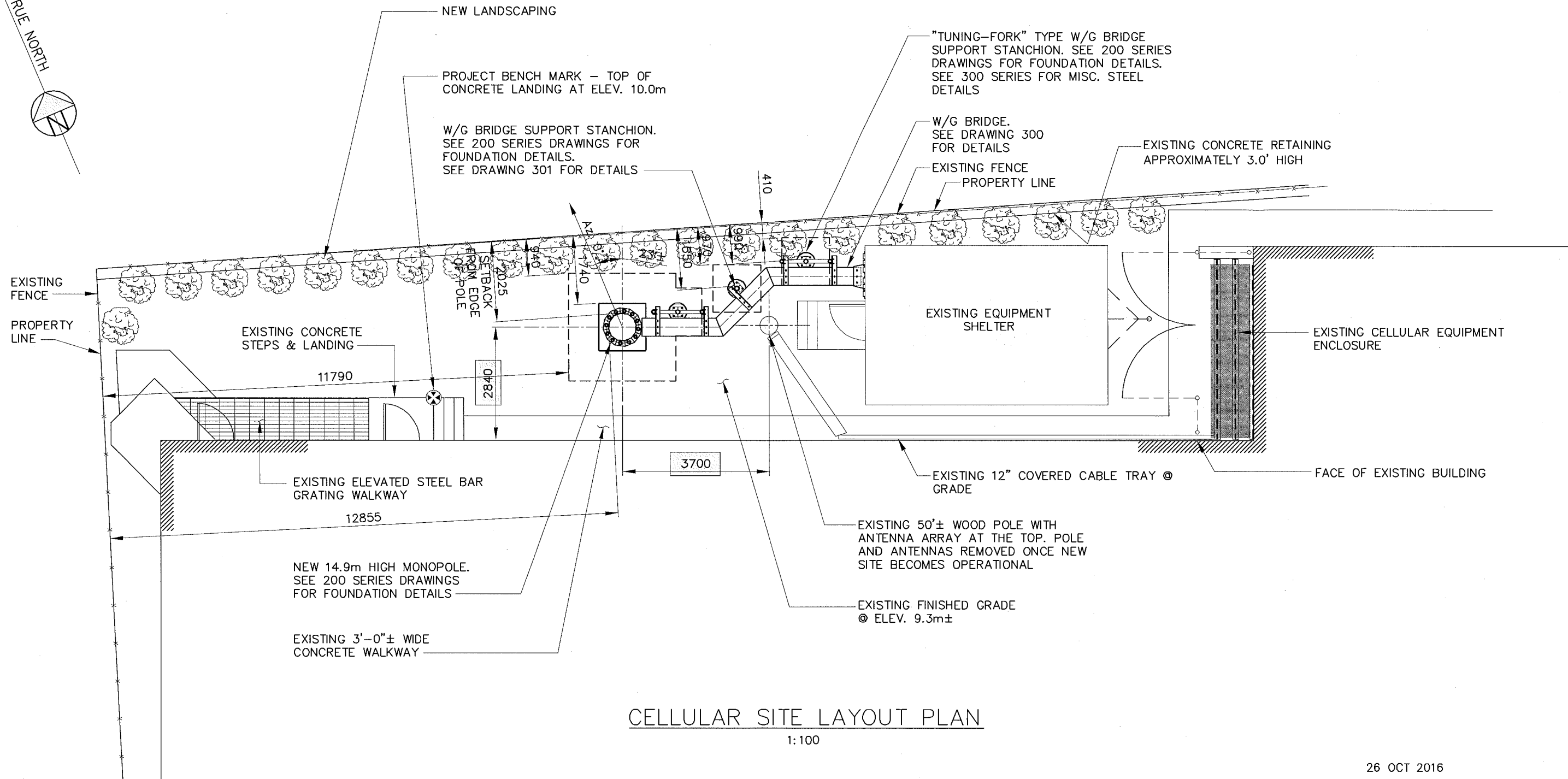
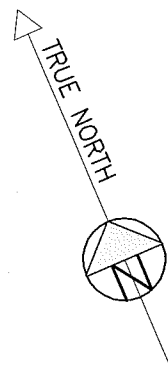
CAMBIE ROAD

SITE PLAN
1:400

REVISIONS	DATE	NO
PRELIMINARY	SEP 05 2014	1
CLIENT REVIEW	MAY 10 2016	2
OPTION A REMOVED	JULY 18 2016	3
CLEARANCES ADDED	JULY 27 2016	4
PER CITY COMMENTS	NOV 14 2016	5

ROBERTSON KOLBEINS TEEVAN GALLAHER ASSOCIATES LTD CONSULTING ENGINEERS 1965 W. 4TH AVE. VANCOUVER, BRITISH COLUMBIA V6J 1M8		
RKTG	DRAWING No.: B19-2163B-100	REV.5
BC0036 - RICHMOND CO PROPOSED MONOPOLE. CHANGE-OUT SITE PLAN		
ENG: P. GIRLING	DATE: SEP 2014	
DR: EP DAUZ	PLOT: 1 : 1	
CHK: P. GIRLING	PLOT DATE:	
APP: M. RAMSAY	NOV 14, 2016	


DP 16-743379-2



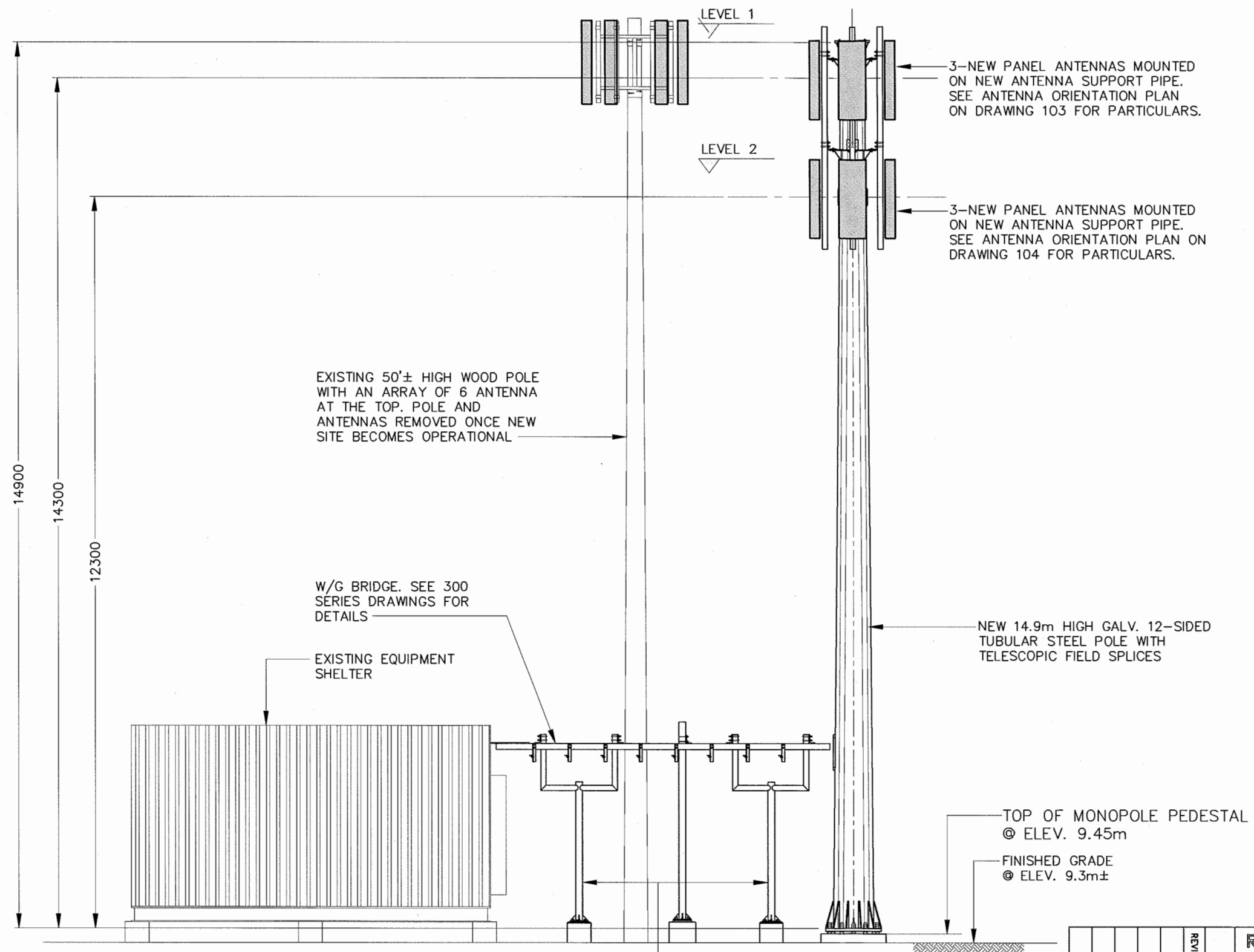
CELLULAR SITE LAYOUT PLAN

1:100

26 OCT 2016

				ROBERTSON KOLBEINS TEEVAN GALLAHER ASSOCIATES LTD CONSULTING ENGINEERS				1955 W. 4TH AVE. VANCOUVER, BRITISH COLUMBIA V6J 1M6			
				RKTG		DRAWING No.: B19-2163B-101		REV. 5			
				BC0036 - RICHMOND CO PROPOSED MONOPOLE. CHANGE-OUT SITE LAYOUT PLAN							
				ENG: P. GIRLING		DATE: SEP 2014					
				DR: EP DAUZ		PLOT: 1 : 1					
				CHK: P. GIRLING		PLOT DATE:					
				APP: M. RAMSAY		NOV 14, 2016					
REVISIONS				DATE		N°					
PRELIMINARY				SEP 05 2014		1					
CLIENT REVIEW				MAY 10 2016		2					
OPTION A REMOVED				JULY 18 2016		3					
CLEARANCES ADDED				JULY 27 2016		4					
PER CITY COMMENTS				NOV 14 2016		5					

DP 10-143379-3



3-NEW PANEL ANTENNAS MOUNTED ON NEW ANTENNA SUPPORT PIPE. SEE ANTENNA ORIENTATION PLAN ON DRAWING 103 FOR PARTICULARS.

3-NEW PANEL ANTENNAS MOUNTED ON NEW ANTENNA SUPPORT PIPE. SEE ANTENNA ORIENTATION PLAN ON DRAWING 104 FOR PARTICULARS.

EXISTING 50'± HIGH WOOD POLE WITH AN ARRAY OF 6 ANTENNA AT THE TOP. POLE AND ANTENNAS REMOVED ONCE NEW SITE BECOMES OPERATIONAL

W/G BRIDGE. SEE 300 SERIES DRAWINGS FOR DETAILS

EXISTING EQUIPMENT SHELTER

NEW 14.9m HIGH GALV. 12-SIDED TUBULAR STEEL POLE WITH TELESCOPIC FIELD SPLICES

TOP OF MONOPOLE PEDESTAL @ ELEV. 9.45m

FINISHED GRADE @ ELEV. 9.3m±

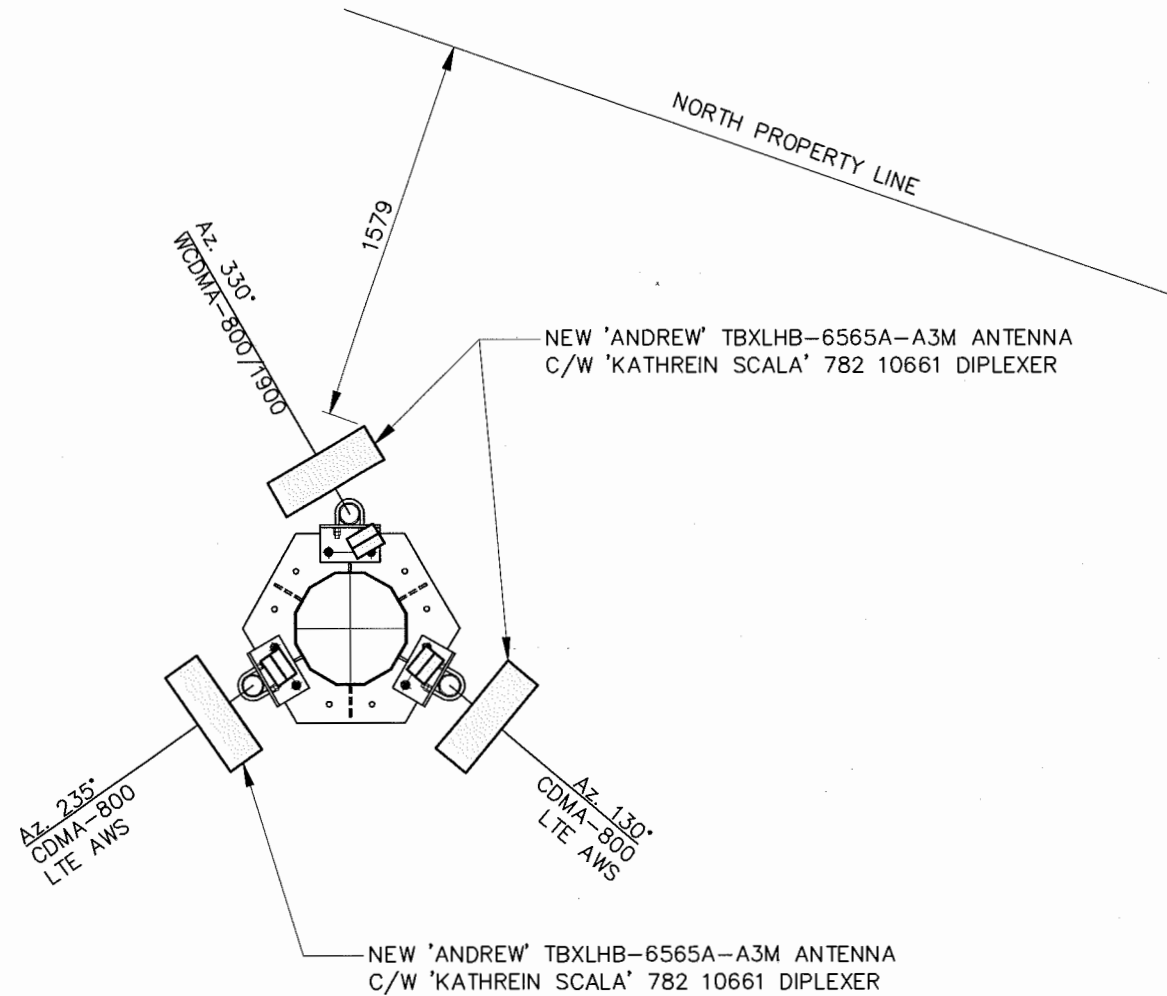
W/G BRIDGE "TUNING-FORK" TYPE SUPPORT STANCHION. SEE 300 SERIES DRAWINGS FOR DETAILS

NORTH ELEVATION
1:75

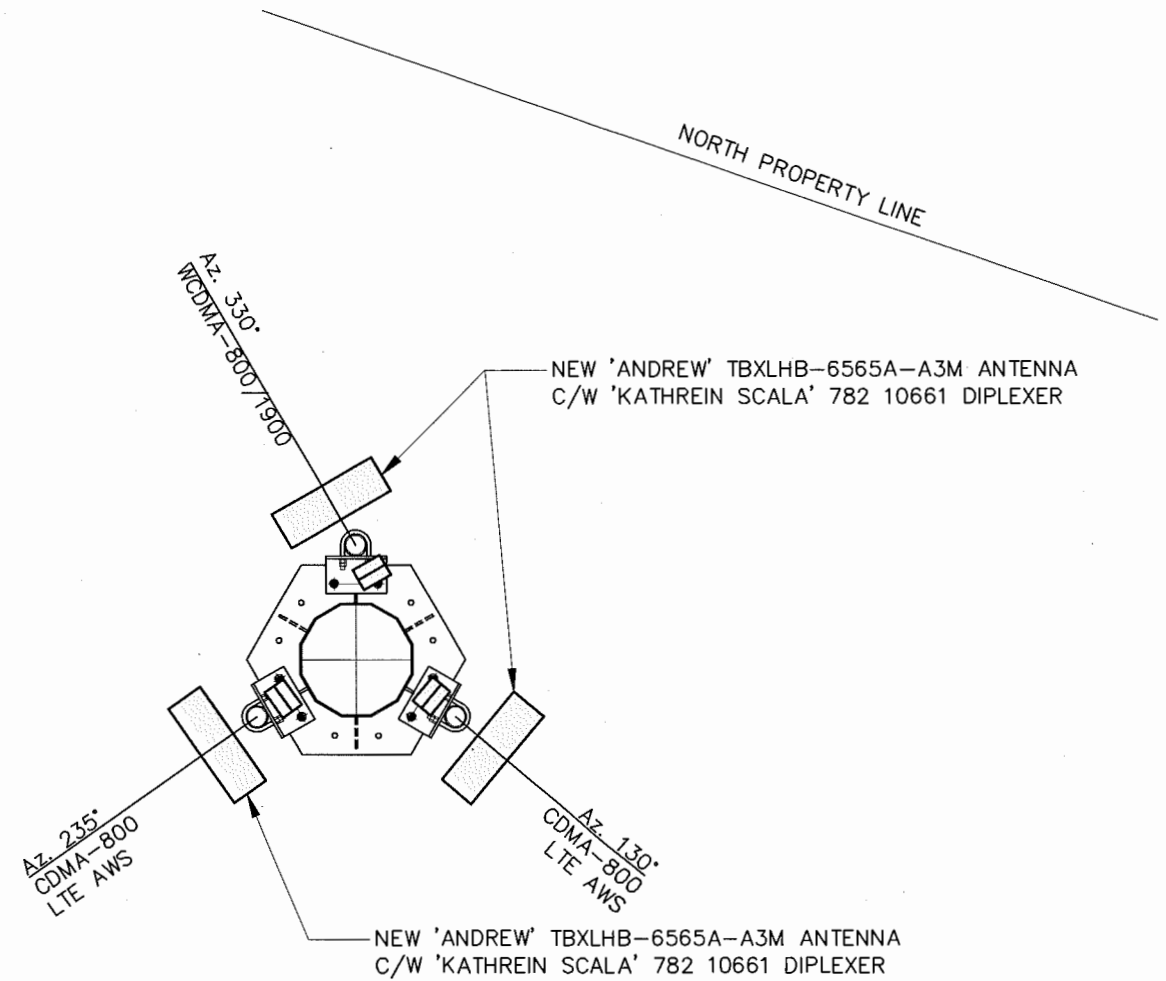
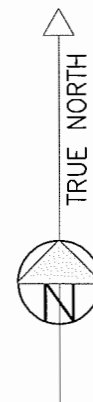
REVISIONS	DATE	NO
PRELIMINARY	SEP 05 2014	1
CLIENT REVIEW	MAY 10 2016	2
OPTION A REMOVED	JULY 18 2016	3
CLEARANCES ADDED	JULY 27 2016	4
PER CITY COMMENTS	NOV 14 2016	5

ROBERTSON KOLBEINS TEEVAN GALLAHER ASSOCIATES LTD <small>CONSULTING ENGINEERS 1965 W. 4TH AVE. VANCOUVER, BRITISH COLUMBIA V6J 1M8</small>	
RKTG	DRAWING No.: B19-2163B-102 REV. 5
BC0036 - RICHMOND CO PROPOSED MONOPOLE. CHANGE-OUT NORTH ELEVATION	
ENG: P. GIRLING DR: EP DAUZ CHK: P. GIRLING APP: M. RAMSAY	DATE: SEP 2014 PLOT: 1 : 1 PLOT DATE: NOV 14, 2016

DP 10-143379-4



LEVEL 1 ANTENNA ORIENTATION PLAN
1:30

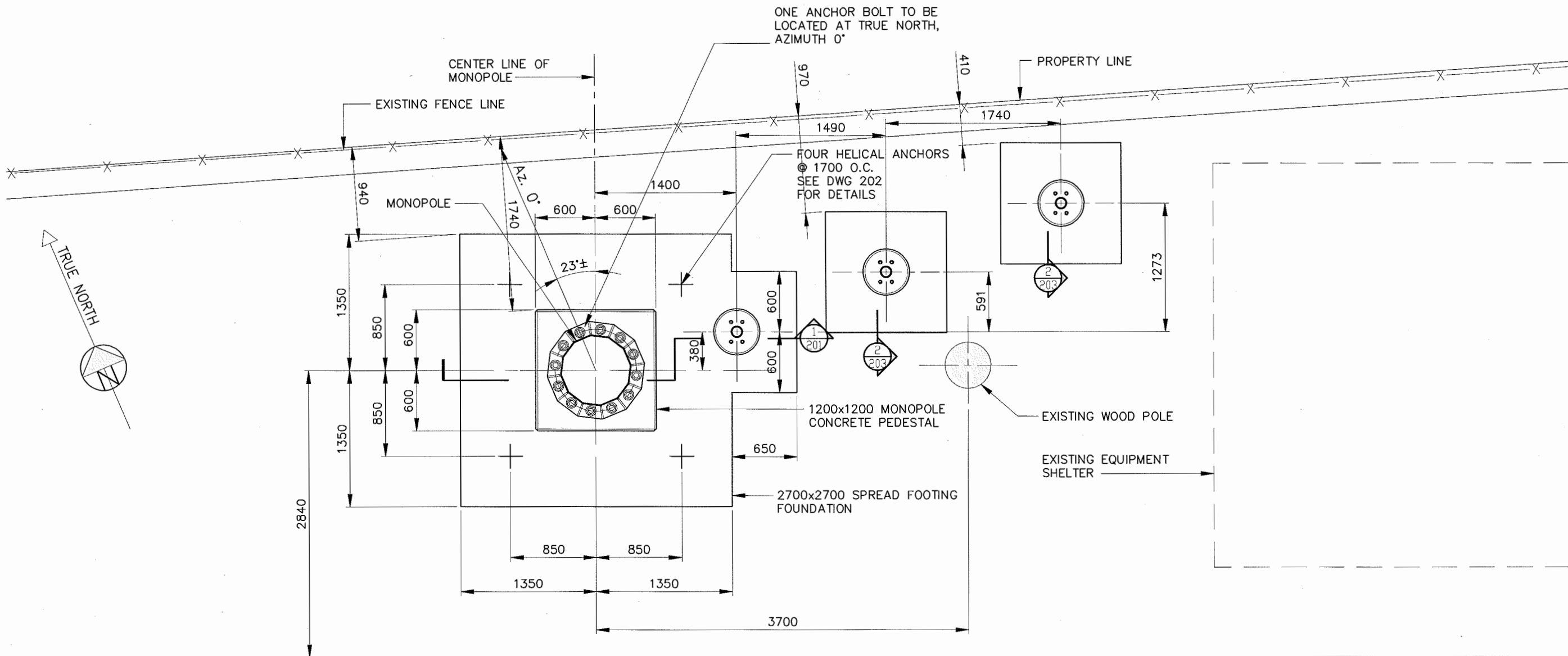


LEVEL 2 ANTENNA ORIENTATION PLAN
1:30

26 OCT 2016

ROBERTSON KOLBEINS TEEVAN GALLAHER ASSOCIATES LTD <small>CONSULTING ENGINEERS 1965 W. 4TH AVE. VANCOUVER, BRITISH COLUMBIA V6J 1M8</small>			
RKTG		DRAWING No.: B19-2163B-103	REV. 5
BC0036 - RICHMOND CO PROPOSED MONOPOLE. CHANGE-OUT LEVEL 1 & 2 ANTENNA ORIENTATION PLANS			
ENG: P. GIRLING	DATE: SEP 2014		
DR: EP DAUZ	PLOT: 1 : 1		
CHK: P. GIRLING	PLOT DATE:		
APP: M. RAMSAY	NOV 14, 2016		
REVISIONS	DATE		
PRELIMINARY	SEP 05 2014		
CLIENT REVIEW	MAY 10 2016		
OPTION A REMOVED	JULY 18 2016		
CLEARANCES ADDED	JULY 27 2016		
PER CITY COMMENTS	NOV 14 2016		

DP 10-143379-5



MONOPOLE FOUNDATION PLAN
1:40

26 OCT 2016

ROBERTSON KOLBEINS TEEVAN GALLAHER ASSOCIATES LTD <small>CONSULTING ENGINEERS</small>		<small>1965 W. 4TH AVE. VANCOUVER, BRITISH COLUMBIA V6J 1M8</small>	
RKTG		DRAWING No.: B19-2163B-200	REV. 2
BC0036 - RICHMOND CO PROPOSED MONOPOLE CHANGE-OUT FOUNDATION PLAN			
ENG: P. GIRLING	DATE: MAY 2016		
DR: ANP	PLOT: 1 : 1		
CHK: P. GIRLING	PLOT DATE:		
APP: M. RAMSAY	OCT 26, 2016		
REVISIONS CLIENT REVIEW CLEARANCES ADDED	DATE MAY 10 2016 JULY 27 2016	No 1 2	

DP 16-743379-6