



To: Development Permit Panel
From: Raul Allueva
Director of Development
Date: July 21, 2004
File: DP 03-254841
Re: **Application by Polygon Development 150 Limited for a Development Permit at 9260, 9280 Granville Avenue, 7040, 7060, 7080, 7100 Heather Street and the rear portions of 7031, 7051, 7071 Ash Street**

Staff Recommendation

That a Development Permit be issued which would

1. Permit 59 three-storey townhouses on a site zoned Comprehensive Development District (CD/128); and
2. Vary the provisions of the Zoning and Development Bylaw No. 5300 to permit the following:
 - a) Vary the north setback from 5.5 m to 3.8 m for Buildings 3 and 4 and 3.7 m for Buildings 5 and 6;
 - b) Vary the east setback from 5.5 m to 3.7 m for Building 10;
 - c) Vary the Sills Avenue setback from 4.57 m to 3.9 m;
 - d) Vary the Heather Street (west) setback from 6 m to 3.8 m for the bay projection of Building 7 and the cantilevered roof of Building 3; and
 - e) To permit a portion of the garbage and recycling structure to be located at 0 m from the east property line.

Raul Allueva
Director of Development

CA:blg
Att.

Staff Report

Origin

Polygon Development 150 Limited has applied to the City of Richmond for permission to develop 59 three-storey townhouses on this site which was rezoned from Single-Family Housing District, Subdivision Area F (R1/F) to "Comprehensive Development District (CD/128)" under Rezoning Application (RZ 03-240810).

Development Information

Information on the project including a comparison of the proposed development with the relevant Bylaw requirements is provided in **Attachment 1**.

Background

The site is in the process of being rezoned from single-family to Comprehensive Development District (CD/128) consistent with City objectives for creation of a high amenity, multiple-family neighbourhood in the McLennan South Sub-Area. In addition, the developer is responsible for extensive road development (land and construction), including the extension of Sills Avenue, and significant off-site frontage road works to Heather Street, Granville Avenue, and Ash Street as part of the rezoning of this site.

Development surrounding the subject site is as follows:

1. To the north, future McLennan South Park (existing single-family homes zoned Single-Family Housing District, Subdivision Area F (R1/F));
2. To the east, existing single-family homes zoned Single-Family Housing District, Subdivision Area F (R1/F);
3. To the south, new road (Sills Avenue) and proposed townhouse development by the same developer (Barrington Walk) to the south (Proposed Comprehensive Development District (CD) rezoning); and
4. To the west, existing townhouse developments zoned Comprehensive Development District (CD/126) and Comprehensive Development District (CD/128) across Heather Street.

Rezoning and Public Hearing Results

The subject site went to Public Hearing on April 19, 2004 (RZ 03-240810), and is in the process of obtaining final rezoning approval prior to issuance of this Development Permit. There are no outstanding issues identified at the Rezoning stage or Public Hearing that require follow-up at the Development Permit Stage.

Staff Comments

The revised scheme to this report has satisfactorily addressed all the significant staff comments that were identified as part of the Development Permit application review process. In addition, it meets the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the applicable Design Guidelines in Schedule 1 (9.2 General Guidelines, and 9.3 Multiple-Family Residential DP guidelines (townhouses) and Schedule 2: 2.10D McLennan South Sub-Area.

Zoning Compliance/Variations (Note: Staff Comments in bold):

The applicant is generally in compliance with the Comprehensive Development District (CD/128) Schedule of the Zoning and Development Bylaw No. 5300: except for the following variances noted below. It is noted that staff were aware of these variances during the rezoning stage, and that such would have to be dealt with at the Development Permit stage in the context of the detailed design. For reasons related to expediency, staff opted to apply an existing zone to the site (CD/128), rather than to create a new Comprehensive Development zone, and thus could deal with minor variances to the zone through the Development Permit process.

1. To vary Section 291.128.4 (Minimum Setbacks) to reduce the north setback from 5.5 m to 3.8 m for Building 3 and 4 and 3.7 m for Buildings 5 and 6.
(Staff support the proposed variance. The encroachment proposed is to unit side yards, which do not result in liveable yards or active outdoor areas; therefore, the impact to adjacent sites is minimal. The existing single-family homes north of the proposed development have generous rear yards. This, in combination with the proposed landscape screening along the common property line will be adequate to mitigate any negative impact the reduced setback might have on the single family residences. If these sites are developed in the future, additional privacy screening can be created as part of the redevelopment).
2. To vary Section 291.128.4 (Minimum Setbacks) to reduce the east setback from 5.5 m to 3.7 m for Building 10.
(Staff support the proposed variance. The requested variance is for the side yard interface for Building 10 only. The average side yard setback along the east property line exceeds the required 5.5 m. Adequate landscaping screening, including trees and fences, is being proposed along Building 10. The proposed setbacks on Building 10 are 4.5 m to the building façade and 3.7 m to the bay element. Other building areas along this interface (Building 6) are setback 7.3 m from the east property line. This “extra” setback is proposed to protect the privacy of the existing single-family home to the east, which contain existing single-family homes which are being subdivided to accommodate the assembly of the site for this project. The subdivision will require a rear yard setback variance for the single-family home at 7031 Ash Street, currently under consideration under Development Variance Application (DV 04-266419).
3. To vary Section 291.128.4 (Minimum Setbacks) to reduce the Sills Avenue setback from 4.57 m to 3.9 m for Building 9.

(Staff support the proposed variance. In general, the buildings (Building 7, 8, 9 and 10) have a setback of 6 m to the building façade and 5.4 m to the bay elements. The proposed setback variance is only applicable to Unit Types B1 in Building 9 east of the principal vehicular entrance to the project. The setback variance is proposed partially in response to the requirement for inclusion of units adaptable to accommodate wheelchairs. Unit Type B1 includes a “flex space” on the ground floor that can be converted into a bedroom with an extra large closet area that can accommodate a wheelchair lift. The floor plans of the upper stories can be modified to accommodate the vertical shaft for the wheelchair lift. One of the parking spaces of the B1 unit types will be provided outside, in tandem with the space in the one-car garage to accommodate the “flex space” design. The proposed variance will not have any negative impact as it is not located adjacent to any existing adjacent properties).

4. To vary the provision of Section 291.128.4 (Minimum Setbacks) to reduce the Heather Street (west) setback from 6 m to 3.8 m for the bay projection of Building 7 and the cantilevered roof of Building 6.

(Staff support the proposed variance. Building 7 actually fronts on to Sills Avenue. Building 7 proposes a greater than required setback (6 m instead of 4.5 required) along Sills Avenue. The west elevation of Building 7 along Heather Street is essentially a “side yard”. The design of this corner condition has been developed with sufficient landscape screening (trees, fences and low shrubs) to address the prominence of two intersections and mitigate design issues related to this encroachment. The proposed Heather Street setback to Building 7 is 4.5 m to the primary building façade and 3.8 m to the bay projection to improve articulation of the building. The other building (Building 6), which fronts onto Heather Street, provides the required 6 m setback to the face of the building. Only the cantilevered roof over the entrance stairs is setback at 3.8 m to the property line to provide weather protection over the entry).

5. To permit a portion of the garbage and recycling structure to be located at 0 m from the east property line.

(Staff support the proposed variance. The placement of a well-screened and fully enclosed garbage/recycling enclosure within the “curve” of the internal driveway allows the garbage/recycling area to be located close to the village green without encroaching onto the open space. The driveway “curve” results in an awkward site layout, and thus this location provides the only place on the site that is of sufficient size to accommodate the architecturally designed enclosure. The proposed landscaping including 6 ft. high fence, a cover, and trees to mitigate the potential impact on the adjacent site to the east. The Advisory Design Panel had no objection to the proposed location).

Advisory Design Panel Comments

The proposed development was presented to the Advisory Design Panel on April 7, 2004. The Panel supported the development subject to having the applicant work with staff to address minor design concerns regarding the relationship between the townhouses and the proposed village green, articulation of the porch elements and general safety issues with respect to sharing the amenity with the proposed development south of the site. A copy of the Advisory Design Panel Minutes is attached for reference (**Attachment 2**).

The applicant is unable to relocate the central buildings around the Village Green to eliminate an internal roadway because of turning radius required for fire trucks. The revised submission, in consideration of the above-noted technical requirement, has successfully addressed the design comments from the Advisory Design Panel to the satisfaction of staff.

Analysis

Criteria and policies for the issuance of Development Permits appear in Schedule 2 2.10D McLennan South Sub-Area of Bylaw 7100, the Official Community Plan.

Adjacency

- While several setback variances are proposed, many of these are side yard conditions with no liveability impacts, and the interface with the existing adjacent single-family homes have been satisfactorily addressed by providing a larger setback to other buildings, thus creating greater separations overall, or incorporating landscape screening to protect visual privacy.

Urban Design and Site Planning

- The proposed height, massing and orientation of the buildings on this site are generally in compliance with the rezoning submission (RZ 03-240810). The proposed three-storey over parking townhouse typology generally fits with the building forms emerging in this part of the McLennan South neighbourhood.
- The applicant has proposed an alternate floor layout (Units B1) using universal accessible principles (**Attachment 3**) that could be converted to accommodate wheelchair in accordance with Section 9.3.15 (Equitable Access) of the General Development Permit Design Guidelines.

Architectural Form and Character

- The proposed architectural form and character of the project include architectural detailing that animates the building facades. The architectural character proposed will compliment the emerging predominately “craftsman style” architecture in the McLennan South Neighbourhood.
- The muted colour scheme and building materials including asphalt shingle roof, cedar shingles in the gable ends, board and batten style hardie plank and vinyl siding and wood trims are compatible with the neighbouring townhouse projects.

Landscaping and Open Space Design

- The project is designed around the “village green” which consolidates the common open space and include amenities such as children’s play structure and sitting. The proposal also incorporates the retention of an existing Deodara Cedar (*Cedrus deodara*) in the village green.
- Three (3) other trees including an English Oak along Granville Street, a Cedar and a Pine tree adjacent to the north property line south of the two (2) existing single-family lots at the southeast corner of Heather Street and Granville Avenue are also being retained and incorporated into the proposed landscaping.
- In general, the landscaping is well considered and includes a variety of native and ornamental trees and plant species that will contribute to the streetscape and internal landscaping of the site. The private and public outdoor areas are well defined and privacy issues have been successfully addressed.

- An enclosed garbage and recycling shed in the architectural style of the proposed buildings has been proposed to screen the garbage and recycling from the adjacent neighbours to the east.
- An attractively designed and centrally located mail kiosk close to the village green promotes casual social interaction amongst neighbours and provides natural surveillance opportunities to ensure security for the mail.
- Indoor amenity is provided in a shared clubhouse on the site of the proposed townhouse development south of Sill Avenue (Barrington Walk) by the same applicant, currently under Rezoning Application (RZ 03- 254676) and Development Permit Application (DP 04-270369). An Agreement ensuring shared use of the proposed indoor amenity building to be constructed on the parcel south of Sills Avenue by future project residents living both north and south of the Sills Avenue alignment is required as a condition of rezoning of this site.

Conclusions

The proposed project is generally of high design quality and the revised scheme has satisfactorily addressed staff and Advisory Design Panel comments. The project, when completed, will enhance the McLennan South neighbourhood. Staff recommend approval of this Development Permit Application



Cecilia Achiam, MCIP
Urban Design Planner
(Local 4122)

CA:blg

Attachment 1: Project Data Summary

Attachment 2: Advisory Design Panel Comments

Attachment 3: Unit B1-Wheelchair Accessible Adaptations

1. Prior to forwarding this application to Council:

- Adoption of rezoning by City Council.
- A Letter of Credit for \$174,370 landscaping will be required.

2. Prior to issuance of the Building Permit:

- The applicant is responsible for ensuring that protective fences are installed around the existing trees to be retained, and submitting evidence that a qualified professional has been retained to supervise work around the trees during construction, including a post-construction report on the condition of the trees.



City of Richmond
6911 No. 3 Road
Richmond, BC V6Y 2C1

**Development Application
Data Sheet**
Development Applications Department

Attachment 1

Address: 9260, 9280 Granville Avenue, 7040, 7060, 7080, 7100 Heather Street and the Rear Portions of 7031, 7051, 7071 Ash Street

Applicant: POLYGON DEVELOPMENT 150 LTD. Owner: POLYGON DEVELOPMENT (43) LTD.

Planning Area(s): 2.10 McLennan South

	Existing	Proposed
Site Size:	12,137 m ² (130,648 sq. ft.)	10,747 m ² (115,686 sq. ft.)
Land Uses	single family homes	59 three-storey townhouses
OCP Designation	2.10 D McLennan South	
702 Policy Designation	N/A	
Zoning	Single Family F (R1/F)	CD/128
Number of Units		59

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	0.80	0.75	
Covered Area:	.030	.015	
Lot Coverage – Building:	40%	35%	
Density (unit/acre)		22.2	
Density (units/hectare)		54.9	
Setback – Granville St (North)	6 m	6 m	Variance of 1.8 m
–Internal (North)	5.5 m	3.7 m	
Setback – East:	5.5 m	3.7 m	Variance of 1.8 m
Setback – Sills Ave (South):	4.57 m	3.9 m	Variance of .67 m
Setback – Heather St. (West):	6 m	3.8 m	Variance of 2.2 m
Height (m):	12 m	10.5 m	
Lot Size:		10,747 m ²	
Off-street Parking Spaces – Regular/Visitor:	89/12	118/12	
Off-street Parking Spaces – Accessible:	2	2	
Off-street Parking Spaces – Total:	101	130	
Amenity Space – Indoor:	100 m ²	100 m ² (shared off-site)	

Amenity Space – Outdoor:	354 m ²	704 m ²	
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Other: _____

PARTIAL MINUTES FROM THE DESIGN PANEL MEETING

Wednesday April 7th, 2004 – 4:00 p.m.

RICHMOND CITY HALL

4. 2004-12

Multifamily/Residential

Polygon Development.

Kevin Shoemaker, Vice President

Scott Baldwin, Vice President

Rob Ciccozzi, Architect

Mary Chan Yip, Landscape Architect

Ash Street, Heather Street, Granville Avenue

(Formal)

Ms. Achiam, Planner, briefly reviewed this multifamily-residential project. (a copy of her review is attached as Schedule 4 and forms a part of these minutes). She stated that staff supported this project and noted that its "seaside type" style would provide architectural relief to this neighbourhood. Staff are generally supportive of the yard setback variances requested except for the easterly setback adjacent to Building 5 because of the proximity of the existing single-family house to the east.

With the aid of a model and presentation material, Mr. Shoemaker, advised that:

- ❖ Polygon will be completing roadworks on Heather Street, and Granville Street despite the fact that the site does not extend to the street corner ;
- ❖ the seaside theme of the project would be enhanced with rich wood, and shingle style roofs and would be adapted for the west coast weather;
- ❖ lighted stone/wood monuments would be placed in strategic areas of the site; and
- ❖ an indoor amenity area would be shared with the adjoining development across Sills Road still under rezoning application.

Mr. Ciccozzi, Architect advised that:

- ❖ the buildings would have pitch roof elements, brackets, and bay windows will be brought down to engage the street to articulate building facades;
- ❖ split level type stairs would be used for the units [to provide gradual transition from the street grade];
- ❖ vinyl siding and earth coloured material would be used on the exterior;

Minutes of Design Panel Meeting
Wednesday April 7th, 2004
Meeting Room 1.003, 1st Floor, Richmond City Hall

ITEM	MINUTE	SUBJECT	FILE
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- ❖ fencing and trees and soft landscape would define the amenity space;
- ❖ design elements would be repeated in other areas.

Ms. Mary Chan Yip – Landscape Architect advised that:

- ❖ some existing trees that can be retained will be retained to enhance the landscape and the “common green” provides a significant entry feature to the project as well as provide outdoor amenity area
- ❖
- ❖ the amenity space would have a social seating area;
- ❖ a trellis with a seating wall would provide screened amenity space;
- ❖ a Deodara Cedar would be retained in the amenity space area;
- ❖ yards were defined by shrub planting and fencing;
- ❖ the internal streetscape would be lined with columnar trees;
- ❖ 150 extra trees were being added to the existing landscape; and
- ❖ the landscape palette would be a wide variety of seasonal plants;

The panel then proffered the following comments about the project that:

- ❖ the landscape was well done;
- ❖ the units were small;
- ❖ the village green is generally successful except for the interruption along the eastern edge by the visitors’ parking. In addition a play area should be incorporated;
- ❖ the applicant should explore fronting the townhouses [in Building 5] directly onto the common green and eliminate the internal road [between the “green” and Building 5]. This way, it will free up more area to provide a better separation [between Building 6 and the adjacent neighbour] to the east and to allow a more conventional “front yard” interface with the “green” on 3 sides.
- ❖ more paving was needed at the intersection where the road makes a transition;
- ❖ there were safety issue concerns with regard to accessing the shared indoor amenity space across Sills Street; The Panel would like City staff to be more critical in how amenity is shared between projects in the future. For this project, the applicant should incorporate traffic safety measures to promote safe crossing.
- ❖ there did not seem to be any accessible units in this large project;
- ❖ this was a well articulated scheme with a nice flow;
- ❖
- ❖ visitor parking should be at road ends
- ❖ the area under the stairs may be used for storage and as a result look untidy;
- ❖ all units facing village green could be flipped to face the road and back the green;

Minutes of Design Panel Meeting
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ITEM	MINUTE	SUBJECT	FILE
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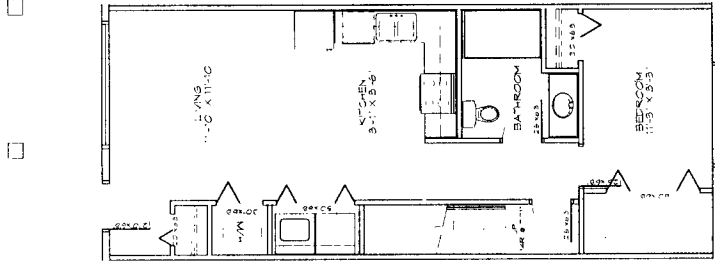
- ❖ the development needed to have visible signs and clear numbering for safety access purposes, and the mail kiosk should also be signed; and
- ❖ porch areas were tight and entry through garage may be a problem.

In response to these comments Mr. Shoemaker advised that:

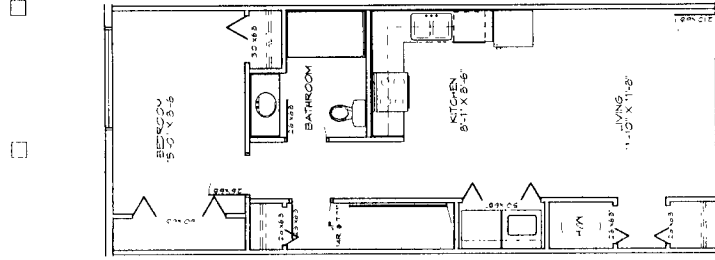
- ❖ one unit in the development could be converted and made accessible and parking will be provide on the apron;
- ❖ he would be willing to revisit the visitor parking areas;
- ❖ the size of the units was a marketing decision and was contingent on the land price and density needed to make the development work;
- ❖ staircase storage would be regulated by the strata corporation;
- ❖ the units had a generous entry area on the porch;
- ❖ a man door would provide entry into the garage for easy storage; and
- ❖ there was no sidewalk areas from the street to the units however, a sidewalk could be provide between units 9 & 10 and 7 & 8 with decorative pavers to tie into these.

The applicant thanked the Panel and advised that he will incorporate their comments into the project.

The decision of the Panel, 6-1, was that the project should go forward. Applicant is to work with staff to address the design revisions.



2 ACCESSIBLE UNIT TYPE B1
Scale: 1/8" = 1'-0"



1 ACCESSIBLE UNIT TYPE B
Scale: 1/8" = 1'-0"

RCGA

Robert Ciccozzi Architecture Inc.

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Vancouver, B.C.
Canada
V6Z 1Y7
Tel: (604) 687-4741
Fax: (604) 687-4641
admin@cccozziphitecture.com
www.cccozziphitecture.com



No. DP 03-254841

To the Holder: POLYGON DEVELOPMENT 150 LIMITED

Property Address: 9260, 9280 GRANVILLE AVENUE,
7040, 7060, 7080, 7100 HEATHER STREET AND
REAR PORTIONS OF 7031,7051,7071 ASH STREET

Address: C/O KEVIN SHOEMAKER
#900 - 1333 WEST BROADWAY
VANCOUVER, BC V6H 4C2

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning and Development Bylaw No. 5300" is hereby varied or supplemented as follows:
 - a) The dimension and siting of buildings and structures on the land shall be generally in accordance with Plan #1 attached hereto.
 - b) The siting and design of off-street parking and loading facilities shall be generally in accordance with Plan #1 attached hereto.
 - c) Landscaping and screening shall be provided around the different uses generally in accordance with the standards shown on Plan #2a-f attached hereto.
 - d) Roads and parking areas shall be paved in accordance with the standards shown on Plan #1 and 2a attached hereto.
 - e) Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
 - f) Subject to Section 692 of the Local Government Act, R.S.B.C., the building shall be constructed generally in accordance with Plans #3 to #12 attached hereto.
4. As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the landscaping security is that should the Holder fail to carry out the landscaping including the public art component of the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder, or should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.

To the Holder: POLYGON DEVELOPMENT 150 LIMITED

Property Address: 9260, 9280 GRANVILLE AVENUE,
7040, 7060, 7080, 7100 HEATHER STREET AND
REAR PORTIONS OF 7031,7051,7071 ASH STREET

Address: C/O KEVIN SHOEMAKER
#900 - 1333 WEST BROADWAY
VANCOUVER, BC V6H 4C2

4. There is filed accordingly:
An Irrevocable Letter of Credit for landscaping in the amount of \$174,370.
5. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full. This is not a Building Permit.

AUTHORIZING RESOLUTION NO. ISSUED BY THE COUNCIL THE
DAY OF , .

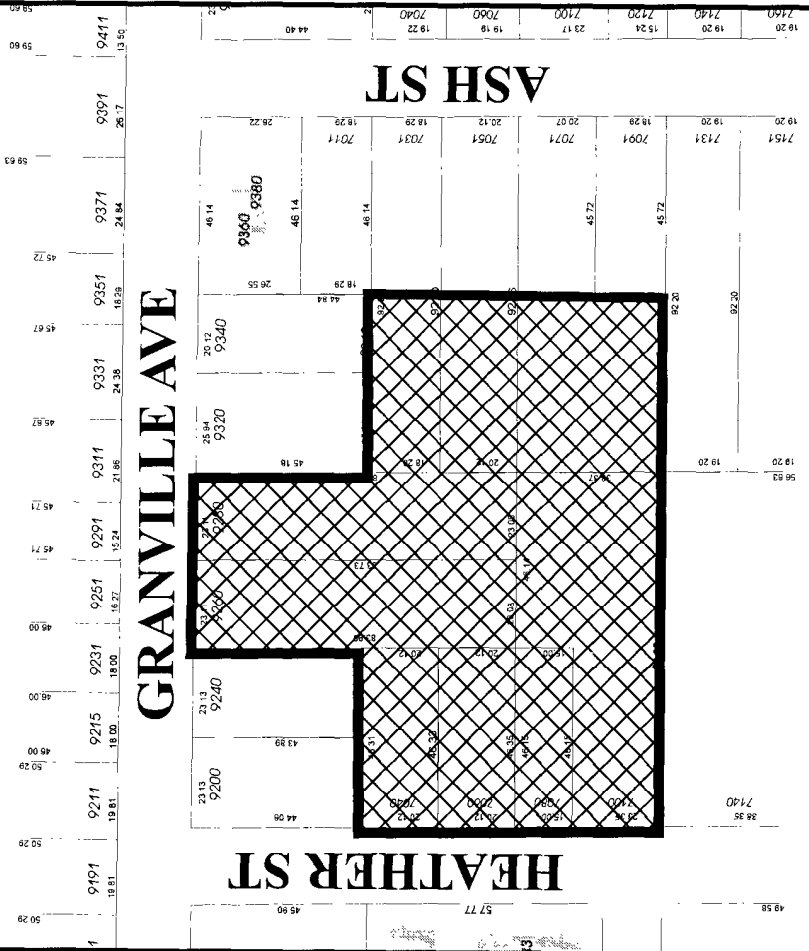
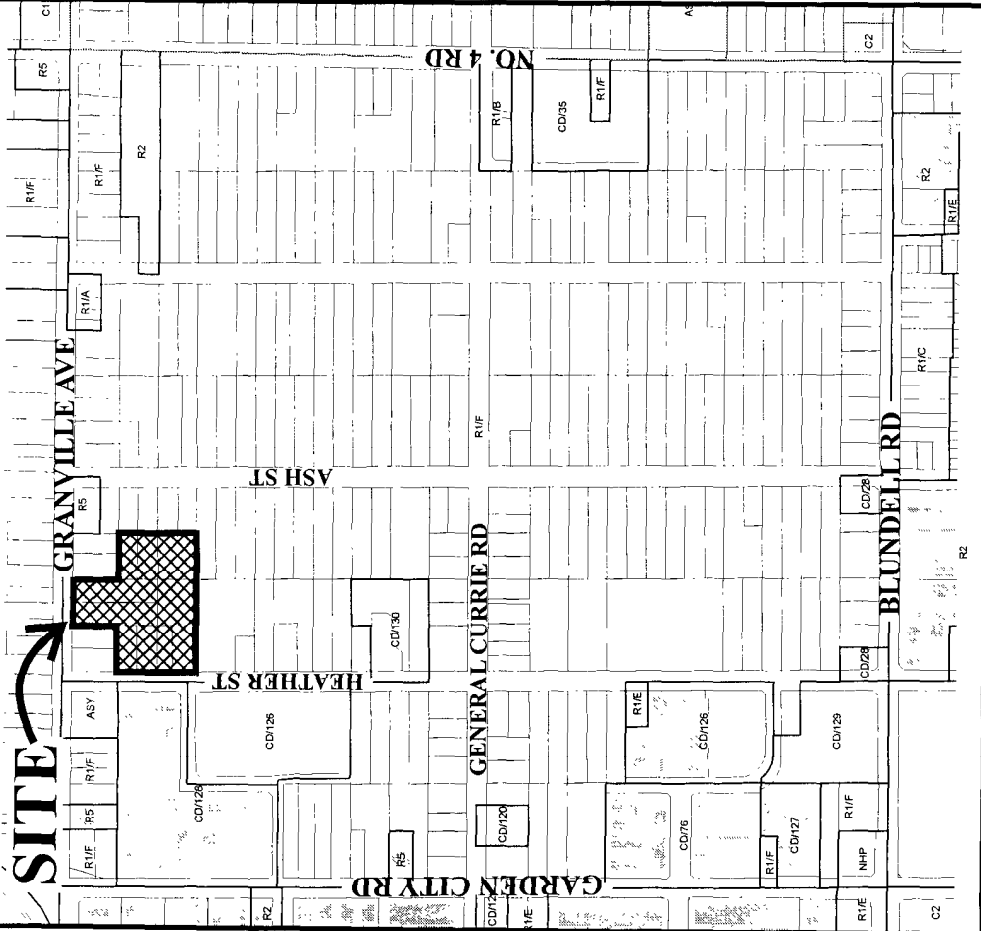
DELIVERED THIS DAY OF , .

MAYOR



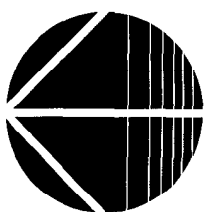
City of Richmond

SITE →

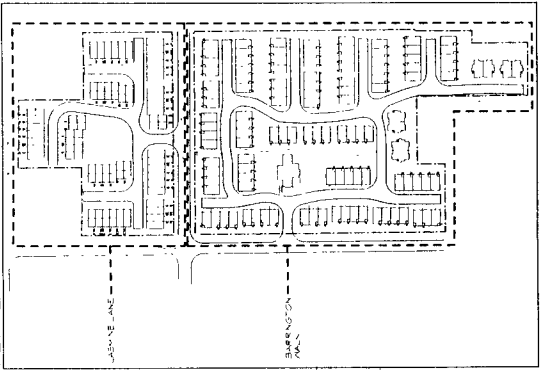


DP 03-254841 SCHEDULE "A"

Original Date: 01/19/04
 Revision Date: 06/24/04
 Note: Dimensions are in METRES

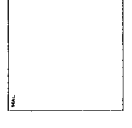


KEY PLAN



NO.	DATE	DESCRIPTION

ISSUE
 2004.07.14 10:00 AM
 2004.07.14 10:00 AM
 2004.07.14 10:00 AM



RCA
 Robert Ciccuzzi Architects Inc.
 1806 Pine Street
 Vancouver BC
 V6J 3C9
 Tel: (604) 687-4641
 Fax: (604) 687-4641
 E-mail: admin@rcaarchitecture.com

JASMINE LANE
 TOWNHOMES
 RICHMOND, B.C.

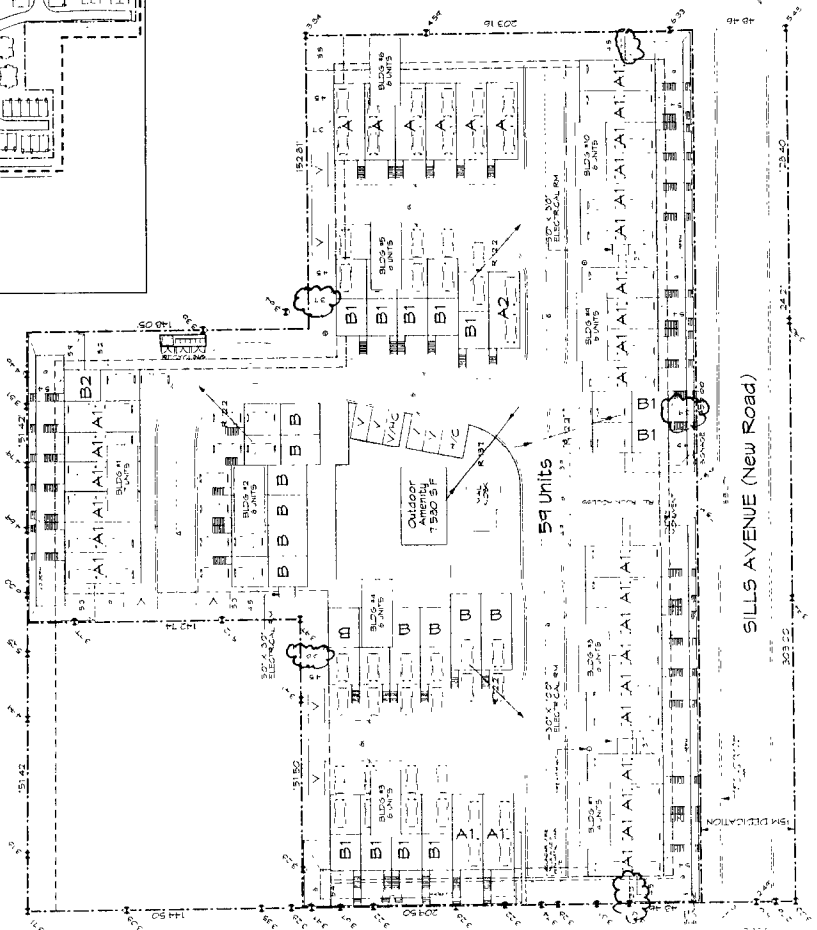
DATE	2004.07.14
SCALE	1:1000
PROJECT	JAS LANE
SHEET NO.	AO

RELEASED
 SHEET NO.
 AO



NORTH

GRANVILLE STREET



SILLS AVENUE (New Road)

SILLS AVENUE

JUL 14 2004
 DP 03254841
 #1

NAME / DESCRIPTION	REVISIONS	PLAN NO.	AREA
L-1 Type A - 7' x 10' Dg	3	1	381 sq ft
L-1 Type A - 7' x 10' Dg	3	2	402 sq ft
L-1 Type A1 - 7' x 10' Dg	3	29	381 sq ft
L-1 Type A2 - 7' x 10' Dg	3	5	402 sq ft
L-1 Type B1 - 7' x 10' Dg	3	3	486 sq ft
L-1 Type B2 - 7' x 10' Dg	3	3	160 sq ft
L-1 Type B3 - 7' x 10' Dg	3	4	209 sq ft
L-1 Type B4 - 7' x 10' Dg	3	3	223 sq ft
L-1 Type B5 - 7' x 10' Dg	3	5	166 sq ft
L-1 Type B6 - 7' x 10' Dg	3	5	174 sq ft
TOTAL UNITS	39		3118.50 sq ft
FLOOR AREA RATIO CALCULATIONS			
Allowed Floor Area	15,000 sq ft	x 30 F.A.R.	45,000 sq ft
Proposed Floor Area	31,185 sq ft		31,185 sq ft
F.A.R. Proposed			100%
Covers Area Calculate One Proposed Covered Area	40,071	40%	16,028 sq ft
75% Site Coverage Allowed	40,071	0.35 (35%)	14,025 sq ft
75% Site Coverage Proposed	40,071	0.35 (35%)	14,025 sq ft
SEPARATIONS			
Block 100 Area	444.8 sq ft		
Block 100 Area	42.5 sq ft		
Percentage of Protected Area Allowed	4%		
Percentage of Protected Area Proposed	4.2 (12.7%)		
L-1 Type B1 - 7' x 10' Dg			
L-1 Type B2 - 7' x 10' Dg			
OPENING SPACE			
Outdoor 6 sq ft / 24.5 sq ft / per unit / 24.5	59 units	x 64.5 sq ft	3,806 sq ft
Outdoor Amenity Proposed			1,500 sq ft
Indoor 40 units / 100 sq ft / 100 sq ft			1,275 sq ft
Bar/BBQ / 100 sq ft / 100 sq ft			2,550 sq ft
PARKING			
30' x 10' stalls	115		30.5 sq ft
30' x 10' stalls	102		27.5 sq ft
Proposed / 10' x 10' stalls	102		27.5 sq ft
10' x 10' stalls	102		27.5 sq ft
10' x 10' stalls	102		27.5 sq ft
Car Street Parking	59 units	x 59.2 sq ft	3,493 sq ft
59' x 10' / 100 sq ft / per unit	59 units	x 46.8 sq ft	2,767 sq ft
59' x 10' / 100 sq ft / per unit	59 units	x 240 sq ft	14,172 sq ft
TOTAL			22,251 sq ft

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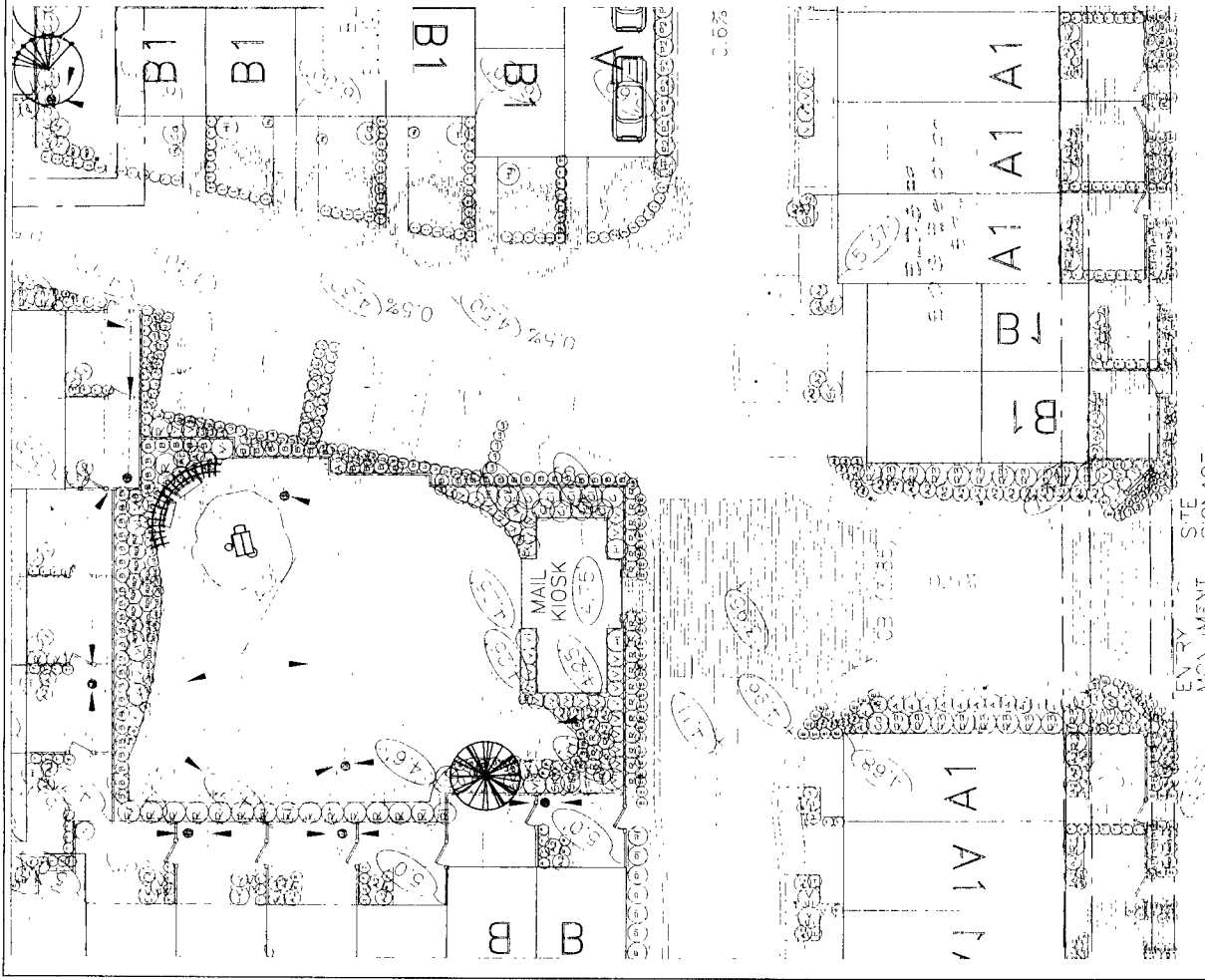
DMG
 landscape architects
 1150 Monument Ave. Suite 202
 Raleigh, NC 27601
 C 100 4145 3466 Ex 37
 F 100 4145 3466
 P 919 847 3757 FAX 919 847 3757

PROJECT
JASMINE LANE
SOUTH MELENWAT TOWNHOME
 RICHMOND, S.C.

DRAWING TITLE	
DATE	NO. USE
SCALE	DRAWING NUMBER
DRAWN	BY
CHECKED	DATE

SHRUB PLAN ENLARGEMENT

L2
 OF



PLANT SYMBOL	COMMON NAME	DWG. NO.	JOB NUMBER	DATE	REVISION
1	10' 0" NANA PINK	10	100-100	10/10/00	
2	6' 0" NANA PINK	6	100-100	10/10/00	
3	6' 0" NANA PINK	6	100-100	10/10/00	
4	6' 0" NANA PINK	6	100-100	10/10/00	
5	6' 0" NANA PINK	6	100-100	10/10/00	
6	6' 0" NANA PINK	6	100-100	10/10/00	
7	6' 0" NANA PINK	6	100-100	10/10/00	
8	6' 0" NANA PINK	6	100-100	10/10/00	
9	6' 0" NANA PINK	6	100-100	10/10/00	
10	6' 0" NANA PINK	6	100-100	10/10/00	
11	6' 0" NANA PINK	6	100-100	10/10/00	
12	6' 0" NANA PINK	6	100-100	10/10/00	
13	6' 0" NANA PINK	6	100-100	10/10/00	
14	6' 0" NANA PINK	6	100-100	10/10/00	
15	6' 0" NANA PINK	6	100-100	10/10/00	
16	6' 0" NANA PINK	6	100-100	10/10/00	
17	6' 0" NANA PINK	6	100-100	10/10/00	
18	6' 0" NANA PINK	6	100-100	10/10/00	
19	6' 0" NANA PINK	6	100-100	10/10/00	
20	6' 0" NANA PINK	6	100-100	10/10/00	

JUL 14 2004

DP [Handwritten notes]

2b



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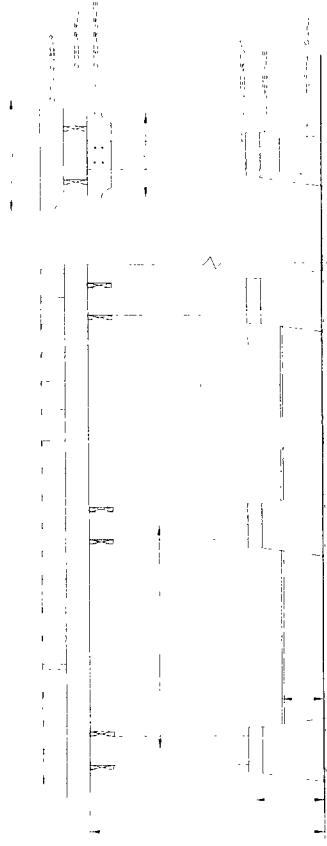
NO.	DATE	REVISION/DESCRIPTION

DMG
landscape architects
A Division of
J.D. McNeil & Associates Ltd.
2500 West 10th Avenue, Suite 101
Edmonton, Alberta T6E 4P5
Canada
C: 780.437.4466
F: 780.437.4472

**JASMINNE LANE
SOUTH McLENNAN TOWNHOMES**
RICHMOND, B.C.

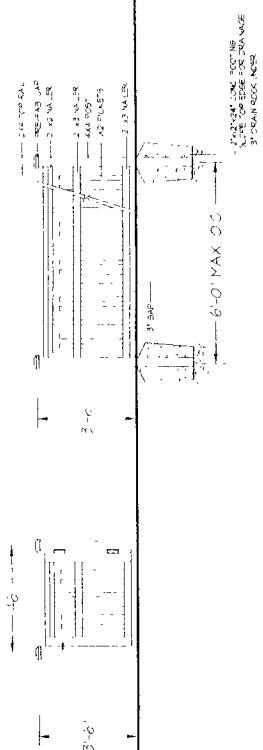
LANDSCAPE
DETAILS AND SECTION
DATE: OCT 27 DRAWING NUMBER:
SCALE: AS SHOWN
DESIGNER:
CHECKER:
DATE: OCT 27
PROJECT NUMBER: 03.197

L3
OF 4



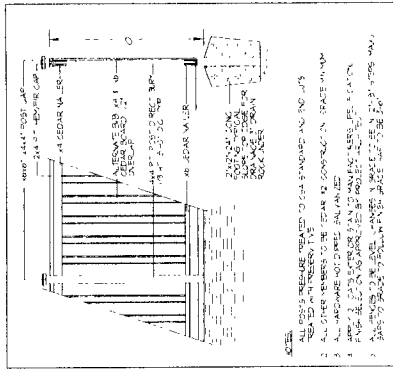
TRELLIS WITH CONCRETE BASE

SCALE: 1/8" = 1'-0"



PICKET FENCE AND GATE

SCALE: 1/8" = 1'-0"

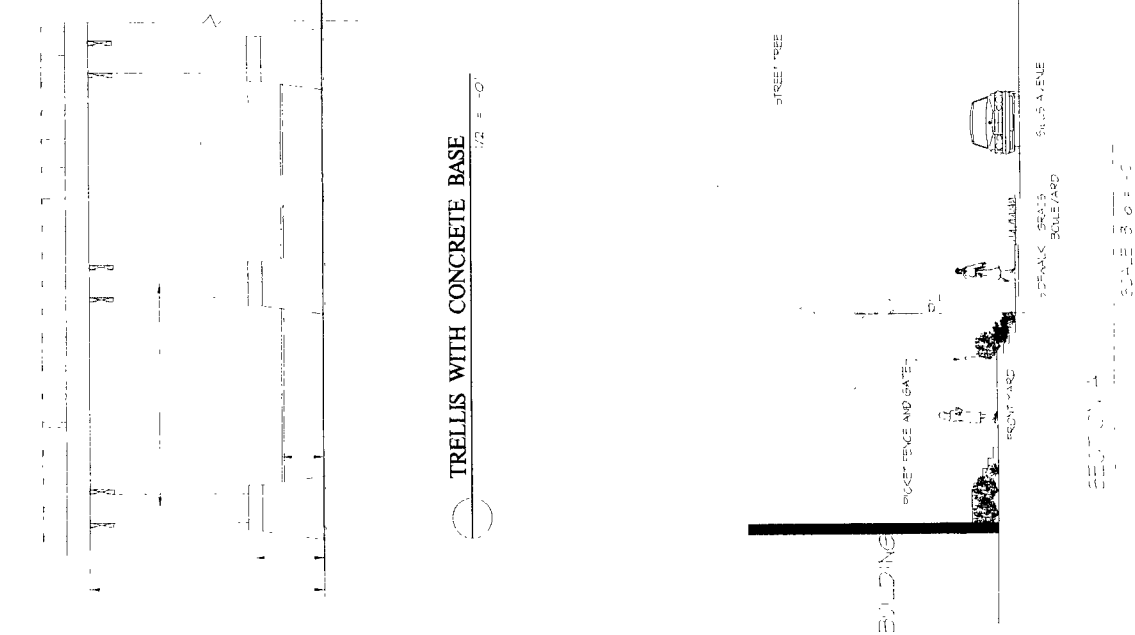


6 FT. HEIGHT WOOD FENCE

- NOTES:
- 1. ALL PICKET REQUIREMENTS TO BE VERIFIED AND APPROVED BY THE CLIENT PRIOR TO COMMENCEMENT OF WORK.
 - 2. ALL HARDWARE MUST BE GALVANIZED.
 - 3. PICKETS TO BE 4" WIDE X 8" HIGH X 1/4" THICK.
 - 4. SPACING BETWEEN PICKETS TO BE 8" ON CENTER.
 - 5. PICKETS TO BE 1/4" FLATTENED AT TOP TO FIT BETWEEN RAILS.

JUL 14 2004
DP 0325484

20

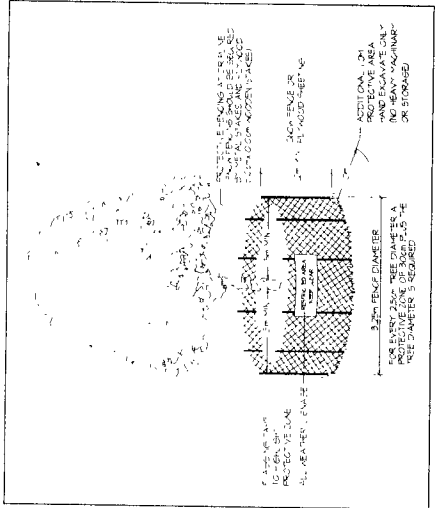


SCALE: 3/16" = 1'-0"

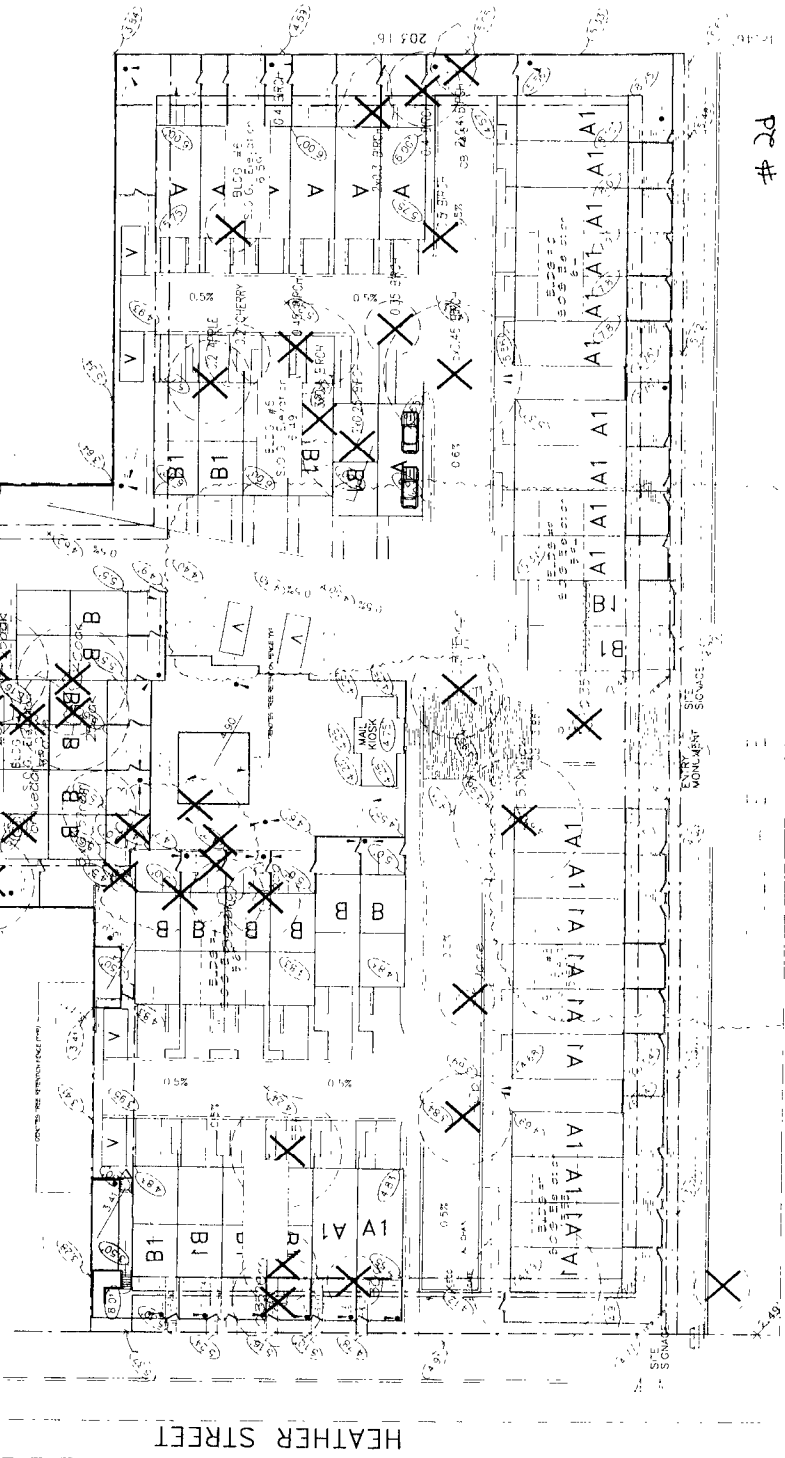
GRANVILLE STREET



JUL 14 2004
 P 03254841



TREE PROTECTION



AVENUE

20



DMG landscape architects
 10 ALICE ST. RICHMOND B.C.
 V6X 1S1 CANADA
 TEL: 604-271-8888
 FAX: 604-271-8889

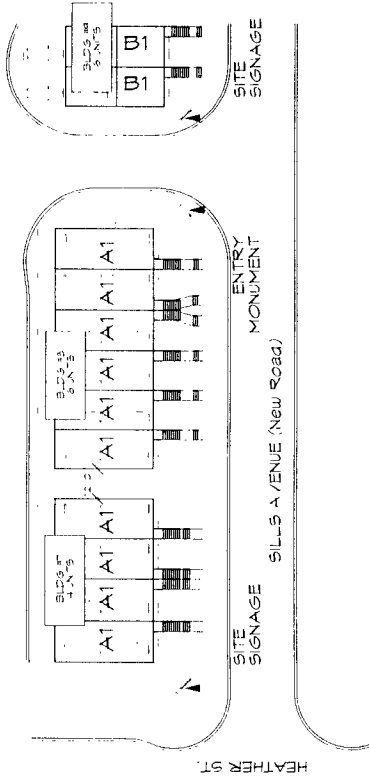
PROJECT
 JASMINE LANE
 SOUTH McLENNAN TOWNHC
 RICHMOND B.C.

DRAWING TITLE
 TREE
 RETENTION PLAN

DATE	SCALE	DRAWING NUMBER
2004.07.14	1:1	L4
DRAWN	CHECKED	DATE
DATE	DRAWING NUMBER	
	L4	

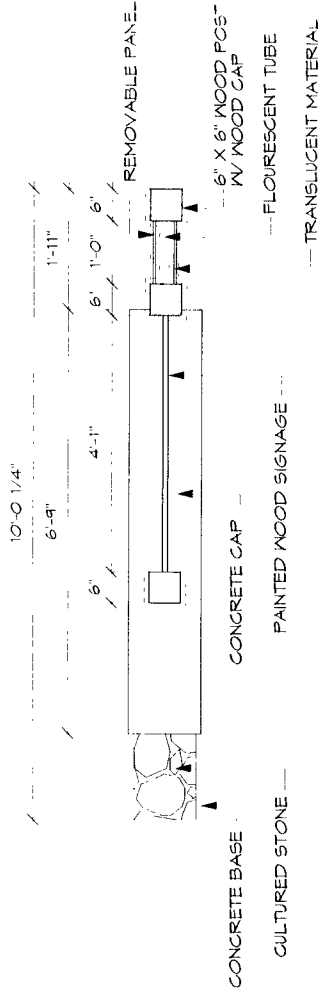
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DATE
 DRAWING NUMBER
 L4



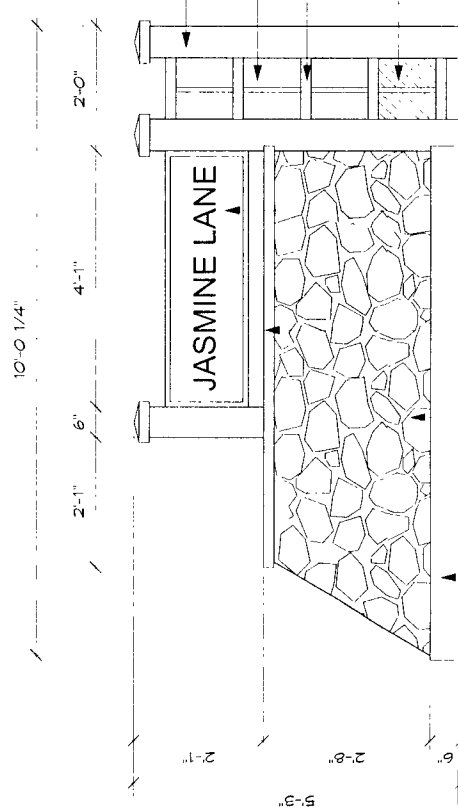
1 LOCATION PLAN

Scale: 1" = 50'



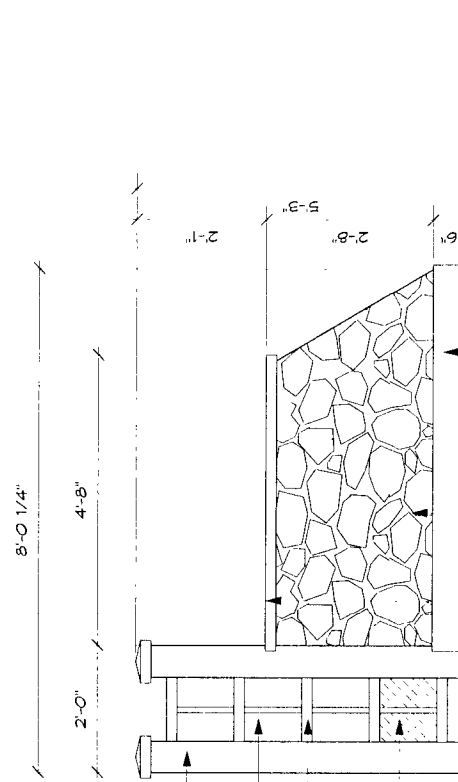
2 PROPOSED SITE SIGNAGE - PLAN

Scale: 1/2" = 1'-0"



3 PROPOSED SITE SIGNAGE - ELEVATION

Scale: 1/2" = 1'-0"



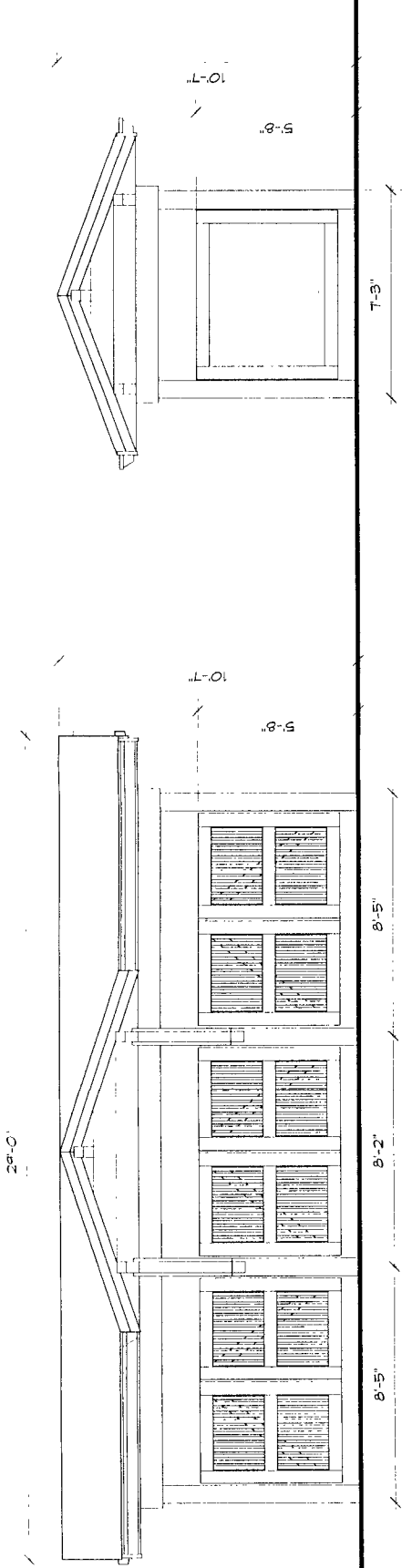
4 PROPOSED ENTRY MONUMENT - ELEVATION

Scale: 1/2" = 1'-0"

BFA
 Robert Trezza Architects
 100 Pine Street
 Suite 200
 San Francisco, CA 94111
 Tel: 415.398.1044
 Fax: 415.398.1044
 www.bfa.com

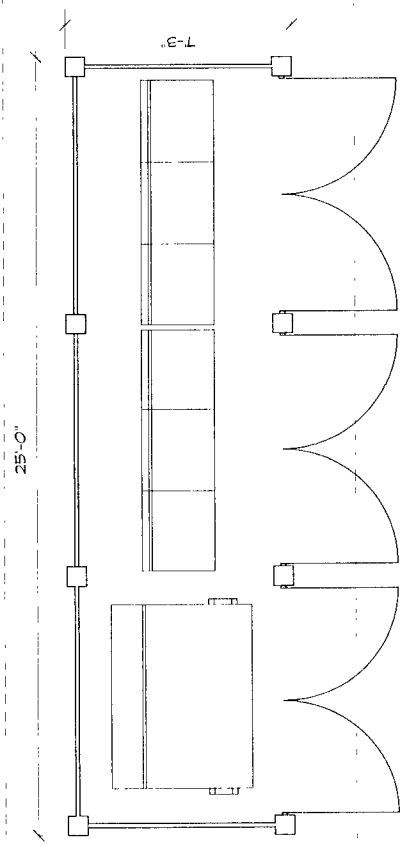
JUL 14 2004
DP 03254841

H 22



1 PROPOSED RECYCLING ENCLOSURE - FRONT ELEVATION
Scale: 1/4" = 1'-0"

2 PROPOSED RECYCLING ENCLOSURE - SIDE ELEVATION
Scale: 1/4" = 1'-0"



3 PROPOSED RECYCLING ENCLOSURE - PLAN
Scale: 1/4" = 1'-0"

JUL 14 2004

DP 03254841

RCA

Robert Ciccozzi Architecture Inc.

1800 Pine Street
Vancouver, B.C.
Canada
V6J 3C9
Tel: (604) 687-4741
Fax: (604) 687-4641
admin@rcaarchitectures.com
www.rcaarchitectures.com

2f

NO.	DATE	DESCRIPTION

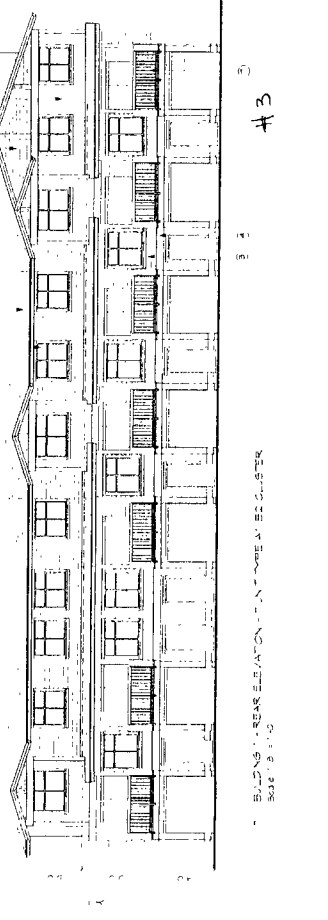
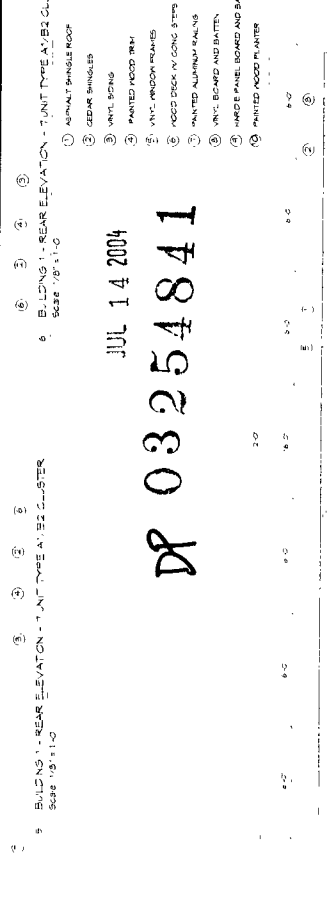
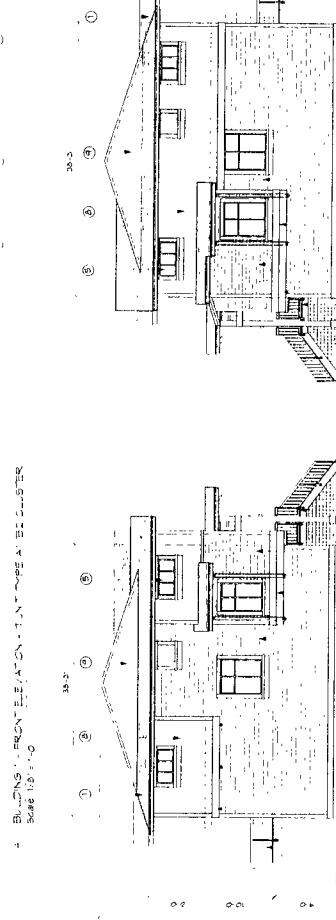
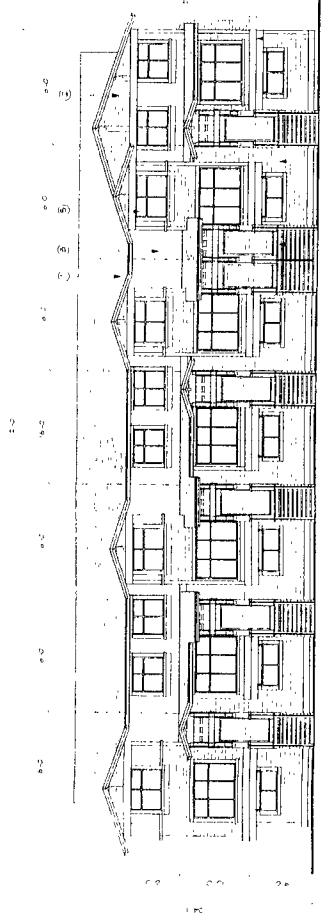
REVISIONS

DATE: 12/22/03
 12/22/03: REVISED FOR THE "CONCEPT" PLAN
 12/22/03: REVISED FOR THE "CONCEPT" PLAN
 12/22/03: REVISED FOR THE "CONCEPT" PLAN

RCA
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 1806 Pine Street
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 Fax: (604) 687-4841
 E-mail: admin@rcaarchitecture.com

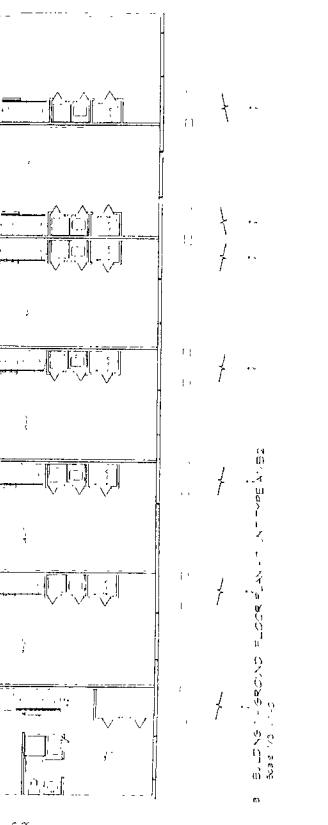
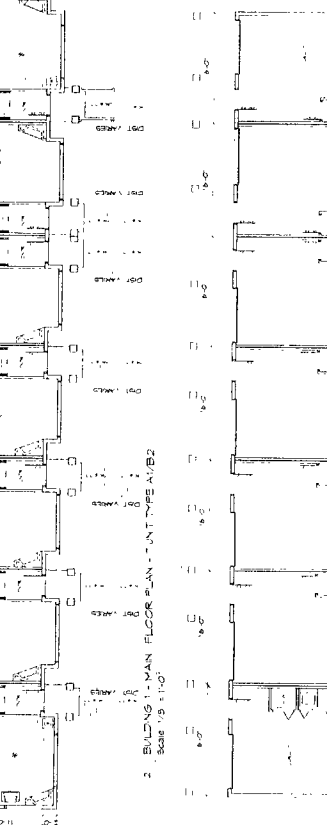
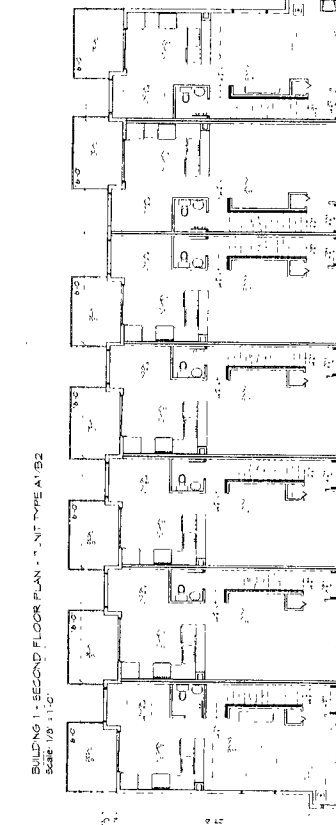
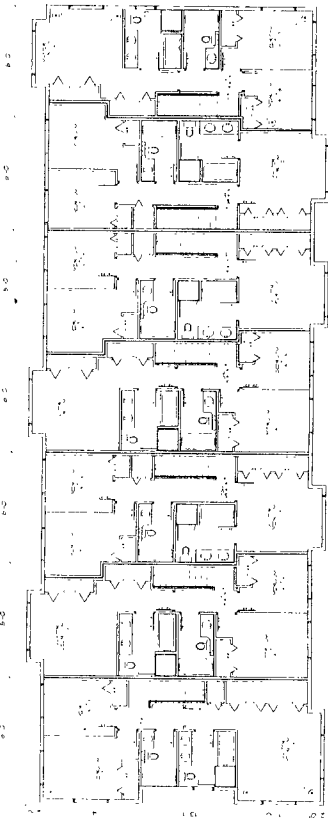
**JASMINE LANE
 TOWNHOMES**
 RICHMOND, B.C.

DATE	12/22/03
PROJECT	JASMINE LANE TOWNHOMES
SCALE	1/4" = 1'-0"
DATE	12/22/03
PROJECT	JASMINE LANE TOWNHOMES
SCALE	1/4" = 1'-0"
DATE	12/22/03
PROJECT	JASMINE LANE TOWNHOMES
SCALE	1/4" = 1'-0"
DATE	12/22/03
PROJECT	JASMINE LANE TOWNHOMES
SCALE	1/4" = 1'-0"



JUL 14 2004
 DP 03254841

- 1 ASPHALT SHINGLE ROOF
- 2 GEDAR BRICKS
- 3 VINYL SIDING
- 4 PAINTED WOOD TRIM
- 5 VINYL WINDOW FRAMES
- 6 WOOD DECK ON CONG. STPS
- 7 PAINTED ALUMINUM SINKS
- 8 VINYL BOARD AND BATTEN
- 9 HARDY PANE, BOARD AND BATTEN
- 10 PAINTED WOOD FLUTE



A1

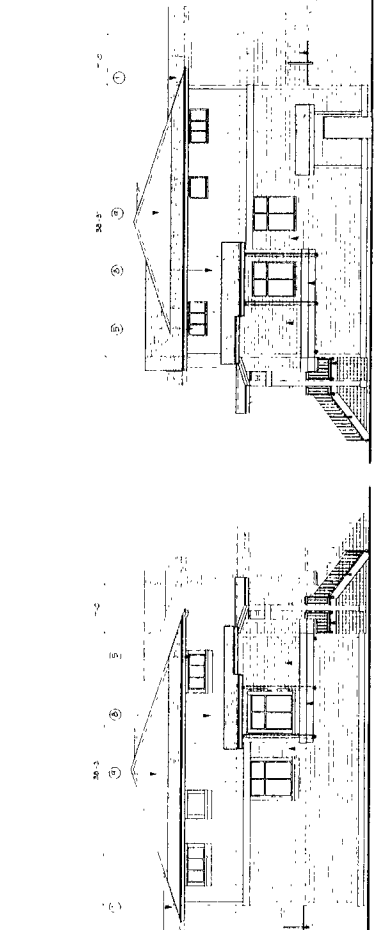
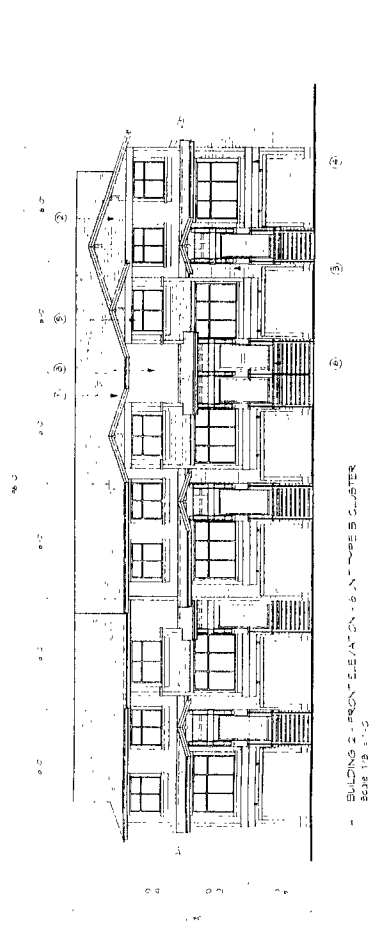
43

REVISIONS	DATE	DESCRIPTION

DATE: 11/14/04
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO: [Number]

RCA
 Robert Cecezi Architecture Inc.
 1606 Pine Street
 Vancouver, B.C.
 Canada
 V6J 3C9
 Tel: (604) 687-1211
 Fax: (604) 687-1611
 E-mail: admin@ceceziarchitecture.com

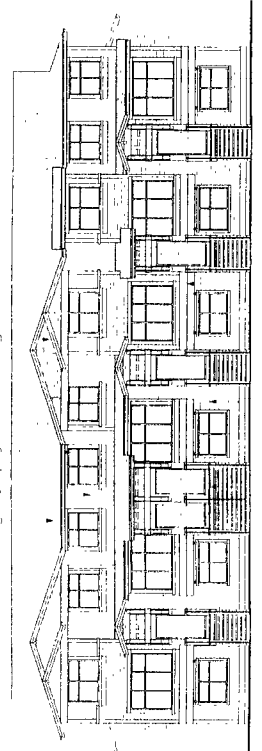
PROJECT	
JASMINE LANE TOWNHOMES	
RICHMOND, B.C.	
DATE	11/14/04
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BUILDING 2	
PLANS AND ELEVATIONS	
SCALE	1/8" = 1'-0"
SHEET # A2	



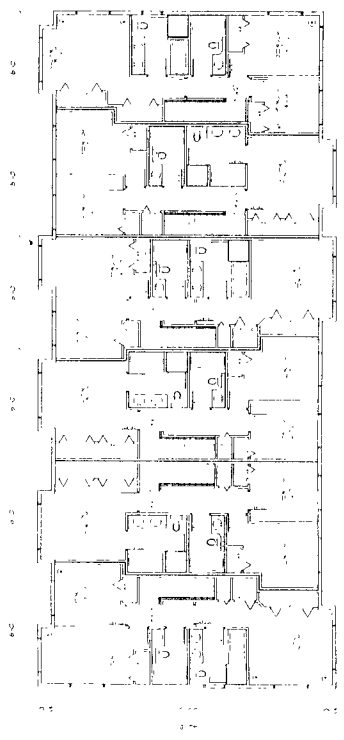
DP 03254841
 JUL 14 2004

- 1 ASPHALT SHINGLE ROOF
- 2 CEDAR SHINGLES
- 3 1/2" INSULATION
- 4 PAINTED ACCENT TRIM
- 5 1/2" PVC WINDOW FRAMES
- 6 ACCENT DECK W/ CEDAR STRIPS
- 7 PAINTED ALUMINUM RAILINGS
- 8 PVC BORDERS AND BATTENS
- 9 1/2" WOOD PANELS BOUND AND BATTENS
- 10 PAINTED ACCENT PLANTER

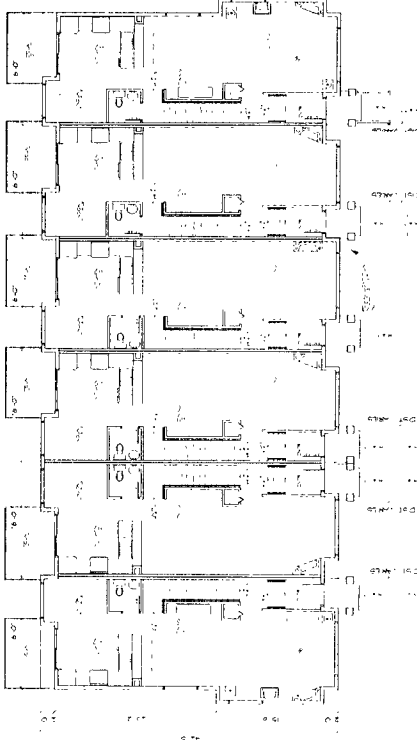
REVISIONS	
NO.	DATE



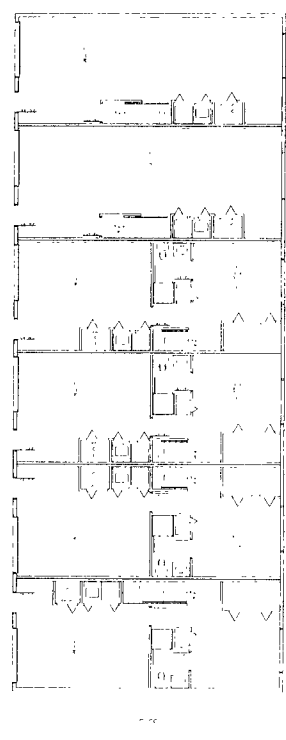
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Scale 1/8" = 1'-0"



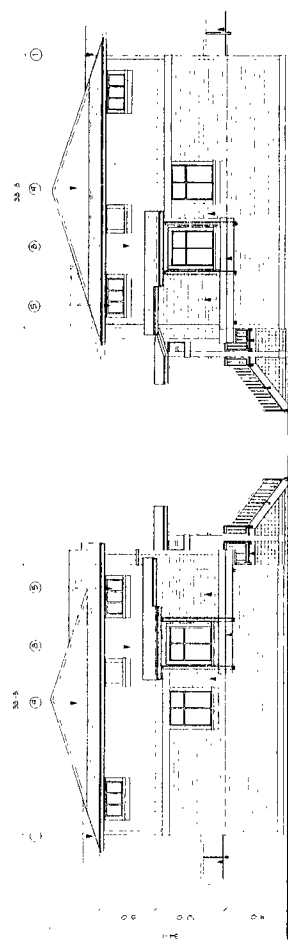
1. BUILDING B - SECOND FLOOR PLAN - 6 UNIT TYPE B1A1
Scale 1/8" = 1'-0"



2. BUILDING B - MAIN FLOOR PLAN - 6 UNIT TYPE B1A1
Scale 1/8" = 1'-0"



3. BUILDING B - GROUND FLOOR PLAN - 6 UNIT TYPE B1A1
Scale 1/8" = 1'-0"

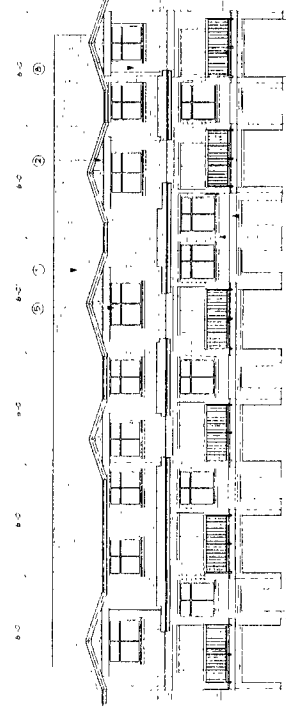


5. BUILDING B - SIDE ELEVATION - 6 UNIT TYPE B1A1
Scale 1/8" = 1'-0"

6. BUILDING B - SIDE ELEVATION - 6 UNIT TYPE B1A1
Scale 1/8" = 1'-0"

JUL 14 2004
DR 03254841

- 1 ORIGINAL BRIDGE ROOF
- 2 CEDAR BRIDGES
- 3 VINYL SIDING
- 4 PAINTED WOOD TRIM
- 5 VINYL WINDOW FRAMES
- 6 ALUMINUM CASING
- 7 PAINTED ALUMINUM RAIL TOP
- 8 VINYL BOARD AND BATTEN
- 9 HANDS PANEL BOARD AND BATTEN
- 10 PAINTED WOOD PLASTER



7. BUILDING B - REAR ELEVATION - 6 UNIT TYPE B1A1 CLUSTER
Scale 1/8" = 1'-0"

BCA
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Fax: (604) 687-1611
admin@roccozichitecture.com

**JASMINE LANE
TOWNHOMES**
RICHMOND, B.C.

PROJECT	JUL 14 2004
SHEET NO.	K-2
DATE	JUL 14 2004
DRAWN BY	BCA
BUILDING B	
PLANS AND ELEVATIONS	
SCALE	A3

#15

NO.	DATE	DESCRIPTION

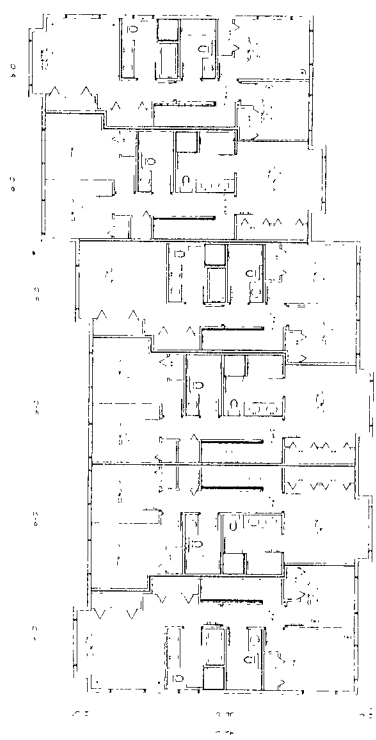
ISSUE
 14 2/23 2004
 15 4/15 2004
 16 5/24 2004

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 Fax: (604) 687-4641
 Email: admin@rcacanada.com

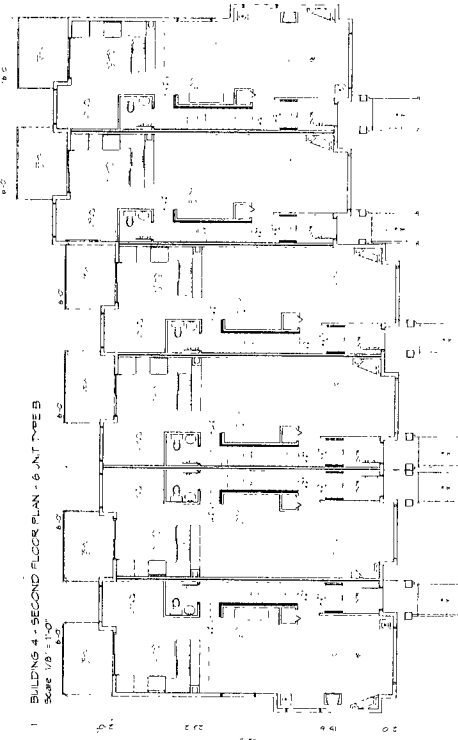
PROJECT
**JASMINE LANE
 TOWNHOMES**
 RICHMOND, B.C.

A-3	25/03/04
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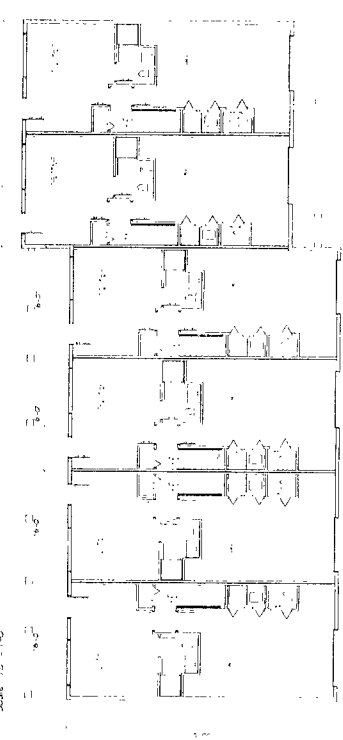
PLANS AND ELEVATIONS
 SHEET NO. **A4**



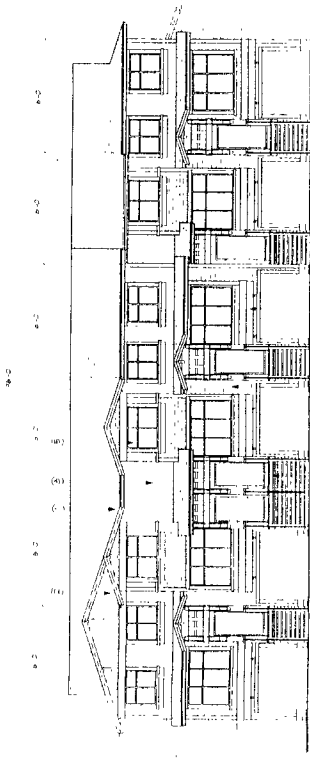
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 Scale: 1/8 = 1'-0"



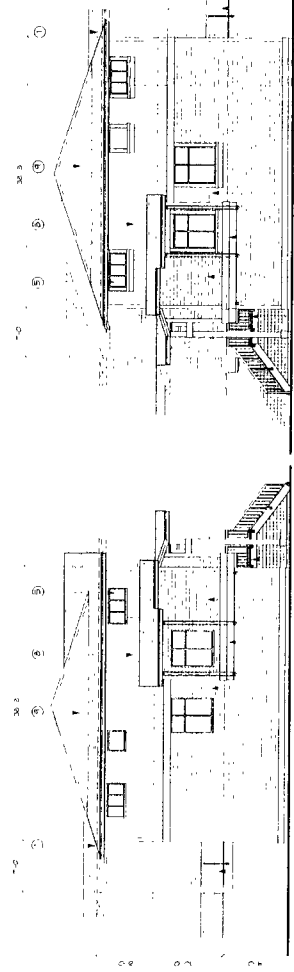
2 BUILDING 4 - MAIN FLOOR PLAN - 6 UNIT TYPE B
 Scale: 1/8 = 1'-0"



3 BUILDING 4 - GROUND FLOOR PLAN - 6 UNIT TYPE B
 Scale: 1/8 = 1'-0"



4 BUILDING 4 - FRONT ELEVATION - 6 UNIT TYPE B CLUSTER
 Scale: 1/8 = 1'-0"

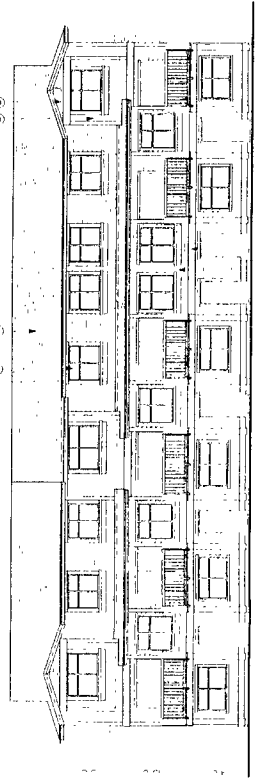


5 BUILDING 4 - SIDE ELEVATION - 6 UNIT TYPE B CLUSTER
 Scale: 1/8 = 1'-0"

6 BUILDING 4 - SIDE ELEVATION - 6 UNIT TYPE B CLUSTER
 Scale: 1/8 = 1'-0"

DP 03254841
 JUL 14 2004

- 1 ASPHALT SHINGLE ROOF
- 2 Gypsum SHIMLES
- 3 1/2" X 6" SIPS
- 4 PAINTED ASPEN PINE
- 5 1/4" X 6" X 8" PVC INSULATION
- 6 1/2" X 6" X 8" OSB SHEATHING
- 7 PAINTED ALUMINUM PANELS
- 8 1/4" X 6" X 8" PVC INSULATION
- 9 1/2" X 6" X 8" OSB SHEATHING
- 10 PAINTED ASPEN PINE

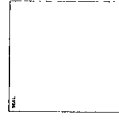


7 BUILDING 4 - REAR ELEVATION - 6 UNIT TYPE B CLUSTER
 Scale: 1/8 = 1'-0"

#6

REVISIONS	NO.	DATE	DESCRIPTION

ISSUE
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 15 11:50 AM 04/20/04
 16 11:50 AM 04/20/04
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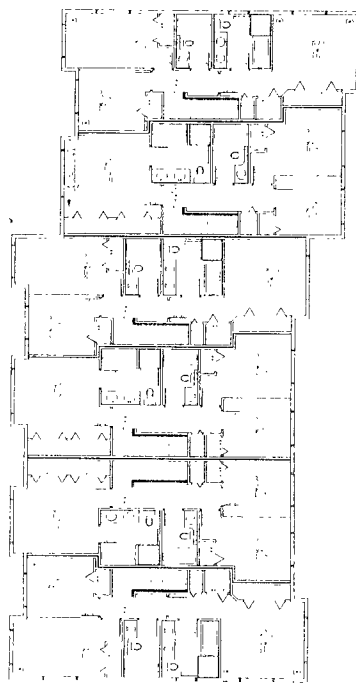
RCA

Robert Ciccuzzi Architects Inc.
 1800 Pine Street
 Vanoc, Canada
 VAJ 3C9
 Tel: (604) 887-1211
 Fax: (604) 887-1641
 E-mail: admin@roccozziarchitects.com

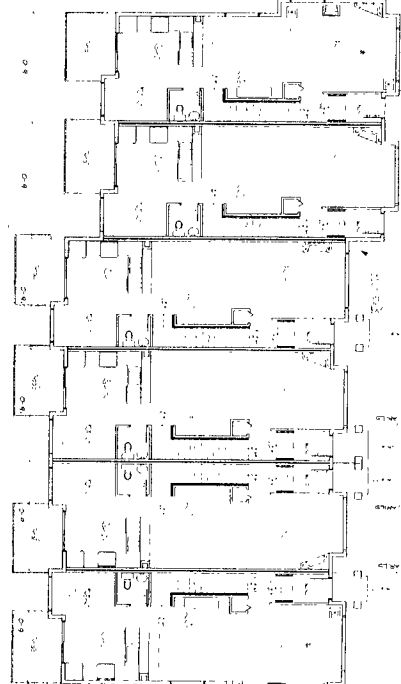
PROJECT
**JASMINE LANE
 TOWNHOMES**
 RICHMOND, B.C.

DATE
 14 03 04
 R/C
 DRAWN BY
 RGA/B
 CHECKED BY
 RGA/B
BUILDING 5
 PLANS AND ELEVATIONS

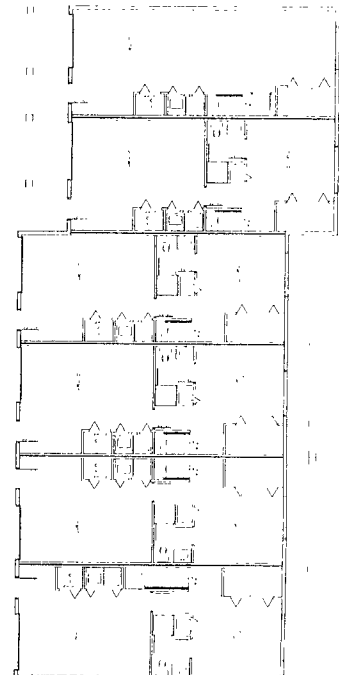
SCALE
 1/8" = 1'-0"
 SHEET NO.
A5



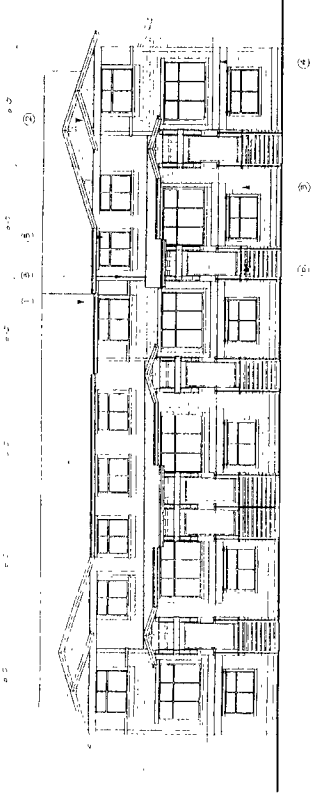
1 BUILDING 5 - SECOND FLOOR PLAN - 6 UNIT TYPE B/A2
 Scale: 1/8" = 1'-0"



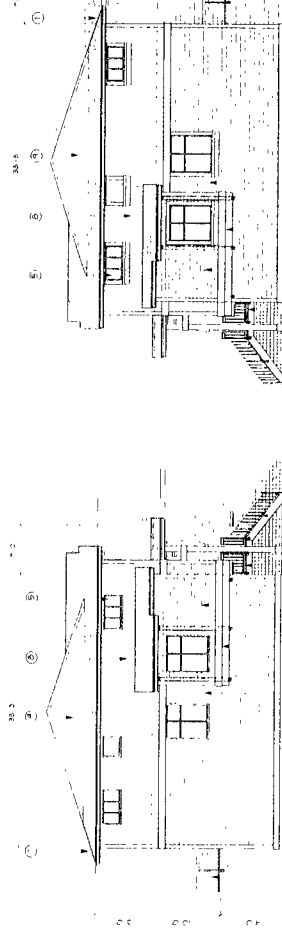
2 BUILDING 5 - SECOND FLOOR PLAN - 5 UNIT TYPE B/A2
 Scale: 1/8" = 1'-0"



3 BUILDING 5 - SECOND FLOOR PLAN - 4 UNIT TYPE B/A2
 Scale: 1/8" = 1'-0"



4 BUILDING 5 - FRONT ELEVATION - 6 UNIT TYPE B/A2 CLUSTER
 Scale: 1/8" = 1'-0"

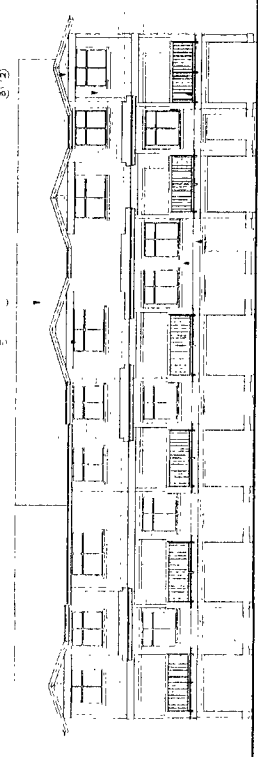


5 BUILDING 5 - SIDE ELEVATION - 6 UNIT TYPE B/A2 CLUSTER
 Scale: 1/8" = 1'-0"

6 BUILDING 5 - SIDE ELEVATION - 6 UNIT TYPE B/A2 CLUSTER
 Scale: 1/8" = 1'-0"

DP 03254841
 JUL 14 2004

- 1 ORIGINAL SHINGLE ROOF
- 2 CEILING PANELS
- 3 PVC SIDING
- 4 PAINTED WOOD TRIM
- 5 PVC WINDOW FRAMES
- 6 ADD DECK AT JONES STEPS
- 7 PAINTED ALUMINUM RAILINGS
- 8 PVC SIDING AND BATHEN
- 9 WOOD PANEL BOMED AND BATHEN
- 10 PAINTED WOOD PLANTER



7 BUILDING 5 - REAR ELEVATION - 6 UNIT TYPE B/A2 CLUSTER
 Scale: 1/8" = 1'-0"

#7

NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION

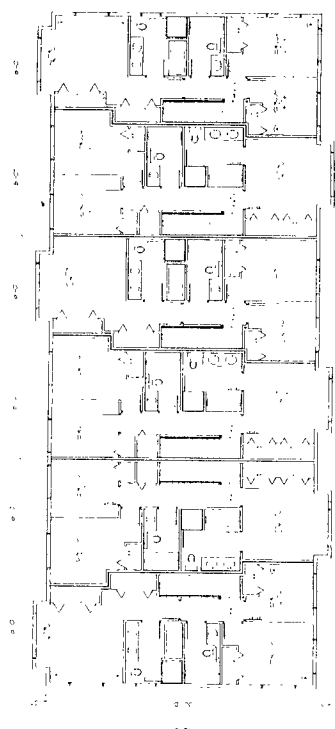
DATE: 11/14/2004
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO: [Number]

RCA
 Robert Coccozzi Architecture Inc.
 1826 Pine Street
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 Fax: (604) 697-4651
 admin@coccozziarchitecture.com

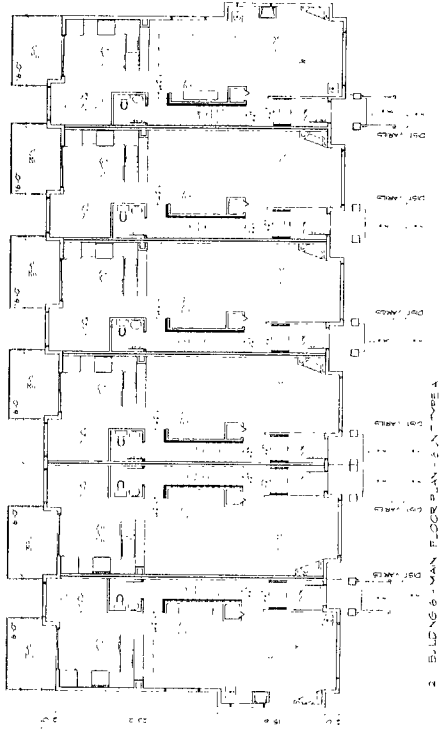
PROJECT:
**JASMINE LANE
 TOWNHOMES**
 RICHMOND, B.C.

DATE	11/14/2004
PROJECT	R.C.
SCALE	1/4" = 1'-0"
DATE	NOV 14 2004
PROJECT	NOVA B
BUILDING 6	
PLANS AND ELEVATIONS	

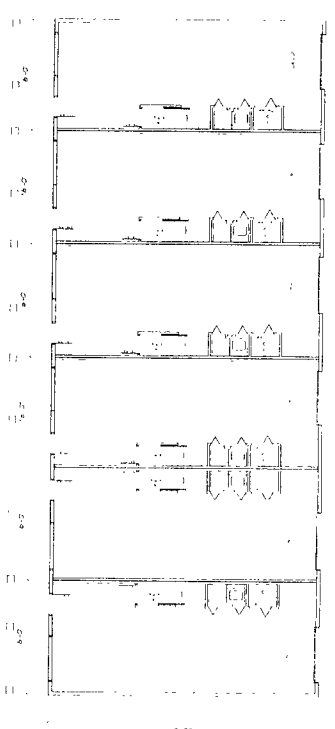
PROJECT NO.	A6
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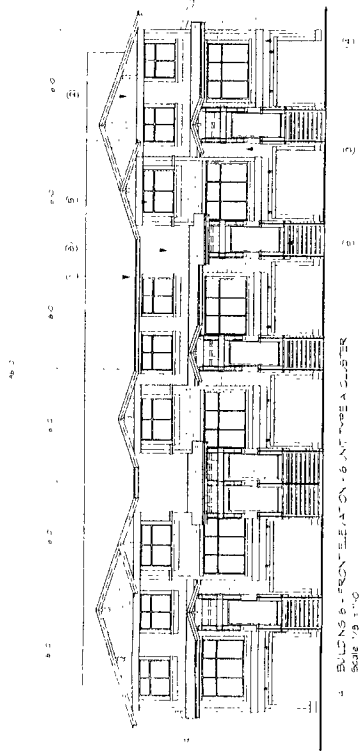
1 BUILDING 6 - SECOND FLOOR PLAN - 6 UNIT TYPE A CLUSTER
 Scale: 1/8" = 1'-0"



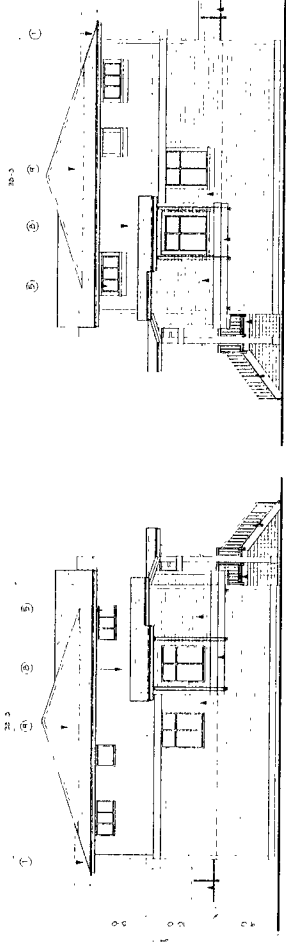
2 BUILDING 6 - MAIN FLOOR PLAN - 6 UNIT TYPE A CLUSTER
 Scale: 1/8" = 1'-0"



3 BUILDING 6 - GROUND FLOOR PLAN - 6 UNIT TYPE A CLUSTER
 Scale: 1/8" = 1'-0"



4 BUILDING 6 - FRONT ELEVATION - 6 UNIT TYPE A CLUSTER
 Scale: 1/8" = 1'-0"

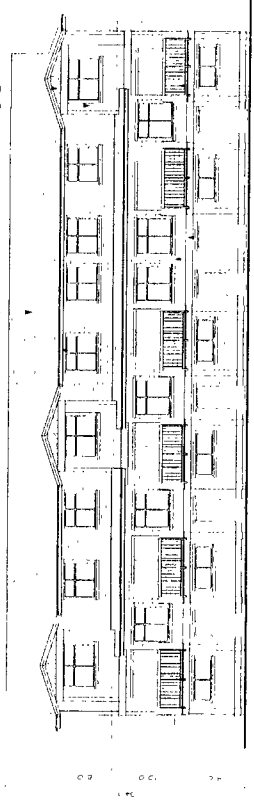


5 BUILDING 6 - SIDE ELEVATION - 6 UNIT TYPE A CLUSTER
 Scale: 1/8" = 1'-0"

6 BUILDING 6 - REAR ELEVATION - 6 UNIT TYPE A CLUSTER
 Scale: 1/8" = 1'-0"

DF 03254841
 NOV 14 2004

- 1 ASPHALT SHINGLE ROOF
- 2 CEDAR SHINGLES
- 3 VINYL SIDING
- 4 PAINTED WOOD TRIM
- 5 PAINT, WOOD FINISHES
- 6 WOOD DECKING, LONG STRIPS
- 7 PAINTED ALUMINUM RAILS
- 8 PAINT, BOARD AND BATTEN
- 9 WOOD PANEL BOARD AND BATTEN
- 10 PAINTED WOOD PLASTER

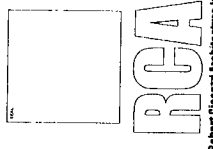


7 BUILDING 6 - REAR ELEVATION - 6 UNIT TYPE A CLUSTER
 Scale: 1/8" = 1'-0"

#8

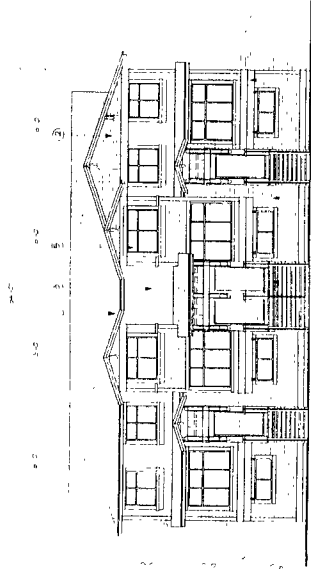
NO.	DATE	DESCRIPTION

ISSUE NO. 1
 2004-07-14
 2004-07-14
 2004-07-14

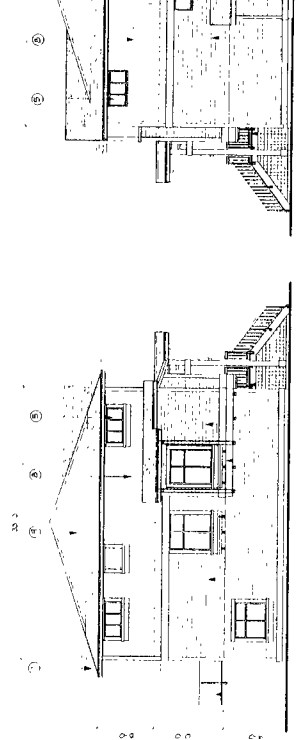


RECA
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 admin@recaarchitecture.com

PROJECT	
JASMINE LANE TOWNHOMES	
RICHMOND, B.C.	
DATE	2004-07-14
SCALE	1/8" = 1'-0"
PROJECT NO.	BUILDING 7
PLANS AND ELEVATIONS	
DATE	A7



4 BUILDING 7 - FRONT ELEVATION - 4 UNIT TYPE A1 CLUSTER
 Scale 1/8" = 1'-0"

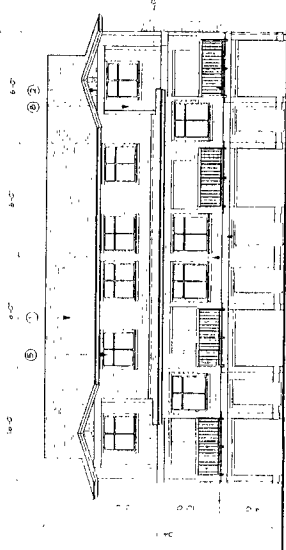


5 BUILDING 7 - SIDE ELEVATION - 4 UNIT TYPE A1 CLUSTER
 Scale 1/8" = 1'-0"

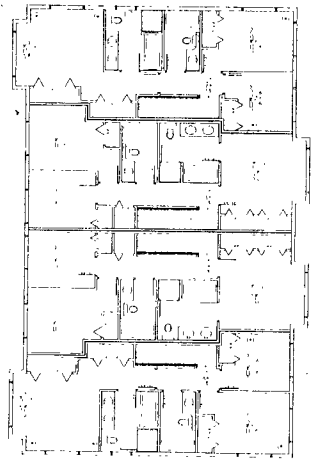
6 BUILDING 7 - SIDE ELEVATION - 4 UNIT TYPE A1 CLUSTER
 Scale 1/8" = 1'-0"

JUL 14 2004
 DP 03254841

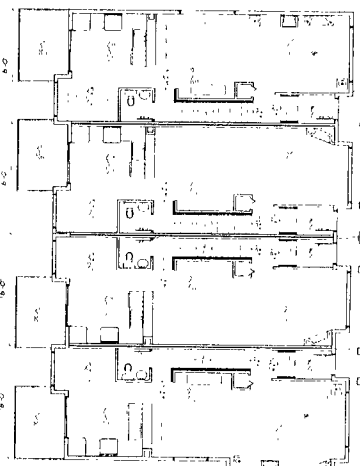
- ① ASPHALT SHINGLE ROOF
- ② CERAMIC BRICK
- ③ VINYL SIDING
- ④ PAINTED WOOD TRIM
- ⑤ VINYL WINDOW FRAMES
- ⑥ WOOD DECKING (LONG STRIPS)
- ⑦ PAINTED ALUMINUM BALUNIS
- ⑧ VINYL SIDING AND BALUNIS
- ⑨ WOODS PANEL, BUMPERS AND BALUNIS
- ⑩ PAINTED WOOD PLASTER



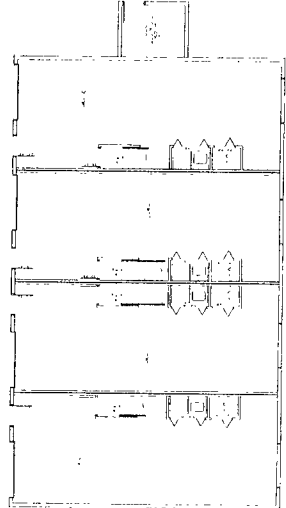
7 BUILDING 7 - REAR ELEVATION - 4 UNIT TYPE A1 CLUSTER
 Scale 1/8" = 1'-0"



1 BUILDING 7 - SECOND FLOOR PLAN - 4 UNIT TYPE A1
 Scale 1/8" = 1'-0"



2 BUILDING 7 - MAIN FLOOR PLAN - 4 UNIT TYPE A1
 Scale 1/8" = 1'-0"

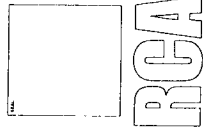


3 BUILDING 7 - SECOND FLOOR PLAN - 4 UNIT TYPE A1
 Scale 1/8" = 1'-0"

#9

NO.	DATE	DESCRIPTION

ISSUE
 1. 23 10:00 AM 2004
 2. 24 10:00 AM 2004
 3. 25 10:00 AM 2004

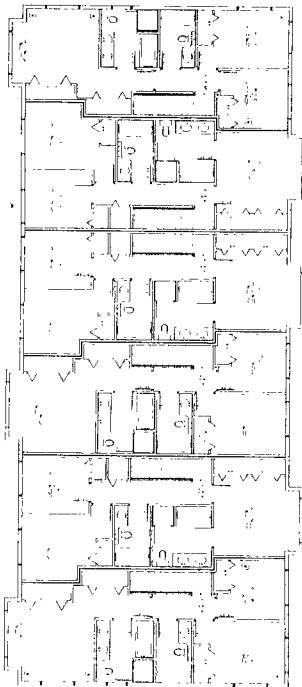


1905 Pine Street
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 Fax (604) 687-4641
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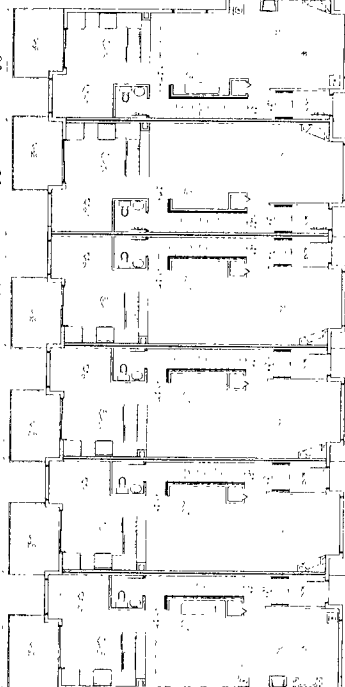
JASMINE LANE
 TOWNHOMES
 RICHMOND, B.C.

AS	2003-04
RC	
1/4" = 1'-0"	RCA '06
BUILDING 3 & 10 PLANS AND ELEVATIONS	

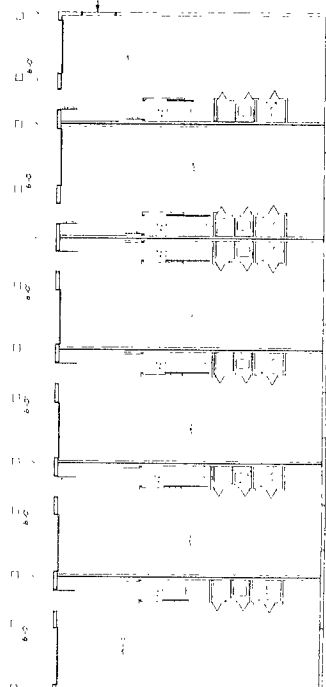
REVISION	DATE	DESCRIPTION



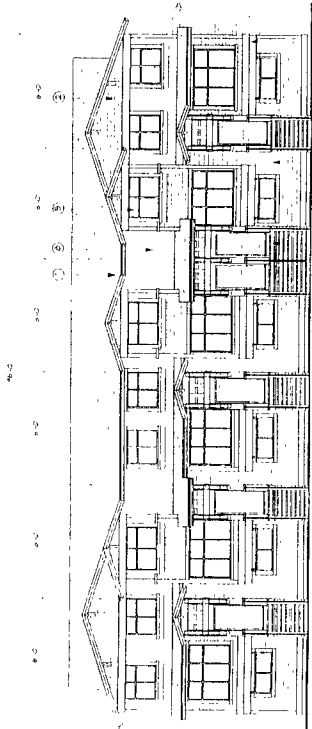
1 BUILDING 3 & 10 - SECOND FLOOR PLAN - 6 UNIT TYPE A1
 SCALE 1/8" = 1'-0"



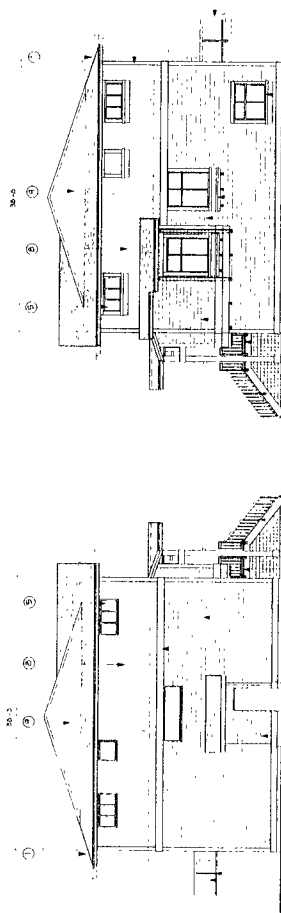
2 BUILDING 3 & 10 - MAIN FLOOR PLAN - 6 UNIT TYPE A1
 SCALE 1/8" = 1'-0"



3 BUILDING 3 & 10 - SECOND FLOOR PLAN - 6 UNIT TYPE A2
 SCALE 1/8" = 1'-0"



4 BUILDING 3 & 10 - EAST ELEVATION - 6 UNIT TYPE A1
 SCALE 1/8" = 1'-0"

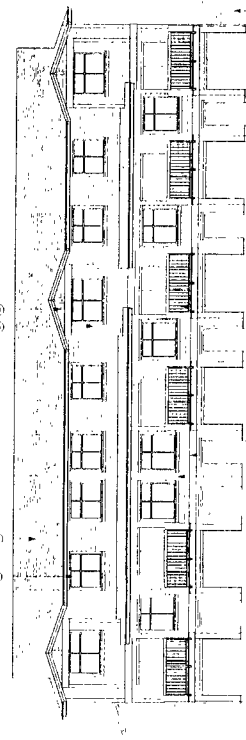


5 BUILDING 3 & 10 - WEST ELEVATION - 6 UNIT TYPE A1
 SCALE 1/8" = 1'-0"

6 BUILDING 3 & 10 - SIDE ELEVATION - 6 UNIT TYPE A1 CLUSTER
 SCALE 1/8" = 1'-0"

JUL 14 2004
 DP 03254841

- 1 ASPHALT SHINGLE ROOF
- 2 GYP. BOARD
- 3 PVC SIDING
- 4 PAINTED WOOD TRIM
- 5 PVC WINDOW FRAMES
- 6 ADD DECK IN LONG ENTRY
- 7 PAINTED ALUMINUM SILL NO.
- 8 PVC BOARD AND BATTEN
- 9 WIDE PINE BOARD AND BATTEN
- 10 PAINTED WOOD PLANTER

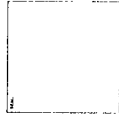


7 BUILDING 3 & 10 - SIDE ELEVATION - 6 UNIT TYPE A1 CLUSTER
 SCALE 1/8" = 1'-0"

10

NO.	DATE	DESCRIPTION

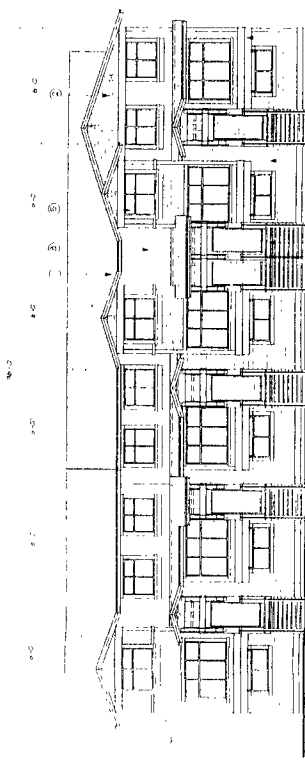
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 24.11.04 BUILD FOR DR. BURNETT
 25.01.05 BUILD FOR DR. BURNETT
 26.03.05 BUILD FOR DR. BURNETT



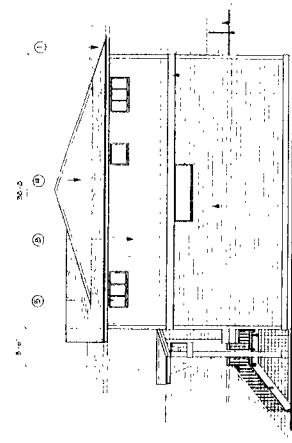
RCA

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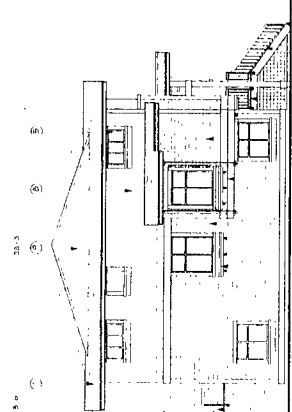
PROJECT	JASMINE LANE TOWNHOMES
LOCATION	RICHMOND, B.C.
DATE	26.03.04
SCALE	1/8" = 1'-0"
SCALE 'B'	1/4" = 1'-0"
DATE	BUILDING 9
PLANS AND ELEVATIONS	
REVISION	
APP'D	AR



4 BUILDING 9 - FRONT ELEVATION - 8 UNIT TYPE A/B CLUSTER
 Scale: 1/8" = 1'-0"



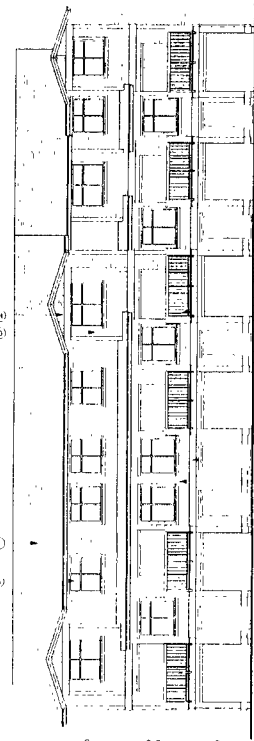
6 BUILDING 9 - REAR ELEVATION - 8 UNIT TYPE A/B CLUSTER
 Scale: 1/8" = 1'-0"



5 BUILDING 9 - SIDE ELEVATION - 8 UNIT TYPE A/B CLUSTER
 Scale: 1/8" = 1'-0"

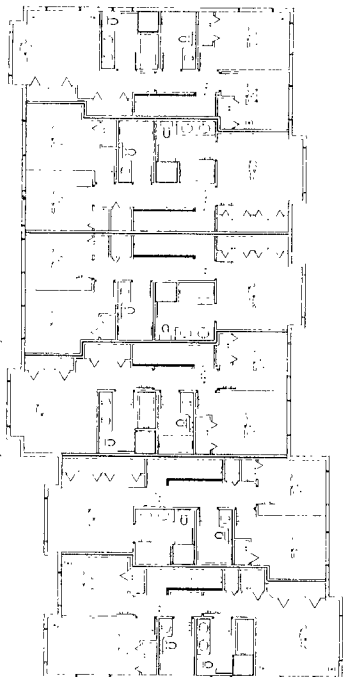
DP03254841
 JUL 14 2004

- 1 ORIGINAL SHINGLE ROOF
- 2 CEDAR SHINGLES
- 3 VINYL SIDING
- 4 PAINTED WOOD TRIM
- 5 VINYL SIDING PANELS
- 6 WOOD DECK AND STAIRS
- 7 PAINTED ALUMINUM RAILING
- 8 VINYL SIDING AND BATTERY
- 9 IMPACT PANEL, SIDING AND BATTERY
- 10 PAINTED WOOD EXTERIOR

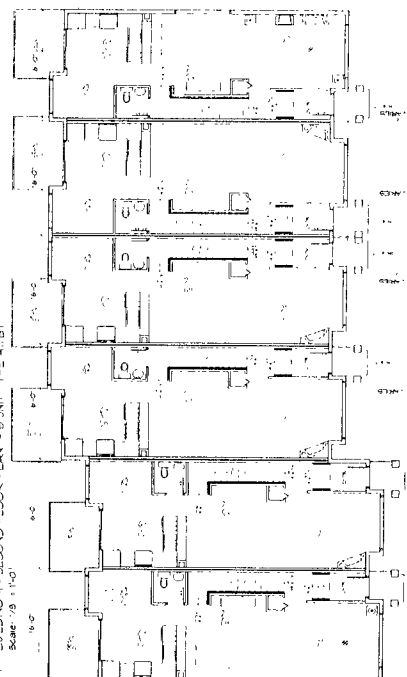


7 BUILDING 9 - REAR ELEVATION - 8 UNIT TYPE A/B CLUSTER
 Scale: 1/8" = 1'-0"

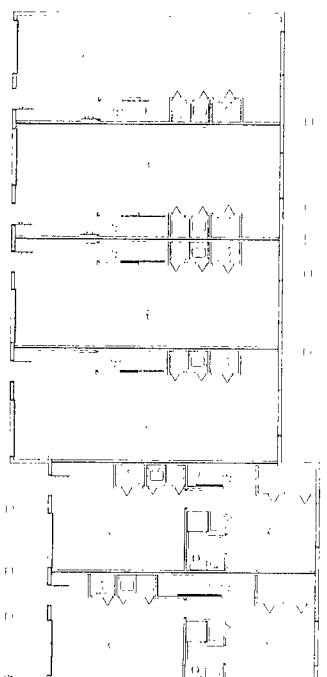
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1 BUILDING 9 - SECOND FLOOR PLAN - 8 UNIT TYPE A/B
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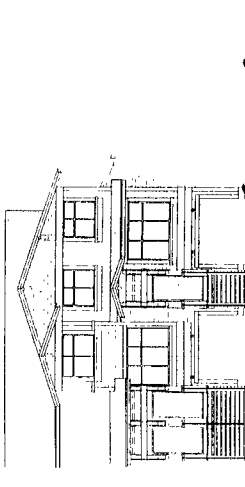


2 BUILDING 9 - MAIN FLOOR PLAN - 8 UNIT TYPE A/B
 Scale: 1/8" = 1'-0"

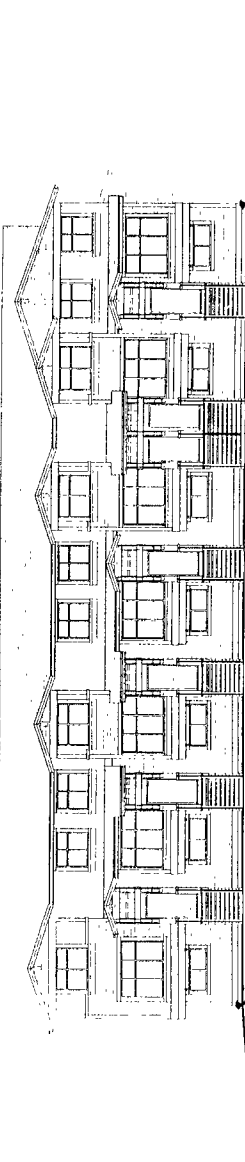


3 BUILDING 9 - SECOND FLOOR PLAN - 8 UNIT TYPE A/B
 Scale: 1/8" = 1'-0"

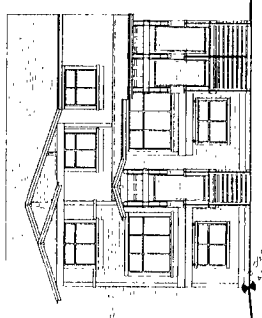
CONSULTING ARCHITECTS: THE STANLEY ARCHITECTS 2100 BAYVIEW AVENUE, SUITE 200 SCARBOROUGH, ONTARIO M2W 3K2 TEL: (416) 291-1111 FAX: (416) 291-1112 WWW.STANLEYARCHITECTS.COM	
REVISIONS	NO. DATE DESCRIPTION



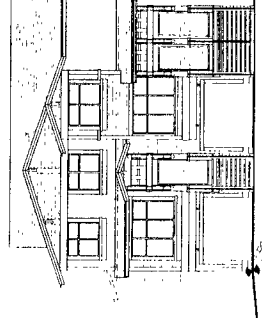
2 BUILDING 2 - PARTIAL FRONT ELEVATION
Scale 1/8" = 1'-0"



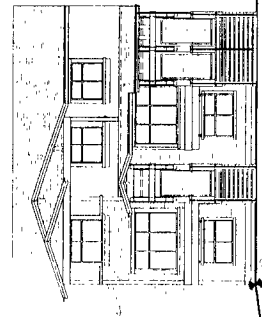
1 BUILDING 1 - FRONT ELEVATION
Scale 1/8" = 1'-0"



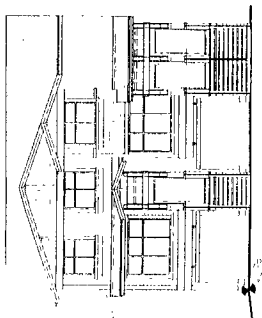
3 BUILDING 3 - PARTIAL FRONT ELEVATION
Scale 1/8" = 1'-0"



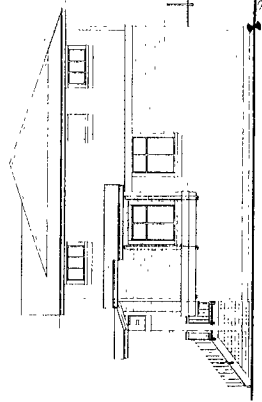
4 BUILDING 4 - PARTIAL FRONT ELEVATION
Scale 1/8" = 1'-0"



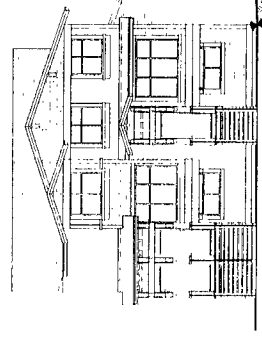
5 BUILDING 5 - PARTIAL FRONT ELEVATION
Scale 1/8" = 1'-0"



6 BUILDING 6 - SIDE ELEVATION
Scale 1/8" = 1'-0"



9 BUILDING 9 - SIDE ELEVATION
Scale 1/8" = 1'-0"



10 BUILDING 10 - PARTIAL FRONT ELEVATION
Scale 1/8" = 1'-0"



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PROJECT
**JASMINE LANE
 TOWNHOMES**
 RICHMOND, B.C.

DATE	26-03-24
DESIGNER	R.C.
SCALE	1/8" = 1'-0"
PROJECT NO.	03254841

BUILDING/SITE
 SECTIONS

PERSON NO.	
TITLE NO.	XX

JUL 14 2004

DP 03254841

12