



City Council

**Council Chambers, City Hall
6911 No. 3 Road**

**Monday, May 8, 2017
7:00 p.m.**

Pg. # ITEM

MINUTES

1. *Motion to:*

- (1) *adopt the minutes of the Regular Council meeting held on April 24, 2017 (distributed previously); and*
- (2) *adopt the minutes of the Special Council meeting held on May 1, 2017 (distributed previously).*



AGENDA ADDITIONS & DELETIONS

PRESENTATION

Jane Fernyhough, Director, Arts, Culture and Heritage Services, to present the Richmond Heritage Update 2016 video.

COMMITTEE OF THE WHOLE

- 2. *Motion to resolve into Committee of the Whole to hear delegations on agenda items.*



3. Delegations from the floor on Agenda items.

PLEASE NOTE THAT FOR LEGAL REASONS, DELEGATIONS ARE NOT PERMITTED ON ZONING OR OCP AMENDMENT BYLAWS WHICH ARE TO BE ADOPTED OR ON DEVELOPMENT PERMITS/DEVELOPMENT VARIANCE PERMITS – ITEM NO. 21.

4. *Motion to rise and report.*



RATIFICATION OF COMMITTEE ACTION

CONSENT AGENDA

PLEASE NOTE THAT ITEMS APPEARING ON THE CONSENT AGENDA WHICH PRESENT A CONFLICT OF INTEREST FOR COUNCIL MEMBERS MUST BE REMOVED FROM THE CONSENT AGENDA AND CONSIDERED SEPARATELY.

CONSENT AGENDA HIGHLIGHTS

- Receipt of Committee minutes
- Richmond Public Art Program 2016 Annual Report and Public Art Advisory Committee 2017 Work Plan
- Review of Local Sport Group Residency Requirement
- Garden City Lands April 2017 Update
- Minoru Park Vision and Guiding Principles
- Viability of Repurposing Minoru Aquatic Centre
- Minoru Complex Entries and Arrivals Public Art Project Review
- Registration of a Statutory Right of Way in favour of BC Hydro Over City-Owned Property at Minoru Complex (6500/6960 Gilbert Road, 7191/7251 Granville Avenue, 7551 Minoru Gate)
- 2016 Consolidated Financial Statements
- Land use applications for first reading (to be further considered at the Public Hearing on June 19, 2017):
 - Portions of 22720 and 22740 Westminster Highway – Rezone from RS1/F to RTH1 (1082843 BC Ltd. – applicant)
 - Zoning Bylaw Housekeeping Amendments (City of Richmond – applicant)
- Salvage of Building Materials and Structural Relocation of Houses

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5. *Motion to adopt Items No. 6 through No. 17 by general consent.*

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Consent
Agenda
Item

6. COMMITTEE MINUTES

That the minutes of:

CNCL-12 (3) the **Parks, Recreation and Cultural Services Committee** meeting held on April 25, 2017;

CNCL-61 (1) the **General Purposes Committee** meeting held on May 1, 2017;

CNCL-66 (2) the **Finance Committee** meeting held on May 1, 2017; and

CNCL-69 (3) the **Planning Committee** meeting held on May 2, 2017;

be received for information.

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Consent
Agenda
Item

7. RICHMOND PUBLIC ART PROGRAM 2016 ANNUAL REPORT AND PUBLIC ART ADVISORY COMMITTEE 2017 WORK PLAN

(File Ref. No. 01-0100-30-RPAR1-01) (REDMS No. 5353586)

CNCL-73

See Page CNCL-73 for full report

PARKS, RECREATION AND CULTURAL SERVICES COMMITTEE RECOMMENDATION

- (1) *That incorporating themes related to Richmond's history into proposed art projects be included in the Public Art Advisory Committee's 2017 Work Plan; and*

- (2) *That the Richmond Public Art Advisory Committee 2017 Work Plan, as amended, be approved.*

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Consent
Agenda
Item

8. **REVIEW OF LOCAL SPORT GROUP RESIDENCY REQUIREMENT**
(File Ref. No. 11-7025-09) (REDMS No. 5337166 v. 11)

CNCL-95

See Page CNCL-95 for full report

PARKS, RECREATION AND CULTURAL SERVICES COMMITTEE
RECOMMENDATION

That Council Policy 8701 be amended to include a requirement that Richmond Sport organizations have a membership of at least 70 per cent prior to receiving assistance from the City as described in the staff report titled “Review of Local Sport Group Residency Requirement,” dated April 6, 2017, from the Senior Manager, Recreation and Sport Services.



Consent
Agenda
Item

9. **GARDEN CITY LANDS APRIL 2017 UPDATE**
(File Ref. No. 06-2345-20-GCIT1) (REDMS No. 5348746 v. 10)

CNCL-102

See Page CNCL-102 for full report

PARKS, RECREATION AND CULTURAL SERVICES COMMITTEE
RECOMMENDATION

- (1) *That the staff report titled “Garden City Lands April 2017 Update,” dated April 5, 2017, from the Senior Manager, Parks be received for information; and*
- (2) *That a copy of the staff report titled “Garden City Lands April 2017 Update,” dated April 5, 2017, from the Senior Manager, Parks, be forwarded to Kwantlen Polytechnic University, stakeholder groups and be posted on the City’s website.*



Consent
Agenda
Item

10. **MINORU PARK VISION AND GUIDING PRINCIPLES**
(File Ref. No. 06-2345-20-MINO1) (REDMS No. 5340141 v. 6)

CNCL-124

See Page CNCL-124 for full report

GENERAL PURPOSES COMMITTEE RECOMMENDATION

- (1) *That the Minoru Park Vision and Guiding Principles as detailed in the staff report titled “Minoru Park Vision and Guiding Principles,” dated April 4, 2017, from the Senior Manager, Parks, be adopted; and*

- (2) *That the Vision and Guiding Principles as described in the staff report titled “Minoru Park Vision and Guiding Principles,” dated April 4, 2017, from the Senior Manager, Parks, be used to guide the development of the Minoru Park Vision Plan and that staff bring the Minoru Park Vision Plan to Council for approval at the end of 2017.*



Consent
Agenda
Item

11. **VIABILITY OF REPURPOSING MINORU AQUATIC CENTRE**

(File Ref. No. 06-2052-55-02-01) (REDMS No. 5361029 v. 5)

CNCL-171

See Page CNCL-171 for full report

GENERAL PURPOSES COMMITTEE RECOMMENDATION

- (1) *That upon completion and opening of the new Minoru Centre for Active Living, the existing Minoru Aquatic Centre located at 7560 Minoru Gate in Minoru Park be decommissioned and demolished, and that the project be submitted for consideration in the 2018 capital budget as described in the staff report titled “Viability of Repurposing Minoru Aquatic Centre,” dated April 21, 2017, from the Senior Manager, Capital Buildings Project Development and the Senior Manager, Parks; and*
- (2) *That any future use of the existing Minoru Aquatic Centre and/or the Minoru Place Activity Centre sites located at 7560 Minoru Gate and 7660 Minoru Gate respectively be considered as part of the Minoru Park Vision Plan and be subject to Council approval.*



Consent
Agenda
Item

12. **MINORU COMPLEX ENTRIES AND ARRIVALS PUBLIC ART PROJECT REVIEW**

(File Ref. No. 11-7000-09-20-202) (REDMS No. 5345031)

CNCL-179

See Page CNCL-179 for full report

GENERAL PURPOSES COMMITTEE RECOMMENDATION

That the issuance of a revised Artist Call for the Minoru Complex Entries and Arrivals Public Art Project, as described in the staff report titled, “Minoru Complex Entries and Arrivals Public Art Project Review,” dated March 20, 2017 from the Director, Arts, Culture and Heritage Services, be endorsed.



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13. **REGISTRATION OF A STATUTORY RIGHT OF WAY IN FAVOUR OF BC HYDRO OVER CITY-OWNED PROPERTY AT MINORU COMPLEX (6500/6960 GILBERT ROAD, 7191/7251 GRANVILLE AVENUE, 7551 MINORU GATE)**

(File Ref. No. 06-2285-30-197) (REDMS No. 5211578 v. 2)

CNCL-190

See Page CNCL-190 for full report

GENERAL PURPOSES COMMITTEE RECOMMENDATION

- (1) *That staff be authorized to register a statutory right of way for utility purposes in favour of BC Hydro over a 96.0 m² portion of City-owned property at Minoru Complex (6500/6960 Gilbert Road, 7191/7251 Granville Avenue, 7551 Minoru Gate); and*
- (2) *That staff be authorized to take all necessary steps to complete the matter including authorizing the Chief Administrative Officer and the General Manager, Finance and Corporate Services to negotiate and execute all documentation to effect the transaction detailed in the staff report titled “Registration of a Statutory Right of Way in favour of BC Hydro over City-owned Property at Minoru Complex (6500/6960 Gilbert Road, 7191/7251 Granville Avenue, 7551 Minoru Gate)” dated April 12, 2017 including all contracts and Land Title Office documents.*



Consent
Agenda
Item

14. **2016 CONSOLIDATED FINANCIAL STATEMENTS**

(File Ref. No. 03-0905-01) (REDMS No. 5373449 v. 2)

CNCL-196

See Page CNCL-196 for full report

FINANCE COMMITTEE RECOMMENDATION

That the City’s audited consolidated financial statements for the year ended December 31, 2016 be approved.



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15. **APPLICATION BY 1082843 BC LTD. FOR REZONING PORTIONS OF 22720 AND 22740 WESTMINSTER HIGHWAY FROM “SINGLE DETACHED (RS1/F)” TO “HIGH DENSITY TOWNHOUSES (RTH1)”**
(File Ref. No. 12-8060-20-009714; RZ 16-754713) (REDMS No. 5364596 v. 2)

CNCL-259

See Page CNCL-259 for full report

PLANNING COMMITTEE RECOMMENDATION

That Richmond Zoning Bylaw 8500, Amendment Bylaw 9714 to:

- (1) *include the Hamilton Area Plan density bonus and community amenity provisions within the “High Density Townhouses (RTH1)” zone; and*
- (2) *rezone the western portion of 22720 and 22740 Westminster Highway from “Single Detached (RS1/F)” to “High Density Townhouses (RTH1)”;*

be introduced and given first reading.



Consent
Agenda
Item

16. **PROPOSED ZONING BYLAW HOUSEKEEPING AMENDMENTS**
(File Ref. No. 08-4430-01) (REDMS No. 5278492 v. 8)

CNCL-298

See Page CNCL-298 for full report

PLANNING COMMITTEE RECOMMENDATION

That Richmond Zoning Bylaw 8500, Amendment Bylaw 9699 to make housekeeping amendments be introduced and given first reading.



Consent
Agenda
Item

17. **SALVAGE OF BUILDING MATERIALS AND STRUCTURAL RELOCATION OF HOUSES**
(File Ref. No. 08-4375-00) (REDMS No. 5164202 v. 12)

CNCL-312

See Page CNCL-312 for full report

PLANNING COMMITTEE RECOMMENDATION

That Council endorses the following measures to encourage the relocation of existing houses and salvage of building materials from demolition sites:

- (1) *Develop an online list for houses scheduled for demolition to allow house moving companies to contact home owners arranging for potential house moves;*
- (2) *Promote the options to relocate existing houses and to salvage building materials by informing the public of the benefits;*

(3) *That the cost of a temporary full time staff to implement the proposed program estimated to be up to \$110,000.00 funded by the 2017 Building Permits Revenue be included as amendment to the 5 Year Financial Plan (2017-2021); and*

(4) *That staff report back on the above measures in 12 months' time.*



CONSIDERATION OF MATTERS REMOVED FROM THE
CONSENT AGENDA

NON-CONSENT AGENDA ITEM

PARKS, RECREATION AND CULTURAL SERVICES
COMMITTEE

Councillor Harold Steves, Chair

18. **LANSDOWNE ROAD STREET AS CANVAS TEMPORARY PUBLIC
ART INSTALLATION DETAILED DESIGN**

(File Ref. No. 11-7000-09-20-192) (REDMS No. 5358713)

CNCL-319

See Page CNCL-319 for full report

PARKS, RECREATION AND CULTURAL SERVICES COMMITTEE
RECOMMENDATION

Opposed: Cllr. Day

That the staff report titled, "Lansdowne Road Street as Canvas Temporary Public Art Installation Detailed Design," dated March 31, 2017, from the Director, Arts, Culture and Heritage Services, be endorsed.



PUBLIC DELEGATION ON NON-AGENDA ITEM

19. *Motion to resolve into Committee of the Whole to hear delegations on non-agenda items.*



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- CNCL-331** Anjali Appadurai, Communications & Engagement Specialist, West Coast Environmental Law, to speak on holding the fossil fuel industry responsible for a portion of **climate adaptation costs**.

20. *Motion to rise and report.*

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RATIFICATION OF COMMITTEE ACTION

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PUBLIC ANNOUNCEMENTS AND EVENTS

NEW BUSINESS

BYLAWS FOR ADOPTION

- CNCL-340** Development Cost Charges Imposition **Bylaw No. 9499**
Opposed at 1st/2nd/3rd Readings – None.

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- CNCL-350** Annual Property Tax Rates (2017) **Bylaw No. 9695**
Opposed at 1st/2nd/3rd Readings – None.

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- CNCL-354** Richmond Zoning Bylaw No. 8500, Amendment **Bylaw No. 9584**
(12040 No. 5 Road, RZ 14-672762)
Opposed at 1st Reading – None.
Opposed at 2nd/3rd Readings – None.

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- CNCL-356** Richmond Official Community Plan Bylaw Nos. 9000 and 7100, Amendment **Bylaw No. 9593**
(3031, 3211, 3231, 3291, 3311, 3331, 3351 No. 3 Road, 8151 Capstan Way, and 8051 and 8100 River Road, RZ 12-603040)
Opposed at 1st Reading – None.
Opposed at 2nd/3rd Readings – None.

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- CNCL-362** Richmond Zoning Bylaw No. 8500, Amendment **Bylaw No. 9594**
(3031, 3211, 3231, 3291, 3311, 3331, 3351 No 3 Road, 8151 Capstan Way and 8051 and 8100 River Road, RZ 12-603040)
Opposed at 1st Reading – None.
Opposed at 2nd/3rd Readings – None.

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- CNCL-370** Richmond Zoning Bylaw No. 8500, Text Amendment **Bylaw No. 9647**
Opposed at 1st Reading – None.
Opposed at 2nd/3rd Readings – None.

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- CNCL-373** Richmond Zoning Bylaw No. 8500, Text Amendment **Bylaw No. 9691**
Opposed at 1st Reading – None.
Opposed at 2nd/3rd Readings – None.

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- CNCL-374** Richmond Zoning Bylaw No. 8500, Text Amendment **Bylaw No. 9692**
Opposed at 1st Reading – None.
Opposed at 2nd/3rd Readings – None.

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DEVELOPMENT PERMIT PANEL

21. RECOMMENDATION

See DPP Plan Package (distributed separately) for full hardcopy plans

- CNCL-375** (1) *That the **Chair's report** for the Development Permit Panel meetings held on October 12, 2016 and March 29, 2017, be received for information; and*

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- (2) *That the recommendations of the Panel to authorize the issuance of:*
- (a) *a Development Permit (DP 15-708644) for the property at 7260 Lynnwood Drive and 5320, 5340 & 5360 Granville Avenue; and*
 - (b) *a Development Permit (DP 16-745853) for the property at 3031, 3211, 3231, 3291, 3311, 3331 and 3351 No. 3 Road and 8151 Capstan Way;*
- be endorsed, and the Permits so issued.*

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ADJOURNMENT

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Parks, Recreation and Cultural Services Committee

Date: Tuesday, April 25, 2017

Place: Anderson Room
Richmond City Hall

Present: Councillor Harold Steves, Chair
Councillor Ken Johnston
Councillor Carol Day
Councillor Bill McNulty
Councillor Linda McPhail

Call to Order: The Chair called the meeting to order at 4:00 p.m.

MINUTES

It was moved and seconded

That the minutes of the meeting of the Parks, Recreation and Cultural Services Committee held on March 28, 2017, be adopted as circulated.

CARRIED

NEXT COMMITTEE MEETING DATE

May 24, 2017, (tentative date) at 4:00 p.m. in the Anderson Room

DELEGATION

1. With the aid of a PowerPoint presentation (copy on-file, City Clerk's Office), Karen Smith and Paul Dylla, representing the Richmond Adult Ballet students, spoke on securing programming space at the Minoru Place Activity Centre, noting that (i) there has been a high demand for the dance program, with many individuals on the waiting list, (ii) all age groups can participate in the dance program, (iii) there is a lack of change room and warm up space in the current location, and (iv) Minoru Place Activity Centre is an ideal location with parking facilities and nearby amenities.

Parks, Recreation & Cultural Services Committee
Tuesday, April 25, 2017

In reply to queries from Committee, staff noted that stakeholder consultation on the repurposing of the Minoru Place Activity Centre is anticipated to take place in June 2017. Also, Cathryn Volkering Carlile, General Manager, Community Services, clarified that the Richmond Adult Ballet program is a Richmond Arts Centre Program.

In reply to queries from Committee, Mr. Dylla noted that sharing programming space with other groups during peak times may be challenging. Also, Mr. Dylla provided information documents related to the Adult Dance Program (attached to and forming part of these minutes as Schedule 1).

Discussion ensued with regard to converting current storage space to change rooms and providing recreational dance classes for children and youth.

As a result of the discussion, the following **referral motion** was introduced:

It was moved and seconded

- (1) *That the presentation from Richmond Adult Ballet be received for information; and*
- (2) *That staff consider programming space for Richmond Adult Ballet in the Minoru Place Activity Centre and report back.*

CARRIED

COMMUNITY SERVICES DIVISION

2. **LANDSDOWNE ROAD STREET AS CANVAS TEMPORARY PUBLIC ART INSTALLATION DETAILED DESIGN**

(File Ref. No. 11-7000-09-20-192) (REDMS No. 5358713)

Eric Fiss, Public Art Planner, reviewed the proposed temporary public art installation on Lansdowne Road, noting that the design will be painted on the surface of the raised multi-modal path and the temporary art installation will last the lifespan of the paint.

Discussion ensued with regard to options to incorporate community engagement into the project.

It was moved and seconded

That the staff report titled, "Lansdowne Road Street as Canvas Temporary Public Art Installation Detailed Design," dated March 31, 2017, from the Director, Arts, Culture and Heritage Services, be endorsed.

CARRIED

Opposed: Cllr. Day

Parks, Recreation & Cultural Services Committee
Tuesday, April 25, 2017

3. RICHMOND PUBLIC ART PROGRAM 2016 ANNUAL REPORT AND PUBLIC ART ADVISORY COMMITTEE 2017 WORK PLAN

(File Ref. No. 01-0100-30-RPAR1-01) (REDMS No. 5353586)

Mr. Fiss briefed Committee on the Richmond Public Art Program 2016 Annual Report and Public Art Advisory Committee's (PAAC) 2017 Work Plan, noting that the city's historical themes can be incorporated into PAAC's work plan.

Discussion ensued with regard to incorporating the city's history into proposed public art projects and placing public art in appropriate locations.

It was moved and seconded

- (1) *That incorporating themes related to Richmond's history into proposed art projects be included in the Public Art Advisory Committee's 2017 Work Plan; and*
- (2) *That the Richmond Public Art Advisory Committee 2017 Work Plan, as amended, be approved.*

CARRIED

4. SPRING BREAK PROGRAM UPDATE 2017

(File Ref. No. 11-7000-01) (REDMS No. 5357920 v. 6)

Elizabeth Ayers, Manager, Community Services Planning and Projects, presented a video on the 2017 Spring Break Program (copy on-file, City Clerk's Office), noting that there was a positive community response to free swim and skate coupons.

It was moved and seconded

That the staff report titled, "Spring Break Program Update 2017" from the Senior Manager, Recreation and Sport Services, dated April 6, 2017, be received for information.

CARRIED

5. REVIEW OF LOCAL SPORT GROUP RESIDENCY REQUIREMENT

(File Ref. No. 11-7025-09) (REDMS No. 5337166 v. 11)

In reply to queries from Committee with regard to the Richmond residency rate for participants enrolled in Richmond Gymnastics, Gregg Wheeler, Manager, Sport and Community Events, noted that Richmond Gymnastics has a 90% Richmond residency participation rate.

Discussion ensued with regard to the residency verification process and the three year introductory period for new sports groups to grow participation and meet residency requirements.

As a result of the discussion, staff were directed to seek consultation with Sports Council on the policy related to the three year introductory period.

Parks, Recreation & Cultural Services Committee
Tuesday, April 25, 2017

It was moved and seconded

That Council Policy 8701 be amended to include a requirement that Richmond Sport organizations have a membership of at least 70 per cent prior to receiving assistance from the City as described in the staff report titled "Review of Local Sport Group Residency Requirement," dated April 6, 2017, from the Senior Manager, Recreation and Sport Services.

CARRIED

6. SUPPORTING VERTICAL PARENTING IN RICHMOND'S CITY CENTRE

(File Ref. No. 11-7000-01) (REDMS No. 5335261 v. 8)

Serena Lusk, Senior Manager, Recreation and Sport Services, spoke on vertical parenting in the city centre, noting that the United Way provided funding towards research and programs on the matter.

It was moved and seconded

That the staff report titled, "Supporting Vertical Parenting in Richmond's City Centre," dated April 5, 2017, from the Senior Manager, Recreation and Sport Services, be received for information.

CARRIED

7. GARDEN CITY LANDS APRIL 2017 UPDATE

(File Ref. No. 06-2345-20-GCIT1) (REDMS No. 5348746 v. 10)

Mike Redpath, Senior Manager, Parks, and Jamie Esko, Manager, Parks Planning, Design and Construction, provided an update on the Garden City Lands development, noting that (i) construction of the site's pathways is ongoing, (ii) a TransLink bus stop was installed near the south-east corner of the site, (iii) the ditch along the Westminster Highway portion of the site will be filled in, (iv) the farming agreement with Kwantlen Polytechnic University (KPU) will proceed to KPU's Board of Governors for authorization, (v) multiple soil sources are used and soils are tested to an agricultural standard prior to installation, (vi) tree and plant species native to the Fraser River zone will be planted on-site, and (vii) proposed designs for the community hub structures will be provided to Council prior to submission to the Agricultural Land Commission.

Discussion ensued with regard to utilizing clean sources of soil and organic standards for soil testing, and planting native tree species on-site.

The Chair provided a map of the distribution of the native species in Richmond (attached to and forming part of these minutes as Schedule 2) and provided staff a book listing the native species in Richmond, titled *Native Plants of Marsh and Upland in Richmond* (copy on-file, City Clerk's Office).

Parks, Recreation & Cultural Services Committee
Tuesday, April 25, 2017

It was moved and seconded

- (1) *That the staff report titled "Garden City Lands April 2017 Update," dated April 5, 2017, from the Senior Manager, Parks be received for information; and*
- (2) *That a copy of the staff report titled "Garden City Lands April 2017 Update," dated April 5, 2017, from the Senior Manager, Parks, be forwarded to Kwantlen Polytechnic University, stakeholder groups and be posted on the City's website.*

CARRIED

The Chair advised that Memorial for Canadians of Japanese Descent will be considered as Item No. 7A.

7A. MEMORIAL FOR CANADIANS OF JAPANESE DESCENT

(File Ref. No.)

Referring to a letter from the Steveston Cultural Centre, (attached to and forming part of these minutes as Schedule 3), it was noted that 2017 marks the 75th anniversary of the internment of Richmond residents of Japanese descent.

Discussion ensued with regard to establishing a memorial to commemorate the internment of Richmond residents of Japanese descent in the city.

As a result of the discussion, the following **referral motion** was introduced:

It was moved and seconded

- (1) *That the letter from the Steveston Cultural Centre regarding the Nikkei Memorial Project be referred to staff; and*
- (2) *That staff examine funding options for the Nikkei Memorial Project and report back to the General Purposes Committee.*

CARRIED

8. MANAGER'S REPORT

Wellness Strategy

Ms. Ayers noted that the public engagement for the City's Wellness Strategy has commenced and will include consultation through Let's Talk Richmond online and open house sessions.

Parks, Recreation & Cultural Services Committee
Tuesday, April 25, 2017

ADJOURNMENT

It was moved and seconded

That the meeting adjourn (5:14 p.m.).

CARRIED

Certified a true and correct copy of the Minutes of the meeting of the Parks, Recreation and Cultural Services Committee of the Council of the City of Richmond held on Tuesday, April 25, 2017.

Councillor Harold Steves
Chair

Evangel Biason
Legislative Services Coordinator

DOCUMENTS FROM THE
RICHMOND ARTS CENTRE
ADULT DANCE PROGRAM
PARTICIPANTS

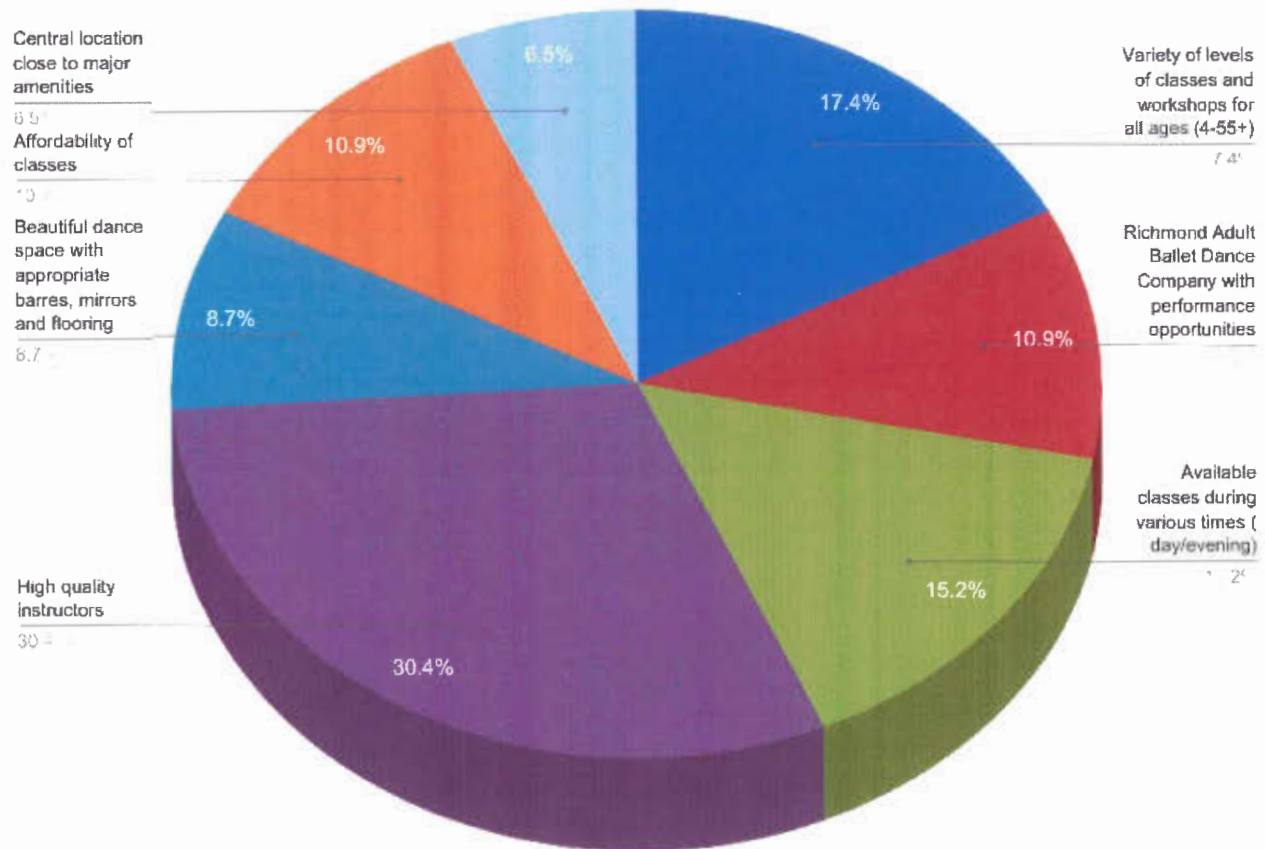
PARKS AND RECREATION COMMITTEE MEETING
CITY OF RICHMOND
25 APRIL 2017



Some group photos of the adult **Richmond Dance Company** from 2015-present



Top Reasons Why Adults Are Drawn to Ballet Classes at the Richmond Arts Centre, as per survey



Anecdotes by students of the Adult Ballet Classes

1. A major reason why the Richmond Arts Centre adult ballet needs expanding is due to Miss Miyouki's teaching talent and passionate spark for her art form, which is further enhanced by her wisdom about what should be expected from adult ballet students and what students like me want to get out of classes like these. I have taken ballet in the US and Canada for over 20 years and her talent for teaching adults is rare, nearly unparalleled. I drive from the other side of Vancouver into Richmond to take class from her every Thursday at 6pm. I'm sure to sign up for each new session on the day it becomes available because I cannot imagine not being allowed to attend her Thursday evening adult ballet class due to lack of space. That would be a nightmare for me. The limited space also sets up an artificial and awkward level of competition among her students – 'so and so got in but so and so didn't sign up in time' 'this other person "took her place"'... slightly-knowing glance and awkward silence. If that happened to me, I wouldn't be able to afford to nor have the space in my schedule between work and family to go somewhere else – nor would I want to. There's no other teacher like Miss Miyouki in the Greater Vancouver Area.

Furthermore, because of the nature of ballet itself, if there wasn't room for me in one session, I would immediately begin to lose the progress I've gained in her class and I'd have to almost start from scratch in my development should I then start taking her class in a following session. Consistency and discipline form the foundation for artistic growth and, like our art form itself, are temporal and immaterial and require tremendous inner strength.

Taking class from Miss Miyouki week after week for over a year has opened up avenues of expression for me physically and creatively that I didn't expect to find nor expect to be able afford in the Greater Vancouver Area. I've discovered expression that I didn't know I had in me as a part-time ballet aficionado. In short, Miss Miyouki's RAC's classes have given me long-term hope and joy and a community in which to bank those feelings.

2. As a teenager/young adult I always longed to be a dancer, I dreamed to be a ballerina, but did not have the means to make this dream come true and believed it was too late for me since the majority of dancers start their training at a young age. I started dancing just under 10 years ago, at age 31, taking partner dance classes in Ceroc/Modern Jive and eventually becoming a certified Ceroc teacher. My ballet journey didn't start till a few years later (2010) where I took a drop in class with a friend and fell in love with ballet after the first class as it brought up all those feelings I used to have when I longed to be a ballerina. I was dedicated and went to class every week for 3 years and moved from beginner to advanced during this time, however, I always felt like my technique had gaps that something was missing and my foundation was not solid and was never able to master certain moves that my instructor would demonstrate. I accepted at that time that because I started so late and the other dancers in my class were adults who learned ballet when they were young that I would never be able to train to have a solid foundation like they had. Another reason my technique didn't improve is because there were no intermediate ballet classes offered so I went straight from beginner to advanced classes leaving me feeling overwhelmed and losing confidence in my ability. I even tried pointe classes which did not work out so well for me so I have unused pointe shoes in my closet. So I stopped going to ballet classes and focused on other dance styles instead. My hiatus from ballet lasted 2 years during which time I continued to take partner style dance classes and teach Ceroc dance but something was missing in my dance repertoire. I searched for it in other dance styles but my spirit did not feel fulfilled. I struggled with this for quite some time and then one day decided it was time to get back into ballet, but I needed to start from scratch and thought perhaps I need to seek out another instructor. I hoped I would find a ballet instructor in Richmond that I would like and inspire/encourage me to work towards my goals. Generally dance schools offer the one adult ballet class for all levels and usually a drop in type of class. So I was pretty skeptical about finding one that would address the concerns I had about the gaps in my technique. When I found beginner ballet classes at the Richmond Arts Centre I was pretty stoked since it's in Richmond and the classes are quite affordable (another reason it took me so long to get back into ballet- the cost of ballet classes and location) so I signed up for a beginner ballet class and was so very excited for my first day.

My first impression of Miss Miyouki was a positive one as I found her to be professional, warm and welcoming. I found her instruction to be clear and focused and found her to be quite knowledgeable and skilled as an instructor. I had no idea how truly fortunate I was to have found her. One thing that stood out about that class was the sense of community I felt right away- there was a family comprised of a mother, father and daughter all taking the class together and I thought that was really neat!

I continue to take classes with Miss Miyouki as her instruction has allowed me to "learn from scratch" to build a strong ballet foundation (something I thought was not possible) She offers classes for every level so I am most confident when moving on to the next level. I even continued to take beginner classes after she said I was ready for intermediate classes as I wanted to ensure I was learning at my own pace and not missing anything. Because the classes are so affordable I am able to take more than one class a week. Another perk about the classes with Miss Miyouki is the opportunity for adults to perform on stage during the year end recital. The quality of the pieces she choreographs is most impressive and I am fortunate enough to be a part of it. Most recently she offered a 10 day Cecchetti ballet boot camp challenge during spring break which afforded the adult ballet students to experience what it would be like to train professionally under Cecchetti's tutelage. I cannot stress enough the amount of QUALITY instruction Miss Miyouki offers her students. She is truly a professional and a hidden gem of the city of Richmond. What she has created here at the Richmond Arts Centre is truly beautiful and amazing!

3. Pursuant to my childhood ballet experience, I have always wanted to continue to take ballet classes, but as a youth and then as an adult, never had the time to do so while schooling and working. Following retirement, I finally seized the opportunity and thus started with a single ballet class in January 2010 at Steveston Community Centre. As this solitary class did not give me near enough balletic satisfaction, I enrolled in the only adult ballet class being offered at the Richmond Arts Centre in January 2011. Later in 2011, when Miyouki Jago took over the reins as the senior dance instructor at the Centre, the adult ballet classes began to expand and now include experience and proficiency gradations from beginner through to advanced, to which has now been added pre-pointe and pointe classes. In addition, in 2012, Miss Miyouki started to develop choreography for presentation by an adult class at the yearend class recital at Gateway Theatre in June 2013. Based on the success of that performance, the Richmond [Adult] Dance Company (RDC) was officially formed in September 2013 and has been going strong ever since with increasingly more complex choreography, an expanding repertoire, public performance opportunities, and liaising with the Centre's Richmond Youth Dance Company (RYDC) and pre-Company groups for joint performance pieces.

The ballet programme at the Richmond Arts Centre is totally unique for a community based organization. It allows dancers to grow within the ballet genre, to work toward their individual goals, and at the same time, it provides challenging opportunities for those committed to dance and to seeing ballet being successful not only at the Richmond Arts Centre, but also within the community as a whole. This is a big reason why I, personally, am a firm believer in and supporter for ballet at all levels and open to everyone who wishes to pursue this form of dance. I am very thankful and truly honoured that Miss Miyouki accepted me into the RDC programme. Given my age and the fact that there are some exercises, steps, and moves that are no longer easy for me to perform, does not, it seems, to pose a problem and the choreography assigned to me is always appropriate for my competency level. This attests to Miss Miyouki's incredible penchant for an inclusivity that runs the gamut of experience and capability regardless of age, and in so doing, produce a highly workable and cohesive adult company worthy of showcase.

I know I would not be able to find the mix of class gradation and ballet opportunity anywhere else except for the programme run at the Richmond Arts Centre. Its excellence cannot be over stated! Its meteoric growth over the past 5 years has been phenomenal and it has the potential of only getting better and better. Sadly, the restricted space in which the two Companies, either separate or jointly, rehearse is just too small and further growth may very well not be possible. Those in the RDC and in the adult pointe classes are expected to take two additional technical classes, but some students are not able to get into these due to full registration and thus find themselves on waiting lists. With more space available, more classes could be offered and those involved in RDC or wanting to get pointe instruction could, at last, fulfill the requisite class requirements.

For me, the scope of class choices, the chance of enjoying ballet even in later years, and the fabulous challenge of being part of RDC is a dream come true. I love to be challenged and I find that this desire can be fulfilled by the ballet opportunities offered to me only by the Richmond Arts Centre and the superior programme they have.

4. I couldn't imagine dancing anywhere else. Dancing at the Richmond Arts Centre (RAC) is like dancing with close friends and family. You feel like you're a part of something much more than just a simple dance class. It's a safe and comfortable environment that allows you to dance without judgment, and you get to dance with those who are just as passionate about dance as I am.

I've been dancing since I was young. Now twenty, though many things have changed, my love for dance hasn't. It's a great way for me to exercise without feeling like it's exercise, and it allows me to express myself in ways that words can't. There's a beauty when watching others dance, whether it be ballet or break dancing. Every movement has a meaning and a purpose. I love being able to tell stories through movements without words, and being able to embrace a character is my favourite part about dancing. I couldn't imagine my life without dance.

Though I've learnt many things from dancing with the RAC, I've never had an instructor like Ms. Miyouki who has pushed me and encouraged me to come out of my shell. She pushed me to be more of a dancer rather than just a student in class, and since then I haven't looked back. I'm quite a shy person, so I typically hold back in certain aspects of dancing, but Ms. Miyouki saw something in me that past instructors didn't and I'm truly grateful for all that she has taught me and for the opportunities that she has given me to shine. Furthermore, Ms. Miyouki, along with other instructors, make a significant impact on our lives outside the studio. They make us more confident and help us to achieve the goals that we set for ourselves. They bring out the best in us and they do everything that they can to help us to shine in class and on stage.

My favourite element of dancing at the RAC is the performance aspect. I thought graduating from high school would be the last time that I'd be able to dance on a stage, but dancing with the RAC has given me more opportunities than I could of ever imagined. Not only am I able to dance ballet on a stage, but I have an instructor who is as excited and enthusiastic about ballet as I am. She continues to push us to step out of our comfort zones to be able to achieve our full potential. This is the main reason I continue to come back take classes at the RAC.

I grew up to learn that as soon as I step in the studio, everything outside the studio doesn't matter. These classes give me an escape and take me away from the stress and anxiety of school. I feel energized and happy after classes knowing that I had a good workout doing an activity that I love to do.

I've seen the adult classes grow in numbers since it first started, and I can only assume that it will continue to grow. Dancers from the Richmond Youth Dance Company, when they graduate, if they should want to continue to dance, I know that they would want an opportunity to continue dancing with the teacher that they love to learn from in the same studio that they grew up in. I'd hope that we'd have a space that would allow for an expansion of class sizes so that everyone who wants to has an opportunity to dance. Right now, the space that we're dancing in is tight for the size of class that we are. We're dancing underneath ourselves in fear of accidentally hurting someone. As a result, I feel like many of us are holding back in dance class and not able to fully go for the exercise. In the changing rooms, because of the multiple classes that run at the same time, the changing room is flooded with bags and jackets covering the floor and the benches. There isn't any space to sit to change our shoes and to change back into our regular clothing. As a result, most of us bring our things into the hallway in order to find an open space.

5. Adult ballet classes at the Richmond Arts Centre is my only intervention to maintain my physical and mental health. I look forward to my one and only class every week. I am healthier and stronger both physically and mentally. I have social connection and share my passion with a group people with similar interest. It makes me happier. I like to dance because it is my therapy. I have a demanding job and busy life at home. My only outlet to keep myself sane and functional is to dance to the music and express my pinned up emotion that no words can express. This is important to me.

The classes at the Richmond Arts Centre is affordable, convenient in terms of location and parking. The instructions are of high quality and the instructor is passionate about teaching ballet. It offers opportunity to perform and allow us to apply the techniques learned in class to real performance. This is the only Cecchetti class available in Richmond.

Ballet builds my confidence as a person and I continue to take classes at the Richmond Arts Centre because other than the convenience and affordable tuition, I love the people I dance with. We learn from each other and I enjoy my social network. My husband even comments I am happier after my dance class and encourages me to attend as much as possible

For future dance classes, I'd like to see more technical classes in the evening along with body conditioning and pointe class. More classes would likely be easier to work with my schedule and I'd absolutely take more classes. Dance is important to me because it is my therapy and my soul food.

6. The adult ballet classes that have been offered at the Richmond Arts Centre (RAC) the last years are wonderful, and I have been a dedicated dancer in these classes for the last 9 years. I have been involved in ballet since the age of 12 and, as an adult, it is very difficult to find adult ballet classes offered at the intermediate and advanced levels in Richmond. In fact, they are almost non-existent in Richmond. Dance brings a real joy to life, helps keep healthy, fit and muscles strong.

Along with myself, there is obviously a very active adult ballet community in Richmond, and the adult dance program run by Miyouki Jego has become very popular. The classes at the Richmond Arts Centre fill up extremely fast, especially the evening class, and there is always a waitlist of dancers waiting for a spot, who inevitably do not get in. The limit of 15 students in the RAC dance studio cannot accommodate the wide interest the adult dance program has garnered.

I have found myself looking in other surrounding cities - Vancouver and Burnaby - for additional ballet classes, as I would like to take more than 1 class a week. As well as myself, many of our adult dancers work during the day and cannot attend classes during the lunch hour. This puts real pressure on the one intermediate/advanced class that is offered in the evening.

More studio space would be a huge asset for the large group of dancers the Richmond Art Centre has built up and would reduce the waitlists. More classes could be offered in the evening as well as accommodating more people at the same time. In addition, I would love to see a regular body conditioning class, such as was offered last summer as a one-time special class for dancers and anyone else interested in keeping muscles toned and fit. Another bonus of more studio space would be to have more changing room space. Currently, there is barely enough space for the ongoing class' coats, clothes and personal effects. Dancers changing for the next class have no space to hang coats, put purses down, etc. I have often seen coats on the floor and personal effects perched around the sink in the change room. Larger studio space would also allow dancers to bring their purses into the studio, instead of having to leave them outside in the change room.

All in all, if we could take advantage of more studio space it would be a blessing for any and all dancers currently attending or hoping to attend the Richmond Arts Centre programs.

7. The adult ballet classes at the Richmond Arts Centre have filled the niche that I had been trying to fill since I left Chinese Dance over 10 years ago. I had been in a Chinese Dance Academy for 7 years and had enjoyed performing and the competitive nature of the classes. However, the fees and costs of classes played a large factor in my leaving the Academy. Since then, I have tried various types of dance at different studios and community centres across Vancouver and Richmond to fill this void that had arisen. Many of the studios were too costly to sustain attendance and did not offer performance opportunities for adults. Although other community centres were more affordable than the studios, their instructors rarely corrected my ballet technique nor gave individualized feedback to other dancers. As you can imagine, this can be frustrating to someone who has a dance background but not specific to ballet. From just viewing the instructors' examples, it seemed as though some of the technique was similar to Chinese Dance however I was discontent as I felt that without proper instruction, I was not growing as a dancer.

I was so excited when I found out that the Richmond Adult Ballet Company was being formed at the Richmond Arts Centre. We would receive continuity of choreography and performance opportunities. I also enrolled in adult ballet classes taught by Ms. Miyouki at the Richmond Arts Centre. She truly cares about her students and it shows with her individualized feedback and long waitlists for her classes. Under her direction, I was able to and still am growing as a ballet dancer. The performance opportunities, continuous choreography, affordable classes and individualized feedback in a positive environment was exactly what I was looking for! I am able to focus on bettering myself which is partly due to the welcoming and friendly atmosphere within our ballet community that has grown with the increase in participants and classes.

The increased number of participants, classes and waitlists clearly shows that capacity has been reached and expansion is needed. Currently, it's quite awkward to have one change room for both genders of adults and children (not to mention their parents coming in and out of the change room). Ballet is good for physical, mental and emotional wellness and should be shared. The ballet program at the Arts Centre is bursting at the seams and cannot sustain the amount of interested and current participants. Richmond can become renowned for its Arts programs if the ballet program can expand to the vacated Minoru Place Senior's Centre as it currently has proper flooring for dancing and mirrors. There is a solid foundation of dedicated dancers and many more who are interested and willing to travel for these ballet classes, should there be space and availability.

8. In June of 2013, my daughter Megan, who was a member of the Richmond Youth Dance Company for three years, did her final performance at the Gateway Theatre. She was graduating from high school and was heading to UBC, and consequently, had aged out of the Company program.

After the performance, as we were walking to our car, I took a look at her and noticed tears running down her cheeks. She broke into tears as she had realized earlier that she would never again dance in the year end recitals, something that has been part of her life, and our lives, since she was five years old. She was heartbroken.

I am so thankful that by September of that year, an adult dance company was formed. My daughter and I now share the unique experience of performing together on stage at the Gateway.

9. The adult ballet classes at the Richmond Arts Centre are the best in Richmond! There are very few adult dance classes in Richmond. The Arts Centre offers classes at all levels that are both day time and evening classes. The quality of the instructors is excellent. The current space is inviting as it has mirrors, bars and a change room as well as lockers.

Ballet is not only physically, but mentally challenging. It is also a great way to meet people in the community and the opportunity to perform adds an extra layer of challenge! Costuming and making props is an added bonus!

30 March 2017

To: Councillors and Mayor, City of Richmond, BC

Re: Minoru Seniors' Centre

Dear City Councillors and Mayor,

I have been a resident of Richmond since late 2007 after moving here from Vancouver with my husband and our then 2 month old baby. We had bought an apartment as a new family and we thought we would stay here for a couple of years until we could afford to move back to Vancouver, but over time the city grew on us. Nine years and four children later, having outgrown and sold our apartment, after being completely priced out of the (infuriatingly out of control!) real estate market, we are still here, now living in Terra Nova Housing Coop. Since selling our apartment 3.5 years ago, we have very seriously debated leaving the Lower Mainland numerous times, wishing for a better opportunity to raise our four children without all the stresses of living in one of the most unaffordable places in the world.

However, Richmond possesses something especially unique, which is very dear to me, and has become an essential component of my life, and that is the adult ballet program run by the extremely talented Miss Miyouki Jego at the Richmond Arts Centre. Briefly, I have a rather long personal history of depression and anxiety, which runs in my family. I spent 7 years on antidepressants through the beginning of my twenties and made the decision to go off of medication after my second child turned one, to see what other avenues I could explore to address my mental wellness. At 29, to my amazement, I discovered that adult ballet classes were being offered at the Richmond Arts Centre. I had very much wanted to take dance as a child and youth but the opportunity was not accessible due to circumstance. I have definitely made up for lost time. Beyond my role as a mother and wife, ballet has become my priority and purpose in life; it has been my physical, emotional and spiritual panacea and I feel that I have truly discovered myself through its artistry and through the serious structure and discipline of specifically this program. I have grown more steadily and assured through its challenges and rewards than any other outlet or experience in my life (save childbirth). In fact, ballet was my saving grace when I went through my shockingly unexpected fourth pregnancy 2 years ago. I performed in the June recital at the Gateway Theatre at 7 months pregnant and took technical classes right up until the very night I went into labour, 14 days overdue. Thanks to ballet, it was physically my best pregnancy ever, and I am sure I would have otherwise floundered in the depths of despair had I not had ballet and a VERY encouraging and supportive teacher to carry me through.

Currently I attend two technical classes per week and am also a dancer in the Richmond Dance Company, which, at present rehearses one night weekly together, as well as one other night in a combined rehearsal with the Richmond Youth Dance Company. The members of the adult company are keen and very grateful for the very unusual opportunity to dance in a professional manner without a professional background. I have told a few of my friends from neighbouring cities, who had dance experience from their pre-parenting lives, about the program and they have searched for a similar dance program closer to where they live to no avail. Some of them have contemplated driving all the way to Richmond from New Westminster and Burnaby to attend classes

at the Arts Centre. Unfortunately for them, because studio availability is so scarce, the range of available daytime class options are therefore very limited as well, and so they are not accessible to so many people who are yearning to dance. As well, there is currently only one evening class available, which is always full with a waitlist. One other complication in my friends' equations, as well as mine, is struggling to find childcare for babies and preschool-aged children during those daytime classes, which unfortunately is not currently offered at the Arts Centre.

Another factor that attracts people particularly to the Arts Centre adult ballet program is its structure and the "real ballet" seriousness. Classes are the real deal! This program is incomparable to anything else and is totally phenomenal. As well as the class/program structure, it is also very affordable, which is always a sticking point when living in a place where nothing else feels affordable. The fairly limited number of classes quickly fill up. Stay at home parents are all about kids, and it can be very challenging for parents to make time for themselves. Any little impediment discourages many other mothers I've talked to from registering themselves in both ballet, as well as other sorts of classes. Registering for children's programs is already ridiculous (my children also participate in the ballet program). Registering for adult programs, one would hope, should be at least a bit easier, though ideally it should all be stress free. Program registration has become a competitive sport in itself! I would suggest a course be offered on how to competitively register for other classes in Richmond, but I'm sure the registration process for that itself would be too competitive and result in a long waitlist as well! Not enough class options contribute to family schedule conflicts for dancers and full and waitlisted classes. Scheduling leisure time has come to be very stress inducing; the lower mainland already provides enough stress as it is!

This program has so much to offer and is evidentially sought after, but it's growth is limited by studio time availability and limitations of physical space. Currently there is merely one full-sized studio and one half-sized studio. Company classes warm up in the hallways, which creates a hazardous environment for anyone else that needs to pass through the hall. The dance program has actually already outgrown its facility and is in need of more space and time, which brings me to my request: I understand the Minoru Place Seniors' Centre will soon be vacated. I implore you to repurpose that building to serve the Richmond Arts Centre dance program. This would provide more opportunity for dancers, specifically in the adult program, to discover themselves and be able to find their creative fulfillment. Sorry to have gone on and on so long, but this is really important to myself and so many!

Sincerely and gratefully yours,

Adriana Richmond De Gros



Karen Smith



Email:



Dear Councillor Day,

I am an adult ballet student with the City of Richmond and a member of the Richmond Dance Company under the direction of Ms. Miyouki Jeco who won the 2015 Richmond Arts Award for Arts Education.

I understand that the current Seniors' Centre which is located next to the Arts Centre will be available for alternate purposes in the near future.

There is currently a lack of space at the Arts Centre for adult ballet classes. I am currently on a waiting list for the Thursday evening class (intermediate ballet).

According to the www.richmond.ca web site, there are now more than 500 students in the ballet program with another 90 wait-listed for beginner classes.


I am hoping that part of the current Seniors' Centre will be available for the Richmond dance community.

Thank you for your consideration.

Sincerely,

Karen Smith

6 February 2017



Mayor and Council
City of Richmond
Mayor's Office
6911 No. 3 Road
Richmond, BC
V6Y 2C1

Dear Mayor and Council:

This letter is directed to Richmond City Council to advise them that the ballet community of Richmond could make very good use of the soon-to-be-vacated Seniors Centre. The Centre's auditorium space with its sprung floor is ideally suited for ballet and to our benefit could be used as a large dance space for performances or divided into smaller studios for classes.


The Richmond Arts Centre is in short supply of ballet space to meet what the community now demands. The classes that are offered are full to capacity and are overflowing with children and adults wanting to become a part of these incredible programmes. This has created lengthy wait-lists with a growing frustration that ballet classes are not accessible for Richmond citizens, leaving children and adults having to seek registration in jurisdictions outside the city. Hence, ballet has outgrown what the Richmond Arts Centre can offer it in terms of both registration and space.

In addition to regular weekly classes, the Richmond Arts Centre also supports two growing dance company components, the Richmond Youth Dance Company (RYDC) and the Richmond Dance Company (RDC), an adult group. Feeding into these two groups, which often join with each other for public performances, are up and coming pre-company stars from classes of younger dancers. The Arts Centre provides ballet classes by age designation for children and youth, and adult classes that range the gamut from beginner through intermediate to advanced and on to pointe. Both the RYDC and the RDC are unique and their growing importance in and to the community cannot be underestimated.

To make use of the vacated Richmond Seniors Centre is the most feasible solution to the ballet community's current impasse regarding its inaccessibility to classes.

Yours sincerely,

Lynn Maranda
Senior Ballet Student



26 February 2017

Mayor and Council
City of Richmond
Mayor's Office
6911 No. 3 Road
Richmond, BC
V6Y 2C1

Dear Mayor and Council:

The Richmond Arts Centre provides the unique opportunity for residents of our city to learn ballet. The program has been so successful that it has outgrown its current facilities in the Richmond Cultural Centre. This letter is to advise you that the Richmond Arts Centre ballet community could make very good use of the soon-to-be-vacated Minoru Place Seniors' Centre.

The Arts Centre provides ballet classes for children and youth, and adult classes that range from beginner to advanced levels. The classes currently offered in the Cultural Centre have reached capacity. This has created lengthy wait-lists with a growing frustration amongst children and adults wanting to become a part of your incredible programmes. With classes increasingly inaccessible for Richmond residents, children and adults seek dance programmes outside the city, depleting our program of talent.

The Richmond Arts Centre also supports two growing dance companies, the Richmond Youth Dance Company (RYDC) and the adult Richmond Dance Company (RDC). Feeding into these two groups are up-and-coming pre-company stars from classes of younger dancers. These dancers often find themselves doing their pre-class warmups in the upstairs hallway, amidst people picking their children up from, or heading to, other arts programs on the second floor of the building.

The ballet program has clearly outgrown what the Richmond Art Centre can offer in registration and space, and cannot meet the demand of the community.

The Minoru Place Seniors' Centre is uniquely suited to be converted to a dance centre. The auditorium space is already equipped with a sprung floor ideally suited for ballet, and the larger space could be used to host performances. The rest of the building provides smaller studios for classes, storage and administrative offices.

To make use of the vacated Richmond Seniors Centre for the dance program is the most feasible solution to the current impasse regarding the growing issue of inaccessibility to classes and lack of program space.

Yours sincerely,

Paul Dylla
Adult ballet student and RDC dancer



Creating paper mâché heads and stuffing old tights to form the bodies of a few marionette doll props.



Richmond Dance Company members invested their time, money, and creative efforts into creating props for their ballet performance in June 2016 at the Gateway Theatre.



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RICHMOND-NEWS.COM FRIDAY, JUNE 10, 2016

Hitting the Barre

Paul Dylla isn't your average middle-aged man and is very much on his toes during his spare time, preparing for a ballet show

19

FRONT *Feature*

Keeping on your toes during retirement

As a troupe of Richmond amateur, adult ballet dancers prepares for its first ever show, Paul Dylla is proving that, at 58, there's life left in the old legs yet



ALAN CAMPBELL
Staff Reporter
ACAMPBELL@RICHMOND-NEWS.COM

Hovering in the doorway of his daughter's ballet class, Paul Dylla had no idea his life - and limbs - were about to change forever.

Irked by 55-year-old Dylla's proximity to her pointe session at the Richmond Cultural Centre studio, ballet teacher Miyuki Jago issued the watchful dad an ultimatum.

"Mr. Dylla, you have to leave or join in." Almost without hesitation, Dylla, who had a desk job as an I.T. specialist with Telus at the time, ventured out of the shadow of the doorway into the body of the room, slipped off his shoes and peeled off his jacket.

"I think (the teacher) was surprised," laughed the now 58-year-old Dylla, when recalling the encounter three years ago.

"My daughter was probably embarrassed. I think it went OK to start: I was able to keep up, but I was surprised how unfit I was."

"But afterwards, the teacher asked me to join her adult classes. I was working from home at the time and I realized I was getting more and more unfit so I thought I would just go for it."

And so it was, Dylla, your average middle-aged guy to the naked eye, started a beginners ballet class with Jago.

"When I was six, my sister was supposed to go into a ballet class, but got cold feet at the last minute...I told my mum I'd do it, but I was told I wasn't allowed."

"I told my mum I'd do it in my sister's place, but I was told I wasn't allowed. I guess I've harboured a desire ever since."

"To be honest though, if my daughter hadn't been doing (ballet) for 15 years, I wouldn't have been exposed to it."

Three years on, Dylla and 10 other adults, ranging from their 20s to their late 50s - and including his 21-year-old daughter, Megan - will form the Richmond Dance Company's performance of *A Winter's Gift* at the Gateway Theatre on Sunday.

They will be joined by Richmond Youth Dance performers - also run by Jago - for their first ever, full hour, independent ballet performance, delivering 10 of the 17 pieces on stage.

Since taking up ballet, Dylla has, shall we say, found out how fit he wasn't and, in the ten months preparing for Sunday's show, is stripping flitter than ever.

"At the time I started ballet, I was working in I.T. with Telus and I was sitting at a desk for much of the day. Because of that, my back and shoulders were done," said Dylla, who has been retired since May 2015.

"I've done aerobics before, but way in

the past. I tried to keep fit but ballet was something else.

"Doing ballet made me realize how balanced and strong you need to be and it really helped me get into shape."

Jago said adults don't need to be particularly fit to take part in her beginners classes; but you do for the advanced program, which leads to show performance levels.

However Jago, who has been running the City of Richmond program out of the Richmond Arts Centre for five years and eight years instructing ballet in total, said teaching middle-aged adults is a world apart from teaching children.

"It's very, very different; the amount of corrections and the way you deliver it is different," she said.

"With children, you have to be more careful how you correct them in terms of their body awareness and the language you use. Some may not know what their abdomen is, for example. And children tend to be more flexible."

"In order to take part in the show, (adults) definitely need stamina, as there are quite a few numbers in the show. We've been training for this since September."

"The adults do tend to train very hard and when they realize the magic that ballet can bring and see it in their faces, it really encourages me to keep going with them. A room full of adult (performers) is very exciting; it takes a lot of guts."

Jago has 60 adults in the various programs, one of whom is a woman in her 80s.

As for Dylla, Jago said she was "so pleased" when he decided to join in his daughter's class that day three years ago.

"I made a spot for him. He really did listen to everything and it was a fantastic class," she recalled.

But has he improved in that time?

"Absolutely," exclaimed Jago.

Asked how people tend to react when told that his main pastime in retirement is ballet, Dylla, of Gibbons Drive, said the initial reaction is surprise.

"I think they're supportive, as well, and they all now realize how hard ballet is," he said.

"The big part is making it look easy and asking your body to do things it hasn't done before."

"The bigger surprise for people is when they learn that my wife - who also does ballet - took it up six months after me."


"The question she often gets asked is, 'How did you convince him to do it?'"

She answers with, "Oh, he did it first." *A Winter's Gift* takes place at the Gateway Theatre, 6500 Gilbert Rd. Tickets are \$20 and can be purchased in advance online at GatewayTheatre.com/Tickets or by calling the box office at 604-270-1812.



■ The Richmond Dance Company, above and below, including Paul Dylla (above, second from front), was busy preparing for its performance of *The Winter's Gift*, which runs this Sunday at the Gateway Theatre. The amateur company's ballet dancers range in age from their 20s through to their 60s. Photos and front cover photo by Gord Goble/Special to the News










Ballerina Iris Chen

How Art Works

In Fall 2015, Arts Services launched a new promotional campaign, How Art Works, with postcards, posters and a website at www.howartworks.ca to raise public awareness about the importance of the arts to vibrant communities. Citing research from a range of sources, the campaign describes the often surprising ways that arts participation impacts health and wellness, quality of life for seniors, cultural empathy, economic impact and academic performance. (See Appendix 2)

 Support
  Art Spaces
  Diversity
  Public Awareness
  Economic Potential

Richmond Dance Company member, Iris Chen, featured in *How Art Works* poster


Close

Art's Impact On Students

Research has proven that the arts have a tremendous impact on our kids. Children who participate in the arts, particularly music, have been shown to be more likely to stay in school, and get better grades in math and science. They're also far more likely to be elected to student boards and be recognized for academic achievement.


That link between arts and academic achievement continues for life. Top scientists are twice as likely as the general public to have an artistic hobby, and Nobel prize winners are almost three times as likely to participate in the arts.

You might think practical education is the path to



Iris Chen - Richmond resident, ballerina

ART WORKS
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[About](#)
[Where](#)
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[No. 3 Road Art Columns](#)



March with Mosaico dance performance entwines grace, humour

Richmond News

March 2, 2017 08:41 AM



The Richmond Youth Dance Company will showcase self choreography, Flamenco and comedy in its annual concert at the Richmond Cultural Centre this weekend. Photo submitted

The Richmond Youth Dance Company returns to the stage in March with Mosaico, a collage of different works creating one beautiful piece.

Mosaico (Italian for mosaic) is a collection of ballet pieces presented by members of the Richmond Youth Dance Company.

Under the direction of Miyouki Jego and with guest artists Megan Phillips and Delara Tiv, young dancers will showcase self-choreographed numbers that reflect their individual expression and professional development.

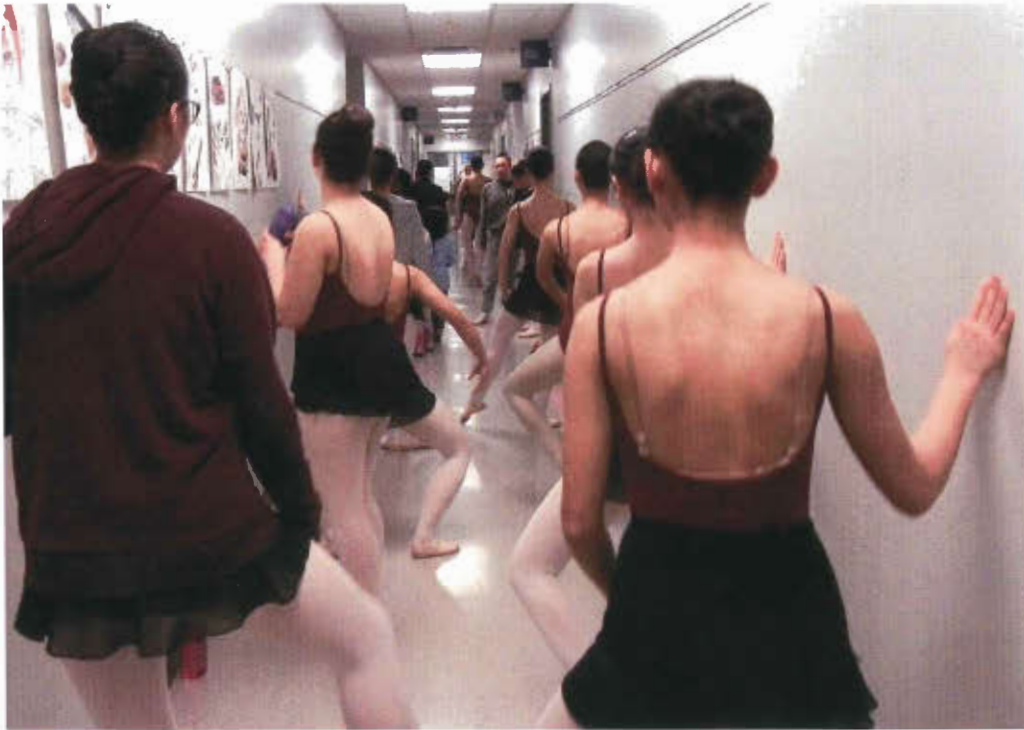
Phillips, a professional actor and acting teacher, brings a technique that helps the dancers use comedy as a way to increase confidence in their artistic expression.

Tiv, meanwhile, uses her mastery of Flamenco to help the dancers incorporate strength and grace.

All these elements are tied together by the Richmond Arts Centre's senior choreographer and head teacher, Jego.

Mosaico marks the seventh annual dance showcase performed by the 24 auditioned dancers of the Richmond Youth Dance Company.

Performances take place on Friday, March 3 and Saturday, March 4 at 7 p.m. and Sunday, March 5 at 2 p.m. at the Richmond Cultural Centre's performance hall. Tickets are \$7 and are available in advance at the centre or by calling 604 247-8300.



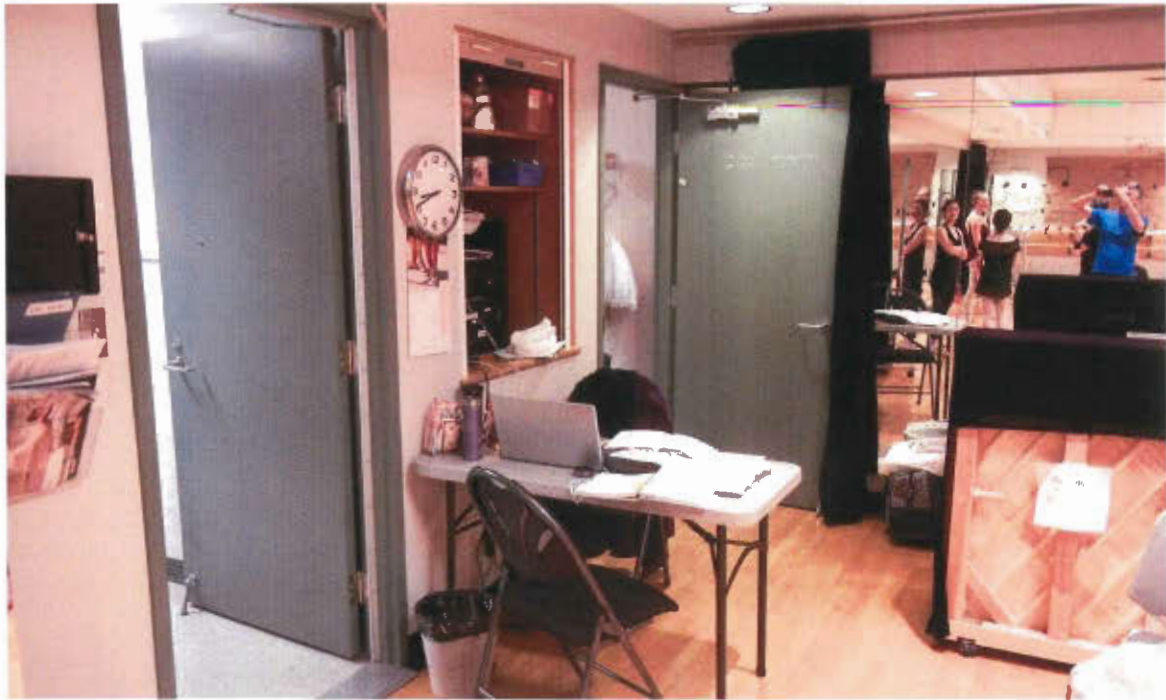
The lack of studio space and availability forces company dancers to awkwardly carry out their pre-rehearsal warm-up exercises in the public hallway before the commencement of choreography class.



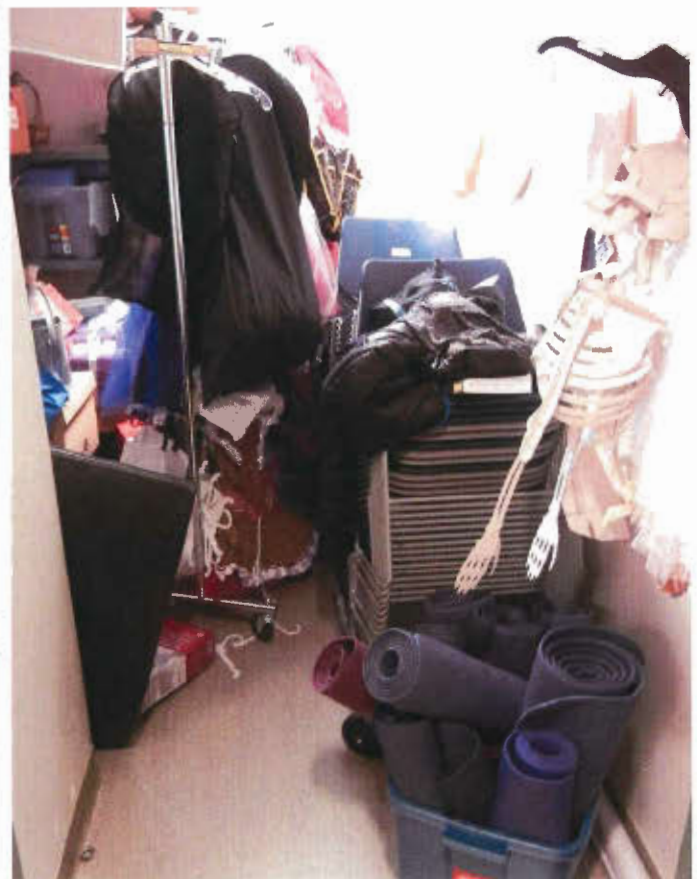


The one and only, universal, all-ages changing room during company rehearsals (on a good day)!





The inadequate studio storage room is overflowing with props, costumes, and equipment, putting limitations on the procurement of additional items.



Celebrate International Dance Day at the Grand Plié

18 April 2016

Dancers of all ages and abilities are invited to celebrate International Dance Day by taking part in the Grand Plié on Friday, April 29 from 12:15 to 12:45 p.m. Everyone is invited to join the celebration and participate in this free class at Minoru Plaza, 7700 Minoru Gate.

"Dance is a universal art form that knows no boundaries," said Mayor Malcolm Brodie. "It is an inspiring, entertaining and energizing part of all of our cultural traditions and anyone can take part in this art form regardless of what age you are, where you live or what language you speak."



The Grand Plié mini ballet barre class will be led by the Richmond Arts Centre's senior dance instructor Miyouki Jego, and will highlight the physical aspects of the art form while promoting the important role the arts play in building healthy communities.

Grand Plié participants should arrive 15 minutes early to sign-in at the tent located on Minoru Plaza. Fitted clothing with ballet slippers or short socks that can be pulled over the heel are recommended. In the event of inclement weather, the class will be moved indoors to the Richmond Arts Centre's dance studio.

In 1982, the International Theatre Institute (ITI) Dance Committee founded International Dance Day. It takes place every year on April 29 to celebrate the birthday of Jean-Georges Noverre (1727-1810), the creator of modern ballet.

For more information on the Grand Plié or dance programs at the Richmond Arts Centre, visit www.richmond.ca/artscentre or contact Camyar Chaichian at cchaichian@richmond.ca or 604-247-8326.



**Celebrate
International
Dance Day**

Join us for a
Grand Plié

Friday, April 28, 12:15–12:45 p.m.

To celebrate, join us for a mini Ballet Barre class in the Dance Studio of the Richmond Arts Centre, 7700 Minoru Gate.

All levels welcome.

For more information, please call 604-247-8325.



**We look forward
to seeing you on
Friday 28 April 2017
(12:15-12:45pm)
for
Grand Plié**

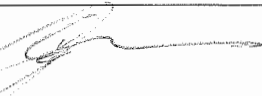
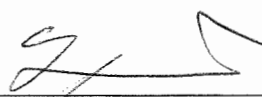











Richmond Arts Centre dance program at capacity and needs more space

The Richmond Arts Centre dance program has grown significantly since it started running in the Richmond Cultural Centre. A few years ago it reached capacity, with more students wishing to register than the space could handle. This over-capacity issue has continued and today many students are unable to take the ballet courses they require to progress in this art. The only barrier to growth is the lack of dance studios, change rooms and storage rooms.

The Minoru Place Senior's Centre will soon be vacated as it moves to a new building on Gilbert Road. It is an ideal building as it already has one hardwood sprung floor and the cost of converting the building to accommodate a dance school would be lower than repurposing it for another function. It ensures that the Richmond Arts Centre remains in the centre of the city and in proximity to the other arts programs hosted in the Richmond Cultural Centre.

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				Parent of dance student	Dance student
Lynn Marando					<input checked="" type="checkbox"/>
Tomoko Usig					<input checked="" type="checkbox"/>
Sylvia Wong					<input checked="" type="checkbox"/>
FUMIE ODETTE					<input checked="" type="checkbox"/>
Natalie Choy					<input checked="" type="checkbox"/>
PAUL DYLLA				<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Megan Dylka					<input checked="" type="checkbox"/>
Andrea Minato					<input checked="" type="checkbox"/>
Karen Smith					<input checked="" type="checkbox"/>
Adriana Richmond DeGroot				<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Alecia Linn					<input checked="" type="checkbox"/>

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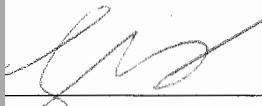

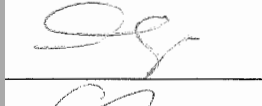


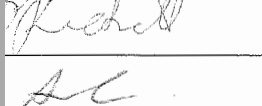
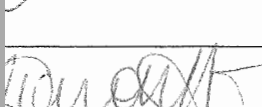
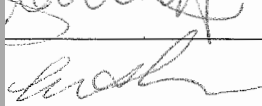
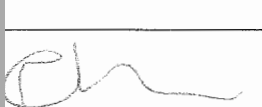
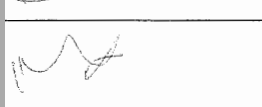

Name (printed)	Address	Phone Number	Signature	Please check one	
				Parent of dance student	Dance student
Janet Mark			Janet Mark	✓	✓
Katharine L			Katharine L		✓
Jenny Jones			Jenny Jones		✓
SANDRA BAR			Sandra Bar		✓
TING LUX N			Ting Lux N		✓
Catherine Sinclair			Catherine Sinclair		✓
MARGURITE WORTH			Margurite Worth		✓
Karen Engen			Karen Engen		✓
Debbie Talbot			Debbie Talbot		✓
Brett Featherstone			Brett Featherstone		✓
Lana Rademsky			Lana Rademsky		✓

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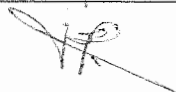


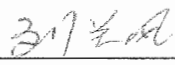
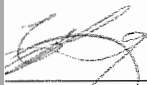
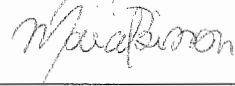


Name (printed)	Address	Phone Number	Signature	Please check one	
				Parent of dance student	Dance student
Tammy Fan				<input checked="" type="checkbox"/>	<input type="checkbox"/>
Sandra Wong				<input checked="" type="checkbox"/>	<input type="checkbox"/>
Gigi Wong				<input checked="" type="checkbox"/>	<input type="checkbox"/>
Danny Tsang				<input checked="" type="checkbox"/>	<input type="checkbox"/>
Ada Lai				<input checked="" type="checkbox"/>	<input type="checkbox"/>
SIMONNE RICKETT				<input checked="" type="checkbox"/>	<input type="checkbox"/>
ANDREW CHAN				<input checked="" type="checkbox"/>	<input type="checkbox"/>
Sharon Ho				<input checked="" type="checkbox"/>	<input type="checkbox"/>
CATHERINE				<input checked="" type="checkbox"/>	<input type="checkbox"/>
CHASTAL MURTA				<input checked="" type="checkbox"/>	<input type="checkbox"/>
Berry Lee				<input checked="" type="checkbox"/>	<input type="checkbox"/>

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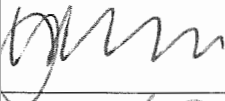

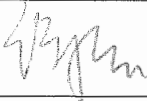

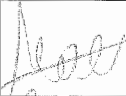





Name (printed)	Address	Phone Number	Signature	Please check one	
				Parent of dance student	Dance student
Jablie Sheng					
Jenny Zhou					
Lindsay Heller			✓		
Larone Li			✓		
Chiharu Kamosh			✓		
Dina Parkes			✓		
Cindy					
Eva					
Maia Biss			✓		
KASUMI HOSHI					
Rod Yoshiji					

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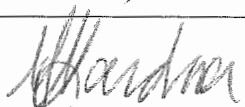



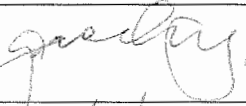





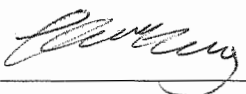
Name (printed)	Address	Phone Number	Signature	Please check one	
				Parent of dance student	Dance student
Annie Zhang				<input checked="" type="checkbox"/>	<input type="checkbox"/>
Yenmi Yip			<input checked="" type="checkbox"/>	<input type="checkbox"/>	
DOUG VAN DER EERDE			<input checked="" type="checkbox"/>	<input type="checkbox"/>	
HuaTing Xu			<input checked="" type="checkbox"/>	<input type="checkbox"/>	
BAI QING			<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Natalya Sha			<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Sharon Gammann			<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Ada Lee			<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Hassan Khan			<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Sherry Neshat			<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Jessica Li				<input checked="" type="checkbox"/>	<input type="checkbox"/>

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				Parent of dance student	Dance student
Marreen Gardner				<input checked="" type="checkbox"/>	<input type="checkbox"/>
Andrea Detelme				<input checked="" type="checkbox"/>	<input type="checkbox"/>
Helen Wang				<input checked="" type="checkbox"/>	<input type="checkbox"/>
Victoria Chan				<input checked="" type="checkbox"/>	<input type="checkbox"/>
Jennie Gao				<input checked="" type="checkbox"/>	<input type="checkbox"/>
Nadine Robertson				<input checked="" type="checkbox"/>	<input type="checkbox"/>
Stephanie Ly				<input checked="" type="checkbox"/>	<input type="checkbox"/>
Yu Zhang				<input checked="" type="checkbox"/>	<input type="checkbox"/>
YANG LIAN				<input checked="" type="checkbox"/>	<input type="checkbox"/>
K. Fok				<input checked="" type="checkbox"/>	<input type="checkbox"/>
Jennifer Zhang				<input checked="" type="checkbox"/>	<input type="checkbox"/>

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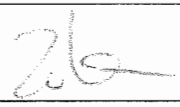

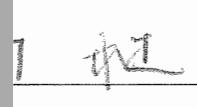
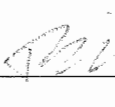
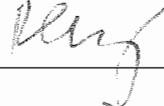
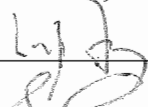



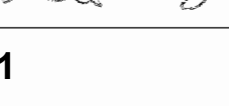
Name (printed)	Address	Phone Number	Signature	Please check one	
				Parent of dance student	Dance student
Elia Oliveros			Elia O.		✓
Madelyn Lee			Madelyn Lee		✓
Diana Lee				✓	
Charity Oliver			charity	✓	
Lily Yang			Lily		✓
Fiona Fung				✓	
Gabriel Lopez			Gabe	✓	
Angel Yoon			Angel	✓	
Janet J.			Janet	✓	
Karen Carr			Karen	✓	
Rumi Tamayo			Rumi	✓	

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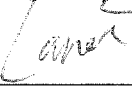



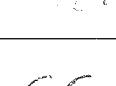





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				Parent of dance student	Dance student
Gloria Lau				<input checked="" type="checkbox"/>	
Emily Kwan			<input checked="" type="checkbox"/>		
Jenny Lo			<input checked="" type="checkbox"/>		
Zoran Do			<input checked="" type="checkbox"/>		
Bing Wang			<input checked="" type="checkbox"/>		
Ross Chen			<input checked="" type="checkbox"/>		
Lin Jia			<input checked="" type="checkbox"/>		
Jean Lee			<input checked="" type="checkbox"/>		
Jonathan Lin			<input checked="" type="checkbox"/>		
Stephanie Cao				<input checked="" type="checkbox"/>	
Lin Fiona			<input checked="" type="checkbox"/>		

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				Parent of dance student	Dance student
Mandy Sivakumara					<input checked="" type="checkbox"/>
Lana Aziz				<input checked="" type="checkbox"/>	
Kristie Truell			<input checked="" type="checkbox"/>		
Michelle Kwan			<input checked="" type="checkbox"/>		
Anne				<input checked="" type="checkbox"/>	
Emily				<input checked="" type="checkbox"/>	
Patrick			<input checked="" type="checkbox"/>		
Kimberly G			<input checked="" type="checkbox"/>		
Ruthie Tardieu			<input checked="" type="checkbox"/>		
Elise Charpentier				<input checked="" type="checkbox"/>	
Helen Ma				<input checked="" type="checkbox"/>	

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The Minoru Place Senior's Centre will soon be vacated as it moves to a new building on Gilbert Road. It is an ideal building as it already has one hardwood sprung floor and the cost of converting the building to accommodate a dance school would be lower than repurposing it for another function. It ensures that the Richmond Arts Centre remains in the centre of the city and in proximity to the other arts programs hosted in the Richmond Cultural Centre.

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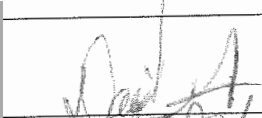


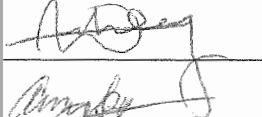

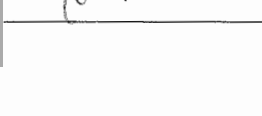
Name (printed)	Address	Phone Number	Signature	Please check one	
				Parent of dance student	Dance student
Wendy				<input checked="" type="checkbox"/>	<input type="checkbox"/>
Paul				<input checked="" type="checkbox"/>	<input type="checkbox"/>
Jill Schmitt				<input checked="" type="checkbox"/>	<input type="checkbox"/>
Winnie Pang				<input checked="" type="checkbox"/>	<input type="checkbox"/>
Sue Su				<input checked="" type="checkbox"/>	<input type="checkbox"/>
Melody				<input type="checkbox"/>	<input checked="" type="checkbox"/>
Viola				<input type="checkbox"/>	<input checked="" type="checkbox"/>
Cassidy				<input type="checkbox"/>	<input checked="" type="checkbox"/>
Rosie				<input type="checkbox"/>	<input checked="" type="checkbox"/>
Bella				<input type="checkbox"/>	<input checked="" type="checkbox"/>
Amber				<input type="checkbox"/>	<input checked="" type="checkbox"/>

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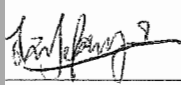
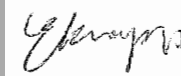
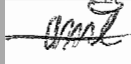

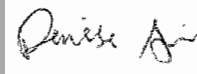
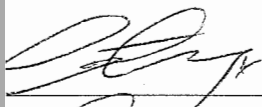

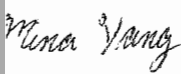

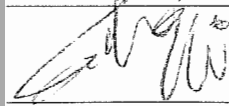

Name (printed)	Address	Phone Number	Signature	Please check one	
				Parent of dance student	Dance student
David Zee				<input checked="" type="checkbox"/>	<input type="checkbox"/>
Dohnia Parfitt				<input type="checkbox"/>	<input checked="" type="checkbox"/>
Ben DeGros				<input checked="" type="checkbox"/>	<input type="checkbox"/>
Ashley Wong				<input type="checkbox"/>	<input checked="" type="checkbox"/>
Annika Nova				<input type="checkbox"/>	<input checked="" type="checkbox"/>
STANLEY'S CREW				<input checked="" type="checkbox"/>	<input type="checkbox"/>

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Name (printed)	Address	Phone Number	Signature	Please check one	
				Parent of dance student	Dance student
Tiffany Au					/
Emma Knapp					✓
Annie Lai					✓
Victoria Chang					✓
Denise Siu					✓
Courtney Cheung					✓
Dani Go					✓
Mina Yang					✓
Nailah Crowe					✓
Genelle Chau					✓
Sophia Anderson					✓

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2016 NEWS AND INFORMATION

Richmond Arts Centre dancers pass the test

07 November 2016

The Richmond Arts Centre is proud to announce the success of its first group of youth ballet dancers to take exams with the national Cecchetti Society of Canada.

All 17 dancers who were sent to Grade 2, 3, 4 and 5 examinations passed with flying colours and received internationally recognized certificates.

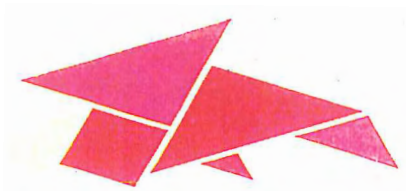


Head instructor, Miyouki Jego, remarked "This is a huge milestone and puts the Richmond Arts Centre on the map in the dance world" while dancer Mina Yang (age 12) exclaimed, "Having the privilege to be assessed by an amazing examiner is an experience I will never forget."

Ballet registration at the Richmond Arts Centre has increased significantly since the implementation of a Cecchetti-based syllabus during the 2013/2014 school year. There are now more than 500 students in the program with another 90 wait-listed for beginner classes. Programs range from weekly entry level classes all the way to the auditioned Richmond Youth Dance Company which rehearses a minimum of three times a week.

The Richmond Arts Centre School Year Dance Program runs from September to June and also offers jazz, tap and musical theatre classes. The school year program is best known for its conservatory approach with each dance style and large scale three-show recital at Gateway Theatre.

For more information about the programs offered at the Richmond Arts Centre visit www.richmond.ca/artscentre (<http://www.richmond.ca/artscentre>).



STEVESTON CULTURAL CENTRE

May 24, 2017

To: Parks, Recreation and Cultural Services Committee

From: Steveston Japanese Canadian Cultural Centre
Advisory Committee/Nikkei Memorial Project Committee

Re: Nikkei Memorial Project

2017 marks the 75th anniversary of one of the most significant events in Richmond history. In April 1942 over 2500 Richmond residents of Japanese ancestry were removed from Steveston/Richmond and relocated a minimum of 100 miles from the B.C. Coast.

Most of these residents departed via train at the Steveston tram station and headed for Hastings Park for eventual relocation to internment camps in Tashme, New Denver, Slocan, Greenwood, Sandon and Kaslo to name a few. Others relocated to "self supporting centers" such as Bridge River, East Lillooet and McGillvray Falls near Tashme.

Families, wanting to remain together, relocated to Alberta and Manitoba to work in the sugar beet farms while others moved to other Provinces .

Some were deemed to be a threat and were imprisoned in POW Camps in Ontario despite the fact that many were born at the Japanese Fisherman's hospital in Steveston.

Approximately 21,000 Japanese Canadians were eventually evacuated from other towns and cities along the Coast.

Life continued for these exiled Japanese Canadians over the next seven years and their philosophy can sometimes be reflected in the Japanese phrase "shikata ga nai" or "it cannot be helped".

In April 1949, the Canadian government finally agreed to allow the Japanese Canadians the right to return to the West Coast. Prior to that, upon the war ending, the Japanese Canadians were given the choice of returning to Japan, or remaining east of the Rockies.

Though not all of the Steveston Japanese Canadian residents returned, approximately a third of the 2500 previous residents eventually came back.

Today we find a thriving community that is a shining example of Canada's multicultural policy. Currently in Richmond we express concerns about the issues raised by our cultural diversity, yet I suggest that you only have to look to Steveston and see how different ethnic groups can come together to build a community.

Philosopher, George Santayana is quoted as saying "those who cannot remember the past are condemned to repeat it." By the construction of memorials such as the one being proposed, and the constant diligence against discrimination and xenophobia we strive to ensure that injustice such as perpetuated on the Japanese Canadian community is never repeated. Unfortunately we see racism and xenophobia raising its ugly head in the United States with the thinly veiled "Muslim ban" and the proposed "Muslim registry" and we feel our memorial project is timely.

Though our parents and grandparents suffered prejudice and injustice, they returned and began immediately to contribute to the community. The separate Japanese Canadian and Caucasian United Church congregations voted in 1953 to come together as one congregation and became the first integrated United Church in Canada. In 1955, the Japanese Canadian community joined together with the rest of the community to build a community center. \$15,000 was donated to the building fund in exchange for a room to be designated for use by the judo club and the kendo club could utilize the gymnasium. In the minutes of the February 14, 1955 Steveston Community Society minutes, it is recorded that "... the JCCA (Japanese Canadian Citizens Association) had approximately \$15,000 and wished to build a hall. But rather than build a small one of their own they were interested in joining with the Community Society in their endeavor toward a community center." At the April 11, 1955 Society meeting, it was reported that the JCCA had agreed to combine their trust account with the Society's for the purpose of building the Steveston Community Center.

This initial collaboration led to the future construction of the Steveston Martial Arts Center in 1972 that at the time was the first purpose built dojo outside of Japan and later in 1992 the Steveston Japanese Canadian Cultural Center was erected to provide a venue to promote the history, culture and tradition of the Japanese Canadian community. This year we celebrate the 25th anniversary of this building and in 5 more years we recognize the 50th anniversary of the Martial Arts Center.

Other examples of the imprint made by these Japanese Canadian pioneers and their descendents include the Steveston Buddhist Temple, Kuno Gardens, Maple Residence plaza (commemorating the site of the first Japanese Fisherman's hospital) and the Nikkei Fisherman's statue near Britannia Shipyards (recognizing the contribution of the Nikkei fishermen to the fishing industry). The City has also contributed on many of projects as well, specifically the development of Murakami House, the Japanese gardens and suikinkutsu next to Steveston Museum, the

refurbishing of the Nikkei Fisherman's building and the "Nikkei Stories of Steveston" video series.

It is not enough to state that our parents, grandparents and in some instances great-grandparents that came before us laid the foundation for the success of the subsequent generations and that we owe a debt of gratitude to these pioneers. Their story not only encompasses the last eight decades but goes further back in history to the late 1800's and early 1900's when the Nikkei built the first school for the Japanese Canadian children as they were denied access to the public school system because their parents were not property owners. The first permanent hospital using the principle of "socialized medicine" was also built in Steveston by the Nikkei community and was open to anyone in the community regardless of race or religion.

To commemorate the resilience, perseverance and community building of the first (Issei), second (Nisei) and third (Sansei) generations of Japanese Canadians (Nikkei) we ask for the approval and support of City Council to build an appropriate memorial to these Nikkei pioneers in surmounting the injustice and racism they suffered during WWII but more importantly their return to Steveston to become contributing members of society.

If we receive Council's approval to proceed it is our intent to put out an "artists call" for design submissions that reflect the vision for a suitable memorial. We have already been in discussion with City staff regarding the process required to initiate this call-out and will work closely with staff during this process.

Maya Lin, designer of the Vietnam War Memorial Wall, is quoted "To me, memorials represent a stepping-off point. We cannot do anything about what has already been lost, but can we learn enough from the past to rethink a different and better future."

We feel that this is what our elders thought when they returned to Richmond and through their actions and deeds, showed that they did "rethink a different and better future."

We anticipate that the budget for our project will be in the range of \$300,000 based on the discussions with sculptor Norm Williams creator of the "Steveston Legacy" in front of the Gulf of Georgia Historic Cannery.

We request that City Council assist us by making an initial contribution towards this project so that we can immediately commission this memorial. We anticipate that whomever is commissioned for this project will need a minimum of one year to complete the design and construction phases and this will allow the community the time to complete its fundraising activities.

If approved, our committee will regularly report back to Committee and Council on our progress

Previous City Councils have collaborated with us on many projects in the past but we think this project will be the most significant as it will be a symbol against racism and xenophobia and recognizes the unfailing "human spirit" of our citizens. It will also recognize the fulfillment of the Canadian multicultural policy and stand as a testament of one group of Canadians to persevere to become a part of the Canadian mosaic.

We will also be submitting letters from the non- profit groups in Steveston representing the community support for this project and confirms our commitment to a transparent and engaged community process.

Respectfully submitted

Kelvin Higo
Chair
Steveston Japanese Canadian Cultural Center
Advisory/Nikkei Memorial Committee

Members:

Bud Sakamoto	Dan Nomura	Don Mukai
Shioko Mukai	Roy Matsuyama	Julie Matsuyama



General Purposes Committee

Date: Monday, May 1, 2017

Place: Anderson Room
Richmond City Hall

Present: Mayor Malcolm D. Brodie, Chair
Councillor Derek Dang
Councillor Carol Day
Councillor Ken Johnston
Councillor Alexa Loo
Councillor Bill McNulty
Councillor Linda McPhail
Councillor Harold Steves

Absent: Councillor Chak Au

Call to Order: The Chair called the meeting to order at 4:04 p.m.

MINUTES

It was moved and seconded

That the minutes of the meeting of the General Purposes Committee held on Tuesday, April 18, 2017, be adopted as circulated.

CARRIED

COMMUNITY SERVICES DIVISION

1. MINORU PARK VISION AND GUIDING PRINCIPLES

(File Ref. No. 06-2345-20-MINO1) (REDMS No. 5340141 v. 6)

With the aid of a video presentation, Mike Redpath, Senior Manager, Parks, accompanied by Jamie Esko, Manager, Parks Planning, Design and Construction, provided background information and highlighted phase one of the Minoru Park plan.

General Purposes Committee

Monday, May 1, 2017

Ms. Esko remarked that should the proposed vision and guiding principles be approved by Council, the second phase of the Minoru Park vision plan will commence and include (i) the development of vision plan options, (ii) public engagement, and (iii) presentation of a vision plan to Council. Also, Ms. Esko noted that Attachment 1 of the staff report is incomplete as a page was inadvertently omitted.

In reply to queries from Committee, Ms. Esko listed all the stakeholders listed on the omitted page and advised that staff would provide Council with the anecdotal public feedback forms.

Also, Mr. Redpath spoke on community engagement, noting that two drop-in style public open houses were held. He stated that both open houses were advertised in local newspapers and on social media. In addition to the open houses, Mr. Redpath advised that LetsTalkRichmond was extensively utilized to seek public input.

Discussion took place and Committee commented that (i) it would be beneficial to include youth groups in any future public engagement process, (ii) signage placed throughout Minoru Park illustrating what is being envisioned may draw additional feedback, and (iii) groups that represent very young children should also be included in any future public engagement process.

The Chair directed staff to include the omitted page from Attachment 1 when the staff report is presented to Council, provide information regarding the consultant utilized for the park vision and guiding principles, and provide a copy of the public consultation's raw data in the Councillor's Lounge.

It was moved and seconded

- (1) *That the Minoru Park Vision and Guiding Principles as detailed in the staff report titled "Minoru Park Vision and Guiding Principles," dated April 4, 2017, from the Senior Manager, Parks, be adopted; and*
- (2) *That the Vision and Guiding Principles as described in the staff report titled "Minoru Park Vision and Guiding Principles," dated April 4, 2017, from the Senior Manager, Parks, be used to guide the development of the Minoru Park Vision Plan and that staff bring the Minoru Park Vision Plan to Council for approval at the end of 2017.*

CARRIED

2. **VIABILITY OF REPURPOSING MINORU AQUATIC CENTRE**

(File Ref. No. 06-2052-55-02-01) (REDMS No. 5361029 v. 5)

Discussion took place on the viability of repurposing the Minoru Place Activity Centre.

General Purposes Committee

Monday, May 1, 2017

In reply to queries from Committee, Mr. Redpath and Jim Young, Senior Manager Capital Buildings Project Development, advised that the Minoru Aquatic Centre is at the end of its useful life and there is no operating budget to staff the building once the Minoru Centre for Active Living opens.

Discussion took place on temporarily repurposing the Minoru Aquatic Centre and Robert Gonzalez, General Manager, Engineering and Public Works, advised that BC Building Code regulations stipulate that the building would require extensive improvements in order for it to be brought up to current building standards if the building were re-purposed.

Discussion then took place on (i) the potential to incorporate market and/or affordable housing at the site, (ii) the need to examine parking in the area, and (iii) the condition of the heritage trees adjacent to the Minoru Place Activity Centre.

It was moved and seconded

- (1) *That upon completion and opening of the new Minoru Centre for Active Living, the existing Minoru Aquatic Centre located at 7560 Minoru Gate in Minoru Park be decommissioned and demolished, and that the project be submitted for consideration in the 2018 capital budget as described in the staff report titled "Viability of Repurposing Minoru Aquatic Centre," dated April 21, 2017, from the Senior Manager, Capital Buildings Project Development and the Senior Manager, Parks; and*
- (2) *That any future use of the existing Minoru Aquatic Centre and/or the Minoru Place Activity Centre sites located at 7560 Minoru Gate and 7660 Minoru Gate respectively be considered as part of the Minoru Park Vision Plan and be subject to Council approval.*

CARRIED

3. MINORU COMPLEX ENTRIES AND ARRIVALS PUBLIC ART PROJECT REVIEW

(File Ref. No. 11-7000-09-20-202) (REDMS No. 5345031)

Eric Fiss, Public Art Planner, provided background information and advised that following consultation with the Minoru Major Facility Stakeholder Advisory Committee, staff recommend that a new Artist Call be issued with clearer terms of reference such that the artwork connect to the history of Minoru Park.

In reply to a query from Committee, Mr. Fiss advised that a memorandum on the selection panel will be provided to Council for information.

General Purposes Committee
Monday, May 1, 2017

It was moved and seconded

That the issuance of a revised Artist Call for the Minoru Complex Entries and Arrivals Public Art Project, as described in the staff report titled, "Minoru Complex Entries and Arrivals Public Art Project Review," dated March 20, 2017 from the Director, Arts, Culture and Heritage Services, be endorsed.

CARRIED

FINANCE AND CORPORATE SERVICES DIVISION

4. **REGISTRATION OF A STATUTORY RIGHT OF WAY IN FAVOUR OF BC HYDRO OVER CITY-OWNED PROPERTY AT MINORU COMPLEX (6500/6960 GILBERT ROAD, 7191/7251 GRANVILLE AVENUE, 7551 MINORU GATE)**

(File Ref. No. 06-2285-30-197) (REDMS No. 5211578 v. 2)

It was moved and seconded

- (1) *That staff be authorized to register a statutory right of way for utility purposes in favour of BC Hydro over a 96.0 m² portion of City-owned property at Minoru Complex (6500/6960 Gilbert Road, 7191/7251 Granville Avenue, 7551 Minoru Gate); and*
- (2) *That staff be authorized to take all necessary steps to complete the matter including authorizing the Chief Administrative Officer and the General Manager, Finance and Corporate Services to negotiate and execute all documentation to effect the transaction detailed in the staff report titled "Registration of a Statutory Right of Way in favour of BC Hydro over City-owned Property at Minoru Complex (6500/6960 Gilbert Road, 7191/7251 Granville Avenue, 7551 Minoru Gate)" dated April 12, 2017 including all contracts and Land Title Office documents.*

CARRIED

PLANNING AND DEVELOPMENT DIVISION

5. **BUILDING PERMIT APPLICATION AT 10960 GRANVILLE AVENUE**

(File Ref. No.: 08-4057-10, Xr: 12-8360-20-2017768616) (REDMS No. 5375417)

James Cooper, Manager, Plan Review, provided background information and stated that staff recommend that Council determine the building permit application to be in conflict with the bylaws under preparation to limit house size, farm home plate and setback in the AG1 zone.

General Purposes Committee

Monday, May 1, 2017

In reply to queries from Committee, Joe Erceg, General Manager, Planning and Development, advised that the applicant does not wish to re-design the home to be in compliance with the bylaws under preparation and does not wish to withdraw the building permit application.

Discussion took place on the applicant's potential course of action should the application be withheld for a further period of 60 days commencing May 5, 2017.

In response, Jennifer Hayes, Staff Solicitor, advised that should the applicant wish to re-design within the 60-day period, a new building permit application could be submitted.

It was moved and seconded

- (1) *That Building Permit Application No. 17-768616 for a single family dwelling at 10960 Granville Avenue, with a total floor area of 967.1 m² (10,410.1 ft²), be withheld for a period of 30 days beginning on the date of application (April 5, 2017) pursuant to Section 463(1) of the Local Government Act, as Council considers that the proposed house size, farm home plate and setbacks are in conflict with the proposed Zoning Bylaw amendments under preparation; and*
- (2) *That, pursuant to Section 463(3) of the Local Government Act, Building Permit Application No. 17-768616 be withheld for a further period of 60 days, commencing May 5, 2017.*

CARRIED

Opposed: Cllr. Loo

ADJOURNMENT

It was moved and seconded

That the meeting adjourn (4:55 p.m.).

CARRIED

Certified a true and correct copy of the Minutes of the meeting of the General Purposes Committee of the Council of the City of Richmond held on Monday, May 1, 2017.

Mayor Malcolm D. Brodie
Chair

Hanieh Berg
Legislative Services Coordinator



Finance Committee

Date: Monday, May 1, 2017

Place: Anderson Room
Richmond City Hall

Present: Mayor Malcolm D. Brodie, Chair
Councillor Derek Dang
Councillor Carol Day
Councillor Ken Johnston
Councillor Alexa Loo
Councillor Bill McNulty
Councillor Linda McPhail
Councillor Harold Steves

Absent: Councillor Chak Au

Call to Order: The Chair called the meeting to order at 4:56 p.m.

MINUTES

It was moved and seconded

That the minutes of the meeting of the Finance Committee held on April 3, 2017, be adopted as circulated.

CARRIED

DELEGATION

1. 2016 Audit findings on the City's Financial Statements

Archie Johnston, Client Relationship and Quality Review Partner, KPMG, and C.J. James, Engagement Partner, KPMG, presented the 2016 Audit findings on the City's Financial Statements.

Ms. James thanked City staff for their assistance during the annual audit process and highlighted that the audit is an unqualified opinion.

Finance Committee
Monday, May 1, 2017

In reply to a query from the Chair, Ms. James stated that as the Library has moved towards the use of more eBooks versus actual books, it was more appropriate re-classify eBooks as prepaid expenses as oppose to tangible assets.

RICHMOND OLYMPIC OVAL CORPORATION

2. **RICHMOND OLYMPIC OVAL CORPORATION 2016 AUDITED FINANCIAL STATEMENTS AND Q4 - 2016**
(File Ref. No.) (REDMS No. 5377625)

It was moved and seconded

That the report on the 2016 audited Financial Statements and Financial Information on the fourth quarter ended December 31, 2016 for the Richmond Olympic Oval Corporation from the Controller of the Richmond Olympic Oval Corporation be received for information.

CARRIED

FINANCE AND CORPORATE SERVICES DIVISION

3. **2016 FINANCIAL STATEMENTS FOR THE RICHMOND PUBLIC LIBRARY**
(File Ref. No. 03-0905-01) (REDMS No. 5378201)

It was moved and seconded

That the 2016 Richmond Public Library audited financial statements for the year ended December 31, 2016, as presented in the attached report from the Chief Librarian, be received for information.

CARRIED

LULU ISLAND ENERGY COMPANY

4. **2016 FINANCIAL STATEMENTS FOR THE LULU ISLAND ENERGY COMPANY**
(File Ref. No. 01-0060-20-LIEC1) (REDMS No. 5368673 v. 2)

It was moved and seconded

That the Lulu Island Energy Company audited financial statements for the year ended December 31, 2016, in the report titled, "2016 Financial Statements for the Lulu Island Energy Company," dated April 10, 2017 from the Chief Executive Officer and Chief Financial Officer, Lulu Island Energy Company be received for information.

CARRIED

Finance Committee
Monday, May 1, 2017

FINANCE AND CORPORATE SERVICES DIVISION

5. 2016 CONSOLIDATED FINANCIAL STATEMENTS

(File Ref. No. 03-0905-01) (REDMS No. 5373449 v. 2)

It was moved and seconded

That the City's audited consolidated financial statements for the year ended December 31, 2016 be approved.

CARRIED

ADJOURNMENT

It was moved and seconded

That the meeting adjourn (5:02 p.m.).

CARRIED

Certified a true and correct copy of the Minutes of the meeting of the Finance Committee of the Council of the City of Richmond held on Monday, May 1, 2017.

Mayor Malcolm D. Brodie
Chair

Hanieh Berg
Legislative Services Coordinator



Planning Committee

Date: Tuesday, May 2, 2017

Place: Anderson Room
Richmond City Hall

Present: Councillor Linda McPhail, Chair
Councillor Bill McNulty
Councillor Chak Au
Councillor Alexa Loo
Councillor Harold Steves

Call to Order: The Chair called the meeting to order at 4:00 p.m.

MINUTES

It was moved and seconded

That the minutes of the meeting of the Planning Committee held on April 19, 2017, be adopted as circulated.

CARRIED

NEXT COMMITTEE MEETING DATE

May 16, 2017, (tentative date) at 4:00 p.m. in the Anderson Room

Planning Committee
Tuesday, May 2, 2017

PLANNING AND DEVELOPMENT DIVISION

1. **APPLICATION BY 1082843 BC LTD. FOR REZONING PORTIONS OF 22720 AND 22740 WESTMINSTER HIGHWAY FROM “SINGLE DETACHED (RS1/F)” TO “HIGH DENSITY TOWNHOUSES (RTH1)”**
(File Ref. No. 12-8060-20-009714; RZ 16-754713) (REDMS No. 5364596 v. 2)

Wayne Craig, Director, Development, and Mark McMullen, Senior Coordinator - Major Projects, reviewed the application, noting that the proposed development will consist of 25 townhouses and two convertible units.

Discussion ensued with regard to (i) incorporating secondary suites in the proposed development, (ii) vehicle parking configurations on-site, (iii) floodplain restrictions in the Hamilton area, and (iv) full conversion of convertible units.

In reply to queries from Committee, Mr. McMullen noted that the two convertible units will be constructed to facilitate the installation of an elevator if needed by future residents. Mr. Craig added that the Official Community Plan (OCP) has accessibility requirements for new townhouse developments and convertible units are provided in most townhouse projects.

In reply to queries from Committee, Karen Smith and Rob Vrooman, representing the applicant, noted that the convertible units will include accessible features such as wider doors, wider corridors, and all units will include lever style door handles and rough-ins for future installation of grab handle bars. Mr. Vrooman added that costs estimates for elevator installation in the convertible units can be provided to potential buyers in the sales process.

It was moved and seconded

That Richmond Zoning Bylaw 8500, Amendment Bylaw 9714 to:

- (1) Include the Hamilton Area Plan density bonus and community amenity provisions within the “High Density Townhouses (RTH1)” zone; and*
- (2) Rezone the western portion of 22720 and 22740 Westminister Highway from “Single Detached (RS1/F)” to “High Density Townhouses (RTH1)”;*

be introduced and given first reading.

CARRIED

Planning Committee
Tuesday, May 2, 2017

2. PROPOSED ZONING BYLAW HOUSEKEEPING AMENDMENTS
(File Ref. No. 08-4430-01) (REDMS No. 5278492 v. 8)

Tina Atva, Development Coordinator, briefed Committee on the Proposed Zoning Bylaw Housekeeping Amendments, noting that the proposed amendments will provide updates to (i) Child Care Program regulations, (ii) Agri-Tourism Operations and Farm-Based Winery regulations, (iii) Private Club regulations within Assembly (ASY) zones, and (iv) minor amendments to *Zoning Bylaw 8500*.

In reply to queries from Committee, Mr. Craig advised that the City's policies for the No. 5 Road Backlands allow uses involving religious, cultural and educational purposes.

It was moved and seconded

That Richmond Zoning Bylaw 8500, Amendment Bylaw 9699 to make housekeeping amendments be introduced and given first reading.

CARRIED

3. SALVAGE OF BUILDING MATERIALS AND STRUCTURAL RELOCATION OF HOUSES
(File Ref. No. 08-4375-00) (REDMS No. 5164202 v. 12)

Gavin Woo, Senior Manager, Building Approvals, James Cooper, Manager, Plan Review, and Wesley Lim, Code Engineer, spoke on a proposed program that would encourage the relocation of existing houses and the salvage of building materials from demolition sites, noting that a secure online list of potential participating homeowners available for salvage and moving companies will be developed on the City's website. Mr. Cooper added that full-time staff will be added to help implement the proposed program.

In reply to queries from Committee, Mr. Woo and Mr. Cooper noted that (i) the proposed program is voluntary, (ii) information on participating homeowners will only be available to qualified salvage and moving companies, (iii) staff anticipate that the proposed program will have little impact on development timelines, and (iv) asbestos remediation is typically not required when entire homes are relocated.

Discussion ensued with regard to the supply of the salvage materials and the timeline for the programs' implementation.

It was moved and seconded

That Council endorses the following measures to encourage the relocation of existing houses and salvage of building materials from demolition sites:

- (1) Develop an online list for houses scheduled for demolition to allow house moving companies to contact home owners arranging for potential house moves;***

Planning Committee
Tuesday, May 2, 2017

- (2) *Promote the options to relocate existing houses and to salvage building materials by informing the public of the benefits;*
- (3) *That the cost of a temporary full time staff to implement the proposed program estimated to be up to \$110,000.00 funded by the 2017 Building Permits Revenue be included as amendment to the 5 Year Financial Plan (2017-2021); and*
- (4) *That staff report back on the above measures in 12 months' time.*

CARRIED

4. MANAGER'S REPORT

(i) Mylora Non-Farm Use Application to the Agricultural Land Commission

Mr. Craig briefed Committee on the non-farm use application for the former Mylora Golf Course site, noting that the Agricultural Land Commission has denied the application. He added that site will remain zoned for agriculture.

(ii) Market Rental Housing and Affordable Housing Strategy

Staff advised that a report on market rental housing will be presented to Committee in July 2017 and that a report on Affordable Housing Strategy is being finalized.

ADJOURNMENT

It was moved and seconded
That the meeting adjourn (4:39 p.m.).

CARRIED

Certified a true and correct copy of the
Minutes of the meeting of the Planning
Committee of the Council of the City of
Richmond held on Tuesday, May 2, 2017.

Councillor Linda McPhail
Chair

Evangel Biason
Legislative Services Coordinator



City of Richmond

Report to Committee

To: Parks, Recreation and Cultural Services Committee
From: Jane Fernyhough
Director, Arts, Culture and Heritage Services
Date: March 27, 2017
File: 01-0100-30-RPAR1-01/2017-Vol 01s
Re: **Richmond Public Art Program 2016 Annual Report and Public Art Advisory Committee 2017 Work Plan**

Staff Recommendation

That the Richmond Public Art Advisory Committee 2017 Work Plan, as presented in the report titled, "Richmond Public Art Program 2016 Annual Report and Public Art Advisory Committee 2017 Work Plan," from the Director, Arts, Culture and Heritage Services, dated March 27, 2017, be approved.

Jane Fernyhough
Director, Arts, Culture and Heritage Services
(604-276-4288)

Att. 2

REPORT CONCURRENCE	
CONCURRENCE OF GENERAL MANAGER 	
REVIEWED BY STAFF REPORT / AGENDA REVIEW SUBCOMMITTEE	INITIALS:
APPROVED BY CAO 	

Staff Report

Origin

On July 27, 2010, Council approved the updated Richmond Public Art Program Policy 8703 and Terms of Reference for the Richmond Public Art Advisory Committee (RPAAC). The RPAAC provides advice and acts as a resource to City Council and staff on the City's Public Art Program.

This report presents the Richmond Public Art Program 2016 Annual Report to Council for information and the proposed RPAAC 2017 Work Plan for approval.

This report supports Council's 2014-2018 Term Goal #2 A Vibrant, Active and Connected City:

Continue the development and implementation of an excellent and accessible system of programs, services, and public spaces that reflect Richmond's demographics, rich heritage, diverse needs, and unique opportunities, and that facilitate active, caring, and connected communities.

2.1. Strong neighbourhoods.

2.3. Outstanding places, programs and services that support active living, wellness and a sense of belonging.

2.4. Vibrant arts, culture and heritage opportunities.

Analysis

Richmond Public Art Program

The Public Art Program plays a key role in shaping, animating and enriching the public realm, civic pride and community identity. Artwork placed in the public realm has the power to engage the public, celebrate culture, broaden the diversity of arts experiences and opportunities, serve as an educational resource to expand public awareness and understanding of the arts, stimulate conversations, strengthen and support the arts community and inspire creativity.

Since Council's adoption of the Public Art Program Policy in 1997, the Public Art Program's collection has grown to a total of 188 works of public art, with 137 works currently on display around Richmond. Documentation of public art that is no longer on display is archived on the Public Art Program website.

Public art adds value to public and private development, enriching the public realm for residents and visitors to Richmond and advances Richmond's standing as a model for high quality urban development. The City provides leadership in integrating public art with major civic facilities as well as small scale public infrastructure. The private sector has demonstrated that an investment in public art enhances their reputations as progressive city builders, while creating a liveable and desirable place to live and work. The Community Public Art Program engages members of the

community in art making, discussions and public events. The recently expanded Public Art Education Program provides learning opportunities for both the general public and professional artists.

Richmond Public Art Program 2016 Annual Report

The Richmond Public Art Program 2016 Annual Report (Attachment 1) presents the key activities and achievements of the City's Public Art Program through the civic, community, private development and educational programs in 2016. A summary of the 2016 Annual Report is noted below:

- Civic Public Art Program: two public artworks were installed at City facilities;
- Manhole Covers Program: artist-designed storm and sanitary manhole covers were installed throughout Richmond;
- City Utility Cabinet Wrap Program: four utility cabinets wrapped;
- Community Public Art Program: two permanent artworks were installed and four temporary community engagement projects were completed;
- Private Development Public Art Program: eleven new works were installed;
- No. 3 Road Art Columns: works by fifteen local artists featured;
- PechaKucha Night Richmond: four events in 2016 were presented to an audience of over 300 attendees;
- Culture Days: two public art bus tours and a collaboration with the Richmond Art Gallery; and
- Education and Promotion Program: Three professional development workshops for artists and two new neighbourhood public art brochures.

Richmond Public Art Advisory Committee 2016 Highlights

In 2016, The Richmond Public Art Advisory Committee (RPAAC) provided informed advice to staff and Council on a range of projects. Highlights of the 2016 Work Plan included:

- monthly meetings: 10 monthly meetings with high attendance;
- participation in educational opportunities and public events: attended the annual Public Art Bus Tour in June and two members attended the 2017 Creative City Network Summit held in Surrey, October 17-19;
- review and submit recommendations on public art project plans: reviewed nine Private Development Public Art Plans;
- provide input to staff: reviewed six Artist Calls;
- review and submit recommendations to Council: provided recommendations to Council on 11 staff reports; and
- advise on policies: reviewed the Administrative Procedures Manual.

Richmond Public Art Advisory Committee 2017 Work Plan

The Richmond Public Art Advisory Committee 2017 Work Plan (Attachment 2) outlines the proposed work tasks for the volunteer committee in 2017. As a Council appointed Advisory Committee, RPAAC advises on all aspects of public art policy, planning, education and promotion, including the allocation of funds from the City's designated Public Art Reserve. Highlights of the 2017 Work Plan are noted below:

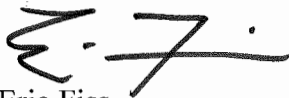
- Raise awareness and understanding of the importance of public art in the City through advocacy, promotion and participation in educational opportunities and public events.
- Advise on strategies, policies and programs to achieve excellence in art in the public realm including researching best practices and advising on opportunities for artists.
- Propose and support City programs, initiatives and events that advance public art in the City including Lulu Series: Art in the City speaker series, Doors Open Richmond and Culture Days.
- Review and submit recommendations to Council on public art project plans developed by City staff and private development public art consultants.
- Provide input to staff in the development of an annual Public Art Program report to Council, including an RPAAC annual work plan.

Financial Impact

None.

Conclusion

Public art animates the built and natural environment with meaning, contributing to a vibrant city in which to live and visit. The Richmond Public Art Program 2016 Annual Report and proposed Public Art Advisory Committee 2017 Work Plan demonstrate a high level of professionalism, volunteerism and commitment to quality public art in Richmond.



Eric Fiss
Public Art Planner
(604-247-4612)

- Att. 1: Richmond Public Art Program 2016 Annual Report
2: Richmond Public Art Advisory Committee 2017 Work Plan

The background of the cover is a painting of a salmon jumping out of the water. The salmon is depicted with vibrant red and pink scales on its body and a greenish-grey head. It is shown in mid-leap, with its mouth open and a small splash of water visible. The water is painted with green and blue strokes, suggesting movement and reflection. In the background, a bridge with multiple spans is visible against a light, hazy sky.

City of Richmond

Public Art Program 2016 Annual Report

Arts, Culture and Heritage Services

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Cover: *Returning Home – Sockeye Salmon*,
Danny Chen, 2016, Dyke Road at Gilbert Road Art
Wrap

Richmond Public Art Program 2016 Annual Report

RICHMOND PUBLIC ART PROGRAM TO-DATE:

185	Total number of artworks in collection
132	Permanent artwork installations
48	Temporary installations (<i>40 no longer on display</i>)
137	Total number of permanent and temporary artworks currently on display

Introduction

The Richmond Public Art Program provides a means for including art in creating a culturally rich environment in a vibrant, healthy and sustainable city. Public art is incorporated into civic and private development projects to spark community participation and civic pride in the building of our public spaces. In addition to permanent and temporary artworks, the Public Art Program offers a stimulating program of educational and community engagement activities to increase public awareness of the arts and encourage public dialogue about art and issues of interest and concern to Richmond residents.

For 2016, projects featured the integration of new works of art into public spaces including local artist-designed utility cabinet wraps and manhole covers, a community-created set of banners to surround the Minoru Complex construction site, 11 high quality works on new private developments and the public art program's first large outdoor community mural at St. Alban's Parish.

At the Creative City Network of Canada 2017 Summit, held in Surrey, the City Centre Community Centre Public Art Plan was recognized as one of seven outstanding public art projects from across Canada in the Public Art Year in Review. The City Centre Community Centre Public Art Plan featured projects completed in 2015 under the Private Development Program, *ebb & flow*, the Civic Program, *Motif of One and Many*, and the Community Public Art Program, *Harvest Full Moon Project*.

2016 Public Art Projects

Civic Public Art Program

In 2016, public art was commissioned by the City and installed at community centres, parks, civic buildings and along city sidewalks. These included:

Britannia Shipyards National Historic Site

Island by Deanne Achong and Faith Moosang

This public art project looks at the history of Richmond through a combination of historical and contemporary lenses. For the *Lulu Suite* public art project at the Richmond Olympic Oval, artists Deanne Achong and Faith Moosang have created three narrative-based projects that explore questions of technology, public space and the means in which history is collected, archived and shared. In 2016, the third work, *Island*, was permanently installed as part of the Seine Net Loft's new interactive exhibits. The imagery and sounds invite the audience to consider the beauty of the industrial presence rooted to the site by the hypnotic flow of the river.



Island, Deanne Achong and Faith Moosang

Cover Stories

Manhole covers throughout Richmond by Greg Allen, Caroline Dyck, Susan Pearson and Jeff Porter

In April of 2016, the first of 200 artist-designed storm and sanitary manhole covers were installed enhancing the community's street experience. The four selected artists took common, previously unremarkable pieces of our civic infrastructure and transformed them into pieces of art that celebrate Richmond's cultural heritage. The fabrication company, Westview Sales Limited, sponsored the project, producing the manhole covers at no additional cost. They help establish a sense of place, remembrance and pride.



Crane, Carolyn Dyck



Boat Building, Greg Allen

Protection Society

12071 No. 5 Road

Colouring My Life by Hilda Yuet Yi Fung

As the Richmond Animal Protection Society (RAPS) outgrew its Richmond Animal Shelter facilities, a new trailer was added as an extension to the operation. RAPS, Parks and Public Art coordinated the enhancement of the trailer with an artist-designed wrap representing the themes and values of the Richmond Animal Protection Society. The artwork draws on the current trend of graphic colouring book design depicting animals housed at the shelter and local fauna.



Colouring My Life, Hilda Yuet Yi Fung

City Utility Cabinet Wrap Program

The Public Art Program, in partnership with Engineering and Public Works and the Transportation Department, installed four new art wraps around Richmond in 2016. These included:

No. 5 Rd. Pump Station

Sunset at Steveston by Danny Chen

The artwork depicted at this pump station utility kiosk is a watercolour representation of Steveston Harbour at sunset.



Sunset at Steveston, Danny Chen

Gilbert Pump Station

Returning Home - Sockeye Salmon

by Danny Chen

This wrap builds on this location adjacent to the Fraser River to reference Steveston's rich fishing heritage.



Returning Home - Sockeye Salmon, Danny Chen

Phoenix Pump Station

Homage to Bubbles by Bruce Walther

This artwork is a photographic homage to the Community Mosaic Project done by youth and adults at the Steveston Community Centre in 2007. The mosaic represents Steveston's canning, farming and fishing heritage and the meeting of the Fraser River and the Strait of Georgia.



Homage to Bubbles, Bruce Walther

6411 Lynas Lane Utility box

Into the Trails by Joanne Hastie

This artwork depicts the natural rain forest in which we live and our accessibility to a maintained trail system. Inspired by nature, *Into the Trails* reminds us to revisit our trails and thank all the people who make them accessible.



Into the Trails, Joanne Hastie

In addition, several civic public art projects were commissioned in 2016, and are scheduled for installation in 2017–2018 (see Appendix 1).

Community Public Art Program

The Sharing Farm

Black Earth Rusted Stories by Blake Williams

This work celebrates the history of Richmond's agricultural heritage and the farmers who have worked the rich, alluvial soils of the Fraser River delta. The assemblage of worn, rusted tools, reminiscent of those used by generations of families who worked this land, provides insight into the daily life, ingenuity and perseverance which lies at the heart of sustainable agriculture. The artwork is located on the north wall of the newly opened Mary's Barn, named in honour of Mary Gazetas, the founding member of the Richmond Fruit Tree Sharing Project now known as the Sharing Farm.



Black Earth Rusted Stories, Blake Williams

St. Alban's Parish

The Richmond Peace Labyrinth Mural

by Joey Mallet

The Public Art Program supported a community proposal from The Richmond Peace Labyrinth Committee to assist in the creation of the Public Art Program's first large outdoor community mural. The Richmond Peace Labyrinth is based on ancient worldwide designs of meditative labyrinths, and is a replica of the labyrinth at Chartres Cathedral in France. The mural completes the site in creating an experience

which builds on the beauty of the labyrinth, references motifs of Chartres Cathedral, and extolls the values of peace, beauty and inclusivity. Richmond Peace Labyrinth and the mural are a contemplative public space for all people, regardless of religion and culture



The Richmond Peace Labyrinth Mural, Joey Mallet

Pianos on the Street 2016

The third annual program built bridges and delighted passers-by throughout the community by bringing pianos to open-air locations in Minoru Plaza, Britannia Shipyards site and the Terra Nova Rural Park, from July through September 2016. Each piano was decorated either by a local arts group or school arts program to represent the flavour of the community where it was situated and the public was invited to play the instruments and upload media of themselves to a dedicated website, www.supportpiano.com. This project was sponsored by Pacey's Pianos.

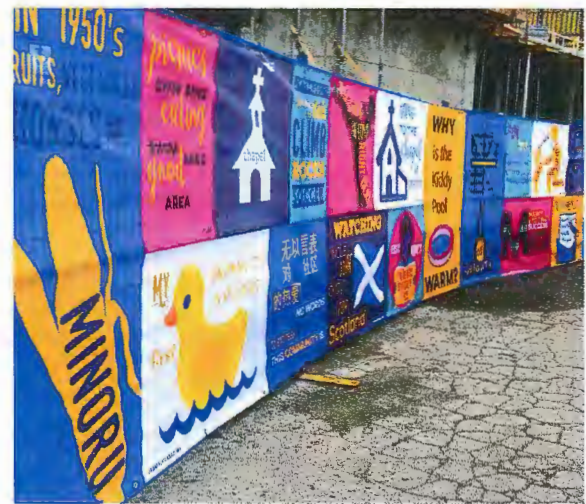


Britannia Piano, Pianos on the Street

Minoru Park

Minoru Complex Community Banners by
Caroline Elise Dyck and Rhonda Wepler

As part of the Minoru Civic Precinct Public Art Plan, members of the community were encouraged to participate in the creation of colourful construction hoarding designs on the Minoru Complex Development site. The artists brought the "past" and "future" of the new facility to life with poetry and sculptures by visitors of all ages who took part in workshops over several weeks. The artworks were unveiled during Culture Days and were so successful that a second set of banners was printed to adorn the Granville Avenue side of the construction site.



Minoru Complex Community Banner, Caroline Elise Dyck,



Minoru Complex Community Banner, Rhonda Wepler

Bridgeport Industrial Park

Pollinator Pasture Picnic

The Pollinator Pasture hosted a picnic as part of this year's Doors Open celebration. The picnic invited project partners to host a tent and celebrate the first bloom of the Pollinator Pasture with community members. Tent partners included BC Hydro, VanCity, West Coast Seeds and the Richmond Art Gallery. Artist workshops by Sharon Kallis and a participatory sculpture by Samuel Roy Bois engaged visitors as did tours of the pollinator pasture by staff and project leads. Art activation of the park continued through summer 2016 with the making of butterfly net sculptures, by artist Sharon Kallis who led community members in a series of rope-making circles. The butterfly net sculptures were installed in early August with a final gathering and celebration. The Pasture itself is a collaborative effort with Sustainability, Parks and Public Art with private partners, all coordinated by an Emily Carr University Research Team, directed by Dr. Cameron Cartiere.



Participatory sculpture, Samuel Roy Bois

Private Development

Public Art Program

Through the development applications process, private developers continued to provide high quality public art to enrich the public realm. In 2016, the following projects were completed:

Museo

9580 Alexandra Road

Sponsor: Am-Pri Developments

Layers by Christian Huizenga

This work is the outcome of an innovative partnership between Emily Carr University of Art + Design (ECUAD), Am-Pri Group and the City of Richmond. ECUAD students developed the Alexandra Road Public Art Plan in 2015. The Plan was then used to guide the artist selection process for the private development. Artists applying for the opportunity were required to attend a series of three professional development workshops as part of the Art at Work Professional Development Program for artists. Recent graduate, Christian Huizenga, was selected through an arms-length selection process. A reflection of soil, *Layers* is a continuous garden, railing and bench, inspired by the rich aggregation of sediment layers upon which Richmond is built. By defining the greenway, the piece draws emphasis to the continued preservation of green spaces within densifying cities.



Layers, Christian Huizenga,

Sorrento

8633 Capstan Way

Sponsor: Pinnacle

Site Unseen by Mia Weinberg

These four sliding doors feature two images of leaf veins and two maps of Richmond: one large scale and one detailed scale of each. Serving a practical function, the work surrounds a sanitary pump station, hence the title, *Site Unseen*, is a whimsical reference to the mechanical networks and conduits that lie hidden beneath our streets. Just as leaf veins are networks for transporting the lifeblood of a plant, one can imagine streets, power, water, and drainage systems as networks transporting the lifeblood of a city.



Site Unseen, Mia Weinberg,

The Pier at London Landing

13160 No 2 Road

Sponsor: Oris Development Group

Dream of the River by Glen Andersen

Designed and built to resemble an archaic relic, *Dream of the River* is a surrealist folly wherein a full-size fishing boat "skeleton" is visually married to a salmon backbone. The sculpture is perched on a grass berm overlooking the Fraser River contained within a platform that extends out from a pedestrian walkway.



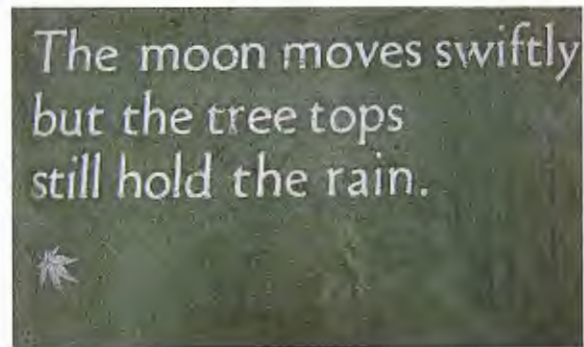
Dream of the River, Glen Andersen

5460 to 5560 Moncton Street

Sponsor: Am-Pri Developments

Poet's Promenade by Jeanette G. Lee

Paying homage to Richmond's deep Japanese roots, this portion of sidewalk along Moncton Street is imprinted with images of leaves and embedded with stainless steel text of haiku poems by Batsuo Basho (translated by Keiko Parker). Poems representing the four seasons bring pedestrians on this trail symbolically through the many "seasons" of life.



Poet's Promenade, Jeanette G. Lee

Oxford Lane

4588 Dubbert Street

Sponsor: Townline

Signal, Noise by Mark Ashby

The work consists of nine unique entry gates to mark the entry points off the south-facing access on Oxford Lane. Digitally fabricated from steel bars, each gate presents a unique three-dimensional surface. The gates also cast interesting and variable shadows on the front walk and gardens of the townhouses.



Signal, Noise, Mark Ashby

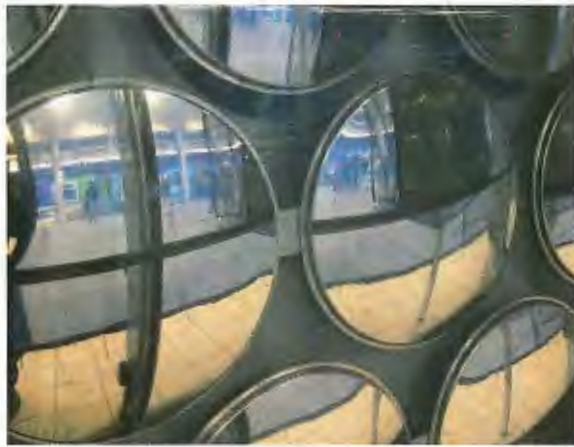
Mandarin

6188 No. 3 Road

Sponsor: Fairborne Homes

Closer Than by Bill Pechet

This installation consists of an offset grid of 300 identical convex safety mirrors mounted in six rows of 50 mirrors each. Sited along the wall of a new mixed-use housing project facing the Brighthouse Canada Line Station platform, the mirrors produce a shimmering visual plane which presents the station itself as its subject. The transience of people, space and light produce an evolving and shifting portrait of the station and commuters where, just like in car mirrors, we are closer than we appear.



Closer Than, Bill Pechet

Central at Garden City

4751 McLelland Road

Sponsor: SmartREIT

Snow/Migration by Mark Ashby

This sculptural work is inspired by the migratory passage of Snow Geese. Five lamp standards with broad folded metal reflectors and high-power white LEDs are programmed to provide an ambient light show. Local sound sensors located on the lamp standards override the ambient program with an interactive experience allowing the artwork to respond to the sound of low-flying aircraft, the cadence of a voice or to be "played" like a musical instrument.



Snow / Migration, Mark Ashby

Kingsley Estates

10440 No. 2 Road

Sponsor: Polygon Homes

Spirit of Steveston by Cheryl Hamilton and Mike Vandermeer

Located on the former site of Steveston Secondary School, this work pays homage to both the golden era of Steveston's marine industry and the site's previous institutional use. The boat and gulls are crafted from stainless steel, polished to a mirror finish, and detailed with cast elements and etched surface treatments. Into the sky, the artists have launched a scene that would be familiar to many of Steveston's previous generations.



Spirit of Steveston, Cheryl Hamilton and Mike Vandermeer

Jayden Mews

9700 Alexandra Road
Sponsor Polygon Homes

Untitled [Nest for Owls] by Alyssa Schwann and Michael Seymour

This public art project was created in response to the need for habitat for owls as well as their food sources. To house the nest, a pollarded willow tree was used for its fast-growing characteristics, suitability for the site and historic agricultural presence. The nest itself is a ceramic vessel modeled on an existing tree nest, making it the ideal dimensions for a safe and habitable nesting site.



Untitled [Nest for Owls], Alyssa Schwann and Michael Seymour,

One River Park Place

5233 Gilbert Road
Sponsor: Intracorp

Three Ginseng Roots by Evan Foon Lee

Balancing modern materials and processes with natural forms and colours, these three glass panels are installed within the water feature to give the sense that the roots are floating. In addition to being a medicinal plant used by many cultures, and especially in traditional Chinese medicine, ginseng is grown throughout Canada, including on farms along the Fraser

River. The artwork promotes good health, well-being and a connection with nature.



Three Ginseng Roots, Evan Foon Lee

Riva Development

5311 Cedarbridge Way

Sponsor: Onni

Upriver by Rebecca Belmore

This sculptural installation is inspired by the nearby Fraser River and the spawning migration of millions of Pacific salmon and the form references the ingenious construction of the bentwood box made by the Northwest Coastal peoples for centuries. Cast in bronze, with a copper-like patina, **Upriver** is rendered to look like it is made out of cedar logs and planks at various levels of processing, referencing the more recent history of the Fraser River as a transportation conduit for the forest industry. The transition from cedar planks to salmon in this piece suggests the inseparable ecological dependency between the migrating salmon and the coastal rainforest.



Upriver, Rebecca Belmore

Several private development public art projects were commissioned in 2015, and are scheduled for installation in 2017–2018 (see Appendix 1).

Unique Projects

No.3 Road Art Columns

Exhibition 9:

Small Monuments to Food (Part 2)

This series of artworks (installed December 2015) examined how Richmond's diversity of cultures—including our social, economic and political histories—have influenced the way we think, produce, consume, protect and build community and identity around food. Participating local artists were Eric Button, Catherine Chan and Deborah Koenker.



Small Monuments to Food (Part 2), No. 3 Road Art Columns

Exhibition 10: How Art Works

The art columns played host to a contest launched in early 2016 in support of the *How Art Works* campaign (originally created by communication design consultants, 123w). The contest invited creative people to submit an artistic graph to communicate how the arts impact their health and well-being and/or that of the community. Nine artists were selected through an arms-length selection process. People's Choice and Honorable Mentions were also selected via online polling.



How Art Works (Collage), No. 3 Road Art Columns

Canada Line Terminus Art Plinth

Skydam by Nathan Lee,

The second of two artworks commissioned for the Brighthouse Canada Line Station Art Plinth Exhibition was completed in February 2016. The artwork is comprised of a white steel plated beaver dam with a family of fibreglass red beavers. The work references the colours of the Canadian flag and acknowledges the cultural and economic importance of the North American beaver. The artwork will remain on display through 2017.



Sky Dam Canada Line Terminus Plinth Project, Nathan Lee

Public Art Education and Engagement Program

PechaKucha Night Richmond

Ten speakers from a variety of different professions and backgrounds presented their stories at each of the three free PechaKucha Night Richmond events in 2016. The presentations reflected on influential experiences and the changes that these have brought about in fields ranging from design and art to social inclusion, environmental activism and entrepreneurship. PechaKucha is a presentation format where speakers present 20 images and tell their stories as the photos automatically advance every 20 seconds.

Volume 13: For the Love of Nature

February 11, 2016, Richmond Nature Park

Presented in partnership with the Richmond Nature Park, this event featured presentations from a naturalist, conservationist, landscape architect, artist, educator, agriculturalist, parks planner, sustainability advocate and a marine biologist. Attendance: 50

Volume 14: Brain Space March 31, 2016, Kwantlen Polytechnic University, Richmond Campus

Hosted and produced by second year students in the Graphic Design for Marketing Program at Kwantlen Polytechnic University Richmond Campus, this event featured ten speakers on a wide range of subjects. Attendance: 200



Volume 16, PechaKucha Night Richmond

Volume 15: Rich City Life May 5, 2016, Steveston Community Centre

Produced in partnership with Youth Services, this event was presented from the perspective of Richmond youth, igniting passion and creative thinking about the urban youth experience in Richmond. Attendance: 34

Volume 16: Finale: Homegrown Inspiration November 24, 2016, Richmond Cultural Centre Performance Hall

Homegrown Inspiration celebrated the last four years of the PechaKucha Night program. It showcased local artists and featured inspiring presenters who inspire others, enrich Richmond and enhance the vibrancy of their communities. Attendance: 30



PKN Richmond Volume 16, Homegrown Inspiration,

2016 Culture Days

Public Art Bus Tours

Participants of all ages joined Public Art Planner Eric Fiss for two fully subscribed bus tours exploring some of Richmond's newest artworks. Artworks in South Richmond and Steveston were featured in the bus tours, from the new RAPS Trailer wrap to the newly installed manhole covers in Steveston.

Leave Your Mark FM Pop-Up Radio Station

In collaboration with the Richmond Media Lab, Richmond Museum and Richmond Art Gallery, Leave Your Mark FM animated the Cultural Centre Plaza during Culture Days. Special guest hosts broadcast live from the plaza and played music selected by local Richmond youth, intriguing interviews with artists and locals and readings of historical letters from the Richmond Museum. The pop-up radio station also promoted other Culture Days events happening throughout the city.



Leave Your Mark FM

Art at Work

Presented in partnership with the Canadian Artists Representation/Front des artistes canadiens (CARFAC) and the Richmond Art Gallery, this series of professional development workshops and events was designed to provide artists with the knowledge and skills required for pursuing a professional arts practice in the fields of public art, visual art and community arts. Workshops and events for the winter and spring series were free.



Art at Work

Promotion of the Public Art Collection

Richmond's Public Art collection can be browsed online at www.richmond.ca/publicart where visitors can also download an interactive map for smartphones and a series of 10-minutes self-guided walking tours. In 2016, two illustrated public art walking tour brochures (*City Centre/Richmond Olympic Oval* and *Steveston Waterfront Neighbourhood*) were updated for distribution online and as hard copies.



City Centre/Richmond Olympic Oval Public Art Brochure and Steveston Waterfront Neighbourhood Public Art Brochure

Public Art Advisory Committee

The Richmond Public Art Advisory Committee (RPAAC) is a Council-appointed voluntary advisory committee that provides input on public art policy, planning, education and promotion. At monthly Committee meetings, members received presentations on new civic, private development and community project proposals and provided feedback and recommendations. Updates on discussions on public art for upcoming development were provided by the Committee's appointee to the Advisory Design Panel, Xuedong Zhao.

In 2016, the Committee held three facilitated workshops to review the Administrative Procedures Manual and recommended updates to improve clarity and administration of the Public Art Program, support art spaces, diversity, public awareness and economic potential.

2016 RPAAC Members:

Aderyn Davies, *Chair*
Sandra Cohen, *Vice Chair*
Chris Charlebois
Simone Guo
Valerie Jones
Shawne MacIntyre
Victoria Padilla
Willa Walsh
Xuedong Zhao

Council Liaison: Councillor Carol Day

Public Art Program Staff

Cathryn Volkering Carlile, General Manager,
Community Services
Jane Fernyhough, Director, Arts, Culture and
Heritage Services
Liesl Jauk, Manager, Arts Services
Eric Fiss, Public Art Planner
Elisa Yon, Public Art Project Coordinator
Anna Whelan, Public Art Assistant
Christine Corris-Wingfield, Public Art Assistant

Appendix 1

Richmond Public Artwork Scheduled for Completion in 2017–18

Civic public art projects:

- **Fire Fighter Bronze Sculpture** by Nathan Scott, Cambie Fire Hall No. 1
- **Errant Rain Cloud** by Gordon Hicks and Germaine Koh, Minoru Complex
- **Four Types of Water Revealed** by Germaine Koh, No. 2 Road Pump Station
- **Storeys Mural** by Richard Tetrault, Storeys housing project
- **Street as Canvas** by Hapa Collaborative, Lansdowne Road Temporary Art Project

Private public art projects:

- **ARTS Unit Gates** by Raymond Boisjoly, Concord Gardens Phase 1
- **Happy Sail Wall** by Derek Root, Cadence, Cressy Development
- **Relief** by Leonhard Epp, Steveston Flats Development Corp.
- **Spinners**, by Dan Corson, Avanti, Polygon Homes.
- **Volo** by Michael Nicoll Yahgulanaas, Park Residences at Minoru
- **Wall Screen** by Metz & Chew, Alfa, 8151 Anderson Road
- **Glass Gardens Phase 3** by Joel Berman, The Gardens, Townline

Richmond Public Art Advisory Committee 2017 Work Plan

Council Term Goals 2014–2018

This Work Plan supports the mandate of the Public Art Advisory Committee as outlined in its terms of reference, to “provide advice and act as a resource to City Council and staff on the City’s Public Art Program and propose and support activities that benefit and advance public art in the City.”

The Work Plan supports the following Council Term Goal # 2: A Vibrant, Active and Connected City:

Continue the development and implementation of an excellent and accessible system of programs, services, and public spaces that reflect Richmond’s demographics, rich heritage, diverse needs, and unique opportunities that facilitate active, caring, and connected communities.

- 2.1. *Strong neighbourhoods.*
- 2.3. *Outstanding places, programs and services that support active living, wellness and a sense of belonging.*
- 2.4. *Vibrant arts, culture and heritage opportunities.*

This Work Plan supports Council’s 2014-2018 Term Goal #3 A Well-Planned Community:

Adhere to effective planning and growth management practices to maintain and enhance the livability, sustainability and desirability of our City and its neighbourhoods, and to ensure the results match the intentions of our policies and bylaws.

- 3.2. *A strong emphasis on physical and urban design.*

2017 Proposed Budget

RPAAC has an approved operating budget of \$5,000 for 2017. This will cover costs incurred by meetings, forums, educational and promotional materials and consultant fees (should these be required) associated with the implementation of the 2017 Work Plan.

2017 RPAAC Work Plan

The RPAAC 2017 Work Plan is based on the Terms of Reference for the Committee and is proposed as follows:

RPAAC 2017 Work Plan				
Strategy/Initiative	RPAAC Actions/Steps	Expected Outcome of RPAAC Actions	Indicator of RPAAC Success	Stakeholders
1. Raise awareness and understanding of the importance of public art in the City				
a. Involve the public in the selection process for public art.	<i>Encourage community members to participate on public art selection panels through an open call for volunteers</i>	<i>Richmond residents are involved in civic and community cultural life</i>	<i>Community support of the public art selection process</i>	<i>Community Centre Associations, Richmond Arts Coalition (RAC), Richmond Artist Guild (RAG), Richmond Art Gallery Association (RAGA) and others</i>

RPAAC 2017 Work Plan				
Strategy/Initiative	RPAAC Actions/Steps	Expected Outcome of RPAAC Actions	Indicator of RPAAC Success	Stakeholders
b. Engage communities with individualized neighbourhood art plans	<i>Develop Public Art Plans for Capstan Village and Steveston Waterfront Neighbourhood by Summer 2017</i>	<i>Greater awareness of public art in Richmond communities. Provide guidelines for public art project in these areas.</i>	<i>Public Art contributes to neighbourhood recognition and identity</i>	<i>Neighbourhood organizations, private developers, artists</i>
c. Advocacy and promotion (art walks and tours, brochures, postcards, posters and social media)	<i>Identify and support new opportunities for advocacy and promotion</i>	<i>Promotion of community connection and awareness of public art</i>	<i>Public participation at unveilings, public lectures and bus tours</i>	<i>Parks, Community Centre Associations, Walk Richmond, Tourism Richmond</i>
d. Education and training for RPAAC members (workshops, bus tours, local conferences and symposiums)	<i>Identify and register for training opportunities</i>	<i>Develop and expand knowledge of best practices</i>	<i>Greater confidence in recommendations to staff and Council</i>	<i>Creative City Network of Canada, BC Alliance for Arts + Culture</i>
e. Education for the public (Lulu series talks, other)	<i>Recommend guest speakers, attend and promote events</i>	<i>Develop community connection and awareness of public art</i>	<i>Increased attendance and appreciation of the arts</i>	<i>Arts Centre, RAC, Community Centre Associations, Architectural Institute of BC</i>
f. Guest Speakers	<i>Identify key guest speakers for RPAAC meetings for 2017</i>	<i>RPAAC members better informed on public art issues and equipped to share this information with Council, as and when directed.</i>	<i>Guest speaker series for 2017 devised and implemented.</i>	<i>ECUAD, universities, artists, consultants, conservators</i>
2. Advise on strategies, policies and programs to achieve excellence in art in the public realm				
a. Research Best Practices and Policy review	<i>Identify and prioritize potential research on policy and administration</i>	<i>Policy and administrative procedures are reviewed</i>	<i>Policy and administrative procedures are updated</i>	<i>City Council</i>

RPAAC 2017 Work Plan				
Strategy/Initiative	RPAAC Actions/Steps	Expected Outcome of RPAAC Actions	Indicator of RPAAC Success	Stakeholders
b. Community Public Art Program	<i>Assist and advise on implementation of the Community Public Art Program</i>	<i>The Community Public Art Program is kept current.</i>	<i>Public art projects initiated under a revised Community Public Art Program</i>	<i>Community Centre Associations and community organizations</i>
c. Opportunities for artists working in 2D visual art	<i>Assist and advise on implementation of a program for 2D art to connect arts and businesses</i>	<i>Actions identified and advice given to assist City of Richmond staff and community partners to implement a 2D Art Program</i>	<i>Practical actions identified and implemented and advice given as and when requested.</i>	<i>RAC, RAG, RAGA, local businesses</i>
d. Conservation and maintenance of the Public Art Collection	<i>Review maintenance priorities annually</i>	<i>Set priorities for conservation and maintenance</i>	<i>Public Art collection is well maintained</i>	<i>Public Works, Conservators, Strata Councils</i>
e. Council Referral on Private Development Program Policy	<i>Review Council role in approval process for public art on private property</i>	<i>Clarify the Policy for approvals of Public Art on private property</i>	<i>Greater certainty for developers, artist and Council on approval process for public art</i>	<i>Private developers, artists, selection panellists, Council, RPAAC , community</i>
3. Propose and support City programs, initiatives and events that advance public art in the City				
a. Lulu Talks	<i>Advise on speakers and musicians for the Lulu Talks</i>	<i>Identified speakers to advance Council Goals</i>	<i>Increased attendance and appreciation of the arts</i>	<i>Arts Centre, Community Centre Associations, RAC</i>
b. Doors Open and Culture Days	<i>Assist and advise on venues and artworks for consideration</i>	<i>Public Art Program has a high profile at Doors Open and Culture Days</i>	<i>Increased participation and appreciation of the arts</i>	<i>Arts Centre, Heritage sites, Community Centre Associations</i>
4. Review and submit recommendations to Council on public art project plans				
a. Private Development Public Art Plans	<i>Review private development public art plans</i>	<i>Provide advice and recommendations to staff and Council</i>	<i>Public Art plans endorsed by developers and Council</i>	<i>Council, community partners, private developers</i>
b. Steveston Waterfront Public Art Plan	<i>Advise and assist as required</i>	<i>New Public Art Plans to serve as a guide for public art in Steveston</i>	<i>New Public Art plans embraced by developers and artists</i>	<i>Neighbourhood organizations, private developers, artists</i>

RPAAC 2017 Work Plan				
Strategy/Initiative	RPAAC Actions/Steps	Expected Outcome of RPAAC Actions	Indicator of RPAAC Success	Stakeholders
c. Capstan Village Public Art Plan	<i>Advise and assist as required</i>	<i>New Public Art Plans to serve as a guide for public art in Capstan</i>	<i>New Public Art plans embraced by developers and artists</i>	<i>Neighbourhood organizations, private developers, artists</i>
d. Council Referral on Lansdowne Road Street as Canvas Public Art Project	<i>Review the revised concept proposal</i>	<i>Recommendation to Council</i>	<i>Council makes an informed decision on the concept proposal</i>	<i>City departments, developers</i>
f. Council Referral on Minoru Complex Entries and Arrivals Public Art Concept	<i>Review feedback from the Minoru Complex Stakeholder Committee</i>	<i>Recommendation to Council resulting from additional consultation</i>	<i>Council makes an informed decision on the concept proposal</i>	<i>Artists, selection panel members, community, Council</i>
g. Council Referral on The Fleetwood	<i>Review options to restore The Fleetwood as an indoor civic art project using the City's Public Art Reserve Fund</i>	<i>Recommendation to Council</i>	<i>Council makes an informed decision on the proposed option</i>	<i>Britannia Heritage Shipyard Society Steveston Historic Building Committee</i>
5. Provide input to staff in the development of an annual Public Art Program report to Council, including an RPAAC annual work plan				
a. 2017 Public Art Program report to Council and 2018 RPAAC Annual Work Plan	<i>Advise and assist as required</i>	<i>Accomplishments during the past year are presented to Council and the public</i>	<i>Public Art has contributed to making Richmond a more vibrant, active and connected City</i>	<i>Council, community partners, private developers</i>



City of Richmond

Report to Committee

To: Parks, Recreation and Cultural Services Committee
From: Serena Lusk
Senior Manager, Recreation and Sport Services
Date: April 6, 2017
File: 11-7025-09--
INBOX/Vol 01
Re: Review of Local Sport Group Residency Requirement

Staff Recommendation

That Council Policy 8701 be amended to include a requirement that Richmond Sport organizations have a membership of at least 70 per cent prior to receiving assistance from the City as described in the staff report titled "Review of Local Sport Group Residency Requirement," dated April 6, 2017, from the Senior Manager, Recreation and Sport Services.

Serena Lusk
Senior Manager, Recreation and Sport Services
(604-233-3344)

Att. 2

REPORT CONCURRENCE		
ROUTED TO:	CONCURRENCE	CONCURRENCE OF GENERAL MANAGER
Arts, Culture & Heritage Community Social Development Parks Services	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	
REVIEWED BY STAFF REPORT / AGENDA REVIEW SUBCOMMITTEE	INITIALS: 	APPROVED BY CAO

Staff Report

Origin

At the General Purposes Committee meeting held on Monday, September 19, 2016, staff received the following referral:

That the matter regarding the local sport group residency requirement amendment be referred to staff for further consultation and comment from Richmond Sports Council.

The purpose of this report is to respond to the above referral by providing information on the consultation with Richmond Sports Council and the implications of proposed amendments to Council Policy 8701.

This report supports Council's 2014-2018 Term Goal #2 A Vibrant, Active and Connected City:

2.3. Outstanding places, programs and services that support active living, wellness and a sense of belonging.

Analysis

Council Policy 8701 (Attachment 1)

Council Policy 8701, Parks and Leisure Services – Community Involvement, states that assistance may be given to “Any public Richmond organization with membership of at least 60 per cent Richmond residents, or as approved by Council in developing and implementing its community services programs.”

This policy has guided the City's relationship with community groups for decades and reached well beyond sport groups. It is foundational to the way the City delivers community services.

The objective of the 60 per cent residency requirement is to ensure that any sport organization or parks, recreation or cultural group that is provided with additional assistance to operate within Richmond is best representing the interests of Richmond residents. As with all Council policies, exceptions can be made with Council-approval.

The practice has been for staff to provide assistance to community organizations that meet the 60 per cent residency requirement in the form of a community rate and access to the use of various City-owned amenities including arenas, arts facilities, recreation centres, aquatic facilities and sports fields. This access has successfully allowed Richmond-based groups to provide opportunities to Richmond residents in an affordable manner for almost four decades.

Current Practices

The majority of cities in Metro Vancouver use a 60 per cent residency rate as the basis for providing community rates to groups including sport groups. Common practice is for municipalities to manage issues of residency requirements on a case-by-case complaints basis, as is the procedure used by City of Richmond.

There are barriers to strictly enforcing a residency requirement rate policy with user groups as determining residency of a group's participants can be time consuming and challenging especially for volunteer-run organizations. Furthermore, privacy laws protect personal information and in some instances, third parties, such as City of Richmond staff, may not have access to participants' addresses.

Outcome of Consultation with Richmond Sports Council

Staff consulted with Richmond Sports Council at its Tuesday, October 11, 2016, meeting where the chair requested that the staff report titled "Review of Local Sports Group Residency Requirements" be forwarded to members via email for discussion at its November meeting.

At the November 8, 2016, Richmond Sports Council meeting, a round-table discussion was held on the residency requirement. The members in attendance represented 18 Richmond based sports groups who regularly attend the monthly sport group meetings. Discussion focused on whether the residency requirement should remain at 60 per cent or be increased to 70 per cent. As an outcome of the meeting, the Richmond Sports Council Chair has provided a letter (Attachment 2), dated Friday, March 10, 2017, that requests that the residency requirement be increased to 70 per cent. In its letter, Richmond Sports Council identifies its rationale for requesting the increase is ensuring that Richmond residents have first access to facilities at a time when demand is increasing and have the opportunity to be active in their own community when rules related to residency from provincial sport organizations are changing.

Options for Consideration

Staff have identified three options for Council's consideration which are discussed below:

Option 1: Increase the residency requirement in Council Policy 8701 to 70 per cent for Sport Groups (RECOMMENDED)

Representing the interests of the sport community in Richmond, Sports Council has identified a need and rationale for increasing the residency requirement to 70 per cent. This recommended option proposes an amendment to Council Policy 8701 to increase the requirement only for sport groups and not for other types of groups, as there is no evidence that there is a similar need or rationale and no request has come from the community.

Staff will continue to review the residency rate of any Richmond-based sports organization on a case by case basis when the City is made aware of a potential group not meeting the residency requirement.

Option 2: Further investigation of the residency requirement in Council Policy 8701

As Council Policy 8701 is foundational across all Community Services program areas – parks, recreation, arts, culture and heritage, and community social development, staff could conduct a comprehensive review across these areas to understand the implications of changing the residency requirement. This option is not recommended as there has been no identified need or request for change.

Option 3: Status Quo

While Sports Council has identified its rationale for increasing the residency requirement for sport groups, staff is not aware of any current situation where groups are being prevented from accessing space due to groups that do not meet the current (60 per cent) residency requirement. Staff could monitor the situation and propose a change should this situation occur.

This option is not recommended as it does not recognize the advice of Sports Council and is not a proactive solution to a potential issue which has been raised by Sports Council.

Additional Consideration

Through the course of discussions about the residency requirement, the issue has been raised concerning the ability of certain groups to meet the current (60 per cent) or proposed (70 per cent) residency requirement. These concerns are generally related to sports that are new, emerging or ones which require a high level of skill or equipment and are considered 'niche'.

Council Policy 8701 currently provides for Council to make exceptions to the residency requirement to address these cases. However, in order to fully reflect Council's support for a wide variety of sport choice in Richmond, staff recommend amending Policy 8701 to allow emerging sports that have not previously been accommodated in City of Richmond funded facilities or amenities be given up to three years to meet the proposed 70 per cent residency requirement.

Additional minor changes to the policy are also being recommended to provide clarity to groups and staff in application of the policy.

Financial Impact

None.

Conclusion

It is recommended that the residency rate be increased to 70 per cent for Richmond based sports groups and remain at 60 per cent for other Richmond based organizations. The continuous evolution of sport, as well as the diversifying list of sports available in Richmond, is a benefit to local residents. It is recommended that organizations which represent new, emerging or niche sports be allowed three years to meet the residency requirement.



Gregg Wheeler
Manager, Sport and Community Events
(604-244-1274)

- Att. 1: Council Policy 8701 - Parks and Leisure Services – Community Involvement
(Recommended Amendments)
2: Letter from Richmond Sports Council Chair, dated Friday, March 10, 2017

CNCL - 98



City of Richmond

Policy Manual

Page 1 of 2

Adopted by Council: Mar. 28/78

POLICY 8701

File Ref: 7000-00

COMMUNITY SERVICES – COMMUNITY INVOLVEMENT (Recommended Amendments)

POLICY 8701:

It is Council policy that:

Council encourages and supports community initiative, involvement, and decision making in programs related to planning, acquisition, development, operation, and maintenance of parks, recreation and sport, cultural and community social development services in Richmond.

It is the intent of Council to:

1. Encourage other groups, organizations and individuals to provide parks, recreation and sport, cultural and community social development programs, facilities and services in accordance with community need.
2. Encourage and incorporate the involvement of volunteers in the delivery of community services.
3. Support the formation, nurturing, and growth of parks, recreation and sport, cultural and community social development groups in the development and maintenance of community services delivery in Richmond.

Assistance may be given to:

1. **Richmond Community Associations/Societies** - Community ~~and—neighbourhood~~ associations/societies which include Community Services programs as a major part of their objectives.
2. **Richmond Parks, Recreation, Culture and Community Social Development Organizations (non-sport)** - Any not for profit Richmond based **non-sport** organization with membership of at least 60% Richmond residents, or as approved by Council, in developing and implementing its parks, recreation, cultural and community social development programs and services.
3. **Richmond Sport Organizations** - Any Richmond-based non-profit sport organization with membership of at least 70% Richmond residents.
4. **Other Sport Organizations** – For a maximum of three years, any non-profit sport organization which meets the following criteria: (i) has not previously accessed Richmond sport amenities and facilities; and (ii) represents a sport which is not currently using Richmond sport amenities and facilities (niche or emerging sports); and (iii) is actively working towards a membership of at least 70% Richmond residents.

The organizations, upon receiving assistance, will provide the Community Services Division with up-to-date records of the organization and its activities.

Encouragement and assistance may be given to the establishment of the community and neighbourhood associations and societies which include parks, recreation and sport, cultural



and community social development programs and services as a major part of their objectives. Wherever possible, neighbourhood organizations are encouraged to become affiliated with, or an integral part of, the larger community association serving the geographical area in which the neighbourhood is located. New community associations would be formed when population densities, through infilling of residential areas, create a need for a logical sub-municipal identity and the development of major community recreational facilities in a new location.

Council is committed to providing, facilitating and coordinating parks, recreation and sport, cultural and community social development programs and services to community groups and individuals involved in the provision of parks, recreation and sport, cultural and community social development programs and services. The Community Services Division accepts a leadership role in the coordination of parks, recreation and sport, cultural and community social development programming and will endeavour to avoid undesirable duplication of services, or unreasonable variances in fees and charges to participants.



Richmond Sports Council

Richmond Sports Council is the collective voice of Richmond's community sports

Serena Lusk

March 10, 2017

Senior Manager, Recreation and Sports Services

Review of local Sports Group Residency Requirements

After a discussion at Richmond Sports Council on the City of Richmond local Sport Groups Residency Requirements, Richmond Sports Council would like to see the requirement increased from 60% to 70%. This would ensure that Richmond Residences come first for facility access over the last few years demand for access to first class facilities in the lower mainland are at an all Time high. Some of the Provincial Sports Organization have open boundaries now where players can move anywhere. Increasing the Residency Rate to 70% will make sure that Richmond residence, have the opportunity to be active with in their own community.

Regards

Jim Lamond

Chairman R.S.C.



City of Richmond

Report to Committee

To: Parks, Recreation and Cultural Services Committee
From: Mike Redpath
Senior Manager, Parks
Date: April 5, 2017
File: 06-2345-20-GCIT1/Vol 01
Re: Garden City Lands April 2017 Update

Staff Recommendation

1. That the staff report titled "Garden City Lands April 2017 Update," dated April 5, 2017, from the Senior Manager, Parks, be received for information; and
2. That a copy of the staff report titled "Garden City Lands April 2017 Update," dated April 5, 2017, from the Senior Manager, Parks, be forwarded to Kwantlen Polytechnic University, stakeholder groups and be posted on the City's website.

Mike Redpath
Senior Manager, Parks
(604-247-4942)

Att. 3

REPORT CONCURRENCE	
CONCURRENCE OF GENERAL MANAGER 	
REVIEWED BY STAFF REPORT / AGENDA REVIEW SUBCOMMITTEE	INITIALS:
APPROVED BY CAO 	

Staff Report

Origin

In July 2016, Council was provided a staff report titled “Garden City Lands Park Development Plan,” dated June 30, 2016, detailing future construction and development of the Garden City Lands. The purpose of this report is to provide information on the ongoing implementation of the Garden City Lands Park Development Plan (Attachment 1) and recent construction associated with the first phase of the Garden City Lands.

This report supports Council’s 2014-2018 Term Goal 2: A Vibrant, Active and Connected City:

Continue the development and implementation of an excellent and accessible system of programs, services, and public spaces that reflect Richmond’s demographics, rich heritage, diverse needs, and unique opportunities, and that facilitate active, caring, and connected communities.

2.3. Outstanding places, programs and services that support active living, wellness and a sense of belonging.

Findings of Fact

The City-owned Garden City Lands are approximately 55.2 hectares (136.5 acres), located on the eastern edge of Richmond City Centre. The Garden City Lands is one of Richmond’s newest parks and has a unique combination of agricultural and ecological functions resulting in what will be a singular park in Metro Vancouver. While the Garden City Lands is designated a city-wide park, because it is inherently embedded in a high-density neighbourhood, it will serve as an important recreational destination to the local community. Several existing and planned greenway and pedestrian connections will also make this park a destination for many visitors city-wide and throughout Metro Vancouver.

In 2014, Council approved the Garden City Lands Legacy Landscape Plan as a framework for the future detailed planning and development of the Garden City Lands. In July, 2016, the Garden City Water and Ecological Resource Management Strategy and the Garden City Lands Park Development Plan were presented to Council.

The Water and Ecological Resource Management Strategy provides a number of ecological and hydrological management considerations to guide the implementation of the Park Development Plan. The Park Development Plan is a synthesis of the Legacy Landscape Plan, the science-based recommendations from the Water and Ecological Resource Management Strategy and feedback from Richmond residents. The Park Development Plan provides the subject-matter expert analysis and direction for the implementation and construction methodology of the Garden City Lands project.

Project Update

Implementation of the first phases of the Park Development Plan has entailed the preparation of detailed designs and development of construction drawings and specifications. These first phases include site survey layout of the proposed works, procurement of specified materials, applications for approval to the Agricultural Land Commission and actual on-site construction.

In December 2015, Council awarded a consulting contract for professional services for landscape architecture, engineering and bog ecology to assist staff in developing an implementation and construction strategy. Staff take under consideration the consultant team's recommendations to develop the appropriate construction methodology for the particular conditions of the site and types of features being constructed. All work is conforming with applicable best management practices for this type of construction and follows all applicable Agricultural Land Commission and City Bylaw policies and regulations. The City policies and regulations include traffic management, construction noise management, soil deposition, placement of silt fencing and hours of work. In addition to these municipal regulations, all imported soil materials are tested prior to placement on site once approvals are in place.

Staff have reported to Council and Committees and to date, Council has approved the following milestones for this project:

- June 9, 2014: Garden City Lands Legacy Landscape Plan: Report to Council adopted on consent;
- February 10, 2015: Five Year Financial Plan: Approval of the \$2.1M capital submission for construction of perimeter trails;
- June 8, 2015: Kwantlen Polytechnic University Sustainable Agriculture Research and Education Farm: Report to Closed Council;
- December 14, 2015: Award of RFP 5540P for Design and Construction Services: Report to Closed Council;
- December 14, 2015: Five Year Financial Plan: Approval of the \$3.1M capital submission for construction of water management infrastructure; and
- December 12, 2016: Five Year Financial Plan: Approval of the \$1.2M capital submission for continuation of construction of water management infrastructure and improvements to enable agricultural uses.

Park Development Plan Implementation

The work commenced in the summer of 2016 and will continue through 2017. Work completed in 2016 includes approximately 100 metres of the seepage barrier and approximately 1,680 metres of the central berm (dike) and sections of farm service roads.

These initial phases of construction will lay the sub-surface infrastructural foundation for the future park which can only be done at the beginning of a project. The phasing and sequencing of this initial phase of work is complicated by the saturated site conditions. Work is limited within most of the site for all but several months in the summer, leaving only the edges, adjacent to

roadways, accessible for construction throughout the year. Construction is currently occurring along this less saturated perimeter zone.

Planned activities for the 2017 season include:

- Perimeter pedestrian and bicycle trails (underway since March, 2017);
- Completion of the seepage barrier along the central dike and along Westminster Highway;
- Installation of site infrastructure (drainage ditches, storm sewer connections and weir structures, and preparation for electrical and water connections);
- Placement of soil for the initial phase of farm development (subject to approval by the Agricultural Land Commission);
- Hydroseeding of exposed peat soils along trails;
- Fall/winter tree planting along the perimeter;
- Community engagement;
- Partnering with Kwantlen Polytechnic University on the Research and Education Farm;
- Agricultural Land Commission approvals; and
- Hosting the City's Harvest Fair proposed for the Garden City Lands in September.

See Attachment 2 for a summary of the planned construction and project related activities anticipated to be completed in 2017.

Perimeter Pedestrian and Bicycle Trails

In March, construction began on the network of twinned trails which will ultimately form a 2.9 kilometre multi-modal recreational experience, accommodating pedestrians on a 2.5 metre wide path and cyclists on a 3.5 metre wide path. The trails will form a complete loop around the site and will be the park's primary interface with the surrounding community and roadways. They will also serve as the physical connections to existing and future greenways which includes the future greenway along May Drive (north of Alderbridge) and Lansdowne Linear Park to the west. The City has received approval from the Agricultural Land Commission to build the perimeter trails. Additionally, a City Soil Deposit Permit has been issued for this scope of work.

Both trails are bi-directional and the surface will be suitable for all pedestrians as well as wheeled devices, including mobility aids. The path is constructed of several grades of gravels and crushed stone laid over geotextile fabrics set on the existing ground (Attachment 3). This method of construction achieves a stable, permeable and durable path. Existing soils excavated to establish path design grades are stockpiled on-site for later reuse. Invasive plant material and excavated debris are being appropriately disposed of.

The phased construction is dictated by the water levels on the site. Construction along the edges of the site, that is, along the adjacent roadways, is not affected by the currently saturated soils within the site. In mid-March, construction began along No. 4 Road. Construction along Alderbridge Way will then begin followed by work along Garden City Road with anticipated completion by mid-summer. The frontage along Westminster Highway will begin when the

water table subsides enough to permit the effective installation of storm water infrastructure and the clay seepage barrier (see below for more information).

As each phase is completed and the site is secured to ensure the public's safety, staff will consider opening the trails for limited public use, that is, access will be restricted to the trails only. Openings will be subject to ensuring the public's safety during on-going construction. Public access to the site will remain substantially restricted to designated areas because the site is a conservation area and/or a construction zone. Wayfinding signage and safety barriers will be placed to ensure the public is well informed and their safety maintained. Openings will be announced to the public thru the City's web site and on-site signage and social media.

Seepage Barrier

As per hydrologist and engineering consultant recommendations, a clay seepage barrier is being installed along two edges of the bog. The purpose of the barrier is twofold:

1. Retain water in the bog to maintain high water levels throughout the season; and
2. Prevent infiltration of water from the farm into the bog area.

Healthy bogs require a high water, high acidity and low nutrients levels. As per the project's consulting engineer's recommendation, imported clay material is placed to a depth of approximately 1 metre below grade, that is, from the surface to the underlying, impermeable clay and silt layer. The existing peat is excavated, stockpiled on-site for later re-use. The imported clay will be placed along the entire eastern frontage of the dike and along the northern edge of the soon-to-be built perimeter path along Westminster Highway. As the clay barrier is installed, the previously excavated temporarily stockpiled peat is placed over the newly installed seepage barrier and re-graded to create a smooth transition from the raised edge of the path down to the adjacent bog surface. This sloped area will be initially hydroseeded with native grasses to prevent the establishment of invasive weeds. In later phases, it will be planted with native shrubs and plant material.

The clay material is sourced from Metro Vancouver development sites. All imported clay material brought on site is tested to confirm they are free of significant debris, containments and physical composition prior to delivery to site. Staff will monitor the water levels, chemical profile and acidity of the water in the bog for the next three years after the barrier's installation.

Infrastructure Support System

Municipal infrastructure will be installed simultaneously with the installation of the trails and seepage barrier. A majority of these improvements are located underground and will not be visible at the surface once installed. Planned improvements include drainage ditches and swales, drain pipes, storm sewer and water connections to the City's network, weir structures to regulate water levels in the bog and electrical supply (installed in coordination with BC Hydro). These items are being installed at this time to minimize excavating previously installed site improvements at some future date.

Soil Placement for the Initial Phase of Farm Development

In February 2017, the City of Richmond submitted an application to the Agricultural Land Commission to place fill at the Garden City Lands. This fill will establish the initial 2 hectare (5 acre) area of the Kwantlen Polytechnic University (KPU) Sustainable Agriculture Research and Education Farm. The Agricultural Land Commission's approval is expected in April.

Approximately 800 dump trucks of fill are required to establish the initial phase of the ultimate 8 hectare (20 acre) research and education farm. KPU staff have provided the City a soil specification indicating the soil type and composition they require. The soil required needs to meet strict environmental guidelines for soil suitable for agricultural purposes. A comprehensive soil testing protocol will include:

1. Chain of custody documentation identifying the source;
2. Soil sample testing by certified laboratories; and
3. Assessment of soil structure, composition and level of contamination.

Soil will come from a number of sources, possibly including the City's Sidaway soil dump and development sites throughout Metro Vancouver. Fill placement will not proceed until Agricultural Land Commission approval and a City of Richmond Soil Deposit Permit are received and the site is dry enough (expected to be mid-to-late summer though subject to weather). Soils not suitable for agricultural purposes will not be placed in areas designated for food production.

City staff will be managing the soil placement operation which may include the use of heavy equipment such as bulldozers to place soil manufactured by an on-site industrial soil shredder (to mix soil provided to meet KPU's specifications). Dump trucks accessing the site will be routed along existing farm service roads and the dike trail.

Hydroseeding

Commencing this spring, exposed portions of previously disturbed soil are and will be hydroseeded with native grass seeds (Attachment 3). Hydroseeding is a highly efficient method of applying grass seed. It involves a truck applying a water based mixture of mulch and seeds over a large area with a water cannon. The mixture of seed, mulch and other additives has been specially formulated in coordination with a bog ecologist to ensure the seeds used are native and the chemical composition of the slurry is appropriate for use in bogs. To date, a 1.2 hectare area has been hydroseeded.

Fall and Winter Tree Planting

Beginning this fall, City of Richmond staff will commence tree planting on site. Native trees will be planted next to the pedestrian and cycling trails along the entire perimeter of the Garden City Lands. Once completed, this phase of work will see over 1,300 trees planted, comprised of predominantly native conifer and deciduous trees and selected cultivated fruit bearing trees slated for the proposed orchard on the Rise (northwestern corner of the site, along Alderbridge

Way at Garden City Road). If tree planting cannot be completed over the 2017/2018 winter season, tree planting will resume in fall, 2018.

Community Engagement and Stakeholder Involvement

In May 2015, staff provided Council a proposed Garden City Lands communications strategy. In this strategy updates to Committee and Council, outreach via social media, project website, on-site signage, stakeholder engagement and public events. The following provides a synopsis of staff's project related community engagement efforts to date.

The Garden City Lands web page (<http://www.richmond.ca/parks/about/design-construction/gardencitylands.htm>) is regularly updated to provide the public information on activities planned for 2017. Aerial perspectives and a drone, fly-over video of the site from this past winter are also posted. The webpage will be updated with new images portraying the steady transformation of the Garden City Lands.

Previously available materials such as links to the Garden City Lands Legacy Landscape Plan, Council, Committee and consultant reports and studies are available on the website at: <http://www.richmond.ca/parks/about/design-construction/gardencitylands/archive.htm>.

Ongoing updates and information will be provided to the public via the project's web page, <http://www.letstalkrichmond.ca/lets-talk-richmond>, and with updated on-site signage, currently located at key locations at Garden City Lands. Two signs have been installed on site since February 2017.

With the completion of the perimeter trail and initial work on the KPU farm area anticipated to begin in 2017, the Garden City Lands will be ready for program development in 2018. Additional staff resources will be included as part of the 2018 capital submission in order to advance programming at Garden City Lands.

There are many key stakeholders who have been engaged in early program visioning for the site, and who will be engaged in programming the site moving forward. These stakeholders include:

- KPU Department of Sustainable Agriculture and Food Systems;
- Richmond Food Security Society;
- Richmond Nature Park Society;
- Richmond Fitness and Wellness Association;
- Garden City Lands Conservation Society;
- City Centre Community Centre; and
- School District 38.

Early program opportunities at the site include:

- Site interpretation, including signage plan;
- Community gardening and learn to garden programs;
- Workshops and seminars related to food production (ie: fruit tree pruning, etc.);

- Fitness and wellness programs (walking clubs, tai chi, yoga, etc.);
- Nature-based education programs with a focus on bog conservation and agro-ecology (ie: guided walks and tours, school programs);
- Special events, including the Richmond Harvest Festival; and
- The establishment of a stewardship group under the Partners for Beautification Program that would create opportunities for volunteer involvement at many levels.

As the park infrastructure continues to develop, programming will expand and grow along with it. Engagement with key stakeholders is as an important step in the process to develop a vibrant and active public space. Their involvement will give the park the grassroots support and momentum to make the Garden City Lands an engaging place in the City. A copy of this report will be provided to these key stakeholders to give them an update on the project's progress.

As portions of the perimeter trails are deemed safe for public use, staff will publicly announce, via on-site signage, the City's web site and social media, that the trails are available for recreational use. Staff see these limited openings as opportunities to introduce the public to using the Garden City Lands as recreational destination in their own community.

To date, Council and Committees have considered 10 formal reports as progress reports and/or requests for approval at key project milestones. In addition to the aforementioned reports, the Parks, Recreation and Cultural Services Committee has a standing agenda item to have staff provide the Committee monthly verbal progress reports and have been provided memos providing additional information. Since January 2016, 13 verbal reports have been provided to the Committee. The minutes from these meetings are posted on the City's website.

The Harvest Festival

The Harvest Festival, part of the Richmond's Canada 150 celebrations, is planned to occur at the Garden City Lands, just off Garden City Road near Lansdowne, on Saturday, September 30, 2017. The Harvest Festival will be a first annual event celebrating the City's agricultural heritage featuring a farmers market, farming equipment, farm animals, live busking entertainment, food trucks and agricultural displays. The event is expected to attract an estimated 10,000 people. The Harvest Festival attendees will learn about agriculture and its importance to the City's past, present and future. The event will also help in establishing the park as recreational and educational destination in Richmond's City Center area. This event is subject to ALC approval.

The Proposed Kwantlen Polytechnic University Farm

The City of Richmond is working with KPU to plan a future Sustainable Agriculture Research and Education Farm. Soil placed by the City will establish the first phase of this farm. When the farm is fully implemented, it will be managed by KPU as part of the University's Sustainable Agriculture program.

A number of improvements will be installed on the site as the soil is placed. Water services will be provided off of both Alderbridge Way and Garden City Road for irrigation purposes. A drainage system will be designed by the project's engineering consultants and installed by City staff. While some of the farm's drainage will be diverted to ditches and ponds (construction

slated for future phases), the City will provide the farm with a storm water connection to the City's system. These infrastructural components will be installed in phases as the farm evolves and their requirements increase accordingly.

KPU is planning to place mobile and lightweight agriculture-grade greenhouse structures called 'hoop houses' to increase agricultural production on the site and extend the growing season for certain crops. KPU would also like to place two re-purposed shipping containers to provide secure, on-site equipment storage space for the farmers. The City will work with KPU to appropriately locate these structures and create a strong graphic identity to profile KPU's involvement at the Garden City Lands and mitigate graffiti vandalism. City staff will work with the appropriate City departments to gain any required permits and approvals for the above noted site improvements.

Staff will provide KPU a copy of this report and ongoing updates as the Park Development Plan is implemented.

Agricultural Land Commission

In January 2017, City staff presented the Garden City Lands Park Development Plan to Agricultural Land Commission staff and discussed the proposed Phase 1 scope of work within the Park Development Plan to determine what applications the City would be required to make to the Agricultural Land Commission to gain approval to proceed. Since that presentation to Agricultural Land Commission, the City of Richmond has submitted three applications to the Agricultural Land Commission for review and approval by the Board, they are:

- Transportation, Utility, or Recreational Trail Uses within the ALR (for permission to build the perimeter trails);
- Application to Place Fill and/or Remove Soil (for permission to place fill to create the KPU Farm); and
- Non-Farm Use Application (for permission to hold the inaugural annual Harvest Festival).

To date, the City of Richmond has received permission for the construction of the perimeter recreational trails. Construction of these trails is currently proceeding on site. As a condition of approval and as per Agricultural Land Commission policy, the City is required to install an agricultural fence around the Garden City Lands adjacent to this publicly accessible path; staff is proceeding with implementing this required site improvement. Approvals for the placement of fill for the initial 2 hectare (5 acre) phase of the KPU farm is expected in mid-to-late April and in May or June for the Harvest Festival.

Agricultural Land Commission staff have advised the City that it would be preferable to make a single application for the remaining improvements identified in the Park Development Plan requiring Agricultural Land Commission approval. Further detail will be required in order to accurately describe the scope of elements such as the Community Hub and Farm Centre, washroom facilities and other park elements prior to an application being submitted to the

Agricultural Land Commission. Staff will begin a more detailed design and programming study later in 2017 in order to make a Non-farm Use Application in the future.

Budget Update

In 2014, 2015, and 2016, Council approved capital projects to fund the phased implementation of the Park Development Plan for a total of \$6.4M. To date expenditures are \$1.7M. It is anticipated that the remaining amount (\$4.2M) will be spent by the end of the year, weather permitting and \$.5M in early 2018, again weather permitting.

Next Steps

Staff will be preparing capital budget submissions as part of the 2018 budget process. Requests for additional funding of park elements identified in the Park Development Plan will be submitted for Council's consideration, particularly planning for the Community Hub and Farm Centre. Planning and programing of this facility needs to be started prior to formal design and construction begins. In support of this major park element, staff will be exploring potential grant and partnership opportunities as well as approval for siting and construction from the Agricultural Land Commission.

Planned construction activities for the remainder of the 2017 construction season at Garden City Lands will be focused on completing the landscape works associated around the perimeter trails, further implementation of the Kwantlen Polytechnic Farm and implementation of a signage and wayfinding strategy.

As work proceeds, staff will continue with public outreach and engagement efforts. Staff will also provide Council another project update in fall 2017 reviewing progress on construction to date as well as a summary of project related issues such as the City's partnership with Kwantlen Polytechnic University and the Agricultural Land Commission.

Financial Impact

None.

Conclusion

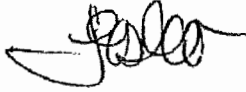
Steady progress has been made toward implementation of the Garden City Lands Park Development Plan, with construction well underway. The work is proceeding according to all applicable regulations, best practices and the recommendations of a range of expertise specific to this site and the unique combination of uses being developed for it.

Throughout the planning and design process, Council and the public have expressed their support for this unique park in the City Centre area. As a result of the comprehensive planning and design that has occurred in the last five years, there is broad public interest and support to use the Garden City Lands for both agriculture and recreation. The completion of the perimeter trail around the Garden City Lands will provide the community an accessible 2.9 kilometre path, welcoming City residents and visitors to Richmond to the Garden City Lands.

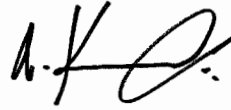
April 5, 2017

- 11 -

Staff are confident that the planned 2017 construction season work program is achievable within the parameters of currently available funding. Successful completion of the initial phases will bring to reality the City's vision as set out in the Garden City Lands Park Development Plan.

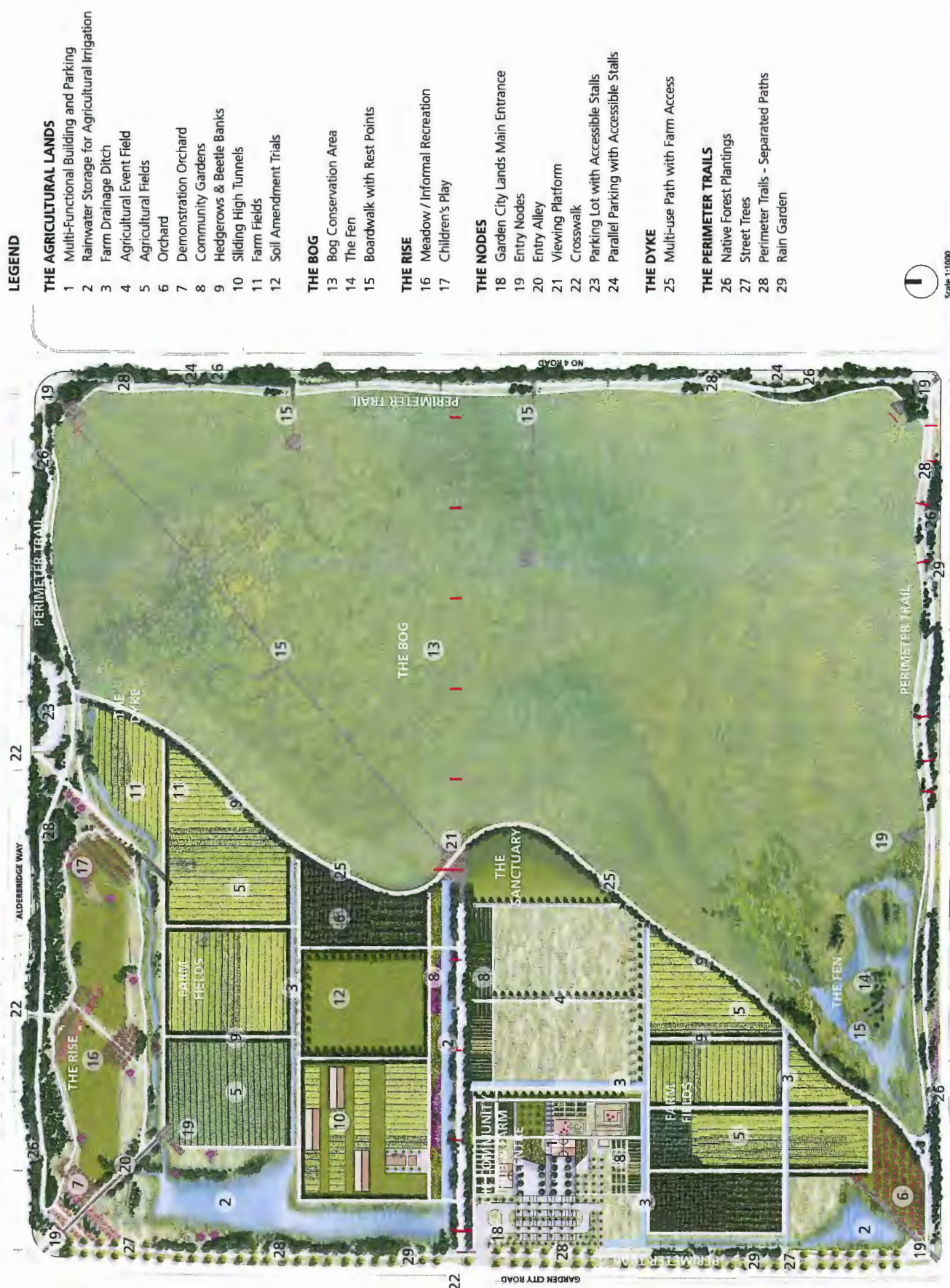


Jamie Esko
Manager, Parks Planning & Design
(604-233-3341)



Alex Kurnicki
Research Planner II
(604-276-4099)

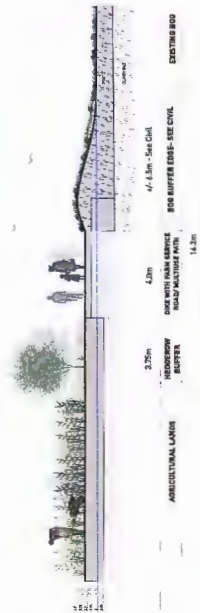
- Att. 1: 2016 Garden City Lands Park Development Plan
2: Summary of Activities Planned for 2017
3: Spring 2017 – Construction Activity Site Photos



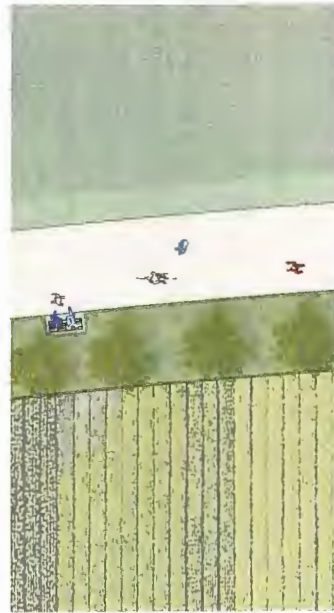
GARDEN CITY LANDS Park Development Plan

THE CENTRAL DYKE

The Central Dyke serves as a structure that will separate the flow of water between the bog and the agricultural fields. On one side, the water levels must be kept high for the health of the bog while on the other, the agricultural fields require good drainage. The dike top will have a broad pedestrian trail that will bring people into the centre of the park and afford views across The Lands from a slightly elevated perspective.



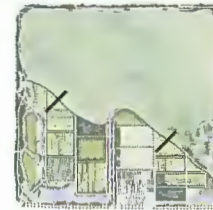
CNCL - 114



TYPICAL PLAN & SECTION SCALE 1:75



PERSPECTIVE Looking South across bog and farm fields NTS

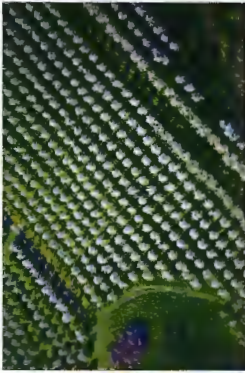


KEY PLAN

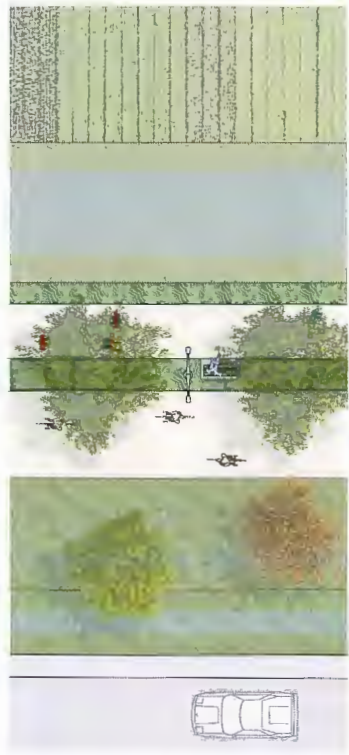


DESIGN INSPIRATION





TYPICAL PLAN & SECTION - NORTH SCALE 1:75



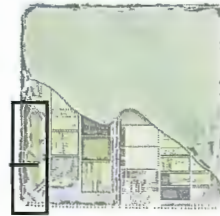
TYPICAL PLAN & SECTION - SOUTH SCALE 1:75

THE RISE on ALDERBRIDGE WAY

This is the area previously referred to as 'The Mound'. It is where a mix of fill material was placed decades ago and as a result, it is at a higher elevation than the rest of The Lands and provides views across the farm fields and bog. The Rise provides opportunities for informal recreation (e.g. picnicking, ball throwing, Frisbee tossing, kite flying) and children's play. It combines both the native trees, shrubs and wildflowers, as well as orchard trees.

THE PARK ENTRIES

The main entries into the park have been kept simple and modest in size, and have been designed to maintain the long views across The Lands. The entries are intended to provide opportunities for information signage and maps of the park, quick access to the park's trails as well as public art. The planting designs associated with the entries will reflect the environmental and agricultural mission for The Lands.

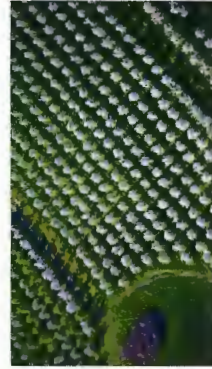
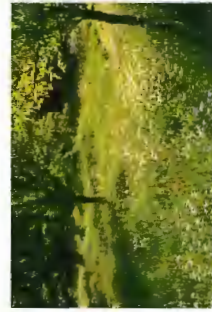


KEY PLAN

DESIGN INSPIRATION

TYPICAL PLAN & SECTION

SCALE 1:75



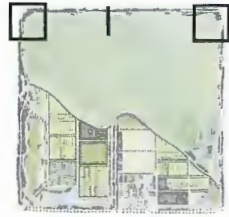
PERSPECTIVE View looking into site from entry node at Garden City Road and Alderbridge Way WTS



PERSPECTIVE View from The Rise looking across farm fields and bog WTS



DESIGN INSPIRATION



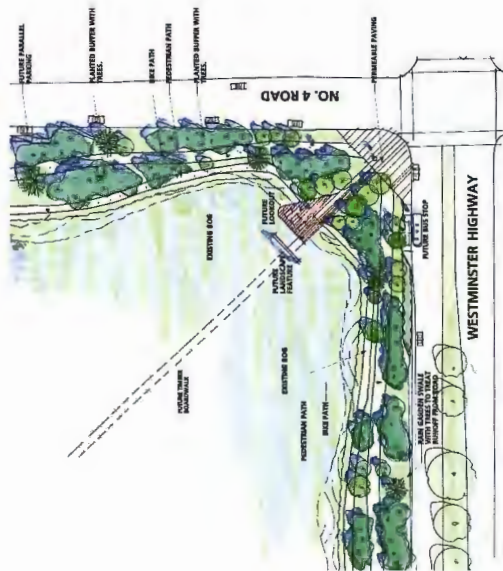
KEY PLAN

GARDEN CITY LANDS No.4 Road

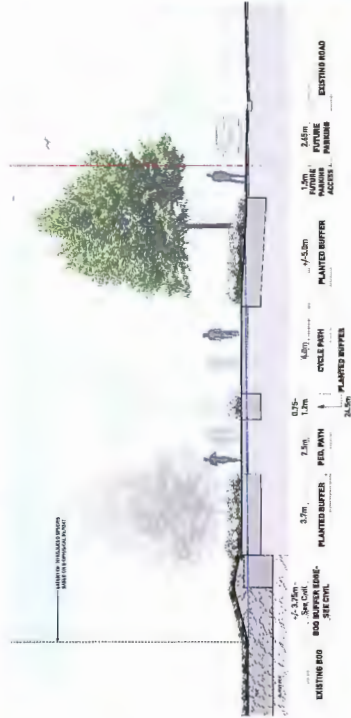
CITY OF RICHMOND | PWL PARTNERSHIP



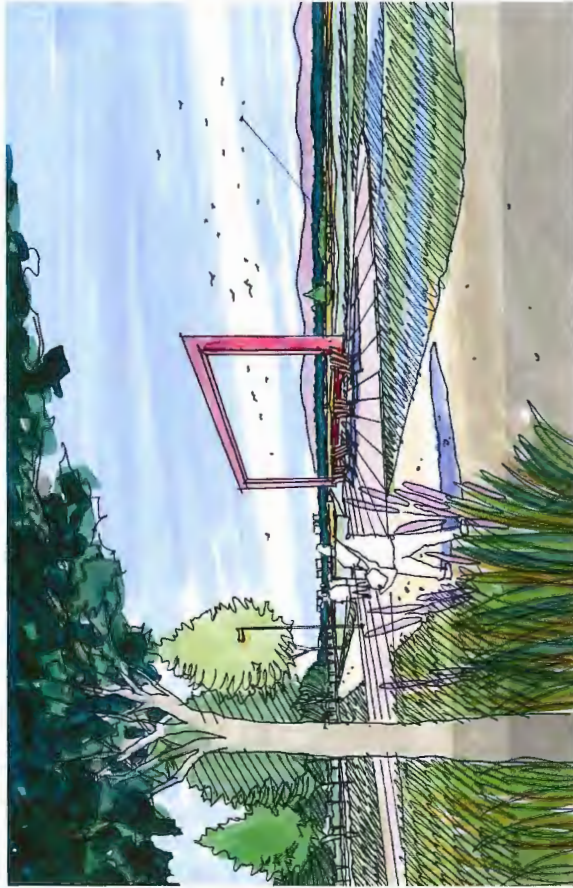
SITE PLAN - NORTH NODE SCALE 1:500



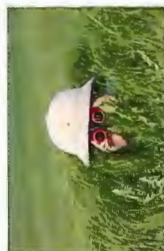
SITE PLAN - SOUTH NODE SCALE 1:500



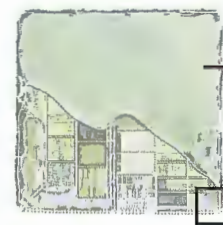
TYPICAL PLAN & SECTION SCALE 1:75



PERSPECTIVE View from Alderbridge Way and No. 4 Road NTS



DESIGN INSPIRATION



KEY PLAN

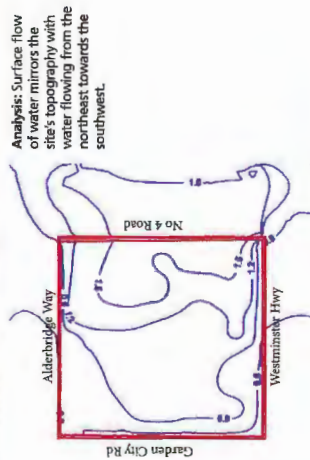


GARDEN CITY LANDS Westminster Highway

HYDROGEOLOGICAL ASSESSMENT

GROUNDWATER MODELING

Measured Water Levels - March 4, 2015



Analysis: Surface flow of water mirrors the site's topography with water flowing from the northeast towards the southwest.

Winter water table in the peat



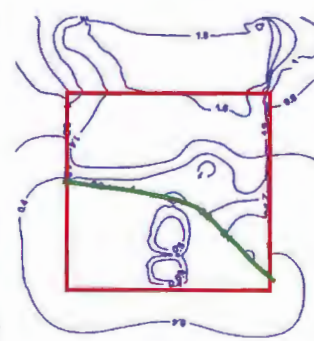
ANALYSIS: The winter water table is high in the east and lower in the west, reflecting the site's topography. Most water drains vertically downward through the peat towards the sand aquifer. There is a minor amount of water seeping from the peat into road base materials to the north (Alderbridge), south (Westminster), and possibly east (No 4 Road).

PURPOSE:

- Understand how the water is currently flowing across and through the site and if it can be controlled to maintain a water mound in the bog area, for bog conservation, while allowing drainage in the agricultural area for food production;
- Assess opportunities to incorporate landscape elements (e.g., perimeter trails) to maintain water levels in the peat by reducing seepage losses from the peat to perimeter ditches and utility trenches; and,
- Assess possibilities of pumping groundwater from the sand aquifer for farm irrigation and the potential impacts such pumping might have on the bog area.

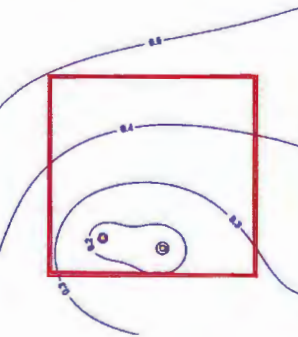
INVESTIGATION AND FINDINGS

INVESTIGATION: what might the impact be of adding barriers between bog and farming areas, and to the north and south between the bog and Alderbridge Way & Westminster?



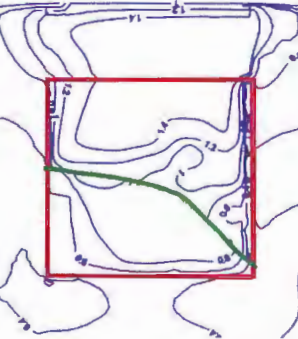
FINDING: no significant adverse effect on bog. Water currently seeping off-site towards road base materials will be kept within the peat layer longer.

INVESTIGATION: what are the impacts on the bog of pumping water from two wells in the farm area?



FINDING: pumping water from the sand aquifer for irrigation will not adversely impact the bog's hydrology. However, the pumped water will likely need to be treated prior to being used for irrigation.

INVESTIGATION: what might be the impact of adding a north-south barrier between bog and farming area?



FINDING: no significant adverse effect on bog. Further it is expected that some runoff to the west will be kept within the peat zone longer.

Percentage of Seepage Losses from Peat in Eastern Bog area during March through August

Pathway	Barrier	East	North	South	Vertically
%	0.0	0.6	0.4	0.1	98.6

PRELIMINARY CONCLUSIONS

- The bog depends exclusively on rainwater which is a nutrient poor and acidic source of water. Runoff from roads and farm fields is typically nutrient rich, contains minerals, and is the wrong pH and will adversely impact the bog.
- The vast majority of current seepage losses from the peat layer occur vertically downwards to the sand aquifer.
- Due to the dry summer in 2015 the peat layer dried out entirely by August.
- It should be possible to construct a dike/hydraulic barrier across the site to maintain a relatively high water table to the east, in support of the bog, while allowing the farm fields in the west to be drained to grow food.
- A small amount of water appears to be draining out of the peat layer into road base materials (Alderbridge, Westminster and possibly No 4, Rd) which is having a minor impact on the bog. This can be addressed by constructing hydraulic barriers in association with the perimeter trails to prevent the water from seeping horizontally towards these drains and keeping the water within the peat zone longer.
- Groundwater pumping from the sand aquifer for irrigation does not appear to significantly increase these losses. However, as it is likely that such a supply of water would require treatment. Further analysis is required to test the feasibility of using this water source.

SURVEY RESULTS

At the public open houses held in April, people were asked to consider options for the design of the elements to be constructed during the first phase of development of the Garden City Lands. A survey, available in both paper form and on the City's Let's Talk Richmond site, allowed people to select their preferred design solutions. The results have been compiled and are shown below. They have been used to guide the refinement of the design, as illustrated on the boards presented at this open house.

If you would like to comment on any of the information provided at this open house, please use one of the provided comment sheets or visit:

WWW.LETSTALKRICHMOND.CA.

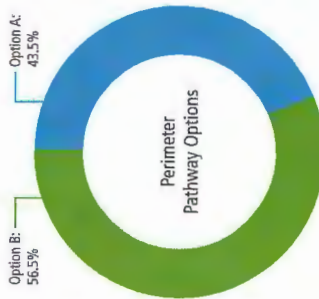
1. Perimeter Pathways

There are two options for perimeter pathways:

Option A: maintains existing bike lanes on streets that currently possess them (Garden City Road and Westminster Highway) and provides a 4-metre wide multi-use trail around the perimeter of the park.

Option B: proposes a dedicated off-street, two-way bike lane and a separate pedestrian pathway. This option results in a segregated pedestrian and cyclist network. However, the added width of these two separate pathways means trail development encroaches further into the park.

- Option A: 43.5% prefer a single multi-use, 4m wide perimeter pathway and a dedicated bike lane as part of the road.
- Option B: 56.5% prefer a dedicated 4m wide off-street bike lane and dedicated 3m wide perimeter pathway.



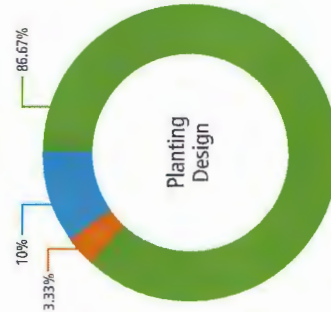
2. Planting Design

A combination of native trees and shrubs are proposed to be planted along the Alderbridge Way and No. 4 Road frontages to enhance the ecological performance of the Lands.

Along the Garden City Road and Westminster Highway frontages, rain gardens that include trees and wetland plants are proposed to replace the existing ditches and capture and treat runoff from these roads. The existing Alderbridge Way and No. 4 Road do not have the curbs and catch basins typically found throughout the City.

Within the park, in open areas and along pathways, fruit bearing trees and pollinator plants are proposed to reinforce the agricultural and habitat values of the Lands.

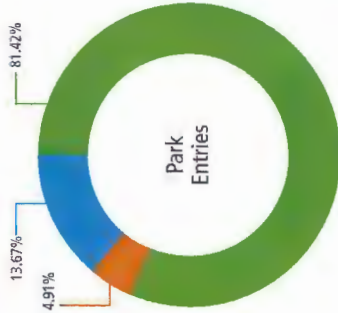
- Yes
- No opinion
- No, I would prefer to see...



3. Park Entries

The four main entries into the park have been kept simple and modest in size and have been designed to maintain the long views across the Lands. The entries could also provide opportunities for information signage and maps of the park, quick access to the park's trails as well as public art. The planning designs associated with the entries are proposed to reflect the environmental and agricultural mission for the Lands.

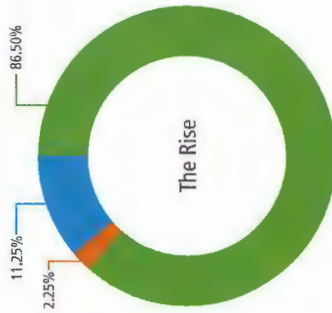
- Yes
- No opinion
- No, I would prefer to see...



4. The Rise

This is the area previously referred to as 'The Mound.' It is where a mix of fill material was placed decades ago and as a result, it is at a higher elevation than the rest of the Lands and provides views across the farm fields and bog. The Rise provides opportunities for informal recreation (e.g. picnicking, ball throwing, kite flying) and children's play. It is proposed to combine native trees, shrubs and wildflowers with orchard trees.

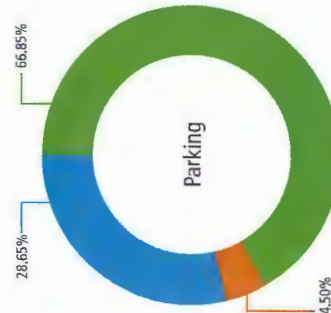
- Yes
- No opinion
- No, I would prefer to see...



5. Parking

The Land's primary parking lot will be developed in concert with the development of the Community Hub and will support farming activities, farm and bog related events, and provide parking for the Lands' visitors. It is expected to be constructed of permeable materials and be modest in size (70-80 stalls) to minimize its impact on the Lands. A smaller parking lot is proposed for mid-point along the Alderbridge Way frontage, and the possibility of adding parallel parking spaces along the west side of No. 4 Road is being explored.

- Yes
- No opinion
- No, I would prefer to see...



Summary of Activities Planned for 2017

JAN-FEB	<ul style="list-style-type: none"> • ALC approves perimeter trail construction • Application to place fill for first phase of KPU farm submitted to ALC • Consultant drawings finalized
MAR-APR	<ul style="list-style-type: none"> • Garden City Lands project web page updated • No. 4 & Alderbridge perimeter trails under construction • KPU farm, soil placement & infrastructure planning • Harvest Festival application to ALC submitted; approval for placement of fill expected
MAY-JUNE	<ul style="list-style-type: none"> • Construct Garden City Rd. perimeter trails • Plan soil placement operation at KPU farm • Commence service connections and utility work
JULY-AUG	<ul style="list-style-type: none"> • Install clay seepage barrier along edge of bog adjacent to dike and Westminster Hwy. • Construct perimeter trail and install storm sewer works along Westminster Hwy. and in the fen • Place soil & commence KPU farm related works
SEPT-OCT	<ul style="list-style-type: none"> • Harvest Festival: September 30th • Complete outstanding construction items & site clean up • Presentation to ALC of future phases • Plan next phase of works for 2018 construction season
NOV-DEC	<ul style="list-style-type: none"> • Community engagement with Garden City Lands stakeholders • Commence tree planting along perimeter trails • Community hub & farm centre facility planning process • Develop signage & wayfinding strategy



Above: Initial stages of perimeter path construction (geotextiles and crushed stone base layer) along No. 4 Road.



Above: Substantially complete portion of bicycle and pedestrian paths along No. 4 Road. Final top layer of fine gravel not yet installed.



Above: Hydroseeding equipment applying native grass seed mixture to exposed soil slopes along farm access road.



Above: Previously exposed soil after hydroseeding application.



City of Richmond

Report to Committee

To: General Purposes Committee

Date: April 4, 2017

From: Mike Redpath
Senior Manager, Parks

File: 06-2345-20-MINO1/Vol
01

Re: Minoru Park Vision and Guiding Principles

Staff Recommendation

1. That the Minoru Park Vision and Guiding Principles as detailed in the staff report titled "Minoru Park Vision and Guiding Principles," dated April 4, 2017, from the Senior Manager, Parks, be adopted.
2. That the Vision and Guiding Principles as described in the staff report titled "Minoru Park Vision and Guiding Principles," dated April 4, 2017, from the Senior Manager, Parks, be used to guide the development of the Minoru Park Vision Plan and that staff bring the Minoru Park Vision Plan to Council for approval at the end of 2017.

for
Mike Redpath
Senior Manager, Parks
(604-247-4942)

Att. 6

REPORT CONCURRENCE		
ROUTED TO:	CONCURRENCE	CONCURRENCE OF GENERAL MANAGER
Arts, Culture & Heritage	<input checked="" type="checkbox"/>	
Recreation Services	<input checked="" type="checkbox"/>	
Community Social Development	<input checked="" type="checkbox"/>	
REVIEWED BY STAFF REPORT / AGENDA REVIEW SUBCOMMITTEE	INITIALS: 	APPROVED BY CAO

Staff Report

Origin

The need to review and reimagine Minoru Park has arisen from recent major changes in and around the park including rapid urban development in the Richmond city centre area and the construction of the Minoru Complex. Minoru Park has evolved incrementally over time as community needs have expanded and as facilities have required upgrades, which has resulted in park fragmentation and a general lack of cohesion and connectivity. The Minoru Park Vision Plan process provides an opportunity to take a holistic approach to planning Minoru Park's future evolution and renewal.

The purpose of this report is to describe the Minoru Park Vision and Guiding Principles, outline the planning and public engagement process to date and recommend next steps for preparing the Minoru Park Vision Plan.

This report supports Council's 2014-2018 Term Goal #2 A Vibrant, Active and Connected City:

Continue the development and implementation of an excellent and accessible system of programs, services, and public spaces that reflect Richmond's demographics, rich heritage, diverse needs, and unique opportunities, and that facilitate active, caring, and connected communities.

2.1. *Strong neighbourhoods.*

2.3. *Outstanding places, programs and services that support active living, wellness and a sense of belonging.*

This report supports Council's 2014-2018 Term Goal #3 A Well-Planned Community:

Adhere to effective planning and growth management practices to maintain and enhance the livability, sustainability and desirability of our City and its neighbourhoods, and to ensure the results match the intentions of our policies and bylaws.

3.2. *A strong emphasis on physical and urban design.*

This report supports Council's 2014-2018 Term Goal #4 Leadership in Sustainability:

Continue advancement of the City's sustainability framework and initiatives to improve the short and long term livability of our City, and that maintain Richmond's position as a leader in sustainable programs, practices and innovations.

4.1. *Continued implementation of the sustainability framework.*

4.2. *Innovative projects and initiatives to advance sustainability.*

This report supports Council's 2014-2018 Term Goal #6 Quality Infrastructure Networks:

Continue diligence towards the development of infrastructure networks that are safe, sustainable, and address the challenges associated with aging systems, population growth, and environmental impact.

6.1. *Safe and sustainable infrastructure.*

6.2. *Infrastructure is reflective of and keeping pace with community need.*

This report supports Council's 2014-2018 Term Goal #9 A Well-Informed Citizenry:

Continue to develop and provide programs and services that ensure the Richmond community is well-informed and engaged on City business and decision making.

9.1. *Understandable, timely, easily accessible public communication.*

9.2. *Effective engagement strategies and tools.*

Analysis

Background

Minoru Park is a well-used and highly valued 65 acre recreational and cultural precinct located in the civic heart of Richmond's City Centre area. It supports multiple functions including active sport use, informal community use, and hosts a wide variety of facilities such as the Richmond Cultural Centre, Richmond Public Library, Richmond Gateway Theatre, Minoru Place Activity Centre (Seniors Centre) and Minoru Arenas. All of the site's varied components provide both local and city-wide services.

There have been a number of significant changes in and around Minoru Park in recent years which have had a significant impact on it. In 2014, the Minoru 2 and Minoru 3 Latrace fields were replaced and relocated and the cricket pitch was upgraded, shifting active sport uses further north into the park. The Minoru Complex which will open within the next year will shift this programming to the west from the east side of the park. The new Kiwanis/Carrera development immediately adjacent to the park also brings a large number of new residents and introduces a "front porch" interface with the park.

These recent major changes have signalled the need for the Minoru Park Vision and Guiding Principles to ensure that future redevelopments in and around the park are cohesive, well-integrated and reflective of Richmond's growing and diversifying community needs.

Planning Context

Minoru Park is designated as a City-wide park and plays a key role in the planning directions of the Official Community Plan and the Parks and Open Space Strategy. The Minoru Park Vision Plan will incorporate the Official Community Plan objectives and policies as well as the Parks and Open Space Strategy focus areas and outcome statements. The seven focus areas and

outcome statements of the Parks and Open Space Strategy are embedded in the Minoru Park Guiding Principles included in this report.

Urban Development Context

Just as Minoru Park has evolved over time, so has the Richmond city centre area and Brighthouse Village neighbourhood around it. From 2011 to 2016, the population in the city centre increased by 25 per cent and has seen the highest density development in Richmond. In the Brighthouse Village neighbourhood there are numerous recently constructed developments and rezoning applications along No. 3 Road, which are within a five minute walking distance of Minoru Park. The completed Kiwanis/Carrera development have added approximately 1,000 residents and other development applications currently underway will add a significant number of high-density residential towers immediately adjacent to Minoru Park. All of these developments illustrate a trend toward a concentration of high-density residential use in close proximity to Minoru Park. Along with increasing density comes a need for park space and services, which will be a key focus of the Minoru Park Vision Plan process.

Issues and Opportunities

As a result of the aforementioned major changes in and around Minoru Park in combination with aging park infrastructure, there are a number of key issues which were identified during site analysis, which include the poor condition of the lakes, a potential imbalance between active sport use, informal community use and disjointed pedestrian circulation. These key issues, as well as others identified during the community engagement process, will be analyzed and addressed as part of the Minoru Park Vision Plan process. The following key themes emerged during the analysis of issues and opportunities and will be examined through this process:

- Nature and green park space;
- Community health and wellness;
- Connectivity and trails;
- Outdoor events;
- Park identity and character; and
- Arts, culture and heritage.

Community Engagement

The Minoru Park Vision Plan process is being led by City of Richmond Parks staff with the assistance of a consultant team, and is organized into two phases with public and stakeholder engagement being conducted throughout. Phase one started in December 2016, with site analysis and background information gathering. The phase one public and stakeholder engagement, which is now complete, was focused on gathering community input on Minoru Park's existing conditions and opportunities for its future renewal.

Stakeholder Workshops

Beginning in February 2017, a series of staff and stakeholder workshops were held in order to gain insight about Minoru Park from the unique perspective of each group, and to identify which

park features and experiences they most value. A large number of community groups and organizations were invited to attend, ranging from Richmond Lawn Bowling to Richmond Centre for Disability (Attachment 1). The workshops were well attended and those participants were generally excited about the process and keen to share their opinions and ideas. Those who were unable to attend were sent questionnaires (Attachment 2) attached to the meeting agenda via e-mail and were informed about the upcoming drop-in style public open houses.

The stakeholder workshops began with an introduction to the Minoru Park Vision Plan process, including its stage in the process, and a slide show “walk through” of Minoru Park, which illustrated the aforementioned key issues and park aspects. Smaller group discussions which were focused on values, concerns and ideas were led by members of the project team. The stakeholder workshops resulted in meaningful discussions and valuable input.

Public Open Houses

Two drop-in style public open houses were held in mid-February 2017. The first open house took place on Thursday, February 16, from 5:00 to 8:00 p.m., at the Minoru Place Activity Centre and the second was held on Saturday, February 18, from 11:00 a.m., to 2:00 p.m., at Richmond City Hall. The public open houses were advertised in the Richmond News and Ming Pao Newspaper, and on social media, signs posted throughout Minoru Park and posters placed in City Centre Community Centre. Approximately 50 to 80 people attended each open house, and those in attendance were generally pleased with the process and chance to participate in shaping the future of this keystone park.

There were several ways for people to learn about the Minoru Park Vision Plan process, Minoru Park’s background and existing conditions and to share their ideas for its future evolution. Several information boards covering topics ranging from Minoru Park’s history through to existing circulation (Attachment 3) were on display and City park planners were available to answer questions. People were invited to provide input by writing comments on sticky notes and placing them on the information boards, writing postcards to the future about what they see in Minoru Park in the year 2040, drawing ideas about Minoru Park at a crafting station, participating in a “can you find it” treasure hunt of Minoru Park for kids testing their knowledge of the park and completing a survey (Attachment 4).

LetsTalkRichmond

The open houses were supplemented by a webpage on LetsTalkRichmond, the City’s online platform. Digital versions of the open house boards and an online survey were posted from Thursday, February 16, 2017, until Sunday, March 5, 2017. The LetsTalkRichmond page was promoted on social media including Facebook and Twitter.

A total of 186 surveys were completed, and meaningful insight into the community’s opinions about Minoru Park’s existing conditions and potential for its future renewal was gained (Attachment 5).

Community Engagement Results

The input received via the stakeholder workshops, open houses and LetsTalkRichmond were compiled and synthesized into key findings (Attachment 5). Below are responses that were received to a sampling of questions that were asked throughout the engagement process, as well as the importance that the community placed on key aspects of Minoru Park.

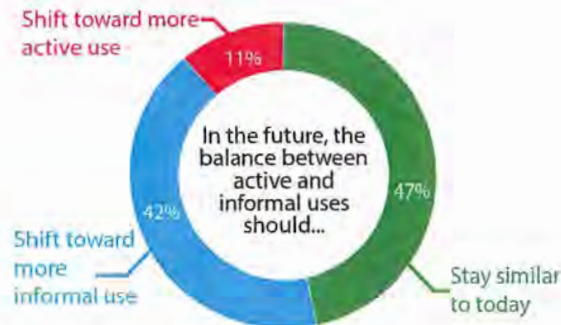
A broad range of generally positive comments were received when people were asked what they thought about Minoru Park today, including:

"Minoru Park is a beautiful park in the middle of the city. It has lakes, nature, places for activities and for families to get together. Let us preserve it and improve on it."

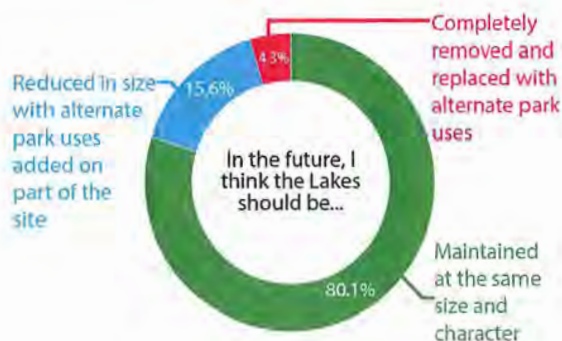
"I'm a young college student who plans to get married and raise a family in Richmond. I hope to bring my own children to this place in the near future."

"Great opportunities to create an urban city center park that embraces heritage, nature, and draws on the urban/built parts of the city."

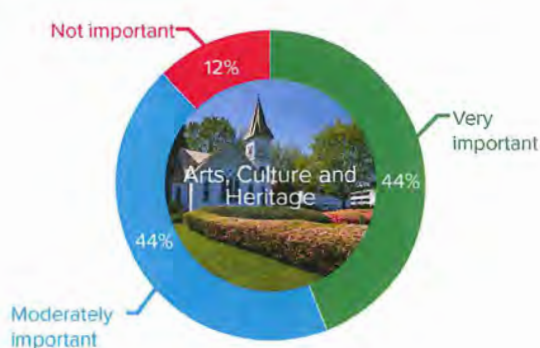
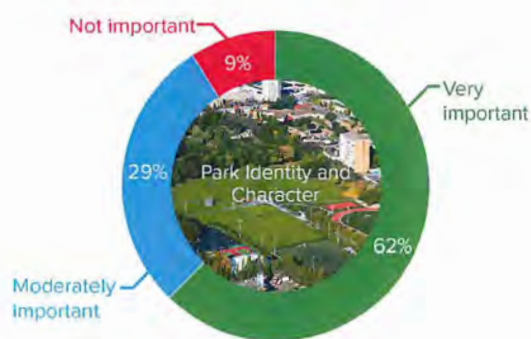
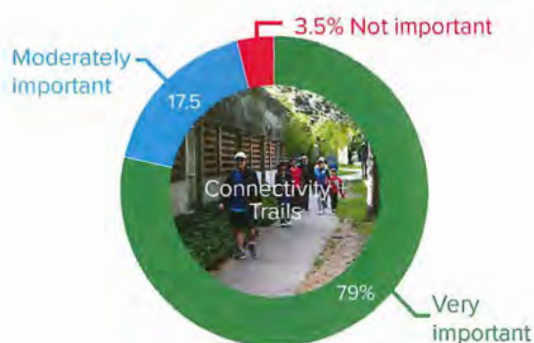
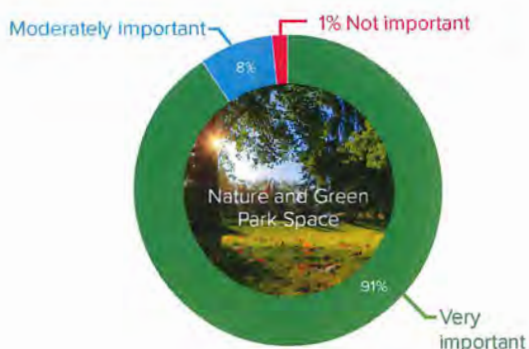
When asked what the balance should be between active and informal uses at Minoru Park in the future, 47 per cent preferred to see the balance stay similar to what it is today, closely followed by 42 per cent who preferred to see more of a shift towards informal use.



When asked how the Minoru Park lakes should be renewed in the future, the vast majority favored keeping the lakes similar to how they are today.



When asked to rank the importance of key aspects of Minoru Park, 91 per cent placed the highest value on nature and park green space, 82 per cent placed the highest value on community health and wellness, and 79 per cent placed the highest value on connectivity and trails.



Minoru Park Vision and Guiding Principles

The Minoru Park Vision and Guiding Principles (Attachment 6) were generated based on the results of site analysis and the community engagement process. They build on Minoru Park's existing strengths and valued aspects while they simultaneously look forward to envision what the park might become in response to Richmond's rapidly growing and diversifying population and community needs. The Minoru Park Vision and Guiding Principles are aspirational and future-oriented and will function as touchstones when decisions need to be made about renewal and redevelopment in and around the park.

Minoru Park Vision

Minoru Park is a dynamic City-wide park located in the civic core of Richmond's city centre area. It reflects the rich diversity of Richmond's community through its wide variety of premier recreational, arts, culture and heritage facilities and programming. Minoru Park will play an increasingly central role in the lives of Richmond residents, and in particular, residents of the Brighthouse Village neighbourhood as high density residential developments continue to grow and be concentrated in this area.

Minoru Park will be a great place for people, alive with programming. It will be a place that people love to be in; where they can play, meet friends and neighbours and enjoy participating in community life. It will be a place with a diverse mix of activity; where a wide variety of places and destinations are interconnected. It will be distinct because of the exciting diversity of social, recreational, and cultural programming while simultaneously being known as a place to find beauty, peace and tranquility. The transformation of Minoru Park will include renewal of the parks aspects that people love and value; it will be a collaborative process to reimagine the role that the park plays in the city centre and within the whole parks and open space system.

Minoru Park Guiding Principles

Minoru Park will be:

An Urban Gateway to Nature

Guiding Principles

Minoru Park will be a place where:

- People have the opportunity to connect with nature.
- Richmond's ecological heritage and natural processes are made visible and celebrated.
- The site's existing natural features such as the lakes and canals are enhanced and showcased.
- Richmond's Ecological Network Strategy is applied and brought to life.

Design and Programming Priorities

- Include a range of green spaces that support physical, social and spiritual renewal.
- Protect the site's heritage and significant trees.
- Develop a tree renewal plan and ensure that the park continues to have a mature tree canopy.
- Celebrate native plants and environmental best practices.
- Maximize the park's green edges.
- Reconstruct the lakes and canal and seek opportunities for them to provide ecological functions.
- Maximize the park's positive contribution to Richmond's overall ecological health, adaptability and resilience through carbon sequestering, habitat creation and storm water capture.
- Develop resource management strategies for maintenance and operations.

Minoru Park will be: Welcoming and Inclusive

Guiding Principles

Minoru Park will be a place where:

- People can gather, play, pursue active living and feel connected to their community.
- People can just be.
- Exciting and diverse year-round programming is promoted.
- People of all ages and abilities are welcomed and feel comfortable.
- A general sense of “please walk on the grass” is invoked and people feel invited to use all areas.
- Multi-cultural and multi-generational interaction is facilitated and encouraged.

Design and Programming Priorities

- Establish more informal, “no-matter-the-weather” gathering and seating areas for socialization.
- Employ age-friendly design practices such as rest stops at regular intervals along pathways and benches with backs and arm rests.
- Create a destination playground that offers a range of play opportunities.
- Support programs and opportunities for “pick-up” recreation.
- As redevelopment occurs at the park’s edges, seek opportunities to improve interfaces and linkages particularly to Minoru Boulevard and Westminster Highway.
- Dedicate space for outdoor programming with appropriate infrastructure.
- Make the cricket pitch more multi-functional and allow alternative uses outside of cricket season.
- Explore the potential for locating affordable housing in Minoru Park.

Minoru Park will be: Enriched with Arts, Culture and Heritage

Guiding Principles

Minoru Park will be:

- A memorable, unique place in the city where history and culture are celebrated.
- A place where lively arts and cultural programming is supported and promoted in the park, engaging and inspiring people.
- A place where memories are shared and stories are told.

Design and Programming Priorities

- Celebrate the history of the site and features such as its former use as a race horse track and develop an interpretation strategy.
- Develop a public art program that celebrates and strengthens the park’s identity and character.
- Support Richmond Cultural Centre events and programs through creation of highly functional, flexible outdoor spaces (e.g. a covered plaza that can accommodate outdoor classes and performances).

Design and Programming Priorities

- Link together arts, culture and heritage facilities and explore the potential to create themed walking routes (e.g. Minoru Park Art Walk, Minoru Memories and Heritage Stroll).
- Enliven the park with seasonal/annual artistic display garden installations.
- Make Minoru Park the storytelling place in the city.

Minoru Park will be: Alive with Sports and Events

Guiding Principles

Minoru Park will be a place where:

- Major sports and community-based events add to the vibrancy of the park and city centre.
- People of all abilities are supported and motivated to get outside and move.
- Activities and events make people want to participate and linger.
- Athletes are inspired to achieve their personal best.

Design and Programming Priorities

- Retain and protect the existing premier sports facilities as a destination sports complex.
- Add appropriately scaled event infrastructure in key locations (e.g. electrical kiosks, water hook-ups and multi-purpose, all-season surfaces)
- Retain and improve the track to serve daily, casual use as well as major track and field events.

Minoru Park will be: Integrated and Connected

Guiding Principles

Minoru Park will be a place that:

- Will be a signature park in Richmond's city centre that is distinctive from, yet complementary to, other parks within the system.
- Is easy to access by all modes of transportation.
- People can navigate safely, comfortably and intuitively.

Design and Programming Priorities

- Strengthen pedestrian connections to the park from the city centre and adjacent neighbourhoods.
- Promote programming that compliments other nearby parks.
- Physically link parks within the city centre towards an integrated green and recreation network.
- Develop a clear hierarchy of pathways that prioritize pedestrian safety particularly through parking areas around the park perimeter.
- Create walking loops with distance markers.
- Provide interesting and functional linkages between park facilities and features.
- Establish protocols for cyclists including designated bike paths while also prescribing pedestrian-only routes.

Design and Programming Priorities

- Improve the interface and connections with Richmond Hospital.
- Develop a comprehensive wayfinding system that clearly identifies entry points and circulation routes (e.g. arrival features, orientation maps and directional signage).
- Employ consistent site furnishings and paving materials that are reflective of the park's context, character, features and high usage.
- Improve the profile of the park around its perimeter and improve the visibility of park entry points, especially along Westminster Highway.
- Encourage stakeholders and community groups to connect with each other and collaborate in order to activate the park.

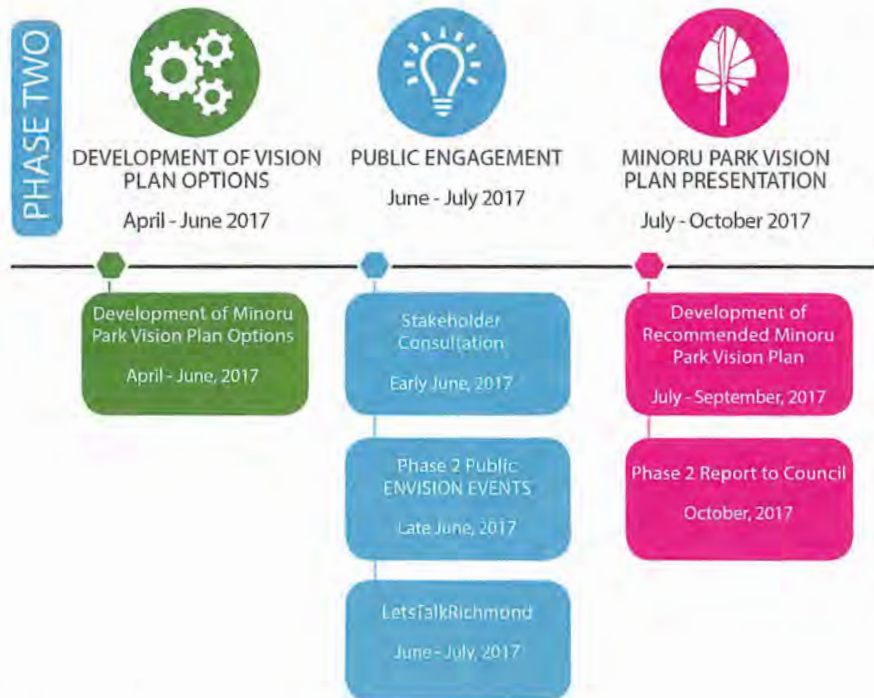
Next Steps

Once the Minoru Park Vision and Guiding Principles are adopted by Council, the Minoru Park Vision Plan options will be developed by the consultant team under the guidance of City of Richmond Parks staff. The Minoru Park Vision Plan options will then be presented to stakeholder groups and the general public via workshops and drop-in style open houses for feedback. A preferred Minoru Park Vision Plan will then be generated and presented to Council for adoption at the end of 2017.

Below is a brief overview of the first phase of the Minoru Park Vision Plan process and staff's current stage in the timeline:



Below is a brief overview of the second phase of the Minoru Park Vision Plan process, which will begin once the Minoru Park Vision and Guiding Principles are adopted by Council:



Financial Impact

None

Conclusion

The Minoru Vision Plan process provides an opportunity to take a holistic approach to planning Minoru Park's future evolution and renewal. Once the Minoru Park Vision and Guiding Principles are adopted by Council, they will be used to guide the development of the Minoru Park Vision Plan which will be presented to Council for approval at the end of 2017.

Miriam Plishka, BCSLA, CSLA
Park Planner
(604-233-3310)

- Att. 1: Minoru Park Vision Plan Stakeholders
- 2: Stakeholder Workshop Agenda and Questionnaire
 - 3: Public Open House Boards
 - 4: Open House Survey
 - 5: Summary of Community Engagement Results
 - 6: Minoru Park Vision and Guiding Principles



**City of
Richmond**

Minoru Park Vision Plan 2017
List of Stakeholders
Parks Planning, Design and Construction

*Note: the contact information for the stakeholders was removed from the list to respect their privacy

Title	Name
Outdoor Sports	
Staff Liaison: Gregg Wheeler	
Richmond Lawn Bowling President	Kion Wong
Richmond Cricket Club President	Channa Karunaratne
Richmond Tennis Club	Tanya Donaldson
Richmond Kajaks Track and Field Club	Karen Fisher-Hagel
Richmond Sports Council Chair	Jim Lamond
Richmond Field Lacrosse	Glen Jensen
Richmond Field Hockey	Kathleen Wong
Youth Soccer - Girls	Mandhir Punia
Youth Soccer - Boys	Rein Weber
Adult Soccer	Steve Valenzuela (RASA)
Chinese Soccer / 'Soccer Link'	Frankie Lam
Richmond City Baseball	John Braaten
Richmond Senior Soccer	Steve Alenzuela
School District No. 38	Jonathan Acob
Richmond Minor Football League	Ravi Parmar
Men's Baseball	Cory Carpenter
Indoor Sports	
Staff Liaison: John Woolgar	
Aquatic Services Board Chair	Ian McLeod
Richmond Arenas Community Association Chair (public member)	Frank Claassen

Mobility and Wellness	
Staff Liaison: Heather Muter / Melanie Burner	
Richmond Kinsmen Adult Day Centre Executive Director	Joan Garrity
Richmond Kiwanis President	Teri Buxton
Minoru Seniors Society President	Kathleen Holmes
Richmond Centre for Disability Executive Director	Ella Huang
Richmond Centre for Disability Board Member	Tom Parker
Richmond Centre for Disability Board Member	George Pope
Richmond Fitness and Wellness Association Co-Chairs	Anne Dauphine and Ilario Galano
Rick Hansen Foundation Inclusive Design Specialist	Stan Leyenhorst
Richmond Museum Society Promotion Committee	John Roston
Walk Richmond	Sharon Meredith
Garden City Coalition	Sharon McGregan
Arts and Culture	
Staff Liaison: Allan Hill / Liesl Jauk / Connie Baxter	
Richmond Intercultural Advisory Committee	Joan Page
Richmond Chinese Community Society	Henry Beh
SUCCESS	Francis Li
Richmond Arts Coalition	Linda Barnes
Richmond Multicultural Community Services	Parm Grewal, Executive Director
Immigrant Services Society	Katie Graham + Francis Li
Richmond Family Place	Maria Robinson, Chair
Richmond Public Library Board	Susan Koch, Chair
Richmond Gateway Theatre Society	Robin White
Cinevolution Media Arts Society	Contacted via general e-mail
Richmond Museum Society	Greg Walker

MINORU PARK VISION PLAN STAKEHOLDER INPUT MEETING



MEETING DETAILS

MEETING:	Mobility + Wellness
DATE / TIME:	Tuesday, February 7, 2017 5:00 pm to 7:00 pm
LOCATION:	City Hall, Room M1003
INVITED GROUPS:	Richmond Kinsmen Adult Day Centre, Richmond Kiwanis, Minoru Seniors Society, Richmond Centre for Disability, Richmond Fitness and Wellness Association, Rick Hansen Foundation, Richmond Museum Society, Walk Richmond, Garden City Coalition

PURPOSE

We are currently in Phase 1 of the Minoru Park Vision Plan process which focuses on gathering information about issues, opportunities, and ideas for the park. Initial stakeholder interviews are being completed at this stage to gather detailed knowledge and first-hand experiences of the park. This information will be used to inform Guiding Principles which will be presented to Council for approval. Once approved, the Guiding Principles will form the basis for concept plan options which will be presented for feedback in the summer of 2017.

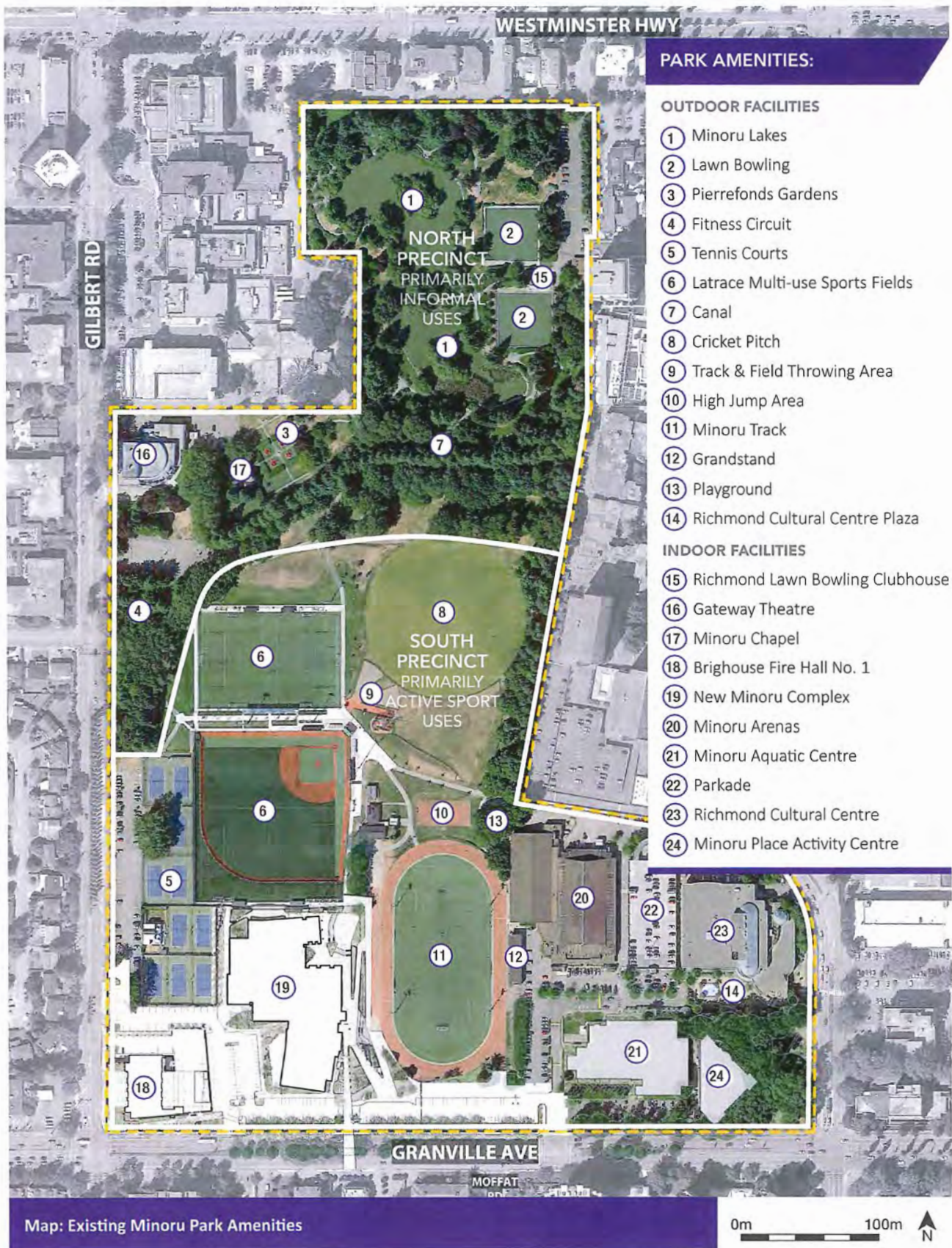
MEETING OBJECTIVES

- » Introduce the Minoru Park Vision Plan process
- » Provide background about the park
- » Discuss the future role of Minoru Park in the Richmond community
- » Facilitate an interactive discussion to identify values, concerns, and ideas for the park's future
- » Discuss key aspects being explored in the Vision Plan process

AGENDA

#	Agenda Item	Approx. Time
1	Welcome & Introductions	5 min.
2	Project Introduction & Background	20 min.
3	Group Discussions: <ul style="list-style-type: none"> » Section 1: Values, Concerns & Ideas » Section 2: Arrival, Circulation & Experience » Section 3: Park Aspects 	90 min.
4	Wrap-up & Next Steps	5 min.

THANK YOU FOR MEETING WITH US!



DISCUSSION QUESTIONS



The following discussion questions are provided for review and consideration prior to the meeting. Please come prepared to share your opinions and ideas. Before or during the meeting, please record your responses in the spaces provided. We will collect the discussion question pages at the end of the meeting. If you need more space for your comments, please use a blank sheet and include it with your response.

SECTION 1: VALUES, CONCERNS, & IDEAS

1. What aspects of Minoru Park do you value and think should be maintained?

2. What areas or aspects of Minoru Park do you think should be improved and how?

3. How do you use Minoru Park today?

4. Help envision the future of Minoru Park by completing the following sentence:

When I enVISION Minoru Park in 2040, I see...

5. Identify a park or place that you love and that inspires you.

What do you love about that place and how does it inspire you? Are there aspects of it that could be incorporated into Minoru Park?

6. Built in the 1970s, the lakes area was designed as a beautiful oasis for the community. Over time, erosion, mechanical failures, wildlife, and age have contributed to deterioration of the lake infrastructure and water quality. The lakes are now nearing a point where renewal is required. This Vision Plan process provides an opportunity to re-envision the future for this space. Do you think the lakes should be:

- ☐ Replaced/upgraded to continue to provide a similar function to the existing lakes?
- ☐ Modified/replaced to enhance environmental functions (e.g., stormwater retention)?
- ☐ Reduced in size with alternate park uses on part of the site?
- ☐ Completely removed and replaced with alternate park uses?

7. If the area dedicated to the lakes is reduced or eliminated, what other uses should be considered for this area of Minoru Park?

continued on next page...

SECTION 2: ARRIVAL, CIRCULATION, & EXPERIENCE

8. When you visit Minoru Park, how and where do you arrive?

What do you see or experience as you're arriving?

9. If you were visiting Minoru Park for your first time, what would be your impression of the park from the perimeter?

10. What is your experience of circulation moving through Minoru Park?

11. What do you think the primary issues are for pedestrian and cyclist circulation and wayfinding in or around the park?

What could be done to improve circulation and wayfinding?

OTHER COMMENTS ABOUT MINORU PARK?

SECTION 3: PARK ASPECTS

12. Please think about each of the following aspects of Minoru Park. Identify how important you think each aspect is for the future and how well Minoru Park is currently providing it. Please identify suggestions you have for improving each aspect.

Community Health and Wellness

Both open-ended informal uses and active sports uses support community health and wellness. The Vision Plan will consider how to improve opportunities for community health and wellness in Minoru Park.

How important is this aspect of Minoru Park?

☐

Very Important

☐

Moderately
Important

☐

Not Important

Do you have ideas for enhancing Community Health and Wellness opportunities in Minoru Park?

Connectivity

The northern and southern precincts of Minoru Park are physically divided by the canal and can feel like two separate parks. The Vision Plan will consider ways to better unify the park and improve connectivity throughout.

How important is this aspect of Minoru Park?

☐

Very Important

☐

Moderately
Important

☐

Not Important

Do you have ideas for enhancing Connectivity in Minoru Park?

Nature and Green Park Space

Minoru Park includes mature tree stands, gardens, lakes, and informal green spaces. Opportunities may exist to improve these spaces to provide enhanced environmental, social, and recreational benefits for residents.

How important is this aspect of Minoru Park?

☐

Very Important

☐

Moderately
Important

☐

Not Important

Do you have ideas for enhancing Nature and Green Park Space in Minoru Park?

Outdoor Programming

Minoru Park is home to a wide range of events and activities – from large community events to small informal gatherings. The Vision Plan will consider how the park can continue to support and enhance outdoor programming.

How important is this aspect of Minoru Park?

☐

Very Important

☐

Moderately
Important

☐

Not Important

Do you have ideas for enhancing Outdoor Programming in Minoru Park?

Identity and Wayfinding

Minoru Park has evolved over the years and is source of community pride. The Vision Plan will consider how to enhance and unify the park's identity and wayfinding.

How important is this aspect of Minoru Park?

☐

Very Important

☐

Moderately
Important

☐

Not Important

Do you have ideas for enhancing Identity and Wayfinding in Minoru Park?

UPCOMING PUBLIC EVENTS



The first two public **enVISION EVENTS** will be held this February to gather ideas and input from members of the community. Please join us and encourage your friends, neighbours, and colleagues to participate.

THURSDAY, FEBRUARY 16

Drop-in 5:00 pm to 8:00 pm
Minoru Place Activity Centre
7600 Minoru Gate

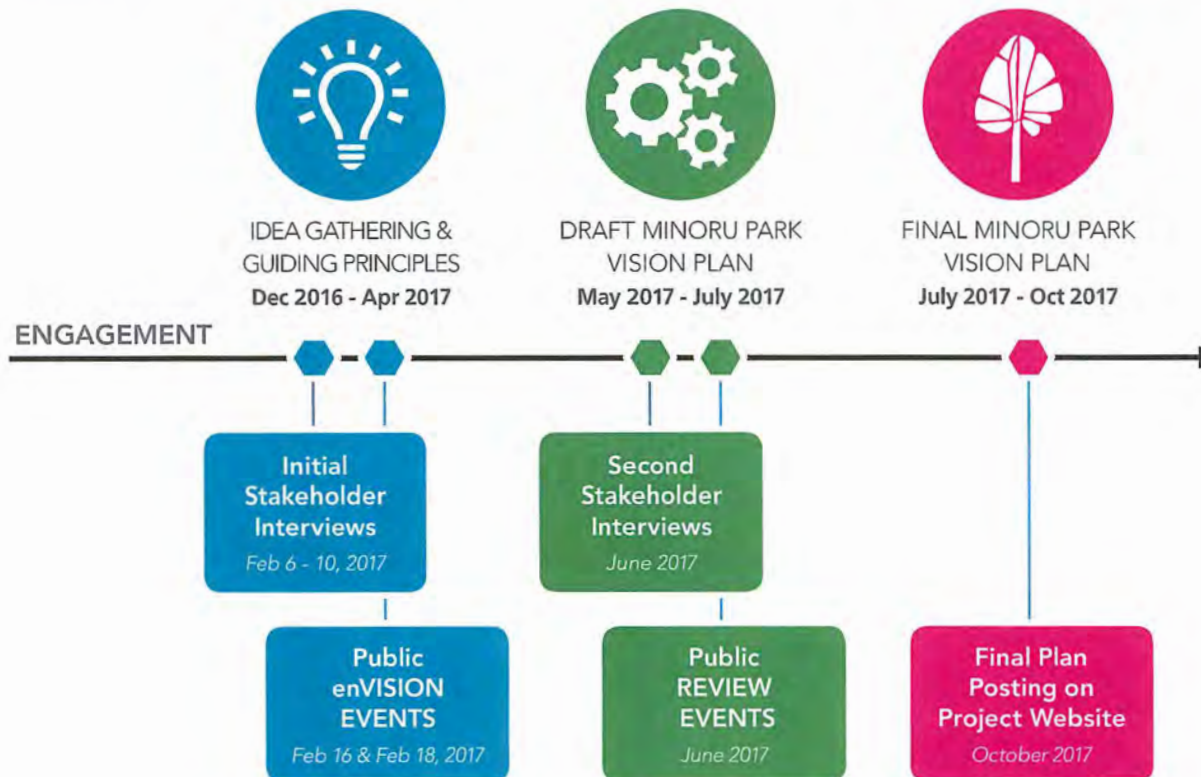
SATURDAY, FEBRUARY 18

Drop-in 11:00 am to 2:00 pm
City Hall Atrium
6911 No. 3 Road

A public questionnaire will be posted on letstalkrichmond.ca starting Thursday, February 16.

PROJECT SCHEDULE

We encourage your continued involvement as the Vision Plan is developed. The following schedule outlines key activities.



QUESTIONS?

Starting Feb. 16, 2017 visit www.envisionminoru.com and www.letstalkrichmond.ca for details

Project Manager: Miriam Plishka, Parks Planner | Community Services

Email: MPlishka@richmond.ca **Tel:** 604.233.3310

WELCOME!



The planning process for the future renewal of Minoru Park has started and we want to hear from you!



WHY ARE WE HERE TODAY?

The City of Richmond Parks Department is continually working to improve the quality of parks and user experiences throughout the city. Due to significant recent changes in Minoru Park, such as the new multi-use sports fields and Minoru Complex facility, along with the rapidly increasing residential population in the near vicinity, City Parks staff are working towards the development of a Vision Plan and Guiding Principles for the future renewal of Minoru Park. These open houses mark the first step in a phased stakeholder and public consultation process and are intended to gather community input that will be used to develop Guiding Principles for Council approval.



GOALS OF THE PROJECT

- » Receive community and stakeholder input on Minoru Park's existing conditions and ideas about its potential future
- » Develop a Minoru Park Vision Plan and Guiding Principles, which reflect the needs of current and potential future park users
- » Establish short, medium, and long-term objectives and identify priorities
- » Ensure Minoru Park remains a healthy and loved City Centre Area park for current and future generations



HOW TO SHARE YOUR IDEAS

Please help us enVISION a future for Minoru Park by participating in Phase I of the process. Your input will be used to help develop Guiding Principles and draft concept plan options for the future renewal of Minoru Park.



Add Your Ideas to the Posters

Review the information here today and add your thoughts to one of the interactive display posters.



Complete an Input Survey

Fill in a paper survey today or online at **Let's Talk Richmond** (www.letstalkrichmond.ca) by Sunday, March 5th at 11:59 pm.



Talk with Us!

City of Richmond staff and project team members are here today to answer questions and listen to your ideas. Come and say hello!

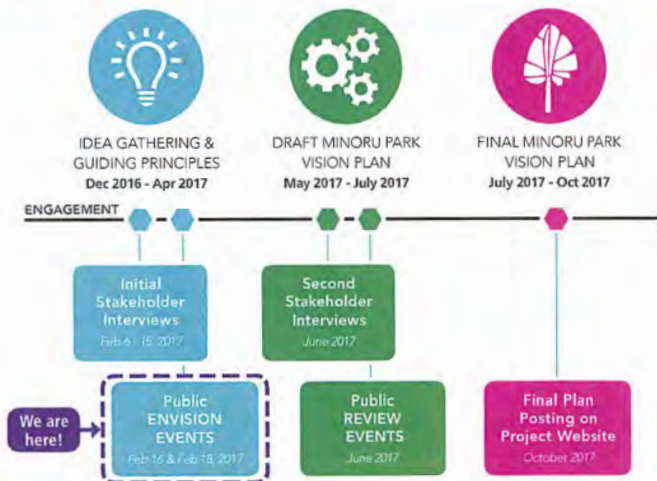


Questions or comments?

Continue to visit www.LetsTalkRichmond.ca and www.envisionminoru.com for up-to-date information. If you have any further questions, contact the Parks Department at 604-244-1208



PROCESS



Visit envisionminoru.com or letstalkrichmond.ca for more details



MINORU PARK HISTORY

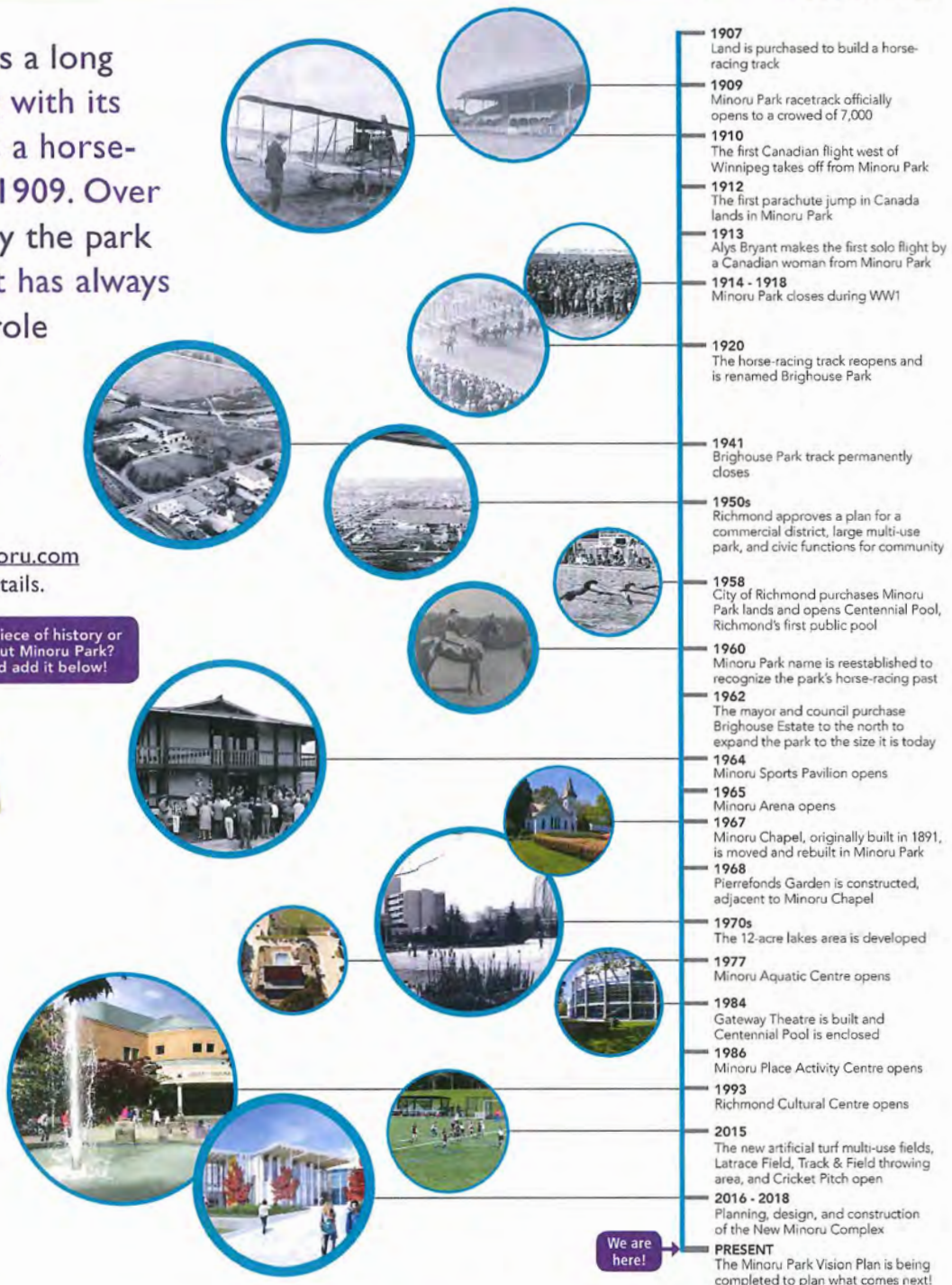


Minoru Park has a long history, starting with its development as a horse-racing track in 1909. Over the past century the park has evolved, but has always maintained its role as a place for social activity and community enjoyment.

Visit www.envisionminoru.com for more historical details.

Do you know an interesting piece of history or have a memory to share about Minoru Park? Write it on a sticky note and add it below!

Please Add Your Memory of Minoru Park!



Minoru Lakes, c. 1980s

PARK CONTEXT

Minoru Park is part of the City Centre Area's open space network. Planning for Minoru will consider how the park complements this overall network.



MAP LEGEND

- MINORU PARK
- OTHER RICHMOND PARKS
- CITY CENTRE AREA BOUNDARY
- CANADA LINE SKYTRAIN
- CANADA LINE SKYTRAIN STATION

Minoru Park is located in Richmond's City Centre Area, an important mixed residential and commercial neighbourhood

10

The number of Signature Parks in Richmond, including Minoru Park. Signature parks are those that offer spectacular and unique park experiences

13

The number of City Parks in the Richmond City Centre area. The recently updated Garden City Community Park is 4 km away and it will be important for the Minoru Park Vision Plan to complement other area parks

65

The size of Minoru Park. At 65 acres it is one of Richmond's largest parks

+25%



Population in the City Centre Area grew by 25% from 2006-2011, making it Richmond's fastest growing area



Would you like to learn more about the framework for Richmond Parks? View the 2022 Parks & Open Space Strategy available at www.richmond.ca/parks



There are many new developments that have been recently completed or are underway, particularly east of Minoru Park. These changes are providing opportunities to improve connectivity to the park

Most residents in the City Centre Area live in apartments making access to green space very important



The City Centre Area is Richmond's most culturally-diverse neighbourhood signifying that a range of culturally-based activities should be considered at Minoru Park

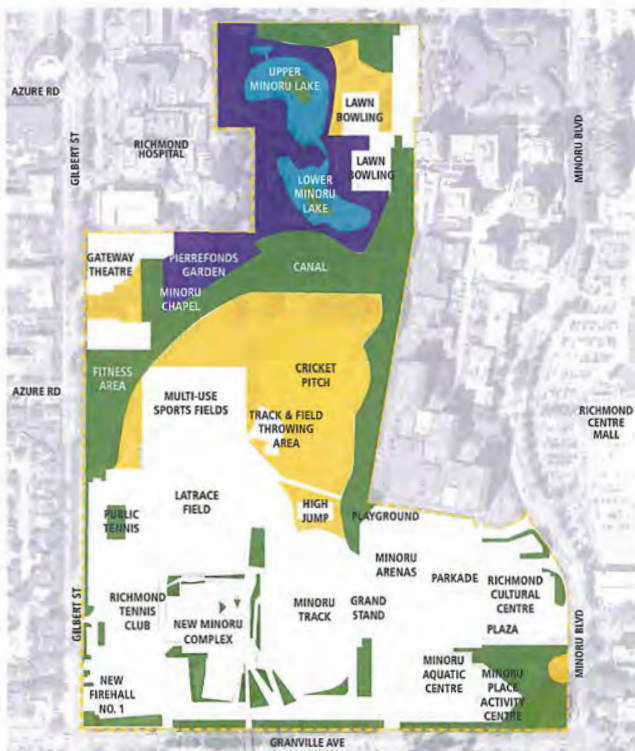
Minoru Park is at the heart Richmond's civic precinct – the hospital, Richmond Secondary School, City Hall, Fire Hall, and numerous recreational facilities are located in and surrounding the park



VEGETATION & PRECINCTS

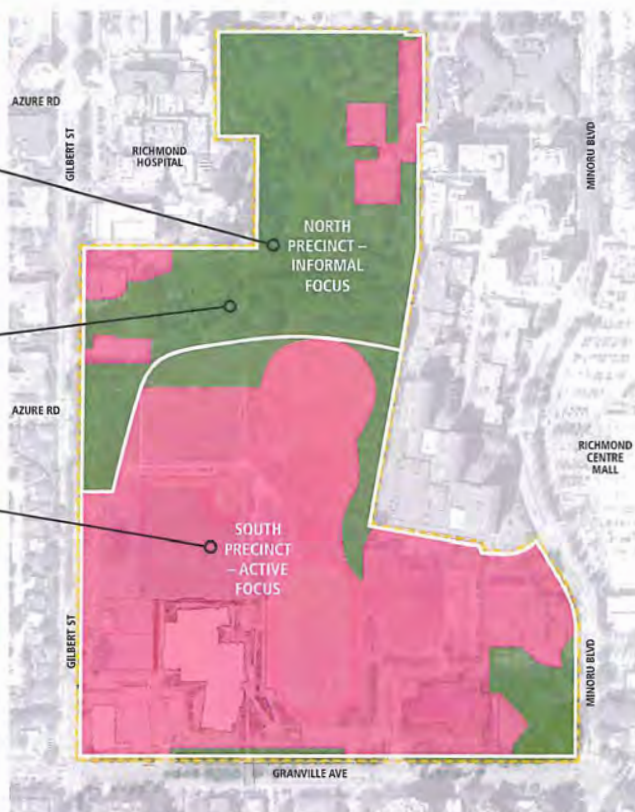
VEGETATION & ENVIRONMENT

- » Minoru Park has been cultivated over the years, including clearing for agriculture in the 1800s and establishment of a horse-racing track on the site at the start of the 1900s
- » Today, the park has vegetation that has matured over the past century and provides green space valued by park users. There are a number of significant trees throughout the park, including mature heritage trees that line the former race track boundary
- » Many of the mature trees are of similar age and it becoming increasingly important to consider their renewal
- » The Minoru Lakes were constructed in the 1970s and are clay-lined shallow ponds between 0.15 m to 1.5 m deep. After 40 years, the lakes have begun to deteriorate; the edges of the liner have failed, infill is occurring, and the water quality is very poor. It is becoming more costly and more challenging to maintain the lakes in their current state and future planning for this area is needed
- » The existing canal in the centre of the park plays a role in collecting and managing stormwater, but is known to have functional and aesthetic challenges

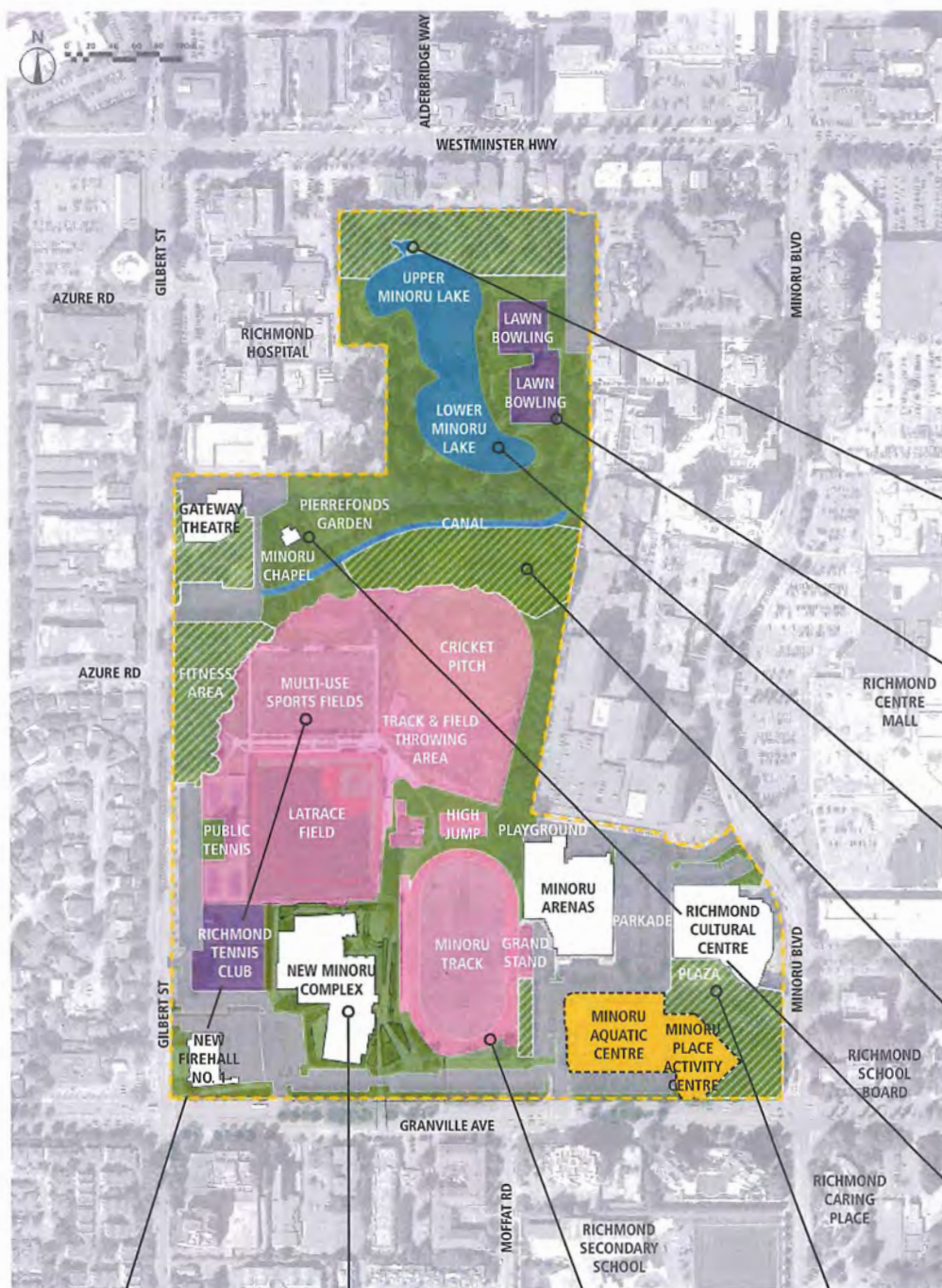


ACTIVE & INFORMAL SPACES

- » One of the most appealing features of Minoru Park is the variety of activities that draw people of all ages and interests
- » Today, active uses, including facilities, sports fields, and parking occupy approximately 67% or two-thirds of Minoru Park. The remaining 33% focuses on passive spaces including gardens, trees, lakes, trails, and open space
- » Minoru Park has two distinct character precincts, divided east-west:
 - » **North Precinct – Informal Focus:** Naturalized landscapes, horticultural gardens, and lakes are interconnected with weaving pathways and sitting areas, where visitors come to relax, picnic, stroll, and watch wildlife.
 - » **South Precinct – Active Focus:** The south precinct is home to indoor skating, swimming, and activity facilities, the 400 m track, courts and sports fields, centres for culture and art, a playground, as well as parking and utilities.



EXISTING CONDITIONS

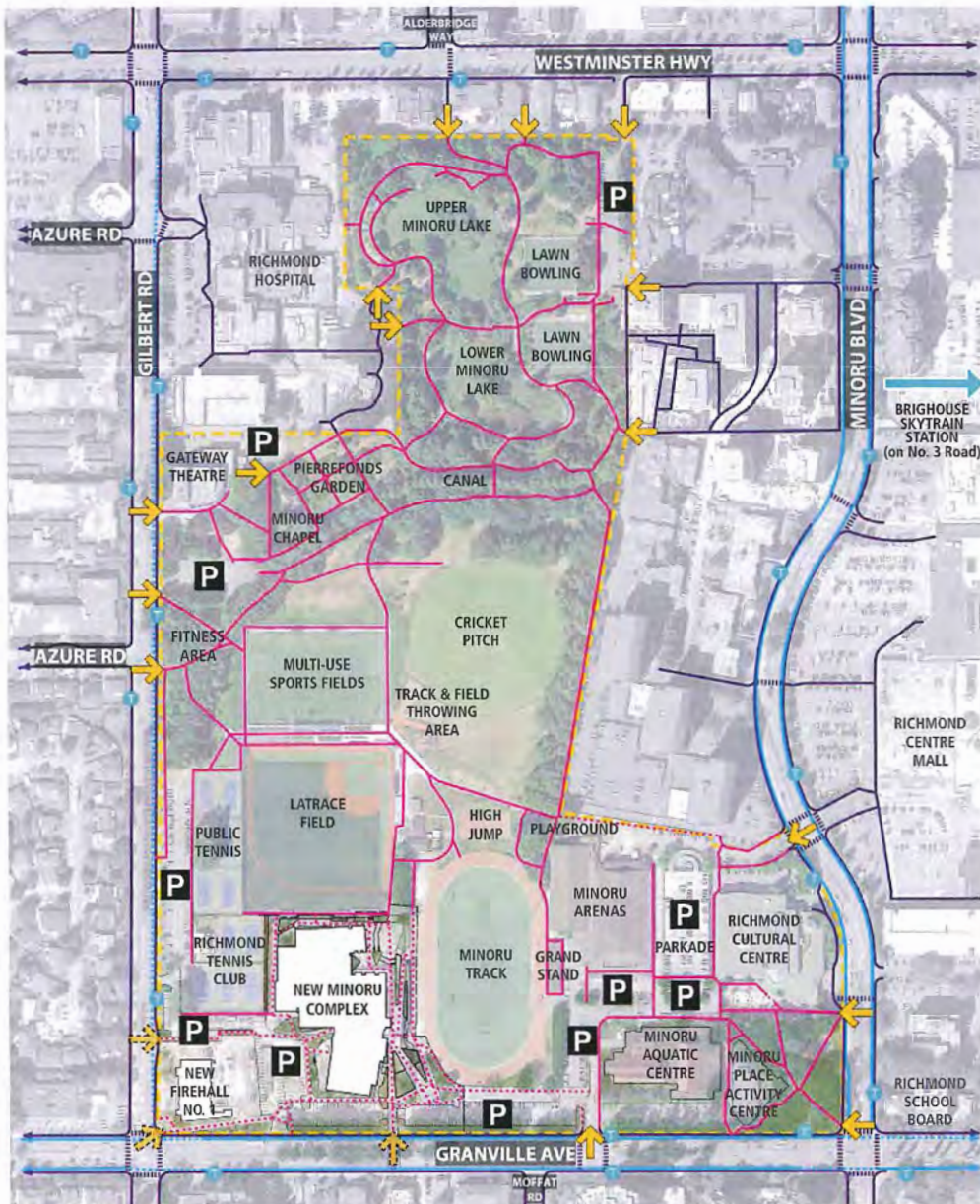


MAP LEGEND

- MINORU PARK
- ACTIVE OUTDOOR SPORTS USES (recent upgrades / good condition)
- OPEN / INFORMAL PARK SPACE
- LAKES / CANAL
- INDOOR FACILITIES (to remain)
- INDOOR FACILITIES (future use to be determined – outside Vision Plan process)
- SPORT CLUB USE
- PARKING
- POTENTIALLY UNDERUTILIZED PARK AREAS



EXISTING CIRCULATION



MAP LEGEND	
	PARK BOUNDARY
	PUBLIC TRANSIT STOP
	PARKING LOT
	PARK ENTRANCE
	PARK ENTRANCE (future/improved)
PEDESTRIAN CIRCULATION	
	EXTERNAL
	INTERNAL
	INTERNAL (future)
	CROSSWALK
	CROSSWALK (future/improved)
BICYCLE CIRCULATION	
	LANE
	SHARED LANE MARKINGS

COMMENTS

Tell us the experiences you have had arriving at and traveling through Minoru Park on a sticky note and add it to the map or below.

Please Add Your Comment about Circulation!



- » Existing trails are typically narrow widths (1.5 m to 2 m) with asphalt surfacing
- » New trails around the updated sports fields and New Minoru Complex are wider and oriented towards multi-use
- » Analysis shows missing links in the network, notably east-west connections across the park and places where perimeter surface parking interrupts pedestrian, cyclist, and roller movements into the park
- » Transit stops exist on all the major roads surrounding the park
- » Wayfinding and trail markers are limited

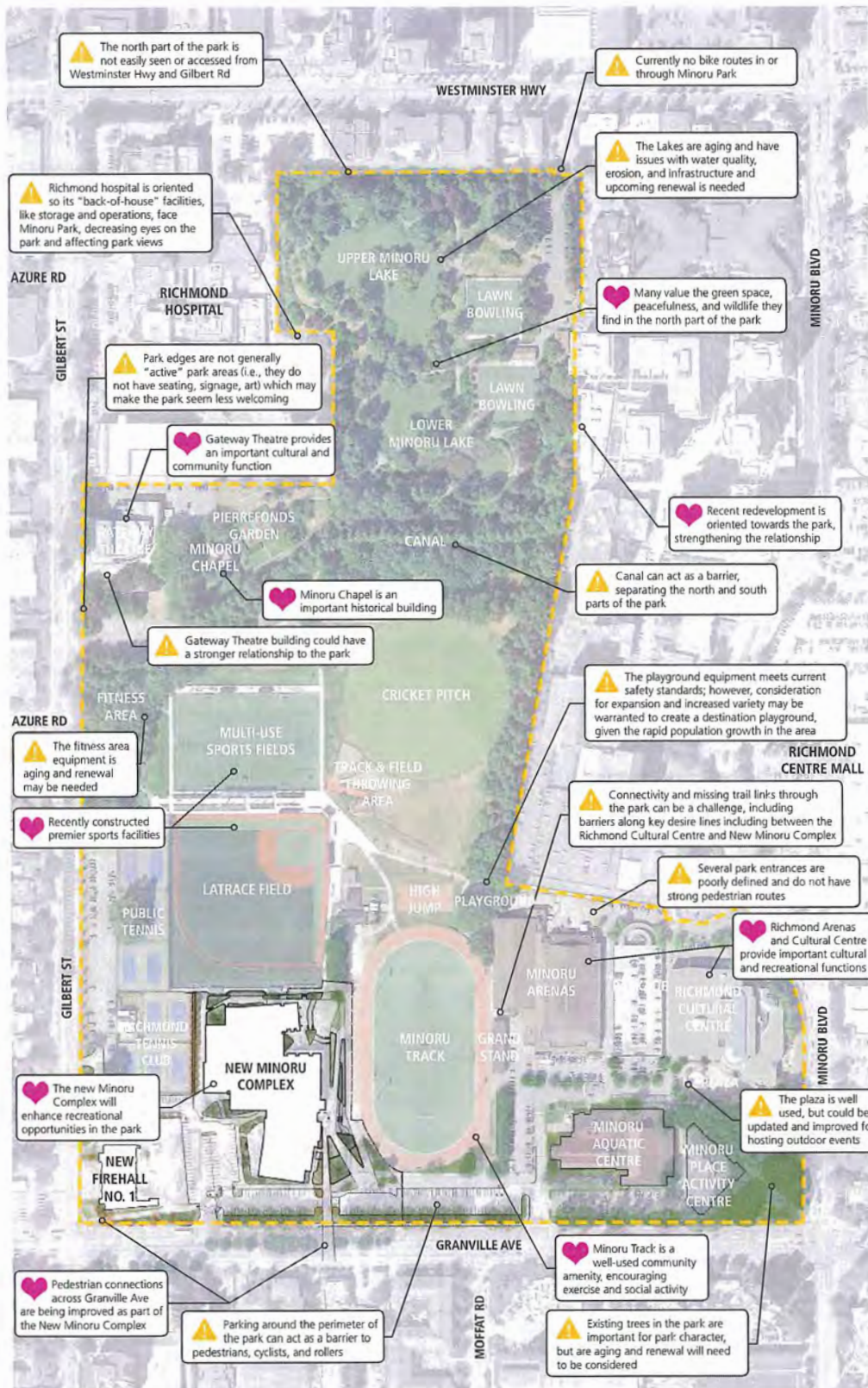


- » Cycling lanes or shared lane markings are provided on Minoru Blvd, Granville Ave, and Gilbert St
- » There is no cycling provision on Westminister Hwy at the north end of the park
- » There are no designated cycling routes through Minoru Park and narrow trails are not well-suited to multi-modal use
- » The New Minoru Complex will incorporate new bike parking, but end-of-trip cycling facilities (e.g., bike lock-up, covered bike parking) may warrant consideration at other park facilities or destinations



- » Vehicle circulation is limited to perimeter of the park where parking is accessed; there are no roads through the park
- » There is existing vehicle access from each of the surrounding roads – Granville Ave, Gilbert St, Westminister Hwy, and Minoru Blvd into parking areas
- » Parking reconfiguration and improved site access in the south part of the park are being provided through the New Minoru Complex facility

VALUES & CONCERNS MAPPING



VALUES & CONCERNS

The map records some initial observations about:

♥ **VALUES:** What is loved about Minoru Park

⚠ **CONCERNS:** What may need to be considered for improvement

We would like you to add yours!

Please continue to build our inventory of values and concerns for Minoru Park by writing yours on a sticky note and adding them to the map or below!

Please Add
Your Value or
Concern!

MAILBOX TO THE FUTURE



WE WANT YOU TO ENVISION THE FUTURE OF MINORU PARK!

Take a postcard from the stack on the table. Answer the question on the back and mail your ideas to the future!

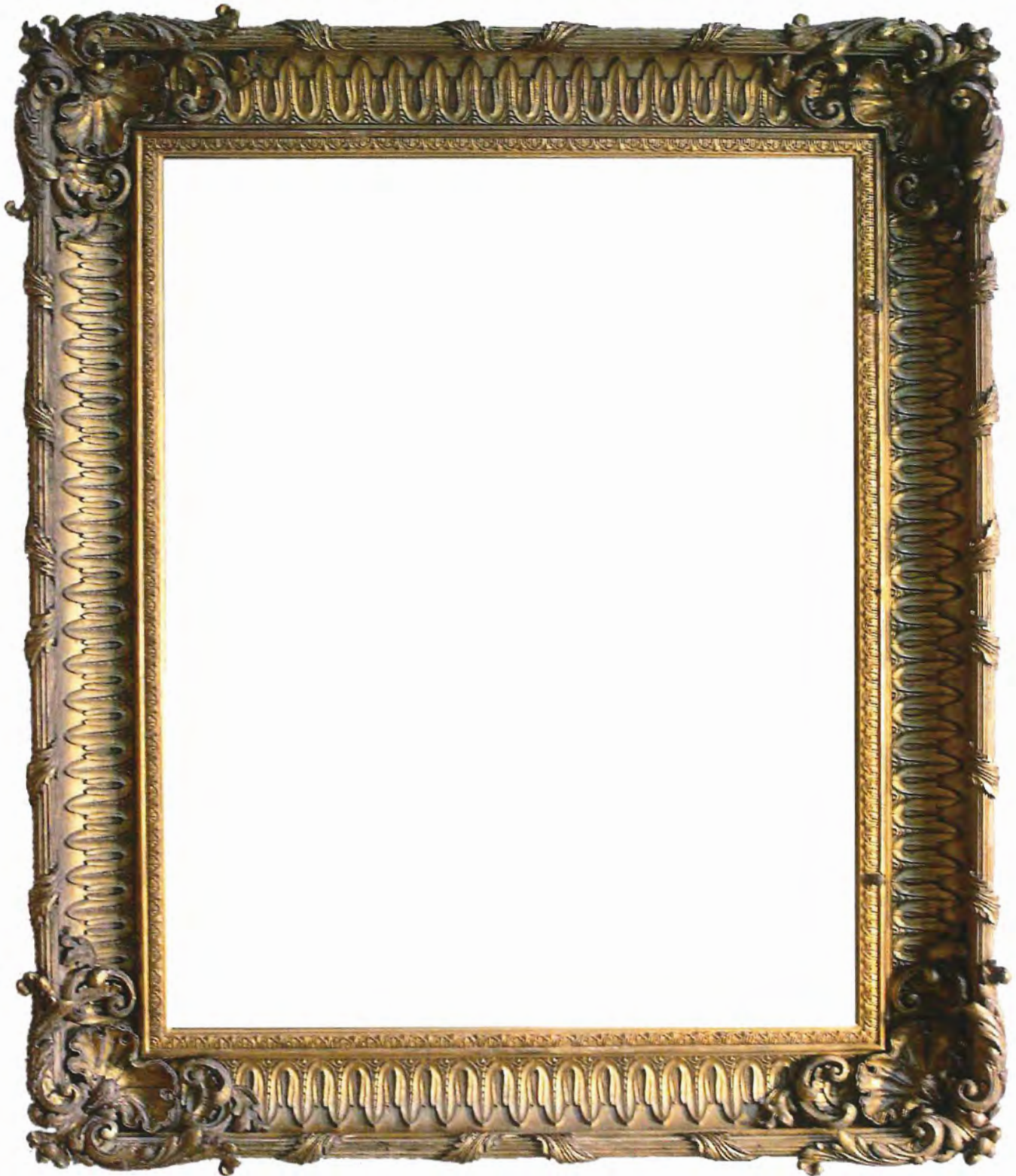
Visit envisionminoru.com or letstalkrichmond.ca for more details



DRAW YOUR PARK IDEAS!



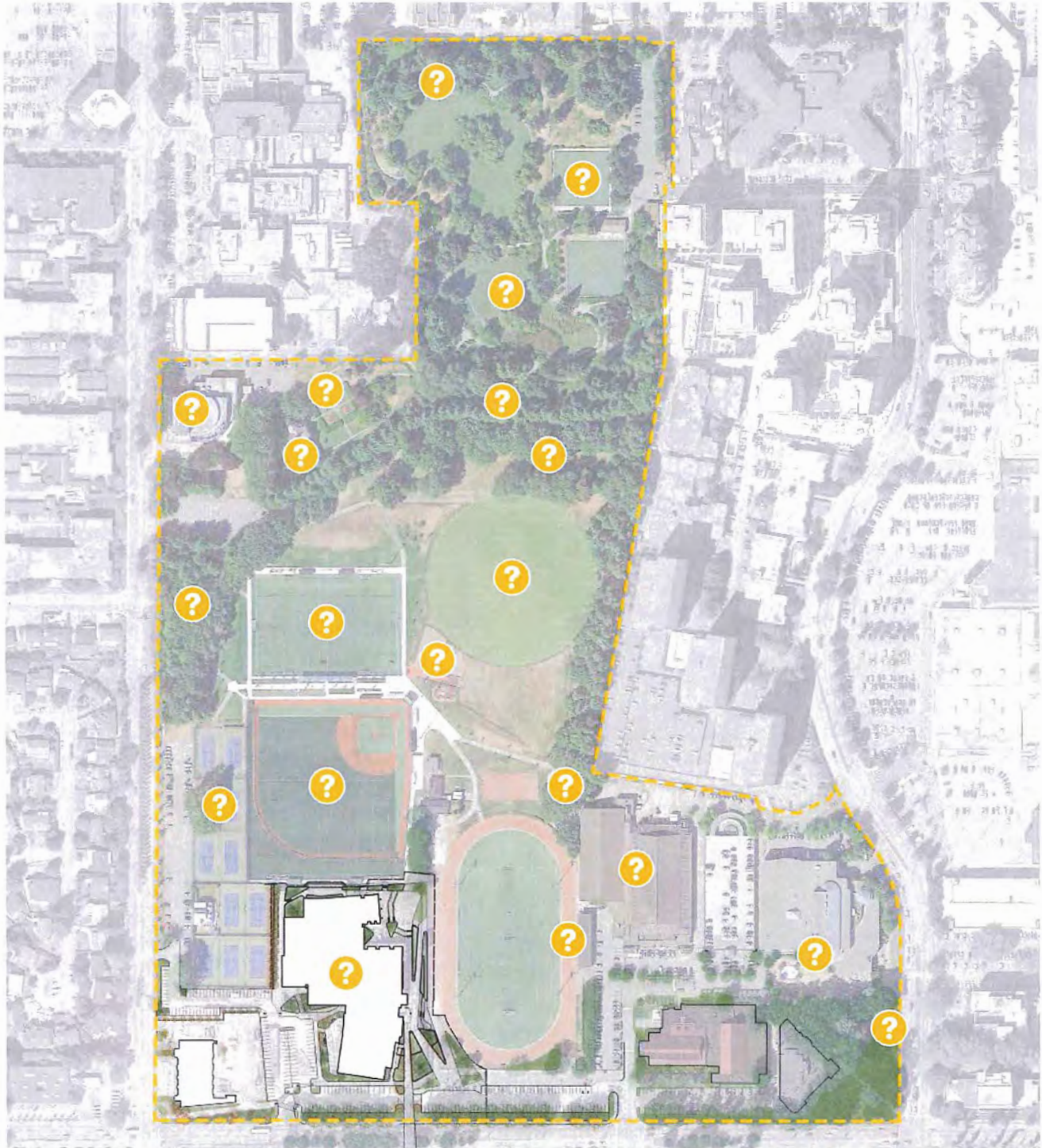
Share your idea for Minoru Park by drawing it at the craft station and pasting it in the frame for others to see!



MINORU PARK TREASURE HUNT



How well do you know Minoru Park? Take a little treasure hunt to see! Using your “Can you Find It?” worksheet, guess which ? marks each item listed. Flip the attached card to see if you have guessed correctly.



Visit envisionminoru.com or letstalkrichmond.ca for more details



MINORU PARK VISION PLAN: PHASE ONE PUBLIC OPEN HOUSE SURVEY



The planning process for the future renewal of Minoru Park has started and we want to hear from you!

The City of Richmond invites public input to help enVISION the potential future for Minoru Park through participation in Phase 1 of the process. Input received during Phase 1 will be used to develop Guiding Principles for Council approval. Once approved, the principles will guide the creation of concept plan options which will be presented to the public for feedback during Phase 2 in the summer of 2017.

Please review the display boards then take a few minutes to complete this survey. All responses must be received by Sunday, March 5, 2017 at 11:59 pm. The open house display boards and this survey are also available online at

LetsTalkRichmond.ca.

THANK YOU FOR PROVIDING YOUR INPUT ON MINORU PARK

1. On average, my family and I typically visit Minoru Park:

During warm months (e.g., April to October)

- ☐ Almost every day
- ☐ One or two times a week
- ☐ One or two times a month
- ☐ One or two times a year
- ☐ Never

During cool months (e.g., November to March)

- ☐ Almost every day
- ☐ One or two times a week
- ☐ One or two times a month
- ☐ One or two times a year
- ☐ Never

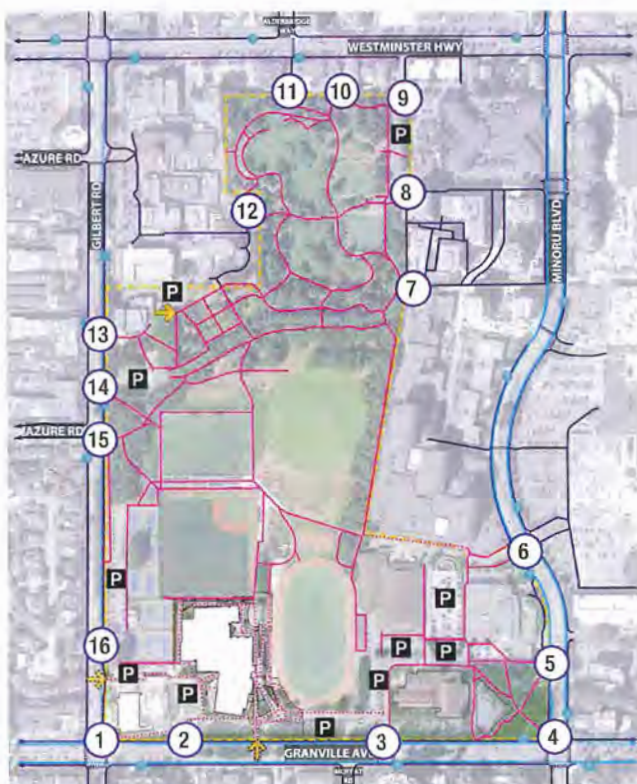
2. When I visit Minoru Park I typically arrive (check all that apply):

- ☐ By foot (pedestrian)
- ☐ By bicycle
- ☐ By rolling (e.g., skateboarding, wheelchair, with stroller, inline skating)
- ☐ By vehicle (as a passenger or a driver)
- ☐ By transit
- ☐ Other (please describe)



**3. I usually enter the park at (check all that apply):
(refer to adjacent map for entrance locations)**

- ☐ 1: Granville Ave at Gilbert Rd
- ☐ 2: Granville Ave, near fire hall (currently closed for construction)
- ☐ 3: Granville Ave, near Aquatic Centre
- ☐ 4: Granville Ave at Minoru Blvd
- ☐ 5: Cultural Centre Plaza
- ☐ 6: Minoru Blvd, behind Cultural Centre
- ☐ 7: Lane off Minoru Blvd
- ☐ 8: Gollner Avenue off Minoru Blvd
- ☐ 9: Bowling Green Lane off Westminster Hwy
- ☐ 10: Pedestrian Access Lane off Westminster Hwy
- ☐ 11: Pedestrian Access Lane off Westminster Hwy
- ☐ 12: Behind the Hospital
- ☐ 13: Gilbert Rd at Gateway Theatre Plaza
- ☐ 14: Gilbert Rd at Gateway Theatre Parking Lot
- ☐ 15: Gateway Rd at Azure Rd
- ☐ 16: Gilbert Rd at Tennis Courts



4. In the last year, my family and I engaged in the following activities at Minoru Park (check all that apply):

- ☐ Attending a Community Event in the Park
- ☐ Attending an Event at Gateway Theatre
- ☐ Attending an Event at Minoru Chapel
- ☐ Baseball Game or Practice
- ☐ Cricket Game or Practice
- ☐ Dog Walking
- ☐ Field Hockey Game or Practice
- ☐ Lacrosse Game or Practice
- ☐ Lawn Bowling
- ☐ Picnicking
- ☐ Playground Activities
- ☐ Relaxing
- ☐ Skating or Ice Sports (e.g., hockey) at the Arena
- ☐ Soccer Game or Practice
- ☐ Swimming at the Aquatic Centre

- ☐ Tennis
- ☐ Track & Field Meet or Practice
- ☐ Using the Equipment in the Outdoor Fitness Area
- ☐ Viewing the Gardens
- ☐ Visiting the Cultural Centre
- ☐ Visiting the Lakes Area
- ☐ Visiting the Minoru Place Activity Centre
- ☐ Walking, Jogging, or Running on Clement (400 m)Track
- ☐ Walking, Jogging, or Running on Park Trails
- ☐ Watching a Sporting Event
- ☐ Watching Wildlife (e.g., birds, bunnies, etc.)
- ☐ Other (please describe)

5. The two elements or aspects of Minoru Park that I value most are:

1 _____

2 _____

6. If I could, I would change or improve the following two elements or aspects of Minoru Park:

1 _____

2 _____

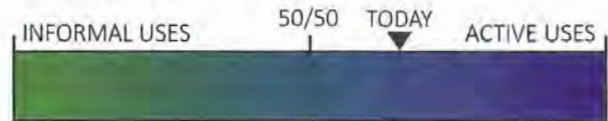
7. In the future, I would like to see the following elements or programs in Minoru Park:

1 _____

2 _____

3 _____

8. The scale below shows the approximate current balance between active uses (e.g., facilities, sports fields/courts, parking) and informal uses (e.g., gardens, trees, lakes, trails, and open space) in Minoru Park.



In the future, I think this balance should:

- ☐ Stay similar to today
- ☐ Shift towards providing more informal uses (e.g., gardens, trees, lakes, trails, and open space)
- ☐ Shift towards providing more active uses (e.g., facilities, sports fields/courts, parking)

9. Built in the 1970s, the lakes area was designed as a beautiful oasis for the community. Over time, erosion, mechanical failures, wildlife, and general wear-and-tear have contributed to deterioration of the lake infrastructure and water quality. The lakes are now nearing a point where renewal is required. This Vision Plan process provides an opportunity to consider the future for this space.

In the future, I think the lakes should be:

- ☐ Maintained at the same size and character
- ☐ Reduced in size with alternate park uses on part of the site
- ☐ Completely removed and replaced with alternate park uses

10. If the the lakes are reduced or eliminated, other uses I think should be considered for this area of Minoru Park include:

11. Please think about each of the following aspects of Minoru Park and identify how important you think each aspect is in Minoru Park and ideas for improving the aspect.

► **community health and wellness**

Both open-ended informal uses and active sports uses support community health and wellness. The Vision Plan will consider how to improve opportunities for community health and wellness in Minoru Park.

I believe that providing opportunities for Community Health and Wellness in Minoru Park is:

☐ Very Important ☐ Moderately Important ☐ Not Important

Specific ideas I have for enhancing Community Health and Wellness opportunities in Minoru Park include:

► **connectivity and trails**

The northern and southern parts of Minoru Park are physically divided by the canal and can feel like two separate parks. The Vision Plan will consider ways to better link the park through a well planned system of paths and trails.

I believe that a well kept system of Paths and Trails in Minoru Park is:

☐ Very Important ☐ Moderately Important ☐ Not Important

Specific ideas I have for improving the system of Paths and Trails in Minoru Park include:

► **arts, culture, & heritage**

Minoru Park is home to the Gateway Theatre, Cultural Centre, Pierrefonds Garden, and public art. The Vision Plan will consider opportunities to build on these elements.

I believe that increasing information about and examples of Arts, Culture, and Heritage in Minoru Park is:

☐ Very Important ☐ Moderately Important ☐ Not Important

Specific ideas I have for enhancing Arts, Culture, and Heritage in Minoru Park include:

► **nature and green park space**

Minoru Park includes mature tree stands, gardens, lakes, and informal green spaces. Opportunities may exist to improve these spaces to provide enhanced environmental, social, and recreational benefits for residents.

I believe that providing Nature and Green Park Space in Minoru Park is:

☐ *Very Important* ☐ *Moderately Important* ☐ *Not Important*

Specific ideas I have for improving Nature in Green Park Space in Minoru Park include:

► **outdoor events and activities**

Minoru Park is home to a wide range of events and activities – from large community events to small informal gatherings. The Vision Plan will consider how the park can continue to support and enhance outdoor events and activities.

I believe that providing spaces that support Outdoor Events and Activities in Minoru Park is:

☐ *Very Important* ☐ *Moderately Important* ☐ *Not Important*

Specific ideas I have for improving Outdoor Events and Activities in Minoru Park include:

► **park identity and character**

Minoru Park has evolved over the years as new facilities and amenities have been introduced. The Vision Plan will consider how to enhance and unify the park's identity and character to ensure it is an enduring source of community pride.

I believe that a strong Identity and Character for Minoru Park is:

☐ *Very Important* ☐ *Moderately Important* ☐ *Not Important*

Specific ideas I have for improving the Identity and Character of Minoru Park include:

OTHER COMMENTS ABOUT MINORU PARK?

12. Other ideas or thoughts I would like to share about Minoru Park are:

13. My age group is:

- | | | | |
|--|---------------------------------------|---------------------------------------|--|
| <input type="checkbox"/> 19 years or under | <input type="checkbox"/> 35- 39 years | <input type="checkbox"/> 55- 59 years | <input type="checkbox"/> 75+ years |
| <input type="checkbox"/> 20 - 24 years | <input type="checkbox"/> 40- 44 years | <input type="checkbox"/> 60- 64 years | <input type="checkbox"/> Prefer not to say |
| <input type="checkbox"/> 25- 29 years | <input type="checkbox"/> 45- 49 years | <input type="checkbox"/> 65- 69 years | |
| <input type="checkbox"/> 30- 34 years | <input type="checkbox"/> 50- 54 years | <input type="checkbox"/> 70- 74 years | |

14. I heard about this public consultation process via (check all that apply):

- | | |
|--|--|
| <input type="checkbox"/> Newspaper ad in Richmond News | <input type="checkbox"/> Facebook |
| <input type="checkbox"/> Newspaper ad in Ming Pao | <input type="checkbox"/> Twitter |
| <input type="checkbox"/> News story written by reported in local newspaper | <input type="checkbox"/> Poster in a City facility |
| <input type="checkbox"/> LetsTalkRichmond.ca email sent to me | <input type="checkbox"/> Poster in Minoru Park |
| <input type="checkbox"/> LetsTalkRichmond.ca website (not an email from this site) | <input type="checkbox"/> Word of mouth |

My postal code is: _____

My email address is (optional): _____

*Thank you for your
time and feedback!*

Please stay tuned to the process for our next public consultation planned for June 2017.

QUESTIONS?

Continue to visit www.LetsTalkRichmond.ca and www.envisionminoru.com for up-to-date information. If you have any further questions, contact the Parks Department at 604-244-1208



MINORU PARK VISION PLAN

- ▶ Summary of the Process and Phase One Community Engagement Results
- ▶ Minoru Park Vision and Guiding Principles



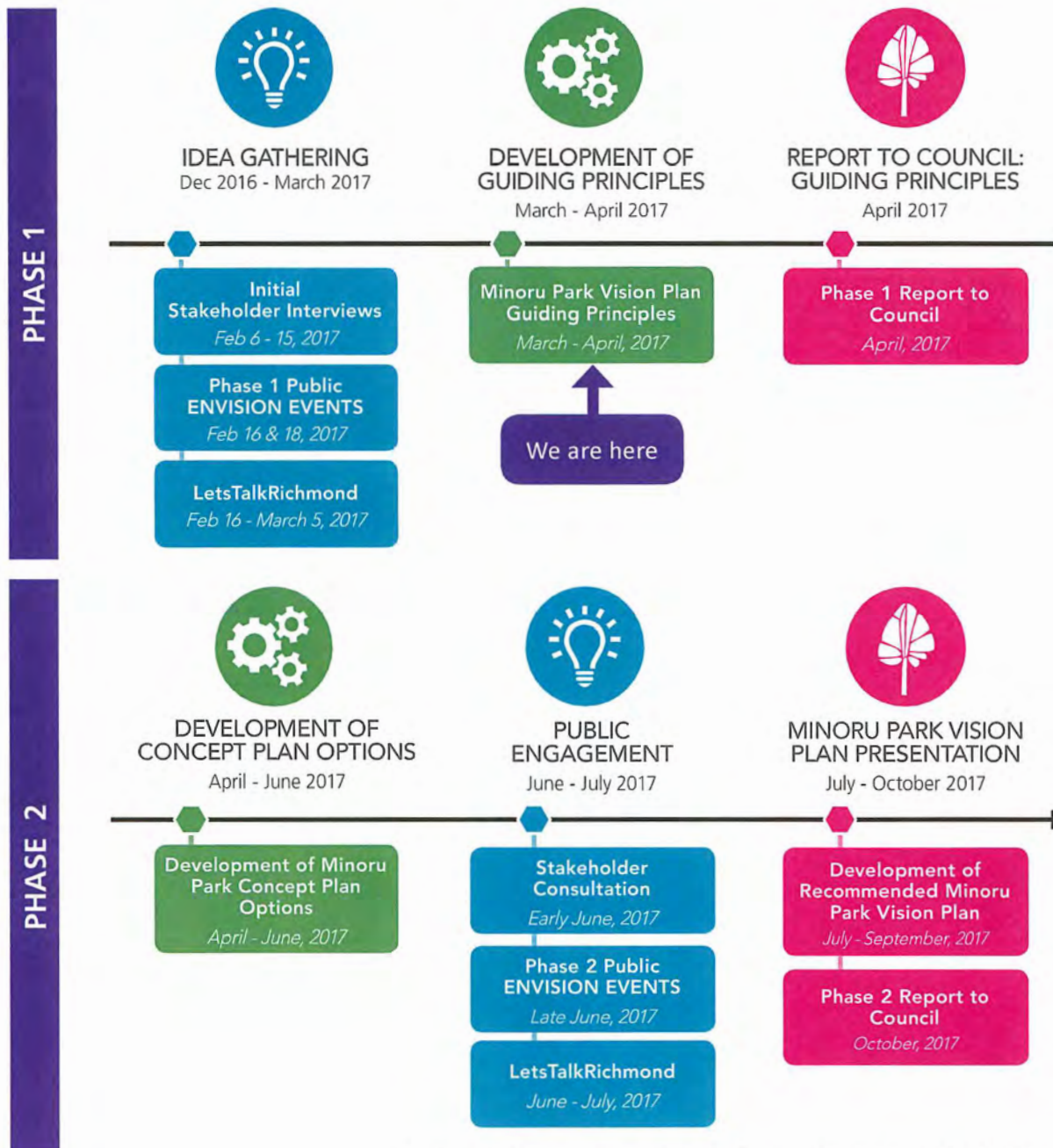
- ▶ A summary of the process to date, phase one community engagement results, and Minoru Park Vision and Guiding Principles

April 2017



01

Summary of the Process and Community Engagement Results



PUBLIC ENGAGEMENT PROCESS SUMMARY

The Minoru Park Vision Plan Phase One outreach focused on gathering opinions about Minoru Park's existing conditions as well as identifying key issues and opportunities for the park's future renewal. The process included multiple City staff and stakeholder workshops, two drop-in style public open houses, and online engagement via LetsTalkRichmond. Below is a brief overview of the consultation process to date.

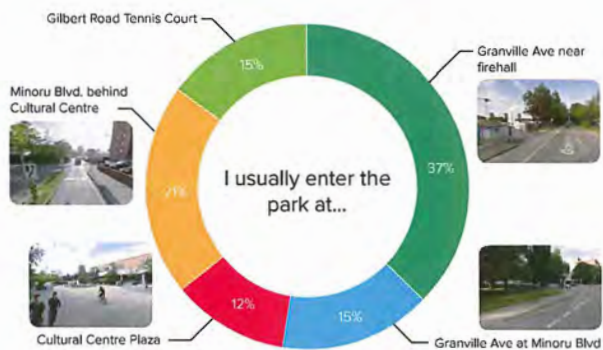
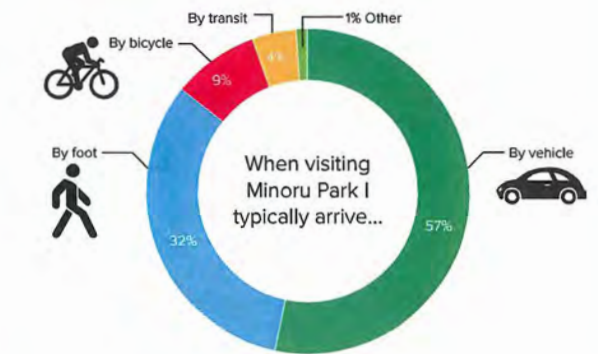
6	City Staff Meetings (interviews)	» Held: from February 6 - 14, 2017. Each group was focused on their particular area of expertise including Minoru Park Facilities, Outdoor Sports and Events, Community Groups, Planning and Sustainability, Parks Operations, and Arts, Culture and Heritage. The meetings were formatted as informal round-table discussions at which each participant was asked questions several questions.
2	Stakeholder Workshops	» Held: the evenings of February 6 and 7, 2017. A large number of community groups and organizations were invited to attend ranging from Richmond Lawn Bowling to Richmond Centre for Disability. The workshops were generally well attended and resulted in meaningful discussions and valuable feedback.
2	Public Open Houses	» Held: one on the evening of Thursday, February 16 at the Minoru Place Activity Centre; and one on the afternoon of Saturday, February 18, 2017 at Richmond City Hall. Both were well attended with approximately 100 visitors at each and the general input received about the process was positive.
186	Completed Surveys	» Via LetsTalkRichmond, the City of Richmond's online public engagement platform, which hosted a Minoru Park Vision Plan Phase One web page from February 16-March 5, 2017.

PUBLIC OPEN HOUSE PHOTOS

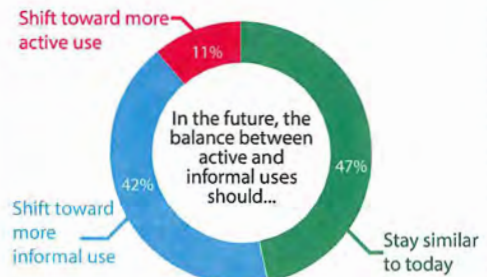


PUBLIC OPEN HOUSE AND LETSTALKRICHMOND SURVEY RESULTS

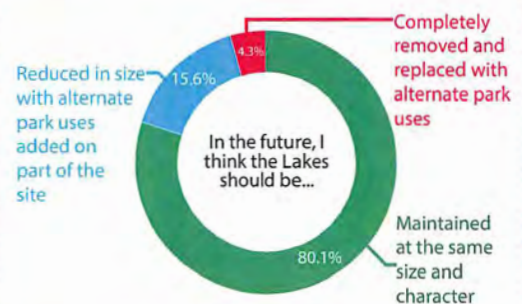
HOW AND WHERE I ARRIVE AT MINORU PARK AND WHAT AREAS I VISIT



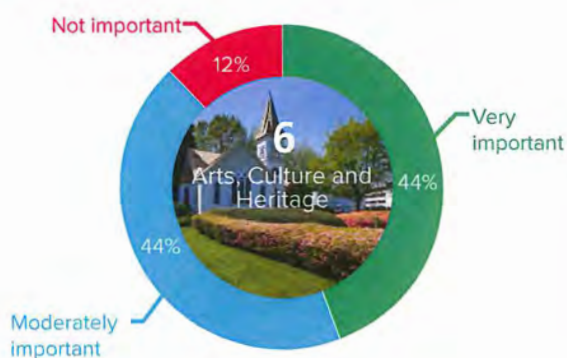
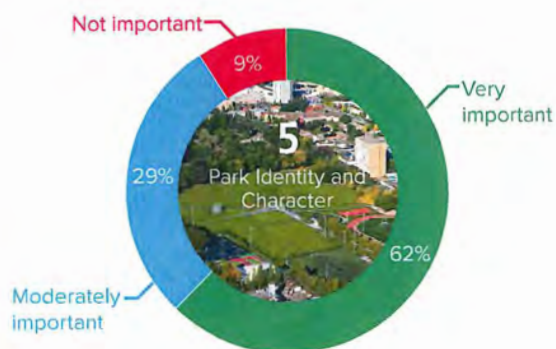
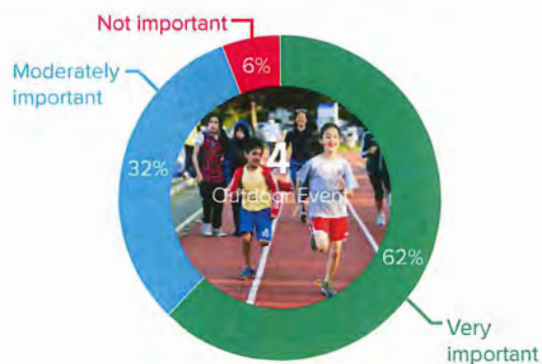
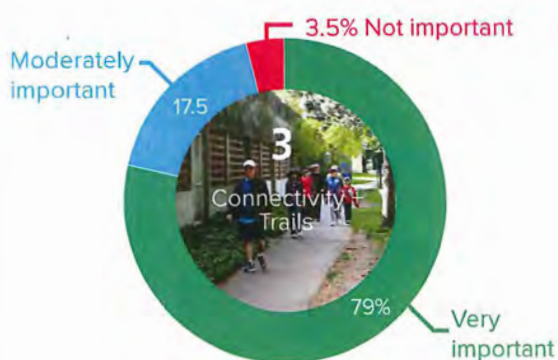
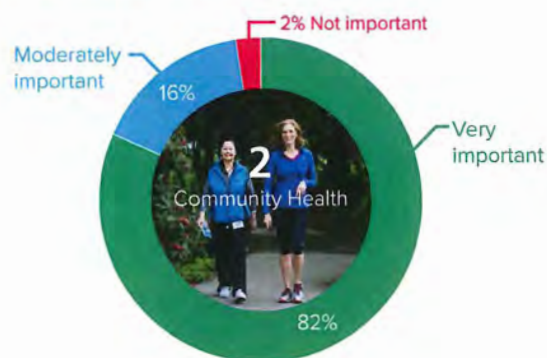
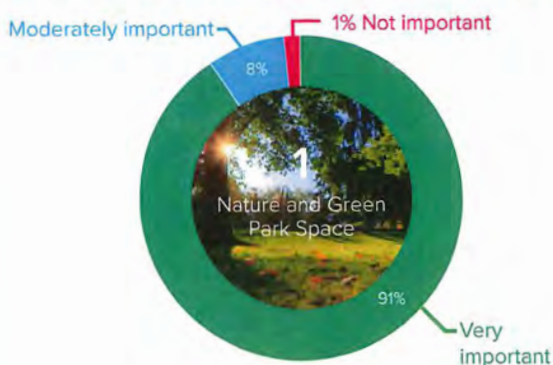
I THINK THE BALANCE BETWEEN ACTIVE AND INFORMAL USES SHOULD...



IF THE LAKES ARE RENEWED, I WOULD LIKE TO SEE THEM...



I PLACE THE FOLLOWING IMPORTANCE ON THESE ASPECTS OF MINORU PARK...



SAMPLE SURVEY COMMENTS ABOUT MINORU PARK

"Minoru Park is a beautiful park in the middle of the city. It has lakes, nature, places for activities and for families to get together. Let us preserve it and improve on it."

"I'm a young college student who plans to get married and raise a family in Richmond. I hope to bring my own children to this place in the near future."

"Great opportunities to create an urban city centre park that embraces heritage, nature, and draws on the urban / built parts of the city."

My wedding reception was held at the pavilion. Great times!

I remember when you could put a boat on the canal. It was like a beautiful river.

I remember when the lakes froze and people ice skated on them.

MINORU MEMORIES

STAFF AND STAKEHOLDER WORKSHOP KEY FINDINGS

I VALUE THE FOLLOWING AT MINORU PARK...

- » It is a great place for walking
- » It provides a wide range of activities for all ages
- » It is an important sanctuary and place for respite within the city centre
- » It has high quality, well-used sports facilities
- » The Lakes are a key park feature and provide an important connection to water and nature
- » People have strong memories of and connections to the park

I AM CONCERNED ABOUT THE FOLLOWING AT MINORU PARK...

- » The park is fragmented, incoherent, and lacks a distinctive character
- » It lacks a sense of arrival
- » The pedestrian circulation is disjointed
- » The site is challenging to navigate
- » Pedestrian safety and access through parking areas is challenging
- » Adjacent uses within the park are not always complimentary
- » The playground is small, and difficult to access
- » Many people are unclear about which areas are included in the park, or that the lakes area exists
- » Balancing a desire for increased safety in the lakes area with a desire to maintain its tranquil nature

MY VISION OF AN IDEAL MINORU PARK WOULD INCLUDE...

- » A distinctive "Minoru Park" identity
- » Identifiable, distinctive entry points towards a greater sense of arrival
- » Well connected walking circuits / loops within the park and improved connections around / to the park
- » Improved wayfinding and interpretive signage
- » More informal and multi-use areas that can accommodate a wide range of activities year round
- » Better integration with adjacent site uses





Vision & Guiding Principles

INTRODUCTION

A Minoru Park Vision and Guiding Principles were generated based on the results of site analysis and the community engagement process. The Minoru Park Vision and Guiding Principles build on Minoru Park's existing strengths and valued aspects while at the same time, look forward to envision what Minoru Park might become in response to Richmond's rapidly growing and diversifying population and community needs. They are aspirational and future-oriented and will function as touchstones when decisions need to be made about renewal and redevelopment in and around the park.

VISION STATEMENT

Minoru Park is: *a dynamic CityWide park located in the civic core of Richmond's City Centre area. It reflects the rich diversity of Richmond's community through its wide variety of premier recreational, arts, culture, and heritage facilities and programming. Minoru Park will play an increasingly central role in the lives of Richmond residents and in particular residents of the Brighthouse Village neighbourhood as high density residential development continues grow and be concentrated in this area.*

Minoru Park will be: *a great place for people, alive with programming. It will be a place that people love to be in; where they can play, meet friends and neighbours and enjoy participating in community life. It will be a place with a diverse mix of activity; where a wide variety of places and destinations are interconnected. It will be distinct because of the exciting diversity of social, recreational, and cultural programming while at the same time will be known as a place to find beauty, peace, and tranquility. The transformation of Minoru Park will include renewal of the parks aspects that people love and value; it will be a collaborative process to reimagine the role that the park plays in the city centre and within the whole parks and open space system.*



GUIDING PRINCIPLES

The intent is that the guiding principles be used to build on the park's existing strengths, direct future development in Minoru Park, and ensure that it continues to meet the growing and diversifying needs of Richmond residents now and for future generations.

MINORU PARK WILL BE:

AN URBAN GATEWAY TO NATURE



A PLACE WHERE:

- » People have the opportunity to connect with nature.
- » Richmond's ecological heritage and natural processes are made visible and celebrated.
- » The site's existing natural features such as the lakes and canals are enhanced and showcased.
- » Richmond's Ecological Network Strategy is applied and brought to life.

DESIGN AND PROGRAMMING PRIORITIES

- » Include a range of green spaces that support physical, social and spiritual renewal.
- » Protect the site's heritage and significant trees.
- » Develop a tree renewal plan and ensure that the park continues to have a mature tree canopy.
- » Celebrate native plants and environmental best practices.
- » Maximize the park's green edges.
- » Reconstruct the lakes and canal and seek opportunities for them to provide ecological functions.
- » Maximize the park's positive contribution to Richmond's overall ecological health, adaptability and resilience through carbon sequestering, habitat creation and stormwater capture.
- » Develop resource management strategies for maintenance and operations.

WELCOMING AND INCLUSIVE



A PLACE WHERE:

- » People can gather, play, pursue active living and feel connected to their community.
- » People can just be.
- » Exciting and diverse year-round programming is promoted.
- » People of all ages and abilities are welcomed and feel comfortable.
- » A general sense of "please walk on the grass" is invoked and people feel invited to use all areas.
- » Multi-cultural and multi-generational interaction is facilitated and encouraged.

DESIGN AND PROGRAMMING PRIORITIES

- » Establish more informal, "no-matter-the-weather" gathering and seating areas for socialization.
- » Employ age-friendly design practices such as rest stops at regular intervals along pathways and benches with backs and arm rests.
- » Create a destination playground that offers a range of play opportunities.
- » Support programs and opportunities for "pick-up" recreation.
- » As redevelopment occurs at the park's edges, seek opportunities to improve interfaces and linkages particularly to Minoru Boulevard and Westminster Highway.
- » Dedicate space for outdoor programming with appropriate infrastructure.
- » Make the cricket pitch more multi-functional and allow alternative uses outside of cricket season.
- » Explore the potential for locating affordable housing in Minoru Park.

ENRICHED WITH ARTS, CULTURE, AND HERITAGE



A PLACE WHERE:

- » A memorable, unique place in the city where history and culture are celebrated.
- » A place where lively arts and cultural programming is supported and promoted in the park, engaging and inspiring people.
- » A place where memories are shared and stories are told.

DESIGN AND PROGRAMMING PRIORITIES

- » Celebrate the history of the site and features such as its former use as a race horse track and develop an interpretation strategy.
- » Develop a public art program that celebrates and strengthens the park's identity and character.
- » Support Richmond Cultural Centre events and programs through creation of highly functional, flexible outdoor spaces (e.g. a covered plaza that can accommodate outdoor classes and performances).
- » Link together arts, culture and heritage facilities and explore the potential to create themed walking routes (e.g. Minoru Park Art Walk, Minoru Memories, Heritage Stroll).
- » Enliven the park with seasonal/annual artistic display garden installations.
- » Make Minoru Park **the** storytelling place in the city.

ALIVE WITH EVENTS AND SPORTS



A PLACE WHERE:

- » Major sports and community-based events add to the vibrancy of the park and city centre.
- » People of all abilities are supported and motivated to get outside and move.
- » Activities and events make people want to participate and linger.
- » Athletes are inspired to achieve their personal best.

DESIGN AND PROGRAMMING PRIORITIES

- » Retain and protect the existing premier sports facilities as a destination sports complex.
- » Add appropriately scaled event infrastructure in key locations (e.g. electrical kiosks, water hook-ups and multi-purpose, all-season surfaces).
- » Retain and improve the track to serve daily, casual use as well as major track and field events.

INTEGRATED AND CONNECTED



A PLACE THAT:

- » Will be a signature park in Richmond's City Centre that is distinctive from, yet complementary to, other parks within the system.
- » Is easy to access by all modes of transportation.
- » People can navigate safely, comfortably and intuitively.

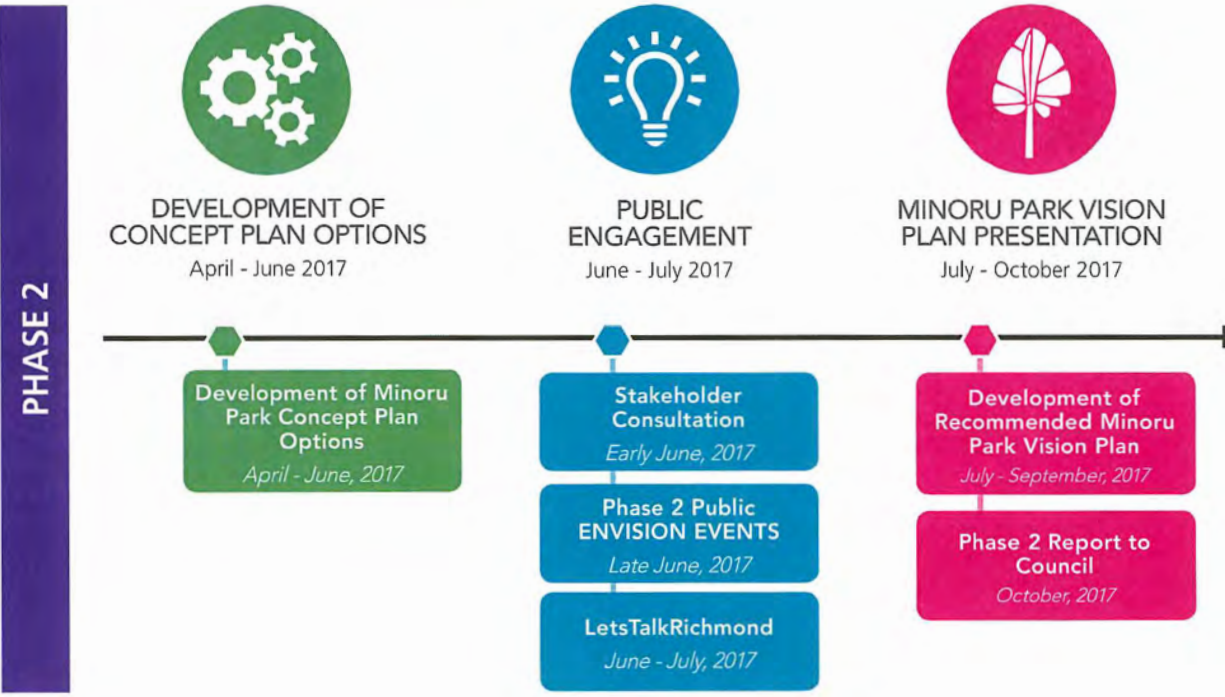
DESIGN AND PROGRAMMING PRIORITIES

- » Strengthen pedestrian connections to the park from the city centre and adjacent neighbourhoods.
- » Promote programming that compliments other nearby parks.
- » Physically link parks within the city centre towards an integrated green and recreation network.
- » Develop a clear hierarchy of pathways that prioritize pedestrian safety particularly through parking areas around the park perimeter.
- » Create walking loops with distance markers.
- » Provide interesting and functional linkages between park facilities and features.
- » Establish protocols for cyclists including designated bike paths while also prescribing pedestrian-only routes.
- » Improve the interface and connections with Richmond Hospital.
- » Develop a comprehensive wayfinding system that clearly identifies entry points and circulation routes (e.g. arrival features, orientation maps and directional signage).
- » Employ consistent site furnishings and paving materials that are reflective of the park's context, character, features and high usage.
- » Improve the profile of the park around its perimeter and improve the visibility of park entry points, especially along Westminster Highway.
- » Encourage stakeholders and community groups to connect with each other and collaborate in order to activate the park.





Next Steps in the Process



- » **In April**, the Guiding Principles will be presented to Council. Following adoption, the Guiding Principles will inform the development of vision plan options.
- » **Phase 2** will build on Phase 1 to develop vision plan options which will be presented to stakeholders and the public in June 2017 for feedback.
- » **The Outcome** of this process will be generation of a Minoru Vision Plan which will be presented to Council at the end of 2017.

Project Webpage: envisionminoru.com
Project Manager: Miriam Plishka, Parks Planner | Community Services
Email: MPlishka@richmond.ca **Tel:** 604.233.3310



To: General Purposes Committee
From: Jim V. Young, P. Eng.
Senior Manager,
Capital Buildings Project Development

Date: April 21, 2017
File: 06-2052-55-02-
01/2017-Vol 01

Mike Redpath
Senior Manager, Parks

Re: Viability of Repurposing Minoru Aquatic Centre

Staff Recommendation

1. That upon completion and opening of the new Minoru Centre for Active Living, the existing Minoru Aquatic Centre located at 7560 Minoru Gate in Minoru Park be decommissioned and demolished, and that the project be submitted for consideration in the 2018 capital budget as described in the staff report titled "Viability of Repurposing Minoru Aquatic Centre," dated April 21, 2017, from the Senior Manager, Capital Buildings Project Development and the Senior Manager, Parks.
2. That any future use of the existing Minoru Aquatic Centre site located at 7560 Minoru Gate be considered as part of the Minoru Park Vision Plan and be subject to Council approval.

Jim V. Young, P. Eng.
Senior Manager, Capital Buildings
Project Development
(604) 247-4610

Mike Redpath
Senior Manager, Parks
(604) 247-4942

REPORT CONCURRENCE		
ROUTED TO: Recreation Services Real Estate Services	CONCURRENCE <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	CONCURRENCE OF GENERAL MANAGER
REVIEWED BY STAFF REPORT / AGENDA REVIEW SUBCOMMITTEE	INITIALS: 	APPROVED BY CAO

Staff Report

Origin

At the December 21, 2016, Parks, Recreation and Cultural Services Committee meeting, staff received the following referrals:

That the following recommendation (Part 1) stating:

That upon completion and opening of the new Minoru Complex (Minoru Aquatic Centre/Older Adult Centre) at the end of 2017, the existing Minoru Aquatic Centre located at 7560 Minoru Gate in Minoru Park be decommissioned, demolished, reverted back to open park space and that the project be submitted for consideration in the 2018 capital budget as described in the staff report titled "Minoru Park Vision Plan Phase One: Facilities Planning," dated December 1, 2016, from the Senior Manager, Parks;

be referred back to staff to analyze the viability of repurposing the existing Minoru Aquatic Center for other uses.

And,

That staff prepare options for the future use of the Minoru Place Activity Centre located at 7660 Minoru Gate, and report back in 2017 as described in the staff report titled "Minoru Park Vision Plan Phase One: Facilities Planning," dated December 1, 2016, from the Senior Manager, Parks.

And,

That staff research options for an open purpose storage museum at an existing location in Richmond in place of building a museum at this time.

The purpose of this report is to respond only to the first referral regarding the Minoru Aquatic Centre and to provide an analysis of the viability of repurposing the existing building for other uses. The two remaining referrals will be addressed in subsequent reports.

Analysis

In order to evaluate the viability of the existing Minoru Aquatic Centre for repurposing, a number of criteria were considered:

1. Facility Condition – assessment of the current condition of the building.
2. Facility Reuse Possibility – the possible type of reuse will determine the standard to which the building would be upgraded and indicate the types of adaptations that may be required. For the purposes of this report, Community Space and Warehouse has been assumed.
3. Capital Funding Implications – given the current condition, what are the costs of the upgrades and adaptations required in order to repurpose the building?

4. Park Implications – what is the effect on the park of retaining the building footprint and adding new programming?
5. Parking Impacts – How is parking impacted by additional uses or reuses?
6. Facility Operations – what would the operational budget impact of repurposing the building be?

1. Facility Condition

Staff engaged technical experts to review the current condition of the Minoru Aquatic Centre and to identify what improvements would be required in order for the facility to be repurposed. A BC Building Code regulated condition of granting occupancy for a repurposed building is that it must be brought up to current building standards. Their findings identified the scope of work required to repurpose the building including the following:

- Extensive replacement of building envelope for thermal performance, appearance, impact of modifications to interior and added openings.
- Replacement of interior finish materials. Current materials are at the end of their lifespan, or are not appropriate as a finish material in a repurposed building.
- Extensive reconfiguration of partitions (non-structural).
- Extensive reconfiguration of partitions (structural).
- Rationalization of floor elevations. Currently, floor elevations are not consistent which adds complexity to planning. Rationalization would be beneficial to the extent possible with current exterior grading and structural configuration.
- Code upgrades to fire safety system, change in building occupant loading and exiting requirements and change in building classification.
- Foundation improvement requirements in some areas.
- Poor roofing condition requiring replacement.
- Infill of the pool basins and removal/replacement of the decks with level surfaces.
- Seismic capacity is a risk and requires further review.
- Electrical equipment has served a reasonable lifespan and should be replaced.
- Mechanical systems should be replaced.

Staff also reviewed the possibility of demolishing only a portion of the existing Minoru Aquatic Centre and leaving the remaining portion intact for repurposing. This possibility would be complicated as ‘cutting in half’ building mechanical and electrical systems that are linked may not be feasible. There would also be considerable and costly issues associated with the roofing, building envelope and other building systems that would need to be addressed. Given these complications and the sizeable risk that the remaining portion of the building is damaged during the demolition process, the possibility of demolishing part of the building and leaving a section intact is not considered viable.

2. Facility Reuse Possibilities

In order to demonstrate the feasibility of repurposing the facility, two options were considered:

- Option 1: Demolish the existing Minoru Aquatic Centre and determine the use of the area through the Minoru Park Vision Plan process. Under this option, staff would submit a 2019 Capital Program funding request (refer to Table 1 under Next Steps in this report) to implement the works per the Council-approved Minoru Park Vision Plan (scheduled for presentation to Council in December 2017).
- Option 2: Repurpose the existing Minoru Aquatic Centre for community use or open warehouse storage. As Options 1 and 2 consider the use of the same site (i.e., the existing Minoru Aquatic Centre site), land value has not been considered in the analysis.

The potential reuse type provides direction in determining how suitable the existing building configuration is for reuse and indicates the type of building system upgrades and additions that may be required. It also has implications related to building code and permitting requirements. These considerations have implications when calculating the cost of repurposing the facility.

3. Capital Funding Implications

To understand the capital funding requirements, the two facility reuse possibilities (demolish or repurpose) were considered again.

Option 1 – Demolish (Recommended)

Demolish the existing Minoru Aquatic Centre and determine the use of the area through the Minoru Park Vision Plan process. The total cost to decommission and demolish the existing building is estimated to be \$3M (2018 dollars). This cost is based on demolition proceeding according to Council Policy 2308, whereby building components are recycled or re-used such that 80% of the building by weight is targeted for diversion away from landfill.

Option 2 – Repurpose (Not Recommended)

In considering the repurposing of the existing Minoru Aquatic Centre for community use, the total cost to bring the existing building to current building standards and to complete tenant improvements for those uses is approximately \$27M (2017 dollars). This estimated cost was prepared by independent cost consultants and contractors.

To repurpose the building for open warehouse storage the total cost to bring the existing Minoru Aquatic Centre to current building standards (base building level) and to complete tenant improvements for those uses is estimated to be \$21.8M (2017 dollars). Similarly, the estimated cost was prepared by independent cost consultants and contractors.

As a part of the review, a comparison was made between repurposing the existing facility and constructing a new facility of the same size (38,000 ft²) for community use. Significant

inefficiencies (design and systems) were identified with the conclusion that a new building is a more effective and efficient option if a facility reuse is considered. For comparison, the cost to construct a new community use facility of a similar square footage (38,000 square feet) is estimated to be approximately \$27.5M (2017 dollars). The estimated cost was also prepared by independent cost consultants and contractors.

Repurposing the Minoru Aquatic Centre will introduce new operating budget impacts for staffing, building operations and maintenance since all of the current operating funding has been allocated to the new Minoru Centre for Active Living as approved by Council. For example, if the potential future reuse includes public access to the building, a budget would be required for attendants, programming staff, building maintenance, supplies, technology, security and utilities among other things. The estimated range of annual operating costs for the reuses identified in Option 2 is \$750,000 to \$1.5M.

A review of costs for acquisition or leasing of warehouse space suitable for open warehouse storage indicates it would be a more cost effective approach than repurposing the existing Minoru Aquatic Centre. The current market value of an industrial building of approximately 38,000 square feet in Richmond ranges between \$9M and \$12.5M depending on the age and condition of the building, tenant improvements, the location of the property and the size of the land area. With the same caveats, net rental rates vary from approximately \$7.00 to \$9.50 per square foot or \$266,000 to \$361,000 per annum. Operating costs (i.e. maintenance and insurance net of property taxes and utilities) would add an additional \$1.50 to \$2.50 per square foot or \$57,000 to \$95,000 to the total gross cost per annum.

4. Park Implications

Given the many changes occurring within Minoru Park, including the additional facility footprint created by the new Minoru Centre for Active Living and in the surrounding neighbourhood, the need for a renewed vision was identified. A capital submission was approved for a master planning process within the Council-approved 2016 Financial Plan and is now underway. The outcome of that process will be the development of the Minoru Park Vision Plan for the park, to explore new opportunities and to address existing issues.

In consideration of the impact of the new facility footprint on the amount of open space in the park, the recommended option under consideration, demolition of the current Minoru Aquatic Centre, would allow for the development of new amenities and programming in a key location in the city. It would also enable greater openness and improve visibility of the park from Granville Avenue.

5. Parking Impacts

The parking plan included in the approved Minoru Complex Public Realm Concept Design did not contemplate a reuse of the existing Minoru Aquatic Centre. If the facility were to be repurposed, additional parking load would be added to the precinct which would need to be accommodated, further impacting the loss of park space. Any additional parking required by reuse of the existing Aquatic Centre would have to be located on existing green space and likely could not be accommodated in the south half of the park.

Pedestrian movement, parking and landscaping for the southern part of Minoru Park was contemplated in the Minoru Complex Public Realm Concept Design but was not included in the project funding. These elements need to be further studied and designed through the Minoru Park Vision Plan process and will be brought to Council for approval.

Analysis Results

While it is feasible to repurpose the existing Minoru Aquatic Centre, it is not recommended. Repurposing the facility is not considered economically or financially viable. The cost to upgrade the building systems to a functional level and then to adapt the building for reuse is comparable to that of constructing a brand new facility that would better meet operational needs and be more efficient to operate.

The cost to operate the building for any use (storage and public assembly) would also have to be considered since there is no funding allocated to it at present. In addition, the parking load in the Minoru precinct would be impacted and the amount of open space lost due to the construction of the new Minoru Centre for Active Living will not be re-gained.

Stakeholder and Technical Building Advisory Meeting

A joint meeting with the Stakeholder and Technical Building Advisory Committees was held on March 9, 2017, at which time the consultant's findings on the current condition and repurposing opportunity for the existing Minoru Aquatic Centre were presented. The Committees were asked to provide their advice on the following statement:

Do the Committees agree with the consultant's findings whereby it is recommended that the existing Minoru Aquatic Centre be demolished and converted to park space?

Following lengthy discussion, there was not a consensus response to the question. Instead, the following comments were offered by the Committee members:

- Use the space to maximize parking, in particular given the imminent opening of the new Minoru Centre for Active Living.
- Complete the Minoru Park Master Plan first to fully understand the existing Minoru Aquatic Centre site before taking any other action.
- Understand the need for the building before considering reuse.
- Do not repurpose the building as it is not part of the plan and it is very expensive.
- Complete a minimal (less expensive) upgrade to the existing building to preserve its use for storage purposes, in particular, for heritage related artifacts and/or similar items.

Minoru Park Vision Plan

The Minoru Park Vision Plan process, now underway, presents the opportunity to explore improvements and new programming opportunities for the whole park. The proposed Vision and Guiding Principles for the future of Minoru Park are scheduled to be presented to Council for approval in spring 2017. This report will summarise the public, stakeholder and staff input received to date.

The next steps in the process will be to generate concept options that reflect the approved Vision and Guiding Principles and conduct a public engagement process to receive input on the options. A final Minoru Park Vision Plan will then be developed and is targeted for Council approval at the end of 2017. At that time, staff will seek direction to undertake a detailed design study and cost estimating for the entire zone east of the track. This work can be completed before demolition of the existing Minoru Aquatic Centre begins.

Next Steps

Should Council choose the recommended option, staff will prepare a capital request for the 2018 capital budget process on the demolition of the existing Minoru Aquatic Centre and site for Council consideration. The estimated cost to demolish the existing building is \$3M (2018 dollars) which would leave a level, secured site ready for its next purpose. It is intended that building demolition would be scheduled and coordinated with the Minoru Park Vision Plan for this site following Council approval and following the opening of the new Minoru Centre for Active Living. The sequence of the proposed work is as follows:

Table 1 – Schedule

Date	Proposed Work
December 2017	Council approval of the Minoru Park Vision Plan.
January – May 2018	Prepare a detailed design and cost estimate for park development of the southeast corner of Minoru Park.
May 2018	Start demolition of the existing Minoru Aquatic Centre (following the opening of the new Minoru Centre for Active Living).
Fall 2018	Council approval of the capital request for implementation of park development.
Fall 2018	Complete demolition of the existing Minoru Aquatic Centre.
January 2019	Begin construction of works in the SE corner of Minoru Park.

Financial Impact

None.

Conclusion

The recommended option following completion and opening of the new Minoru Centre for Active Living is to demolish the existing Minoru Aquatic Centre and consider the future use of the space in conjunction with the Minoru Park Vision Plan. Repurposing of the existing Minoru Aquatic Centre is not recommended because of the associated costs to bring to public use and to operate it. Completion of the Minoru Park Vision Plan will provide direction on how to move forward with the existing Minoru Aquatic Centre site.



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Mike Redpath
Senior Manager, Parks
(604) 247-4942



City of Richmond

Report to Committee

To: General Purposes Committee

Date: March 20, 2017

From: Jane Fernyhough
Director, Arts, Culture and Heritage Services

File: 11-7000-09-20-202/Vol 01

Re: Minoru Complex Entries and Arrivals Public Art Project Review

Staff Recommendation

That the issuance of a revised Artist Call for the Minoru Complex Entries and Arrivals Public Art Project, as described in the staff report titled, "Minoru Complex Entries and Arrivals Public Art Project Review," dated March 20, 2017 from the Director, Arts, Culture and Heritage Services, be endorsed.

Jane Fernyhough
Director, Arts, Culture and Heritage Services
(604-276-4288)

Att. 2

REPORT CONCURRENCE		
ROUTED TO:	CONCURRENCE	CONCURRENCE OF GENERAL MANAGER
Parks Planning and Design Recreation & Sport Services Capital Buildings Project Development	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	
REVIEWED BY STAFF REPORT / AGENDA REVIEW SUBCOMMITTEE	INITIALS: 	APPROVED BY CAO

Staff Report

Origin

On January 16, 2017, at the General Purposes Committee meeting, discussion took place regarding the rationale for the selection of the recommended artwork for the main entry area of the Minoru Complex.

As a result of the discussion, the following referral motion was introduced:

That the matter be referred back to staff:

- (1) to circulate all five shortlisted projects to Council for information; and*
- (2) to consult with stakeholders through the Minoru Major Facility Stakeholder Advisory Committee and report back with their feedback.*

This report brings forward information to address questions raised by Council, and provides a recommendation to issue a revised Artist Call for the Minoru Complex Entries and Arrivals Public Art Project with prescriptive terms of reference that include the history of Minoru Park and a human-scaled work, for Council's consideration.

This report supports Council's 2014-2018 Term Goal #2 A Vibrant, Active and Connected City:

Continue the development and implementation of an excellent and accessible system of programs, services, and public spaces that reflect Richmond's demographics, rich heritage, diverse needs, and unique opportunities, and that facilitate active, caring, and connected communities.

- 2.1. Strong neighbourhoods.*
- 2.3. Outstanding places, programs and services that support active living, wellness and a sense of belonging.*
- 2.4. Vibrant arts, culture and heritage opportunities.*

Analysis

The Five Shortlisted Finalist Concept Proposals

Issued on June 15, 2016, the Artist Call for the Minoru Complex Entries and Arrivals Public Art Project identified the themes "Welcoming" and "Water" to provide a point of departure for interested artists to develop their concept proposals. Artists were encouraged to consider the theme of welcoming, to provide orientation and a sense of arrival at the Minoru Complex.

The five shortlisted finalist artist proposals for the Minoru Complex Entries and Arrivals Public Art Project were displayed for public feedback online through the Let's Talk Richmond website from November 1 - 10, 2016, and in the lobby of Richmond City Hall from November 3 - 10, 2016.

In response to the referral motions, the five shortlisted finalist submissions were circulated in a Memo to Council on January 27, 2017. They are presented in Attachment 1.

On November 21, 2016, the City-appointed selection panel met to interview the five finalist artist teams. The selection panel included representatives from the community and the Minoru Complex stakeholder groups and considered the selection criteria identified in the Terms of Reference for the Artist Call for evaluating the artist's concept proposals, which included:

- artistic merit;
- response to the character of Minoru Park;
- ability to work with other design professionals and stakeholders; and
- appropriateness to the Public Art Program goals.

While each of the five shortlisted finalist submissions addressed the selection criteria in varying ways, the panel concluded that the concept proposal *Leaf Sails*, by artist Douglas Taylor, best exemplified the goals of the project and recommended it for the Minoru Entries and Arrivals Artwork commission. They cited similar enjoyable works by the artist that they had seen elsewhere and noted its calming, meditative and interactive characteristics. Moreover, they liked that it would create a visually striking and inclusive gathering place with a focus on nature and renewable energy. The *Leaf Sails* concept proposal is Submission No. 4 in Attachment 1.

Consultation with the Minoru Major Facility Stakeholder Advisory Committee

On March 9, 2017, staff met with the Minoru Major Facility Stakeholder Advisory Committee to present the recommended proposal *Leaf Sails* for their feedback. Based on discussion at the General Purposes meeting on January 16, 2017, the committee was asked to respond to the following questions about the concept proposal:

- Is this Richmond?
- Is this appropriate for the location?
- Is this the legacy we want to see?

Feedback on the *Leaf Sails* concept included concerns that the work does not resonate with field users and sports programs, connect with the history of the site, represent the multicultural community or reflect indigenous peoples. In support of the work, it was noted that the concept was modern in character, compatible in scale with the architecture of the Minoru Complex, and that the rotating leaves might be understood to reference the history of flight at Minoru Park.

The Committee was also asked to consider if a re-issue of the Artist Call, with a more prescriptive Terms of Reference to include the history of Minoru Park, is a preferred action.

Following further discussion, the Committee recommended that a new Artist Call should be reissued to more specifically:

- connect to the history of the site;
- tell the story of Minoru Park as a place for social activity and community enjoyment;

- be human-scaled; and
- be forward looking.

It was suggested that artists consider referencing our local heroes and pioneers, to inspire Minoru Complex and Park users, ranging from active seniors to young children.

Options

As requested in the referral by Council at the General Purposes Committee meeting held January 16, 2017, staff have provided the five finalist proposals (Attachment 1), presented background on the deliberations of the selection panel in recommending *Leaf Sails* and have met with the Minoru Major Facility Stakeholder Advisory Committee to report back with their feedback.

Leaf Sails was selected in accordance with the Administrative Procedures of the Richmond Public Art Program Policy. However, as is standard practice with all Richmond Artist Calls, submitting artists are advised that the City and the selection panel are not obligated to accept any of the submissions and may reject all submissions. The City reserves the right to reissue an Artist Call as required.

Based on the additional information provided on the five shortlisted finalist submissions and the feedback from the Minoru Major Facility Stakeholder Advisory Committee, Council may:

- endorse the *Leaf Sails* concept proposal by Douglas Taylor as presented;
- direct staff to issue a revised Artist Call for the Minoru Complex Entries and Arrivals Public Art Project with new terms of reference; or
- provide additional instructions for staff.

Recommendation

In consideration of the feedback from the Minoru Major Facility Stakeholder Advisory Committee and further staff review, staff recommend that a new Artist Call be issued with a more prescriptive terms of reference, that the artwork:

- connect to the history of Minoru Park;
- tell the story of Minoru Park as a place for sports, cultural activity and community enjoyment; and
- be integrated with the site and landscape to provide a human-scaled gathering place.

Staff from Parks Planning and Design, Recreation and Sport Services, Capital Buildings Project Development and Public Art have identified a specific location within the main plaza at the entry to the Minoru Complex (Attachment 2). The landscape plan for this area will be revised by the design team in collaboration with the artist to accommodate and integrate the artwork with the site.

Financial Impact

The new Artist Call will have a total budget of \$200,000, as per the previous Artist Call, funded from the approved Major Facilities Phase I Projects. Costs for the new selection panel are available from funds set aside for project administration within the approved public art budget.

Conclusion

The new Minoru Complex facility represents an opportunity to integrate meaningful art to enhance the identity and vibrancy of the Minoru Civic Precinct. A new Artist Call will seek an artwork that reflects the Richmond community, to inspire Minoru Complex and Park users for the future.

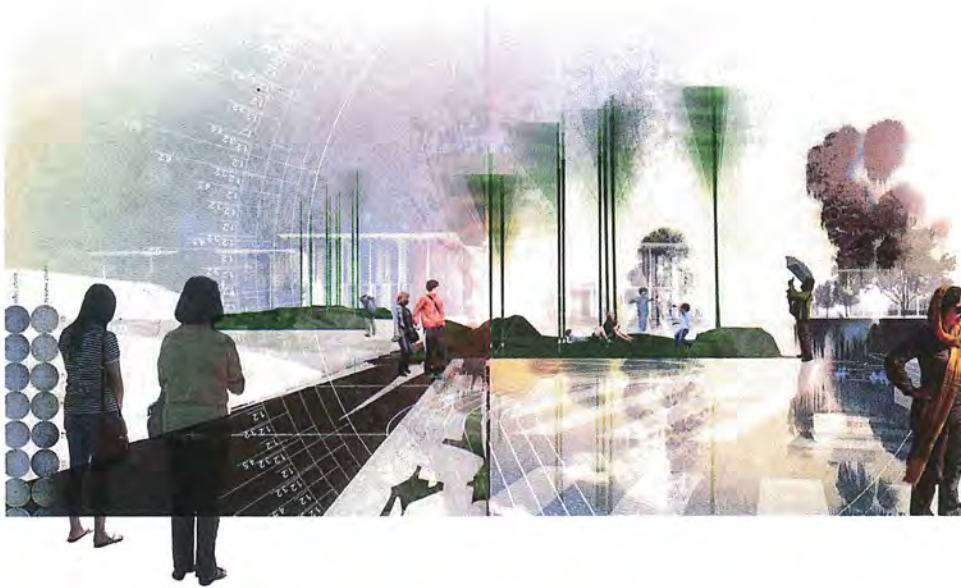
Staff recommend that Council endorse the proposed re-issue of the Artist Call for the Minoru Complex Entries and Arrivals Artwork based on the terms of reference as presented in this report.



Eric Fiss
Public Art Planner
(604-247-4612)

- Att. 1: Shortlisted finalists for the Minoru Complex Entries and Arrivals Artwork
- Att. 2: Proposed Location for Entries and Arrivals Artwork

MINORU COMPLEX ENTRIES AND ARRIVALS PUBLIC ART COMPETITION



SUBMISSION NO. 1

Archipelago

by Atelier Anonymous with Michael Seymour



'Archipelago' is a site-specific installation that uses regionally-relevant historical methods of shipbuilding to create flexible stalks. These stalks serve as armatures that claim wind and rain as materials from which a performative sculptural artwork responds to, and allows for, observation of natural processes in the landscape.



'Archipelago' creates a visual and auditory landmark that signals entry to the Minoru multi-purpose complex by reflecting Richmond's island landscape and archipelago of culturally diverse groups and historic townships. It functions as both artwork and gathering space combining an undulating surface planted with families of swaying fibreglass masts.

MINORU COMPLEX ENTRIES AND ARRIVALS PUBLIC ART COMPETITION

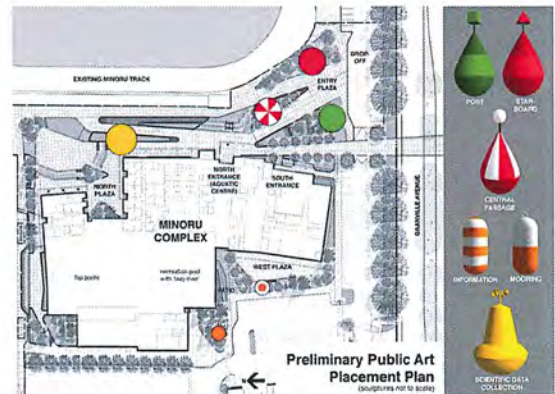


SUBMISSION NO. 2

Passage
by Rebecca Bayer



Passage draws inspiration from the bold and colourful forms of navigational buoys like those found in the waters surrounding the City of Richmond. Each day, vessels large and small navigate safely up and down the North and South Arms of the Fraser River, taking direction from brightly coloured markers moored in the water.



Passage recontextualizes these wayfinding devices as playful landmarks to guide people navigating around the Minoru Complex. The strong maritime aesthetic relates the aquatic activities inside the Minoru Complex to the close relationship that the Fraser River has with history and culture of the City of Richmond.

MINORU COMPLEX ENTRIES AND ARRIVALS PUBLIC ART COMPETITION



SUBMISSION NO. 3

Water Dragon

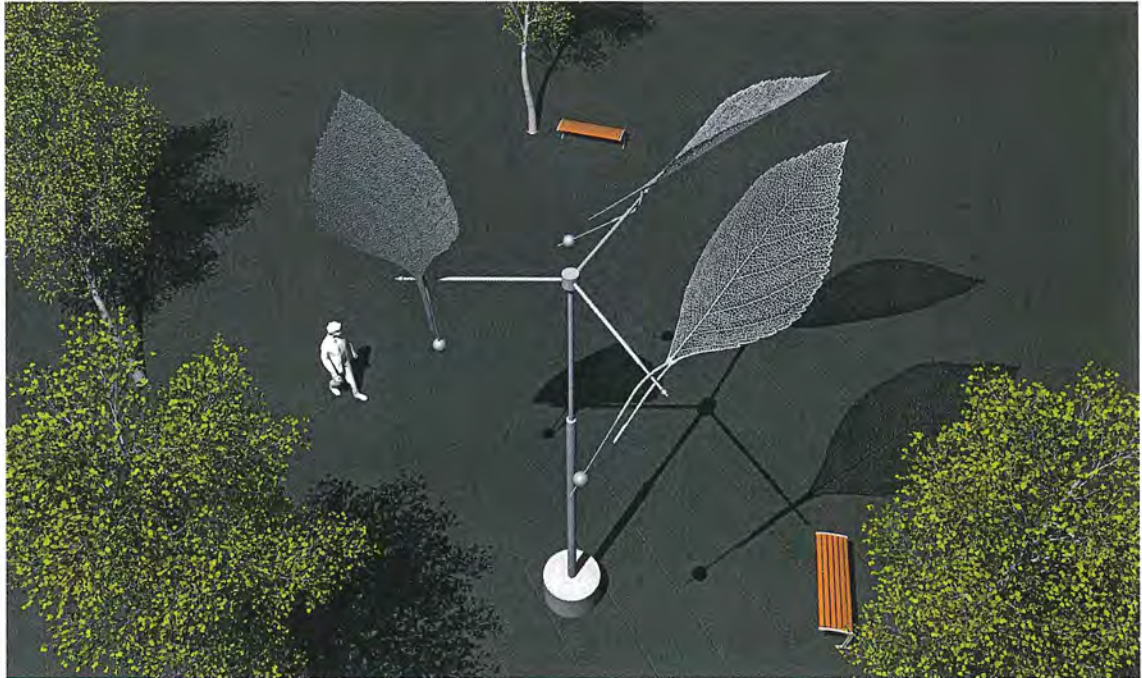
by Maki Schmok, Robert Schmok, and Ronald Simmer



This majestic *Water Dragon* acts as a welcoming sentinel to patrons of the Minoru Complex by projecting multicultural welcoming messages on the entrance way, as a way of offering friendly greetings in this enchanting vessel with mystical symbolic power balls and festive passengers aboard.

Water Dragons are known to symbolize power and majesty that provide a good omen of prosperity and good fortune for the people in their presence. Thus this prominent sculpture will become a hallmark symbol of success and good luck for Richmond.

MINORU COMPLEX ENTRIES AND ARRIVALS PUBLIC ART COMPETITION

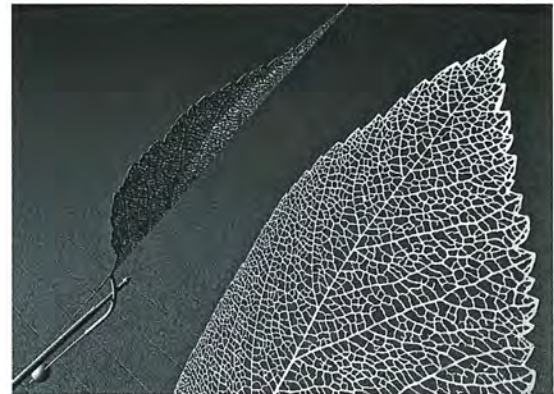


SUBMISSION NO. 4

Leaf Sails
by Doug Taylor



As metaphor, I chose to represent the vascular anatomy of the leaf for it's potency as a renewable energy system of incredible efficiency. Clearly the ability to photosynthesize water, sunlight and CO2 into stored carbon energy while expiring oxygen to balance the biosphere is a process that enables our survival. The leaf is a



biological converter of immense capacity. It feed us, it keeps us warm and puts gas in our tank!

These *Leaf Sails* catch the breeze and rotate the turbine. The counterweight spheres will contain mini generators activated by the playful swinging... the energy produced will be heard as bird song.

MINORU COMPLEX ENTRIES AND ARRIVALS PUBLIC ART COMPETITION



SUBMISSION NO. 5

Waves

by Marie Khouri + Charlotte Wall

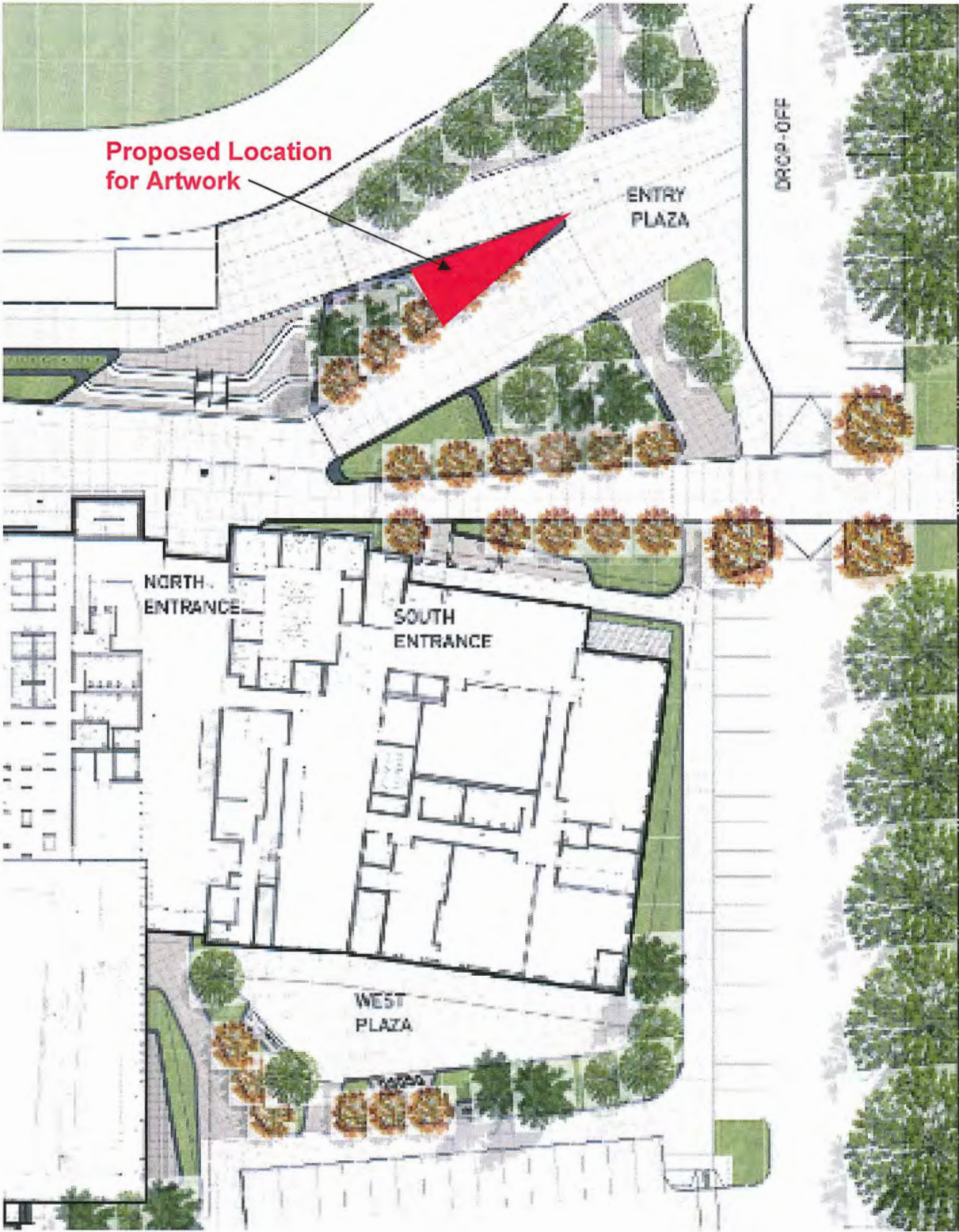


Waves focuses attention on the dramatic role water has in the past and still plays in the life of Richmond. It is an island where water surrounds and lies always close to the surface and its history of fisheries, canneries and agriculture has all depended on this



constant source of water. For the indigenous people the catching of fish was necessary for their livelihood and still the fishing vessels all around the island are a testament to that same industry.

Proposed Location for Entries and Arrivals Artwork





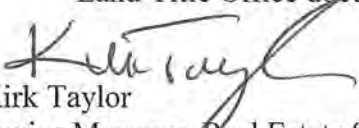
City of Richmond

Report to Committee




To: General Purposes Committee **Date:** April 12, 2017
From: Kirk Taylor **File:** 06-2285-30-197/Vol 01
Senior Manager, Real Estate Services
Re: **Registration of a Statutory Right of Way in favour of BC Hydro over City-owned Property at Minoru Complex (6500/6960 Gilbert Road, 7191/7251 Granville Avenue, 7551 Minoru Gate)**

Staff Recommendation

1. That staff be authorized to register a statutory right of way for utility purposes in favour of BC Hydro over a 96.0 m² portion of City-owned property at Minoru Complex (6500/6960 Gilbert Road, 7191/7251 Granville Avenue, 7551 Minoru Gate); and
2. That staff be authorized to take all necessary steps to complete the matter including authorizing the Chief Administrative Officer and the General Manager, Finance and Corporate Services to negotiate and execute all documentation to effect the transaction detailed in the staff report titled "Registration of a Statutory Right of Way in favour of BC Hydro over City-owned Property at Minoru Complex (6500/6960 Gilbert Road, 7191/7251 Granville Avenue, 7551 Minoru Gate)" dated April 12, 2017 including all contracts and Land Title Office documents.


Kirk Taylor
Senior Manager, Real Estate Services
(604-276-4212)

Att. 3

REPORT CONCURRENCE		
ROUTED TO:	CONCURRENCE	CONCURRENCE OF GENERAL MANAGER
Finance Department	<input checked="" type="checkbox"/>	
Parks Services	<input checked="" type="checkbox"/>	
Engineering	<input checked="" type="checkbox"/>	
Law	<input checked="" type="checkbox"/>	
REVIEWED BY STAFF REPORT / AGENDA REVIEW SUBCOMMITTEE	INITIALS: 	APPROVED BY CAO 

Staff Report

Origin

As part the British Columbia Hydro and Power Authority overall plan to decommission the Richmond Substation (a 12.5kV facility at 8511 Granville Avenue) and alternatively provide service to customers from the Kidd 2 Substation (a 25kV facility at 9980 River Drive), several properties, including City-owned, will require the installation of step down transformers and ancillary equipment (the “Works”) to continue to supply electrical services to affected properties.

A step down transformer will be required at City owned Minoru Park located at 6500/6960 Gilbert Road, 7191/7251 Granville Avenue, 7551 Minoru Gate (the “Property”) (Attachment 1) to maintain electrical service to both the Minoru Ice Arenas and the Minoru Library. The Works will also serve the apartment complex adjacent Minoru Park located at 6651 Minoru Boulevard. As a result, BC Hydro has requested that the City grant a statutory right of way (“SRW”) to legally protect BC Hydro’s Works in the Property. The SRW will also protect existing BC Hydro transformer equipment on the Property that serve Minoru Park facilities.

The purpose of this report is to obtain Council’s approval for a disposition of land being a SRW granted to BC Hydro over the Property.

This report supports Council’s 2014-2018 Term Goal #6 Quality Infrastructure Networks:

Continue diligence towards the development of infrastructure networks that are safe, sustainable, and address the challenges associated with aging systems, population growth, and environmental impact.

Analysis

In order for BC Hydro to have the legal right to maintain and protect the Works on the Property it will be necessary to register this SRW in favour of BC Hydro. The proposed SRW will be located over a 96.0 m² portion of the Property reviewed and agreed to by Engineering and Parks. The exact area has already been determined by a legal survey from BC Hydro (Attachment 2). The primary business terms and conditions of the SRW agreement are detailed in the attachments (Attachment 3).

BC Hydro has indicated that construction would begin shortly after receiving the registered SRW. The duration of civil works would be a couple of days, with electrical works taking place over a 1-2 day period with some coordination between the two. BC Hydro has assured staff that there will be very minimal construction affecting streets if any, and a small amount to the Property’s boulevard. Minoru Gate would be the only potential lane closure when finalizing the new civil works.

In order to complete the grant of the SRW to BC Hydro, Council’s approval is required. If the grant of the SRW is approved, then a notice of intent to dispose of the SRW will be advertised in accordance with the requirements of the *Community Charter*.

Financial Impact

BC Hydro will cover all costs associated with the Land Title Office registration of the SRW and the advertising cost in the local newspaper (approximately \$300.00) for the notice of intent to dispose of the SRW.

Conclusion

The installation of BC Hydro's step down transformer and ancillary equipment is required to maintain and continue electrical service to Minoru Park's facilities and the adjacent apartment complex. Authorization to register this SRW is required to legally protect BC Hydro's Works on the Property.

City staff recommend the granting of the SRW to BC Hydro on the Property and are therefore seeking Council's approval of this transaction.

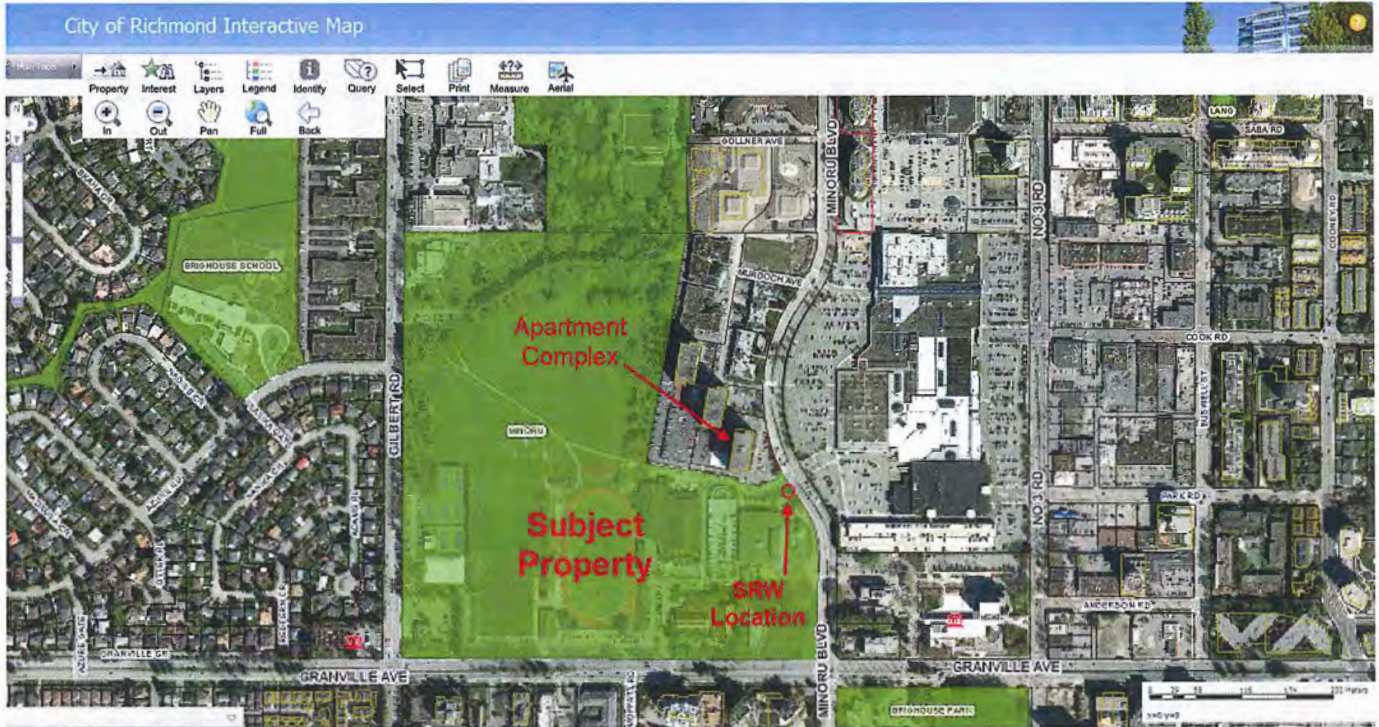


Ken Barlow
Manager, Property Services
(604-276-4376)

KB:kb

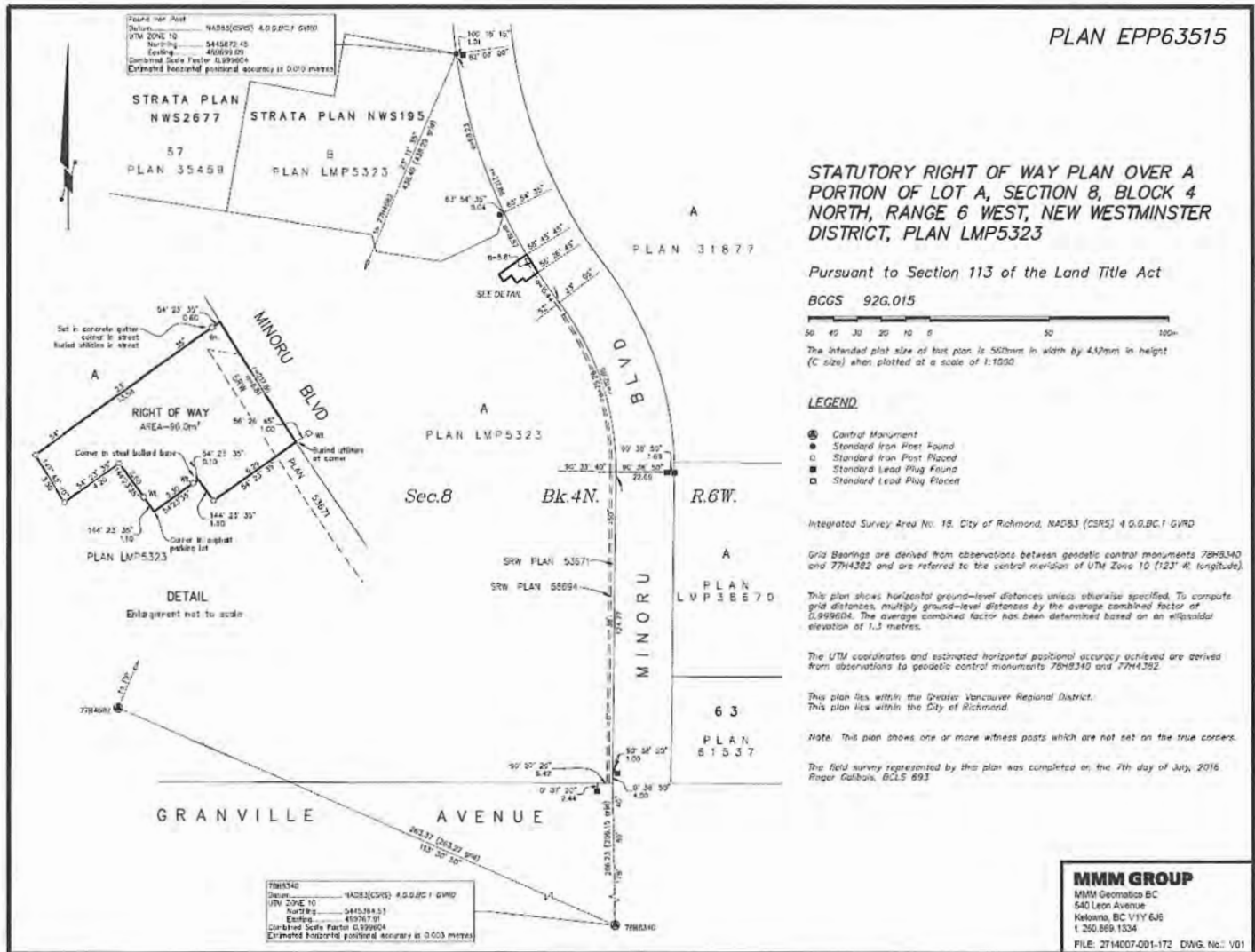
- Att. 1: Property Aerials
2: SRW Plan
3: Property and Transaction Summaries

Attachment 1 Property Aerials



Aerial Prepared by BC Hydro

Attachment 2 SRW Plan



Attachment 3

Property and Transaction Summaries

Property Description:

Property Address:	6500/6960 Gilbert Road, 7191/7251 Granville Avenue, 7551 Minoru Gate
P.I.D./Legal Description:	017-844-525 / Lot A Section 8 Block 4 North Range 6 West NWD Plan LMP5323
Total Area of Property:	±219,960 m ²
2017 Assessed Value (Land Only):	n/a

Transaction Details:

Permanent SRW:

Registered Owner of Charge:	British Columbia Hydro and Power Authority
Property Owner:	City of Richmond
Property Interest:	Statutory Right of Way
Use:	Transmitting and distributing electricity, and telecommunications purposes
Location of SRW:	Adjacent the Public Library at corner of Minoru Gate and Minoru Boulevard
SRW Area:	± 96.0 m ²
Indemnification and Release:	In favour of City
Consideration for SRW:	Nominal



City of Richmond

Report to Committee

To: Finance Committee
From: Andrew Nazareth
General Manager, Finance and Corporate
Services
Re: 2016 Consolidated Financial Statements

Date: April 19, 2017
File: 03-0905-01/2017-Vol
01



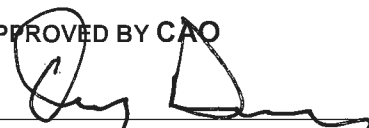
Staff Recommendation

That the City's audited consolidated financial statements for the year ended December 31, 2016 be approved.


for

Andrew Nazareth
General Manager, Finance and Corporate Services
(604-276-4095)

Att. 2

REPORT CONCURRENCE	
CONCURRENCE OF GENERAL MANAGER  for A. NAZARETH	
REVIEWED BY STAFF REPORT / AGENDA REVIEW SUBCOMMITTEE	INITIALS: 
APPROVED BY CAO 	

Staff Report

Origin

Section 167 of the Community Charter requires that annual audited financial statements be prepared and presented to Council. The City's audited consolidated financial statements for 2016 have been prepared in accordance with the generally accepted accounting principles for local governments, as prescribed by the Public Sector Accounting Board (PSAB) of the Chartered Professional Accountants of Canada.

The financial statements consist of:

- Consolidated statement of financial position – summary of financial assets and liabilities, net financial assets, non-financial assets and accumulated surplus at year end. The accumulated surplus can also be viewed as the net worth of the organization;
- Consolidated statement of operations – summary of the annual surplus for the year consisting of revenues from the operating and capital funds that were raised in the year and expenses reflecting how funds were used during the year including the annual costs for owning and using capital assets (amortization);
- Consolidated statement of changes in net financial assets – a reconciliation between the net revenues earned in the year to the change in net financial assets. This statement shows the net revenues, with a reversal of the non-cash accruals for amortization and sale of assets, less donated assets and the spending to acquire new capital assets in the year. The change in net financial assets is an indicator of whether revenues raised in the year were sufficient to cover the spending in the year; and
- Consolidated statement of cash flows – summary of how the City's cash position changed during the year, highlighting sources and uses of cash, including the use of cash to acquire capital assets.

Analysis

Financial statements present information about the financial position, performance and changes in the financial position of the City. The financial statements provide accountability by supplying information about the City's resources, obligations and financial affairs. They detail the financial viability, the nature and allocation of economic resources, the revenues and financing and the quality of financial management.

An analysis of the consolidated financial statements as prepared by management is provided in the Financial Statement Discussion and Analysis (FSD&A) included in Attachment 1. The FSD&A explains the significant differences in the financial statements between the reported year and the previous year as well as between budgeted and actual results. This analysis is intended to be read in conjunction with the 2016 audited consolidated financial statements.

The consolidated financial statements combine the accounts of the City of Richmond, Richmond Olympic Oval, Richmond Public Library and Lulu Island Energy Company Ltd. (LIEC). Further information about the basis of consolidation is listed in Note 2 to the consolidated financial statements. The consolidated financial statements are included in Attachment 2.

Financial Impact

2016 Consolidated Statement of Financial Position

The financial position of the City and its subsidiaries is strong as accumulated surplus increased in 2016 by \$105.5 million to \$2.8 billion. These figures reflect the cumulative balance of all previous activity as of the reporting date December 31, 2016.

Highlights of the 2016 consolidated statement of financial position:

- \$2.8B – Accumulated surplus (net worth)
 - \$2.2B – Net book value of tangible capital assets
 - \$471.8M – Reserve balance, including \$187.2M committed towards active capital projects
 - \$201.0M – Appropriated surplus for future commitments
 - \$18.0M – Surplus
- \$662.8M – Net financial assets
 - \$997.0M – Cash and investments
 - (\$117.6M) – Development cost charge balance, including \$37.6M committed towards active capital projects
 - (\$72.8M) – Deposits and holdbacks
 - (\$66.3M) – Deferred revenue
 - (\$42.2M) – Net debt

2016 Consolidated Statement of Operations

The consolidated revenues exceeded expenses by \$105.5 million. These figures represent the activity during 2016 from January 1 to December 31.

Highlights of the 2016 consolidated statement of operations:

- \$105.5 million – Annual surplus (the increase in net worth which includes the increase in capital equity, reserves, appropriated surplus and surplus). The 2016 annual surplus is comprised of:
 - \$87.3M increase in investment in capital assets
 - \$10.7M increase in the reserve balance
 - \$5.9M increase in appropriated surplus for future commitments
 - \$1.5M net increase in surplus and other, inclusive of an increase of \$7.0M for the City's 2016 operating surplus
- \$484.9 million total revenues
 - \$198.6M taxation and levies
 - \$97.8M utility fees
 - \$38.2M sales of services
 - \$24.4M contributed assets through development
- \$379.4 million total expenses
 - \$152.3 million wages and benefits
 - \$63.6 million contract services, including RCMP
 - \$60.2 million supplies, materials and other
 - \$55.9 million amortization expense

Conclusion

The financial statements are legislated reporting requirements and staff recommend that they be approved. As noted in the Auditors' Report, it is the Auditors' opinion that these consolidated financial statements present fairly the consolidated financial position as of December 31, 2016, and its consolidated results of operations and changes in net consolidated financial assets and its consolidated cash flows for the year then ended in accordance with Canadian public sector accounting standards.



Cindy Gilfillan, CPA, CMA
Manager, Financial Reporting
(604-276-4077)

- Att. 1: 2016 Financial Statement Discussion and Analysis
2: 2016 City of Richmond Consolidated Financial Statements



2016 | City of Richmond

FINANCIAL STATEMENT DISCUSSION & ANALYSIS



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Introduction

The Community Charter requires that annual audited financial statements be prepared and presented to Council. The City's audited consolidated financial statements for the year ended December 31, 2016 have been prepared in accordance with the generally accepted accounting principles for local governments, as prescribed by the Public Sector Accounting Board (PSAB) of the Canadian Institute of Chartered Accountants.

The Financial Statement Discussion and Analysis (FSD&A) provides a detailed analysis of the Consolidated Financial Statements. The FSD&A explains the significant differences in the financial statements between the reported year and the previous year as well as between budgeted and actual results. This analysis has been prepared by management and is intended to be read in conjunction with the 2016 audited consolidated financial statements.

The consolidated financial statements combine the accounts of the City of Richmond, Richmond Olympic Oval (Oval), Richmond Public Library (Library) and Lulu Island Energy Company Ltd. (LIEC). All future references to the "City" reflect the financial results for all entities. Further information about the basis of consolidation is listed in Note 2 to the Consolidated Financial Statements.

The consolidated financial statements include the following statements:

- **Consolidated statement of financial position** summarizes the assets (financial and non-financial), liabilities, net debt, and accumulated surplus as at December 31st, 2016 and 2015.
- **Consolidated statement of operations** outlines revenues, expenses, surplus for the year and accumulated surplus at year end. This statement reflects the combined operations of the operating capital, and reserve funds for the City and its consolidated entities, and provides the calculation of the City's accumulated surplus at year end.
- **Consolidated statement of changes in net financial assets** outlines the changes in net financial assets as a result of annual operations, tangible capital asset transactions, as well as changes in other non-financial assets.
- **Consolidated statement of cash flows** summarizes the City's cash position and changes during the year by outlining the City's sources and uses of cash.

Consolidated Statement of Financial Position

CNCL - 204

The Consolidated Statement of Financial Position is the equivalent of the private sector's balance sheet. This statement focuses on the City's assets (financial and non-financial) and liabilities. The difference between the financial assets and liabilities is the City's net financial assets, which represents the amount available in the future.

The City maintained its strong financial position in 2016 allowing for flexibility and financial sustainability well into the future.

- Financial Assets increased by \$40.9M to \$1.1B
- Liabilities increased by \$42.1M to \$395.6M
- Net financial assets decreased by \$0.1M to \$662.7M
- Non-financial assets increased by \$106.7M to \$2.2B
- Accumulated surplus increased by \$105.5M to \$2.8B

The accumulated surplus includes investment in tangible capital assets, reserves, appropriated surplus, surplus and other equity. The change in accumulated surplus is referred to as annual surplus and is included on the Statement of Operations.

Financial Assets

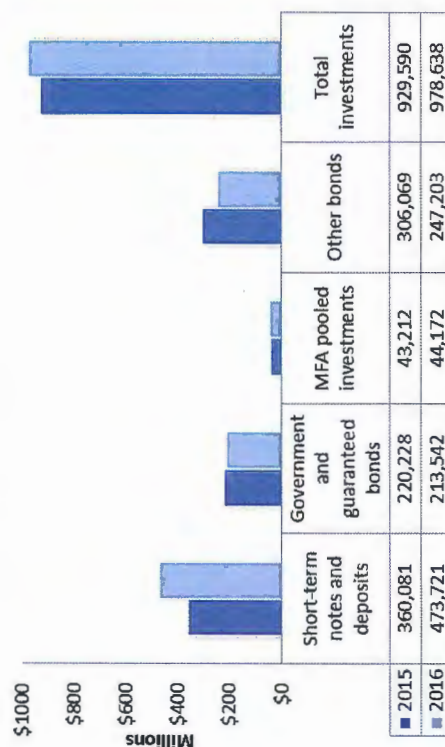
Cash and cash equivalents

Cash and cash equivalents decreased by \$3.5M to \$18.3M mainly due to timing of cash out of the investment portfolio.

Investments

Investments increased by \$49.0M to \$978.6M primarily due to the timing of capital expenditures. The increase is mainly attributed to an increase in deferred revenue of \$17.6M and an increase in deposit and holdbacks of \$13.9M.

Investment Portfolio by Type (\$000's)



Accrued interest receivable

Accrued interest receivable increased by \$0.7M due to the increased investment balance and timing of the investments.

Accounts receivable

Accounts receivable decreased by \$2.4M to \$27.8M primarily due to collections of other trade receivables of \$3.0M in 2016. The decrease was offset by a net increase in water and utilities receivables.

Accounts Receivable (\$000's)	2016	2015	Change
Water and sewer utilities	\$12,541	\$11,381	\$1,160
Casino revenues	3,951	4,532	(581)
Gaming grant	2,345	2,482	(137)
Other trade receivables	8,929	11,767	(2,838)
Total	\$27,766	\$30,162	(\$2,396)

Taxes receivable

Taxes receivable increased by \$1.4M to \$9.4M due to increased utility rates and timing of collections.

Development fees receivable

Development fees receivable decreased by \$4.4M to \$16.7M due to development cost charges being paid in instalments at the originating date, one year after the originating date, and final installment at the two year anniversary date. There has also been a decrease in use of letter of credits.

Debt reserve fund

The debt reserve fund balance did not change from 2015 as the City did not receive payments from the Municipal Finance Authority (MFA) in 2016.

Liabilities

Accounts payable and accrued liabilities

Accounts payable and accrued liabilities increased by \$9.0M to \$96.7M. The increase is attributable to payroll accruals and increased capital project activity such as the Minoru Aquatic Facility, Firehall No.1, and No.2 Road Pump Station.

Development cost charges

The development cost charge (DCC) balance of \$117.6M (2015 - \$111.6M) represents the total balance of unspent DCC's and includes amounts that have been allocated to capital projects but remain unspent as at December 31st, 2016. These amounts are restricted and may only be used on authorized capital expenditures.

Net contributions of \$20.9M and earned interest of \$1.8M were received in 2016. Balance was offset by \$16.6M for capital projects funded by DCC in the year.

Development Cost Charges (\$000's)	2016	2015	Change
Balance, beginning of year	\$111,591	\$82,965	\$28,626
Contributions	20,886	44,934	(24,048)
Interest	1,752	1,510	242
Revenue recognized	(16,632)	(17,818)	1,186
Balance, end of year	\$117,597	\$111,591	\$6,006

The \$117.6M balance includes amounts that have been allocated to active capital projects but that remain unspent. At December 31st, 2016 there is \$37.6M (2015 - \$30.9M)

committed to active capital projects. Additional DCC funding of \$18.9M was approved as part of the 2017 Capital Budget.

Deposits and holdbacks

Deposits and holdbacks increased by \$13.9M to \$72.8M primarily due to security deposits increasing by \$10.6M. City capital construction resulted in a \$3.0M increase in contract holdbacks. The remaining increase is from other deposits relating to general activities.

Deposits and Holdbacks (\$000's)	2016	2015	Change
Security deposits	\$50,970	\$40,326	\$10,644
Developer contribution	5,643	5,546	97
Contract holdbacks	5,764	2,809	2,955
Transit Oriented Development Fund	1,057	1,523	(466)
Other	9,362	8,692	670
Total deposits and holdbacks	\$72,796	\$58,896	\$13,900

Deferred revenue

Deferred revenues are funds that are set aside for specific purposes by legislation, regulation or agreement, and may only be used for the completion of the specified work. These amounts are recognized as liabilities in the year the funds are deposited and recognized into revenue in the fiscal year the related expenditures are incurred or services are performed.

Deferred revenues increased by \$17.6M mainly due to a grant received for \$16.6M from the BC Ministry of Transportation

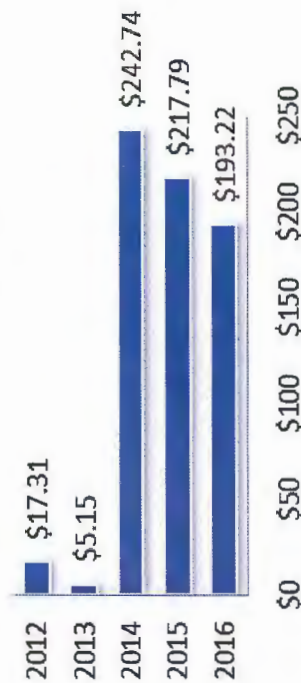
for the 2016 Flood Protection Program. The remaining balance relates to offsetting activity in capital, Oval, business licences, and other revenues.

Debt, net of MFA sinking fund deposits

Debt decreased by \$4.4M to \$42.2M as a result of a repayment made in 2016 towards the borrowing for the construction of the integrated older adult Minoru aquatic facility. The debt has a 10 year term and was entered in 2014 at a rate of 3.30% for the duration of the term.

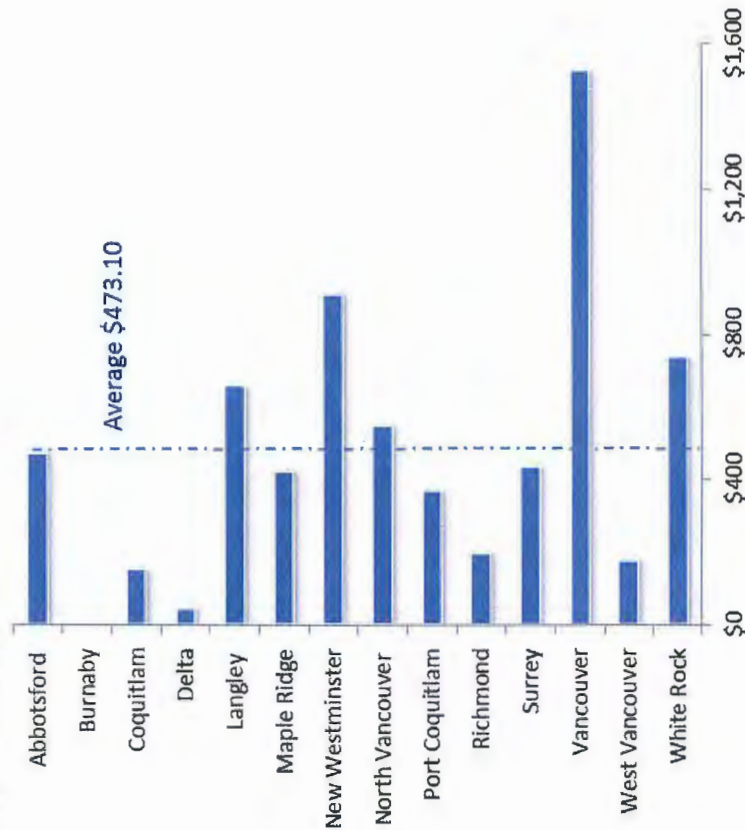
The debt per capita decreased to \$193.22 per person in 2016 from \$217.79 as of December 31, 2015. The decrease in debt per capita is the result of principal payments and increase in population.

City of Richmond Debt Per Capita 2012-2016



Richmond's 2016 debt per capita figure of \$193.22 is well below the 2015 regional average of \$473.10. The 2015 values for the other municipalities are the most current figures available.

Debt Per Capita by City



- Source data obtained from the Ministry of Community Sport & Cultural Development - 2015 Local Government Statistics.
- Richmond figure adjusted to reflect 2016 net debt balance. The 2016 population statistics used are obtained from Policy Planning.

Non-Financial Assets

Tangible Capital Assets

Tangible capital assets (TCA) are recorded at original cost and are amortized over their useful life. The net book value (original cost less accumulated amortization) is presented.

TCA increased by \$105.4M to \$2.2B. The change is a result of \$164.2M of asset additions, less net disposal of \$2.9M and amortization of \$55.9M.

Tangible Capital Assets (\$000's)	2016	2015	Change
Land	\$845,905	\$803,645	\$42,260
Buildings and building improvements	229,239	233,140	(3,901)
Infrastructure	930,112	916,089	14,023
Vehicles, machinery and equipment	44,073	43,315	758
Library's collections, furniture and equipment	3,494	4,339	(845)
Assets under construction	115,436	62,367	53,069
Total	2,168,259	\$2,062,895	\$105,364

Land increased by \$42.3M mainly due to \$44.0M of land acquired during the year which included \$30.6M for 7080 River Road (net of \$6.5M building) acquired through a cash payment of \$22.5M and land exchanges, and land received through development valued at \$7.1M.

Buildings decreased by \$3.9M due mainly to \$14.2M for amortization expense offset by additions of \$10.3M including

\$6.5M for 7080 River Road and \$1.2M for Richmond Gymnastics.

Infrastructure increased by \$14.0M due to additions of \$48.2M including contributed assets of \$17.3M received through development, and offset by \$33.2M of amortization expense and net disposals of \$1.0M.

Machinery and equipment increased by \$0.8M due to additions of \$8.3M, including \$2.3M for garbage collection carts, and offset by \$7.5M of amortization expenses.

Library's collections, furniture and equipment decreased by \$0.8M as a result of certain electronic media subscriptions that were previously recorded as tangible capital assets but should have been expensed. The reclassification is not material upon consolidation and is fully reflected in 2016.

Assets under construction increased by \$53.1M including \$34.8M from Minoru Complex and Fire Hall 3, due to the timing of project completion.

Inventory of materials and supplies

Inventory increased by \$0.8M due to bulk purchases made during the year.

Prepaid expenses

Prepaid expenses increased by \$0.6M due to the timing of utilization of expenses.

Accumulated Surplus

Accumulated surplus is equivalent to the net worth of an organization. The accumulated surplus increased by \$105.5M to \$2.8B. The annual increase is presented on the Consolidated Statement of Operations.

Accumulated Surplus (\$'000's)	2016	2015	Change
Investment in TCA	\$2,142,824	\$2,055,479	\$87,345
Reserves	471,846	461,178	10,668
Appropriated Surplus	200,966	195,050	5,916
Surplus	18,001	17,265	736
Other equity	3,024	2,222	802
Total	\$2,836,661	\$2,731,194	\$105,467

Investment in TCA

Investment in TCA represents the equity held in assets. This balance is equal to the net book value of tangible capital assets less any outstanding debt relating to capital, restricted capital deferred revenue (for Oval) and concession liability.

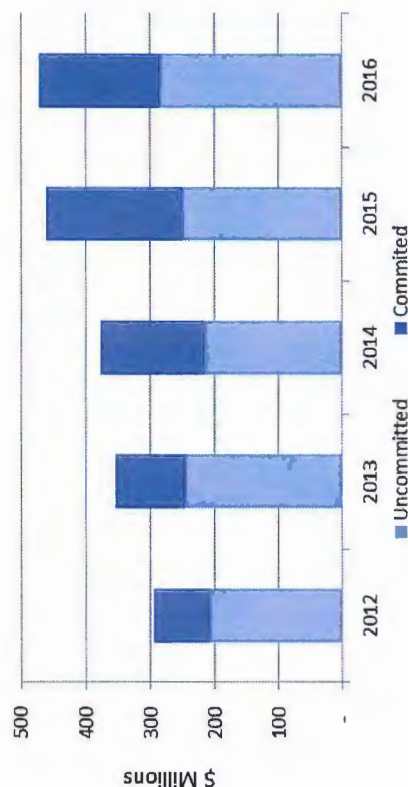
This balance is based on the historical cost of the asset net of accumulated amortization in accordance with accounting standards. This does not reflect market value or replacement value of the assets.

The investment in TCA balance increased by \$87.3M. This is the net activity of asset additions, amortization, disposals and debt reduction.

Reserves

Reserves are established by Bylaw for specific purposes, mainly capital expenditures. The balance of \$471.8M includes amounts that have been approved for expenditure but remain unspent as at December 31st as prescribed by accounting standards. The uncommitted reserve balance is \$284.6M (2015 - \$250.5M).

Reserve Balance 2012-2016



The increase in the reserve balance is mainly attributable to the timing of capital expenditures. There are several facility construction projects approved including the Minoru Complex and Fire Hall 3 that have reserve funds allocated towards the project but have not been spent as of the reporting date December 31, 2016.

From the available \$284.6M at December 31, 2016, \$66.0M has been approved for the City's 2017 Capital Budget.

Accumulated Surplus

Appropriated Surplus

Appropriated surplus is internally restricted for future commitments and potential liabilities. The balance increased by \$5.9M to \$201.0M as a result of a various transfers, including the transfer during 2016 of the 2015 general operating surplus to the rate stabilization account of \$8.7M offset by \$1.4M for RCMP wage settlement accrual and \$1.1M for General Solid Waste funding.

Surplus

The consolidated surplus increased by \$0.7M to \$18.0M. The increase is attributed to:

- \$7.0M City's 2016 operating surplus
- \$2.1M internal repayments from previously funded capital projects
- (\$8.7M) transfer of the City's 2015 operating surplus to the rate stabilization account

Other Equity

Other equity relates to equity in the City's inventory. The balance increased to \$3.0M in 2016.



Consolidated Statement of Operations

CNCL - 211

The Consolidated Statement of Operations is the equivalent to the private sector's Income Statement and Statement of Retained Earnings. The Consolidated Statement of Operations provides a summary of the revenues, expenses, and surplus throughout the reporting period and outlines the change in accumulated surplus.

The 2016 budget values presented in this statement have been adjusted to reflect the differences between amounts as budgeted at the City on a modified 'cash requirement' basis and amounts recorded in these financial statements on a 'full accrual' basis.

Note 23 outlines the adjustments to the approved budget, particularly the exclusion of principal payments, transfers to reserves and other funds, and tangible capital asset acquisitions. These adjustments to budgeted values were required to provide comparative budget values based on the full accrual basis of accounting. As the accrual based budget does not include transfers to reserves, investment in assets and other items, the budget presented on the financial statements can show a surplus or deficit while the budget as approved by Council is a balanced budget.

Revenues

2016 Budget to Actual Comparison

Total consolidated revenues were \$484.9M compared to the budgeted revenues of \$499.0M.

Revenues (\$000's)	2016 Budget	2016 Actual	Variance
Taxation and levies	\$197,965	\$198,612	\$647
Utility fees	98,773	97,819	(954)
Sales of services	33,692	38,231	4,539
Payments-in-lieu of taxes	13,473	14,770	1,297
Provincial and federal grants	7,376	9,101	1,725
Development cost charges	26,875	16,632	(10,243)
Other capital funding sources	69,115	26,601	(42,514)
Investment income	14,694	17,614	2,920
Gaming revenue	18,088	17,559	(529)
Licences and permits	9,184	12,422	3,238
Other	9,799	35,543	25,744
Total	\$499,034	\$484,904	(\$14,130)

Taxation and levies had a favourable variance of \$0.6M due to supplemental adjustments to the assessment roll by BC Assessment.

Utility fees decreased by \$1.0M due to lower than budgeted revenues from water billing and garbage utilities.

Sales of service had a favourable variance mainly due to increased Public Works receivable activity, rental and lease revenue, admissions and program revenue.

Payments in lieu of taxes had a favourable variance due to conservative estimates.

Provincial and federal grants were favourable by \$1.7M mainly due to traffic fine sharing revenue, gas and carbon tax.

Development cost charges had an unfavourable variance of \$10.2M due to the timing of capital expenditures. DCC revenue is recognized when the amounts are spent, while the budget represents the 2016 allocation of DCC's towards capital projects that can be spent over multiple years.

The other capital funding variance is the result of lower than anticipated amounts relating to contributed assets received through development at \$24.4M (2015 - \$61.8M) along with external grants for capital projects.

Investment income had a favourable variance due to use of a higher yield investment strategy and timing of capital expenditures that resulted in a higher than expected investment balance throughout the year.

Gaming revenue is under budget by \$0.5M which reduced the transfer to the capital building infrastructure reserve based on the allocation model approved by Council on March 23, 2015.

Licences and permits had a favourable variance of \$3.2M mainly due to building permits, other permits and business licences.

Other revenue had a favourable variance of \$25.7M due to \$10.1M of developer community amenity contributions received in 2016 and \$13.9M gain on the disposal of land that are not budgeted.



Revenues

2016 to 2015 Actual Comparison

Total 2016 consolidated revenues were \$484.9M compared to \$527.1M in 2015.

Revenues (\$000's)	2016 Actual	2015 Actual	Change
Taxation and levies	\$198,612	\$189,136	\$9,476
Utility fees	97,819	94,290	3,529
Sales of services	38,231	34,186	4,045
Payments-in-lieu of taxes	14,770	15,109	(339)
Provincial and federal grants	9,101	8,654	447
Development cost charges	16,632	17,818	(1,186)
Other capital funding sources	26,601	72,575	(45,974)
Investment income	17,614	16,303	1,311
Gaming revenue	17,559	19,555	(1,996)
Licences and permits	12,422	10,747	1,675
Other	35,543	48,755	(13,212)
Total	\$484,904	\$527,128	(\$42,224)

Taxation and levies increased by \$9.5M due to the 3.11% tax rate increase and assessment growth offset by appeals.

Utility fees increased by \$3.5M due to the Council approved rate increases, consumption activity and increased recycling activity.

Sales of services increased by \$4.0M mainly due to receivable income.

Payments-in-lieu of taxes and provincial and federal grants are consistent with 2015.

Development cost charges decreased by \$1.2M due to timing of capital expenditures. DCC revenue is recognized when the amounts are spent.

Other capital funding sources decreased by \$46.0M due to the timing of developer contributed assets. 2015 included \$50.6M of dedicated land and road while \$7.1M was received in 2016.

Investment income increased by \$1.3M due to the higher average investment balance throughout the year and improved yield on investments.

Gaming revenue for the City decreased by \$2.0M due to decreased revenues at River Rock Casino.

Licences and permits increased by \$1.7M mainly due to increase in building permit revenue.

Other revenue decreased by \$13.2M mainly due to \$19.6M decrease in developer community amenity contributions.

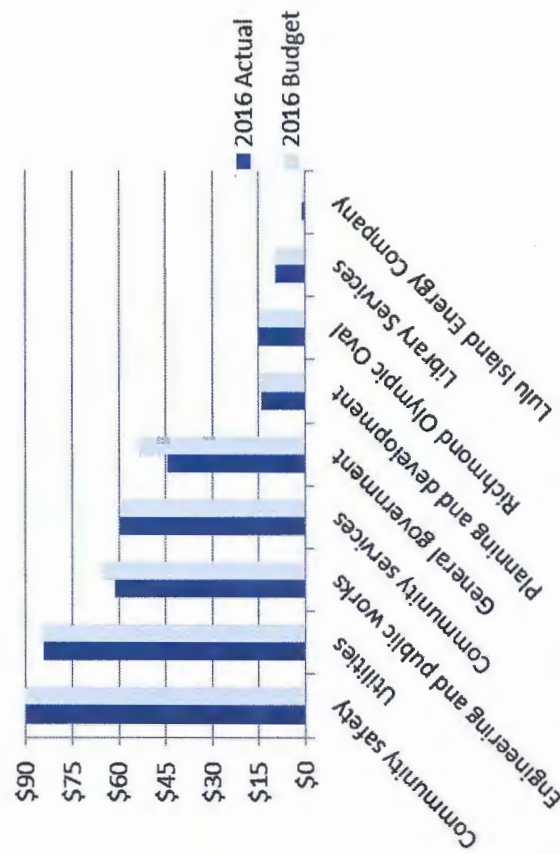
Expenses

2016 Budget to Actual Comparison

Total consolidated expenses were \$379.4M compared to the budget of \$396.7M.

Included in the \$379.4M actual expenses are \$9.4M of expenses that were budgeted in the Capital Budget that did not meet the capitalization eligibility criteria. This amount does not impact the operating surplus.

2016 Expenses by Function



The following comparisons are before transfers to provisions and/or reserves.

Law and community safety had a favourable variance of \$3.6M mainly due to RCMP contract savings from lower than budgeted complement and indirect costs.

Utilities had a favourable variance of \$1.0M due mainly to savings in water purchase costs.

Engineering and public works had a favourable variance of \$4.4M mainly due to timing of programs scheduled to be completed in 2017.

Community services was consistent with budget for the year.

General government had a favourable variance of \$9.1M mainly due to vacancies and lower than budgeted professional services expenses.

Planning and development was consistent with budget for the year.

Richmond Olympic Oval had an unfavourable variance of \$0.2M mainly due to amortization and salaries.

Library services was consistent with budget.

Lulu Island Energy Company was consistent with budget.

Expenses

2016 to 2015 Actual Comparison

Total 2016 consolidated expenses were \$379.4M compared to \$373.6M in 2015.

Expenses (\$000's)	2016 Actual	2015 Actual	Change
Law and Community Safety	\$89,752	\$85,386	\$4,366
Utilities: water, sewer and sanitation	84,183	83,650	533
Engineering, public works and project development	61,243	56,294	4,949
Community services	59,592	68,246	(8,654)
General government	44,583	43,438	1,145
Planning and Development	14,233	13,211	1,022
Richmond Olympic Oval	15,120	13,395	1,725
Library services	9,788	9,513	325
Lulu Island Energy Company	943	491	452
Total	\$379,437	\$373,574	\$5,863

Law and community safety expenses increased by \$4.4M due to the increase in the RCMP contract and to the accrual of the RCMP wage settlement for 2015 and 2016.

Utilities expenses increased by \$0.5M mainly due increase in contract costs related to recycling and organics operations.

Engineering, public works and project development increase of \$4.9M is mainly due to increased activities in roads and facilities.

Community services decreased by \$8.7M due to one-time affordable housing contributions during 2015.

General government expenses increased by \$1.1M mainly due to filling of vacancies compared to prior year.

Planning and development costs increased by \$1.0M mainly due to filling of vacancies and traffic signals maintenance completed in 2016.

The expenses for the Oval increased by \$1.7M due to the costs required to service several new initiatives which had their first full year of operations in 2016, the increase in amortization expense due to the first full year of amortization for large capital projects, and to meet the growth in the Oval's memberships, admissions, and program revenue.

Library services increased by \$0.3M due to subscription expenses related to e-books and the reclassification from tangible capital assets.

LIEC increased by \$0.5M due to amortization, and electrical and natural gas expenses.

Expenses

Expenses by Object

Expenses (\$000's)	2016 Actual	2015 Actual	Change
Wages and salaries	\$152,286	\$147,996	\$4,290
Public works maintenance	14,368	15,294	(926)
Contract services	63,583	59,073	4,510
Supplies and Materials	60,227	55,750	4,477
Interest and finance	22,602	21,391	1,211
Transfer from (to) capital for tangible capital assets	9,417	19,349	(9,932)
Amortization of tangible capital assets	55,933	53,966	1,967
Loss on disposal of tangible capital assets	1,021	755	266
Total	\$379,437	\$373,574	\$5,863

Wages and salaries increased by \$4.3M due to filling vacancies and other collective agreement increases.

Public works maintenance decreased by \$0.9M due to timing of programs scheduled to be completed in 2017.

Contract services increased by \$4.5M mainly due to the RCMP contract services and IT infrastructure maintenance contracts.

Supplies and materials increased by \$4.5M mainly due to increase in water and equipment purchases.

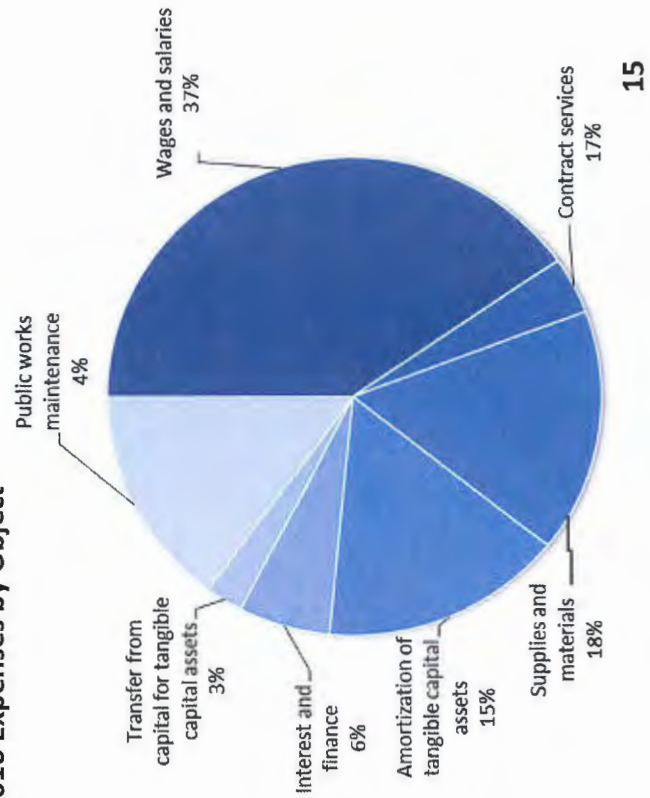
Interest and finance increased by \$1.2M due to increased debt payment to the Greater Vancouver Sewage and Drainage District Sewage Usage.

Transfer from (to) capital for tangible capital assets decreased by \$9.9M mainly due to the Kiwanis and Storeys affordable housing contributions made in 2015.

Amortization of tangible capital assets increased by \$2.0M due to new asset additions.

Loss on the disposal of tangible capital assets increased by less than \$0.3M.

2016 Expenses by Object



Annual Surplus

The 2016 consolidated annual surplus of \$105.5M is calculated as the difference between revenues and expenses. The annual surplus is reflected in the year over year change in the accumulated surplus on the Statement of Financial Position.

The City's 2016 operating surplus of \$7.0M is one component of the 2016 annual surplus of \$105.5M. The remaining portion of the annual surplus relates to transactions that impact the capital equity, reserves, appropriated surplus and other accumulated surplus items.

Annual Surplus Distribution

The largest driver of the \$105.5M annual surplus is the change in investment in capital assets of \$87.3M. This amount is the net activity of asset additions \$164.2M offset by amortization expense of \$55.9M, disposals and debt reduction.

Appropriated surplus increased by \$5.9M relating to future commitments and potential liabilities.

Reserves increased by \$10.7M due to the timing of capital expenditures. Included in the total reserve balance is \$187.2M committed towards active capital projects.

Surplus increased by \$0.7M due to allocation towards capital projects.

Other surplus increased by \$0.8M relating to increased inventory.



Consolidated Statement of Changes in Net Financial Assets

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The Consolidated Statement of Net Assets is unique to governments. This statement focuses on the net assets of the City, adjusting the annual surplus for the impact of tangible capital assets: mainly deducting the costs to acquire assets, and adding back amortization charged during the year.

An important measure of any government's financial condition is its net financial assets: calculated as financial assets (e.g. cash, receivables, and investments) less liabilities (e.g. trade and employment payables, deposits and debt).

The City's net financial assets as at December 31, 2016 decreased by \$1.3M to \$662.7M (2015 - \$664.0M).

Consolidated Statement of Cash Flows

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The Consolidated Statement of Cash Flows is a summary of how the City's cash position changed during the year, highlighting sources and uses of cash, including the use of cash to acquire capital assets.

The City's cash and cash equivalents decreased by \$3.5M to \$18.3M while investments increased by \$49.0M to \$978.6M. The increase in investments largely reflects the increases in liabilities.

In 2016, cash provided by operating activities was \$174.0M, compared to \$170.2M in 2015.

Cash used in capital activities was \$124.0M, compared to \$79.3M in 2015.

Cash used in investing activities was \$49.0M, compared to \$95.6M in 2015.

Cash used in financing activities was \$4.4M, compared to cash to \$4.2M in 2015, and was used to pay down MFA debentures.

Ratio Analysis

The Public Sector Accounting Board (PSAB) encourages the Government sector to conduct ratio analysis as per the Statement of Recommended Practice (SORP) 4: Indicators of Financial Condition. The analysis enables the readers of financial reports to use the indicators to assess the City's ability to respond to changes in the economic climate. It also allows them to interpret the financial reports and assess the quality of financial management.

Based on best practice, the conducted analysis addresses the following three key areas:

- **Assessment of sustainability** measures and demonstrates the ability of a government entity to carry out its service commitments, settles financial commitments to creditors, employees and others without increasing the debt or tax burden in the economy that it operates.
- **Assessment of flexibility** measures and demonstrates the degree to which a government entity can change the level of debt and tax burden in order to meet its service commitments or settle financial commitments.
- **Assessment of vulnerability** measures and demonstrates the degree by which a government entity is dependent on sources of funding outside its control or influence or is exposed to risk that could impair its ability to meet its service and financial commitments.

The following table presents the ratio analysis for the three-year period 2014-2016:

Sustainability ratios:	2016	2015	2014
Assets to liabilities (times)	8.2	8.7	8.8
Financial assets to liabilities (times)	2.7	2.9	2.8
Net debt to total revenues	8.7%	8.8%	10.2%
Net debt to the total assessment	0.1%	0.1%	0.1%
Expenses to the total assessment	0.6%	0.6%	0.6%
Flexibility ratios:	2016	2015	2014
Debt charges to revenues	0.3%	0.3%	0.3%
Net book value of capital assets to cost	68.6%	68.7%	68.7%
Net book value of capital assets (excluding land) to cost	57.1%	57.2%	57.7%
Own source revenue to the assessment	0.7%	0.7%	0.8%
Vulnerability ratios:	2016	2015	2014
Government transfers to total revenues	5.5%	5.4%	5.8%
Government transfers (excluding gaming revenue) to total revenues	1.9%	1.6%	1.5%

An explanation of each of the ratios is provided below.

Assessment of sustainability

- Assets to liabilities, indicates sustainability by the extent to which the government entity finances its

operations by issuing debt. A higher ratio indicates a greater ability to cover liabilities.

- Financial assets to liabilities, indicates sustainability by the degree that future revenues are required to pay for past transactions and events. A higher ratio indicates a greater ability to cover liabilities.
- Net debt to total revenue, indicates the financial burden over the earning capacity and also indicates how future revenues will be needed for financing of past transactions and events. A lower percentage indicates a lesser reliance on future revenues to finance existing debt.
- Net debt to total assessment, indicates the relationship between the level of debt and the state of the local economy. A lower percentage indicates a lesser reliance on the current assessment base to finance existing debt.
- Expenses to total assessment, indicates the trend of the government spending in connection to the state of the local economy. A lower percentage indicates a lesser reliance on the current assessment base to finance existing expenses.

Assessment of flexibility

- Debt charges to revenues, indicates the extent to which past borrowing decisions present a constraint on a government's ability to meet its financial commitments. A lower ratio indicates a lesser reliance on existing revenues to finance debt charges.
- Net book value of capital assets to cost, indicates the estimated useful life of the capital assets to provide services. A higher ratio indicates a newer asset inventory.
- Net book value of capital assets (excluding land) to cost, indicates the estimated useful life remaining of depreciable capital assets. Land is not a depreciable asset and its inclusion can distort the net book value to cost ratio. A higher ratio indicates a newer asset inventory.
- Own source revenue to assessment, indicates the degree to which represents the percentage of taxes taken from its own tax base. A lower ratio indicates a lesser proportion of existing revenues from own sources on the current assessment base.

Assessment of vulnerability

- Government transfers to total revenue, indicates the degree to which the local government is dependent on provincial or federal grants. A higher ratio indicates a higher proportion of grants.



The City provides a wide array of services to residents, businesses and visitors. The Council Term Goals help guide the development and implementation of the City's work programs and operations.

The following section highlights:

- Council Term Goals
- Environment
 - Business Licences
 - Housing Activity
 - Population
- City Services

Term Goals

Council decisions guide and influence the City's social and physical development, the quality of life and lifestyle choices available to residents, the relative safety and protection of residents and businesses, and the role the City plays within the region. To help Council manage this important agenda, a "Term Goal Setting" process is undertaken at the start of each new term of office to determine Council's desired focus and priorities in order to ensure City work programs are appropriately aligned. This process forms an integral part of City operations, and helps to ensure a focused and productive workforce that makes the most effective use of public resources. In alphabetical order, the nine goal areas for the 2014-2018 term of Council include:

- 1. A Safe Community**
Maintain emphasis on community safety to ensure Richmond continues to be a safe community.
- 2. A Vibrant, Active, and Connected City**
Continue the development and implementation of an excellent and accessible system of programs, services, and public spaces that reflect Richmond's demographics, rich heritage, diverse needs, and unique opportunities, and that facilitate active, caring, and connected communities.
- 3. A Well-Planned Community**
Adhere to effective planning and growth management practices to maintain and enhance the livability, sustainability and desirability of our City and its neighbourhoods, and to ensure the results match the intentions of our policies and bylaws.
- 4. Leadership in Sustainability**
Continue advancement of the City's sustainability framework and initiatives to improve the short and long term livability of our City, and that maintain Richmond's position as a leader in sustainable programs, practices and innovations.
- 5. Partnerships and Collaboration**
Continue development and utilization of collaborative approaches and partnerships with intergovernmental and other agencies to help meet the needs of the Richmond community.



Term Goals

6. Quality Infrastructure Networks

Continue diligence towards the development of infrastructure networks that are safe, sustainable, and address the challenges associated with aging systems, population growth, and environmental impact.

7. Strong Financial Stewardship

Maintain the City's strong financial position through effective budget processes, the efficient and effective use of financial resources, and the prudent leveraging of economic and financial opportunities to increase current and long-term financial sustainability.

8. Supportive Economic Development Environment

Review, develop and implement plans, policies, programs and practices to increase business and visitor appeal and promote local economic growth and resiliency.

9. Well-Informed Citizenry

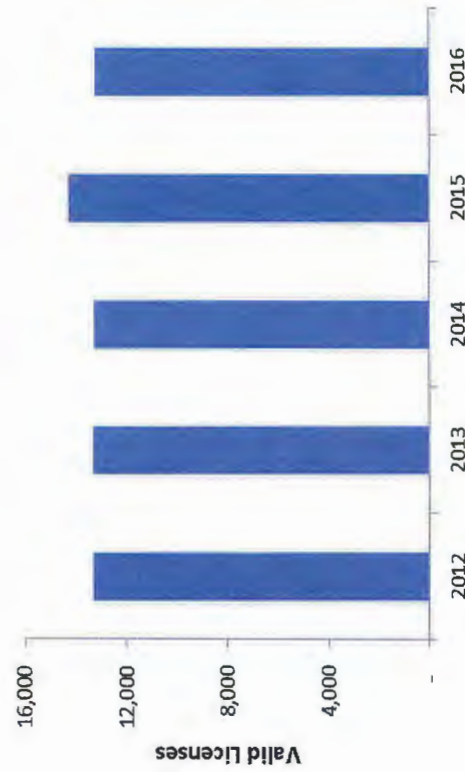
Continue to develop and provide programs and services that ensure the Richmond community is well-informed and engaged on City business and decision making.



Business Licences

The total number of business licences issued decreased to 13,253 in 2016 compared to 14,351 licences issued in 2015.

Business Licences 2012-2016



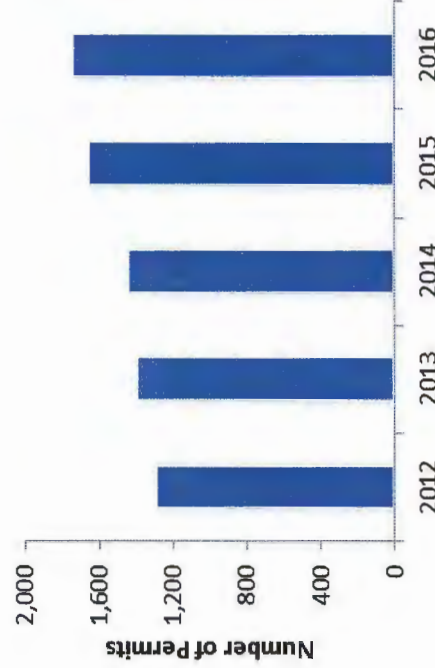
Housing Activity

Richmond house prices increased by 9.9%, with a 2016 detached median house price of \$1,847,000. The total number of sales decreased year-over-year by 9% to 5,263.

In 2016, the total number of building permits issued was 1,740 which was a 5.1% increase from 2015. Overall, the building

permit fees collected increased by 34.8% since 2012, a sign of increasing development activity in Richmond. The actual permit fees collected for 2016 was \$8.4M.

Building Permits 2012-2016



The construction value of permits issued in 2016 was \$707.2M, which decreased by approximately 29.1% from 2015's record year of \$998.0M.

The number of development applications received in 2016 decreased 3.3% from 2015 to 235 from 243 applications. However, total fees collected in 2016 increased by 3.1%.

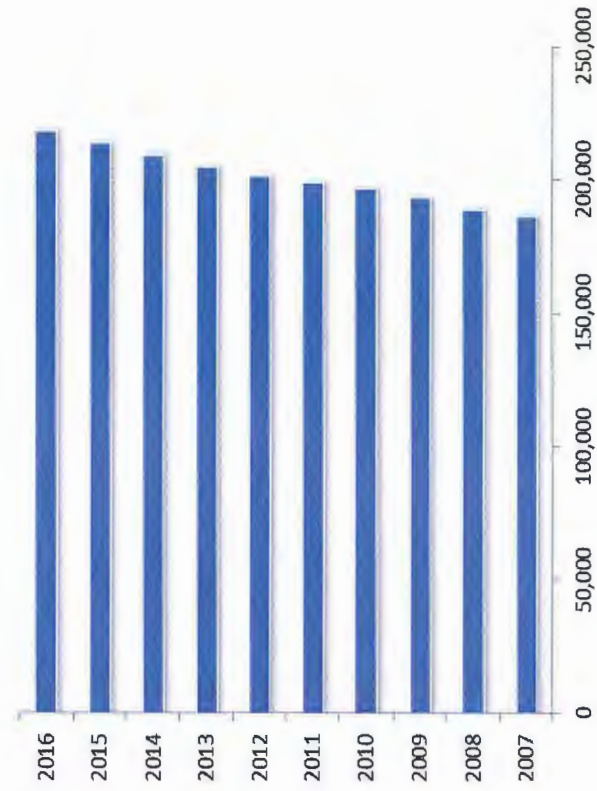


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Population

Richmond's current population is estimated at 218,307¹, which is a 2.06% increase from 2015. Richmond is the fourth most populous municipality in the Greater Vancouver region.

Richmond Population 2007-2016



¹City of Richmond Policy Planning

Services

The City of Richmond provides a wide array of services to residents, businesses and visitors. The City is responsible for delivering the following services in Richmond:

- Performing land use and transportation planning, building approvals, property use and zoning.
- Providing and maintaining roads, dykes, water and sewerage systems, drainage and irrigation systems.
- Providing sanitation and recycling services.
- Providing for the safety and protection of citizens by maintaining policing, fire-rescue services, bylaw enforcement, emergency and environmental programs.
- Providing for the recreational and cultural needs of citizens by: funding library services; building and maintaining recreational and cultural facilities, including pools, arenas, community centres, art centres, theatre and numerous heritage sites.
- Designing, constructing, and maintaining a recreational trail system and a system of parks with playing fields, playgrounds, and various amenities including tennis courts and basketball courts.
- Developing a sustainable community through: affordable housing, child care programs, wellness and outreach programs, tree protection, pesticide use restrictions, waste reduction programs, pollution prevention, district energy utility, energy management programs, purchasing policies and high performance building programs.

- Providing business licences and economic development initiatives.
- Administering property taxes and utility bills.
- Working to safeguard the financial well-being of the City through the provision of effective and reliable financial services and information to Council, staff and the public.
- Working to safeguard and enhance the livability and social, financial, and environmental sustainability of our community and surrounding environment.
- Representing the interests of our citizens on various regional bodies responsible for providing services such as transit, drinking water, waste disposal, and air quality monitoring and reporting.

These services are provided through the use of funds as approved by Council in the 2016 operating, capital and utility budgets.

	2014	2015	2016
Population growth (per annum)	2.05%	2.17%	2.06%
Capital construction costs (\$mil) ¹	\$193.23	\$159.55	\$92.30
City Grants Program (\$mil)	\$0.76	\$0.76	\$0.78
Other grants (\$mil) ²	\$1.52	\$1.60	\$1.93
Registration in recreation programs	141,175	134,786	141,125
RCMP calls for services	67,118	67,276	69,800
Fire Rescue responses	9,643	10,326	10,947

¹ This figure represents the amended capital budget excluding internal transfers and debt repayment

² Other grants are in addition to the City Grant Program and include contributions towards Gateway Theatre, Richmond Center for Disability, Richmond Therapeutic Equestrian Society and various youth grants.

Conclusion

The City's prudent financial management has positioned Richmond well to continue to carry out and meet Council's goals and service commitments to provide a safe and desirable community to live, work and play in, while providing good value for taxpayers.

The FSD&A provides a detailed analysis of the Consolidated Financial Statements. The FSD&A explains the significant differences in the financial statements between the reported year and the previous year as well as between budgeted and actual results.

The Consolidated Financial Statements and FSD&A provide details about past activity and the balances at December 31st of the fiscal year. This information, in conjunction with planning documents provides a comprehensive depiction of the future financial viability of the City.

In 2003, Council adopted the Long Term Financial Management Strategy (LTFMS) to ensure prudent fiscal practices while maintaining the City's high service standards and balancing current and long term financial needs. The effects of this policy can be seen in the current financial health of the organization.

The LTFMS policy forms the foundation for the City's financial planning, including the preparation of the Five Year Financial Plan Bylaws.

The 2017 – 2021 Five Year Financial Plan combines the Operating, Utility and Capital Budgets. It provides details on the services provided, anticipated revenues and expenses, and planned capital projects.

Additional information about the current financial plan can be found at:

<http://www.richmond.ca/cityhall/finance/reporting/fiveyear.htm>



Consolidated Financial Statements of

CITY OF RICHMOND

Year ended December 31, 2016

INDEPENDENT AUDITORS' REPORT

To the Mayor and Council

We have audited the accompanying consolidated financial statements of the City of Richmond, which comprise the consolidated statement of financial position as at December 31, 2016 and the consolidated statements of operations, changes in net financial assets and cash flows for the year then ended, and notes, comprising a summary of significant accounting policies and other explanatory information.

Management's Responsibility for the Consolidated Financial Statements

Management is responsible for the preparation and fair presentation of these consolidated financial statements in accordance with Canadian public sector accounting standards, and for such internal control as management determines is necessary to enable the preparation of consolidated financial statements that are free from material misstatement, whether due to fraud or error.

Auditors' Responsibility

Our responsibility is to express an opinion on these consolidated financial statements based on our audit. We conducted our audit in accordance with Canadian generally accepted auditing standards. Those standards require that we comply with ethical requirements and plan and perform the audit to obtain reasonable assurance about whether the consolidated financial statements are free from material misstatement.

An audit involves performing procedures to obtain audit evidence about the amounts and disclosures in the consolidated financial statements. The procedures selected depend on our judgment, including the assessment of the risks of material misstatement of the consolidated financial statements, whether due to fraud or error. In making those risk assessments, we consider internal control relevant to the entity's preparation and fair presentation of the consolidated financial statements in order to design audit procedures that are appropriate in the circumstances, but not for the purpose of expressing an opinion on the effectiveness of the entity's internal control. An audit also includes evaluating the appropriateness of accounting policies used and the reasonableness of accounting estimates made by management, as well as evaluating the overall presentation of the consolidated financial statements.

We believe that the audit evidence we have obtained is sufficient and appropriate to provide a basis for our audit opinion.

City of Richmond
Page 2

Opinion

In our opinion, the consolidated financial statements present fairly, in all material respects, the consolidated financial position of the City of Richmond as at December 31, 2016, and its consolidated results of operations, its changes in net consolidated financial assets and its consolidated cash flows for the year then ended in accordance with Canadian public sector accounting standards.

Chartered Professional Accountants

May 1, 2017
Burnaby, Canada

CITY OF RICHMOND

Consolidated Statement of Financial Position
(Expressed in thousands of dollars)

December 31, 2016, with comparative information for 2015

	2016	2015
Financial Assets		
Cash and cash equivalents	\$ 18,335	\$ 21,800
Investments (note 3)	978,638	929,590
Accrued interest receivable	6,972	6,287
Accounts receivable (note 4)	27,766	30,162
Taxes receivable	9,422	8,010
Development fees receivable	16,712	21,135
Debt reserve fund - deposits (note 5)	508	508
	1,058,353	1,017,492
Liabilities		
Accounts payable and accrued liabilities (note 6)	96,720	87,701
Development cost charges (note 7)	117,597	111,591
Deposits and holdbacks (note 8)	72,796	58,896
Deferred revenue (note 9)	66,320	48,711
Debt, net of MFA sinking fund deposits (note 10)	42,181	46,583
	395,614	353,482
Net financial assets	662,739	664,010
Non-Financial Assets		
Tangible capital assets (note 11)	2,168,259	2,062,895
Inventory of materials and supplies	3,138	2,359
Prepaid expenses	2,525	1,930
	2,173,922	2,067,184
Accumulated surplus (note 12)	\$ 2,836,661	\$ 2,731,194

Commitments and contingencies (note 16)

See accompanying notes to consolidated financial statements.

General Manager, Finance and Corporate Services

DRAFT - April 24, 2017

CITY OF RICHMOND

Consolidated Statement of Operations
(Expressed in thousands of dollars)

Year ended December 31, 2016, with comparative information for 2015

	2016 Budget (Notes 2(n) and 22)	2016	2015
Revenue:			
Taxation and levies	\$ 197,965	\$ 198,612	\$ 189,136
Utility fees	98,773	97,819	94,290
Sales of services	33,692	38,231	34,186
Payments-in-lieu of taxes	13,473	14,770	15,109
Provincial and federal grants	7,376	9,101	8,654
Development cost charges	26,875	16,632	17,818
Other capital funding sources	69,115	26,601	72,575
Other revenues:			
Investment income	14,694	17,614	16,303
Gaming revenue	18,088	17,559	19,555
Licenses and permits	9,184	12,422	10,747
Other (note 19)	9,799	35,543	48,755
	499,034	484,904	527,128
Expenses:			
Law and community safety	93,357	89,752	85,386
Utilities: water, sewer and sanitation	85,159	84,183	83,650
Engineering, public works and project development	65,630	61,243	56,294
Community services	59,019	59,592	68,246
General government	53,665	44,583	43,438
Planning and development	14,324	14,233	13,211
Richmond Olympic Oval	14,890	15,120	13,395
Library services	9,754	9,788	9,463
Lulu Island Energy Company	939	943	491
	396,737	379,437	373,574
Annual surplus	102,297	105,467	153,554
Accumulated surplus, beginning of year	2,731,194	2,731,194	2,577,640
Accumulated surplus, end of year	\$ 2,833,491	\$ 2,836,661	\$ 2,731,194

See accompanying notes to consolidated financial statements.

CITY OF RICHMOND

Consolidated Statement of Changes in Net Financial Assets (Expressed in thousands of dollars)

Year ended December 31, 2016, with comparative information for 2015

	2016 Budget (Notes 2(n) and 22)	2016	2015
Surplus for the year	\$ 102,297	\$ 105,467	\$ 153,554
Acquisition of tangible capital assets	(121,102)	(139,781)	(86,941)
Contributed tangible capital assets	(55,000)	(24,441)	(61,807)
Amortization of tangible capital assets	55,347	55,933	53,966
Gain on disposal of tangible capital assets	-	(12,859)	(5,157)
Proceeds on sale of tangible capital assets	-	15,784	7,678
	(18,458)	103	61,293
Acquisition of inventories of supplies	-	(3,138)	(2,359)
Acquisition of prepaid expenses	-	(2,525)	(1,930)
Consumption of inventories of supplies	-	2,359	2,415
Use of prepaid expenses	-	1,930	1,971
Change in net financial assets	(18,458)	(1,271)	61,390
Net financial assets, beginning of year	664,010	664,010	602,620
Net financial assets, end of year	\$ 645,552	\$ 662,739	\$ 664,010

See accompanying notes to consolidated financial statements.

CITY OF RICHMOND

Consolidated Statement of Cash Flows
(Expressed in thousands of dollars)

Year ended December 31, 2016, with comparative information for 2015

	2016	2015
Cash provided by (used in):		
Operations:		
Annual surplus	\$ 105,467	\$ 153,554
Items not involving cash:		
Amortization	55,933	53,966
Gain on disposal of tangible capital assets	(12,859)	(5,157)
Contributions of tangible capital assets	(24,441)	(61,807)
Change in non-cash operating working capital:		
Accrued interest receivable	(685)	(924)
Accounts receivable	2,396	(2,112)
Taxes receivable	(1,412)	(529)
Development fees receivable	4,423	4,225
Debt reserve fund	-	200
Prepaid expenses	(595)	41
Inventories of supplies	(779)	56
Accounts payable and accrued liabilities	9,019	(608)
Deposits and holdbacks	13,900	(6,207)
Deferred revenue	17,609	6,888
Development cost charges	6,006	28,626
Net change in cash from operating activities	173,982	170,212
Capital activities:		
Cash used to acquire tangible capital assets	(139,781)	(86,941)
Proceeds on disposal of tangible capital assets	15,784	7,678
Net change in cash from capital activities	(123,997)	(79,263)
Financing activities:		
Decrease in debt	(4,402)	(4,232)
Principal payments on obligations under capital leases	-	(22)
Net change in cash from financing activities	(4,402)	(4,254)
Investing activities:		
Purchase of investments	(49,048)	(95,626)
Net change in cash and cash equivalents	(3,465)	(8,931)
Cash and cash equivalents, beginning of year	21,800	30,731
Cash and cash equivalents, end of year	\$ 18,335	\$ 21,800

See accompanying notes to consolidated financial statements.

CITY OF RICHMOND

Notes to Consolidated Financial Statements
(Tabular amounts expressed in thousands of dollars)

Year ended December 31, 2016

1. Operations:

The City of Richmond (the "City") is incorporated under the Local Government Act of British Columbia. The City's principal activities include the provision of local government services to residents of the incorporated area. These include administrative, protective, transportation, environmental, recreational, water, and sewer.

2 Significant accounting policies:

These consolidated financial statements of the City are the representation of management and have been prepared in accordance with Canadian generally accepted accounting principles as prescribed by the Public Sector Accounting Board ("PSAB") of the Chartered Professional Accountants Canada.

(a) Basis of consolidation:

These consolidated financial statements reflect a combination of the City's General Revenue, General Capital and Loan, Waterworks and Sewerworks, and Reserve Funds consolidated with the Richmond Public Library (the "Library"), the Richmond Olympic Oval (the "Oval") and the Lulu Island Energy Company Ltd. ("LIEC"). The Library is consolidated as the Library Board is appointed by the City. The Oval and LIEC are consolidated as they are wholly-owned municipal corporations of the City and operate as other government organizations. Interfund transactions, fund balances and activities have been eliminated on consolidation.

(i) General Revenue Fund:

This fund is used to account for the current operations of the City as provided for in the Annual Budget, including collection of taxes, administering operations, policing, and servicing general debt.

(ii) General Capital and Loan Fund:

This fund is used to record the City's tangible capital assets and work-in-progress, including engineering structures such as roads and bridges, and the related long-term debt.

(iii) Waterworks and Sewerworks Funds:

These funds have been established to cover the costs of operating these utilities, with related capital and loan funds to record the related capital assets and long-term debt.

(iv) Reserve Funds:

Certain funds are established by bylaws for specific purposes. They are funded primarily by budgeted contributions from the General Revenue Fund and developer contributions plus interest earned on fund balances.

CITY OF RICHMOND

Notes to Consolidated Financial Statements (continued)
(Tabular amounts expressed in thousands of dollars)

Year ended December 31, 2016

2. Significant accounting policies (continued):

(b) Basis of accounting:

The City follows the accrual method of accounting for revenues and expenses. Revenues are recognized in the year in which they are earned and measurable. Expenses are recognized as they are incurred and measurable as a result of receipt of goods and services and/or the creation of a legal obligation to pay.

(c) Government transfers:

Restricted transfers from governments are deferred and recognized as revenue as the related expenditures are incurred or the stipulations in the related agreement are met. Unrestricted transfers are recognized as revenue when received or if the amount to be received can be reasonably estimated and collection is reasonably assured.

(d) Cash and cash equivalents:

Cash and cash equivalents consist of cash, highly liquid money market investments and short-term investments with maturities of less than 90-days from date of acquisition.

(e) Investments:

Investments are recorded at cost, adjusted for amortization of premiums or discounts. Provisions for losses are recorded when they are considered to be other than temporary. At various times during the term of each individual investment, market value may be less than cost. Such declines in value are considered temporary for investments with known maturity dates as they generally reverse as the investments mature and therefore an adjustment to market value for these market declines is not recorded.

(f) Accounts receivable:

Accounts receivable are net of an allowance for doubtful accounts and therefore represent amounts expected to be collected.

(g) Development cost charges:

Development cost charges are restricted by legislation to expenditures on capital infrastructure. These amounts are deferred upon receipt and recognized as revenue when the expenditures are incurred in accordance with the restrictions.

(h) Post-employment benefits:

The City and its employees make contributions to the Municipal Pension Plan. As this plan is a multi-employee plan, contributions are expensed as incurred.

Post-employment benefits also accrue to the City's employees. The liabilities related to these benefits are actuarially determined based on service and best estimates of retirement ages and expected future salary and wage increases. The liabilities under these benefits plans are accrued based on projected benefits prorated as employees render services necessary to earn the future benefits.

CITY OF RICHMOND

Notes to Consolidated Financial Statements (continued)
(Tabular amounts expressed in thousands of dollars)

Year ended December 31, 2016

2. Significant accounting policies (continued):

(i) Non-financial assets:

Non-financial assets are not available to discharge existing liabilities and are held for use in the provision of services. They have useful lives extending beyond the current year and are not intended for sale in the ordinary course of operations.

(i) Tangible capital assets:

Tangible capital assets are recorded at cost, which includes amounts that are directly attributable to acquisition, construction, development, or betterment of the assets. The cost, less the residual value, of the tangible capital assets, excluding land are amortized on a straight-line basis over their estimated useful lives as follows:

Asset	Useful life - years
Buildings and building improvements	10 - 75
Infrastructure	5 - 100
Vehicles, machinery and equipment	3 - 40
Library's collections, furniture and equipment	4 - 20

Amortization is charged over the asset's useful life commencing when the asset is acquired. Assets under construction are not amortized until the asset is available for productive use.

(ii) Contributions of tangible capital assets:

Tangible capital assets received as contributions are recorded at their fair value at the date of receipt and also are recorded as revenue.

(iii) Natural resources:

Natural resources that have been purchased are not recognized as assets in these consolidated financial statements.

(iv) Works of art and cultural and historic assets:

Works of art and cultural and historic assets are not recorded as assets in these consolidated financial statements.

(v) Interest capitalization:

The City does not capitalize interest costs associated with the construction of a tangible capital asset.

CITY OF RICHMOND

Notes to Consolidated Financial Statements (continued)
(Tabular amounts expressed in thousands of dollars)

Year ended December 31, 2016

2. Significant accounting policies (continued):

(i) Non-financial assets (continued):

(vi) Labour capitalization:

Internal labour directly attributable to the construction, development or implementation of a tangible capital asset is capitalized.

(vii) Leased tangible capital assets:

Leases which transfer substantially all of the benefits and risks incidental to ownership of property are accounted for as leased tangible capital assets. All other leases are accounted for as operating leases and the related payments are charged to expenses as incurred.

(viii) Impairment of tangible capital assets:

Tangible capital assets are written down when conditions indicate that they no longer contribute to the City's ability to provide goods and services, or when the value of future economic benefits associated with the tangible capital assets are less than their net book value. The net write-downs are accounted for as expenses in the consolidated statement of operations.

(ix) Inventory of materials and supplies:

Inventory is recorded at cost, net of an allowance for obsolete stock. Cost is determined on a weighted average basis.

(j) Revenue recognition:

Revenues are recognized in the period in which the transactions or events occurred that gave rise to the revenues. All revenues are recorded on an accrual basis, except when the accruals cannot be determined with a reasonable degree of certainty or when their estimation is impractical.

The City is required to act as the agent for the collection of certain taxes and fees imposed by other authorities. Collections for other authorities are excluded from the City's taxation revenues.

(k) Deferred revenue:

The City defers a portion of the revenue collected from permits, licenses and other fees and recognizes this revenue in the year in which related inspections are performed or other related expenditures are incurred.

Deferred revenue also represents funds received from external parties for specified purposes. These revenues are recognized in the period in which the related expenses are incurred.

CITY OF RICHMOND

Notes to Consolidated Financial Statements (continued)
(Tabular amounts expressed in thousands of dollars)

Year ended December 31, 2016

2. Significant accounting policies (continued):

(l) Deposits:

Receipts restricted by the legislation of senior governments or by agreement with external parties are deferred and reported as deposits and are refundable under certain circumstances. When qualifying expenditures are incurred, deposits are recognized as revenue at amounts equal to the qualifying expenditures.

(m) Debt:

Debt is recorded net of related sinking fund balances.

(n) Budget information:

Budget information, presented on a basis consistent with that used for actual results, was included in the City's 5 Year Consolidated Financial Plan (2016-2020) ("Consolidated Financial Plan") and was adopted through Bylaw No. 9521 on March 14, 2016.

(o) Contaminated sites:

Contaminated sites are a result of contamination being introduced into air, soil, water, or sediment of a chemical, organic or radioactive material of live organism that exceeds an environmental standard. Liabilities are recorded net of any expected recoveries.

A liability for remediation of contaminated sites is recognized when a site is not in productive use and the following criteria are met:

- (i) An environmental standard exists;
- (ii) Contamination exceeds the environmental standard;
- (iii) The City is directly responsible or accepts responsibility;
- (iv) It is expected that future economic benefits will be given up; and
- (v) A reasonable estimate of the amount can be made.

The liability is recognized as management's estimate of the cost of post-remediation including operation, maintenance and monitoring that are an integral part of the remediation strategy for a contaminated site.

(p) Use of accounting estimates:

The preparation of these financial statements requires management to make estimates and assumptions that affect the reported amounts of assets and liabilities and disclosure of contingent assets and liabilities at the date of the financial statements and the reported amount of revenue and expenditures during the reporting period.

CITY OF RICHMOND

Notes to Consolidated Financial Statements (continued)
(Tabular amounts expressed in thousands of dollars)

Year ended December 31, 2016

2. Significant accounting policies (continued):

(p) Use of accounting estimates (continued):

Significant areas requiring the use of management estimates relate to the value of contributed tangible capital assets, value of developer contributions, useful lives for amortization, determination of provisions for accrued liabilities, performing actuarial valuation of employee future benefits, allowance for doubtful accounts, and provision for contingencies. Actual results could differ from those estimates. Adjustments, if any, will be reflected in the financial statements in the period that the change in estimate is made, as well as in the period of settlement if the amount is different.

(q) Segment disclosures:

A segment is defined as a distinguishable activity or group of activities of a government for which it is appropriate to separately report financial information to achieve the objectives of the standard. The City has provided definitions of segments as well as presented financial information in segment format.

3. Investments:

	2016		2015	
	Cost	Market value	Cost	Market value
Short-term notes and deposits	\$ 473,721	\$ 473,409	\$ 360,081	\$ 360,081
Government and government guaranteed bonds	213,542	21	220,228	227,567
Municipal Finance Authority Pooled Investment	44,172	43,834	43,212	43,212
Other bonds	247,203	249,235	306,069	308
	\$ 978,638	\$ 983,373	\$ 929,590	\$ 938,245

4. Accounts receivable:

	2016	2015
Water and sewer utilities	\$ 12,541	\$ 11,381
Casino revenues	3,951	4,532
Capital grant	2,345	2,482
Other trade receivables	8,929	11,767
	\$ 27,766	\$ 30,162

CITY OF RICHMOND

Notes to Consolidated Financial Statements (continued)
(Tabular amounts expressed in thousands of dollars)

Year ended December 31, 2016

5. Debt reserve fund deposits and contingent demand notes:

The City issues its debt instruments through the Municipal Finance Authority (the "MFA"). As a condition of these borrowings, a portion of the debenture proceeds is withheld by the MFA in a Debt Reserve Fund. The City also executes demand notes in connection with each debenture whereby the City may be required to loan certain amounts to the MFA. These demand notes are contingent in nature and are not reflected in the City's accounts. The details of the cash deposits and contingent demand notes at December 31, 2016 are as follows:

	Cash deposits	Contingent demand notes
General Revenue Fund	\$ 508	\$ 2,447

6. Accounts payable and accrued liabilities:

	2016	2015
Trade and other liabilities	\$ 65,417	\$ 55,995
Post-employment benefits (note 14)	31,303	31,706
	\$ 96,720	\$ 87,701

7. Development cost charges:

	2016	2015
Balance, beginning of year	\$ 111,591	\$ 82,965
Contributions	20,886	44,934
Interest	1,752	1,510
Revenue recognized	(16,632)	(17,818)
Balance, end of year	\$ 117,597	\$ 111,591

CITY OF RICHMOND

Notes to Consolidated Financial Statements (continued)
(Tabular amounts expressed in thousands of dollars)

Year ended December 31, 2016

8. Deposits and holdbacks:

	Balance, December 31, 2015	Deposit contributions	Refunds/ expenditures	Balance, December 31, 2016
Security deposits	\$ 40,326	\$ 22,129	\$ 11,485	\$ 50,970
Developer contribution	5,546	97	-	5,643
Contract holdbacks	2,809	6,822	3,867	5,764
Transit Oriented Development Fund	1,523	-	466	1,057
Other	8,692	36,720	36,050	9,362
	\$ 58,896	\$ 65,768	\$ 51,868	\$ 72,796

9. Deferred revenue:

	Balance, December 31, 2015	External restricted inflows	Revenue earned	Balance, December 31, 2016
Taxes and utilities	\$ 19,370	\$ 19,888	\$ 19,370	\$ 19,888
Building permits/development	12,085	5,952	5,030	13,007
Oval	5,598	10,098	9,877	5,819
Capital grants	4,596	18,856	2,358	21,094
Business licenses	2,509	2,070	2,094	2,485
Parking easement/leased land	2,417	48	44	2,421
Other	2,136	6,997	7,527	1,606
	\$ 48,711	\$ 63,909	\$ 46,300	\$ 66,320

10. Debt, net of MFA sinking fund deposits:

The interest rate for the year ended December 31, 2016 on the principal amount of the MFA debentures was 3.30% per annum. Interest expense incurred for the year on the long-term debt was \$1,676,895 (2015 - \$1,676,895).

The City obtains debt instruments through the MFA pursuant to security issuing bylaws under authority of the Community Charter to finance certain capital expenditures.

CITY OF RICHMOND

Notes to Consolidated Financial Statements (continued)
(Tabular amounts expressed in thousands of dollars)

Year ended December 31, 2016

10. Debt, net of MFA sinking fund deposits (continued):

Gross amount for the debt less principal payments and actuarial adjustments to date are as follows:

	Gross amount borrowed	Repayments and actuarial adjustments	Net debt 2016	Net debt 2015
General Fund	\$ 50,815	\$ 8,634	\$ 42,181	\$ 46,583

Repayments on net outstanding debenture debt over the next five years and thereafter are as follows:

2017	\$ 4,578
2018	4,761
2019	4,951
2020	5,149
2021	5,355
Thereafter	17,387
	<u>\$ 42,181</u>

11. Tangible capital assets:

Cost	Balance, December 31, 2015	Additions and transfers	Disposals	Balance, December 31, 2016
Land	\$ 803,645	\$ 43,966	\$ (1,706)	\$ 845,905
Buildings and building improvements	374,820	10,324	-	385,144
Infrastructure	1,644,206	48,218	(3,879)	1,688,545
Vehicles, machinery and equipment	110,120	8,271	(1,549)	116,842
Library's collections, furniture and equipment	9,670	374	(1,616)	8,428
Assets under construction	62,367	53,069	-	115,436
	<u>\$ 3,004,828</u>	<u>\$ 164,222</u>	<u>\$ (8,750)</u>	<u>\$ 3,160,300</u>

Accumulated amortization	Balance, December 31, 2015	Disposals	Amortization expense	Balance, December 31, 2016
Buildings and building improvements	\$ 141,680	\$ -	\$ 14,225	\$ 155,905
Infrastructure	728,117	(2,882)	33,198	758,433
Vehicles, machinery and equipment	66,805	(1,518)	7,482	72,769
Library's collections, furniture and equipment	5,331	(1,425)	1,028	4,934
	<u>\$ 941,933</u>	<u>\$ (5,825)</u>	<u>\$ 55,933</u>	<u>\$ 992,041</u>

CITY OF RICHMOND

Notes to Consolidated Financial Statements (continued)
(Tabular amounts expressed in thousands of dollars)

Year ended December 31, 2016

11. Tangible capital assets (continued):

	2016	2015
	Net book value	Net book value
Land	\$ 845,905	\$ 803,645
Buildings and building improvements	229,239	233,140
Infrastructure	930,112	916,089
Vehicles, machinery and equipment	44,073	43,315
Library's collection, furniture and equipment	3,494	4,339
Assets under construction	115,436	62,367
Balance, end of year	\$ 2,168,259	\$ 2,062,895

(a) Assets under construction:

Assets under construction having a value of \$115,436,184 (2015 - \$62,367,664) have not been amortized. Amortization of these assets will commence when the asset is put into service.

(b) Contributed tangible capital assets:

Contributed tangible capital assets have been recognized at fair market value at the date of contribution. The value of contributed assets received during the year is \$24,441,194 (2015 - \$61,806,695) comprised of infrastructure in the amount of \$17,308,488 (2015 - \$10,874,576), land in the amount of \$7,132,706 (2015 - \$50,606,219), and other assets in the amount of nil (2015 - \$325,900).

(c) Tangible capital assets disclosed at nominal values:

Where an estimate of fair value could not be made, the tangible capital asset was recognized at a nominal value.

(d) Works of art and historical treasures:

The City manages and controls various works of art and non-operational historical cultural assets including building, artifacts, paintings, and sculptures located at City sites and public display areas. The assets are not recorded as tangible capital assets and are not amortized.

(e) Write-down of tangible capital assets:

There were no write-downs of tangible capital assets during the year (2015 - nil).

CITY OF RICHMOND

Notes to Consolidated Financial Statements (continued)
(Tabular amounts expressed in thousands of dollars)

Year ended December 31, 2016

12. Accumulated surplus:

	General Funds and reserve	Water utility fund	Sanitary Sewer Utility fund	Richmond Olympic Oval	Library services	Lulu Island Energy Co.	2016 Total	2015 Total
Investment in tangible capital assets	\$ 2,104,682	\$ -	\$ -	\$ 8,987	\$ 3,495	\$ 25,660	\$ 2,142,824	\$ 2,055,479
Reserves (note 13)	467,585	-	-	4,261	-	-	471,846	461,178
Appropriated surplus	153,551	30,930	14,998	1,099	388	-	200,966	195,050
Surplus	10,342	244	6,647	552	686	(470)	18,001	17,265
Other equity	3,024	-	-	-	-	-	3,024	2,222
Balance, end of year	\$ 2,739,184	\$ 31,174	\$ 21,645	\$ 14,899	\$ 4,569	\$ 25,190	\$ 2,836,661	\$ 2,731,194

CITY OF RICHMOND

Notes to Consolidated Financial Statements (continued)
(Tabular amounts expressed in thousands of dollars)

Year ended December 31, 2016

13. Reserves:

	2015	Change during year	2016
Reserve funds:			
Affordable housing	\$ 24,934	\$ (1,208)	\$ 23,726
Arts, culture and heritage	4,449	89	4,538
Capital building and infrastructure	60,412	3,064	63,476
Capital reserve	157,778	(2,106)	155,672
Capstan station	9,508	5,449	14,957
Child care development	2,335	1,454	3,789
Community legacy and land replacement	16,994	(8,581)	8,413
Drainage improvement	52,922	2,981	55,903
Equipment replacement	16,882	1,689	18,571
Leisure facilities	5,275	293	5,568
Local improvements	6,767	(545)	6,222
Neighborhood improvement	6,975	(42)	6,933
Public art program	3,056	52	3,108
Sanitary sewer	41,687	2,840	44,527
Steveston off-street parking	299	6	305
Steveston road ends	458	(51)	407
Waterfront improvement	642	(27)	615
Watermain replacement	46,614	4,241	50,855
Oval	3,191	1,070	4,261
	\$ 461,178	\$ 10,668	\$ 471,846

14. Post-employment benefits:

The City provides certain post-employment benefits, non-vested sick leave, compensated absences, and termination benefits to its employees.

	2016	2015
Balance, beginning of year	\$ 31,706	\$ 30,755
Current service cost	1,980	1,924
Interest cost	906	912
Past service cost (credit)	(868)	-
Amortization of actuarial loss (gain)	(473)	93
Benefits paid	(1,948)	(1,978)
Balance, end of year	\$ 31,303	\$ 31,706

CITY OF RICHMOND

Notes to Consolidated Financial Statements (continued)
(Tabular amounts expressed in thousands of dollars)

Year ended December 31, 2016

14. Post-employment benefits (continued):

An actuarial valuation for these benefits was performed to determine the City's accrued benefit obligation as at December 31, 2016. The difference between the actuarially determined accrued benefit obligation of approximately \$31,556,000 and the liability of approximately \$31,303,000 as at December 31, 2016 is an unamortized net actuarial loss of \$253,000. This actuarial loss is being amortized over a period equal to the employees' average remaining service lifetime of 10-years.

	2016	2015
Actuarial benefit obligation:		
Liability, end of year	\$ 31,303	\$ 31,706
Unamortized actuarial loss (gain)	253	(3,049)
Balance, end of year	\$ 31,556	\$ 28,657

Actuarial assumptions used to determine the City's accrued benefit obligation are as follows:

	2016	2015
Discount rate	3.30%	3.10%
Expected future inflation rate	2.00%	2.00%
Expected wage and salary range increases	2.50% to 3.00%	2.50%

15. Pension plan:

The City and its employees contribute to the Municipal Pension Plan (a jointly trustee pension plan). The Board of Trustees, representing plan members and employers, is responsible for administering the plan, including investment of assets and administration of benefits. The plan is a multi-employer defined benefit pension plan. Basic pension benefits are based on a formula. As at December 31, 2015, the plan has about 189,000 active members and approximately 85,000 retired members. Active members include approximately 37,000 contributors from local governments.

Every three years, an actuarial valuation is performed to assess the financial position of the plan and adequacy of plan funding. The actuary determines an appropriate combined employer and member contribution rate to fund the plan. The actuary's calculated contribution rate is based on the entry-age normal cost method, which produces the long-term rate of member and employer contributions sufficient to provide benefits for average future entrants to the plan. This rate is then adjusted to the extent there is amortization of any funding deficit.

CITY OF RICHMOND

Notes to Consolidated Financial Statements (continued)
(Tabular amounts expressed in thousands of dollars)

Year ended December 31, 2016

15. Pension plan (continued):

The most recent valuation for the Municipal Pension Plan as at December 31, 2015, indicated a \$2,224 million funding surplus for basic pension benefits on a going concern basis.

The City of Richmond paid \$11,952,478 (2015 - \$11,766,393) for employer contributions while employees contributed \$9,827,790 (2015 - \$9,736,747) to the plan in fiscal 2016.

The next valuation will be as at December 31, 2018, with results available in 2019.

Employers participating in the plan record their pension expense as the amount of employer contributions made during the fiscal year (defined contribution pension plan accounting). This is because the plan records accrued liabilities and accrued assets for the plan in aggregate, resulting in no consistent and reliable basis for allocating the obligation, assets and cost to individual employers participating in the plan.

16. Commitments and contingencies:

(a) Joint and several liabilities:

The City has a contingent liability with respect to debentures of the Greater Vancouver Water District, Greater Vancouver Sewerage and Drainage District and Greater Vancouver Regional District, to the extent provided for in their respective Enabling Acts, Acts of Incorporation and Amending Acts. Management does not consider payment under this contingency to be likely and therefore no amounts have been accrued.

(b) Lease payments:

In addition to the obligations under capital leases, at December 31, 2016, the City was committed to operating lease payments for premises and equipment in the following approximate amounts:

2017	\$ 4,860
2018	4,483
2019	3,716
2020	2,301
2021 and thereafter	16,398

(c) Litigation:

As at December 31, 2016, there were a number of claims or risk exposures in various stages of resolution. The City has made no specific provision for those where the outcome is presently not determinable.

CITY OF RICHMOND

Notes to Consolidated Financial Statements (continued)
(Tabular amounts expressed in thousands of dollars)

Year ended December 31, 2016

16. Commitments and contingencies (continued):

(d) Municipal Insurance Association of British Columbia ("Association"):

The City is a participant in the Association. Should the Association pay out claims in excess of premiums received, it is possible that the City, along with other participants, would be required to contribute towards the deficit. Management does not consider external payment under this contingency to be likely and therefore, no amounts have been accrued.

(e) Contractual obligation:

The City has entered into various contracts for services and construction with periods ranging beyond one year. These commitments are in accordance with budgets passed by Council.

On October 30, 2014, LIEC and Corix Utilities Inc. ("Corix") entered into a 30-year Concession Agreement (the "Agreement"), where Corix will design, construct, finance, operate, and maintain the infrastructure for the district energy utility at the Oval Village community. As part of the Agreement, the infrastructure will be owned by LIEC.

(f) E-Comm Emergency Communications for Southwest British Columbia Incorporated ("E-Comm"):

The City is a shareholder of the E-Comm whose services provided include: regional 9-1-1 call centre for the Greater Vancouver Regional District; Wide Area Radio network; dispatch operations; and records management. The City has 2 Class A shares and 1 Class B share (of a total of 28 Class A and 23 Class B shares issued and outstanding as at December 31, 2016). As a Class A shareholder, the City shares in both funding the future operations and capital obligations of E-Comm (in accordance with a cost sharing formula), including any lease obligations committed to by E-Comm up to the shareholder's withdrawal date.

(g) Community Associations:

The City has a close relationship with the various community associations which operate the community centers throughout the City. While they are separate legal entities, the City does generally provide the buildings and grounds for the use of the community associations as well as pay the operating costs of the facilities. Typically the community associations are responsible for providing programming and services to the community. The community associations retain all revenue which they receive. The City provides the core staff for the facilities as well as certain additional services such as information technology services.

17. Trust funds:

Certain assets have been conveyed or assigned to the City to be administered as directed by agreement or statute. The City holds the assets for the benefit of and stands in fiduciary relationship to the beneficiary. The following trust fund is excluded from the City's financial statements.

	2016	2015
Richmond Community Associations	\$ 1,270	\$ 1,248

CITY OF RICHMOND

Notes to Consolidated Financial Statements (continued)
(Tabular amounts expressed in thousands of dollars)

Year ended December 31, 2016

18. Collections for other authorities:

The City is obligated to collect certain taxation revenue on behalf of other government bodies. These funds are excluded from the City's financial statements since they are not revenue of the City. Such taxes collected and remitted to the government bodies during the year are as follows:

	2016	2015
Province of British Columbia - Schools	\$ 149,518	\$ 146,405
Greater Vancouver Regional District and others	42,104	41,772
	\$ 191,622	\$ 188,177

19. Other revenues:

	2016	2015
Developer contributions	\$ 10,098	\$ 29,648
Tangible capital assets gain on sale of land	13,880	5,912
Taxes and fines	2,730	3,350
Parking program	2,153	2,108
Other	6,682	7,737
	\$ 35,543	\$ 48,755

20. Government transfers:

Government transfers are received for operating and capital activities. The operating transfers consist of gaming revenue and provincial and federal grants. Capital transfers are included in other capital funding sources revenue. The source of the government transfers are as follows:

	2016	2015
Operating:		
Province of BC	\$ 22,652	\$ 24,553
TransLink	2,595	2,329
Government of Canada	1,413	1,327
Capital:		
Government of Canada	941	3,098
TransLink	1,049	76
Province of BC	104	474
	\$ 28,754	\$ 31,857

CITY OF RICHMOND

Notes to Consolidated Financial Statements (continued)
(Tabular amounts expressed in thousands of dollars)

Year ended December 31, 2016

21. Segmented reporting:

The City of Richmond provides a wide variety of services to its residents. For segment disclosure, these services are grouped and reported under service areas/departments that are responsible for providing such services. They are as follows:

- (a) **Law and Community Safety** brings together the City's public safety providers such as Police (RCMP), Fire-Rescue, Emergency Programs, and Community Bylaws along with sections responsible for legal and regulatory matters. It is responsible for ensuring safe communities by providing protection services with a focus on law enforcement, crime prevention, emergency response, protection of life and properties, and legal services.
- (b) **Utilities** provide such services as planning, designing, constructing, operating, and maintaining the City's infrastructure of water and sewer networks and sanitation and recycling.
- (c) **Engineering, Public Works and Project Development** comprises of General Public Works, Roads and Construction, Storm Drainage, Fleet Operations, Engineering, Project Development, and Facility Management. The services provided are construction and maintenance of the City's infrastructure and all City owned buildings, maintenance of the City's road networks, managing and operating a mixed fleet of vehicles, heavy equipment and an assortment of specialized work units for the City operations, development of current and long-range engineering planning and construction of major projects.
- (d) **Community Services** comprises of Parks, Recreation, Arts, Culture and Heritage Services and Community Social Development. These departments ensure recreation opportunities in Richmond by maintaining a variety of facilities such as arenas, community centres, pools, etc. It designs, constructs and maintains parks and sports fields to ensure there is adequate open green space and sports fields available for Richmond residents. It also addresses the economic, arts, culture, and community issues that the City encounters.
- (e) **General Government** comprises of Mayor and Council, Corporate Administration, and Finance and Corporate Services. It is responsible for adopting bylaws, effectively administering city operations, levying taxes, providing sound management of human resources, information technology, City finance, and ensuring high quality services to Richmond residents.
- (f) **Planning and Development** is responsible for land use plans, developing bylaws and policies for sustainable development in the City including the City's transportation systems.

CITY OF RICHMOND

Notes to Consolidated Financial Statements (continued)
(Tabular amounts expressed in thousands of dollars)

Year ended December 31, 2016

21. Segmented reporting (continued):

- (g) **Richmond Olympic Oval** is formed as a wholly owned subsidiary of the City. The City uses the Richmond Olympic Oval facility as a venue for a wide range of sports, business and community activities. The financial statements include the Oval's 50% proportionate share of operations of VROX Sport Simulation Ltd. ("VROX"). VROX is a government partnership established to develop, manufacture and sell sport simulators to the Richmond Olympic Experience and third party customers.
- (h) **Richmond Public Library** provides public access to information by maintaining 5 branches throughout the City.
- (i) **Lulu Island Energy Company Ltd.** is formed as a municipal corporation wholly-owned by the City. The business of the LIEC is to manage and operate energy utilities, including but not limited to energy production, generation or exchange, transmission, distribution, maintenance, marketing and sale to customers.

CITY OF RICHMOND

Notes to Consolidated Financial Statements (continued)
(Tabular amounts expressed in thousands of dollars)

Year ended December 31, 2016

21. Segmented reporting (continued):

	Law and community safety	Utilities	Engineering public works and project development	Community services	General government	Planning and development	Total City subtotal
Revenue:							
Taxation and levies	\$ -	\$ -	\$ -	\$ -	\$ 198,612	\$ -	\$ 198,612
Utility fees	-	84,986	12,228	-	-	-	97,214
Sales of services	5,338	3,709	3,792	8,851	5,167	2,132	28,989
Payments-in-lieu of taxes	-	-	-	-	14,770	-	14,770
Provincial and federal grants	85	7	2,711	16	3,067	13	5,899
Development cost charges	-	1,671	3,747	7,761	2,361	1,092	16,632
Other capital funding sources	10	1,816	13,829	481	6,859	1,837	24,832
Other revenues:							
Investment income	-	542	-	-	17,072	-	17,614
Gaming revenue	657	-	-	-	16,902	-	17,559
Licenses and permits	294	-	61	-	3,816	8,201	12,372
Other	2,574	2,725	446	658	27,711	93	34,207
	8,958	95,456	36,814	17,767	296,337	13,368	468,700
Expenses:							
Wages and salaries	41,138	12,137	22,672	29,977	21,122	9,927	136,973
Public works maintenance	25	6,690	6,840	1,522	(1,380)	670	14,367
Contract services	43,338	8,460	2,957	2,868	3,587	1,402	62,612
Supplies and materials	2,395	27,860	1,370	13,233	7,916	610	53,384
Interest and finance	42	19,806	-	80	2,553	-	22,481
Transfer from (to) capital for tangible capital assets	274	963	2,383	5,511	185	259	9,575
Amortization of tangible capital assets	2,540	7,783	24,657	6,401	10,600	1,345	53,326
Loss on disposal of tangible capital assets	-	484	364	-	-	20	868
	89,752	84,183	61,243	59,592	44,583	14,233	353,586
Annual surplus (deficit)	\$ (80,794)	\$ 11,273	\$ (24,429)	\$ (41,825)	\$ 251,754	\$ (865)	\$ 115,114

DRAFT - April 24, 2017

CITY OF RICHMOND

Notes to Consolidated Financial Statements (continued)
(Tabular amounts expressed in thousands of dollars)

Year ended December 31, 2016

21. Segmented reporting (continued):

	Total City (from above)	Richmond Olympic Oval	Richmond Public Library	Lulu Island Energy Company	2016 consolidated	2015 consolidated
Revenue:						
Taxation and levies	\$ 198,612	\$ -	\$ -	\$ -	\$ 198,612	\$ 189,136
Utility fees	97,214	-	-	605	97,819	94,290
Sales of services	28,989	9,218	114	-	38,231	34,186
Payments-in-lieu of taxes	14,770	-	-	-	14,770	15,109
Provincial and federal grants	5,899	2,800	402	-	9,101	8,654
Development cost charges	16,632	-	-	-	16,632	17,818
Other capital funding sources	24,832	-	-	1,769	26,601	72,575
Other revenues:						
Investment income	17,614	-	-	-	17,614	16,303
Gaming revenue	17,559	-	-	-	17,559	19,555
Licenses and permits	12,372	-	-	50	12,422	10,747
Other	34,207	1,085	251	-	35,543	48,755
	468,700	13,013	767	2,424	484,904	527,128
Expenses:						
Wages and salaries	136,973	8,684	6,629	-	152,286	147,996
Public works maintenance	14,367	-	1	-	14,368	15,294
Contract services	62,612	-	581	390	63,583	59,073
Supplies and materials	53,384	5,042	1,545	256	60,227	55,750
Interest and finance	22,481	-	8	113	22,602	21,391
Transfer from (to) capital for tangible capital assets	9,575	-	(158)	-	9,417	19,349
Amortization of tangible capital assets	53,326	1,394	1,029	184	55,933	53,966
Loss on disposal of tangible capital assets	868	-	153	-	1,021	755
	353,586	15,120	9,788	943	379,437	373,574
Annual surplus (deficit)	\$ 115,114	\$ (2,107)	\$ (9,021)	\$ 1,481	\$ 105,467	\$ 153,554

CITY OF RICHMOND

Notes to Consolidated Financial Statements (continued)
(Tabular amounts expressed in thousands of dollars)

Year ended December 31, 2016

22. Budget data:

The budget data presented in these consolidated financial statements is based on the Consolidated Financial Plan adopted by Council on March 14, 2016. The chart below reconciles the adopted Consolidated Financial Plan to the budget figures reported in these consolidated financial statements.

	Financial plan bylaw No. 9521	Financial statement budget
Revenues:		
Consolidated financial plan	\$ 499,034	\$ 499,034
Expenses:		
Consolidated financial plan	397,388	397,388
Add: Acquisition of tangible capital assets	-	1,020
Less: LIEC budget adjustment	-	(369)
	397,388	396,737
Annual surplus	101,646	102,297
Less: Acquisition of tangible capital assets	(441,608)	-
Less: Transfer to reserves	(62,222)	-
Less: Debt principal	(4,402)	-
	(406,586)	-
Add: Capital funding	403,510	-
Add: Transfer from surplus	3,076	-
Annual surplus per consolidated statement of operations	\$ -	\$ 102,297

23. Comparative information:

Certain comparative information has been reclassified to conform to the financial statement presentation adopted for the current year.



City of Richmond

Report to Committee Planning and Development Division

To: Planning Committee
From: Wayne Craig
Director, Development

Date: April 24, 2017

File: RZ 16-754713

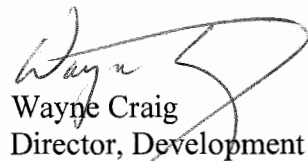
Re: Application by 1082843 BC Ltd. for Rezoning Portions of 22720 and 22740 Westminster Highway from "Single Detached (RS1/F)" to "High Density Townhouses (RTH1)"

Staff Recommendations

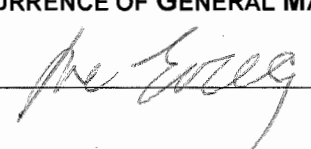
That Richmond Zoning Bylaw 8500, Amendment Bylaw 9714 to:

1. Include the Hamilton Area Plan density bonus and community amenity provisions within the "High Density Townhouses (RTH1)" zone; and
2. Rezone the western portion of 22720 and 22740 Westminister Highway from "Single Detached (RS1/F)" to "High Density Townhouses (RTH1)";

be introduced and given first reading.


Wayne Craig
Director, Development

WC:mmm
Att.7

REPORT CONCURRENCE		
ROUTED TO:	CONCURRENCE	CONCURRENCE OF GENERAL MANAGER
Engineering	<input checked="" type="checkbox"/>	
Affordable Housing	<input checked="" type="checkbox"/>	
Environmental Sustainability	<input checked="" type="checkbox"/>	

Staff Report

Origin

1082843 BC Ltd. has applied to rezone the western portion of 22720 and 22740 Westminster Highway with a total site area of 0.3820 ha. (0.95 acre) from “Single Detached (RS1/F)” to “High Density Townhouses (RTH1)” (Attachment 1) to allow for the development of 25 townhouse units. There is an additional amendment to Richmond Zoning Bylaw 8500 to include the Hamilton Area Plan’s density bonus and community amenity contribution provisions within the “High Density Townhouses (RTH1)” zone. The proposed 25-unit townhouse development will be constructed within six (6) three-storey buildings (Attachment 2). The adjacent easterly portions of the subject lots will be consolidated into one separate lot that includes an existing single-family dwelling.

Findings of Fact

A Development Application Data Sheet providing details about the development proposal is included in Attachment 3.

Surrounding Development

Development surrounding the subject site is as follows:

- To the North: A townhouse development zoned “Town Housing (ZT11) – Hamilton”.
- To the South: A church property zoned “Assembly (ASY)”.
- To the East: The remainder of the subject lots to the east are zoned “Single Detached (RS1/F)” which includes a single family dwelling and the Queen Canal further to the east.
- To the West: A single family property zoned “Single Detached (RS1/F)” and part of a townhouse development zoned “Town Housing (ZT11) – Hamilton”.

Related Policies & Studies

Official Community Plan / Hamilton Area Plan

The Official Community Plan (OCP) designates the subject site as “Neighbourhood Residential (NRES)” and the Hamilton Area Plan designates the site as “Neighbourhood Residential (Townhouse 0.75 FAR)” which allows for three-storey, ground-oriented townhouses (Attachment 4).

The applicant is also required ensure that the engineering and servicing provisions in the “Construction, Phasing and Interim Design Measures” in Appendix 1 of the Hamilton Area Plan are addressed in the Development Permit and Servicing Agreement. These measures include the applicant’s engineers addressing the mitigation of pre-loading, grade changes and perimeter drainage onto adjacent properties and City roads.

In summary, the development proposal is consistent with the OCP and Hamilton Area Plan.

Floodplain Management Implementation Strategy

The proposed redevelopment must meet the requirements of the Richmond Flood Plain Designation and Protection Bylaw 8204. Registration of a flood indemnity covenant on Title is required prior to final adoption of the rezoning bylaw.

Public Consultation

A rezoning sign has been installed on the subject property. Staff have received no inquiries from the public about the rezoning application in response to the placement of the rezoning sign on the property.

In Fall 2016, the applicant forwarded a preliminary plan with the proposed 25-unit townhouse project and McLean Avenue cul-de-sac to the Bethany Baptist Church located on the south side of this road. In response, the church provided a letter stating that they were supportive of the general form of the development and the configuration of McLean Avenue (Attachment 5).

Should the Planning Committee endorse this application and Council grant 1st Reading to the rezoning bylaw, the bylaw will be forwarded to a Public Hearing, where any area resident or interested party will have an opportunity to comment.

Public notification for the Public Hearing will be provided as per the *Local Government Act*.

Approval from the Ministry of Transportation and Infrastructure will be required prior to Council consideration of adoption of the zoning amendment bylaw.

Analysis

Built Form and Architectural Character

The proposed development includes 25 townhouse units (Attachment 2) with the following elements:

- The project's six (6) buildings are comprised of four (4) different neo-traditional buildings types designed to provide architectural variation and the shape of the site.
- The project continues a similar townhouse streetscape along Westminster Highway as found in the adjacent townhouse complex to the north.
- Units will have an average floor area of approximately of 111 m² (1,191 ft²).
- The typical building height is three (3) storeys with a maximum building height of 10.5 m (34.5 ft.) above finished grade, consistent with the RTH1 zone.
- The driveway leading from McLean Avenue branches into two (2) short, north-south driveways.
- The proposed project will feature a 4.5 m (14.8 ft.) rear yard setback to the proposed single family residential lot to the east (designated for future townhouse development), and 3.0 m (9.8 ft.) side yard setback to the existing townhouse complex to the north of the

development. This complex is separated from the proposed development with an existing 2.0 m (6.6 m) solid wood fence, and a dense Laurel hedge and deciduous trees to be planted adjacent to the fence.

- Setbacks to Westminster Highway will be 6.0 m (19.7 ft.) and setbacks to McLean Avenue will be 4.5 m (14.8 ft.) in most places with small portions of two-units requiring a setback variance to 4.0 m (13.1 ft.).
- There will be 13 units with side-by-side double garages and 12 units with tandem double garages providing for more unit choice and variation in building form. This arrangement with 44% of the parking spaces in a tandem arrangement is consistent with the maximum 50% tandem parking space Richmond Zoning Bylaw 8500 as discussed below.

At Development Permit stage, design elements to be reviewed include:

- Adding further small-scale articulation and architectural detailing of the townhouse buildings, particularly those facing onto the public realm.
- Refining the landscape plans, particularly for the playground, large trellis structure near the driveway entrance, and to provide a robust landscape buffer to the existing townhouse complex to the north.

Existing Legal Encumbrances

There is an existing City covenant (LTO No. BA281939) registered on the Title of 22720 Westminster Highway, registered in 2006 as condition of a demolition permit, that restricts use of the lot to one (1) single family dwelling which will be required to be discharged.

Subdivision

As noted above, there will be a re-subdivision of the two (2) existing lots within the site for the proposed townhouse development site on Parcel A on the western portion of the site and Parcel B for the existing single-family home on the eastern portion of the site. The applicant has also prepared a concept plan for a possible future townhouse development on the proposed Parcel B.

Prior to adoption of Bylaw 9714, registration of a legal agreement on title prohibiting re-subdivision of the proposed Parcel B will be required.

Transportation and Site Access

Vehicle and Pedestrian Access

As noted above, vehicle and pedestrian access to the townhouse project (Parcel A) will be provided by single driveway from the cul-de-sac at the end of McLean Avenue. There will also be an adjacent driveway to the existing single family dwelling that will remain on the proposed Parcel B to the east.

A Statutory-Right-of-Way (SRW) will be registered on Title of both Parcels A and B to secure public access portions over both lot's driveways (Attachment 7) to assist in providing loading truck, fire truck, garbage and recycling vehicle turning in the Mclean Avenue cul-de-sac.

Parking

The subject townhouse development complies with the parking requirements of Zoning Bylaw 8500. There are a total of 50 resident parking spaces in double garages within each of the 25 townhouse units and 5 surface visitor parking spaces. Of the resident spaces, 24 spaces (44%) are in 12 tandem garages and 26 spaces are within 13 side-by-side garages.

LEED / Energy Efficiency and Renewable Energy Development

As required by the Hamilton Area Plan, the developer has agreed to ensure that the project has been designed to achieve a Canadian Green Building Council LEED Silver rating. This will require review by a LEED certified consultant which confirms that buildings have been designed at Development Permit and constructed at Building Permit to achieve the required LEED certification or equivalent.

The LEED Silver assessment will include a review of the City-wide townhouse energy efficiency requirements. These requirements include registration of a legal agreement on Title, identifying that the proposed development will be designed and constructed to meet or exceed EnerGuide 82 criteria for energy efficiency, or design and build each proposed townhouse unit so that it meets the Energy Star for New Homes Standard. The agreement will also provide that the requirements of the *BC Solar Hot Water Ready Regulation* are to be incorporated in the building.

The applicant will register an electric vehicle parking covenant on Title requiring that 100% of resident parking spaces will be equipped with 120V electric plug-ins for electric vehicle charging equipment.

Tree Retention and Replacement

The applicant has submitted a certified Arborist's Report and tree survey (Attachment 6) which identifies on-site and off-site tree species, assesses tree structure and condition, and provides recommendations on tree retention and removal relative to the proposed development. The Report assesses 13 trees located on the development site to be removed and replaced. This tree removal is required due to the poor condition of some of the existing trees and due to pre-loading and fill required for construction of the development with the existing peat soil conditions.

The City's Tree Preservation Coordinator has reviewed the Arborist's Report and supports the arborist's findings with the following comments:

- The 13 on-site trees within the development site.
- A total of at least 26 replacement trees are required at a 2:1 ratio for the 13 trees to be removed.

On-Site Tree Replacement

The preliminary landscape plans include 56 trees on the development site in excess of the minimum 26 replacement trees required. Replacement tree species and sizes are to be confirmed and included within the Development Permit landscape plans.

Off-Site Tree Compensation

City Parks staff reviewed one (1) off-site tree within the Westminster Highway road allowance proposed to be removed to accommodate new road frontage works.

The applicant will make a contribution of \$1,300 to the City Tree Compensation Fund for removal one (1) tree within the Westminster Highway road allowance required for road frontage works.

Riparian Management Area

The existing vegetated area within the Queen Canal Riparian Management Area (RMA) extends 15 m (49 ft.) back from the top of bank of the watercourse into the rear portion of the existing single-family home site on proposed Parcel B. While no change to dwelling or yard on proposed Parcel B is envisioned, the applicant has agreed to register a legal agreement on Parcel B that requires preparation of a report by qualified environment professional with specifications to remove invasive species and plant native species within the existing vegetated area within the RMA. The agreement will require that the applicant provide a security to ensure that this work is completed.

Variance Requested

The proposed development will require a minor variance to exterior side yard setback to McLean Avenue from 4.5m (15.9 ft.) to 4.0 m (13.1 ft.) for small portions of two (2) buildings to be considered through the forthcoming Development Permit application. This variance is supported by staff as it facilitates road dedication for the construction of a cul-de-sac to allow for improved vehicle turning movements on this existing dead-end street.

Hamilton Area Plan Amenity Contributions

This Hamilton Area Plan requires amenity contributions of \$70.50 per square meter (\$6.55 per square foot) for townhouse developments. The developer will provide \$201,786 to be contributed to the City's Hamilton Area Plan Amenity Reserve Fund.

Affordable Housing Strategy

The City's Affordable Housing Strategy is applicable to this development which requires a contribution of \$4.00 per buildable square foot or \$123,228 to the City's Affordable Housing Fund.

In response to previous discussions and the Council referral from the April 10, 2017 Council meeting, *"That staff develop a policy on market rental suites and secondary suites in multi-family developments and report back."*, staff asked the applicant consider providing secondary suites. The applicant has declined to provide secondary suites within the townhouse units due to site constraints and the high Flood Construction Level (FCL) of 3.5 m in Hamilton that precludes including habitable space on the ground level of this development.

Accessible and Convertible Housing

The applicant has agreed to register a legal agreement on title ensuring that two (2) of the units are designed and built as accessible convertible housing with construction specifications to readily allow the units to be converted into fully accessible units in the future should an owner

elect to do so. These units will include framing to allow for a lift to be installed, wider doorways and corridors, an accessible washroom and kitchen, and other measures to allow for ease of conversion.

Public Art Program

The City's Public Art Program is applicable to this application. The applicant has agreed to make a voluntary contribution of \$0.83 per buildable square foot or \$25,570 to the City's Public Art Program.

Amenity Space

The applicant has opted to provide a \$31,000 contribution to the City under *Cash In Lieu of Indoor Amenity Space Policy 5041*.

The project will include 151 m² (1,622 ft²) of common outdoor amenity area located near the centre of the development site. The proposed amenity areas are consistent with the requirements of the OCP.

Main features of the central amenity area include:

- Large play area with play equipment.
- Large open air seating areas.
- Walking pathways built of permeable concrete.

Each unit is also provided with private outdoor space with both balconies and yards meeting the OCP guidelines and each having at least an area of 30 m² (323 ft²).

Site Servicing and Frontage Improvements

The applicant will be undertaking works under a Servicing Agreement for the development as provided in the Rezoning Considerations (Attachment 7), including but not limited to the following elements.

- *Westminster Highway Frontage Improvements*
There will be road dedication along 40 m (131 ft.) of the site' road frontage to allow construction of a 1.5 m (4.9 ft.) wide concrete sidewalk, boulevard with grass and street trees, and installation of street lights.
- *McLean Ave Frontage Improvements*
There will be road dedication taken from the property's frontage to accommodate construction of a cul-de-sac, pavement widening, a concrete sidewalk, boulevard with grass and street trees, and installation of street lights.
- *Water Servicing*
The applicant is required to remove and replace the existing watermain along McLean Avenue and install a fire hydrant.

- *Storm Sewer Works*

The applicant will be required to remove the existing storm drainage lift station within Westminster Highway and re-construct it with an SRW to be registered on Title on the northwest corner of the townhouse development site.

- *Sanitary Sewer Works*

The applicant will install a new sanitary main along McLean Avenue and Westminster Highway.

Financial Impact or Economic Impact

There is no significant operating budget impact anticipated for the ongoing maintenance of City infrastructure associated with this development.

Conclusion

As envisioned by the Hamilton Area Plan, the proposed 25-unit townhouse development provides a transition between existing single-family subdivisions to the west and proposed apartment and senior's housing developments to northeast along the Gilley Road High Street recently considered by Planning Committee.

Thus, it is recommended that Zoning Bylaw 8500, Amendment Bylaw 9714, be introduced and given first reading.



Mark McMullen
Senior Coordinator - Major Projects
(604-276-4173)

MM:rg

Attachment 1: Location Map

Attachment 2: Conceptual Development Plans

Attachment 3: Development Application Data Sheet

Attachment 4: Hamilton Area Plan Land Use Map

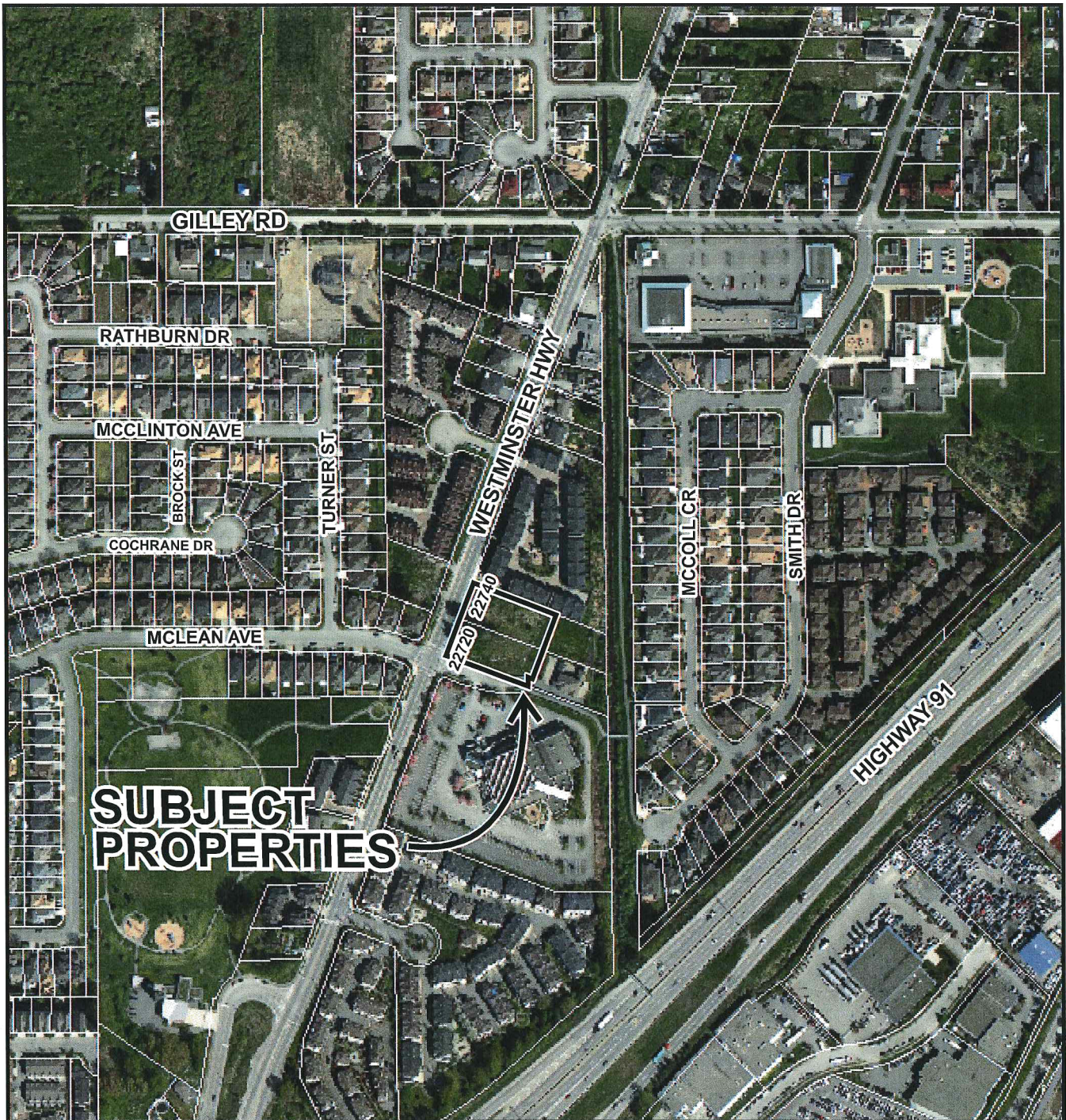
Attachment 5: Letter from Bethany Baptist Church dated September 23, 2016

Attachment 6: Tree Survey

Attachment 7: Rezoning Considerations



City of
Richmond



RZ 16-754713

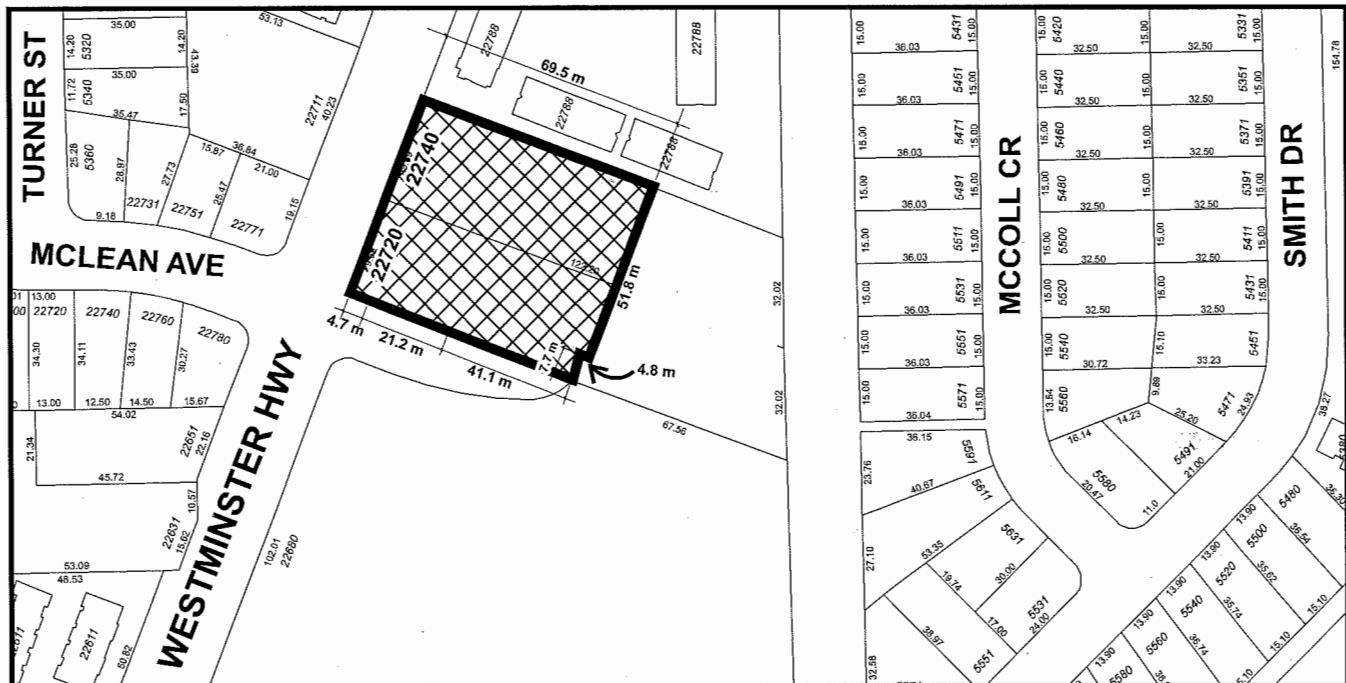
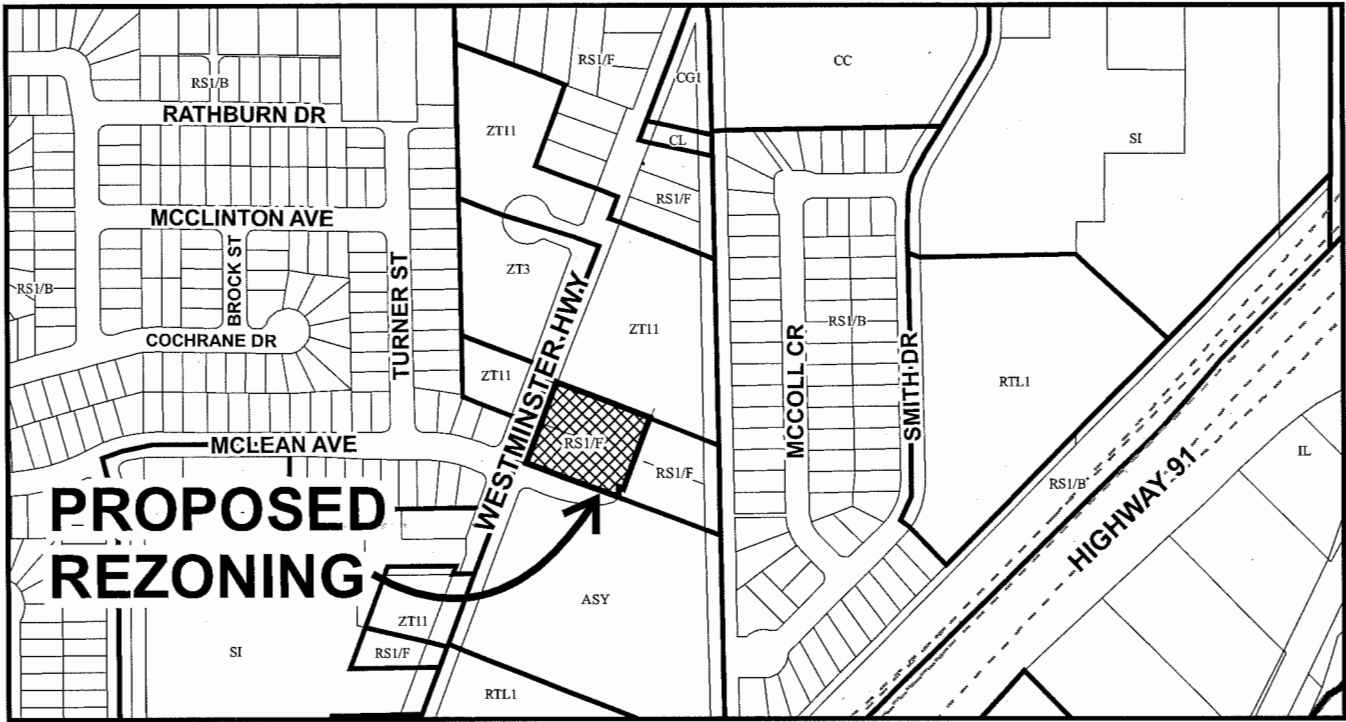
Original Date: 01/11/17

Revision Date: 04/10/17

Note: Dimensions are in METRES



City of Richmond

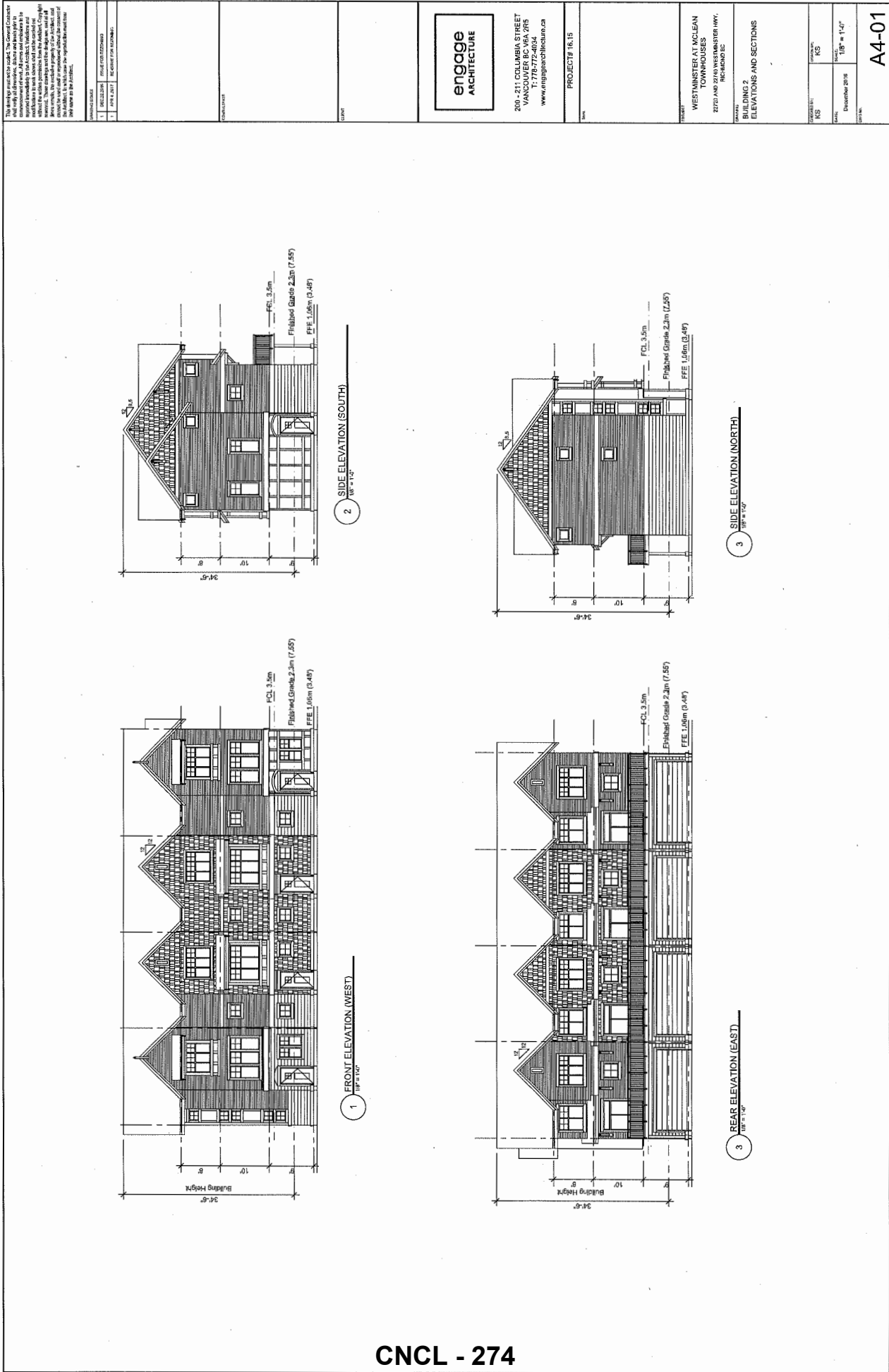


RZ 16-754713

Original Date: 01/11/17

Revision Date: 04/10/17

Note: Dimensions are in METRES



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NO.	DATE	REVISION DESCRIPTION	BY	CHK.
1	10/15/15	REVISION FOR PERMITS	AL	AL
2	10/15/15	REVISION FOR PERMITS	AL	AL
3	10/15/15	REVISION FOR PERMITS	AL	AL
4	10/15/15	REVISION FOR PERMITS	AL	AL
5	10/15/15	REVISION FOR PERMITS	AL	AL
6	10/15/15	REVISION FOR PERMITS	AL	AL
7	10/15/15	REVISION FOR PERMITS	AL	AL
8	10/15/15	REVISION FOR PERMITS	AL	AL
9	10/15/15	REVISION FOR PERMITS	AL	AL
10	10/15/15	REVISION FOR PERMITS	AL	AL

PROJECT:
MULTI-FAMILY
RESIDENTIAL DEVELOPMENT
2720/2740 WESTMINSTER HWY
RICHMOND, B.C.

DRAWING TITLE:
LANDSCAPE
PLAN

DATE: 10/15/15
SCALE: 1/8"=1'-0"
DRAWN: AL
CHECKED: AL
DATE: 10/15/15
M2LA PROJECT NUMBER: 15-007



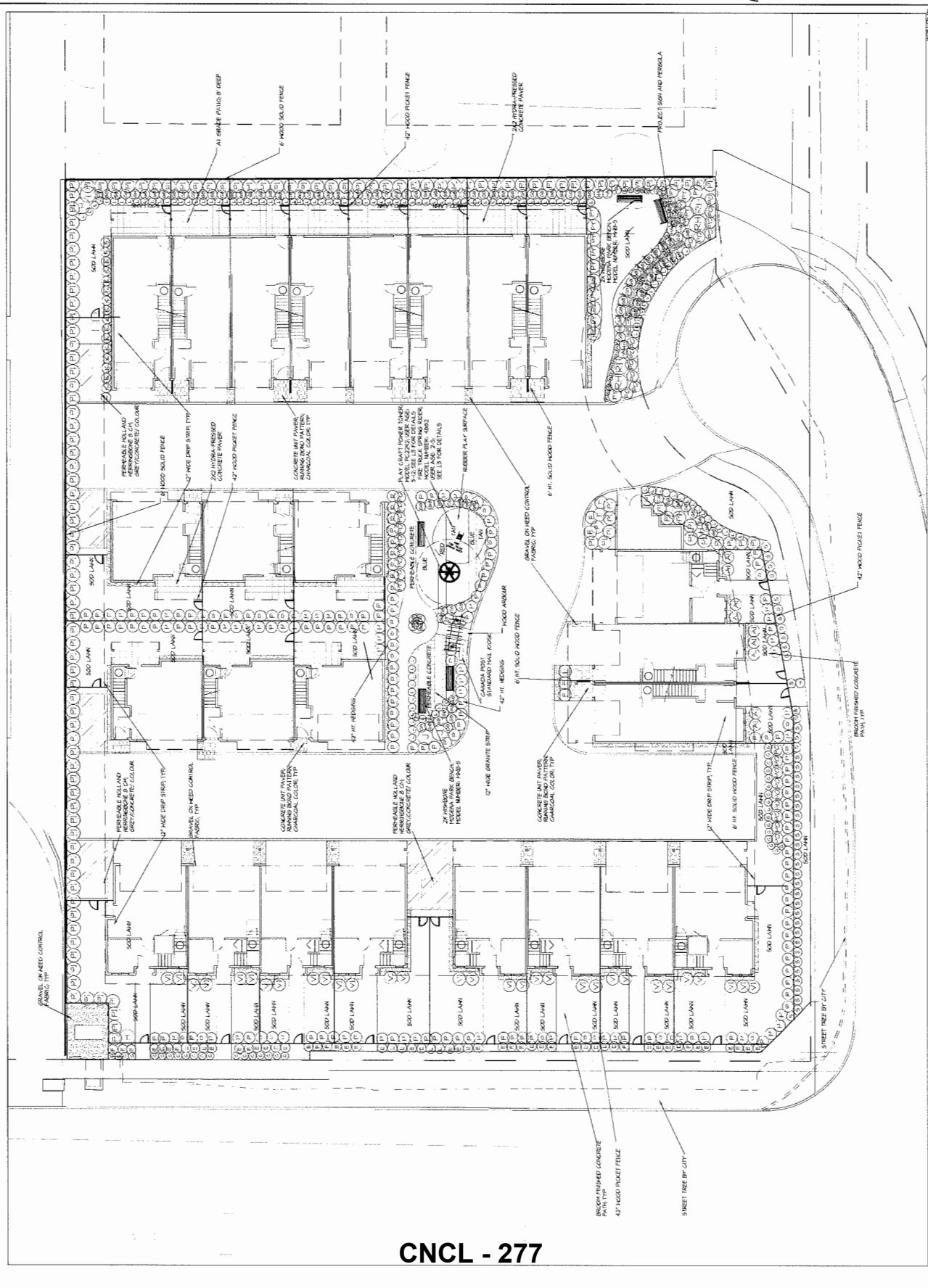
CNCL - 276

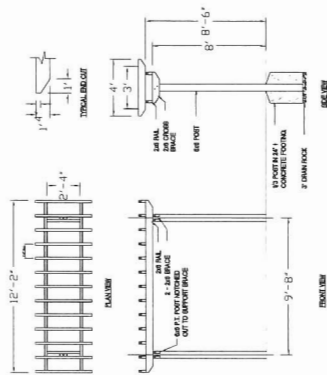
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PROJECT:
MULTI-FAMILY
RESIDENTIAL DEVELOPMENT
22720/22740 WESTMINSTER HWY
RICHMOND, B.C.

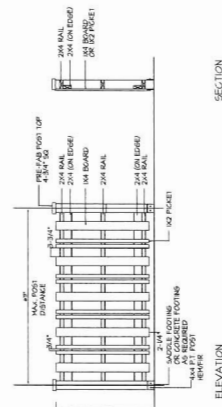
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	DESIGN: CL	
	INCHES: 1/4"	





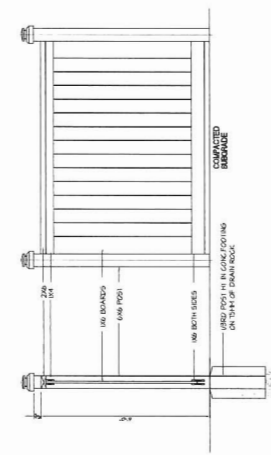
ALL WOOD MEMBERS TO BE PRESERVE TREATED TO C.B.A. STANDARD
ALL HARDWARE TO BE HOT-DIPPED GALVANIZED
APPLY TWO COATS OF STAIN TO MATCH BUILDING (TO BE APPROVED BY
OWNER OR LANDSCAPE ARCHITECT)
COAT ALL CUT SURFACES WITH EQUAL PRESERVATIVE AS ABOVE



SECTION

NOTES:
1. ALL WOOD P.T. HEM/AR
2. STAIN TO MATCH AREA. TWO COATS PREMIUM WEATHER PROOFING STAIN
3. ALL FASTENERS NOT-DIPPED GALVANIZED
4. FIBERGLASS ROOF, FLASHING AND ALL ROOF FINISHES, LEAK-PROOF

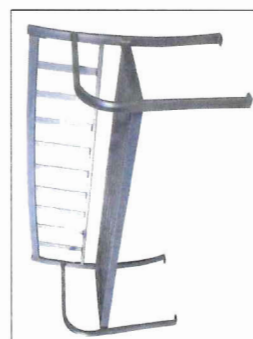
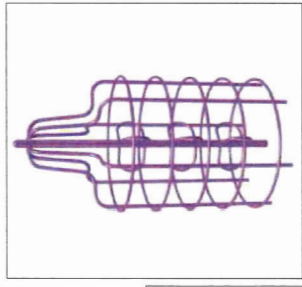
42" HT. WOOD PICKET FENCE



TYPICAL FENCE NOTES:

1. ALL WOOD PT. MEMBER
2. STAIN THE TOPS EXTERIOR STAIN, TO MATCH ALGACRITHRAL TRIM (COLOR TO BE PRE-APPROVED BY OWNER)
3. ALL HARDWARE NOT DIPPED GALVANIZED.
4. GATE HARDWARE TO BE PRE-APPROVED BY OWNER.

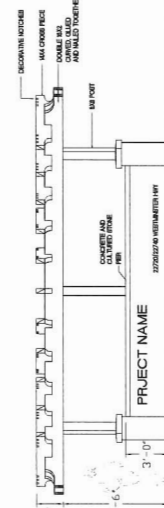
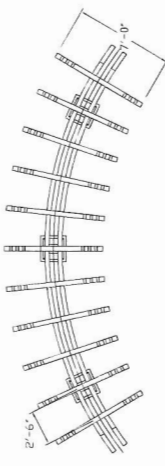
1.3 6" HIGH SOLID WOOD FENCE 1/2" x 1-0"

[illegible][illegible]

NISIBONE
MODENA PARK BENCH;
MODEL NUMBER: MWB-5;
POWDER COATED IN BLACK



FIRE TRUCK SPRING RIDER;
MODEL NUMBER: 4002
USER AGE: 2-5;
SEE L3 FOR DETAILS



MOTED

1. ALL
2. CO

PROJECT SIGN AND PERGOLA

 $1/4^{\circ} = 1.5^{\circ}$



RZ 16-754713

Attachment 3

Address: 22720 and 22740 Westminster Highway

Applicant: 1082843 BC Ltd.

Planning Area(s): Hamilton

	Existing	Proposed
Owner:	Han Su-Mei Sun & Eva Lu-Ping Sun	1082843 BC Ltd.
Site Size (m²):	7,280 m ² (Two existing single-family lots)	3,820 m ² (After subdivision off of single-family lot & road dedication)
Land Uses:	Single Family Dwelling	Townhouse Development
OCP Designation:	Residential	Residential
Area Plan Designation:	Neighbourhood Residential (Townhouse 0.75 FAR)	Neighbourhood Residential (Townhouse 0.75 FAR)
Zoning:	Single Detached (RS1/F)	High Density Townhouses (RTH1)
Number of Units:	1	25
Other Designations:	Riparian Management Area outside of site to be rezoned	Riparian Management Area outside of site to be rezoned

On Future Subdivided Lots	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.75 FAR with density bonus provided	0.73 FAR	none permitted
Buildable Floor Area (m ²):*	Max. 2,862 m ² (30,807 ft ²)	Max. 2,767m ² (29,786 ft ²)	none permitted
Lot Coverage (% of lot area):	Building: Max. 45% Non-porous Surfaces: Max. 25% Total: Max. 70%	Building: Max. 37% Non-porous Surfaces: Max. 29% Total: Max. 66%	none
Lot Size:	1,800 m ²	3,820 m ²	none
Lot Dimensions (m):	Width: 40 m Depth: 30 m	Width: 55.36 m Depth: 69.44 m	none
Setbacks (m):	Front (Westminster Hwy): Min. 4.5 m Rear: Min. 4.5 m Side: Min. 2.0 m Ext Side (McLean Ave): Min. 4.5 m	Front (Westminster Hwy): Min. 6.0 m Rear: Min. 4.5 m Side: Min. 3.0 m Ext Side (McLean Ave): Min. 4.0 m	Variance from 4.5 m to 4.0 m in certain locations
Height (m):	12 m	10.5 m	none
Off-street Parking Spaces – Regular (R) / Visitor (V):	50 (R) and 5 (V) per unit	50 (R) and 5 (V) per unit	none

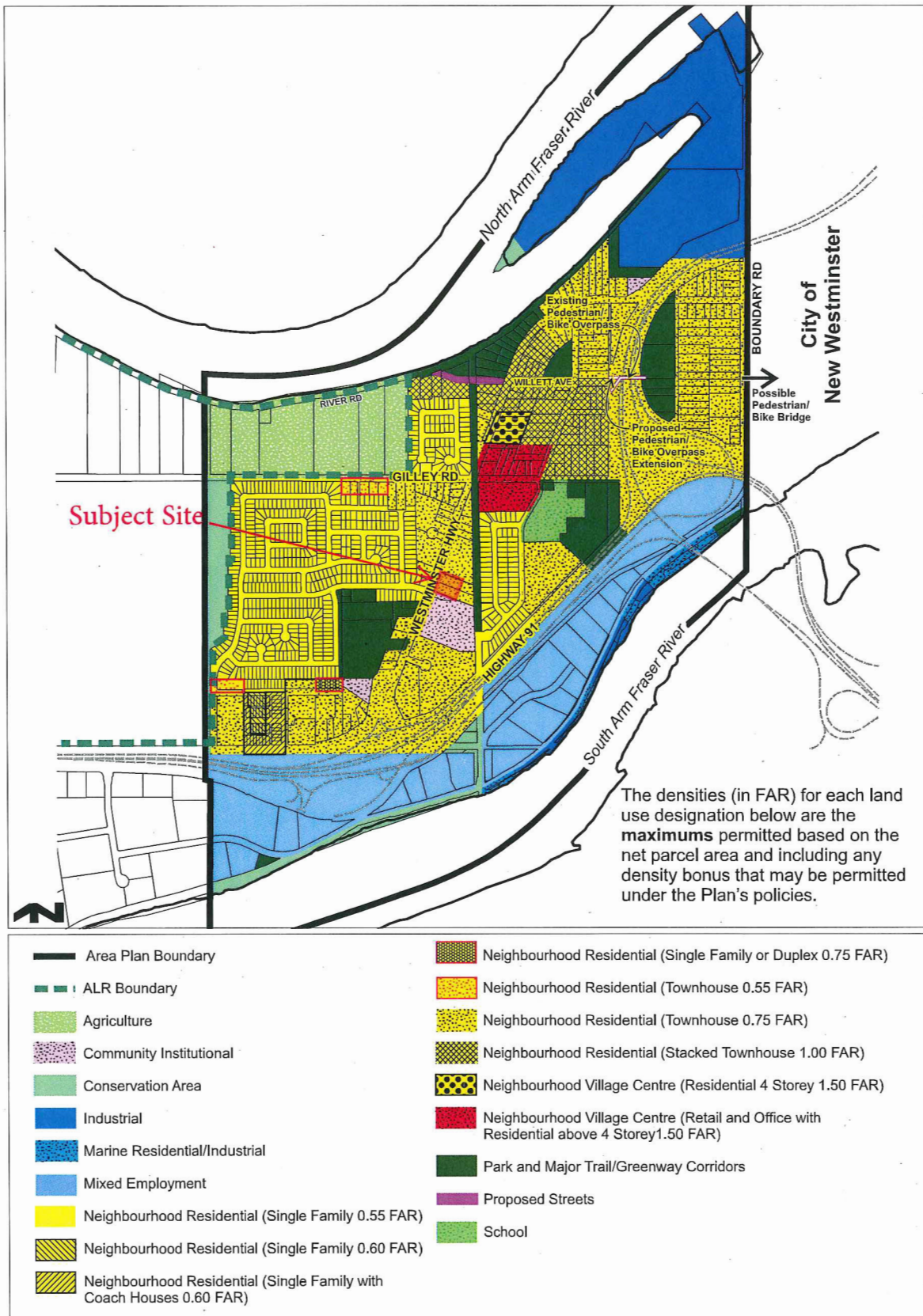
On Future Subdivided Lots	Bylaw Requirement	Proposed	Variance
Off-street Parking Spaces – Total:	55	55	none
Tandem Parking Spaces:	Permitted – Maximum of 50% of required spaces	44%	none
Amenity Space – Indoor:	75 m ²	0 m ² \$31,000 provided as per Cash-Lieu Policy 5041	none
Amenity Space – Outdoor:	151 m ²	151 m ²	none

Other: Replacement trees / compensation required for loss of 13 bylaw-sized on-site trees and 1 off-site tree.

* Preliminary estimate; not inclusive of garage; exact building size to be determined through zoning bylaw compliance review at Building Permit stage.

Hamilton Area Plan

Land Use Map



Bethany Baptist Church
22680 Westminster Hwy
Richmond, BC
V6V 1B7

September 23, 2016

Mark McMullen
Senior Planner, City of Richmond
6911 No. 3 Road
Richmond, BC
V6Y 2C1

RE: Proposed Redevelopment of 22720 and 22740 Westminster Hwy

Dear Mr. McMullen:

I am writing with regards to the development site that is located on the North side of McClean Avenue to the North of the Bethany Baptist Church property. We have been in discussions with the developer about the redevelopment plans for the site and have reviewed the attached drawings showing the proposed development plans.

We have reviewed the proposed development plans and can confirm that the Church is supportive of the general form of development proposed for this site. We can also confirm that the Church has reviewed the proposed access and road configuration of McClean Avenue east of Westminster Highway, and that the proposed configuration of McClean Avenue would continue to suit the current and long term operational and transportation needs (e.g., access, services, garbage and recycling) of the Church.

Overall the Bethany Baptist Church is in support of this type of housing and feel that this development would be a positive addition to the Hamilton neighborhood.

Warm regards,



The Bethany Baptist Church

Dave Bradshaw

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#220 - 26 Lorne Mews
New Westminster, British Columbia
V3M 3L7
Tel: 604.553.0044
Fax: 604.553.0045
Email: office@m2la.com

NO.	DATE	REVISION DESCRIPTION	DWG.

PROJECT:

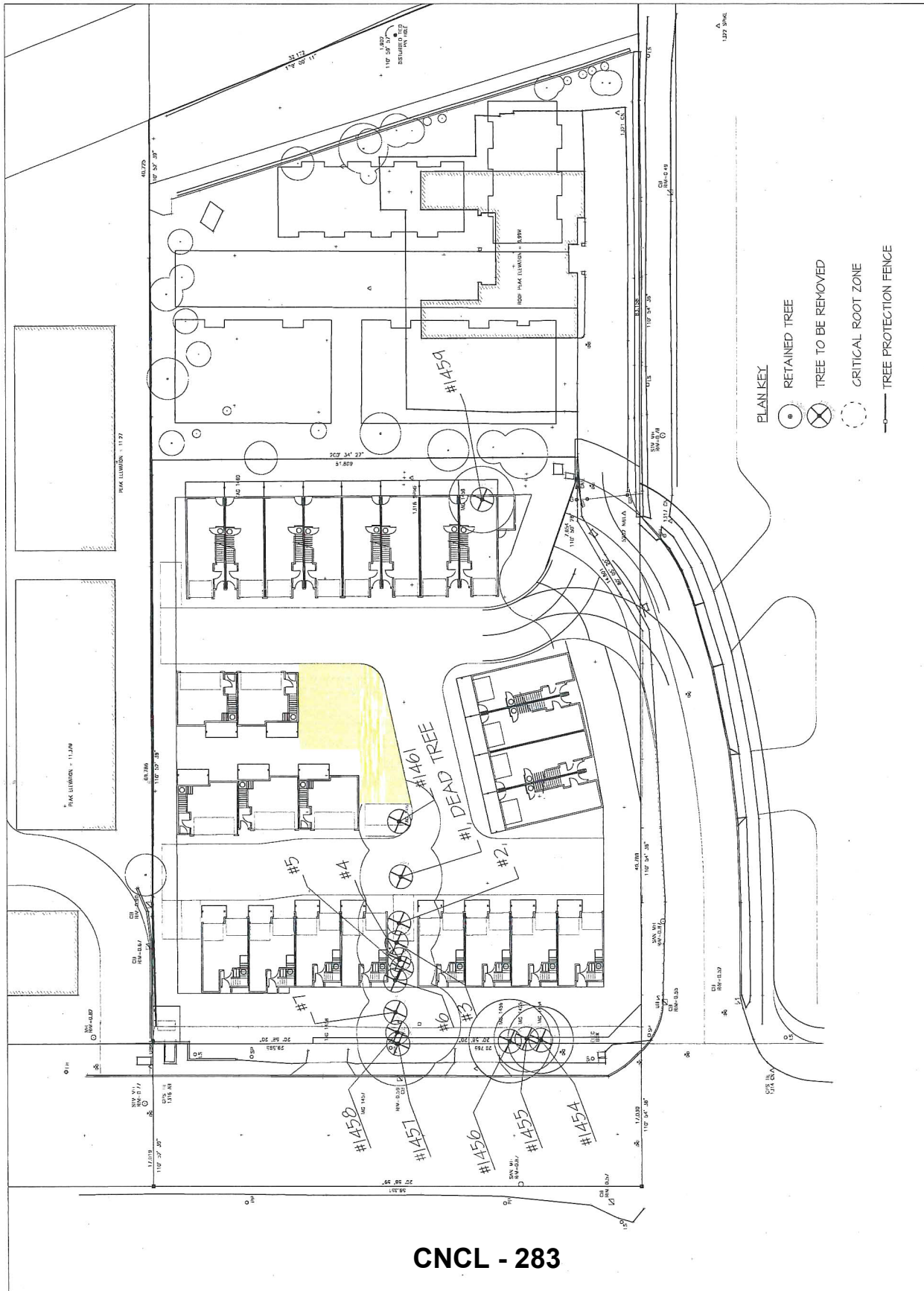
ARBORIST SERVICES
22720, 22740 WESTMINSTER HWY
RICHMOND, BC

DRAWING TITLE:

ARBORIST PLAN

DATE:	01/26/21	DRAWING NAME:	
SCALE:	1/8" = 1'-0"		
DRAWN:	AO		
CHECKED:			
CNCL:	283		

SCALE PROJECT NUMBER:



CNCL - 283



Address: Rezoning at 22720 and 22740 Westminster Highway

File No.: RZ 16-754713

1082843 BC Ltd.

Prior to final adoption of Richmond Zoning Bylaw 8500, Amendment Bylaw 9714, the developer is required to complete the following:

1. Provincial Ministry of Transportation & Infrastructure Approval.
2. Confirmation to the satisfaction of the City that the conditions in the Ministry of Environment (MOE) Certificate of Compliance dated November 3, 2009 and all other provisions of the *BC Contaminated Sites Regulation* have been satisfied. This approval is required prior to rezoning adoption, subdivision approval or dedication of road to the City.
3. Consolidation and re-subdivision of the existing lots into Parcel A with an approximate area of 0.382 ha. and Parcel B with an approximate area of 0.315 ha.; and road dedication of approximately 36.8 m² for road widening and a corner cut on the Westminster Highway frontage of Lot A, and approximately 272.8 m² of road dedication for road widening and a cul-de-sac on the McLean Avenue frontage of Lot A as shown on Attachment 2.
4. Submission of an on-site landscape plan for the subject project site that includes at least 26 replacement trees based on a ratio of at least 2:1 to compensate for the 13 on-site trees to be removed. The required replacement trees are to be of the minimum sizes, based on the size of the trees being removed as per Tree Protection Bylaw No. 8057.
5. Contribution of \$1,300 to the City Tree Compensation Fund for removal one (1) tree within the Westminster Highway road allowance required for road frontage works.
6. Registration of a legal agreement on Lot B that requires preparation of a report by a qualified environment professional (QEP) with specifications for invasive species removal and native species replanting within the existing vegetated area within the Queen Canal Riparian Management Area (RMA) extending up to 15 m back from the top of bank within City property and Lot B in accordance with guidelines and best practices under the *Riparian Area Regulation*; and provision of a security to the City to ensure the developer's completion of this work; and release of the security when the works are confirmed by the QEP to be in good condition after a maintenance period of up to five years to the satisfaction of the City.
7. Truck Turning Areas: The granting of a 6.0 m wide statutory right-of-way over the driveways adjacent to McLean Avenue on the proposed Parcel A and Parcel B for the turning of SU9 trucks, Fire trucks, and Richmond garbage / recycling trucks as generally shown on Attachments 1 and 2 to provide for public pedestrian and vehicle access with the developer and owner being responsible for liability, construction and maintenance.
8. Storm Lift Station Kiosk: The granting of a 3.5 m by 4.5 m statutory right-of-way (SRW) on the townhouse site (Parcel B) for re-location of a City Storm Lift Station Kiosk as shown on Attachment 2 with the developer being responsible for construction and the City being responsible for on-going liability and maintenance.
9. Registration of a flood plain covenant on Parcel A and Parcel B on title identifying a minimum habitable elevation of 3.5 m GSC.
10. The submission and processing of a Development Permit* completed to a level deemed acceptable by the Director of Development.
11. City acceptance of the developer's offer to voluntarily contribute \$6.55 per square foot of the total buildable residential floor area (e.g. \$201,786) to the City's Hamilton Area Plan Amenity Reserve Fund.
12. City acceptance of the developer's offer to voluntarily contribute \$4.00 per buildable square foot (e.g. \$123,228) to the City's affordable housing fund.
13. Registration of a legal agreement on the title of Parcel A requiring that two (2) of the townhouse units are identified and designed as "Convertible Housing" with construction specifications provided based on the guidelines within Attachment 4; all identified units must have the measures installed/built prior to the City issuing permits granting occupancy for buildings in which the units are located.

14. City acceptance of the developer's offer to voluntarily contribute \$25,570 to the City's Public Art Program based on the buildable floor area of 30,807 sq. ft. at \$0.83 per buildable square foot.
15. City's acceptance of the developer's \$31,000 contribution to the City under Cash In Lieu of Indoor Amenity Space Policy 5041 in lieu of providing a 75 m² (753 ft²) common indoor amenity building as required under the Official Community Plan.
16. Registration on Title of a covenant prohibiting re-subdivision of the proposed single-family lot (Parcel B).
17. Discharge of City Covenant (LTO No. BA281939) registered on the Title of 22720 Westminster Highway, which restricts use of the lot to one (1) single family dwelling.
18. Submission of a letter from a LEED certified consultant as a requirement of issuance of the development permit and building permit confirming that the development has been designed to achieve a sufficient score to meet the current Canadian Green Building Council LEED Silver score criteria. The submission of a follow-up letter from a LEED certified consultant that confirms that buildings have been constructed to achieve LEED Silver certification or equivalent is required. Consideration should be given to building design with higher energy efficiency ratings than required by the BC Building Code.
19. Registration of a legal agreement on title of Parcel A ensuring that 100% of resident parking spaces will be equipped with 120V electric plug-ins for electric vehicle charging equipment.
20. Registration of a legal agreement on title identifying that the proposed development must be designed and constructed to meet or exceed EnerGuide 82 criteria for energy efficiency; or design and build each proposed townhouse unit so that it meets the Energy Star for New Homes Standard; and that the requirements of the BC Solar Hot Water Ready Regulation be incorporated in the building design.
21. Ensure to the satisfaction of the City that the Construction, Phasing and Interim Design Measures in Appendix 1 of the Hamilton Area Plan (Schedule 2.14, Official Community Plan Bylaw 9000) are addressed, as applicable, in the Development Permit and Servicing Agreement.
22. The submission and processing of a Development Permit* that addresses the Area Plan and OCP Multiple Family Guidelines and the Environmentally Sensitive Area Guidelines, completed to a level deemed acceptable by the Director of Development.
23. Enter into a Servicing Agreement* for the design and construction of works described in Attachment 3 – Servicing Works.

Prior to a Development Permit* being forwarded to the Development Permit Panel for consideration, the developer is required to:

1. Energy Efficiency: Complete a proposed townhouse energy efficiency report and recommendations prepared by a Certified Energy Advisor which demonstrates how the proposed construction will meet or exceed the required townhouse energy efficiency standards (EnerGuide 82 or better); or design and build each proposed townhouse unit so that it meets the Energy Star for New Homes Standard; and that the requirements of the BC Solar Hot Water Ready Regulation are incorporated in the building design.
2. Accessible Adaptable Units: The Development Permit plans are to identify two (2) of the units as "Convertible Housing" with construction specifications to be provided based on the guidelines within Attachment 4.
3. Aging-in-Place: Incorporation "Aging-in-Place" measures for all units.

Prior to Building Permit Issuance, the developer must complete the following requirements:

1. Each townhouse garage is to be equipped with a 120V electric plug-in for electric vehicle charging equipment.
2. Incorporation of the "accessible adaptable measures" for two (2) units and "aging-in-place" measures in all units the in Building Permit (BP) plans as determined via the Development Permit process.
3. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
4. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or a part thereof, additional City approvals and associated

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Initial: _____

fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property developer but also as covenants pursuant to Section 219 of the Land Title Act.

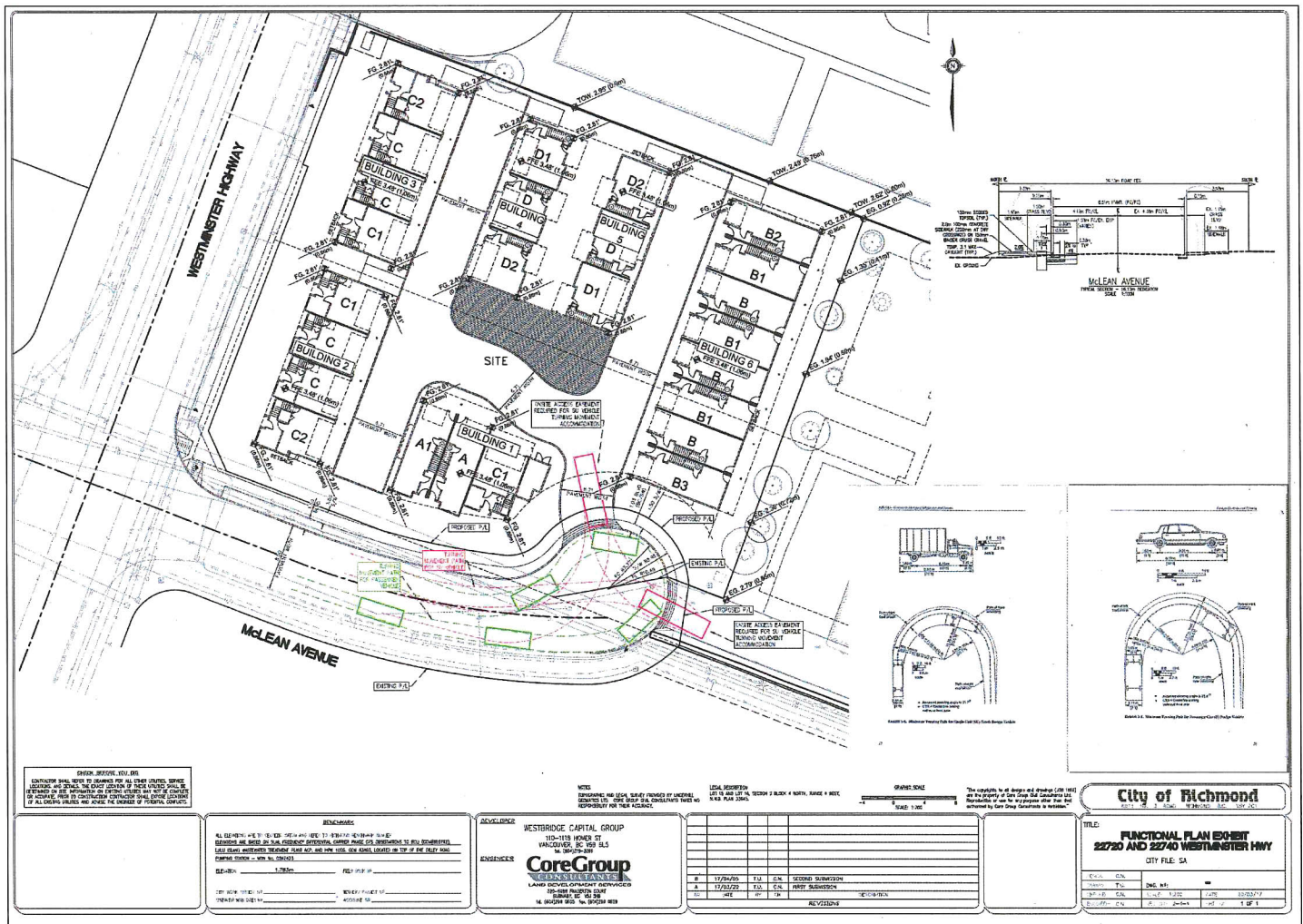
All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

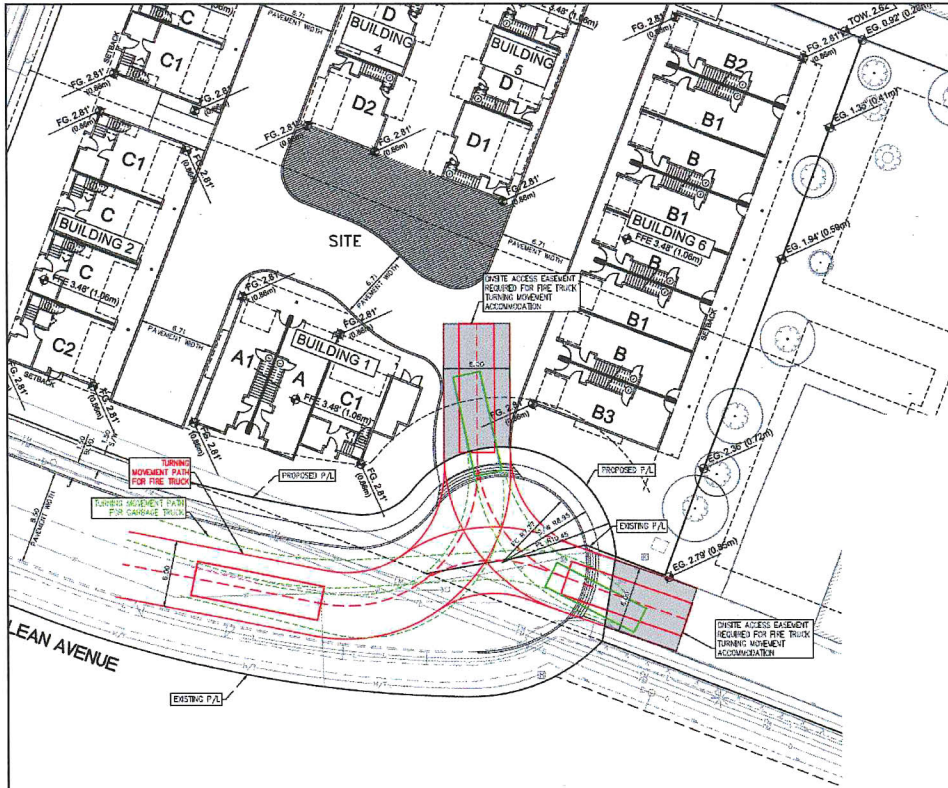
The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.
- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Signed _____

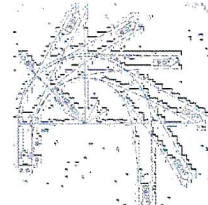
Date _____

Attachment 1 – Functional Road Plans





Waste Management Guidelines for
Multiple-Family Residential and Mixed Use Buildings
Figure 3
Minimum Turning Radius for Garbage and Recycling Collection Trucks



Minimum 12.8 m. Radius (42')

May 31, 2013



Units: 975/976 (1997), 1155 (2001)
Purpose: Creates ladder access to elevated scenes and pumps water.
Designations: Quints 1, 4, 7
Length: 38.2 feet (11.64m)
Wheel Base: 17.7 feet (5.40m)
Width: 10.2 feet (3.11m)
Height: 11.9 feet (3.62m)
GVW: 51,000 lbs (22,950 kgs)

NOTES
TOPOGRAPHIC AND LEGAL SURVEY PROVIDED BY UNCEMEL
GEOMATICS LTD. CORE GROUP HAS CONDUCTED VISUAL
INSPECTION OF THIS PROJECT.

LEGAL DESCRIPTION
LOT 15 AND LOT 16, SECTION 2 BLOCK 4 NORTH, RANGE 4 WEST,
F.R.S. PLAN 2545.

GRAPHIC SCALE
SCALE: 1:300

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are the property of Core Group Ltd. Reproduction or use for any purpose other than that
authorized by Core Group Consultants is prohibited."

City of Richmond
2011-2012 A. 2012-2013 B. 2013-2014 C. 2014-2015

BENCHMARK
DELIVER: TOTAL AND REFER TO PERSONNEL REQUIRED.
ON THE EXISTING SITE, OWNER HAS ONE EXISTING TO BE DEMOLISHED.
TO TOWN PLANNING ACT AND RPA 1996, CMA 1996, LOCATED ON TOP OF THE GULLY ROAD
ON NO. 0300123

1.78m
REVIEW: PROJECT NO.
REVIEW: PROJECT NO.
REVIEW: PROJECT NO.

REVIEWER
WESTRIDGE CAPITAL GROUP
110-1118 HOMER ST
VANCOUVER, BC V6B 6L5
46 (604) 678-2009

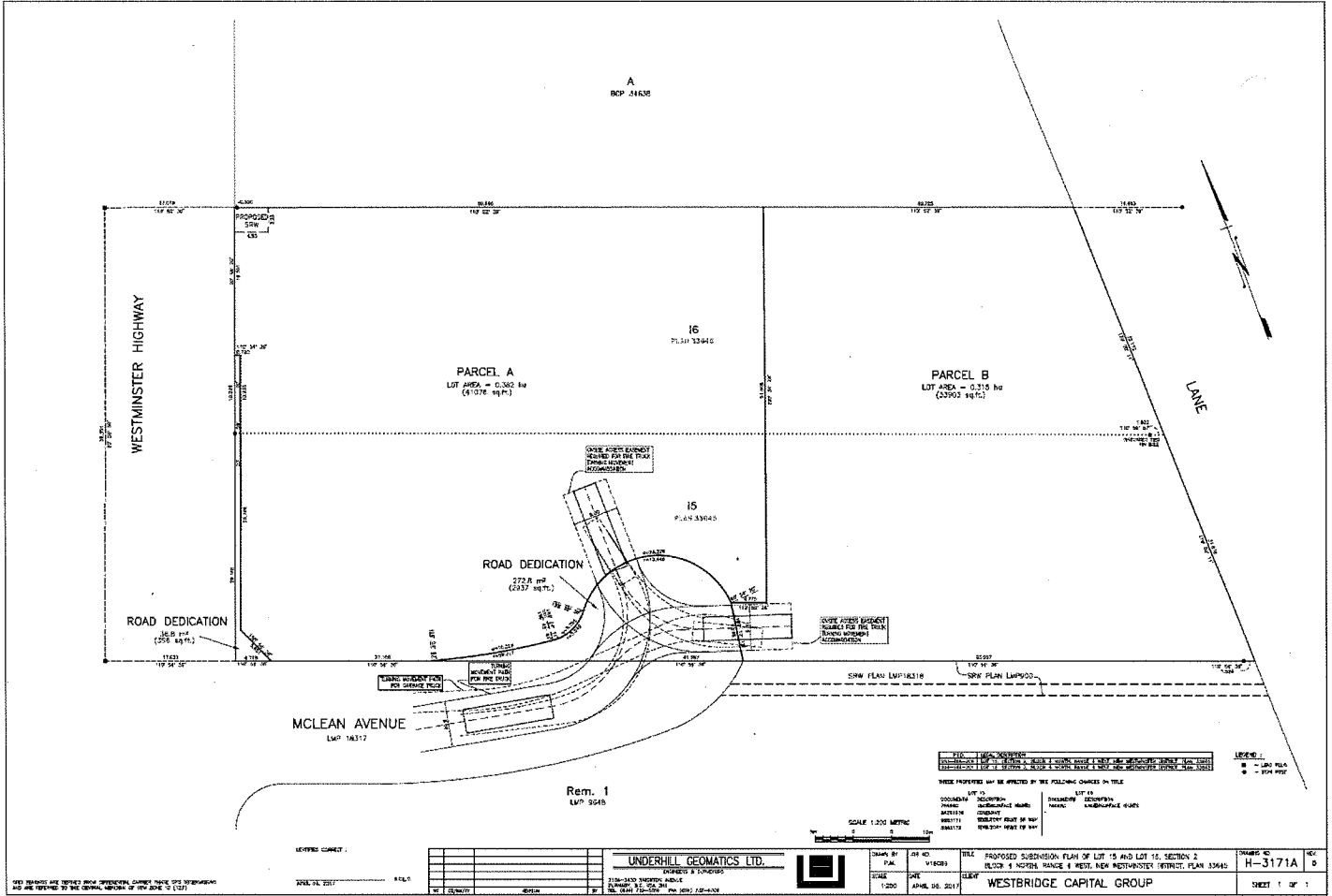
ENGINEER
CoreGroup
CONSULTANTS
LAND DEVELOPMENT SERVICES
200-888 PRESTON COURT
BURNABY, BC V5C 5H5
46 (604) 299-0828 fax (604) 299-0828

NO.	DATE	BY	CHK	DESCRIPTION
1	17/04/07	G.P.	C.N.	FIRE TRUCK & GARBAGE TURNING CIRCLE
2	17/04/06	G.P.	C.N.	FIRE TRUCK TURNING CIRCLE
3	17/04/05	T.J.	C.N.	SECOND SUBMISSION
4	17/03/05	T.J.	C.N.	FIRST SUBMISSION

TITLE:
FUNCTIONAL PLAN EXHIBIT
22720 AND 22740 WESTMINSTER HWY
CITY FILE: SA

TITLE:			
FUNCTIONAL PLAN EXHIBIT 22720 AND 22740 WESTMINSTER HWY			
QTY FILE: SA			
DESIGN: C.N.	DWG. NO. -		
CHECK: T.U.			
DRAWN: C.N.	SCALE: 1/200	DATE: 20/05/17	
ENGINEER: C.N.	SEC. NO: 2-4-4	SHT. NO. 1 OF 1	

Attachment 2 – Draft Subdivision Plan With SRWs



Attachment 3 – Servicing Works

The following works must be included with the Servicing Agreement:

1. Engineering Works

The following servicing works need to be designed and constructed to the satisfaction of the City.

- **Water Works:**

- a. Using the OCP Model, there is 241.0 L/s of water available at a 20 psi residual north of the property at the Westminster Hwy frontage and 242.0 L/s south of the property at Westminster Hwy frontage. Based on your proposed development, your site requires a minimum fire flow of 220 L/s.
- b. At the Developer's cost, the Developer is required to:
 - Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage Building designs.
 - Abandon and fill, as per MMCD specifications, the existing diagonally aligned 150mm water main along McLean Ave and remove blow offs. Note that portions of the water main may need to be removed in order to accommodate proposed sanitary and water utilities.
 - Install approximately 40 m of new 150mm water main east along McLean Ave and northeast into the proposed road dedication to facilitate servicing of the Single Family home to be retained and the townhouse development to be created. Tie-in shall be to the east end of the existing 150mm water main on McLean Ave.
 - Install a new water service connection off of existing 150mm watermain along McLean Ave, complete with meter, to service the proposed townhouse lot to the west. The meter shall be part of the onsite Mechanical design.
 - Install a new Hydrant along McLean Ave Frontage, off of the proposed 150mm watermain extension.
 - Install a new water service connection off of proposed 150mm watermain extension on McLean Ave, complete with meter, to service existing single family lot to the east.
 - Remove all existing water service connections along Westminster Hwy.
 - Wrap, as per City Specs, the watermain joints, located at the McLean Ave and Westminster Hwy intersection, to address impact of the required sanitary crossing over the existing watermain that crosses McLean Ave at the east side of Westminster Hwy.
- c. At Developer's cost, the City is to:
 - Perform tie-ins, cutting, and capping of all proposed works to existing City infrastructure.

- **Storm Sewer Works:**

- a. At the Developer's cost, the Developer is required to:
 - Cut, cap, and remove all existing storm sewer service connections and inspection chambers located at the frontage along Westminster Hwy.

- Install a new Storm service connection, complete with an Inspection Chamber off of the existing 600mm storm sewer along Westminster Hwy to service the proposed townhouse lot to the west.
 - Install a new Storm service connection, complete with an Inspection Chamber off of the existing 900mm storm sewer south of the property boundary to service the existing single family lot to remain.
 - Relocate the existing Storm Lift Station kiosk currently situated at Westminster Hwy frontage to within the development's site in a 3.25m by 4.5m statutory right-of-way. Ensure the area within the statutory right-of-way is paved and fenced. The new orientation of the kiosk shall be rotated such that the control compartment is facing the west. Note that the extension of underground conduits will be required in this relocation. Please refer to the Kiosk sketches attached to this report.
 - Relocate lift station antenna so that it is situated within the ultimate boulevard.
- b. At Developer's cost, the City is to:
- Perform tie-ins, cutting, and capping of all proposed works to existing City infrastructure.
- **Sanitary Sewer Works:**
 - a. At the Developer's cost, the Developer is required to:
 - Install a new 200mm sanitary main off of existing 200mm sanitary main on Westminster Hwy, to McLean Ave, then along McLean Ave to approximately the adjoining property line of the proposed lots to be created, approximately 150 m.
 - Install a new sanitary service connection, complete with Inspection Chamber, off of the proposed sanitary main along McLean Ave in order to serve the existing single family lot. The service connection may be installed directly off of the last manhole of the proposed sanitary main.
 - Install a new sanitary service connection off of the proposed sanitary main along McLean Ave in order to serve the proposed townhouse development.
 - b. At Developer's cost, the City is to:
 - Perform tie-ins, cutting, and capping of all proposed works to existing City infrastructure.
- **Frontage Improvements:**
 - a. At the Developer's cost, the Developer is required to:
 - Coordinate with BC Hydro, Telus and other private communication service providers:
 - When relocating/modifying any of the existing power poles and/or guy wires within the property frontages.
 - When relocating the existing drainage lift station kiosk.
 - To pre-duct for future hydro, telephone and cable utilities along all road frontages.
 - To determine if above ground structures are required and coordinate their locations (e.g. Vista, PMT, LPT, Shaw cabinets, Telus Kiosks, etc). These shall be located onsite, as described below.

- Locate all above ground utility cabinets and kiosks required to service the proposed development within the developments site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be included in the Rezoning staff report and the development process design review. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the right of ways dimensions and the locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be submitted to the City. The following are examples of SRWs that shall be shown in the functional plan and registered prior to SA design approval:
 - BC Hydro PMT – 4mW X 5m (deep)
 - BC Hydro LPT – 3.5mW X 3.5m (deep)
 - Street light kiosk – 1.5mW X 1.5m (deep)
 - Traffic signal kiosk – 2mW X 1.5m (deep)
 - Traffic signal UPS – 1mW X 1m (deep)
 - Shaw cable kiosk – 1mW X 1m (deep) – show possible location in functional plan
 - Telus FDH cabinet - 1.1mW X 1m (deep) – show possible location in functional plan
- Remove existing rail surrounding the drainage lift station at the northwest corner of the property line. Raise grade behind existing rail to meet ultimate elevation.
- Complete other frontage improvements as per Transportation's requirements.

• **General Items:**

a. At the Developer's cost, the Developer is required to:

- Provide street lighting along the McLean Avenue and Westminster Highway frontages, with the design and location to be confirmed through the Servicing Agreement to the satisfaction of the City.
- Provide, prior to the first SA design Submission, a geotechnical assessment of preload and soil preparation impacts on the existing utilities fronting or within the development sites and provide mitigation recommendations.
- Enter into, if required, additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

2. Transportation Works

The required road works outlined below and as shown on Attachment 1 need to be designed and constructed to the satisfaction of the City:

- a. Along the entire Westminster Highway frontage, provide a new 1.5m wide treed/grassed boulevard and a 1.5m wide concrete sidewalk behind the existing curb.
- b. Along the entire McLean Avenue frontage, widen the road to provide (from south to north):
 - Maintain existing curb and gutter along the south side
 - Min. 8.5m wide driving surface
 - New 0.15m wide concrete curb and gutter
 - New 1.5m wide treed/grassed boulevard
 - New 1.5m wide concrete sidewalk

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Initial: _____

c. At the eastern end of McLean Avenue:

- Provide a vehicle turn-around facility to accommodate:
 - A regular-sized passenger vehicle so that such a vehicle can make the u-turn in one continuous movement. The minimum design radius should be 7.3m.
 - A SU-9 vehicle so that such a vehicle can complete the U-turn via a (no more than) 3-point turn.
- Vehicle turning templates for both regular-sized passenger vehicles and SU-9 vehicles be provided by the applicant to confirm the exact size of the turn-around facility.
- Around the vehicle turn-around facility, a 1.5m wide concrete sidewalk and 1.5m wide treed/grassed boulevard to be provided along the north side of McLean Avenue, tapering around the cul-de-sac at the eastern end of this road to join with the existing boulevard on the south side of McLean Avenue.

d. If necessary, modify/relocate the traffic signal and associated hardware at Westminster Highway/McLean Avenue to accommodate the road widening noted above as well as to upgrade the traffic signal hardware on all four corners of the intersection to include but not limited to: signal poles, controller, base and hardware, pole base, detection, conduits (electrical & communications), signal indications, communications cable, electrical wiring, service conductors, video cameras, illuminated street name signs, APS (accessible pedestrian signal), and UPS (uninterrupted power supply).

3. Required Road Dedication:

Road dedication is to be provided as shown on Attachment 2 to include:

- Westminster Highway frontage: a 0.72m wide strip of land, measured from the new property line north of the McLean Avenue for a distance of 40m.
- McLean Avenue: dedication to accommodate the road widening to the back of the new 1.5m wide concrete sidewalk and boulevard as noted in items 2.b. and 2.c.
- A 4m x 4m corner cut on the northeast corner of Westminster Highway/McLean Avenue, measured from the new property lines.

Attachment 4 – Convertible Housing Guidelines

Convertible housing is housing that is designed and built to look like traditional housing but has features that are constructed or installed for easy modification and adjustment to suit the needs of an occupant with mobility challenges.

Convertible housing is limited to housing that is more than a single storey (i.e., townhouse units).

Typical convertible housing features include:

- vertical circulation such as wider staircase or the ability to install an elevator using stacked storage space;
- doors and doorways to entry, main living area, one bedroom and one washroom;
- corridor widths of hallways;
- one accessible parking space in garage and wider door to living area;
- one accessible washroom with toilet, turning diameter in kitchen;
- one window in living room and bedroom;
- outlets and switches;
- patios and/or balconies;
- wall reinforcement at top of staircase for future gate.

Initial: _____



**Richmond Zoning Bylaw 8500
Amendment Bylaw 9714 (RZ 16-754713)
22720 & 22740 Westminster Highway**

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Zoning Bylaw 8500, as amended, is further amended:
 - a. at Section 3.4 (Use and Term Definitions) by inserting the following definitions in alphabetical order:

“Hamilton

means the area included in the Hamilton Area Plan.

**Hamilton Area Plan
community amenity capital
reserve**

means the statutory Capital Reserve Fund created by Hamilton Area Plan Community Amenity Capital Reserve Fund Establishment Bylaw No. 9276.”; and

- b. at Section 8.8.4 by deleting Section 8.8.4 and replacing it with the following:

“8.8.4 Permitted Density

1. The maximum **floor area ratio** is 0.6, together with an additional 0.1 **floor area ratio** provided that it is entirely used to accommodate **amenity space**.
2. Notwithstanding Section 8.8.4.1, in **Hamilton** the maximum **floor area ratio** for the RTH1 **zone** is 0.4, together with an additional 0.1 **floor area ratio** provided that it is entirely used to accommodate **amenity space**.
3. Notwithstanding Sections 8.8.4.1 and 8.8.4.2, the respective references to “0.6” and “0.4” are increased to a higher **density** of:
 - a) “0.75” in the RTH1 **zone**;
 - b) “0.80” in the RTH2 **zone**;
 - c) “0.85” in the RTH3 **zone**;
 - d) “0.90” in the RTH4 **zone**;if the following conditions occur:
 - e) the **owner**, at the time **Council** adopts a zoning amendment bylaw to include the **owner’s lot** in the RTH1, RTH2, RTH3 or RTH4 **zone**, pays

into the **affordable housing reserve** the sum specified in Section 5.15 of this bylaw; and

- f) for rezoning applications within **Hamilton**, if the **owner**, at the time **Council** adopts a zoning amendment bylaw to include the **owner's lot** in the **RTH1 zone**, pays into the **Hamilton Area Plan community amenity capital reserve**, a sum based on \$70.50 per square meter of total **residential floor area**."

2. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, as amended, is further amended by repealing the existing zoning designation of the following area and by designating it "**High Density Townhouses (RTH1)**":

That area shown cross-hatched on "Schedule A attached to and forming part of Bylaw No. 9714".

3. This Bylaw may be cited as "**Richmond Zoning Bylaw 8500, Amendment Bylaw 9714**".

FIRST READING

A PUBLIC HEARING WAS HELD ON

SECOND READING

THIRD READING

OTHER CONDITIONS SATISFIED

MINISTRY OF TRANSPORTATION AND
INFRASTRUCTURE APPROVAL

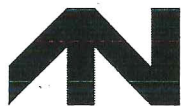
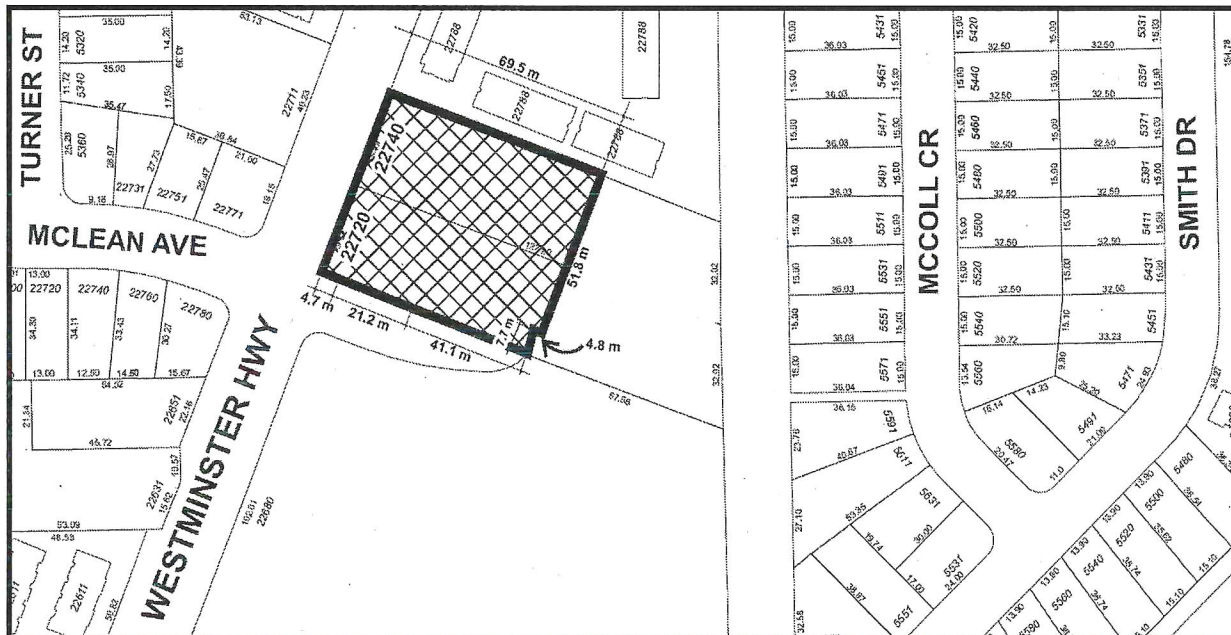
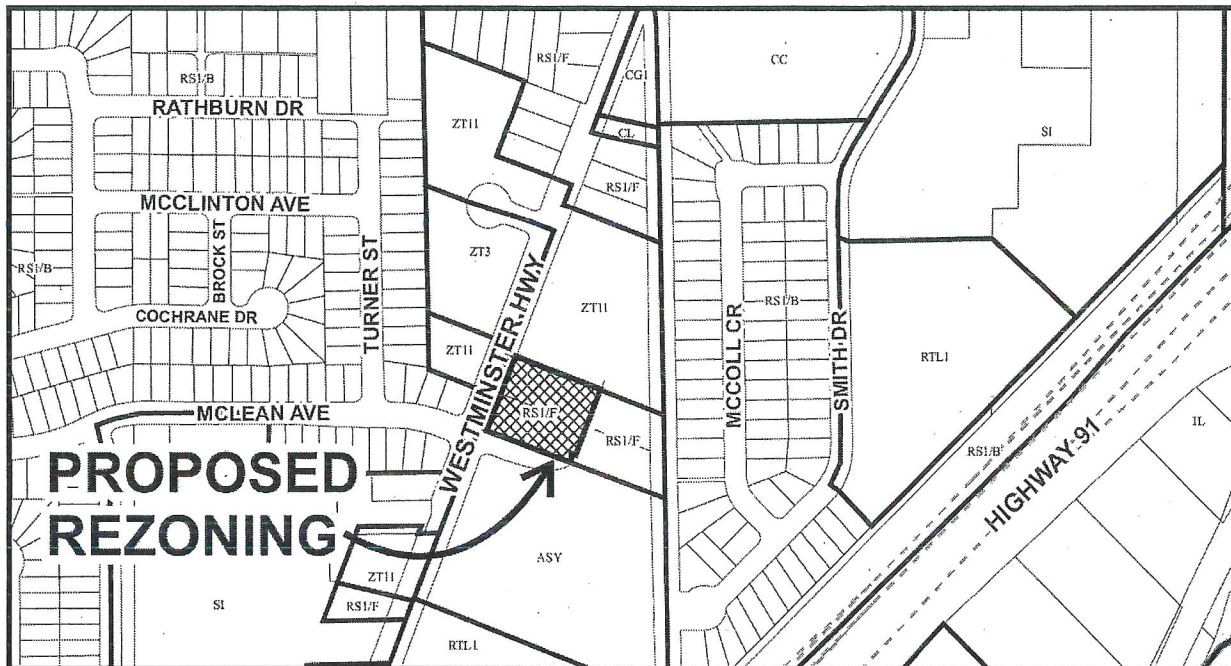
ADOPTED

CITY OF RICHMOND
APPROVED by BK
APPROVED by Director or Solicitor UL

MAYOR

CORPORATE OFFICER

"Schedule A attached to and forming part of Bylaw No. 9714"



RZ 16-754713

Original Date: 01/11/17

Revision Date: 04/10/17

Note: Dimensions are in METRES



City of Richmond

Report to Committee

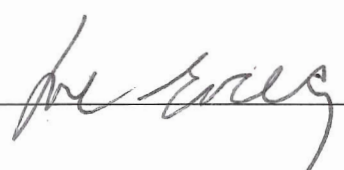

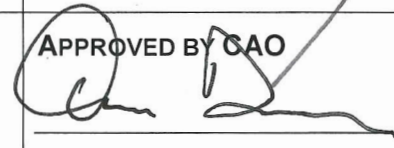
To: Planning Committee
From: Wayne Craig
Director, Development
Date: April 27, 2017
File: 08-4430-01/2017-Vol
01
Re: Proposed Zoning Bylaw Housekeeping Amendments

Staff Recommendation

That Richmond Zoning Bylaw 8500, Amendment Bylaw 9699 to make housekeeping amendments be introduced and given first reading.


Wayne Craig
Director, Development
(604-276-4625)

Att. 1

REPORT CONCURRENCE		
ROUTED TO:	CONCURRENCE	CONCURRENCE OF GENERAL MANAGER
Building Approvals	<input checked="" type="checkbox"/>	
Business Licence	<input checked="" type="checkbox"/>	
Policy Planning	<input checked="" type="checkbox"/>	
Community Services	<input checked="" type="checkbox"/>	
REVIEWED BY STAFF REPORT / AGENDA REVIEW SUBCOMMITTEE	INITIALS: 	APPROVED BY CAO 

Staff Report

Origin

This report introduces a bylaw to bring forward a number of housekeeping amendments to Richmond Zoning Bylaw 8500. These amendments are intended to bring the Zoning Bylaw up-to-date, and are the fifth set of zoning housekeeping amendments since Zoning Bylaw 8500 was adopted in November 2009. The proposed amendments are intended to improve the clarity of the Zoning Bylaw and make it easier to interpret and implement.

The proposed amendments have been grouped into four categories:

1. Proposed Updates to “Child Care Program” Definition and Specific Use Regulations;
2. Proposed Updates to “Agri-tourist Operation” and “Farm-based Winery” Definitions;
3. Proposed Updates to “Assembly (ASY)” zone regarding “Private Clubs” within the ALR; and;
4. Minor Proposed Amendments to Zoning Bylaw 8500.

This report supports Council’s 2014-2018 Term Goal #3 A Well-Planned Community:

Adhere to effective planning and growth management practices to maintain and enhance the livability, sustainability and desirability of our City and its neighbourhoods, and to ensure the results match the intentions of our policies and bylaws.

3.1. Growth and development that reflects the OCP, and related policies and bylaws.

3.2. A strong emphasis on physical and urban design.

This report supports Council’s 2014-2018 Term Goal #8 Supportive Economic Development Environment:

Review, develop and implement plans, policies, programs and practices to increase business and visitor appeal and promote local economic growth and resiliency.

8.1. Richmond’s policies, programs, and processes are business-friendly.

Analysis

The proposed zoning housekeeping amendments are described below.

1. Proposed Updates to “Child Care Program” Definition and Specific Use Regulations

Child care program is permitted in all of Richmond’s residential zones as a home business. Two amendments are proposed to align the Zoning Bylaw child care program provisions with the BC *Community Care and Assisted Living Act*, and the *Child Care Licensing Regulation* (“the Regulation”). Whereas the Richmond Zoning Bylaw definition currently refers to a maximum of 10 children, the Regulation allows:

- no more than 7 children in a “Family Child Care” program (where the provider is a responsible adult); and
- no more than 8 children in an “In-Home Multi-Age Child Care” program (where the provider must be an early childhood educator).

The proposed Zoning Bylaw definition would update the maximum number of permitted children in a child care program and provide a full reference to the provincial Act and Regulation. A minor amendment is also required in Section 5, Specific Use Regulations, of the Zoning Bylaw to delete the reference to a child care program with a maximum of 10 children.

Private child care businesses serving less than 10 children are not required to obtain a business license from the City. Provincial legislation, however, requires that child care programs offering care for more than two children be licensed by the local health authority. All provincially licensed child care programs are inspected by Vancouver Coastal Health.

Currently, Richmond has approximately 65 child care programs being delivered in residential homes providing close to 500 child care spaces.

Attachment 1 identifies the current and proposed definitions of “child care program”.

2. Proposed Updates to “Agri-tourist Operation” and “Farm-based Winery” Definitions

On August 2, 2016, the Provincial Government amended the *Agricultural Land Reserve Use, Subdivision and Procedure Regulation* (“ALR Regulation”) to clarify certain farm and non-farm uses that can take place on ALR land. Staff propose two amendments to align the Zoning Bylaw definitions of “agri-tourist operation” and “farm-based winery” with the revised ALR Regulation.

A. *Agri-tourist Operation*

As set out in the ALR Regulation, “agri-tourism, other than accommodation” is considered a farm use and cannot be prohibited by a local government. “Agri-tourist operation” is currently permitted in Richmond Zoning Bylaw 8500 as a secondary use in the Agriculture (AG1) zone. According to the updated ALR Regulation, agri-tourist operations are no longer required to be seasonal or limited to promotion and education. The Regulation also lists a variety of permitted agri-tourism activities such as exhibits, farm tours, tractor rides, harvest festivals and corn mazes.

Attachment 1 identifies the current and proposed Zoning Bylaw definition of “agri-tourist operation”.

It should be noted that “agri-tourist accommodation” is also defined in the Zoning Bylaw and included as a permitted secondary use in the Agriculture (AG1) zone. As per the ALR Regulation, “accommodation for agri-tourism on a farm” is a non-farm use that is permitted in the ALR unless otherwise prohibited by a local government bylaw. In conjunction with amendments currently under consideration by Council related to Short Term Rentals, “agri-tourist accommodation” is proposed to be removed from the

Agriculture (AG1) zone and permitted on a case-by-case basis through a rezoning application. On April 18, 2017, Council gave third reading to Richmond Zoning Bylaw 8500, Amendment Bylaw 9647, which proposes removing “agri-tourist accommodation” from the AG1 zone. Final adoption of Bylaw 9647 is expected for May 8, 2017.

B. Farm-based Winery

Wineries that meet specified conditions are designated as a farm use under the ALR Regulation and cannot be prohibited by local governments. Accordingly, “farm-based winery” is included as a permitted secondary use in Richmond’s Agriculture (AG1) zone. The August 2016 changes to the ALR Regulation added new permitted ancillary uses to farm-based wineries (e.g., cooking classes and event gatherings). It also confirmed that farms more than 2 hectares in size must grow at least 50% of the product used to make the wine or cider on the farm or both on the farm and on another farm in BC with which there is at least a 3 year contract.

Attachment 1 identifies the current and proposed Zoning Bylaw definition of “farm-based winery”. The proposed definition refers to the ALR Regulation and therefore does not need to list each of the permitted ancillary activities (e.g., retail sales, tours, food and beverage service lounge, cooking classes and event gatherings). Should the ALR Regulation be further amended in the future regarding permitted ancillary uses, an amendment to the Richmond Zoning Bylaw definition would not be required.

3. Proposed Updates to “Assembly (ASY)” zone regarding “Private Clubs” within the ALR

A zoning amendment is proposed to the Assembly (ASY) zone to better regulate “private club” uses in this zone. The proposed amendment would limit “private club” as secondary to the principal use on the lot, for all properties zoned Assembly (ASY) and which are located within the ALR. For all other properties zoned Assembly (ASY) a “private club” would remain a permitted principal use.

Currently, “private club” is a permitted principal use in the Assembly (ASY) zone and is defined in Section 3 of the Zoning Bylaw as follows:

“Private club means a facility for the meeting, social, educational or recreational activities of members of a philanthropic, social service, non-profit, athletic, **business** or fraternal organization, and which may include rooms for eating, drinking and general assembly, but does not include gaming facilities, **casino** or retail sales activities.”

Staff have received a number of recent inquiries about the potential to develop private wellness and athletic/sporting clubs in the ALR, for lands zoned Assembly (ASY) and within the ALR – specifically the No. 5 Road Backlands Policy area of the Official Community Plan (OCP). In staff’s opinion, private recreation facilities are not considered appropriate land uses within the No. 5 Road Backlands Policy area, as these lands are specifically identified for community institutional uses, which are institutions engaged in religious, educational or cultural activities.

This proposed amendment to the Assembly (ASY) zone, which would apply to properties in the ALR only, is consistent with the City's objective of protecting the agricultural land base.

4. Minor Proposed Amendments to Zoning Bylaw 8500

Attachment 2 identifies eight relatively minor proposed amendments to various aspects of Zoning Bylaw 8500. These changes are proposed to improve the readability of the bylaw and provide for consistent interpretation. The proposed amendments are minor in nature and do not substantially affect the respective zoning provisions.

Consultation

Given that the proposed housekeeping amendments include potential changes to agricultural and child care provisions that are affected by senior government legislation, City staff liaised with their counterparts at Vancouver Coastal Health (VCH) and the Agricultural Land Commission (ALC).

VCH staff advised that the proposed changes to "child care program" are acceptable. They further advised that 7 or 8 children, as set out in the *Community Care and Assisted Living Act* and the *Child Care Licensing Regulation* is a reasonable and appropriate in-home limit in most circumstances.

Staff at the Agricultural Land Commission suggested wording refinements to the proposed bylaw amendments. These included emphasizing the requirement that an agri-tourist operation be on land classified as a farm. City staff have incorporated the ALC's feedback into the proposed amendments. The ALC will be provided with a follow-up copy of the Zoning Bylaw housekeeping amendments prior to Public Hearing and after final adoption. While there is no statutory requirement to refer these amendments to the ALC, consultation with Commission staff helps to ensure that the City's bylaws are consistent with the shared objectives of protecting farmland.

Should the Planning Committee endorse this report and Council grant first reading to Richmond Zoning Bylaw, Amendment Bylaw 9699, the Bylaw will be forwarded to a Public Hearing, where any area resident or interested party will have an opportunity to comment.

Public notification for the Public Hearing will be provided as per the *Local Government Act*.

Financial Impact

None.

Conclusion

This report proposes several Zoning Bylaw housekeeping amendments. Richmond Zoning Bylaw 8500, Amendment Bylaw 9699 proposes to revise the current definitions of child care programs, agri-tourist operations and farm-based wineries to align with recent senior government updates. Bylaw 9699 also proposes to allow private clubs as a secondary use only on Assembly (ASY) zoned parcels within the Agricultural Land Reserve. Finally, a number of minor changes to the Zoning Bylaw are proposed to enhance its quality, accuracy and clarity. Together, the proposed amendments are expected to make the interpretation of the Zoning Bylaw easier for businesses, applicants, the public and staff.



Tina Atva
Senior Planning Coordinator
(604-276-4164)



Barry Konkin
Program Coordinator, Development
(604-276-4138)

TA:cas

Attachment 1: Current and Proposed Zoning Bylaw Definitions

Attachment 2: Summary of Minor Proposed Amendments to Zoning Bylaw 8500

**Current and Proposed Zoning Bylaw Definitions
(Proposed Amendment Bylaw 9699)**

Item No.	Term	Current Zoning Bylaw Definition	Proposed Zoning Bylaw Definition
1.	Child care program	means a home business having a maximum capacity of 10 children, including operations licensed under the <i>Community Care and Assisted Living Act</i> and license-not-required child care operations.”	means a home business with a maximum of 8 children either (a) licensed in compliance with the <i>Community Care and Assisted Living Act</i> and the <i>Child Care Licensing Regulation</i> (both as amended from time to time), or (b) a license-not-required child care operation.”
2.	Agri-tourist operation	means a tourist activity, service or facility which is accessory to a farm operation and/or farm business , and is a temporary, seasonal and/or regular seasonal use to promote or market farm products grown, raised or processed on the farm and/or provide public education about the farm operation and agriculture in the region.”	means an activity defined as “agri-tourism” under the <i>Agricultural Land Reserve Use, Subdivision and Procedure Regulation</i> (as amended from time to time), which is carried out on land used as a farm operation and/or farm business , and classified as a “farm” under the <i>Assessment Act</i> , to which the public are invited and where permanent facilities are not constructed or erected and includes ancillary services.”
3.	Farm-based winery	means a British Columbia licensed winery or cidery, and includes directly associated processing and storage, if the: <ul style="list-style-type: none"> a) wine or cider produced and offered for sale is made from farm product and: <ul style="list-style-type: none"> i) at least 50% of that farm product is grown on the farm on which the winery or cidery is located; or ii) the farm that grows the farm products used to produce wine or cider is more than 2.0 ha in area; and 	means a British Columbia licensed winery or cidery, and includes directly associated processing and storage, if: <ul style="list-style-type: none"> a) at least 50% of the farm product used to make the wine or cider produced each year is grown on the farm on which the winery or cidery is located, or b) the farm on which the winery or cidery is located is more than 2 ha in area and at least 50% of the farm product used to make the wine or cider produced each year is grown: <ul style="list-style-type: none"> i) on the farm, or ii) both on the farm and on another farm located in

ATTACHMENT 1

Item No.	Term	Current Zoning Bylaw Definition	Proposed Zoning Bylaw Definition
		<p>iii) at least 50% of the total farm product for processing is provided under a minimum 3 year contract for a farm in British Columbia, unless otherwise authorized by the Provincial Agricultural Land Commission; and</p> <p>b) other ancillary uses involving the following activities:</p> <p>i) retail sales;</p> <p>ii) tours; and</p> <p>iii) a food and beverage service lounge, if the area does not exceed 125.0 m² indoors and 125.0 m² outdoors.”</p>	<p>British Columbia that provides that farm product to the winery or cidery under a contract having a term of at least 3 years; and</p> <p>c) other ancillary uses as set out in the <i>Agricultural Land Reserve Use, Subdivision and Procedure Regulation</i>.</p>

**Summary of Minor Proposed Amendments to Zoning Bylaw 8500
(Proposed Amendment Bylaw 9699)**

Item No.	Zoning Bylaw Section(s)	Proposed Amendment(s)	Justification/Comments
1.	4.4.1c Calculation of Density in Town Housing Zones	Remove references to first and second floors in Section 4.4.1 c to clarify that the 10m ² floor area exemption for staircases and the main interior entry areas adjacent to the stairs applies to all storeys in a townhouse.	Facilitates interpretation of the Bylaw by clarifying that the minor floor area exemption for staircases and main interior entries is available for all storeys in townhouses. (Applications for townhouses with more than 3 floors have been received.)
2.	4.4.1d Calculation of Density in Town Housing Zones	Add a new Section 4.4.1 d to state that an area up to 10 m ² on the highest storey of a townhouse that is open to the staircase below is also excluded from floor area ratio.	Facilitates interpretation of the Bylaw by clarifying that a floor area exemption is also permitted for the highest storey.
3.	4.4.2 Calculation of Density in Town Housing Zones	Add a new Section 4.4.2 d to provide a 5.0 m height limit beyond which areas with high ceilings will be considered as two floors and included in floor area.	Allows vaulted ceilings but provides a reasonable limit: any area higher than 5 m would be included twice in floor area. Applies same exemption that is currently allowed in single family zones.
4.	8.1.7.4 Single Detached (RS1/A-H, J-K; RS2/A-H, J-K) Zone	Replace reference in Section 8.1.7.4 to "Section 8.1.7.4" with "Section 8.1.7.3", which is the correct preceding section.	Corrects section reference.
5.	8.3.4.4 Coach Houses (RCH, RCH1) Zone	Amend wording to clarify that up to 10% of total floor area may be excluded from maximum FAR for covered areas that are open on two or more sides.	Clarifies that the exemption is not mandatory and that up to 10% may be excluded from FAR.
6.	8.3.10.2 Coach Houses (RCH, RCH1) Zone	Amend description of driveway by removing reference to <u>non-porous</u> surfaces.	Provides consistency with landscaping requirement (Section 8.3.9.5 b) for driveways between parking spaces and lanes that have curb and gutter to incorporate high quality permeable materials.

ATTACHMENT 2

Item No.	Zoning Bylaw Section(s)	Proposed Amendment(s)	Justification/Comments
7.	9.3.11.1.a) Downtown Commercial (CDT1, CDT2, CDT3) Zone	Correct address for site specific retail liquor 1 store from 7331 to 7311 Westminster Hwy.	Corrects address.
8.	9.4.3 and 9.4.11 d) Residential/Limited Commercial (RCL1, RCL2, RLC3, RCL4, RCL5) Zone	Add restaurant as a permitted secondary use in the RCL2 zone and limit the use to the first storey.	Permits restaurant use in the RCL2 zone, which already allows retail uses.



**Richmond Zoning Bylaw 8500
Amendment Bylaw 9699
(Housekeeping Amendments)**

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Zoning Bylaw 8500, as amended, is further amended at Section 3.4 [Use and Term Definitions] by deleting the definition of “**Agri-tourist operation**” in its entirety and replacing it with the following:

“Agri-tourist operation

means an activity defined as “agri-tourism” under the *Agricultural Land Reserve Use, Subdivision and Procedure Regulation* (as amended from time to time), which is carried out on land used as a **farm operation** and/or **farm business**, and classified as a “farm” under the *Assessment Act*, to which the public are invited and where permanent facilities are not constructed or erected and includes ancillary services.”

2. Richmond Zoning Bylaw 8500, as amended, is further amended at Section 3.4 [Use and Term Definitions] by deleting the definition of “**Child care program**” in its entirety and replacing it with the following:

“Child care program

means a **home business** with a maximum of 8 children either (a) licensed in compliance with the *Community Care and Assisted Living Act* and the *Child Care Licensing Regulation* (both as amended from time to time), or (b) a license-not-required **child care operation**.”

3. Richmond Zoning Bylaw 8500, as amended, is further amended at Section 3.4 [Use and Term Definitions] by deleting the definition of “**Farm-based winery**” in its entirety and replacing it with the following:

“Farm-based winery means a British Columbia licensed winery or cidery, and includes directly associated processing and storage, if:

- a) at least 50% of the farm product used to make the wine or cider produced each year is grown on the farm on which the winery or cidery is located, or
- b) the farm on which the winery or cidery is located is more than 2 ha in area and at least 50% of the farm product used to make the wine or cider produced each year is grown:
 - i) on the farm, or
 - ii) both on the farm and on another farm located in British Columbia that provides that farm product to the winery or cidery under a contract having a term of at least 3 years; and
- c) other **ancillary uses** as set out in the *Agricultural Land Reserve Use, Subdivision and Procedure Regulation*.”

4. Richmond Zoning Bylaw 8500, as amended, is further amended at Section 4.4 [Calculation of Density in Town Housing Zones] by:

a) Deleting Section 4.4.1(c) in its entirety and replacing it with the following:

“c) an area of up to 10 m² used exclusively for staircase purposes and the main interior entry area if it is located **adjacent** to the stairs for vertical circulation; and”

b) Adding a new Section 4.4.1 (d) as following:

“d) an area of up to 10m² on the highest **storey** of a townhouse unit that is open to the staircase area below.”

c) Adding a new Section 4.4.2 as following:

“4.4.2 Any portion of **floor area** in a **principal building** with a **ceiling height** which exceeds 5.0 m shall be considered to comprise two floors and shall be measured as such for the purposes of calculating **density** in all **residential zones** and **site specific zones** that permit **town housing**, the following **floor area** shall be considered to comprise one floor:

- a) a maximum of 10 m² of **floor area** with a **ceiling height** which exceeds 5.0 m, provided such **floor area** is exclusively for interior entry and staircase purposes.”
5. Richmond Zoning Bylaw 8500, as amended, is further amended at Section 5.2 [Home Businesses and Home-Based Businesses] by deleting 5.2.7 (a) in its entirety and renumbering the remaining sections accordingly.
6. Richmond Zoning Bylaw 8500, as amended, is further amended at Section 8.3 [Coach Houses (RCH, RCH1)] by:
- a) Deleting Section 8.3.4.4 in its entirety and replacing it with the following:
- “4. For the purposes of this **zone** only, up to 10 % of the **floor area** total calculated for the **lot** in question is not included in the calculation of maximum **floor area ratio**, provided that the **floor area** is used exclusively for covered areas of the **single detached housing** or **coach house** which are open on two or more sides, with the maximum exemption for the **coach house** being 6.0 m².”
- b) Deleting Section 8.3.10.2 and replacing it with the following:
- “2. For the purposes of this **zone** only, a driveway is any surface of the **lot** that is used to provide space for **vehicle** parking or **vehicle access** to or from a public **road** or **lane**.”
7. Richmond Zoning Bylaw 8500, as amended, is further amended at Section 8.1 [Single Detached (RS1/A-H, J-K; RS2/A-H, J-K)] by deleting the reference to “Section 8.1.7.4” in Section 8.1.7.4 and replacing it with “Section 8.1.7.3”.
8. Richmond Zoning Bylaw 8500, as amended, is further amended at Section 9.3 [Downtown Commercial (CDT1, CDT2, CDT3)] by deleting “7331 Westminster Hwy” in Section 9.3.11.1 (a) and replacing it with “7311 Westminster Highway”.
9. Richmond Zoning Bylaw 8500, as amended, is further amended at Section 9.4 [Residential/Limited Commercial (RCL1, RCL2, RCL3, RCL4, RCL5)] by:
- a) Amending Section 9.4.11.1 (a), by adding “**restaurant** in the RCL2 **zone** only” to the list of permitted secondary uses; and
- b) Adding a new Section 9.4.11.1 (d) as follows:
- “d) For the RCL2 **zone**, a **restaurant** must be located on the **first storey** of the **building**.”

10. Richmond Zoning Bylaw 8500, as amended, is further amended at Section 13.3 [Assembly (ASY)] by:

- a) adding “**private club**” to the list of secondary uses in Section 13.3.3 between “**housing, single detached**” and “**residential security/operator unit**”; and
- b) adding a new Section 13.3.11.3 in “Other Regulations” as follows:

“3. **Private club** shall only be permitted as (a) a **primary use** for land not contained in the **Agricultural Land Reserve**, and (b) a **secondary use** for land contained in the **Agricultural Land Reserve**.”

11. This Bylaw may be cited as “**Richmond Zoning Bylaw 8500, Amendment Bylaw 9699**”.



FIRST READING

PUBLIC HEARING

SECOND READING

THIRD READING

ADOPTED

_____	<div style="border: 1px solid black; padding: 2px;"> CITY OF RICHMOND APPROVED by  APPROVED by Director or Solicitor  </div>

MAYOR

CORPORATE OFFICER



City of Richmond

Report to Committee

To: Planning Committee
From: Gavin Woo, P. Eng.
Senior Manager, Building Approvals
Re: **Salvage of Building Materials and Structural Relocation of Houses**

Date: April 27, 2017
File: 08-4375-00/Vol01

Staff Recommendation

That Council endorses the following measures to encourage the relocation of existing houses and salvage of building materials from demolition sites:

1. Develop an online list for houses scheduled for demolition to allow house moving companies to contact home owners arranging for potential house moves.
2. Promote the options to relocate existing houses and to salvage building materials by informing the public of the benefits.
3. That the cost of a temporary full time staff to implement the proposed program estimated to be up to \$110,000.00 funded by the 2017 Building Permits Revenue be included as amendment to the 5 Year Financial Plan (2017-2021).

Gavin Woo, P. Eng.
Senior Manager, Building Approvals
(604-276-4113)

REPORT CONCURRENCE		
ROUTED TO: Environmental Programs Information Technology Policy Planning Transportation	CONCURRENCE 	CONCURRENCE OF GENERAL MANAGER
REVIEWED BY STAFF REPORT / AGENDA REVIEW SUBCOMMITTEE	INITIALS: CS	APPROVED BY CAO

Staff Report

Origin

This report is in response to Council's referral from the Planning Committee Meeting on February 22, 2016:

That staff be directed to review and report on strategies to encourage homeowners to sell their homes intact and to dismantle and recycle useable lumber and other building materials.

Background

In efforts to enhance sustainable construction practices, the City on March 14, 2016 made recycling of demolition waste mandatory through the Demolition Waste and Recyclable Materials Bylaw 9516 that requires 70% recycling from single family house demolitions. Utilizing a refundable deposit system, we are achieving close to 100% program participation with only 8 out of 196 demolitions not qualifying for full refunds at achieving target goals.

To further these current efforts, staff conducted research and furnished recommendations in response to Council's referral to encourage the whole recycling of existing houses and enhance the recycling content of demolitions materials.

Analysis

House Recycling: Moving Existing Houses for Reuse

Moving an existing home for re-use in another location represents the highest level of recycling that can be achieved, diverting the entire structure from becoming demolition waste. Not only are the materials reused with exception of the foundations, the built form and energy imbued in the original efforts to construct are preserved. After factoring recycling of the concrete from the existing foundations, the recycling rate of building materials is better than 90%. There is also conservation of materials and energy otherwise required for building anew. For these reasons, staff stresses the benefits of efforts to encourage the practice of re-using structures in entirety.

Staff approached four structural moving companies that operate in the Metro Vancouver and the Vancouver Island areas: Nickel Brothers (Nickel Bros.), Supreme Structural Transport Ltd (Supreme), Belton Brothers and Pridy Brothers to inquire about the process of house moving within Richmond. Of the four companies, Nickel Bros. and Supreme provided input to inform our discovery process.

Commercial rationale:

- Some purchasers of moved houses live in remote areas where it is difficult to build new houses due to lack of skilled trades and access to building materials.
- The cost of moving a recycled house and installation on a new site may be significantly lower than the cost of building anew. The extent of this cost advantage depends on factors such as purchase cost of the recycled house, and difficulty of transportation.

- Market for purchasers who prefer the style of an older home.

Technical Processes:

- Safety inspection to determine structural integrity of the house to be moved.
- Preplanning to coordinate the transport route ensuring access, obtaining necessary permits and minimizing obstructions. Frequently transport over large distances will involve river access sites to facilitate barging.
- Preparation of the building for moving and the destination site with foundations to receive the structure.
- Extraction off foundations and transportation to a new location.
- Installation onto new site-built foundations.
- Demolition of Existing foundations at original site.

Challenges to the industry:

- Not all houses are moveable. Those that are, are typically constructed with wood floor joists over crawlspaces. Moving an existing house with the ground floor having been constructed as a concrete slab is cost prohibitive.
- Multi-story buildings present clearance challenges from overhead obstructions and finding suitable moving routes.
- Environmental regulations tend to limit river access sites to barging.
- Coordinating a move of a desirable house may be prevented by the owner/developers' construction schedule.
- The moving requires jurisdictional approvals from multiple levels and departments that may become onerous to the point of cancelling the move. Some companies are unaware of the many of the regulations.

The benefits:

- Reduce demolition and construction waste through A very high percentage of overall building materials recycled.
- Improve sustainable practices of building industry.
- Economic benefit to property owners derived from decreased demolition costs.
- Economic benefit to the purchaser derived from lower cost alternative to new construction.

Conclusion:

Where it is possible to move a house, the process provides an opportunity to maximize the amount of materials that can be recycled. Although there are some limitations such as storey configuration and diminishing availability of suitable houses, staff have identified key processes in the recommendations where the City may encourage house moving as an alternative to demolition. Amongst those measures, Building Approvals and Transportation Departments have begun to combine presently separate permits into one for submission to a single department and coordination of requirements in order to streamline the process considerably.

Recommendations

1. Develop and operate an online list on the City's Website where owners or builders may post for viewing by moving and material salvage companies houses scheduled for demolition. This will allow moving companies to become aware of a larger inventory of possible houses to move and allow them to approach property owners directly. In order to provide longer lead times to obtain the necessary permits, houses may be added to this list prior to a demolition permit application. This online list will also allow owners and builders to indicate availability of the existing house for salvage of building materials.

It is important to note that this will not be a mercantile trading site such as a "craigslist" for trading building materials, but simply a listing where addresses and contact information may be acquired in order to better connect house movers with supply. Postings shall be limited to contact information and intentions for moving or salvage alone.

- Timeline to Implementation: upon approval from Council to commence this component, Information Technology will size and scope solution options for the online database/system and report back to Council for the cost of the online website. Estimated 3 months after Council approval.
 - Area of Responsibility: Information Technology with input from Building Approvals Department
2. Formally introduce the Small Builders' Group to the option of house relocation. Not all builders are aware of the option to move houses as opposed to demolishing them. Informing the Small Builders' Group has the potential to increase the number of houses made available for relocation and improve the total number moved as more builders become aware of the potential to reduce demolition costs.
 - Timeline to Implementation: up to 3 months after Council approval
 - Area of Responsibility: Building Approvals Department
 3. Arrange meetings between house moving companies and City Staff in order to inform the industry of the City's requirements. This will help in ensuring compliance to City regulations in future and aid streamlining the review process through clear delineation of expectations and coordinating regulations.

- Timeline to Implementation: up to 6 months after Council approval
 - Area of Responsibility: Building Approvals Department
4. Issue bulletins and information pamphlets and use other means of informing the public and builders of the option to move houses as opposed to demolishing them.
- Timeline to Implementation: up to 6 months after Council approval
 - Area of Responsibility: Building Approvals Department

Salvaging Building Materials

The salvage of building materials from existing homes improves recycling since building materials are re-purposed rather than merely processed as recycled waste material. Staff contacted recycling companies that salvage building materials and located three within 50 km of the City of Richmond; Habitat for Humanity's ReStore (ReStore), Jack's New and Used in Burnaby (JNU), and Surrey New and Used (SNU) in Surrey. Habitat for Humanity has three ReStore locations in North Vancouver, Burnaby and Vancouver. These provided input to inform staff's discovery process.

Commercial rationale:

- Demand for recycled materials is generally constant, although some materials tend to be oversupplied items such as hardwood floors, cabinets, windows and lumber are in high demand.
- Salvaged building materials tend to be purchased by landscapers, artists, film crew, and people conducting home renovations.
- Salvage material is sourced for specialty renovations where period correct elements are required.
- Salvage companies offer either money or tax receipts for materials to benefit property owners.

Challenges to the industry:

- Recycling companies vary in terms of the building materials that they accept, deconstruction services provided, and compensation to property owners for salvage material. The industry approach is inconsistent, causing uncertainty for owners of potential sources of salvage.
- Only ReStore, offers partial or complete deconstruction of existing houses through complete or partial deconstruction for a fee as an alternative to demolition.
- Depending on the scope of salvage work, the overall time required for building demolition may increase and coordination with demolition may be onerous.

- Of the three salvaging companies, only JNU issues a weigh bill. Depending on the amount of materials salvaged, this may conflict with the requirement in Bylaw 9516 to show proof of a minimum 70% demolition waste materials diverted to a recycling facility.

The benefits:

- Economic benefits for the owner who either gets paid or receives a tax receipt for the salvaged materials.
- For houses scheduled to be demolished, limited interior deconstruction or salvage work (i.e. salvage of millwork, plumbing fixtures, windows and doors) can be done in advance of receiving demolition permit.
- Depending on the extent of salvage work involved, there may be a decrease in recycling and disposal cost for demolished buildings.
- Homeowners conducting renovations may save on costs by retaining a salvaging company removing materials resulting in reduced disposal content and costs.

Conclusion:

The salvage of building components from a demolition site results in the reuse of materials, rather than the recycling of demolition waste. This practice should be encouraged as the reuse of salvaged goods will result in a reduction in the amount of waste generated during demolition as well as lengthening the useful lifespan of building materials. Despite market challenges for recycled building product, staff have identified ways the City may encourage salvage activity as a means to reduce demolition waste.

Recommendations

1. Issue bulletins and information pamphlets and use of other means of informing owners of the option of contacting salvage companies or posting their salvaged goods for sale on online commercial sites. Home owners may also post contact information indicating their interest to provide salvage materials on the proposed online list on the City's Webpage as mentioned earlier in conjunction with house moving. The intent is to inform property owners of the option to donate or sell unwanted building materials and possible benefits.
 - Timeline to Implementation: up to 6 months after Council approval
 - Area of Responsibility: Building Approvals Department
2. Work with the Small Builders Group regarding options for salvaging building materials. Informing builders of the option to sell or donate building salvage for tax receipts may help incentivize the salvage of building materials.
 - Timeline to Implementation: up to 3 months after Council approval
 - Area of Responsibility: Building Approvals Department

Financial Impact

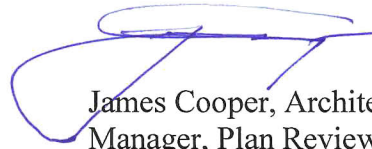
The financial impact is difficult to accurately determine but should include provisions for hiring one Temporary Full Time staff person to fully implement the program. It is expected that this will take 6 months as a minimum and could extend as long as 12 months. The salary and fringe benefit cost is \$110,360 for a 12 month period maximum should the scope of work expand in response to industry's interaction with the proposed measures. The budget will be sourced from Building Approvals Department's 2017 revenue surplus.

Conclusion

The practice of salvaging building materials for resale and moving existing houses will have an overall positive impact on the City of Richmond, through reducing construction waste, making more sustainable our building practices, and contributing to other communities by providing home ownership at lowered cost. The recommendations from staff will help encourage these practices by educating potential applicants, streamlining the City's application processes and providing incentives, all with a minimal financial impact to the City.



Wesley Lim, P. Eng.
Code Engineer
(604) 204-8515



James Cooper, Architect AIBC
Manager, Plan Review
(604) 247-4606



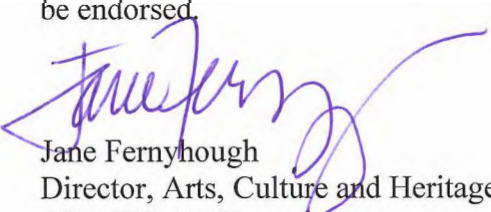
City of Richmond

Report to Committee

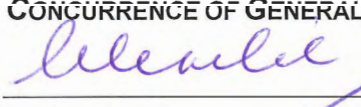


To: Parks, Recreation and Cultural Services Committee
From: Jane Fernyhough
Director, Arts, Culture and Heritage Services
Date: March 31, 2017
File: 11-7000-09-20-192/Vol 01
Re: Lansdowne Road Street as Canvas Temporary Public Art Installation Detailed Design

Staff Recommendation

That the staff report titled, "Lansdowne Road Street as Canvas Temporary Public Art Installation Detailed Design," dated March 31, 2017, from the Director, Arts, Culture and Heritage Services, be endorsed.


Jane Fernyhough
Director, Arts, Culture and Heritage Services
(604-276-4288)

Att. 3

REPORT CONCURRENCE		
ROUTED TO: Transportation	CONCURRENCE <input checked="" type="checkbox"/>	CONCURRENCE OF GENERAL MANAGER 
REVIEWED BY STAFF REPORT / AGENDA REVIEW SUBCOMMITTEE	INITIALS: 	APPROVED BY CAO 

Staff Report

Origin

At the Parks, Recreation and Cultural Services Committee meeting held October 25, 2016, discussion took place regarding the technical details of the recommended artwork for the Lansdowne Road Street as Canvas Temporary Public Art Installation.

As a result of the discussion, the following referral motion was introduced:

That the concept proposal for the Lansdowne Road Street as Canvas Temporary Public Art Installation by the artist team Hapa Collaborative as presented in the staff report from the Director, Arts, Culture and Heritage Services dated October 6, 2016, be referred back to staff.

This report brings forward information to address questions raised by Council, and provides a recommendation that the detailed design for the Lansdowne Road Street as Canvas Temporary Public Art Installation titled *The Taste of Place*, by the artist team Hapa Collaborative be endorsed and authorized to proceed with installation.

This report supports Council's 2014-2018 Term Goal #2 A Vibrant, Active and Connected City:

Continue the development and implementation of an excellent and accessible system of programs, services, and public spaces that reflect Richmond's demographics, rich heritage, diverse needs, and unique opportunities, and that facilitate active, caring, and connected communities.

2.1. *Strong neighbourhoods.*

2.3. *Outstanding places, programs and services that support active living, wellness and a sense of belonging.*

2.4. *Vibrant arts, culture and heritage opportunities.*

Analysis

Lansdowne Road Extension

On October 11, 2011, Council endorsed the City Centre Public Art Plan. A series of public art opportunities were identified in the plan to link the Lansdowne Road Greenway to the Garden City Lands and the Richmond Olympic Oval.

The 2012 and 2013 Capital Budgets included the design and construction of the Lansdowne Road Extension. The project involves construction of Phase 1 of a vehicular, pedestrian and cycling connection along the Lansdowne Road corridor from Alderbridge Way to Minoru Boulevard as part of the City Centre Transportation Plan and City Centre Area Plan. The project is intended to provide a much-needed street and sidewalk connection from the Lansdowne Canada Line station to the Richmond Olympic Oval. Phase 1 construction includes a three-lane vehicular cross section with a shared multi-use sidewalk. Phase 2 of the road extension project involves further widening to the

ultimate five-lane cross section with bike lanes and wider sidewalks and boulevards which will be completed as part of redevelopment of the adjacent properties in future years, dependent on pace of development.

To showcase this new civic route, a Public Art project to integrate temporary artworks with the new Lansdowne Road Extension was developed in collaboration with Transportation, Planning and Parks Services. On May 19, 2015, following the guidelines and processes of the City's administrative procedures for civic public art projects, the selection panel unanimously recommended Hapa Collaborative for the project based on the strength of their past work, artistic creativity and depth of knowledge of the city.

In 2016, public artwork was installed on the Gilbert Road façade of Cadence at 7468 Lansdowne Road, south of the Lansdowne Road intersection at Gilbert Road. Coincidentally, the artwork also features a pattern of triangles, which will complement the theme for the temporary artwork.

Lansdowne Road Street as Canvas Temporary Public Art Project Concept Proposal

Hapa Collaborative met with staff to review the vision and objectives for Lansdowne Road. Several temporary artwork options were developed and reviewed by staff. Based on staff feedback, a preferred option was developed (Attachment 1).

On October 25, 2016, at the Parks, Recreation and Cultural Services Committee meeting, the concept proposal, *The Taste of Place*, was presented for the Lansdowne Road Street as Canvas Temporary Public Art Installation.

Concern was expressed with the recommended concept design, noting that the proposed road art may pose a safety risk for cyclists and pedestrians sharing the new multi-modal sidewalk along the north side of Lansdowne Road between Alderbridge Way and Minoru Boulevard.

Detailed Design – *The Taste of Place* – Lansdowne Road Temporary Art Installation

The proposed temporary artwork, *The Taste of Place*, consists of a series of painted triangular patterns to be applied to the new shared pedestrian and bike lane on Lansdowne Road between Alderbridge Way and Minoru Boulevard, currently under construction. Finding inspiration in the importance of pollinators, the shape of the pattern is derived from the hexagonal shape of honeycombs. The colours represent bee-friendly foliage as they emerge over the course of a year. The street is divided into sections for each season, with the colour of foliage typical for the season predominating in each section.

Hapa Collaborative met with staff to undergo a technical review of the proposed design to comply with safety regulations and address concerns expressed by Council. The main concern was the directionality of the triangular pattern, and whether these should be oriented in the direction of travel (i.e., east-west) to facilitate movement. As the 4.2m wide sidewalk will be shared by both pedestrians, carts, strollers and cyclists travelling in both easterly and westerly directions, it was determined by Transportation staff that it was not advantageous to use the triangles to attempt to segregate the various movements into demarcated lanes. It was concluded that the orientation of the triangles across the width of the sidewalk as proposed (i.e., north-south) is the preferred pattern.

Attachment 2 provides further information about the detailed design of the proposed artwork.

Road Barriers Detailed Design

Due to sequencing of construction of the Lansdowne Road Extension between Minoru Boulevard and Alderbridge Way, and the off-site frontage improvements associated with the Amacon development between Cedarbridge Way and Alderbridge Way, it was determined that the scope of the temporary artwork project should be adjusted. The Amacon frontage will now be constructed to the ultimate street design. This will include permanent sidewalks, a bike lane and curb lane that will be temporarily closed to traffic until the entire block is constructed in the ultimate form. The artists have prepared a proposal to paint the temporary concrete traffic barriers that will be installed along the curb lane for the Amacon frontage between Cedarbridge Way and Alderbridge Way.

The detailed design concept for the barriers is illustrated in Attachment 3.

Additional Public Art Opportunities

At the Parks, Recreation and Cultural Services Committee meeting held October 25, 2016, discussion took place about additional opportunities for murals along the Lansdowne Road corridor. Staff recommend that, with support from Real Estate Services, the walls fronting Lansdowne Road on the City-owned properties at 5671 No. 3 Road be examined for opportunities to provide additional artistic display. Staff will also explore additional mural opportunities with private property owners for incorporating the walls of properties fronting Lansdowne Road.

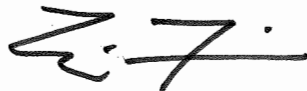
Financial Impact

The artist fee for research, design, fabrication and installation is \$50,000, inclusive of all expenses and taxes. The funding for the public artwork was approved in the 2015 Public Art Capital budget from private developer contributions to support the Lansdowne Greenway and Art Walk.

Conclusion

The Lansdowne Road Street as Canvas public art project represents an opportunity to integrate temporary public art to enhance the identity and vibrancy of the City Centre. *The Taste of Place* will assist in the initial stage of Lansdowne Road's transformation into a "Great Street" consistent with the goals of the City Centre Area Plan offering a vibrant, urban environment for people and events.

If endorsed by Council, the project will move into the detailed design and installation phase, with implementation scheduled to be completed by early 2017.



Eric Fiss
Public Art Planner
(604-247-4612)

- Att. 1: *The Taste of Place* Concept Proposal Background
2: *The Taste of Place* Detailed Design
3: *The Taste of Place Concrete Barriers* Detailed Design

LANSDOWNE ROAD TEMPORARY ART INSTALLATION

BACKGROUND

THE TASTE OF PLACE

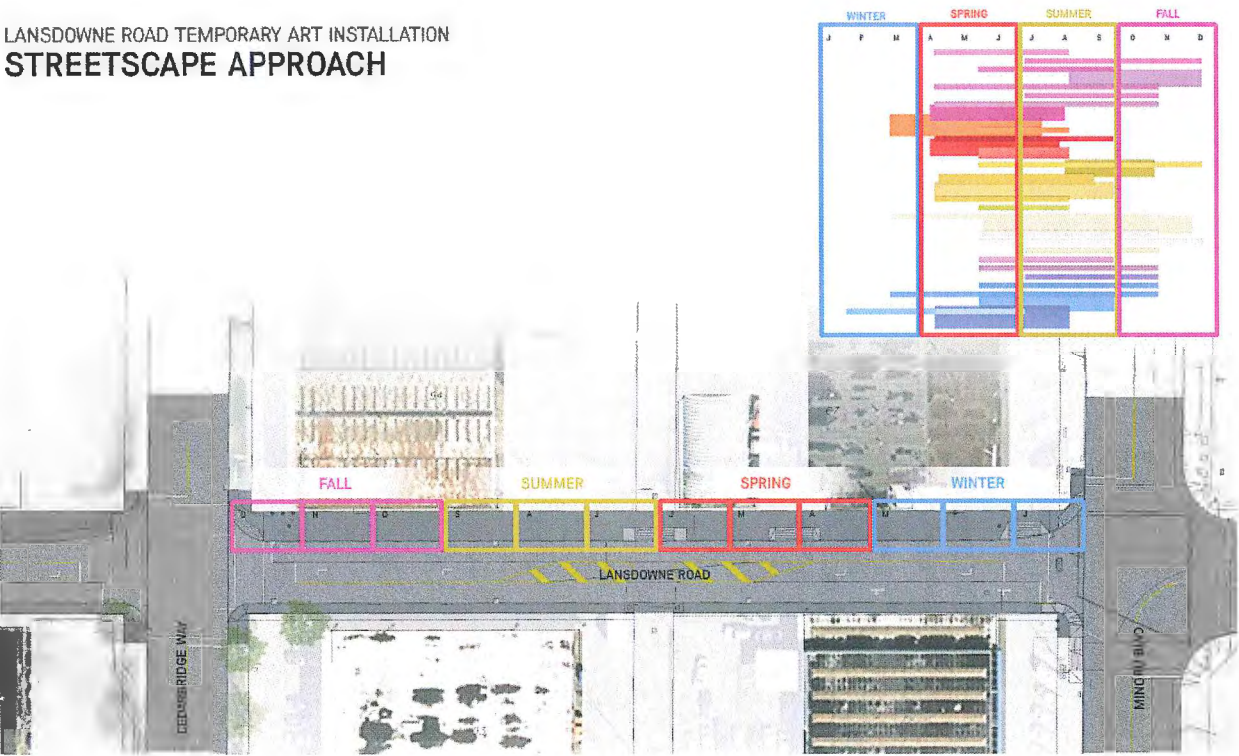
In keeping with the pollinator inspiration, this installation references honeybees and the fruits of their labour. Honey produced in every colony is as distinct as the place it comes from. Its flavour profile changes from location to location depending on the surrounding vegetation, and year to year depending on the climate. Honey is created from elements of a neighbourhood (nectar), which are collected, distilled, and mixed together to create a uniquely sweet expression of time and place.



COLOUR AND FORM

This installation draws colour from the palate of bee-friendly foraging material we hope will eventually be present on site, and form from the hive by subtly referencing the honeycomb. We hope to create a vibrant, versatile, and feasible installation that references the future of this changing community.

LANSDOWNE ROAD TEMPORARY ART INSTALLATION
 STREETSCAPE APPROACH



LANSDOWNE ROAD TEMPORARY ART INSTALLATION DETAILED DESIGN

March 30, 2017



Hapa
Collaborative

Landscape Architecture
Urban Design

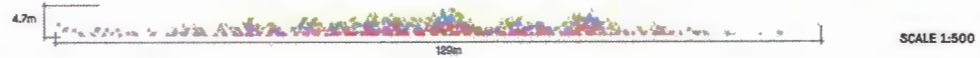
403-375 West Fifth Avenue
Vancouver, BC V5Y 1J6

604 909 4150
hapacobo.com

HAPA

CNCL - 325

LANDSDOWNE ROAD TEMPORARY ART INSTALLATION
STREETSCAPE



Street Layout



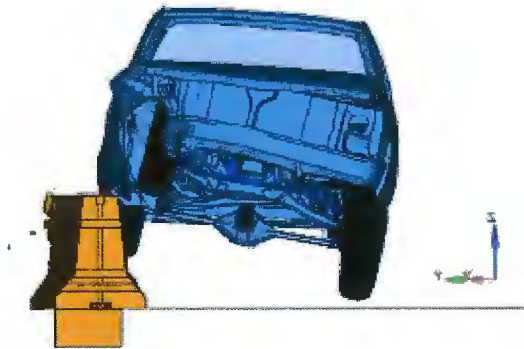
Pattern Details

LANSDOWNE ROAD TEMPORARY ART INSTALLATION BARRIER DESIGN GUIDELINES



SEPARATE CARS FROM BIKES/PEDESTRIANS

The barrier must physically and visually demarcate the lane boundary of the temporary asphalt pedestrian & cycling pathway from the main asphalt road as Lansdowne road is developed, widened, and constructed along.



SAFETY FIRST

Design must comply with traffic safety standards to act as a vehicular barrier. Some guidelines include:

- Deflection angle
- Continuity of edges of barriers
- Changes in surface finish of no more than 3 mm and no more than 20 openings or protrusions in every 300mm x 300mm area



REPLICABLE AND PORTABLE

The design should be capable of replication for future interim frontages along Lansdowne as development occurs. It should also work independently of the painted intervention along Lansdowne Road, to aid as a connective element between the Richmond Oval and the Garden City Lands.

Must be moveable by forklift or other standard traffic barrier placement crane

Storable and/or stackable when not in use.



VISUALLY ATTRACTIVE/THEMATICALLY PAIRED

The barrier design should be thematically connected to the temporary art installation painted along Lansdowne Road, but also capable of operating as an independent artful furnishing elsewhere when it is not used beside the temporary installation.

The design should be visually eye-catching, and take into consideration the respective experiences of pedestrians, cyclists, and motorists who experience them at different scales and speeds.

BARRIER



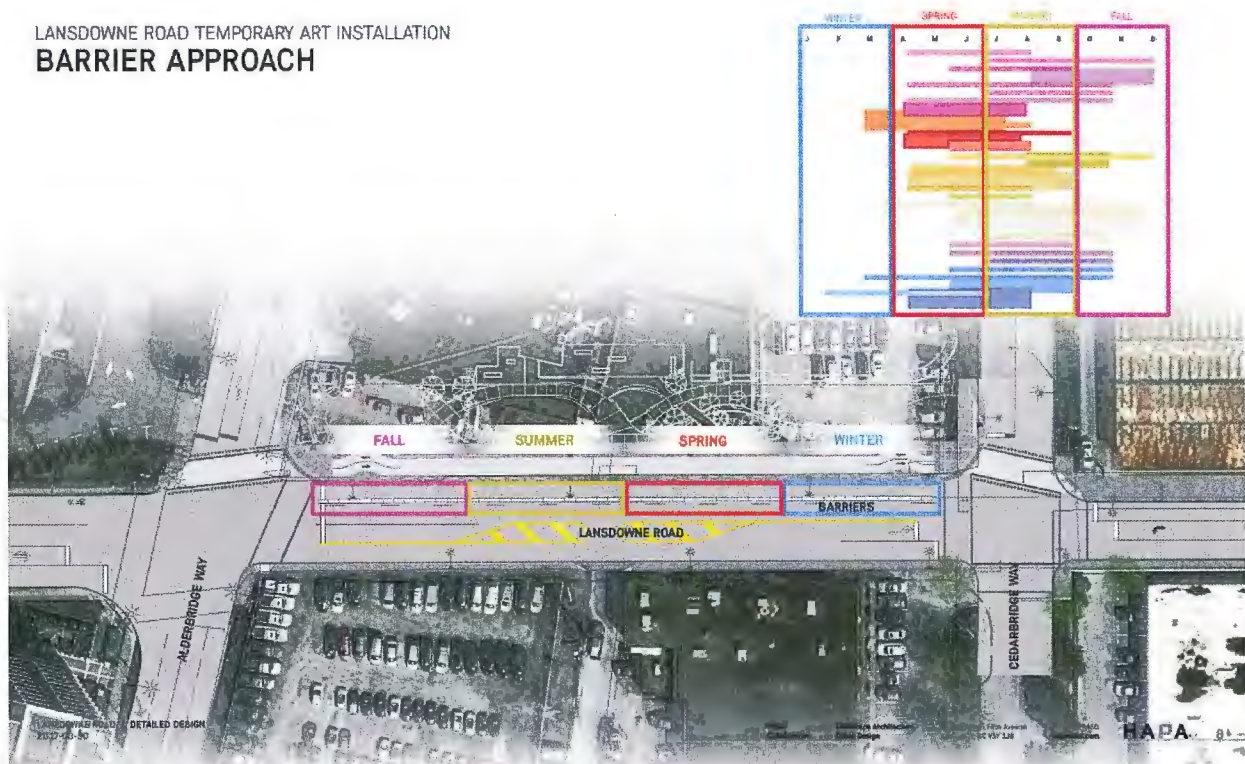
LOW BARRIERS (CLB-1)
3000mm x 457mm x 457mm

For urban areas and construction zones with greater need for visibility and improved lines of sight.

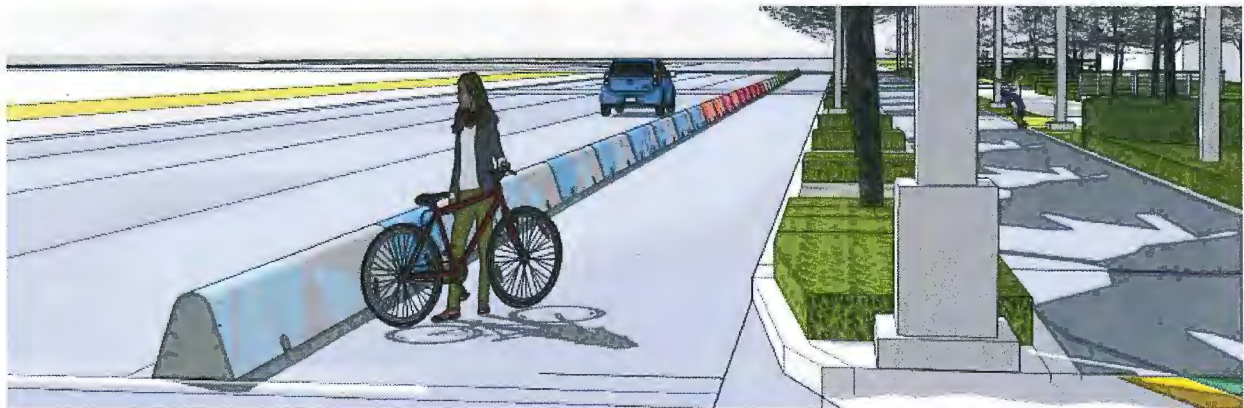
Same deflection angle as Jersey Barrier, but also comes in inverted trapezoidal cross section that deflects vehicles down back onto road.

34 x 3m = 102 linear meters

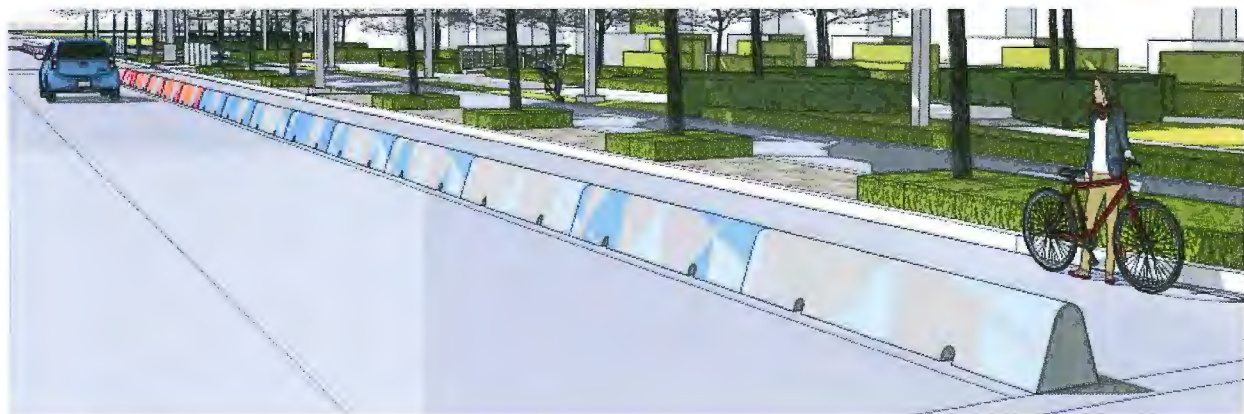
LANSDOWNE ROAD TEMPORARY ART INSTALLATION
BARRIER APPROACH



Lansdowne Road Final Street Design for North Side between Alderbridge Way and Cedarbridge Way



Pedestrian View



Vehicle View

WINTER



SPRING



SUMMER



FALL



Pattern Details



CLIMATE ACCOUNTABILITY LETTERS

AN INTRODUCTION FOR LOCAL GOVERNMENTS

Andrew Gage, Staff Counsel

“Wildfires. Drought. Flooding. Rising sea levels. Climate change is already reshaping and impacting BC communities in profound and frightening ways. As unchecked fossil fuel pollution continues to push global temperatures ever higher, we are frightened for our communities, for communities around the world, and for the world we leave our children. Vulnerable groups - the poor, Indigenous communities, women and children - are often hardest hit by climate impacts.” – Letter from BC Community Groups to Local Governments, 25 January 2017

On 25 January 2017, over 50 community groups from around BC – organizations focused on health, faith, human rights and environment – wrote to all of BC’s local governments asking that they take action to hold the fossil fuel industry accountable for its role in causing climate change and in the climate costs being caused by fossil fuel pollution.

In the short term, we are asking your municipality (or regional district) to send “Climate Accountability Letters” to 20 of the world’s largest fossil fuel companies asking them to pay for climate costs that are being incurred by your community. This brief will answer some questions that you may have about why your community should send these letters.

Why does it matter to your community?

All our communities are facing a rising tide of costs, debt and claims for disaster relief arising from the many effects of climate change. With more frequent wildfires, 100-year storm events now coming every 25 years, snowpacks and aquifers disappearing, our communities are spending scarce taxpayer dollars to prepare for and respond to climate change. The situation is only going to get worse.

As it stands, the costs of building climate resilient communities fall to the taxpayer, as do the costs of re-building communities after floods or fires. Municipal governments bear much of the burden for these climate costs, because municipal infrastructure is frequently affected. In at least one case, municipalities in the U.S. were sued (by their insurers) for failing to prepare adequately for known climate impacts.¹

It is time to ask whether taxpayers alone should be solely responsible to pay climate adaptation and damage costs, or whether costs should be shared with the companies that have made billions of dollars creating this situation. The products and operations of the **20 fossil fuel companies** are collectively responsible for roughly 30% of the greenhouse gases in the atmosphere today. That greenhouse gas pollution is changing the climate, and costing your community money as it is forced to respond and adapt.

It is essential that we have this conversation now. Communities need to know how much they can expect the fossil fuel industry to pay for their climate costs. The fossil fuel industry and its investors need to be able to make informed decisions about the future of the industry once they factor in the real costs of their activities.

Why does it matter to our planet?

Fighting climate change only works when everyone does their fair share. We all share the same precious atmosphere.

Right now the world's largest fossil fuel companies are making hundreds of billions of dollars from products that cause greenhouse gas pollution and put communities around the world at risk. There are powerful economic incentives for those companies, their investors and the governments of the world to continue producing fossil fuels without regard to the consequences for our planet. In many cases these companies have known since the late 1960s that their products were likely causing climate change. Since that time many have funded climate misinformation and lobbied hard against global rules that would protect our communities from climate change.

When companies make massive profits from pollution and products that cause pollution, this is known as an “externality.” It creates an economic system where some parties make money while the rest of us pay for the harm that they cause. Conversely, when companies are made to pay for the harm they cause, they, and their investors and governments, will start to have questions about the profitability of the industry.

Our efforts to reduce the greenhouse gases of our own communities (or even our own country) will only be a small drop in the global bucket. But if our communities demand accountability from **global** fossil fuel companies, the industry will finally have an incentive to stop opposing climate action – or, better yet, to start working for a sustainable future.

What is a Climate Accountability Letter?

A Climate Accountability Letter is a letter written by the representatives of a community to a fossil fuel company asking them to be accountable for the harm caused to that community by their operations and products. These letters are extremely flexible. A community can decide which climate impacts they wish to highlight, whether to demand that the company pay its fair share of current, or future, climate impacts or demonstrate its accountability in some other way.

We provide templates for accountability letters for your community to adapt on the climate law in our hands website.ⁱⁱ We also provide a spreadsheet with the addresses and share of global greenhouse gas emissions of 20 of the world's largest fossil fuel companies.

Is this within local government jurisdiction?

Municipalities and regional districts are incurring and will continue to incur costs related to climate change. Prudent management of their financial resources requires local governments to at least consider the possibility that some of those costs can be recovered from fossil fuel companies and, if appropriate, to take steps to do so.

One of the purposes of municipalities (according to the BC Community Charter) is “fostering the economic, social and environmental well-being” of the community – so Council also has a clear mandate to play its part in addressing climate change globally.

Why target fossil fuel companies?

Some argue that we're all responsible for climate change, but if so, surely we can agree that some of us are more responsible than others?

In 2013 a peer-reviewed paper "Tracing anthropogenic carbon dioxide and methane emissions to fossil fuel and cement producers, 1854–2010"ⁱⁱⁱ estimated the emissions from the operations and products of 90 entities – primarily fossil fuel companies. Just 20 of those fossil fuel companies – the 20 that we are asking you to write to – are responsible for almost 30% of the fossil fuels in the global atmosphere today.

But for the actions of these companies in extracting fossil fuels from the ground, and (in many cases), processing, transporting, marketing, and selling them for use by end consumers, these emissions would not have

ended up in our atmosphere. That's doubly true if you consider the impact of some of these companies in lobbying against action on climate change and in funding public misinformation on climate science. Had these companies acted, when they learned of the science of climate change in the 1960s, to shift the economy towards renewable energy, we would live in a very different, and more sustainable, society.

In addition, a focus on local impacts caused by fossil fuel companies creates new opportunities for local communities to have a global impact. Rather than focusing only on reducing the comparatively small amounts of greenhouse gases created in our own communities, we can also have a conversation about 30% of global emissions.

Shouldn't the Canadian (or BC) government be taking action?

Yes, of course all levels of government should be taking action to fight climate change. But the Canadian and BC governments still rely on the fossil fuel industry in many ways – from campaign contributions to hopes of economic growth.

The fact that the senior levels of government have not yet taken action to hold fossil fuel polluters accountable does not mean that local governments cannot take action to recover their own climate costs. Indeed, a community concerned about local costs of climate change may be more willing to show leadership to protect its residents and environment, and may be more willing to

have a discussion about the role of the fossil fuel industry in contributing to those costs.

Sometimes when people look to the provincial or federal governments for climate leadership, they are looking for regulation of sources of greenhouse gases. While such regulation is important, such laws can only regulate emissions or other activities that take place in Canada (or in BC). The claims for compensation related to climate accountability that we recommend use legal tools that can cross borders and address global sources of emissions.

Do you drive cars (or use gas)?

In response to the 25 January 2017 letter, three mayors independently wrote to us with variations on the message that if we use fossil fuels, we cannot ask for the fossil fuel industry to be held accountable.

We are not denying that individuals play a role in reducing their own greenhouse gas emissions (while recognizing that the options available to individuals to entirely eliminate their fossil fuel use in today's society are limited). Nor are we suggesting that fossil fuels could be eliminated tomorrow.

What we are suggesting is that the responsibility of fossil fuel companies is at least as great as that of the individual, and they should pay their fair share of the costs. We are further suggesting that once the industry realizes that it may be required to pay its fair share, there will be a powerful incentive for the system to change – creating more options for individuals seeking to reduce their greenhouse gas emissions. This is a crucial step in helping society as a whole move away from gas-powered vehicles (and uses of fossil fuels involving combustion).

In the fight to phase out ozone-destroying HFCs, no one ever told those concerned about the ozone layer: “Yeah, but do you own a refrigerator?”

Am I signing up for a lawsuit?

By sending Climate Accountability Letters, your community is simply initiating a conversation, not a lawsuit, about the role of the fossil fuel industry in causing climate harm to your community.

In the 25 January 2017 letter sent to your government, we did also encourage you to consider the possibility of a class action by all BC local governments against some fossil fuel companies. However, sending letters to the fossil fuel companies does not commit your government to participate in or support such a court case.

If your community is interested in exploring the possibility of a lawsuit against the fossil fuel industry, please do contact us for more information.

How do I find out more?

Contact Andrew Gage at agage@wcel.org or 250-412-9784 or learn more on the Climate Law in our Hands initiative website at www.climatelawinourhands.org.

ⁱ <http://www.eenews.net/stories/1059999532>; The insurance company subsequently dropped the lawsuit, but the case stands as a warning to local governments that fail to prepare for climate change.

ⁱⁱ www.climatelawinourhands.org/demand-accountability

ⁱⁱⁱ Heede, R. "Tracing anthropogenic carbon dioxide and methane emissions to fossil fuel and cement producers, 1854–2010" *Climatic Change* (2014) 122: 229. doi:10.1007/s10584-013-0986-y

OPEN LETTER TO BC LOCAL GOVERNMENTS
ATTN: Mayor & Council, all BC local governments
January 25, 2017

Dear Sirs/Mesdames:

Re: We must hold fossil fuel companies responsible for climate change

Wildfires. Drought. Flooding. Rising sea levels. Climate change is already reshaping and impacting BC communities in profound and frightening ways. As unchecked fossil fuel pollution continues to push global temperatures ever higher, we are frightened for our communities, for communities around the world, and for the world we leave our children. These impacts are still more challenging for vulnerable groups - the poor, Indigenous people, women and children - who are often unable to respond to unexpected weather or other climate impacts.

But there is hope. If the fossil fuel companies - whose products are the major drivers of climate change - had to pay even a fraction of the associated climate costs, they would not be able to out-compete renewables and would pivot towards sustainable alternatives without delay. BC communities can play a key role in demanding accountability from the fossil fuel industry for the harm that they are causing our communities, and challenge the myth that the fossil fuel economy can continue business as usual despite the destruction it is causing to our atmosphere.

The fossil fuel industry is keen to avoid a conversation about its responsibility for climate change. Just 90 entities - primarily fossil fuel companies - have caused almost 2/3 of human caused greenhouse gas emissions, and just three - Chevron, Exxon Mobil and Saudi Aramco - are responsible for almost 10%¹. Like the tobacco industry before it, Big Oil relies on the perception that individual consumers are responsible for climate change while pocketing billions of dollars in profits from products that they know are disastrous for our atmosphere and communities around the world.²

BC and Canadian taxpayers will end up paying the costs of climate change in many different ways. But unless our communities demand that fossil fuel companies pay their fair share of these costs, this industry will continue pushing products that the world cannot afford to burn.

1. Heede, R. "Tracing anthropogenic carbon dioxide and methane emissions to fossil fuel and cement producers, 1854-2010 Climatic Change (2014) 122: 229. doi:10.1007/s10584-013-0986-y. See also <http://www.climateaccountability.org/> for emissions figures through to 2013.

2. <https://www.smokeandfumes.org/>; <https://insideclimatenews.org/content/Exxon-The-Road-Not-Taken>.



BC's local governments are well placed to play a global leadership role by demanding accountability. We can come together to start a new global conversation about the moral and legal responsibility of the fossil fuel industry for its role in fueling climate change.

We – as BC-based community groups – support the Climate Law in our Hands Initiative and are asking you to:

1. DEMAND FOSSIL FUEL ACCOUNTABILITY

It has been rare for anyone to even ask the fossil fuel industry to take responsibility for its role in causing the global crisis – and the local climate impacts like floods, wildfires and droughts. This avoidance of responsibility ends in BC – when you, and other local governments across the province, write to the world's fossil fuel companies asking them to take their fair share of responsibility for climate change.

This demand can take the form of a detailed invoice for climate costs or a letter simply enquiring as to the company's position on paying a fair share. It can be tailored to reflect the needs and capacity of each community.³

2. WORK TOWARDS A CLASS ACTION LAWSUIT

BC communities can demand accountability from the fossil fuel industry in a variety of ways, but if necessary, we may need local governments to demand accountability through the courts.

Lawyers at West Coast Environmental Law have exhaustively researched how a class action – a joint legal action brought by one or more “representatives” of BC's local governments – could be brought against major fossil fuel companies for their role in causing climate change.

We ask you to consider whether your municipality would be willing to launch a class action as a representative and/or how you might support a case launched by other local governments. BC communities need to come together and get behind this type of legal action. Bringing this case will make it clear that fossil fuel companies cannot avoid a legal conversation about accountability – and if we win, we will set a precedent that could change the world – putting us on a global path that will avoid more dangerous climate change.⁴

³ Sample accountability letters are available online at www.climatelawinourhands.org/demand-accountability.

⁴ See <http://www.climatelawinourhands.org/bcclassaction> or have your lawyers speak with the Climate Law in our Hands team at West Coast Environmental Law for more information on the legal basis for a class action.



Conclusion

Both of these actions, as well as a general public discussion about the role of fossil fuels in our future economy, are most likely to move forward if our communities understand how we are being, and will be, impacted by climate change. We urge you to work with your citizens, climate scientists and other experts in a publicly transparent way to explore what needs to be done to prepare your community for climate change.

Whether we realize it or not, our communities are facing a tidal wave of costs, debt and disaster relief arising from the many effects of climate change. It is time to ask whether we alone are going to bear those expenses, or whether the companies that have made billions of dollars creating this situation also bear some responsibility.

By demanding that those who profit the most from climate change pay their fair share, BC local governments can dramatically reshape the global conversation about climate change and the fossil fuel industry. Community groups around BC will be calling on fossil fuel companies to take responsibility for their role in causing the climate crisis and we hope that you will join us.

Signed by:

West Coast Environmental Law Association	350.org Canada	Canadian Association of Physicians for the Environment
Coalition to Protect East Kamloops	Douglas Channel Watch	Public Health Association of BC
Kelowna Chapter Council of Canadians	BC Yukon Kairos	KAIROS Metro Van
KAIROS BC/Yukon Kootenay Subregion	Pacific Wild	Prince George Public Interest Research Group
Silva Forest Foundation	Sierra Club BC	Climate Change in Focus
Blewett Conservation Society	Dogwood Initiative	We Love This Coast
West Kootenay EcoSociety	Gibson Alliance of Business and Community Society	Comox Valley Global Awareness Network
SFU350	Alliance4Democracy	Earthkeepers: Christians for Climate Justice
UBC Environmental Law Group	Sunshine Coast Conservation Association	Burnaby Residents Opposing Kinder Morgan Expansion-BROKE
Voters Taking Action on Climate Change	Comox Valley Council of Canadians	LeadNow
Wilderness Committee	Parksville Qualicum Beach KAIROS	Fraser Voices Association
The WaterWealth Project	Georgia Strait Alliance	Stand.earth
UBC350	Northwest Institute	Knox United Church
Citizens Against Urban Sprawl Society (CAUSS)	Friends of Wild Salmon Coalition	Association of Whistler Area Residents for the Environment
Atira Women's Resource	Friends of Morice Bulkley	Salmon Coast Field Station Society
MiningWatch Canada	My Sea to Sky	Saanich Inlet Network
The Canadian Youth Climate Coalition	Divest Victoria	
Council of Canadians	Wildsight	
Kitimat Terrace Clean Air Coalition	Greenpeace Canada	
	Burnaby Pipeline Watch	
	Environmental Defense Working Group	

«Responsible_Company»

«Address_1»

«Address_2»

«City», «State» «Postal»

«Country»

Attn. CEO of «Responsible_Company»

Dear Sirs/Mesdames:

Re: Climate Adaptation in [Community] – Your company's responsibility

As you know, fossil fuel pollution from your products is the main cause of climate change. Like other communities around the world, our community is already seeing the harmful effects of climate change, and we are being forced to prepare for progressively more serious impacts. As the elected government of [Community], we have a responsibility to our citizens to ensure that our infrastructure and services are developed and maintained in ways that will be able to withstand the “new normal” that climate scientists have predicted for our region, and that our citizens are well protected from future climate impacts.

We write to inform you that we are committed to the process of preparing for the impacts that our community is projected to experience due to climate change. Climate change – as a result of pollution from your products – is now inevitable, and growing more severe as you continue to market them and work against a transition away from fossil fuels. However, we know that by planning for and adapting to these measures at an early date, we can minimize future economic and other impacts of climate change.

As a community, we will expect you to pay your fair share of the costs associated with developing and implementing adaptation plans. It has been estimated that products produced by [your company] are responsible for fully «M_of_GHG_s_to_2013»% of historic greenhouse gas emissions.¹ Your industry has been aware of the role of fossil fuels in causing climate change and the types of impacts that communities such as ours would suffer as a result from the 1960s at least.²

Since then, however, your company has continued marketing your harmful products and many within your industry have worked, directly or indirectly, to delay or prevent the transition to a carbon free economy.³ While we recognize that individual consumers do play a small (although individually insignificant) role in the fossil fuel economy, your company has had the power to lead the transition away from that economy, but has instead profited to the tune of many billions of dollars from products that use our global atmosphere as a garbage dump, at the expense of our communities.

¹ Heede, R. “Tracing anthropogenic carbon dioxide and methane emissions to fossil fuel and cement producers, 1854–2010” *Climatic Change* (2014) 122: 229. doi:10.1007/s10584-013-0986-y, updated to 2013 at http://climateaccountability.org/carbon_majors_update.html, last accessed 23 September 2016.

² <https://www.smokeandfumes.org/fumes>, last accessed 23 September 2016.

³ <http://www.ucsusa.org/sites/default/files/attach/2016/03/backgrounder-fossil-fuel-industry-climate-science-deception.pdf>, last accessed 23 September 2016; <http://www.fossilfreemit.org/wp-content/uploads/2014/08/FossilFreeMIT-Lobbying-Disinformation.pdf>, last accessed 23 September 2016.

It is our position that you – in marketing a product that you knew would cause harm to our community and in opposing alternatives to that product – have played a key role in degrading the global atmosphere and creating a range of threats to our community. Your contribution is readily detectable globally and is therefore considered legally significant and actionable.

It is our responsibility – as one of the communities that face the consequences of that public nuisance to take action to protect ourselves and our citizens from the public nuisance that you have contributed to. The common law recognizes this responsibility and confirms that expenses associated with mitigating the risks of a nuisance can be recovered from those who have caused them.

Accordingly, as we undertake the task of planning for, and building and modifying our infrastructure and services and developing a community that can withstand current and anticipated climate change, we expect you to pay your fair share of the resulting costs – which we assert is equivalent to your proportionate contribution to climate change (ie. «M__of_GHG_s_to_2013»% in the case of your company). You cannot make billions of dollars selling your product, knowing that it is causing significant financial harm to communities around the world, and not expect to pay at least that much.

If you do not agree that «M__of_GHG_s_to_2013»% is your fair share, please inform us what proportion is your fair share, and why. In addition, we would like to hear what steps you plan to take to reduce or eliminate the future impacts of your company's products on our community.

Even if fossil fuel companies like yours do pay your respective shares (either voluntarily or through legal recourse), our community will still bear the costs of climate change – for example, costs that cannot be recovered from now defunct companies or loss and damage that are not prevented through adaptation. However, we are committed to doing our part to minimize those costs and impacts, and we look forward to your confirmation that you will do your part as well.

Sincerely,

Mayor of [Community]



DEVELOPMENT COST CHARGES IMPOSITION BYLAW NO. 9499

The Council of the City of Richmond enacts as follows:

PART ONE: GENERAL PROVISIONS

1.1 Establishment of Development Cost Areas

- 1.1.1 For the purposes of imposing development cost charges, the **City** is not divided into areas, except in respect of supplementary development cost charges for **development** in the Alexandra area as shown on Schedule A.

1.2 Imposition of Development Cost Charges

- 1.2.1 In accordance with Division 19, "Development Costs Recovery", of the **Local Government Act**, development cost charges are imposed for the purpose of providing funds to assist the **City** in paying the capital costs of providing, constructing, altering or expanding sewage, water, drainage and highway facilities, other than off-street parking facilities, and providing and improving park land to service, directly or indirectly, the **development** for which the charge is being imposed. Subject to the provisions of subsection 1.3.1 of this Bylaw and in accordance the **Local Government Act**, development cost charges are imposed on every person who obtains:
- (a) approval of a subdivision of a **parcel**; or
 - (b) a **building permit** authorizing the **construction**, alteration or extension of a building or part of a building that will, after the **construction**, alteration or extension, contain one or more self-contained dwelling units, as established in accordance with section 561(6) of the **Local Government Act**.
- 1.2.2 Every person who obtains approval of a subdivision of a **parcel** or a **building permit** must pay development cost charges in accordance with Schedule B and Schedule C if the supplementary development cost charges apply.
- 1.2.3 Where a type of **development** is not identified in Schedule B and Schedule C, the development cost charges for the most comparable type of **development**, as determined by the **City**, are to be used to determine the amount payable.

- 1.2.4 For **developments** with two or more types of **developments**, the development cost charge payable shall be calculated separately for each portion of the **development** contained in the **building permit** or subdivision application in accordance with the development cost charges for each **development** type in Schedule B and Schedule C.

1.3 Exemption from Development Cost Charges

- 1.3.1 The development cost charges imposed under section 1.2 apply only to the extent specified, and are subject to the restrictions specified the **Local Government Act**. In accordance with provisions of Section 561 of the **Local Government Act**, development cost charge is not payable if any of the following applies in relation to a **development** authorized by a **building permit**:

- (a) where the permit authorizes the **construction**, alteration or extension of a building or part of a building that is, or will be, after the **construction**, alteration or extension, exempt from taxation under Section 220(1)(h) or Section 224(2)(f) of the *Community Charter*;
- (b) where the aggregate value of the work authorized by a **building permit** does not exceed \$50,000; or
- (c) where the area of the self-contained dwelling unit in a building authorized under a **building permit** is no larger in area than 29 square metres and the unit is to be put to no other use other than a **residential** use in those dwelling units.

1.4 Payment of Development Cost Charges

- 1.4.1 The development cost charges imposed under subsection 1.2 must be paid to the **City** in full as follows:
- (a) in the cases of the **single family** or **major industrial** subdivision of a **parcel**, at the time of the approval of the subdivision;
 - (b) for all cases other than that described in subsection 1.4.1(a), at the time of the issuance of the **building permit**.
- 1.4.2 Development cost charges that would otherwise be payable in full at the times specified in subsection 1.4.1 may be paid by instalments in accordance with all terms and conditions of the Development Cost Charge (Instalments) Regulation (B.C. Reg. 166/84) of the **Local Government Act**.

PART TWO: INTERPRETATION

- 2.1 All terms in this bylaw will follow the **Richmond Zoning Bylaw**, except otherwise defined herein:

APARTMENT

means a **residential** dwelling unit which is or will be situated in a building consisting of two or more dwellings in which the dwellings are arranged in any horizontal or vertical configuration and have access from a common interior corridor. This also includes congregate housing which is a multi-unit residential building that contains two or more independent or semi-independent units which shall be supplemented by professional medical care, lay supervision and care, communal dining facilities and housekeeping services.

BUILDING AREA (BA)

means the total area of all storeys measured to the outer limits of the building, which is the sum of:

- (i) The floor area of the building(s) on-site used for Floor Area Ratio calculations as defined in the **Richmond Zoning Bylaw**; plus
- (ii) All common utility areas provided for the building, such as mechanical, electrical, telephone, cable and district energy utility rooms, electrical and mechanical conduit shafts etc.; plus
- (iii) All common service rooms provided for the building, such as garbage and recycling rooms and storage rooms etc.

But excludes the sum of:

- a) Bicycle parking rooms; plus
- b) Vehicle parking, circulation and loading areas; plus
- c) Covered open areas of the building(s) on the site intended to provide public access to **commercial** spaces (i.e. covered areas such as verandas, colonnades etc.)

BUILDING PERMIT

means permission or authorization in writing by a building inspector under the current Building Regulation Bylaw of the **City** to perform construction regulated by such bylaw.

CITY	means the City of Richmond and includes the land, air space and surface of water which comprise the City of Richmond.
COMMERCIAL	means all developments zoned commercial and all developments having commercial uses undertaken in buildings or on land where zoning designation is other than commercial . Commercial use means the carrying on of any business, including the sale or provision of goods, accommodation, entertainment, meals or services, but excludes industrial uses, as defined in the Richmond Zoning Bylaw .
CONSTRUCTION	means to build, erect, install, repair, alter, add, enlarge, move, locate, relocate, reconstruct, demolish, remove, excavate or shore.
COUNCIL	means the Council of the City .
DEVELOPMENT(S)	means approval of a subdivision of a parcel or the issuance of a building permit for which a development cost charge may be imposed, as defined in the Local Government Act .
INSTITUTIONAL	means development which is created and that exists by law or public authority for the benefit of the public in general, and includes public hospitals, public and private schools, and facilities used primarily for public services.
LIGHT INDUSTRIAL	means development zoned industrial, general, except where the use is other than industrial, general as defined in the Richmond Zoning Bylaw .
LOCAL GOVERNMENT ACT	means the Local Government Act , R.S.B.C. 2015 as amended from time to time.
MAJOR INDUSTRIAL	means development zoned industrial, heavy, except where the use is other than industrial, heavy, as defined in the Richmond Zoning Bylaw .

PARCEL	means a lot, block, or other area in which land is held, or into which land is legally subdivided.
RESIDENTIAL	means development of a parcel which falls under residential zoning as defined in the Richmond Zoning Bylaw , including congregate housing, but excludes nursing homes and rest homes, which are deemed to be institutional development .
RICHMOND ZONING BYLAW	means Richmond Zoning Bylaw 8500, as amended from time to time.
SINGLE FAMILY	means single residential detached housing that has a maximum of one principal dwelling unit and a secondary suite or coach house as defined in the Richmond Zoning Bylaw . This rate also applies to each dwelling unit of two-unit dwellings as defined in the Richmond Zoning Bylaw .
SQUARE FOOTAGE OF DWELLING UNIT (sq. ft. of DU)	means the total floor area of the building or structure contained within the exterior face of the structural system of the exterior and basement walls and, where applicable, the centre line of the common walls dividing the dwelling units and shall include all the internal walls within each dwelling unit excluding parking areas, crawl spaces, balconies, canopies, terraces and sun decks.
TOWNHOUSE	refers to the definition of Housing, town, of the Richmond Zoning Bylaw .

PART THREE: PREVIOUS BYLAW REPEAL

- 3.1** Development Cost Charges Imposition Bylaw 8024 and all amendments thereto is hereby repealed except to the extent that sections 511 and/or 568 of the Local Government Act apply.

PART FOUR: SEVERABILITY AND CITATION

- 4.1** The provisions of this bylaw are severable, and if for any reasons, any part, section, subsection, clause, or sub-clause, or other words in this bylaw are found to be invalid or unenforceable by the decision of a Court of competent jurisdiction, such decision does not affect the validity of the remaining portions of this bylaw.

4.2 This bylaw is cited as "Development Cost Charges Imposition Bylaw No. 9499"

FIRST READING

FEB 14 2017

SECOND READING

FEB 14 2017

THIRD READING

FEB 14 2017

ADOPTED

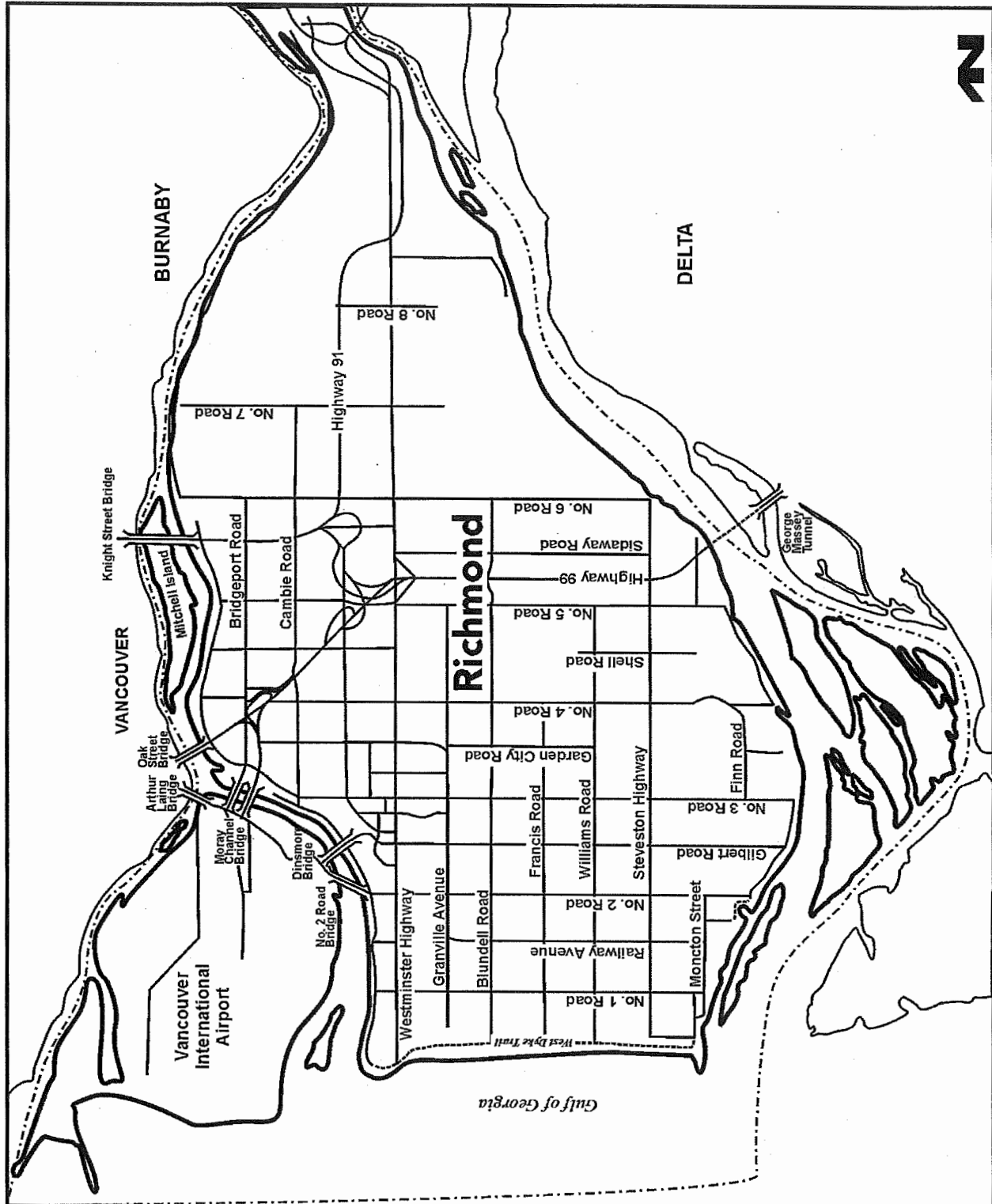
CITY OF RICHMOND
APPROVED for content by originating dept. <i>VN</i>
APPROVED for legality by Solicitor <i>De</i>

MAYOR

CORPORATE OFFICER

SCHEDULE A to BYLAW NO. 9499
CITY MAP AND ALEXANDRA AREA

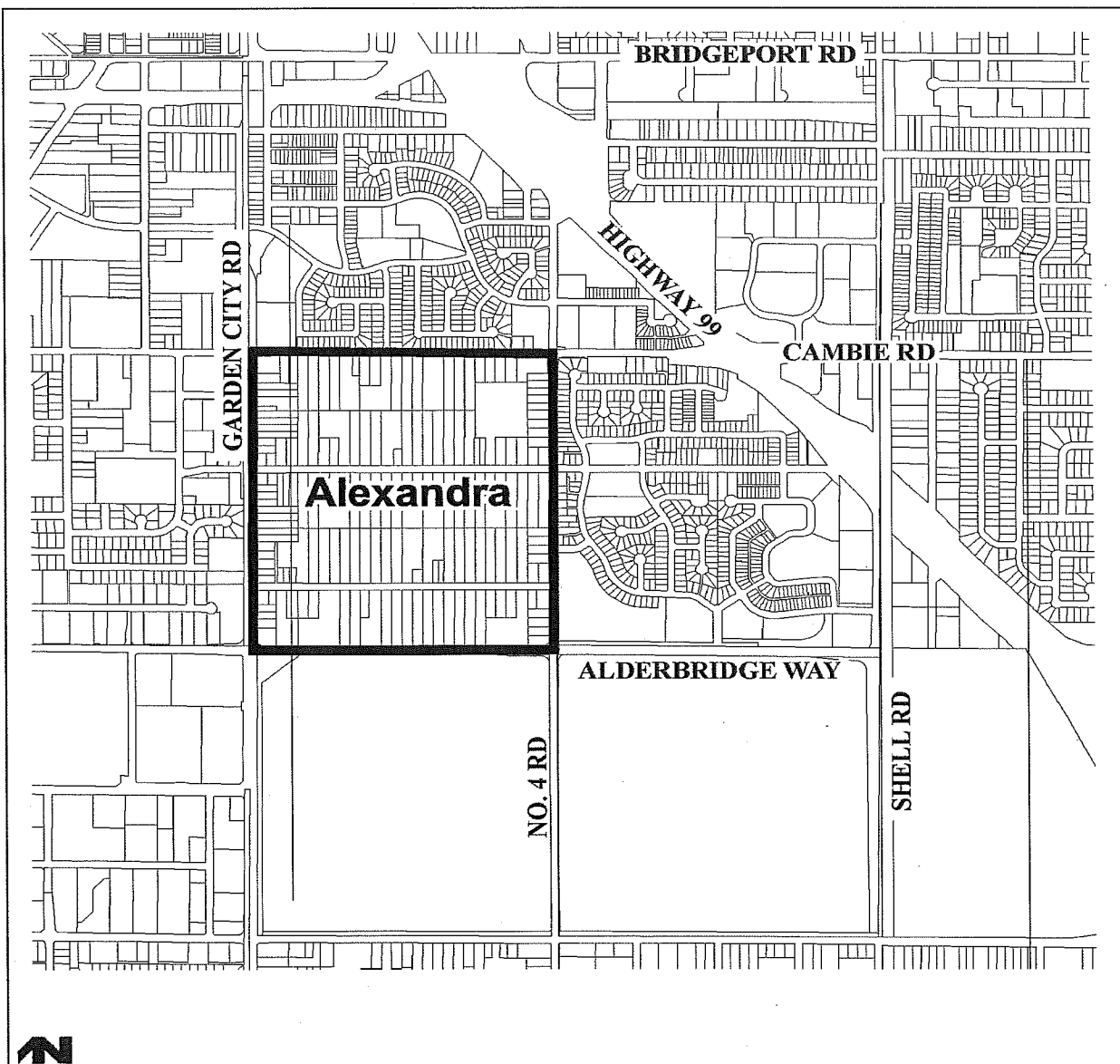
Page 1 of 2



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SCHEDULE A to BYLAW NO. 9499

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West Cambie Area Plan

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**SCHEDULE B to BYLAW NO. 9499
City-Wide Development Cost Charge**

Richmond Zoning Bylaw 8500				Road Works	Drainage Works	Water Works	Sanitary Sewer	Parks Acquisition	Parks Development	Total DCC	Units for each column
Description	Standard Zones	Site Specific Zones	Site Specific Mixed Use Zones (1)								
Agricultural	AG, CR, GC	ZA		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	-
Marina (2)	MA										
Single Family	RS, RC, RCH, RD, RI, RE, RCC	ZS, ZD		\$15,661.33	\$ 7,066.69	\$ 1,068.03	\$ 2,512.85	\$ 7,582.39	\$ 5,602.81	\$39,494.10	per lot
Townhouse	RTL, RTM, RTH, RTP	ZT		\$ 7.51	\$ 3.04	\$ 0.70	\$ 1.64	\$ 4.94	\$ 3.65	\$ 21.48	per sq. ft. of DU
Apartment	RAL, RAM, RAH	ZLR, ZHR	ZR, RCL, ZMU, CS, ZC	\$ 9.22	\$ 2.16	\$ 0.72	\$ 1.68	\$ 5.08	\$ 3.75	\$ 22.61	per sq. ft. of DU
Commercial (3)	CL, CC, CA, CDT, CEA, CG, CN, CP, CV IB, IL, IR, IS	ZC ZI	ZR, RCL, ZMU, CS, ZC	\$ 11.18	\$ 2.10	\$ 0.27	\$ 0.64	\$ 0.19	\$ 0.14	\$ 14.52	per sq. ft. of BA
Light Industrial (4)	IB, IL, IR, IS	ZI		\$ 7.99	\$ 2.10	\$ 0.27	\$ 0.64	\$ 0.19	\$ 0.14	\$ 11.33	per sq. ft. of BA
Major Industrial	I			\$41,754.90	\$ 41,823.62	\$ 3,830.94	\$ 9,013.41	\$ 743.86	\$ 549.66	\$97,716.39	per acre of gross site area
Institutional	AIR, SI, ASY, HC	ZIS		\$ 11.18	\$ 2.10	\$ 0.27	\$ 0.64	\$ 0.19	\$ 0.14	\$ 14.52	per sq. ft. of BA

(1) For site specific mixed used residential and commercial zones, the development cost charge (DCC) payable shall be calculated separately for each portion of the development. DCC for residential uses are charged at the appropriate multi-family residential rate, and any commercial space is charged at the appropriate commercial rate.

(2) Waterborne residential development permitted under MA zone is exempt from DCC. Any upland buildings in this zone are required to pay the Commercial DCC Rate.

(3) Commercial rate is applicable to all uses permitted in these zones, except for the following, which will be charged the industrial rate: (i) general industrial, (ii) custom indoor manufacturing, (iii) minor utility, (iv) transportation depot, and (v) truck or railroad terminal.

(4) For industrial developments with a mix of commercial and industrial permitted uses (including site-specific industrial zones), the DCC payable shall be calculated separately for each portion of development contained in the building permit or subdivision application in accordance with actual uses. The total payable will be the sum of the DCC for each portion of the development at the applicable DCC rates.

SCHEDULE C to BYLAW NO. 9499
Supplementary Development Cost Charge in Alexandra Area

In addition to the development cost charge applicable city-wide in Richmond, **development** in the Alexandra Area shall pay the following additional supplementary development cost charges.

Description	Standard Zones	Site Specific Zones	Site Specific Mixed Use Zones	Road Works	Drainage Works	Water Works	Sanitary Sewer	Parks Acquisition	Parks Development	Total DCC	Units for each column
Townhouse	RTL, RTM, RTH, RTP	ZT		\$ 2.35	\$ 0.51	\$ 0.07	\$ 0.15	\$ 3.31	\$ 0.42	\$ 6.81	per sq. ft. of DU
Apartment	RAL, RAM, RAH	ZLR, ZHR	ZR, RCL, ZMU, CS, ZC	\$ 3.14	\$ 0.36	\$ 0.07	\$ 0.15	\$ 3.41	\$ 0.43	\$ 7.56	per sq. ft. of DU
Commercial	CL, CC, CA, CDT, CEA, CG, CN, CP, CV IB, IL, IR, IS	ZC ZI	ZR, RCL, ZMU, CS, ZC	\$ 6.26	\$ 0.35	\$ 0.03	\$ 0.06	\$ 0.64	\$ 0.08	\$ 7.42	per sq. ft. of BA



Annual Property Tax Rates (2017) Bylaw No. 9695

The Council of the City of Richmond enacts as follows:

- (a) Parts 1 through 6 excluding Part 3, pursuant to the *Community Charter*; and
- (b) Part 3 pursuant to section 100 of the *Municipalities Enabling and Validating Act*.

PART ONE: GENERAL MUNICIPAL RATES

1.1 General Purposes

- 1.1.1 The tax rates shown in column A of Schedule A are imposed and levied on the assessed value of all land and improvements taxable for general municipal purposes, to provide the monies required for all general purposes of the **City**, including due provision for uncollectible taxes, and for taxes that it is estimated will not be collected during the year, but not including the monies required for payments for which specific provision is otherwise made in the *Community Charter*.

1.2 City Policing, Fire & Rescue and Storm Drainage

- 1.2.1 The tax rates shown in columns B, C & D of Schedule A are imposed and levied on the assessed value of all land and improvements taxable for general municipal purposes, to provide monies required during the current year for the purpose of providing policing services, fire and rescue services and storm drainage respectively in the City, for which other provision has not been made.

PART TWO: REGIONAL DISTRICT RATES

- 2.1 The tax rates appearing in Schedule B are imposed and levied on the assessed value of all land and improvements taxable for hospital purposes and for Greater Vancouver Regional District purposes.

PART THREE: TRUNK SEWERAGE RATES

3.1 The tax rates shown in Schedule C are imposed and levied on the assessed values of all land only of all real property, which is taxable for general municipal purposes, within the following benefitting areas, as defined by the Greater Vancouver Sewerage & Drainage District:

- (a) Area A, being that area encompassing those portions of sewerage sub-areas and local pump areas contained in the Lulu Island West Sewerage Area of the Greater Vancouver Sewerage and Drainage District as shown on the current plan of the Lulu Island West Sewerage Area; and
- (b) Area B, being that area encompassing Sea, Mitchell, Twigg and Eburne Islands, which is that part of the **City** contained in the Vancouver Sewerage Area of the Greater Vancouver Sewerage and Drainage District as shown on the current plan of the Vancouver Sewerage Area; and
- (c) Area C, being that part of the **City** contained in the Fraser Sewerage Area of the Greater Vancouver Sewerage and Drainage District as shown on the current plan of the Fraser Sewerage Area,

and the total amount raised annually is to be used to retire the debt (including principal and interest) incurred for a sewage trunk system, which includes the collection, conveyance and disposal of sewage, including, without limiting the generality of the foregoing, forcemain sewers and their pumphouses and such ancillary drainage works for the impounding, conveying and discharging the surface and other waters, as are necessary for the proper laying out and construction of the said system of sewerage works, provided however that land classified as "Agriculture Zone" in Section 14.1 of the **Zoning Bylaw**, is exempt from any tax rate imposed or levied pursuant to this Part.

PART FOUR: GENERAL PROVISIONS

4.1 Imposition of Penalty Dates

4.1.1 All taxes payable under this bylaw must be paid on or before July 4, 2017.

4.2 Designation of Bylaw Schedules

4.2.1 Schedules A, B and C are attached and designated a part of this bylaw.

PART FIVE: INTERPRETATION

5.1 In this bylaw, unless the context otherwise requires:

CITY	means the City of Richmond.
ZONING	means the Richmond Zoning
BYLAW	Bylaw 8500, as amended from time to time.

PART SIX: PREVIOUS BYLAW REPEAL

6.1 Annual Property Tax Rates (2016) Bylaw No. 9535 is repealed.

PART SEVEN: BYLAW CITATION

7.1 This Bylaw is cited as “Annual Property Tax Rates (2017) Bylaw No. 9695”.

FIRST READING

APR 24 2017

SECOND READING

APR 24 2017

THIRD READING

APR 24 2017

ADOPTED

CITY OF RICHMOND
APPROVED for content by originating dept.
APPROVED for legality by Solicitor

MAYOR

CORPORATE OFFICER

SCHEDULE A to BYLAW NO. 9695

PROPERTY CLASS	COLUMN A GENERAL PURPOSES	COLUMN B POLICING SERVICES	COLUMN C FIRE & RESCUE	COLUMN D STORM DRAINAGE	TOTAL
1. Residential	0.92630	0.34947	0.26307	0.03332	1.57216
2. Utilities	19.81675	7.47639	5.62806	0.71270	33.63390
4. Major Industry	7.40781	2.79479	2.10386	0.26642	12.57288
5. Light Industry	3.30320	1.24622	0.93813	0.11880	5.60635
6. Business / other	3.30320	1.24622	0.93813	0.11880	5.60635
8. Recreation / non profit	1.01176	0.38171	0.28735	0.03639	1.71721
9. Farm	7.71737	2.91158	2.19177	0.27755	13.09827

SCHEDULE B to BYLAW NO. 9695

PROPERTY CLASS	REGIONAL DISTRICT
1. Residential	0.04145
2. Utilities	0.14506
4. Major Industry	0.14091
5. Light Industry	0.14091
6. Business/other	0.10154
8. Rec/non profit	0.04145
9. Farm	0.04145

SCHEDULE C to BYLAW NO. 9695

AREA		RATES
A, B, & C	Sewer Debt Levy (land only)	0.00631



City of Richmond

Bylaw 9584

Richmond Zoning Bylaw 8500 Amendment Bylaw 9584 (RZ 14-672762) 12040 No. 5 Road

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, is amended by repealing the existing zoning designation of the following area and by designating it **"LIGHT INDUSTRIAL (IL)"**.

P.I.D. 003-606-520

South Half Lot 3 Sections 6 and 7 Block 3 North Range 5 West New Westminster District
Plan 11534

2. This Bylaw may be cited as **"Richmond Zoning Bylaw 8500, Amendment Bylaw 9584"**.

FIRST READING

JUL 11 2016

A PUBLIC HEARING WAS HELD ON

SEP 06 2016

SECOND READING

SEP 06 2016

THIRD READING

SEP 06 2016

OTHER CONDITIONS SATISFIED

APR 27 2017

ADOPTED

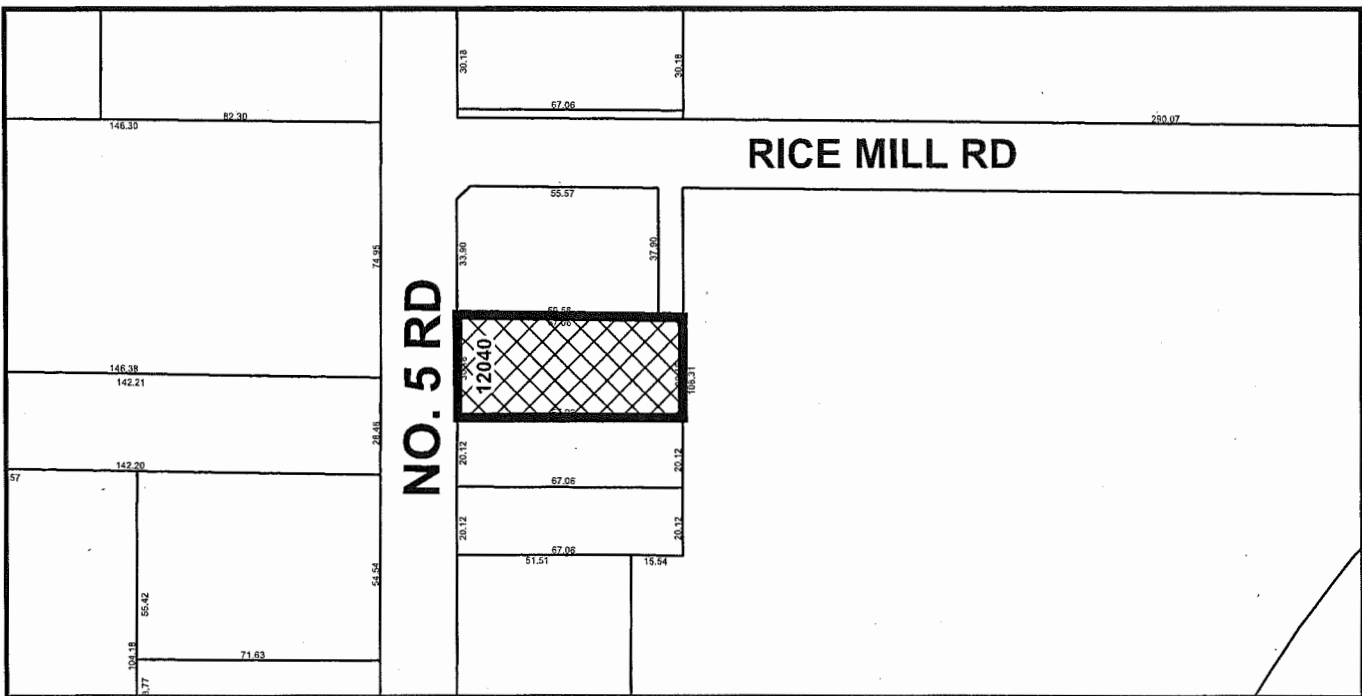
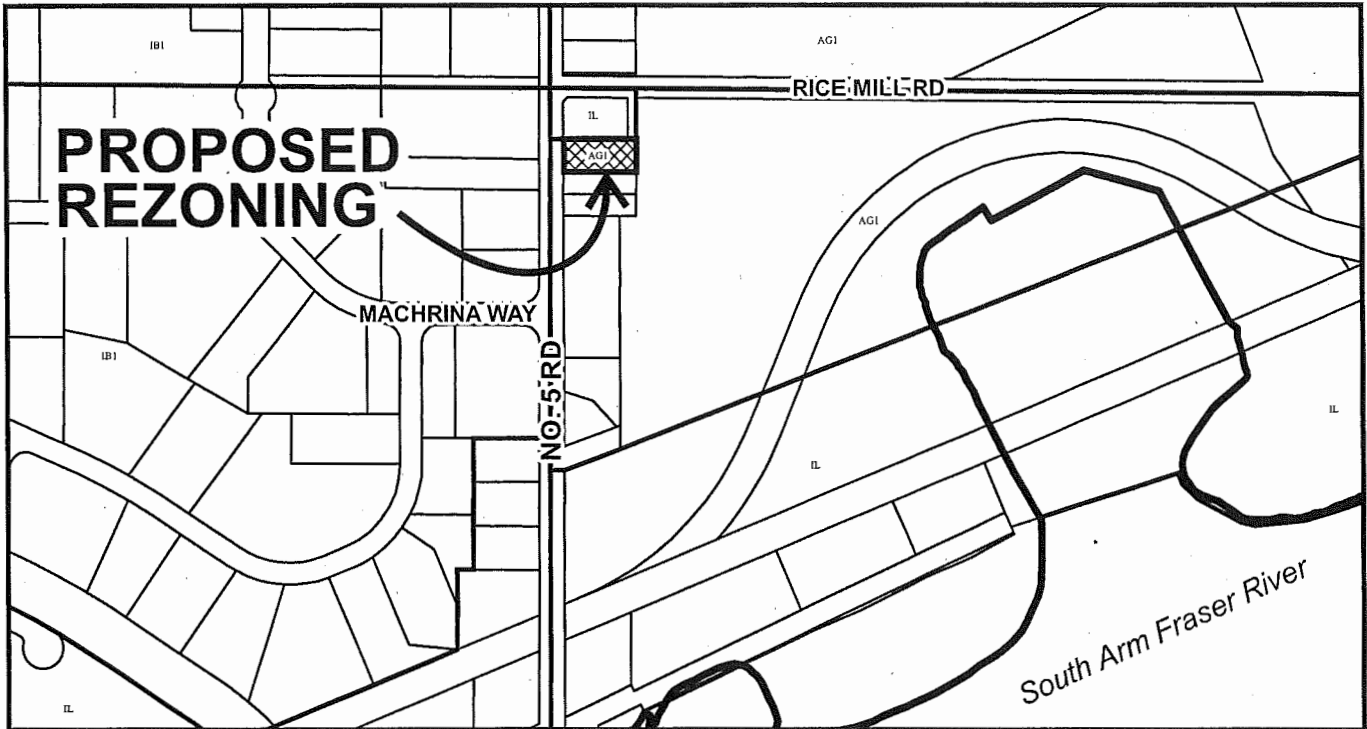
MAYOR

CORPORATE OFFICER





City of Richmond



RZ 14-672762

CNCL - 355

Original Date: 09/30/14

Revision Date: 06/27/16

Note: Dimensions are in METRES



**Richmond Official Community Plan Bylaw 9000 and Richmond Official
Community Plan Bylaw 7100,
Amendment Bylaw 9593 (RZ 12-603040)
3031, 3211, 3231, 3291, 3311, 3331, 3351 No. 3 Road,
8151 Capstan Way, and 8051 and 8100 River Road**

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Official Community Plan Bylaw 9000 is amended at Attachment 1 to Schedule 1, 2041 OCP Land Use Map, for those areas marked “A” and “B” on “Schedule A attached to and forming part of Bylaw 9593”, by designating area “A” as “Park” and area “B” as “Mixed Use”.
2. Richmond Official Community Plan Bylaw 7100, in Schedule 2.10 (City Centre Area Plan), is amended by:
 - 2.1 On page 2-6, on the City Centre Neighbourhoods & Village Areas Map, in the area bounded by Sea Island Way, No. 3 Road, Capstan Way and the Middle Arm of the Fraser River, repealing the “Existing Parks, Planned Parks & Open Space” designation and designating the land identified as “Park” on “Schedule B attached to and forming part of Bylaw 9593” as “Existing Parks, Planned Parks & Open Space”.
 - 2.2 On page 2-13, on the Jobs & Business Concept Map, in the area bounded by Sea Island Way, No. 3 Road, Capstan Way and the Middle Arm of the Fraser River, extending the “Key Mixed-Use Areas & Commercial Reserve” designation to include that area west of Corvette Way identified as “Urban Centre T5 (45 m)” on “Schedule B attached to and forming part of Bylaw 9593”.
 - 2.3 On page 2-17, on the Key Commercial Areas Map, in the area bounded by Sea Island Way, No. 3 Road, Capstan Way and the Middle Arm of the Fraser River, extending the “Mixed-Use Core” designation to include that area west of Corvette Way indicated as “Urban Centre T5 (45 m)” on “Schedule B attached to and forming part of Bylaw 9593”.
 - 2.4 On page 2-27, on the Street Network Map (2031), in the area bounded by Sea Island Way, No. 3 Road, Capstan Way and the Middle Arm of the Fraser River, revising the “Minor Streets” designation connecting Corvette Way and No. 3 Road as indicated on “Schedule B attached to and forming part of Bylaw 9593”.
 - 2.5 On page 2-32, on the Key Street Improvements Map (2031), in the area bounded by Sea Island Way, No. 3 Road, Capstan Way and the Middle Arm of the Fraser River, revising the “New East-West Streets” designation connecting Corvette Way and

No. 3 Road as indicated on “Schedule B attached to and forming part of Bylaw 9593”.

- 2.6 On page 2-42, on the Goods Movement & Loading Map (2031), in the area bounded by Sea Island Way, No. 3 Road, Capstan Way and the Middle Arm of the Fraser River, revising the “Limited on-street” designation connecting Corvette Way and No. 3 Road as indicated on “Schedule B attached to and forming part of Bylaw 9593”.
- 2.7 On page 2-51, on the Public Art Opportunities Map, in the area bounded by Sea Island Way, No. 3 Road, Capstan Way and the Middle Arm of the Fraser River, repealing the “Neighbourhood Park (Future to 2031)” designation and designating the land identified as “Park” on “Schedule B attached to and forming part of Bylaw 9593” as “Neighbourhood Park (Future to 2031)”.
- 2.8 On page 2-60, on the A Base for Building a Living Landscape Map, in the area bounded by Sea Island Way, No. 3 Road, Capstan Way and the Middle Arm of the Fraser River, repealing the “Existing Greenways, Planned Greenways, Linear Parks & Green Links” designation and designating the land identified as “Park” on “Schedule B attached to and forming part of Bylaw 9593” as “Existing Greenways, Planned Greenways, Linear Parks & Green Links”.
- 2.9 On page 2-65, on the Base Level Parks & Open Space Map (2031), in the area bounded by Sea Island Way, No. 3 Road, Capstan Way and the Middle Arm of the Fraser River, repealing the “Neighbourhood Park (Future to 2031)” designation and designating the land identified as “Park” on “Schedule B attached to and forming part of Bylaw 9593” as “Neighbourhood Park (Future to 2031)”.
- 2.10 On page 2-68, on the Neighbourhood Parks Map, in the area bounded by Sea Island Way, No. 3 Road, Capstan Way and the Middle Arm of the Fraser River, repealing the “Neighbourhood Park (Future to 2031)” designation and designating the land identified as “Park” on “Schedule B attached to and forming part of Bylaw 9593” as “Neighbourhood Park (Future to 2031)”.
- 2.11 On page 2-109, on the Maximum Building Height Map, in the area bounded by Sea Island Way, No. 3 Road, Capstan Way and the Middle Arm of the Fraser River
 - a) Repealing the “9 m (30 ft.)” designation and designating the land identified as “Park” on “Schedule B attached to and forming part of Bylaw 9593” as “Park”; and
 - b) Repealing the “Park” designation and designating the land identified as “Urban Centre T5 (45 m)” on “Schedule B attached to and forming part of Bylaw 9593” as “45 m (148 ft.)”.
- 2.12 On page 2-113, on the Tower Spacing & Floorplate Size Map, in the area bounded by Sea Island Way, No. 3 Road, Capstan Way and the Middle Arm of the Fraser River, extending the “24 m (79 ft.)” designation to include the area west of Corvette

Way and indicated as “Urban Centre T5 (45 m)” on “Schedule B attached to and forming part of Bylaw 9593”.

- 2.13 On page 3-3, on the Development Permit Sub-Areas Key Map, in the area bounded by Sea Island Way, No. 3 Road, Capstan Way and the Middle Arm of the Fraser River
- a) Repealing the “C2 Marina-Commercial & Waterborne Residential” designation and designating the land identified as “Park” on “Schedule B attached to and forming part of Bylaw 9593” as “Parks”; and
 - b) Repealing the “Parks” designation and designating the land identified as “Urban Centre T5 (45 m)” on “Schedule B attached to and forming part of Bylaw 9593” as “B3 Mixed-Use – High-Rise Residential, Commercial & Mixed-Use”.
- 2.14 On page 3-13, on the Park Frontage Enhancement Areas Map, in the area bounded by Sea Island Way, No. 3 Road, Capstan Way and the Middle Arm of the Fraser River, repealing the “Neighbourhood Park (Future to 2031)” designation and designating the land identified as “Park” on “Schedule B attached to and forming part of Bylaw 9593” as “Neighbourhood Park (Future to 2031)”.
- 2.15 On page 3-16, on the Designated Green Link & Linear Park Location Map, in the area bounded by Sea Island Way, No. 3 Road, Capstan Way and the Middle Arm of the Fraser River, repealing the “Park” designation and designating the land identified as “Park” on “Schedule B attached to and forming part of Bylaw 9593” as “Park”.
- 2.16 On page 3-48, extending Sub-Area B.3 Mixed Use - High-Rise Residential, Commercial & Mixed Use to include that area west of Corvette Way and identified as “Urban Centre T5 (45 m)” on “Schedule B attached to and forming part of Bylaw 9593”.
- 2.17 On page 4-7, on the Proposed New Transportation Improvements Map (2031), in the area bounded by Sea Island Way, No. 3 Road, Capstan Way and the Middle Arm of the Fraser River, revising the “Minor Street, New Street” designation connecting Corvette Way and No. 3 Road as indicated on “Schedule B attached to and forming part of Bylaw 9593”.
- 2.18 On page 4-11, on the Park & Open Spaces Map (2031), in the area bounded by Sea Island Way, No. 3 Road, Capstan Way and the Middle Arm of the Fraser River, repealing the “Neighbourhood Park (Future to 2031)” designation and designating the land identified as “Park” on “Schedule B attached to and forming part of Bylaw 9593” as “Neighbourhood Park (Future to 2031)”.
- 2.19 On the Generalized Land Use Map (2031), in the area bounded by Sea Island Way, No. 3 Road, Capstan Way and the Middle Arm of the Fraser River

- a) Repealing the “Marina” designation and designating the land identified as “Park” on “Schedule B attached to and forming part of Bylaw 9593” as “Park”; and
 - b) Repealing the “Park” designation and designating the land identified as “Urban Centre T5 (45 m)” on “Schedule B attached to and forming part of Bylaw 9593” as “Urban Centre T5”.
- 2.20 Revising the “Proposed Streets” designation connecting Corvette Way and No. 3 Road as indicated on “Schedule B attached to and forming part of Bylaw 9593” on the following maps:
- a) Overlay Boundary – Village Centre Bonus Map (2031);
 - b) Overlay Boundary – Capstan Station Bonus Map (2031);
 - c) Overlay Boundary – Commercial & Industrial Reserves Map (2031); and
 - d) Overlay Boundary – Richmond Arts District (RAD) Map (2031).
- 2.21 On the Specific Land Use Map: Capstan Village (2031), in the area bounded by Sea Island Way, No. 3 Road, Capstan Way and the Middle Arm of the Fraser River, replacing the land use designations as indicated on “Schedule B attached to and forming part of Bylaw 9593”.
- 2.22 Making various text and graphic amendments to accommodate the identified bylaw amendments and to ensure consistency with the Generalized Land Use Map (2031) and Specific Land Use Map: Capstan Village (2031) as amended.
3. This Bylaw may be cited as **“Richmond Official Community Plan Bylaw 9000 and Richmond Official Community Plan Bylaw 7100, Amendment Bylaw 9593”**.

FIRST READING

SEP 26 2016

PUBLIC HEARING

OCT 17 2016

SECOND READING

OCT 17 2016

THIRD READING

OCT 17 2016

OTHER CONDITIONS SATISFIED

MAY 03 2017

ADOPTED



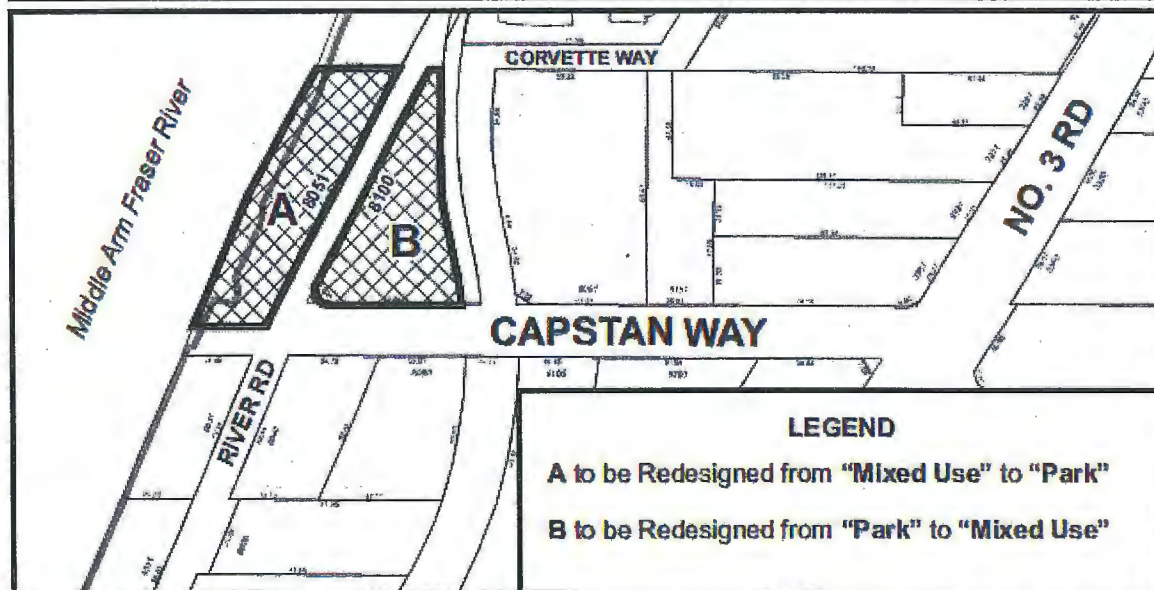
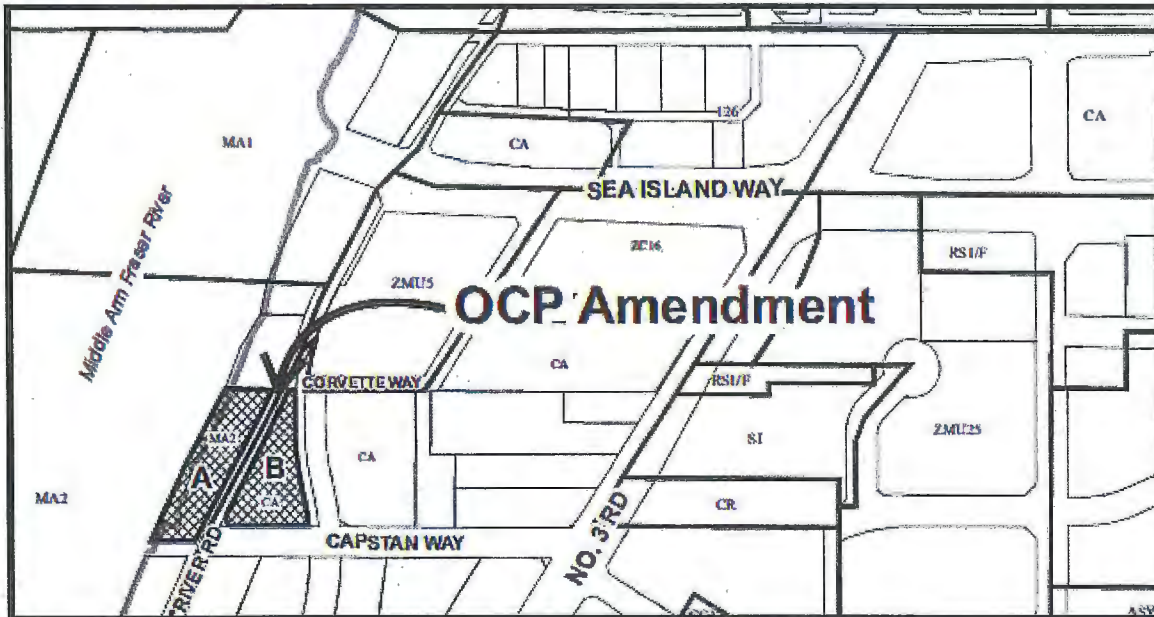
MAYOR

CORPORATE OFFICER

"Schedule A attached to and forming part of Bylaw 9593"



City of
Richmond



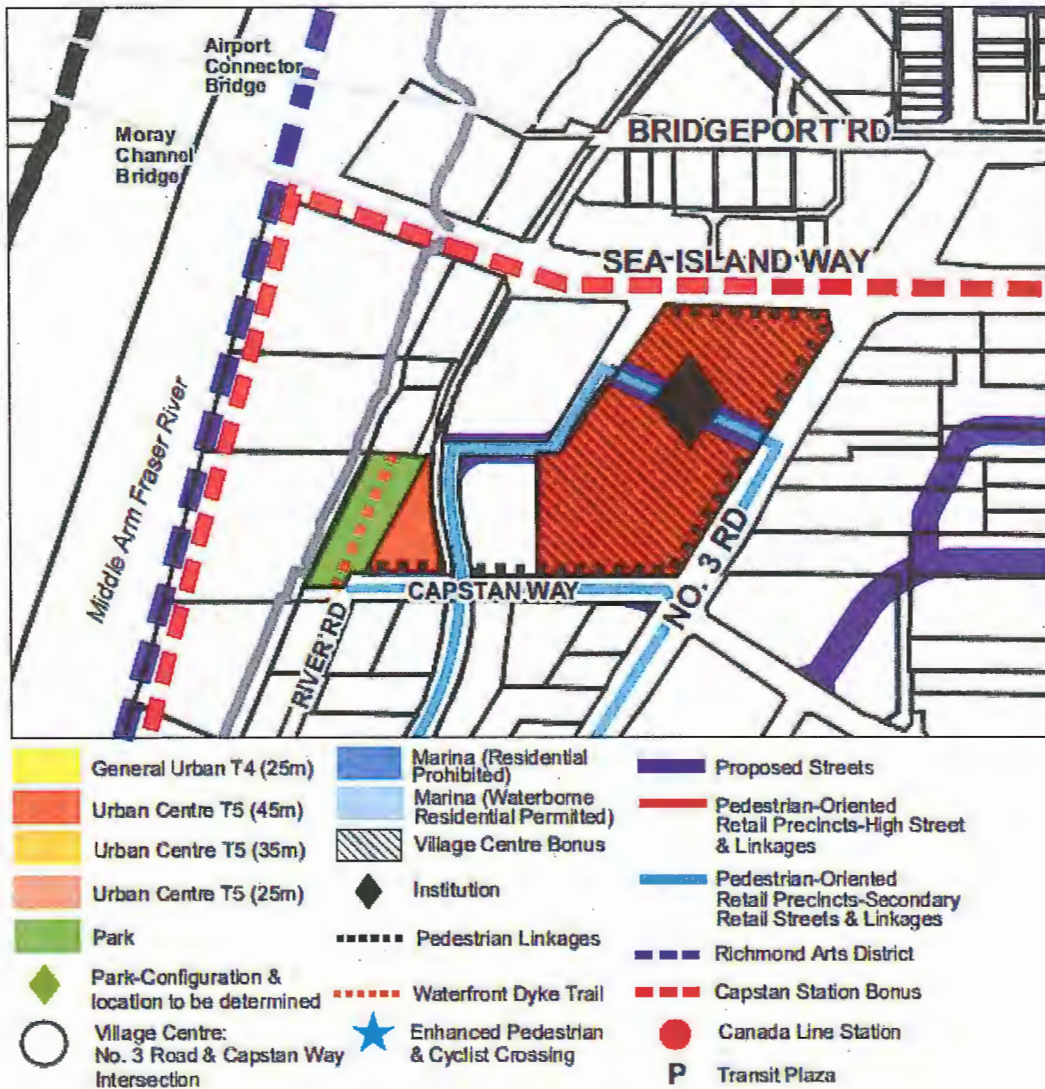
OCP Amendment Bylaw 9593
(RZ 12-603040)

Original Date: 09/09/16

Revision Date: 09/15/16

Note: Dimensions are in METRES

"Schedule B attached to and forming part of Bylaw 9593"





**Richmond Zoning Bylaw 8500
Amendment Bylaw 9594 (RZ 12-603040)
3031, 3211, 3231, 3291, 3311, 3331, 3351 No 3 Road,
8151 Capstan Way and 8051 and 8100 River Road**

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Zoning Bylaw 8500, as amended, is further amended by inserting the following as Section 20.30 thereof:

“20.30 Residential / Limited Commercial and Community Amenity (ZMU30) – Capstan Village (City Centre)

20.30.1 Purpose

The **zone** accommodates **community amenity space** within the **City Centre**, plus high-rise apartments and a limited amount of **commercial use**, and compatible **secondary uses**. Additional **density** is provided to achieve, among other things, **City** objectives in respect to **community amenity space**, **affordable housing units**, **commercial use**, and the Capstan Canada Line station.

20.30.2 Permitted Uses

- amenity space, community
- congregate housing
- housing, apartment

20.30.3 Secondary Uses

- animal grooming
- boarding and lodging
- broadcast studio
- child care
- community care facility, minor
- education, commercial
- government service
- health service, minor
- home-based business
- hotel
- housing, town
- library and exhibit
- liquor primary establishment

- manufacturing, custom indoor
- office
- park
- parking, non-accessory
- private club
- recreation, indoor
- religious assembly
- restaurant
- retail, convenience
- retail, general
- retail, second hand
- service, business support
- service, financial
- service, household repair
- service, personal
- studio
- vehicle rental, convenience
- veterinary service

20.30.4 Permitted Density

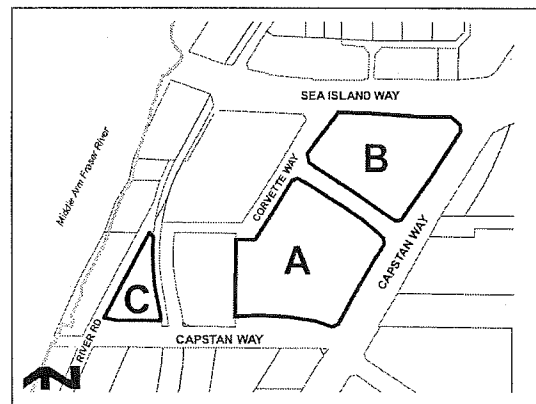
1. The maximum **floor area ratio** is 1.2, together with an additional 0.1 **floor area ratio** provided that it is entirely used to accommodate **amenity space**.
2. Notwithstanding Section 20.30.4.1, the reference to “1.2” is increased to a higher **floor area ratio** of “2.5” if:
 - a) the **site** is located in the Capstan Station Bonus Map area designated by the **City Centre Area Plan**;
 - b) the **owner** pays a sum into the **Capstan station reserve** as specified in Section 5.19 of this bylaw;
 - c) the **owner** grants to the **City**, via a statutory **right-of-way**, **air space parcel**, fee simple, or dedication, as determined at the sole discretion of the **City**, rights of public use over a suitably landscaped area of the **site** for **park** and related purposes at a rate of 5.0 m² per **dwelling unit** or 4,250.0 m², whichever is greater;
 - d) the **owner** uses a minimum of 0.5 **floor area ratio** for residential purposes; and
 - e) prior to first occupancy of the **building**, the **owner**:
 - i. provides in the **building** not less than four **affordable housing units** and the combined **habitable space** of the total number of **affordable housing units** would comprise at least 5% of the total residential **building area**; and

- ii. enters into a **housing agreement** with respect to the **affordable housing units** and registers the **housing agreement** against title to the **lot** and files a notice in the Land Title Office.
3. If the **owner** has paid a sum into the **Capstan station reserve**, provided a suitably landscaped area of the **site** for **park** and related purposes, and provided **affordable housing units** under Section 20.30.4.2, an additional 1.0 **density bonus floor area ratio** shall be permitted, provided that:
 - a) the **lot** is located in the Village Centre Bonus Area designated by the **City Centre Area Plan**;
 - b) the **owner** uses the additional 1.0 **density bonus floor area ratio** only for non-residential purposes, which non-residential purposes shall provide, in whole or in part, for **office, convenience retail uses, minor health services**, pedestrian-oriented **general retail**, or other **uses** important to the viability of the City Centre as determined to the satisfaction of the **City**;
 - c) the **owner** uses a maximum of 49% of the **gross floor area** of the **building**, including the additional 1.0 **density bonus floor area ratio** (i.e. the **gross floor area** of the additional **building area**), for non-residential purposes; and
 - d) the **owner** grants to the **City**, via **air space parcel**, at least 5% of the additional 1.0 **density bonus floor area ratio** (i.e. the **gross floor area** of the additional **building area**) or 1,214.8 m², whichever is greater, for **community amenity space** (e.g., community recreation), to the satisfaction of the **City**, and locates the entirety of the area granted to the **City** within the area indicated as "B" in Section 20.30.4.3, Diagram 2.

Diagram 1



Diagram 2



4. Notwithstanding Section 20.30.4.2, the reference to "2.5" is increased to a higher **floor area ratio** of "3.03" on the portion of the **site** located east of Corvette Way if:
 - a) the portion of the **site** located east of Corvette Way is designated Institution by the **City Centre Area Plan**;

- b) the **owner** has granted **community amenity space** to the **City** under Section 20.30.4.3; and
 - c) Notwithstanding Section 20.30.4.3(d), the reference to “1,214.8 m²” is increased to “3,106.59 m²”;
5. Notwithstanding Sections 20.30.4.2, 20.30.4.3, and 20.30.4.4, provided that the **owner** complies with the conditions set out in Sections 20.30.4.2, 20.30.4.3, and 20.30.4.4 and, within the area shown cross-hatched in Section 20.30.4.3, Diagram 1, the **owner** dedicates not less than 2,801.0 m² of land to the **City** as **road** and transfers not less than 2,963.0 m² of land to the **City** as fee simple for **park** purposes, then:
- a) the maximum total combined **floor area** for the **site** shall not exceed 113,131.8 m², of which the **floor area** of residential **uses** shall not exceed 88,836.0 m², including at least 4,441.8 m² for **affordable housing units**, and the **floor area** for other **uses** shall not exceed 24,295.8 m², including at least 3,106.6 m² for **community amenity space**; and
 - b) the maximum **floor area** for the areas indicated as “A”, “B”, and “C” in Section 20.30.4.3, Diagram 2, shall not exceed:
 - i. for “A”: 54,977.8 m² for residential **uses**, including at least 1,110.5 m² of the **habitable space** for **affordable housing units** required under Section 20.30.5(d), and 2,131.0 m² for other **uses**;
 - ii. for “B”: 21,015.0 m² for residential **uses**, including 3,331.3 m² of **habitable space** for **affordable housing units** or the balance of the **habitable space** for **affordable housing units** required under Section 20.30.5(d) and not provided by the **owner** on “A”, whichever is less, and 22,164.8 m² for other **uses**, including at least 3,106.6 m² for **community amenity space**; and
 - iii. for “C”: 12,843.2 m² for residential **uses**, including nil for **affordable housing units**, and nil for other **uses**; and
 - c) the maximum combined total number of **dwelling units** for the areas indicated as “A”, “B”, and “C” in Section 20.30.4.3, Diagram 2, shall not exceed 850.

20.30.5 Permitted Lot Coverage

- 1. The maximum **lot coverage** for the areas indicated as “A”, “B”, and “C” in Section 20.30.4.3, Diagram 2, is 90% for **buildings** and **landscaped roofs over parking spaces**.

20.30.6 Yards & Setbacks

- 1. Minimum **setbacks** shall be:
 - a) for **road** and **park setbacks**, measured to a **lot line** or the boundary of an area granted to the **City** via a statutory **right-of-way** or **air space parcel** for **road** or **park** purposes: 3.0 m, but may be reduced if a proper interface is provided as specified in a Development Permit approved by the **City**;

- b) for **interior side yard setbacks**, measured to a **lot line**: 0.0 m; and
 - c) for parts of a **building** situated below finished **grade**, measured to a **lot line**: 0.0 m.
2. Notwithstanding Section 20.30.6.1, for residential **uses** the minimum setback to a **lot line** that abuts Sea Island Way shall be 20.0 m.

20.30.7 Permitted Heights

- 1. The maximum **building height** shall be 47.0 m GSC.
- 2. The maximum **height** for **accessory structures** is 12.0 m.

20.30.8 Subdivision Provisions

- 1. The minimum **lot area** for the areas indicated as “A”, “B”, and “C” in Section 20.30.4.3, Diagram 2, shall be:
 - a) for “A”: 13,000.0 m²;
 - b) for “B”: 9,000.0 m²; and
 - c) for “C”: 2,000.0 m².

20.30.9 Landscaping & Screening

- 1. **Landscaping** and **screening** shall be provided according to the provisions of Section 6.0.

20.30.10 On-Site Parking and Loading

- 1. On-site **vehicle** and bicycle parking shall be provided according to the provisions of Section 7.0 and **City Centre** Parking Zone 1.
- 2. Notwithstanding Section 20.30.10.1, if the **owner** implements transportation demand management measures substantiated by a parking study approved by the **City**:
 - a) the minimum number of **parking spaces** for the following **uses** shall be:
 - i. for community centre: 74 spaces, except that 20 spaces may be shared with parking provided for other non-residential **uses** on the **lot** where the maximum demand for the parking spaces by the individual **uses** occurs at different periods of the day;
 - ii. for **convenience retail, general retail, restaurant, office**, and other commercial **uses** on the first two **storeys** of a **building** (which two **storeys** are above the finished **grade**): 3.375 spaces per 100.00 m² of **gross leasable floor area**;
 - iii. for **office** above the first two **storeys** of a **building** (which two **storeys** are above the finished **grade**): 1.1475 spaces per 100.00 m² of **gross leasable floor area**;

- iv. for **affordable housing units**: 0.81 spaces for residents per **dwelling unit**;
 - v. for **town housing, apartment housing**, and mixed **commercial/residential uses**: 1.0 space for residents per **dwelling unit**; and
 - vi. for residential visitors: 0.18 spaces per **dwelling unit**, except that a portion of the spaces may be shared with parking provided for non-residential **uses** on the **lot** for the areas indicated as “A” and “B” in Section 20.30.4.3, Diagram 2, as follows:
 - for “A”: maximum 70% shared; and
 - for “B”: maximum 100% shared.
3. On-site loading shall be provided according to the provisions of Section 7.0, except that the minimum number of **loading spaces** on the **lot** for the areas indicated as “A”, “B”, and “C” in Section 20.30.4.3, Diagram 2, shall be :
- a) for “A”: 3 medium-size **loading spaces** for residential use and 1 medium-size **loading space** for non-residential use;
 - b) for “B”: 2 medium-size **loading spaces** for residential use and 2 medium-size **loading spaces** for non-residential use (including community centre use); and
 - c) for “C”: 1 medium-size **loading space**.

20.30.11 Other Regulations

- 1. For the areas indicated as “A” and “B” in Section 20.30.4.3, Diagram 2, **uses** located above the first two **storeys** of a **building** (which **storeys** are above the finished **grade**) shall be limited to **health service, minor, office, private club, residential, restaurant, and service, personal**.
- 2. Signage must comply with the City of Richmond’s *Sign Bylaw 5560*, as it applies to **development** in the Downtown Commercial (CDT1) **zone**.
- 3. **Telecommunication antenna** must be located a minimum 20.0 m above the ground (i.e., on a roof of a **building**).
- 4. In addition to the regulations listed above, the General Development Regulations in Section 4.0 and the Specific Use Regulations in Section 5.0 apply.”

2. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, is amended by repealing the existing zoning designation of the following area and by designating it:

2.1. RESIDENTIAL / LIMITED COMMERCIAL AND COMMUNITY AMENITY (ZMU30) – CAPSTAN VILLAGE (CITY CENTRE).

Those areas shown cross-hatched and indicated as “A” on “Schedule “A” attached to and forming part of Bylaw 9594”.

2.2. SCHOOL & INSTITUTIONAL USE (SI).

Those areas shown hatched and indicated as “B” on “Schedule “A” attached to and forming part of Bylaw 9594”.

3. This Bylaw may be cited as “**Richmond Zoning Bylaw 8500, Amendment Bylaw 9594**”.

FIRST READING

SEP 26 2016

A PUBLIC HEARING WAS HELD ON

OCT 17 2016

SECOND READING

OCT 17 2016

THIRD READING

OCT 17 2016

OTHER CONDITIONS SATISFIED

MAY 03 2017

MINISTRY OF TRANSPORTATION AND
INFRASTRUCTURE APPROVAL

NOV 15 2016

ADOPTED

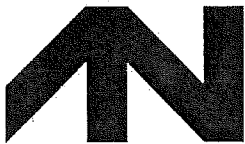


MAYOR

CORPORATE OFFICER



City of
Richmond



RZ 12-603040

Original Date: 03/05/14

Revision Date: 08/02/16

Note: Dimensions are in METRES



**Richmond Zoning Bylaw No. 8500
Amendment Bylaw No. 9647**

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Zoning Bylaw No. 8500, as amended, is further amended at Section 3.4:

- a. by deleting and replacing the definition of **Agri-tourist accommodation** with the following:

“Agri-tourist accommodation means accommodation for an **agri-tourist operation** on a farm, limited to 10 sleeping units in total of seasonal campsites, seasonal cabins or the short-term use of **bedrooms**.”

- b. by adding the following definition after the definition of **“exhibition & convention facilities”**:

“Family member means, with respect to a person:

- a) the person’s spouse;
- b) the person’s child;
- c) the person’s spouse’s child;”

- c. by adding the following definition after the definition of **“hutch”**:

“Individual registered owner means with respect to land, any individual person who is:

- a) the registered owner of an estate in fee simple; or
- b) the tenant for life under a registered life estate.”

- d. by adding the following definition after the definition of **“open space”**:

“Operator means the person who operates the **bed and breakfast**.”; and

- e. by adding the following definition after the definition of **“premises”**:

“Principal residence means a **dwelling** in which an **operator** ordinarily resides. A person can only have one **principal residence**.”

2. Richmond Zoning Bylaw No. 8500, as amended, is further amended at Section 5.5:
 - a. by deleting subsection 5.5.2 and replacing it with the following:

“5.5.2. A bed and breakfast use is not permitted in a single detached housing dwelling unit or on a lot that contains a secondary suite, a granny flat, or a coach house, or a boarding and lodging, minor community care facility, agri-tourist accommodation, or child care home business use.”;
 - b. by deleting subsection 5.5.3 and replacing it with the following:

“5.5.3. A bed and breakfast use is permitted only in a single detached housing dwelling unit that is the principal residence of the operator, where the operator is an individual and not a corporation.

5.5.3A. A bed and breakfast use is permitted only in a single detached housing dwelling unit where the operator is the individual registered owner of the dwelling or the individual registered owner’s family member.”; and
 - c. by inserting the following as a new subsection 5.5.5A. following 5.5.5.:

“5.5.5A. Bed and breakfast use of a single detached housing dwelling unit is limited to accommodation of a maximum of 6 guests at one time.”.
3. Richmond Zoning Bylaw No. 8500, as amended, is further amended by adding the following after Section 5.19 as new Section 5.20:

“5.20 Short Term Rental of Dwelling Units

5.20.1 No person shall use or permit to be used any dwelling unit, or portion thereof, for accommodation for a period of less than thirty (30) days unless such dwelling unit forms part of a hotel or a motel, or is used for boarding and lodging, agri-tourist accommodation, community care facility, dormitory, or bed and breakfast use in compliance with all applicable bylaws.”
4. Richmond Zoning Bylaw No. 8500, as amended, is further amended:
 - a. at section 14.1.3 by deleting **“agri-tourist accommodation”;**
 - b. at section 14.1.11.4 by deleting section 14.1.11.4 and replacing it with the following:

“4. Intentionally deleted.”; and
 - c. at section 15.11.11.1 by deleting section 15.11.11.1 and replacing it with the following:

“1. Intentionally deleted.”.

5. This Bylaw is cited as "Richmond Zoning Bylaw No. 8500, Amendment Bylaw No. 9647".

FIRST READING

PUBLIC HEARING

SECOND READING

THIRD READING

OTHER CONDITIONS SATISFIED

ADOPTED

MAR 27 2017

APR 18 2017

APR 18 2017

APR 18 2017

MAY 01 2017

CITY OF RICHMOND
APPROVED by 
APPROVED by Director or Solicitor 

MAYOR

CORPORATE OFFICER



**Richmond Official Community Plan Bylaw 9000
Amendment Bylaw 9691
(B&B Buffer)**

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Official Community Plan Bylaw 9000 is amended at Section 3.2 (Neighbourhood Character and Sense of Place), Objective 1 , by adding the following to the policies listed below “Single Family Land Uses”:
 - “• to limit the commercialization of single family neighbourhoods, and to mitigate potential impacts on traffic, parking congestions, and noise in single family neighbourhoods, bed and breakfast operations shall be located no less than 500 metres apart;”
2. This Bylaw may be cited as “**Richmond Official Community Plan Bylaw 9000, Amendment Bylaw 9691**”.

FIRST READING

MAR 27 2017

PUBLIC HEARING

APR 18 2017

SECOND READING

APR 18 2017

THIRD READING

APR 18 2017

ADOPTED



MAYOR

CORPORATE OFFICER



**Richmond Zoning Bylaw No. 8500
Amendment Bylaw No. 9692
(B&B Buffer)**

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Zoning Bylaw No. 8500, as amended, is further amended at Section 5.5 by inserting the following as a new subsection 5.5.10. following 5.5.9.:

“5.5.10. Each **bed and breakfast use** must be no less than 500 m apart, measured from the centre point of each lot.”
2. This Bylaw is cited as “**Richmond Zoning Bylaw No. 8500, Amendment Bylaw No. 9692**”.

FIRST READING

MAR 27 2017

PUBLIC HEARING

APR 18 2017

SECOND READING

APR 18 2017

THIRD READING

APR 18 2017

OTHER CONDITIONS SATISFIED

MAY 01 2017

ADOPTED



MAYOR

CORPORATE OFFICER



City of Richmond

Report to Council

To: Richmond City Council

Date: May 2, 2017

From: Joe Erceg
Chair, Development Permit Panel

File: 01-0100-20-DPER1-
01/2017-Vol 01

Re: Development Permit Panel Meetings Held on October 12, 2016 and
March 29, 2017

Staff Recommendation

1. That the recommendation of the Panel to authorize the issuance of:
 - a) A Development Permit (DP 15-708644) for the property at 7260 Lynnwood Drive and 5320, 5340 & 5360 Granville Avenue; and
 - b) A Development Permit (DP 16-745853) for the property at 3031, 3211, 3231, 3291, 3311, 3331 and 3351 No. 3 Road and 8151 Capstan Way;

be endorsed, and the Permits so issued.


Joe Erceg
Chair, Development Permit Panel

SB:blg

Panel Report

The Development Permit Panel considered the following items at its meetings held on October 12, 2016 and March 29, 2017.

DP 15-708644 – YAMAMOTO ARCHITECTURE INC. – 7260 LYNNWOOD DRIVE AND 5320, 5340 & 5360 GRANVILLE AVENUE
(October 12, 2016)

The Panel considered a Development Permit application to permit the construction of 43 townhouse units on a site zoned “Medium Density Townhouses (RTM3)”. Variances are included in the proposal for reduced exterior side yard setback for the northeast building and reduced front yard setback along the south side of the new east-west road.

Karen Ma, of Yamamoto Architecture Inc., and Fred Liu, of Fred Liu and Associates Inc., provided a brief presentation, noting that:

- The project involves two new road extensions: the proposed north-south road at the east side of the subject site will connect to Lynas Lane and Lynnwood Drive and the proposed east-west road bisecting the site will connect to Lynnwood Drive in the future when the neighbouring property to the west develops.
- Nine meters of land are dedicated to the park along the southern edge of the site.
- The northern and southern parts of the subject site will each have an outdoor amenity area; the southern outdoor amenity area is proposed to be located at the south edge of the site facing McKay Neighbourhood Park to provide visual connection to the park.
- The proposal includes EnerGuide rating of 82 and pre-ducting for solar hot water heating.
- On order to protect existing trees on adjacent property to the west, a portion of the internal drive aisle at the northern part of the site has been moved away from the west property line.
- Areas of interlocking pavers would create visual interest.

In response to Panel queries, Mr. Liu advised that: (i) in addition to the enclosed play structure, the outdoor amenity areas also include bicycle parking stalls, mailboxes, seating under the trellis structures, and wood deck tree protection area; (ii) trees will be planted along the boulevard fronting Granville Avenue as part of the Servicing Agreement; and (iii) a 4 ft. high fence is proposed along the south edge of the southern outdoor amenity area.

In response to Panel queries, staff advised that the trees to be protected on the adjacent property to the west have the potential to be retained in the future redevelopment of the property.

Karen McDonald, of 24-7111 Lynnwood Drive, addressed the Panel expressing concern regarding the current lack of parking spaces in the neighbourhood; which she expects to worsen with the construction of the proposed development.

Correspondence was submitted to the Development Permit Panel regarding the application; expressing concern regarding the timeframe for connecting the existing Lynnwood Drive cul-de-sac to the proposed east-west road. Staff advised that the connection is subject to the future redevelopment of the property to the west of the subject site (i.e., 5300 Granville Avenue). There is currently no development application for the adjacent property and previous efforts by the applicant to include the property in the subject development application were unsuccessful.

In response to Panel queries, staff advised that: (i) the subject development meets the Parking Bylaw requirement; (ii) in addition to the road dedication, the applicant has provided an additional right-of-way to allow on-street parking on the new proposed roads; (iii) the proposed development will provide 86 resident parking spaces and nine visitor parking spaces, including two accessible parking spaces; for a total of 95 parking spaces; and (iv) the requested variances for the subject development were identified during rezoning.

The Panel acknowledged support for the project, noting that: (i) the project is well thought out; (ii) parking concerns have been addressed by the applicant; and (iii) the adjacency of the park to the southern outdoor amenity area is a positive feature of the project.

The Panel recommends that the Permit be issued.

DP 16-745853 – YUANHENG SEASIDE DEVELOPMENTS LTD. – 3031, 3211, 3231, 3291, 3311, 3331 AND 3351 NO. 3 ROAD AND 8151 CAPSTAN WAY

(March 29, 2017)

The Panel considered a Development Permit application to permit the construction of the first phase of a three-phase, high-rise, mixed use development comprised of 535 dwellings (including 41 affordable housing units) and street-oriented commercial uses on a site zoned “Residential/Limited Commercial and Community Amenity (ZMU30) – Capstan Village (City Centre)”. No variances are included in the proposal.

Architect, W.T. Leung, of W.T. Leung Architects, Inc., and Landscape Architect, Daryl Tyacke, of ETA Landscape Architecture, provided a brief presentation, noting that:

- The subject Development Permit is for Phase 1 of a multiple phase project. A new City-owned community centre will be provided as part of Phase 2 and a new City-owned waterfront park will be provided as part of Phase 3.
- 108 Basic Universal Housing Units are provided; including all of the affordable units.
- Proposed heights of six buildings in Phase 1 are varied and modulated and a bold and curved building façade anchors the prominent No. 3 Road and Capstan Way corner.
- A greenway is proposed along the Capstan Way frontage and public plazas are proposed along Capstan Way and at the No. 3 Road and new east-west street intersection.
- Native planting is proposed along the Capstan Way frontage.
- Colorful planting materials are proposed at the commercial intersections.
- A large multi-use outdoor space is provided at the podium rooftop level and green roofs and terraces between buildings provide suitable habitat for birds and insects.

In response to Panel queries, the design team advised that:

- The proposed outdoor amenity spaces are intended for the use of all Phase 1 residents and are programmed for the use of various age groups.
- A storage area for garden tools is provided for the community garden space.
- Extensive green roof areas could be accessed by a ladder for maintenance.
- The large volume of soil in the rooftop design will contribute to storm water management.
- The proposed water feature on the public plaza at the corner of No. 3 Road and Capstan Way will provide animation to the corner, should the proposed Public Art location not materialize.
- Electric outlets to be located along the sidewalk at Corvette Way could provide power for tree lighting along the street frontage.
- Proposed building heights in the subject phase and the second phase are varied.
- Servicing Agreements for off-site works along the surrounding streets of the subject development will be done in the first phase of the overall development, except for the north curb of new east-west road; which will be done in Phase 2.

Staff advised that: (i) the project will contribute funding for the future Capstan Canada Line Station and public open space requirements in keeping with the zoning requirements for the site; (ii) the project's significant Transportation Demand Management measures include end-of-trip cycling facilities, quick charging stations for electric vehicles, and electric vehicle parking for commercial units; (iii) the project is designed to be District Energy Utility ready and to achieve the City's aircraft noise mitigation standards; and (iv) there will be significant frontage works around the project; including the creation of the new east-west road, improvements to No. 3 Road, Capstan Way and Corvette Way, and integration of a new City pump station into the Capstan Way frontage.

In response to a Panel query, staff confirmed that off-site works are coordinated between the subject development and future development to the west along Capstan Way.

Olivia Xue, of 3111 Corvette Way, addressed the Panel querying whether: (i) road improvements will be done on Corvette Way to provide egress to Sea Island Way; and (ii) there are construction timelines for the future development to the west of the subject site.

In response, staff advised that: (i) the Servicing Agreement requires the applicant to reconstruct the north end of Corvette Way to allow vehicles to enter/egress Corvette Way from/to Sea Island Way; and (ii) the neighbouring site is currently under rezoning application and has not yet been considered by Council; thus, construction timelines for the project could not yet be determined.

No correspondence was submitted to the Development Permit Panel regarding the application.

The Panel expressed support for the project and commended the applicant for the design of the project and provision for significant amount of outdoor amenity spaces.

The Panel recommends that the Permit be issued.