



City Council

**Council Chambers, City Hall
6911 No. 3 Road**

**Monday, March 10, 2014
7:00 p.m.**

Pg. # ITEM

MINUTES

1. *Motion to:*

- (1) *adopt the minutes of the Regular Council meeting held on Monday, February 24, 2014 (distributed previously); and*
- (2) *adopt the **minutes** of the Special Council meeting for Public Hearings held on Tuesday, February 25, 2014.*

CNCL-11



AGENDA ADDITIONS & DELETIONS

PRESENTATION

39 Service Battalion – Retirement of the Battalion Flag

COMMITTEE OF THE WHOLE

2. *Motion to resolve into Committee of the Whole to hear delegations on agenda items.*



3. Delegations from the floor on Agenda items.

(PLEASE NOTE THAT FOR LEGAL REASONS, DELEGATIONS ARE NOT PERMITTED ON ZONING OR OCP AMENDMENT BYLAWS WHICH ARE TO BE ADOPTED; OR ON DEVELOPMENT PERMITS/DEVELOPMENT VARIANCE PERMITS - ITEM NO. 16.)

4. *Motion to rise and report.*



RATIFICATION OF COMMITTEE ACTION

CONSENT AGENDA

(PLEASE NOTE THAT ITEMS APPEARING ON THE CONSENT AGENDA WHICH PRESENT A CONFLICT OF INTEREST FOR COUNCIL MEMBERS MUST BE REMOVED FROM THE CONSENT AGENDA AND CONSIDERED SEPARATELY.)

CONSENT AGENDA HIGHLIGHTS

- Receipt of Committee minutes
- Cranberry Children's Centre Public Art Project
- Naming of Community Centre – 5900 Minoru Boulevard
- Richmond Community Memorial Garden Site Selection Review
- Expression of Interest in Multi-Material BC's Advisory Committee
- Public Engagement in Minoru Major Facility Replacements
- Child Care Development Advisory Committee 2013 Annual Report and 2014 Work Program
- Land use applications for first reading (to be further considered at the Public Hearing on Tuesday, April 22, 2014):
 - 8400 General Currie Road and 7411/7431 St. Albans Road – Rezone from RS1/E to RTH2 (Zhao XD Architect Ltd. – applicant)
- Referral to Richmond Community Services Advisory Committee

5. *Motion to adopt Items 6 through 14 by general consent.*



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6. COMMITTEE MINUTES

That the minutes of:

- CNCL-47 (1) the **Parks, Recreation & Cultural Services Committee** meeting held on Tuesday, February 25, 2014;
- CNCL-53 (2) the **Finance Committee** meeting held on Monday, March 3, 2014;
- CNCL-55 (3) the **General Purposes Committee** meeting held on Monday, March 3, 2014; and
- CNCL-60 (4) the **Planning Committee** meeting held on Tuesday, March 4, 2014; be received for information.



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7. CRANBERRY CHILDREN'S CENTRE PUBLIC ART PROJECT (File Ref. No. 11-7000-09-20-176) (REDMS No. 4132871)

CNCL-67

See Page CNCL-67 for full report

PARKS, RECREATION AND CULTURAL SERVICES COMMITTEE
RECOMMENDATION

That the concept proposal and installation of the Cranberry Children's Centre public artwork by artist team Ron Hart and Michael Fugeta, as presented in the report from the Director, Arts, Culture & Heritage Services dated February 6, 2014, be endorsed.



Consent
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8. NAMING OF COMMUNITY CENTRE - 5900 MINORU BOULEVARD (File Ref. No. 06-2052-25-FCC1) (REDMS No. 4118240 v.4)

CNCL-83

See Page CNCL-83 for full report

PARKS, RECREATION AND CULTURAL SERVICES COMMITTEE
RECOMMENDATION

That the City's Community Centre being constructed at 5900 Minoru Boulevard be named City Centre Community Centre.



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9. **RICHMOND COMMUNITY MEMORIAL GARDEN SITE SELECTION REVIEW**

(File Ref. No. 06-2345-20-WLSG2) (REDMS No. 4031801 v.8)

CNCL-86

See Page CNCL-86 for full report

PARKS, RECREATION AND CULTURAL SERVICES COMMITTEE RECOMMENDATION

- (1) *That the Woodward's Landing site be removed from the list of candidate sites as referenced on page 6 of the staff report titled Richmond Community Memorial Garden Site Selection Review, dated February 4, 2014, from Senior Manager, Parks;*
- (2) *That staff issue a Request for Expressions of Interest for the Richmond Community Memorial Garden as detailed in the staff report titled Richmond Community Memorial Garden Site Selection Review, dated February 4, 2014, from the Senior Manager, Parks; and*
- (3) *That staff report back with the results of the Request for Expression of Interest and recommended next steps.*



Consent
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10. **EXPRESSION OF INTEREST IN MULTI-MATERIAL BC'S ADVISORY COMMITTEE**

(File Ref. No. 10-6370-01) (REDMS No. 4160415)

CNCL-103

See Page CNCL-103 for full report

GENERAL PURPOSES COMMITTEE RECOMMENDATION

That:

- (1) *the City of Richmond apply to UBCM for representation on Multi-Material BC's Advisory Committee;*
- (2) *a member of Council be nominated for consideration by UBCM as the City's elected representative to Multi-Material BC's Advisory Committee; and*
- (3) *the General Manager, Engineering & Public Works be submitted for consideration by UBCM as a technical staff representative to Multi-Material BC's Advisory Committee.*



Consent
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11. **PUBLIC ENGAGEMENT IN MINORU MAJOR FACILITY REPLACEMENTS**

(File Ref. No. 06-2052-55-01) (REDMS No. 4159769 v.4)

CNCL-106

See Page CNCL-106 for full report

GENERAL PURPOSES COMMITTEE RECOMMENDATION

- (1) *That the proposed Advisory Committees' Terms of Reference be amended to reflect:*
 - (a) *that two Council liaisons be appointed to each Advisory Committee; and*
 - (b) *that each Advisory Committee be chaired by a member of Council.*
- (2) *That the proposed Advisory Committees' Terms of Reference be further amended to reflect that the following be added under 'Meetings':*
 - (a) *'Copies of the agenda and record of the previous meeting will be circulated to Committee members [and Council members] in advance of the next meeting;' and*
 - (b) *'The decision process is to be consensus based. [Major decisions must go before Council.] If some members disagree with Committee's recommendations or activities, decisions will be recorded in the meeting records.'*
- (3) *That the Public Engagement Plan described in the staff report titled Public Engagement in Minoru Major Facility Replacements, dated February 25, 2014 from the Senior Manager, Recreation and Sport Services, be approved;*
- (4) *That the Terms of Reference for the revised Minoru Major Facility Stakeholder Advisory Committee as described in Attachment 1 of the staff report titled Community Engagement in Minoru Major Facility Replacements, dated February 25, 2014 from the Senior Manager, Recreation and Sport Services, be approved as amended; and*
- (5) *That the Terms of Reference for the Major Facility Building/Project Technical Advisory Committee as described in Attachment 2 of the staff report, titled Community Engagement in Minoru Major Facility Replacements, dated February 25, 2014 from the Senior Manager, Recreation and Sport Services, be approved as amended.*



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12. **CHILD CARE DEVELOPMENT ADVISORY COMMITTEE 2013 ANNUAL REPORT AND 2014 WORK PROGRAM**
(File Ref. No.) (REDMS No. 4126749)

CNCL-117

See Page CNCL-117 for full report

PLANNING COMMITTEE RECOMMENDATION

That the Child Care Development Advisory Committee's 2014 Work Program be approved.

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Consent
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13. **APPLICATION BY ZHAO XD ARCHITECT LTD. FOR REZONING AT 8400 GENERAL CURRIE ROAD AND 7411/7431 ST. ALBANS ROAD FROM SINGLE DETACHED (RS1/E) TO HIGH DENSITY TOWNHOUSES (RTH2)**
(File Ref. No. 12-8060-20-009111; RZ 13-643346) (REDMS No. 4144384)

CNCL-129

See Page CNCL-129 for full report

PLANNING COMMITTEE RECOMMENDATION

That Richmond Zoning Bylaw 8500, Amendment Bylaw 9111, for the rezoning of 8400 General Currie Road and 7411/7431 St. Albans Road from "Single Detached (RS1/E)" to "High Density Townhouses (RTH2)", be introduced and given first reading.

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14. **REFERRAL TO RICHMOND COMMUNITY SERVICES ADVISORY COMMITTEE**
(File Ref. No.) (REDMS No. 4166856)

CNCL-65

See Page CNCL-65 for full report

PLANNING COMMITTEE RECOMMENDATION

That the Richmond Community Services Advisory Committee (RCSAC) provide Council with:

- (1) background information of the proposed changes to the Federal Government's immigration policy;*
- (2) information regarding the proposed changes to federal funding for English as a Second Language programs; and*
- (3) how the proposed changes could impact the community.*

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**CONSIDERATION OF MATTERS REMOVED FROM THE
CONSENT AGENDA**

NON-CONSENT AGENDA ITEMS

PLANNING COMMITTEE

Councillor Bill McNulty, Chair

15. **APPLICATION BY YAMAMOTO ARCHITECTURE INC. FOR
REZONING AT 7120, 7140, 7160, 7180, 7200, 7220, 7240 AND 7260
BRIDGE STREET, AND 7211, 7231 AND 7271 NO. 4 ROAD FROM
“SINGLE DETACHED (RS1/F)” TO “SINGLE DETACHED (ZS14) –
SOUTH MCLENNAN (CITY CENTRE)” AND “TOWN HOUSING
(ZT70) – SOUTH MCLENNAN”**

(File Ref. No. 12-8060-20-009106/009107; RZ 12-605038) (REDMS No. 4121861 v.5)

CNCL-152

See Page CNCL-152 for full report

PLANNING COMMITTEE RECOMMENDATION

Opposed: Cllr. Steves

- (1) *That Richmond Official Community Plan Bylaw 7100 Amendment Bylaw 9106, to: re-designate the eastern 62 m of 7120, 7140, 7160, 7180, 7200, 7220, 7240 and 7260 Bridge Street from “Residential, Historic” to “Residential, 2 ½ Storeys” in the Land Use Map in Schedule 2.10D (McLennan South Sub-Area Plan); and to amend the Character Area Key Map in Schedule 2.10D (McLennan South Sub-Area Plan) for the same portion of the site from “Single Family” to “Townhouse 2 ½ Storeys”, be introduced and given first reading;*
- (2) *That Bylaw 9106, having been considered in conjunction with:*
- (a) *the City’s Financial and Capital Program; and*
- (b) *the Greater Vancouver Regional District Solid Waste and Liquid Waste Management Plans;*
- are hereby found to be to be consistent with said program and plans in accordance with Section 882 (3) of the Local Government Act;*

- (3) *That Bylaw 9106, having been considered in accordance with OCP Bylaw Preparation Consultation Policy 5043, is hereby found not to require further consultation; and*
- (4) *That Richmond Zoning Bylaw 8500, Amendment Bylaw 9107, to: create “Town Housing (ZT70) – South McLennan”; to rezone the eastern portions of 7120, 7140, 7160, 7180, 7200, 7220, 7240 and 7260 Bridge Street, and the lots at 7211, 7231 and 7271 No. 4 Road from “Single Detached, (RS1/F)” to “Town Housing (ZT70) – South McLennan”; and to rezone the western 28 metres of 7120, 7140, 7160, 7180, 7200, 7220, 7240 and 7260 Bridge Street from “Single Detached, (RS1/F)” to “Single Detached (ZS14) – South McLennan (City Centre)”; be introduced and given first reading.*



PUBLIC ANNOUNCEMENTS AND EVENTS

NEW BUSINESS

BYLAWS FOR ADOPTION

CNCL-232 Richmond Zoning Bylaw No. 8500, Amendment **Bylaw No. 8903**
(8311, 8331, 8351, and 8371 Cambie Road and 3651 Sexsmith Road, RZ 11-591985)
Opposed at 1st Reading – None.
Opposed at 2nd/3rd Readings – None.



CNCL-238 Richmond Zoning Bylaw No. 8500, Amendment **Bylaw No. 9050**
(11140 King Road, RZ 13-629950)
Opposed at 1st Reading – Cllr. McNulty and Cllr. Steves
Opposed at 2nd/3rd Readings – None.



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CNCL-240	Richmond Zoning Bylaw No. 8500, Amendment Bylaw No. 9091 (8555 Sea Island Way, ZT 13-645068) Opposed at 1 st Reading – None. Opposed at 2 nd /3 rd Readings – None.	<input type="checkbox"/>
CNCL-243	Richmond Zoning Bylaw No. 8500, Amendment Bylaw No. 9092 (3031 No. 3 Road, ZT 13-645068) Opposed at 1 st Reading – None. Opposed at 2 nd /3 rd Readings – None.	<input type="checkbox"/>
CNCL-245	Road Closure and Removal of Road Dedication Bylaw No. 9093 (Eastern Portion of Twigg Road) Opposed at 1 st /2 nd /3 rd Readings – None.	<input type="checkbox"/>
CNCL-248	Waterworks and Water Rates Bylaw No. 5637, Amendment Bylaw No. 9099 Opposed at 1 st /2 nd /3 rd Readings – None.	<input type="checkbox"/>
CNCL-251	Drainage, Dyke and Sanitary Sewer Bylaw No. 7551, Amendment Bylaw No. 9101 Opposed at 1 st /2 nd /3 rd Readings – None.	<input type="checkbox"/>

DEVELOPMENT PERMIT PANEL

16. RECOMMENDATION

See DPP Plan Package (distributed separately) for full hardcopy plans

CNCL-254	(1) <i>That the minutes of the Development Permit Panel meeting held on Wednesday, February 26, 2014, the Chair's report for the</i>
CNCL-325	<i>Development Permit Panel meetings held on February 26, 2014 and</i>
CNCL-330	<i>September 16, 2009, and the Chair's report for the Development Permit Panel meeting held on March 13, 2013, be received for information; and</i>

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- (2) *That the recommendations of the Panel to authorize the issuance of:*
- (a) *a Development Permit (DP 12-612510) for the property at 8311, 8331, 8351, and 8371 Cambie Road and 3651 Sexsmith Road;*
 - (b) *a Development Permit (DP 08-431155) for the property at 4008 Stolberg Street (formerly 9420, 9460 and 9480 Cambie Road); and*
 - (c) *a Development Permit (DP 12-601311) for the property at 2760, 2780 and 2800 Smith Street;*
- be endorsed, and the Permits so issued.*

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ADJOURNMENT

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**Council Meeting for Special Public Hearing
Tuesday, February 25, 2014**

Place: Council Chambers
Richmond City Hall
6911 No. 3 Road

Present: Mayor Malcolm D. Brodie
Councillor Chak Au
Councillor Linda Barnes
Councillor Derek Dang
Councillor Ken Johnston
Councillor Bill McNulty
Councillor Linda McPhail
Councillor Harold Steves

Michelle Jansson, Acting Corporate Officer

Absent: Councillor Evelina Halsey-Brandt

Call to Order: Mayor Brodie opened the proceedings at 7:00 p.m.

**1. OFFICIAL COMMUNITY PLAN BYLAW 9000, AMENDMENT
BYLAW 9078**

(Location: Hamilton Area; Applicant: City of Richmond)

Applicant's Comments:

Terry Crowe, Manager Policy Planning, provided a brief overview of the proposed Hamilton Area Plan and highlighted the following information:

- during the public consultation process, Hamilton residents expressed the need for improvements to the library, recreation space, and shopping area, as well as, the need for safer roads and pedestrian paths, a police station, and a variety of housing options for families and seniors;
- There are no changes proposed for the Hamilton Area's existing parks, south residential neighbourhood, Agricultural Land Reserve (ALR) lands, and industrial lands;



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- the proposed Plan includes (i) an improved east-west road connection, (ii) a new park, and (iii) a range of community amenities such as a library, a police station, additional indoor recreation space, a child care hub, and a pier to name a few;
- Hamilton specific and City-wide Development Cost Charges (DCC), allocated for sewer, water, road and park infrastructure, will apply to any new development; and
- the proposed Community Amenity Contribution (CAC) rates are comparable to those applied in other areas of the City.

In response to queries from Council, Mr. Crowe advised that there would be no changes to the current road configurations or to the park on the east side of the Area. Also, it was noted that the proposed CAC rates are the second lowest in the City.

Written Submissions:

- (a) C. Surmik, 23171 Westminster Highway (Schedule 1);
- (b) Agricultural Land Commission, 4940 Canada Way, Burnaby (Schedule 2);
- (c) Kelvin Higo (Schedule 3);
- (d) Wolf Strecko, 23180 Willett Avenue (Schedule 4);
- (e) Melvin Yap, 23451 Westminster Highway (Schedule 5);
- (f) George and Wendy Walker, 4525 Fraserbank Place (Schedule 6);
- (g) Pauline Lewzey, 23180 Willett Avenue (Schedule 7);
- (h) Greater Vancouver Home Builders' Association, 7495-132 Street, Surrey (Schedule 8); and
- (i) Urban Development Institute, 602 West Hastings Street, Vancouver (Schedule 9).

In reply to a query from Council, Mr. Crowe spoke of population scenarios, noting that a population between 11,000 and 17,000 could be accommodated with high-density infrastructure such as stacked townhouses, apartments, and mixed commercial developments; however, he noted that the proposed Plan reflects a population of approximately 12,000 residents.



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Submissions from the floor:

Colleen Chambers, 5880 Kartner Road, generally supported the proposed Hamilton Area Plan with the exception of the proposed land lift contributions. She questioned the proposed land lift calculations and she was of the opinion that the 85% land lift could potentially hinder development and pass on its costs to property owner. Ms. Chambers stated that she did not believe that the proposed public library and the expansion of the Hamilton Community Centre were warranted due to the Area's proximity to similar amenities in the Queensborough area; she suggested that the City work collaboratively with the City of New Westminster. Finally, Ms. Chambers was concerned that the miscellaneous amenity funds would be used for other City projects if not allocated for specific projects in the Hamilton Area.

In response to queries from Council, Joe Erceg, General Manager, Planning and Development, advised that the CAC is based on a contribution rate per buildable square foot, similar to all other areas of Richmond. Mr. Erceg spoke of the land lift calculation referred to in the staff report dated January 28, 2014, and noted that an independent consultant conducted an analysis to determine the viability of charging the CAC rates on a per square foot basis while simultaneously encouraging development in the Area. He noted that, of the eight areas reviewed in the staff memorandum dated February 25, 2014 (attached to and forming part of these minutes as **Schedule 10**), the proposed CAC rates for the Area are the second lowest rates for townhouse and apartment/condominium developments. Furthermore, Mr. Erceg noted that the consultant's analysis indicated that the CAC rates would neither stifle redevelopment in the Area nor lower the market value of existing properties. Also, Mr. Erceg commented that the rates are not intended to be static; the rates could be amended to reflect current market conditions.

Mr. Erceg stated that, as per Council's request, staff have identified proposed additional amenities in the Hamilton Area. A Child Care Hub and a Waterfront Park Pedestrian Pier account for the majority of the \$8.8 million identified under "Miscellaneous Amenities". In addition, should any new development in the Hamilton Area increase the demand on services in other areas of the City, appropriate contributions would be allocated to such areas; however, the majority of CAC funds will remain in the Hamilton Area.



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With regard to the library and community centre amenities in Queensborough, Mr. Erceg advised that staff have worked closely with City of New Westminster staff. However, it is not intended that Hamilton residents be reliant on amenities provided in Queensborough; the public consultation process identified the need for such additional amenities.

Maureen McDermid, 6480 Juniper Drive, read a written submission on behalf of the Honourable Linda Reid, Member of the Legislative Assembly for Richmond-East (attached to and forming part of these minutes as **Schedule 11**).

Trustee Donna Sargent, Richmond Board of Education, accompanied by Clive Mason, Director of Facilities and Planning, expressed concerns regarding the proposed population increase and read from a written submission (attached to and forming part of these minutes as **Schedule 12**).

In response to a query from Council, Mr. Mason advised that a 14,000 square feet expansion to the Hamilton Elementary School would be required to serve the projected population growth. Also, he noted that Ministry of Education requirements indicate that an additional site would be necessary to facilitate such an expansion.

In response to a query from Council, Mr. Crowe noted that staff is aware of the School District's needs. He suggested that further discussion take place regarding the potential implications of an expansion and that such discussion take place prior to other sites being explored.

Mr. Crowe advised that the proposed square footage for the library, the community police office, and the community centre expansion are appropriate to meet the future needs of the community.

In response to a query from Council, Trustee Sargent explained that, although the Ministry of Education is responsible for all school facilities, it is not allocating funds for capital projects. Trustee Sargent noted that the School District is a partner to the City in the development of the Hamilton Area, and as such, progressive funding models must be explored in order to facilitate growth. Trustee Sargent then spoke of an upcoming meeting with New Westminster School District representatives to discuss a shared high school facility; however, she noted that resolving the lack of space at the Hamilton Elementary School is the School District's priority.



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Guy Biggar, 23500 Gates Avenue, was generally in favour of the proposed Plan as he believed it would lay the foundation for the development of a beautiful, functional, and lively community; however, he suggested that the 'Miscellaneous Amenity' contributions be postponed until further community consultation has taken place. Mr. Biggar commented on the *Veterans' Land Act*, suggesting that land lift calculation be such that ensures veterans' families benefit from the development of the proposed amenities.

In reply to a query from Council, Mr. Crowe advised that the City had conducted extensive public consultation since January 2012.

Craig Surmik, 23171 Westminster Highway, expressed concern with regard to the potential expropriation of land to facilitate the development of the proposed waterfront park on River Road. Also, he was of the opinion that the designation of said land to parkland would pose development and mortgage challenges. Mr. Surmik explained that currently his property could be subdivided to allow for the construction of a new waterfront residence; however, he had not been assured that this type of construction can still take place should the proposed Hamilton Area Plan be approved. Also, Mr. Surmik suggested that curbside parking be considered at the intersection of Westminster Highway and Gilley Road in an effort to promote the shopping area.

In response to a query from Council, Mr. Erceg noted that the proposed Area Plan includes a park designation; however, it does not propose any rezoning. Mr. Erceg then spoke of the City's practice in regard to land acquisitions noting that the City typically purchases land at market value, based on appraisals.

In response to queries regarding the construction of the bicycle path bridge, Mike Redpath, Senior Manager, Parks, advised that construction will commence once the weather improves.

Ali Elashi, 5380 Smith Drive, spoke in favour of the proposed Area Plan as he believed the higher density would allow businesses to succeed and provide much needed services to the community.



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Betty Carr, 4485 Fraserbank Place, expressed concern regarding the proposed increased density noting that it would significantly impact traffic in the area. She was of the opinion that, although the proposed Area Plan includes community amenity and commercial area improvements, area residents would continue to commute to and from recreation, shopping, and employment opportunities. Also, Ms. Carr questioned the higher density housing and its impact on existing trees and the water table.

In reply to a query from Council, Mr. Erceg stated that a comprehensive traffic analysis has been completed for the Area Plan and, as a result, a number of road network improvements were identified. In addition, he noted that as individual development applications are submitted additional traffic studies would be conducted.

Mr. Crowe advised that both the Official Community Plan and the proposed Hamilton Area Plan have ecological policies that incorporate better design guidelines for future development in the area. It was noted that the City is committed to tree preservation and environmental enhancement as development moves forward. It was further noted that the proposed Area Plan allows for residential apartments with and adjacent to the mixed use designation.

Al Sakai, Principal, Hamilton Elementary School, spoke of the latest Middle Years Developmental Indicator Study, and highlighted that the Hamilton area students were performing very well, and in some cases, approximately ten per cent better than students in other areas of Richmond. He attributed the Hamilton area students' well-being, in part, to the partnership between the City and the School District with regard to the shared Hamilton Community Centre. Mr. Sakai noted that, in order to facilitate approximately 300 new students in the Hamilton area, it is vital that the City and School District continue this partnership.

In response to a query from Council, Mr. Crowe stated that the build out for the anticipated density in the Hamilton area could potentially take 20 to 25 years. It was noted that the existing community centre can accommodate a population of 9,000 residents, which would allow sufficient time for the City and School District to work cooperatively on an agreement for the proposed additional community centre space.



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Heather Hicks, 23171 Westminster Highway, raised concern with the lack of infrastructure to service the proposed population density, noting a shortfall in school space and poor transit service particularly during winter conditions. Ms. Hicks expressed concern for the poor condition of the properties to be redeveloped along Westminster Highway. She was pleased that a park is proposed along the Fraser River and requested that the development of the park trail be done sensitively in order to protect the wildlife habitat and predatory bird nests in the area.

In response to a query from Council, Mr. Crowe noted that staff will continue to work with the School District to address education needs and to minimize bussing. He noted that staff will work with developers and property owners to ensure that properties in transition are kept in good condition. Also, Mr. Crowe advised that public transportation needs of the community will be discussed with TransLink at an upcoming meeting.

Jeff Fisher, Vice-President and Senior Policy Advisor, Urban Development Institute (UDI), spoke in support of the proposed Hamilton Area Plan, but expressed concern with the CAC rates. He read from a written submission (attached to and forming part of these minutes as **Schedule 9**). Mr. Fisher then requested that a copy of the staff memorandum regarding the proposed \$8.8 million for community amenities be provided to the UDI.

Discussion ensued regarding the CAC rates. In reply to a query from Council, Mr. Erceg advised that staff have liaised with and provided updates to the UDI; however, the additional information regarding the miscellaneous category was provided at the request of Council. Mr. Erceg expressed concern that a city-wide review of the CAC rates would take considerable time and that development may be delayed should Council consider deferring approval of the proposed Hamilton Area CAC rates. Mr. Erceg stated that he was not aware of any incident where the CAC rates were increased and reiterated that the City would be calculating the CAC rates on a buildable square footage basis and not through a land lift calculation.



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Rob Howard, 5880 Dover Crescent, spoke in favour of the proposed Hamilton Area Plan, noting that it would bring additional housing options, services, and employment to the community. He encouraged Council to move forward with the proposed Plan and expressed support for the definition of the miscellaneous community amenities and the CAC calculation.

Dana Westermarck, ORIS Consulting, expressed support for the Hamilton Area Plan, and commented that the proposed CAC rates was a departure from past practices. He further commented that the rates collected in Steveston are specific to purchasing excess density above 1.2 Floor Area Ratio (FAR) and to generating revenue to support the heritage assets of the area. Additionally, he noted that the City Centre (Capstan Area) charges are being specifically applied to construct the Capstan Canada Line Station, which is a valuable amenity for developments immediately surrounding the Station. Mr. Westermarck stated that details on the financial strategy for the proposed Hamilton Area Plan were not available, and as such, was of the opinion that this left no opportunity for meaningful consultation. It was further noted that the proposed three amenities referenced in the staff report dated January 28, 2014 have been part of discussions for the past two years; however, the amenities under the 'Miscellaneous Category' were not part of past discussions. Mr. Westermarck believed that a CAC rate based on the cost of the proposed three amenities, with an additional ten per cent contingency fund, would be an appropriate interim policy. This would allow (i) development to move forward, and (ii) for additional public consultation with stakeholders in order to reach a consensus regarding the scope of the CAC rates. Mr. Westermarck concluded by stating that the need for additional school space is an existing issue and as such, was of the opinion that landowners, developers, and taxpayers should not have to contribute towards this facility.

In reply to a query, Mr. Erceg advised that, should the CAC rates be approved on an interim basis, a moratorium on development applications in the area could be considered. Alternatively, development applications could proceed with a lesser amenity contribution being applied. He further advised that a review of the CAC rates could take longer than six months, and should the cost of the amenities increase during this time, the rates would increase accordingly.



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In response to queries from Council, Mr. Westermarck noted that, should the desired neighbourhood focused retail street be achieved, it would encourage additional development in the area. He further noted that it is not anticipated that the Hamilton area experience a rapid absorption rate, and therefore, maximum build out would be a matter of decades and not years.

In reply to a query, Mr. Erceg noted that the policy relating to the CAC rates is reflected in the proposed Hamilton Area Plan, which refers to the rates per square foot of development.

Jose Gonzalez, 8935 Cook Crescent, expressed support for the proposed Area Plan, noting that the proposed east-west connection improvements would facilitate unifying the area and provide better access to community amenities. Mr. Gonzalez requested clarification whether there was flexibility on the location of the proposed road bisecting Thompson Road.

Mr. Erceg advised the location of the proposed road is conceptual and that its location and impact to landowners would be examined carefully once a development application is received.

Walloce Sohl, 22760 River Road, was pleased to see a pier proposed along the Fraser River as part of the proposed Plan. Mr. Sohl requested that the City consider providing water fountains, washrooms, and picnic tables on the future park site. With regard to prior comments regarding school capacity, Mr. Sohl suggested that the area be developed as a retirement community, with suitable housing for an aging demographic.

Robert Kirk, 5880 Kartner Road, supported the proposed Hamilton Area Plan, with the exception of the use of land lift rates for future development. Mr. Kirk expressed that the current "Developer Pay" approach may not be fair as current landowners are included in the definition for a developer. He believed that current landowners would be offered lower prices for their land as developers are to pay all infrastructure costs through an 85% or more land lift charge.



Special Council Meeting for Public Hearings Tuesday, February 25, 2014

Michael Wolfe, 9731 Oldin Road, noted that public input received by the City represented only two per cent of area residents, which he believed was not enough support for Council to adopt the proposed Hamilton Area Plan. He further noted that there were only 80 Affordable Housing Units proposed for the area, with no assurances that the units would be constructed. Mr. Wolfe voiced concern for the (i) lack of school space, (ii) potential negative impact to the natural and semi-natural areas due to development, and (iii) lack of policies to reduce greenhouse gases and emissions.

Alex Yuen, 22120 Sharp Avenue, was of the opinion that increased density would adversely affect (i) the safety of children crossing Westminster Highway, and (ii) the operation of the Hamilton Community Centre. Mr. Yuen expressed his appreciation for the proposed library. He noted that the current school capacity is a major concern and that bussing students to other schools would be detrimental to both the students and to their parents. Also, he commented on pilings and soil conditions, noting that these are important considerations for future development proposals.

In reply to a query from Council, Donna Chan, Manager, Transportation Planning, advised that traffic signals on Westminster Highway at the intersections of Gilley Road and Boundary Road are scheduled to be installed in 2014. She then noted that as development occurs, other signals are anticipated to be warranted along Westminster Highway at Smith Crescent and Willett Avenue.

Bruno Thielmann, Vice President of Development, Wesgroup, spoke in favour of the proposed Hamilton Area Plan and supported the proposed amenities. Mr. Thielmann encouraged Council to clearly identify and account for the miscellaneous amenities in the proposed Area Plan.

SPH14/1-1

It was moved and seconded

That Official Community Plan Bylaw 9000, Amendment Bylaw 9078 be given second and third readings.

The question on Resolution No. SPH 14/1-1 was not called as discussion ensued regarding the clarification of the miscellaneous amenity allocation. As a result of the discussion, the following amendment was introduced:



Special Council Meeting for Public Hearings
Tuesday, February 25, 2014

SPH14/1-2

It was moved and seconded

That Official Community Plan Bylaw 9000, Amendment Bylaw 9078, which repeals the existing Schedule 2.14 – Hamilton Area Plan and replaces it with a new Schedule 2.14 – Hamilton Area Plan, and includes policies on land use and density, community amenity contributions, community recreation, community safety, economic development, agriculture, transportation, the natural environment, infrastructure, parks, public realm and open space as well as new development permit area guidelines for commercial and multi-family development, be revised prior to second reading by:

(a) *replacing Section 12.0 Implementation Strategy, Objective 3, Policy b) with:*

b) *Developer Contributions to Hamilton and City Wide Community Amenity Space:*

- *the City may accept developer community amenity contributions, or the developer construction of the actual community amenity spaces (e.g., a small public library, a community policing office space, childcare hub, and pedestrian pier on the North Arm of the Fraser River), and contributions to City-wide community amenities which Hamilton residents may utilize.*

The question on Resolution No. SPH14/1-2 was not called as Council noted the importance of defining where the Community Amenity Contributions would be directed.

The question on Resolution No. SPH14/1-2 was then called and it was **CARRIED**.

Discussion continued regarding the merits of the application, with members of Council speaking in favour of the proposed Hamilton Area Plan, particularly noting the wide support for community revitalization, amenities, and as such, the appropriateness of the proposed CAC rates. It was noted that Council would continue to work with the Richmond School Board to address the need for additional school space in the Hamilton area. Council challenged the development community to provide a wide variety of housing that would be inclusive of all age groups and mobility ranges.



Special Council Meeting for Public Hearings
Tuesday, February 25, 2014

At the conclusion of the discussion, the question on Resolution SPH14/1-1, as amended by Resolution No. SPH14/1-2, was then called and it was **CARRIED**.

SPH14/1-3

It was moved and seconded

That Official Community Plan Bylaw 9000, Amendment Bylaw 9078 be adopted.

CARRIED

ADJOURNMENT

SPH14/1-4

It was moved and seconded

That the meeting adjourn (10:23 p.m.).

CARRIED

Certified a true and correct copy of the Minutes of the Regular Meeting for Public Hearings of the City of Richmond held on Tuesday, February 25, 2014.

Mayor (Malcolm D. Brodie)

Acting Corporate Officer
(Michelle Jansson)

**Schedule 1 to the Minutes of the
Council Meeting for Public
Hearings held on Tuesday,
February 25, 2014.**

To Planning Committee
Feb. 4 2014
re: Ham #2 - Hamilton Area Plan

Richmond City Hall

January 30, 2014

To whom it may concern:

After talking to people coming into the area as well as local residents, I have received 100% positive feedback on a boardwalk, gravel or paved walkway along the river side of River Road near Westminster Highway. People like a short distance between themselves and the residences. They also like being along the water side of River Road as it makes them feel safer and more relaxed.

When asked about a boardwalk style walkway over the existing ditch on the residential side of River Road, the residents felt it was better than having people walking on the road; however travelers did not find the idea very appealing. They want to be where they could watch the wildlife and have an unobstructed view of the river.

Either side of the road would work to continue the pathway around Richmond but from a construction point of view the water side pathway would be easier to construct and more appealing to both the community and visitors.

I looked at the river side of River Road from Pump House #5 to the end of the dyke and found there was approximately 12 to 15 feet to work with for such a walkway.

Considering traffic flow on River Road from where the Queens Canal walkway would meet the road by Pump House #5, the road traffic needs to be slower for the pedestrian's safety. The simplest and least expensive way to provide a safe environment for both pedestrians and drivers, would most likely be 2 speed bumps set for 30-40 Km/h on each side of a new crosswalk approximately 20 feet back. This would encourage drivers to allow the pedestrian traffic to cross safely since they are already slowing for the speed bumps.

As for the proposed extension of Willet Ave. to River Road, the community and visitors do not wish the project to go through as it would increase traffic backups in front of their homes. At the moment, without the increase in traffic to the community, we already get the traffic backups to the train bridge on River Road. On frequent Fridays and bad weather days and it is much worse. If there is an accident on any of the bridges, especially the Queensborough or Alex Fraser Bridge the backup can last for up to 5 hours. This traffic backup can have a driver taking as long as 1-2 hours to travel a distance that would normally take them 20 minutes. This can cause driver frustration and lead to potentially more accidents as well as road rage.

With the roadway continuing as it currently is, it continues to allow for the clearing of pollutants from vehicles due to the constant breeze which blows along the water. This fact becomes much clearer when you look at the number of residents living into their 90's in comparison to people that live in denser areas.

Sincerely,



C. Surmik

23171 Westminster Hwy.
Richmond, BC V6V 1C1



CNCL - 23

REC-D
FRIDAY, JAN 31, 2014



February 20, 2014

City of Richmond
6911 No. 3 Road
RICHMOND BC V6Y 2C1

Attention: Michelle Jansson, Acting Director *City Clerk's Office*

Schedule 2 to the Minutes of the
Council Meeting for Public
Hearings held on Tuesday,
February 25, 2014.

Agricultural Land Commission

133 – 4940 Canada Way
Burnaby, British Columbia V5G 4K6
Tel: 604 660-7000
Fax: 604 660-7033

www.alc.gov.bc.ca

ALC File 46529

Richmond File 08-4045-20-14

Re: Hamilton Area Plan Richmond OCP Bylaw 9000, Amendment Bylaw 9078

The Provincial Agricultural Land Commission (the "Commission") has the following comments for the public hearing on the first reading draft of Richmond's *Hamilton Area Plan* (the "Plan"), received by the Commission on February 12, 2014.

In 1984, the Commission reviewed a draft proposal for the Hamilton area. The Commission cooperated in a process of ongoing consultation, concurring with the thrust of the plan but expressing some reservations about two specific areas, the lands north of Gilley Road and the 24 ha parcel (with some potential for cranberry production) at the west end of the Hamilton area. In November 1985 the Commission adopted Resolution **#1205/1985**, an "order" endorsing the Hamilton Area Plan as depicted on the attached "Map 1" on the understanding that the buffer areas described in the Plan would be established and remain in the ALR. The resolution also encouraged Richmond to undertake an application to consider exclusion from the ALR of those lands outlined in red on the attached "Map 2".

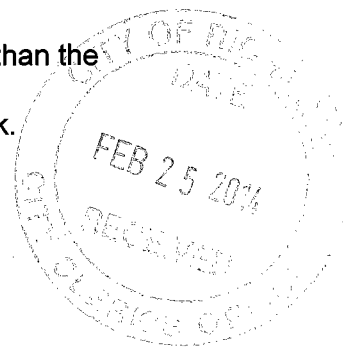
In 1986 the Commission received an application from Gilley Road Developments Ltd. proposing exclusion of the 24 ha parcel. Commission Resolution **#243/1986** (an "order") endorsed the land uses on the attached schematic concept plan, recognizing that the plan was never intended to reflect a final subdivision layout. The critical points were that

- it shows a western buffer park to remain in the ALR, with a trail located well away from the adjacent cranberry operation (except where it diverts west to the No. 10 Road right of way),
- it shows the Gilley Road trail located on the south side of the right of way, and
- it shows a covenanted 20 m buffer on the south side of Gilley Road, to protect the adjacent greenhouse operation. Later, by Resolution **#145/1993** (an "order") the Commission agreed to reduce the covenanted area to 12 m subject to a fenced and vegetative buffer acceptable to the Commission, to be constructed within the 12 m setback, with the vegetative buffer and fencing plan to be included as a schedule to the covenant document.

The Commission has become aware that the greenhouse ceased operation within the last decade and has been removed, with the site substantially rehabilitated. Even so, it believes that it is appropriate to maintain the covenant and encourage effective edge planning measures such as buffering and vegetative planting along Gilley Road to encourage farm use of agricultural lands north of Gilley Road, which remains in the ALR.

On review of the first reading draft of Bylaw 9078, the proposed new Hamilton Area Plan, the following three items are seen as being of notable significance to the Commission's mandate:

- the "unenhanced" trail through the western buffer park is illustrated as following the west side rather than the east side of the park,
- the "unenhanced" Gilley Road trail is illustrated as following the north side rather than the south side of the road allowance, and
- townhouses are illustrated for the covenanted buffer area and north of Fraserbank.



Section 46 of the *Agricultural Land Commission Act* (the "Act") provides in part that a local government bylaw (including a bylaw to adopt or amend an official community plan) that is inconsistent with the Act, the regulations or an order of the Commission has, to the extent of the inconsistency, no force or effect. It would therefore be appropriate to amend Bylaw 9078 to eliminate the extent of the inconsistency with the orders of record. The following suggestions are offered.

It is understood that the proposed new location for the western buffer park trail was intended to avoid or limit the cutting of trees within the park. From the Commission perspective the problem with the proposed location is that it follows the very edge of an active cranberry operation, with no buffering against normal farm practices. The Commission would never agree with a trail location which would clearly place a farm operation in jeopardy. The trail to which Resolution #243/1986 consented was schematically illustrated as meandering, such as by winding the path between significant trees rather than cutting them down. At the northeast corner of the cranberry operation and the northwest corner of the buffer park, the cranberry operation is not as exposed, thus there should be no objection to continuing the trail along the No. 10 Road right of way to River Road. To protect existing or potential farm operations alongside that 10 m right of way, the trail should be developed in the centre of the right of way, with a vegetative buffer on either side.

The Commission does not object to townhouse development on lands outside the covenanted area agreed by Resolution #145/1993, provided that each strata corporation with land in the covenanted area is made fully responsible for maintaining the fencing and vegetative buffering within its land, in accordance with the covenant document. The Commission also encourages the City to require fencing and vegetative buffering where the proposed "stacked townhouse" development adjoins the east side of the ALR block.

Yours truly

PROVINCIAL AGRICULTURAL LAND COMMISSION

Per:


Brian Underhill
Deputy Chief Executive Officer

Encl.

TP/
46529m1

OFFICIAL
AREA
PLAN MAP

LEGEND

COMMERCIAL

INDUSTRIAL

PARK

R1 INFILL RESIDENTIAL

R2 NEW RESIDENTIAL

R3 WATER-ORIENTED RESIDENTIAL

BUFFER

SCHOOL

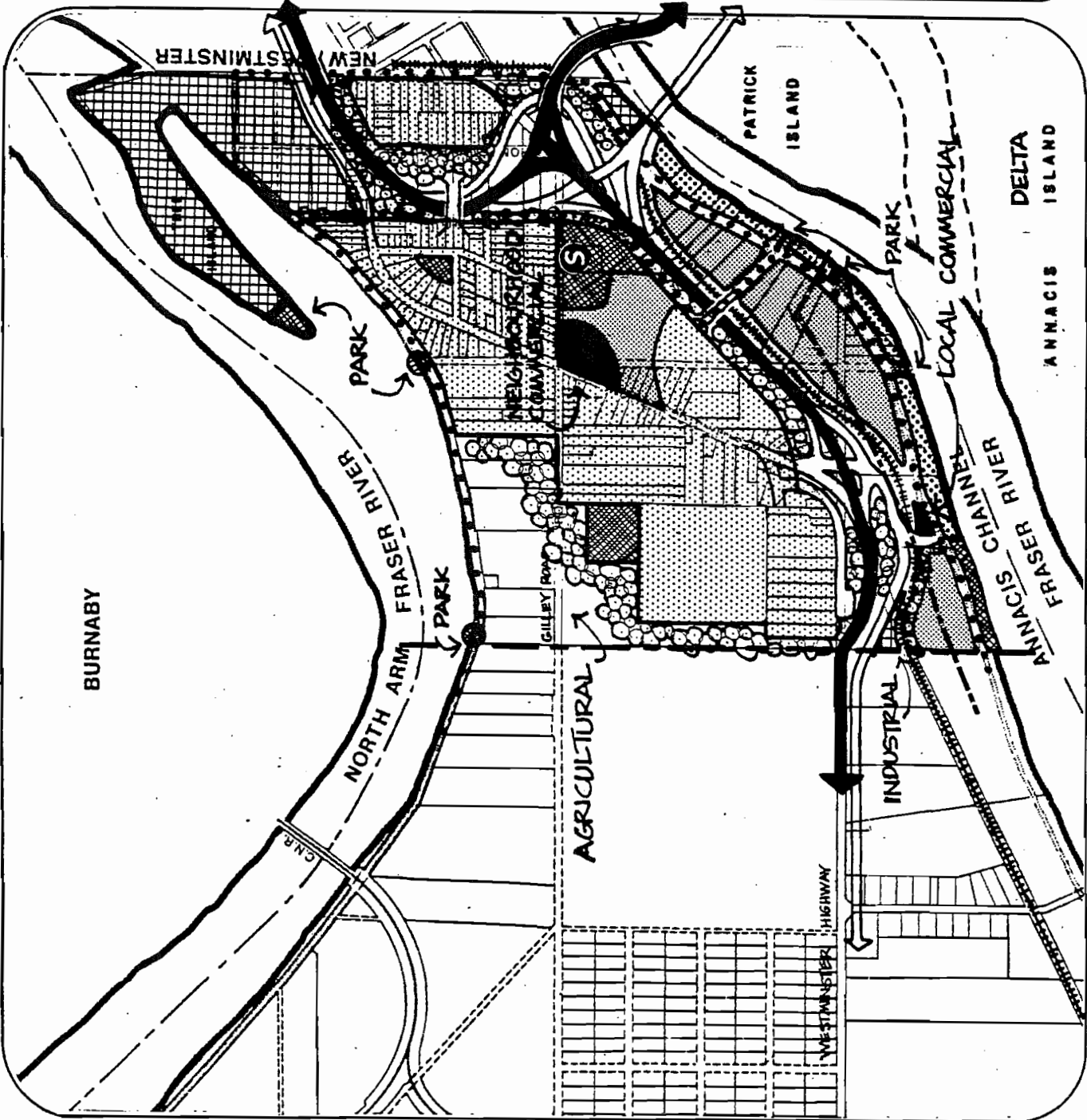
TRAIL

EXISTING HYDRO RIGHT OF WAY

HAMILTON

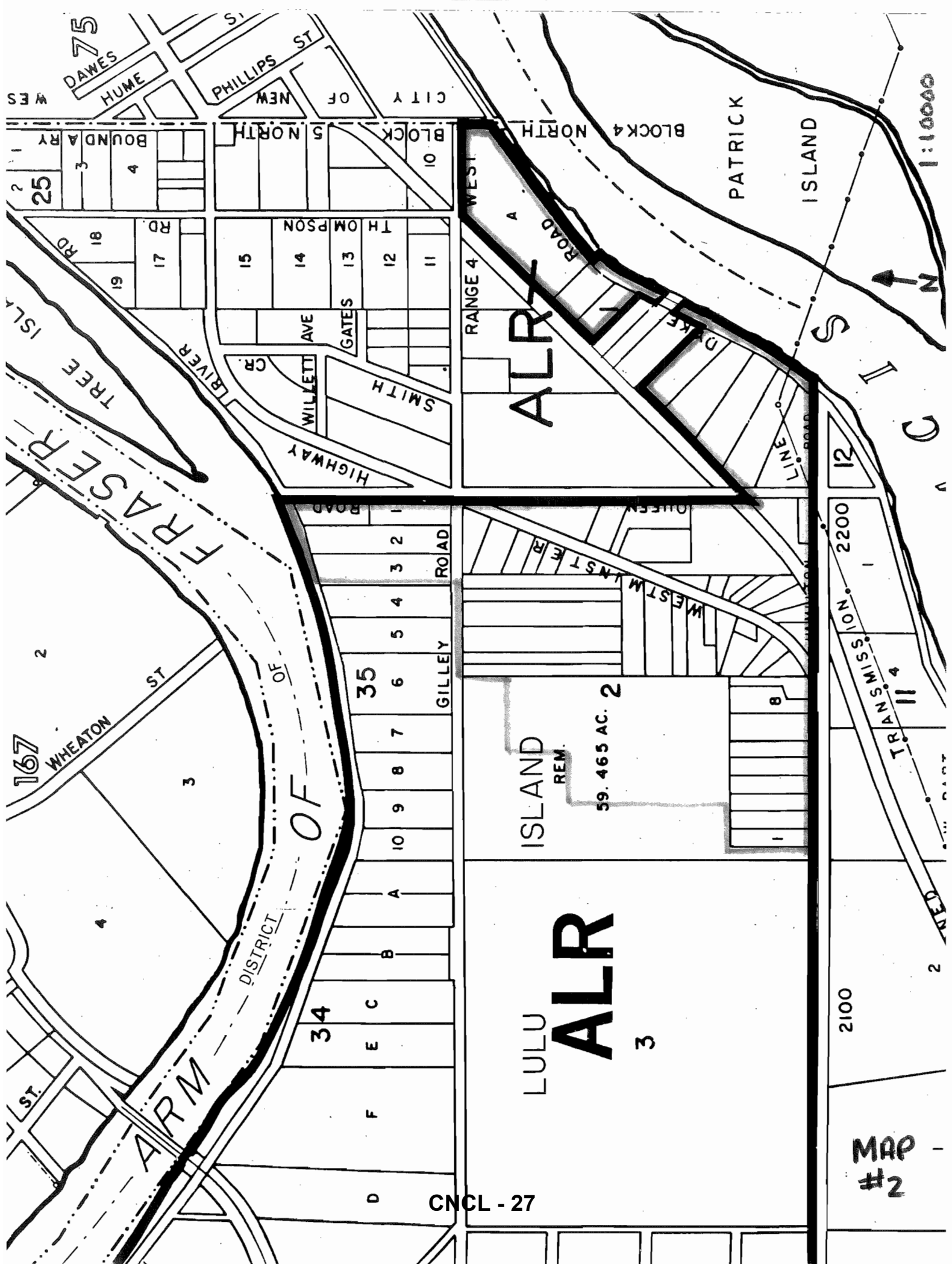
0 300 METRES

REVISED MARCH 1985



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MAP #1





FUTURE TRAIL CONNECTION
TO RIVER ROAD

GILLEY ROAD

20m OF LOT AREA
WITH COVENANT

405.04

THIS AREA
PROPOSED TO
REMAIN IN
ALR

PARK
(NATURAL
BUFFER
AREA)

17m

13.5 m.

13.5m

17m

17m

13.5m

17m

NEIGHBORHOOD
PARK

TRAIL

Schedule 3 to the Minutes of the
Council Meeting for Public
Hearings held on Tuesday,
February 25, 2014.

Berg, Hanieh

To Public Hearing
Date: <u>FEB. 25 2014</u>
Item # <u>1</u>
Re: <u>BULKW 9078</u> <u>HAMILTON AREA PLAN</u>

From: McMullen, Mark
Sent: Monday, 24 February 2014 09:15
To: Berg, Hanieh; Jansson, Michelle
Cc: Crowe, Terry
Subject: FW: Hamilton Area Plan - Email Received for Hamilton Public Hearing on Feb. 25

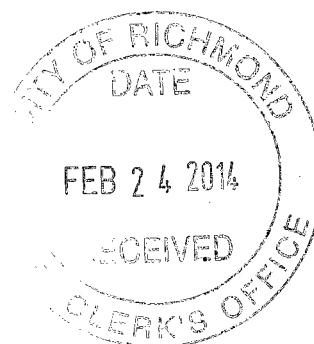
----- Forwarded message -----

From: Kelvin Higo <kelvinhigo@gmail.com>
Date: Sun, Feb 23, 2014 at 5:54 AM
Subject: Hamilton Area Plan
To: mark.mcmullen@richmond.ca

I noted the Special Public Hearing on February 25th and wanted to comment on a few issues. Firstly as background, I was the Chief Public Health Inspector when the subdivision was created in the Hamilton area. This subdivision was created atop of hogfuel and this subsequently created a leachate problem. The homes in this area are required to have proper venting beneath their homes in case methane buildup occurs.

Another issue I dealt with and I think was a first of its kind was the dedication of the property on the west side of the subdivision as a buffer zone. We requested a buffer zone due to the fact that toxic pesticides were used next door in the cranberry fields and a treed buffer would help ameliorate any pesticide drift.

I think David Brownlee might remember both these issues as I think he was on staff at the time.



Schedule 4 to the Minutes of the
Council Meeting for Public
Hearings held on Tuesday,
February 25, 2014.

Mayor and Councillors

From: Webgraphics
Sent: Monday, 24 February 2014 11:22
To: Mayor and Councillors
Subject: Send a Submission Online (response #772)

Categories: 08-4045-20-14 - Hamilton Area Plan

To Public Hearing
Date: Feb. 25 2014
Item # 1
Re: Bylaw 9078 Hamilton Area Plan

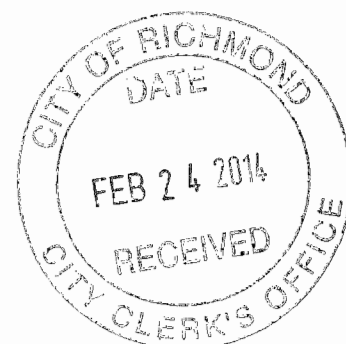
Send a Submission Online (response #772)

Survey Information

Site:	City Website
Page Title:	Send a Submission Online
URL:	http://cms.richmond.ca/Page1793.aspx
Submission Time/Date:	2/24/2014 11:21:38 AM

Survey Response

Your Name	Wolf Strecko
Your Address	23180 Willett Ave
Subject Property Address OR Bylaw Number	Hamilton Area Plan Update
Comments	<p>Land Use and Density - In the proposed plan High density is pushed out to the edges of the community in Area 2 and the north end of Area 3, as is green space. Affordable (therefore higher density) housing for families and seniors should be centered around the 'core' shopping, school, community centre, park facilities along Gilley.</p> <p>Community Amenities - Previous proposed Option 3 was favoured as a way to bring these sorely needed amenities to Hamilton (a long standing community complaint.) Current plan (Option 4) offers a weak vision for how these will be provided. It seems less likely that we will get these amenities if we don't have a higher density population area in a core commercial/community/amenities area. Pushing higher density out to the northeast edge will discourage amenities development, in favour of more use and development of Queensborough amenities. Parks and Greenways - I prefer longer walking paths along the Queens Canal (as prev.</p>



storyboarded) and a stretched-out green belt along the river for walking, cycling, some picnicing, fishing, small boating (esp. in the sheltered bay) vs. a large block of park area. Transportation Improvements - A new and improved River Road connection to Westminster Hwy at Willett will only dump more traffic into the community, not less! and brings it closer to the core. This is pedestrian and cycling unfriendly. It would be better to have some bypass strategy which routes thru-traffic around the community onto a service road around the community (or onto Hwy 91a). Some parking for use of the riverfront is needed.

Mayor and Councillors

Schedule 5 to the Minutes of the
Council Meeting for Public
Hearings held on Tuesday,
February 25, 2014.

From: Webgraphics
Sent: Monday, 24 February 2014 23:01
To: Mayor and Councillors
Subject: Send a Submission Online (response #773)

To Public Hearing	
Date:	Feb. 25 2014
Item #	1
Re:	Bylaw 9078 Hamilton Area Plan

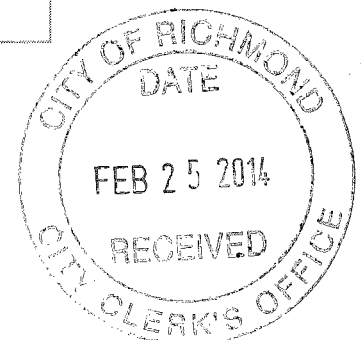
Send a Submission Online (response #773)

Survey Information

Site:	City Website
Page Title:	Send a Submission Online
URL:	http://cms.richmond.ca/Page1793.aspx
Submission Time/Date:	2/24/2014 10:59:55 PM

Survey Response

Your Name	Melvin Yap
Your Address	23451 Westminster Hwy, Richmond
Subject Property Address OR Bylaw Number	New Hamilton OCP
Comments	<p>I am very pleased with the new Hamilton OCP and request the planned amenities (parks, walkways, road improvements, library, etc.) be a priority and constructed as soon as possible. In addition, public washrooms and a fishing pier at the new river front park would be really nice. It would be a major attraction. Also, it was brought to my attention that the city is considering to charge "land lift" fees equal to 85% of the increased value from rezoning in addition to all the land dedications, offsite works, and DCC's. I am strongly opposed to this as it would halt development completely; developers will not buy land at rezoned prices and pay this fee. Landowners will not give away their land.</p>



Mayor and Councillors

Schedule 6 to the Minutes of the
Council Meeting for Public
Hearings held on Tuesday,
February 25, 2014.

To Public Hearing
Date: Feb 25 2014
Item # 1
Re: Bylaw 9078 Hamilton Area Plan

From: Webgraphics
Sent: Tuesday, 25 February 2014 08:20
To: Mayor and Councillors
Subject: Send a Submission Online (response #774)

Categories: 12-8060-20-9078 - OCP Bylaw 9000 - Amendment Bylaw - Replace Hamilton Area Plan
Schedule 14

Send a Submission Online (response #774)

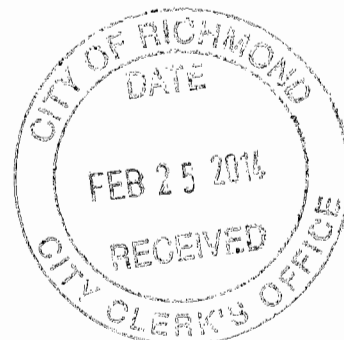
Survey Information

Site:	City Website
Page Title:	Send a Submission Online
URL:	http://cms.richmond.ca/Page1793.aspx
Submission Time/Date:	2/25/2014 8:20:00 AM

Survey Response

Your Name	George & Wendy Walker
Your Address	4525 Fraserbank Place, Richmond
Subject Property Address OR Bylaw Number	Official Community Plan By Law 9000, Amendment Bylaw 9078
Comments	<p>February 25, 2014 Dear Mayor and Council: We are unable to attend tonight's Special Public Hearing and so are submitting our comments and concerns in writing for consideration. We would like it to be known that we are opposed to the proposed changes to the Official Community Plan Bylaw 9000, Amendment Bylaw 9078. We understand from Rozanne Kipnes of Oris Development that the following figures represent the current and potential population growth for the Hamilton area. • 5200 residents – the current population of Hamilton • 9000 residents - the population allowed for in the new OCP (Rozanne said this is without amenities and infrastructure). • 12,000 residents - the population if the Oris plan is adopted (allows for the infrastructure and amenities Oris says they will bring). We have been told that the Oris plan is about providing safe passage, walkways, and greenways and ensuring the walk ability of the</p>

CNCL - 33



community. HOWEVER – as Oris points out, they are only developing on the east side of Westminster. Their plan is separate and has a complete disconnect to what is happening on the west side of Hamilton where the majority of residents live. We are not two communities yet this is how we are being treated. This does not seem to be a cohesive plan for the residents and Hamilton community at large. Most if not all of the residents in Hamilton feel we are and have always been sadly under served with amenities that are provided to the rest of Richmond. It is hard to imagine more than double the population trying to get in and out of Hamilton at the best of times especially when motorists use Westminster Hwy as a detour due to accidents. Hamilton already has an extremely poor walk ability score of 33 making us car dependant (walkscore.com). Our transit score is also poor at 43 out of 100. There is no guarantee that the shops proposed will actually materialize. For over 20 years, most of the current shopping centre has remained vacant and there is no guarantee that increased population will result in shops opening. Given what has happened at 22560/22600/22620 Gilley Road (RZ 06-344606), what assurances do residents have that the city will honour any promises made? In November 2006 when an application was made to construct 35 Townhomes at 22560/22600/22620 Gilley Road (RZ 06-344606), redevelopment signs were erected showing access to the development off of Turner Road. Subsequent communication over a five year period with the City of Richmond confirmed in writing and verbally (and in the current Official Community Plan for Hamilton), the following: • "No vehicle access to and from the proposed townhouse site is planned for Gilley Road" • "The submitted site plan proposes only vehicle access off Turner Drive" • "This project facilitates the completion of the Rathburn Drive and Turner Street that would service the proposed townhouse project"; • "The City's long-term vision is to limit residential vehicle access to Gilley Road."; Despite all these reassurances, in June 2012 the City of Richmond radically changed their decision to allow access to this development to be exclusively off of Gilley Road. This was completely opposite to their long held position and promises to residents. This decision has will continue to have serious wide ranging ramifications on our community. No alteration was ever made to the redevelopment signage reflecting this change leaving the community uninformed that these changes were taking place. The residents of Hamilton were denied Due Process in this case

and the safety and safe passage of residents has been severely impacted. If there was no alternative to Gilley Road it would still be difficult to fathom how this development would be allowed to go ahead given all of the conditions. Will there be increased traffic on Turner and surrounding streets? Yes there will but in Kevin Eng's own words, this area was designed to support this and it will actually improve the traffic flow. The same cannot be said of Gilley Road. A narrow, dead end and largely pedestrian thoroughfare bordered on both sides with ditches full of wildlife (including beavers), that connect with Queen's Canal and the Fraser River. What assurances do we have that the City of Richmond will not engage in similar changes and alterations going forward if this plan is adopted? We feel the credibility of the City of Richmond is suspect since the Gilley Road development changes. We are not as opposed to the Oris proposal as we are to changes that divided our community into two separate entities. The city did not honour the commitments as outlined in the current OCP nor promises made regarding 22560/22600/22620 Gilley Road (RZ 06-344606). Why should we believe they will do so in this case? Regards, Wendy & George Walker

To Public Hearing
Date: <u>Feb 25 2014</u>
Item # <u>1</u>
Re: <u>Bylaw 9078</u> <u>Hamilton Area Plan</u>

February 25, 2014

Dear Mayor and Council:

We are unable to attend tonight's Special Public Hearing and so are submitting our comments and concerns in writing for consideration.

We would like it to be known that we are opposed to the proposed changes to the Official Community Plan Bylaw 9000, Amendment Bylaw 9078.

We understand from Rozanne Kipnes of Oris Development that the following figures represent the current and potential population growth for the Hamilton area.

- 5200 residents – the current population of Hamilton
- 9000 residents – the population allowed for in the new OCP (Rozanne said this is without amenities and infrastructure).
- 12,000 residents – the population if the Oris plan is adopted (allows for the infrastructure and amenities Oris says they will bring).

We have been told that the Oris plan is about providing safe passage, walkways, and greenways and ensuring the walk ability of the community. **HOWEVER** – as Oris points out, they are only developing on the east side of Westminster. Their plan is separate and has a complete disconnect to what is happening on the west side of Hamilton where the majority of residents live.

We are not two communities yet this is how we are being treated. This does not seem to be a cohesive plan for the residents and Hamilton community at large.

Most if not all of the residents in Hamilton feel we are and have always been sadly under served with amenities that are provided to the rest of Richmond. It is hard to imagine more than double the population trying to get in and out of Hamilton at the best of times especially when motorists use Westminster Hwy as a detour due to accidents.

Hamilton already has an extremely poor walk ability score of 33 making us car dependant (walkscore.com). Our transit score is also poor at 43 out of 100. There is no guarantee that the shops proposed will actually materialize. For over 20 years, most of the current shopping centre has remained vacant and there is no guarantee that increased population will result in shops opening.

Given what has happened at 22560/22600/22620 Gilley Road (RZ 06-344606), what assurances do residents have that the city will honour any promises made?

In November 2006 when an application was made to construct 35 Townhomes at 22560/22600/22620 Gilley Road (RZ 06-344606), redevelopment signs were erected showing access to the development off of Turner Road.



Subsequent communication over a five year period with the City of Richmond confirmed in writing and verbally (and in the current Official Community Plan for Hamilton), the following:

- **"No vehicle access to and from the proposed townhouse site is planned for Gilley Road"**
- **"The submitted site plan proposes only vehicle access off Turner Drive"**
- **"This project facilitates the completion of the Rathburn Drive and Turner Street that would service the proposed townhouse project";**
- **"The City's long-term vision is to limit residential vehicle access to Gilley Road."**

Despite all these reassurances, in June 2012 the City of Richmond radically changed their decision to allow access to this development to be exclusively off of Gilley Road. This was completely opposite to their long held position and promises to residents. This decision has will continue to have serious wide ranging ramifications on our community.

No alteration was ever made to the redevelopment signage reflecting this change leaving the community uninformed that these changes were taking place. The residents of Hamilton were denied Due Process in this case and the safety and safe passage of residents has been severely impacted.

If there was no alternative to Gilley Road it would still be difficult to fathom how this development would be allowed to go ahead given all of the conditions. Will there be increased traffic on Turner and surrounding streets? Yes there will but in Kevin Eng's own words, this area was designed to support this and it will actually improve the traffic flow.

The same cannot be said of Gilley Road. A narrow, dead end and largely pedestrian thoroughfare bordered on both sides with ditches full of wildlife (including beavers), that connect with Queen's Canal and the Fraser River.

What assurances do we have that the City of Richmond will not engage in similar changes and alterations going forward if this plan is adopted? We feel the credibility of the City of Richmond is suspect since the Gilley Road development changes.

We are not as opposed to the Oris proposal as we are to changes that divided our community into two separate entities. The city did not honour the commitments as outlined in the current OCP nor promises made regarding 22560/22600/22620 Gilley Road (RZ 06-344606). Why should we believe they will do so in this case?

Regards,

Wendy & George Walker

604-521-4803

MayorandCouncillors

Schedule 7 to the Minutes of the
Council Meeting for Public
Hearings held on Tuesday,
February 25, 2014.

From: Webgraphics
Sent: Tuesday, 25 February 2014 09:47
To: MayorandCouncillors
Subject: Send a Submission Online (response #775)

To Public Hearing
Date: Feb. 25 2014
Item # 1
Re: Bylaw 9078 Hamilton Area Plan

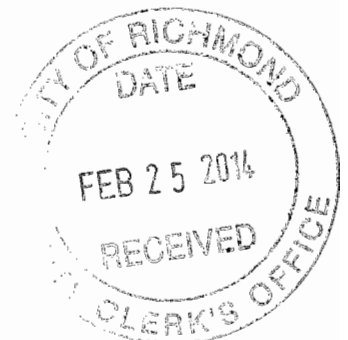
Send a Submission Online (response #775)

Survey Information

Site:	City Website
Page Title:	Send a Submission Online
URL:	http://cms.richmond.ca/Page1793.aspx
Submission Time/Date:	2/25/2014 9:46:35 AM

Survey Response

Your Name	Pauline Lewzey
Your Address	23180 Willett Avenue
Subject Property Address OR Bylaw Number	Hamilton Plan Bylaw 9078
Comments	<p>I want to stress the importance of a balance in the design of having trees and small green spaces interspersed with the buildings and the materials for the buildings be harmonious with our natural environment. As a resident of Hamilton for over 30 years I have enjoyed the view of the mountains, the river and the wildlife that make Hamilton their home and I would like to emphasize the importance of maintaining that availability to the residents of the area. Many visitors come to our neighborhood to enjoy our natural splendor. Thank you for your consideration.</p>





Schedule 8 to the Minutes of the Council Meeting for Public Hearings held on Tuesday, February 25, 2014.

#1003, 7495 - 132 Street
Surrey, BC V3W 1J8
Telephone: 778-565-4288
Fax: 778-565-4289
Email: info@gvhba.org
www.gvhba.org

The Voice of the Residential Construction Industry in the Greater Vancouver Area

25 February 2014

Mayor Malcolm Brodie and Members of Council
City of Richmond
6911 No. 3 Road
Richmond, BC

Dear Mayor Brodie and Councillors;

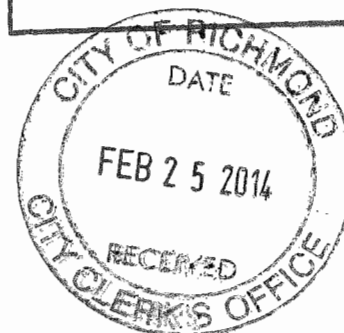
Re: Hamilton Area Plan Public Hearing

The Greater Vancouver Home Builders' Association represents 750 members comprised of developers, home builders and suppliers who assist in delivering the housing that is planned in our communities. GVHBA is the voice of the residential construction industry in the Lower Mainland and applauds the work of council and your staff in the development of a new Hamilton Area Plan.

The GVHBA has some concerns, however, in the section of the plan related to Development Financing. GVHBA understands that municipalities are looking broadly for revenue sources to fund new community infrastructure and amenities. While GVHBA acknowledges the practicality of partial funding of new community amenities through fees from new development, it is our view that the allocation of new amenity costs to new development should always be equitable, transparent, and predictable. We are opposed to the use of land lift calculations to determine the "budget" for community amenities. In our opinion, land lift is an arbitrary amount, and it is important to recognize that this approach creates uncertainty in the development feasibility assessment and financing process and potentially limits land transactions, both of which can reduce the supply and affordability of new housing.

GVHBA supports a best practices model of new amenity funding which identifies amenity goals within a neighbourhood plan, undertakes costing of the new amenities, fairly apportions the costs of the new amenity to new development, and allocates the costs on a unit basis in a predictable manner. The Hamilton Area Plan includes the identification and costing of the additional community centre space, the public library, and the community policing facility, and a contingency to account for potential higher construction costs in the future. This is supportable work. However, there is a very significant amount of funding allocated to the undefined "Miscellaneous" category, particularly the "... other possible community amenities, etc." Including this undefined,

To Public Hearing
Date: Feb 25 2014
Item # 1
Re: Bylaw 9078
Hamilton Area Plan



CNCL - 39

Canadian
Home Builders'
Association



Canadian
Home Builders'
Association



British Columbia
Building A Better BC



#1003, 7495 - 132 Street
Surrey, BC V3W 1J8
Telephone: 778-565-4288
Fax: 778-565-1289
Email: info@gvhba.org
www.gvhba.org

The Voice of the Residential Construction Industry In the Greater Vancouver Area

unallocated cost envelope does not allow for reasonable allocation of cost to new development, and it does not meet the principles of equity, transparency or predictability.

GVHBA feels that the approval of the Hamilton Area Plan is an important step for the residents (current and future), and we do not feel that the Plan should be delayed in order to create an improved CAC model. We would, therefore, recommend that Council remove this Development Financing section from the Plan prior to approval, and work with the industry to craft an amenity funding model that will support the delivery of the proposed amenities in the Hamilton area, and which adheres to the principles of equity, transparency and predictability.

Once again, congratulations on the preparation of the new Hamilton Area Plan, and we look forward to the opportunity to collaborate with the City further on this and other endeavors.

Yours truly,

Bob de Wit
CEO



CNCL - 40

Canadian
Home Builders'
Association



Canadian
Home Builders'
Association



British Columbia
Building A Better BC

**Schedule 9 to the Minutes of the
Council Meeting for Public
Hearings held on Tuesday,
February 25, 2014.**



URBAN DEVELOPMENT INSTITUTE – PACIFIC REGION
#200 – 602 West Hastings Street
Vancouver, British Columbia V6B 1P2 Canada
T. 604.669.9585 F. 604.689.8691
www.udl.bc.ca

February 25, 2014

Mayor Malcolm Brodie and Council
City of Richmond
6911 No. 3 Road
Richmond, British Columbia V6Y 2C1

Dear Mayor and Council:

Re: Development Financing for the Proposed Hamilton Area Plan

The Urban Development Institute (UDI) would like to thank Richmond staff for their work on the Hamilton Area Plan, which we generally support and ask Council to approve. We would like to thank staff for meeting with UDI members on February 20, 2014 to discuss the Community Amenity Contribution (CAC) strategy for the Hamilton Area Plan. The implications of this matter impact land owners and our industry across the City.

We commend the City on their shift away from the "land lift" or proforma approach to calculating CACs and your willingness to engage in a constructive dialogue about a variation on the Development Cost Charges methodology.

Given the tight time frame for the Hamilton Area Plan and the desire of both the community and our membership to move this forward, we would like to suggest an interim approach that provides a period of time for further discussion of a comprehensive overview of CACs both for Hamilton and future area plans.

The City has already identified three needed amenities in the Hamilton Area Plan costing \$10.4 million. UDI agrees with the list as it reflects the community aspirations and is consistent with the approach that the industry supports. We suggest that there is a need for third party validation of the cost estimates for these amenities; however this may take time to complete. As part of an interim structure, we support using the City's estimates as a base with a 10% contingency to add to the City's estimate to address potential uncertainties.

UDI has grave concerns about the creation of a list of possible amenities to justify the disproportionately large "miscellaneous" category described in Figure 4 on page 16 (CNCL – 419). The range of this category from \$3.8 million to \$12.2 million and the clear scaling of this item in relation to the amount of "land lift" proposed to be extracted is alarming. We do not support the concept that the City should determine what our, or any other businesses, profit might be. The concept of imposing an extraction from our business that exceeds what is necessary to address the impact of growth in a given area is without a moral, economic or equitable foundation. We

strongly encourage Council to reject this approach in favour of a transparent, accountable, equitable and justifiable methodology based on the universally accepted DCC principals.

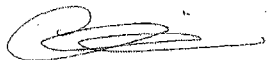
We recommend that the City review the amenity program over the next two years with the aim of creating a clear framework for moving forward in Hamilton and other area plans. This review should include the overall context of other requirements such as affordable housing levies, public art contributions, daycare contributions and the potential for changes in the DCC rates, which all impact the total cost. The review could also include city-wide amenities.

We also suggest that a regular review process form part of the CAC calculation methodology to address the City's concerns about construction cost escalation, increases in building standards, and the possible addition of amenity requirements not identified at this time. We asked that this recommendation be considered by Council for the Public Hearing (on Tuesday, February 25th).

In light of the fact the CACs for Hamilton are a new charge and not one the industry has had adequate time to review, analyze and comment on, we suggest that the CACs for Hamilton be limited to the identified three amenities plus a 10% contingency, and with the understanding that the program will be reviewed.

UDI looks forward to working with the City on the implementation of the Hamilton Area Plan and in establishing a means of calculating CACs that mirrors the DCC approach. We look forward to continuing to build on the solid working relationship we have enjoyed over the years through our joint Liaison Committee with City staff.

Yours sincerely



Anne McMullin
President and CEO

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City of Richmond

Schedule 10 to the Minutes of the
Council Meeting for Public
Hearings held on Tuesday,
February 25, 2014.

To Public Hearing	
Date:	Feb 25 2014
Item #	1
Re:	Bylaw 9098 Hamilton Area Plan

Memorandum

Planning and Development Department
Policy Planning

To: Mayor and Councillors

Date: February 25, 2014

From: Terry Crowe, MCIP,
Manager, Policy Planning

File:

Re: Hamilton Community Amenity Rate Comparisons

As requested by Council, the following community amenity contribution rates for density bonusing in a variety of neighbourhoods and projects are presented from High to Low in the chart below:

Neighbourhood	\$ Per Buildable Square Foot
1. Steveston Village	\$43.00
2. CCAP Concord Capstan	\$9.48
3. CCAP Polygon Capstan (Mueller)	\$8.86
4. CCAP Pinnacle Capstan - Phase 1	\$8.58
5. City Centre Commercial Versante Hotel	\$7.75
6. CCAP Pinnacle Residential Portion - Pinnacle Capstan	\$6.72
7. Proposed Hamilton Area Plan	\$6.55 townhouse / \$4.60 apartment
8. West Cambie (predates Affordable Housing Strategy)	\$6.37 (which includes \$5.10 for Affordable Housing and a reduction of density up to 0.2 FAR)

For clarification, please contact me at 604.276.4139.

Terry Crowe
Manager, Policy Planning

TTC:cas

pc: Joe Erceg, General Manager, Planning and Development,
Mark McMullen, Senior Co-ordinator Major Projects



February 14, 2014

Mayor and Council
City of Richmond

Mayor and Council:

Re: Support for Hamilton Area Plan

It is with enormous regard for the process that I lend my support to the progression of the Hamilton Area Plan. It is the reason I attended your meeting on Tuesday February 4, 2014 and spoke to the following issues.

I say yes to a library, a home for a community police office – amenities which the constituents of Hamilton/Richmond East richly deserve. I hope the residents of Hamilton will see some on-site progress by next year.

I trust the growth expected and approved for Hamilton will match the population growth approved for Queensborough. Hamilton should not find itself in a one down position when it comes to competing for businesses to be situated on its new high street. A business owner may look to the larger population base approved for Queensborough and miss the opportunity Hamilton will provide. Queensborough has apparently been approved for 14, 000 population. I trust there is some recognition that a level playing field would be helpful.

This issue speaks to me as well when I consider the need for student employment in Hamilton. As you know Hamilton's high school students are already bussed out of their community to attend McNair Secondary at Williams and No. 4 Road. Wouldn't it be lovely if students could count on employment opportunities at home. That will only be possible if Hamilton can attract sufficient businesses to address this need.

I wish you well in you deliberations.

Kindest regards,



Honourable Linda Reid
MLA for Richmond East



February 24, 2014

**Schedule 12 to the Minutes of the
Council Meeting for Public
Hearings held on Tuesday,
February 25, 2014.**

Mayor Malcolm Brodie and Councillors
c/o City Clerk's Office
City of Richmond
6911 No.3 Road, Richmond, BC
V6Y 2C1

Dear Mayor Brodie:

Re: Hamilton Area Plan

Thank you for referring the proposed Official Community Plan (OCP) Amendment Bylaw 9078 on the Hamilton Area Plan to the School District for comment as part of your Public Hearing process. The School District has reviewed the City of Richmond's Report to the Planning and Development Committee dated January 28th, 2014 and also the proposed OCP Amendment Bylaw. Comments resulting from this review follow.

The Report states that the proposed Plan will add an additional 4,093 homes to the area and projects an increase from the area's present population of about 5,100 persons to about 12,000 persons at build-out. Based on Statistics Canada student yield rates for housing, the above population growth will increase the school age population in the area by more than three hundred students. Both land and buildings will be required to accommodate the proposed population increase as the current elementary school is near capacity.

It is commendable that the City has identified and provided sustainable funding mechanisms for many community amenities in the Hamilton Area Plan; however, the Plan does not identify potential school sites, and has deferred the practical issue of providing for the needed school land and buildings to others.

The School District has identified a \$22 million requirement for funding in its present 5-year capital plan for additional facilities in the Hamilton area. Because the District relies solely on the Ministry of Education for funding of school construction, in the absence of City support through amenity funding, we are unable to determine the likelihood and timing of funding approval. The District will need to expand the current bussing of high school students to accommodate the increased numbers that result from the higher proposed density. It may also be necessary to provide a similar service for the new elementary students that result from the Hamilton Area Plan while the District awaits Ministry approval of additional school facilities.

Board of Education:

Donna Sargent - Chairperson
Eric Yung - Vice Chairperson
Rod Belleza Kenny Chiu Norm Goldstein
Debbie Tablotney Grace Tsang

The Board of Education firmly believes that schools are the hub of any community, and are one of the first amenities that community members seek. We look forward to working with the City and members of the community to help make Hamilton an even more prosperous and thriving neighbourhood.

Sincerely,

A handwritten signature in dark ink, appearing to read "Donna Sargent". The signature is fluid and cursive, with a large initial 'D' and a long, sweeping underline.

Donna Sargent, Chairperson
On Behalf of the Board of Education (Richmond)

cc: Monica Pamer, Superintendent of Schools
Mark De Mello, Secretary Treasurer
Clive Mason, Director of Facilities and Planning



Parks, Recreation & Cultural Services Committee

Date: Tuesday, February 25, 2014

Place: Anderson Room
Richmond City Hall

Present: Councillor Harold Steves, Chair
Councillor Ken Johnston
Councillor Linda Barnes
Councillor Bill McNulty

Absent: Councillor Evelina Halsey-Brandt

Also Present: Councillor Linda McPhail

Call to Order: The Chair called the meeting to order at 4:00 p.m.

MINUTES

It was moved and seconded

That the minutes of the meeting of the Parks, Recreation and Cultural Services Committee held on Tuesday, January 28, 2014, be adopted as circulated.

CARRIED

1. **CRANBERRY CHILDREN'S CENTRE PUBLIC ART PROJECT**
(File Ref. No. 11-7000-09-20-176) (REDMS No. 4132871)

It was moved and seconded

That the concept proposal and installation of the Cranberry Children's Centre public artwork by artist team Ron Hart and Michael Fugeta, as presented in the report from the Director, Arts, Culture & Heritage Services dated February 6, 2014, be endorsed.

CARRIED

Parks, Recreation & Cultural Services Committee
Tuesday, February 25, 2014

2. **NAMING OF COMMUNITY CENTRE - 5900 MINORU BOULEVARD**
(File Ref. No. 06-2052-25-FCC1) (REDMS No. 4118240 v.4)

It was moved and seconded

That the City's Community Centre being constructed at 5900 Minoru Boulevard be named City Centre Community Centre.

CARRIED

3. **RICHMOND COMMUNITY MEMORIAL GARDEN SITE
SELECTION REVIEW**

(File Ref. No. 06-2345-20-WLSG2) (REDMS No. 4031801 v.8)

In reply to queries from Committee, Mike Redpath, Senior Manager, Parks noted that staff have identified 22 potential sites on City land for the proposed memorial garden.

Discussion ensued with regard to (i) the location of the proposed memorial garden and whether it be on private or public land; and (ii) potential groups that may develop and manage the proposed memorial garden once it is operational.

The Chair was of the opinion that the Woodward's Landing site is not appropriate for the proposed memorial garden as it maybe a potential site for future port development. The Chair then referred to a map of the Grauer Lands (attached to and forming part of these Minutes as Schedule 1) suggesting this site for the proposed memorial garden due to its distance from residential areas. Staff were then directed to examine the Grauer Lands as a potential site for the proposed memorial garden.

As a result of the discussion, the following **motion** was introduced:

It was moved and seconded

That the Woodward's Landing site be removed from the list of candidate sites as referenced on page 6 of the staff report titled Richmond Community Memorial Garden Site Selection Review, dated February 4, 2014, from Senior Manager, Parks.

The question on the motion was not called as discussion ensued regarding the proposed Request for Expression of Interest and the terms of operations for potential proponents of the proposed memorial garden.

In reply from queries from Committee, Mr. Redpath noted that potential sites for the proposed memorial garden are shortlisted based on criteria such as their proximity to residential areas and Agricultural Land Reserve (ALR) restrictions.

Parks, Recreation & Cultural Services Committee
Tuesday, February 25, 2014

Cathryn Carlile, General Manager, Community Services, expressed concern regarding potential sites that are in proximity to residential areas and suggested that those sites be removed from the list of potential sites for the proposed memorial garden.

Mr. Redpath noted that should an ALR site be considered as a potential site for the proposed memorial garden, staff have discussed the application process with Agricultural Land Commission staff.

Committee directed staff to circulate background information on memorial gardens to Council.

Discussion ensued regarding to the proposed memorial garden and different elements, such as monuments, urns and memorial benches, that could be incorporated in the proposed memorial garden.

The question on the motion was then called and it was **CARRIED**.

It was moved and seconded

- (1) *That staff issue a Request for Expressions of Interest for the Richmond Community Memorial Garden as detailed in the staff report titled Richmond Community Memorial Garden Site Selection Review, dated February 4, 2014, from the Senior Manager, Parks; and*
- (2) *That staff report back with the results of the Request for Expression of Interest and recommended next steps.*

CARRIED

4. MANAGER'S REPORT

(i) Blacksmith shop at the Britannia Heritage Shipyard

Discussion ensued with regard to the educational benefits and the feasibility of incorporating a blacksmith shop within the Britannia Heritage Shipyard site.

The Chair referenced a past site map of the Britannia Heritage Shipyard Park (attached to and forming part of these Minutes as Schedule 2) and noted that a blacksmith shop was previously included in a site development plan for the Britannia Heritage Shipyard.

As a result of the discussion, the following **referral** was introduced:

It was moved and seconded

That staff examine the feasibility of incorporating a blacksmith shop that could showcase a traditional foundry at Britannia Heritage Shipyard and report back.

CARRIED

3.

Parks, Recreation & Cultural Services Committee
Tuesday, February 25, 2014

(ii) Correspondence from the Richmond Rod and Gun Club

The Chair referenced a letter from the Richmond Rod and Gun Club, dated February 21, 2014 (copy on file, City Clerk's Office) and spoke of challenges local licensed hunters are facing. It was noted that current provincial regulations require licensed hunters to seek permission of land owners to utilize their land for hunting purposes; however, many land owners in Richmond live overseas thus creating challenges in obtaining such permission.

As a result of the discussion, the following **referral** was introduced:

It was moved and seconded

That staff examine the regulations surrounding hunting on farmland and the necessary requirements for licensed hunters to continue hunting and report back.

CARRIED

ADJOURNMENT

It was moved and seconded

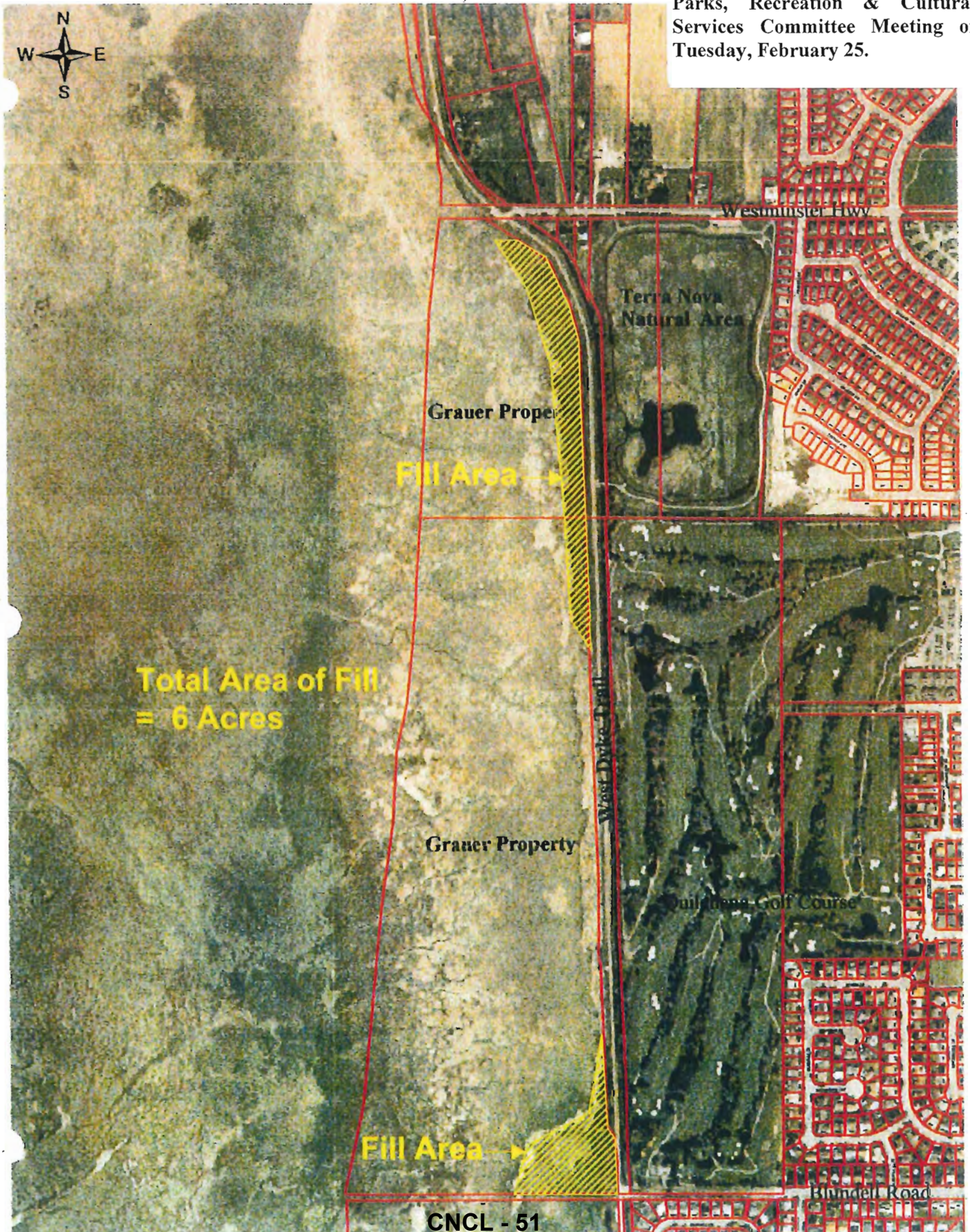
That the meeting adjourn (4:23 p.m.).

CARRIED

Certified a true and correct copy of the Minutes of the meeting of the Parks, Recreation & Cultural Services Committee of the Council of the City of Richmond held on Tuesday, February 25, 2014.

Councillor Harold Steves
Chair

Evangel Biason
Auxiliary Committee Clerk







Finance Committee

Date: Monday, March 3, 2014

Place: Anderson Room
Richmond City Hall

Present: Acting Mayor Derek Dang, Chair
Councillor Chak Au
Councillor Linda Barnes
Councillor Derek Dang
Councillor Bill McNulty
Councillor Linda McPhail
Councillor Harold Steves

Absent: Mayor Malcolm D. Brodie
Councillor Evelina Halsey-Brandt
Councillor Ken Johnston

Call to Order: The Chair called the meeting to order at 5:27 p.m.

MINUTES

It was moved and seconded

That the minutes of the meeting of the Finance Committee held on Monday, February 3, 2014, be adopted as circulated.

CARRIED

FINANCE AND CORPORATE SERVICES DEPARTMENT

1. **FINANCIAL INFORMATION – 4TH QUARTER DECEMBER 31, 2013**
(File Ref. No. 03-0905-01/2014) (REDMS No. 4145989)

It was moved and seconded

That the staff report titled Financial Information – 4th Quarter December 31, 2013 from the Director, Finance be received for information.

CARRIED

RICHMOND OLYMPIC OVAL CORPORATION

2. **4TH QUARTER 2013 – FINANCIAL INFORMATION FOR THE RICHMOND OLYMPIC OVAL CORPORATION**

(File Ref. No.:) (REDMS No.4157365)

It was moved and seconded

That the report on Financial Information for the Richmond Olympic Oval Corporation for the fourth quarter ended December 31, 2013 from the Controller of the Richmond Olympic Oval Corporation be received for information.

CARRIED

ADJOURNMENT

It was moved and seconded

That the meeting adjourn (5:30 p.m.).

CARRIED

Certified a true and correct copy of the Minutes of the meeting of the Finance Committee of the Council of the City of Richmond held on Monday, March 3, 2014.

Acting Mayor Derek Dang
Chair

Hanieh Berg
Committee Clerk



General Purposes Committee

Date: Monday, March 3, 2014

Place: Anderson Room
Richmond City Hall

Present: Acting Mayor Derek Dang, Chair
Councillor Chak Au
Councillor Linda Barnes
Councillor Bill McNulty
Councillor Linda McPhail
Councillor Harold Steves

Absent: Mayor Malcolm D. Brodie
Councillor Evelina Halsey-Brandt
Councillor Ken Johnston

Call to Order: The Chair called the meeting to order at 4:00 p.m.

MINUTES

It was moved and seconded

That the minutes of the meeting of the General Purposes Committee held on Monday, February 17, 2014, be adopted as circulated.

CARRIED

DELEGATION

1. With the aid of a PowerPoint presentation (copy on file, City Clerk's Office), Craig Richmond, President and Chief Executive Officer, Vancouver Airport Authority (VAA), accompanied by Anne Murray, Vice President, Community and Environmental Affairs, VAA, and Howard Jampolsky, City of Richmond representative on the Vancouver International Airport Board, provided an update on the Airport Authority's activities over the past year and spoke of upcoming economic opportunities.

General Purposes Committee

Monday, March 3, 2014

Discussion ensued regarding the Vancouver International Airport's (YVR) activities impact on the environment and Mr. Richmond noted that (i) the Airport Authority's mandate states that it is to contribute to British Columbia's economy by generating jobs and facilitating trade and tourism opportunities; (ii) the Airport Authority is not affiliated with the Vancouver Airport Fuel Facilities Corporation; and (iii) the Airport Authority is currently preparing a sustainability plan.

In reply to queries and comments from Committee, Mr. Richmond noted that the Airport Authority anticipates that any development along Russ Baker Way would complement the City's planning vision and would be subject to a public consultation.

Discussion ensued regarding Richmond's aviation history and it was suggested that the VAA consider building an aircraft museum that would showcase said history.

In reply to queries from Committee, Mr. Richmond provided the following information:

- many airlines are choosing to upgrade their fleet as newer aircrafts are more fuel efficient;
- the two parallel runways at the YVR allows for growth, should the need arise; also, terminals at the YVR are designed to facilitate expansion;
- Canadian and American air travel models differ in that in Canada, it is a 'pay per use' model compared to the United States of America, whereby airports receive assistance from all levels of government; and
- the YVR is the second busiest airport in Canada and boasts the highest number of flights to Asia from North America.

It was moved and seconded

That the delegation by the Vancouver Airport Authority be received for information.

CARRIED

ENGINEERING AND PUBLIC WORKS DEPARTMENT

2. EXPRESSION OF INTEREST IN MULTI-MATERIAL BC'S ADVISORY COMMITTEE

(File Ref. No. 10-6370-01) (REDMS No. 4160415)

It was moved and seconded

That:

- (1) the City of Richmond apply to UBCM for representation on Multi-Material BC's Advisory Committee;*

2.

General Purposes Committee
Monday, March 3, 2014

- (2) *a member of Council be nominated for consideration by UBCM as the City's elected representative to Multi-Material BC's Advisory Committee; and*
- (3) *the General Manager, Engineering & Public Works be submitted for consideration by UBCM as a technical staff representative to Multi-Material BC's Advisory Committee.*

CARRIED

COMMUNITY SERVICES DEPARTMENT

3. PUBLIC ENGAGEMENT IN MINORU MAJOR FACILITY REPLACEMENTS

(File Ref. No. 06-2052-55-01) (REDMS No. 4159769 v.4)

In reply to queries from Committee, Serena Lusk, Senior Manager, Recreation and Sport Services, advised that staff are recommending that two Advisory Committees be formed: (i) Minoru Major Facility Stakeholder Advisory Committee and (ii) Major Facility Building / Project Technical Advisory Committee.

Discussion took place regarding the proposed Advisory Committees' Terms of Reference, and it was noted copies of their agendas and minutes would not be circulated to Council. Ms. Lusk advised that the proposed two Advisory Committees would provide information to staff, and that staff would amalgamate such information with input from other engagement opportunities and present an overall concept for Council's consideration at a future date.

Discussion further took place regarding Council's role with the proposed two Advisory Committees and it was suggested that two Council liaisons form the membership of each of the proposed Advisory Committees.

George Duncan, Chief Administrative Officer, commented on each of the proposed Advisory Committees' roles, noting that they are to provide their expertise to staff. Staff would gather such advice and compile it with other information related to the projects, and present all the information in a staff report to Council.

Robert Gonzalez, General Manager, Engineering and Public Works, spoke of the project's schedule and advised that Council would be updated with such information.

Discussion took place regarding the staff memorandum dated January 24, 2014 from the Senior Manager, Project Development providing an update on Phase One of the Major Facilities Project (copy on file, City Clerk's Office), and it was noted that such information is appreciated by Council.

3.

General Purposes Committee
Monday, March 3, 2014

Discussion ensued regarding the proposed Advisory Committees' Terms of Reference, and as result the following motion was introduced:

It was moved and seconded

That the proposed Advisory Committees' Terms of Reference be amended to reflect:

- (a) that two Council liaisons be appointed to each Advisory Committee; and*
- (b) that each Advisory Committee be chaired by a member of Council.*

The question on the motion was not called as discussion took place regarding the recruitment process for the proposed Major Facility Building / Project Technical Advisory Committee, and Ms. Lusk advised that a staff report on the matter is forthcoming.

The question on the motion was then called and it was **CARRIED**.

Discussion further took place regarding the proposed Advisory Committees' Terms of Reference, and as result the following motion was introduced:

It was moved and seconded

That the proposed Advisory Committees' Terms of Reference be further amended to reflect that the following be added under 'Meetings':

- (a) 'Copies of the agenda and record of the previous meeting will be circulated to Committee members [and Council members] in advance of the next meeting;' and*
- (b) 'The decision process is to be consensus based. [Major decisions must go before Council.] If some members disagree with Committee's recommendations or activities, decisions will be recorded in the meeting records.'*

The question on the motion was not called as Mr. Duncan commented on the proposed approval process, noting that the proposed Advisory Committees will be able to manage the day-to-day details of the projects; however, all major decisions will be brought before Council.

The question on the motion was then called and it was **CARRIED**.

It was moved and seconded

That:

- (1) the Public Engagement Plan described in the staff report titled Public Engagement in Minoru Major Facility Replacements, dated February 25, 2014 from the Senior Manager, Recreation and Sport Services, be approved;*

General Purposes Committee
Monday, March 3, 2014

- (2) *the Terms of Reference for the revised Minoru Major Facility Stakeholder Advisory Committee as described in Attachment 1 of the staff report titled Community Engagement in Minoru Major Facility Replacements, dated February 25, 2014 from the Senior Manager, Recreation and Sport Services, be approved as amended; and*
- (3) *the Terms of Reference for the Major Facility Building/Project Technical Advisory Committee as described in Attachment 2 of the staff report, titled Community Engagement in Minoru Major Facility Replacements, dated February 25, 2014 from the Senior Manager, Recreation and Sport Services, be approved as amended.*

CARRIED

ADJOURNMENT

It was moved and seconded
That the meeting adjourn (5:26 p.m.).

CARRIED

Certified a true and correct copy of the Minutes of the meeting of the General Purposes Committee of the Council of the City of Richmond held on Monday, March 3, 2014.

Acting Mayor Derek Dang
Chair

Hanieh Berg
Committee Clerk



Planning Committee

Date: Tuesday, March 4, 2014

Place: Anderson Room
Richmond City Hall

Present: Councillor Bill McNulty, Chair
Councillor Chak Au
Councillor Linda Barnes
Councillor Harold Steves

Absent: Councillor Evelina Halsey-Brandt

Also Present: Councillor Linda McPhail

Call to Order: The Chair called the meeting to order at 4:00 p.m.

MINUTES

It was moved and seconded

That the minutes of the meeting of the Planning Committee held on Tuesday, February 18, 2014, be adopted as circulated.

CARRIED

COMMUNITY SERVICES DEPARTMENT

1. **CHILD CARE DEVELOPMENT ADVISORY COMMITTEE 2013 ANNUAL REPORT AND 2014 WORK PROGRAM**
(File Ref. No.) (REDMS No. 4126749)

In reply to queries from Committee, Coralys Cuthbert, Childcare Coordinator and Linda Shirley, Chair, Child Care Development Advisory Committee (CCDAC) advised that the CCDAC is supportive of the concept of a publicly-funded childcare initiative. However, concerns remain regarding how the \$10/Day Childcare Plan ("\$10/day Plan") proposed by the Coalition of Child Care Advocates of BC, would be funded and implemented.

Planning Committee

Tuesday, March 3, 2014

Cathryn Carlile, General Manager, Community Services, noted that there is a lack of information on the \$10/Day Plan in order to adequately address the concerns of the CCDAC. As a result of this concern, the CCDAC was unable to endorse the proposed \$10/Day Plan and make a recommendation to Council.

Discussion ensued with regard to the proposed \$10/Day Plan and its potential effects on current for-profit and not-for-profit childcare providers and the supply of childcare spaces.

Discussion then took place with regard to an upcoming visual art event that the CCDAC is hosting in May 2014.

In reply from queries from Committee, Ms. Cuthbert and Ms. Shirley noted that childcare providers vary in the way they operate and offer programs suited for children of different ages. Ms. Shirley was of the opinion that demand for certain childcare programs vary, which may lead to an over-capacity of childcare spaces. It was further noted that demand for certain childcare programs can vary as a result of provincial policy changes, such as the implementation of all day kindergarten.

Discussion ensued with regard to the distribution of childcare centres in the City. It was noted that childcare centres are not necessarily distributed evenly within the City and as a result, some areas may have an oversupply of childcare spaces.

Ms. Shirley noted that the CCDAC has advised Council of its interest in providing input on the placement of new childcare centres within the City in order to effectively anticipate the demand of childcare services. Staff were directed to liaise with the CCDAC regarding the development of new childcare centres and service models.

Ms. Carlile noted that staff are currently working with the CCDAC on the Childcare Needs Assessment anticipated to be brought forward in 2016. She noted that the Childcare Needs Assessment includes a survey that will help better anticipate the future demand for childcare services. Staff were directed to move the Childcare Needs Assessment to a closer date.

It was moved and seconded

That the Child Care Development Advisory Committee's 2014 Work Program be approved.

CARRIED

PLANNING & DEVELOPMENT DEPARTMENT

2. **APPLICATION BY ZHAO XD ARCHITECT LTD. FOR REZONING AT 8400 GENERAL CURRIE ROAD AND 7411/7431 ST. ALBANS ROAD FROM SINGLE DETACHED (RS1/E) TO HIGH DENSITY TOWNHOUSES (RTH2)**

(File Ref. No. 12-8060-20-009111; RZ 13-643346) (REDMS No. 4144384)

In reply to queries from Committee, Wayne Craig, Director, Development noted that the site was previously restricted to two-family dwellings only through a legal agreement on title; however a condition of the proposed rezoning is that this legal agreement be removed.

It was moved and seconded

That Richmond Zoning Bylaw 8500, Amendment Bylaw 9111, for the rezoning of 8400 General Currie Road and 7411/7431 St. Albans Road from "Single Detached (RS1/E)" to "High Density Townhouses (RTH2)", be introduced and given first reading.

CARRIED

3. **APPLICATION BY YAMAMOTO ARCHITECTURE INC. FOR REZONING AT 7120, 7140, 7160, 7180, 7200, 7220, 7240 AND 7260 BRIDGE STREET, AND 7211, 7231 AND 7271 NO. 4 ROAD FROM "SINGLE DETACHED (RS1/F)" TO "SINGLE DETACHED (ZS14) – SOUTH MCLENNAN (CITY CENTRE)" AND "TOWN HOUSING (ZT70) – SOUTH MCLENNAN"**

(File Ref. No. 12-8060-20-009106/009107; RZ 12-605038) (REDMS No. 4121861 v.5)

Mr. Craig provided introductory comments and noted that the proposed development contains a total of 11 parcels. Two areas will be set aside for townhouses and another area for single-family houses. Also, he noted that road network improvements are proposed, including a new traffic light and an east-west connection between Bridge Street and No. 4 Road. He highlighted that the proposed plans include an indoor amenity building that would be heated and cooled using geothermal energy. Also, he advised that a cluster of existing trees around the amenity space would be retained as part of the proposed development.

In reply to queries from Committee, Mr. Craig noted that the entire east frontage of Bridge Street will be upgraded. He added that there will be a common fence along the single-family and townhouse portions of the site.

In reply to queries from Committee, Mr. Craig advised that the geothermal system was limited to the amenity building because of its long distance from the district energy utility in the Alexandra area.

Planning Committee

Tuesday, March 3, 2014

Discussion ensued with regard to opportunities to utilize alternative energy sources such as geothermal energy and solar energy in new developments.

Discussion ensued with regard to the City's guidelines for alternative energy use in new developments. Staff were directed to review current City policy for alternate energy use in new developments and examine the potential impacts of updating such policies to incorporate requirements for new developments to be fitted with alternative energy features.

In reply to queries from Committee, Taizo Yamamoto, Architect, Yamamoto Architecture Inc., noted that incorporating a geothermal connection for all units in the site is not possible due to the location of the geothermal wells. He added that the developer has concerns that consumer demand for geothermal energy systems is limited. However, he noted that fitting the individual units to become solar energy ready is an option.

Allan McBurney, 7171 Bridge Street, expressed concern with the proposed application and was of the opinion that the project would not benefit current residents, and may negatively affect property values. He suggested that the City include plans whereby both sides of Bridge Street are upgraded. Also, he believed that the anticipated increase in population will increase traffic and reduce parking availability along Bridge Street.

In reply to queries from Committee, Mr. Craig advised that only the east frontage of Bridge Street will be upgraded at this time, however, upgrades to the west side of Bridge Street is possible with future developments. He added that the proposed road network enhancements, including the new traffic light, should improve traffic flow.

Aydin Kilic, Development Manager, Hui Yuan Investments (Canada) Inc. advised that fitting individual units to a geothermal energy source is not possible due to engineering challenges. However, the developer is willing to examine the option of including solar energy features in the individual units.

In reply to queries from Committee, Mr. Kilic commented on the option of adding heat pumps to the individual units. He was of the opinion that the high installation costs may limit consumer demand for the heat pumps.

Discussion ensued with regard to the different types of solar energy technologies currently available.

Planning Committee
Tuesday, March 3, 2014

It was moved and seconded

- (1) *That Richmond Official Community Plan Bylaw 7100 Amendment Bylaw 9106, to: re-designate the eastern 62 m of 7120, 7140, 7160, 7180, 7200, 7220, 7240 and 7260 Bridge Street from “Residential, Historic” to “Residential, 2 ½ Storeys” in the Land Use Map in Schedule 2.10D (McLennan South Sub-Area Plan); and to amend the Character Area Key Map in Schedule 2.10D (McLennan South Sub-Area Plan) for the same portion of the site from “Single Family” to “Townhouse 2 ½ Storeys”, be introduced and given first reading;*
- (2) *That Bylaw 9106, having been considered in conjunction with:*
 - (a) *the City’s Financial and Capital Program; and*
 - (b) *the Greater Vancouver Regional District Solid Waste and Liquid Waste Management Plans;**are hereby found to be to be consistent with said program and plans in accordance with Section 882 (3) of the Local Government Act;*
- (3) *That Bylaw 9106, having been considered in accordance with OCP Bylaw Preparation Consultation Policy 5043, is hereby found not to require further consultation; and*
- (4) *That Richmond Zoning Bylaw 8500, Amendment Bylaw 9107, to: create “Town Housing (ZT70) – South McLennan”); to rezone the eastern portions of 7120, 7140, 7160, 7180, 7200, 7220, 7240 and 7260 Bridge Street, and the lots at 7211, 7231 and 7271 No. 4 Road from “Single Detached, (RS1/F)” to “Town Housing (ZT70) – South McLennan”); and to rezone the western 28 metres of 7120, 7140, 7160, 7180, 7200, 7220, 7240 and 7260 Bridge Street from “Single Detached, (RS1/F)” to “Single Detached (ZS14) – South McLennan (City Centre)”); be introduced and given first reading.*

The question on the motion was not called as discussion ensued with regard to alternative energy options that could be included as part of the proposed project.

Staff were directed to provide Council with the following information prior to the Public Hearing on Tuesday, April 22, 2014:

- information on alternative energy options available for the proposed project;
- a list of developments similar to the proposed project that could incorporate alternative energy options; and
- overall sustainability initiatives that the City can introduce for developments similar to the proposed project.

Planning Committee
Tuesday, March 3, 2014

The question on the motion was then called and it was **CARRIED** with Cllr. Steves opposed.

4. MANAGER'S REPORT

Changes to Federal Government Policies

Terry Crowe, Manager, Policy Planning, advised that the Federal Government is seeking input from the City with regard to possible changes to its cellular tower policies by March 31, 2014.

Discussion ensued with regard to the proposed changes to the Federal Government's immigration policy and funding for English as a Second Language programs for new immigrants.

As a result of the discussion, the following **motion** was introduced:

It was moved and seconded

That the Richmond Community Services Advisory Committee (RCSAC) provide Council with:

- (1) background information of the proposed changes to the Federal Government's immigration policy;***
- (2) information regarding the proposed changes to federal funding for English as a Second Language programs; and***
- (3) how the proposed changes could impact the community.***

CARRIED

ADJOURNMENT

It was moved and seconded

That the meeting adjourn (4:57 p.m.).

CARRIED

Planning Committee
Tuesday, March 3, 2014

Certified a true and correct copy of the Minutes of the meeting of the Planning Committee of the Council of the City of Richmond held on Tuesday, March 4, 2014.

Councillor Bill McNulty
Chair

Evangel Biason
Auxiliary Committee Clerk



City of Richmond

Report to Committee

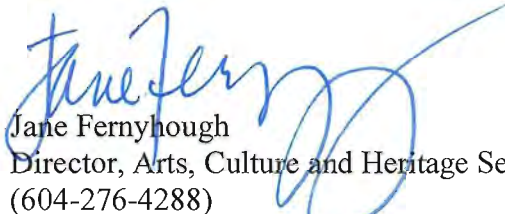
To: Parks, Recreation and Cultural Services Committee Date: February 6, 2014

From: Jane Fernyhough Director, Arts, Culture and Heritage Services File: 11-7000-09-20-176/Vol 01

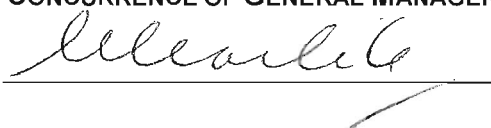
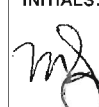

Re: **Cranberry Children's Centre Public Art Project**

Staff Recommendation

That the concept proposal and installation of the Cranberry Children's Centre public artwork by artist team Ron Hart and Michael Fugeta, as presented in the report from the Director, Arts, Culture & Heritage Services dated February 6, 2014, be endorsed.


Jane Fernyhough
Director, Arts, Culture and Heritage Services
(604-276-4288)

Att. 2

REPORT CONCURRENCE		
ROUTED TO:	CONCURRENCE	CONCURRENCE OF GENERAL MANAGER
Budgets Community Social Development Project Development	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	
REVIEWED BY STAFF REPORT / AGENDA REVIEW SUBCOMMITTEE	INITIALS: 	APPROVED BY CAO 

Staff Report

Origin

On November 23, 2009 Council endorsed the 2010 Building Capital Program that included an allocation of 1% of the construction budget for the development of a public art project as part of the development of the new child care centre in Hamilton.

On January 13, 2014 Council endorsed the naming of the child care facility to be the Cranberry Children's Centre. The facility is currently under construction at 23591 Westminster Highway.

This report presents the recommended Cranberry Children's Centre public art concept proposal for Council's consideration and endorsement.

This initiative is in line with Council Term Goal 9.1:

Build culturally rich public spaces across Richmond through a commitment to strong urban design, investment in public art and place making.

Analysis

Terms of Reference – Cranberry Children's Centre

The Public Art Terms of Reference for the Cranberry Children's Centre public artwork (Attachment 1) describes the art opportunity, site description, scope of work, budget, selection process, design schedule, and submission requirements. The Terms of Reference were reviewed and endorsed by the Public Art Advisory Committee.

Cranberry Children's Centre - Public Art Project Panel

On January 17, 2014, following the administrative procedures for artist selection for civic public art projects, the selection panel reviewed the artist qualifications of the fourteen artists who responded to the open Call to Artists. Members of the selection panel included:

- Nicky Byres, Child Care Facility Operator
- Dick Chan, President-Hamilton Community Association Board
- Jennifer Heine, Artist
- Mark Mathiasen, Architect
- Mia Weinberg, Artist

Recommended Public Art Project

Following the reviews of the fourteen artist submissions, the Public Art Selection Panel unanimously recommended artist team Ron Hart and Michael Fugeta for the Cranberry Children's Centre public artwork. The Public Art Advisory Committee supports the selection panel's artist recommendation. The Committee noted that the selected artwork is a very age-appropriate, playful, colourful and lively artwork and they were also impressed with the thoughtfulness of the artists.

The proposed fence surrounding the children's playground consists of alternating sections of metal mesh and wood pickets facing Westminster Highway. The artwork will be integrated into

four sections of the wood fence replacing selected wood pickets in these locations. The artists will utilize a colour palette of up to five colours as identified in the artist's concept sketch. The new metal pickets will match the vertical wood pickets in width and height, except that at the top each will have an added and unique character.

The artist describes the artwork as follows:

"The colourful animal characters will help to give the Children's Centre a sense of address. Characters will be deployed in distinct colour and wildlife groupings at the different sections of the fence. These distinct sections will help define gathering spaces within the playscape."

Attachment 2 provides further information about the proposed artwork and artist's background.

Financial Impact

A budget of up to \$10,000 is provided to the artists for the design, fabrication and installation of the artwork including all related artist expenses. This is funded from the construction budget for the Cranberry Children's Centre (\$7,000) and the 2014 Public Art Program Budget (\$3,000). Maintenance for this project will be the responsibility of the Public Art Program.

Conclusion

The inclusion of the public artwork at the Cranberry Children's Centre ensures Richmond's continued success in strengthening the integration of public art in social infrastructure and assists in facilitating strong and safe neighbourhoods.

The new Cranberry Children's Centre Building Project represents an opportunity to provide public art to enhance the identity and vibrancy of the Hamilton community. This initiative supports the Council Term Goals to build culturally rich public spaces across Richmond and to increase public awareness, enhance quality of place and engage citizens across generations.

Staff recommends that Council endorse the proposed concept and installation of the Cranberry Children's Centre public artwork, by artists Ron Hart and Michael Fugeta, as presented in this report.



Eric Fiss
Public Art Planner
(604-247-4612)

call to artists

PUBLIC ART
RICHMOND

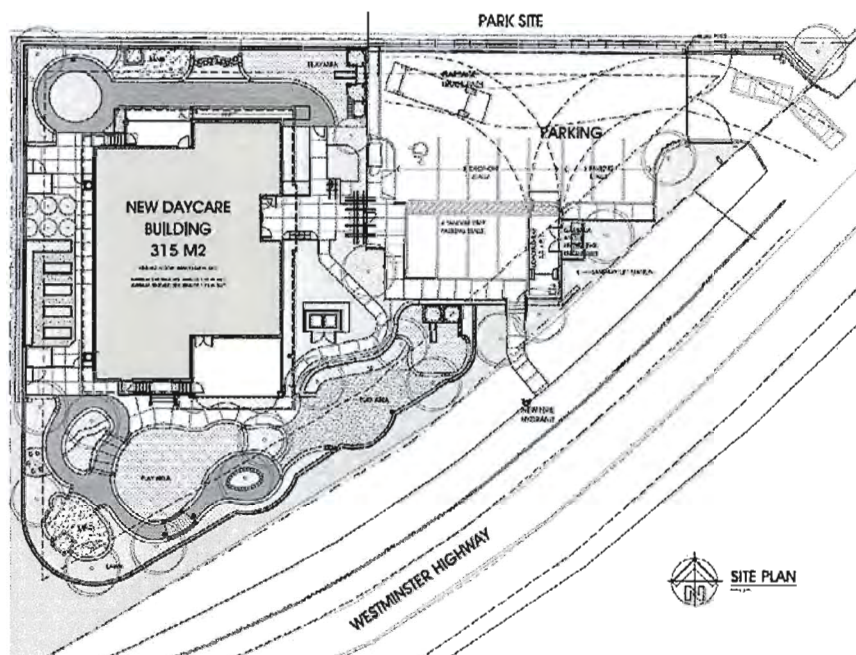


Figure 1. Site Plan

The City of Richmond's Public Art Program invites artists or artist teams to submit concept proposals and samples of past work in consideration for a permanent public artwork at the Hamilton Child Care Centre, for infant toddlers and preschool children, located at 23591 Westminster Hwy, at Boundary Road. All information about the project is contained herein.

Budget:	\$10,000 CAD.
Eligibility:	Residents of British Columbia
Completion:	June 2014
Deadline for Submissions:	January 2, 2014. 5pm

Questions? Contact the Public Art Program:
publicart@richmond.ca

**Hamilton
Child Care Centre
Public Art Project**
 November 2013

call to artists

PUBLIC ART
RICHMOND

We love Hamilton because it's a wonderful, closely-knit community that has a small town feel to it. The neighbourhood is located far enough from the urban center that not a lot of people know about it but is still within reach of major amenities and transportation. It is an ethnically diverse and family-oriented community. Whether you're out walking or playing with your kids at McLean park, you can always find residents saying hi or chatting with each other. In addition, the local elementary school and community centre offer excellent services and is staffed by individuals who care about the community.

- Lisa Wong, Hamilton Resident. Richmond Review. March 22, 2013

In recent years, the community of Hamilton has experienced a significant increase in growth and development. Considerable contributions have been made by the City to expand community amenities and services to meet the growing demand of local residents. The recent expansion of the community centre and the addition of a new fire hall witnessed the successful integration of two public art projects, *Hamilton Then And Now* by Mia Weinberg (2011) and *Spotty the Dog* by Douglas Taylor (2007). The Hamilton Child Care Centre presents an exciting opportunity for an artist or artist team to consider the notion of play, whimsy and imagination in relationship to themes (animals, nature, etc.), appropriate for infant toddlers (1-30 months) and preschool children (30 months. to 5 years).

Context



Figure 2. *Hamilton Then And Now*, Mia Weinberg (2011) and *Spotty the Dog*, Douglas Taylor (2007).

call to artists

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RICHMOND

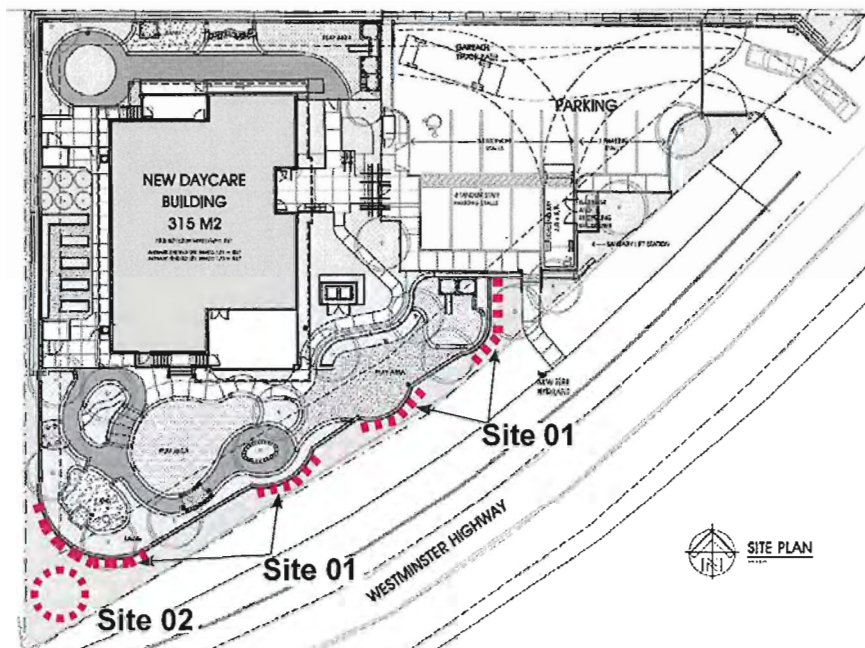
The Hamilton Child Care Centre is bound by a private residential property on the west, a strip of parkland to the north and Westminster Hwy. to the south-east. The Centre will be situated beside a future Translink bus operations and maintenance facility, north of the park, which will accommodate and employ an estimated 600 people.

This project is an opportunity for an artist or artist team to propose a permanent public artwork that will be highly visible to both pedestrians and vehicular traffic. The artwork should respond to the character of the site by taking into account scale, colour, material and texture, while keeping in mind the day to day activities of visitors, staff and children who will be using the facility. Artists have one of two choices for the location of the artwork:

1. Site 01 - 2D artwork along the perimeter wood fence facing Westminster Hwy. The artwork will be visually striking to greet visitors, staff, vehicular and pedestrian passersby.

OR

2. Site 02 - 3D artwork on a landscaped knoll, in front of a curved wood fence.



Site + Location of Artwork

23591 Westminster Hwy.,
at Boundary Road.

Figure 3. Site Plan, showing
proposed locations of public artwork

call to artists

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RICHMOND



Figure 4. Google pedestrian view. 23591 Westminster Hwy. travelling north-east at south-west corner of site



Figure 5. Google map view

Reference Photos



TOTAL LENGTH OF
FENCE = 29.8 METRES

Site 01 - Fence, Fig.7
7.9 metres (length) x
1.5 metres (high)

Site 01 - Fence, Fig.7
6.0 metres (length) x
1.5 metres (high)

Site 01 - Fence, Fig.7
6.4 metres (length) x
1.5 metres (high)

Site 01 - Fence, Fig.6
9.5 metres (length) x
1.5 metres (high)

Site 02
5.0 metre
diameter area

Site 01
(fence)

Wood

Mesh

Wood

Mesh

Wood

Mesh

Wood

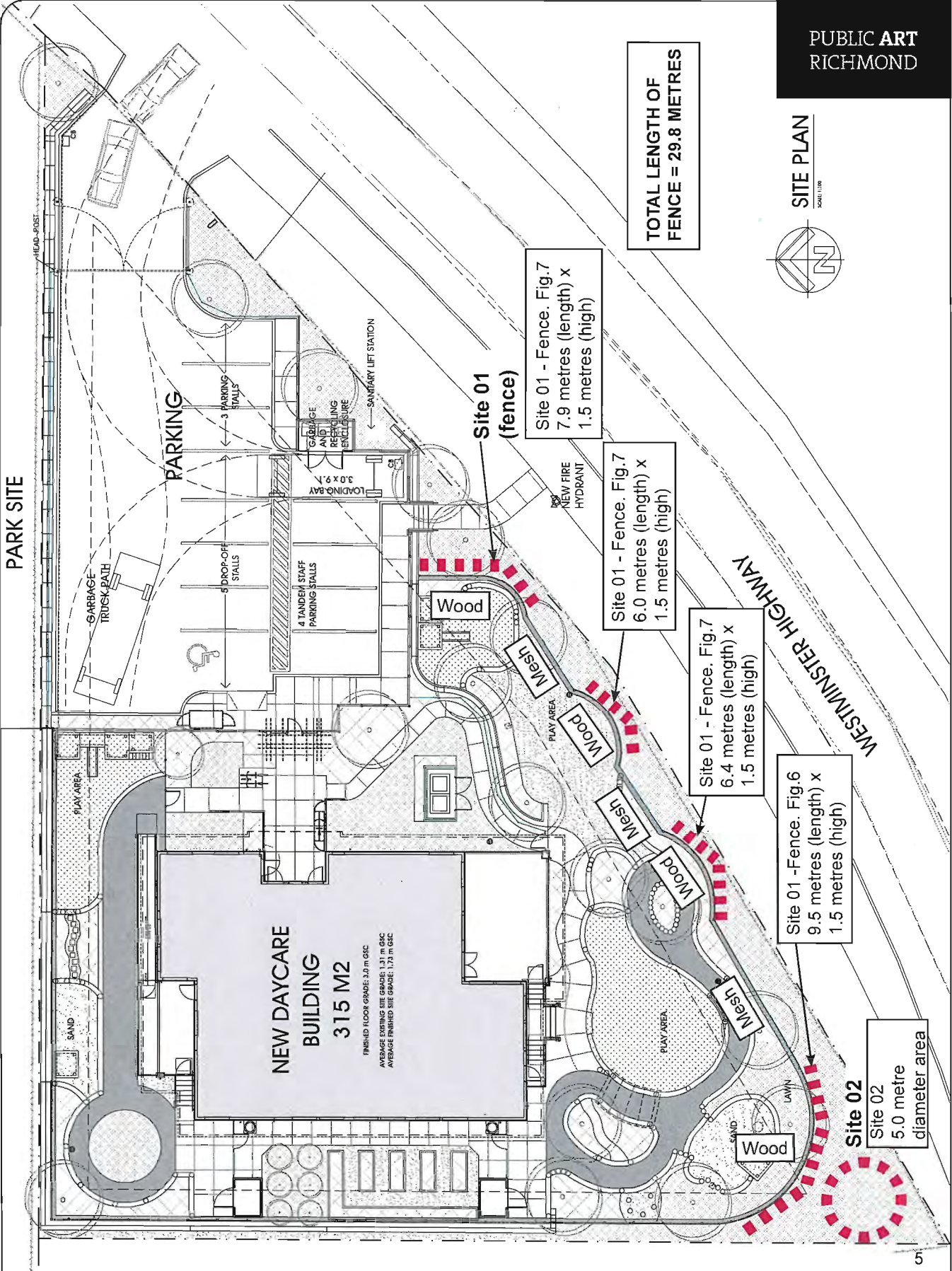
Mesh

Wood

Mesh

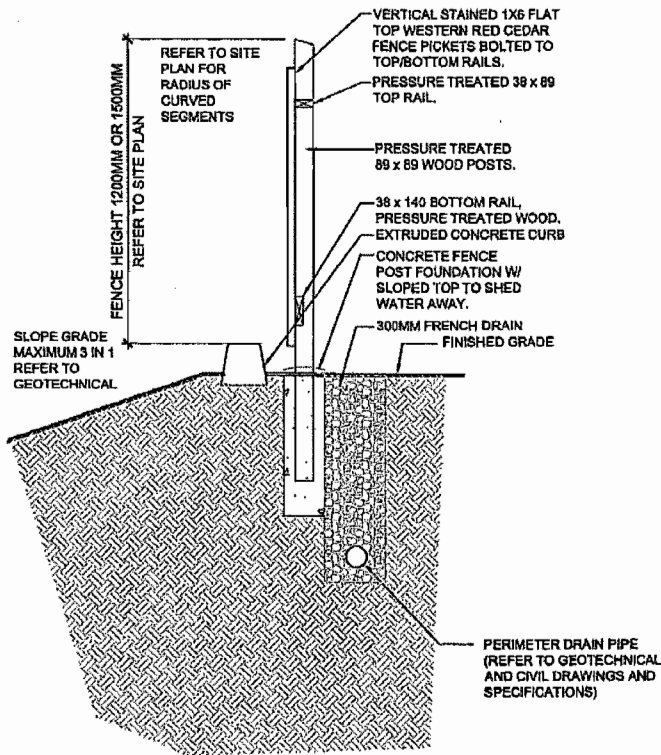
Wood

5



call to artists

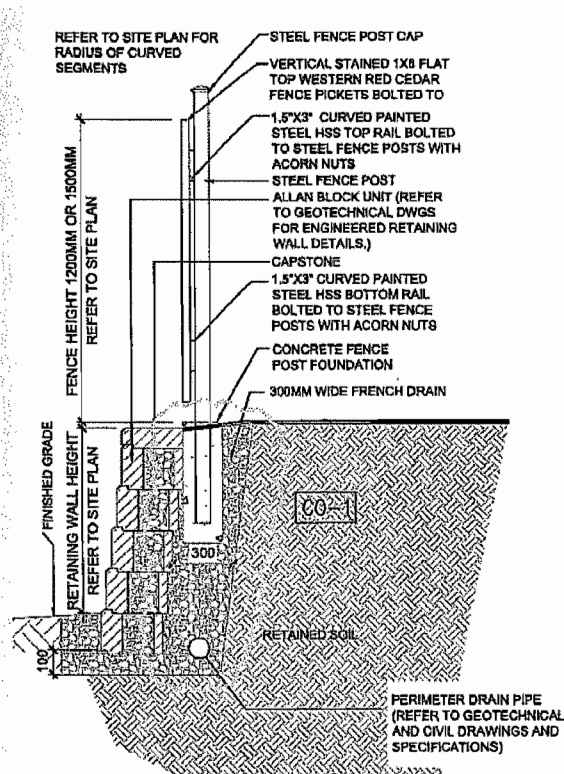
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Reference Drawings

Curved Wood Fence @ South-West Corner

Figure 6. Site 01 - Section detail drawing of wood fence. Note: materials and height of fence should be taken into consideration by artists.



Curved Wood Fence Typical

Figure 7. Site 01 - Section detail drawing of curved wood fence. Note: materials and height of fence should be taken into consideration by artists.

call to artists

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Budget

The total budget established for this project is \$10,000. This budget includes (but is not limited to): artist fees, design, permitting as needed, engineering fees, fabrication, installation, photography, insurance and all taxes. Travel to Richmond and/or accommodation is at the artist's expense.

Schedule (subject to change)

Submissions Close

Artist Selection Process
Production / Fabrication
Installation / Completion

January 2, 2014. 5pm.

January 2014
February - May 2014
June 2014

Selection Panel & Process

- The recommended artist(s)/artist team will be chosen through a one-stage selection process under the mandate of the Richmond Public Art Program.
- Artists will respond to this invitation with up to five examples of past work, written statement of intent, concept sketch, budget schedule and three references
- A 3 - 5 person selection panel consisting of artists, art professionals and community members will convene to recommend one artist for the commission.

Selection Criteria

Submissions to this Artist Call will be reviewed and decisions made based on:

- Artist qualifications* and proven capability to produce work of the highest quality;
- Artist's capacity to work in demanding environments with communities and other design professionals, where applicable;
- Appropriateness of the proposal to the project terms of reference and Public Art Program goals;
- Artistic merit of the proposal;
- Degree to which the proposal is site and community responsive, and technically feasible;
- Probability of successful completion; and
- Environmental sustainability of the proposed artwork

Terms of Reference

* Selected artist will be required to show proof of WCB coverage and \$2,000,000 general liability insurance

call to artists

PUBLIC ART
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Additional consideration may be given to proposals from artists who have not received commissions from the City of Richmond in the past three years.

Submission Requirements:

All PDF submissions should contain the following items and in the following order:

1. **Information Form** - found on last page of this document
2. **Statement of Intent** - (2 page maximum). A typed letter of interest, including artist's intent, rationale and a preliminary concept visualization. The statement should address the Selection Criteria (above), artistic discipline and practice.
3. **Resume/Curriculum Vitae** - (1 page maximum per artist) If you are submitting as a team, each member must provide a personal resume.
4. **Budget Schedule** - Please complete form on page 10.
5. **Three References** - References should be able to speak to your expertise and experience (1 page maximum)
6. **Images of Past Work** - (5 images maximum). Digital images of past work in any medium that best illustrates qualifications for this project. Include and identify the following information directly on all image pages: **title of work, medium, approx. dimensions, location, date and artist name.** Artists are also encouraged to include a brief description. One image per page. Artist's name to be identified on all pages of documents.

Submission Guidelines

1. This request for submissions ONLY accepts PDF applications via e-mail. Submissions must be contained in one single PDF file. Do not submit multiple electronic documents. All supporting documents must be complete and strictly adhere to these guidelines and submission requirements (above) or risk not being considered.
2. All submissions must be formatted to 8.5 x 11 inch pages. Portfolio images and concept sketches would be best formatted to Landscape format.
3. The Artist's (or Team's) name should appear in the right header of every page.
4. Submission files must be 5MB or smaller
5. If submitting as a Team, the team should designate one representative to complete the entry form. Each team member must submit an individual Resume/CV (See Submission Requirements)

Terms of Reference

Submission Requirements:

All documents must be PDF files and sent by e-mail to:

publicart@richmond.ca

call to artists

PUBLIC ART
RICHMOND

Additional Information

Please be advised that the City and the selection panel are not obliged to accept any of the submissions, and may reject all submissions. The City reserves the right to reissue the Artist Call as required.

All submissions to this Artist Call become the property of the City. All information provided under the submission is subject to the Freedom of Information and Protection of Privacy Act (BC) and shall only be withheld from release if an exemption from release is permitted by the Act. The artist shall retain copyright in the concept proposal. While every precaution will be taken to prevent the loss or damage of submissions, the City and its agents shall not be liable for any loss or damage, however caused.

Deadline for Submissions

Submissions must be received by **Thursday January 2, 2014**. Extensions to this deadline will not be granted under any circumstances. Submissions received after the deadline and those that are found to be incomplete will not be reviewed.

Questions? Contact:

Public Art Program
City of Richmond
604-204 8671
publicart@richmond.ca

For more information on the Public Art Program please visit www.richmond.ca/publicart.

Terms of Reference

call to artists

PUBLIC ART
RICHMOND

Expenditures	Details/Notes	Cost
Administration costs (permits, documentation)		
Artist fees		
Design and Engineering		
Materials and Fabrication		
Pre-installation storage costs		
Transportation, and installation		
Insurance, Taxes		
Total Expenditures (Not to exceed \$10,000 CAD)		

Budget Schedule

call to artists

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HAMILTON CHILD CARE CENTRE Submission Deadline: **Thursday January 2, 2014. 5pm.**
Attach one (1) copy of this form as the first page of the submission.

Name: _____

Team Name (if applicable): _____

Address: _____

City/Postal Code _____

Primary Phone: _____ Secondary Phone: _____

Email _____ Website: _____
(one website or blog only)

Submission Checklist:

Please provide these items in the following order (as outlined in the Submission Requirements)

- Information Form (this page)
- Letter of Intent (maximum 1 page)
- Concept Sketch (maximum 1 page)
- Resume/Curriculum vitae (maximum 1 pages per team member, if applicable)
- Budget Schedule (Complete form on page 10)
- Three References (name, title, contact information: maximum 1 page)
- Five Images of Past Work (maximum 5 pages: do not include multiple images on one page; landscape orientation, include title of artwork, year, dimensions and materials on each image page).

**Incomplete submissions will not be accepted. E-mailed submissions over 5MB will not be accepted.
Information beyond what is listed in the checklist will not be reviewed.**

List Team Member Names Here (Team Lead complete above portion):

Please let us know how you found out about this opportunity:

Would you like to receive direct emails from the Richmond Public Art Program? _____

Signature: _____ Date: _____

Submit applications by e-mail to:
publicart@richmond.ca



Letter of Intent + Approach

TEAM CAPABILITY

Michael Fugeta and Ron Hart bring a diverse set of talents together, forming a strategic collaboration which distinguishes them among artists. Combined expertise and practice in Art, Architecture, Interactive Design and Fabrication Technology provides our team with the capacity to deliver captivating and dynamic forms designed to engage individuals and activate public space.

We have been involved in numerous public art projects from small scale interactive public art works that encourage audience participation to large scale public art projects where we played key roles in design development and fabrication. In addition to our history of artistic engagement, our architectural work and study furnishes us with knowledge of place-making through built form and understanding of the themes associated with public space.

CONCEPT

The proposal is for a highly visible, colorful and articulated intervention that integrates seamlessly into the proposed landscape fencing. The colourful animal characters will help to give the Hamilton Centre a sense of address. Characters will be deployed in distinct colour and wildlife groupings at the different sections of the fence outlined in the request for proposals. These distinct sections will help define gathering spaces within the playscape.

The figures will help to populate the playground offering a variety of forms and shadows promoting imagination and learning (i.e. play) among children and adults alike. Children will be able to identify with certain wildlife figures embracing their uniqueness and celebrating their individual qualities.

Overall, it is a happy, colourful and simple intervention that will be simple to install, robust, long lasting, and an effective use of the budget. Most importantly, it will inspire fun and imagination for all ages.

DESCRIPTION

We propose to replace a selection of vertical pickets in the wood sections of the playground fence. The new pieces will match the vertical pickets in width and height except that each will have at the top an added and unique character. We propose to work with thin steel plate as it is relatively inexpensive, easily powder coated for an assortment of vibrant and durable colours, and amenable to digital fabrication for the cutting of individual figures. We have included an allowance in our calculations for a simple alteration of the connection detail to the horizontal members.



Artist Team

p. 1/2

Michael Fugeta

Artist

Michael Fugeta has studied and worked in the field of art and architecture for over 12 years. He graduated with a Bachelor of Fine Arts from the University of British Columbia Okanagan in 2005.

Michael has had first hand experience with large scale public art proposals in both Kelowna and Vancouver. In 2007, Michael had the opportunity to work closely with local Vancouver studio Pechel and Robb Art + Architecture on a major public art project for the newly built Olympic Village in South East False Creek. The Neighborhood Energy Utility (NEU) Stacks were completed in 2009 and the following year received the prestigious Lieutenant-Governor of BC Award in Architecture Medal. In 2008, Michael also had the opportunity to work with artist Byron Johnston on a public art proposal for the newly built William R. Bennett Bridge. The proposal for 2 separate monuments were to commemorate the bridge and the local histories. The proposal was a short-list finalist.

ACADEMIC

Master of Architecture, University of British Columbia 2009
Bachelor of Fine Arts, with distinction, University of British Columbia Okanagan 2005
Study Abroad, University of Applied Sciences Faculty of Design, Hamburg, Germany 2004

AWARDS

Lieutenant-Governor of BC Award in Architecture Medal for False Creek Energy Centre Stacks with Pechel and Robb Art + Architecture 2010
Merrick Master of Architecture Scholarship 2007
Graduate Entrance Scholarship 2005
Helen Pitt Fund for Fine Arts Scholarship for outstanding merit in the visual arts 2005

Ron Hart

Architect

Ron Hart has worked in the field of art and architecture for the past 7 years, designing and facilitating the construction of everything from small scale art gallery exhibits to commercial and civic buildings. He possesses a keen interest in the process of design and an in-depth understanding of construction sequencing, materials and methods.

Ron has worked with Michael on numerous projects both at home and abroad. Ron and Michael share an interest in the possibilities of digital fabrication, and to that end have completed several projects using customizable and efficient fabrication processes.

Ron's approach to art and design begins with research into the subject, the physical attributes and formation of the space in question, and the histories and memories that give rise to ideas of place. Ron's strengths lie in his ability to contribute to this initial discussion, to then derive design direction, and to work through the necessarily collaborative process of detailing and construction.

ACADEMIC

Master of Architecture, University of British Columbia 2009
Havana Cuba Studies Abroad, 2006
Visual Art, University of Victoria, 2005
B.Sc., University of British Columbia 1998

AWARDS

Alpha Rho Chi Medal 2009
RAIC Honour Roll 2009
CEI Master of Architecture Scholarship 2008
Frank Stanzl Memorial Scholarship 2008





City of Richmond

Report to Committee

To: Parks, Recreation and Cultural Services
Committee

Date: January 27, 2014

From: Cathryn Volkering Carlile
General Manager - Community Services

File: 06-2052-25-FCC1/Vol
01

Re: Naming of Community Centre - 5900 Minoru Boulevard

Staff Recommendation

That the City's Community Centre being constructed at 5900 Minoru Boulevard be named City Centre Community Centre.

Serena Lusk
Senior Manager, Recreation and Sport Services
(604-276-4068)

REPORT CONCURRENCE	
CONCURRENCE OF GENERAL MANAGER FOR C. CARLILE	
REVIEWED BY STAFF REPORT / AGENDA REVIEW SUBCOMMITTEE	INITIALS:
APPROVED BY CAO 	

Staff Report

Origin

On July 25, 2011, City Council approved the development permit for phase 2 of the “Quintet Development” the portion of the development that includes both the Community Centre and Trinity Western University.

On February 28, 2012, City Council endorsed the building program for the Community Centre, which includes a large fitness studio and change rooms, multipurpose program spaces, aerobic and dance studio, music rooms, arts space, and meeting rooms. The facility also has a community living room and large lobby spaces that will allow people to gather informally, connect and engage with others in a safe and welcoming environment.

The purpose of this report is to recommend the adoption of a name for the Community Centre.

This report supports Council term goal and priority:

- 4.1 Development and implementation of a comprehensive facility development plan for current and future needs that:...responds to the City Centre facility needs to address the growing population.....

Analysis

The base building, which includes the Community Centre is now under construction and staff is working with the architects to complete the final design details for the Community Centre. While construction of the Community Centre will not start until the Fall of 2014, branding of the facility including the development of signage has started.

Staff are recommending that the facility be called the City Centre Community Centre, which is in keeping with Council Policy No. 2016, Naming of Public Buildings – Parks or Places which permits the naming of public buildings to include:

“a program, activity or symbol is pertinent to the life of the City specific to the location and may be used to effectively promote and market the program or activity both within and outside the community.”

This name fits this requirement and is consistent with the naming of the other community centres in Richmond, which are named for both the area within which they are located, and the function that they perform in the community, i.e., Thompson Community Centre. Other names were considered, however keeping a consistent naming practice with the other community centres, and creating a link to the Association who will partner with the City on the facility’s operation were considered to be a priority.

The City Centre Community Association is also in support of this recommendation.

Financial Impact

There is no financial impact as a result of selecting a name for this City facility.

Conclusion

Staff are recommending that the community centre at 5900 Minoru Boulevard be named the City Centre Community Centre.

A handwritten signature in black ink, appearing to read "BAyers".

Elizabeth Ayers
Manager, Community Recreation Services
(604-247-4669)



City of Richmond

Report to Committee

To: Parks, Recreation and Cultural Services
Committee

Date: February 4, 2014

From: Mike Redpath
Senior Manager, Parks

File: 06-2345-20-
WLSG2/Vol 01

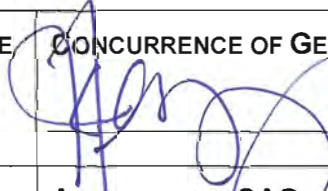
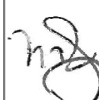
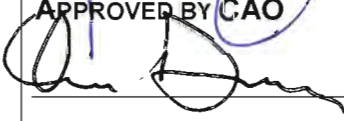
Re: **Richmond Community Memorial Garden Site Selection Review**

Staff Recommendation

1. That staff issue a Request for Expressions of Interest for the Richmond Community Memorial Garden as detailed in the report titled "Richmond Community Memorial Garden Site Selection Review," dated February 4, 2014, from the Senior Manager, Parks.
2. That staff report back to Council with the results of the Request for Expression of Interest and recommended next steps.

Mike Redpath
Senior Manager, Parks
(604-247-4942)

Att. 7

REPORT CONCURRENCE		
ROUTED TO:	CONCURRENCE	CONCURRENCE OF GENERAL MANAGER
Real Estate Services	<input checked="" type="checkbox"/>	 FOR C. CARLITE
REVIEWED BY STAFF REPORT / AGENDA REVIEW SUBCOMMITTEE	INITIALS: 	APPROVED BY CAO 

Staff Report

Origin

At the October 29, 2013, Parks, Recreation and Cultural Services Committee meeting staff presented a report regarding an Expression of Interest for the development and operation of a Memorial Garden in Richmond. As a response to the report, staff received the following referral from the Committee:

That the staff report titled “Richmond Memorial Garden Expression of Interest” be referred back to staff for a review of a longer list of appropriate City-owned sites including the Nature Park East and the East Richmond Bog Forest.

This report relates to the achievement of the following 2011-2014 Council Term Goal:

#2.7 Completion of the Memorial Garden Project

The purpose of this report is to describe the site selection criteria and the evaluation of the candidate sites for the proposed Memorial Garden in order to present options for proceeding with site selection for Council’s consideration.

Analysis

In the interest of providing an understanding of the selection of candidate sites, the findings of the Memorial Garden Feasibility Study are reviewed in this report.

The proposed Richmond Community Memorial Garden has been conceived as a facility serving both community and individual memorialization purposes. Through the Council approved 2005 City of Richmond Memorial Garden Feasibility Study, it was determined that:

- “1 . A facility offering a range of features and services for the interment of cremated remains would meet the needs of Richmond residents”;
2. The facility would more likely be financially successful if it was located on City-owned land, e.g., land costs removed from the pro forma”;
3. The City does not currently have the capacity to enter into this new line of business so it was recommended that the City enter into a agreement with a private sector organization to develop and operate the memorial garden”; and
4. The governance of the memorial garden includes City and community oversight.”

Richmond residents consulted during the Feasibility Study expressed a strong desire to include recognition of people and events of importance to the community and for the memorial garden to provide a public amenity similar to civically operated cemeteries, e.g., Mountain View Cemetery in Vancouver. For these reasons, the proposed memorial garden is referred to as the Richmond *Community* Memorial Garden.

Community Memorial Garden Services and Site Characteristics

The purpose of the 2005 Memorial Garden Feasibility Study, in part, was to identify the type of memorial services that Richmond residents prefer as well as the site characteristics that would support a memorial garden offering those services, e.g., size and location. The Feasibility Study findings are as follows:

- 53% of residents indicate that they would be somewhat or very likely to have their remains placed in a memorial garden in Richmond if it were made available.
- 51% of residents preferred interment of ashes in a columbarium (a structure or building containing niches for cremated remains).
- Just under 3 in 10 residents would be very likely to consider alternative means of memorializing the deceased, e.g., memorial plaques, maintaining a tree or flower bed, sponsoring statuary.
- Site features of greatest importance to Richmond residents include; a quiet setting, a location near a natural area/open space, not in proximity to residential neighbourhoods, attractive views.
- Other desirable features were described such as clearly defined garden walls, views of the mountains, a flowing water feature and views of the river or other water.

*Note: Refer to Attachment 1 for images of facilities that reflect residents' preferences

The Feasibility Study concluded that a minimum five acre site would be viable and have a projected capacity that would take 40 years to fill.

Site Selection Criteria

During the course of the Feasibility Study, site selection criteria were developed through a telephone survey, a community stakeholder's workshop, a follow-up focus group meeting, a staff steering committee workshop, consultant recommendations on service options and market preferences, and the private funeral services sector perspective gained through individual interviews.

The following are eight criteria that reflect the community's perspective and address potential market interests:

1. **Compatible** – There are no negative impacts from adjacent uses, e.g., a quiet setting, no highway/industrial/airport impacts.
2. **Flexible** – Existing uses that are supported by permanent infrastructure or have requirements that are particular to a location are not considered flexible, e.g., programmed sport use, natural areas with high ecological value.
3. **Non-residential** – Not directly adjacent to residential areas,

4. **Accessible** – Accessible by public transit, e.g., a bus stop within 800 meters,
5. **Scenic** – A scenic, natural setting with water views if possible,
6. **Serviced** – A fully serviced site, e.g., water, electricity, sewer,
7. **Existing Features** – A site with desirable existing natural or built features, e.g., existing trees, buildings that may be repurposed,
8. **Public** – Associated with public open space to facilitate memorial celebration and community use.

One additional criteria has been added:

9. **Non-Agricultural Land Reserve (ALR)** – An ALR designation is considered a constraint given that previous applications for non-farm use for similar proposals were not approved by the Provincial Agricultural Land Commission.

Candidate Sites

A total of 20 City-owned sites (Attachment 2) that are a minimum of five acres in size or, where a portion of the site of at least five acres could be used for a community memorial garden, have been evaluated. The Northeast Bog Forest has been added as per the referral by Parks, Recreation and Cultural Services (PRCS) Committee on October 29, 2013.

Sites Located Outside the City's Perimeter Dikes

As per the Provincial Cremation, Interment and Funeral Services Act, the land must be considered suited to a place of interment in perpetuity. Since MacDonald Beach and Garry Point Park are located outside the dikes, presenting risks to long-term viability, both parks have been removed from further evaluation.

Sites Located Within the ALR

At the October 29, 2013, PRCS Committee meeting, staff were asked to consider the feasibility and potential for sites located within the Provincial ALR designated areas.

Parks staff met with Provincial Agricultural Land Commission (ALC) staff on November 5, 2013, to discuss the implications of selecting a site within the ALR. Since a memorial garden is not considered an agricultural use by the ALC, the City was advised that it would be required to make an application to use land in the ALR for non-farm purposes. Some of the factors that the ALC takes into consideration are:

- The permanence of the use and whether it will permanently damage the physical capability of the land for agricultural use;
- The relationship with adjacent uses (i.e., are the adjacent uses agricultural or non-agricultural, is there potential conflict with adjacent agricultural uses);
- The ability to accommodate the use outside the ALR;
- Demonstration of community need; and

- Any benefits to agriculture as a result of the proposal, as per Richmond's 2003 Agriculture Viability Strategy.

Applications are reviewed and approved by the ALC Board who meets bimonthly. If a site within the ALR is selected, then staff will prepare an application to the ALC for their consideration.

Candidate Site Evaluation

The evaluation matrix on the following page has been developed to assist with site selection. The green arrows indicate that the site satisfies the criteria while the red arrows indicate that the site does not satisfy the criteria. The orange arrows indicate that the site does not fully satisfy the criteria, for example under the "Non-residential" criterion, where the whole site is adjacent to a residential area but where space is potentially available within the site to allow for some separation. Orange arrows are also used under the "Serviced" criterion to indicate that the existing site services (i.e., water, sewer, electricity, drainage) are not adequate for the proposed use and would have to be upgraded.

Site Evaluation Matrix

Rank*	Candidate Site Name	Site Selection Criteria								
		Compatible	Flexible	Non-residential	Accessible	Scenic	Serviced	Existing Features	Public	Non-ALR
8	Woodward's Landing	↑	↑	↑	↑	↑	↔	↑	↑	↑
5	South Dyke Agriculture Park	↓	↑	↑	↓	↑	↓	↑	↑	↓
5	Terra Nova Natural Area	↑	↓	↔	↓	↑	↔	↑	↑	↑
5	Woodward Slough Natural Area	↑	↓	↑	↓	↑	↓	↑	↑	↓
5	12751/12851 Rice Mill Road	↓	↑	↑	↑	↓	↑	↓	↓	↑
5	14420/14580 Triangle Road	↓	↓	↑	↑	↑	↔	↓	↑	↑
5	Blundell Park	↑	↓	↔	↑	↓	↓	↑	↑	↑
5	Palmer Garden City Park	↑	↓	↔	↑	↓	↓	↑	↑	↑
5	South Arm Community Park	↑	↓	↔	↑	↓	↓	↑	↑	↑
5	Hugh Boyd Community Park (Pitch and Putt)	↑	↓	↔	↑	↓	↓	↑	↑	↑
5	Steveston Community Park	↑	↓	↔	↑	↓	↓	↑	↑	↑
5	Garden City Community Park	↑	↓	↔	↑	↓	↓	↑	↑	↑
5	King George Community Park	↑	↓	↔	↑	↓	↓	↑	↑	↑
5	The Gardens Agricultural Park	↓	↑	↓	↑	↑	↓	↑	↑	↓
5	Garden City Lands	↓	↑	↑	↑	↑	↓	↓	↑	↓
4	Northeast Bog Forest	↑	↓	↑	↓	↑	↓	↓	↑	↓
4	Nature Park East	↓	↓	↑	↑	↑	↓	↓	↑	↓
2	Sidaway Road Public Works Yard	↓	↓	↑	↑	↓	↔	↓	↓	↓

*The rank of each site correlates with the number of positive rankings (fully satisfies the criteria)

Ranking Legend	
↑	Fully satisfies the criteria
↔	Does not fully satisfy the criteria
↓	Does not satisfy the criteria

Two of the top ranked sites are further analysed below regarding their suitability for a community memorial garden. In addition, two sites that were suggested by Council for consideration at the October 29, 2013, PRCS Committee meeting are included in order of priority:

1. Woodward's Landing Park (Attachment 3)

The Woodward's Landing site satisfies all of the site selection criteria except for the "Serviced" criterion since the site services would have to be upgraded. At the October 29, 2013, PRCS Committee meeting, staff were directed to consider other sites.

2. South Dyke Agricultural Park (Attachment 4)

The 51.7 acre City-owned property at 13871 No. 3 Road, between No. 3 Road and Gilbert Road is currently used for agricultural purposes, including the City tree nursery, a community garden and the Sharing Farm orchard. The remainder of the site is leased for farming purposes. This site satisfies five of the nine criteria:

- The existing farm uses on the site are flexible, there are no adjacent residential uses, it is in proximity to the river, the surrounding agricultural lands offer a tranquil setting while the south eastern part of the site has a stand of significant trees and is part of a larger recreational zone, including the South Dyke Trail.
- It does not meet the "Compatible" criterion due to the odours emitted by the adjacent Metro Vancouver sewage treatment plant, it is not considered "Accessible" since the nearest transit route is 2.5 kilometres away, the site is not serviced and it is within the ALR so does not satisfy the "Non-ALR" criterion.

The additional sites recommended by Council are:

3. Richmond Nature Park East (Attachment 5)

A five acre area may be located on a portion of the site that has been previously disturbed and where a current parking lot exists today. This site satisfies four of the site selection criteria:

- The site is not adjacent to residential uses, is immediately accessible by public transit, and provides a scenic natural setting in a public park.
- It has received a negative ranking under the "Compatible" criterion due to the impacts of highway and aircraft noise; the "Flexible" criterion since the park is a bog with high ecological value; the "Serviced" criterion as it is un-serviced; the "Existing Features" criterion because it does not have any existing features that could be incorporated within a memorial garden; and, the "Non-ALR" criterion as it is located within the ALR.

Submission of a non-farm use application to the Provincial ALC would be required. In addition, geotechnical works would be necessary to minimize impact to the surrounding bog areas and the site's hydrology. It should be noted that this site has also been considered for future Civic facilities including a potential kennel/animal shelter.

4. North East Bog Forest (Attachment 6)

The footprint of a five acre area may be located where drainage activities have altered the bog environment. This site satisfies four of the site selection criteria:

- This location is in a quiet, rural location without residential uses nearby as well as being very scenic with natural features in a public park setting.
- It does not satisfy the "Flexible" criterion since the park is a bog with high ecological value; the "Accessible" criterion with public transit at least 2 kilometres away; the "Serviced" Criterion since the site is un-serviced; the "Existing Features" criterion because it does not have any existing features that could be incorporated within a memorial garden; and the "Non-ALR" criterion as it is located within the ALR.

Submission of a non-farm use application to the Provincial ALC would be required. In addition, geotechnical works would be necessary to minimize impact to the surrounding bog areas and the site's hydrology.

Site Selection Options

Option 1 - Issue the Request for Expressions of Interest (RFEOI) including a short-list of candidate sites (Recommended)

While the Memorial Garden Feasibility Study included consultation with the funeral services industry, the input received on location and site characteristics was of a general nature. In order to obtain more specific input from the industry, the RFEOI could request an analysis of the suitability of a short list of candidate sites (e.g., three). This would allow the City to engage industry expertise to investigate candidate sites in addition to testing the broader feasibility of the proposed Community Memorial Garden.

This approach would advance the Community Memorial Garden on two fronts; first, prospective proponents could be pre-qualified for a subsequent Request for Proposal to develop and operate the facility and second, the selection of a site will be more fully informed through industry input.

The purpose of the RFEOI and the process associated with it were outlined in the report titled "Richmond Memorial Garden Expression of Interest" submitted to PRCS Committee at the Oct 29, 2013, Committee meeting and an excerpt is attached to this report (Attachment 7).

Option 2 - Select a preferred site prior to issuing the RFEOI (Not Recommended)

A preferred site could be chosen in advance of the RFEOI based on the site evaluation presented in this report. The RFEOI could then be issued specifically identifying a site. The

preferred site, chosen according to the site evaluation included in this report, is Woodward's Landing since it satisfies eight of the nine criteria.

In the case of either option, a community consultation process will be conducted to both inform the community about the project and to test the community's acceptance of the chosen site. The consultation should occur prior to moving forward with a Request for Proposal, which will identify the site for the memorial garden.

Next Steps

The following process to advance the Community Memorial Garden project as described in Option 1 is proposed:

1. Issue a Request for Expression of Interest to test the feasibility of a private sector proponent engaging with the City of Richmond to develop and operate the Community Memorial Garden and to determine the suitability of the candidate sites;
2. Report back to Council with a short list of proponents and a recommended site to be included in the future Request for Proposal phase;
3. Conduct a community consultation process regarding the proposed Community Memorial Garden; and
4. Report back to Council with an implementation strategy including an overview of the Request for Proposal.

Financial Impact

There are no financial implications as a result of this report.

Conclusion

According to the recommendations of the Memorial Garden Feasibility Study, a total of 20 City-owned sites have been considered as candidate sites for the proposed Richmond Community Memorial Garden. They have been ranked according to the site selection criteria with five sites offered for Council's consideration.

This report provides two options for advancing the project with **Option 1 - Issue the Request for Expressions of Interest (RFEOI) including a short-list of candidate sites** recommended for Council's consideration. This option would provide the City with additional evaluation of the candidate sites from a market perspective to add to the input already received. A potential site can then be selected for further community consultation and for inclusion in the Request for Proposal. The results of the process described in Option 1 would be the subject of a future report to Council.



Jamie Esko
Park Planner
(604-233-3341)

Attachment 1 – Representative Memorial Garden Images

Attachment 2 – Community Memorial Garden Candidate Site Evaluation

Attachment 3 – Woodward’s Landing Park

Attachment 4 – South Dyke Agricultural Park

Attachment 5 – Richmond Nature Park East

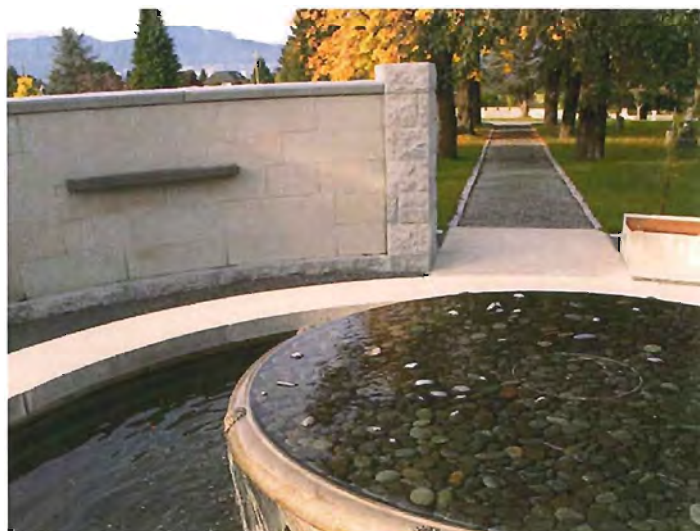
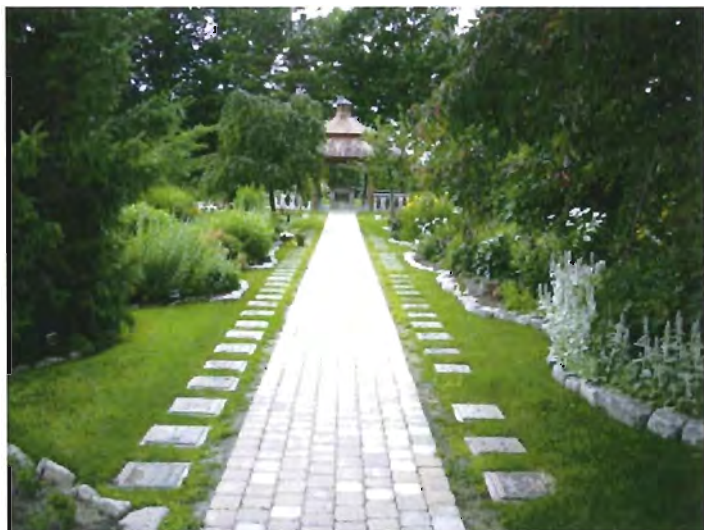
Attachment 6 – North East Bog Forest

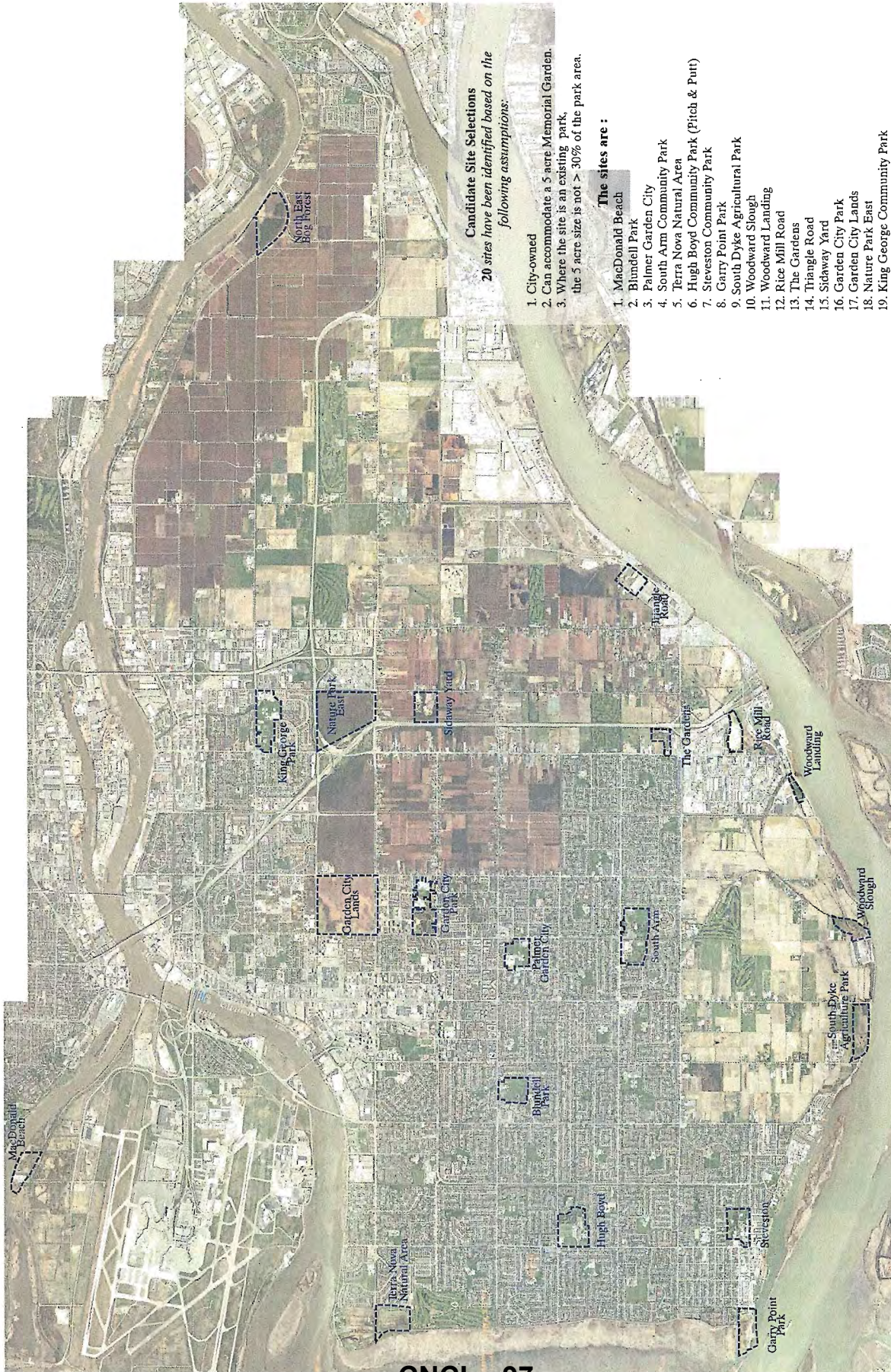
Attachment 7 - Expression of Interest Overview

Attachment 1

Representative Memorial Garden Images

These images show the types of services and the types of landscapes that could be offered at a memorial garden in Richmond.





CNCL - 97



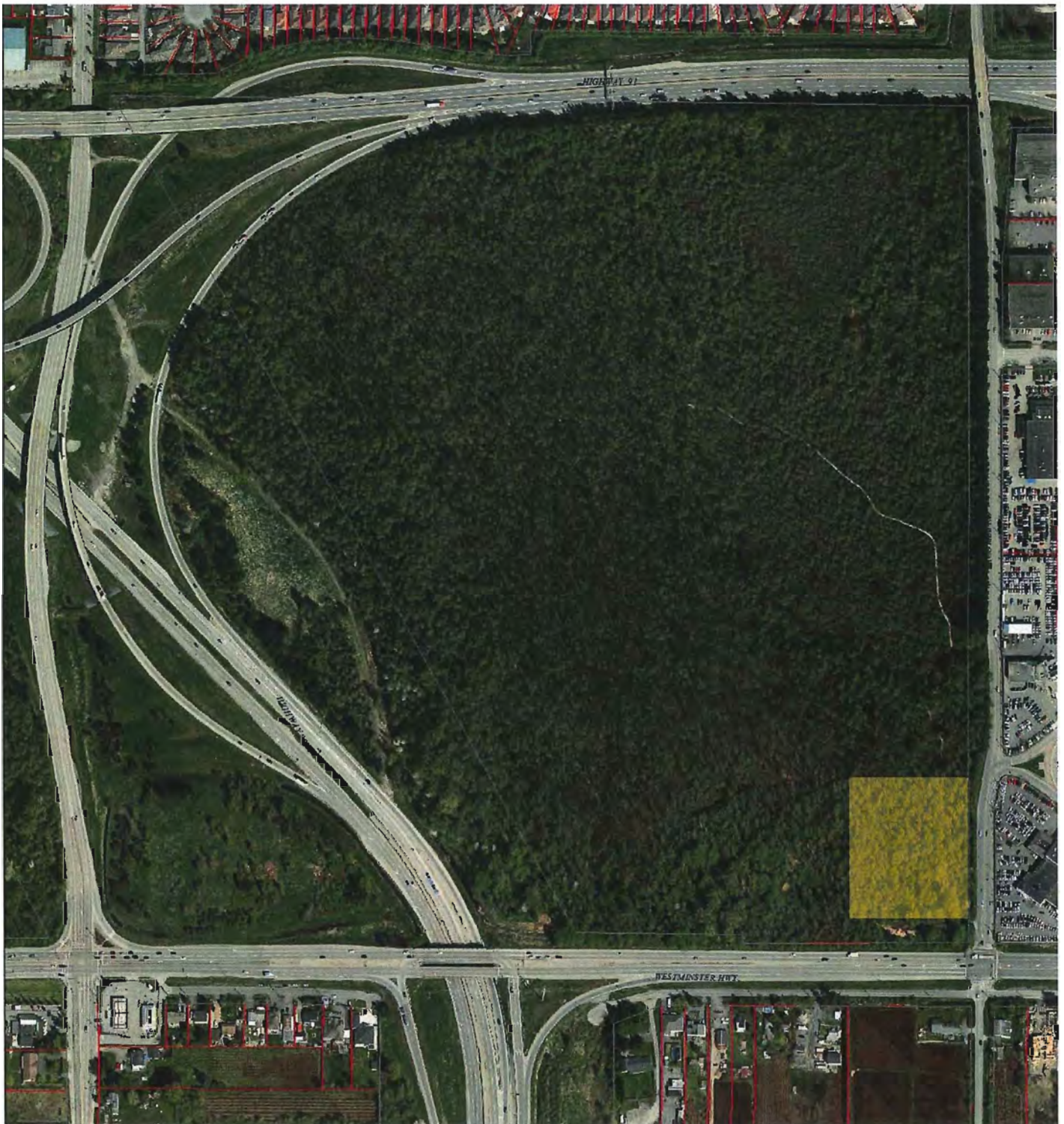
Size: 6.25 acres

Woodward's Landing Park



 Approx. location of a 5 acre area

South Dyke Agricultural Park



Approx. location of a 5 acre area

Richmond Nature Park East



 Approx. location of a 5 acre area

North East Bog Forest

Richmond Community Memorial Garden Expression of Interest Overview

The purpose of the EOI will be to inform potential proponents of the opportunity to engage with the City of Richmond to develop and operate a memorial garden. The EOI will outline the type of information the City is seeking from the marketplace and solicit proposals for the services described. The proponents will be evaluated on their capabilities and expertise including organizational and technical capacity, qualifications relevant to the development and operation of this type of facility, and experience of key staff members.

The EOI will provide general background about the City, including demographic information, a description of the Woodward Landing site, as well as a summary of the feasibility study results. It will describe the desired range of memorial garden services identified through the feasibility study, which includes both community and individual memorialisation and accommodation of diverse religious and cultural traditions.

The development scope and the financial and governance relationship between the City and the operator will be outlined in general terms but it is expected that the EOI submissions will propose options for governance and business terms in greater detail for the City's consideration. These terms will be a key part of the evaluation of the EOI submissions.

The EOI submissions will be used to prepare a short list of the most qualified proponents that will subsequently be included in a Request for Proposal (RFP) call for the development (design and construction) and operation of the memorial garden.



City of Richmond

Report to Committee

To: General Purposes Committee

Date: February 24, 2014

From: Tom Stewart, ASCT.
Director, Public Works

File: 10-6370-01/2014-Vol
01




Re: Expression of Interest in Multi-Material BC's Advisory Committee

Staff Recommendation

That:

1. The City of Richmond apply to UBCM for representation on Multi-Material BC's Advisory Committee;
2. A member of Council be nominated for consideration by UBCM as the City's elected representative to Multi-Material BC's Advisory Committee; and
3. The General Manager, Engineering & Public Works be submitted for consideration by UBCM as a technical staff representative to Multi-Material BC's Advisory Committee.

Tom Stewart, ASCT.
Director, Public Works
(604-233-3301)

REPORT CONCURRENCE	
CONCURRENCE OF GENERAL MANAGER 	
REVIEWED BY STAFF REPORT / AGENDA REVIEW SUBCOMMITTEE	INITIALS: 
APPROVED BY CAO 	

Staff Report

Origin

Correspondence was received from UBCM seeking an expression of interest from local government representatives who wish to participate on Multi-Material BC's new Advisory Committee.

This report recommends that a member of Council and the General Manager of Engineering & Public Works be put forward for consideration by UBCM as representatives to the Committee.

Analysis

Multi-Material BC (MMBC) has formed an Advisory Committee to serve as a forum for stakeholders impacted by the new packaging and printed paper stewardship program. The Advisory Committee will be kept informed of program developments and will provide feedback on core program elements. The purpose of the Advisory Committee is to:

- provide feedback and advice on MMBC's program design and suggest modifications to meet program objectives and targets;
- identify issues that might concern stakeholders and suggest how they might be addressed;
- foster collaborative problem-solving on matters of joint-interest;
- foster better communication and understanding between MMBC and stakeholders impacted by MMBC's program; and
- ensure Committee members are kept up to date on the performance of MMBC's program, and provide them with the information they need to keep their constituencies informed.

UBCM is being offered three positions on the Advisory Committee, comprised of two elected representatives and one staff technical representative. UBCM's call for expressions of interest closes on March 12, 2014. Other representatives on the Advisory Committee will include service providers, producers/stewards, environmental NGO's and/or consumers/residents.

It is suggested that representation from the City of Richmond be put forward through this expression of interest. Consideration should be given to those who have background and knowledge of extended producer responsibility programs overall as well as considerable exposure to the MMBC program to date. It is recommended that an elected representative be selected by Council and the General Manager, Engineering & Public Works be put forward as the staff representative for consideration by UBCM on the MMBC Advisory Committee.


The Terms of Reference for the Advisory Committee are currently being developed. MMBC anticipates that the Advisory Committee will have its inaugural meeting during the week of March 17, 2014.

Financial Impact

None.

Conclusion

MMBC is establishing an Advisory Committee for consultation and advice concerning the new packaging and printed paper stewardship program. UBCM has been invited to appoint three positions to this Advisory Committee. This report recommends that an expression of interest for an elected and staff representative from Richmond be put forward for consideration on the Advisory Committee.



Suzanne Bycraft
Mgr, Fleet & Environmental Programs
(604-233-3338)

SJB:



City of Richmond

Report to Committee

To: General Purposes Committee
From: Serena Lusk
Senior Manager, Recreation and Sport Services
Date: February 25, 2014
File: 06-2052-55-01/Vol 01
Re: Public Engagement in Minoru Major Facility Replacements

Staff Recommendation

That:

1. The Public Engagement Plan described in the report, "Public Engagement in Minoru Major Facility Replacements," dated February 25, 2014 from the Senior Manager, Recreation and Sport Services, be approved.
2. The Terms of Reference for the revised Minoru Major Facility Stakeholder Advisory Committee as described in Attachment 1 of the report, "Community Engagement in Minoru Major Facility Replacements," dated February 25, 2014 from the Senior Manager, Recreation and Sport Services, be approved.
3. The Terms of Reference for the Major Facility Building/Project Technical Advisory Committee as described in Attachment 2 of the report, "Community Engagement in Minoru Major Facility Replacements," dated February 25, 2014 from the Senior Manager, Recreation and Sport Services, be approved.

Serena Lusk

Serena Lusk
Senior Manager, Recreation and Sport Services
(604-233-3344)

Att. 2

REPORT CONCURRENCE	
ROUTED TO:	CONCURRENCE
Communications	<input checked="" type="checkbox"/>
Project Development	<input checked="" type="checkbox"/>
CONCURRENCE OF GENERAL MANAGER	
<i>Bill White</i>	
APPROVED BY CAO	
<i>[Signature]</i>	

GNCL - 106

Staff Report

Origin

On November 12th 2013, Council approved locating a replacement facility for the Minoru Aquatic Centre and the Minoru Place Activity Centre (Senior's Centre) in Minoru Park on the current Minoru 2 Artificial Turf Field Site.

At the same time, Council received the report, "Consultation Plan for Major Recreational Facilities Development," for information and approved the Terms of Reference for an Advisory Committee related to the project.

The purpose of this report is to provide more detailed information on the Consultation Plan, to propose a revised terms of reference for the Advisory Committee and to propose an additional Advisory Committee to provide specific technical advice in regards to the design and construction process, to the project team.

This report responds to Council Term Goal 4.1:

"Development and implementation of a comprehensive facility development plan for current and future needs that:

- *preserves the replacement of the remaining firehalls (#1 and 3), Minoru Older Adults Activity Centre, and Minoru Aquatic Centre as high priorities*
- *includes the provision of a waterfront museum*
- *responds to the demographic needs of the City (families, older adults, increasing cultural diversity)*
- *responds to the City Centre facility needs to address the growing population, including location considerations as the City Centre population begins to shift northward towards the water*
- *outlines an effective public process*
- *identifies strategic financial and location strategies"*

Analysis

In order to ensure the planned facility and associated building program best meets the needs of the community, it is important to have a comprehensive consultation plan. The purposes of the consultation plan are as follows:

1. To ensure the building program and programming meets the needs of the general public and specific stakeholder groups.
2. To ensure that, given the expected fifty-year or more lifespan of the facilities, the long-term needs of the community are considered in the development process.
3. To ensure the development process for the facilities is transparent and provides opportunity for input into decision making where appropriate.
4. To ensure the public is engaged and excited about the benefits to the community of these planned facilities.

Consultation and engagement in the planning process will include both ongoing and periodic involvement from the public. Staff anticipates engaging the community at many junctures throughout the development process using a wide variety of methods. The table below describes the proposed methodology and timing:

Table 1: Public Engagement Plan

Consultation / Engagement Method	Description	Timing
Project Branding	Establish a visual identity for the project.	March – April 2014 (completed once architectural consultant is confirmed)
Site Signage	Onsite information signage and contact information.	Spring 2014 with project updates as required.
Stakeholder Advisory Committee	Members of the Stakeholder Advisory Committee will provide input into the development of the functional space program in direct relation to the proposed facility use programming for the replacement facility of the Minoru Aquatic Centre, Minoru Senior's Centre and the Minoru Pavilion. This input will be provided to the project team.	Recruitment – February 2014 Meetings estimated quarterly throughout 2014 and 2015.
Building/Project Technical Advisory Committee	Members of the Building/Project Technical Advisory Committee will provide information and advice to the project team as required based on their specific area of technical expertise.	Recruitment – February 2014 Meetings as required throughout the project.
Open Houses	Open houses at key points during the facility development process will assist in informing the public of progress to date and seek input into options or decision points for moving forward with the development process.	Estimated 3 Open Houses – end of programming phase; end of design phase; during construction phase
Stakeholder consultation and meetings	Direct consultation and meetings will provide opportunities for stakeholder groups such as the Minoru Seniors Society, Richmond Aquatic Services Board, sport and community user groups, related advisory committees, Vancouver Coastal Health, Richmond Olympic Oval, Richmond Fitness and Wellness Association, and the Richmond Centre for Disability to provide input and receive and share information.	15 meetings throughout the programming phase of the project estimated to be April through October 2014.

Consultation / Engagement Method	Description	Timing
Research	Best practises and background research as required.	Ongoing as needed
Digital Tools	<p>Social Media - Establish a dedicated social media presence through Facebook, Twitter and other emerging technologies.</p> <p>Dedicated project web page - Design and maintain a dedicated web page on the City's website to provide project background, identify opportunities for input and follow the facility development process.</p> <p>Let's Talk Richmond - This online discussion platform will be used to engage the public in specific issues related to facility development.</p>	Established in spring 2014. Periodic updates when appropriate.
Media Releases and general public information	Traditional media will be used to reach the broad public through press releases and paid advertising informing the public of developments and upcoming opportunities for input into the process.	Periodically in conjunction with events and major milestones.
Public meetings of Committee and Council	Reports related to the project will be brought forward to General Purpose Committee and then forwarded to Council. The public has access to open agendas and has the opportunity to delegate at these meetings.	As required and determined by the Project Team and / or Council.
Translation	When appropriate, communication documents, meeting minutes, and other facets of the consultation process will be translated into one or more languages other than English to allow greater accessibility.	Periodically as required.
Public Events	Sod turnings, opening events and other celebrations will mark project milestones.	<p>Current Plans include:</p> <p>Groundbreaking – Summer 2014</p> <p>Artificial Turf Field Opening – Fall 2014</p> <p>Construction Launch – Fall 2014</p> <p>Construction Milestones – 2015 & 2016</p> <p>Grand Opening – Summer 2017</p>

The Public Engagement Plan identifies two Advisory Committees. While only one Advisory Committee for stakeholder input was originally envisioned, the need for an additional advisory committee that can bring technical advice to the project has now been identified. In order to clarify the roles of these two Advisory Committees, the Terms of Reference for the originally planned Advisory Committee have been updated (Attachment 1). The following are the key changes:

1. Changed the name from the, “Richmond Aquatic Facility and Older Adults Centre Replacement Advisory Committee,” to the, “Minoru Major Facility Stakeholder Advisory Committee.”
2. Clarified that the role of the Stakeholder Advisory Committee is to, “is to provide advice, input and feedback *from a stakeholder perspective* at key milestones during the development process.”
3. Added an additional member as a representative of the public to bring the total Committee membership to four (4) representatives of the public, two (2) representatives of the Aquatic Services Board, and two (2) representatives of the Minoru Senior’s Society.
4. Removed the reference to the potential selection of representatives from the Richmond Olympic Oval as the site adjacent to the Oval was not selected as the location for this facility.
5. Updated the format and minor wording changes.

Recruitment for representatives to this Stakeholder Advisory Committee has now concluded and recommendations for appointments will be made to Council in a closed report. The Terms of Reference, if approved, provide for two Council liaisons and it is recommended that these council liaisons be appointed at the same time as the rest of the committee membership.

Terms of Reference for a Building/Project Technical Advisory Committee have also been drafted. (Attachment 2) Key terms include the following:

1. The purpose of the Committee is to provide advice on the design, construction, scope and schedule for the Project.
2. Council will appoint up to eight members and one liaison member to the Committee.
3. The Committee will meet on an ad-hoc basis as requested by the Project Team.
4. Committee members serve at the pleasure of Richmond City Council. Council may amend the terms of reference for the Committee at its discretion.

As with the Stakeholder Advisory Committee, potential members of the Building/Project Technical Advisory Committee have been identified and recommendations for appointments will be made to Council in a closed report. It is also recommended that the one identified Council liaison be appointed at that same time.

Financial Impact

Financial impacts of the Public Engagement Plan including meeting expenses associated with the two proposed advisory committees have been budgeted for in the already approved capital budget for the Project. No additional funding is required.

Conclusion

Engaging the public through a variety of avenues including stakeholder and building advisory committees will ensure the process of developing the proposed older adults and aquatics facilities will be transparent, meet community needs and excite the community about the future benefits to the community of the Project.



Serena Lusk
Senior Manager, Recreation and Sport Services
(604-233-3344)

Attachment 1 – Minoru Major Facility Stakeholder Advisory Committee Terms of Reference
Attachment 2 – Major Facility Building/Project Technical Advisory Committee Terms of Reference

Minoru Major Facility Stakeholder Advisory Committee Terms of Reference

Purpose

The purpose of the Minoru Major Facility Stakeholder Advisory Committee (the “Committee”) is to provide advice, input and feedback from a stakeholder perspective at key milestones during the planning and development process for the combined Aquatic Centre, Older Adults Centre and multi-purpose facility and associated urban realm improvements. (the “Project”)

Principles

The activities of the Committee will reflect the following principles related to the Project:

- The project must meet the objectives and timelines of the City of Richmond.
- The project must be completed within budget.
- The project will follow a service-delivery approach.
- The financial implications of decisions related to the Project must be balanced with the opportunities related to construction of a major recreational facility intended to serve the residents of Richmond for the long-term.
- The process of completing the Project will encourage effective relationships, partnerships with others and community involvement

Membership

Richmond City Council appoints members of the Committee. The membership will include the following:

- Two (2) representatives from the Aquatic Services Board.
- Two (2) representatives from the Minoru Senior’s Centre.
- Four (4) representatives from the general public.

Two members of Council will be appointed as liaisons to the Committee.

The CAO or designate will be the senior staff liaison for this committee. Other City staff and consultants will attend meetings as required.

Objective

The primary objective for the Committee is to support the City’s efforts in the development of the functional space program in direct relation to the proposed facility use programming for the Aquatic and Older Adults Replacement Facilities.

Procedures

A Chair will be elected from the membership of the Committee on an annual basis.

The term of the Committee is for the duration of the Project.

Meetings will be scheduled on an ad-hoc basis as requested by Staff.

Members are expected to attend all meetings. If unable to attend a meeting, an alternate is not required.

Sub-committees may be established to discuss specific issues as requested by the City.

The Committee will make recommendations and advise staff and the Project team.

Communications will be through the CAO or designate.

The Committee will liaise with other stakeholders where appropriate.

Meetings

Meetings will be at the call of the Chair when requested by the CAO or designate.

Copies of the agenda and record of the previous meeting will be circulated to the Advisory Committee members in advance of the next meeting.

The decision process is to be consensus based. If some members disagree with the Committee's recommendations or activities, decisions will be recorded in the meeting records.

Decisions, input, feedback and advice made by or from the Committee or Committee members to the project team will not be binding to the City.

The Committee will receive administrative staff support services from the City for the preparation of agendas and the recording of meetings.

A quorum is established when 50% + 1 members are present.

Code of Conduct

Advisory Committee members are expected to be respectful towards each other and work cooperatively.

Advisory Committee members are drawn from both the public and stakeholder interests. The expectation is that each member will conduct themselves in the best interest of all of Richmond residents.

If there is a conflict of interest, it will be up to the member to remove himself or herself from the discussion and decision. However, where a conflict is not recognized by an individual, the City may exercise its prerogative to excuse the member from the meeting and/or restrict their access to pertinent information.

Committee members who have been found by the City to have breached their confidentiality agreements; failed to abide by the Code of Conduct or failed to abide by other policies adopted by the committee will be subject to immediate rescinding of their appointment. Without the express consent of the City, members are not authorized to discuss matters covered by the Committee or information provided to them in the course of carrying out their roles with the media.

Committee members serve at the pleasure of Council. Council may amend these terms at its discretion.

Major Facility Building/Project Technical Advisory Committee Terms of Reference

Purpose

The purpose of the Major Facility Building/Project Technical Advisory Committee (the “Committee”) is to advise City of Richmond staff on the design, construction, scope and schedule for the combined Aquatic Centre, Older Adults Centre and multi-purpose facility and associated urban realm improvements. (the “Project”) Other major projects may be also be reviewed on an ad-hoc basis upon request.

Principles

The activities of the Committee will reflect the following principles related to the Project:

- The Project will meet the objectives and timelines of the City of Richmond.
- The Project will be completed within budget.
- The Project will follow a service-delivery approach.
- The financial implications of decisions related to the Project must be balanced with the opportunities related to construction of a major recreational facility intended to serve the residents of Richmond for the long-term.
- The process of completing the Project will encourage effective relationships, partnerships with others and community involvement.

Membership

Richmond City Council appoints members of the Committee. There will be up to eight (8) members, and one (1) liaison from City Council.

Candidates will be chosen to reflect an array of skills and experience in fields such as construction, architecture, accounting, finance, construction management, law, urban or landscape planning, and transportation.

The CAO or designate will be the senior staff resource for the Committee. Other City staff and consultants will attend meetings as technical support when required.

Objectives

The primary objectives of the Committee are as follows:

- To provide input, feedback and advice on the design and construction of the Project.
- To advise on the best use of City resources.
- To advise on the financial sustainability of the Project and the soundness of business decisions.

- Other matters that will contribute to the successful development, construction and operation of the Project.

Procedures

A chair will be elected from the membership of the Committee on an annual basis.

The term of the Committee is for the duration of the Project.

Meetings will be scheduled on an ad-hoc basis as requested by Staff.

Members are expected to attend all meetings. If unable to attend a meeting, an alternate is not required.

Sub-committees may be established to discuss specific issues as requested by the City.

The Committee will make recommendations and advise staff and the Project team. Communications will be through the CAO or designate.

Meetings

Meetings will be at the call of the Chair when requested by the CAO or designate.

Copies of the agenda and record of the previous meeting will be circulated to Committee members in advance of the next meeting.

The decision process is to be consensus based. If some members disagree with the Committee's recommendations or activities, decisions will be recorded in the meeting records.

Decisions, input, feedback and advice made by or from the Committee or Committee members to the project team will not be binding to the City.

The Committee will receive administrative support from City staff for agenda preparation, recording of minutes and associated meeting requirements.

A quorum is established when 50% + 1 members are present.

Code of Conduct

Committee members are expected to be respectful towards each other and work cooperatively.

Committee members will conduct themselves in the best interest of all of Richmond residents.

If there is a conflict of interest, it will be up to the member to remove himself or herself from the discussion and decision. However, where a conflict is not recognized by an individual, the City may exercise its prerogative to excuse the member from the meeting and/or restrict their access to pertinent information.

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Committee members serve at the pleasure of Richmond City Council. Council may amend these Terms of Reference at its discretion



City of Richmond

Report to Committee

To: Planning Committee **Date:** January 14, 2014
From: Cathryn Volkering Carlile **File:**
General Manager, Community Services
Re: **Child Care Development Advisory Committee 2013 Annual Report and 2014 Work Program**

Staff Recommendation

That the Child Care Development Advisory Committee's 2014 Work Program be approved.

Cathryn Volkering Carlile
General Manager, Community Services

Att. 2

REPORT CONCURRENCE	
CONCURRENCE OF GENERAL MANAGER 	
REVIEWED BY STAFF REPORT / AGENDA REVIEW SUBCOMMITTEE	INITIALS:
APPROVED BY CAO 	

Staff Report

Origin

The mandate of the Child Care Development Advisory Committee (CCDAC) is to provide Council with advice regarding the development of quality, affordable and accessible child care in Richmond.

This report presents the CCDAC 2013 Annual Report (Attachment 1) and proposed 2014 Work Program (Attachment 2), which supports the following 2011 - 2014 Council Term Goals regarding Community Social Services and Managing Growth and Development:

- 2.1 *Completion of the development and implementation of a clear social services strategy for the City that articulates the City's role, priorities and policies, as well as ensures these are effectively communicated to our advisory committees, community partners, the public in order to appropriately target resources and help manage expectations.*
- 2.3 *Clarification of the City's role with respect to providing or facilitating the securing of space for non-profit groups.*
7. *Managing Growth and Development – Goal: To ensure effective growth management for the City, including the adequate provision of facility, service and amenity requirements associated with growth.*

Analysis

1. 2013 Annual Report

Highlights of the CCDAC activities for 2013, as summarized in the Annual Report, include:

- The 2013 Child Care Grants were reviewed by a CCDAC subcommittee and recommendations were provided to Council.
- After a presentation from the Manager of Community Social Development, the Committee reviewed and prepared a response to the Social Development Strategy. This was appended, along with other submissions to a final report on the Strategy presented to Council, on September 9, 2013.
- The *Coalition of Child Care Advocates of BC* approached the Manager of Community Social Development to seek the City's support for their proposed Integrated Learning Framework, known as the "\$10/day Plan". CCDAC was asked to review the idea and decide if they wished to recommend to Council that it be endorsed. The Advocacy subcommittee was tasked to report back on the plan with a recommendation for Council. While the Committee as a whole supported the concept of a publically funded system of early learning and care, the members decided that they could not unequivocally support all aspects of the \$10/day plan, and therefore, chose to not to make a recommendation to Council.

- The terms of reference for the Committee were reviewed for relevance and it was confirmed that they offer the flexibility to meet current needs. CCDAC has confirmed that the terms of reference do not require any changes.
- Other subcommittee work included offering advice on the future development of City-owned child care facilities, and completing a report with recommendations on quality child care, "Pillars of the Child Care System".
- As a part of May Child Care Month, CCDAC co-hosted a children's art event at the Caring Place with the Richmond Childcare Alliance. They also hosted a workshop at City Hall for child care operators called: "Child Care Ownership: Private or Non-Profit – What's Best for You?"

2. Proposed 2014 Work Program

In accordance with the proposed work program (Attachment 2), CCDAC will give priority in 2014 to:

- Reviewing the 2014 child care grant applications and providing recommendations to Council;
- Coordinating and hosting an event in May, which is child care month;
- Contributing ideas to data collection that will help inform the City's development of new child care amenity spaces;
- Offering ideas and reviewing proposed communication materials to assist new child care providers in navigating municipal approval processes for creating child care spaces in the City of Richmond; and
- Providing input into the design of a future child care needs assessment, (e.g., suggesting strategies to engage more parents about their needs and preferences, and reviewing survey questions).

Staff will support the CCDAC 2014 Work Program as City policies, work programs, staff time and resources permit.

Financial Impact

The CCDAC operating budget reflects the existing funding plan, as budgeted.

Conclusion

CCDAC members are committed to improving the availability and accessibility of quality child care in Richmond. Staff recommend that the Child Care Development Advisory Committee's 2014 Work Program be approved.



Coralys Cuthbert
Child Care Coordinator
(604-871-6044)

Attachments:

1. City of Richmond Child Care Development Advisory Committee 2013 Annual Report
2. CCDAC 2014 Work Program

Attachment 1**CITY OF RICHMOND CHILD CARE DEVELOPMENT ADVISORY COMMITTEE
2013 ANNUAL REPORT**

The Child Care Development Advisory Committee had a productive year in 2013. The new Child Care Coordinator, Coralys Cuthbert joined the committee as the staff liaison replacing Lesley Sherlock, Social Planner. Below is a summary of the Committee's work:

1. There were two new citizen appointments to the Committee: Kathy Moncalieri, and Melanie Hugh.
2. The following subcommittees were struck: Advocacy; City Planning Process; Pillars of the Child Care System; Child Care Grants; Child Care Month; and CCDAC Terms of Reference.
3. In January, the City Planning Process subcommittee made recommendations to City staff to bring child care development proposals to the Committee prior to Council approval so they could offer advice on need and location.
4. In February, John Foster, the Manager of Community Social Development, provided the Committee with a presentation on the draft Social Development Strategy.
5. During March and April the Committee discussed the draft Social Development Strategy. The discussions led to a submission which was appended to the September 9, 2013 Council report on the Strategy. The submission also included the report from the Pillars of the Child Care System Subcommittee which outlined components of quality child care and offered suggestions for addressing current challenges in Richmond.
6. On April 22, 2013, the CCDAC members attended a ceremony and dinner held by Volunteer Richmond where the Committee was honoured to be nominated for a Volunteers are Stars award.
7. In May, the Committee co-hosted a children's art display with the Richmond Child Care Alliance. The art display was held over a weekend at the Caring Place. CCDAC members also attended the annual child care dinner, held at the Richmond Curling Club.
8. On May 30th, the Committee hosted a workshop to provide child care operators with information on two different models for operating a child care service as either a business or non-profit society. The workshop, "Child Care Ownership: Private or Non-Profit – What's Best for You?" was delivered by Gerry Dragomir, a certified management accountant from Pace Accounting. Approximately 40 people attended it and received a follow-up e-mail with a copy of the power point presentation.
9. In June, the Committee received a report from the CCDAC Terms of Reference Subcommittee. They confirmed that the terms of reference do not require any changes

and they provide the flexibility to include a Vancouver Coastal Health (VCH) representative as a non-voting member. The VCH Child Care Facilities Licensing supervisor was consulted about one of their staff participating as a future Committee member. Due to reduced staff resources they offered to attend meetings as guests for specific topic items.

10. The CCDAC Advocacy Subcommittee provided their final report on the Integrated Learning Framework, "\$10/day Plan", and CCDAC has decided not to put forward a recommendation to Council regarding endorsement of the plan.

CCDAC 2013 Membership

Voting Members:

Maryam Bawa	Harp Mundie
Gina Ho	Shyrose Nurmohamed, <i>Vice Chair</i>
Melanie Hugh	Fatima Sherif
(position formerly filled by Alice Law)	
Ofer Marom	Linda Shirley, <i>Chair</i>
Kathy Moncalieri	Ofra Sixto
(position formerly filled by Sonia Dhudwal)	
Lori Mountain	Sushma Wadhwan

Non-voting Members:

Marcia MacKenzie (Child Care Resource and Referral)
Kenny Chiu (School Board Liaison)

Others:

Council Liaison – Councillor Evelina Halsey-Brandt
Staff Liaison – Coralys Cuthbert, Child Care Coordinator (up to February 2013 it was Lesley Sherlock, Social Planner)

2014 Budget

CCDAC received an operating budget of \$5,000 for 2013. The proposed 2014 budget is as follows:

Meeting and miscellaneous expenses:	\$3,000
Forums and Conventions:	\$1,000
Child Care Month Expenses:	\$1,000
Total:	\$5,000

Prepared by

Linda Shirley, Chair, Child Care Development Advisory Committee, January 2014

ADDENDUM

REPORTS FROM 2013 WORK PROGRAM CCDAC SUBCOMMITTEES

Advocacy

Subcommittee members: Ofer Marom, Ofra Sixto, Fatima Sheriff, and Harp Mundie

This subcommittee continued to take great pride in the results of their advocacy efforts with the addition of the full time Child Care Coordinator to the committee as the staff liaison. The primary focus of their work this year was reviewing and presenting their findings on the Coalition of Child Care Advocates of BC's "Plan for \$10/day Child Care" (see below).

CCDAC's Resolution Re: the Coalition of Child Care Advocates of BC \$10/ day child care plan, November 5, 2013

Background to CCDAC Resolution

On August 11, 2012, the Manager of Community Social Development was asked if the City of Richmond would be joining other municipalities in supporting a \$10-a-Day Plan for a Public System of Integrated Early Care and Learning in B.C.

On Tuesday, October 2, 2012 a representative of the Child Care Advocates of B.C. attended a meeting of the Childcare Development Advisory Committee (CCDAC) and explained the ideas and concepts surrounding this subject.

A sub-committee was formed to review their printed material and to look into this plan in more depth. At subsequent meetings, the committee discussed the pros and cons of this proposal.

CCDAC Resolution:

It was concluded that although the CCDAC would support the concept of a public system of integrated early care and learning, there is just not enough information available and there are far too many unanswered questions for it to be supported unequivocally.

Please find below the sub-committee's summary of their research on this initiative.

The Childcare Development Advisory Committee (CCDAC), through its "Advocacy" subcommittee, has undertaken an extensive review of the proposed "\$10 a Day Childcare Plan". As we understand it, those advocating for this plan have asked the City of Richmond to support this initiative. Although the CCDAC supports this initiative in theory, there are a variety of concerns that present themselves upon careful review. We would like to share these concerns, as outlined below.

Questions, Concerns and Comments from the Perspective of existing CHILDCARE CENTRES:

- We fear that because of this initiative, many more centres will open on the assumption that child care is a solid and lucrative business. This will create too many openings that will ultimately force other centres to close.
- What will happen to this initiative when government leadership/policy changes? How can we be sure that this is a long-term solution?

- The fee scale system needs more discussion.
- How will it be determined what the salaries of teachers and managers should be?
- Based on the performance criteria outlined in the plan, the fact remains that some child care providers will have a business agenda, others will have a child centered approach and others may support both.
- Who will provide the guidelines for professional development and how?
- Will non-residents get the same \$10-a-day-deal? What about people with a working visa and other temporary visitors?
- Would centres still charge extra fees for extra-curricular activities such as dance, music, gymnastics, swimming, etc.?
- Will the government's 'top-up' be equitable across the board or will it be based on the expenses of the centre?
- The biggest question of all: WHERE WILL ALL OF THIS MONEY COME FROM TO SUPPORT THIS IDEA?

Questions, Concerns and Comments from the Perspective of PARENTS USING THE SYSTEM:

1. Lower fees will allow parents to use childcare and will create the opportunity for parents to get back to work.
2. Working parents will not have to solely rely on family members to care for their children.
3. Parents will be able to choose the childcare centre that meets their needs rather than a centre that charges lower fees but might not offer the desired quality or style of care.
4. If a parent chooses a centre that has chosen to 'opt out' of the program, will that parent receive any compensation or credit for their childcare costs since they should have the right to choose the approach to childcare they prefer without punitive results.

City Planning Process

Subcommittee members: Shyrose Nurmohamed, Linda Shirley, Lori Mountain, Harp Mundie and Gina Ho

With assistance from the subcommittee members CCDAC provided input into the development of draft Child Care Design Guidelines and Technical Specifications. A consultant report was also reviewed that presented operating budget options for supporting a few subsidized child care spaces at the planned Cressey child care facility. New proposals for child care amenity spaces were also discussed and advice was provided.

Terms of Reference

Subcommittee members: Shyrose Nurmohamed, Linda Shirley and Lori Mountain

A subcommittee reviewed the current CCDAC Terms of Reference and confirmed that they do not require any changes.

Pillars of the Child Care System

Subcommittee members: Lori Mountain, Shyrose Nurmohamed, Maryam Bawa, Harp Mundie

The subcommittee concluded their work this year and presented their reports for 2011 – 2013 as part of the CCDAC submission to the Social Development Strategy. A copy of the 2013 report is provided below.

CCDAC's Pillars of the Child Care System Sub-Committee 2013 Report

April 29/13 - Present:

Pillars of Child Care system: Minimized Bureaucracy/Central Co-ordination

- Currently there are too many separate bodies involved, and each may have their own interpretation of Child Care regulations etc.
- Recommendation that Richmond move toward hub system: city-owned facilities, operated from one central location. Partners all located on site (Licensing, Child Care Resource & Referral, Health services)
- This will allow for improved communication and collaboration between Licensing, CRRR, and other professionals, and a better means for information sharing
- Work towards establishing a cohesive website for parents/child care professionals - ideally this website would provide information and resources, training and educational opportunities, community events
- Recommendation that Child Care Licensing have a representative attend CCDAC meetings

Space

- Currently there is a concern that the market is becoming oversaturated with too many new centres opening - the demographic is changing in Richmond and young families are not staying, moving out to less expensive communities, therefore there is a drop in the need for care
- Smaller centres (mostly family daycares) have unfilled spaces and larger (group facilities) have long waitlists - families need to be educated about the different types of care available
- There is a growing need for part-time spaces or overnight/shift work care and centres are unable to accommodate that need - establishing child care in workplaces may help to provide the types of care that parents need most
- Location mapping will help to determine the need for new child care spaces and help ensure equal distribution of spaces within the city

Affordability

- Government continues to place child care on a low priority list.
- The subsidy system is disorganized and often unfairly administered - needs to be overhauled. Often what parents can show as income 'on paper' is not an accurate representation of their need for subsidy, and families who are most in financial need are not receiving help
- 'Affordability' for different families is difficult to measure - it depends on the type of care that parents need or prefer
- There is a strong need for parents to be educated about the types of care available and the average rates of child care according to their goals and requirements for their child.

Child Care Month

Subcommittee members: Lori Mountain, Ofra Sixto, and Sonja Dhudwal

In celebration of May Child Care Month, the subcommittee arranged a weekend children's art event, co-hosted with the Richmond Child Care Alliance, and held at the Caring Place. A workshop for child care operators was attended by approximately 40 participants which provided information on different models of providing a child care service: "Child Care Ownership: Private or Non-Profit – What's Best for You?"

Attachment 2

CCDAC 2014 Work Program

This work program supports the following Council Term Goals (2011-2014):

2.1 Completion of the development and implementation of a clear City social services strategy that articulates the City's role, priorities and policies, as well as ensures these are effectively communicated to our advisory committees, community partners, and the public in order to appropriately target resources and help manage expectations.

- CCDAC will assist where appropriate with the implementation of the social development strategy: Building Our Social Future.

2.3 Clarification of the City's role with respect to providing or facilitating or securing space for non-profit groups.

- CCDAC will continue to offer advice on the development of City child care amenity spaces which will provide space for non-profit child care operators.

7. Managing Growth and Development: To ensure effective growth management for the City, including adequate provision of facility, service and amenity requirements associated with growth.

- CCDAC will continue to provide advice to Council on child care needs associated with growth.

Initiative	CCDAC Action/Steps	Expected Outcome	Indicator of Success	Partners
Advocacy				
More effective advocacy to senior levels of government to address the funding, bureaucracy, changing policies, and licensing issues for child care providers	<ul style="list-style-type: none"> Monitor issues, emerging trends Discuss, consider roles, summarize issues Pass motions or resolutions Prepare letters/briefs Submit to Council through Staff Liaison 	Lobbying through Council to senior levels of government	Improved funding, policy and licensing programs	<ul style="list-style-type: none"> Federal Govt. Provincial Govt. Child Care Licensing (VCH)
Liaise with the Child Care Coordinator regarding issues that need further attention, action or clarification.	<ul style="list-style-type: none"> At monthly meetings, provide Child Care Coordinator with information and CCDAC perspective Present CCDAC advice on Council referrals through 	<ul style="list-style-type: none"> Child Care Coordinator is the staff liaison to CCDAC Child Care Coordinator informed regarding CCDAC's perspective 	<ul style="list-style-type: none"> Coordinator works with CCDAC advice and Council direction to address priority child care issues for Richmond Liaison with CCDAC 	<ul style="list-style-type: none"> Stakeholders Caregivers

Initiative	CCDAC Action/Steps	Expected Outcome	Indicator of Success	Partners
	<p>Child Care Coordinator</p> <ul style="list-style-type: none"> • Make suggestions about data collection, and an approach for a future child care needs assessment to understand the existing child care landscape in Richmond and future demands for child care space. • Provide ideas for communication materials that will assist child care operators and parents 		<p>assists the Child Care Coordinator to successfully address work program objectives</p>	
Participate in City consultations	<ul style="list-style-type: none"> • Continue to participate in discussions about the implementation of the Social Development Strategy 	Plans for future growth will address the need for quality, affordable childcare	Social Development Strategy implementation incorporates CCDAC perspective	<ul style="list-style-type: none"> • Stakeholders • Caregivers
Advise the City regarding the development of new child care centres and service models.	<ul style="list-style-type: none"> • CCDAC to be consulted at the earliest point possible in the development process • Review guidelines for City-owned facilities, e.g., minimum size, location, when to prioritize monetary contributions • Advise Council regarding establishing early childhood hubs 	<ul style="list-style-type: none"> • Inclusion of CCDAC in planning new facilities and implementing guidelines • Better planned child care facilities that address needs of the local community • Model centres with varied programs that may not be available elsewhere, catering to all age levels of children and perhaps even seniors 	<p>Guidelines adopted and CCDAC consulted regarding:</p> <ul style="list-style-type: none"> • When/where to negotiate built facilities vs. cash contributions • Built facilities that are well designed and cater to needs of community according to size, location, design, program offered • When/where to prioritize hubs and ideal size, design, model • Inclusion of CCDAC into the planning, developing and operating processes of a facility 	<ul style="list-style-type: none"> • City Planners • Developers • Stakeholders • Caregivers

Child Care Grants					
Recommend Child Care Grant allocations	<ul style="list-style-type: none"> Review applications Recommend grants to Council Provide advice regarding the enhancement of the web-based, on-line application system 	<ul style="list-style-type: none"> Caregivers will have opportunities to attend workshops, participate in professional development Non-profit child care operators will be able to undertake capital projects to improve the quality of their furnishings, equipment and physical space Application and review will be facilitated by the on-line application system 	<ul style="list-style-type: none"> Council endorses recommendations, allocates grants Quality and capacity of child care programs will be enhanced 	<ul style="list-style-type: none"> Stakeholders Caregivers 	
Child Care Month					
Propose activities for Child Care Month in May	<ul style="list-style-type: none"> Plan suggestions for activities that are multicultural and inclusive of all children in the community 	<ul style="list-style-type: none"> Enhance role of CCDAC Encourage participation from the community Celebrate 	Multicultural child-oriented festivities that celebrate all children and their families	<ul style="list-style-type: none"> Stakeholders Caregivers 	



City of Richmond

Report to Committee Planning and Development Department

To: Planning Committee
From: Wayne Craig
Director of Development

Date: February 4, 2014

File: RZ 13-643346

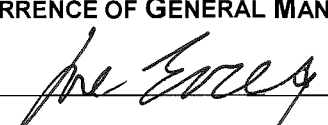
Re: Application by Zhao XD Architect Ltd. for Rezoning at 8400 General Currie Road and 7411/7431 St. Albans Road from Single Detached (RS1/E) to High Density Townhouses (RTH2)

Staff Recommendation

That Richmond Zoning Bylaw 8500, Amendment Bylaw 9111, for the rezoning of 8400 General Currie Road and 7411/7431 St. Albans Road from "Single Detached (RS1/E)" to "High Density Townhouses (RTH2)", be introduced and given first reading.


Wayne Craig
Director of Development

EL:blg
Att.

REPORT CONCURRENCE		
ROUTED TO:	CONCURRENCE	CONCURRENCE OF GENERAL MANAGER
Affordable Housing	<input checked="" type="checkbox"/>	

Staff Report

Origin

Zhao XD Architect Ltd. has applied to the City of Richmond for permission to rezone 8400 General Currie Road and 7411/7431 St. Albans Road (**Attachment 1**) from “Single Detached (RS1/E)” zone to “High Density Townhouses (RTH2)” zone in order to permit the development of 12 three-storey townhouse units. A preliminary site plan, building elevations, and landscape plan are provided in **Attachment 2**.

Findings of Fact

A Development Application Data Sheet providing details about the development proposal is attached (**Attachment 3**).

Surrounding Development

To the North: Across General Currie Road, a four-storey apartment building on a lot zoned “Medium Density Low Rise Apartments (RAM1)”.

To the South: A 7-unit townhouse development on a lot zoned “Medium Density Low Rise Apartments (RAM1)”.

To the East: Across St. Albans Road, a four-storey condominium (three-storeys over parking) on a lot zoned “Medium Density Low Rise Apartments (RAM1)”.

To the West: A four-storey condominium on a lot zoned “Medium Density Low Rise Apartments (RAM1)”.

Related Policies & Studies

City Centre Area Plan

The subject property is located within the City Centre Area, Schedule 2.10 of the Official Community Plan (OCP) Bylaw No. 7100. The site is within “Sub-Area B.1: Mixed Use – Low-Rise Residential & Limited Commercial” which is intended primarily for grade-oriented housing or equivalent in the form of higher-density townhouses (with common parking structures) or lower-density conventional and stacked townhouses (with individual garages). The preliminary design of the proposal featuring conventional townhouses, generally complies with the Guidelines in terms of land use, density, and overall neighbourhood character. Further consideration of the Development Guidelines will take place at the Development Permit stage of the process.

St. Albans Sub Area Plan

The proposed development is generally consistent with the “Multi-Family Low-Rise” land use designation in the St. Albans Sub-Area Plan (Schedule 2.10A of the OCP Bylaw 7100), which envisions three-storey apartments, townhouses, two-family, or single-family dwellings (**Attachment 4**). The proposal for 12 three-storey townhouse units fits well within the mixed urban context and varied building styles on adjacent properties.

Floodplain Management Implementation Strategy

The applicant is required to comply with the requirement of Richmond Flood Plain Designation and Protection Bylaw 8204. In accordance with the Flood Management Strategy, a Flood Indemnity Restrictive Covenant specifying the minimum flood construction level of 2.9 m Geodetic Survey of Canada (GSC) datum, or at least 0.3 m above the highest elevation of the crown of any road that is adjacent to the parcel, is required prior to rezoning bylaw adoption.

Affordable Housing Strategy

The applicant proposes to make a cash contribution to the affordable housing reserve fund in accordance to the City’s Affordable Housing Strategy. As the proposal is for townhouses, the applicant will make a cash contribution of \$2.00 per buildable square foot as per the Strategy, for a contribution of \$33,701.61.

Public Art

The applicant has agreed to provide a voluntary contribution in the amount of \$0.77 per square foot of developable area for the development to the City’s Public Art fund. The amount of the contribution would be \$12,975.12.

Public Input

The applicant has forwarded confirmation that a development sign has been posted on the site. Staff did not receive any telephone calls or written correspondence expressing concerns in association with the subject application.

Staff Comments

Trees Retention and Replacement

A Tree Survey and a Certified Arborist’s Report were submitted in support of the application. The City’s Tree Preservation Coordinator and Parks Operations staff have reviewed the Arborist Report and concurred with the arborist’s recommendations to remove all three (3) bylaw-sized trees on-site and two (2) trees on city boulevard, since they are either dying (sparse canopy foliage), infected with Canker, Thorax Borer, Bronze Birch Borer, or exhibit structural defects such as cavities at the main branch union and root rot. A total of five (5) trees will be removed through the development process; a Tree Management Plan can be found in **Attachment 5**.

A \$2,600 cash compensation to the Tree Replacement Fund has been specified by Parks Operations staff for the removal of a birch tree and a plum tree located on the city boulevard in front of the site. Six (6) replacement trees are required for the removal of three (3) bylaw-sized trees onsite, according to the 2:1 tree replacement ratio goal stated in the Official Community Plan (OCP). The developer is proposing to plant 26 new trees on-site (see Preliminary Landscape Plan in **Attachment 2**); the size and species of replacement trees and an overall site landscape design will be reviewed in detail at the Development Permit stage.

Should the applicant wish to begin site preparation work after third reading of the rezoning bylaw, but prior to final adoption of the rezoning bylaw and issuance of the Development Permit, the applicant will be required to obtain a Tree Permit and submit a landscape security in the amount of \$3,000.00 to ensure the replacement planting will be provided.

Site Servicing and Frontage Improvements

No capacity analysis is required. Prior to final adoption, the developer is required to consolidate the two (2) lots into one (1) development parcel and dedicate a 4 m x 4 m corner cut at St. Albans Road and General Currie Road. The developer is also required to enter into a City's standard Servicing Agreement for the design and construction of required frontage beautification works and storm upgrades (see **Attachment 6** for details).

Vehicle Access

No access from St. Albans Road will be permitted; vehicle access will be provided via General Currie Road.

Indoor Amenity Space

The applicant is proposing a contribution in-lieu of on-site indoor amenity space in the amount of \$12,000 (\$1,000 per proposed dwelling unit) as per the Official Community Plan (OCP) and Council Policy.

Outdoor Amenity Space

Outdoor amenity space will be provided on-site. Staff will work with the applicant at the Development Permit stage to ensure the size, configuration, and design of the outdoor amenity space meets the Development Permit Guidelines in the Official Community Plan (OCP). The minimum outdoor amenity space required for this development is 72 m².

Legal Considerations

There is currently a covenant registered on the Title of the 7411/7431 St. Albans Road restricting the use of this lot to a two-family dwelling only (charge #RD105938). This covenant must be discharged by the applicant as a condition of rezoning.

The property at 7411/7431 St. Albans Road is currently strata-titled. Winding up and cancellation of Strata Plan NW1401 is a consideration of the rezoning.

Analysis

OCP and CCAP Compliance

The proposal to develop townhouses on the site is consistent with the objectives of the City Centre Area Plan – Sub-Area B.1 in terms of land use and character. The area plan permits high density townhouses with common parking structures or stack townhouses, with a maximum density up to 0.90 FAR on this site; however, the developer prefers to develop lower density conventional townhouses with individual garages on this site, which are also permitted in the CCAP.

The Development Permit application will provide more information and detail regarding the form and character of the proposal in addition to the landscaping and design of the outdoor amenity area.

Requested Variances

The proposed scheme attached to this report is generally in compliance with the “High Density Townhouses (RTH2)” zone except for the proposed tandem parking arrangement in eight (8) of the 12 units. Based on the City Centre location, 17 residential parking spaces are required for this 12-unit development, where 8 of these required parking spaces could be in tandem arrangement. By permitting an extra two (2) of these required residential parking spaces in tandem parking arrangement, the applicant is able to provide seven (7) extra residential parking spaces on-site.

Tandem parking arrangement is generally supported as it can reduce pavement area on-site and facilitate a more flexible site layout. With the extra residential parking spaces provided on site and on-street parking available on both sides of both General Currie Road and St. Albans Road, staff do not envision any noticeable impact to parking in the immediate neighbourhood due to the proposed tandem parking variance.

A restrictive covenant to prohibit the conversion of the tandem garage area into habitable space is required prior to final adoption. Formal details and consideration of the variance will be provided in the report to Development Permit Panel in the future.

Design Review and Future Development Permit Considerations

Guidelines for the issuance of Development Permits for multiple-family projects are contained in Schedule 1 of Bylaw 9000 (Section 14.0 Development Permit Guidelines), and in Schedule 2.10 of Bylaw 7100 – City Centre Area Plan (Section 3). The rezoning conditions will not be considered satisfied until a Development Permit application is processed to a satisfactory level. In association with the Development Permit, the following issues are to be further examined in relation to the site:

- Compliance with the relevant Development Permit Guidelines for multiple-family projects contained in OCP Bylaw 7100 and 9000.
- Building form and architectural character.

- Location and design of the convertible unit and other accessibility features.
- Adequate private outdoor space in each unit and the relationship between the first habitable level and the private outdoor space.
- Landscaping design and enhancement of the outdoor amenity area to maximize use.
- Opportunities to maximize permeable surface areas and better articulate hard surface treatment.

Additional issues may be identified as part of the Development Permit application review process.

Financial Impact or Economic Impact

None.

Conclusion

The proposed 12-unit townhouse development is consistent with the objectives of the City Centre Area Plan – Sub-Area B.1 and the St. Albans Sub Area Plan in terms of land use, character, and density. Overall, the proposed site plan and building massing will complement the surrounding neighbourhood. Further review of the project design is required to ensure a high quality project and design consistency with the existing neighbourhood context, and this will be completed as part of the Development Permit application review process. The list of rezoning considerations is included as **Attachment 6**, which has been agreed to by the applicants (signed concurrence on file). On this basis, staff recommend support of the application.

It is recommended that Richmond Zoning Bylaw 8500 Amendment Bylaw 9111 be introduced and given first reading.

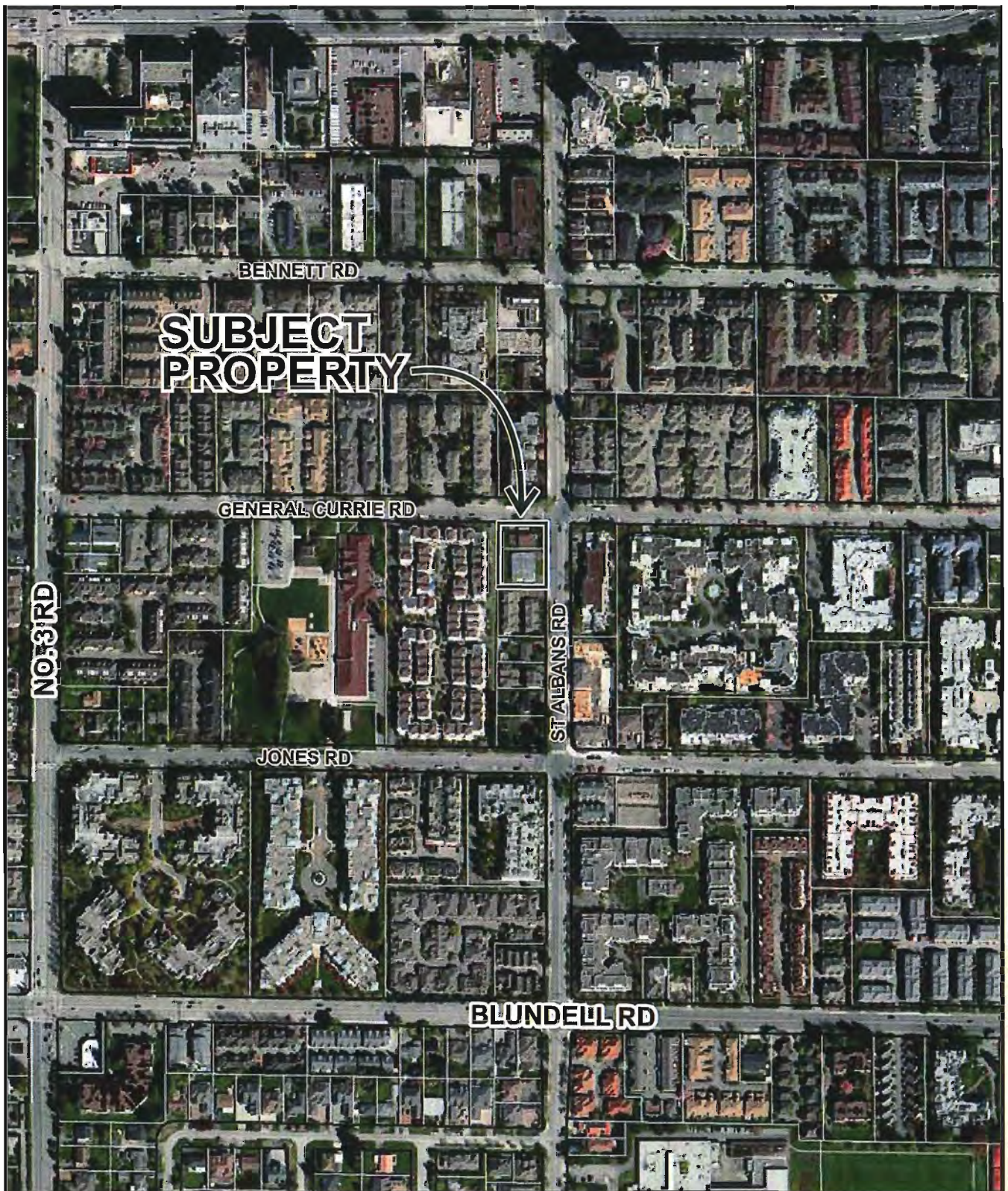


Edwin Lee
Planning Technician – Design
(604-276-4121)

EL:blg

Attachments:

- Attachment 1: Location Map
- Attachment 2: Conceptual Development Plans
- Attachment 3: Development Application Data Sheet
- Attachment 4: St. Albans Sub Area Plan
- Attachment 5: Tree Management Plan
- Attachment 6: Rezoning Considerations

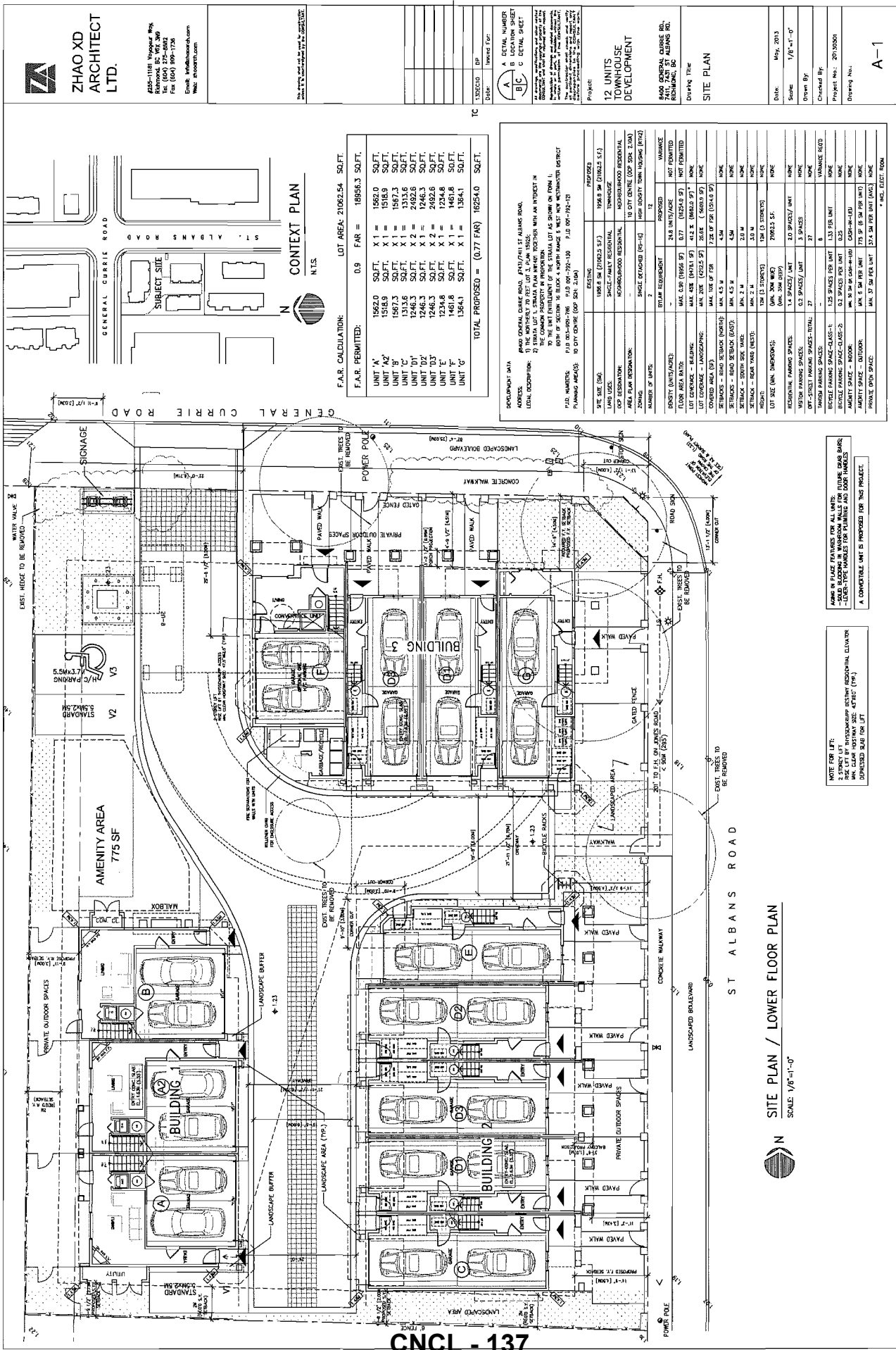


RZ 13-643346

Original Date: 09/03/13

Amended Date: 02/05/14

Note: Dimensions are in METRES





CNCL - 138

GENERAL CURRIE ROAD



CNCL - 139

ST ALBANS ROAD



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130210	DP
DATE:	Revised: 04/11/11
A	DETAIL LAYOUT
B	LOCATION SHEET
C	DETAIL SHEET

12 UNITS
TOWNHOUSE
DEVELOPMENT

DATE: GENERAL CURRIE RD.
7410, 7411, 7412 ST ALBANS RD.
RICHMOND, BC

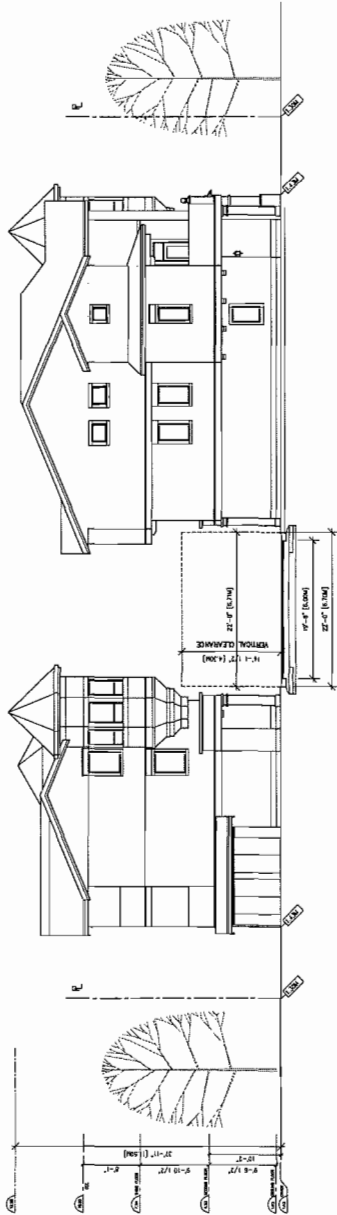
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RICHMOND, BC

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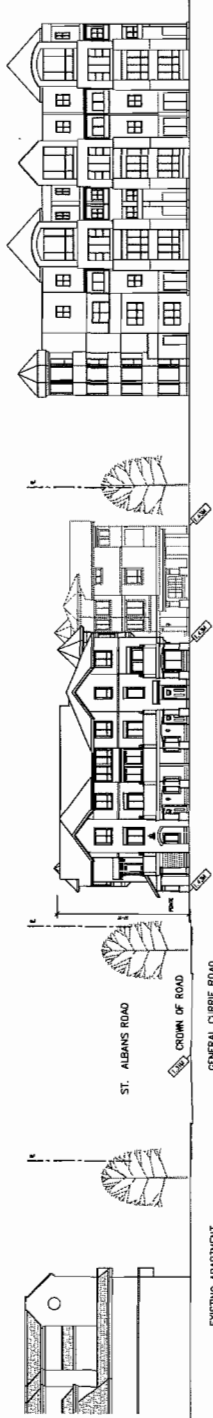
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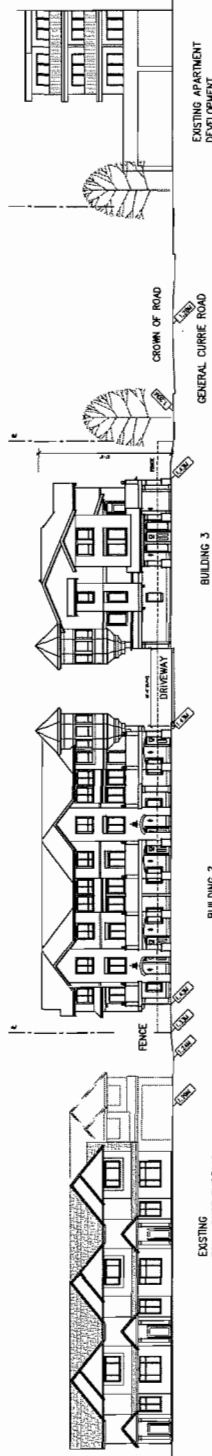
A-10



INTERNAL DRIVE AISLE SECTION/ELEVATION
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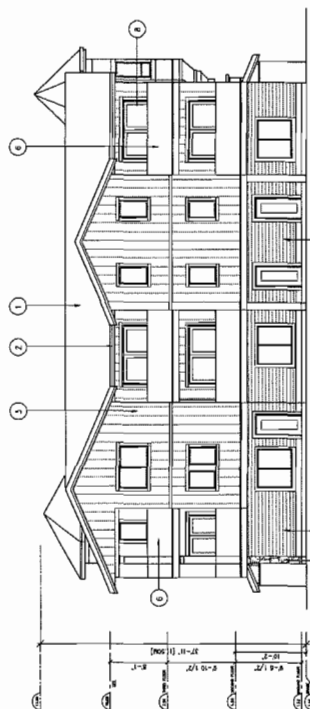


NORTH SITE ELEVATION - (GENERAL CURRIE ROAD)
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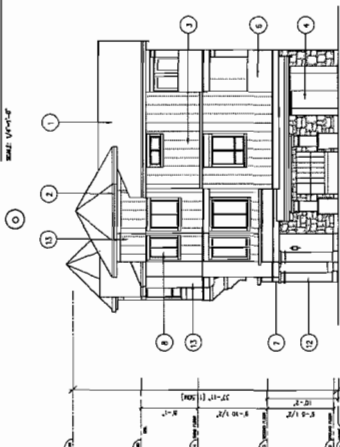


EAST SITE ELEVATION
SCALE 1/8"=1'-0"

PLAN #4.1



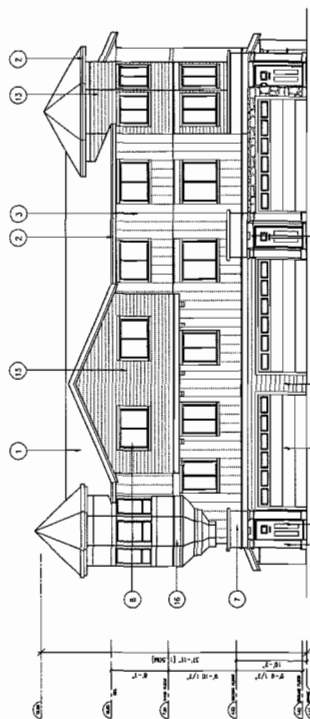
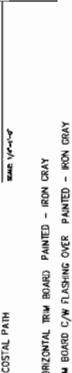
WEST ELEVATION - BUILDING 1



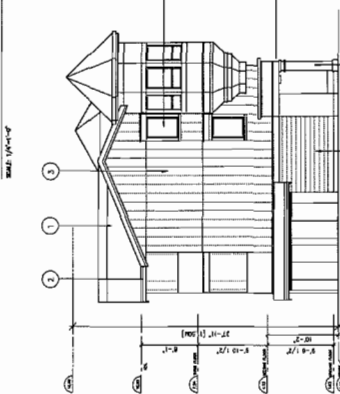
NORTH ELEVATION - BUILDING 1



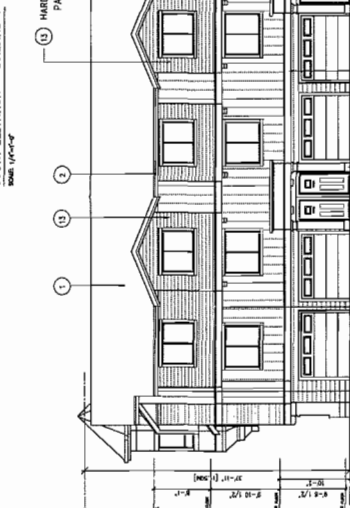
WEST ELEVATION - BUILDING 2



EAST ELEVATION - BUILDING 1



SOUTH ELEVATION - BUILDING 1



1000



- EXTERIOR FINISH & COLOR
- 1 ASPHALT SHINGLES - DUAL BLACK - NO
 - 2 5" ALUM. GUTTER ON
 - 3 2X6 WOOD FASCU BOARD - PAINTED (TYP.)
BN. AF-585 MYSTERIOUS
 - 4 HANDPANEL-PAINTED (TYP.) - ROSE GRAY
 - 5 HANDIE BOARD (BOARD & BATTEN) - MONTEREY TAUPE
 - 6 CULTURE STONE - CAMBRIA CLIPSTONE
- ELBORADO STONE
 - 7 2X4 WOOD TRIM - MATCH THE SIDING COLOR
 - 8 ALUMIN. GARGOIL (BLACK)
 - 9 BUILT-UP WOOD CANSOLY & F
 - 10 POST W/ HANDPAINT-PAINTED (TYP.) - IRON GRAY
 - 11 DOUBLES GLAZED WOODS IN 4X4 FRAAMES
2X4 SLIDERS (15') X 2X4 SILL & TOP TRIM
C/W FLASHING OVER
TRIM PAINTED: BN. AF-720 SPARROW
 - 12 HANDIE SIDING (7") - TRADITIONAL RED
 - 13 LIGHT FIXTURE
 - 14 SOLID CORE WOOD DOOR - BJ 1231 WYNWOOD
 - 15 BUILT-UP WOOD CANSOLY & POST
W/ HANDPAINT-PAINTED (TYP.)

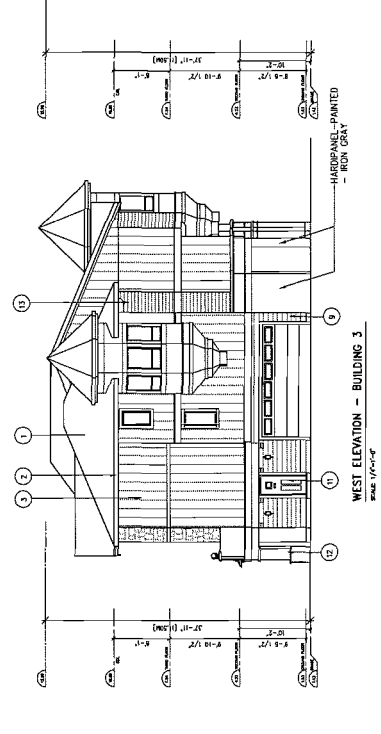
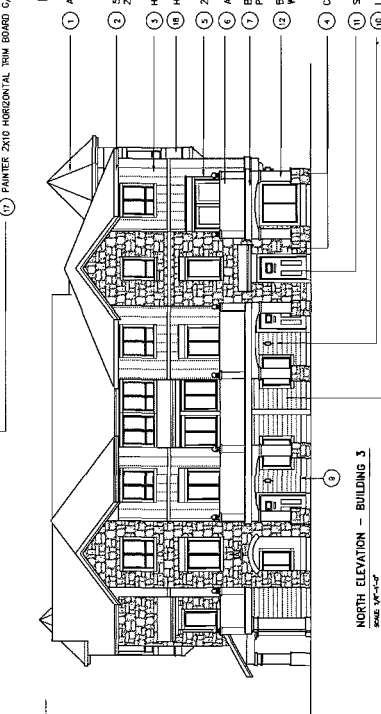
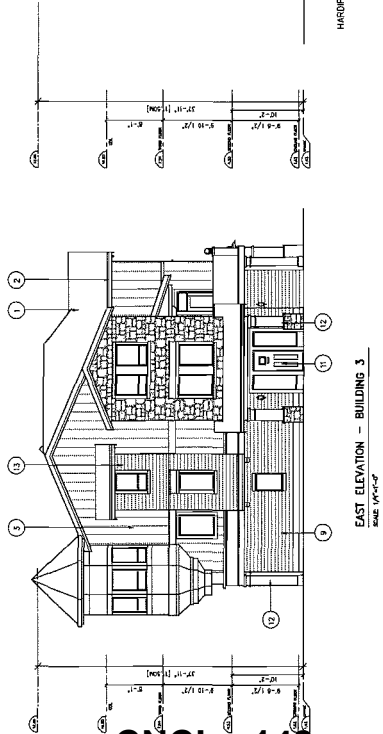
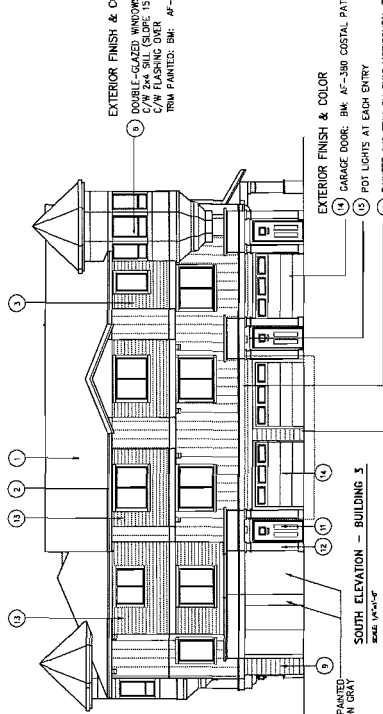
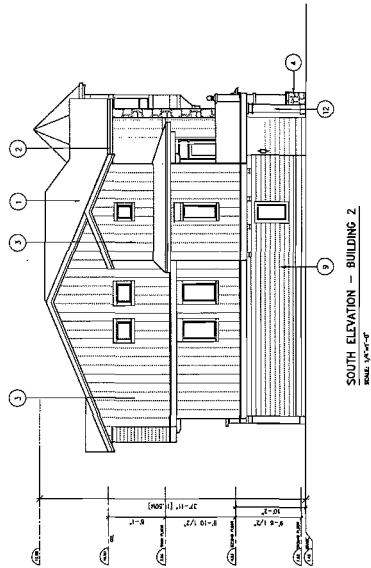
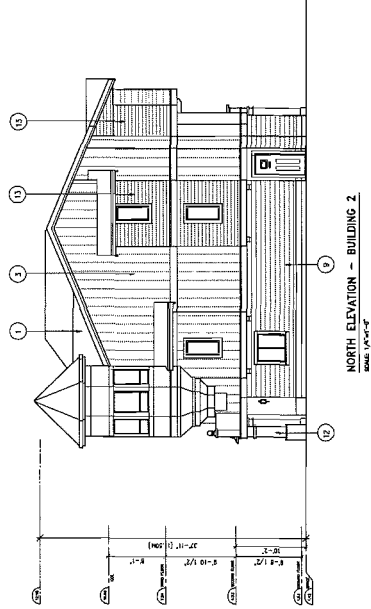


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PLAN #4.2



CNCL - 142

EXTERIOR FINISH & COLOR

- 1 DOUBLE-GLAZED WINDOWS IN WHITE FRAMES
- 2 C/W 2x4 SILL (SLIDE 15)
- 3 C/W FLASHING OVER
- 4 TRIM PAINTED: BM: AF-720 SPARROW

EXTERIOR FINISH & COLOR

- 1 GARAGE DOOR: BM: AF-380 COSTAL PATH
- 2 POT LIGHTS AT EACH ENTRY
- 3 PAINTER 2x2 TRIM ON 2x12 HORIZONTAL TRIM BOARD
- 4 PAINTER 2x10 HORIZONTAL TRIM BOARD C/W FLASHING OVER

EXTERIOR FINISH & COLOR

- 1 ASPHALT SHINGLES - DUAL BLACK - NO
- 2 5" ALUM. GUTTER ON
- 3 2x6 WOOD FASCIA BOARD - PAINTED (TYP.)
- 4 BM: AF-563 MYSTERIOUS
- 5 HARDIE BOARD (BOARD & BATTEN) - MONTEREY TALPE
- 6 HARDIPANEL-PAINTED (TYP.) - IRON GRAY
- 7 2x4 WOOD TRIM - MATCH THE SOUNG COLOR
- 8 ALUM. GUARDRAIL (BLACK)
- 9 BUILT-UP WOOD CANOPY &
- 10 POST W/HARDIPANEL-PAINTED (TYP.) - IRON GRAY
- 11 BUILT-UP WOOD COLUMN & POST
- 12 W/HARDIPANEL-PAINTED (TYP.) - IRON GRAY
- 1 CULTURE STONE - CAMBRIA GUESTSTONE
- 2 SOLID CORE WOOD DOOR
- 3 ELDORADO STONE
- 4 LIGHT FIXTURE
- 5 HARDIE SIDING (7) - TRADITIONAL RED

12 UNITS
TOWNHOUSE
DEVELOPMENT

8400 GORDON DRIVE RD.
2410, 7431 ST ALBANS RD.
RICHMOND, BC

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ELEVATIONS

Date:

Scale: 1/8"=1'-0"

Drawn By:

Checked By:

Project No.:

Drawing No.:

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Not a building, it will be built. Use Approved Dimensions Only

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LANDSCAPE
ARCHITECTS

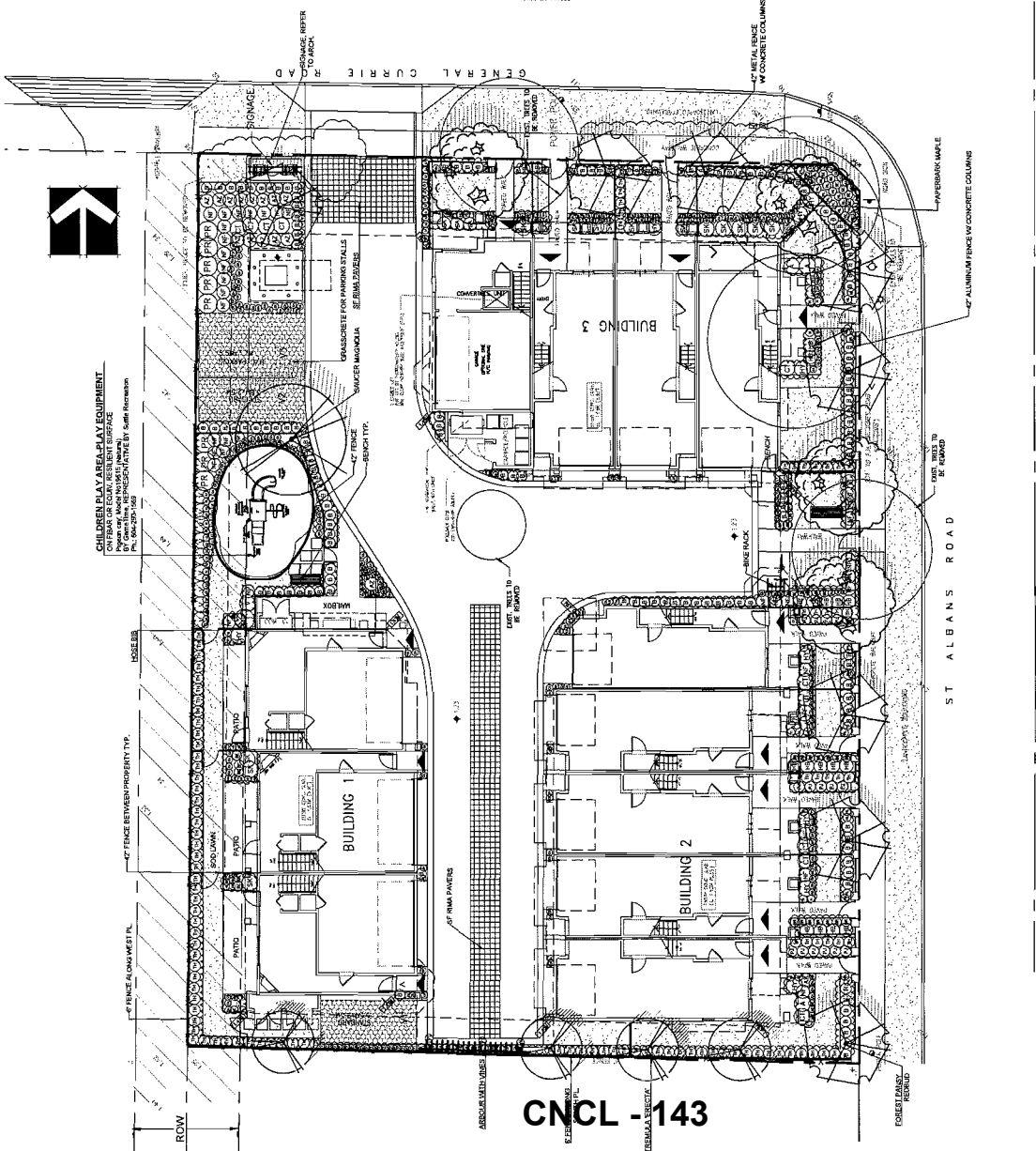
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Richmond, BC V6V 2G2
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REAL

PLANT SCHEDULE

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PROJECT:
**14 UNIT CONDOMINIUM
DEVELOPMENT**
8400 GENERAL CURRIE ROAD
RICHMOND

DRAWING TITLE:
**LANDSCAPE
PLAN**

DATE: 13-JUNE-16
SCALE: 1"=10' 0"
DRAWN: RN
DESIGN: RN
CHECK: KC
DRAWING NUMBER:
L2
OF 3

PAGE PROJECT NUMBER: 13-096



RZ 13-643346

Attachment 3

Address: 8400 General Currie Road and 7411/7431 St. Albans Road

Applicant: Zhao XD Architect Ltd.

Planning Area(s): City Centre

	Existing	Proposed
Owner:	Benest Real Estate Development Ltd.	No Change
Site Size (m²):	1,956.8 m ²	1948.8 m ²
Land Uses:	Single-Family Residential & Duplex	Multiple-Family Residential
OCP Designation:	Neighbourhood Residential	No Change
Area Plan Designation:	General Urban (T4)	No Change
702 Policy Designation:	N/A	No Change
Zoning:	Single Detached (RS1/E)	High Density Townhouses (RTH2)
Number of Units:	3	12
Other Designations:	N/A	No Change

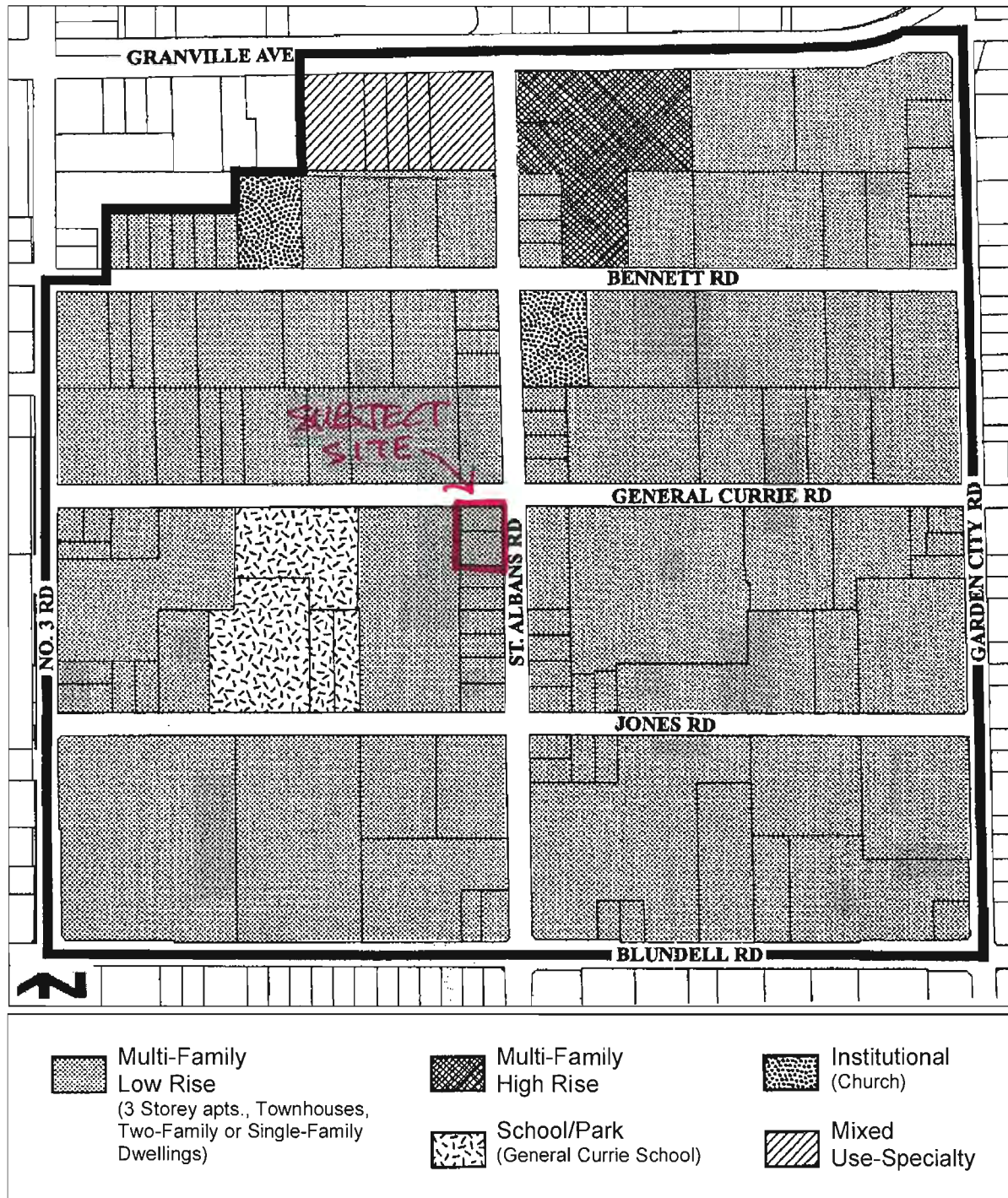
On Future Development Site	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.80	0.77	none permitted
Lot Coverage – Building:	Max. 45%	41.2%	none
Lot Coverage – Non-porous Surfaces:	Max. 70%	70% Max.	none
Lot Coverage – Landscaping:	Min. 20%	24.4%	none
Setback – Front Yard (North) (m):	Min. 4.5 m	4.50 m	none
Setback – Exterior Side Yard (East) (m):	Min. 2.0 m	4.50 m	none
Setback – West Side Yard (m):	Min. 2.0 m	3.00 m	none
Setback – Rear Yard (South) (m):	Min. 2.0 m	2.00 m	none
Height (m):	12.0 m (3-storeys)	11.55 m (3-storeys)	none
Lot Size:	600 m ² (min. 20 m wide x 30 m deep)	1,956.8 m ² (37.97 m wide x 51.06 m deep)	none
Off-street Parking Spaces – Regular (R) / Visitor (V):	1.4 (R) and 0.2 (V) per unit	2.0 (R) and 0.25 (V) per unit	none

On Future Development Site	Bylaw Requirement	Proposed	Variance
Off-street Parking Spaces – Total:	20	27	none
Tandem Parking Spaces:	Max. 50% of proposed residential spaces (24 x Max. 50% = 12)	16	Variance Requested
Small Car Parking Spaces	None when fewer than 31 spaces are provided on site	0	none
Handicap Parking Spaces:	Min. 2% when 3 or more visitor parking spaces are required (3 x Min. 2% = 1)	1	none
Amenity Space – Indoor:	Min. 70 m ² or Cash-in-lieu	Cash-in-lieu	none
Amenity Space – Outdoor:	Min. 6 m ² x 12 units = 72 m ²	72 m ²	none

Other: Tree replacement compensation required for removal of bylaw-sized trees.

City of Richmond

Land Use Map



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pmg
LANDSCAPE
ARCHITECTS
4185 5th Street, Suite 100
Richmond, British Columbia, V6V 2G9
P: 604-274-0071 F: 604-274-0022

SEAL:



1. TITLE	14 UNIT CONDOMINIUM DEVELOPMENT
2. DATE	2018-12-12
3. DRAWN BY	PMG
4. CHECKED BY	PMG
5. DATE	2018-12-12
6. DATE	2018-12-12
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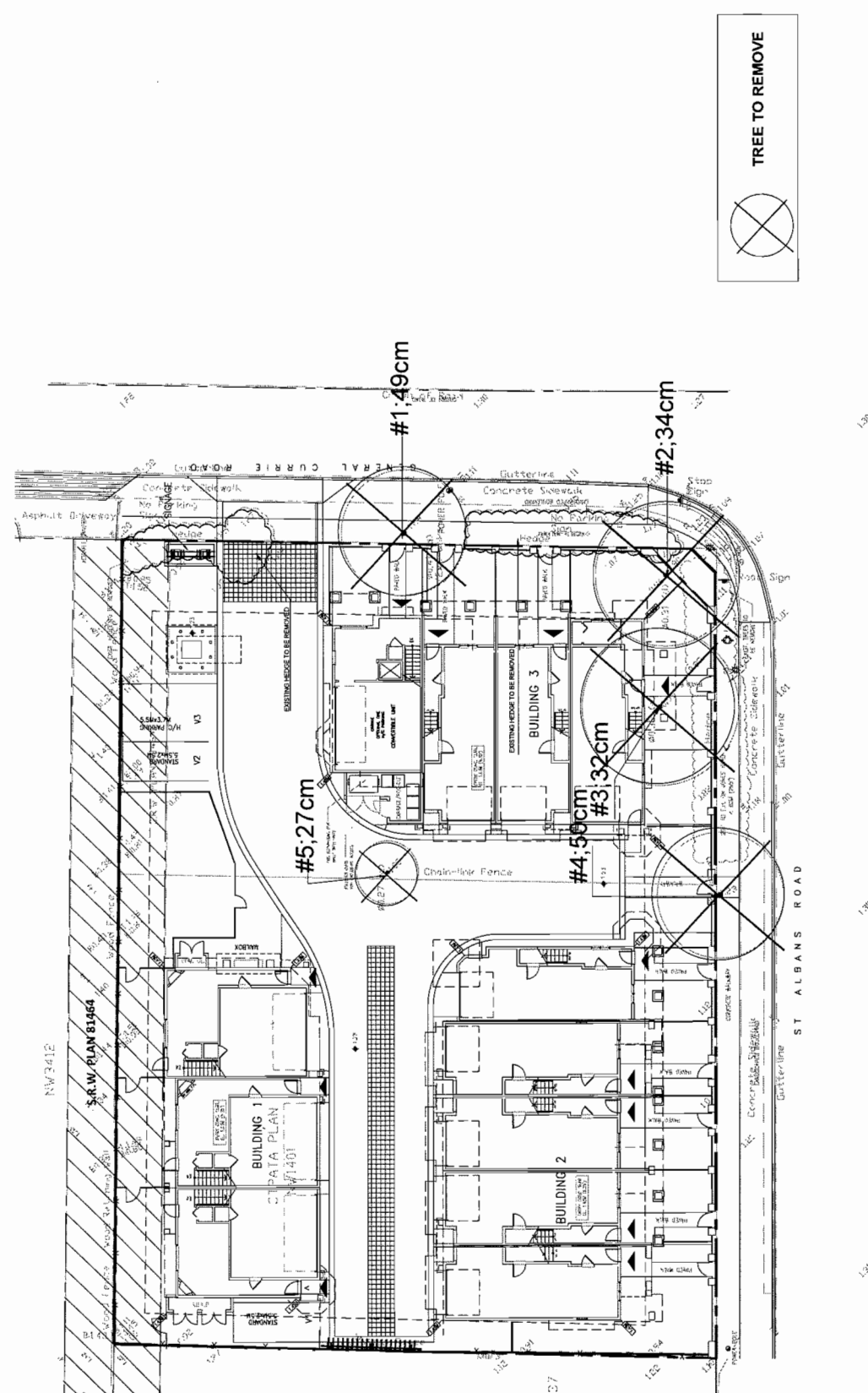
PROJECT:
14 UNIT CONDOMINIUM DEVELOPMENT
8400 GENERAL CURRIE ROAD
RICHMOND

DRAWING TITLE:
TREE MANAGEMENT PLAN

DATE: 12/12/18
SCALE: 1"=10'-0"
DRAWN BY: PMG
CHECKED BY: PMG
DESIGN: PMG

L1

OF 3
13-006



Suitable Replacement Trees		
Species		
Common Name	Botanical Name	
ACER GRISEUM	PAPERBARK MAPLE	
CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD	
MAGNOLIA SOULANGEANA	SAUCER MAGNOLIA (PINK)	
POPULUS TREMULA 'ERECTA'	SWEDISH COLUMNAR ASPEN	

Table of Trees				
Species				
Tree No.	Common Name	Botanical Name	DBH(cm)	CRZ radius (m)
No.1	Birch	Betula sp.	49	2.5
No.2	Cherry	Prunus sp.	34	2.1
No.3	Birch	Betula sp.	32	2.0
No.4	Plum	Prunus sp.	50	2.5
No.5	Spruce	Picea sp.	27	1.6



Rezoning Considerations

Development Applications Division
6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 8400 General Currie Road and 7411/7431 St. Albans Road

File No.: RZ 13-643346

Prior to final adoption of Richmond Zoning Bylaw 8500, Amendment Bylaw 9111, the developer is required to complete the following:

1. Consolidation of all the lots into one development parcel (which will require the demolition of the existing dwellings).
2. Dedication of a 4 m x 4 m corner cut at General Currie Road and St. Albans Road.
3. Registration of a flood indemnity covenant on title.
4. Registration of a legal agreement on Title prohibiting the conversion of the tandem parking area/garage into habitable space.
5. Confirmation to the City of winding up and cancellation of Strata Plan NW1401.
6. Discharge of existing covenant on title restricting the use of the property to a two-family dwelling only (charge #RD105938).
7. City acceptance of the developer's offer to voluntarily contribute \$0.77 per buildable square foot (e.g. \$12,975.12) to the City's Public Art fund.
8. Contribution of \$1,000.00 per dwelling unit (e.g. \$12,000.00) in-lieu of on-site indoor amenity space.
9. City acceptance of the developer's offer to voluntarily contribute \$2.00 per buildable square foot (e.g. \$33,701.61) to the City's affordable housing fund.
10. City acceptance of the developer's offer to voluntarily contribute \$2,600 to Parks Division's Tree Compensation Fund for the removal of a birch tree and a plum tree located on the city boulevard in front of the site.

Note: Developer/contractor must contact the Parks Division (604-244-1208 ext. 1342) four (4) business days prior to the removal to allow proper signage to be posted. All costs of removal and compensation are the responsibility borne by the applicant.

11. The submission and processing of a Development Permit* completed to a level deemed acceptable by the Director of Development.
12. Enter into a Servicing Agreement* for the design and construction of frontage improvements and service connections. Works include, but may not be limited to:
 - a) Removing the existing sidewalk on both frontages, pouring new 1.5 m sidewalk at the property line with the balance of the area behind the curb & gutter being converted to a grass & treed boulevard. Existing City infrastructure (streetlight pole, hydrant, traffic signal, etc.) and private utility infrastructure (power pole) may need to be relocated to accommodate frontage improvements.
 - b) Existing power pole along the south property line of the development site on General Currie Road is to be removed.
 - c) There is an existing asbestos cement watermain along St Albans Road; if the watermain is damaged and/or impacted during construction of frontage works, repair and/or replacement will required at the developer's cost.
 - d) Fire hydrant is required along General Currie Road to achieve minimum 75 m spacing for multiple-family area.
 - e) City's preference is to have the proposed Water service connection on General Currie Road to avoid cutting into St. Albans Road, which was recently paved.
 - f) The Sanitary service connection is to tie into existing manhole SMH6350, located at the northeast corner of 8300 General Currie Road.
 - g) Storm main along the frontage from existing manhole STMH4601 (southwest corner of General Currie/St Albans) to existing manhole STMH4634 (approximately 5 m west of west property line of development site) with a length of 45 m) must be upgraded to a min. 600 mm by the developer, as per City requirements.

- h) City's preference is to have the proposed Storm service connection on General Currie Road to avoid cutting into St Albans Rd, which was recently paved.
- i) All existing service connections & ICs at the development site are to be removed and leads are to be capped at the main at the developer's cost.

Notes:

- All works are at the Owners sole cost; i.e. NO DCC credits apply.
- The developer is responsible for the under-grounding of the existing private utility pole line and/or the installation of pre-ducting for private utilities (subject to concurrence from the private utility companies) along the development frontage.
- Private utility companies will require rights-of-ways for their equipment (vistas, kiosks, transformers, etc.) and/or to accommodate the future under-grounding of the overhead lines. The developer is required to contact the private utility companies to learn of their requirements.

Prior to a Development Permit* being forwarded to the Development Permit Panel for consideration, the developer is required to complete the following:

1. The submission and processing of the required Servicing Agreement* completed to a level deemed acceptable by the Director of Development.

Prior to Development Permit Issuance, the developer must complete the following requirements:

1. Submission of a Landscaping Security to the City of Richmond based on 100% of the cost estimates provided by the landscape architect.

Prior to Building Permit Issuance, the developer must complete the following requirements:

1. Should the applicant wish to begin site preparation work after third reading of the rezoning bylaw, but prior to final adoption of the rezoning bylaw and issuance of the Development Permit, the applicant will be required to obtain a Tree Permit and submit landscaping security (i.e. \$3,000 in total) to ensure the replacement planting will be provided.
2. Submission of fire flow calculations signed and sealed by a professional engineer, based on the Fire Underwriters Survey to confirm that there is adequate available water flow.
3. Submission of DCC's (City & GVS&DD), School site acquisition charges, and Utility charges etc.
4. Submission of a Construction Parking and Traffic Management Plan to the Transportation Division. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
5. Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
6. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Division at 604-276-4285.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, Letters of Credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

[signed copy on file]

Signed

Date



**Richmond Zoning Bylaw 8500
Amendment Bylaw 9111 (RZ 13-643346)
8400 General Currie Road and 7411/7431 St. Albans Road**

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, is amended by repealing the existing zoning designation of the following area and by designating it **“HIGH DENSITY TOWNHOUSES (RTH2)”**.

P.I.D. 003-909-786

The Northerly 70 Feet Lot 3 Section 16 Block 4 North Range 6 West New Westminster District Plan 15926

P.I.D. 001-792-130

Strata Lot 2 Section 16 Block 4 North Range 6 West New Westminster District Strata Plan NW1401 Together with an Interest in the Common Property in Proportion to the Unit Entitlement of the Strata Lot as Shown on Form 1

P.I.D. 001-792-121

Strata Lot 1 Section 16 Block 4 North Range 6 West New Westminster District Strata Plan NW1401 Together with an Interest in the Common Property in Proportion to the Unit Entitlement of the Strata Lot as Shown on Form 1

2. This Bylaw may be cited as **“Richmond Zoning Bylaw 8500, Amendment Bylaw 9111”**.

FIRST READING

A PUBLIC HEARING WAS HELD ON

SECOND READING

THIRD READING

OTHER CONDITIONS SATISFIED

ADOPTED

CITY OF RICHMOND
APPROVED by <i>RK</i>
APPROVED by Director or Solicitor <i>ul</i>

MAYOR

CORPORATE OFFICER



To: Planning Committee
From: Wayne Craig
Director of Development

Date: February 24, 2014


File: RZ 12-605038

Re: **Application by Yamamoto Architecture Inc. for Rezoning at 7120, 7140, 7160, 7180, 7200, 7220, 7240 and 7260 Bridge Street, and 7211, 7231 and 7271 No. 4 Road from "Single Detached (RS1/F)" to "Single Detached (ZS14) – South McLennan (City Centre)" and "Town Housing (ZT70) – South McLennan"**

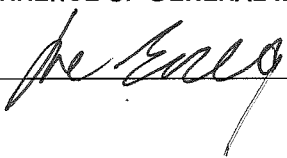
Staff Recommendation

1. That Richmond Official Community Plan Bylaw 7100 Amendment Bylaw 9106, to:
re-designate the eastern 62 m of 7120, 7140, 7160, 7180, 7200, 7220, 7240 and 7260 Bridge Street from "Residential, Historic" to "Residential, 2 ½ Storeys" in the Land Use Map in Schedule 2.10D (McLennan South Sub-Area Plan); and to amend the Character Area Key Map in Schedule 2.10D (McLennan South Sub-Area Plan) for the same portion of the site from "Single Family" to "Townhouse 2 ½ Storeys", be introduced and given first reading;
2. That Bylaw 9106, having been considered in conjunction with:
 - The City's Financial and Capital Program; and
 - The Greater Vancouver Regional District Solid Waste and Liquid Waste Management Plans;are hereby found to be consistent with said program and plans in accordance with Section 882 (3) of the Local Government Act;
3. That Bylaw 9106, having been considered in accordance with OCP Bylaw Preparation Consultation Policy 5043, is hereby found not to require further consultation; and

4. That Richmond Zoning Bylaw 8500, Amendment Bylaw 9107, to: create "Town Housing (ZT70) – South McLennan"; to rezone the eastern portions of 7120, 7140, 7160, 7180, 7200, 7220, 7240 and 7260 Bridge Street, and the lots at 7211, 7231 and 7271 No. 4 Road from "Single Detached, (RS1/F)" to "Town Housing (ZT70) – South McLennan"; and to rezone the western 28 metres of 7120, 7140, 7160, 7180, 7200, 7220, 7240 and 7260 Bridge Street from "Single Detached, (RS1/F)" to "Single Detached (ZS14) – South McLennan (City Centre)"; be introduced and given first reading.


Wayne Craig
Director of Development

DJ/BK:blg
Att.

REPORT CONCURRENCE		
ROUTED TO:	CONCURRENCE	CONCURRENCE OF GENERAL MANAGER
Affordable Housing	<input checked="" type="checkbox"/>	
Transportation	<input checked="" type="checkbox"/>	
Engineering	<input checked="" type="checkbox"/>	
Policy Planning	<input checked="" type="checkbox"/>	

Staff Report

Origin

Yamamoto Architecture Inc. has applied to create a new site-specific townhouse zone “Town Housing (ZT70) – South McLennan)” and to rezone the eastern portions of 7120, 7140, 7160, 7180, 7200, 7220, 7240 and 7260 Bridge Street, and the lots at 7211, 7231 and 7271 No. 4 Road from “Single Detached, (RS1/F)” to this new “Town Housing (ZT70) – South McLennan)” zone to permit a 78-unit townhouse complex on the east of site, extending to No. 4 Road. The applicant has also applied to rezone the western 28 m of the properties at 7120, 7140, 7160, 7180, 7200, 7220, 7240, and 7260 Bridge Street, from “Single Detached (RS1/F)” to “Single Detached (ZS14) – South McLennan (City Centre)”, to permit the creation of seven (7) single detached properties fronting Bridge Street(**Attachment 1**). An amendment to the McLennan South Sub-Area Plan, Schedule 2.10D of the Official Community Plan is also required.

Findings of Fact

A Development Application Data Sheet providing details about the development proposal is provided in **Attachment 2**.

Surrounding Development

To the North:

- At 9699 Sills Avenue, a 45-unit, two-storey townhouse complex, zoned “Low Density Townhouses (RTL3)”.
- At 7195 and 7191 No. 4 Road, Single-Family Dwellings zoned “Single Detached (RS1/F)”.

To the East: Across No. 4 Road, a Single Detached Dwellings zoned “Agriculture (AG1)”.

To the South:

- At 7280 and 7300 Bridge Street, two storey Single Detached Dwellings, zoned “Single Detached (RS1/F)”.
- At 7311 and 7315 No. 4 Road, Single Detached Dwellings zoned “Single Detached (RS1/F)”.
- At 7331 No. 4 Road, a 22-unit, two-storey townhouse complex, zoned “Town Housing (ZT16) – South McLennan and St. Albans Sub-Area (City Centre)”.

To the West: Across Bridge Street, Single Detached Dwellings zoned “Single Detached (RS1/F)”.

Related Policies & Studies

Richmond Official Community Plan (OCP) – Schedule 1

The Richmond Official Community Plan (OCP) designates this subject site as “Neighbourhood Residential (NRES)” in its 2041 Land Use Map. This permits single-family, two-family and multiple family housing (specifically townhouses). The proposed development would be consistent with the “Neighbourhood Residential (NRES)” land use designation.

McLennan South Sub-Area Plan – Schedule 2.10D

The McLennan South Sub-Area Plan Land Use Map (**Attachment 3**) designates the land use of the subject properties as:

- Bridge Street properties: “Residential, Historic Single-Family”, 2 ½ storeys maximum 0.55 base floor area ratio (F.A.R.). Lot Size along Bridge and Ash Streets: Large-sized lots (e.g. 18 m/59 ft. minimum Frontage and 550 m²/ 5,920 ft² minimum area).
- No. 4 Road properties: “Residential, 2 ½ storeys” typical (3 storeys maximum), predominately Triplex, Duplex, Single Family 0.55 base F.A.R.

To support this proposal, an OCP Amendment is required to amend Schedule 2.10D; to amend the McLennan South Sub-Area Plan as follows:

1. Redesignation of the rear portion of the site fronting onto Bridge Street from “Residential (Historic)” to “Residential (2 ½ Storeys)” and a related amendment to the Sub-Area Plan Land Use Map.

The western portion (62 m) of the rear of the subject lots that front onto Bridge Street of the proposed townhouse project is currently designated in the Sub-Area Plan for single family use. To allow the proposed townhouse development to proceed, the land use designation of the area must be amended from “Residential (Historic)” to “Residential (2 ½ Storeys)”, and a map change is also required.

2. Amendment to the Character Area Key Map to support the changes to the Land Use Map identified in (1).

The Character Area Key map in the McLennan South Sub-Area Plan identifies the same portion of the site for single-family, duplex and tri-plex uses. An amendment to this map to reflect the proposed townhouse use is required.

Floodplain Management Implementation Strategy

In accordance with the City’s Flood Management Strategy, the minimum allowable elevation for habitable space is 2.9 m GSC or 0.3 ms above the highest crown of the adjacent road. A Flood Indemnity Covenant is to be registered on Title prior to final adoption of the rezoning bylaw.

Affordable Housing Strategy

In accordance with the City’s Affordable Housing Strategy, information to either building and supplying affordable housing units, or voluntary contributions to the Affordable Housing Reserve Fund have been forwarded to the applicant. Details on the applicant’s response to these requirements are provided later in this report.

Buffer to Agricultural Lands

In accordance with official Community Plan, a landscape buffer will be provided along the No. 4 Road frontage of the site, providing an interface to the lands on the east side of No.4 Road, which are located within the Agricultural Land Reserve (ALR) and are zoned “Agriculture (AGR)”. A 6.0 m setback is proposed for townhouse units on No. 4 Road, and details of the landscaping / buffering will be finalized through the Development Permit, including review of the proposed landscape plan for the buffer by the City of Richmond’s Agricultural Advisory Committee.

Consultation

Official Community Plan (OCP): The proposed rezoning and OCP amendment is consistent with City policies regarding consultation. This application was not referred to School District No. 38 (Richmond) because it does not have the potential to generate 50 or more school aged children. According to OCP Bylaw Preparation Consultation Policy 5043, which was adopted by Council and agreed to by the School District, residential developments which generate less than 50 school aged children do not need to be referred to the School District (e.g., typically around 295 multiple-family housing units). This application only involves 78 multiple-family housing units.

The proposed development site does not fall within an aircraft noise area, and therefore the application has not been referred to the Vancouver International Airport.

General Public: The applicant held a Public Information Meeting on December 18, 2013, at the nearby General Currie Elementary School. The proponent placed advertisements in four (4) consecutive editions of the Richmond Review on Dec 6th, 11th, 13th and 18th, 2013, and conducted a Canada Post mail drop to all of the McLennan South Sub-Area Plan area (approximately 4,600 residences), including the immediately surrounding neighborhood. Approximately 20 people attended the meeting. Concerns from those in attendance were largely related to on-street parking impacts arising from the additional density, traffic generation and improvements on Bridge Street. The applicant has provided a summary report of the Public Information Meeting (**Attachment 6**).

In response to the comments raised at the meeting, staff note that the eastern frontage of Bridge Street, including two lots not part of the application (at 7280 and 7300 Bridge Street) will be improved with gutter, curb, boulevard and sidewalk. Parking impacts should be minimal, as each unit features a side-by-side double garage and on-site visitor's parking spaces are provided in accordance with the requirements of the Richmond Zoning Bylaw 8500. The proposed development will see the construction of a new east-west connector road which will connect Bridge Street east to No. 4 Road. In addition, a new portion of LeChow Street will be constructed through the site, which will allow ready access to the east-west connector road. The bulk of traffic will likely use the connector to access No. 4 Road, rather than using streets to the west of the site. Those cars that do leave the site and move west will have little impact on existing single family lots to the west as Sills Avenue and Shields Avenue allow access to Granville Road and General Currie while bypassing the majority of adjacent single family lots.

Staff are of the opinion that the site design and transportation changes made since the public information meeting effectively address the concerns raised.

Public Input

A notice board is posted on the subject property to notify the public of the proposed development. In addition to the comments provided at the open house, staff have received a number of responses from the public in relation to this application. Adjacent property owners have raised concerns regarding the land use change from single-family residential to townhouse.

In response to the notice board on the subject site, staff received written correspondence on two occasions from the owner of an adjacent lot at 7280 Bridge Street (**Attachment 6**). Primary

concerns of the resident are the proposed use and density of the townhouse site, and the changed character of the lots fronting onto Bridge Street. The resident specifically mentioned his concern that the lots on Bridge Street not be less than 18 m in width. The seven (7) proposed residential lots have a minimum width of 20.5 m and depth of 26.9 m. The resident also made specific comments regarding the transition from the proposed townhouses and single family lots on Bridge Street. The applicant has been made aware of these concerns and has made design revisions to the height and massing of proposed units which would be adjacent to this lot.

Staff also received an email from the resident at 7231 Bridge Street raising concerns with the proposed re-designation to townhouse to allow increased density, and resulting traffic and street parking concerns. The resident has also requested that the west side of Bridge Street be upgraded, but staff note that this is beyond the scope of this application, and upgrades to the west will be achieved when those lands re-develop.

Should this application receive first reading, a Public Hearing will be scheduled.

Analysis

The application analysis is set out in two (2) parts to clarify the proposed amendments to the OCP and the proposed rezoning bylaw.

PART 1 – OFFICIAL COMMUNITY PLAN (OCP) AMENDMENT TO THE MCLENNAN SOUTH SUB-AREA PLAN (SCHEDULE 2.10D) AMENDMENT (BYLAW 9106)

The McLennan South Sub-Area Plan establishes a framework for the evolution of this area into an important City Centre residential neighbourhood. The plan aims to respect many of the area's features, including its traditional single-family character and mature landscape, while still providing opportunity for a variety of new housing types.

The current land use designations in the Sub-Area Plan would allow the single family homes on large lots on the west of the site – lots fronting onto Bridge Street – to remain, while providing for subdivision potential of the rear (east) of these properties, which would front onto a new road (LeChow Street) as identified in the Plan. The McLennan South Sub-Area Plan would allow townhouse development for the lands located between LeChow Street and No. 4 Road, with a new avenue to connect LeChow Street to No. 4 Road, providing access to townhouse sites.

Attachment 3 provides the current land use designations and proposed road alignments in the area. The applicant will be constructing a full-width east-west connector road from LeChow Street to No. 4 Road, which will improve vehicle and pedestrian connectivity in the neighbourhood.

The extent of the applicant's proposed amendment to the Official Community Plan is illustrated in **Attachment 4**. The proposed development (**Attachment 5**) will require a designation change for the eastern 62 m portion of the lots fronting Bridge Street extending east toward the future alignment of LeChow Street. The applicant proposes the amendment to the Sub-Area Plan for an area of approximately 10,800 m² (116,315 ft²). The Sub-Area Plan designation for the western portion of the lands fronting onto Bridge Street (an area 28 m deep) will not be changed.

The proposed townhouse designation permits the on-site preservation of 9 trees, which would not likely be possible if the lands were to be rezoned and subdivided for single family lots, as single family lots have a larger permitted footprint on each lot and the required floor-proofing grade

change. The proposed re-designation of a portion of the site to permit townhouses allows for a more site specific building envelope, and the requirement for on-site outdoor amenity area provides the opportunity to preserve trees on the site. An indoor amenity area will be provided, and the applicant has offered that this amenity space will be heated and cooled by a geothermal system. Registration of a legal agreement to ensure this is a consideration of final adoption of the rezoning bylaw.

Maintaining the Single Family Designation on the lands fronting Bridge Street achieves a key objective of the McLennan South Sub-Area Plan: to ensure large single family lots are maintained on Bridge Street. In addition, the proposed townhouse design features two-storey units along the rear yards of the single family lots in order to enhance the interface between land uses.

Staff support the proposed re-designation, as the project would maintain a single-family interface to the west, and the townhouse designation is consistent with the overall goals of the McLennan South Sub-Area Plan.

PART 2 – REZONING BYLAW 9107 TO REZONE THE WESTERN 28 M OF THE SITE FROM RS1/F TO SINGLE DETACHED (ZS14) – SOUTH MCLENNAN (CITY CENTRE), AND REZONE THE EASTERN PORTION TO ZT70 FOR 78 TOWNHOUSE UNITS .

Proposed Zoning to Single Detached (RS1/E) and Town Housing (ZT70) – South McLennan

The proposed rezoning from “Single Detached RS1/F” zone to “Single Detached (ZS14) – South McLennan (City Centre)” zone for the western portion of the lots fronting onto Bridge Street allows the subdivision of these properties to create lots with a minimum depth of 24 m. The current “Single Detached RS1/F” zone requires a minimum depth of 45 m, and the proposed resulting lots would not conform. Staff support the proposed rezoning, as the “Single Detached (ZS14) – South McLennan (City Centre)” lots would result in lots keeping in the general character of single-family lots in the area. The ZS14 Zone has been used to allow subdivision of a number of properties in the surrounding area.

The rezoning of the eastern portion of the site from “Single Detached RS1/F” zone to the proposed new “Town Housing (ZT70) – South McLennan)” zone would permit the proposed 78-unit townhouse project, and associated on-site amenity space. The “Town Housing (ZT70) – South McLennan)” zone has been based on the “Medium Density Townhouses (RTM3)” zone, with a minor increase in floor area ratio from 0.7 to 0.72, and minor reduction in required setbacks to public roads.

Transportation and Site Access

To support the implementation of the McLennan South Sub-Area Plan, the applicant has worked closely with staff to resolve transportation-related issues to arrive at a land use proposal and road concept consistent with the road network envisioned in the McLennan South Sub-Area Plan (**Attachment 5**).

East – West Connector Road

A new intersection will be created on No. 4 Road between Granville Avenue and Blundell Road, through the dedication and construction of an as-yet unnamed east-west connector road from No.4 Road west to LeChow Street. A full width road will be constructed and the intersection at No. 4 Road will feature a new traffic signal provided by the developer.

The proposed road alignment of this new east-west road has been designed to avoid impacts on the properties at 7191 and 7195 No. 4 Road, maintaining their development potential, as well as providing the required access to the proposed townhouse development. A dedication of 16.95 m along the northern edge of the site is required, and a Servicing Agreement will be entered into to secure full road construction, curb and gutter, grassed boulevard with street trees, and sidewalk all on the south side of the road dedication fronting the site. The applicant has agreed to provide a gravel path along the north side of the east-west connector road for pavement stability and additional setback, while maintaining the future redevelopment potential of 7191 and 7195 No. 4 Road. When these adjacent sites develop at higher densities in the future, final road dedication and required construction will be secured from those properties through a rezoning application and Servicing Agreement.

LeChow Street

The applicant has agreed to dedicate 10.65 m of land off for LeChow Street along the east portion of the site (the rear of the parent properties which currently front onto Bridge Street). The applicant has proposed an interim road design that will not include the standard grass and tree boulevard, but a sidewalk, curb and gutter and a road where the applicant will construct a road wide enough to support two-way traffic movement and a sidewalk within the dedicated lands, directly adjacent to the western edge of 7191 and 7195 No. 4 Road. The full road will be constructed when 7191 and 7195 No. 4 Road are re-developed.

The applicant has provided a final design and a cost estimate for the ultimate works to change the interim condition of the west side of LeChow Street to the City standard, and has agreed to provide a cash contribution in the amount of \$80,000 for these works. The City's Engineering Department has reviewed the cost estimate and agrees that its value is appropriate. The contribution will be payable prior to the adoption of rezoning.

LeChow Street will also be dedicated through the subject site extending south from the east-west connector road, and will be provided in a 12 m road dedication with curb and gutter, grass boulevard on the west side, and sidewalk on the west side. The dedication of this portion of LeChow Street is consistent with the road concept outlined in the McLennan South Sub-Area Plan.

Shields Avenue

A single parcel remains south of the proposed OCP amendment and rezoning, which is not included in the development proposal located at 7300 Bridge Street. The applicant has prepared a future development concept for this lot which illustrates that there is potential for a combination of two-storey townhouses and single-family lots for this parcel. In addition, the developer will provide a cash contribution of \$89,000 towards the future construction of the north portion of Shields Avenue, in recognition that the bulk of traffic on the future through road of Shields Avenue will be generated by the proposed townhouse project, and to further enhance the development potential of this adjacent parcel. The City's Engineering Department has reviewed the cost estimate and has agreed that the estimate is sufficient to proceed with the rezoning, but that final details regarding the deposit will be determined at the Servicing Agreement to the satisfaction of the Director of Engineering. This deposit will be payable prior to the adoption of rezoning.

Sills Avenue

The applicant will construct a portion of Sills Avenue along the north property line of the site, completing the road construction that was partially completed as part of a previous townhouse redevelopment at 9699 Sills Avenue. During the rezoning stage of this development (RZ 05-319627), the applicant at the time dedicated 7.50 m and made a financial contribution to the City for the purpose of providing funds to a future developer to build the full width road and frontage works of LeChow Street.

Engineering

The City's Engineering Department has determined the scope of upgrades to existing services and the extent of new services that are required to service the proposed development, as listed below. Further details will be specified at the Servicing Agreement stage.

Storm

- Upgrade the existing storm sewer from the southern property line of 7280 Bridge Street to Sills Avenue.
- Construct a new storm sewer along the east-west connector road connecting to the new LeChow Street storm sewer and the existing system on No. 4 Road.
- Construct a new storm sewer along LeChow Street from Shields Avenue to the existing system at Sills Avenue.

Sanitary

- The developer is responsible for constructing new sanitary sewers within road dedications as required to service the development site that will connect to the existing sanitary sewer system. Calculations for pipe sizing will be verified during the Servicing Agreement.

Water

- The developer is responsible for constructing new water mains within road dedications as required to service the development site that will connect to existing water mains on Bridge Street, Shields Avenue and No. 4 Road.

The developer is also responsible for the burial of hydro wires on existing utility poles.

Affordable Housing

The applicant will make a voluntary contribution to the Affordable Housing Reserve Fund consistent with the City's Affordable Housing Strategy. The voluntary contribution is based on \$2.00 per buildable square foot for townhouse units, and \$1.00 per buildable square foot for single family dwellings, calculated by the proposed Floor Area Ratio (FAR) of the townhouse units (0.7 FAR), and the allowed floor area ratio for the single family lots. The calculated contribution is \$217,610 for townhouse units and \$21,362 for single family dwellings, for a total affordable housing contribution of \$238,972, which is payable prior to the adoption of rezoning.

Amenity Space

The applicant is proposing a 529 m² outdoor amenity area in the south-west corner of the site, which will include lawn area, play space and 100 m² indoor amenity building. The size of the outdoor amenity and the indoor amenity room both meet the minimum requirements of the OCP.

The area is intended to function as a central gathering space for the townhouse complex. The indoor amenity area will be heated and cooled by a geothermal system. A legal agreement to secure this facility is a condition of rezoning.

Trees

The applicant has provided an arborist's report (**Attachment 7**) for the existing trees on the eleven (11) subject properties. A total of 241 on-site trees have been identified and assessed. A total of 9 trees will be retained through the proposed development, and the remainder of the trees will be removed. Of the 241 trees identified, 57 trees are located within required road dedication areas and are exempt from replacement requirements, and the balance of trees are either in poor condition, or in conflict with proposed building envelopes or with the internal roadways. Taking into account the 57 trees in road dedication areas and the nine (9) retained trees, a total of 175 removed trees require compensatory planting or cash-in-lieu of on-site trees.

The applicant proposes to retain a total of 9 trees on site, clustered around the outdoor amenity area at the south-west of the site. These trees are: 8 conifers (a mix of spruce and fir) and one sweetgum. Installation of protective tree fencing around these trees will be a condition of rezoning.

In addition to trees in conflict with roads and building envelopes, the City's flood proofing requirements require the applicant to raise building grades to a minimum flood construction level (FCL) of 2.9 m Geodetic Survey of Canada (GSC). This will require soil deposit / fill, which further impacts the ability to preserve trees on the site. The applicant is able to work with site grading around the proposed amenity area to save trees as there is flexibility with building locations and slab elevations that cannot be achieved elsewhere on the site. With the additional open space around the amenity building, the existing grade of approximately 1.7m GSC can be gradually interfaced with landscaping and grading to meet the overall site grade requirements for flood proofing to 2.9 m GSC, and minimize impacts on the trees.

With a 2:1 replacement ratio, a total of 350 replacement trees are required. There is insufficient space on the townhouse site and the proposed seven (7) single family lots to accommodate this number of trees. The applicant is proposing to replant 178 trees on the townhouse site and three trees per single family lot, for a total of 199 trees. A cash contribution in the amount of \$75,500 will be a condition of rezoning, as cash-in-lieu of required replacement trees.

Discharge of Restrictive Covenant BB0681427

A restrictive covenant was registered on the Title of 7160 Bridge Street in 2008 as part of an earlier subdivision application to create the lot. This covenant specified a minimum flood construction elevation of 0.9 m Geodetic Survey of Canada (GSC) elevation. Since that time, the minimum flood construction elevation for this area is 2.9 m GSC. The new minimum flood construction level will be secured by a new legal agreement registered on Title, and the existing legal agreement should be discharged as a condition of rezoning approval.

Public Art

In response to the City's commitment to the provision of Public Art, the developer is considering providing a piece of Public Art to the site. An option is to provide a voluntary contribution at a rate of approximately \$0.77/ft² based on maximum FAR (\$83,780) to secure participation in the program. The voluntary contribution is payable prior to the adoption of the rezoning application. Provision of Public Art will be done through the coordination between the developer and the City's Public Art Coordinator.

Universal Access

To assist in ensuring accessibility is an option for residents of the townhouse area, the applicant has notified the City that they will be identifying townhouse units for conversion to Universal access for wheelchair accessibility. These units will be identified and the design reviewed during the Development Permit review. Some of the items that are included during the construction of these units are:

- Providing wider doors to facilitate wheelchair movement through the unit.
- Set heights for accessing electrical outlets.
- Ensure greater clearances for easier access to items such as bathroom fixtures.
- Pull-out door and cabinets in kitchens.

All townhouse units are to provide aging in place features such as additional blocking in bathroom walls for the future installation of grab bars, lever door handles, and wide door openings to facilitate access for walkers and wheelchairs. Details on these features will be provided in on the Development Permit drawings.

Form of Development

The developer proposes to construct a total of 78 townhouse units on the site: 33 two-storey units and 45 three-storey units, to be constructed around a combination of public and private roads. Including a new north-south alignment of LeChow Street through the site. The developer's proposed form of development generally conforms to the McLennan South Sub-Area Plan

Development Permit (DP) approval to the satisfaction of the Director of Development for the proposal is required prior to rezoning adoption. At DP stage, among other things, the following will be addressed:

- Overall appropriateness to the form and character of the proposed townhouse units and the indoor amenity building.
- Detailed architectural, landscaping and open space design.
- Detailed design of road cross sections, including alignment of sidewalks, curbs, and boulevards.
- Referral of the landscape design to the City's Agricultural Advisory Committee for review of the No. 4 landscape scheme and buffering of lots in the Agricultural Land Reserve (ALR) on the east side of No. 4 Road.

In addition to the townhouses proposed, the western portion of the parent lots will be subdivided into seven (7) single-family lots under the "Single Detached (ZS14) – South McLennan (City Centre)" zone. A Development Permit is not required for these single-family lots.

The proposed development exceeds the bylaw requirement for on-site parking, by providing a side-by-side two-stall garage for every unit. The ultimate design of the roadways abutting the townhouse portion of the development have been widened to allow for parking on both sides of the street.

Financial Impact

As a result of the proposed development, the City will take ownership of developer contributed infrastructure assets such as roadworks, waterworks, storm sewers, sanitary sewers, street lights, street trees and traffic signals.

The anticipated operating budget impact for the ongoing maintenance of these new infrastructure assets is estimated to be \$15,000, and this will be considered as part of the 2015 Operating budget, should these works be constructed and turned over to the City by 2015.

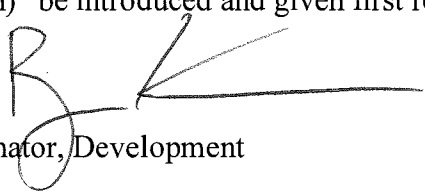
Conclusion

The subject development is generally consistent with the intent and goals of the McLennan South Sub-Area Plan; for a higher density residential neighbourhood, serviced by a functional road network. The proposed re-designation of the east portion of the parent lots fronting onto Bridge Street maintains a single-family transition to the existing single-family lots to the west of the site, while the proposed townhouse portion of the development is consistent with other recent multiple-family residential projects in the area. The applicant has worked closely with staff to provide the required road dedications to meet the traffic and circulation needs of this area.

It is recommended that Richmond Official Community Plan Amendment 7100 Bylaw 9106 to amend the land use designations for the site from "Residential, Historic" to "Residential, 2 ½ Storeys" in the existing Alexandra Neighbourhood Land Use Map in Schedule 2.10D (McLennan South Sub-Area Plan); and to amend the existing Character Area Key Map in Schedule 2.10D (McLennan South Sub-Area Plan) for same portion of the site from "Single Family" to "Townhouse 2 ½ Storeys", be introduced and given first reading.

It is further recommended that Richmond Zoning Bylaw No. 8500 Amendment Bylaw 9107 to rezone the western 28 m of the site from "Single Detached, (RS1/F)" to "Single Detached (ZS14) – South McLennan (City Centre)"; to create "Town Housing (ZT70) – South McLennan)", and rezone the remainder of the site from "Single Detached, (RS1/F)" to "Town Housing (ZT70) – South McLennan)" be introduced and given first reading.

Barry Konkin
Program Coordinator, Development
(604-276-4138)

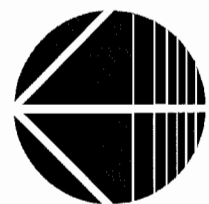


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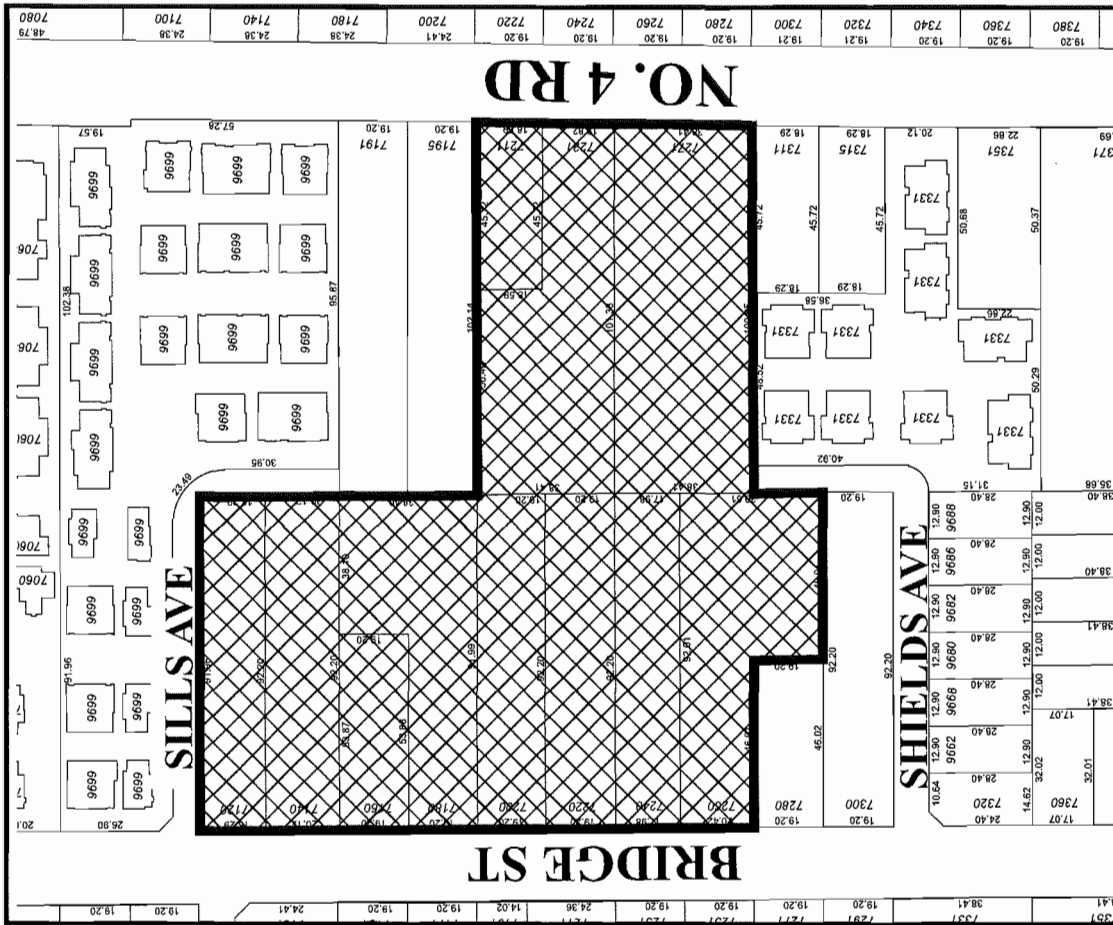
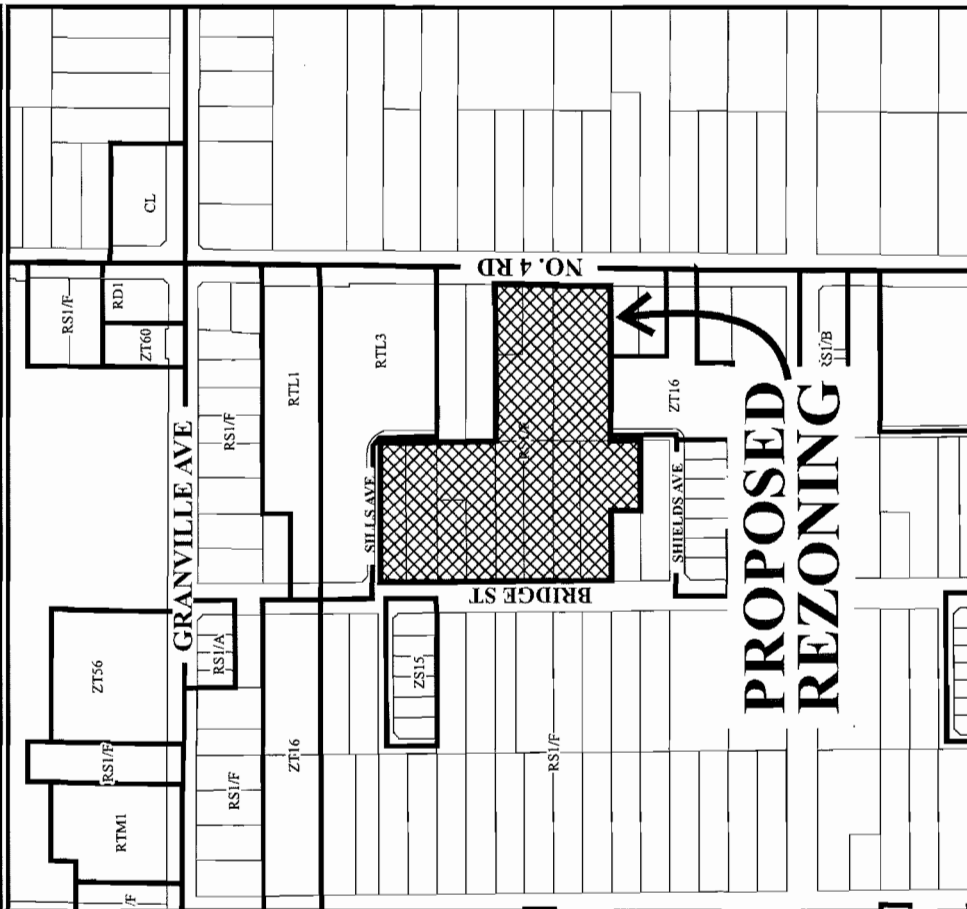
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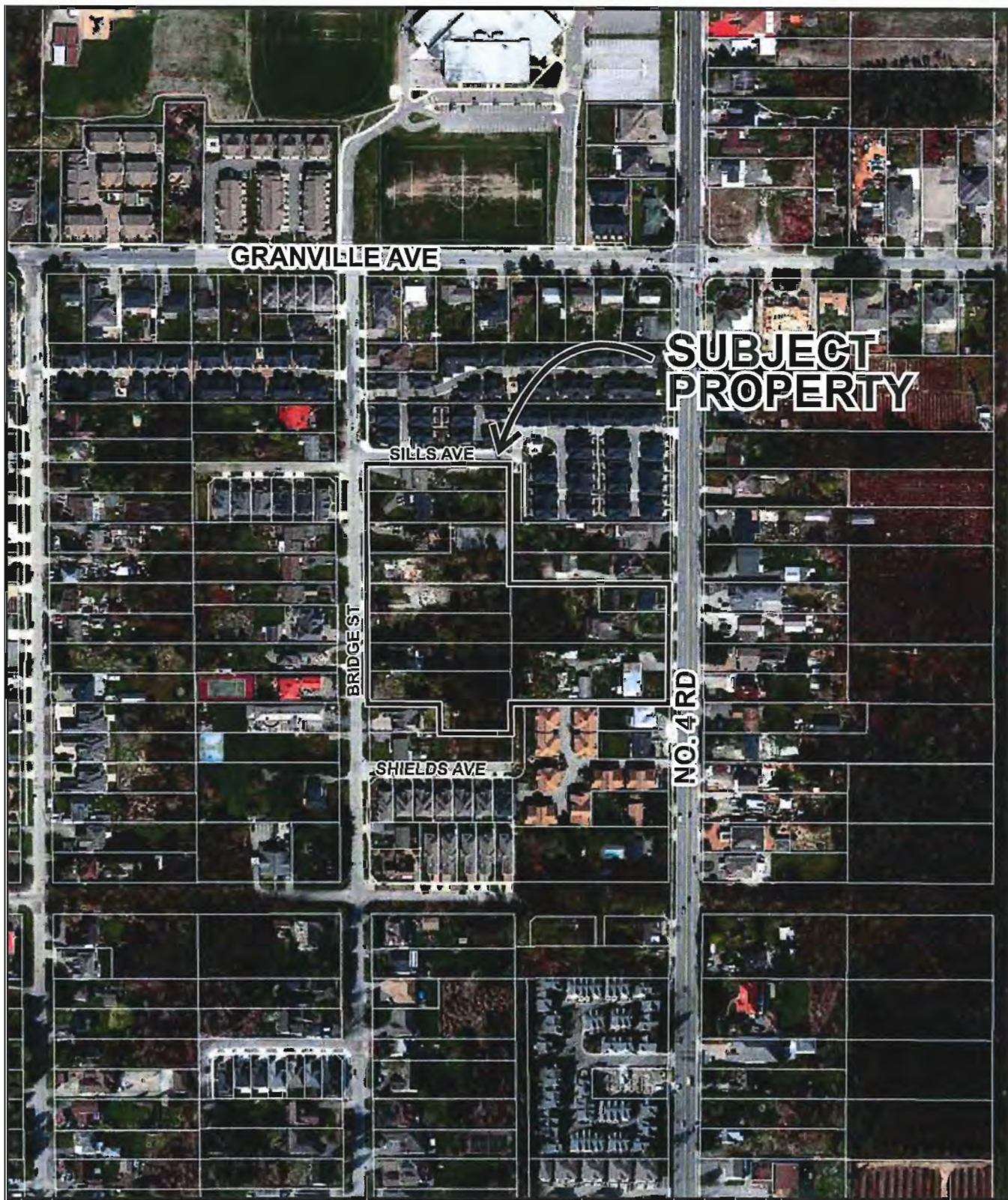
- Attachment 1: Location Map
- Attachment 2: Development Application Data Sheet
- Attachment 3: Existing McLennan South Sub-Area Plan Land Use Map
- Attachment 4: Proposed OCP Amendment Map
- Attachment 5: Conceptual Development Plans
- Attachment 6: Public Information Meeting – Summary Information and Other Public Correspondence
- Attachment 7: Arborist's Report – Tree Survey Plan
- Attachment 8: Conditional Rezoning Requirements

RZ 12-605038



City of Richmond





RZ 12-605038

Original Date: 05/04/12

Amended Date: 07/25/13

Note: Dimensions are in METRES



**City of
Richmond**

Development Application Data Sheet

Development Applications Division

RZ 12-605038

Attachment 2

Address: 7120, 7140, 7160, 7180, 7200, 7220, 7240, 7260 Bridge Street and
7211, 7231, 7271 No. 4 Road

Applicant: Yamamoto Architecture Inc.

Planning Area(s): McLennan South Sub-Area Plan (Schedule 2.10D)

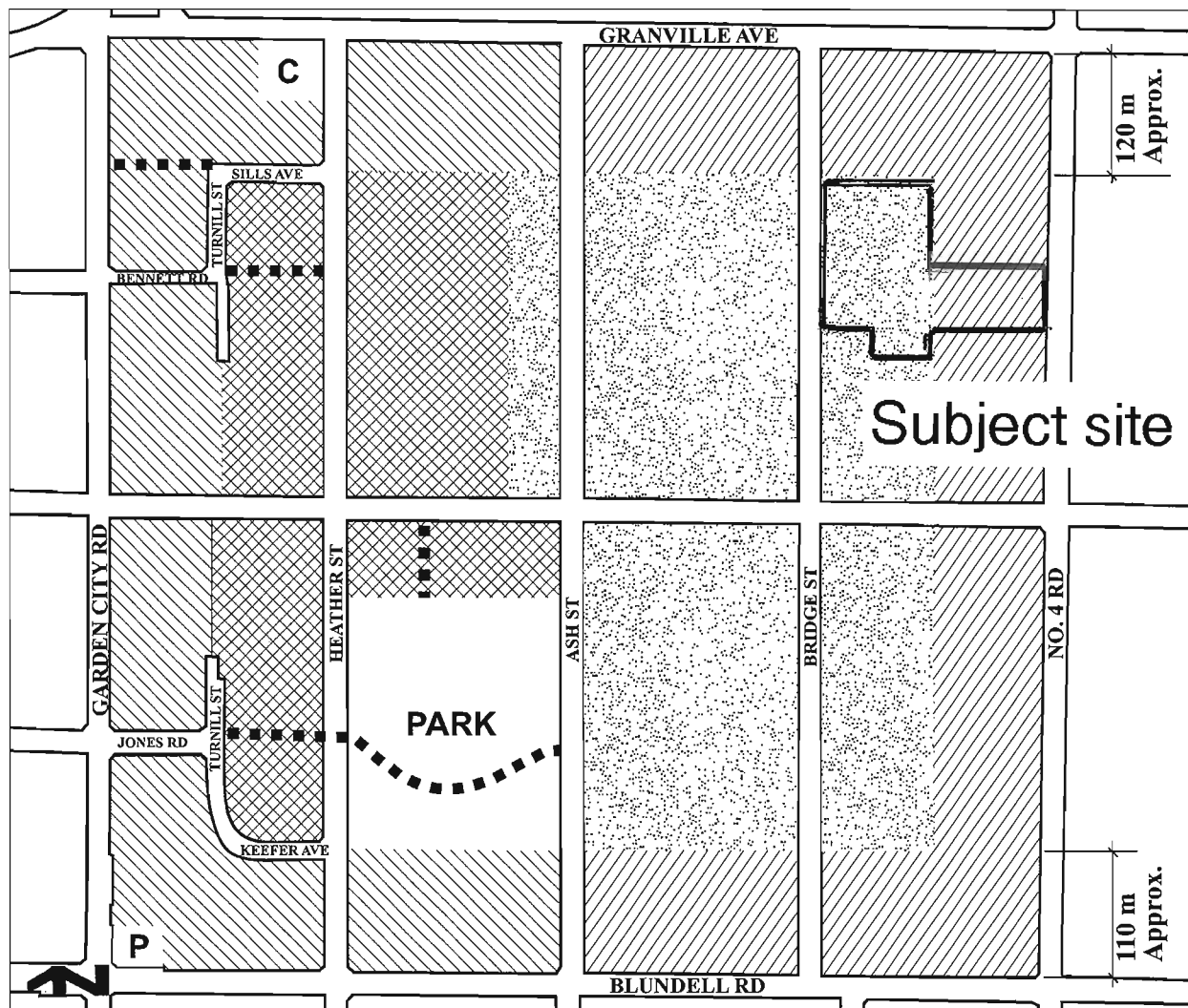
	Existing	Proposed
Owner:	Hui Yuan Investments (Canada) Ltd. & Mao Hua Chen	
Site Size (m²):	18,293 m ² overall site	14,440 m ² townhouse site 3,906 m ² for single-family lots
Land Uses:	Single Detached	Single Detached and Townhouses
OCP Designation:	Neighbourhood Residential	No change
Area Plan Designation:	Residential, Historic and Residential 2 ½ Storeys	Re-designation of a portion of the site from Residential, Historic to Residential 2 ½ Storeys
Zoning:	Single Detached (RS1/F)	Single Detached (RS1/E) and Town Housing (ZT70)
Number of Units:	One Dwelling per Lot	7 Single Detached Lots 78 Townhouse Units

Proposed Single Detached Lots (RS1/E Zone)	Bylaw Requirement	Proposed	Variance
Lot Size (min. dimensions):	18.0 m width 24.0 m depth 550 m ² area	None	none
Proposed Townhouses (Proposed ZT 70 Zone)	Bylaw Requirement	Proposed	Variance
Density (FAR):	0.72	0.70	none permitted
Lot Coverage – Building	40% (maximum)	40%	none
Lot size	No minimum	No minimum	none
Setback – No. 4 Road:	Min. 6.0 m	Min. 6.0 m	none
Setback – Sills Avenue:	Min. 4.5 m	Min. 4.5 m	none
Setback – LeChow Street:	Min. 3.0 m	Min. 3.0 m	none
Setback East-West connector road:	Min. 3.0 m	Min. 3.0 m	none
Setback – Rear (west) yard:	Min. 3.0 m	Min. 3.0 m	none
Setback – Side (South) yard:	Min. 3.0 m	Min. 3.0 m	none
Height (m):	12.0 m (maximum)	12.0 m	none

Proposed Single Detached Lots (RS1/E Zone)	Bylaw Requirement	Proposed	Variance
Off-street Parking Spaces – Regular (R) / Visitor (V):	1.4 (R) and 0.2 (V) per unit	2.0 (R) and 0.2 (V) per unit	none
Amenity Space – Indoor:	100 m ² (minimum)	100 m ²	none
Amenity Space – Outdoor:	6.0 m ² per unit (minimum)	6.78 m ² per unit	none

Land Use Map

Bylaw 7892
2005/04/18



Residential, Townhouse up to 3 storeys over 1 parking level, Triplex, Duplex, Single-Family **0.75 base F.A.R.**

Residential, 2 ½ storeys typical (3 storeys maximum) Townhouse, Triplex, Duplex, Single-Family **0.60 base F.A.R.**

Residential, 2 ½ storeys typical (3 storeys maximum), predominantly Triplex, Duplex, Single-Family **0.55 base F.A.R.**

Residential, Historic Single-Family, **2 ½ storeys** maximum **0.55 base F.A.R.**, Lot size along Bridge and Ash Streets:

- Large-sized lots (e.g. 18 m/59 ft. min. frontage and 550 m²/ 5,920 ft² min. area)

Elsewhere:

- Medium-sized lots (e.g. 11.3 m/ 37 ft. min. frontage and 320 m²/ 3,444 ft² min. area), with access from new roads and General Currie Road;

Provided that the corner lot shall be considered to front the shorter of its two boundaries regardless of the orientation of the dwelling.

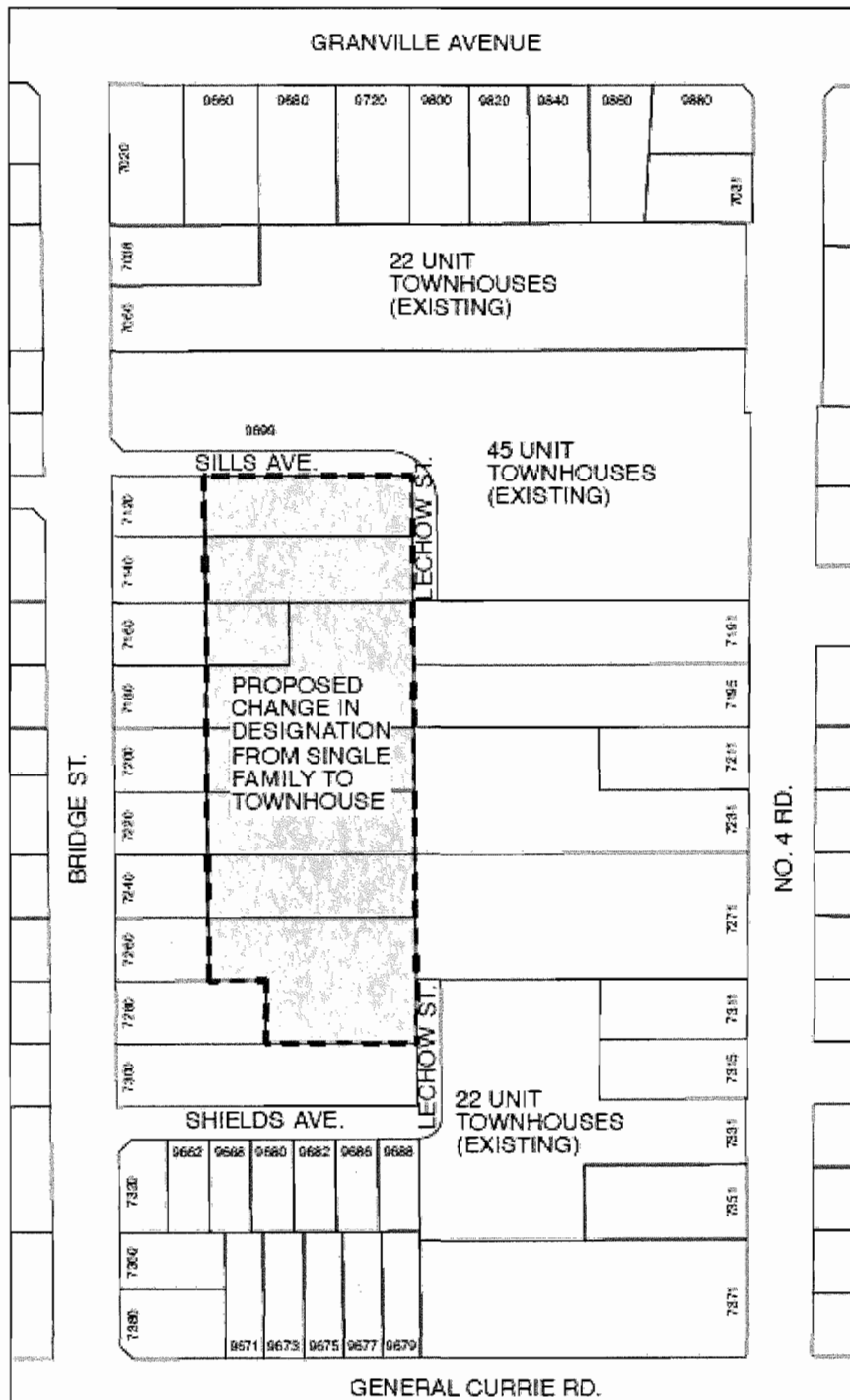
■ ■ ■ ■ Trail/Walkway

C Church

P Neighbourhood Pub

Note: Sills Avenue, Le Chow Street, Keefer Avenue, and Turnill Street are commonly referred to as the “ring road”.

Proposed OCP Amendment



PROPOSED OCP PLAN AMENDMENT
 PURPLE INDICATES CHANGE IN LAND USE FROM
 SINGLE FAMILY TO TOWNHOUSE

STATISTICS:

CIVIC ADDRESS: 7211 - 7271 NO. 4 ROAD & 7120 - 7260, 7300 BRIDGE STREET

LEGAL DESCRIPTION:

ZONING: CD

LOT AREA:

GROSS: 246,119 SQ. FT. (22,865 SQ.M.)
NET: 155,884 SQ. FT. (14,482 SQ.M.)

MAX. LOT COVERAGE:

155,884 SQ. FT. x 40% = 62,354 SQ. FT.

PROPOSED:

59392.5 SQ. FT.	(BUILDINGS)
1052.0 SQ. FT.	(AMENITY BUILDING)
100.0 SQ. FT.	(ELECTRICAL ROOMS)
60794.5 SQ. FT.	(38.9%)
TOTAL	

MAX. BUILDING HEIGHT :

12.0 M (THREE STOREYS)
11.9 M (THREE STOREYS)

PROPOSED :

SETBACKS:

WEST PORTION OF SITE:

PROPOSED:

FRONT YARD SETBACK (EAST - LECHOW ST): 4.0 M
SIDE YARD SETBACK (EAST - LECHOW ST): 3.0 M
EXT. FRONT YARD SETBACK (NORTH - SILLS AVE): 6.0 M
EXT. SIDE YARD SETBACK (NORTH - SILLS AVE): 4.5 M
SIDE YARD SETBACK (SOUTH): 7.5 M
SIDE YARD SETBACK (WEST): 3.0 M

EAST PORTION OF SITE:

PROPOSED:

FRONT YARD SETBACK (WEST - LECHOW ST): 3.0 M
EXT. SIDE YARD SETBACK (NORTH - E-W CONNECTOR): 4.5 M
REAR YARD SETBACK (SOUTH): 4.5 M
SIDE YARD SETBACK (SOUTH): MIN. 3.0 M
REAR YARD SETBACK (EAST - NO. 4 ROAD): 6.0 M

F.A.R. :

PROPOSED FLOOR AREA: 108,470 SQ. FT. (0.695 FAR)
MAX. ALLOWED GARAGE AREA: 538.2 SQ. FT. x 78 UNITS = 41,878.6 SQ. FT.

PROPOSED FLOOR AREA :

FLOOR AREA					
UNIT A 16 AS (3 BRS + DEN)	1450.0 SQ. FT.	x	33	UNITS	= 47850.0 SQ. FT.
UNIT B (3 BRS)	1100.0 SQ. FT.	x	9	UNITS	= 9900.0 SQ. FT.
UNIT C (13 BRS)	1395.0 SQ. FT.	x	38	UNITS	= 52941.0 SQ. FT.
SUBTOTAL			78	UNITS	= 108114.0 SQ. FT. (89.3%)

ADDITIONAL AREA:

ELEC. ROOMS :	=	356.0 SQ. FT.
TOTAL	=	108470.0 SQ. FT. (89.5%)

TOTAL NET AREA = 108,114 SQ. FT.

TOTAL SALEABLE = 115,970 SQ. FT.

PARKING:

REQUIRED :	2.0 SPACES x 78 UNITS	=	156	SPACES (RESIDENTS)
	0.2 SPACES x 78 UNITS	=	15.6	SPACES (VISITORS)
	TOTAL	=	171.6	SPACES
PROVIDED :	2 CAR GARAGES x 78 UNITS	=	156	SPACES (RESIDENTS)
	OPEN VISITORS PARKING	=	16	SPACES (VISITORS)
	TOTAL	=	172	SPACES

NOTE : 1 ACCESSIBLE PARKING SPACE IS PROVIDED.

REQUIRED BICYCLE 1.25 SPACES x 78 UNITS	=	97.5	SPACES (CLASS 1)
0.2 SPACES x 78 UNITS	=	15.6	SPACES (CLASS 2)
TOTAL	=	113.1	SPACES

PROVIDED BICYCLE 2 SPACES x 20 GARAGES	=	40	SPACES (CLASS 1)
1 SPACE x 58 GARAGES	=	58	SPACES (CLASS 1)
BICYCLE RACK	=	16	SPACES (CLASS 2)
TOTAL	=	114	SPACES

AMENITY AREA

REQUIRED	INDOOR	:	MIN. 100 SQ.M. (1076 SQ. FT.)
	OUTDOOR	:	468 SQ.M. (5037 SQ. FT.)
PROVIDED	INDOOR	:	100 SQ.M. (1076 SQ. FT.)
	OUTDOOR	:	529 SQ.M. (5700 SQ. FT.)

PRIVATE OUTDOOR SPACE: MIN. 30 SQ.M. PER UNIT

Yamamoto
Architecture Inc.

PROJECT
TOWNHOUSE DEVELOPMENT

DRAWING TITLE

STATISTICS

STATISTICS		SHEET NO.	A0.1
SCALE	TEXT		
DATE	DATE	DATE	DATE
BY	BY	BY	BY
CHECKED	CHECKED	CHECKED	CHECKED

7211 - 7271 NO. 4 ROAD & 7120 - 7260, 7300 BRIDGE STREET
7211 - 7271 NO. 4 ROAD & 7120 - 7260, 7300 BRIDGE STREET

Yamamoto
Architecture Inc.

PROJECT
TOWNHOUSE DEVELOPMENT

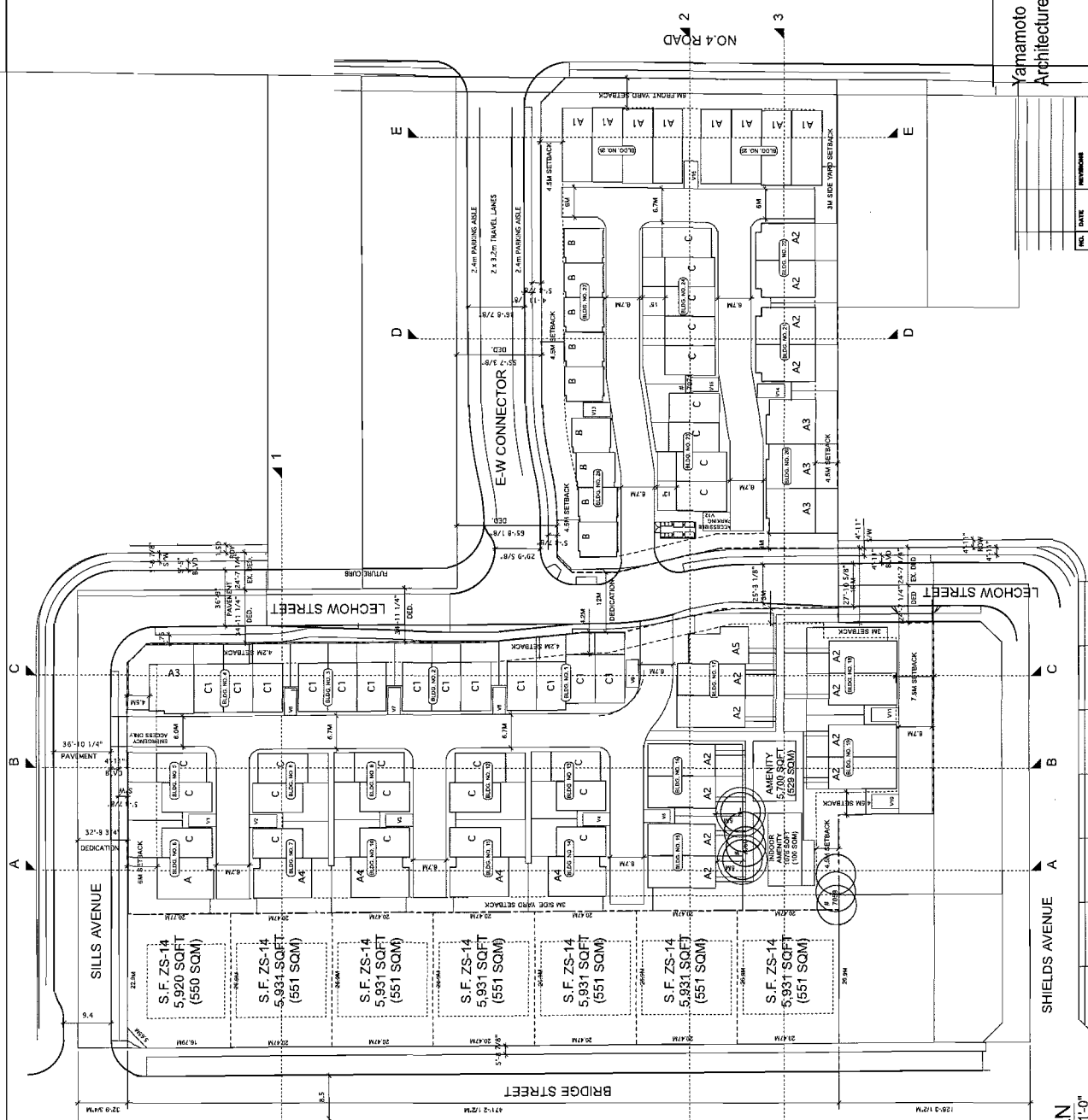
SHEET TITLE
SITE PLAN

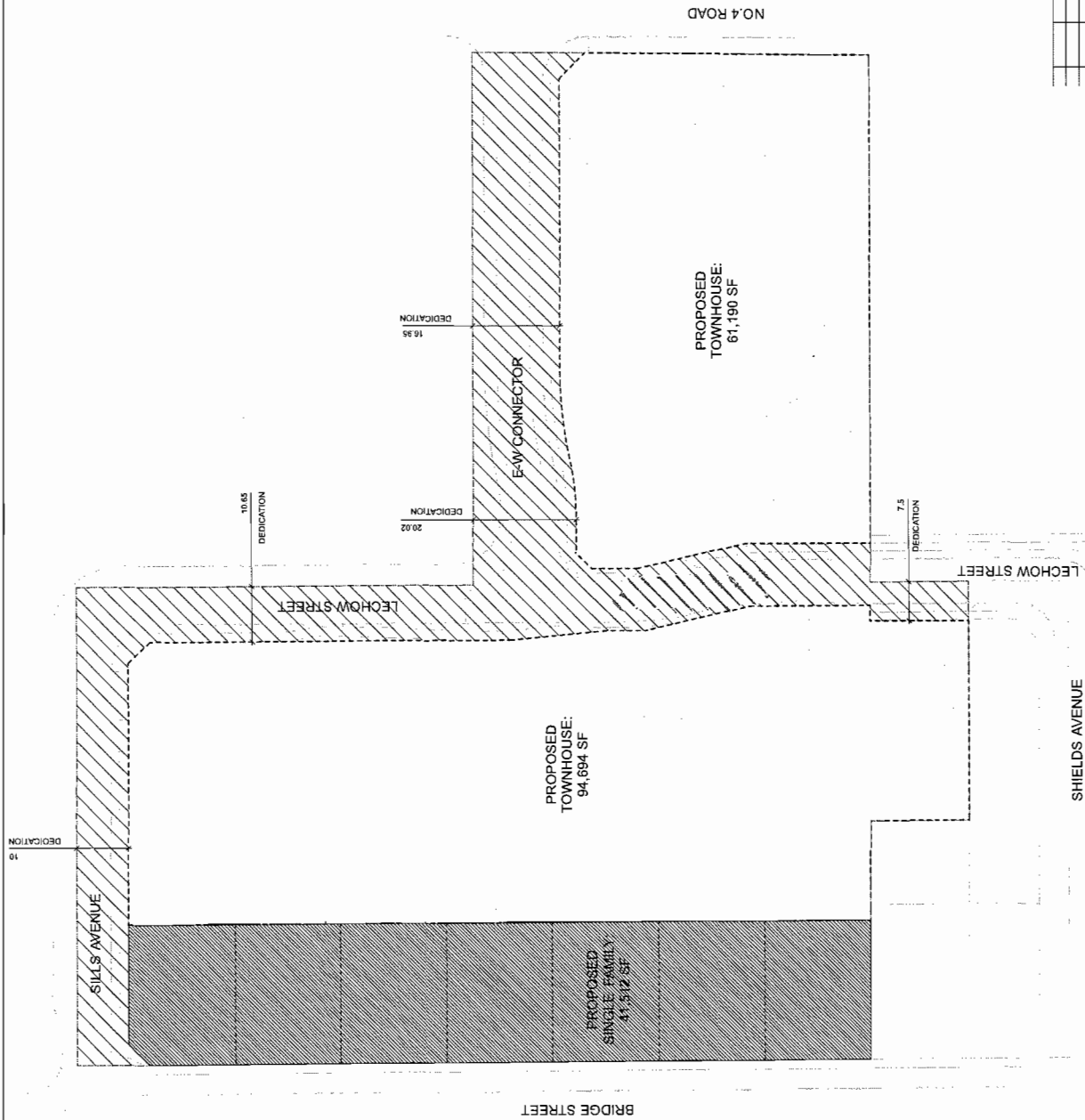
SCALE	DATE	BY	CHKD	DATE
1/32"=1'-0"	08.14.2011	TY	CH	08.14.2011
SHEET NO.				118
TOTAL NO.				118

1711-7511 N.W. 8th St. & 1st Ave. S.W.
TOWN OF MIAMI BEACH, FLORIDA

1711-7511 N.W. 8th St. & 1st Ave. S.W.
TOWN OF MIAMI BEACH, FLORIDA

NO.	DATE	REVISION
1	08.14.2011	ISSUED FOR PERMIT





LEGEND:

- TOWNHOUSE LOTS
158,894 SF - 63%
- SINGLE FAMILY LOTS
41,512 SF - 17%
- DEDICATIONS
40,723 SF - 20%

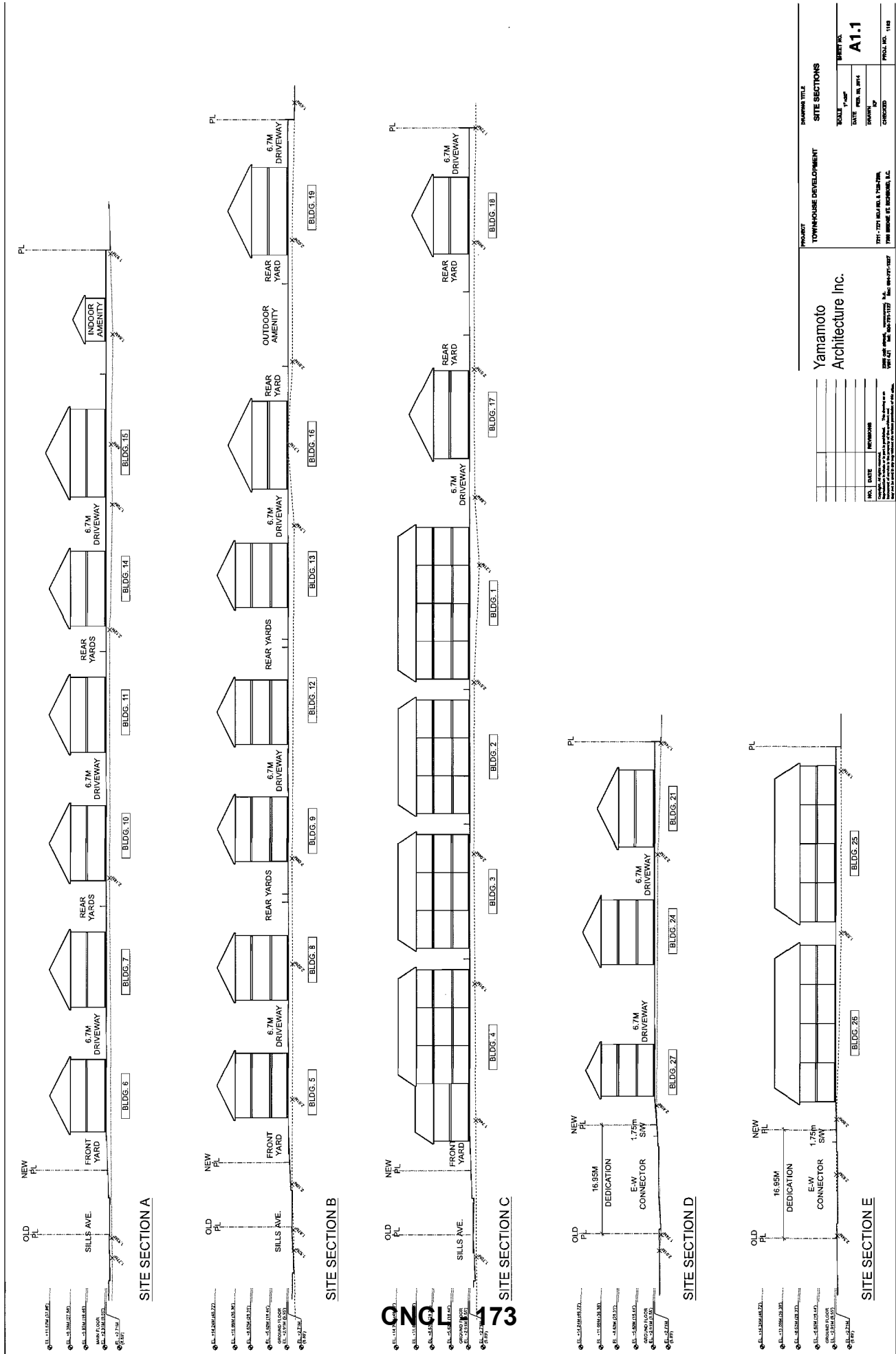
GROSS SITE AREA: 246,119 SF
NET SITE AREA OF S.F. & T.H.: 197,396 SF



SITE AREA OVERLAYS
SCALE: 1/32"=1'-0"

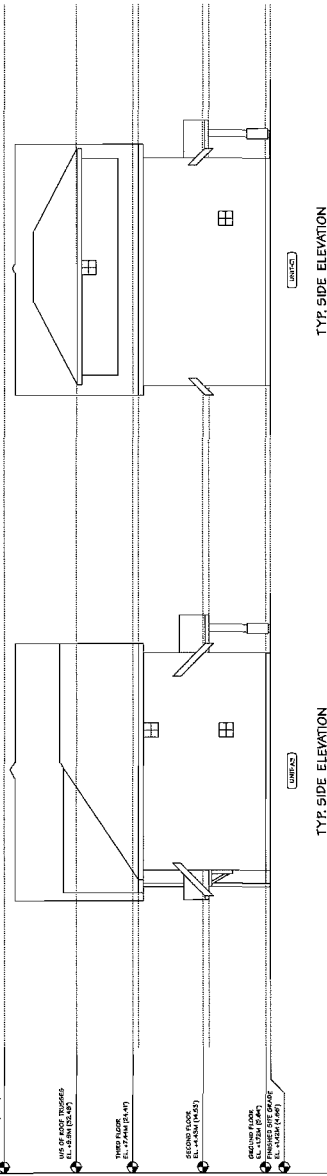
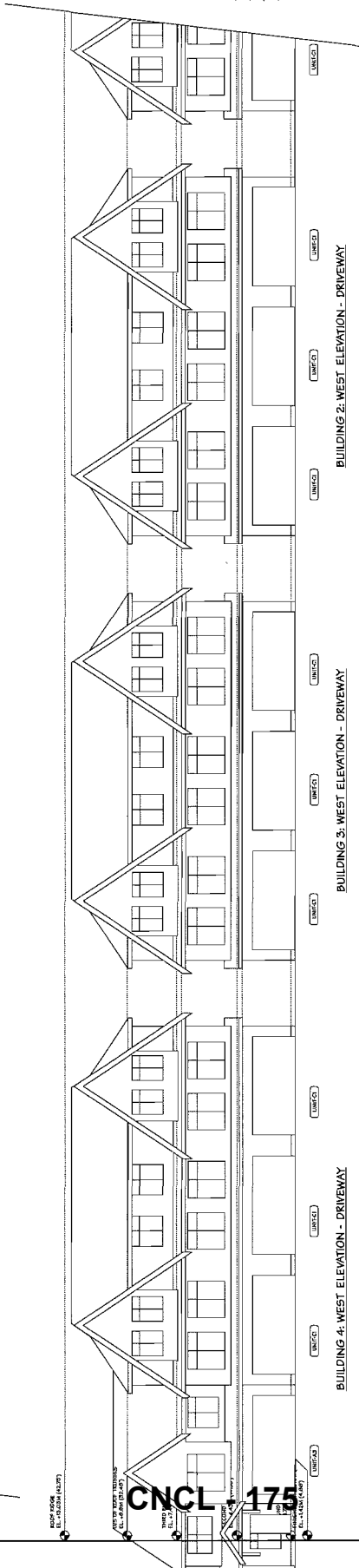
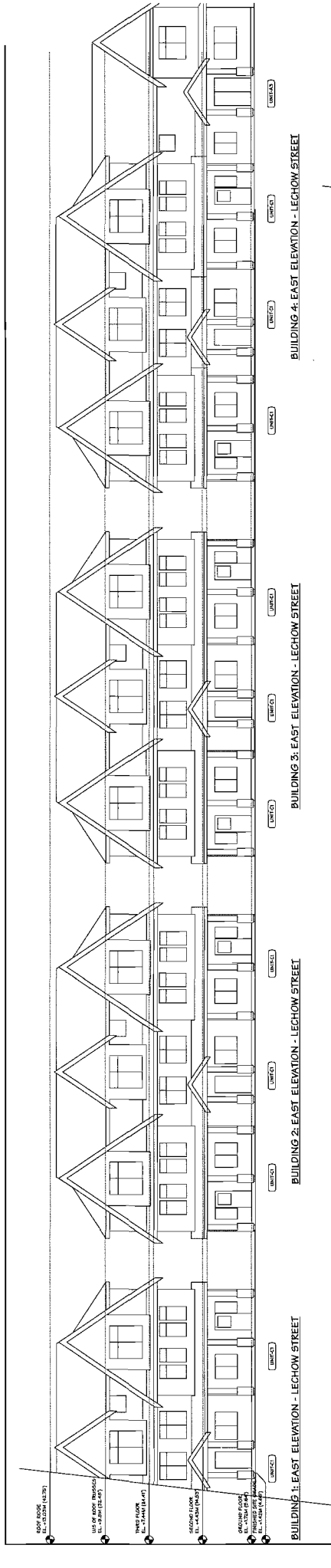
Yamamoto
Architecture Inc.

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										PROJECT	
										TOWNHOUSE DEVELOPMENT	
										SITE AREA OVERLAYS	
										SCALE	
										1"=40'-0" AT 1/4"	
										TOWNSHIP	
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										COUNTY	
										SHEET NO.	
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PROJECT		TOWNHOUSE DEVELOPMENT		DRAWING TITLE	
Yamamoto Architecture Inc.		SITE SECTIONS		A1.1	
NO. DATE REVISIONS		SCALE 1"=40'		SHEET NO.	
1 12/15/2011		2 01/10/2012		3 02/10/2012	
4 03/10/2012		5 04/10/2012		6 05/10/2012	
7 06/10/2012		8 07/10/2012		9 08/10/2012	
10 09/10/2012		11 10/10/2012		12 11/10/2012	
13 12/10/2012		14 01/11/2013		15 02/11/2013	
16 03/11/2013		17 04/11/2013		18 05/11/2013	
19 06/11/2013		20 07/11/2013		21 08/11/2013	
22 09/11/2013		23 10/11/2013		24 11/11/2013	
25 12/11/2013		26 01/12/2014		27 02/12/2014	
28 03/12/2014		29 04/12/2014		30 05/12/2014	
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234 09/53/2055		235 10/53/2055		236 11/53/2055	
235 12/53/2055		236 01/54/2056		237 02/54/2056	

[illegible]



NO.	DATE	REVISION
1	JAN 25, 2021	FOR PERMITS
2	APR 25, 2021	GENERAL ELEVATION

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YAMAMOTO ARCHITECTURE INC.
ARCHITECTS

Yamamoto
Architecture Inc.

PROJECT: TOWNHOUSE DEVELOPMENT
SHEET NO.: 175-1127
DATE: 04/25/2021
DRAWN BY: J. YAMAMOTO
CHECKED BY: J. YAMAMOTO
ELEVATIONS

SCALE: 1/8" = 1'-0"	SHEET NO.
DATE: MAR. 26, 2021	A4.1
DRAWN BY: J. YAMAMOTO	PROJECT NO.
CHECKED BY: J. YAMAMOTO	1199

ROOF ELEVATION
EL. -13.573M (A4.173)

1ST FLOOR ELEVATION
EL. -13.573M (A4.173)

2ND FLOOR ELEVATION
EL. -12.440M (A4.417)

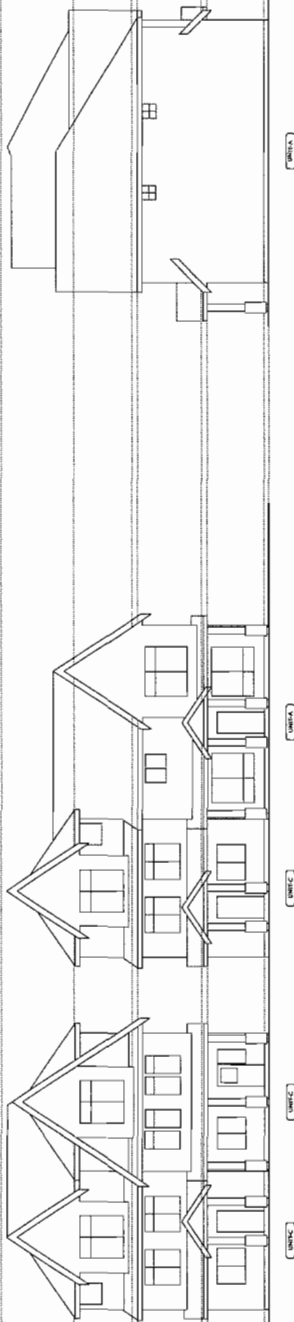
3RD FLOOR ELEVATION
EL. -11.307M (A4.657)

4TH FLOOR ELEVATION
EL. -10.174M (A4.897)

5TH FLOOR ELEVATION
EL. -9.041M (A5.137)

ROOF ELEVATION
EL. -13.573M (A4.173)

CNCL - 176

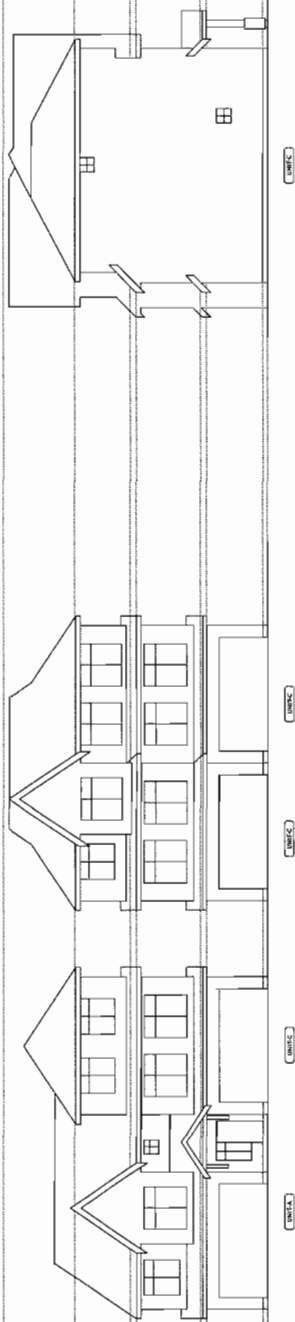


TYP. SIDE ELEVATION

BUILDING 6

NORTH ELEVATION - SILLS AVENUE

BUILDING 5



TYP. SIDE ELEVATION

BUILDING 6

SOUTH ELEVATION - INTERNAL DRIVEWAY

BUILDING 5

NO.	REV.	DATE	DESCRIPTION
1	1	10/10/2017	INITIAL DESIGN
2	1	10/10/2017	FINAL DESIGN
3	1	10/10/2017	REVISION

PROJECT
TOWNHOUSE
DEVELOPMENT

YAMAMOTO ARCHITECTURE INC.
ARCHITECTS

Yamamoto
Architecture Inc.

DATE: 10/10/2017
DRAWN BY: [Name]
CHECKED BY: [Name]
ELEVATIONS

SCALE: 1/4" = 1'-0"
DATE: 10/10/2017
DRAWN BY: [Name]
CHECKED BY: [Name]
ELEVATIONS

ROOF ELEVATION
EL. 13.250' (4.79')

1ST FLOOR ELEVATION
EL. 0.000' (0.00')

2ND FLOOR ELEVATION
EL. 7.500' (4.47')

3RD FLOOR ELEVATION
EL. 15.000' (9.84')

4TH FLOOR ELEVATION
EL. 22.500' (14.76')

5TH FLOOR ELEVATION
EL. 30.000' (22.69')

BUILDING 25: EAST ELEVATION - NO. 4 ROAD

BUILDING 26: EAST ELEVATION - NO. 4 ROAD

ROOF ELEVATION
EL. 13.250' (4.79')

1ST FLOOR ELEVATION
EL. 0.000' (0.00')

2ND FLOOR ELEVATION
EL. 7.500' (4.47')

3RD FLOOR ELEVATION
EL. 15.000' (9.84')

4TH FLOOR ELEVATION
EL. 22.500' (14.76')

5TH FLOOR ELEVATION
EL. 30.000' (22.69')

BUILDING 25 & 26: WEST ELEVATION - DRIVEWAY

TYP. SIDE ELEVATION

NO.	DATE	DESCRIPTION
1	JAN 25, 2023	2D-10-100-0001
2	JAN 25, 2023	2D-10-100-0002

PROJECT
TOWNHOUSE
DEVELOPMENT

YAMAMOTO ARCHITECTURE INC.

Yamamoto
Architecture Inc.

DATE: JAN 25, 2023

PROJECT: 2D-10-100-0001

ELEVATIONS

SCALE	1" = 1'-0"
DATE	JAN 25, 2023
PROJECT	2D-10-100-0001
CONTRACT	2D-10-100-0001

A4.3

BUILDING 28: NORTH ELEVATION - EAST / WEST CONNECTOR

BUILDING 27: NORTH ELEVATION - EAST / WEST CONNECTOR

CONSULTANT	
NO.	DATE
1	JAN. 28, 2013
GENERAL REVISION	
2	APR. 24, 2013
DP SUBMISSION	

PROJECT
TOWNHOUSE
DEVELOPMENT

MOJA & BROSSE ETC.
PISCOPADO, B.C.

Yamamoto
Architecture Inc.

ELEVATIONS

NUMBERING TITLE

1986 vol. 10, no. 1, p. 1-127
Vol. 10, no. 1, p. 1-127
1986 vol. 10, no. 1, p. 1-127

SCALE	1" = 1'-0"	SHEET NO.	A4.4	ROLL NO. 1100
DATE	FEB. 28, 1973			
PROJECT	KP			
CHECKED				

TYP. SIDE ELEVATION

Preliminary Plant Schedule

KEY	QTY	DIMENSIONAL NAME	COMMON NAME	PLANTED SIZE	COMMENTS
AP	27	Asar japonicum 'Dissectum'	Japanese Maple	3.0m HxL, 800	Uniform Size and Quality
AC	21	Amelanchier canadensis 'Royal Rain'	Red Flowering Dogwood	8.0m CxL, 800	Uniform Size and Quality
LS	33	Lonicera japonica 'Nana'	American Sweetgum	8.0m CxL, 800	Uniform Size and Quality
MS	35	Malus domestica 'Red Liberty'	Star Magnolia	2.5m HxL, 800	Uniform Size and Quality
SP	27	Spirea japonica	Japanese Spirea	2.5m HxL, 800	Uniform Size and Quality
BP	27	Buxus sempervirens 'Suecica'	Green Mountain Barberry	8.0m CxL, 800	Full Shaded
CR	21	Cornus canadensis 'Royal Rain'	Doyle's Knaped Cornus	8.0m CxL, 800	Full Shaded
FR	21	Forsythia x intermedia 'Royal Rain'	Japanese Forsythia	8.0m CxL, 800	Full Shaded
IR	21	Illicium anisatum 'Royal Rain'	White Star	8.0m CxL, 800	Full Shaded
MA	21	Malus domestica 'Royal Rain'	Malus domestica	8.0m CxL, 800	Full Shaded
PR	21	Prunella x intermedia 'Royal Rain'	Prunella x intermedia	8.0m CxL, 800	Full Shaded
SA	21	Saxifraga x intermedia 'Royal Rain'	Saxifraga x intermedia	8.0m CxL, 800	Full Shaded
SM	21	Samolus x intermedia 'Royal Rain'	Samolus x intermedia	8.0m CxL, 800	Full Shaded
SS	21	Salix x intermedia 'Royal Rain'	Salix x intermedia	8.0m CxL, 800	Full Shaded
TR	21	Thuja x intermedia 'Royal Rain'	Thuja x intermedia	8.0m CxL, 800	Full Shaded
VA	21	Vaccinium x intermedia 'Royal Rain'	Vaccinium x intermedia	8.0m CxL, 800	Full Shaded
WM	21	Wormwood x intermedia 'Royal Rain'	Wormwood x intermedia	8.0m CxL, 800	Full Shaded

NOTES

1. All plantings are to be installed and maintained in accordance with the specifications of the City of Richmond.
2. All plantings are to be installed and maintained in accordance with the specifications of the City of Richmond.
3. All plantings are to be installed and maintained in accordance with the specifications of the City of Richmond.
4. All plantings are to be installed and maintained in accordance with the specifications of the City of Richmond.

LEGEND

8m Area - 800 SF	10m Area - 1000 SF
12m Area - 1400 SF	14m Area - 1900 SF
16m Area - 2500 SF	18m Area - 3200 SF
20m Area - 4000 SF	22m Area - 4800 SF
24m Area - 5600 SF	26m Area - 6700 SF
28m Area - 7800 SF	30m Area - 9000 SF
32m Area - 10200 SF	34m Area - 11600 SF
36m Area - 13000 SF	38m Area - 14400 SF
40m Area - 16000 SF	42m Area - 17600 SF
44m Area - 19200 SF	46m Area - 20800 SF
48m Area - 23000 SF	50m Area - 25000 SF
52m Area - 28000 SF	54m Area - 30000 SF
56m Area - 33000 SF	60m Area - 36000 SF
64m Area - 42000 SF	70m Area - 49000 SF
76m Area - 58000 SF	84m Area - 70000 SF
92m Area - 96000 SF	100m Area - 100000 SF

Scale

1" = 10' (Horizontal)
1" = 20' (Vertical)

Townhouse Development

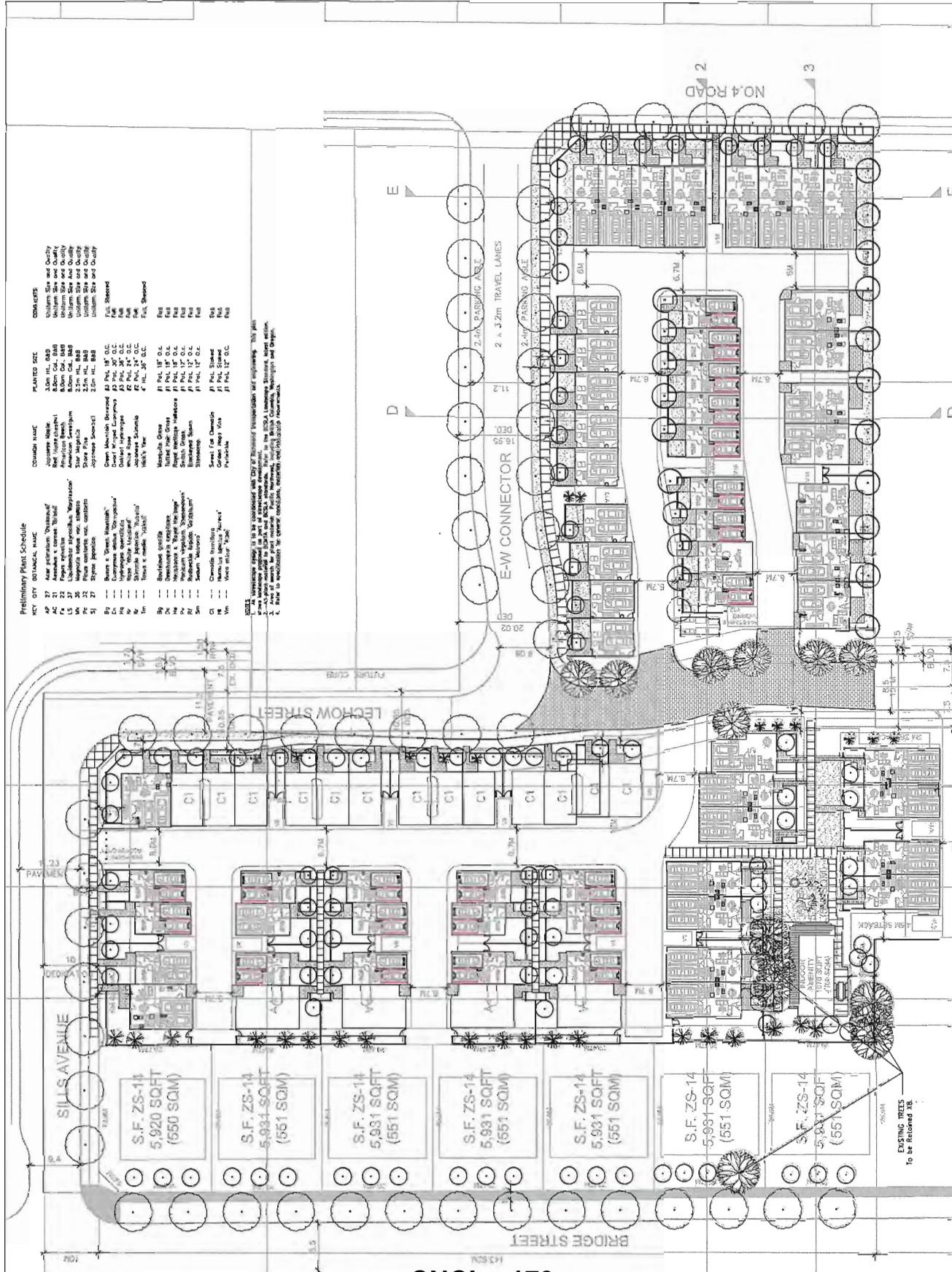
7211-7271 No. 4 Rd. & 7100-7260,
7300 Bridge St. Richmond, B.C.

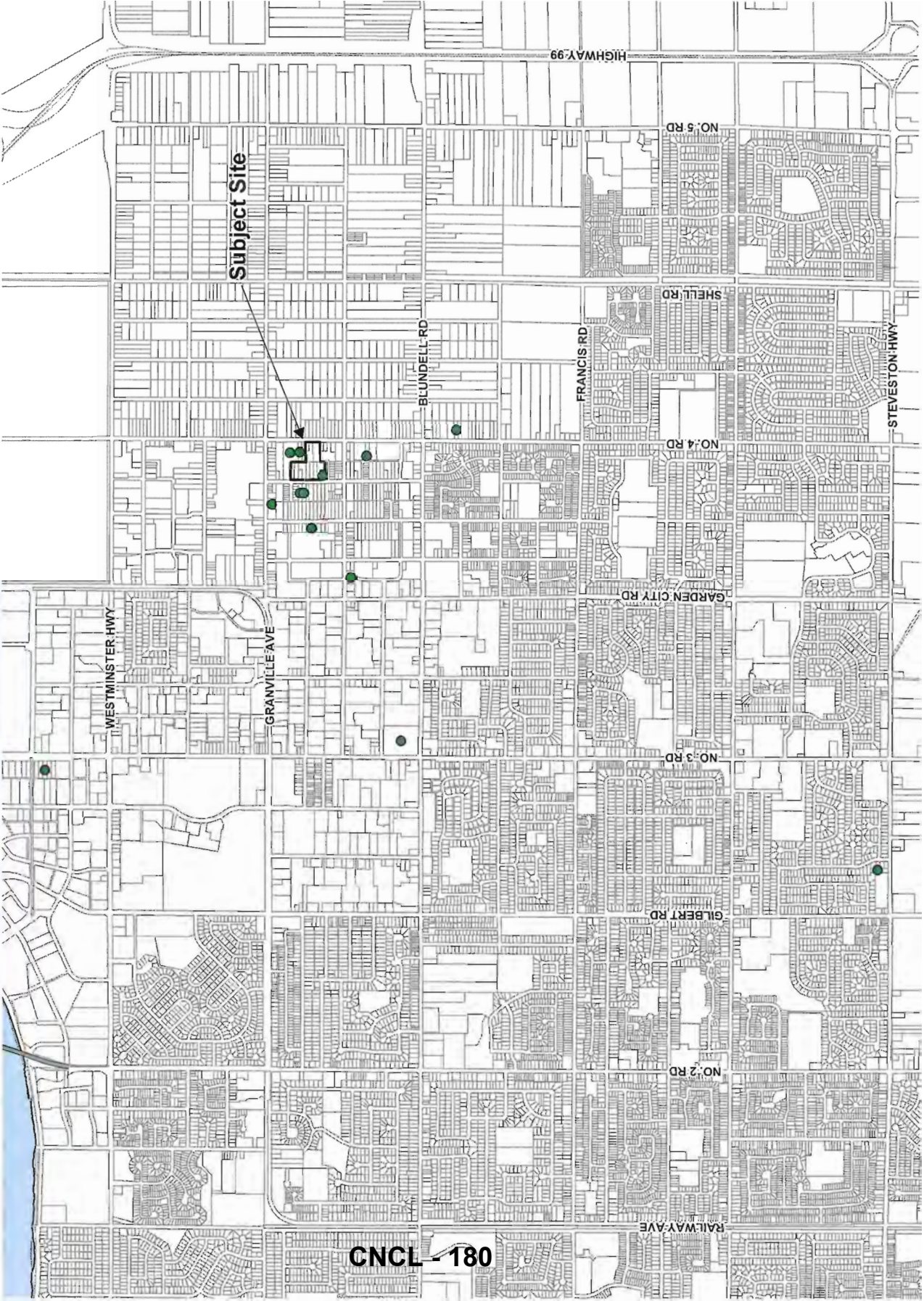
Landscape Plan



Scale

1" = 10' (Horizontal)	1" = 20' (Vertical)
1" = 10' (Horizontal)	1" = 20' (Vertical)
1" = 10' (Horizontal)	1" = 20' (Vertical)
1" = 10' (Horizontal)	1" = 20' (Vertical)





Legend
 ● Attendees

CNCL - 180

February 21, 2014
 Prepared by Oskar Bader

This map is a representation of the information provided to the City of Richmond. It is not a legal document. The City of Richmond is not responsible for any errors or omissions. The map is for informational purposes only. The City of Richmond is not responsible for any damages or losses resulting from the use of this map. The map is not to be used for any other purpose. The map is not to be used for any other purpose. The map is not to be used for any other purpose.



Konkin, Barry

From: Aydin Kilic [unimageltd@gmail.com]
Sent: Monday, 17 February 2014 02:01
To: Konkin, Barry
Subject: Updated Public Consultation Summary
Attachments: No4_Bridge_PC Feedback_Dec 2013.pdf; Postal Report.pdf; Tear Sheet_Richmond Review RIRN131206_A11 (1).pdf; MailOut Final Proof public_notice-20131127-12x6-03.pdf

Hi Barry,

As follows:

Location:

General Currie Elementary School (Gymnasium)
8220 General Currie Road
Richmond, B.C. V6Y 1M1

Time:

5pm-8pm on December 18th

Public Consultation Event Summary:

The developer provided a Q+A format with 2 sets of about 8 boards displayed in the gym. Refreshments were offered for all attendees, and included vegetarian sandwiches, noodle boxes, a variety of baked goods, and water and coffee. Present were Aydin Kilic (Development Manager), Taizo Yamamoto (Architect), David Kozak (Civil Engineer), Joseph Fry and Tawab Hlimi (Landscape Architects) David Johnson was in attendance on behalf of the City of Richmond.

Attendance

15 attendees signed in. However it seemed as if there were 20-25 attendees pass throughout the duration of the event. It was apparent not all attendees signed in. The first attendees arrived at right at 5pm, approximately 6 people not appearing to be one group. This number increased to over 10 shortly. Approximately half of all attendees arrived within the first hour, after which people started leaving. There was a lull in attendance between 6-7pm, after which the remaining half of attendees arrived steadily through the course of the event until the end.

Comments from the Developer:

The team representing the developer attempted to explain the proposed OCP amendment, no one contested this, with the exception of Shawn Sandhu towards the end of the event. However Mr. Sandhu did not follow up with a written response. Verbally most people were concerned with parking on the street because of the influx of more vehicles, however we advised that with all units having side-by-side parking, each unit would truly have 2 parking stalls (in tandems people typically only park one car and use the rest for storage, and park their second car on the street creating spill over). All attendees seemed to appreciate the proposed development did not includes any homes with tandem parking units, and also that approximately 40% of the townhomes were 2 story units. One individual was concerned about who would pick up the leaves from all the extra trees being planted as part of the landscaping plan. The developer advised the strata would be responsible for on-site maintenance, and the City would be responsible for public areas.

Written feedback:

4 written letters were submitted by attendees and received by City Hall. The most common comment was that residents expected Bridge St. to be upgraded as part of this development (which of course the relevant portions thereof the developer is required to do), the other main concern was the additional traffic and concern for the impact of higher density on street parking (again all units have 2 car garages, so the typical impact on street parking in tandem parking townhome projects do not apply here). None of the comments objected the proposed OCP amendment.

Presentation Content:

Along with the architectural site plan and color landscape plan, the functional road layout was also displayed. The following introduction and proposal summarized the context of the consultation for attendees:

INTRODUCTION

The purpose of this Open House is to inform you about a development proposal in the McLennan South Sub-Area Plan and to receive your feedback through a comment sheet.

Our proposal will require an amendment to the McLennan South Sub-Area Plan as well as a rezoning application to allow the proposed single family and townhouse development. A Public Hearing will be required before the project can be approved.

The proposed project is located at:

7120, 7141, 7160, 7180, 7200, 7220, 7240, and 7260 Bridge Street; and 7221, 7195, 7211, and 7231 No.4 Road

Reference number is RZ 12-605038.

The proposed development on this site will supply:

1. Seven Single Family Lots fronting Bridge Street;
2. 78 townhouses to the east of the Single Family Lots to No.4 Road; and
3. Roads to provide access from Bridge Street to No.4 Road, and to the proposed townhouse site.

Your comments will be presented to Council as part of the Rezoning Application

PROPOSAL

Our proposal will require amendments to the neighbourhood plan to change the land use designation in the McLennan South Sub-Area Plan on the rear portion of the existing single family lots fronting on Bridge Street from Residential Historic Single Family to Residential Townhouse to allow for the development of townhouses. The second amendment is to change the North-West connection of LeChow Street through the site from a dedicated street to a Right-Of-Way.

If our application is approved by Richmond City Council, we will be creating:

7 Single Family Lots

78 Townhouse Units

Public Notification:

Newspaper (Richmond Review):

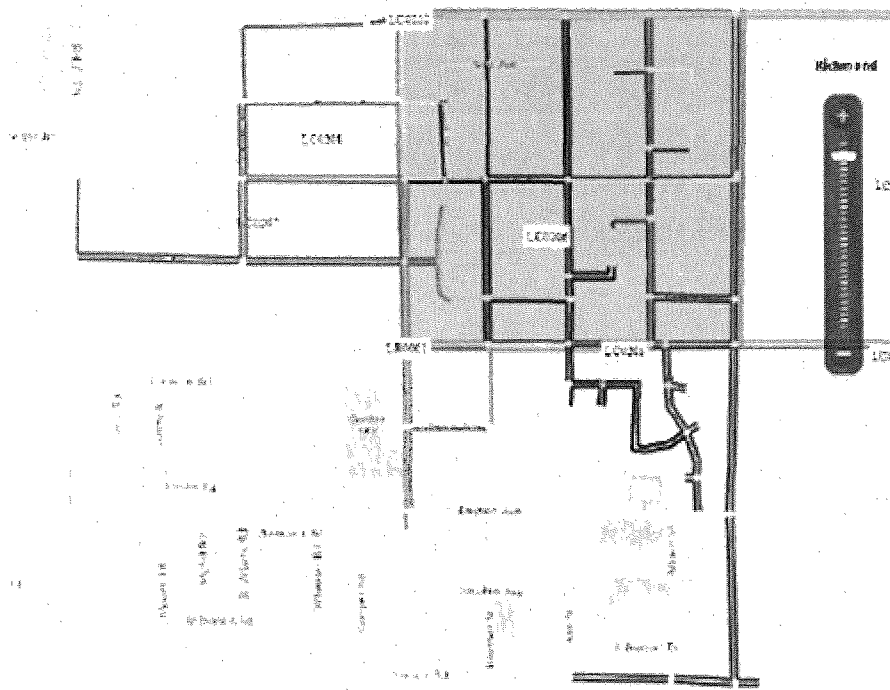
Ads were run in 4 consecutive editions of the Richmond Review on Dec 6th, 11th, 13th and 18th. The information includes a rezoning application summary and the proposed OCP amendment, along with the time, date and location of the public consultation. A tear-sheet is attached.

Mail (Canada Post):

The information included a rezoning application summary and the proposed OCP amendment, along with the time, date and location of the public consultation.

A notice on 6"x9" flyer stock was distributed along all of the mail routes that pass through the mapped area identified in the McLennan South Sub-Area Plan, plus all addresses along the mail routes portion that extended past McLennan South boundaries. This is visually represented on page 2 of the Canada Post report (and shown below).

This totaled to 4,767 residences, as detailed on page 3 of the Canada Post report.



Best Regards,
Aydin

From: Konkin, Barry [<mailto:BKonkin@richmond.ca>]
Sent: Friday, February 07, 2014 3:43 PM
To: 'Aydin Kilic'
Subject: Public consultation summary

Aydin –

I hate to ask for more on this, but can you please put together a quick summary of the public information meeting in December?

Location
Time
Number of people attending
Comments provided
Any written comments received.

Regards,

Barry Konkin
Program Coordinator, Development
City of Richmond
6911 No. 3 Road

letters

Rats meet cats

Editor:

Re: "Fight against rats is a 'never-ending battle,'" *Richmond Review*, Nov. 29.

Let me pen an encomium to my dear, dear friend Nicolette. I have known this youngster for just over eight years now.

An inquisitive, affectionate dear little creature, she patrols our backyard in her never-outdated, stylish, black and white fur coat.

Athletic from birth, she would, I recall, lift her arm and casually snatch a fly as it went by. She would catch it with no difficulty at all.

She had an unpleasant habit, it's true, of popping it straight into her mouth.

But I digress. I remember vividly the day my husband asked, "How long has that been there?", indicating the lifeless body of *rattus rattus* on the rug's edge and carefully guarded by Nico. Sometimes the bodies were alive (mice, thankfully, not rats) and it was clear she was trying her utmost to train us. Or at least, to give us some of the fun of the chase. But in the end, it is Nico who is the best of our family at rodent control. The other three cats don't "do" rat! Though they are happy to do "mouse."

All hail to *felis catus*! Why don't more of us use them for what they were domesticated to do?

Richmond

Herring sale was a great idea

Editor:

This year I had a privilege to donate to B.C. Children's Hospital by buying herrings in Steveston. What an amazing idea.

I just would like to thank you to all fishermen, organizers, sponsors and very hard working volunteers for very well organized event and job very well done. Amazing job.

Chimwack

Time to deal with epidemic rat problem

Editor:

Having read Mr. Campolongo's comments about the "never ending battle" with rats in the city it is yet time the city was held up as one of the worst offenders at creating the problem and doing nothing in the way of prevention.

Let's start looking at some hard facts, ugly though they may be.

The city ripped out all of the vegetation and shrubs along Railway to create the new bike trail—all of the ditches and shrubs along that route were homes for our ugly little friends and where do you think those rats went? Into the adjacent neighbourhoods looking to set up new homes.

Walk along the seawall at Garry Point at twilight and the rocks are alive with rats. The city has built community gardens all over Richmond, but when the sun goes down those gardens are setting out a feast for every rat in the city.

We drop old houses and dig up those properties, driving all the little creature that have set up

housekeeping in them into all of the surrounding neighborhoods and yet, after everything the city has set before these nasty vermin as food and fodder the city does nothing but refer you to a pest control company when you call with concerns. There is absolutely no rodent control program in the City of Richmond despite all of the underlying health concerns rats create.

We have a problem, an epidemic of rats. Our city can fund sending a posse of councillors and friends off on another "Sister City" trip half way round the world but can't seem to find the funds nor the interest to do anything about the very significant rat issue this city has and will face in ever increasing amounts. This is part of the ugly side of any city, but most cities don't choose to sweep it under the rug like Richmond does, and we are now starting to reap the rewards of years of not addressing this issue and it is only going to get worse.

Richmond

Invitation to Attend a Public Open House - South McLennan Area

Hui Yuan Investments (Canada) Inc. is hosting and invites you to attend the following Open House to learn about and comment on its proposed project involving 78 Townhouses and seven (7) new Single Family Lots.

Purpose of Open House:	To inform the public regarding a proposed project involving: (1) 78 Townhouses, and (2) seven new Single Family Lots To ask the public to complete a public survey
Date:	Wednesday, December 18, 2013
Time:	5pm to 8pm
Location:	General Currie Elementary School Gymnasium 8220 General Currie Road, Richmond, BC

Open House Agenda:

5pm - Start, mingle, review information,
6pm - 7pm - A short presentation by Developer, followed by a Q and A session,
7pm - 8pm - Mingle, ask more questions, public asked to complete Survey,
8pm - Closing

Note: City staff will be attending the Open House, as technical observers

Location of Proposed Development:

The Affected Development Sites are:

- Bridge Street: 7120, 7140, 7160, 7180, 7200, 7220, 7240 and 7260
- No 4 Road: 7211, 7195, 7211 and 7231

Project Details:

- The Project Rezoning Reference is RZ 12-605038
- The project will require amendments to the South McLennan Sub-Area Plan and Zoning Bylaw
- A Public Hearing will be required before the project is approved.
- The public survey findings will be presented to Council as part of the rezoning application.
- The proposed project involves the above 12 properties (e.g., over 5.5 acres), existing houses that are not currently occupied, and consolidating and re-subdividing properties.



For information, please contact:

For Hui Yuan Investments: Aydin Kilic, email: unimageltd@gmail.com,
Tel: 778-883-4774
For City Staff: David Johnson, email: djohnson@richmond.ca,
Tel: 604-276-4193

CNCL - 184

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NEWS FROM
BEHIND THE SCENES



Settling the Score in *The King and I*

In Gateway's upcoming production of *The King and I*, Musical Director Christopher King will bring the gorgeous score to life. Beyond his talents in the orchestra pit, Christopher is also a huge musical theatre buff who knows plenty of little known facts about the show.

Here are Christopher's top three insider stories about the music in *The King and I*:

The Magic of Orchestration

Though Rodgers and Hammerstein wrote the songs, it's orchestrator Robert Russell Bennett who selected the specific instruments to be played in particular moments. Chris beams: "he used traditional sounds mixed with Asian influences to great effect."

Why Anna Sings (Almost) All the Songs

The famous actor Gertrude Lawrence read "Anna and the King of Siam" and asked her lawyer to get Rodgers and Hammerstein to adapt it into a musical for her. This is why the story is so heavily focused on Anna and why she sings almost every song. Anna's songs also have limited vocal range because Gertrude had "a nasty penchant for singing out of tune"—the limited range minimized the risk of notes going awry.

It Holds All the Hits

The King and I holds the greatest number of hits in one show. "Getting to Know You," "Shall We Dance?" and "Whistle a Happy Tune" are instantly recognizable.

To hear the beloved music live at Gateway, book your tickets to *The King and I*! Tickets available at tickets.gatewaytheatre.com.

Rodgers & Hammerstein's

The King and I

DECEMBER 5-31, 2013

Buy Tickets! Box Office 604.270.1812
www.gatewaytheatre.com



GATEWAY
THEATRE

Invitation to Attend a Public Information Meeting for a proposed Official Community Plan amendment and rezoning application at 7120, 7140, 7160 7180, 7200, 7220, 7240 and 7260 Bridge Street and 7211, 7195, 7211 and 7231 No. 4 Road

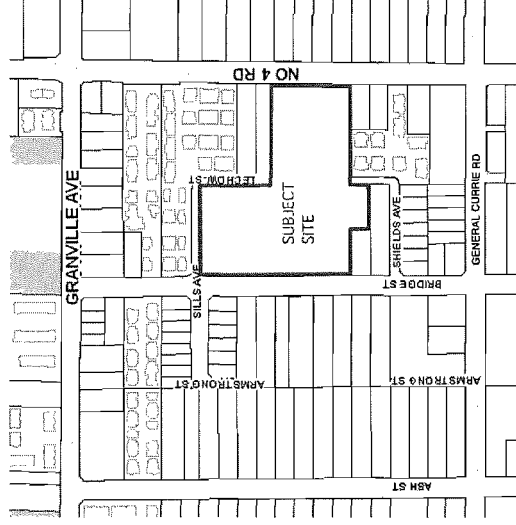
Hui Yuan Investments (Canada) Inc invites you to attend the meeting to review:

City of Richmond Rezoning
Application: RZ 12-605038

The goal of this proposed development is to complement the existing single and multi-family dwellings in the neighborhood, and create the infrastructure required to support this increased density.

CNCL 18

1. The proposed OCP amendment would change the back of the lots between Bridge Street and the planned LeChow Street from Single Detached to support townhouses.
2. 7 new single family homes on Bridge Street; and
3. A proposed 78 unit townhouse development.



The proposed site includes 12 existing properties over 5.5 acres with existing homes on these lands are not currently occupied. The lands will be consolidated and re-subdivided to allow the proposed development.

This development will include the required construction of roads to access the proposed townhouse site.

Date: Wednesday, December 18th
Time: 5pm-8pm
Location: General Currie Elementary School Gymnasium,
8220 General Currie Road, Richmond, BC, V6Y 1M1

Please attend the public house on Wednesday, December 18, 2013 from 5-8pm at General Currie Elementary School Gymnasium.

Your Targeting Report

Mailing Campaign Details

12-03-2013



Mailing ID 2JI9V17425133719026

Thank you for taking advantage of our targeting service - a one stop solution designed to help you get the most out of your direct mail campaigns.

- Anonymous Precision Targeter users will have their reports saved and accessible for 30 days from the day the report has been generated.
- Signed-In Precision Targeter users will have their reports saved and accessible for 13 months from the day the report has been generated.

Inside, find comprehensive insight into your selected trade area, including:

Address Attributes	Houses, Apartments and Farms
Number of Mail Pieces	4767
Urban / Rural	All
Estimated Delivery Cost	\$ 763.13
Delivery Mode (Route Type)	Letter Carrier (LC), Rural Route (RR), Suburban Service (SS), General Delivery (GD), Lock Box (LB), Call For (CF), Motorized Route (MR), Direct (DR)
Valid for Mailings From	13-11-15 To 13-12-12
Householder Types	Consumer's Choice

Not only does the attached report provide an in-depth look at your chosen trade area, it also harnesses the power of data analytics to help maximize your return on investment (ROI) by providing you with:

- A Route Ranking report that prioritizes your postal route selections based on your demographic criteria, enabling you to deliver your message to the people most likely to respond;
- A Postal Station Summary report that indicates the facilities responsible for your mailing;
- Maps, Impact Assessment, and many other campaign-enhancing resources.

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ANALYTICS
Our analytics experts will work with you to ensure your consumer data delivers optimal results. For example, we can help identify highest-potential customers and prospects through penetration analysis, location intelligence, segmentation, modeling and profiling.

Questions? Contact your Canada Post Sales Representative or our Commercial Service Network at 1-866-757-5480.

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Source: Derived from Statistics Canada, 2006 Census Profile (94-568-X) and 2006 Census Dissemination Area Boundary File (91-169-X).

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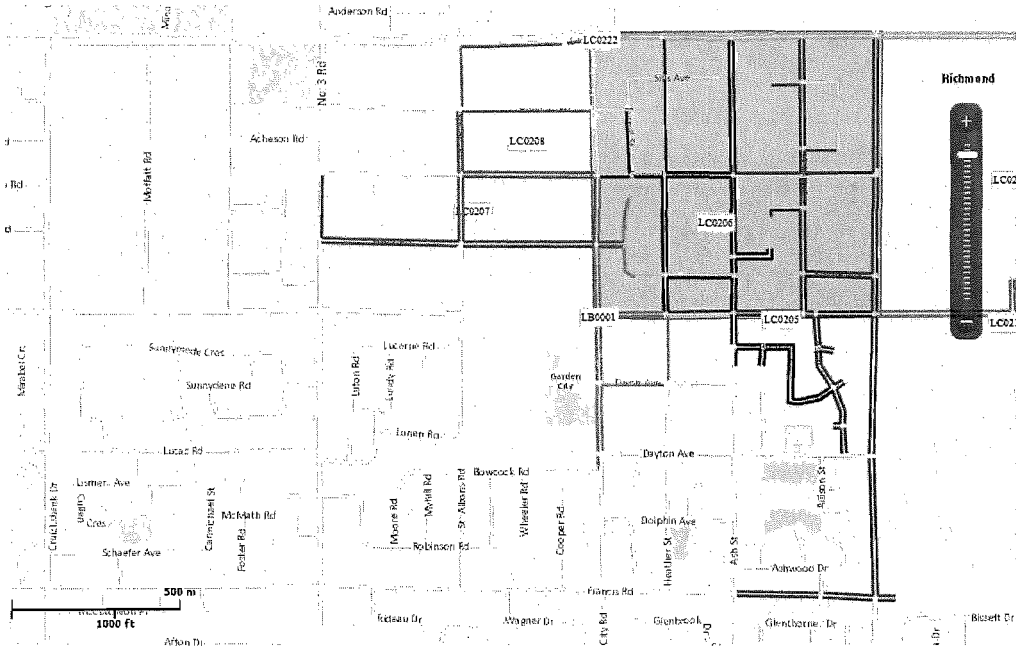
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Your Targeting Report

Route Ranking Report



Reaching the right people with the right message is a key driver of campaign success. The map below shows your selected trade area and the routes that make up your coverage. The routes are colour coded according to the penetration of your selected demographic variable(s) to show how closely it matches your ideal prospect.



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Your Targeting Report

Route Ranking Report



Below you will find your Route Ranking Report, which provides you with a tabular view of the routes within your trade area ranked according to the value of the selected demographic variable(s). By looking at the "Cumulative Penetration" and the "Cumulative Points of Call" columns, you can easily determine which routes you need to target in order to meet your desired quota.

FSA	Delivery Mode (Route)	Depot	All Points Of Call	Cumulative Points of Call	High Demand (HD)
V6Y	LC0207	RICHMOND LCD 22	1399	1399	
V6Y	LC0208	RICHMOND LCD 22	1201	2600	
V6Y	LC0206	RICHMOND LCD 22	964	3564	
V6Y	LC0205	RICHMOND LCD 22	575	4139	
V6Y	LC0217	RICHMOND LCD 22	346	4485	
V6Y	LC0219	RICHMOND LCD 22	267	4752	
V6Y	LB0001	RICHMOND RPO GARDEN CITY	15	4767	

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Your Targeting Report

Postal Station Summary



To avoid transportation charges, you may want to deposit your Unaddressed Admail™ directly at each postal station responsible for your mailing. The table below provides you with a list of post offices where you need to induct your mailing, and how many pieces must be deposited at each location.

HOUSES	APARTMENTS	FARMS	BUSINESSES	TOTAL POINTS OF CALL
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RICHMOND LCD 22 , 8520 RIVER RD RICHMOND BC V6Y 3K0

TOTAL	2666	2086	0	0	4752
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RICHMOND RPO GARDEN CITY , 180-8780 BLUNDELL RD RICHMOND BC V6Y 3Y0

TOTAL	15	0	0	0	15
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GRAND TOTAL	2681	2086	0	0	4767
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Public Open House - South McLennan Neighbourhood
December 18, 2013

Name	Address
Jim Davis	9560 GRANVILLE AVE.
Anthony Pfitzenmaier	7191 No. 4 RD.
Audrey Pfitzenmaier	" " "
GORDIAL S Dale BATH	7251 ASH ST.
S. McBurney	7171 Bridge
David Yu	7151 BRIDGE
Dave Jew	7511 #4 ROAD
GARY Honigsmad	5755 No. 3 RD
DENIS WUNDERLICH	8160 No. 4 ROAD
SHAWN SANDHU	7280 BRIDGE ST. PMD
M Honigsmann	7191 #4 RD.
VIEGI DER	9100 GENERAL CURRIE DR.
KEN DER	10891 BAMBERTON DR.

Public Open House – South McLennan Neighbourhood
December 18, 2013

[illegible]

Johnson, David (Planning)

From: Erika Stiegelmar [erika.stiegelmar@shaw.ca]
Sent: Monday, 23 December 2013 12:04
To: Johnson, David (Planning)
Subject: Proposals for the South McLennan Neighbourhood - comments

Dear Sir,

As an owner of 7191 Bridge Street I wish to make these comments:

Because the proposed development on the East side of Bridge Street will be higher density than the

west side and therefore create more traffic and parking on both sides of Bridge Street I feel the developer

should cover the cost of ALL street improvements for both East and West sides of the street.

Yours sincerely, Rudolf Stiegelmar

Johnson, David (Planning)

From: Lal, Sangita [RH] [Sangita.Lal@vch.ca]
Sent: Monday, 23 December 2013 10:51
To: Johnson, David (Planning)
Subject: Proposed amendment to south McLennan area plan

We own property in the above mentioned area and we are directly across the street, on bridge road, from the empty lots where there will be houses and townhouses built. We have no problem with the plans, but we would like the developement across our place to take care of the street and sidewalk construction. The people who own the empty lots across the street from our house have caused us a lot of worry in the past because of the squatters who lived there and the houses went on fire numerous times as well as accumulating junk outside their houses. Bridge street has to be improved as the street has many bumps and uneven foundation and I think it will be pointless to build new homes with such a terrible road in front of it. Our parking is already very limited and having so many new people live in this area, I would like to see better parking plans. Thank you for taking the time out to listen to our comments. We live on 7211 bridge street, our names are Raj and Sangita Lal. Our telephone number is 604-313-8555 if you need to contact us. My email is sangita.lal@vch.ca.

December 18, 2013
Allan and Sandra McBurney
7171 Bridge St.
Richmond, B.C. V6Y 2S6

December 23, 2013

City of Richmond
6911 No. 3 Road
Richmond, B.C. V6Y 2C1

Attention: David Johnson

Re: Public information meeting December 18, 2013
Proposed changes to South McLennan Area Plan

As requested, we are writing to set out our concerns regarding the proposed development on the east side of Bridge Street.

While the proposed access to No. 4 Road should help, it probably goes without saying that the increased density will also mean more traffic on Bridge Street. We also feel that with the proposed change in zoning for the east side of Bridge Street, there will be more need of parking for the new development. Not only do we expect that residents and visitors to this sizeable townhouse complex will be using Bridge Street for extra parking, but the single family owners along the east side of Bridge will have minimal setback for driveway, and so will need to make more use of Bridge Street for parking than the existing properties on the west side with much larger set-backs and more parking for vehicles on our lots.

We believe that the ones who are mostly going to be using the parking on the west side of Bridge Street will be the owners of these townhouses and new single family dwellings. We therefore feel that the developer for these properties should pay for the improvements on both sides of Bridge Street. The developer is getting a significant bonus in being allowed to build townhouses where the area plan said that none would be built, the city is getting the higher density that it desired when the area plan was introduced, but all that the existing residents are getting is more traffic, more competition for street parking when needed, and cars chewing up our grass boulevards. Plus, should we choose to develop the back portion of our properties (and the City has made clear that this will not be for townhouses), we will be expected to pay for the sidewalk and improvements to the west side of Bridge Street, which the buyers of our back lots will have no direct benefit from whatsoever. The users should pay, and the users will mostly be the buyers of properties in this new development across the street.

We also feel that 5 days is not enough time to have this comment form returned, especially at this time of year. It is not right that the developer call this meeting a week before Christmas and then expect to have all comments back within 5 days. After all, the developer has owned most of these properties for many years and never shown any concern for the residents of the area. Now all of a sudden the developer would like everything pushed through.

Allan and Sandra McBurney

Public Open House--South McLennan Neighbourhood
December 18, 2013

The Purpose is to seek your opinion on the proposed amendments to the South McLennan Area plan and the Zoning Bylaw of the subject properties.

Name: Maria Honigman

Address: 7191 Number 4 Road, Richmond

Do you own property within the South McLennan area? Yes

Comments:

City of Richmond Rezoning Application: RZ 12-605038

I have concerns about the E-W Connector, or New Avenue depending on which map you look at and Lechow Road. In the past, during the community meetings regarding other developments in the area, there was repeated mention of a Ring Road, which included Lechow, Sills and Shields Avenues. During those meetings, it was stated that none of the roads should connect to Number 4 Road. For that reason there are a number of emergency access roads in place now in the more recent developments to the North of this proposal with chains across to prevent drivers from accessing Number 4 Road. Because this developer, Hui Yuan Investments, was not willing to acquire properties that would include land where the Ring road would be located, they simply changed the road to access Number 4 Road. Because they were not willing to acquire land bordering Lechow how are they now able to simply narrow Lechow Road and wait for future developments to widen the road to an acceptable width? And when will that be? I know for a fact that 7195 Number 4 Road has been on the market off and on for a number of years at current market value and yet, they did not attempt to acquire it.

I am also concerned about the amount of misinformation between the public announcements. The board posted on Number 4 Road had different information, involving different lots than the public invitation posted in the Richmond Review December 13, 2013 as well as the invitation sent to my house. The lots involved are, specifically 7271 and 7195 No. 4 Road--7271 is listed on the Rezoning Board on Number 4 Road as being a lot involved in the rezoning process, but it's not in the invitation sent to my house, nor is it in the invitation posted in the Richmond Review. At the same time, the property at 7195 No. 4 Road is listed on the Invitation sent to my house and in the Invitation in the Richmond Review, but not listed on the rezoning board. Which is correct? This conflicting information will affect the number of replies or voices of concern from the local residents as to which invitation they read. But the biggest concern is that all three invitations neglected to show the new access road to Number 4 Road so many residents in the area were not alarmed by the proposal and therefore might not be voicing an opinion.

Also, on the board on Number 4 Road, there is mention of "approximately 100 townhouse units" whereas on the invitation sent to my house, it states 78 townhouses while in the newspaper invitation it states 78 townhouses and 7 new single family lots. Why the discrepancy between all three public invitations? And again, how can the public possibly understand what the proposal actually is when there are so many discrepancies.

Your meeting took place surprisingly during the busy week before Christmas and for some reason you expected the replies during the week of Christmas, which is again going to affect the number of replies from the local residents.

Konkin, Barry

From: Shawn S [shawns@vmo.ca]
Sent: Wednesday, 07 March 2012 15:00
To: Mayor and Councillors; Jackson, Brian; Johnson, David (Planning)
Subject: Development of McLennan South

City of Richmond
6911 No. 3 Road
Richmond, B.C. V6Y 2C1

Re: Development of McLennan South

To Whom It May Concern:

I would like to follow up with my meeting on 20 February with David Johnson at the City of Richmond. We discussed the current zoning and development applications for the large parcel of land north of Shields Avenue along the east side of Bridge Street.

I recognize that the City has a need to offer affordable housing options to Richmond's growing community and Developers need suitable areas of land to build such housing. However, I want to remind Council and the Planning Department that a comprehensive analysis and public consultation was done prior to the Community Plan amendment in early 2004. This consultation found that the local residents were not pleased with the proposed changes to the original OCP but we accepted the proposal to introduce multi-family developments to the perimeter areas only and the construction of a Ring Road network to handle traffic concerns.

We accepted the plan with the understanding that the Single Family appeal of McLennan South would be maintained, specifically on Bridge Street where a minimum lot frontage of 18 meters gives the neighborhood a distinct character appeal. Consequently many of the current residents chose to root themselves in this community by investing significant funds into our primary residences to support the City's vision and area plan.

Since then a number of Single Family developments and additional roads have been introduced and the current residents are trying to understand the need to compromise certain elements of the OCP in order to allow development to occur. I want to emphasize that my fellow neighbors and I will strongly oppose any further deviation from the current OCP for this area, namely the introduction of multi-family residences located outside the perimeter of Bridge Street. We feel that such deviation will diminish the appeal of the larger single family homes as well as raise safety concerns resulting from increased traffic and parking. Also, the transition between multi-family and single family homes will be lost.

I am surprised by the reluctance of the owners of this large parcel of land to further their single family development application and further troubled by information that a former City of Richmond Councilor, Kiichi Kumagai, may have been retained by the owners as a consultant to assist in rezoning this land to multifamily.

I hope Council, the Director of Planning and the Area Planner will recognize the importance of maintaining the unique character of this McLennan South area and support the local area residents by sending a clear message to developers that you will not support multi-family development applications for this area.

Regards,

Shawn Sandhu
7280 Bridge St,
Richmond, BC
778-891-7347



City of Richmond

6911 No. 3 Road,
Richmond, BC V6Y 2C1
www.richmond.ca

March 16, 2012
File: 08-4105-06-01/2012-Vol 01

Planning and Development Department
Policy Planning
Fax: 604-276-4052

Mr. Shawn Sandhu
7280 Bridge Street
Richmond, BC
V6Y 2S7

Dear Mr. Sandhu:

Re: Letter of March 7, 2012 – Development of McLennan South

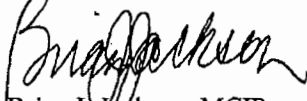
Thank you for your letter of March 7, 2012 which outlines your concerns over the pattern of development you have experienced in your community of South McLennan.

As you are aware, the Area Plan of South McLennan guides future growth and development in the area (McLennan South Sub-Area Plan – Schedule 2.10D). As indicated in your letter, this plan did go through a comprehensive analysis and public consultation with local residents who accepted the plan to allow multi-family development along the perimeter of the neighbourhood, while keeping the single-family character within the interior of the neighbourhood. This includes maintaining wider lots for properties fronting Bridge and Ash Streets to be at least 18 meters (approximately 59 feet) wide.

The rezoning application you identified in your letter (RZ 07-378654) currently proposes 24 lot single-family subdivision. The information we currently have is in keeping with the neighbourhood plan and would not require an amendment to the Official Community Plan (OCP). For example, all proposed lots meet the lot width and area requirements, including the current lot widths for those fronting Bridge Street would maintain their current width of 19.2 meters (approximately 63 feet). Should we receive changes to the proposal, we will ensure that the Bridge Street lots will remain large lot single-family and the lots will meet the current minimum lot width and area requirements in the OCP. Should any part of a new proposal not meet the neighbourhood plan, an amendment to the OCP will be required. This includes a separate bylaw for the amendment, neighbour notification and a Public Hearing, where the public can express their views on the proposal. Ultimately, City Council will make the decision whether such a proposed OCP amendment is accepted.

To date, the current application has not proceeded to Planning Committee or City Council as we are awaiting a response from the applicant. Should you require further information on the progress of this application, please feel free to contact Mr. David Johnson, Planner 2 at 604 276-4193.

Yours truly,



Brian J. Jackson, MCIP
Director of Development

BJ:dj

cc: Mayor and Council
Gail Johnson, Clerks Department
David Johnson, Planning and Development

Re: Rezoning Application- File No. RZ12-605038

Attention: City of Richmond Planning & Development Department-

To whom it may concern;

It has been brought to my attention that there was supposed to have been a document given to the property owners on the west side of Bridge Street, north of General Currie and south of Sills Avenue regarding an opportunity to comment on the rezoning of property on the east side of Bridge Street.

Since I've not seen this document, I wish to express my thoughts on the subject.

Realizing that the rezoning application on the east side of Bridge is asking for increased density, including a residential format that is not in the original community plan, there will be a dramatic increase in vehicular traffic and on street parking. This will increase the already overtaxed strain on the on street parking on both sides of Bridge Street. This is extremely evident by observing the congested design of the on street parking design that has been implemented on Bridge Street, immediately south of Granville, making navigating between parked cars hazardous and nearly impossible with opposing traffic.

One must realize that with the proposed increased density, including lots fronting on the east side of Bridge Street, parking on the street will be monopolized by the east side of Bridge Street residents providing another situation of excessive congestion which west side residents do not benefit from, but will only create a large inconvenience. Current parking conditions just south of Granville on Bridge Street can attest to that.

The parking and vehicular traffic issues I've identified above, along with the proposed increase in density will only diminish our many years of a quiet and peaceful life style we've all come to enjoy here on Bridge Street.

If the proposed project in for rezoning with its increased density, which favours the City of Richmond coffers/ tax base, is allowed to proceed, it would only be reasonable that the numerous long time residents on the west side of Bridge Street be compensated by the Developer and/or the City of Richmond, by installing the required curb, gutter and lighting standards on the west side of Bridge Street at the expense of the Developer.

Thanks for addressing this matter in an affirmative manner.

Yours Truly

Calvin and Maryann Radom

7231 Bridge Street, Richmond, BC.

Email:cmradom@shaw.ca

Arborist Report

Preliminary Tree Preservation Plan

Rezoning Application

7120/40/60/80 Bridge Street
7200/20/40/60/80 Bridge Street
7211/31/71 No. 4 Road
Richmond, BC

Prepared for:	Hui Yuan Investment (Canada) Ltd.
Prepared by:	VanArbor Vegetation Consulting Ltd. Ken Bell, P.Ag.
Date:	March 23, 2012

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Summary

Hui Yuan Investment (Canada) Ltd. is proposing to rezone ten residential properties at 7120/40/80 Bridge Street, 7200/20/40/60 Bridge Street, 7211/31/71 No. 4 Road Richmond, BC in order to develop one hundred-one townhome units and five residential building lots. This arborist report documents 255 on and off-site protected-sized trees and proposes a Preliminary Tree Preservation Plan. The Preliminary Tree Preservation Plan proposes to preserve twenty-five trees and remove 230 trees.

Introduction

Background

Hui Yuan Investment (Canada) Ltd. is seeking permission from the City of Richmond to rezone ten residential properties at 7120/40/80 Bridge Street, 7200/20/40/60 Bridge Street, 7211/31/71 No. 4 Road from single-family housing district, Subdivision Area to Townhome District in order to construct one hundred-one townhomes and five single family lots. The assembled properties contain protected-size trees. The City of Richmond requires an arborist report and Preliminary Tree Preservation Plan to accompany the rezoning application in order to comply with City of Richmond Tree Protection Bylaw 8057 and development policies.

Assignment

Provide an arborist report to:

1. Document protected size trees associated with the proposed rezoning application.
2. Provide a written report documenting findings of the tree survey investigation.
3. Propose a Preliminary Tree Preservation Plan.

Limits of the Assignment

1. VanArbor's assessment on February 2, 2012 is based on visual inspection of the trees and site conditions from ground level. I did not climb trees or excavate the root zone of trees.
2. This report does not provide a tree replacement schedule.
3. This report is not valid for Development Permit or Building Permit applications.
4. It is beyond the scope of this report to provide detailed tree preservation specifications.

Purpose and use of report

1. To accompany the Rezoning Permit application.
2. Provide compliance with City of Richmond Tree Protection Bylaw 8057 and Planning-development policies.

Observations

There are ten residential building lots at 7120/40/80 Bridge Street, 7200/20/40/60 Bridge Street, 7211/31/71 No. 4 Road. The building lots contain a mix of mature landscape trees and a variety of shrubs, and a large woodlot containing a mixture of native conifer and deciduous trees. Ornamental Beech trees grow in the grass strip boulevard along No. 4 Road and there is a hedge growing in the municipal road easement along Bridge Street. There are overhead utilities (BC Hydro single phase and secondary powerlines, cable and telus) along Bridge Street. The topography of the building lots is flat. The existing grade elevations along Bridge Street nearly match the building lots. However, the existing building-lot elevations along No. 4 Road are significantly lower than the No. 4 Road roadway. Near-surface soil conditions are shallow and I suspect there is a high water table over majority of the site; I observed standing water in several locations. There is a bird nest in Birch tree # 245 and at least one bird nest in the woodlot trees. There are no natural water features or other significant environmental features to report.

Testing and Analysis

I assessed the trees and site conditions on January 26, 2012. Tree assessments include health and structural condition ratings, and viability for tree preservation. Individual trees are field identified with a numerical survey tag attached to the lower tree trunk. Street trees growing along No. 4 Road and protected-size trees growing in the woodlot are not field identified with survey tags.

Appendix 1 Arborist Topograph Tree Survey provided by Louis Ngan Land Surveying shows the location of on and off-site trees, buildings at the time of the survey and other relevant topographic information. I annotated the topograph survey with tree numbers, dripline circles and condition ratings (poor, moderate, good or combination of two ratings)

Appendix 2 Arborist Site Plan shows the on and off-site trees in moderate and good condition, tree numbers, tree removal symbols, tree protection barrier fences, dripline circles, proposed building envelopes and interior roadway system, existing spot elevation, various dimensions, arborist annotations and notes.

Appendix 3 is the Tree Inventory and Evaluation that documents the protected-size trees. Tree numbers listed in the inventory correspond with the tree numbers on Appendix 1 and 2 drawings. The inventory lists: tree number, species, diameter breast height (dbh) size, condition rating, crown spread, observations, comments and proposed preservation recommendations.

Appendix 4 is a summary-schedule listing trees proposed for preservation or removal.

Appendix 5 contains a GIS Aerial Photograph showing existing site conditions and the locations of underground off-site services.

Discussion

Hui Yuan Investment (Canada) Ltd. is proposing to consolidate and rezone ten existing residential properties in order to develop one hundred-one townhomes and five residential building lots. The layout of the proposed development includes eighteen buildings, an interior roadway system, infrastructure, parking and two amenity areas.

Appendix 1 Arborist Topograph Tree Survey shows existing buildings, spot elevations, on & off-site trees, hedgerows and the woodlot. There are 255 on and off-site trees and hedges associated with the proposed development. The woodlot contains 148 native trees and covers approximately 30% of the development area. There are 93 landscape trees growing on the existing building lots, separate from the woodlot trees. I have annotated the drawing to differentiate trees that are in good, moderate and poor condition; trees in good health and structural condition have thick dripline circles. The dripline circles around each tree are the approximate crown spread dimensions.

It should be noted that the grade-elevation of the existing building sites along No. 4 Road is significantly lower (≥ 80 cm) than the No. 4 Roadway grade-elevation. The development will likely be required to elevate the building sites in order to comply with the Flood Plain Bylaw.

Appendix 2 Site Plan shows the architectural layout scheme of the proposed development and trees that are moderate and good condition. The drawing also shows tree protection zone (TPZ) barrier fences surrounding the trees that are good candidates for preservation. The development proposes to preserve:

1. Thirteen on-site trees
2. Existing conifer hedges surrounding the residential lot at 7160 Bridge Street
3. Off-site trees growing along the edge of the woodlot on lots 7300 Bridge Street and 7195 No. 4 Road
4. Off-site Municipal trees growing in the boulevard grass-strip along No. 4 Road

All other on and off-site trees and hedges are proposed for removal to enable the development layout scheme. The tree remove symbols shown in the Site Plan indicate trees in moderate and good condition proposed for removal. Off-site trees and hedges proposed for removal include:

1. Hedge of trees/shrubs currently growing in the Municipal boulevard adjacent to 7040 and 7060 Bridge Street (See photograph 1).
2. Tree # OS216 located on the north property line of 7160 Bridge Street. This tree is in poor condition and should be removed to enable the proposed development. It is important to note that the Planning Department will likely require written permission from the registered owner of 7160 Bridge Street in order to authorize the removal of the tree.

Appendix 3 Tree Inventory and Evaluation documents 255 on and off-site trees associated with the proposed development. There are 241 on-site trees and 14 off-site trees.

Appendix 4 provides a summary that tallies the number of trees proposed for preservation and removal. The development proposes to preserve 13 on-site trees and remove 228 on-site trees;

remove two off-site trees (#OS216, OS4) and preserve twelve off-site trees. On and off-site trees proposed for removal are in poor condition or conflict with the proposed architectural layout scheme.

It is important to note that the majority of landscape trees (excluding woodlot trees) are in poor condition. Table 1 shows the number and percentage of on-site landscape trees (not including woodlot trees) and their relative condition ratings. Fifty-two percent of the landscape trees are in poor condition.

Table 1

Condition rating	Poor	Poor – moderate	Moderate	Moderate – good	Good
Total trees = 93	48	9	23	2	11
Percentage	52%	10%	25%	2%	12%

Appendix 5 shows the aerial GIS photograph of the assembled properties and existing underground services. Due to the scope of the proposed development, the City of Richmond Planning and Engineering Departments will likely require the Civil Engineer to complete a technical review of the proposed rezoning application. The technical review will provide a listing of infrastructure upgrades and servicing requirements for the proposed development. The result of the technical review will help determine conflicts (if any) and the viability of preserving trees near infrastructure upgrades along Bridge Street.

In accordance with City of Richmond Tree Protection Bylaw No. 8057, trees proposed for removal are replaced with new trees. In this case, the development is proposing to remove 230 trees; 228 on-site trees and 2 off-site trees. The development proposes to negotiate with the City of Richmond to determine the appropriate number of replacement trees or provide cash-in-lieu to compensate for trees proposed for removal. The project Landscape Architect should specify the locations and species of replacement trees.

Preliminary Tree Preservation Plan

The *Preliminary Tree Preservation Plan* and planning consideration for the proposed rezoning application include, but are not limited to the following details:

1. Preserve thirteen on-site trees shown in the Appendix 2 Arborist Site Plan shown and proposed for preservation in Appendix 3 and 4.
2. Remove 228 on-site trees; 80 landscape trees + 148 woodlot trees proposed for removal in Appendix 3 and 4.
3. Remove off-site tree # OS216 located on the North property line at 7160 Bridge Street.

- The development requires written permission from the owner of 7160 Bridge Street authorizing the removal of the tree.
4. Remove the following off-site trees located on Municipal easements:
 - Off-site tree # OS4 located on proposed Lechow Street roadway easement.
 - Off-site hedgerow located in Municipal road easement adjacent to 7040 and 7060 Bridge Street.
 - i. The development requires written permission to remove trees and hedge from City of Richmond Parks Department.
 5. Preserve twelve off-sites trees shown in the Appendix 2 Arborist Site Plan shown and proposed for preservation in Appendix 3 and 4.
 6. The development negotiates with the City of Richmond to determine the appropriate number of replacement trees or provide cash-in-lieu to compensate for trees proposed for removal.
 7. Project arborist (VanArbor) collaborates with the design team (Architect, Civil Engineer, Landscape Architect, Municipal Planners and Engineers, Developer, Project Superintendent, etc.) during the Development Building Permit application processes.
 - The design team review this report
 - All drawings provided by the design team are to show the preservation trees, TPZ and Arborist Preservation notes
 8. The project arborist evaluate and provide tree preservation specifications to the following plans:
 - Demolition plans
 - Pre-load operations
 - Site plans
 - Improvement plans (i.e.) street improvement, underground utility upgrades
 - Grade plans
 - Drainage and erosion control plans
 - Landscape construction, planting and irrigation plans
 - Utility plans
 - Geotechnical (soil) reports and plans
 - Construction plans and documents
 9. It is standard practice to erect the barrier fences around preservation trees prior to pre-construction operations. Appendix 2 Arborist Site Plan shows locations of tree protection zone (TPZ) barrier fences.
 - Barrier fence to be constructed in accordance with Municipal guidelines.
 - The barrier fence should be placed at least one meter outside the dripline of preservation trees.
 - Maintain the barrier fence in good condition throughout the construction period.
 - i. The development may dismantle the barrier fence during landscape installation.
 10. Architects and Civil Engineers should plan that all construction take place outside the TPZ barrier fences; (e.g.) no trenching or digging inside TPZ.

11. The Civil Engineer should conduct a capacity analysis to determine whether the sanitary, water and storm drainage systems require improvements / upgrading to determine conflicts (if any) and the viability of preserving trees near infrastructure upgrades along Bridge Street.
12. Drawings prepared by allied consultants (including architectural, civil, electrical, landscape and off-site utility companies) show the preservation trees, tree protection zones and tree preservation information.
13. The project arborist submit the final Tree Protection and Preservation Plan as part of the Development and Building Permit processes.
14. The Project arborist should monitor the trees and site conditions throughout the construction period. The purpose of the monitoring is to:
 - Advise and facilitate completion of project
 - Assist with changes in the field
 - Monitor tree health and site condition and apply appropriate treatments
 - Communicate with the project superintendent and contractors
 - Identify appropriate work procedures around trees
 - Monitor activity around trees
15. The Project Arborist should provide the following services during the post-construction and maintenance phase of development:
 - Consultation and continuity in transition period following construction.
 - Evaluate trees following construction.
 - Provide needed remedial treatments.
 - Sign-off project.

Conclusion

Hui Yuan Investment (Canada) Ltd. is proposing to rezone ten existing residential properties at 7120/40/80 Bridge Street, 7200/20/40/60 Bridge Street, 7211/31/71 No. 4 Road in order to construct one hundred-one townhomes and five single family lots. There are 255 trees associated with the proposed development. The development is proposing to preserve thirteen on-site trees, preserve twelve off-site trees and remove 230 trees. Trees proposed for removal include trees growing in a woodlot that contains 148 native trees. The development proposes to negotiate with the City of Richmond to determine the appropriate number of replacement trees or provide cash-in-lieu to compensate for trees proposed for removal. The preliminary tree preservation plan details planning considerations. VanArbor expects to collaborate with allied planning professionals (Engineer, Architect, Landscape Architect, etc.) during the Development and Building Permit application processes and help ensure the successful tree preservation during and after the construction period.

Photograph 1



Photograph 1: Shows a hedgerow of off-site trees proposed for removal. These trees are located in the roadway easement adjacent to 7040 and 7060 Bridge Street. The development requires the permission from City of Richmond Parks Department to authorize the removal of the hedge.

Appendix 1

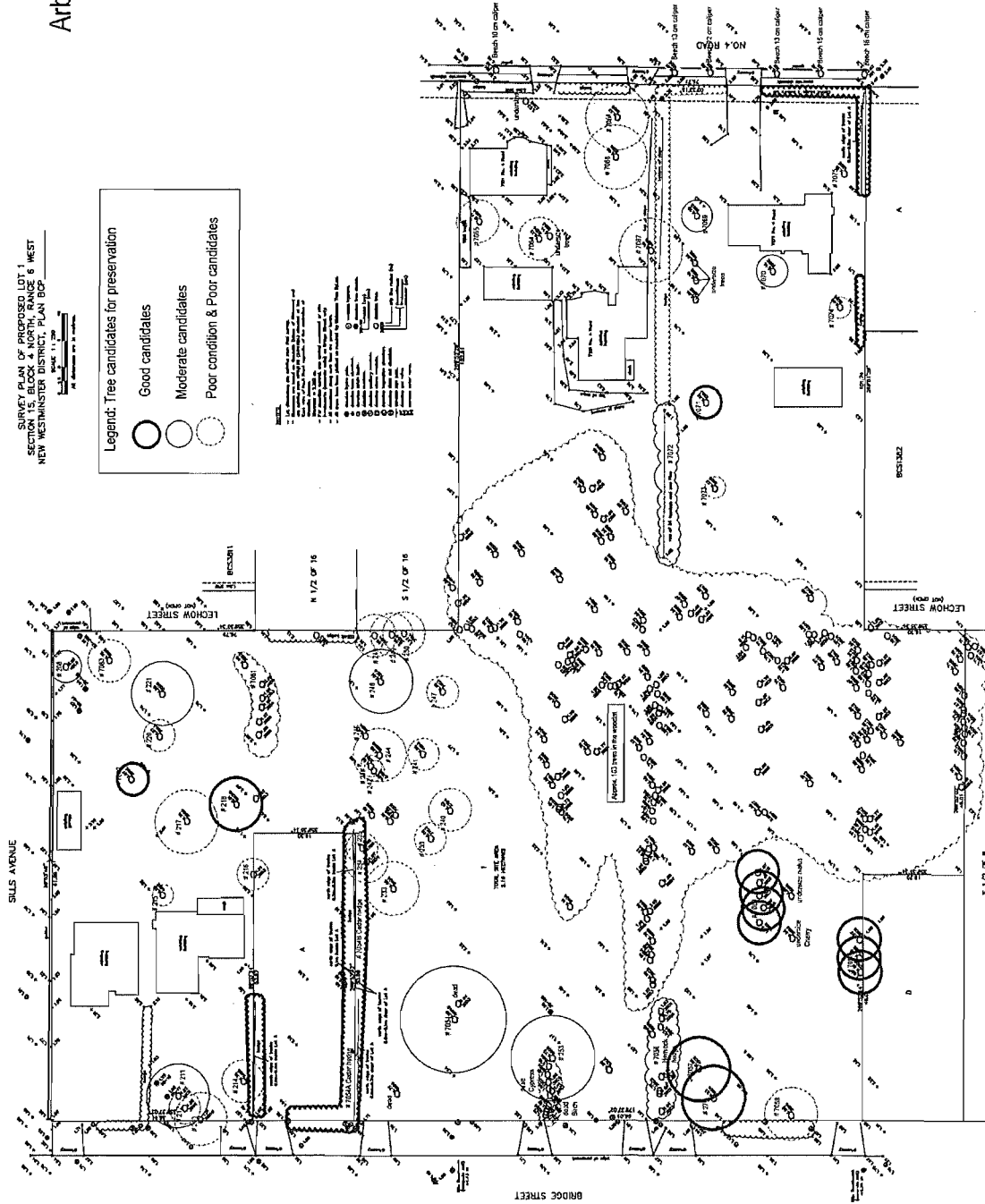
Arborist Topograph Tree Survey

SURVEY PLAN OF PROPOSED LOT 1
SECOND BLOCK, NORTH SIDE OF
NEW WESTMINSTER DISTRICT, PLAN BOP

Scale 1" = 20'

Legend: Tree candidates for preservation

- Good candidates
- Moderate candidates
- Poor condition & Poor candidates



Drawing annotations (text, tree numbers, dripline circles) by VanArbor, February 10, 2012



Appendix 3

Tree Inventory and Evaluation

7120/40/80 Bridge Street
7200/20/40/60 Bridge Street
7211/31/71 No. 4 Road
Richmond, BC

Tree #	Species	DBH ¹ (cm)	Condition ²	Crown spread radius (m)	Observations / Comments	Proposed Tree Preservation Recommendation
On-site Trees						
208	Pine	40	Moderate	3	<ul style="list-style-type: none"> Open grown tree standing on the NW corner of the development area ≈20 meters tall; 50% LCR Growing in shallow ground conditions and high water table Growing in 10 meter dedication 	Preserve
211	Western red cedar	44	Moderate	6	<ul style="list-style-type: none"> Tree in good health condition and moderate structural condition; crown merges with neighbouring trees resulting in asymmetrical crown-shape Tree located too close to proposed building to be considered for preservation 	Remove

¹ DBH size of tree (cm) is measured at 1.4 meters above base in accordance to City of Richmond Tree Protection Bylaw and recorded to the nearest centimeter, unless indicated in observations / comments column.

² Condition rating: the consolidation of health, structure and vigor of the tree. The condition of a tree is expressed as either poor, moderate or good, compared to specimens that are ideal for that species

Tree #	Species	DBH ¹ (cm)	Condition ²	Crown spread radius (m)	Observations / Comments	Proposed Tree Preservation Recommendation
212	Holly	25	Poor	2	<ul style="list-style-type: none"> Suppressed crown tree growing under neighbouring tree canopies Poor candidate for preservation 	Remove
213	Oak	≈80	Poor		<ul style="list-style-type: none"> Municipal off-site tree BCH pruned for overhead utility clearance Growing next to storm drain in ROW ≈ 20 meters tall with phototropic lean towards the development area 	Remove
214	Cherry	29	poor	5	<ul style="list-style-type: none"> Tree growing next to Pyramid cedar hedge Tree in poor condition and poor candidate for preservation 	Remove
215	Cherry	≈40	Poor	n/a	Tree is dead and covered with climbing Rose vine	Remove
217	Malus sp.	27+ 25(.6) +25(.6)= 57	Poor – moderate	6	<ul style="list-style-type: none"> Trunk has a lean and ground exhibits heave Poor candidate for preservation 	Remove
218	Western red cedar	≈45+ 30(.6) +30(.6) = 81	Moderate – good	5	<ul style="list-style-type: none"> Tree has 100% LCR; nice specimen tree Tree located in proposed roadway 	Remove
220	Malus sp.	20	Poor	5	<ul style="list-style-type: none"> Tree has 20° trunk lean, root heave Poor candidate for preservation 	Remove
221	Birch	44	Moderate	5	<ul style="list-style-type: none"> Tree has good shape; however 2 dead branches in upper crown; 100% LCR Growing in shallow ground conditions and high water table Tree crown conflicts with building 	Remove
233	Cherry	34	Poor	5	<ul style="list-style-type: none"> Tree diseased and has a trunk lean Growing in shallow ground conditions and high water table 	Remove
234	Clump birch	≈75	Moderate	4	<ul style="list-style-type: none"> Multiple trunk tree joined at base; poor structure, good health condition Located within existing off-site hedge Poor candidate for preservation 	Remove

Tree #	Species	DBH ¹ (cm)	Condition ²	Crown spread radius (m)	Observations / Comments	Proposed Tree Preservation Recommendation
235	Clump birch	≈75	Moderate	4	<ul style="list-style-type: none"> Multiple trunk tree joined at base; poor structure, good health condition Located within existing off-site hedge Poor candidate for preservation 	Remove
239	Western red cedar	≈35	Poor	3	<ul style="list-style-type: none"> Tree trunk leans and ground exhibits root heave; leader has forked branches Poor candidate for preservation 	Remove
240	Birch	33	Poor	4	<ul style="list-style-type: none"> Tree has dead leader; phototropic lean Poor candidate for preservation 	Remove
241	Birch	44	Poor	3	<ul style="list-style-type: none"> Tree has dead leader at top of crown; phototropic lean Poor candidate for preservation 	Remove
242	Clump birch	≈20+16=36	Poor	2	<ul style="list-style-type: none"> Tree has dead leader at top of crown; phototropic lean Poor candidate for preservation 	Remove
243	Clump birch	≈20+16=36	Poor	2	<ul style="list-style-type: none"> Tree has dead leader at top of crown; phototropic lean Poor candidate for preservation 	Remove
244	Clump birch	≈75	Poor	10	<ul style="list-style-type: none"> Tree has dead leader at top of crown; phototropic lean Poor candidate for preservation 	Remove
245	Clump birch	≈55	Poor	4	<ul style="list-style-type: none"> Tree has poor structure; trunks have phototropic leans Poor candidate for preservation Bird nest in crown 	Remove
246	Pine	53	Moderate	6	<ul style="list-style-type: none"> Tree has natural trunk lean orientated southwards ≈40% LCR; ≈ 22 meters tall Sited in shallow ground conditions and high water table Tree too large to safely preserve considering dense 	Remove

Tree #	Species	DBH ¹ (cm)	Condition ²	Crown spread radius (m)	Observations / Comments	Proposed Tree Preservation Recommendation
					development and raising site grades <ul style="list-style-type: none"> • Located at edge of dedication area • Not suitable candidate for preservation 	
247	Pine	~25	Poor – moderate		<ul style="list-style-type: none"> • Tree has bow sweep root crown with large exposed roots on ground surface • Shallow ground conditions and high water table • Poor candidate for preservation 	Remove
248	Birch	33	Poor	4	<ul style="list-style-type: none"> • Three trees growing in a row along property line fence; crowns merge together 	Remove
249	Birch	34				
250	Birch	28			<ul style="list-style-type: none"> • Dead branches in crown; tree have phototropic leans over property line fence and tree branch debris falls in neighbouring yard • Poor candidate for preservation 	Remove
276	Spruce	53	Good	6	<ul style="list-style-type: none"> • Tree located at 7240 Bridge Street • 75% LCR, ~ 13 meters tall 	Preserve
7054	Oak	45	Moderate	10	<ul style="list-style-type: none"> • Tree in good health condition, moderate structural condition; not a good specimen quality tree; ~ 12 meters tall • Tree growing in water receiving area; shallow soil and high water table ground conditions • Tree growing in open ground conditions • Tree located near property line and buildable building envelop • Poor candidate for preservation 	Remove
7055 A	Cedar hedgerow	28	Moderate	3 - 5	<ul style="list-style-type: none"> • The hedgerow consists of two distinct hedgerow plantings along south property line of 7160 Bridge Street • Cedar hedge A: Lead tree in hedgerow next to roadway is 28 cm Ø; all other trees are smaller Ø • Trees clearly sited on proposed development side 	Preserve

Tree #	Species	DBH ¹ (cm)	Condition ²	Crown spread radius (m)	Observations / Comments	Proposed Tree Preservation Recommendation
					of the property line as indicated by survey corner pin <ul style="list-style-type: none"> Trees planted on 2' foot centres; crowns fully merge; ≈ 7 meters tall; trees pruned (topped) in past to reduce height; trees have multiple leader branches Outside crowns may be pruned to marginally reduce crown spread size 	
7056	8 trees in Hemlock hedge	≤ 30	Moderate	4	<ul style="list-style-type: none"> 8 trees growing in a hedgerow; crowns merge; trees relatively young and in good health condition; ≈ 10 meters tall Drainage manhole next to lead tree in ROW Tree grows into allowable building envelope; trees will grow much larger and conflict with building in future; poor candidates for preservation 	Remove
7057	Hemlock	45	Good	6	<ul style="list-style-type: none"> 80% LCR; crown merges with Spruce tree # 276 Tree growing in allowable building envelope area; cannot develop building lot without significant conflicts 	Remove
7058	Cherry	$21 + 18(.6) = 40$	Poor	5	<ul style="list-style-type: none"> Tree has codominant trunks attached at 1 meter above base; tree crown merged with neighbouring off-site hedge Poor candidate for preservation 	Remove
7059	3 spruce trees	40 28 55	Good	5	<ul style="list-style-type: none"> 3 trees growing together along property line; 15 meter stall Trees in good health and structural condition; provides good screenage to neighbouring property 	Preserve Preserve Preserve
7060	6 Conifer Conifer	48 43	Good	5	<ul style="list-style-type: none"> Six conifer trees (Western red cedar + Spruce) in a 	Preserve Preserve

Tree #	Species	DBH ¹ (cm)	Condition ²	Crown spread radius (m)	Observations / Comments	Proposed Tree Preservation Recommendation
	Conifer	45			hedgerow	Preserve
	Conifer	27			• 100% LCR on south side of crowns	Preserve
	Conifer	37			• Trees located in proposed amenity area	Preserve
	Conifer	20				Preserve
7061	Birch	≈ 30	Poor – moderate	5	• Seven Birch growing together in a hedgerow	Remove
	Birch	≈ 30			• Few trees have clump root crowns (multiple trunks)	Remove
	Birch	≈ 30			• Few trees exhibit crown die-back	Remove
	Birch	≈ 30			• Trees poor candidates for preservation	Remove
	Birch	≈ 30				Remove
	Birch	≈ 30				Remove
7062	Chestnut	28	Moderate	3	• Unique small specimen type tree ≈ 5 meters tall	
					• Requires minor pruning	
7063	Birch	31	Poor	4	• Tree exhibits crown die-back	Remove
					• Poor candidate for preservation	
7064	Hazel nut	24+8+8=32	Moderate	5	• Old shrubs with multiple stems	Remove
					• Poor candidate for preservation	
7065	Hazel nut	24+8+8=32	Moderate	5	• Old shrubs with multiple stems	Remove
					• Poor candidate for preservation	
7066	Malus sp.	36	Poor	6	• Tree in poor health	Remove
					• Tree growing in a well	
					• Poor candidate for preservation	
7067	Purple leaf plum	64	Poor	6	• Tree size measured 50 cm above base	Remove
					• Very old tree in poor health and structural condition	
					• Poor candidate for preservation	
7068	Pear	22+20(.6)+15 (.6)= 41	Poor	4	• Old tree growing below existing grade in a well	Remove
					• Tree in poor health	

Tree #	Species	DBH ¹ (cm)	Condition ²	Crown spread radius (m)	Observations / Comments	Proposed Tree Preservation Recommendation
7069	Pear	25	Moderate	3	<ul style="list-style-type: none"> Poor candidate for preservation Relatively small stand alone tree in the middle of proposed development Grade elevation of trees is significantly lower than existing sidewalk grade elevation Tree located in proposed interior roadway 	Remove
7070	Plum	26	Moderate	2	<ul style="list-style-type: none"> Tree size measured 70 cm above base Tree not a quality specimen tree Grade elevation of trees is significantly lower than existing sidewalk grade elevation; shallow ground high water table conditions Not a good candidate for preservation Tree located in proposed interior roadway 	Remove
7071	Sweetgum	25	Moderate – good	3	<ul style="list-style-type: none"> Relatively small landscape tree standing alone in the middle of the proposed development Good candidate for preservation; too big to be effectively transplanted with tree spade 	Preserve
7072	24 Hemlock 1 Pine	≤ 30	Poor	4	<ul style="list-style-type: none"> Hedgerow of trees planted ≤ 1 meter apart; most trees topped in distant past at ≈ 3 meters above base; crowns merge Poor candidates for preservation 	Remove
7073	Cherry	28	Poor	2	<ul style="list-style-type: none"> Tree size measured 70 cm above base Old, relatively stand alone tree in the middle of proposed development Grade elevation of trees is significantly lower than sidewalk grade elevation; shallow ground high water table conditions Poor candidate for preservation 	Remove
7074	Cherry	≈ 40	Poor	2	<ul style="list-style-type: none"> Old, relatively stand alone tree in the middle of proposed development 	Remove



Address: 7120, 7140, 7160, 7180, 7200, 7220, 7240, 7260 Bridge Street and 7211, 7231,
7271 No. 4 Road

File No.: RZ 12-605038

Prior to final adoption of Richmond Zoning Bylaw 8500, Amendment Bylaw 9107, the developer is required to complete the following:

1. Final Adoption of OCP Amendment Bylaw 9106.
2. Road dedication for the following:
 - a) East-west connector road: approximately 1,764.8 m², including dedication of between 16.95 and 20 m for this road.
 - b) Lechow Street: approximately 1,928 m², including dedication of 10.65 m along the east property line of the townhouse site; dedication of 12 m through the site; and dedication of 7.5 m along the east property line at the south of the site.
 - c) Sills Avenue: approximately 829.6 m², including dedication of 10.m.
***NOTE:** all final dedications and ultimate dimensions are to be confirmed through a functional design to the satisfaction of the Director of Transportation and the Director of Engineering.
3. Payment of \$80,000 towards future road works on LeChow Street (between east-west connector road and Sills Avenue).
4. Payment of \$89,000 towards future construction of north half of Shields Avenue. Final value of the cash-in-lieu payment is subject to minor adjustments based on a functional design approved by the Director of Transportation and the Director of Engineering.
5. Discharge of Legal Agreement No. BB0681427 from the Title of 7160 Bridge Street.
6. Consolidation of all the east-most lots and the rear 64 m of the lots fronting Bridge Street into two development parcels (which will require the demolition of the existing dwellings).
7. Consolidation of the lots fronting Bridge Street into one development parcel. Any future subdivision must be consistent with the "Single Detached (ZS14) – South McLennan (City Centre)" zone, with a maximum of seven (7) single family lots. Submission of DCC's (City & GVS&DD), School site acquisition charges, and Utility charges etc. Will be required as part of this subdivision application.
8. Registration of a flood indemnity covenant on Title of all lots.
9. Registration of a legal agreement on Title of the townhouse site to ensure that the on-site indoor amenity space is heated and cooled through a geothermal system.
10. City acceptance of the developer's offer to voluntarily contribute \$0.77 per buildable square foot (e.g. \$83,780) to the City's Public Art fund, if provision of public art on the site is not possible. .
11. City acceptance of the developer's offer to voluntarily contribute \$2.00 per buildable square foot (e.g. \$217,610) for the townhouse portion of the site and contribute \$1.00 per buildable square foot (e.g. \$21,362) for the single family portion of the site to the City's affordable housing fund. The total affordable housing contribution for the project will be \$238,972.
12. Installation of protective tree fencing around the nine (9) trees to be retained adjacent to the proposed outdoor amenity space.
13. Payment of \$75,500 cash-in-lieu of on-site tree replacement.
14. The submission and processing of a Development Permit* completed to a level deemed acceptable by the Director of Development.

Prior to Building Permit Issuance, the developer must complete the following requirements:

- a) Enter into a Servicing Agreement* for the design and construction of works on the Bridge Street, No.4 Road frontage, Sills Avenue frontage, and LeChow Street. Any items under the Servicing Agreement (SA) which may be eligible for DCC credits will be determined through the SA review and approval process. Should a subdivision of the single family lots fronting onto Bridge Street be submitted prior to a building permit for the townhouse site, a separate Servicing Agreement (SA) application will be required for servicing of those lots and the works required on Bridge Street. Works include, but may not be limited to:

Storm:

The developer is responsible for the following frontage works:

- a) Bridge St. - Upgrade existing storm sewer from existing manhole STMH5174 (south property line of 7280 Bridge St.) to existing manhole STMH113666 (Sills Ave) with a length of approximately 174 m to a min. 600 mm.
- b) "East-West Connector" - Construct a min. 600 mm storm sewer from LeChow St. to No. 4 Rd. and connect to new system on LeChow St. and existing system on No. 4 Rd.
- c) LeChow St. - Construct a min. 600 mm storm sewer from Sills Ave. to Shields Ave. and connect to existing system on Sills Ave. at existing manhole STMH 113669 & Shields Ave. with a manhole and new system on "East-West Connector" with a manhole. Approximately 15 m of existing 300 mm storm sewer from existing manhole STMH 113669 to existing manhole STMH 113671 is to be removed.

Note: the pipe size may be reduced along LeChow St. between "East-West Connector" and Shields Ave. to due to design parameters and site constraints; to be determined during the review of the Servicing Agreement design.

Sanitary:

- a) The developer is responsible for constructing sanitary sewers as required to service the development site within the dedicated roads (Sills Ave., LeChow St. and "East-West Connector") and connect to the existing sanitary sewer system. Sizing is to be based on the greater of a) 200 mm and b) OCP size, as per City requirements. Calculations for sizing the proposed sanitary sewers are to be included in the Servicing Agreement design.
- b) The east half of the development site (i.e. east of LeChow St.) is to connect to the sanitary sewer along the No. 4 Rd. frontage.
- c) Existing 3.0 m wide R.O.W along No. 4 Rd. frontage to be discharged and replaced with a 5.0 m wide R.O.W along the entire No. 4 Rd. frontage.

Water:

- a) Using the OCP Model, there is 577 L/s available at 20 psi residual on No. 4 Rd. and 294 L/s available at 20 psi residual on Bridge St. Based on your proposed rezoning, your site requires a minimum fire flow of 220 L/s.
- b) The developer is responsible for constructing a "looped" water system consisting of 200 mm diameter watermain within the dedicated roads (Sills Ave., LeChow St. and "East-West Connector") and connection to the existing watermain on No. 4 Rd., Bridge St. and Shields Ave. will be required.
- c) Once you have confirmed your building design at the Building Permit stage, you must submit fire flow calculations signed and sealed by a professional engineer based on the Fire Underwriter Survey to confirm that there is adequate available flow.

Additional Engineering Requirements:

- a) Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- b) The developer is responsible for the under-grounding of the existing private utility pole line and/or the installation of pre-ducting for private utilities, subject to concurrence from the Private Utility Companies. Thru the Servicing Agreement and detail design, Private Utility Companies may require additional space for their infrastructure

(kiosks, vista, transformers, LPTs, PMTs); this may include rights-of-ways on the development site to minimize impact on public space.

- c) Given the soil conditions in the area, the following is required:
 - i) Geotechnical assessment for all Servicing Agreement works.
 - ii) A minimum 2 year maintenance period for Servicing Agreement.
- d) Proposed City infrastructure (road, curb & gutter, boulevard, sidewalk, street lighting and utilities) to be located within road dedications.
- e) Street lighting is required for all interim and permanent road and sidewalk works, the extent of which is to be assessed by the developer's consultants during the service agreement process.
- f) The configuration for the "Ultimate" layout of LeChow St., "East-West Connector" and Shields Ave. to be shown on the key plan of the Servicing Agreement drawings.
- g) The developer is required to provide cash in lieu for the removal of the "Interim" works and construction of the "Ultimate" works along the development site frontage of LeChow St. and "East-West Connector".
- h) The developer is required to design and construct works within the existing LeChow St. road dedication, just north of Shields Ave.

Note: Alterations maybe required to existing curb & gutter on Shields Ave.

Transportation Requirements:

Enter into a Servicing Agreement for the design and construction of the following frontage improvements:

- a) New Traffic Signal at No. 4 Rd. and New E-W Collector Rd: Upgrade the intersection of No. 4 Rd. and the new collector road (min. 11.2 m pavement width) with traffic signals to include but not limited to the following:
 - i) Signal pole, controller, base and hardware
 - ii) Pole base (City Centre decorative pole & street light fixture)
 - iii) Video Detection, conduits (Electrical & Communications) and signal indications, and communications cable, electrical wiring and service conductors
 - iv) APS (Accessible Pedestrian Signals)
- b) Sills Av.: Roadworks include, but not limited to the design and construction of the following:
 - i) Curb extension at the intersection with Bridge St. on the north side of Sills Ave.
 - ii) Removal of the existing north curb and gutter with possible sidewalk alteration
 - iii) Dedicate 10m along the entire north edge of 7120 Bridge Street to complete Sills Avenue with 4m x 4m corner cuts at Bridge St. and Lechow St. Also a proper corner radius curve (approx. 14m to be confirmed by Servicing Agreement design connecting Sills Ave. to Lechow St.)
 - iv) 1.5m wide grass and tree boulevard (north side)
 - v) 11.2 m pavement width
 - vi) Concrete curb and gutter (south side)
 - vii) 1.5 m wide grass and treed boulevard (south side)
 - viii) 1.8 m concrete sidewalk (south side)

NOTE: Works may also include upgrade of street lighting to Sills Avenue frontage

- c) Bridge St.: Along the entire site frontage from Sills Ave. to Shields Ave., widen Bridge St. pavement to 8.5 m, construct new curb and gutter with 1.75 m concrete sidewalk at property line and remaining to new curb to be grass and treed boulevard. Frontage works to extend past site to south property line of 7300 Bridge St.
- d) No. 4 Rd.: Restore No. 4 Rd. frontage to standard 1.5 m concrete sidewalk at property line with min. 1.5 m grass and treed boulevard, where existing driveways are to be closed and/or substandard cross section exists. Upgrade street lighting as part of signal work and may also be required as part of frontage works along No. 4 Road.
- e) Lechow St. (north): based on the functional plan, dedicate 10.65m (to be confirmed at SA stage) across the entire east edge of the development sites abutting LeChow Street from Sills Ave. to the new E-W Collector road on the north end and at the south from Shields Ave. to the east property lines of 7260/7300 Bridge St.

Roadworks include but not limited to the following, for the ultimate cross section (from Sills Ave. to north property line of 7191 No. 4 Rd:

From East property line:

- i) 1.75 m concrete sidewalk
- ii) 1.5 m wide grass and treed boulevard
- iii) Concrete curb and gutter
- iv) Minimum 11.2 m wide pavement
- v) Concrete curb and gutter
- vi) 1.5 m wide grass and treed boulevard
- vii) 1.75 m concrete sidewalk

From this point South, Interim Lechow St. works to include:

From west property lines of 7191 and 7195 No. 4 Rd:

- i) 1 m gravel shoulder
- ii) minimum 6 m asphalt pavement
- iii) Temporary curb and gutter
- iv) 1.5 m clear and unobstructed temporary asphalt walkway.

7180/7200 Bridge St.: Additional road dedication will be required along the east property lines for the proper curve radius required to connect Lechow St. to the future E-W collector road. See 'bulge' area on functional plan. The additional dedication is required to make the road functional for two-way vehicular traffic turning movements.

- f) Lechow St. (south): Dedicate 7.5 m along the entire east property line of the development properties fronting Lechow St. (southern end connecting to Shields Ave.)

To accommodate vehicular and pedestrian connectivity, the interim design for the south end of Lechow St. will be constructed as a pedestrian facility and once 7300 redevelops, the ultimate design will allow for vehicles. The interim works from Shields Ave. to the site entry include:

From the west property line of 7331 No. 4 Rd:

- i) 1.5 m concrete sidewalk at PL, not in ROW
- ii) 1.5 m grass and treed blvd.
- iii) curb and gutter
- iv) 8.5 m pavement width or interim pavement width south of 7300 Bridge St.
- v) new curb and gutter
- vi) 1.5 m grass and treed blvd.
- vii) 1.5 m concrete sidewalk

As much as possible of the above works are required to be constructed from Shields Ave. to the site entry, to facilitate pedestrian access.

- g) E-W Collector Rd.: Road dedication varies from 16.95 m to 20 m based on functional plan, along north edge of development sites fronting the new E-W Collector Rd.

4 m x 4 m corner cut at the intersection of No. 4 Rd.

Roadworks include, but not limited to the following:

From the north PL:

- i) minimum 1 m gravel shoulder
- ii) 11.2 m pavement width
- iii) curb and gutter (south side)

- iv) 1.5 m grass and treed boulevard
- iv) 1.75 m concrete sidewalk

- h) Lechow St. (within site): Dedicate 12m of road between the proposed E-W Collector Road and the proposed development's south property line.

Roadworks include, but not limited to the following:

Install street name signs at the corner of Lechow Street and the E-W Connector Rd.

From the East PL of the road:

- i) 1.5 m concrete sidewalk
 - ii) 1.5 m grassed and treed boulevard
 - iii) 0.15 m curb and gutter
 - iv) 7.7 m pavement width
 - v) 0.15 curb and gutter
 - vi) 1 m grassed buffer
- b) Submission of a Construction Parking and Traffic Management Plan to the Transportation Division. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
 - c) Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
 - d) Submission of DCC's (City & GVS&DD), School site acquisition charges, and Utility charges etc.
 - e) Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Division at 604-276-4285.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Signed

Date



**Richmond Official Community Plan Bylaw OCP Bylaw 7100
Amendment Bylaw 9106 (RZ 12-605038)
7120, 7140, 7160, 7180, 7200, 7220, 7240, and 7260 Bridge Street and
7211, 7231, and 7271 No. 4 Road**

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Official Community Plan Bylaw OCP Bylaw 7100 is amended by repealing the existing Character Area Map on page 41 of Schedule 2.10D thereof of the following area and replacing it with "Schedule A attached to and forming part of Bylaw 9106".
2. Richmond Official Community Plan Bylaw OCP Bylaw 7100 is amended by repealing the Land Use Map on page 42 of Schedule 2.10D thereof and replacing it with "Schedule B attached to and forming part of Bylaw 9106"
3. This Bylaw may be cited as "**Richmond Official Community Plan Bylaw OCP Bylaw 7100, Amendment Bylaw 9106**".

FIRST READING

PUBLIC HEARING

SECOND READING

THIRD READING

OTHER CONDITIONS SATISFIED

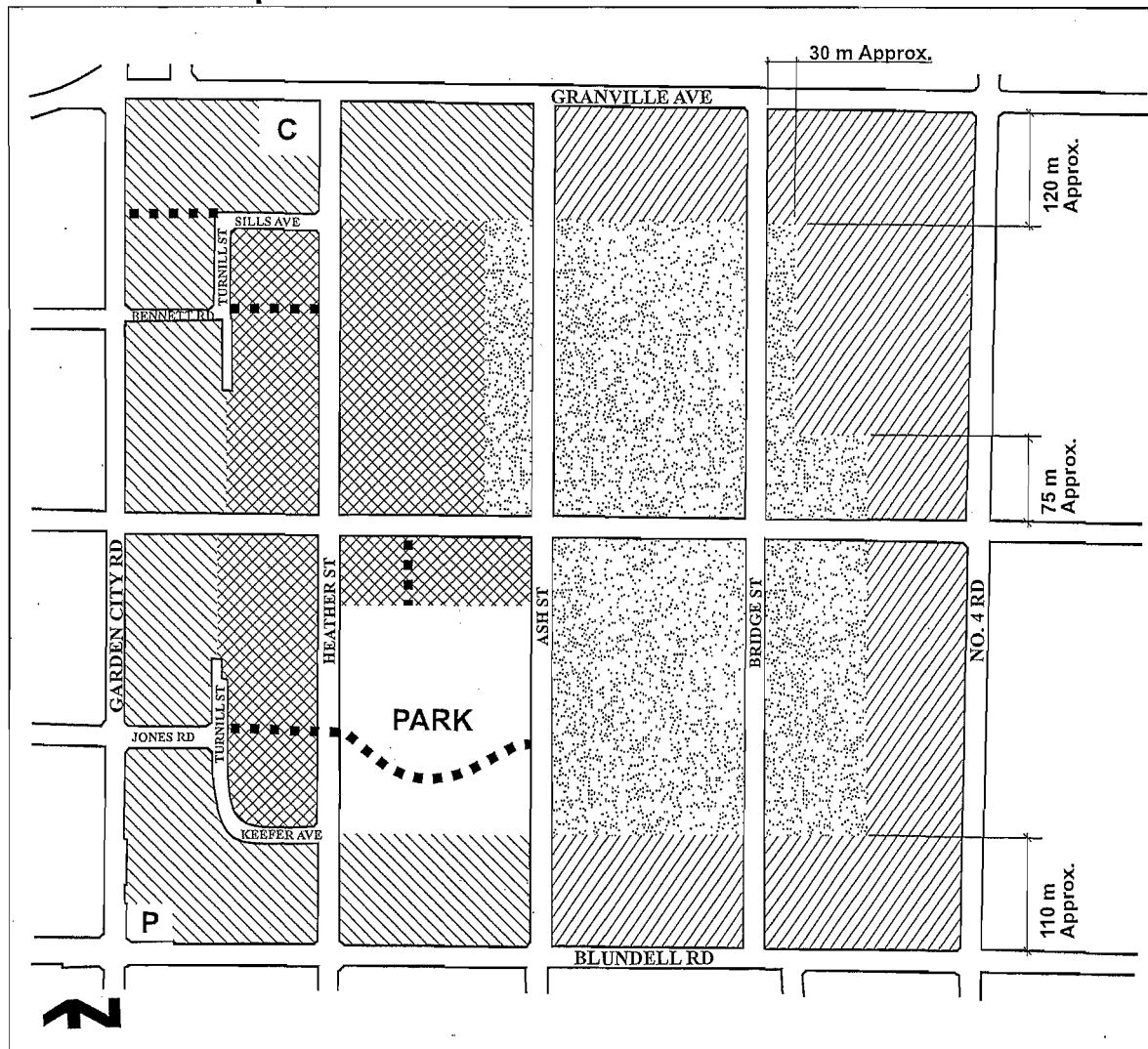
ADOPTED


MAYOR


CORPORATE OFFICER


CITY OF RICHMOND
APPROVED by <i>B/C</i>
APPROVED by Manager or Solicitor <i>TZ</i>


Land Use Map



 Residential Townhouse up to 3 storeys over 1 parking level, Triplex, Duplex, Single-Family 0.75 base F.A.R.

 Residential, 2 1/2 storeys typical (3 storeys maximum) Townhouse, Triplex, Duplex, Single-Family 0.60 base F.A.R.

 Residential, 2 1/2 storeys typical (3 storeys maximum), predominantly Triplex, Duplex, Single-Family 0.55 base F.A.R.

 Residential, Historic Single-Family, 2 1/2 storeys maximum 0.55 base F.A.R., Lot size along Bridge and Ash Streets:

- Large-sized lots (e.g. 18 m/59 ft. min. frontage and 550 m²/5,920 ft² min. area).

Elsewhere:

- Medium-sized lots (e.g. 11.3 m/37 ft. min. frontage and 320 m²/3,444 ft² min. area), with access from new roads and General Currie Road;

Provided that the corner lot shall be considered to front the shorter of its two boundaries regardless of the orientation of the dwelling.

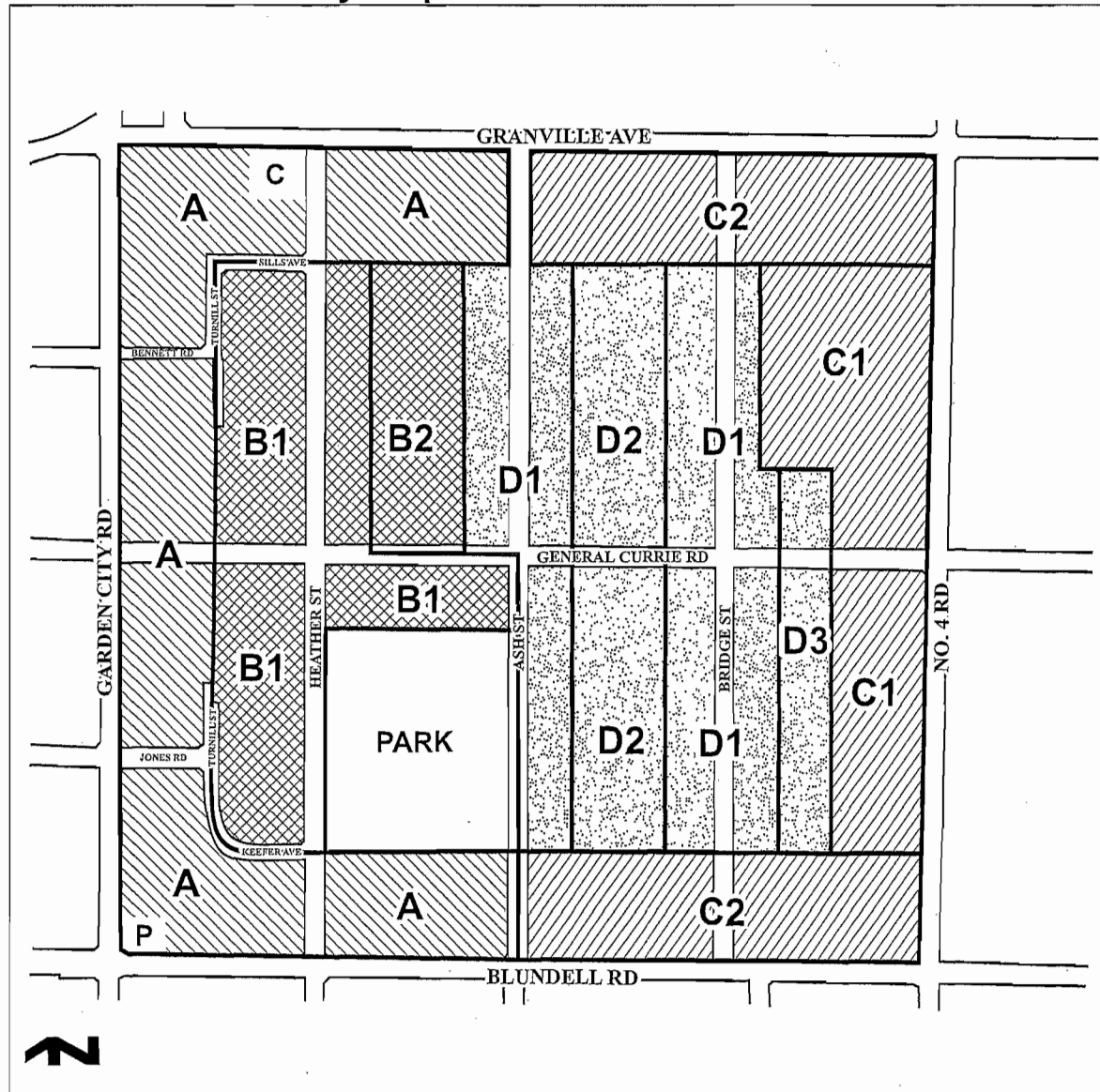
 Trail/Walkway

C Church

P Neighbourhood Pub

Note: Stills Avenue, Le Chow Street Keefer Avenue, and Turnill Street are commonly referred to as "ring road"

Character Area Key Map



	Area A 3 storey Townhouse over parking		Areas C1, C2 Clusters of Predominantly Single-Family, Duplex, Triplex Units	C	Church
	Areas B1, B2 Townhouse - 2 ½ storeys typical (3 storeys maximum)		Areas D1, D2, D3 Single-Family	P	Neighbourhood Pub

Note: Sills Avenue, Le Chow Street, Keefer Avenue, and Turnill Street are commonly referred to as the "ring road".



**Richmond Zoning Bylaw 8500,
Amendment Bylaw 9107 (RZ 12-605038)
7120, 7140, 7160, 7180, 7200, 7220, 7240 and 7260 Bridge Street; and
7211, 7231 and 7271 No. 4 Road**

The Council of the City of Richmond enacts as follows:

1. Richmond Zoning Bylaw 8500, as amended, is further amended by:

a. Inserting the following at the end of the table contained in Section 5.15.1:

Zone	Sum Per Buildable Square Foot of Permitted Principal Building
"ZT70	\$2.00"

2. Richmond Zoning Bylaw 8500, as amended, is further amended by inserting as Section 17.70 thereof the following:

"17.70 Town Housing (ZT70) – South McLennan

17.70.1 PURPOSE

The **zone** provides for **town housing** and other compatible uses.

17.70.2 PERMITTED USES

- **child care**
- **housing, town**

17.70.3 SECONDARY USES

- **boarding and lodging**
- **community care facility, minor**
- **home business**

17.70.4 PERMITTED DENSITY

1. The maximum **floor area ratio** is 0.40, together with an additional 0.1 **floor area ratio** provided that it is entirely used to accommodate **amenity space**.
2. Notwithstanding Section 17.70.4.1, the reference to "0.40" shall be increased to 0.72 if the **owner**, at the time **Council** adopts a zoning amendment bylaw to

include the **owner's lot** in the ZT70 **zone**, pays into the **affordable housing reserve** the sum specified in Section 5.15 of this bylaw.

17.70.5 MAXIMUM LOT COVERAGE

1. Maximum **Lot Coverage**: 40% for all **buildings**.

17.70.6 MINIMUM SETBACKS FROM PROPERTY LINES

1. **Public Road Setback**:
 - a) 6.0 m from No. 4 Road.
 - b) The minimum setback to any other **road** is 4.5 m, which can be reduced to 3.0 m, as specified by a Development Permit approved by the **City**.
2. The minimum **rear yard** is 3.0 m.
3. The minimum **interior side yard** is 3.0 m.

17.70.7 MAXIMUM HEIGHTS

1. The maximum **height** for **buildings** is 12.0 m, but not exceeding 3 **storeys**.
2. The maximum **height** for **accessory buildings** is 6.0 m.
3. The maximum **height** for **accessory structures** is 9.0 m.

17.70.8 SUBDIVISION PROVISIONS/MINIMUM LOT SIZE

1. There are no minimum **lot width**, **lot depth** or **lot area** requirements.

17.70.9 LANDSCAPING AND SCREENING

1. **Landscaping** and **screening** shall be provided according to the provisions of Section 6.0.

17.70.10 OTHER REGULATIONS

1. In addition to the regulations listed above, the General Development Regulations in Section 4.0 and the Specific Use Regulations in Section 5.0 apply.”

3. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, is amended by repealing the existing zoning designation of the area shown as Area "A" on "Schedule A attached to and forming part of Bylaw 9107" and by designating that portion shown as Area "A" on "Schedule A attached to and forming part of Bylaw 9107" as **"Single Detached (ZS14) – South McLennan (City Centre)"**
4. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, is amended by repealing the existing zoning designation of that portion shown as Area "B" on "Schedule A attached to and forming part of Bylaw 9107" and by designating that portion shown as Area "B" on "Schedule A attached to and forming part of Bylaw 9107" as **"Town Housing (ZT70) – South McLennan"**.
5. This Bylaw is cited as **"Richmond Zoning Bylaw 8500, Amendment Bylaw 9017"**.

FIRST READING

A PUBLIC HEARING WAS HELD ON

SECOND READING

THIRD READING

OTHER REQUIREMENTS SATISFIED

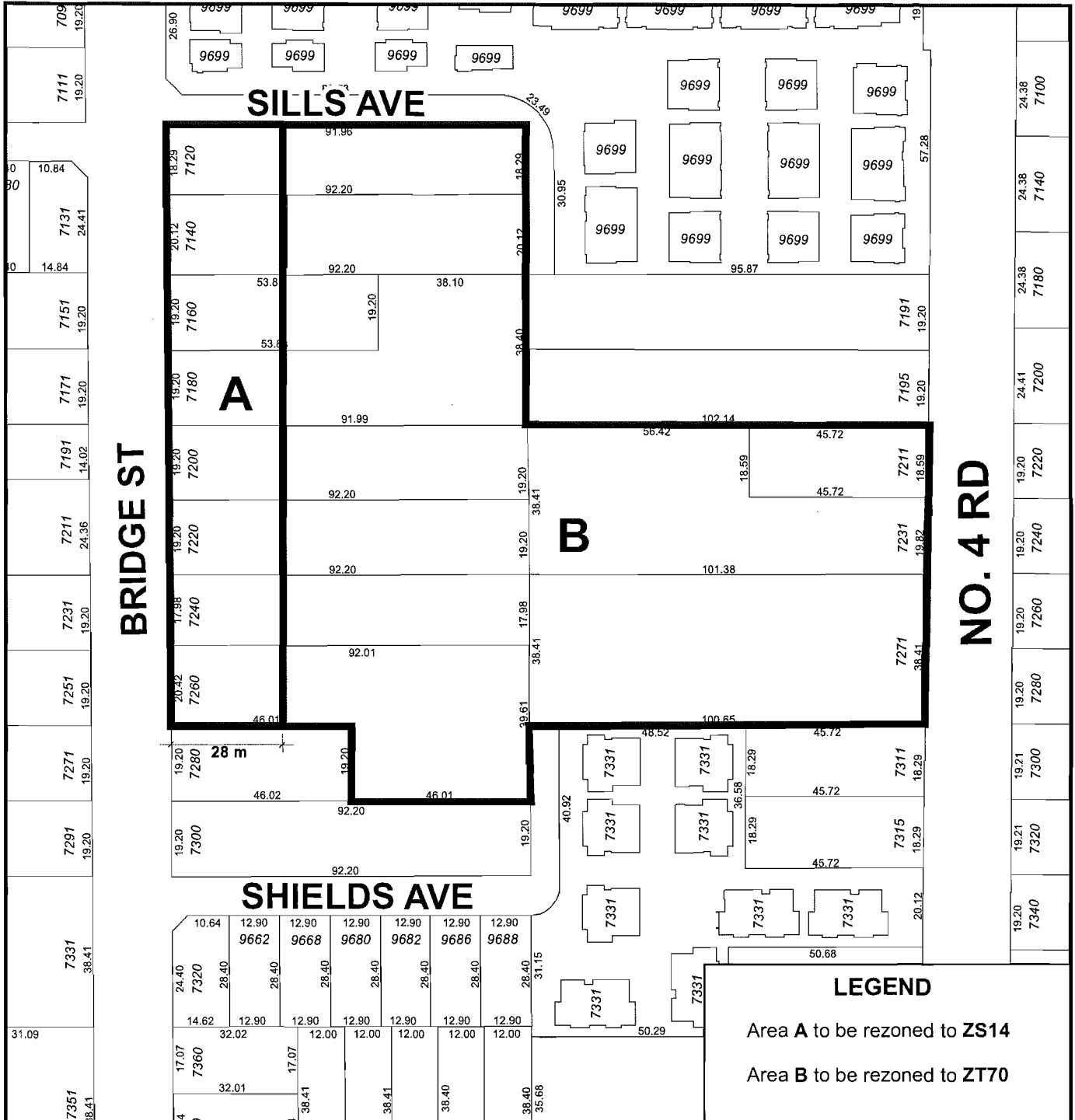
ADOPTED

CITY OF RICHMOND
APPROVED by <i>BLC</i>
APPROVED by Director or Solicitor <i>lcl</i>

MAYOR_____
CORPORATE OFFICE



City of Richmond



RZ 12-605038

Original Date: 02/07/14

Revision Date: 02/19/14

Note: Dimensions are in METRES



**Richmond Zoning Bylaw 8500
Amendment Bylaw 8903 (11-591985)
8311, 8331, 8351, and 8371 Cambie Road and 3651 Sexsmith Road
(Capstan Village)**

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Zoning Bylaw 8500 is amended by inserting Section 19.12 as follows:

“19.12 High Rise Apartment (ZHR12) Capstan Village (City Centre)

19.12.1 Purpose

The **zone** accommodates mid- to high-rise apartments within the **City Centre**, plus compatible **secondary uses**. Additional **density** is provided to achieve **City** objectives in respect to **road, park**, affordable housing, and the Capstan Canada Line station.

19.12.2 Permitted Uses

- **child care**
- **congregate housing**
- **housing, apartment**
- **housing, town**

19.12.3 Secondary Uses

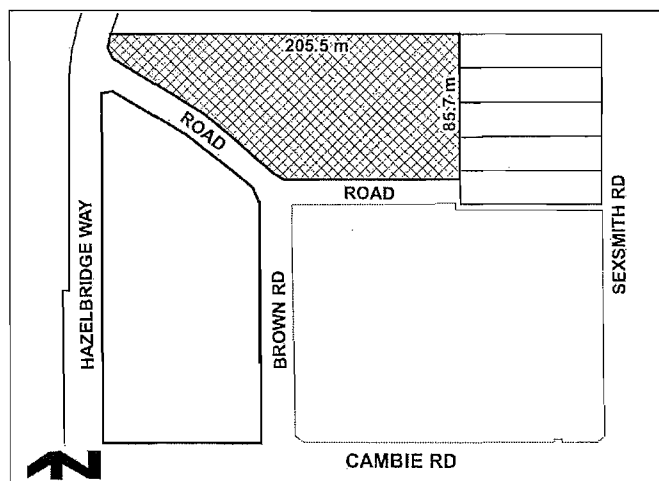
- **boarding and lodging**
- **community care facility, minor**
- **health service, minor**
- **home-based business**
- **home business**
- **library and exhibit**
- **park**
- **studio**

19.12.4 Permitted Density

1. The maximum **floor area ratio** (FAR) shall be 0.55, together with an additional 0.1 **floor area ratio** provided that it is entirely used to accommodate **amenity space**.
2. Notwithstanding Section 19.12.4.1, the reference to “0.55” is increased to a higher **floor area ratio** of “2.375” if:
 - a) the **site** is located in the Capstan Station Bonus Map area designated by the **City Centre** Area Plan;
 - b) the **owner** pays a sum into the **Capstan station reserve** as specified in Section 5.19;
 - c) the **owner** grants to the City, via statutory **right-of-way, air space parcel**, and/or fee simple **lot**, rights of public use over a suitably landscaped area

- of the **site** for **park** and related purposes at a rate of 5.0 m^2 per **dwelling unit**, based on the number of **dwelling units** authorized on the **site** by the Development Permit for the **site**, or $2,159.3 \text{ m}^2$, whichever is greater; and
- d) the **owner** has paid or secured to the satisfaction of the **City** a monetary contribution of \$5,660,550 to the **City's** capital Affordable Housing Reserve Fund established pursuant to Reserve Fund Establishment Bylaw No. 7812.
3. Notwithstanding Section 19.12.4.2, the maximum **floor area ratio** for the net **site** area of the area located within the **City Centre** shown cross-hatched on Figure 1 shall be 3.233, provided that the **owner**:
- complies with the conditions set out in paragraphs 19.12.4.2(a), (b), (c), and (d);
 - dedicates not less than $2,159.3 \text{ m}^2$ of land to the **City** as **road**; and
 - transfers not less than $2,804.8 \text{ m}^2$ of land as fee simple **lot** to the **City** for **park** purposes (including the area referred to in Section 19.12.4.2(c), provided that such area is transferred to the **City** as a fee simple **lot**).

Figure 1



19.12.5 Permitted Lot Coverage

- The maximum **lot coverage** for **buildings** and landscaped roofs over **parking spaces** is 90%, exclusive of portions of the **site** the **owner** dedicated or transferred as a fee simple **lot** to the **City** for **park** or **road** purposes.

19.12.6 Yards & Setbacks

- Minimum **setbacks** shall be:
 - for **road** and **park**: 6.0 m measured to a **lot line** (or the boundary of an area granted to the **City** for **road** or **park** purposes, via a statutory **right-of-way**, **air space parcel**, dedication, or as a fee simple **lot**), but may be

reduced to 3.0 m if a proper interface is provided as specified in a Development Permit approved by the **City**; and

- b) for **interior side yard** or **rear yard**: 3.0 m, but may be reduced to nil if a proper interface is provided as specified in a Development Permit approved by the **City**.
- 2. Notwithstanding Section 19.12.6.1, **structures** located entirely below the finished **grade** may project into the **road**, **park**, **interior side yard**, or **rear yard setbacks**, provided that such encroachments do not result in a finished **grade** inconsistent with that of **abutting lots** and the **structures** are screened by a combination of trees, shrubs, native and ornamental plants, or other landscape material specified in a Development Permit approved by the **City**.

19.12.7 Permitted Heights

- 1. Maximum **building height** shall be 35.0 m, but may be increased to 47.0 m geodetic if a proper interface is provided with adjacent **buildings** and areas secured by the **City**, via a statutory **right-of-way**, **air space parcel**, dedication, or as a fee simple **lot**, for **park** purposes, as specified in a Development Permit approved by the **City**.
- 2. The maximum height for **accessory buildings** is 5.0 m.
- 3. The maximum height for **accessory structures** is 12.0 m.

19.12.8 Subdivision Provisions

- 1. The minimum **lot area** is 4,000.0 m², exclusive of portions of the **site** the **owner** dedicates or transfers to the **City** in fee simple for **park** or **road** purposes.

19.12.9 Landscaping & Screening

- 1. **Landscaping** and **screening** shall be provided according to the provisions of Section 6.0.

19.12.10 On-Site Parking & Loading

- 1. On-site **vehicle** and bicycle parking and loading shall be provided according to the standards set out in Section 7.0.

19.12.11 Other Regulations

- 1. **Telecommunication antenna** must be located a minimum of 20.0 m above the ground (i.e. on the roof of a **building**).

2. In addition to the regulations listed above, the General Development Regulations in Section 4.0 and the Specific Use Regulations in Section 5.0 apply.”
2. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, is amended by repealing the existing zoning designation of the following area and by designating it:
- 2.1. **HIGH RISE APARTMENT (ZHR12) CAPSTAN VILLAGE (CITY CENTRE).**
- That area shown cross-hatched and indicated as “A” on "Schedule A attached to and forming part of Bylaw No. 8903”.
- 2.2. **SCHOOL & INSTITUTIONAL USE (SI).**
- That area shown cross-hatched and indicated as “B” on "Schedule A attached to and forming part of Bylaw No. 8903”.
3. This Bylaw may be cited as “**Richmond Zoning Bylaw 8500, Amendment Bylaw 8903**”.

FIRST READING

DEC 1 8 2012

PUBLIC HEARING

NOV 1 8 2013

SECOND READING

NOV 1 8 2013

THIRD READING

NOV 1 8 2013

MINISTRY OF TRANSPORTATION &
INFRASTRUCTURE APPROVAL

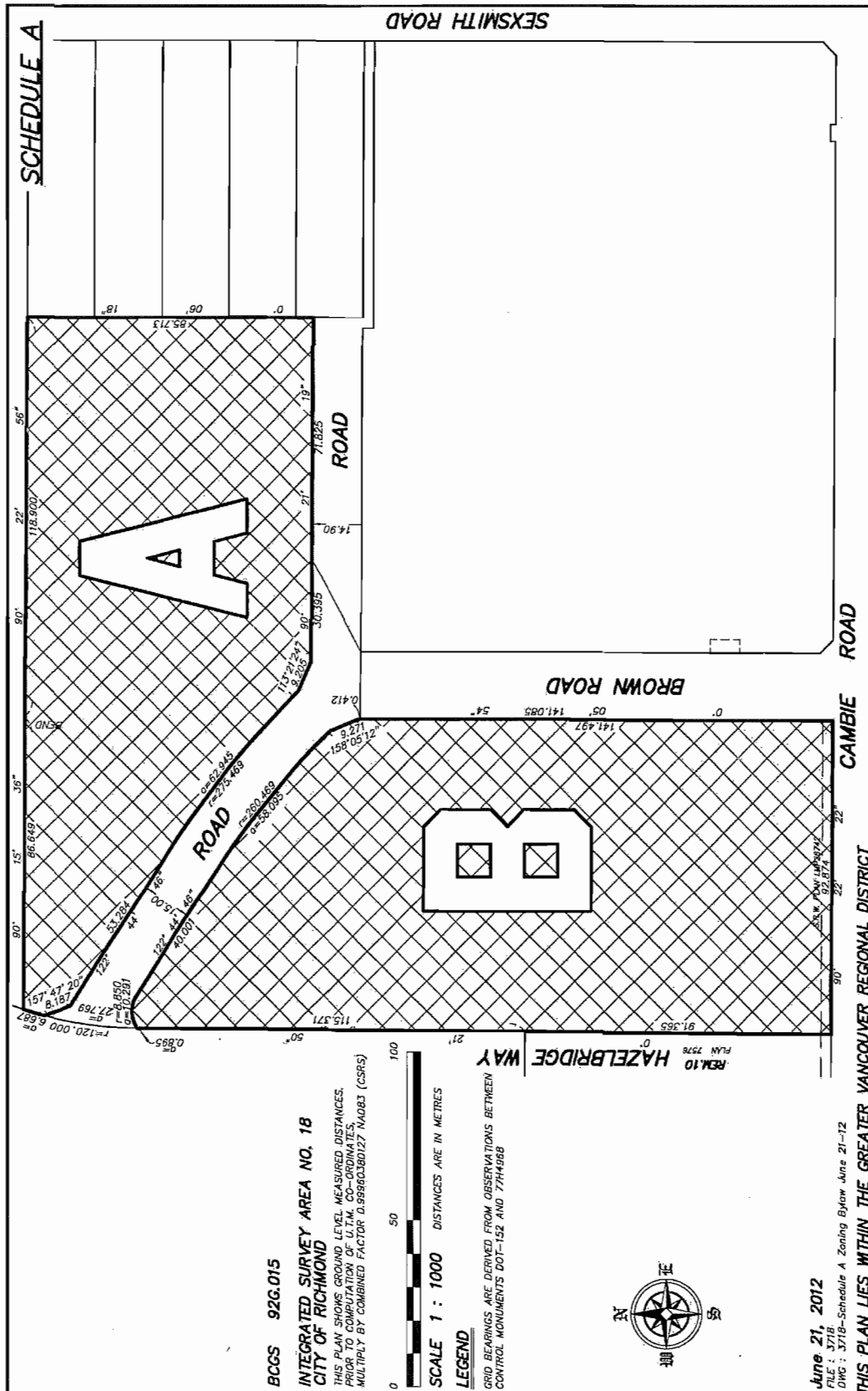
DEC 1 8 2013

OTHER REQUIREMENTS SATISFIED

MAR 0 5 2014

ADOPTED

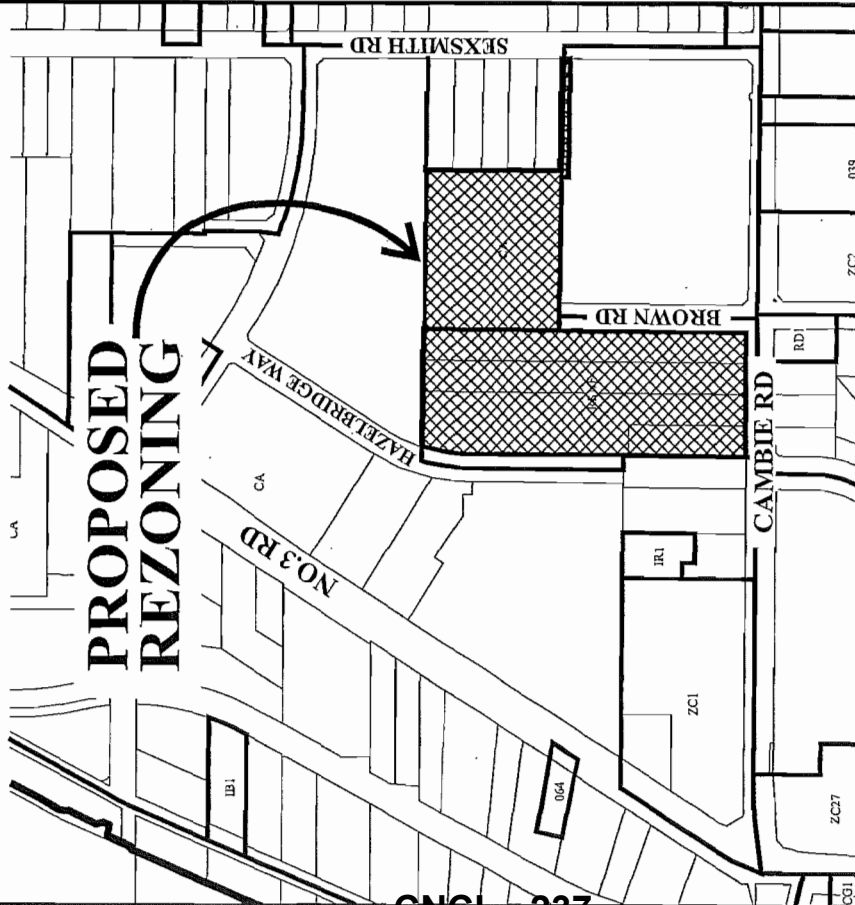
MAYOR_____
CORPORATE OFFICER



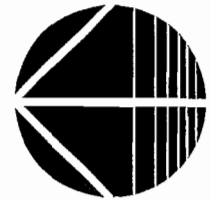
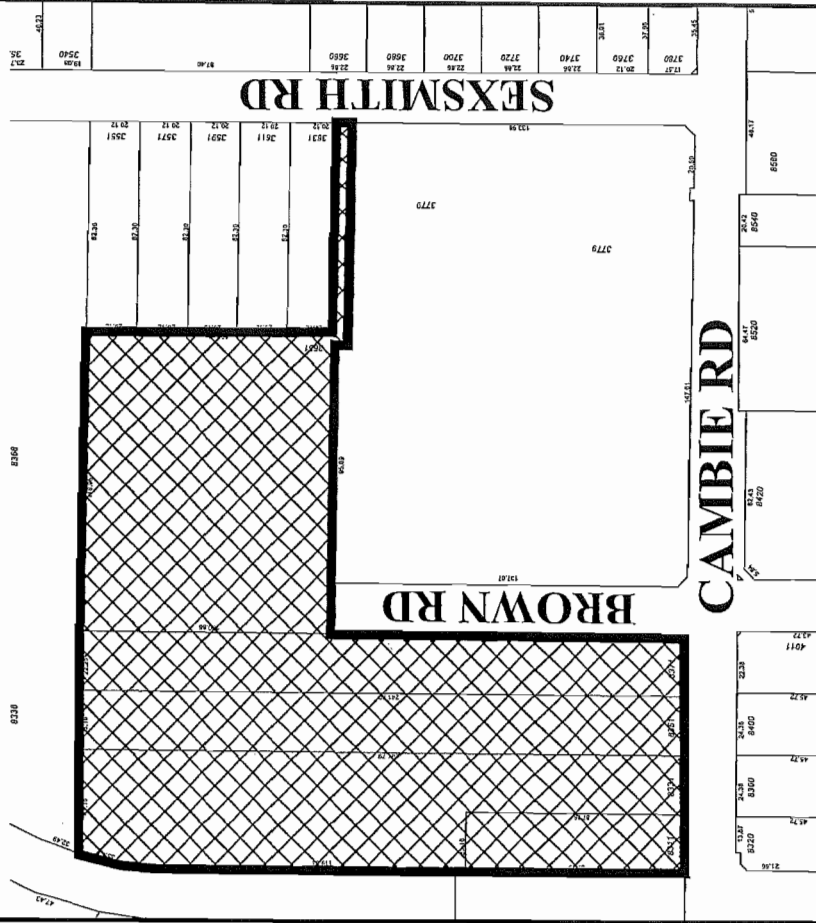


City of Richmond

**PROPOSED
REZONING**



CNCL - 237



RZ 11-591985

Original Date: 11/01/11

Revision Date: 09/17/12

Note: Dimensions are in METRES



**Richmond Zoning Bylaw 8500
Amendment Bylaw 9050 (RZ 13-629950)
11140 King Road**

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, is amended by repealing the existing zoning designation of the following area and by designating it **"SINGLE DETACHED (RS2/B)"**.

P.I.D. 005-338-301

WESTERLY 84 FEET LOT 248 SECTION 25 BLOCK 4 NORTH RANGE 6 WEST
NEW WESTMINSTER DISTRICT PLAN 40464

THE SAID WESTERLY 84 FEET BEING MEASURED PERPENDICULARLY TO THE
WEST BOUNDARY OF SAID LOT

2. This Bylaw may be cited as **"Richmond Zoning Bylaw 8500, Amendment Bylaw 9050"**.

FIRST READING

SEP 09 2013

A PUBLIC HEARING WAS HELD ON

OCT 21 2013

SECOND READING

OCT 21 2013

THIRD READING

OCT 21 2013

OTHER REQUIREMENTS SATISFIED

MAR 05 2014

ADOPTED



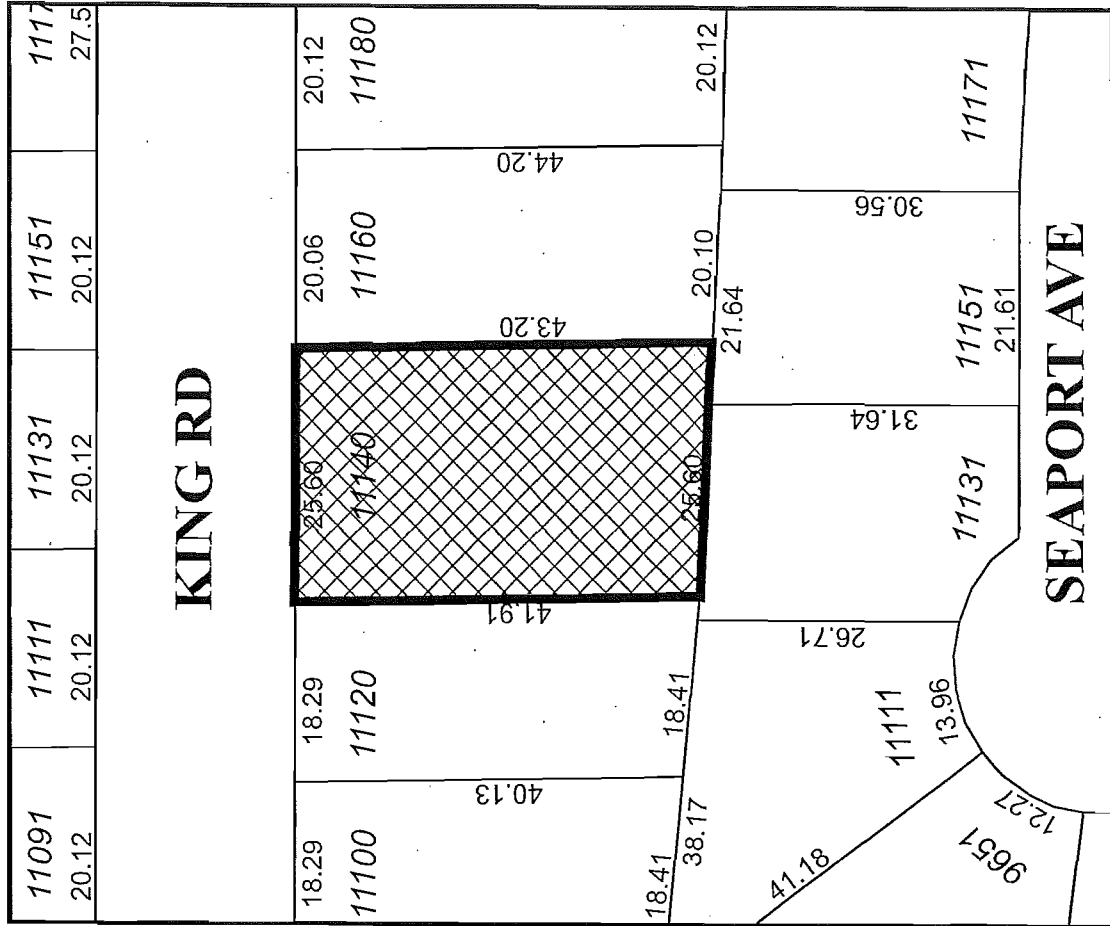
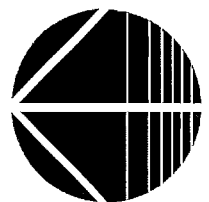
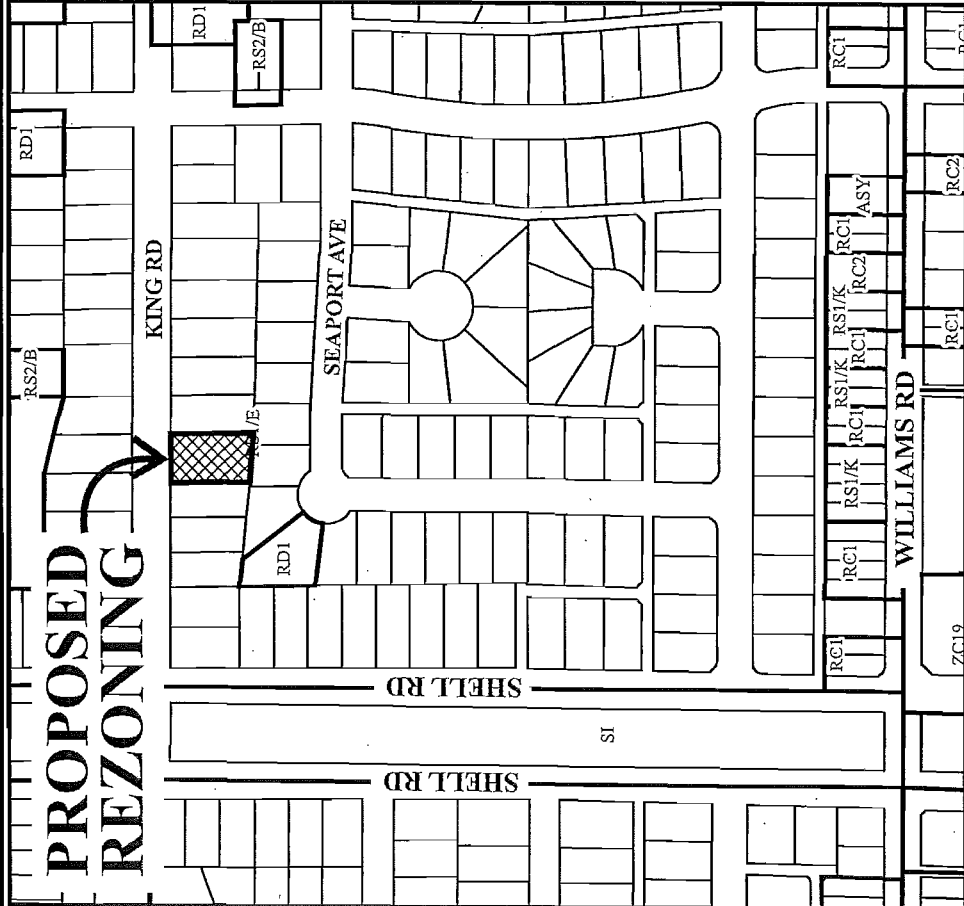
MAYOR

CORPORATE OFFICER



City of Richmond

PROPOSED REZONING



RZ 13-629950

Original Date: 02/14/13

Revision Date:

Note: Dimensions are in METRES



**Richmond Zoning Bylaw 8500
Amendment Bylaw 9091 (ZT 13-645068)
8555 Sea Island Way**

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Zoning Bylaw 8500, as amended, is further amended by deleting Section 10.3.3 (Secondary Uses) and substituting the following:

"10.3.3 A. Secondary Uses
 - **home business**
 - **residential security/operator unit**
10.3.3 B. Additional Uses
 - **retail, liquor 2**"
2. Richmond Zoning Bylaw 8500, as amended, is further amended by deleting Section 10.3.11 (Other Regulations) and substituting the following:

"1. **Religious assembly** is limited to:
 - a) only one **religious assembly** on one property, which must have a minimum **lot area** of 2,400.0 m²; and
 - b) 300 seats and a **gross floor area** of 700.0 m².
2. **Telecommunication antenna** must be located a minimum of 20.0 m above the ground (i.e. on a roof of a **hotel**).
3. A fully or semi-automatic **car wash** must be wholly contained in a **building** and must comply with the Public Health Protection Bylaw.
4. A **retail liquor 2** store is only permitted on the following listed **sites**:
 - a) 8555 Sea Island Way
P.I.D. 026-147-203
Lot 2 Section 28 Block 5 North Range 6 West
New Westminster District Plan BCP 15122
5. In the case of Section 10.3.11.a), the **retail liquor 2** store at 8555 Sea Island Way shall have a gross floor area not exceeding 222 m².

6. In addition to the regulations listed above, the General Development Regulations in Section 4.0 and the Specific Use Regulations in Section 5.0 apply.”
3. This Bylaw may be cited as **“Richmond Zoning Bylaw 8500, Amendment Bylaw 9091”**.

FIRST READING

JAN 27 2014

PUBLIC HEARING

FEB 17 2014

SECOND READING

FEB 17 2014

THIRD READING

FEB 17 2014

MINISTRY OF TRANSPORTATION AND
INFRASTRUCTURE APPROVAL

FEB 25 2014

ADOPTED

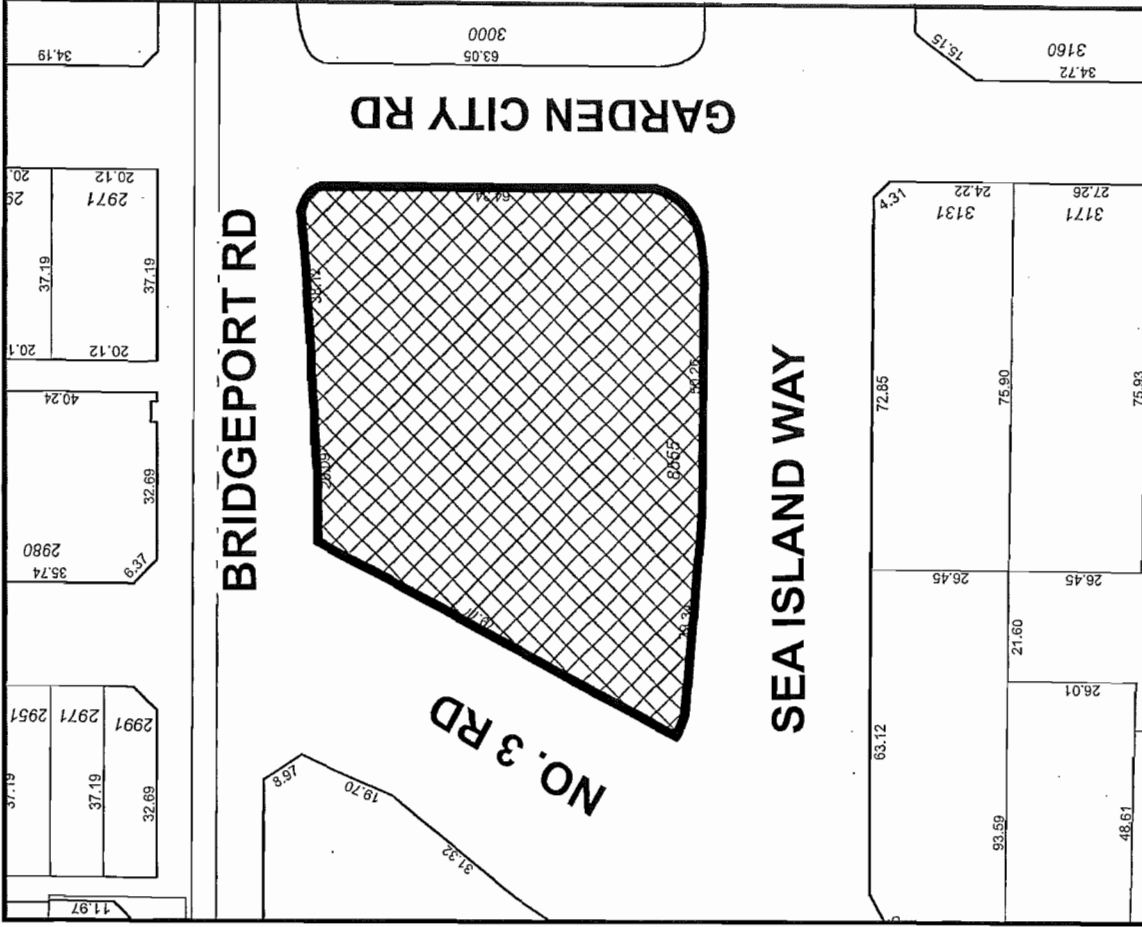
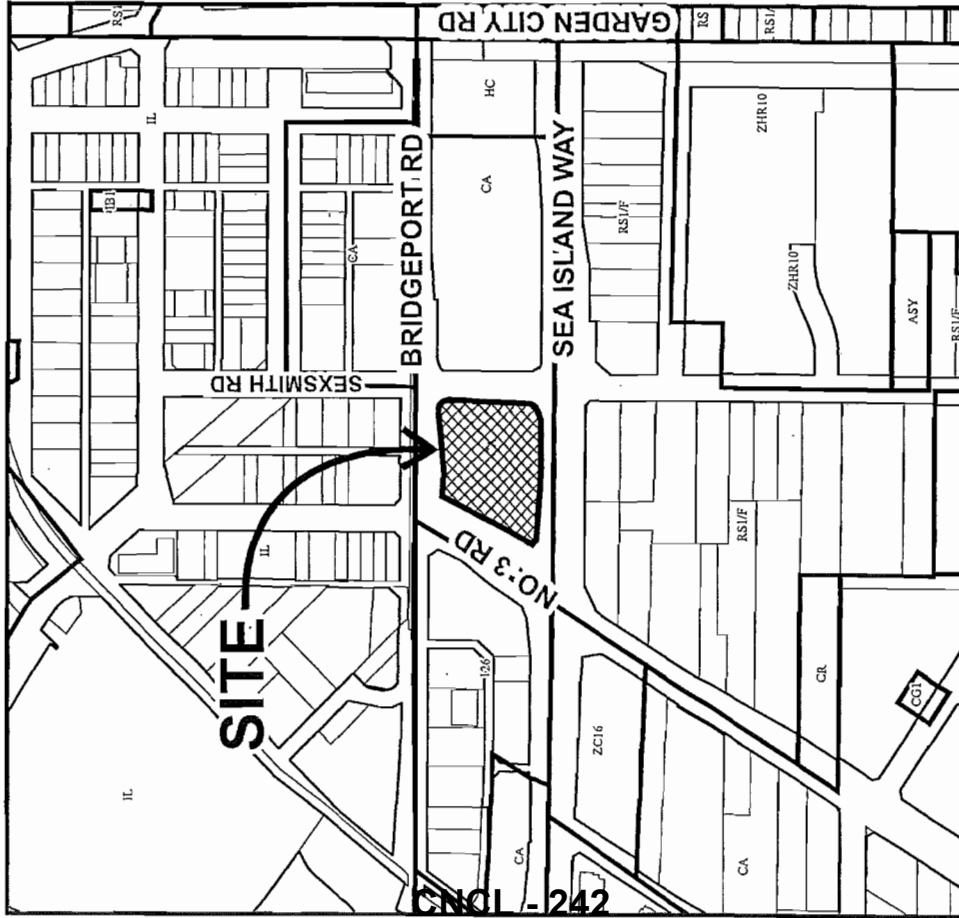
MAYOR

CORPORATE OFFICER





City of
Richmond



ZT 13-645068

Original Date: 09/10/13

Revision Date:

Note: Dimensions are in METRES



**Richmond Zoning Bylaw 8500
Amendment Bylaw 9092 (ZT 13-645068)
3031 No. 3 Road**

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Zoning Bylaw 8500, as amended, is further amended by deleting “**retail, liquor 1**” from Section 22.16.3 (Secondary Uses).
2. This Bylaw may be cited as “**Richmond Zoning Bylaw 8500, Amendment Bylaw 9092**”.

FIRST READING

JAN 27 2014

PUBLIC HEARING

FEB 17 2014

SECOND READING

FEB 17 2014

THIRD READING

FEB 17 2014

MINISTRY OF TRANSPORTATION AND
INFRASTRUCTURE APPROVAL

FEB 25 2014

ADOPTED

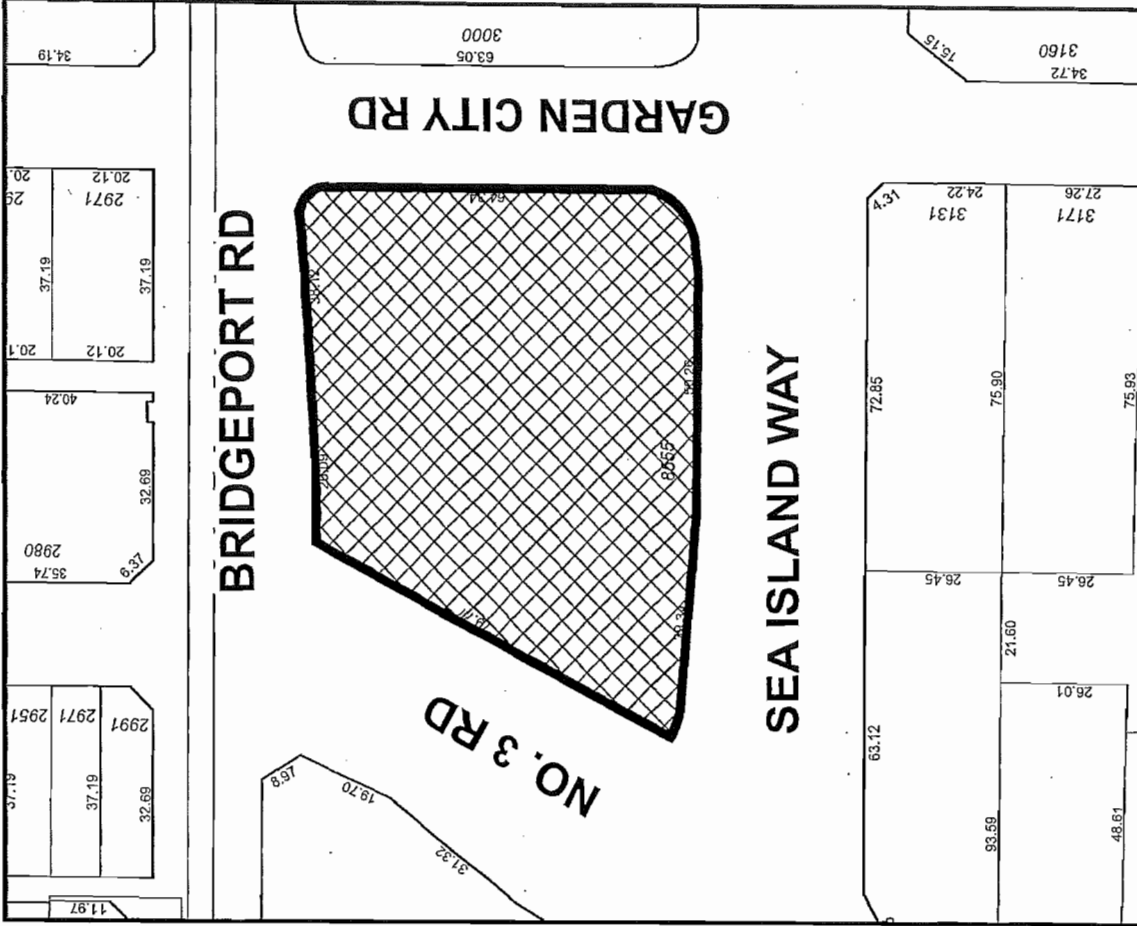
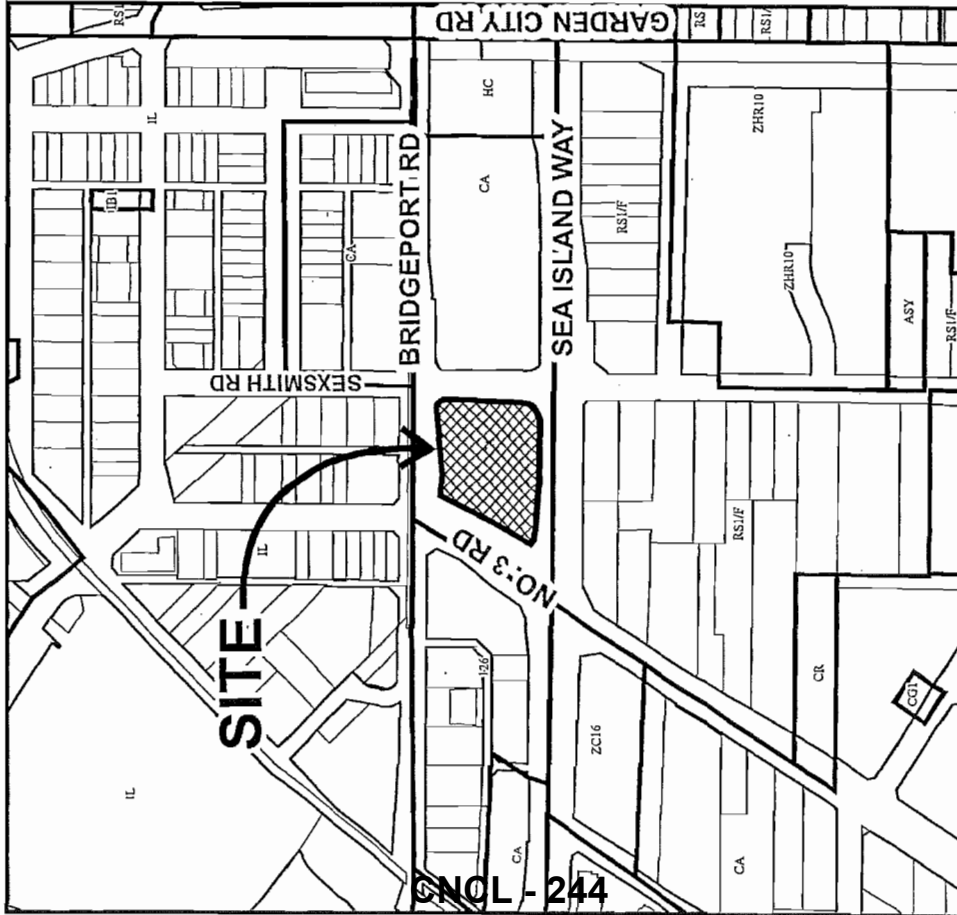


MAYOR

CORPORATE OFFICER



City of
Richmond



Original Date: 09/10/13

Revision Date:

Note: Dimensions are in METRES

ZT 13-645068





**Road Closure and Removal of Road Dedication Bylaw 9093
(Eastern Portion of Twigg Road)**

The Council of the City of Richmond enacts as follows:

1. The lands legally described as Road dedicated by Subdivision Plan 9967 District Lots 3154 and 3158 Group 1 New Westminster District, shown outlined in bold and described as Parcel A on the Reference Plan EPP37398 prepared by David John Harris of Matson Peck & Topliss, Surveyors and Engineers, with a control number of 138-921-0580, attached as Schedule A, shall be stopped up and closed to traffic, cease to be a public road and the road dedication shall be removed.
2. This Bylaw is cited as **"Road Closure and Removal of Road Dedication Bylaw 9093"**.

FIRST READING

FEB 11 2014



SECOND READING

FEB 11 2014

THIRD READING

FEB 11 2014

ADOPTED

CITY OF RICHMOND
APPROVED for content by originating dept. 
APPROVED for legality by Solicitor 

MAYOR

CORPORATE OFFICER

SURVEY PLAN CERTIFICATION
PROVINCE OF BRITISH COLUMBIA

PAGE 1 OF 2 PAGES

By incorporating your electronic signature into this form you are also incorporating your electronic signature into the attached plan and you

(a) represent that you are a subscriber and that you have incorporated your electronic signature to the attached electronic plan in accordance with section 168.73 (3) of the Land Title Act, RSBC 1996 c.250; and

(b) certify the matters set out in section 168.73 (4) of the Land Title Act, Each term used in this representation and certification is to be given the meaning ascribed to it in part 10.1 of the Land Title Act.

David Harris
1ZYTWW

Digitally signed by David Harris
 1ZYTWW
 DN: c=CA, cn=David Harris 1ZYTWW,
 o=BC Land Surveyor, ou=Verify ID at
 www.juricert.com/LKUP.cfm?
 id=1ZYTWW
 Date: 2014.01.08 11:49:40 -08'00'

1. BC LAND SURVEYOR: (Name, address, phone number)

David John Harris

Matson Peck & Topliss

Suite 320 - 11120 Horseshoe Way

Richmond

BC V7A 5H7

Ph: 604 270 9331

File: 17456-001-Ref-000

email: djharris@mpt.bc.ca

☐ Surveyor General Certification [For Surveyor General Use Only]

2. PLAN IDENTIFICATION:

Control Number: **138-921-0580**

Plan Number: **EPP37398**

This original plan number assignment was done under Commission #: **719**

3. CERTIFICATION:

☒ Form 9 ☐ Explanatory Plan ☐ Form 9A

I am a British Columbia land surveyor and certify that I was present at and personally superintended this survey and that the survey and plan are correct.

The field survey was completed on:	2014	January	07	(YYYY/Month/DD)	The checklist was filed under ECR#:
The plan was completed and checked on:	2014	January	08	(YYYY/Month/DD)	156876

☒ None ☐ Strata Form S

☒ None ☐ Strata Form U1 ☐ Strata Form U1/U2

Arterial Highway ☐

4. ALTERATION: ☐



**Waterworks and Water Rates Bylaw No. 5637
Amendment Bylaw No. 9099**

The Council of the City of Richmond enacts as follows:

1. The **Waterworks and Water Rates Bylaw No. 5637**, as amended, is further amended:

- (a) by deleting sections 13(d) and substituting the following:

“(d) Every owner of a **one-family dwelling** or **two-family dwelling** which has a **water meter** installed:

- (i) pursuant to section 14(b) or section 22A of this bylaw; or
 - (ii) as a consequence of a **City** infrastructure renewal program,

will receive a credit to be applied to future water charges equal to the difference between the metered charges for the first 12 months of consumption subsequent to the initial meter reading for billing purposes and the amount that would have been payable on a flat rate basis, provided:

- (iii) the metered charges exceed the flat rate by more than \$10;
 - (iv) the **property owner** submits a request for the credit to the **City** in writing within 15 months of the initial metered billing start date; and
 - (v) there has been no change in ownership of the property.”

- (b) by deleting section 14 and substituting the following:

“14. **Right to Substitute a Meter Service**

- (a) The **General Manager, Engineering & Public Works** shall have the right at any time to substitute a meter service in lieu of an ordinary service to any premises.
 - (b) Commencing January 1, 2014, the **General Manager, Engineering & Public Works** shall establish a schedule for substituting a meter service in lieu of an ordinary service for all existing **one-family dwellings** in the **City** that do not have meter service, and the **City** will supply and install **water meters** at these **one-family dwellings** at no charge to the **property owner**.

- (c) For **water meters** installed pursuant to section 14(a) or (b), meter rates will be payable from the time such meter is installed notwithstanding that the **customer** may have paid in advance a flat rate for the current year which has not expired, but a rebate of part of such advance payment proportionate to the unexpired part of the current year shall be credited and allowed to the **customer's** meter rate account for such meter service."

(c) by deleting subsection 22B(a)(i) and substituting the following:

- "(i) the **dwelling unit** was constructed prior to October 3, 2011;"

(d) by deleting subsection 22B(a)(iii) and substituting the following:

- "(iii) the replacement toilet is approved by the Canadian Standards Association (CSA), the Canadian Uniform Plumbing Code (CUPC), the Warnock Hersey (WH) Mark or WaterSense; and"

(e) by deleting sections 25A and substituting the following:

25A. Leaks

Notwithstanding section 25, in the case of a leak in the **customer's waterworks**, if:

- (a) the **General Manager, Engineering & Public Works** is satisfied that the **customer** did not know or could not reasonably have known about the leak; and
- (b) the **customer** repairs the leak to the satisfaction of the **General Manager, Engineering & Public Works** within 14 days of the **customer's** discovery of the leak,

the **City** will charge the **customer** in accordance with section 25B below for both the billing period in which the leak was discovered and the previous billing period.

25B. Leak Calculation

- (a) When a **customer** qualifies under section 25A above, the **City** will determine the average amount of water recorded by the **water meter** per billing period for the **customer's** property over the last twelve months, or if that information is unavailable, by using the average for all users with the same type of property (as categorized in Schedule B or C, as applicable) over the past 12 months (the "**average amount**").
- (b) If the amount recorded by the **water meter** for the billing period in which the leak was discovered is greater than the **average amount**, or if the amount recorded by the **water meter** for the previous billing period is greater than the **average amount**, the **customer** will pay, for both the billing period in which the leak was discovered and the previous billing

period, the regular rate per cubic metre (in Schedule B or C, as applicable) for all amounts recorded up to the **average amount**.”

- (c) Where the **General Manager, Engineering & Public Works** is satisfied that a **customer** was not notified of a leak until more than 30 days after the **City** became aware of the leak, the **customer** will pay the regular rate per cubic metre (in Schedule B or C, as applicable) for the period from the most recent billing until notification was provided, based on the **average amount** for that period.”

(f) by deleting the following from item 1 of Schedules B and C:

“Undetected leak rate per cubic meter (per section 25B of this bylaw) \$0.6996”

2. This Bylaw is cited as “**Waterworks And Water Rates Bylaw No. 5637, Amendment Bylaw No. 9099**”.

FIRST READING

FEB 24 2014

SECOND READING

FEB 24 2014

THIRD READING

FEB 24 2014

ADOPTED

CITY OF RICHMOND
APPROVED for content by originating dept. JB
APPROVED for legality by Solicitor m

MAYOR

CORPORATE OFFICER



**Drainage, Dyke and Sanitary Sewer Bylaw No. 7551
Amendment Bylaw No. 9101**

The Council of the City of Richmond enacts as follows:

1. The **Drainage, Dyke and Sanitary Sewer System Bylaw No. 7551**, as amended, is further amended:
 - (a) by deleting section 2.1.2 and substituting the following:

“2.1.2 Every **property owner** whose property has been connected to the **City drainage system** must pay the **drainage system** infrastructure replacement fee of \$133.68 per property for the period January 1 to December 31 of each year.”
 - (b) by adding the following after section 2.1.2:

“2.1.3 Every owner of a **one-family dwelling** or **two-family dwelling** which has a water meter installed:

 - (a) pursuant to the universal or voluntary water metering program under section 14(b) or 22A of the *Waterworks and Water Rates Bylaw No. 5637*; or
 - (b) as a consequence of a **City** infrastructure renewal program,

will receive a credit to be applied to future sewer charges equal to the difference between the metered charges for the first 12 months of consumption subsequent to the initial meter reading for billing purposes and the amount that would have been payable on a flat rate basis, provided:

 - (c) the metered charges exceed the flat rate by more than \$10;
 - (d) the **property owner** submits a request for the credit to the **City** in writing within 15 months of the initial metered billing start date; and
 - (e) there has been no change in ownership of the property.”

(c) by deleting section 2.3A and substituting the following:

“2.3A Leaks

2.3A.1 In the case of a leak in a **metered property’s** waterworks, if:

- (a) the **General Manager, Engineering and Public Works** is satisfied that the **property owner** did not know or could not reasonably have known about the leak; and
- (b) the **property owner** repairs the leak to the satisfaction of the **General Manager, Engineering and Public Works** within 14 days of the **property owner’s** discovery of the leak,

the **City** will determine and charge **sanitary sewer** user fees in accordance with section 2.3A.2 for both the billing period in which the leak was discovered and the previous billing period.

2.3A.2 The following applies if a **metered property** qualifies under section 2.3A.1 above:

- (a) The **City** will determine the average amount of water recorded for the **metered property** per billing period for the last twelve months, and if that information is unavailable, by using the average for the same type of property over the past 12 months (the “**average amount**”).
- (b) If the amount of water recorded for the **metered property** for the billing period in which the leak was discovered is greater than the **average amount**, or if the amount recorded for the **metered property** for the previous billing period is greater than the **average amount**, the **property owner** will pay the regular **sanitary sewer** metered rate specified in Part 2 of Schedule B for all amounts recorded up to the **average amount**.”

(d) by deleting the following from item 2 of Schedule B:

“Underground leak rate per cubic metre of water exceeding
average amount (as defined in Section 2.3A.2(a)):

\$ 0.8577”

2. This Bylaw is cited as **“Drainage, Dyke and Sanitary Sewer Bylaw No. 7551, Amendment Bylaw No. 9101”**.

FIRST READING

FEB 24 2014

SECOND READING

FEB 24 2014

THIRD READING

FEB 24 2014

ADOPTED

CITY OF RICHMOND
APPROVED for content by originating dept. US
APPROVED for legality by Solicitor M

MAYOR

CORPORATE OFFICER



**Development Permit Panel
Wednesday, February 26, 2014**

Time: 3:30 p.m.
Place: Council Chambers
Richmond City Hall
Present: Joe Erceg, Chair
Victor Wei, Director, Transportation
Mike Redpath, Senior Manager, Parks

The meeting was called to order at 3:38 p.m.

1. Minutes

It was moved and seconded

That the minutes of the meeting of the Development Permit Panel held on Wednesday, February 12, 2014, be adopted.

CARRIED

2. Development Permit 12-605094

(File Ref. No.: DP 12-605094) (REDMS No. 4088847 v.2)

APPLICANT: Integra Architecture Inc.

PROPERTY LOCATION: 8080 Anderson Road and 8111 Granville Avenue

INTENT OF PERMIT:

1. Permit the construction of a 14-storey mixed use development with 129 affordable housing units and approximately 2,090 m² (22,500 ft²) community service space at 8080 Anderson Road and 8111 Granville Avenue on a site zoned Downtown Commercial (CDT1); and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - (a) reduce the Basic Universal Housing Features manoeuvring space at bathroom doorways as shown in the Development Permit plans;
 - (b) reduce the number of required parking spaces from 163 to 67;

Development Permit Panel

Wednesday, February 26, 2014

- (c) reduce the number of required class 1 bicycle storage spaces from 165 to 150; and
- (d) reduce the number of required medium-size on-site loading spaces from 2 to 1.

Applicant's Comments

Duane Siegrist, Integra Architecture, accompanied by Rebecca Colter, PMG Landscape Architects, introduced the representatives of the six non-profit societies present as well as the project's development consultant team.

With the aid of a PowerPoint presentation (attached to and forming part of these minutes as **Schedule 1**), Mr. Siegrist provided background information regarding the (i) site context, (ii) breakdown in terms of the number and location of affordable housing units in the tower to be managed by each non-profit society, and (iii) location of community service spaces in the tower which include the non-profit societies' office spaces, coffee shop for job training, community centre space and community support space.

In addition, Mr. Siegrist provided the following details:

- the proposed project design could be integrated with the future development to the west through possible extension of the proposed tower's three-storey podium form to the future development to the west;
- the architecture and landscaping of the project's Granville Avenue frontage is aligned with the commercial and public character across the street; and
- the lobby of the residential tower fronts onto Anderson Road which is primarily a residential street.

Also, Mr. Siegrist reviewed and provided details on the floor plans, sections, sustainability features of the proposed project including its LEED Silver equivalency provisions, building elevations, and building materials.

Ms. Colter reviewed the landscaping features along the Anderson Road and Granville Avenue frontages as well as on the outdoor amenity spaces on the fourth level podium roof and roof decks at the fifth, sixth, seventh and eleventh floors and highlighted the following:

- the proposed development is an infill project which will set a precedent in the block;
- there are four primary entrances at the Anderson Road frontage, including separate entries to the loading bay and parkade, the main entrance to the tower and the coffee shop entrance;
- different kinds of paving have been designated at the building entrances off Anderson Road;
- the main landscaping elements along the Granville Avenue frontage include a large landscaped boulevard, sod lawn with street trees and decorative paving;
- the passive outdoor amenity space on the fourth level podium roof can be accessed

Development Permit Panel

Wednesday, February 26, 2014

from the north and south sides as well as from the small private patios to the east;

- the fifth floor roof deck has two separate outdoor areas;
- community planters are provided on the sixth floor roof deck for residents of SUCCESS affordable housing units;
- the seventh floor roof deck features an outdoor dining area; and
- a small outdoor amenity area is located on the eleventh floor roof deck.

Panel Discussion

Discussion ensued regarding the need for the provision of power lines and street tree lighting along the Granville Avenue frontage of the subject development. In response to a query from the Panel, Wayne Craig, Director of Development, advised that there are no existing power lines along the Granville Avenue frontage; however, the Servicing Agreement associated with frontage improvements on the subject property allows the opportunity to review the need for the provision of power for street tree lighting.

In response to a query from the Panel, Mr. Siegrist commented that based on the positive experience of non-profit societies regarding the provision of urban agriculture in affordable housing projects, he is of the opinion that the community planters on the sixth floor roof deck of the subject development will be utilized by the residents of SUCCESS-managed affordable housing units.

In response to queries from the Panel regarding the basis for the proposed large reduction of required parking spaces, Mr. Siegrist stated that (i) the target residents lack the potential for car ownership as they are basically in need of affordable housing, (ii) based on his experience working with senior care complexes and non-profit societies, the ratio of required parking spaces relative to the number of senior residents is approximately one-third to one-quarter, (iii) the requested parking variance is supported by a traffic impact and parking study conducted by the applicant's traffic consultant, (iv) the parking study considered the experience of a similar facility in Richmond, and (v) majority of target residents use public transit.

In response to a further query from the Panel, Mr. Siegrist reviewed the details of the weather protection canopies along Anderson Road and Granville Avenue, noting that the large canopy at the lobby on Anderson Road extends approximately nine feet from the building façade.

In response to a further query from the Panel, Mr. Siegrist commented that the provision of separate loading and parking entries along Anderson Road were based on safety considerations for parkade users and the different height requirement for the loading space. Also, he stated that architectural and landscaping treatments are being proposed to mitigate the dominance of the loading and parking entries on the building façade along Anderson Road.

Development Permit Panel

Wednesday, February 26, 2014

In response to a query from the Panel, Ms. Colter reviewed the details of the landscaping treatment and site furnishings along the Granville Avenue frontage.

Discussion ensued between the applicant and the Panel on building signage and it was suggested that (i) the applicant review the design and location of the signage and (ii) the applicant develop cohesive signage guidelines for the proposed development, including materials, type, font size and location prior to the Development Permit advancing to Council.

Staff Comments

Mr. Craig commented that in addition to the requested parking and loading spaces variances, the applicant is also requesting to reduce the Basic Universal Housing Features manoeuvring space at bathroom doorways as shown in the Development Permit plans. He noted that the applicant has demonstrated that the residential units are wheelchair accessible and that the subject development permit application was submitted prior to the inclusion of additional manoeuvring space requirements in the Zoning Bylaw.

Mr. Craig also advised that (i) 5% of total parking spaces will have electric vehicle (EV) charging stations, (ii) an additional 20 % of total parking spaces will be pre-ducted for future installation of EV charging stations, (iii) the proposed development meets the OCP standards for aircraft noise mitigation, and (iv) the City will incorporate public art in the proposed development.

In response to a query from the Panel, Mr. Craig stated that as per confirmation by the project architect, the residential units are wheelchair accessible.

Correspondence

None.

Gallery Comments

None.

Panel Discussion

The Panel expressed support for the application and noted (i) the significant details provided in the presentation of the project, (ii) the rationale for the requested parking variance, and (iii) the benefits that the project would bring to the City.

Also, the Panel directed staff to work with the applicant to formulate a package of signage guidelines for the proposed development in terms of the sizes, fonts, materials type and locations of the signage in order for the applicant to develop a logical and cohesive signage design.

Development Permit Panel

Wednesday, February 26, 2014

Panel Decision

It was moved and seconded

That a Development Permit be issued which would:

1. *permit the construction of a 14-storey mixed use development with 129 affordable housing units and approximately 2,090 m² (22,500 ft²) community service space at 8080 Anderson Road and 8111 Granville Avenue on a site zoned Downtown Commercial (CDT1); and*
2. *vary the provisions of Richmond Zoning Bylaw 8500 to:*
 - (a) *reduce the Basic Universal Housing Features manoeuvring space at bathroom doorways as shown in the Development Permit plans;*
 - (b) *reduce the number of required parking spaces from 163 to 67;*
 - (c) *reduce the number of required class 1 bicycle storage spaces from 165 to 150; and*
 - (d) *reduce the number of required medium-size on-site loading spaces from 2 to 1; and*

staff to work with the applicant to formulate a package of signage guidelines for the subject development in order for the applicant to develop a cohesive signage design.

CARRIED

3. **Development Permit 12-612510** (File Ref. No.: DP 12-612510) (REDMS No. 4147318)

APPLICANT: Polygon Development 192 Ltd.

PROPERTY LOCATION: 8311, 8331, 8351, and 8371 Cambie Road and 3651 Sexsmith Road

INTENT OF PERMIT: Permit the construction of a three-phase, residential development containing 528 dwellings units at 8311, 8331, 8351, and 8371 Cambie Road and 3651 Sexsmith Road on a site zoned "High Rise Apartment (ZHR12) Capstan Village (City Centre)".

Applicant's Comments

Chris Ho, Polygon Homes, accompanied by Gwyn Vose, IBI/HB Architects, and Jennifer Stamp, Durante Kreuk Architects, introduced the project and gave a brief overview of the site context.

Mr. Vose reviewed the siting and architectural form and character of the three towers, the two mid-rise buildings, the amenity building, the residential townhouses, and the landscaped roof decks and highlighted the following:

Development Permit Panel

Wednesday, February 26, 2014

- the western tower has a unique “flat-iron” expression;
- the central tower has a square and compact form;
- the eastern tower terraces down towards the north;
- residential townhouses wrap around the eastern, southern and western edges of the property;
- the large landscaped podium rooftop at the north side rises eastward towards the amenity structure; and
- the four storey amenity building at the northwest corner provides direct access to the large outdoor deck and rooftop.

In reply to a query from the Panel, Mr. Ho confirmed that the mid-rise forms accommodate the density bonus granted to the project and provide a strong urban edge to the proposed large City park.

Ms. Stamp reviewed the landscaping scheme for the project which include, among others, the (i) landscaped open spaces adjacent to the building entries, (ii) raised patios fronting the townhouses, (iii) mid-block public pathway fronting the townhouses along the east side of the development, and (iv) planting of various species of trees at the north side of the development’s parking podium which fronts onto a strip mall.

Also, Ms. Stamp reviewed the proposed amenities on the rooftop outdoor space on the parking podium and noted that the pedestrian pathways are barrier-free.

In response to a query from the Panel, Mr. Ho reviewed the possible pedestrian routes from the main entries to the development to the existing Aberdeen Canada Line station and to the future Capstan Canada Line station.

In response to a further query from the Panel, Ms. Stamp advised that the applicant is currently in discussion with Engineering regarding the surface treatment on the proposed crosswalk at the northeast side of the future diagonal road. Mr. Ho added that the public art to be located at the proposed park will be integrated with the entry plaza across.

Staff Comments

Mr. Craig stated that the applicant will contribute funding towards the construction of the future Capstan Canada Line station secured through rezoning. In addition, he provided the following information:

- Transportation Demand Management measures include (i) special crosswalk across Cambie Road, (ii) improvements of the Hazelbridge Way frontage along the proposed park, (iii) provision of Electric Vehicle (EV) charging stations in 20% of parking stalls, and (iv) pre-ducting of additional 25% of parking stalls for future installation of EV charging stations;
- 80 residential units or approximately 15% of total units are Basic Universal Housing (BUH) units; and

Development Permit Panel

Wednesday, February 26, 2014

- the development proposal is (i) District Energy Utility (DEU) ready, (ii) designed to meet LEED Silver equivalency, and (iii) meets the OCP standards for aircraft noise mitigation.

Correspondence

None.

Gallery Comments

Sandra Melin, 8420 Cambie Road, expressed concern regarding the current traffic congestion along Cambie Road and the hazards of making left turns onto Brown Road. She queried whether installation of traffic lights is being considered at the intersection.

In response to the query, Suzanne Carter-Huffman, Senior Planner-Urban Design, advised that as per the comprehensive traffic impact analysis done at the rezoning stage, the developer had committed to provide traffic signal upgrades in a number of intersections in the area via a Servicing Agreement. In addition, Ms. Carter-Huffman commented that the proposed special pedestrian crossing across Cambie Road will be illuminated.

Ms. Melin further commented on the necessity of installing traffic lights at the Cambie Road and Brown Road intersection where vehicles are making left turns onto Brown Road to access the entrance to Richmond Funeral Home.

In response to the comment, Ms. Huffman stated that the exact locations for the traffic signal upgrades have not yet been determined; however, the City will look into Ms. Melin's concern. Also, Ms. Huffman advised that Ms. Melin contact City staff to further discuss the matter.

Panel Discussion

The Panel expressed support for the project, noting that it is a unique and well thought out project.

Panel Decision

It was moved and seconded

That a Development Permit be issued which would permit the construction of a three-phase, residential development containing 528 dwellings units at 8311, 8331, 8351, and 8371 Cambie Road and 3651 Sexsmith Road on a site zoned "High Rise Apartment (ZHR12) Capstan Village (City Centre)".

CARRIED

Development Permit Panel
Wednesday, February 26, 2014

4. Development Permit DP 13-627880

(File Ref. No.: DP 13-627880) (REDMS No. 3945273 v.3)

APPLICANT: Matthew Cheng Architect Inc.

PROPERTY LOCATION: 7451 and 7471 No. 4 Road, a No Access Property on General Currie Road, and a Lane to be Closed

INTENT OF PERMIT:

1. Permit the construction of a 20 unit townhouse complex at 7451 and 7471 No. 4 Road, a No Access Property on General Currie Road, and a Lane to be Closed on a site zoned "Medium Density Townhouses (RTM3)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to increase the percentage of parking stalls provided in a tandem arrangement from 50 percent to 70 percent.

Applicant's Comments

Matthew Cheng, Matthew Cheng Architect Inc., reviewed the site context, building setbacks, proposed road improvements and the architectural form and character of the buildings. In addition, Mr. Cheng provided the following information:

- the permissible Floor Area Ratio (FAR) for the project is 0.70, and the applicant is proposing 0.693 FAR;
- the proposed building heights and massing along No. 4 Road and General Currie Road conform to the area plan guidelines;
- the townhouse units are clustered in two and three unit building clusters to respect the neighbouring properties;
- the visitor accessible parking is located adjacent to the proposed convertible unit in Building B;
- the outdoor amenity space faces the proposed driveway which is accessed from the proposed extension of General Currie Road; and
- improvements are proposed to the outdoor amenity space, the base of the buildings, and lay-out of washrooms as per recommendation of the Advisory Design Panel.

Rebecca Colter, PMG Landscape Architects, gave an overview of the landscaping scheme and provided the following information:

- the outdoor amenity space provides a focal point in the proposed development;
- permeable pavers will be installed at the site entrance, outdoor amenity space, visitor parking stalls, pedestrian walkway and other sections of the internal drive aisle;
- each townhouse unit will have its own private outdoor space; and
- the proposed planting along the street frontages provides a modern landscaping

Development Permit Panel

Wednesday, February 26, 2014

character.

Panel Discussion

In response to queries from the Panel, Ms. Colter stated that children can access the children's play area through the driveway edge marked with permeable pavers to indicate that it is an interior pedestrian walkway. Also, Ms. Colter noted the limited space available for play equipment; however, the proposed play equipment has play value.

The Panel expressed concern regarding the "mini-storage" appearance of the row of four single garage doors on the south elevation of Building A, to which the applicant responded by suggesting that (i) further design development can be made on the garage doors, and (ii) lighting fixtures be installed on the exterior wall of the garages. Also, the applicant mentioned the upright planting and ground covers in between the individual garage doors which are not shown in the elevation.

In response to queries from the Panel, Mr. Cheng advised that (i) the 2 ½ storey building to the south of the proposed development will not shadow the outdoor amenity area, and (ii) the proposed redesign of the garage doors will result in the provision of an indoor handicapped parking stall.

Staff Comments

Mr. Craig advised that the project's landscaping plan includes an agricultural buffer on the east side which was reviewed and supported by the Agricultural Advisory Committee. In addition, Mr. Craig stated that (i) two street trees will be retained along the No. 4 Road frontage as part of the Servicing Agreement, and (ii) a large hedge planting along the south property line is proposed to provide separation from the adjacent townhouse development to the south of the subject site.

Also, Mr. Craig noted that the requested tandem parking variance will provide an additional 12 resident parking spaces beyond the Bylaw requirement.

Correspondence

None.

Gallery Comments

John Doughty, 6404 Meadow Place, Delta queried whether General Currie Road will be developed right through No. 4 Road. In response to the query, Mr. Craig advised that a two-way half road will be constructed along a portion of General Currie Road between LeChow Street and No. 4 Road fronting the subject development. Also, Mr. Craig noted that currently, there are development proposals which will open up a portion of General Currie Road between Ash and Bridge Streets.

Development Permit Panel

Wednesday, February 26, 2014

In response to a further query, Mr. Craig advised that over time, General Currie Road will connect from Ash Street to No. 4 Road.

In response to a further query, staff advised that traffic improvement measures are being proposed as per development proposals on Bridge Street and No. 4 Road and over time, a traffic light may be installed at the General Currie Road and No. 4 Road intersection if warranted by the traffic volume in the area.

A Richmond resident, with the aid of an interpreter, queried regarding the proposal for a lane closure on the subject site. In response to the query, Mr. Cheng pointed out the proposed road improvements.

A resident of 7511 No. 4 Road queried on the extent of the separation between the subject development and the adjacent townhouse development to the south.

In reply to the query, Mr. Craig advised that (i) the buildings on the south side of the proposed development have a minimum of three meters setback from the south property line, (ii) a six foot high wood fence is proposed along the south property line, and (iii) a ten-foot hedge planting is proposed between the property line and the building face. In addition, Mr. Craig noted that the adjacent townhouse buildings to the south of the subject development have setbacks ranging from three to five meters from their own property line.

Panel Discussion

The Panel noted the positive design features of the proposed development such as the treatment of the end units; however, the Panel reiterated the necessity for the applicant to make a thorough redesign of the row of garage doors in all of the buildings..

In response to the comments of the Panel, Mr. Cheng expressed willingness to work with staff in the redesign of the garage doors prior to the Development Permit being forwarded to Council.

Panel Decision

It was moved and seconded

That a Development Permit which would:

- 1. permit the construction of a 20 unit townhouse complex at 7451 and 7471 No. 4 Road, a No Access Property on General Currie Road, and a Lane to be Closed on a site zoned "Medium Density Townhouses (RTM3)"; and*
 - 2. vary the provisions of Richmond Zoning Bylaw 8500 to increase the percentage of parking stalls provided in a tandem arrangement from 50 percent to 70 percent;*
- be issued on the condition that the applicant meet with City staff to (i) review and make a thorough redesign of the row of garage doors in all buildings, and (ii) re-examine the play value of the proposed play equipment in order to incorporate suitable play equipment on the children's play area.*

Development Permit Panel
Wednesday, February 26, 2014

CARRIED

5. New Business

It was moved and seconded

That the Development Permit Panel meeting tentatively scheduled for Wednesday, March 12, 2014, be cancelled.

CARRIED

6. Date Of Next Meeting: Wednesday, March 26, 2014 (tentative)

7. Adjournment

It was moved and seconded

That the meeting be adjourned at 5:33 p.m.

CARRIED

Certified a true and correct copy of the Minutes of the meeting of the Development Permit Panel of the Council of the City of Richmond held on Wednesday, February 26, 2014.

Joe Erceg
Chair

Rustico Agawin
Auxiliary Committee Clerk

Schedule 1 to the Minutes of
the Development Permit
Panel Meeting of Wednesday,
February 26, 2014.



CNCL - 265

able Housing Project
ANVILLE AVE., / 8080 ANDERSON RD., RICHMOND, BC
Architecture Inc.



CNCL 266

ARCHITECTS

ar

OPS INC

ENT CONSULTANTS

Architecture Inc.



CNCL - 267



VIEW EAST AT SUBJECT SITE - ALONG ANDERSON ROAD / LANE ACCESS

CNCL - 268



VIEW EAST - ALONG ANDERSON RD / EXISTING SIDEWALK



VIEW EAST - GRANVILLE AVENUE / EXISTING SIDEWALK / BIKE LANE



NO LANE



E AVE.

ADJACENT SITE GAS STATION - VIEW NORTH FROM GRANVILLE AVE.

CNCL - 269



GRANVILLE AVENUE / NO 3 ROAD INTRSECTION - VIEW NORTH / EAST

ADDRESS: 8111 Glenville Avenue / 8080 Anderson Road, Richmond, BC

CT DESCRIPTION: High Density Mixed Use - Community Services / Affordable Housing Development 14-Storey

ING AREA: 2-10 City Centre Planning Area: City Centre - 10

Zoning: CDT1

REA: 27,168 sq.ft. 2,524.00 m2
Gross Area 0 sq.ft. 0.00 m2
Subtotal (Glenville Avenue) 27,168 sq.ft. 2,524.00 m2
Net Area for FSR

SPACE RATIO: MAX FSR 3.48 PROPOSED FSR 3.47
94,545.81 sq.ft. 94,286.60 sq.ft.

MUSES 7,572.00 m2
3.00 81,505.01 sq.ft.
0.15 4,075.25 sq.ft.
0.03 815.06 sq.ft.
0.10 2,716.83 sq.ft.
0.20 5,433.67 sq.ft.

AVERAGE 0.00 m2
0 sq.ft.
0.0% 0.00 m2
0.0% 0.00 m2

FLOOR AREA

LEVEL	UNITS NO	TURNING POINT	SUCCESS	COAST	ATTRA	TRVA	DECK / BALCONY	TOTAL UNIT AREA	GFA RESIDENT	GFA COMMUNITY	AREA EXCLUDED FROM FSR ELEVATOR / STAIR	BUHF	TOTAL FOR FSR
Level 16							0	0	0		0		0
Level 14						5	661	4,200	5,438		-481	-100	4,857
Level 13						5	727	4,290	5,438		-481	-100	4,857
Level 12					8			4,484	5,758		-481	-160	5,119
Level 11		10				232		4,418	5,758		-481	-200	5,078
Level 10				11				4,695	5,984		-481	-220	5,293
Level 9				11				4,605	5,994		-481	-220	5,293
Level 8				11				4,695	5,984		-481	-220	5,293
Level 7				5			4,203	2,168	5,968		-481	-100	5,387
Level 6			14				4,938	5,771	7,402		-481	-200	6,470
Level 5			24				874	10,252	12,801		-894	-480	11,428
Level 4			15				5,761	6,551	8,256	5,749	-1,150	-300	12,555
Level 3					10		0	4,521	6,457	3,747	-1,150	-200	8,953
Level 2									1,841	4,876	-1,150	0	5,567
Level 1									2,471	5,965	0	0	8,436
Total	128	10	53	36	18	10	11,395	60,827	85,370.67	20,338	-8,042	-2,580	94,287

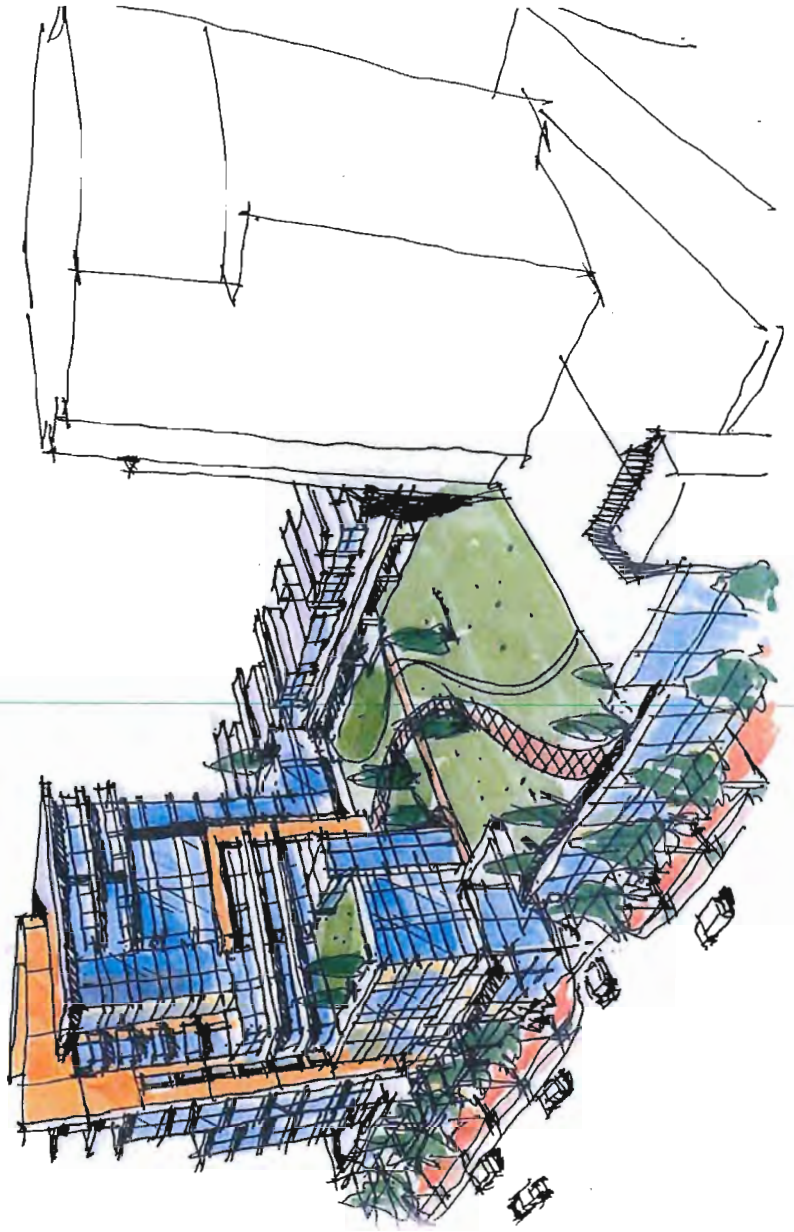
CT LOT - COMMUNITY GFA: 20,338 sq.ft.
MINIMUM 20% OF TOTAL GFA

CT LOT - RESIDENTIAL GFA 85,371 sq.ft. (R) * Total GFA residential floor area before area exclusions (not for FSR calculation)

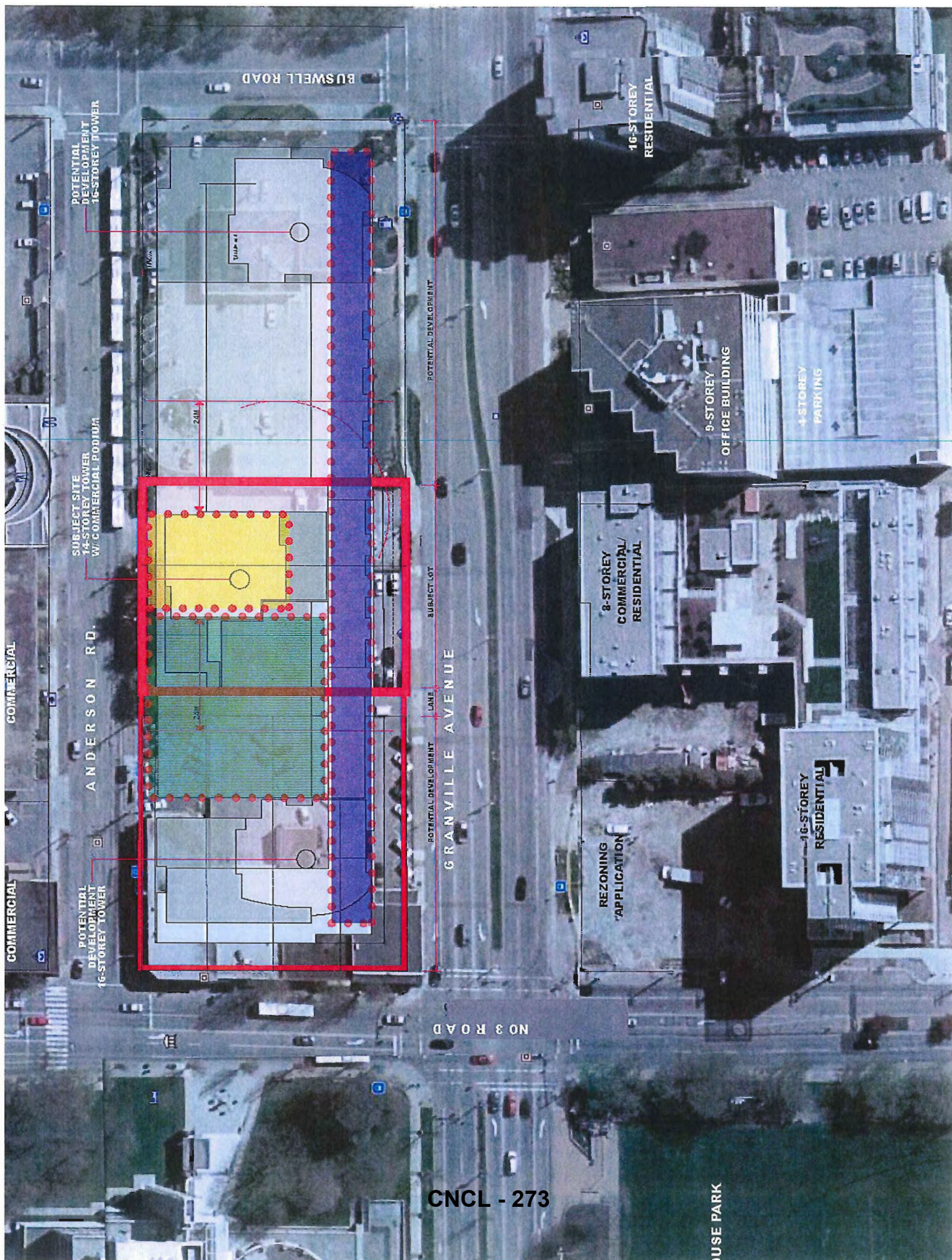
	LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4	LEVEL 5	LEVEL 6	LEVEL 7	LEVEL 8-12	LEVEL 14	(A)		(B)		(A - B)
										TOTAL GROSS	STAIR EXCL.	TOTAL	EXCL.	
OFFICES (COUNSELLING)	1,143	1,421												
SHOP (JOB TRAINING)	714													
TURNING POINT	1,857	1,421								3,278	0	3,278		
COMMUNITY CENTRE:														
CENTRE / RESOURCE	618													
MULTI-PURPOSE ROOM	1,833													
RECEPTION / RECEPTION	273	575												
CLASSROOMS		898												
AIR / LOBBY / WC / ST.	1,286	1,982												
SUCCESS	4,109	3,455								7,564	498	7,066		
ADMINISTRATION			2,216	283										
ROOMS/ MTG ROOM			429	1,217										
DINING		0		902										
KITCHEN		0		801										
BBY / WC / STORAGE		0	1,531	2,545										
PATHWAYS			3,747	5,749						9,495	997	8,498		
COMMUNITY SERVICES	5,986	4,876	3,747	5,749						20,338	1,495	18,843		
ADMINISTRATION														
MEETING ROOM							939							
DINING							303							
KITCHEN							776							
							620							
COAST (FSR BONUS)							2,747			2,747	0	2,747		
AMON (FSR BONUS)			174				87	872	256	1,390	0	1,390		
AMENITY										1,396				



. RENDERING - VIEW ALONG GRANVILLE AVENUE



CONCEPTUAL RENDERING - VIEW ALONG ANDERSON ROAD



CNCL - 273

HOUSE PARK



ACCENT COLOUR / BOX ELEMENT



COMMUNITY STOREFRONT WINDOWS



ETCHED GLASS SIGNAGE



METAL CLADDED SOFFIT



COMMUNITY CENTRE - ELEVATION / S



EXTERIOR ACCESS TO OFFICES - ELEVATOR / 3RD LEVEL PATIO COMMUNITY



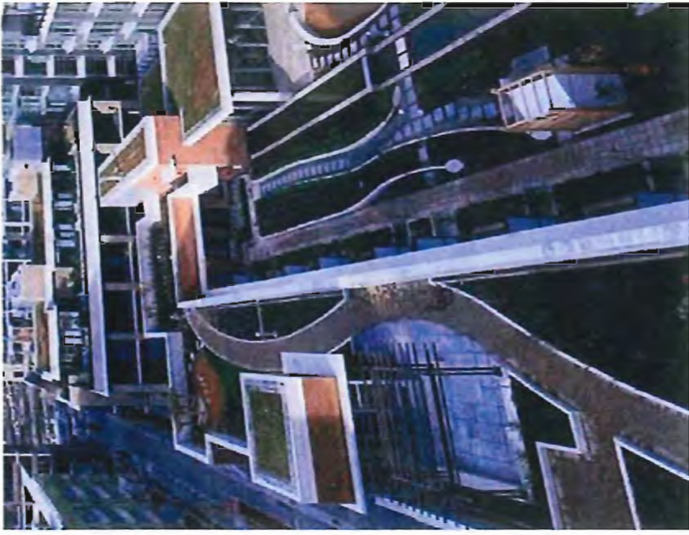
ETCHED GLASS SIGNAGE



COURTYARD - URBAN AGRICULTURE



COURTYARD - LANDSCAPING EXTERIOR



BRICK VENEER / METAL PANEL



BOULEVARD / SIDEWALK



BRICK VENEER / CORRUGATED PANEL



CNOL - 275



RESIDENTIAL ENTRY / CANOPY



ELEV / STAIR	
TIKVA	
TIKVA	
ATIRA	
TURNING POINT	
COAST	
COAST	
COAST	
COAST	
SUCCESS	
SUCCESS	
SUCCESS	
ATIRA	
OFFICES	
COFFEE SHOP / OFFICES	

					SUCCESS
					PATHWAYS
					PATHWAYS
PARKING 3					SUCCESS L2
PARKING 2					SUCCESS L1
PARKING 1					

5M SETBACK

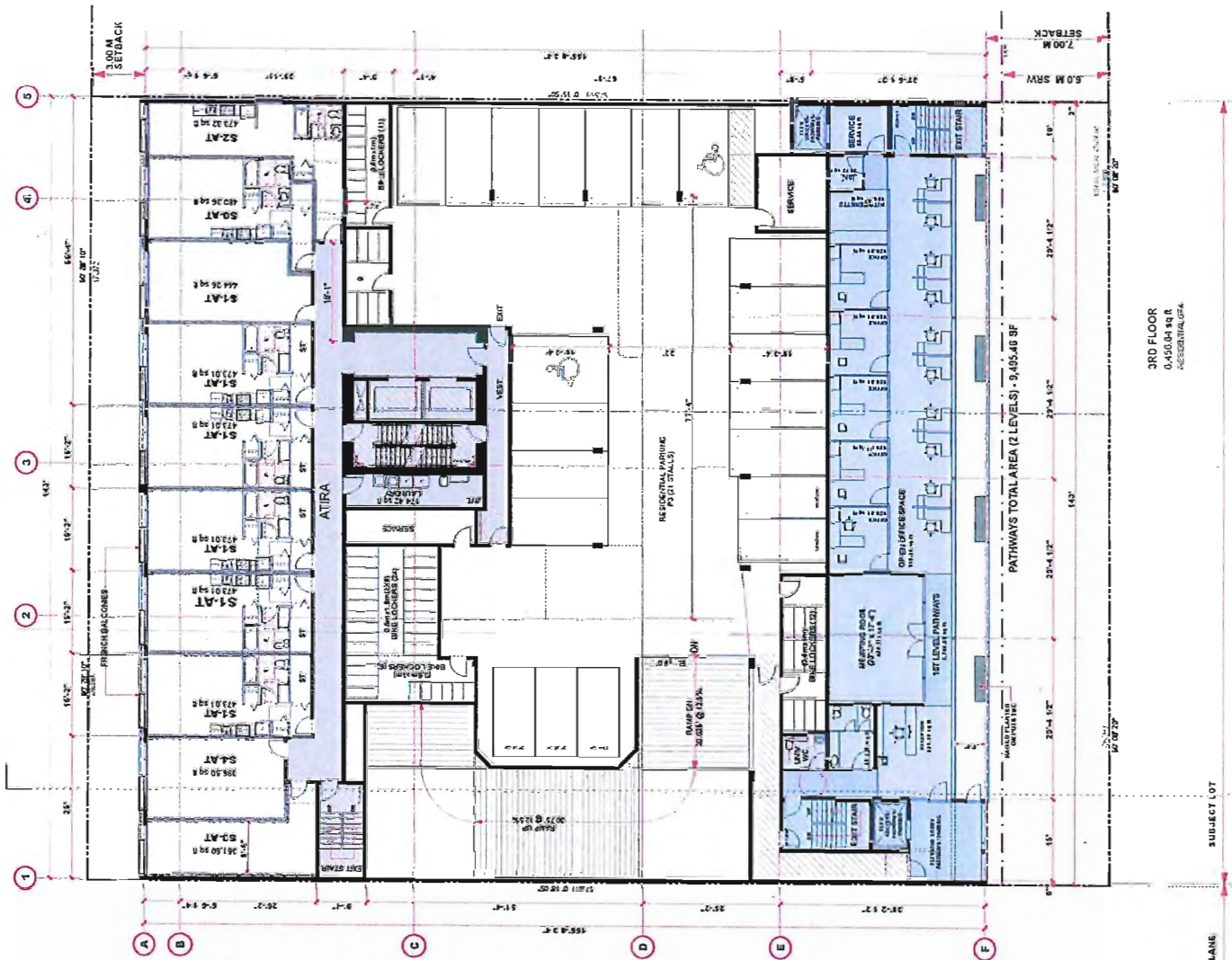




2ND FLOOR
1,470.24 sq. ft. + 171.11 sq. ft.
RESIDENTIAL C/A

POTENTIAL DEVELOPMENT LANE SUBJECT LOT

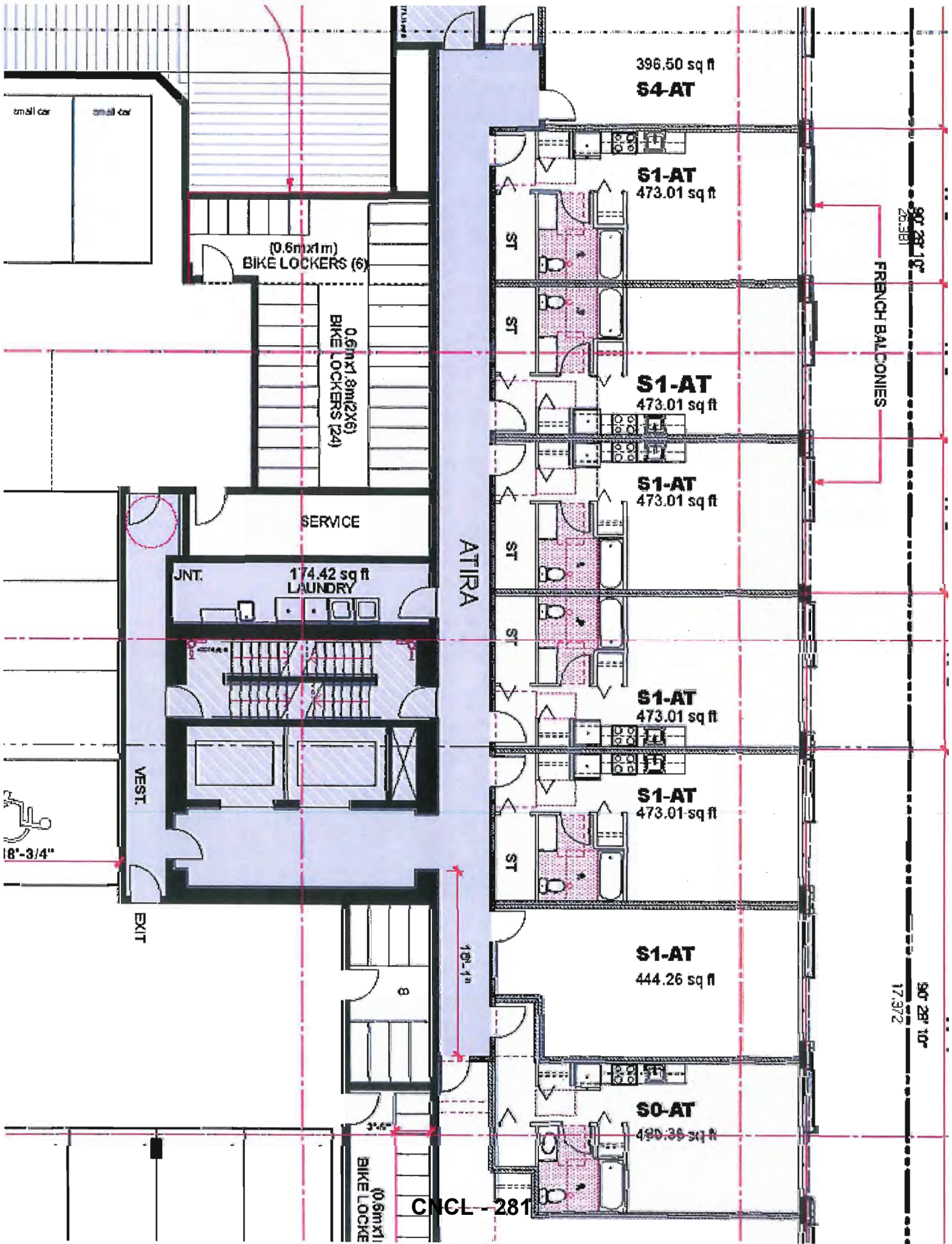
GRANVILLE AVENUE



3RD FLOOR
0.45504 sq ft
RESIDENTIAL

10 UNITS - ATIRA LEVEL 1
(12TH STOREY - ATIRA 2ND LEVEL)

GRANVILLE AVENUE

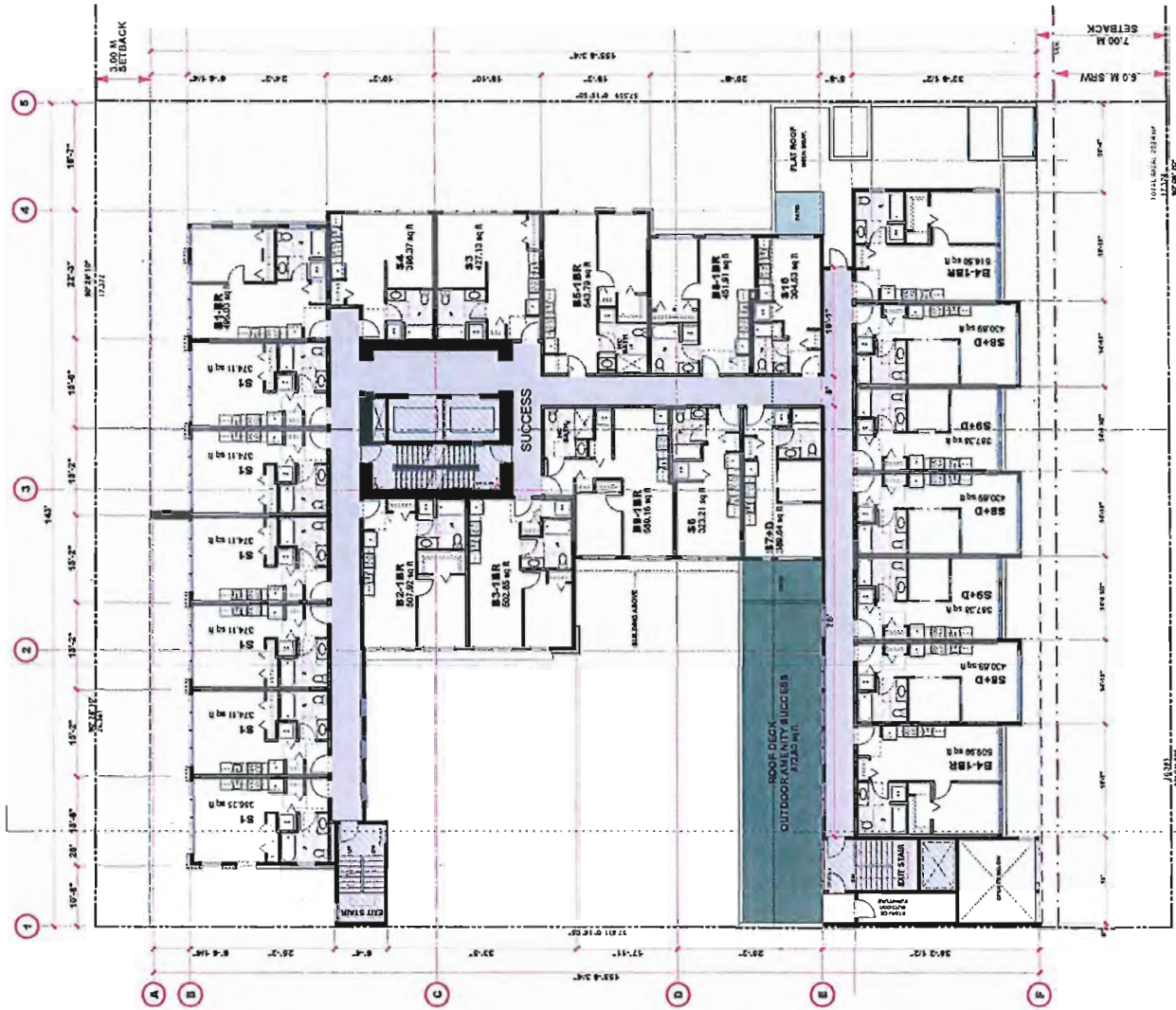




SUBJECT LOT:

GRANVILLE AVENUE





5TH FLOOR
12,801.27 sq. ft.
RESIDENTIAL GVA

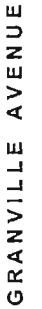
24 UNITS - SUCCESS LEVEL 2

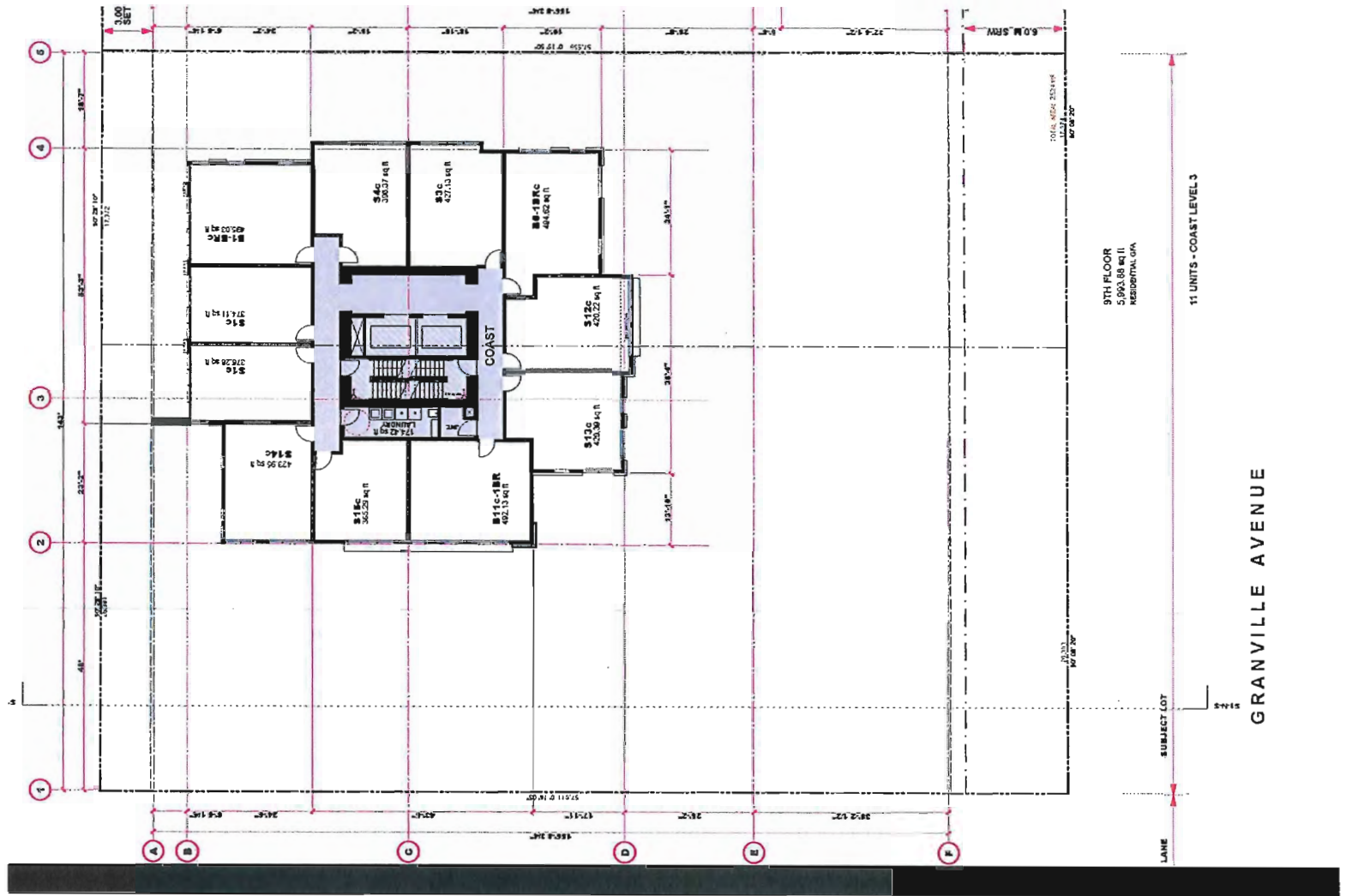
GRANVILLE AVENUE

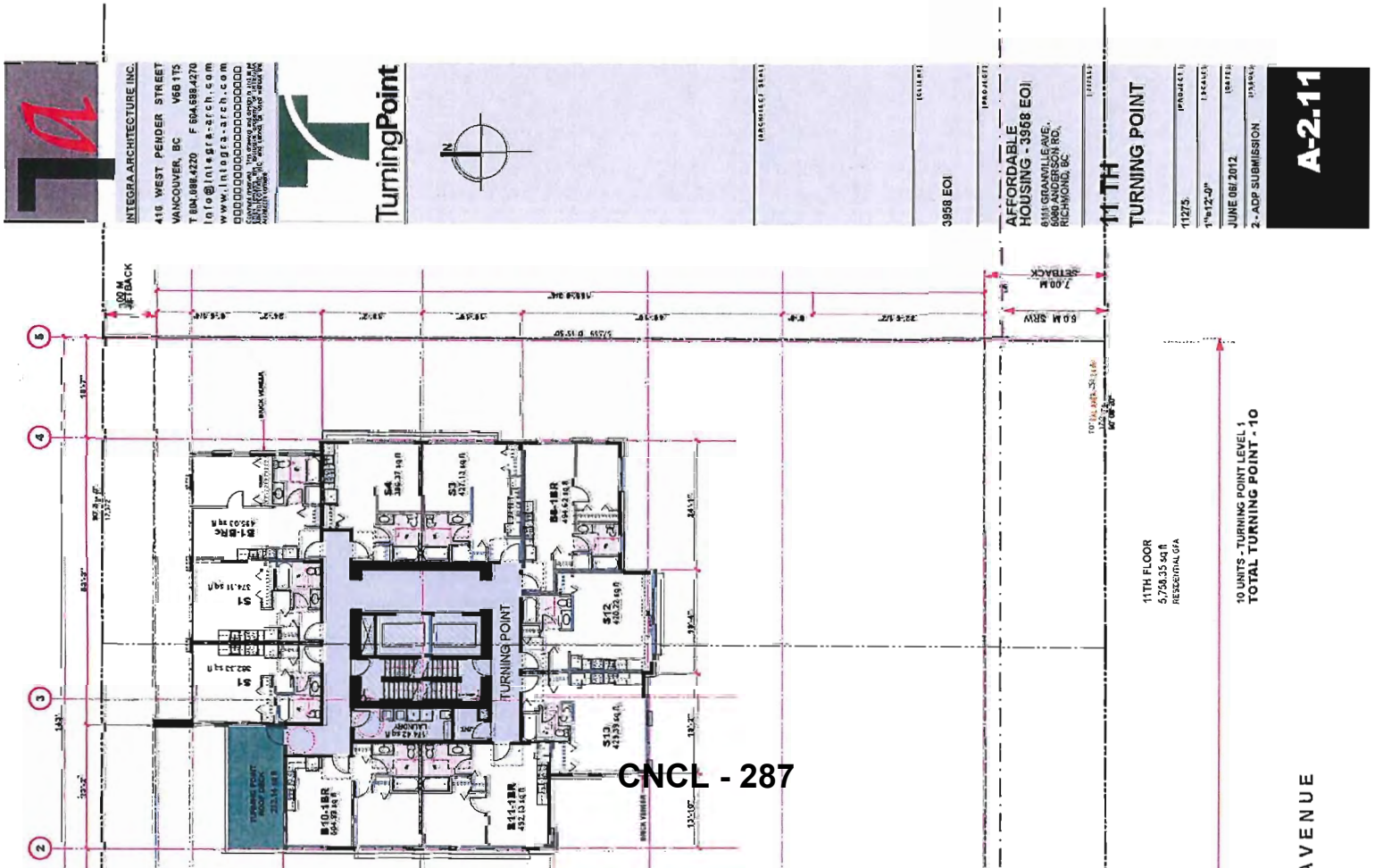
SUBJECT LOT

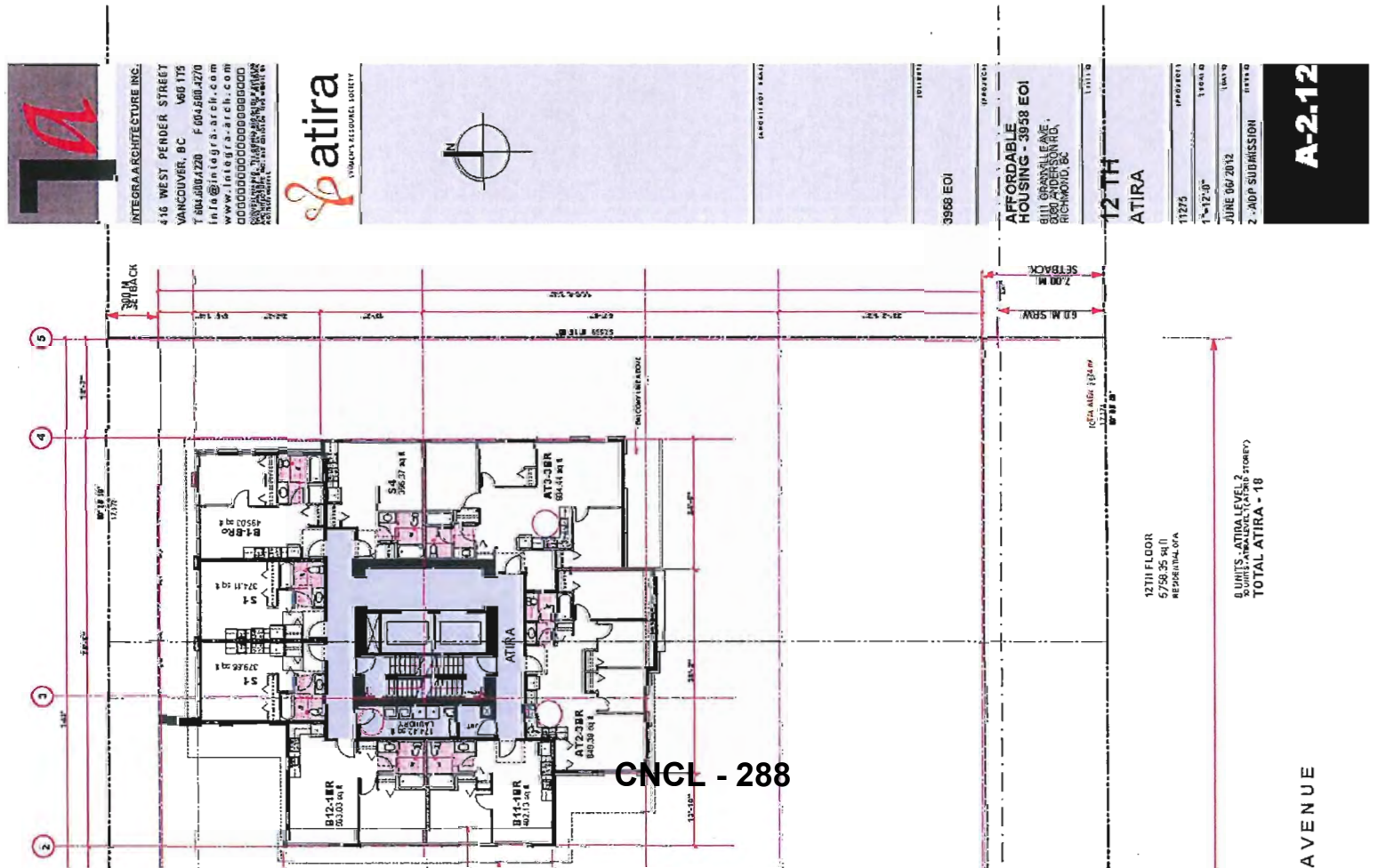
LANE

POTENTIAL DEVELOPMENT









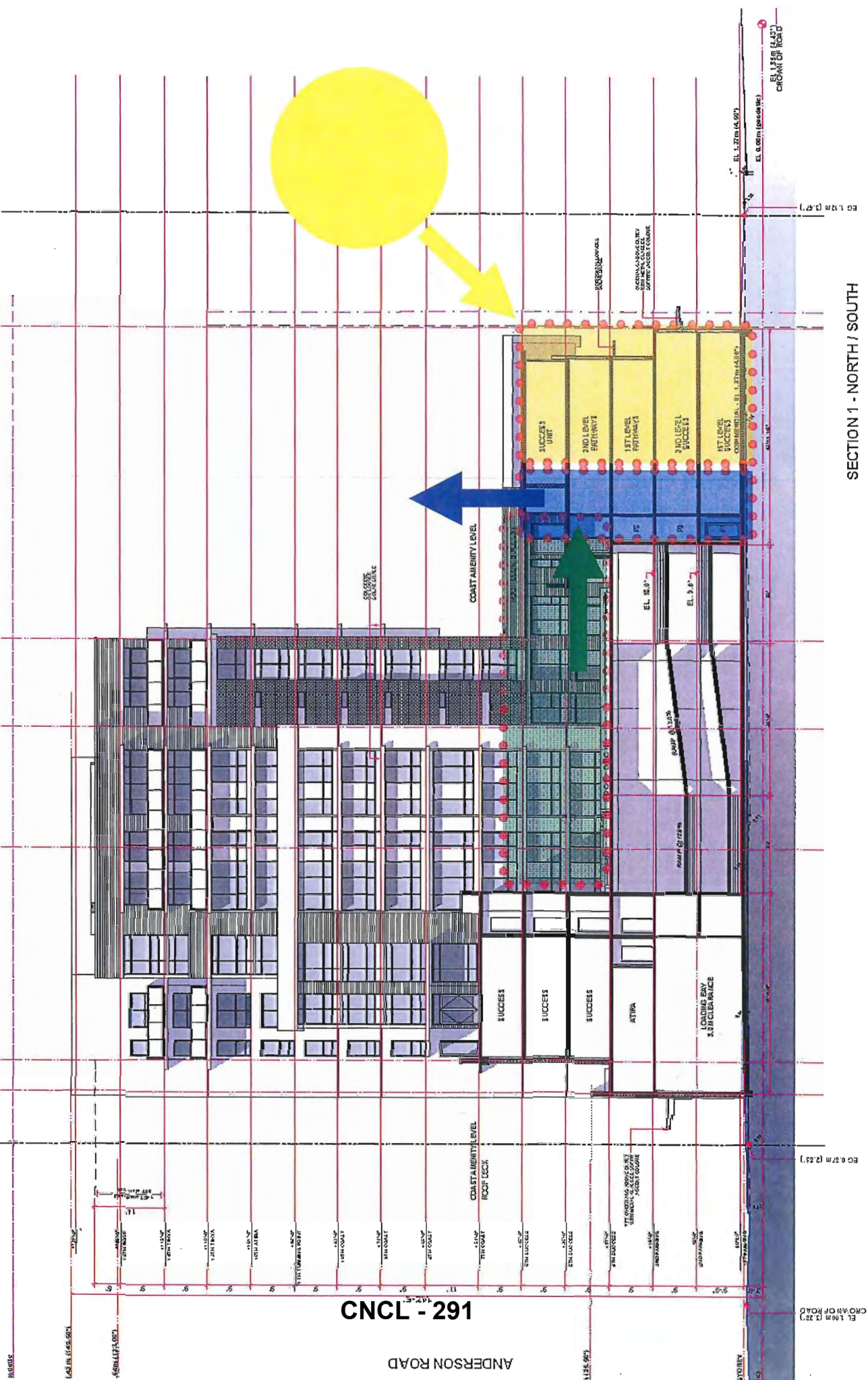
CNCL - 290

ANDERSON ROAD

SECTION 1 - NORTH / SOUTH

EQ 1.53M (14.4%)
CROWN OF ROSES

EL 1.00m (3.25')
CROSSING OF ROAD





Roof Design

Envelope - high performance type

40% glazing to wall ratio

Day-lighting diagram

Hydro incentive

Solar shading devices

Passive cooling Commercial

Testing commissioning

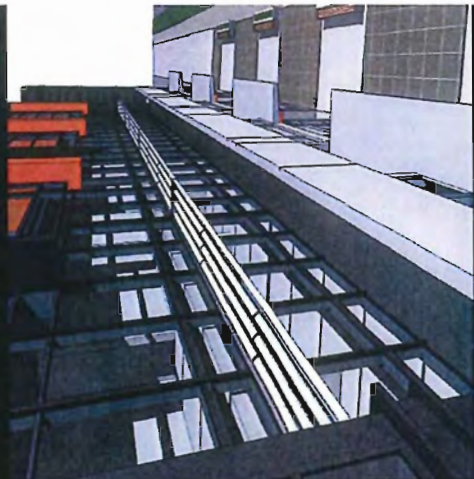
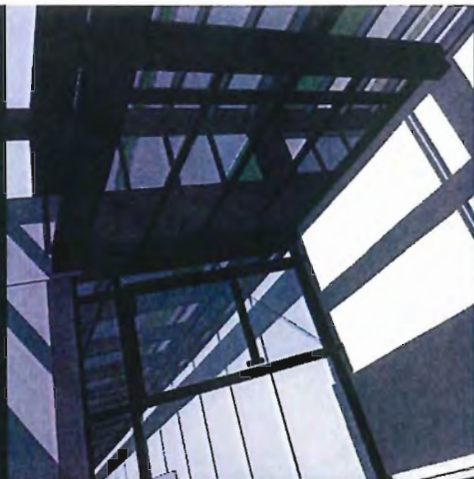
Energy use

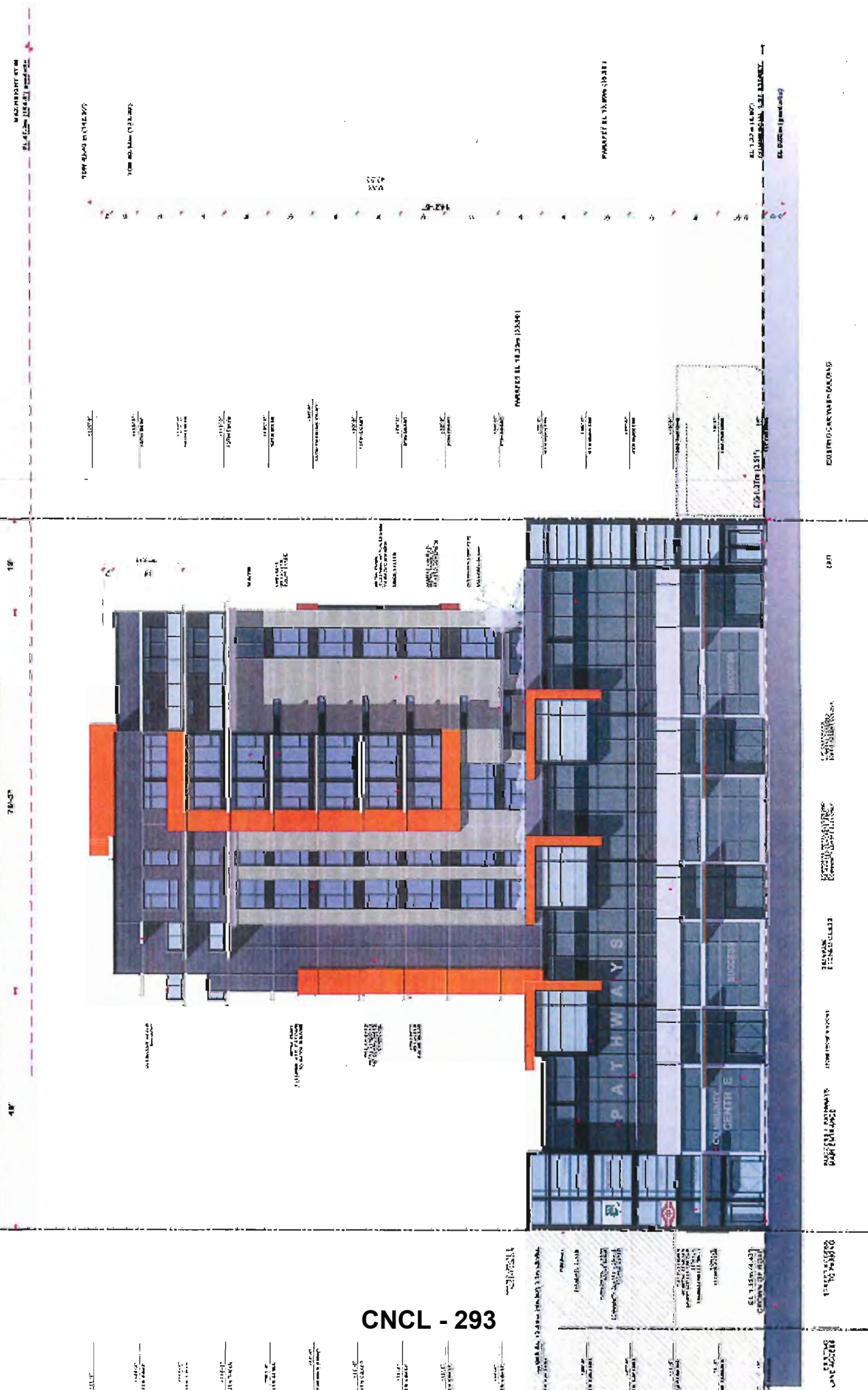
Maintenance

LEED Silver

Landscape

Artwork





SOUTH ELEVATION - GRANVILLE AVENUE

CNCL - 293



Abstract

1994

Electronics

Hauptstadt

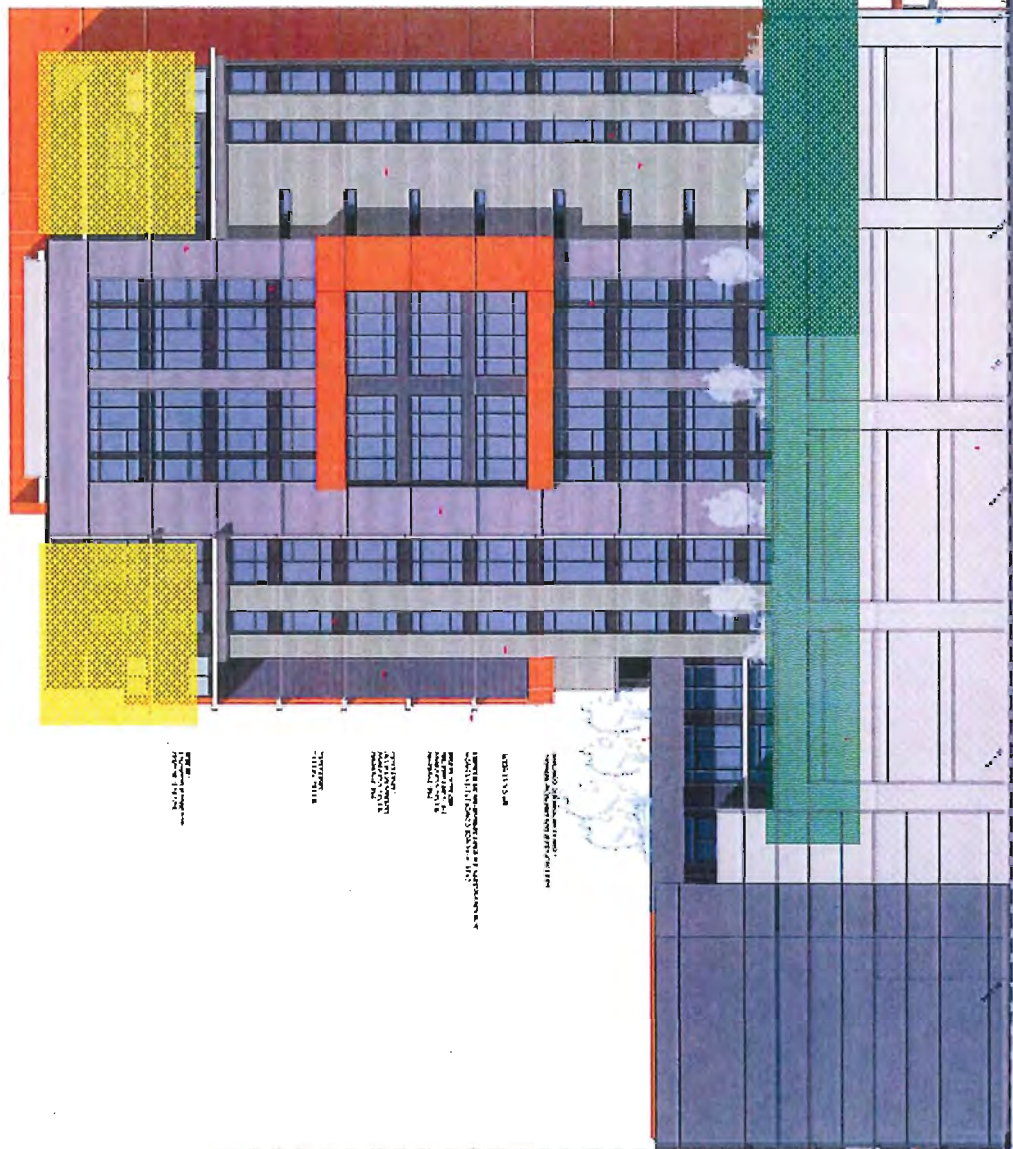
4-7766-1171





PROPOSED 16 - STOREY DEVELOPMENT

EXISTING 14-STOREY DEVELOPMENT



CNCL - 295

EAST ELEVATION - ADJACENT PROPERTY

CG 12M (39'7")

1.00M
OUTLASH

6.0M SRW

ADJACENT EXISTING 14-STOREY DEVELOPMENT

1.00M - SEE LANDSCAPE

CG 6.5M (21'6")

EL 6.5M (21'6")
CROWN OF ROAD

EL 6.5M (21'6")
BASEMENT (LVL 1) SET BACK

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2025-2026 BUDGET
COUNCIL ON EDUCATION

BUDGET
COUNCIL ON EDUCATION

BUDGET COUNCIL ON EDUCATION
COUNCIL ON EDUCATION

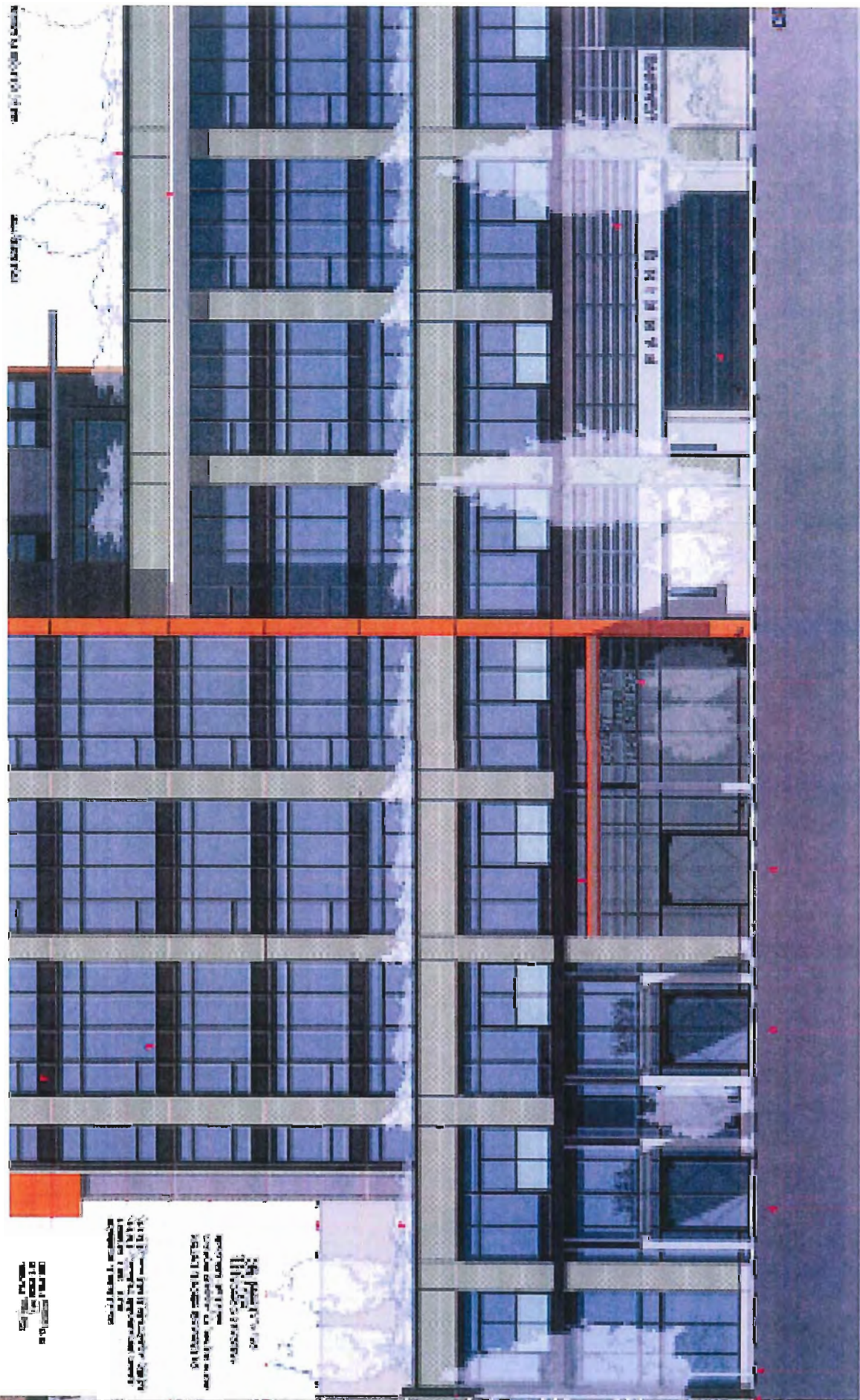
BUDGET COUNCIL ON EDUCATION
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CNCL - 300



CNCL - 301



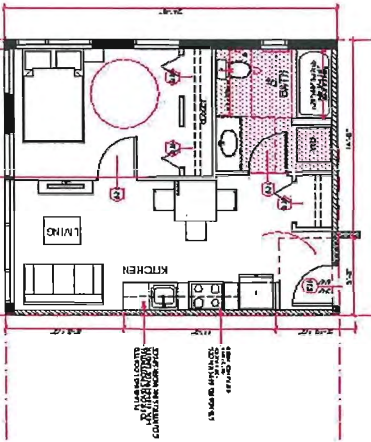


able Housing Project
ANVILLE AVE., / 8080 ANDERSON RD., RICHMOND, BC
Architecture Inc.

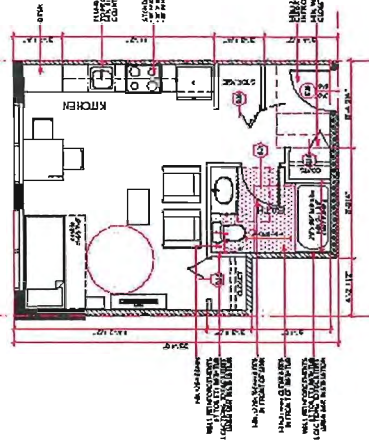


able Housing Project
ANVILLE AVE., / 8080 ANDERSON RD., RICHMOND, BC
Architecture Inc.

units

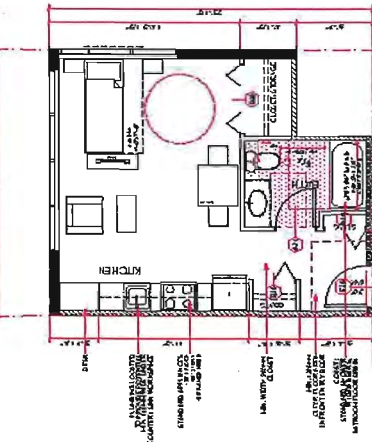


SUCCESS
(NO 81-5075)
ATIRA
(COMMUNICATIONS)
UNIT-B1 180R11
(DATE) 4 20 02 90 1
TOTAL UNIT 2.

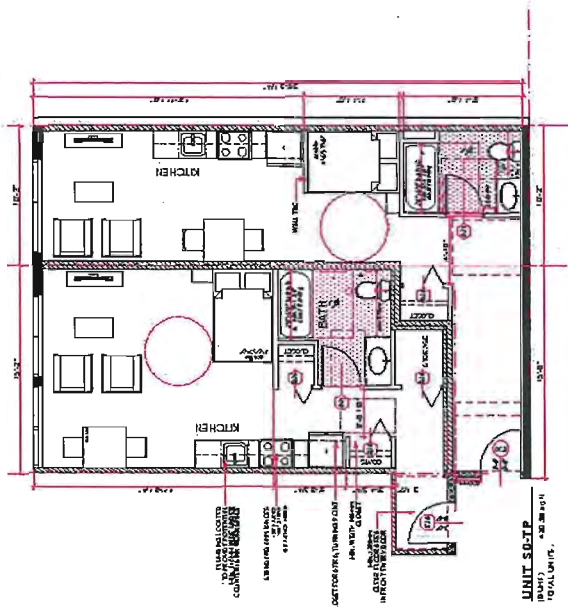


ATIRA
(COMMON LAUNDRY)

UNIT-S12 STUD
(BUILT) 42822 sq ft
FOR ALL UNITS.



ATIRA
(COMMON LAWERS)
UNIT-S13 STUDD
(BUSH)
100% ALL WOOD 100%



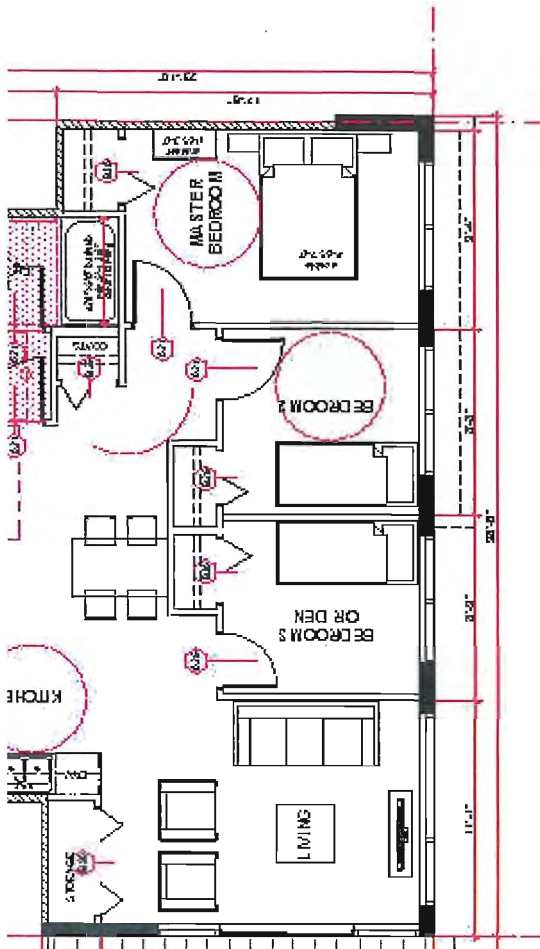
ATIRA ONLY UNIT
(EXAMINATION LAUNDRY)

UNIT S2-AT STUD
(BUTS) 478.22 M
TOTAL UNITS.

NOTES:

- ENTRY DOORS - MIN. 553MM CLEAR OPENING, SWING DOOR
- INTERIOR DOORS- MIN. 800MM CLEAR OPENING, SWING DOOR (AT LEAST 1 BEDROOM, BATHROOM)
- ACCESSIBLE WINDOWS SILL HEIGHT MAX. 750MM
- FLAT SILL THRESHOLDS AT ALL DOORS
- SEE 18" SCALE DRAWINGS FOR SIZE
- AND CONFIGURATION OF WINDOWS
- BALCONY/PATIO A ACCESS DOOR- MIN. 860MM
- MIN. DIMENSION OF BALCONY 1200 X 300 MM
- MIN. 300MM CLOTHES CLOSET IN EVERY OTHER UNIT.
- MIN. 300MM CLOTHES CLOSET SPACE IN FRONT

- BATHROOMS:
 - BATH TUB: MIN 9'14" MIN FRONT
 - SINK: MIN. 122" X 760MM IN FRONT CENTERED SINK
 - TOILET : 40"-480MM FROM THE GRAB BAR SIDE, 1020MM FROM ANY OBSTRUCTION NON GRAB BAR
 - GRAB BARS: STRUCTURAL REINFORCEMENTS
- KITCHEN:
 - CONTINUOUS COUNTER BETWEEN STOVE AND SINK
 - FULL-OUT WORK BOARDS AT 8'0" MIN



Unit 307

Overall Dimensions: 30'0" x 12'0"

Rooms and Dimensions:

- Master Bedroom: 12'0" x 12'0"
- Bedroom 2: 12'0" x 12'0"
- Bedroom 3: 12'0" x 12'0"
- Bathroom: 5'0" x 7'0"
- Kitchen: 10'0" x 10'0"
- Dining: 10'0" x 10'0"
- Living: 10'0" x 10'0"
- Den / Storage: 10'0" x 10'0"
- Closet: 5'0" x 5'0"
- Linen Closet: 5'0" x 5'0"
- Storage: 5'0" x 5'0"

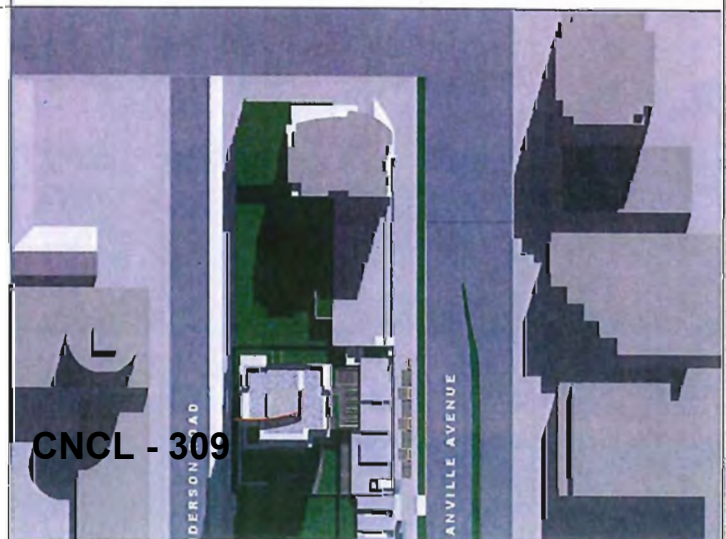
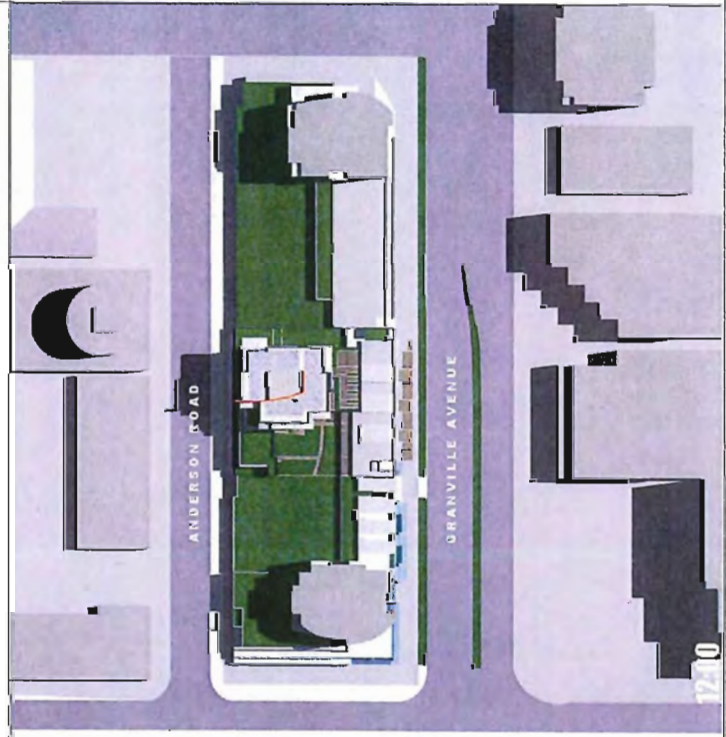
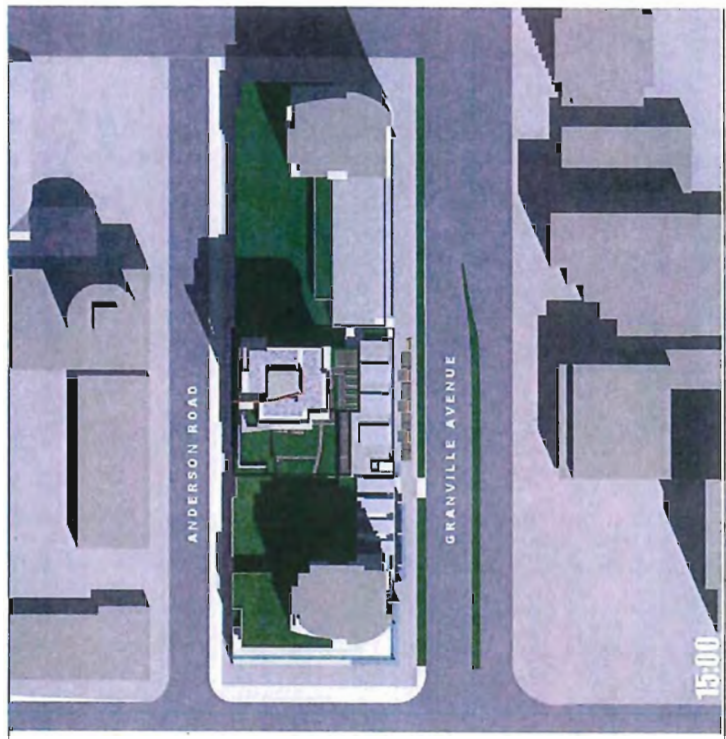
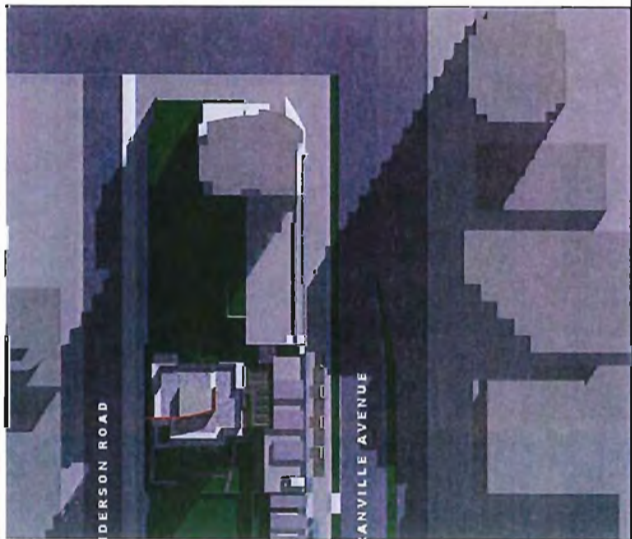
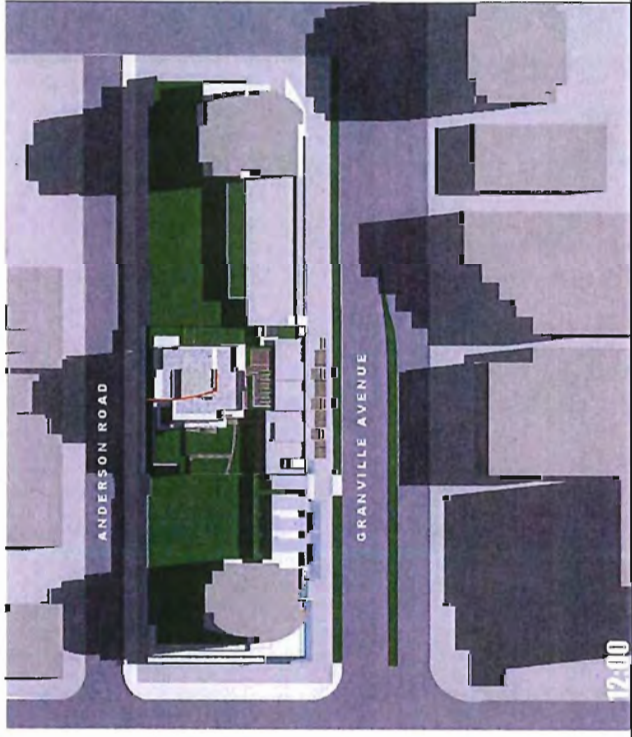
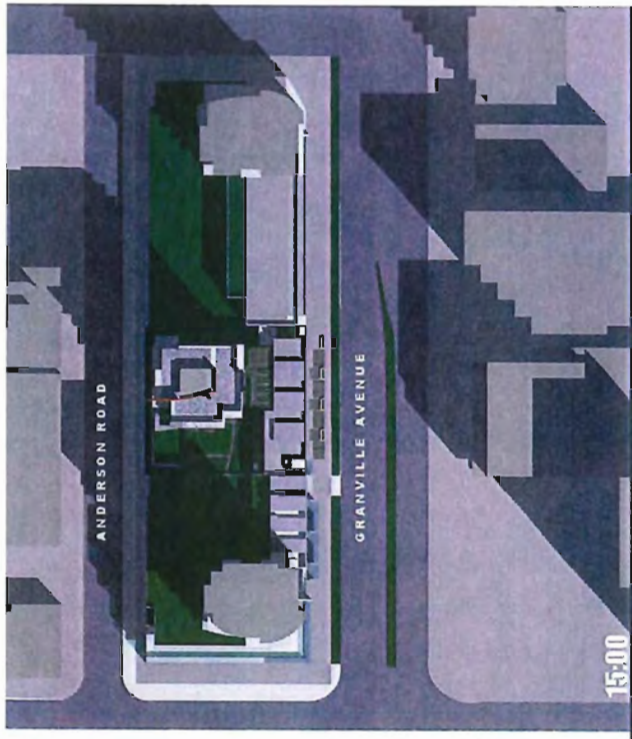
Other Features:

- Master Bedroom: Walk-in Closet
- Bedroom 2: Walk-in Closet
- Bedroom 3: Walk-in Closet
- Bathroom: Walk-in Closet
- Kitchen: Walk-in Pantry
- Dining: Walk-in Pantry
- Living: Walk-in Pantry
- Den / Storage: Walk-in Pantry
- Closet: Walk-in Pantry
- Linen Closet: Walk-in Pantry
- Storage: Walk-in Pantry

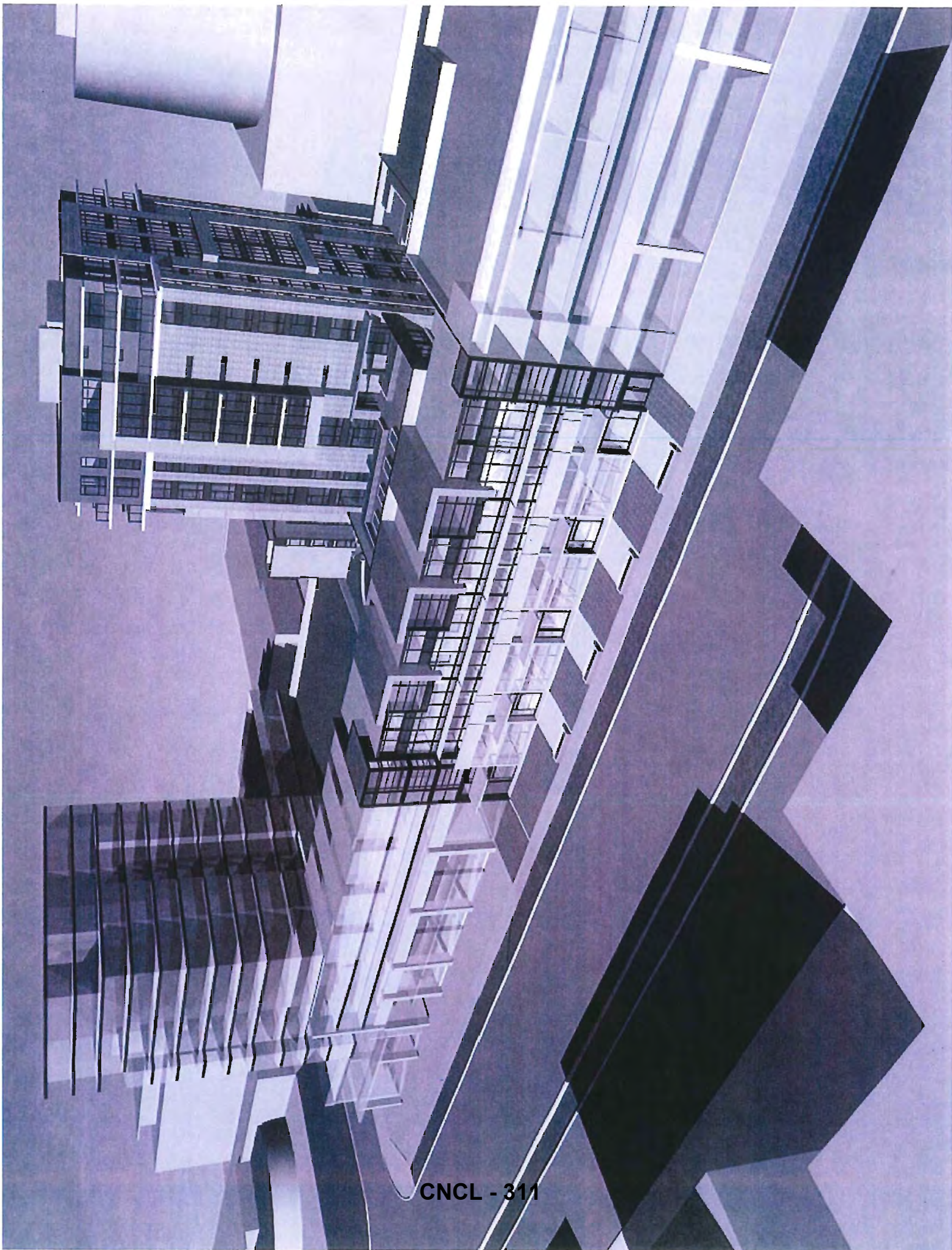
Floor Plan Details:

- Main Floor:**
 - Living:** Features a large sofa, coffee table, and fireplace.
 - Dining:** Includes a dining table and chairs.
 - Kitchen:** Equipped with a stove, sink, and refrigerator.
 - Porch:** A large front porch with a screen door.
 - Hall:** Connects the living areas to the bedrooms and bath.
 - Bedrooms:** Two bedrooms, one labeled "MA BED" (Master Bedroom).
 - Bath:** A full bathroom with a tub/shower.
 - Closets:** Multiple closets throughout the bedrooms and hall.
- Second Floor:**
 - Bedrooms:** Two bedrooms, one labeled "MA BED" (Master Bedroom).
 - Bath:** A full bathroom.
 - Hall:** Connects the bedrooms and bath.
 - Closets:** Multiple closets throughout the bedrooms and hall.

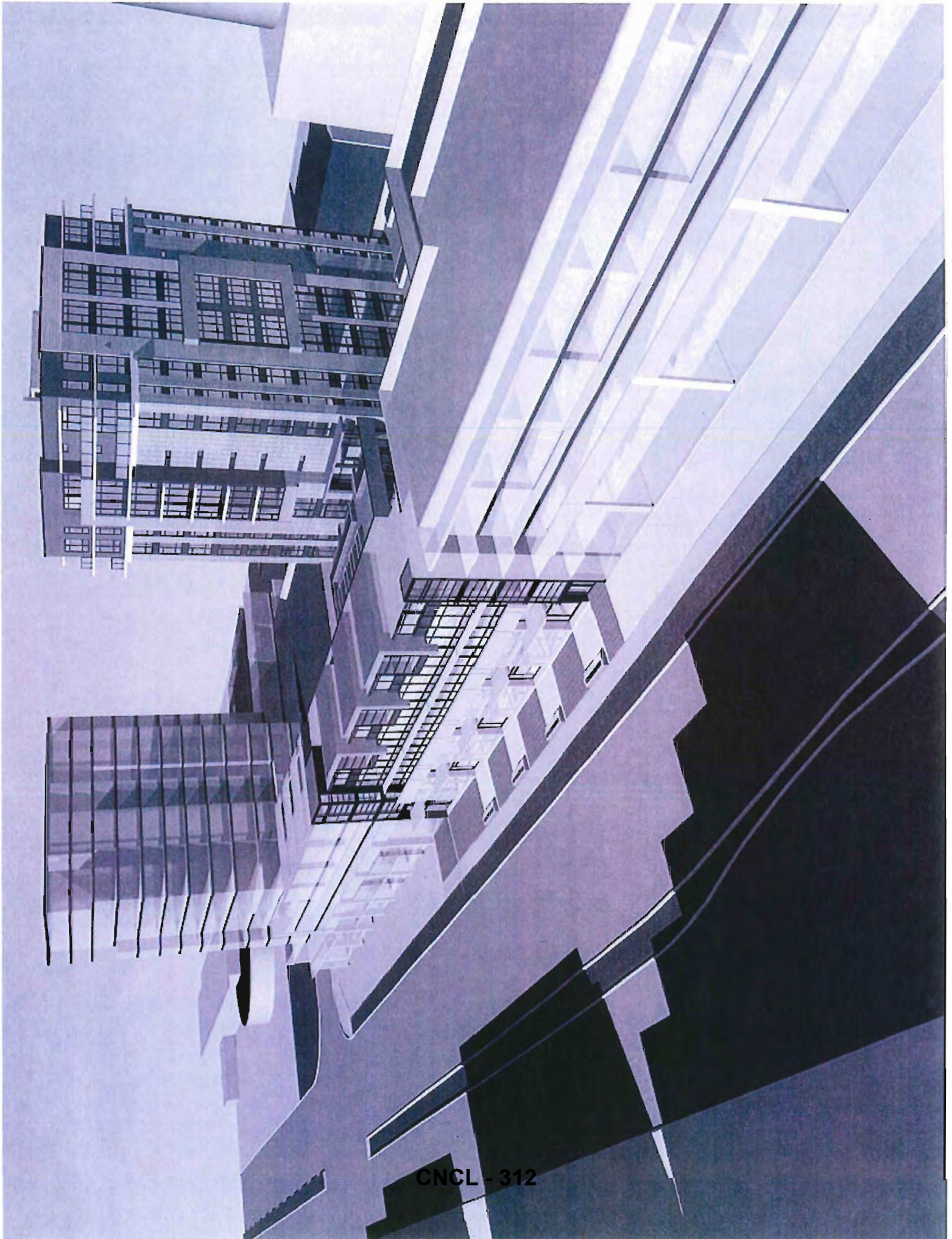
shadow study



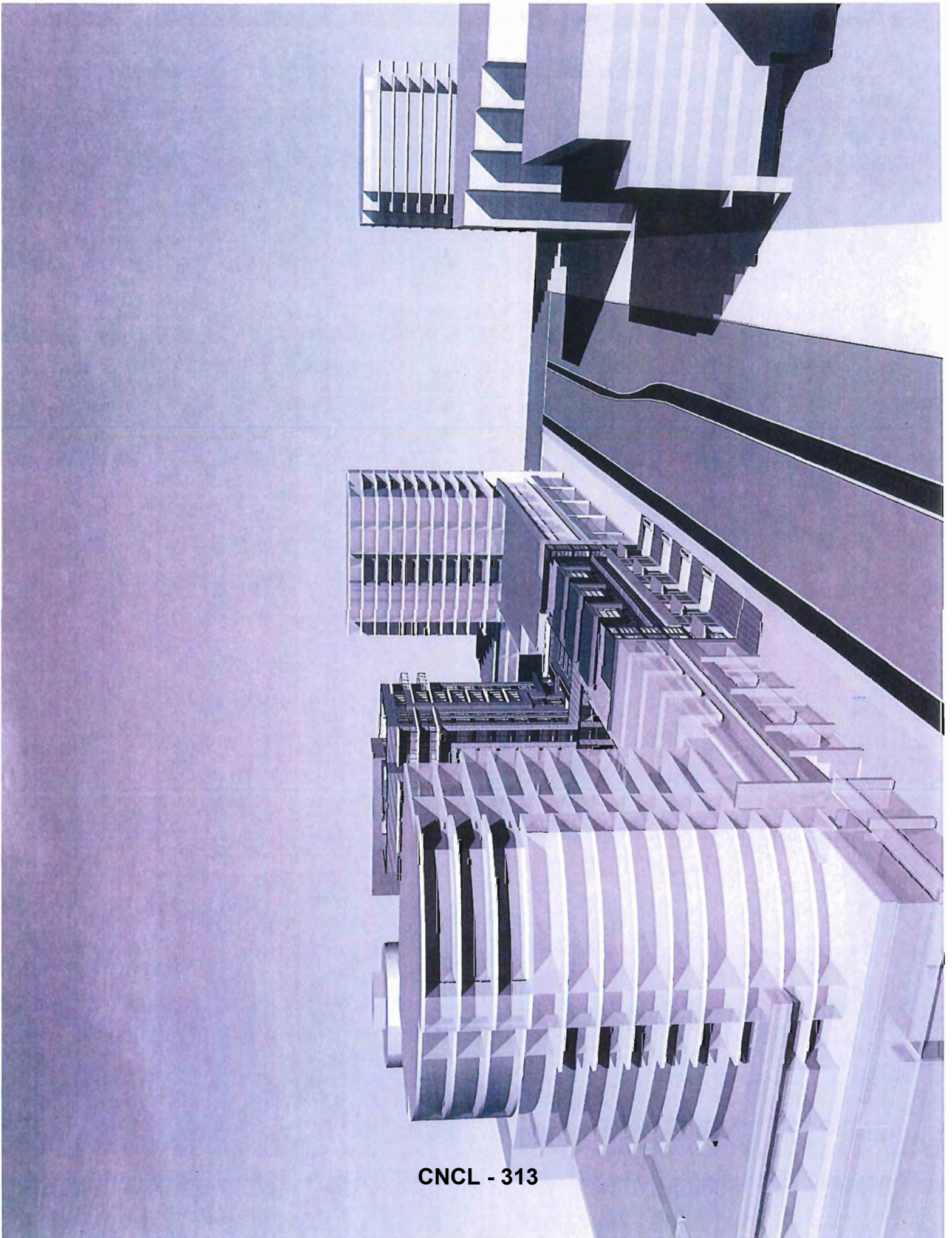
missing - study w/ potential developments



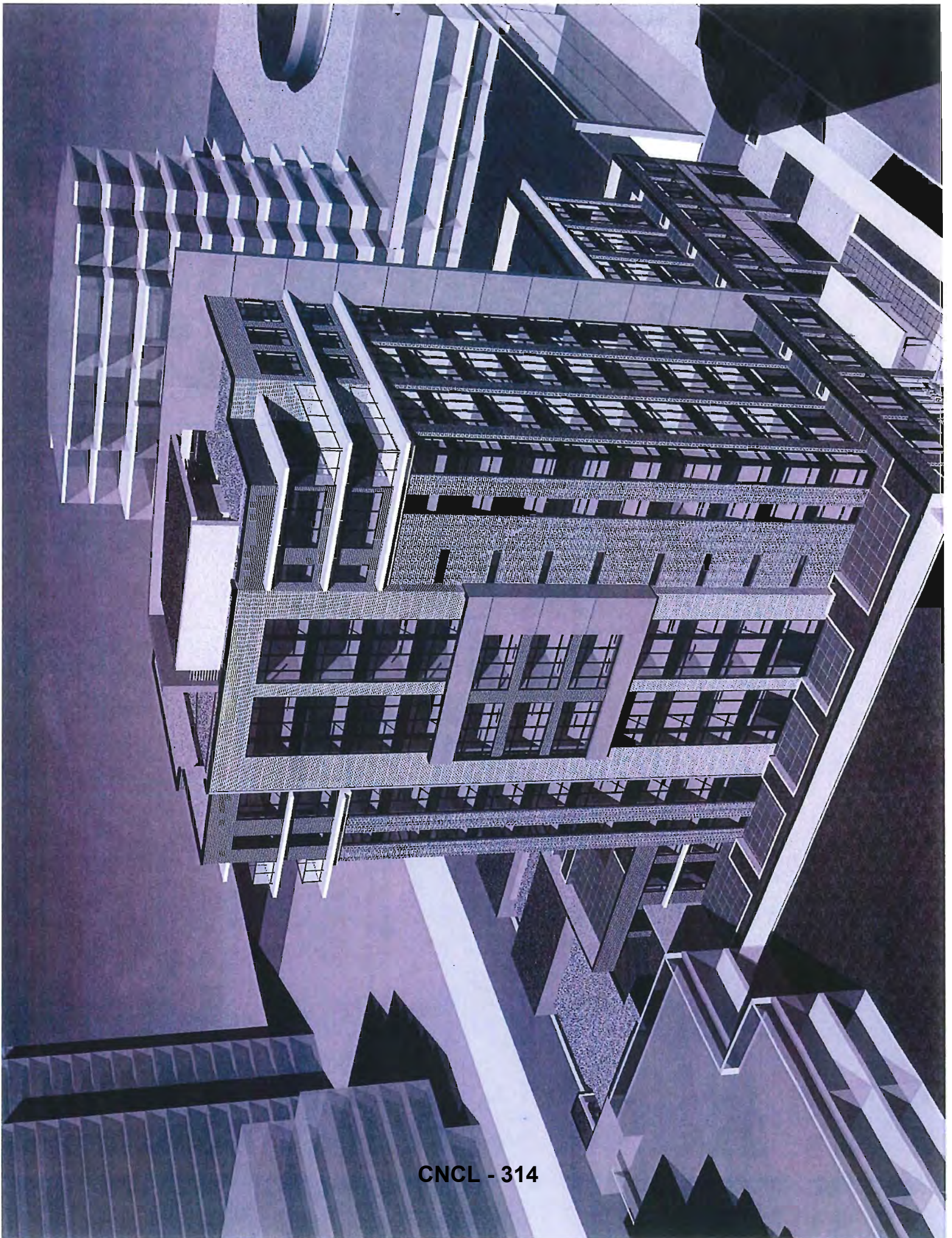
CNCL - 311

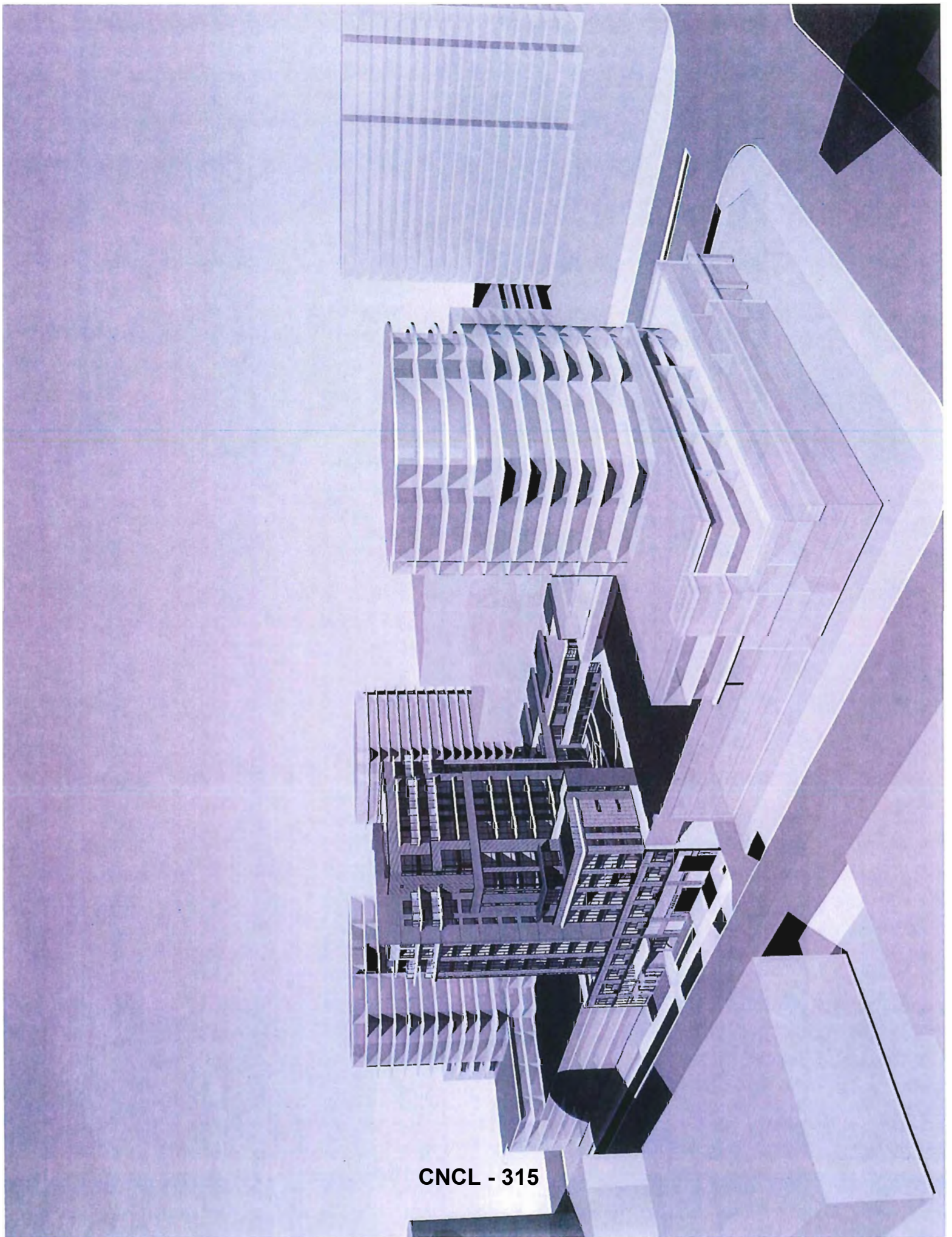


CNCL - 312

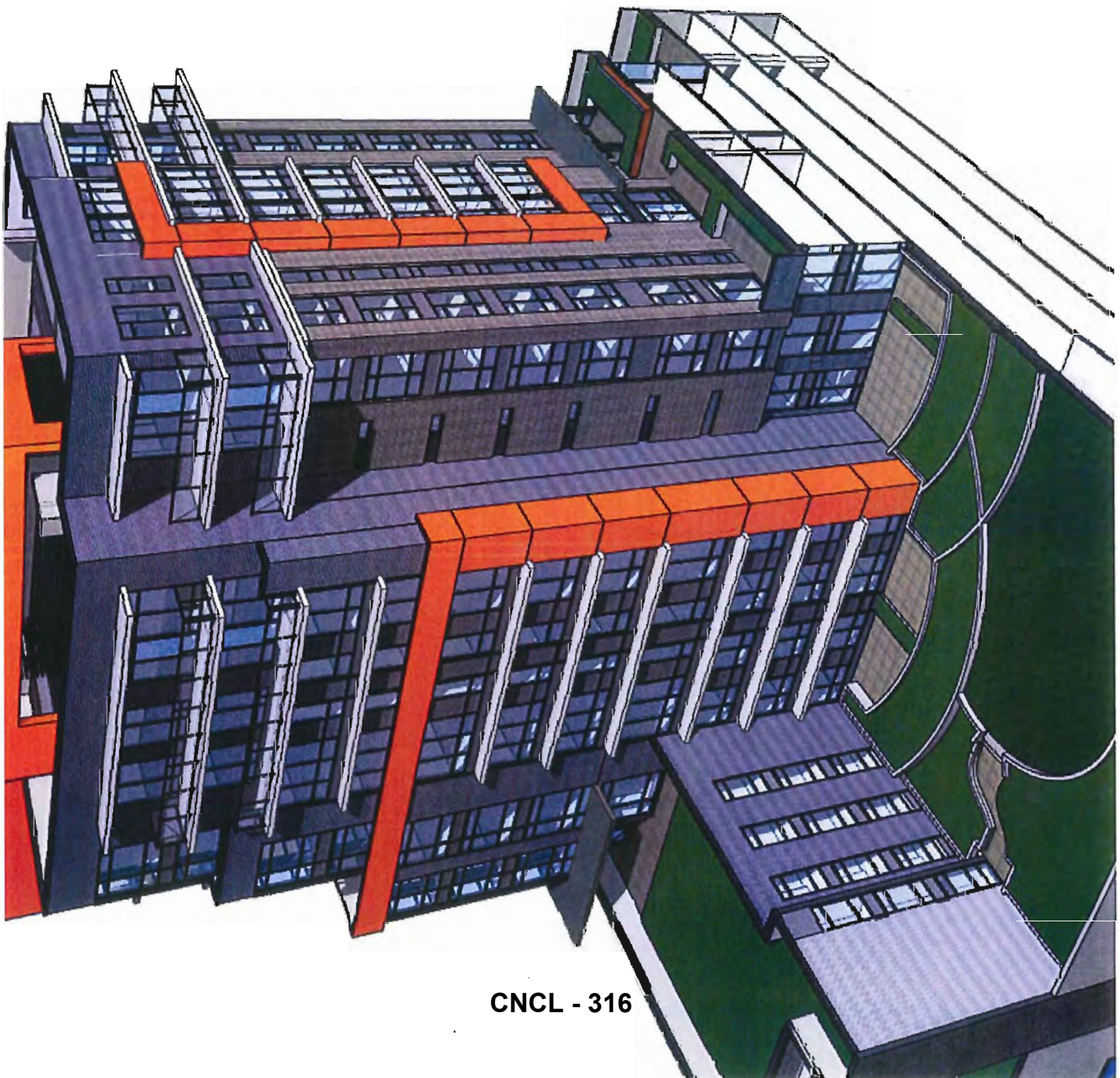


CNCL - 313

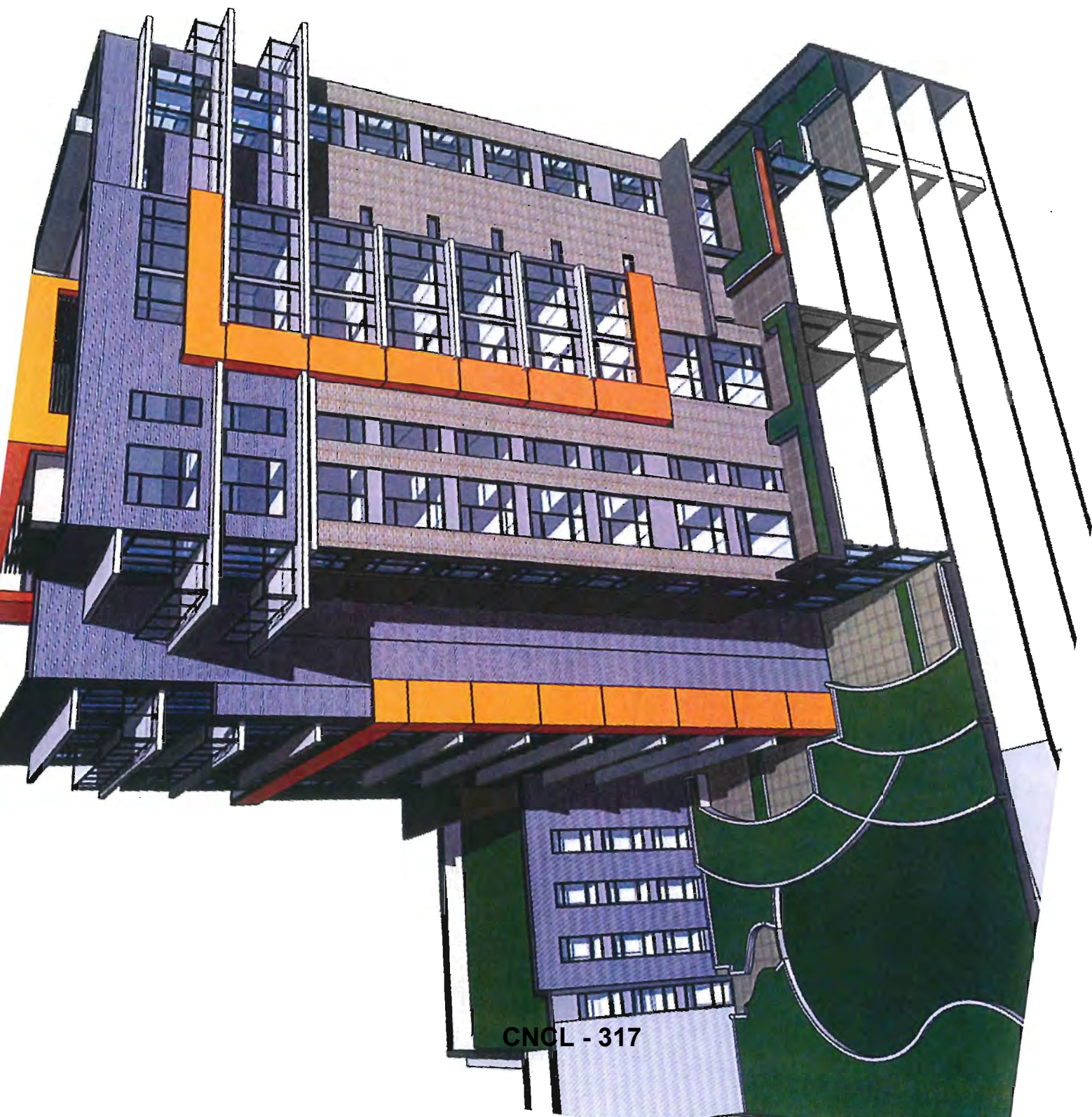




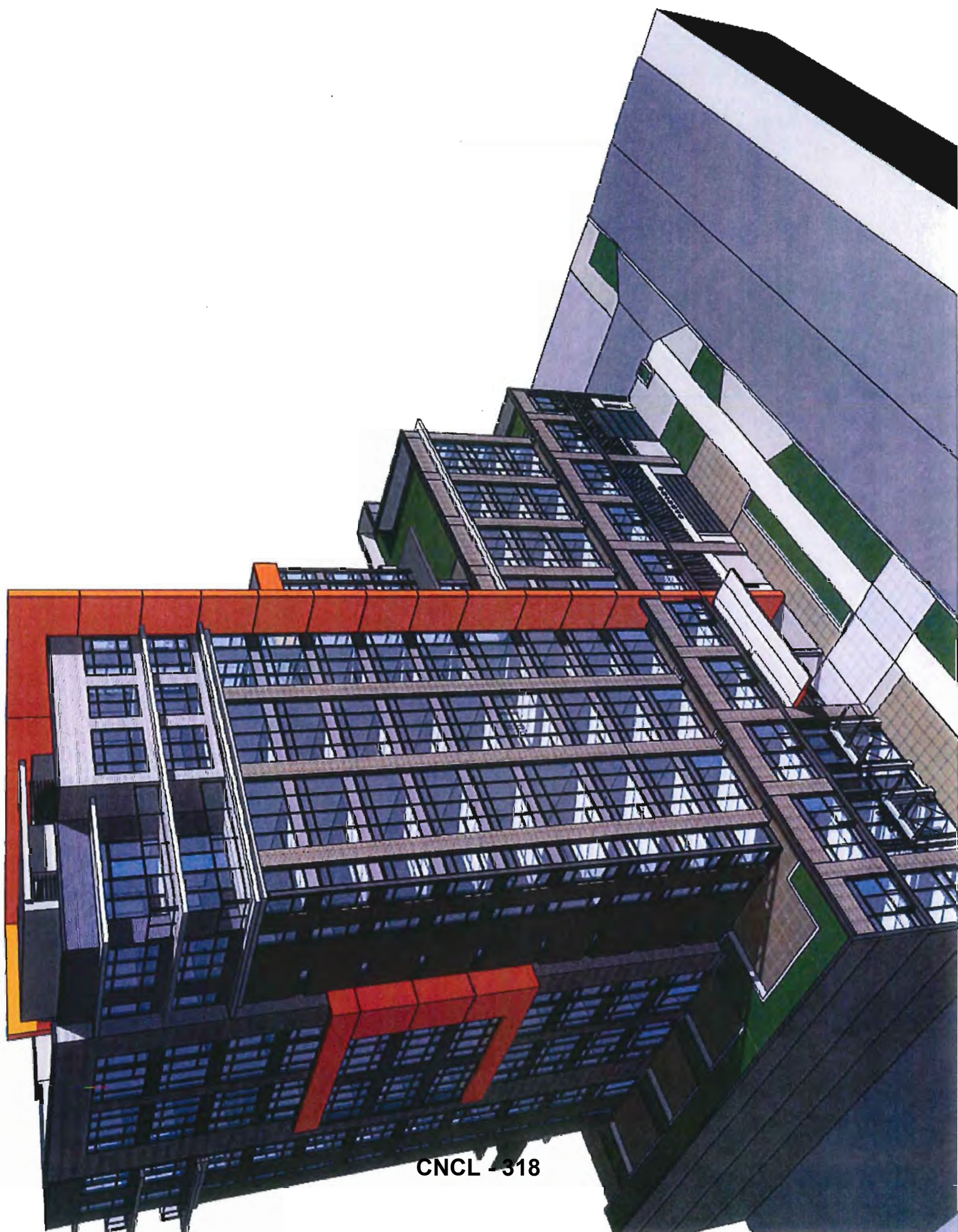
CNCL - 315



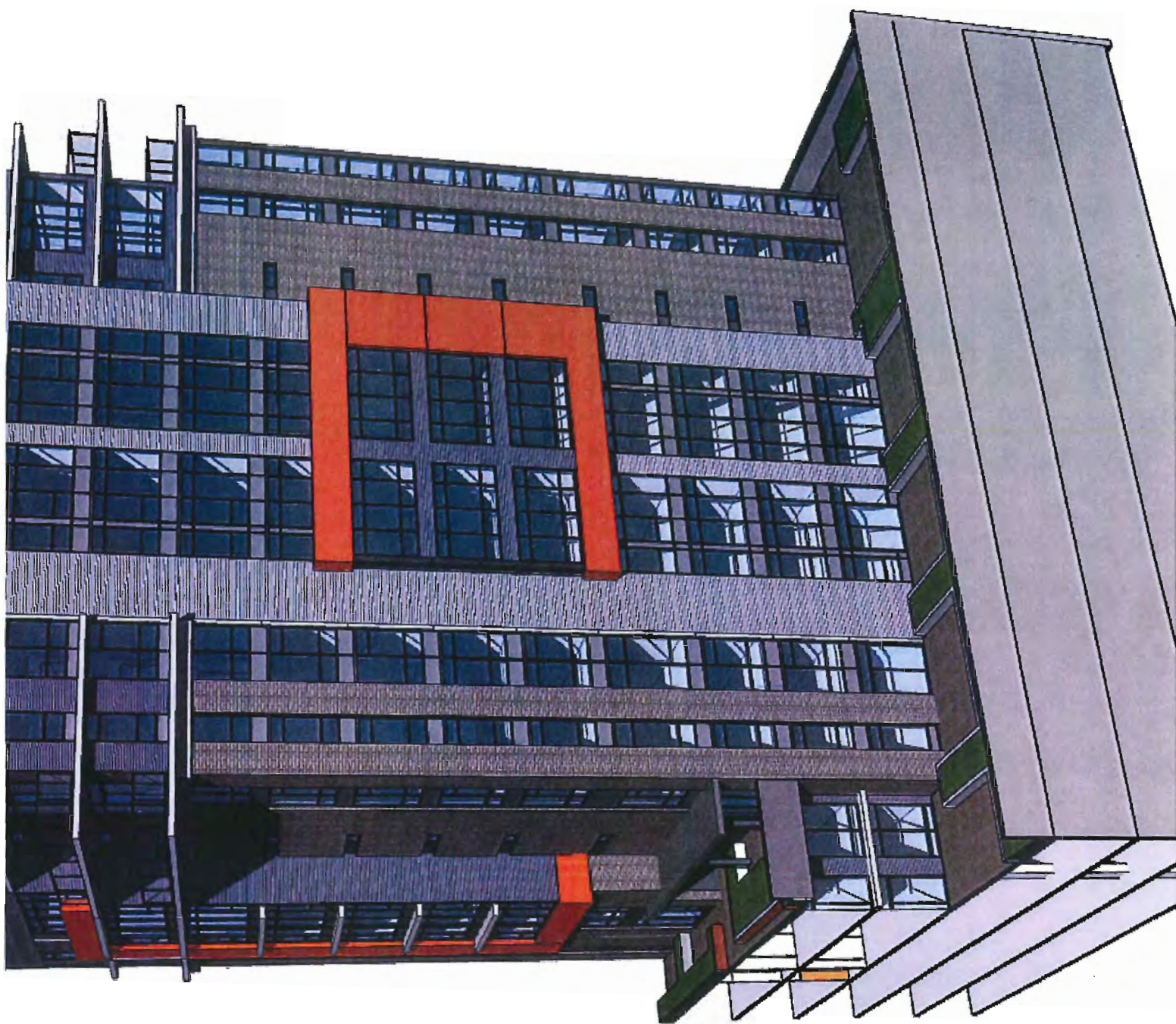
CNCL - 316



CNOL - 317



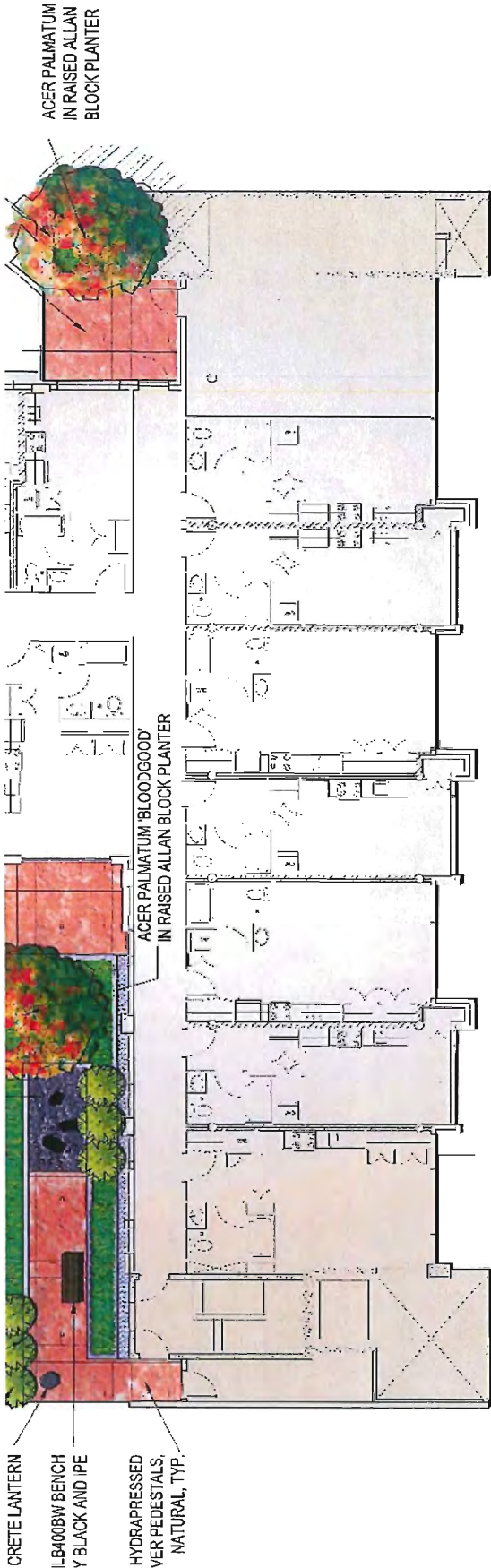
CNCL 318



CNCL - 319

[illegible]



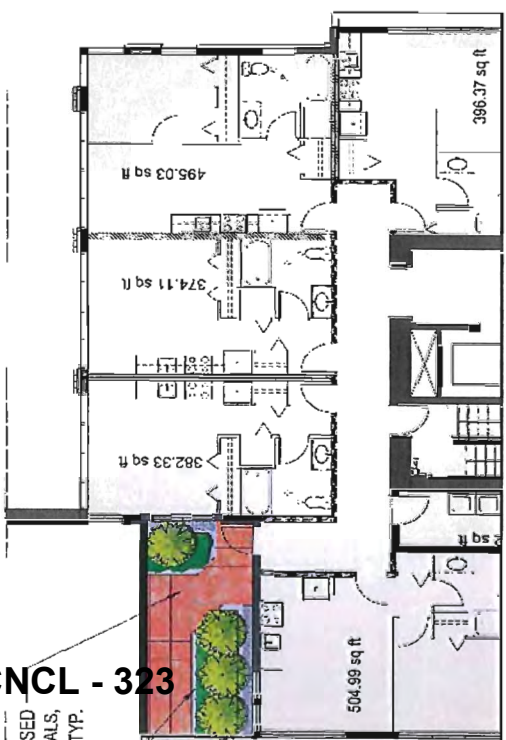


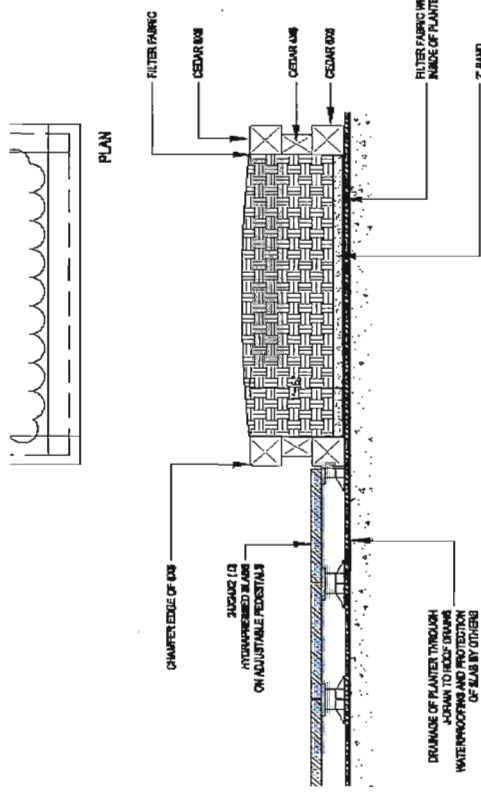
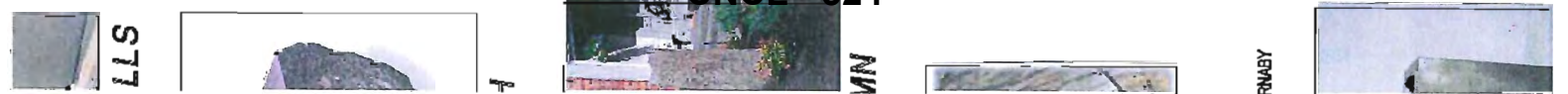
DULE

COMMON NAME	PLANTED SIZE / REMARKS	PAC JOB NUMBER: 11-256
ACER PALMATUM	25' HT. 25' DBH	
ACER PALMATUM	15' HT. 15' DBH	
ACER PALMATUM	10' HT. 10' DBH	
ACER PALMATUM	5' HT. 5' DBH	
ACER PALMATUM	3' HT. 3' DBH	
ACER PALMATUM	2' HT. 2' DBH	
ACER PALMATUM	1' HT. 1' DBH	
ACER PALMATUM	0.5' HT. 0.5' DBH	
ACER PALMATUM	0.25' HT. 0.25' DBH	
ACER PALMATUM	0.125' HT. 0.125' DBH	
ACER PALMATUM	0.0625' HT. 0.0625' DBH	
ACER PALMATUM	0.03125' HT. 0.03125' DBH	
ACER PALMATUM	0.015625' HT. 0.015625' DBH	
ACER PALMATUM	0.0078125' HT. 0.0078125' DBH	
ACER PALMATUM	0.00390625' HT. 0.00390625' DBH	
ACER PALMATUM	0.001953125' HT. 0.001953125' DBH	
ACER PALMATUM	0.0009765625' HT. 0.0009765625' DBH	
ACER PALMATUM	0.00048828125' HT. 0.00048828125' DBH	
ACER PALMATUM	0.000244140625' HT. 0.000244140625' DBH	
ACER PALMATUM	0.0001220703125' HT. 0.0001220703125' DBH	
ACER PALMATUM	0.00006103515625' HT. 0.00006103515625' DBH	
ACER PALMATUM	0.000030517578125' HT. 0.000030517578125' DBH	
ACER PALMATUM	0.0000152587890625' HT. 0.0000152587890625' DBH	
ACER PALMATUM	0.00000762939453125' HT. 0.00000762939453125' DBH	
ACER PALMATUM	0.000003814697265625' HT. 0.000003814697265625' DBH	
ACER PALMATUM	0.0000019073486328125' HT. 0.0000019073486328125' DBH	
ACER PALMATUM	0.00000095367431640625' HT. 0.00000095367431640625' DBH	
ACER PALMATUM	0.000000476837158203125' HT. 0.000000476837158203125' DBH	
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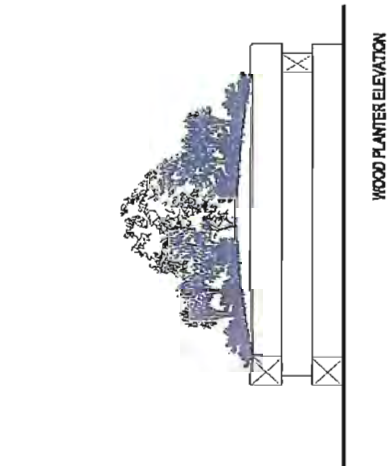
ELEVENTH FLOOR PLANT SCHEDULE			PAC JOB NUMBER: 11-256	
KEY	CITY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE/REMARKS
1	PARSONS	WINDA	FLYING DUTCHMAN WINDA	45x51 1/2"
2	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
3	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
4	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
5	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
6	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
7	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
8	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
9	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
10	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
11	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
12	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
13	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
14	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
15	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
16	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
17	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
18	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
19	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
20	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
21	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
22	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
23	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
24	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
25	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
26	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
27	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
28	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
29	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
30	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
31	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
32	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
33	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
34	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
35	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
36	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
37	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
38	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
39	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
40	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
41	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
42	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
43	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
44	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
45	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
46	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
47	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
48	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
49	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
50	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
51	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
52	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
53	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
54	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
55	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
56	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
57	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
58	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
59	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
60	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
61	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
62	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
63	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
64	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
65	PARSONS	4	WINDA WINDA WINDA	45x51 1/2"
66	PARSONS	4		

COMPREHENSIVE PLANT SCHEDULE

[illegible]



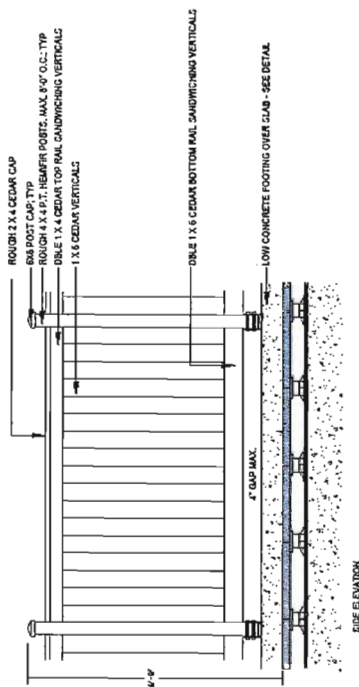
1 TYP. PLANTER FOR COMMUNITY GARDEN PLOTS
SCALE 3/4" = 1'-0"



NOTES:
PAVERS TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS
ALL COMPACTION TO 95% PROCTOR DENSITY

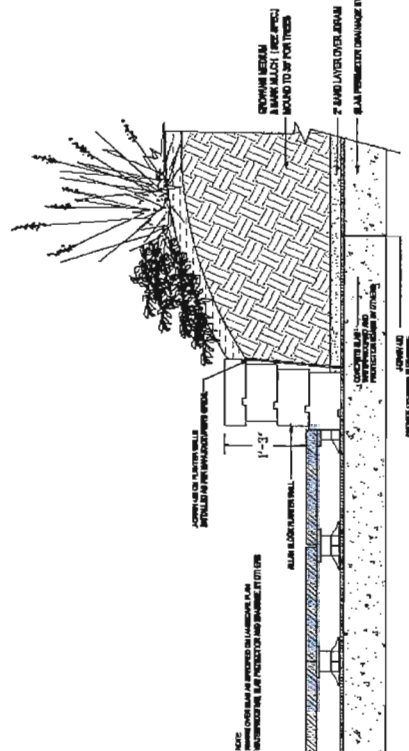
2 PAVERS ON GRADE
SCALE 1/2" = 1'-0"

CNCL - 324

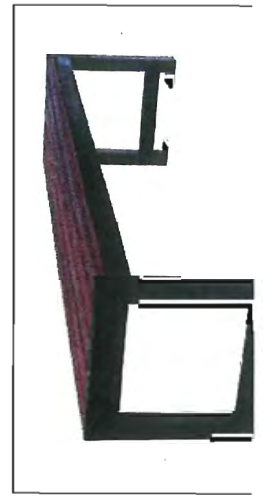
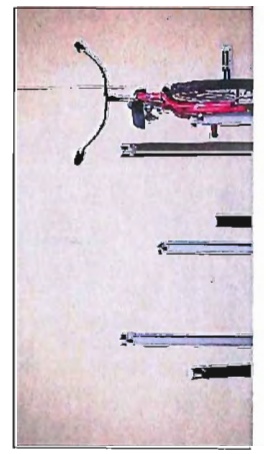


- NOTES:
1. ALL WOOD MEMBERS TO BE PRESERVE TREATED TO C.S.A. STANDARDS
 2. ALL HARDWARE TO BE HOT-DIPPED GALVANIZED
 3. ALL HARDWARE TO BE NOT-CORRODING TO MATCH BUILDING (TO BE APPROVED BY OWNER)
 4. COAT ALL CUT SURFACES WITH SIMILAR PRESERVATIVE AS ABOVE
 5. LENGTH AND PLACEMENT AS PER LANDSCAPE PLAN

4 6' HT. PRIVACY SCREEN
SCALE 1/2" = 1'-0"



3 TYP. PLANTER ON SLAB AND PAVERS OVER PEDESTALS
SCALE 3/4" = 1'-0"





City of Richmond

Report to Council

To: Richmond City Council

Date: March 5, 2014

From: Joe Erceg
Chair, Development Permit Panel

File: 01-0100-20-DPER1-
01/2014-Vol 01

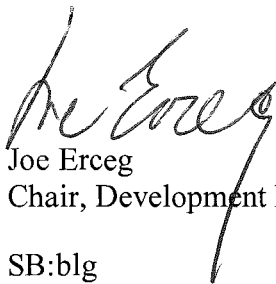
Re: **Development Permit Panel Meetings held on February 26, 2014 and
September 16, 2009**

Staff Recommendation

That the recommendation of the Panel to authorize the issuance of:

- i. a Development Permit (DP 12-612510) for the property at 8311, 8331, 8351, and 8371 Cambie Road and 3651 Sexsmith Road; and
- ii. a Development Permit (DP 08-431155) for the property at 4008 Stolberg Street (formerly 9420, 9460 and 9480 Cambie Road);

be endorsed, and the Permits so issued.



Joe Erceg
Chair, Development Permit Panel

SB:blg

Panel Report

The Development Permit Panel considered the following items at its meetings held on February 26, 2014 and September 16, 2009.

DP 12-612510 – POLYGON DEVELOPMENT 192 LTD. – 8311, 8331, 8351, AND 8371 CAMBIE ROAD AND 3651 SEXSMITH ROAD
(February 26, 2014)

The Panel considered a Development Permit application to permit the construction of a three-phase residential development containing 528 dwellings units at 8311, 8331, 8351, and 8371 Cambie Road and 3651 Sexsmith Road on a site zoned “High Rise Apartment (ZHR12) Capstan Village (City Centre)”. No variances are included in the proposal.

Applicant Chris Ho, Polygon Homes, Architect Gwyn Vose, IBI/HB Architects and Landscape Architect Jennifer Stamp, Durante Kreuk Architects provided a brief presentation regarding the proposal, including:

- The project includes three towers, two mid-rise buildings, an amenity building, residential townhouses, and landscaped roof decks.
- The western tower has a unique “flat-iron” expression; the central tower has a square and compact form; and the eastern tower terraces down towards the north; and townhouses wrap around the eastern, southern and western edges of the property.
- The landscaped podium roof at the north side rises eastward towards the amenity structure.
- The four storey amenity building at the northwest corner provides direct access to the large outdoor deck and rooftop.
- The landscape design includes (i) landscaped open spaces adjacent to the building entries, (ii) raised patios fronting the townhouses, (iii) mid-block public pathway fronting the townhouses along the east side of the development, and (iv) planting of various species of trees at the north side of the development’s parking podium which fronts onto a strip mall.

In response to Panel queries, Mr. Ho and Ms. Stamp advised that:

- The mid-rise forms accommodate the density bonus granted to the project and provide a strong urban edge to the proposed large park.
- Pedestrian routes are provided from the main entries of the development to the existing Aberdeen Canada Line station and to the future Capstan Canada Line station.
- The applicant is currently in discussion with Engineering regarding the surface treatment on the proposed crosswalk at the northeast side of the future diagonal road.
- The Public Art to be located at the proposed park will be integrated with the entry plaza.

Staff supported the Development Permit application and requested variances. Staff advised that:

- Through the rezoning, the applicant will contribute funding towards the construction of the future Capstan Canada Line station.

- Transportation Demand Management measures include (i) special crosswalk across Cambie Road, (ii) improvements of the Hazelbridge Way frontage along the proposed park, (iii) provision of Electric Vehicle (EV) charging stations in 20% of parking stalls, and (iv) pre-ducting of additional 25% of parking stalls for future installation of EV charging stations.
- 80 residential units or approximately 15% of the units have Basic Universal Housing Features (BUHF).
- The development proposal is (i) District Energy Utility (DEU) ready, (ii) designed to meet LEED Silver equivalency, and (iii) meets the OCP standards for aircraft noise mitigation.

No correspondence was submitted to the Panel regarding the Development Permit application.

Cambie Road resident Ms. Sandra Melin addressed the Panel and expressed concern regarding the current traffic congestion along Cambie Road and the hazards of making left turns onto Brown Road. She requested installation of traffic lights at the intersection.

In response to the query, staff advised that there was a traffic impact analysis done at the rezoning stage and the developer had committed to provide traffic signal upgrades in a number of intersections in the area via a Servicing Agreement, including a proposed special pedestrian crossing at Cambie Road. The exact locations for the traffic signal upgrades have not yet been determined and the City would look into the concern. Ms. Melin was invited to contact City staff to further discuss the matter.

The Panel expressed support for the project, noting that it is unique and well thought out.

The Panel recommends that the Permit be issued.

DP 08-431155 – ELEGANT ALEXANDRA GATE GP LTD.
(FORMERLY ORIS DEVELOPMENT (CAMBIE) CORP. – 4008 STOLBERG STREET
(FORMERLY 9420, 9460 AND 9480 CAMBIE ROAD
(September 16, 2009)

The Panel considered a Development Permit application to permit the construction of a mixed-use development including approximately 193 dwelling units in three (3) four-storey buildings, as well as approximately 166 m² (1,788.1 ft²) of commercial space and 175.3 m² (1,886 ft²) of indoor amenity space at 9420, 9460 and 9480 Cambie Road on a site zoned “Low Rise Apartment (ZLR22) – Alexandra Neighbourhood (West Cambie)” (formerly Comprehensive Development District (CD/196)).

Applicant, Dana Westermarck, of Oris Development (Cambie) Corp. and Architect, Patrick Cotter, provided a brief presentation regarding the proposal, including:

- The proposal is intended to integrate with the proposed development to the west, across Stolberg Street (Cambie I). The driveway location and some amenities on the site interconnect with Cambie I, with the Cambie I development providing the subject development required affordable housing units and a daycare facility.

- The central courtyard organizes the proposed development site plan and includes the indoor amenity space and a small commercial unit.
- The Cambie I development includes three (3) six-storey residential buildings, while the subject site includes three (3) four-storey residential buildings which: (i) step down toward future developments to the south, and (ii) provide a substantial setback to the east.
- The elevation of road grades toward the centre of the development permits grade level access to the courtyard and to short-term surface parking and an attractive connection to the street.
- Units on the lower two (2) floors are two-storey townhouse units with direct access from the courtyard and from the garage below; the third and fourth floors feature single-storey units.
- Instead of a traditional 'horseshoe' design, the apparent mass of the proposed development has been sub-divided into three (3) building components, each with a recessed portion of the wings of the building that create key-ways that insinuate the separation of the three (3) wings.
- The architectural expression relates to, but softens the urban treatment of Cambie I with details such as wood lattice thereby: (i) accommodating scale and expression, and (ii) creating a good connection between the building and the surrounding context and streets.

Staff supported the Development Permit application and requested variances. Staff advised that the applicant presented the project to the Advisory Design Panel (ADP) on two occasions. The concept of the development was discussed the first time the applicant presented to the ADP, and the development plans were discussed the second time. The applicant had responded well to the ADP's comments and suggestions, as well as to staff's input.

In response to Panel queries, staff advised:

- The proposed scheme had satisfactorily addressed the significant urban design issues identified during the rezoning process.
- The neighbour to the east attended the November 26, 2008 Panel meeting when Cambie I was presented and a notice of the September 16, 2009 Panel meeting was sent to both of the mailing addresses provided.
- The applicant had attempted to directly contact the resident to inform her that the development application was being considered by the Panel on September 16, 2009.

In response to Panel queries, Mr. Westermarck, Mr. Cotter, and landscape architect, Mr. Mark Van der Zalm advised:

- A generous amount of private outdoor space for each residential unit is provided along Cambie Road, including patio enclosures and planters. Repetitive stairs were not brought down to the sidewalk in order to enable more planting and better screening from the busy street. It is well integrated and provides a balance to provide visual connection with a little separation and screening.
- Stolberg Street would rise up to the centre of the site, and there would be steps to transition down in other areas.
- The landscape plan includes small to mid-stature flowering trees, planted mostly in the inner courtyard with a soil volume that provides a measure of protection as well as the ability to ensure the trees reach their mature height.

- Future adjacent development could include berming along the common property boundary to define a substantial landscaped area between developments and provide depth to planters that would allow for substantial planting.
- Trees have been set back from the building to prevent conflict with the mature canopy.
- There are no existing trees on the site as it is presently occupied by a paved parking lot.

No correspondence was submitted to the Panel regarding the Development Permit application.

A comment was made that the staff report addresses sustainability-based objectives and that the applicant should be proud of the sustainability components of the project.

The Chair stated that he was pleased to see that concerns regarding the liveability of some of the internalized bedrooms were mitigated by the use of translucent, glazed panels on walls and doors framing the stairs, as well as the use of clerestory windows to bring light into the interior bedrooms.

The Panel recommends that the Permit be issued.



City of Richmond

Report to Council

To: Richmond City Council

Date: March 5, 2014

From: Robert Gonzalez, P.Eng.
Chair, Development Permit Panel

File: 01-0100-20-DPER1-
01/2014-Vol 01

Re: **Development Permit Panel Meeting held on March 13, 2013**

Staff Recommendation

That the recommendation of the Panel to authorize the issuance of:

- i. a Development Permit (DP 12-601311) for the property at 2760, 2780 and 2800 Smith Street;

be endorsed, and the Permit so issued.

Robert Gonzalez, P.Eng.
Chair, Development Permit Panel

Panel Report

The Development Permit Panel considered the following item at its meeting held on March 13, 2013.

DP 12-601311 – INTERFACE ARCHITECTURE – 2760, 2780 AND 2800 SMITH STREET
(March 13, 2013)

The Panel considered a Development Permit application to permit the construction of a two-storey industrial building on a site zoned Light Industrial (IL). The proposal includes variances for reduced setbacks to Smith Street and Douglas Street.

Architect Ken Chow, Interface Architecture Inc., and Landscape Architect, Al Tanzer, LandSpace Design, provided a brief presentation regarding the proposal, including:

- The reduced setbacks allow massing to occur along the front of the property and the future park site on Douglas Street while accommodating parking at the rear of the site.
- The development will be a two (2) tenant building, an auto repair garage and a tire centre, with a small storefront appearance emphasized along the frontage and the service bays accessed from the rear of the site.
- The proposed landscaping for the site includes: (i) a wider buffer strip along Douglas Street with three (3) Ginko trees; (ii) a Yew Hedge and seven (7) Honey Locust trees which will provide screening to the workspace on the east property line; (iii) a more urban landscaped design is proposed along Smith Street complete with grass boulevard, two (2) 7 cm trees, plantings, and sidewalk; and (iv) a new Yew Hedge is proposed along a portion of the north property line to provide screening from the parking area of the adjacent property.
- A bioswale is proposed in the landscape strip along the eastern edge of the site to dissipate parking lot runoff in order to reduce the stress on the storm system.

Discussion followed and it was noted that the reduced setback on the south side was primarily as a result of the functional needs of the development particularly observing parking requirements and vehicle access to the bays. The applicant had not considered providing waste receptacles along Smith Street.

Staff supported the Development Permit application and requested variances. Staff advised that the setback variances are consistent with the urban design objectives of an urban commercial character. The area is in transition from industrial to commercial, which is why this industrial building has been designed with a commercial flavour. He further noted that in terms of the Douglas Street setback, staff has worked carefully with the City's Parks Department to ensure the design of the building respects the proposed future park area to the south.

No correspondence was submitted to the Panel regarding the Development Permit application.

The Panel recommends that the Permit be issued.