



To: Development Permit Panel

Date: December 16, 2013

From: Wayne Craig
Director of Development

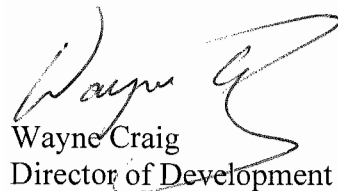
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Re: Application by Amela Brudar - GBL Architects for a Development Permit at 8888
Patterson Road

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of the second phase of a five-phase, residential development at 8888 Patterson Road on a site zoned "High Rise Apartment and Artist Residential Tenancy Studio Units (ZHR10) – Capstan Village (City Centre)" for a high-rise building containing 246 market dwellings and 17 affordable housing units (to be secured via a Housing Agreement), together with publicly-accessible open space and park; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - a) Reduce the minimum allowable setback from a lot line abutting Garden City Road for portions of the building having a height greater than 28.0 m, for the purpose of permitting a cantilevered roof and balconies, from 50.0 m to 48.6 m; and
 - b) Increase the maximum allowable building height for portions of the building located less than 50.0 m from a lot line abutting Garden City Road, for the purpose of permitting enclosed stair shafts, an elevator penthouse, and an indoor residential amenity space, from 28.0 m to 33.4 m.



Wayne Craig
Director of Development

WC:spc
Att.

Staff Report

Origin

Amela Brudar – GBL Architects, on behalf of Concord Pacific, has applied to the City of Richmond for permission to construct Phase 2 of “Concord Gardens”, a five-phase, 97,704 m² (1 million ft²), multi-family residential development containing approximately 1,245 dwellings on a 3.05 ha (7.55 ac) site zoned “High Rise Apartment and Artist Residential Tenancy Studio Units (ZHR10) – Capstan Village (City Centre)” (**Attachment 1 & 2**). Phase 2 is the second of three phases planned for the developer’s north lot at 8888 Patterson Road (Lot 1), which phase includes 20,758.9 m² (223,454 ft²) of multi-family housing (263 dwellings, including 246 market dwellings and 17 affordable housing dwellings secured via a Housing Agreement), a large, indoor amenity facility with a pool, gymnasium, banquet hall, and bowling alley for the shared use of all “Concord Gardens” residents, and a 0.51 ha (1.27 ac) publicly-accessible open space (i.e. privately owned and maintained), all of which is to be constructed over a two-level parking structure concealed below finished grade.

Rezoning of “Concord Gardens” (RZ 06-349722) was adopted in January 2013, and is notable for, among other things:

- Being one of the first developments to voluntarily commit to funding the future construction of the Capstan Canada Line station, which contribution is payable on a phase-by-phase basis prior to Building Permit issuance, as per the City Centre Area Plan (CCAP) and Zoning Bylaw;
- Supporting the City Centre’s emerging “arts district” by providing 20 subsidized affordable housing units for professional artists in Phase 1 (over and above the City’s standard (5%) affordable housing developer contribution);
- Constructing various road improvements, including the extension of Hazelbridge Way in Phase 1 and bike network improvements in Phase 2;
- Providing for the phased construction of 9,220 m² (2.28 ac) of on-site, privately-owned, publicly-accessible open space, together with a 0.12 ha (0.30 ac) City-owned park within an unopened portion of Patterson Road (i.e. Patterson Street-End Park); and
- Contributing towards the construction of a new Capstan Village sanitary pump station.

Background

“Concord Gardens” is situated in a transitional, single-family area of Capstan Village that is characterized by older homes on large lots and expansive areas of vacant land. Existing development surrounding the “Concord Gardens” five-phase site includes, to the:

- North: Patterson Road, across which is a row of “Single Detached (RS1/F)” zoned lots (the north side of which backs on to Sea Island Way) designated under the CCAP for a maximum of 3.5 FAR, of which up to 2.5 FAR may be residential and the remainder shall be commercial (e.g., office).
- East: Garden City Road, across which is “The Oaks”, a predominantly “Single Detached (RS1/B and E)” zoned neighbourhood, together with Talmey Elementary School, which will in part serve the public school needs of the future residents of Capstan Village.

South: The former TransLink park-and-ride site, the Richmond Capstan Alliance Church, and three “Single Detached (RS1/F)” lots, which are designated under the CCAP for similar uses and densities to those proposed for the subject site.

West: Sexsmith Road, across which is a large area of predominantly vacant land zoned “Single Detached (RS1/F)” that is owned in part by the subject developer and in part by Pinnacle International, which has recently received approval for the development of 200 high-rise dwellings on a portion of its lands (RZ 10-544729, DP 12-604012) and is pursuing rezoning to permit an additional +/-1,000 dwellings, together with park and commercial uses, on its remaining property (RZ 12-610011).

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of the subject site was held on February 20, 2012. During the rezoning process, issues were identified to be resolved at Development Permit (DP) stage, on a phase-by-phase basis, as follows:

Design Issues: Staff and the developer have worked together to address the following form and character issues. The developer’s response to each issue is described in ***bold italics***.

- 1) Variation in tower height, floorplate shape, and orientation are encouraged to provide for an interesting skyline.
 - ***Phase 2 is comprised of a slab-type building that steps down in height from west to east (i.e. from 47 m geodetic to 29.4 m and 24.5 m geodetic) and is arranged in a courtyard-like manner around a one-storey indoor/outdoor amenity facility oriented south towards the proposed Neighbourhood Park. Together, the proposed changes in building heights, massing, and park setbacks provide for visual interest at the building’s upper floors, while contributing towards an attractive setting for the development’s proposed private amenities and public open space uses at grade.***
- 2) Tall buildings must minimize shading of the proposed Neighbourhood Park, especially during peak periods and in high-use or sun-sensitive locations (i.e. children’s playgrounds, garden plots) in order to maximize public use and enjoyment of this important amenity.
 - ***Phase 2 will be situated north of the proposed Neighbourhood Park and will not shade this important public area; however, it will shade the proposed City-owned Patterson Street-End Park, which is to be located on the north side of the subject site. Nevertheless, as the primary role of this small park is that of a pedestrian and bike connection to the Garden City Road greenway/bike route, combined with informal sport court-type uses, shading caused by Phase 2 is expected to have a limited impact on the park’s overall amenity and can in part be addressed via the park’s detailed design (e.g., Servicing Agreement will include shade tolerant plants).***
- 3) Streetwall articulation is encouraged to visually break up long streetwalls and provide for an attractive, sensitive interface with the Neighbourhood Park, streets, and other pedestrian spaces.
 - ***The varied heights and courtyard-like massing of Phase 2’s residential building, together with changes in materials, a subtle palette of colours, and a highly articulated façade treatment, contribute towards an attractive, visually-engaging street- and park-scape design.***

- 8) The potential development impacts occurring between the subject development's various phases and between it and its future neighbours, especially in respect to potential view blockage.
- *Steps have been taken in the design of the subject development to minimize overlook between residential units and maximize view corridors between buildings. In addition, as recommended in the rezoning staff report, a covenant has been registered on the subject site notifying future residents of potential view and other impacts that may arise as a result of development on- and off-site.*

Aircraft Noise: In addition to the above design issues, at Public Hearing the Vancouver International Airport Authority submitted a letter expressing concern that “Concord Gardens” would introduce residential uses in an area affected by aircraft noise.

- *The subject site is situated in the Official Community Plan (OCP) Aircraft Noise Sensitive Development (ANSD) “Area 3”, which permits multi-family residential uses, as proposed, provided that a restrictive covenant is registered on title and acoustics reports are prepared at DP and Building Permit (BP) stages identifying necessary noise attenuation measures and confirming their implementation.*
- *The required aircraft noise covenant was registered on title prior to rezoning adoption, a satisfactory DP-stage acoustic report has been received and is on file, and the developer has agreed that the BP drawings will incorporate all measures necessary to satisfy the covenant and DP acoustic report recommendations.*

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and City Centre Area Plan (CCAP) and is generally in compliance with the “High Rise Apartment and Artist Residential Tenancy Studio Units (ZHR10) – Capstan Village (City Centre)” zone, except for the zoning variances noted below.

Through the rezoning review and approval process for “Concord Gardens”, phasing covenants and related legal agreements were registered on title requiring that various conditions are satisfied prior to DP issuance for Phase 2. The subject development satisfies all the requisite conditions, as described in ***bold italics***.

- 1) Affordable Housing: Within Phase 2, the developer must construct, at the developer's sole cost, at least 1,341.6 m² (14,441 ft²) of low-end market housing, secured via a Housing Agreement and Covenant.
 - *The subject Phase 2 development provides for a combined habitable floor area of 1,361.2 m² (14,652 ft²) of affordable housing comprised of seventeen (17) townhouse and apartment units along the development's north and east frontages (i.e. two bachelor, six 1-bedroom, seven 2-bedroom, and two 3-bedroom), as shown in the attached Development Permit. (Note: “Concord Gardens” Housing Agreement and Covenant were registered on title prior to rezoning adoption. Prior to issuance of the subject DP, the Housing Covenant will be amended to specify the approved sizes, locations, and types of affordable housing units to be constructed by the developer in Phase 2.)*

- 2) **Park & Publicly-Accessible Open Space:** The developer is required to design and construct, at the developer's sole cost, the proposed 0.12 ha (0.30 ac) Patterson Street-End Park (i.e. a City-owned park within an unopened portion of Patterson Road near Garden City Road) and the 0.514 ha (1.27 ac) portion of the proposed Neighbourhood Park situated within Phase 2 (i.e. privately-owned and maintained, publicly-accessible open space secured via a Statutory Right-of-Way for public park purposes).
- *Prior to issuance of the subject DP, the developer shall enter into a Servicing Agreement for the design and construction of the Patterson Street-End Park, to the sole satisfaction of the City and as generally described in the Patterson Street-End Park Concept (Attachment 4) and Conditional Development Permit Conditions (Attachment 8).*
 - *Prior to issuance of the subject DP, the developer shall submit a DP Landscape Letter of Credit to secure on-site landscape improvements for Phase 2, which shall include \$1,028,480.20 for the proposed construction of the portion of the Neighbourhood Park located within Phase 2, the value of which is based on 100% of the sealed cost estimate provided by the Landscape Architect (including labour and 10% contingency).*
 - *In addition, as the proposed publicly-accessible Neighbourhood Park will be a privately owned/maintained amenity, the existing Statutory Right-of-Way securing the park will be amended prior to DP issuance to provide for the addition of minimum acceptable maintenance specifications and standards, to the satisfaction of the City.*
- 3) **Roads & Related Off-Site Improvements:** The developer is required to design and construct, at the developer's sole cost, Patterson Road west of the Patterson Street-End Park to the private north-south road that bisects "Concord Gardens" (i.e. divides Phase 2 from Phase 1) and frontage improvements along Garden City Road, including the installation of a new pedestrian greenway and the extension of an existing on-street bike lane, together with additional improvements as determined through the subject DP review.
- *Prior to issuance of the subject DP, the developer shall enter into a Servicing Agreement for the design and construction of the required works along Patterson Road and Garden City Road, to the satisfaction of the City.*
 - *In addition, the Servicing Agreement shall provide for the developer's design and construction of a northward extension of the required Garden City Road frontage improvements to Sea Island Way in the form of a pedestrian walkway, separated off-street bike path, and related landscape enhancements within a publicly-accessible portion of a City-owned lot at 8991 Patterson Road. (Note that in recognition of these additional works, together with various on-site parking-related measures, the subject development shall be eligible for a 10% Transportation Demand Management parking relaxation, as per current Zoning Bylaw provisions.)*
- 4) **Public Art:** The developer is required to submit a detailed public art plan for the Neighbourhood Park (with a value of at least \$241,036), and enter into a public art agreement for implementing the plan, to the satisfaction of the City.
- *The developer has completed the required detailed public art plan, to the satisfaction of Richmond's Public Art staff. The plan proposes that art, valued at \$310,092, should be situated within the proposed Neighbourhood Park (based on the current Council-*

approved rate of \$0.77/ft² of buildable floor area in Phase 2 and future Phase 3, less the floor area of affordable housing). (Note that Public Art Committee approval was granted at rezoning stage.)

- *Prior to issuance of the subject DP, a covenant shall be registered on the subject site restricting occupancy of Phase 2, in whole or in part, until the detailed public art plan has been implemented to the satisfaction of the City, including documentation of the works.*
- 5) Registration of Various Legal Agreements: The developer is required to register a number of legal agreements restricting Building Permit issuance until various conditions are satisfied.
- *View Blockage and Other Potential Development Impacts: The purpose of this agreement is to notify potential purchasers of Phase 2 dwellings of possible view, noise and other development-related issues, and to ensure that appropriate measures are incorporated into the development's design and construction. This agreement was registered on title through BP 13-643300 for Phase 1, and the architect has provided a letter of assurance confirming that appropriate architectural, acoustic, and mechanical measures have been incorporated into the DP design for Phase 2.*
 - *Transitional Parking Strategy and Electric Vehicle (EV) and Bike Charging Stations: The purpose of this agreement is to provide for the phasing of vehicle parking for the three phases of "Concord Gardens" located at 8888 Patterson Road (i.e. Phase 1/ DP 12-611486 approved, Phase 2, and future Phase 5) as per Zoning Bylaw requirements, together with Class 1 bike storage and Electrical Vehicle (EV) Charging Stations as per OCP and Transportation Demand Management (TDM) policy. This agreement was registered on title through BP 13-643300 for Phase 1, and the appropriate measures have been incorporated into the DP design for Phase 2.*
 - *Tandem Parking: A covenant has been registered on title in respect to all the parking to be constructed at Phase 1 (approved) and Phase 2 (which parking will be provided within a single, shared parkade). (Note that only Phase 1 includes tandem spaces.)*
 - *Shared Residential Amenity Space: Prior to issuance of the subject DP, an agreement shall be registered on the subject site, which provides for the residents of all five phases of the "Concord Gardens" development to make use of indoor and outdoor amenity spaces located on Levels 2, 3, and 4 of Phase 2, including an indoor pool, gymnasium, banquet hall, bowling alley, games room, fitness facility, and related amenities.*

NOTE: All Engineering requirements in respect to Phase 2 of the "Concord Gardens" development have been resolved via RZ 06-349722 and the related Servicing Agreements (SA 12-616223 and SA 12-626906). No additional Servicing Agreement is required for Phase 2 for engineering purposes.

Zoning Compliance/Variances (staff comments in *bold italics*)

The subject site is zoned "High Rise Apartment and Artist Residential Tenancy Studio Units (ZHR10) – Capstan Village (City Centre)", a site-specific zone only applicable to the "Concord Gardens" five-phase development site. The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Reduce the minimum allowable setback from a lot line abutting Garden City Road for portions of the building having a height greater than 28.0 m, for the purpose of permitting a cantilevered roof and balconies, from 50.0 m to 48.6 m.
 - ***Staff support the proposed 1.4 m reduction in minimum permitted setback as the proposed features will have a negligible impact on nearby development and enhance the appearance of the development's upper storeys by:***
 - *Softening the transition between the building's high-rise and mid-rise forms; and*
 - *In the case of the cantilevered roof, incorporating punched openings that will make the roof appear as a decorative silhouette against the sky when viewed from below.*
- 2) Increase the maximum allowable building height for portions of the building located less than 50.0 m from a lot line abutting Garden City Road, for the purpose of permitting enclosed stair shafts, an elevator penthouse, and an indoor residential amenity space, from 28.0 m to 33.4 m.
 - ***Staff support the proposed 5.4 m increase in maximum permitted building height as the proposed features are small, will have a negligible impact on nearby development, and are needed for access to and use of the development's rooftop residential amenities.***

Advisory Design Panel (ADP) Comments

The subject Phase 2 development was presented for consideration by the ADP on October 23, 2013. The Panel voted unanimously in favour of the application advancing to Development Permit Panel, subject to the applicant giving consideration to the Panel's comments. A copy of the relevant excerpt from the Advisory Design Panel Minutes of October 23, 2013 is attached for reference, together with the response from the applicant in ***bold italics (Attachment 5)***. In brief, the Panel encouraged the applicant to undertake design development to enhance the appearance of the building's Patterson Road façade, address potential nuisance (e.g., skateboarding), maintenance, and interface issues in association with the proposed Neighbourhood Park, enhance the privacy of the townhouse unit's front yards, and strive to achieve additional LEED energy points. Accordingly, the developer has made various changes to the design, including greater articulation long the Patterson Road frontage, refinements in the landscaping of the park and private yards, and a 10% increase in the project's LEED points (***Attachment 6***). It is the opinion of staff that the developer has satisfactorily addressed the Panel's comments.

Analysis

The "Concord Gardens" development is subject to OCP and CCAP policies, DP Guidelines, a site-specific zone, and legal agreements registered on title that together guide its use, density, form, and character as a high-density, multi-phase, residential development. More specifically, Phase 2 of "Concord Gardens" is designated for the development of a large, residential building along its north side framed by a small City-owned park on its north (i.e. Patterson Street-End Park) and a 0.51 ha (1.27 ac), privately-owned/publicly-accessible Neighbourhood Park on its south, the latter of which includes, among other things, public art, a children's playground, an off-leash dog park, and complementary amenities constructed over two storeys of residential parking.

Staff's review of the "Concord Gardens" Phase 2 development proposal finds it to be a well-considered, attractive design that is consistent with City objectives for the emerging Capstan Village area and deserving of favourable consideration as follows.

Conditions of Adjacency

Through the “Concord Gardens” rezoning process, it was determined that Phase 2 would be a key focus of the overall development, incorporating the majority of the proposed privately-owned/publicly-accessible Neighbourhood Park and a large, south-facing, club-like, indoor/outdoor recreation facility for the shared use of all “Concord Gardens” residents. The development takes advantage of this concept to help address conditions of adjacency as follows:

- 1) A long, narrow, slab-type residential building is proposed to stretch the length of the north side of the Phase 2 site. This serves to maximize the size and openness of the proposed Neighbourhood Park, provide for increased sunlight to the park and surrounding dwellings, increase views to and across the park, and reduce overlook between dwellings. In addition, 60% of Phase 2’s Garden City Road frontage will be park, which will improve the appearance of this prominent streetscape, enhance the pedestrian experience of the Garden City greenway, and reduce the development’s visual impact on the low-density residential area east of Garden City Road.
- 2) A south-facing, courtyard-type built form is proposed that will serve to set much of the building’s bulk well back from the park edge, frame Phase 2’s large, indoor/outdoor, amenity facility, and open the development’s proposed landscaped water garden to public view. Together, these features will visually expand the apparent size of the park, provide for passive surveillance of both the park and the amenity, and enable the proposed private and public recreation activities to co-exist side-by-side without the need for fences or barricades.
- 3) A highly articulated, north-facing streetwall is proposed along the north face of Phase 2, which is designed, in part, to function as two discrete, yet integrated, buildings each with its own entry lobby, weather protection, and signage (i.e. a more urban tower fronting Patterson Road and a more residential, mid-rise form fronting the proposed Patterson Street-End Park with townhouses at its base). This will provide for a visually interesting, pedestrian-friendly streetscape and complement future development (by others) along Patterson Road’s north side.

Urban Design and Site Planning

The overall form of development proposed for Phase 2 of “Concord Gardens” is consistent with City objectives established for the subject site through the rezoning process and will contribute towards an attractive, pedestrian-friendly, high-density environment. More specifically:

- 1) As noted above, the courtyard-like form of the building expands the effective size and amenity of the proposed Neighbourhood Park and provides for strong definition along its north edge, while the other side of the building presents an articulated streetwall form broken-up to reduce the apparent overall scale of the development and provide pedestrian interest.
- 2) The building’s east and west ends are kept relatively narrow to minimize impacts on adjacent development and maximize views of the park from the surrounding area.
- 3) All of the development’s parking is concealed below finished grade, which effectively minimizes the portion of the site occupied by building, maximizes useable open space opportunities (i.e. 55% of the subject site will be developed for public recreation in the form

of the Neighbourhood Park), and provides for a variety of accessible grade changes around and within the site that contribute towards an engaging and visually interesting landscape.

- 4) The development's large, multi-storey, club-like amenity facility presents a prominent, welcoming image both along "Concord Gardens" private north-south street and the Neighbourhood Park, which contributes towards a mutually complementary relationship between the facility's recreation uses and the surrounding public realm.
- 5) Garbage operations are fully contained within the building, and access for parking, loading, and recycling is grouped in one location near the end of Patterson Road where these activities will have least impact on the public realm.

Architectural Form and Character

The CCAP encourages the City Centre to be developed as a mosaic of distinctive, yet cohesive, urban villages. The design of the subject Phase 2 development builds on the clean, contemporary, architectural vocabulary established in "Concord Gardens" Phase 1, but intentionally avoids repetition by moving towards a cooler, less bold colour palette and finer, lighter architectural forms. More specifically, the building is composed of three strong layers:

- 1) Base: The lower floors of the building are designed to be expressive and pedestrian oriented:
 - The amenity facility on the building's south side presents a sophisticated, club-like image expressed through a cool, minimalist colour palette, the horizontal lines of its expansive, south-facing windows, and the exposed structural supports that create deep, sun-protected arcades and define generous patio areas across the face of its indoor pool, gym, and banquet hall.
 - The club-like image of the amenity facility continues around the west side and northwest corner of the building, punctuated by variations in glazing patterns, materials, and colours that, together with weather protection and crisp canopy signage, greet residents and their guests to the amenity facility entrance on "Concord Gardens" private north-south street and the more formal and subdued, residential tower entrance on Patterson Road.
 - Elsewhere, the perimeter is generally characterized by a regular pattern of 2-storey, brick-fronted townhouse units, each with its own individual entrance via a slightly raised, landscaped front yard/patio with a contemporary entry feature (i.e. address signage, light). This will contribute to a more intimate, residential ambience complementary to the fronting public park and open space areas.
- 2) Middle: The mid-rise portion of the building, which is the building's predominant feature, is composed of a playful series of cubic forms that provide for visual interest via shifts in scale, texture, and colour that vary across the building's facades:
 - Horizontal projecting and inset balconies with by-pass guards and coloured banding that conceal the balcony edges are used in combination with off-set, vertical windows, coloured spandrel panels, and slim, painted concrete frames to create tightly tailored fields of colour and texture.
 - Slim brick grids and frames are introduced to break-up the fields of glass and colour into separate "buildings" and signal building entries.

- The upper edge of the mid-rise treatment steps down in height towards the east to visually accentuate the development's massing (which likewise transitions from higher on the west to lower near Garden City Road), while the bottom edge of the mid-rise treatment strikes a clean "tide line" that draws attention to the special uses at the building's base.
- 3) Top: The upper portion of the building is kept intentionally light and airy in appearance to reduce the apparent bulk of the upper storeys and contribute to a visually appealing skyline:
- In contrast to the more colourful, textural mid-rise floors that step down towards the east, the upper floors of the high-rise tower are lighter, more transparent, and glassy and strike a calm horizontal line.
 - Penthouse tower units incorporate broad bands of uninterrupted windows and balconies (some with generous roof terraces) that are designed to maximize opportunities for residents to enjoy views of the park and beyond.
 - Wide cantilevered roof projections at the top of the building incorporate a slim edge profile and punched openings that present a clean, contemporary finish to the tower and will provide for a geometric silhouette against the sky when viewed from street level, the park, and the building's lower storeys.

Indoor & Outdoor Amenity Space

Based on City policy, to meet the anticipated amenity needs of the residents of the subject development's 263 units, the developer is required to provide 526 m² (5,662 ft²) of indoor amenity space and 1,990 m² (21,421 ft²) of outdoor amenity space, the latter of which should include a minimum of 600 m² (6,459 ft²) of children's play space and 412 m² (4,435 ft²) of landscaping (i.e. based on CCAP requirements for 10% of the site to be landscaped). The developer, however, wishes to exceed the City's minimum standards in order to take advantage of the unique opportunity afforded by the "Concord Gardens" five-phase development to create a large, club-like amenity facility for the shared use of all Phase 1-5 residents in addition to providing amenity space for the sole use of Phase 2. In total, the developer proposes to construct 1,862 m² (20,040 ft²) of indoor amenity space and 2,083 m² (22,426 ft²) of outdoor amenity space, which represent 350% and 118% of the City's indoor and outdoor amenity requirements respectfully. The project's proposed shared Phase 1-5 amenities will be secured via legal agreement on title for the common use of all "Concord Gardens" residents.

- 1) Shared Phase 1-5 Indoor/Outdoor Amenity: This concierge-managed amenity space, proposed for Levels 2, 3, and 4 of the building, includes 1,715.7 m² (18,468 ft²) of indoor amenity space and 1,548.9 m² (16,672 ft²) of outdoor amenity space and includes for the following amenities:
- A large, part-gradual entry, indoor swimming pool with direct access to outdoor patio space for lounging and barbequing overlooking the Neighbourhood Park, together with a hot tub and sauna;
 - A gymnasium, sized for badminton and half-court basketball, the design of which includes a children's climbing wall and storage for play toys and recreation equipment;
 - A 2-storey fitness facility with large windows and a broad range of fitness equipment;

- Change rooms with showers, including a family change room and day lockers;
- A large multi-purpose room designed to accommodate banquets, with a serving kitchen, views over the Neighbourhood Park, and direct access to a large, wrap-around patio with fire pits, barbeque facilities, and space for dining, lounging, and parties;
- A games level for relaxing and socializing, including a pool table, table tennis, golf simulator, 20-seat movie theatre, and bowling alley;
- A landscaped water garden comprised of a network of shallow, reflecting ponds, bridges, and patios including, at its focus, a garden pavilion for yoga, tai chi, and relaxing; and
- Maintenance and storage facilities, including space for the storage of seasonal and banquet furniture and equipment.

2) Phase 2 Indoor/Outdoor Amenity: This amenity space is intended to provide for the everyday needs of the residents of Phase 2 and will not be accessible to the residents of the other four phases of “Concord Gardens”. More specifically, the development provides for:

- At Level 4, a 77 m² (824 ft²) multi-purpose room with a 28 m² (302 ft²), south-facing deck for strata meetings, family parties, and casual get-togethers;
- At Level 11 (the mid-rise rooftop), a 70 m² (748 ft²) multi-purpose room designed to function as a glassed-in garden room that will enhance the use of the associated 702 m² (7,560 ft²) outdoor amenity space, which includes agricultural garden plots (together with tool storage, running water, and space for compost), areas for seating, relaxing, dining, and barbecuing, a combination of intensive and extensive green roofs, and trees for shade and visual appeal; and
- Within the Level 11 outdoor space, a children’s playground including toys installed on a resilient surface, a sand box, and a hard surface play area, the use of which is primarily intended for younger children who may not be adequately served by the Neighbourhood Park and Patterson Street-End Park. The size of the proposed play space is 96 m² (1,038 ft²), which is less than the 600 m² (6,459 ft²) recommended under current City policy; nevertheless, staff support the developer’s proposal on the basis that:
 - The subject development proposes to provide indoor amenity space far in excess of City requirements;
 - The shared (Phase 1-5) indoor amenity space has been designed specifically with the needs of children and their families in mind (e.g., gradual-entry pool, children’s climbing structure and toy storage in the gym, and a family change room); and
 - The developer will be providing for alternate play opportunities suitable for a broad range of ages and interests in the privately-owned, publicly-accessible Neighbourhood Park.

Landscape Design & Open Space Design

The CCAP encourages the development of Capstan Village with a network of small- and medium-sized neighbourhood parks for public use, linked with walkways and bike paths, and complemented by attractive on-site private and semi-private open space amenities and landscape features. Elements of the subject development’s landscape and open space design include the following:

- Neighbourhood Park: Phase 2 provides for a 0.51 ha (1.27 ac) publicly-accessible, privately-owned/maintained open space (secured via the DP Landscape Letter of Credit), including:
 - A large children`s playground incorporating an interactive water feature, swings, a slide, and a climbing structure on a raised knoll that makes the area a feature of the park;
 - A large lawn ringed with shade trees for picnics, informal active play, and relaxing;
 - Adult fitness equipment;
 - A fenced, off-leash dog park;
 - An accessible hillside treated as an “edible landscape” with various types of berries;
 - A stream-like water feature, incorporating informal and formal edge treatments; and
 - Seating, planting, pathways, and related features.

- Patterson Street-End Park: As required to satisfy legal agreements registered on title prior to rezoning, as part of Phase 2 the developer is required to design and construct, at the developer`s sole cost (via a City Servicing Agreement), a park for the active and passive use of the general public within an unopened portion of Patterson Road. This City-owned park will include, but may not limited to, a walkway along its south side, a shared bike/pedestrian path along its north side, a hard surface, informal sports court, lawn, seating and picnic benches, planting and trees, and the enhancement of an existing drainage swale along the park`s north edge (including the removal and replacement of invasive species).

- Garden City Greenway & Bike Path: As required to satisfy legal agreements registered on title prior to rezoning, as part of Phase 2 the developer is required to design and construct, at the developer`s sole cost (via a City Servicing Agreement), a pedestrian walkway, street lighting, landscape, and cycling improvements along the full Garden City Road frontage of “Concord Gardens” (i.e. Phases 2 and 3), the Patterson Street-End Park, and the publicly accessible portion of the City-owned lot at 8991 Patterson Road to Sea Island Way.

- Private Outdoor Space: In addition to the outdoor, semi-private amenity spaces proposed as part of the development`s shared Phase 1-5 (grade level) amenity and separate Phase 2 (rooftop) amenity, all residential units will have outdoor space in the form of front yards, roof decks, or balconies. These spaces are either inset to create separation and privacy between adjacent units or separated with privacy screens incorporating planter boxes and extensive green roofs.

- Tree Replacement: A tree inventory and assessment were completed prior to rezoning and updated via the subject DP review. Requirements with respect to Phase 2 include:
 - Existing on-site trees will be removed and replaced on-site via the subject DP, including tree planting within the Neighbourhood Park as determined to the satisfaction of Richmond Parks;
 - Tree protection will be installed and an arborist will be retained to protect and monitor existing trees on adjacent property (i.e. future Phases 3 and 4) during the construction of Phase 2, as per City policy; and
 - The developer will contribute \$3,900 to the City`s Tree Compensation Fund for the planting of replacement of trees elsewhere in the city in respect to trees the developer proposes to remove from City road right-of-ways, as determined by Richmond Parks.

Transportation

- 1) **Transitional Parking Strategy**: In compliance with CCAP policy and Richmond’s Zoning Bylaw, the developer proposes to implement a transitional parking strategy for the three phases of “Concord Gardens” situated on its property at 8888 Patterson Road. This strategy addresses vehicle parking, Class 1 (resident) bike parking, and Electrical Vehicle (EV) Charging Stations (**Attachment 7**), and will be secured via a legal agreement on title prior to the issuance of the subject Development Permit. More specifically:
 - ***Vehicle Parking***: The Zoning Bylaw requires that any multi-phase development in Capstan Village must provide extra vehicle parking in its early phase(s) over and above the minimum Bylaw requirement (i.e. “Parking Zone 2” versus “Parking Zone 1”) and secure that extra parking for the future use of later phase(s) so that, at build-out, the combined total amount of vehicle parking provided at all phases will comply with “Zone 1”. The rationale for this approach is that the extra parking is useful in the near-term, prior to the construction of the Capstan Canada Line station, but unnecessary in the longer-term when the Village is better established (e.g., amenities, shopping, jobs, child care) and more convenient Canada Line service is expected. The developer’s proposed strategy is consistent with the City’s objectives and provides for at least 442 parking spaces being constructed at Phase 2 of which 299 will be for the permanent use of Phase 2 and 143 shall be secured via legal agreement for future use of Phase 5 (i.e. available on an interim basis for the use of Phase 2).
 - ***Bike Parking***: Similar to the project’s vehicle parking, as part of Phase 2 the developer proposes to pre-build Class 1 bike parking for the future use of Phase 5, as set out in the Transitional Parking Strategy. (**Attachment 7**)
 - ***Vehicle & Bike EV Charging Stations***: In addition to stipulating minimum numbers of vehicle and bike parking spaces, the proposed Transitional Parking Strategy (**Attachment 7**) also sets out the project’s required number and phasing of EV facilities. Furthermore, as proposed, the development exceeds City requirements, as follows:
 - Phases 1, 2, and 5 all comply with current OCP EV standards, even though the approval of Phase 1 pre-dates any OCP requirement to provide EV facilities (which represents an extra 108 EV charging stations and 90 EV rough-ins for cars and an extra 40 EV charging stations for bikes); and
 - Six 240V quick-charge stations are proposed for the shared use of all phases (which stations are not required under current OCP policy).
- 2) **Transportation Demand Management (TDM) Measures**: The Zoning Bylaw provides for reductions of up to 10% of required parking spaces based on a development’s provision of TDM measures to the satisfaction of the City. With respect to the subject Phase 2 development, those measures include the developer’s proposal to provide for:
 - EV charging facilities over and above current OCP standards (as described above);
 - A voluntary contribution of \$25,000 for the installation of a transit shelter off-site; and
 - Public open space improvements (at the developer’s sole cost via a Servicing Agreement) in and around the City-owned lot at 8991 Patterson Road, including a public walkway and off-street bike path linking Sea Island Way with pedestrian/bike amenities within the Patterson Street-End Park and along Garden City Road, to the satisfaction of the City.

3) Loading & Waste Collection: As with parking, a coordinated strategy is proposed to address the loading, garbage, and recycling needs of Phases 1, 2, and 5. More specifically, the agreed strategy includes the following:

- **Loading**: Loading for Phases 1 and 5 include accommodation for one large truck (WB-17) on the publicly-accessible, north-south road (that divides Phase 1 from Phase 2) and three medium trucks (SU-9) within the building. Phase 2 will share the large truck loading space provided by Phase 1, and provide for one additional medium truck (SU-9) loading space, which will be located within Phase 2 adjacent to its parking entrance.
- **Recycling**: While recycling facilities for Phases 1 and 5 are disbursed in three rooms constructed as part of Phase 1, the recycling facilities for Phase 2 are consolidated in a single room, which is conveniently situated near Phase 2's Patterson Road driveway and loading area (which has extra overhead clearance to accommodate recycling vehicle activities).
- **Garbage**: Garbage collection for all three phases will take place inside the parking structure (private pick-up using low profile vehicles) with vehicle access from Patterson Road via the Phase 1 driveway (for Phases 1 and 5) and Phase 2 driveway (for Phase 2).

Accessible Housing

Richmond's OCP seeks to meet the needs of the city's aging population and people facing mobility challenges by encouraging the development of accessible housing that can be approached, entered, used, and occupied by persons with physical or sensory disabilities. To address the City's policy, the developer proposes to provide:

- 1) Barrier-free access to both residential lobbies from the fronting street/park.
- 2) Barrier-free access to all indoor and outdoor amenity spaces (both at grade and on the mid-rise rooftop), together with provisions for the future installation (by others, if so desired) of a battery-operated swimming pool lift to facilitate easy entry into the water for wheelchair users (e.g., adequate clearances, anchor points).
- 3) 48 Basic Universal Housing (BUH) units (i.e. 18% of total units) designed to Zoning Bylaw standards to provide for their ready renovation to accommodate wheelchair users, including:
 - 11 affordable housing unit (i.e. 64% of Phase 2 affordable housing units); and
 - 37 market housing units (i.e. 15% of Phase 2 market units).

(Note: The developer does not plan to take advantage of the Zoning Bylaw's permitted density exclusion of 1.86 m² (20 ft²) per BUH unit.)

- 4) Aging in place features in all dwellings, including:
 - Stairwell hand rails;
 - Lever-type handles for plumbing fixtures and door handles; and
 - Solid blocking in washroom walls to facilitate future grab bar installation (by others) beside toilets, bathtubs, and showers.

Crime Prevention through Environmental Design (CPTED)

Measures are proposed to enhance safety and personal security including, but not limited to:

- 1) The parking structure and lobbies are designed to minimize alcoves and hidden corners;
- 2) The parking structure will be well lit and its interior will be painted white;
- 3) Elevator lobbies and vestibules will include glazing as per Building Code requirements;
- 4) Outdoor amenity spaces will be visually open and well lit, offer multiple access options, and be separated from public areas by landscape and/or water features;
- 5) The development's site planning and building design provides for the passive surveillance of all street and park frontages;
- 6) Lobbies are placed in prominent locations, and have clear sightlines to fronting streets and public open spaces; and
- 7) The west tower and amenity entrances will be supervised by a concierge.

Sustainability Measures – LEED “Silver”

The project's sustainability goal is to provide a cost-effective, high-value development that meets or exceeds City standards (i.e. LEED “Silver” equivalent) and the standards targeted for Phase 1 (i.e. 60 LEED points versus 52). The development proposal responds to City objectives for enhanced long-term environmental, fiscal, and social sustainability as per the attached LEED Checklist (**Attachment 6**). In brief, the proposed development will:

- 1) Be District Energy Utility (DEU) “ready”, such that it will be capable of connecting to a City DEU system when one comes available;
- 2) Undergo simulations for energy analysis to optimize performance;
- 3) Incorporate rainwater management measures aimed at reducing the volume of stormwater entering the City storm system via the retention and re-use of rainwater for landscape irrigation, a supplementary water source for water features, and the nourishment of rain gardens within public spaces;
- 4) Include intensive and extensive green roofs, vegetated outdoor areas, and agriculture plots;
- 5) Provide funding towards the construction of the Capstan Canada Line station, implementation of Transportation Demand Management (TDM) measures, construction of an off-street bike path and frontage improvements, and the establishment of a multi-phase “transitional parking strategy” aimed at minimizing parking demand and supporting transit and alternative travel modes;
- 6) Include EV charging stations for vehicles and bikes, including six quick-charge stations; and
- 7) Incorporate water efficient irrigation (i.e. moisture sensor system) and plumbing fixtures (e.g., low-flow shower, kitchen, and lavatory faucets and dual flush toilets).

Conclusions

The proposed development is consistent with Richmond's objectives for the subject property and Capstan Village, as set out in the OCP and City Centre Area Plan, and the Zoning Bylaw. The project's proposed variations in heights, articulated streetwalls, subdued colour palette, and courtyard form wrapped around its club-like amenity facility will provide for a high-quality residential setting, complement the use and appearance of the proposed privately-owned/publicly-accessible Neighbourhood Park, and make the subject development an attractive feature of the emerging "Concord Gardens" neighbourhood. Furthermore, the project's proposed Neighbourhood Park, Patterson Street-End Park, and related on- and off-site road and open space improvements have been designed with local users and long-term maintenance responsibilities in mind. On this basis, staff support the proposed development and recommend approval of the subject Development Permit application.

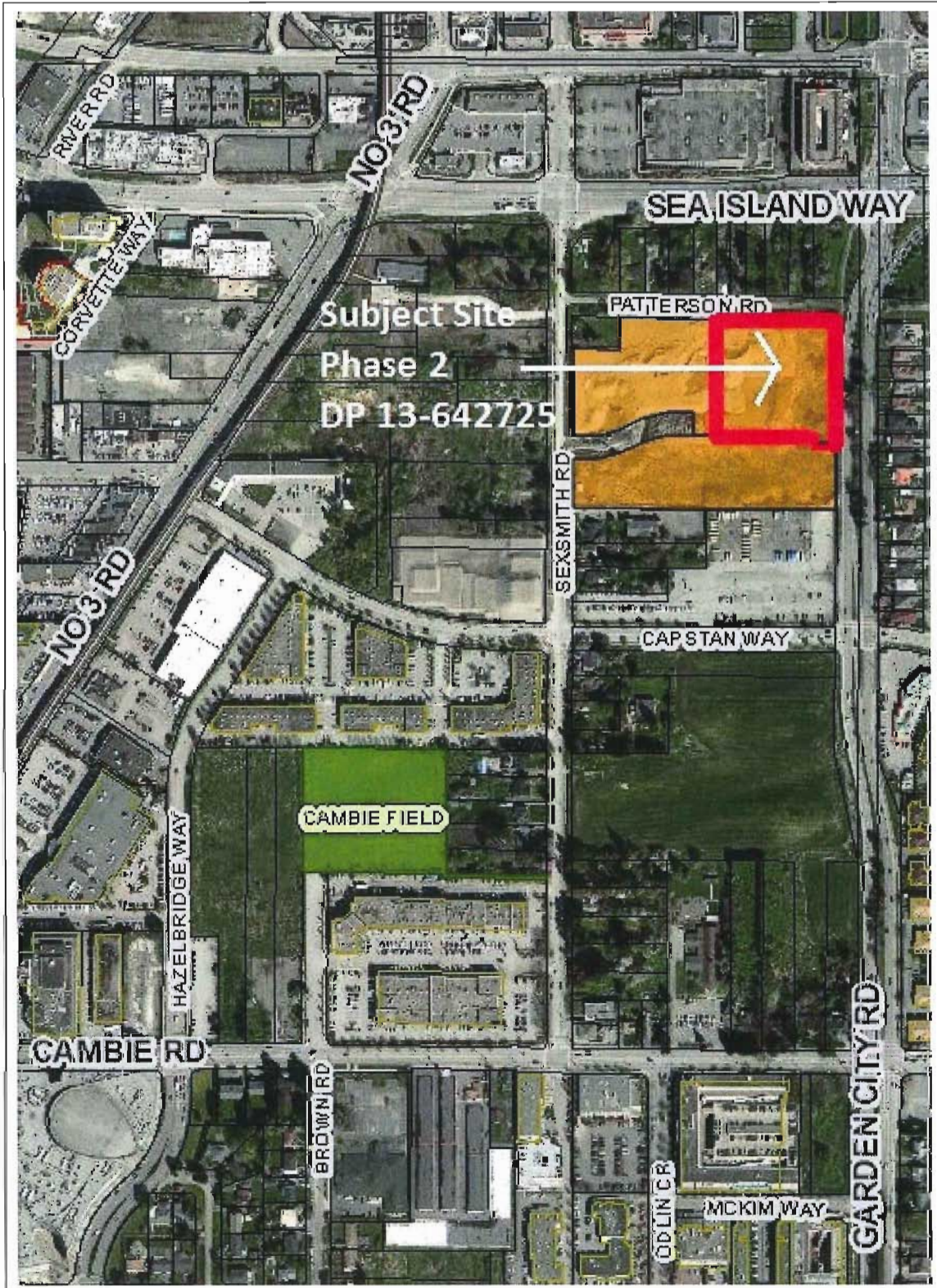


Suzanne Carter-Huffman
Senior Planner/Urban Design

SPC:cas

Attachments:

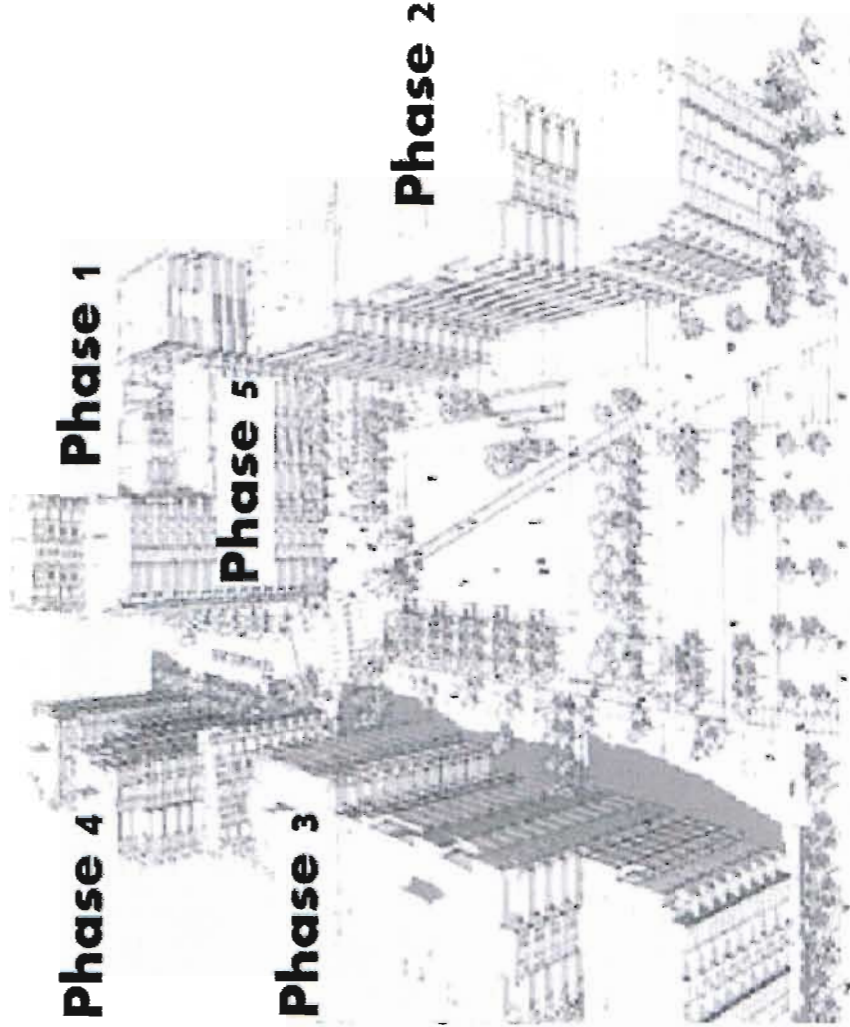
1. Location Map
2. "Concord Gardens" Phasing
3. Development Application Data Sheet
4. Patterson Street-End Park Concept
5. Richmond Advisory Design Panel Minutes
6. LEED "Silver" Checklist (equivalent)
7. Transitional Parking Strategy for Phases 1 (Approved), 2 & 5 (Future)
8. Conditional Development Permit Requirements



8888 Patterson Road & 3333 Hazelbridge Way

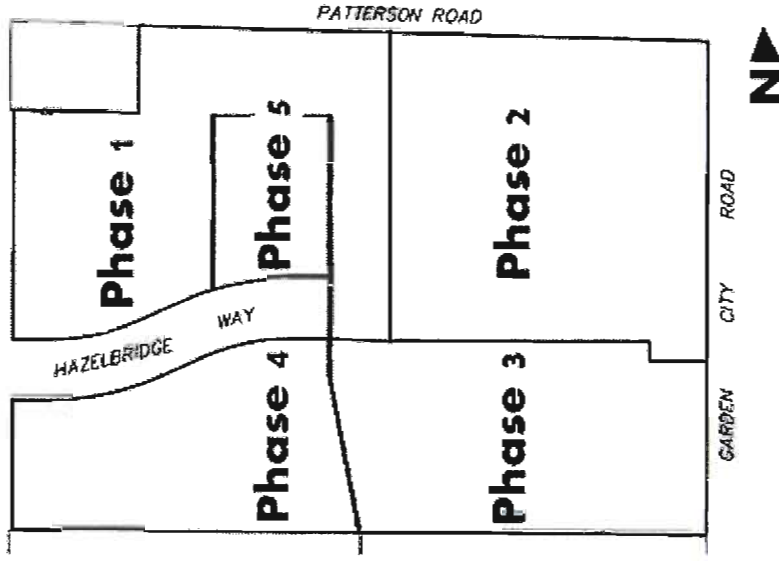
ATTACHMENT 2
 “Concord Gardens” Phasing

Aerial view looking west across the future Neighbourhood Park



Garden City Road is in the foreground, Phase 1 is in the background, and the proposed extension of Hazelbridge Way is between Phase 4 (south) and Phases 1 & 5 (north). A publicly-accessible “private” road will be constructed over a parking structure as part of Phase 1 (running north-south between Phase 5 & the Neighbourhood Park).

Phasing plan



NOTE: At Phase 1, “Temporary Park” will be constructed (over a 2-storey parking structure concealed below finished grade) in the area marked as Phase 5. The “Temporary Park” will be replaced with a residential tower when the construction of publicly-accessible park & open space elsewhere within & around the development is generally complete.



City of Richmond

Development Application Data Sheet

Development Applications Division

DP 13-642725

Address: 8888 Patterson Road & 3333 Hazelbridge Way

Applicant: Amela Brudar - GBL Architects

Owner: 0754999 BC Ltd.

Planning Area(s): City Centre (Capstan Village)

Floor Area Gross: 22,019.8 m² (237,027 ft²) excluding parking Floor Area Net: 20,758.9 m² (223,454 ft²)

	Existing	Proposed
Site Area	For Phases 1-5: <ul style="list-style-type: none"> 30,536 m² (7.55 ac), including Statutory Right-of-Ways for publicly-accessible open space & road 	For Phase 2 only: <ul style="list-style-type: none"> (100%) Gross Site: 9,415.9 m² (101,352 ft²) (56%) Neighbourhood Park & Greenway SRW: 5,292.0 m² (1.31 ac) (44%) Net Site: 4,123.9 m² (44,390 ft²)
Land Uses	<ul style="list-style-type: none"> Vacant 	<ul style="list-style-type: none"> High-rise, high-density residential Park
OCP Designation	<ul style="list-style-type: none"> Mixed Use Park 	<ul style="list-style-type: none"> No change
Zoning	<ul style="list-style-type: none"> High Rise Apartment and Artist Residential Tenancy Studio Units (ZHR10) – Capstan Village (City Centre) 3.2 FAR for Phases 1-5 combined 	<ul style="list-style-type: none"> No change
No. of Units @ Phase 2	<ul style="list-style-type: none"> Nil 	<ul style="list-style-type: none"> Market Housing: 246 Affordable Housing: 17 Total: 263

	Bylaw Requirement @ Phase 2	Proposed @ Phase 2	Variance
Net Floor Area	<ul style="list-style-type: none"> Max. 20,900.0 m² 	<ul style="list-style-type: none"> 20,758.9 m² 	<ul style="list-style-type: none"> None permitted
Lot Coverage	<ul style="list-style-type: none"> Max. 90%, excluding SRW park & greenway 	<ul style="list-style-type: none"> 65%, excluding SRW park & greenway 	<ul style="list-style-type: none"> None
Setback for Structures Below Finished Grade	<ul style="list-style-type: none"> Nil 	<ul style="list-style-type: none"> Nil (Varies) 	<ul style="list-style-type: none"> None
Setback @ Patterson Road	<ul style="list-style-type: none"> Min. 6.0 m, but may be reduced to 3.0 m based on an approved DP 	<ul style="list-style-type: none"> 3.0 m 	<ul style="list-style-type: none"> None
Setback @ SRW Secured for Road or Park	<ul style="list-style-type: none"> Min. 6.0 m, but may be reduced to 3.0 m based on an approved DP 	<ul style="list-style-type: none"> @ Garden City Greenway SRW: 3.0 m @ Neighbourhood Park SRW: 3.0 m @ Private Road SRW: 3.0 m 	<ul style="list-style-type: none"> None

	Bylaw Requirement @ Phase 2	Proposed @ Phase 2	Variance
Height @ 50+ m from Garden City Road	<ul style="list-style-type: none"> Max. 35.0 m, but may be increased to 47.0 m geodetic based on an approved DP 	<ul style="list-style-type: none"> 47.0 m geodetic 	<ul style="list-style-type: none"> None
Height @ Less than 50 m from Garden City Road	<ul style="list-style-type: none"> Max. 25.0 m, but may be increased to 28.0 m based on an approved DP 	28.0 m <u>EXCEPT</u> : <ul style="list-style-type: none"> A cantilevered roof & balconies higher than 28.0 m are proposed @ 48.6 m from Garden City Road An elevator penthouse, enclosed stairs, and indoor amenity space project higher than 28.0 m 	<ul style="list-style-type: none"> Reduce the min. setback by 1.4 m to permit a cantilevered roof & balconies Increase the max. height by 5.4 m to permit an elevator penthouse, enclosed stairs & indoor amenity space
Lot Size	<ul style="list-style-type: none"> 9,416 m² 	<ul style="list-style-type: none"> 9,416 m² 	<ul style="list-style-type: none"> None
Off-Street Parking – Total	Transitional Parking Strategy requiring parking for Phase 2 & future Phase 5 based on: <ul style="list-style-type: none"> Residents (R): 1.0 space/unit Visitors (V): 0.2 spaces/unit 10% relaxation for the provision of Transportation Demand Management (TDM) measures 	<ul style="list-style-type: none"> For Phase 2: 299 (251R + 48V) For (future) Phase 5: 143 Total: 442 	<ul style="list-style-type: none"> None
Off-Street Parking – Small Cars	<ul style="list-style-type: none"> Max. 50% 	<ul style="list-style-type: none"> For Phase 2: 34% (73R + 28V = 101 spaces) For (future) Phase 5: 36% (52 spaces) Total: 35% (153 spaces) 	<ul style="list-style-type: none"> None
Off-Street Parking – Accessible	<ul style="list-style-type: none"> Residents (R): 2% of total Visitors (V): 2% of total 	<ul style="list-style-type: none"> For Phase 2: 2% (6R + 2V = 8 spaces) For (future) Phase 5: 2% (3 spaces) Total: 2% (9 spaces) 	<ul style="list-style-type: none"> None
Off-Street Parking - Electric Vehicle (EV) Plug-Ins	<ul style="list-style-type: none"> 30% @ 120V 	<ul style="list-style-type: none"> For Phase 2: 30% (89 spaces) For (future) Phase 5: 30% (43 spaces) Total: 30% (132 spaces) <u>PLUS</u> 6 @ 240V quick-charge stations 	<ul style="list-style-type: none"> None
Off-Street Parking – Electric Vehicle (EV) Rough-Ins	<ul style="list-style-type: none"> 25% @ 120V 	<ul style="list-style-type: none"> For Phase 2: 25% (74 spaces) For (future) Phase 5: 25% (36 spaces) Total: 25% (110 spaces) 	<ul style="list-style-type: none"> None
Off-Street Parking- - Tandem	<ul style="list-style-type: none"> Permitted 	<ul style="list-style-type: none"> Nil 	<ul style="list-style-type: none"> None

	Bylaw Requirement @ Phase 2	Proposed @ Phase 2	Variance
Bike Parking – Class 1 (Residents)	<ul style="list-style-type: none"> 1.25 bikes/unit 	<ul style="list-style-type: none"> For Phase 2: 329 For (future) Phase 5: 117 Total: 486 	<ul style="list-style-type: none"> None
Bike Parking – Class 2 (Visitors)	<ul style="list-style-type: none"> 0.2 bikes/unit 	<ul style="list-style-type: none"> For Phase 2: 53 	<ul style="list-style-type: none"> None
Amenity Space – Indoor	<ul style="list-style-type: none"> Min. 2 m²/unit (526 m² @ 263 units) 	<ul style="list-style-type: none"> Shared with Phases 1-5: 1,715.68 m² (including a pool, gym, bowling alley, games room, banquet hall, theatre & fitness) For Phase 2 only: 146.0 m² (multi-purpose room) Total: 1,861.68 m² 	<ul style="list-style-type: none"> None
Amenity Space – Outdoor (OCP)	<ul style="list-style-type: none"> Min. 6 m²/unit, including 50% for children’s play space to a maximum area of 600 m² (1,578 m² @ 263 units, including 600 m² of play space) 	<ul style="list-style-type: none"> Total: 1,648.87 m² Play space: 96.4 m² <u>NOTE:</u> While the play space is less than 600 m², the project satisfies the intent of the OCP on the basis that it provides for: <ul style="list-style-type: none"> Over 300% of required indoor amenity space; Children’s play features in the pool and gym; A large playground in the privately-owned, publicly-accessible Neighbourhood Park; and On-site outdoor play space geared to small children who may not be adequately served by the Neighbourhood Park. 	<ul style="list-style-type: none"> None.
Amenity Space – Additional Outdoor (CCAP)	<ul style="list-style-type: none"> 10% of net site area for general landscaping (412 m²) 	<ul style="list-style-type: none"> 10+% (434.52 m²) 	<ul style="list-style-type: none"> None
Accessible Housing - Basic Universal Housing (BUH)	<ul style="list-style-type: none"> Encouraged 	<ul style="list-style-type: none"> Market Housing: 15% (37 units) Affordable Housing: 64% (11 units) Total Units: 17% (48 units) 	<ul style="list-style-type: none"> None
Accessible Housing - Aging in Place	<ul style="list-style-type: none"> Encouraged 	<ul style="list-style-type: none"> 100% of units 	<ul style="list-style-type: none"> None

**Excerpt from the Minutes from
The Design Panel Meeting**

**Wednesday, October 23, 2013 – 4:00 p.m.
Richmond City Hall**

**DP 13-642725 – PHASE 2 OF A 5-PHASE, HIGH DENSITY, MULTI-FAMILY DEVELOPMENT
(269 UNITS)**

APPLICANT: Amela Brudar, GBL Architects, on behalf of Concord Pacific

PROPERTY LOCATION: 8888 Patterson Road

Applicant's Presentation

Amela Brudar, GBL Architects, and Grant Brumpton, PWL Partnerships, presented the project and answered queries from the Panel on behalf of the applicant.

Panel Discussion

Comments from the Panel were as follows:

- public park over a private space could give rise to liability issues; look at public parking for park users;
 - *A maintenance guide has been prepared by the project's landscape architect, in consultation with Richmond Parks staff, to assist the private owners in the management and upkeep of the Neighbourhood Park.*
 - *The City discourages the provision of parking as part of small, neighbourhood-oriented parks, such as the one proposed.*
- consider low level dividers for benches to prevent unwanted uses such as skateboarding;
 - *Agreed.*
- underground parking requires extensive lighting;
 - *Lighting and related measures will be incorporated into the underground parking to ensure the personal security of all residents and their guests.*
- the proposed development's open design conforms to CPTED principles;
- concern on the potential for unwanted uses of zigzagged pathway along Garden City Road;
 - *The proposed design provides for good surveillance by fronting residential uses and from Garden City Road. In addition, the short ramp lengths and tight radius corners are expected to limit use by skateboarders.*
- relationship between the landscaping and interior amenity is sophisticated;
- large and consolidated amenity area of the proposed development provides opportunity for use by neighbouring developments;

- concern on the high maintenance cost of the amenity area by the future strata management;
 - *The design of the Neighbourhood Park, together with the maintenance guide prepared in consultation with Richmond Parks, are sensitive to the long-term costs that will be borne by the private owners.*
- consider further landscaping treatment in private areas to differentiate them from public areas, e.g. lessen use of water in public areas and provide more in private areas;
 - *Boulders, planting, trees, and various other landscape features have been incorporated to better define the boundary of the Neighbourhood Park from the adjacent outdoor residential amenity uses. And, the amount of water has been reduced within the Neighbourhood Park.*
- terracing on Garden City Road frontage is well designed;
- ensure that choice of plant species will provide adequate year-round screening for concrete walls;
 - *Agreed.*
- consider providing accessibility features for affordable units;
 - *All one-storey affordable housing units will be designed and constructed to Richmond's Basic Universal Housing standards, and all two-storey affordable housing townhouse units will include Aging in Place features.*
- appreciate the accessibility of the amenity areas;
- look at ramp width (zigzagged pathway near Garden City Road) to ensure accessibility for people on wheelchairs when occupied by other users;
 - *The path is designed to provide for adequate width.*
- proposal is successful; edges are well resolved; successful ground plane;
- east lobby appears weak; consider further design development, e.g. adding weather protection; west lobby works well;
 - *A canopy and entry signage has been added to both the east and west residential lobby entrances and to the shared amenity space lobby entrance.*
- backdoor access for residents to the park does not provide a strong enough connection to the park;
 - *An entry door has been added to provide direct access for residents from the east elevator core area to the outdoor amenity space on Level 3 and the adjacent Neighbourhood Park.*
- a lot of attention has been given to the south elevation but the north elevation appears flat; consider further design development for the north elevation;
 - *The building's north face has been revised to include greater relief and break-up the façade's large scale.*
- overall, an interesting concept; appreciate the open design;

- applicant needs to provide details to address the thermal bridging by cantilever balconies;
 - *The applicant is aware of this issue and will address it via the building's detailed design.*
- four energy points besides commissioning and green power seems low with the district energy system; proposed development needs to have more energy points;
 - *Steps have been taken to increase the development's LEED Energy & Atmosphere points from 8 to 10, and improve its overall LEED score from 55 to 60 points.*
- massing is good; generous provision of four elevators (i.e., two cores);
- strong integration of landscaping;
- appreciate how the massing is broken down; however, a stronger definition of elements is needed;
 - *The use of glazing, colour, solid metal panels, and complementary features has been refined to better define key features of the development, such as the shared amenity space and the residential lobbies.*
- residential units at the interior corners are dark;
 - *Steps have been taken to reduce potential overlook and improve outlook.*
- blurring between the private and public spaces are handled well;
- townhouse entrances off the street look nice and are well connected to the street; however, look at ways to address privacy issues;
 - *Entry steps have been set back from the sidewalk to allow for the addition of landscape entry features and address signage, which enhance the identity of the individual units and provide for a greater sense of privacy.*
- appreciate the morphology of the building; good cross sections; appreciate the amenity area;
- appreciate the good use of a lot of water in the central park area; activates the area;
- landscaping on Garden City Road frontage is entertaining;
- elevation facing Patterson Road needs further development;
 - *As noted above, the design of the building's north face has been revised to include greater relief and break-up the façade's large scale.*
- concern on the quality of future maintenance of the public park by the strata management; and
 - *As noted above, the design of the Neighbourhood Park, together with the maintenance guide prepared in consultation with Richmond Parks, are sensitive to the long-term costs that will be borne by the private owners.*

- the north elevation appears to be the back of the building; needs further design development.
 - *As noted above, the design of the building's north face has been revised to include greater relief and break-up the façade's large scale. In addition, the entry to the west tower lobby has been relocated to the development's Patterson Road frontage to enhance the relationship of the building with the street, and weather protection, architectural signage, and landscape improvements have been incorporated into the building's west and east lobby entrances.*

Panel Decision

It was moved and seconded

That DP 13-642725 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Panel.

CARRIED

LEED Canada-NC 2009 Project Checklist

CONCORD GARDENS PH2

Yes ? No

60	9	34	Project Totals (pre-certification estimates)	110 Possible Points
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Certified 40-49 points Silver 50-59 points Gold 60-79 points Platinum 80 points and above

Yes ? No

22	0	3	Sustainable Sites	26 Points
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✓			Prereq 1	Construction Activity Pollution Prevention	Required
			Credit 1	Site Selection	1
5	0		Credit 2	Development Density and Community Connectivity	3, 5
		1	Credit 3	Brownfield Redevelopment	1
6			Credit 4.1	Alternative Transportation: Public Transportation Access	3, 6
1			Credit 4.2	Alternative Transportation: Bicycle Storage & Changing Rooms	1
3			Credit 4.3	Alternative Transportation: Low-Emitting & Fuel-Efficient Vehicles	3
2			Credit 4.4	Alternative Transportation: Parking Capacity	2
1			Credit 5.1	Site Development: Protect and Restore habitat	1
1			Credit 5.2	Site Development: Maximize Open Space	1
1			Credit 6.1	Stormwater Design: Quantity Control	1
		1	Credit 6.2	Stormwater Design: Quality Control	1
1			Credit 7.1	Heat Island Effect: Non-Roof	1
1			Credit 7.2	Heat Island Effect: Roof	1
		1	Credit 8	Light Pollution Reduction	1

Yes ? No

6	2	2	Water Efficiency	10 Points
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✓			Prereq 1	Water Use Reduction	Required
3	1		Credit 1	Water Efficient Landscaping	2, 4
		2	Credit 2	Innovative Wastewater Technologies	2
3	1		Credit 3	Water Use Reduction	2 - 4

Yes ? No

10	1	21	Energy & Atmosphere	35 Points
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✓			Prereq 1	Fundamental Commissioning of Building Energy Systems	Required
✓			Prereq 2	Minimum Energy Performance	Required
✓			Prereq 3	Fundamental Refrigerant Management	Required
6	1	12	Credit 1	Optimize Energy Performance	1 - 19
		7	Credit 2	On-Site Renewable Energy	1 - 7
		2	Credit 3	Enhanced Commissioning	2
2			Credit 4	Enhanced Refrigerant Management	2
			Credit 5	Measurement and Verification	3
2			Credit 6	Green Power	2

Yes ? No

4 3 7 **Materials & Resources** **14 Points**

✓			Prereq 1	Storage and Collection of Recyclables	Required
		3	Credit 1.1	Building Reuse: Maintain Existing Walls, Floors, and Roof	1-3
		1	Credit 1.2	Building Reuse: Maintain Interior Non-Structural Elements	1
2			Credit 2	Construction Waste Management	1-2
		2	Credit 3	Materials Reuse	1-2
1	1		Credit 4	Recycled Content	1-2
1	1		Credit 5	Regional Materials	1-2
	1		Credit 6	Rapidly Renewable Materials	1
		1	Credit 7	Certified Wood	1

Yes ? No

11 3 1 **Indoor Environmental Quality** **15 Points**

✓			Prereq 1	Minimum Indoor Air Quality Performance	Required
✓			Prereq 2	Environmental Tobacco Smoke (ETS) Control	Required
1			Credit 1	Outdoor Air Delivery Monitoring	1
0	1		Credit 2	Increased Ventilation	1
1			Credit 3.1	Construction IAQ Management Plan: During Construction	1
1			Credit 3.2	Construction IAQ Management Plan: Before Occupancy	1
1			Credit 4.1	Low-Emitting Materials: Adhesives and Sealants	1
1			Credit 4.2	Low-Emitting Materials: Paints and Coatings	1
1			Credit 4.3	Low-Emitting Materials: Flooring Systems	1
	1		Credit 4.4	Low-Emitting Materials: Composite Wood and Agrifibre Products	1
1			Credit 5	Indoor Chemical and Pollutant Source Control	1
1			Credit 6.1	Controllability of System: Lighting	1
1			Credit 6.2	Controllability of System: Thermal Comfort	1
	1		Credit 7.1	Thermal Comfort: Design	1
		1	Credit 7.2	Thermal Comfort: Verification	1
1			Credit 8.1	Daylight and Views: Daylight	1
1			Credit 8.2	Daylight and Views: Views	1

Yes ? No

5 0 0 **Innovation in Design** **6 Points**

1			Credit 1.1	Innovation in Design	1
1			Credit 1.2	Innovation in Design	1
1			Credit 1.3	Innovation in Design	1
1			Credit 1.4	Innovation in Design	1
			Credit 1.5	Innovation in Design	1
1			Credit 2	LEED® Accredited Professional	1

Yes ? No

2 0 0 **Regional Priority** **4 Points**

			Credit 1	Durable Building	1
1			Credit 2.1	Regional Priority Credit	1
1			Credit 2.2	Regional Priority Credit	1
			Credit 2.3	Regional Priority Credit	1

Transitional Parking Strategy for Phases 1 (approved), 2 & 5 (future)

Concord @ Soxsmith and Patterson Re
 Transitional Parking Strategy for 8888 Patterson Rd and 33333 Hackettbridge Way,
 Phases 1, 2 & 5 (Lot 1, Area A, B & E)
 DP 13-602725 (Phase 2) and DP 13-603300 (Phase 1) - Pending Applications
 NOTE: MIN. PARKING REQUIRED/PROVIDED AS PER LEGAL AGREEMENT REGISTERED ON TITLE

Lot 1	Parking	ZONE 1A		ZONE 1		Electric Vehicle (EV) Based on Total Provided in Zone 1		30% 120V EV Parking Spaces		25% EV Rough-in for future 120V		320/40		240V Quick Charge Located in the Visitor Parking of Phase 2		Bike Parking										
		Rate		Required		Provided		Rate		Required & Provided		Rate		Required & Provided		Class 1 Based on total unit count		Class 2 Based on total unit count		10% EV Bike Spaces @ 120V Based on Total Provided Spaces						
		Req'd	Provid'd	Req'd	Provid'd	Rate	Req'd	Provid'd	Rate	Req'd	Provid'd	Rate	Req'd	Provid'd	Rate	Req'd	Provid'd	Rate	Req'd	Provid'd	Rate	Req'd	Provid'd			
Phase 1/ Area A	Residential Parking	20	0.81	16	0.81	16	16	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-		
	ARTS	260	1.08	281	1.08	293	234	253	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-		
	Market	280	1.25	317	1.25	309	250	265	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-		
	Total	560		614		618	511	511																		
	Phase 1	280	0.18	51	0.18	51	51	51	0.30	0.30	96	0.25	80	0.25	350	0.10	35	0.20	56	0.20	350	0.10	35	0.20		
	Total	840		665		669	562	562																		
	Transitional for future Phase 5	40					40	40	0.30	0.30	12	0.25	10	0.25	90	0.10	5	0.20	40	0.10	350	0.10	35	0.20		
	Total	880		665		669	602	602																		
	Phase 2/ Area B	Residential Parking	17	0.81	14	0.81	14	14	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
	ART	246	1.08	266	1.08	280	234	237	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
Total	263		280		294	236	251																			
Phase 2	263	0.18	48	0.18	48	48	48	0.30	0.30	96	0.25	75	0.25	320	0.10	33	0.20	53	0.10	320	0.10	33	0.20			
Total	526		328		342	284	299																			
Transitional for future Phase 5	143					143	143	0.30	0.30	43	0.25	36	0.25	110	0.10	12	0.20	53	0.10	320	0.10	33	0.20			
Total	669		328		485	427	442																			
Phase 5/ Area E	Residential Parking (estimate)	30																								
ART est. 10	122																									
Market est. 122	152																									
Total	304																									
Phase 5	304	0.18	51	0.18	51	51	51	0.30	0.30	96	0.25	80	0.25	350	0.10	35	0.20	56	0.10	350	0.10	35	0.20			
Total	608		102		102	102	102																			
Transitional parking numbers above.	132																									
Total	740		102		102	102	102																			
Summary	Residential	207	309	360	250	269	269																			
Phase 1/ Area A	Visitor	51	51	360	51	51	51	96	80																	
280 units	Total	258	360	720	301	320	320																			
Phase 2/ Area B	Residential	280	394	442	236	251	251																			
263 units	Visitor	48	48	442	48	48	48	90	75																	
Total	Total	328	442	884	284	299	299																			
Phase 5/ Area E	Residential	N/A	N/A	N/A	119	119	119	55	46																	
est. 132 units	Visitor				24	24	24																			
Total	Total				143	143	143																			
Lot 1 Total	Residential	676	802	802	728	802	802	241	201																	
	Visitor							6	6																	
	Total							6	6																	
	Class 1 Bike Storage				165	165	165	835	844																	
	Class 1 Bike 120V EV stalls				35	35	35	33	33																	
	Class 2 Bike Storage				22	22	22	22	22																	
	Class 2 Bike 120V EV stalls				327	327	327	307	307																	
	Sub-TOTAL				109	109	109	109	109																	
	ESTIMATED				27	27	27	165	165																	
	ESTIMATED				85	85	85	844	844																	

FINAL – November 14, 2013



**City of
 Richmond**

**Conditional Development
 Permit Requirements**

Development Applications Division
 6911 No. 3 Road, Richmond, BC V6Y 2C1

Development Permit at 8888 Patterson Road (Phase 2)

DP 13-642725

Prior to forwarding this application to Council for Development Permit (DP) approval, the developer is required to complete the following requirements:

1. **“No Development”**: Compliance with the terms of the restrictive covenant(s) registered on title prior to rezoning adoption (RZ 06-349722) securing that “no development” will be permitted and restricting Development Permit (DP)* issuance in respect to any portion of the subject development until conditions are satisfied for the following, as determined to the satisfaction of the City:
 - 1.1. **Phasing**, requiring that Area B (i.e. the location of the subject Phase 2 development) must proceed after Area A (i.e. Phase 1, DP 12-611486, permit issued);
 - 1.2. **Affordable Housing**, requiring that prior to the issuance of a DP for Area B (i.e. the subject Area, which is Phase 2 of the “Concord Gardens” 5-phase development and the second of three phases on Lot 1), C, D, or E, as the case may be, the Owner will replace the Housing Covenant (registered on title on Lots 1 and 2 prior to adoption of RZ 06-349722) for the purpose of further specifying the construction requirements, types, and locations of the Housing Units on the applicable Area, as determined by the Director of Development and the Manager, Community and Social Development in their sole discretion, in conjunction with the issuance of a DP.

In addition, the Owner must comply with legal agreements registered on title requiring that the minimum combined habitable floor area of Housing Units provided by the Owner, at the Owner’s sole cost, on Area B shall be comprised of a portion of the deferred Area A (Phase 1) Housing Units, as per RZ 06-349722, and Housing Units required in respect to the City’s standard affordable housing (i.e. 5%) policy, as follows:

TABLE 1: Area B (Phase 2) Housing Unit Minimum Requirements

Housing Unit Components	Minimum Housing Unit Calculation	Minimum Required Combined Habitable Floor Area
▪ Deferred Area A (Phase 1) Housing Units, as per RZ 06-349722 & covenants on title	▪ 30% of Housing Units deferred from Area A (Phase 1) (i.e. 30% x 11,705 ft ²)*	326.3 m ² (3,512 ft ²)
▪ Area B (Phase 2) Housing Units, as per standard City affordable housing (5%) policy	▪ 5% of the total Area B (Phase 2) residential floor area LESS the Area A (Phase 1) deferred Housing Units (i.e. 5% x (222,097 ft ² – 3,512 ft ²))	1,015.3 m ² (10,929 ft ²)
TOTAL	NOTE: Equates to 6.5% of total Area B (Phase 2) floor area	1,341.6 m² (14,441 ft²)

* Area A (Phase 1) total residential floor area as per BP 13-643300 (252,431 ft²) less the combined habitable floor area of the Area A (Phase 1) Artist Residential Tenancy Studio (ARTS) Units (18,340 ft²) equals 234,091 ft². Based on this, the total combined habitable floor area of Housing Units deferred from Area A (Phase 1) for construction by the Owner at later phases is 11,705 ft² (i.e. 5% x 234,091 ft²).

Based on the above and DP 13-642725, the Owner shall provide for seventeen (17) Housing Units on Area B, the combined habitable floor area of which shall comprise at least 1,361.2 m² (14,652 ft²) and seventeen (17) dwelling units, as follows:

- 1.2.1. Six (6) 2-storey, 2-bedroom, townhouse-style units on Levels 2 and 3, the access to which units shall be via individual front doors and front yards directly accessible from the proposed Patterson Street-End Park, and eleven (11) single-storey, apartment-style units on Level 2 (4 units), Level 3 (3 units), Level 4 (2 units), and Level 5 (2 units), including:

TABLE 2: Area B (Phase 2) Housing Unit Recommended Development

Unit Type	Number of Units	Minimum Unit Area	Maximum Monthly Unit Rent	Total Annual Household Income
2-Storey (Townhouse-Style) Units				
2-Bedroom	2	98 m2 (1,063 ft2)	\$1,162	\$46,500 or less
2-Bedroom & Den	4	126 m2 (1,361 ft2)	\$1,162	\$46,500 or less
Single-Storey (Apartment-Style) Units				
Bachelor	2	43 m2 (471 ft2)	\$850	\$34,000 or less
1-Bedroom & Den	6	50 m2 (535 ft2)	\$950	\$38,000 or less
2-Bedroom	1	78 m2 (845 ft2)	\$1,162	\$46,500 or less
3-Bedroom	1	89 m2 (967 ft2)	\$1,437	\$57,500 or less
3-Bedroom & Den	1	99 m2 (1,070 ft2)	\$1,437	\$57,500 or less
TOTAL	17	Varies	Varies	Varies

1.2.2. "Maximum Monthly Unit Rent" and "Total Annual Household Income" indicated in the table above denote 2013 amounts adopted by Council on March 11, 2013. Amounts may be increased periodically as provided for under adopted City (affordable housing) policy.

1.2.3. All single-storey Housing Units (i.e. apartment-style units) must satisfy Richmond Zoning Bylaw requirements for Basic Universal Housing.

1.2.4. All 2-storey Housing Units (i.e. townhouse-style units) must provide aging in place features to the satisfaction of the Director of Development including, but not necessarily limited to, stairwell handrails, lever-type handles for all plumbing fixtures and door handles, and solid blocking in washroom walls to facilitate the future installation (by others) of grab bars beside toilets, bathtubs, and showers.

1.3. Parks, requiring that the "Parks - Phase 2" (i.e. the portion of the Neighbourhood Park located on Area B and the Patterson Street-End Park) are designed and constructed to the satisfaction of the City, at the sole cost of the developer, and secured via a Letter(s) of Credit. This requirement shall be satisfied via the developer's :

1.3.1. Construction of the Neighbourhood Park within the area secured via a Statutory Right-of-Way on Area B (i.e. the subject site) for this purpose, which works shall be secured via the DP Landscape Letter of Credit (LOC), based on 100% of the sealed cost estimate provided by the Landscape Architect (including labour and 10% contingency); and

1.3.2. Detailed design and construction of the Patterson Street-End Park, which works shall be managed via the City's standard Servicing Agreement (SA) processes (secured via a LOC).

In addition, as determined via DP 13-642725:

1.3.3. The developer shall amend or replace the Statutory Right-of-Way registered on Area B (i.e. the subject portion of Lot 1) and Area C (i.e. the adjacent portion of Lot 2/3340 Sexsmith Road owned by the developer) for the purpose of securing the Neighbourhood Park for public use in order to:

- a) Provide for the addition of minimum acceptable maintenance specifications and standards (in the form of a schedule), to the satisfaction of the Senior Manager, Parks, the Director Development, and the City Solicitor; and
- b) Permit residential indoor amenity space to encroach into the right-of-way area, provided that the minimum habitable floor elevation of any such use is at least 2.9 m geodetic and (as with other permitted encroachments) the structure is fully concealed below finished grade and does not compromise the appearance or public amenity of the right-of-way area, as determined to the satisfaction of the City via an approved Development Permit.

1.4. Roads & Related Improvements, requiring that the "Roads – Phase 2" (i.e. Patterson Road east of the Private Road, Garden City Road and related frontage works, and any related Transportation Demand Management measures in respect to DP 13-642725) are designed and constructed to the City's satisfaction, at the developer's sole cost. This requirement shall be satisfied via the developer's:

1.4.1. Detailed design and construction of Patterson Road east of the Private Road, on-and off-street bike facilities and frontage improvements along Garden City Road from the south end of Lot 2/3340 Sexsmith Road to Sea Island Way, which works shall be managed via the City's standard Servicing Agreement (SA) processes (secured via a LOC).

1.5. Public Art, requiring that the developer has, at its sole cost:

1.5.1. Submitted to the City, the Area Specific Detailed Art Plan for Area B (i.e. the subject site) and Area C (i.e. the adjacent portion of Lot 2/3340 Sexsmith Road, owned by the developer) having a value of at least \$310,092, as determined by the DP approval process for Area B and set out in the table below (i.e. as per legal agreements on title, the Plan shall have a value equal to or greater than the greater of \$241,036 or the value of the Applicable Developer Contribution Rate multiplied by the combined total Buildable Area of Area B and Area C).

TABLE 3: Estimated Minimum Value of Area Specific Detailed Art Plan for Areas B & C

Area	Maximum Permitted Floor Area	Affordable Housing*	Buildable Area**	Applicable Developer Contribution Rate	Value of Area Specific Detailed Art Plan
B	222,097 ft ² As per DP 13-642725	14,652 ft ² As per DP 13-642725	207,445 ft ² As per DP 13-642725	\$0.77/ft ² (City-approved 2013 rate)	\$159,733
C	208,827 ft ² ***	13,555 ft ² ****	195,272 ft ²		\$150,359
TOTAL	430,924 ft²	28,207 ft²	402,717 ft²	\$0.77/ft²	\$310,092

* Exempt from "Buildable Area" for Public Art purposes

** Buildable Area = Maximum Permitted Floor Area – Affordable Housing

*** Maximum permitted floor area, as per the subject site's ZHR10 zone (i.e. 20,900.0 m²).

**** Estimated affordable housing based on 5% X (maximum permitted ZHR10 floor area for Area C LESS 28% of the 11,705 ft² of affordable housing deferred by Area A and secured via legal agreements on title).

1.5.2. Entered into a Public Art Agreement satisfactory to the Director of Development and Director, Arts, Culture and Heritage in their sole discretion for the implementation of the Project-Wide Public Art Plan in respect of Area B and Area C in accordance with the Area Specific Detailed Public Art Plan referred to above.

More specifically, the Public Art Agreement shall take the form of a covenant, registered on title, restricting final Building Permit issuance granting occupancy for a building (in whole or in part) on Area B, exclusive of structures below finished grade (e.g., parking) until:

- a) The developer, at its expense, commissions an artist or artists to conceive, create, manufacture, design, and oversee or provide input about the manufacturing of the public art, and causes the public art to be installed on Area B and/or on City property in accordance with the Area Specific Detailed Art Plan for Area B and Area C;
- b) If the public art is installed on City property, the developer, at its expense and within thirty (30) days of the date on which the public art is installed, executes and delivers to the City, in a form satisfactory to the City Solicitor, a transfer of all of the artist's right, title, and interest in the public art to the City, including a transfer of copyright; and
- c) The developer, at its expense, submits a final report to the City promptly after the completion of the installation of the public art in respect to the Area Specific Detailed Art Plan for Area B and Area C, which report shall, to the satisfaction of the Director of Development and Director, Arts, Culture, and Heritage, include:
 - Information regarding the siting of the public art, a brief biography of the artist(s), a statement from the artist(s) on the public art, and other such details as the Director of Development and Director, Arts, Culture, and Heritage may require;
 - A statutory declaration, satisfactory to the City Solicitor, confirming that the developer's financial obligations to the artist(s) have been fully satisfied;
 - The maintenance plan for the public art prepared by the artist(s); and
 - Digital records (e.g., photographic images) of the public art, to the satisfaction of the Director, Arts, Culture, and Heritage.

1.5.3. Delivered to the City, as security for the performance of the developer's obligations in the Public Art Agreement for Area B and Area C, a Letter of Credit in an amount of \$310,092 (as per the value established in respect to the Area Specific Detailed Art Plan for Area B and Area C described above).

2. Transit Shelter: City acceptance of the developer's voluntary contribution of \$25,000 for the installation, by others, of an accessible bus shelter in the vicinity of the subject site, as determined to the satisfaction of the City. This voluntary cash-in-lieu transit shelter contribution shall be considered to be a Transportation Demand Management (TDM) measure for the purpose of determining Zoning Bylaw parking spaces requirements for 8888 Paterson Road/3333 Hazelridge Way (i.e. NOT for development at 3340 Sexsmith Road).
3. Landscape Bond: Receipt of a Letter of Credit for landscaping for \$1,898,141.30, the value of which is based on 100% of the sealed cost estimate provided by the Landscape Architect (including labour and 10% contingency) for:
 - 3.1. Neighbourhood Park development within the area secured via a Statutory Right-of-Way on the subject site for this purpose (i.e. \$1,028,480.20); and
 - 3.2. Landscaping elsewhere on the subject site including, but not limited to, residential outdoor amenity space and green roofs (i.e. \$869,661.10).
4. Tree Replacement: City acceptance of the developer's voluntary contribution of \$3,900 to the City's Tree Compensation Fund for the planting of replacement trees within the city. (Tree compensation requirements filed under REDMS #4039202.)

5. **Arborist Services:** Submission of a Contract entered into between the applicant and a Certified Arborist for supervision of any on-site works conducted within the tree protection zone of trees to be retained on and around the site. The Contract should include the scope of the work to be undertaken, including the proposed number of site monitoring inspections and provisions for the Arborist to submit a post-construction assessment report to the City for review.
6. **Tree Protection:** Installation of appropriate tree protection fencing around all the trees that area to be retained as part of the development (both on and adjacent to 8888 Patterson Road) prior to the commencement of any construction activities.
7. **"No Build":** Registration of a restrictive covenant(s) on title securing that "no building" will be permitted and restricting Building Permit* issuance in respect to any portion of the subject development until the following is complete, as determined to the satisfaction of the City:
 - 7.1. **View Blockage & Other Potential Development Impacts:** *Unless already registered on 8888 Patterson Road & 3333 Hazelbridge Way*, the registration of a restrictive covenant(s) and/or alternative legal agreement(s) on title, to the satisfaction of the City, to:
 - 7.1.1. Notify potential purchasers of residential units that the subject site is in a transitional area and, as a result of future development on surrounding properties, impacts on residential units and/or any common residential spaces may occur including, but not limited to, the obstruction of near and distant views to landmarks and features, in whole or in part (e.g., North Shore Mountains, Mt. Baker, Fraser River, Georgia Straight), increased shading, increased overlook, reduced privacy, increased ambient noise, and/or increased ambient night-time light;
 - 7.1.2. Require that the developer take steps via the design and construction of the subject development to mitigate possible impacts; and
 - 7.1.3. Indemnify the City.
 - 7.2. **Transitional Parking Strategy & Electric Vehicle (EV) & Bike Charging Stations Provisions:** *Unless already registered on 8888 Patterson Road & 3333 Hazelbridge Way*, the registration of a restrictive covenant(s) and/or alternative legal agreement(s) on title, to the satisfaction of the City, to satisfy Richmond Zoning Bylaw 8500, Section 7 Parking and Loading, for Parking Zone 1A. (**Schedule B**)
 - 7.3. **Tandem Parking:** *Unless already registered on 8888 Patterson Road & 3333 Hazelbridge Way*, the registration of a legal agreement on title ensuring that where two parking spaces are provided in a tandem arrangement, both parking spaces must be assigned to the same dwelling unit and neither may be assigned for visitor parking purposes.
 - 7.4. **Shared Residential Amenity Space:** Registration of a restrictive covenant(s) and/or alternative legal agreement(s), to the satisfaction of the City, securing that residential indoor and outdoor amenity space constructed on Levels 2, 3, and 4 of the subject development on Area B (Phase 2), as specified in the DP* for the subject site, shall be secured, together with related access and uses, for the unrestricted use of the residents of Areas A, C, D, and E (Phases 1, 3, 4, and 5).
8. **Servicing Agreement:** Enter into a Servicing Agreement (SA)* for the design and construction, at the developer's sole cost, of the second phase of off-site works in respect to the "Concord Gardens" five-phase development at 8888 Patterson Road/3333 Hazelbridge Way (Lot 1) and 3340 Sexsmith Road (Lot 2). The first phase of off-site works has been secured via SA 12-616223 and SA 12-626906 (sanitary pump station). Works applicable to DP 12-642725, (i.e. "Concord Gardens – Phase 2") shall generally be as indicated in the "Servicing Agreement Key Plan: Concord Gardens – Phase 2" (**Schedule C**), EXCEPT that 100% of Engineering off-site requirements in respect to ALL five phases of "Concord Gardens" (i.e. sanitary sewer, storm sewer, water, utility undergrounding, and related

works) shall be designed and constructed, to the satisfaction of the City, via the developer's first phase Servicing Agreements (SA 12-616223 and SA 12-626906). In addition:

- Prior to DP issuance, all works identified via the SA* must be secured via a Letter(s) of Credit, to the satisfaction of the Director of Development, Director of Engineering, Director of Transportation, Senior Manager, Parks, and Manager, Environmental Sustainability.
- A comprehensive, detailed road and traffic management design (subject to final functional design approval by the Director of Transportation) must be completed for all five (5) phases of the "Concord Gardens" development – and updated on a phase-by-phase basis, as required to the satisfaction of the Director of Transportation – prior to SA* approval for any transportation-related SA* works in respect to the subject phase of development (i.e. DP 12-642725).
- No phasing of off-site works will be permitted. All works shall be completed prior to final Building Permit* inspection granting occupancy for the subject development, EXCEPT as otherwise specifically provided for, to the satisfaction of the City and at its sole discretion, via covenants or other legal agreements registered on the subject site.
- Development Cost Charge (DCC) credits may apply.

Servicing Agreement* (SA) works in respect to "Concord Gardens – Phase 2" will include, but may not be limited to, the following:

8.1. Patterson Road: The developer is responsible for the design and construction of the following Interim Cross-Section, to the satisfaction of the City, taking into consideration the following Ultimate Cross-Section in the design and construction of those road works. The developer is required to design and construct improvements between the east boundary of the "Private Road", secure via Statutory Right-of-Way along the common boundary of Area A and Area B on Lot 1 (i.e. 8888 Patterson Road and 3333 Hazelbridge Way), and the west boundary of the proposed Patterson Street-End Park (i.e. at 8911 Patterson Road), as determined to the satisfaction of the City.

8.1.1. Interim Cross-Section: The developer is required to design and construct a hammerhead turn-around at the proposed east end of Patterson Road (to be situated within the existing road right-of-way and the Statutory Right-of-Way registered on the subject site for this purpose), together with road widening to accommodate the following (from south to north):

- a) 2.0m wide concrete sidewalk;
- b) 1.5m wide landscaped boulevard, incorporating street trees @ 6.0 m on centre or as otherwise directed by the City, some combination of groundcover and decorative planting, City Centre street lights (i.e. "Type 7"/ LED/grey, including one roadway luminaire, but excluding any pedestrian luminaires, banner arms, flower baskets holders, irrigation, or duplex receptacles), benches and furnishings, pedestrian crossings, and a minimum 1.5 m wide continuous trench for tree planting (i.e. to facilitate innovative storm water management measures aimed at improving the quality of run-off and reduce the volume of run-off entering the storm sewer system);
- c) 0.15m wide curb;
- d) 2.5m wide eastbound parking lane;
- e) 3.3m wide eastbound vehicle travel lane;
- f) 3.3m wide westbound vehicle travel lane; and
- g) Minimum 1.0m wide shoulder.

Note: As determined at the sole discretion of the City via the SA* process, the Interim Cross-Section may be modified to coordinate with the City-approved design for SA 12-

616223, the developer's Phase 1 Servicing Agreement. This may include, but may not be limited to, the removal of the proposed eastbound parking lane and the widening of both travel lanes from 3.3 m to 3.5 m each. In the event of any such City-approved modifications, the description of the Ultimate Cross-Section shall be understood to be modified accordingly (i.e. to provide for the future installation of works omitted or altered via the Phase 2 SA*).

8.1.2. Ultimate Cross-Section: The developer is required to take into consideration the completion (by others) of the hammerhead turn-around and the following Ultimate Cross-Section in the design and construction of required interim road works (referenced from the 3.3m wide westbound vehicle travel lane to north):

- a) 2.5m wide westbound parking lane;
- b) 0.15m wide curb;
- c) 1.5m wide landscaped boulevard, incorporating street trees @ 6.0 m on centre or as otherwise directed by the City, some combination of groundcover and decorative planting, City Centre street lights (i.e. to match the south side of the street), benches and furnishings, pedestrian crossings, and a minimum 1.5 m wide continuous trench for tree planting (i.e. to facilitate innovative storm water management measures aimed at improving the quality of run-off and reduce the volume of run-off entering the storm sewer system; and
- d) 2.0m wide concrete sidewalk.

8.2. Garden City Road: The developer is required to design and construct road widening from the north boundary of the existing Patterson Road right-of-way to the southern limit of 3340 Sexsmith Road (i.e. "Concord Gardens", Lot 2 – Area C) to accommodate the following (from east to west):

- a) Maintain the existing southbound lanes;
- b) 1.8 m wide on-street bike lane;
- c) 0.15m wide curb;
- d) 3.0 m wide grass boulevard (with a maximum 4% cross slope), incorporating street trees @ 6.0 m on centre or as otherwise directed by the City, City Centre (pedestrian) street lights (i.e. "Type 8- Custom Height"/ LED/grey, including two pedestrian luminaires installed with one facing the sidewalk and the other facing the on-street bike lane, but excluding any banner arms, flower baskets holders, irrigation, or duplex receptacles), benches and furnishings, a bike crossing (at the transition between on-street bike lane and off-street bike path), and a minimum 2.0 m wide continuous trench for tree planting;
- e) 2.0m wide concrete sidewalk; and
- f) 0.5 m wide landscape buffer (i.e. for future sidewalk widening, to be constructed, as required, by others).

Note: The developer shall not be responsible for replacing and/or upgrading the existing roadway lighting situated in the Garden City Road median.

8.3. Off-Street Bike Path: The developer is required to design and construct improvements to the public open space amenities on the City-owned lot at 8991 Patterson Road and its surroundings to provide for a public pedestrian walkway and off-street (two-way) bicycle path connecting the Sea Island Way/Garden City Road intersection with pedestrian/bicycle amenities within the Patterson Street-End Park and southwards along Garden City Road (i.e. pedestrian greenway and on-street, southbound bike lane), as determined to the satisfaction of the City. The improvements shall be

considered to be Transportation Demand Management (TDM) measures for the purpose of determining Zoning Bylaw parking spaces requirements for 8888 Patterson Road/3333 Hazelbridge Way (i.e. NOT for future development at 3340 Sexsmith Road.) Required improvements shall include, but may not be limited to:

- 8.3.1. Replacement of the City's existing asphalt path with parallel, separated pedestrian and bike paths including a:
- a) 2.0m wide concrete sidewalk (designed and located to provide for a convenient, safe, and attractive connection with the proposed Garden City Road sidewalk south of Patterson Road);
 - b) 3.0 m wide asphalt bike path (designed and located to provide for a convenient, safe, and attractive connection with the proposed temporary, shared walkway/two-way bike path along the north side of the Patterson Street-End Park and the southbound, on-street bike lane on Garden City Road); and
 - c) Landscaped buffer between the sidewalk and bike path, including City Centre (pedestrian) street lights (i.e. "Type 8"/ LED/grey, including two pedestrian luminaires, but excluding banner arms, flower baskets holders, irrigation, or duplex receptacles); and
- 8.3.2. Additional landscape enhancements, as determined to the satisfaction of the City via the SA* review and approval process (e.g., benches, and furnishings; landscape/storm water features coordinated with the Patterson Street-End Park).

Note: If via the SA* process, it is determined that tree(s) must be removed from the City road right-of-way or the City-owned lot at 8991 Patterson Road, the developer shall be required to replace the affected trees at a minimum ratio of 2:1 (or as otherwise determined by the City) or to make a cash-in-lieu voluntary contribution to the City's Tree Compensation Fund for the planting of replacement trees elsewhere within the city, as determined to the satisfaction of the City.

- 8.4. Patterson Street-End Park: The developer is required to design and construct a park for the active and passive use of the general public within the existing Patterson Road right-of-way to the satisfaction of the City, generally in the location shown on the City-approved Park Concept for "Concord Gardens", as per RZ 06-349722. (Schedule D) Required works shall include innovative storm water management measures aimed at improving the quality of run-off and/or reducing the volume of run-off entering the storm sewer system. Other features may include, but may not be limited to (from south to north):

- 8.4.1. 2.0m wide concrete sidewalk (directly aligned with the south sidewalk proposed for the road portion of Patterson Road);
- 8.4.2. +/-1.5m wide landscaped boulevard, incorporating street trees @ 6.0 m on centre or as otherwise directed by the City, some combination of groundcover and decorative planting, City Centre pedestrian lights (i.e. "Type 8"/ LED/grey, including one pedestrian luminaire, but excluding banner arms, flower baskets holders, irrigation, or duplex receptacles), benches and furnishings, pedestrian crossings, and a minimum 1.5 m wide continuous trench for tree planting;
- 8.4.3. Some combination of soft and hard landscape, including decorative planting, an informal sports court (for activities such as half-court basketball and children's wheeled toys) near the park's west end, and traffic/safety buffers at the park's east and west ends (e.g., fences, walls, hedges, berms);
- 8.4.4. Temporary 3.0 m wide (asphalt) shared walkway/two-way bike path (to be replaced/improved by others, as determined by the City in respect to future development along the north side of Patterson Road), including at its:

- a) East end, convenient, safe, and attractive connections to the public pedestrian walkway/sidewalk and on- and off-street bike facilities north and south of the park, together with wayfinding features (e.g., signage); and
- b) West end, access to/from the hammerhead turn-around at the east end of the road portion of Patterson Road, which access is to be centred on Patterson Road's driving lanes and, among other things:
 - Incorporate measures to prevent/deter access by motor vehicles;
 - Provide for the convenience and safety of cyclists; and
 - Together with other elements incorporated into the park and Patterson Road's proposed hammerhead turn-around, provide for wayfinding (e.g., signage) and an attractive street-end feature that complements the proposed (and future) fronting residential neighbourhood development; and

8.4.5. Retention and upgrading of the existing ditch and its surroundings to provide for permanent and/or temporary improvements complementary to the public amenity, use and/or appearance of the park and the public open space amenities on the City-owned lot at 8991 Patterson Road, which may include, but may not be limited to, the installation of City Centre pedestrian lights (i.e. "Type 8"/ LED/grey, including one pedestrian luminaire, but excluding banner arms, flower baskets holders, irrigation, or duplex receptacles), innovative storm water management measures, removal/replacement of invasive plants, interpretive features, and seating.

Prior to Building Permit (BP)* issuance permitting construction, the developer must complete the following requirements:

1. **"No Build":** Compliance with the terms of the restrictive covenant(s) registered on title securing that "no building" will be permitted and restricting Building Permit (BP)* issuance in respect to any portion of the subject development until conditions are satisfied for the following, as determined to the satisfaction of the City:
 - 1.1. District Energy Utility (DEU) Agreement (i.e. DEU-related design and energy modelling report to the satisfaction of the City);
 - 1.2. Parks (i.e. detailed design of the Neighbourhood Park situated on Area B and secured via the subject DP Landscape Letter of Credit to the satisfaction of the City);
 - 1.3. Site Conditions (i.e. the developer has entered into the Site Condition Agreement, to the satisfaction of the City, which agreement shall address issues, as determined via the subject development's Servicing Agreement(s)*, Development Permit*, and/or Building Permit(s)* to the satisfaction of the Director of Engineering, Director of Development, and Director of Transportation, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification and/or other activities that may result in settlement, displacement, subsidence, damage and/or nuisance to City and/or private utility infrastructure.);
 - 1.4. View Blockage & Other Potential Development Impacts (i.e. a Letter of Assurance is submitted by the Registered Professional to the satisfaction of the City);
 - 1.5. Transitional Parking Strategy & Electric Vehicle (EV) & Bike Charging Stations Provisions (i.e. design to the satisfaction of the City and Letter of Assurance from a Registered Professional); and
 - 1.6. Tandem Parking (i.e. design to the satisfaction of the City).

2. Capstan Station: As per the restrictive covenant and/or other legal agreements registered on the subject site prior to rezoning adoption (RZ 06-349722), the developer's voluntary contribution to the Capstan Station Reserve or as otherwise provided for via the Zoning Bylaw, as per the Richmond Zoning Bylaw in effect at the date of Building Permit* approval.
3. Traffic Management: Submission of a Construction Parking and Traffic Management Plan to the Transportation Division. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
4. Accessibility Measures: Incorporation of accessibility measures in Building Permit* plans as determined via the Development Permit* processes for DP 13-642725.
5. Hoarding: Obtain a Building Permit* for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit*. For additional information, contact the Building Approvals Division at 604-276-4285.

Note:

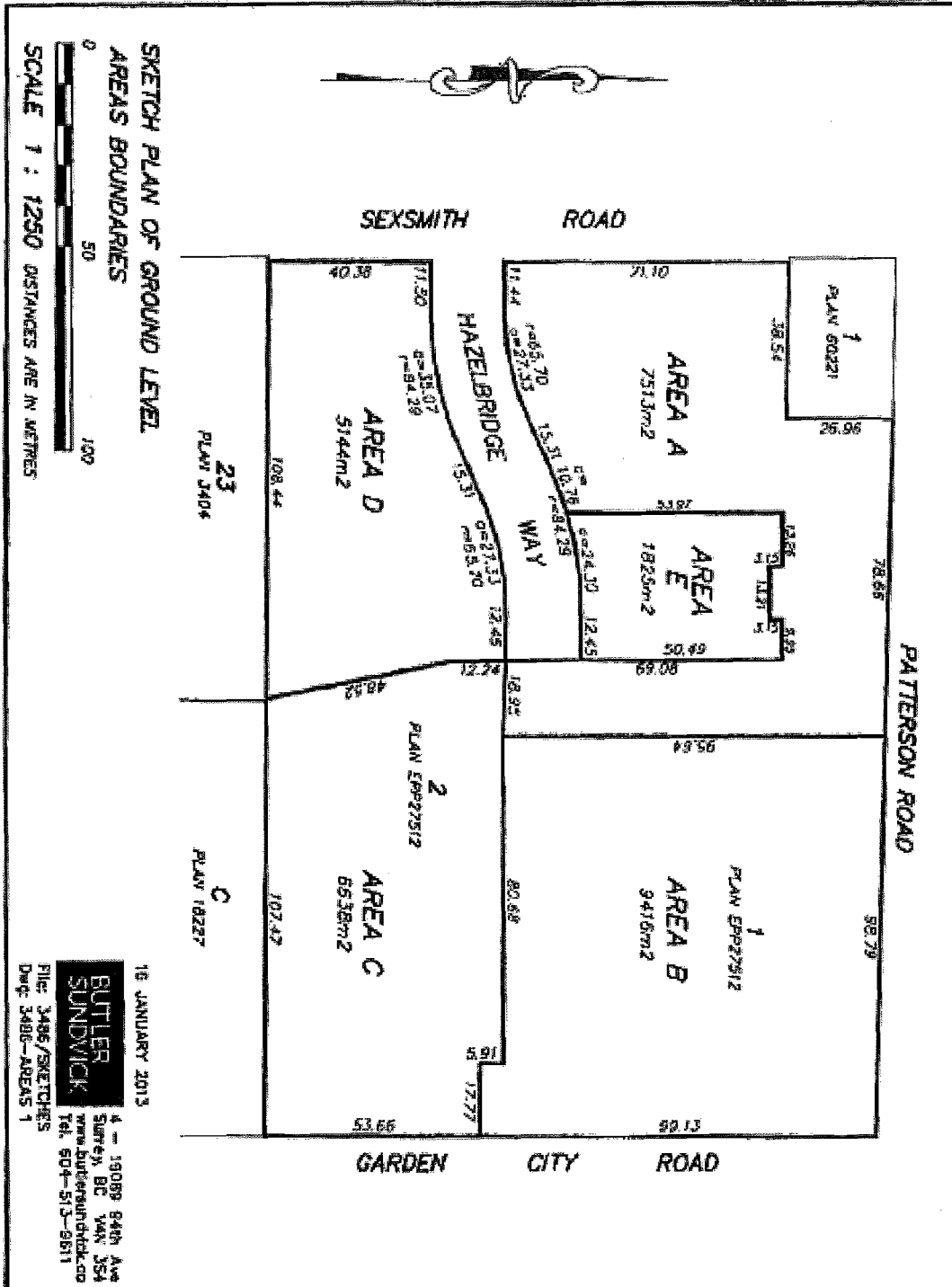
- * Items marked with an asterisk require a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.
All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.
The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.
- Additional legal agreements, as determined via the subject development's Servicing Agreement(s)* and/or Development Permit(s)*, and/or Building Permit(s)* to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

Signed 
 PETER WEAS

Date Nov. 18, 2013

SCHEDULE "A"

SKETCH PLAN OF AREAS A TO E



16 JANUARY 2013
BUTLER SANDVICK
 4 - 19089 84th Ave
 Surrey, BC V4N 3S4
 www.butlersandvick.co
 Tel. 604-513-9811
 File: 3496/SKETCHES
 Dwg: 3496-AREAS 1

Transitional Parking Strategy & Electric Vehicle (EV) & Bike Charging Stations Provisions

Concord Gardens: Phases 1, 2 & 5 (Lot 1: Areas A, B & E)

DP 13-642725 (Phase 2) & BP 13-643300 (Phase 1) – Pending applications

Purpose: To satisfy Richmond Zoning Bylaw 8500, Section 7 Parking and Loading, for Parking Zone 1A, which requires that parking provided in respect to a multiple-phase development on a single lot in Capstan Village (including the subject lot at 8888 Patterson Road & 3333 Hazelbridge Way) shall:

- a) Satisfy Parking Zone 2 for the parking space requirements for the first phase of the development on the lot;
- b) Satisfy Parking Zone 1 for the combined total parking space requirements for all the phases of the development on the lot; and
- c) Secure parking spaces provided in excess of Zone 1 parking space requirements for any phase on the lot, except for the final phase of the development:
 - For the temporary use of uses occurring at the initial phase or phases of the development; and
 - For the permanent use of uses occurring in the subsequent phase or phases of the development.

Covenant: (Note: For location of Areas, see “Schedule A”.)

As per the existing “No Build” covenant registered on Lot 1 and Lot 2 (Registration #CA2999850 & #CA2999851) and the requirements of Richmond Zoning Bylaw 8500, Section 7 Parking and Loading, for Parking Zone 1A (as described above), prior to Building Permit issuance for the construction of the first building on Area A (i.e. the first building on Lot 1), exclusive of parking, below grade structures, and landscape features, the owner shall enter into a restrictive covenant requiring the owner, at its sole cost, to:

***NOTE:** The following requirements are based on the developer's development proposal(s) for Lot 1, as currently understood by Richmond staff (i.e. 280 units @ Phase 1 as per BP 13-643300; 255 units @ Phase 2 as per DP 13-642725; and, approximately 132 units @ Phase 5, to be confirmed to the satisfaction of the City via future permits). If that development was to differ from staff's understanding, the parking requirements shall be revised accordingly, to the satisfaction of the Director of Transportation and Director of Development.*

1. For parking for vehicles (as defined under the Zoning Bylaw):

1.1. Provide for a combined total number of parking spaces on the lot (i.e. Areas A, B, and E combined) of at least 800, including at least:

1.1.1. 269 Resident Parking Spaces for the permanent use of the residents of Area A, of which:

- a) 16 parking spaces shall be for the exclusive use of the occupants of the ARTS Units on Area A;
- b) 96 parking spaces shall be equipped with 120V electrical vehicle (EV) charging stations and an additional 80 parking spaces shall be constructed to accommodate the future installation of electric vehicle charging equipment by others (i.e. pre-ducted for future wiring); and
- c) 100% of parking spaces shall be constructed prior to Final Building Permit Issuance Granting Occupancy for the first building on the lot (i.e. Area A – as per the phasing covenant registered on title), exclusive of parking, below grade structures, and landscape features;

1.1.2. 251 Resident Parking Spaces for the permanent use of the residents of Area B, of which:

- a) At least 14 parking spaces shall be for the exclusive use of Housing Units secured via a Housing Agreement on Area B as determined via an approved Development Permit for Area B;

Transitional Parking Strategy & Electric Vehicle (EV) & Bike Charging Stations Provisions

- b) 89 parking spaces shall be equipped with 120V electrical vehicle (EV) charging stations and an additional 74 parking spaces shall be constructed to accommodate the future installation of electric vehicle charging equipment by others (i.e. pre-ducted for future wiring); and
 - c) 100% of parking spaces shall be constructed prior to Final Building Permit Issuance Granting Occupancy for the first building on Area B or Area E, exclusive of parking, below grade structures, and landscape features;
- 1.1.3. 97 Visitor Parking Spaces for the permanent use of visitors to the lot, of which the construction of:
- a) 51 parking spaces shall be complete prior to Final Building Permit Issuance Granting Occupancy for the first building on the lot (i.e. Area A), exclusive of parking, below grade structures, and landscape features;
 - b) 100% of the parking spaces should be located in a single contiguous area, which area should be located, designed, and constructed to provide convenient access to all the common building entries on the lot (i.e. all elevator lobbies situated on Areas A, B & E);
 - c) 100% of parking spaces shall be complete prior to Final Building Permit Issuance Granting Occupancy for the first building on Area B, exclusive of parking, below grade structures, and landscape features;
 - d) At least 6 parking spaces equipped with 240V electrical vehicle (EV) charging stations shall be complete prior to Final Building Permit Issuance Granting Occupancy for the first building on Area B, exclusive of parking, below grade structures, and landscape features; and
- 1.1.4. 183 Transitional Parking Spaces, of which:
- a) 100% of parking spaces shall provide for the temporary use of the residents of Area A and Area B and/or visitors to the lot until the date of Final Building Permit Inspection Granting Occupancy for Area E development, exclusive of parking, below grade structures, and landscape features, upon which date the Transitional Parking Spaces shall be used exclusively for Resident Parking Spaces for the permanent use of the residents of Area E and Visitor Parking Spaces for the permanent use of visitors to the lot, as determined to the satisfaction of the Director of Development via an approved Development Permit for Area E;
 - b) 55 parking spaces shall be equipped with 120V electrical vehicle (EV) charging stations and an additional 46 parking spaces shall be constructed to accommodate the future installation of electric vehicle (EV) charging equipment by others (i.e. pre-ducted for future wiring), 100% of which parking spaces shall be designated for Resident Parking Spaces for the permanent use of the residents of Area E;
 - c) The construction of:
 - i. 40 parking spaces shall be complete prior to Final Building Permit Issuance Granting Occupancy for the first building on the lot (i.e. Area A), of which 12 parking spaces shall be equipped with 120V electrical vehicle charging stations and 10 parking spaces shall be constructed to accommodate the future installation of electric vehicle charging equipment by others (i.e. pre-ducted for future wiring); and

Transitional Parking Strategy & Electric Vehicle (EV) & Bike Charging Stations Provisions

- ii. 100% of parking spaces shall be complete prior to Final Building Permit Issuance Granting Occupancy for the first building on Area B, exclusive of parking, below grade structures, and landscape features.
- 1.2. Provide for Resident Parking Spaces for the permanent use of the residents, Visitor Parking Spaces for the permanent use of visitors to the lot, and Transitional Parking Spaces, on a phase-by-phase basis, to provide for a proportional share of handicapped and small car spaces as per the Zoning Bylaw.
- 1.3. Provide for the shared use of the Visitor Parking Spaces provided on a phase-by-phase basis for the permanent use of visitors to the lot by all the phases of development on the lot (i.e. Area A, B & E).
- 1.4. For the 6 Visitor Parking Spaces equipped with 240V electrical vehicle charging stations, the owner shall:
 - 1.4.1. Group the parking spaces together in one location collocated with other visitor parking spaces;
 - 1.4.2. Provide for unrestricted (shared) use of the parking spaces and charging facilities by all residents of and visitors to the lot (i.e. Area A, B & E);
 - 1.4.3. Ensure that the parking spaces (individually or as a group(s) of two or more) cannot be designated (e.g., leased, sold) for the exclusive use of the residents of or visitors to any specific dwelling unit(s), building(s), or Area(s).
- 1.5. Where two parking spaces are provided in tandem for the exclusive use of the residents of a single dwelling unit (as per the Zoning Bylaw and the City's standard tandem parking covenant, which is to be registered on title):
 - 1.5.1. Equip one parking space with a 120V electrical vehicle (EV) charging station; and
 - 1.5.2. Do not construct either parking space to accommodate the future installation of electric vehicle charging equipment by others (i.e. do not pre-duct for future wiring).
- 2. **For Class 1 bicycle parking (as defined under the Zoning Bylaw):**
 - 2.1. Provide for a combined total number of Class 1 bicycle parking spaces on the lot (i.e. Areas A, B, and E combined) of at least 835, including at least:
 - 2.1.1. 350 Class 1 Bicycle Parking Spaces for the permanent use of the residents of Area A, which shall include:
 - a) 25 for the exclusive use of the occupants of the ARTS Units secured via a Housing Agreement on Area A;
 - b) Access to at least 35 120V electrical vehicle (EV) charging stations; and
 - c) 100% of construction complete prior to Final Building Permit Issuance Granting Occupancy for the first building on the lot (i.e. Area A – as per the phasing covenant registered on title), exclusive of parking, below grade structures, and landscape features;
 - 2.1.2. 320 Class 1 Bicycle Parking Spaces for the permanent use of the residents of Area B, which shall include:
 - a) At least 22 shall be for the exclusive use of Housing Units secured via a Housing Agreement on Area B as determined via an approved Development Permit for Area B;
 - b) Access to at least 32 120V electrical vehicle (EV) charging stations; and

Transitional Parking Strategy & Electric Vehicle (EV) & Bike Charging Stations Provisions

- c) 100% of construction complete prior to Final Building Permit Issuance Granting Occupancy for the first building on the lot (i.e. Area B – as per the phasing covenant registered on title), exclusive of parking, below grade structures, and landscape features;

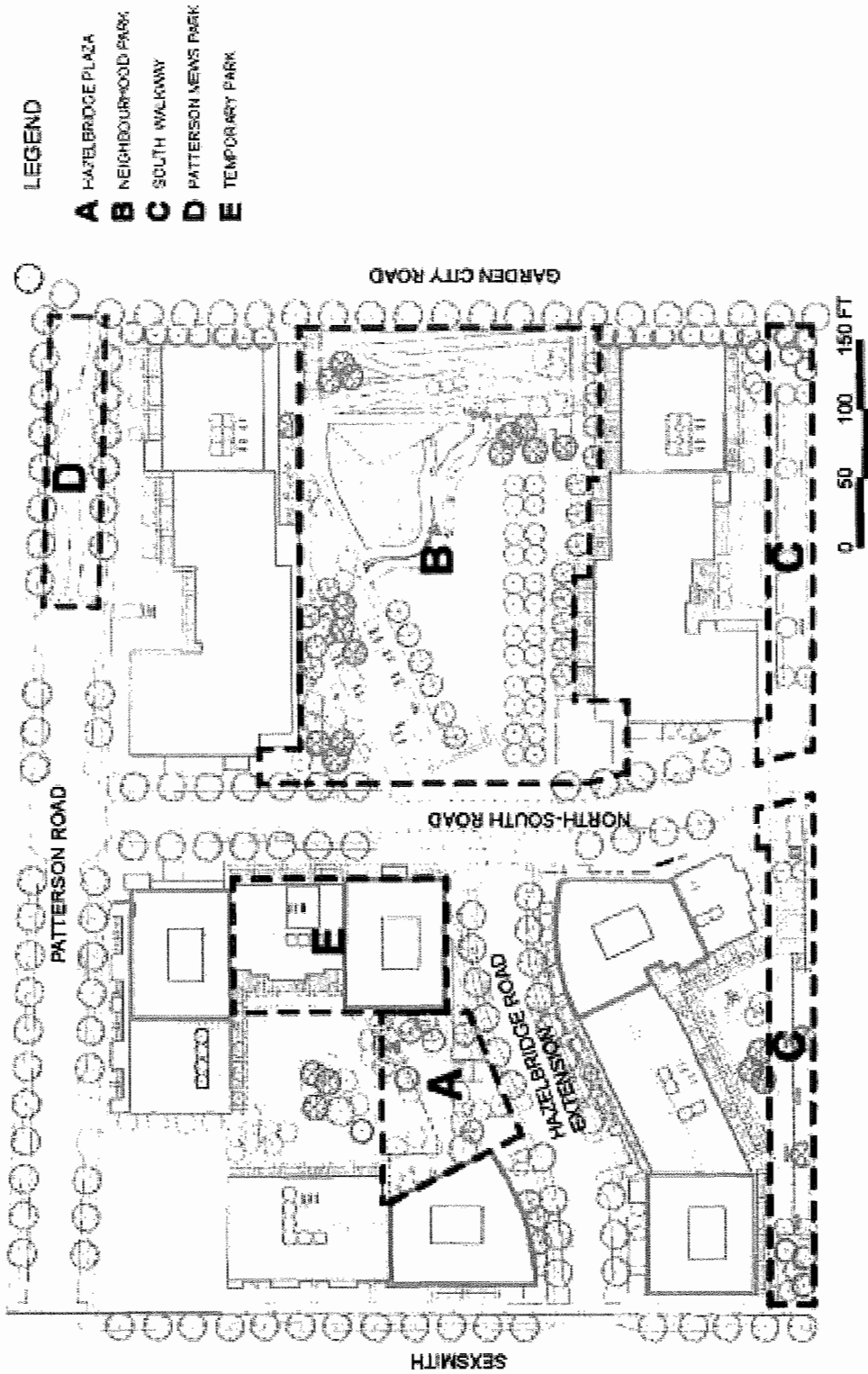
2.1.3. 165 Transitional Class 1 Bicycle Parking Spaces, of which:

- a) 100% of Transitional Class 1 Bicycle Parking Spaces shall provide for the temporary use of the residents of Area A and Area B until the date of Final Building Permit Inspection Granting Occupancy for Area E development, exclusive of parking, below grade structures, and landscape features, upon which date the Transitional Class 1 Bicycle Parking Spaces shall be used exclusively for Class 1 Bicycle Parking Spaces for the permanent use of the residents of Area E, as determined to the satisfaction of the Director of Development via an approved Development Permit for Area E;
- d) Access to at least 17 120V electrical vehicle (EV) charging stations; and
- d) The construction of:
 - i. 48 Transitional Class 1 Bicycle Parking Spaces shall be complete prior to Final Building Permit Issuance Granting Occupancy for the first building on the lot (i.e. Area A), together with at least 5 120V electrical vehicle (EV) charging stations; and
 - ii. 100% of Transitional Class 1 Bicycle Parking Spaces, together with 100% of the required 120V electrical vehicle (EV) charging stations, shall be complete prior to Final Building Permit Issuance Granting Occupancy for the first building on Area B, exclusive of parking, below grade structures, and landscape features.

2.2. Ensure that the required 120V electrical vehicle (EV) charging stations shall be:

- 2.2.1. Located within secure bike rooms and, on a bike room-by-bike room basis, shall be designed and installed to provide for the shared use of the users of each bike room (i.e. not assigned or otherwise allocated to specific dwelling units);
- 2.2.2. Distributed based on a minimum of 1 120V electrical vehicle (EV) charging station for every 10 bike parking spaces;
- 2.2.3. Designed and installed such that the users of the 120V electrical vehicle (EV) charging stations may secure (i.e. lock) their bikes while charging their bikes.





LANDSCAPE AMENITY DIAGRAM
December, 2011

Scale 1=1200

CONCORD GARDENS

PWL *partnership*





No. DP 13-642725

To the Holder: Amela Brudar – GBL Architects
Property Address: 8888 Patterson Road and 3333 Hazelbridge Way
Address: 140 – 2034 West 11th Avenue, Vancouver, BC, V6J 2C9

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) Reduce the minimum allowable setback from a lot line abutting Garden City Road for portions of the building having a height greater than 28.0 m, for the purpose of permitting a cantilevered roof and balconies, from 50.0 m to 48.6 m; and
 - b) Increase the maximum allowable building height for portions of the building located less than 50.0 m from a lot line abutting Garden City Road, for the purpose of permitting enclosed stair shafts, an elevator penthouse, and an indoor residential amenity space, from 28.0 m to 33.4 m.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #17b attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$1,898,141.30 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 13-642725

To the Holder: Amela Brudar – GBL Architects
Property Address: 8888 Patterson Road and 3333 Hazelbridge Way
Address: 140 – 2034 West 11th Avenue, Vancouver, BC, V6J 2C9

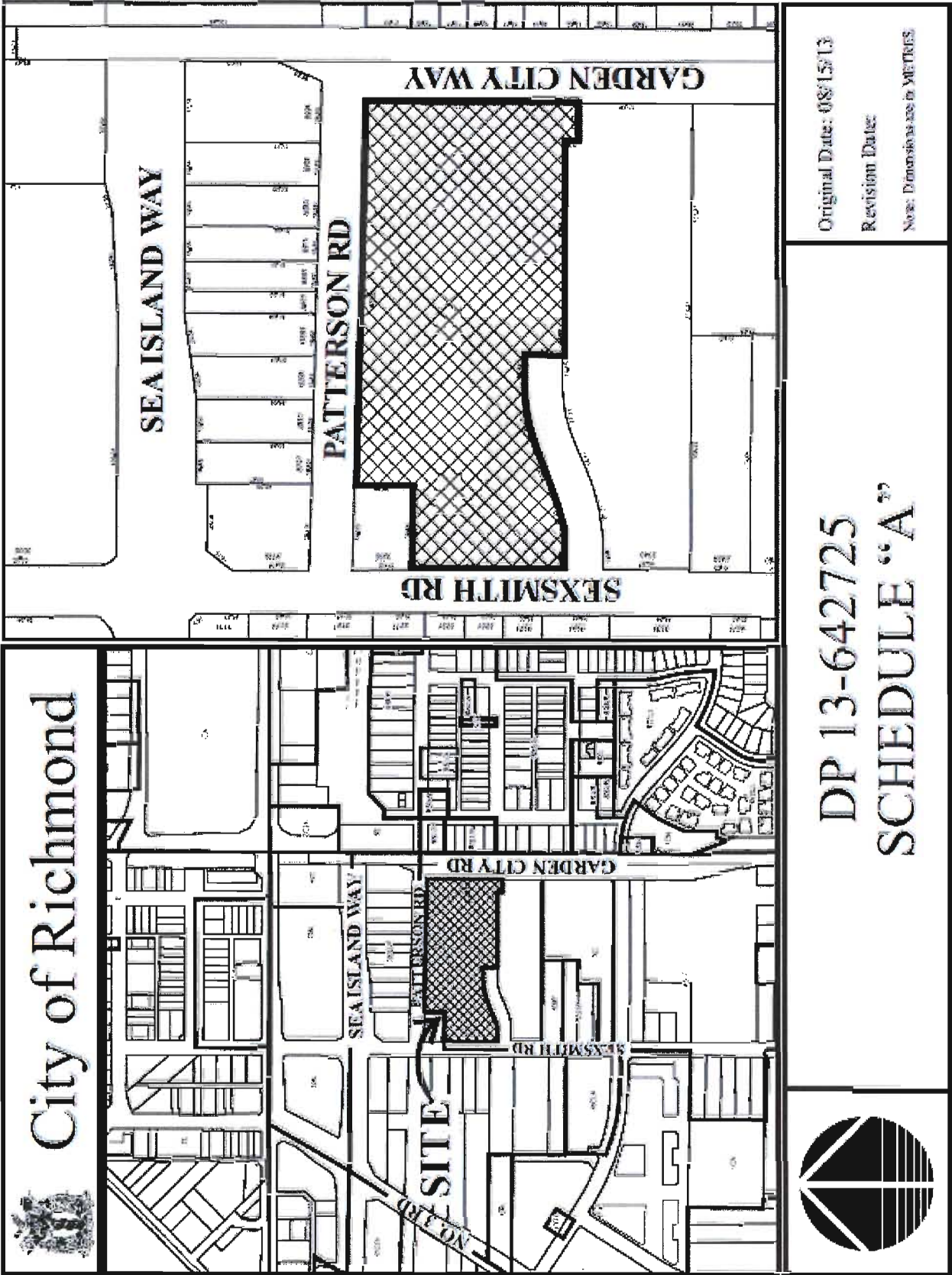
8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO. ISSUED BY THE COUNCIL THE
DAY OF , .

DELIVERED THIS DAY OF , .

MAYOR



Original Date: 08/15/13
Revision Date:
Note: Dimensions are in METRES

DP 13-642725
SCHEDULE "A"



PARKING STATISTICS

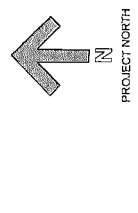
Concord @ Sexsmith and Patterson Rd
 Transitional Parking Strategy for 8888 Patterson Rd and 3333 Hazelbridge Way
 Phases 1, 2 & 5 (Lot 1: Area A, B & E)
 DP 13-642725 (Phase 2) and BP 13-645300 (Phase 1) - Pending Applications
 NOTE: MIN. PARKING REQUIRED/PROVIDED AS PER LEGAL AGREEMENT REGISTERED ON TITLE

Lot 1	Parking	ZONE 2A		ZONE 1		Electric Vehicle (EV) Based on Total Provided in Zone 1		320/40		240V Quick Charge Located in the Visitor Parking of Phase 2		Bike Parking				
		Rate	Required	Provided	Rate	Required	Provided	Rate	Required	Provided	Rate	Required	Provided	Rate	Required	Provided
Phase 1 / Area A	Residential Parking															
	ARTS	0.81	16	16	0.81	16	-	-	-	-	-	10% EV Bike Spaces @ 120V Based on Total Provided				
	Market	1.08	281	293	0.9	234	-	-	-	-	-	25% EV Rough-in for future 120V				
	Total		297	309		250						Required & Provided	Class 1 Based on total unit count	Rate	Required	Provided
	Visitor Parking											Required & Provided	Class 2 Based on total unit count	Rate	Required	Provided
Phase 2 / Area B	Residential Parking															
	AH	0.18	51	51	0.18	51	-	-	-	-	-	10% EV Bike Spaces @ 120V Based on Total Provided				
	Market	1.08	266	280	0.9	222	-	-	-	-	-	25% EV Rough-in for future 120V				
	Total		317	331		273						Required & Provided	Class 1 Based on total unit count	Rate	Required	Provided
	Visitor Parking											Required & Provided	Class 2 Based on total unit count	Rate	Required	Provided
Phase 5 / Area E	Residential Parking (estimate)															
	AH est. 10	0.81	9	9	0.81	9	-	-	-	-	-	10% EV Bike Spaces @ 120V Based on Total Provided				
	Market est. 122	1.08	110	119	0.9	110	-	-	-	-	-	25% EV Rough-in for future 120V				
	Total		119	128		119						Required & Provided	Class 1 Based on total unit count	Rate	Required	Provided
	Visitor Parking (estimate)											Required & Provided	Class 2 Based on total unit count	Rate	Required	Provided
Summary	Residential Parking															
	AH	0.18	236	251	0.18	24	-	-	-	-	-	10% EV Bike Spaces @ 120V Based on Total Provided				
	Market	1.08	297	309	0.9	250	-	-	-	-	-	25% EV Rough-in for future 120V				
	Total		302	320		274						Required & Provided	Class 1 Based on total unit count	Rate	Required	Provided
	Visitor Parking											Required & Provided	Class 2 Based on total unit count	Rate	Required	Provided
Phase 1 / Area A 280 units	Residential Parking															
	AH	0.18	280	294	0.18	236	6	22	22	25	25	10% EV Bike Spaces @ 120V Based on Total Provided				
	Market	1.08	328	342	0.9	284	-	-	-	-	-	25% EV Rough-in for future 120V				
	Total		348	360		302						Required & Provided	Class 1 Based on total unit count	Rate	Required	Provided
	Visitor Parking											Required & Provided	Class 2 Based on total unit count	Rate	Required	Provided
Phase 2 / Area B 263 units	Residential Parking															
	AH	0.18	263	277	0.18	229	6	22	22	25	25	10% EV Bike Spaces @ 120V Based on Total Provided				
	Market	1.08	328	342	0.9	284	-	-	-	-	-	25% EV Rough-in for future 120V				
	Total		348	360		302						Required & Provided	Class 1 Based on total unit count	Rate	Required	Provided
	Visitor Parking											Required & Provided	Class 2 Based on total unit count	Rate	Required	Provided
Phase 5 / Area E est. 132 units	Residential Parking															
	AH	0.18	132	143	0.18	119	6	22	22	25	25	10% EV Bike Spaces @ 120V Based on Total Provided				
	Market	1.08	165	176	0.9	143	-	-	-	-	-	25% EV Rough-in for future 120V				
	Total		183	199		162						Required & Provided	Class 1 Based on total unit count	Rate	Required	Provided
	Visitor Parking											Required & Provided	Class 2 Based on total unit count	Rate	Required	Provided
Lot 1 Total	Residential Parking															
	AH	0.18	728	802	0.18	678	6	85	85	85	85	10% EV Bike Spaces @ 120V Based on Total Provided				
	Market	1.08	802	844	0.9	728	-	-	-	-	-	25% EV Rough-in for future 120V				
	Total		1530	1646		1406						Required & Provided	Class 1 Based on total unit count	Rate	Required	Provided
	Visitor Parking											Required & Provided	Class 2 Based on total unit count	Rate	Required	Provided

AMENITY

Amenity Space (263 Units)			
Rate	Required (sq.m.)	Indoor	
		Shared	Phase 2
2.0sq.m/unit	526	463.56	0.00
		1188.60	0.00
		63.50	76.50
		0.00	69.50
		1,715.66	146.00
			1,861.66
Outdoor			
Rate	Required (sq.m.)	Provided (sq.m.)	
6.0sq.m/unit	1,578	Level 2/3	914.97
		Level 4	28
		Level 11	605.9
			1548.87
		Children's Play (up to 3.0sqm/unit = 789sqm)	
		Level 11	96.4
Sub Total			1645.27
10% of site	412.4		434.52
Total			2079.79
			23,476

gBL ARCHITECTS INC.
 140 JEFFERSON STREET, VANCOUVER, BC CANADA V6J 1C9
 TEL: 604.681.1154 FAX: 604.681.1154
 WWW.GBLARCHITECTS.COM



Legal Address: LOT 1; PLAN BCP
 SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6
 WEST/NEW WESTMINSTER DISTRICT

ISSUE / REVISIONS
 NO. DATE DESCRIPTION
 1. 10/15/2013 DEVELOPMENT PERMIT APPLICATION
 2. 11/14/2013 CITY REVIEW STAFF COMMENTS RESPONSE
 3. 11/14/2013 CITY REVIEW STAFF COMMENTS RESPONSE
 4. 11/14/2013 CITY REVIEW STAFF COMMENTS RESPONSE
 5. 11/14/2013 CITY REVIEW STAFF COMMENTS RESPONSE
 6. 11/14/2013 CITY REVIEW STAFF COMMENTS RESPONSE

NOTE:
 ALL DIMENSIONS ARE MEASURED TO THE EXTERIOR FINISH, SECTIONS AND ELEVATIONS.

Plan 1B Dec 16, 2013
 DP 13-642725

CONCORD PACIFIC

CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

PARKING STATS
 & AMENITY STATS

DATE: NOV. 8, 2013
 DRAWN BY: BH
 CHECKED BY: AS
 SCALE: NTS
 JOB NUMBER: 1251

A-0.02



GBI ARCHITECTS INC.
 TELEPHONE 604 278 1155
 140-25th WEST 17th AVENUE
 VANCOUVER, BC CANADA V6Z 2E3
 FACSIMILE 604 271 1379
 WWW.GBIARCHITECTS.COM
 ALL RIGHTS RESERVED. THIS PLAN IS THE PROPERTY OF GBI ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.



PROJECT NORTH

PLOT INFO:
 Project 1 November 2011
 Legal Address: LOT 1, PLAN BCP
 SECTIONS 27 AND 28, BLOCK 5, NORTH RANGE 6
 WESTVIEW WESTMINSTER DISTRICT

Zoning Bylaw Variances		
1a	Exit stair @ Level 11	Increase the maximum allowable building height for portions of the building located less than 50.0 m from a lot line abutting Garden City Road, for the purpose of permitting enclosed stair shafts, an elevator penthouse, and an indoor residential amenity space, from 28.0 m to 33.4 m.
1b	Elevator & indoor amenity space @ Level 11	
1c	Unenclosed exit stair @ Levels 11-13	
2a	Balconies @ Levels 12 & 13	Reduce the minimum allowable setback from a lot line abutting Garden City Road for portions of the building having a height greater than 28.0 m, for the purpose of permitting a cantilevered roof and balconies, from 50.0 m to 48.6 m.
2b	Cantilevered roof	

Plan 2a Dec 16, 2013
 DP 13-642725



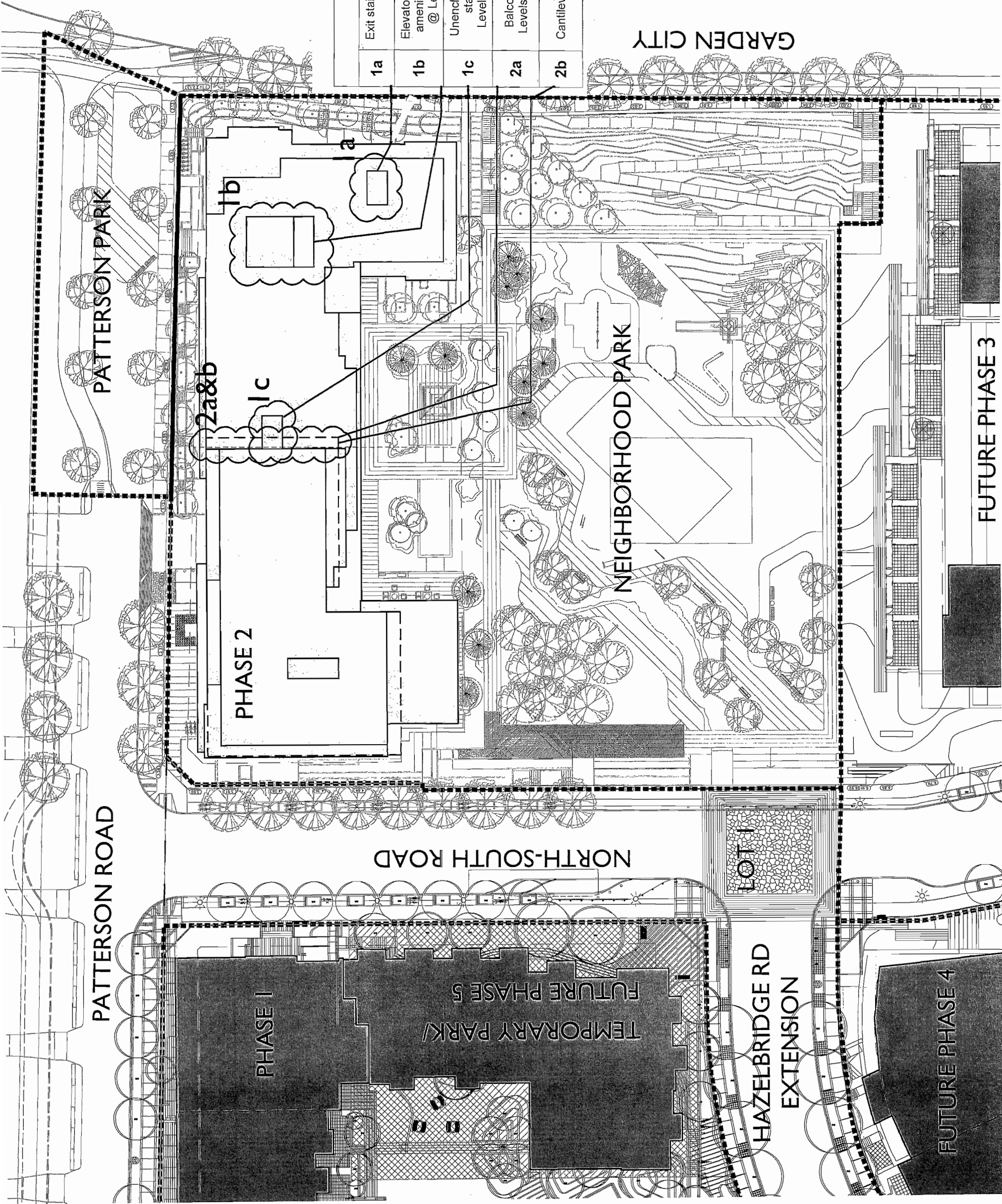
CONCORD
 PACIFIC

CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

SITE PLAN
 BYLAW VARIANCE

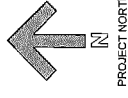
DATE: FEB 27, 2013
 DRAWN BY: PJC
 CHECKED BY: NTS
 SCALE:
 JOB NUMBER: 1251

A-1.07a





gBT ARCHITECTS INC.
 40 JOHN WHEAT STREET
 VANCOUVER, BC CANADA V6J 2C9
 TEL: 604.681.1116
 FAX: 604.681.1117
 WWW.GBTARCHITECTS.COM



PROJECT NORTH

PLOT INFO:
 Project # 13-642725-01
 Legal Address: LOT 1, PLAN RCP
 SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6
 WEST-NEW WESTMINSTER DISTRICT

ISSUE / REVISIONS

NO.	DATE	DESCRIPTION
1.	MAR. 14, 2013	PROVISIONAL SET
2.	MAY. 14, 2013	PROVISIONAL SET - REVISIONS
3.	JULY 12, 2013	PROVISIONAL SET - REVISIONS
4.	OCT. 15, 2013	PROVISIONAL SET - REVISIONS
5.	DEC. 11, 2013	CITY REVIEW
6.	DEC. 16, 2013	FINAL SUBMISSION - VENDOR

NOTE:
 ALL DIMENSIONS ARE MEASURED TO DIM LINES UNLESS OTHERWISE NOTED.

Plan 2b Dec 16, 2013
 DP 13-642725

- NEIGHBOURHOOD PARK - 5,144.9 m²
- PUBLIC ACCESS FOR PARK USE
- GARDEN CITY GREENWAY - 186.51 m²
- SIDEWALK WIDENING
- PATTERSON PARK - 1,198.3 m²
- SERVICING AGREEMENT TO BE FULLY CONSTRUCTED AS PART OF PHASE 2
- PATTERSON ROAD R.O.W. - 27.45 m²
- 24 HOUR-A-DAY UNIVERSALLY ACCESSIBLE PUBLIC ACCESS FOR PEDESTRIANS, BICYCLES, AND GENERAL PURPOSE TRAFFIC. SPECIFICALLY TO PROVIDE ROOM 3-POINT TURNAROUND MOVEMENTS AT THE EAST END OF THE TERMINATED PATTERSON RD.

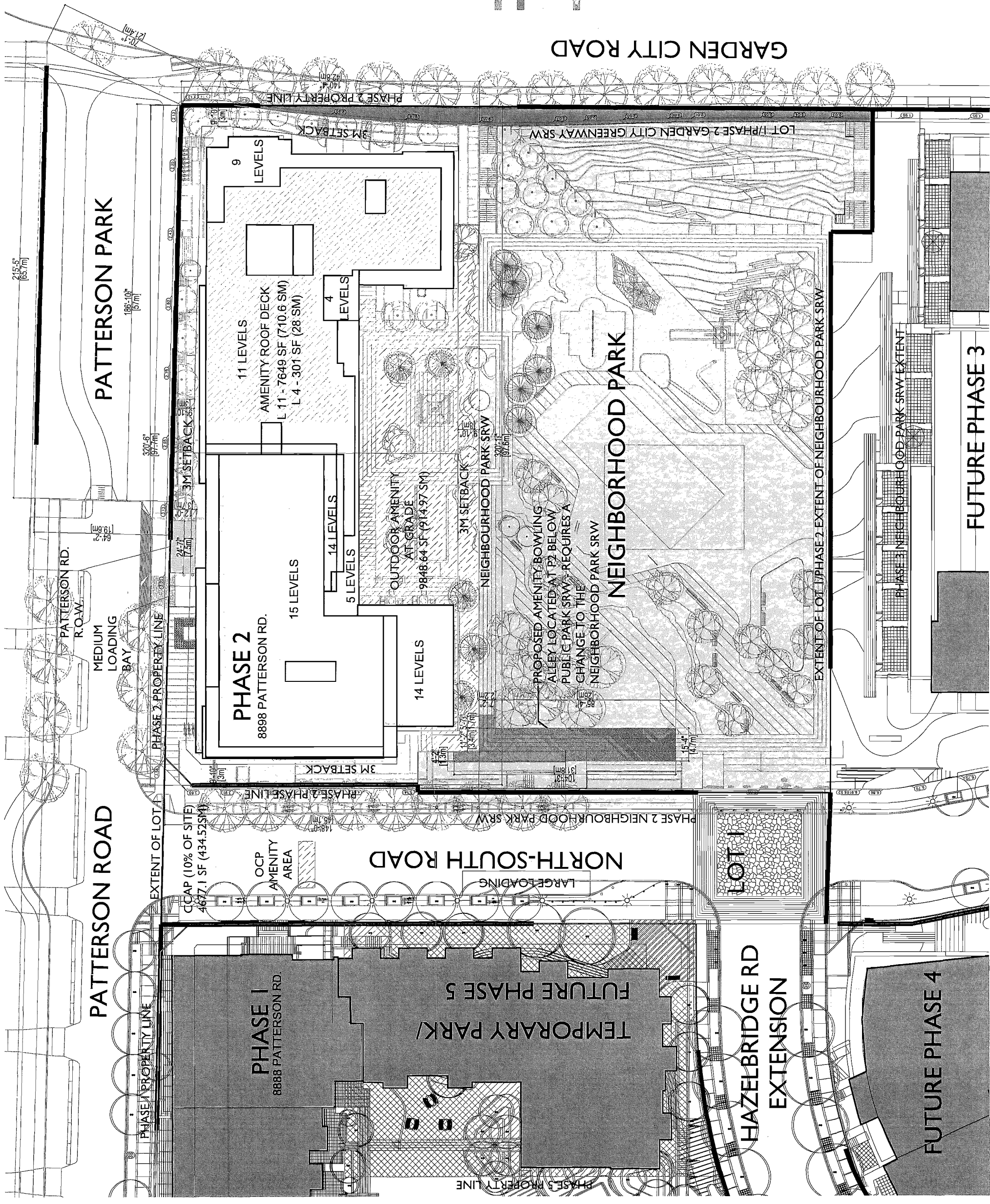


CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

SITE PLAN

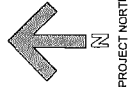
DATE: FEB 27, 2013
 DRAWN BY: JIC
 CHECKED BY: NTS
 SCALE: NTS
 JOB NUMBER: 1251

A-1.07





GE ARCHITECTS INC.
 140-304 WEST 17TH AVENUE
 VANCOUVER, BC CANADA V6J 2C1
 TEL: 604-681-1155
 FAX: 604-681-1579



PROJECT NORTH

PLOT INFO:
 Project Number: 2811
 Legal Address: LOT 1; PLAN BCP
 SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6
 WEST/NEW WESTMINSTER DISTRICT

ISSUE / REVISIONS

NO.	DATE	DESCRIPTION
1	2013	PRELIMINARY
2	2013	DEVELOPMENT PERMIT APPLICATION
3	2013	REVISIONS TO DEVELOPMENT PERMIT APPLICATION
4	2013	CITY REVIEW STAFF COMMENTS RESPONSE
5	2013	REVISIONS TO DEVELOPMENT PERMIT APPLICATION
6	2013	FINAL APPLICATION - PROVED

NOTE:
 ALL DIMENSIONS ARE MEASURED TO FACE UNLESS OTHERWISE SPECIFIED.

LEVEL 1 PARKING		PHASE 2		TRANSITIONAL (PHASE 5)		PHASE 2 BIKES		TRANSITIONAL (PHASE 5) BIKES	
RESIDENTIAL TOTAL	154	RESIDENTIAL TOTAL	140	TOTAL	140	TOTAL	140	TOTAL	117
SMALL CAR	57	SMALL CAR	26	SMALL CAR	26	SMALL CAR	26	SMALL CAR	26
HC	4	HC	3	HC	3	HC	3	HC	3
120V EV STALLS	48	120V EV STALLS	48	120V EV STALLS	48	120V EV STALLS	48	120V EV STALLS	48
EV ROUGH-IN	42	EV ROUGH-IN	42	EV ROUGH-IN	42	EV ROUGH-IN	42	EV ROUGH-IN	42

Plan 3 Dec 16, 2013
 DP 13-642725

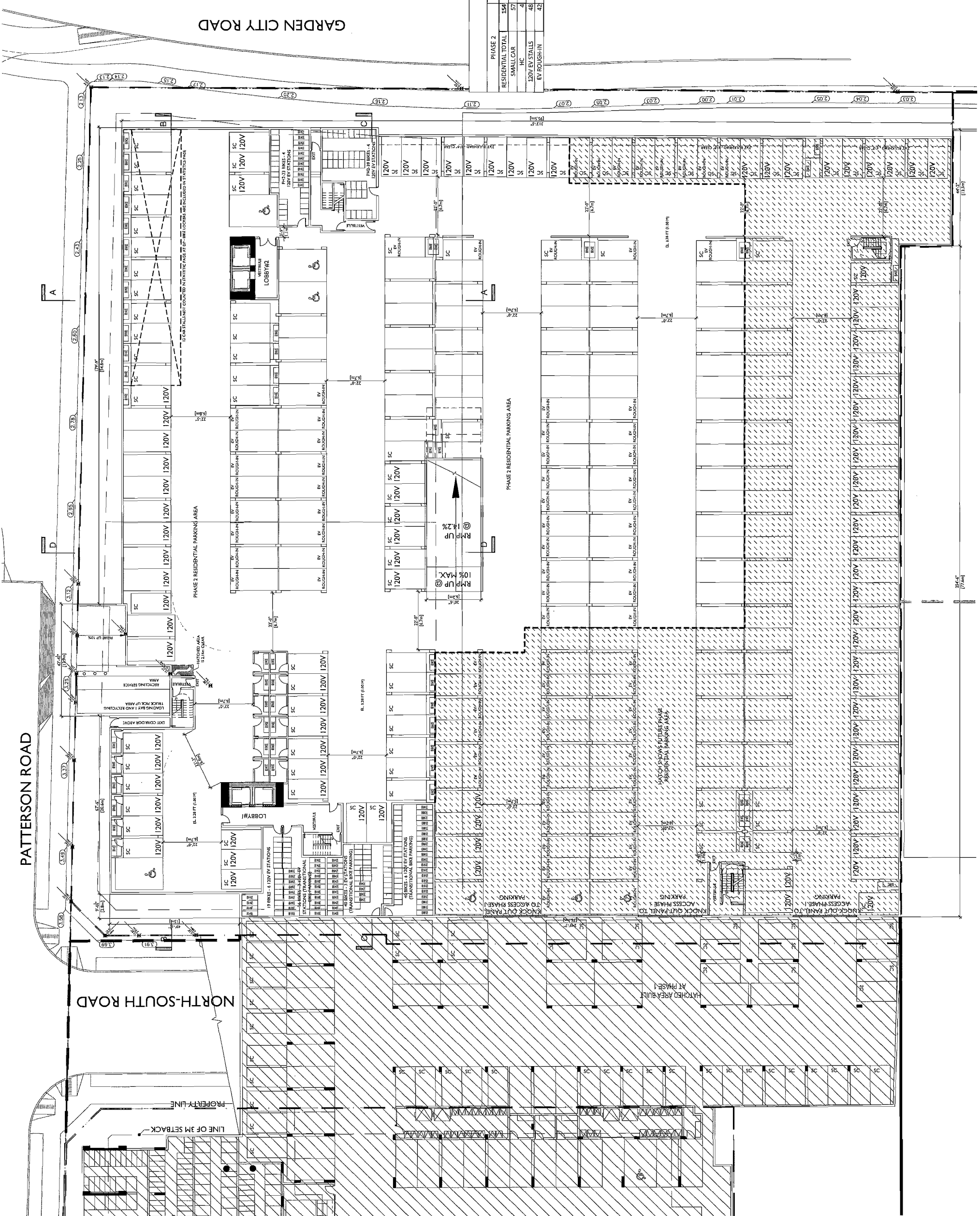


CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

LEVEL 1

DATE: MAR 14, 2013
 DRAWN BY: EPH
 CHECKED BY: AB
 SCALE: 1/16"=1'-0"
 JOB NUMBER: 1251

A-2.01





GBI ARCHITECTS INC.
 145-150 WEST 11TH AVENUE
 VANCOUVER, BC CANADA V6C 1C7
 TEL: 604-681-1111 FAX: 604-681-1112
 WWW.GBIARCHITECTS.COM



PLOT INFO:
 Project # 13-642725
 Legal Address: LOT 1; PLAN BCP
 SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6
 WEST-NEW WESTMINSTER DISTRICT

ISSUE / REVISIONS
 NO. DATE DESCRIPTION
 1. JUL 28 2011 DEVELOPMENT PERMIT APPLICATION
 2. SEP 14 2011 CITY REVIEW - DRAFT COMMENTS RESPONSE
 3. NOV 14 2011 CITY REVIEW - DRAFT COMMENTS RESPONSE
 4. DEC 16 2013 CITY REVIEW - PERMITTED

NOTE:
 ALL REQUIREMENTS REFER TO OR SPECIFIED IN PLANS, SECTION AND
 ELEVATIONS.

Plan 4 Dec 16, 2013
 DP 13-642725

LEVEL 2 PARKING			
PHASE 2	TRANSITIONAL (PHASE 5)	24 TOTAL	188
RESIDENTIAL TOTAL	VISITOR TOTAL	33 VERTICAL	70
SMALL CAR	SMALL CAR	120V	19
HC			
120V EV STALLS			
EV BROUGH-IN			
VISITOR TOTAL			
SMALL CAR			
HC			
240V EV STALLS			

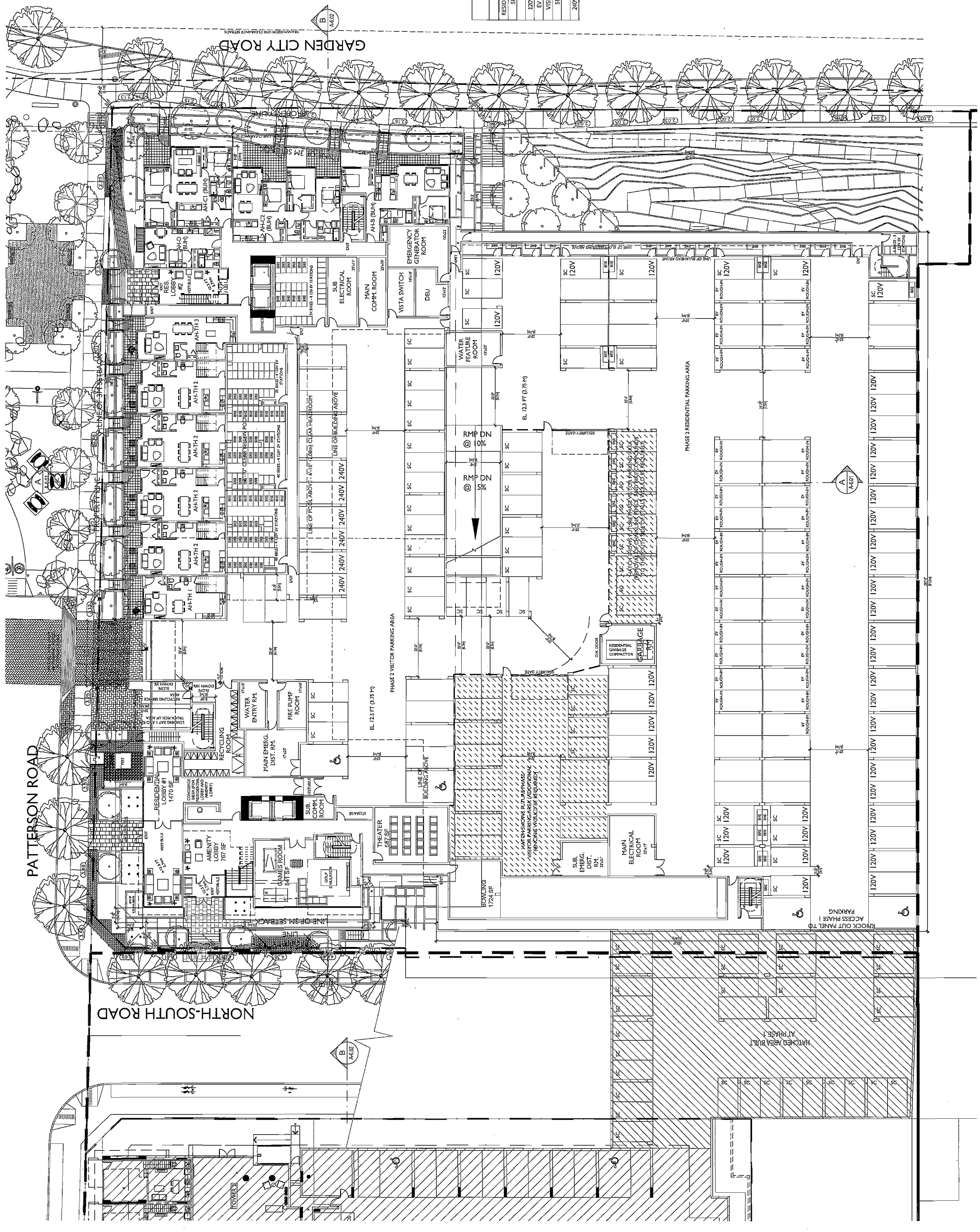


CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

LEVEL 2

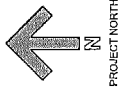
DATE: MAR 14, 2013
 DRAWN BY: EPI
 CHECKED BY: AB
 SCALE: 1/16"=1'-0"
 JOB NUMBER: 1251

A-2.02





GBI ARCHITECTS INC.
 185-2514 WEST 17TH AVENUE
 VANCOUVER, BC CANADA V6J 1Z5
 TEL: 604-271-1166
 FAX: 604-271-1177
 WWW.GBIARCHITECTS.COM



PROJECT NORTH

PLOT INFO:
 Plans 1 November 2011
 Legal Address: LOT 1, PLAN BCP
 185-2514 WEST 17TH AVENUE, BLOCK 5 NORTH-RANGE 6
 WEST-NEWM WESTMINSTER DISTRICT

ISSUE / REVISIONS

1. MAR 14, 2013 PROPOSED SET
2. MAR 27, 2013 REVISION: REFINED PROGRAM
3. APR 10, 2013 ADVISORY DESIGN PANEL COMMENTARY
4. APR 10, 2013 CITY REVIEW
5. APR 10, 2013 APPROVED FOR PERMIT

NOTE:

ALL DIMENSIONS ARE MEASURED TO THE EXTERIOR FINISHES AND EXCEPT AS NOTED, DIMENSIONS ARE TO FACE.

Plan 5 Dec 16, 2013
 DP 13-642725

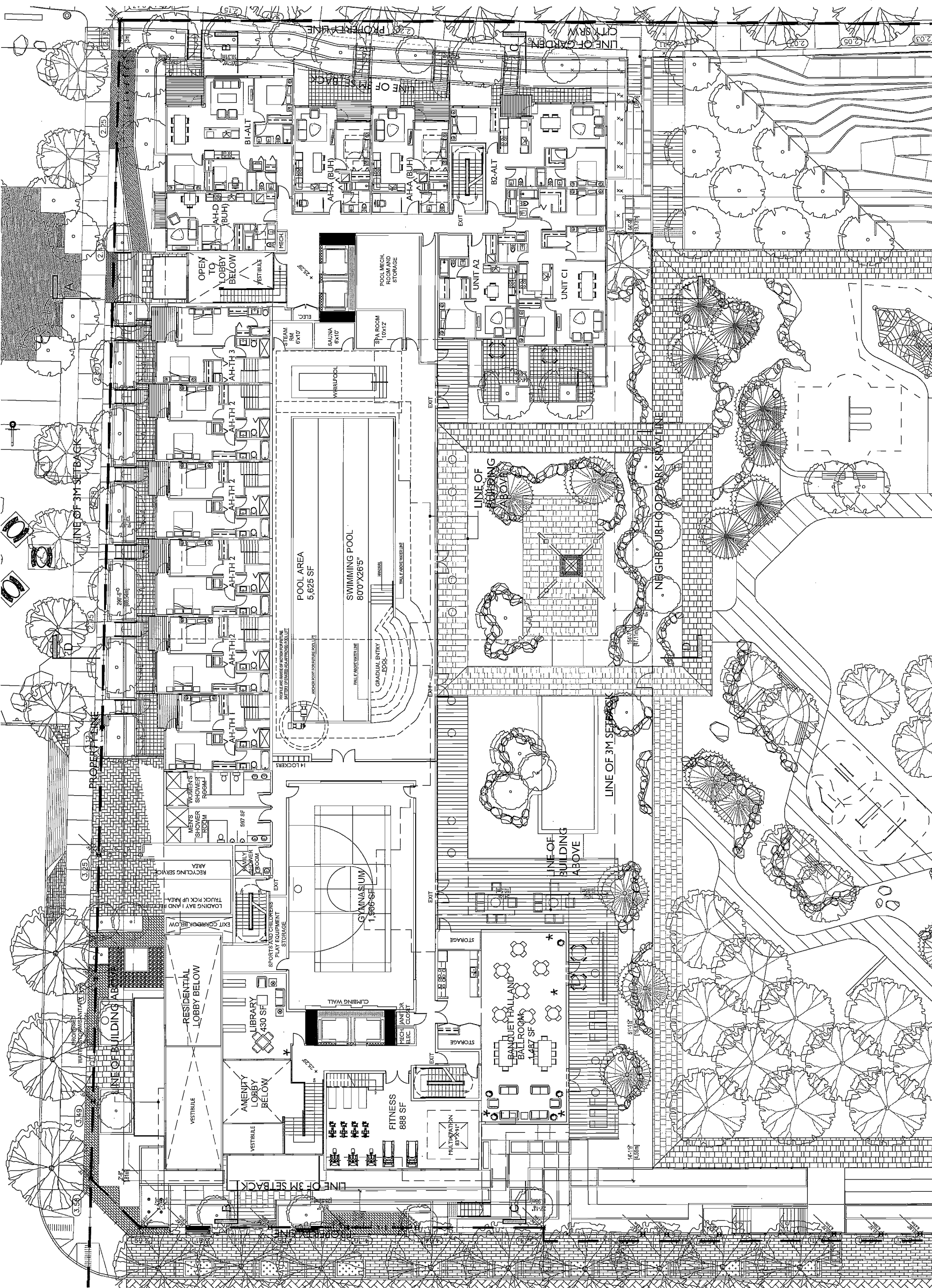


CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

LEVEL 3

DATE	MAR 14, 2013
DRAWN BY	PH
CHECKED BY	AB
SCALE	3/32"=1'-0"
JOB NUMBER	1251

A-3.01





GBI ARCHITECTS INC.
 114-204 WEST 118th Avenue
 Vancouver, BC Canada V6V 2C3
 TEL: 604-273-1111 FAX: 604-273-1112
 WWW.GBIARCHITECTS.COM



PLOT INFO:
 Project Reference: 2911
 Legal Address: LOT 1, PLAN BCP
 SECTIONS 27 AND 28, BLOCK 5, NORTH RANGE 6
 WEST/NEW WESTMINSTER DISTRICT

ISSUE / REVISIONS
 NO. DATE BY DESCRIPTION
 1. 12/16/2013 AB 3022-1/2 CITY REVIEW - STAFF COMMENTS RESPONSE
 2. 12/16/2013 AB 3022-1/2 CITY REVIEW - STAFF COMMENTS RESPONSE
 3. 12/16/2013 AB 3022-1/2 CITY REVIEW - STAFF COMMENTS RESPONSE
 4. 12/16/2013 AB 3022-1/2 CITY REVIEW - STAFF COMMENTS RESPONSE

NOTE:
 ALL ELEVATION ARE SUBJECT TO 3M GEODETIC PLANE, SECTIONS AND
 SETBACKS.

Plan 6 Dec 16, 2013
 DP 13-642725

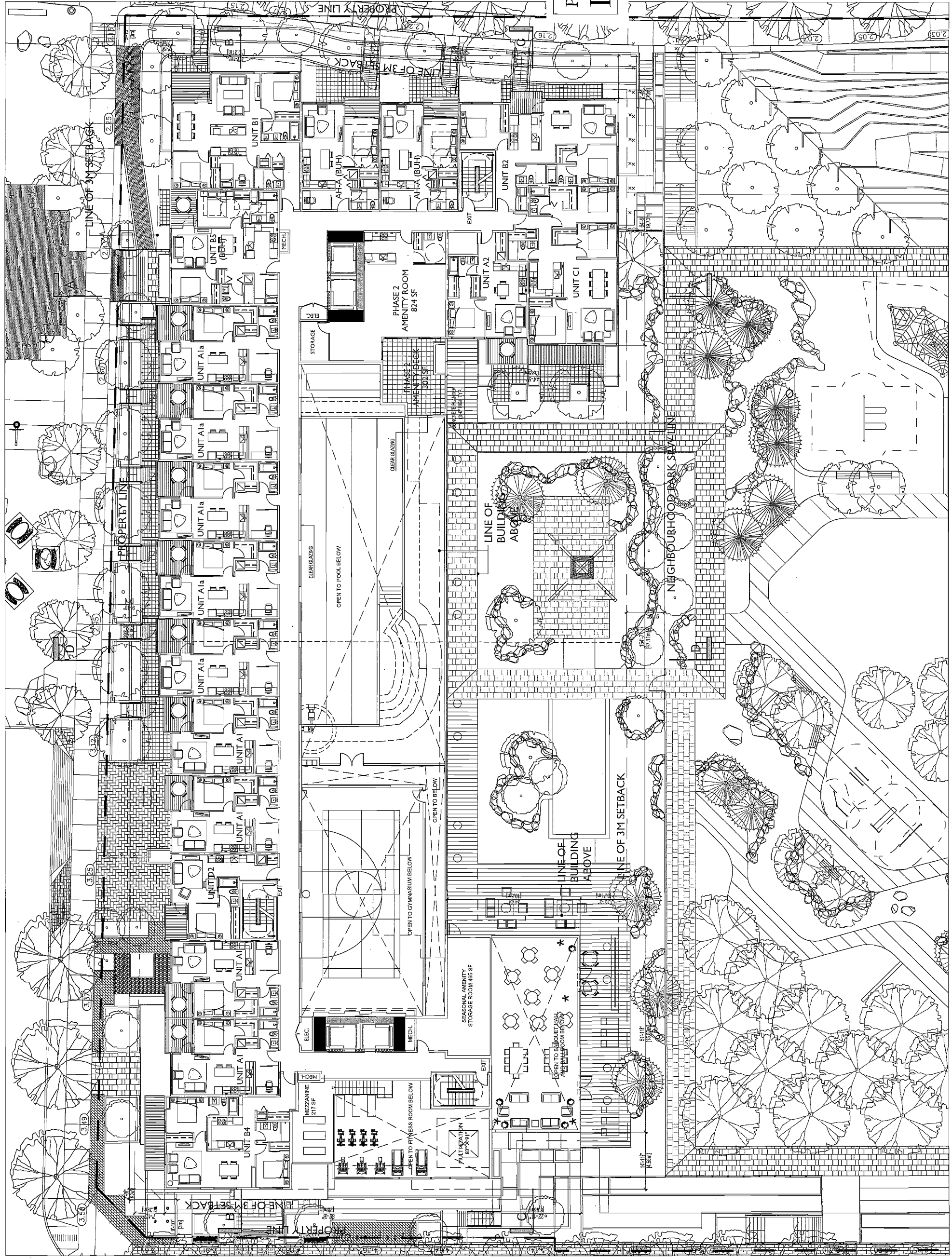


CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

LEVEL 4

DATE: MAR 14, 2013
 DRAWN BY: EP
 CHECKED BY: AB
 SCALE: 3/32"=1'-0"
 JOB NUMBER: 1251

A-3.02





G&B ARCHITECTURE INC.
 1000 WEST 10TH AVENUE
 VANCOUVER, BC V6H 1G5
 TEL: 604.681.1111
 FAX: 604.681.1112
 WWW.G&BARCHITECTURE.COM



PROJECT NORTH

PLOT INFO:

Filed: 1 November 2011
 Legal Address: LOT 1, PLAN BCP
 SECTIONS 27 AND 28, REG. NORTH RANGE 6
 WEST NEW WESTMINSTER DISTRICT

ISSUE / REVISIONS

1. 01/11/2011 PRELIMINARY
2. 02/11/2011 REVISIONS TO ADDRESS COMMENTS FROM THE DISTRICT
3. 03/11/2011 REVISIONS TO ADDRESS COMMENTS FROM THE DISTRICT
4. 04/11/2011 REVISIONS TO ADDRESS COMMENTS FROM THE DISTRICT
5. 05/11/2011 REVISIONS TO ADDRESS COMMENTS FROM THE DISTRICT
6. 06/11/2011 REVISIONS TO ADDRESS COMMENTS FROM THE DISTRICT

NOTE:
 ALL ELEVATIONS ARE MEASURED TO THE FINISH OF PLUMB, FINISHES AND EXTERIOR.

Plan 7 Dec 16, 2013
 DP 13-642725

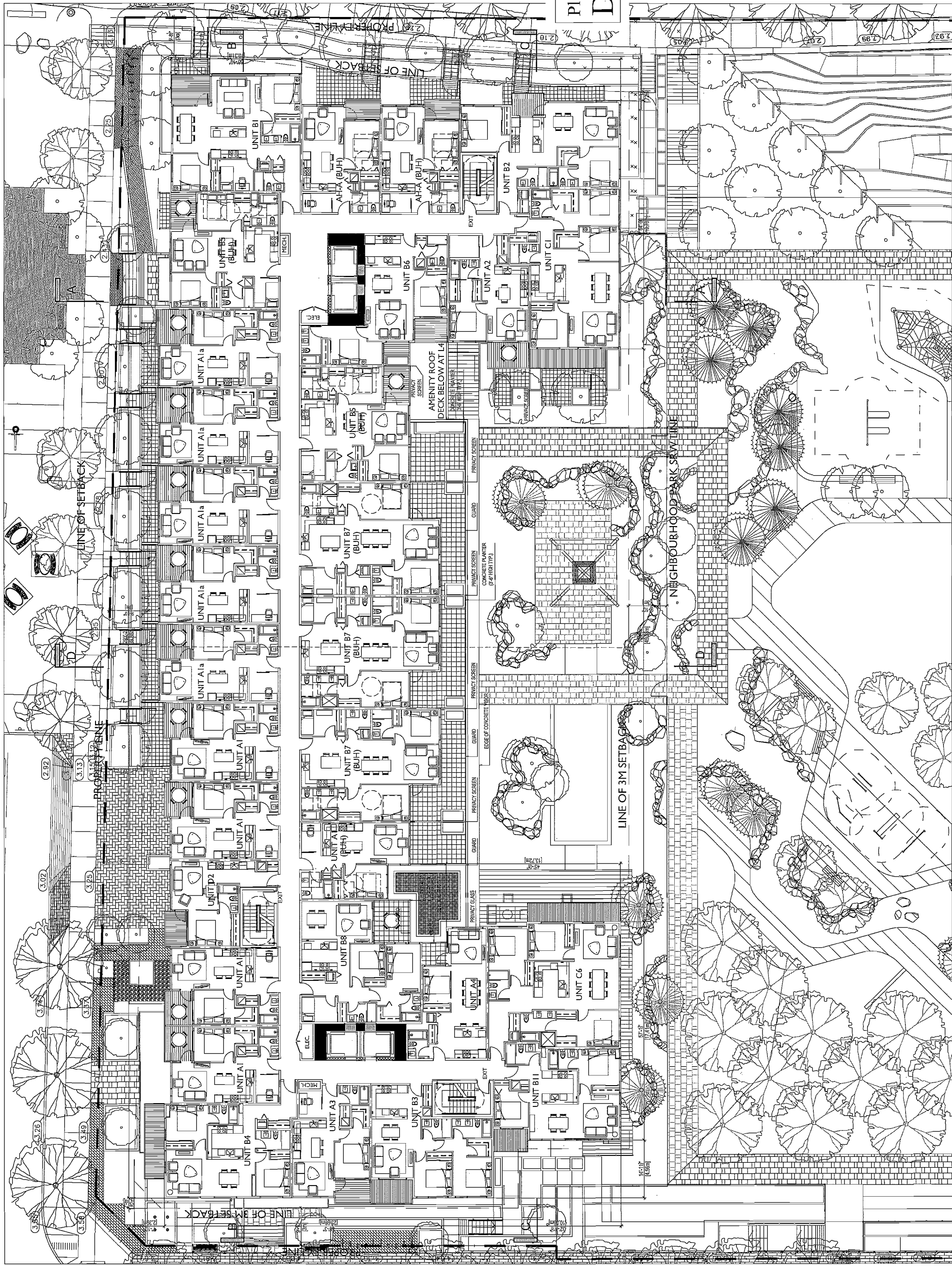


CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

LEVEL 5

DATE	16th Dec 2013
DRAWN BY	AS
CHECKED BY	AS
SCALE	3/32"=1'-0"
JOB NUMBER	1251

A-3.03





PWL Partnership Architects Inc.
 545 West Street, Suite 200
 Vancouver, BC V6C 3E7
 www.pwlpartnership.com



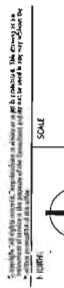
REVISION NO.	DATE	DESCRIPTION
01	2013/11/13	Issued for DP
02	2013/11/18	Revised per City Comment
03	2013/12/16	Revised for RP

Plan 8a Dec 16, 2013
 DP 13-642725



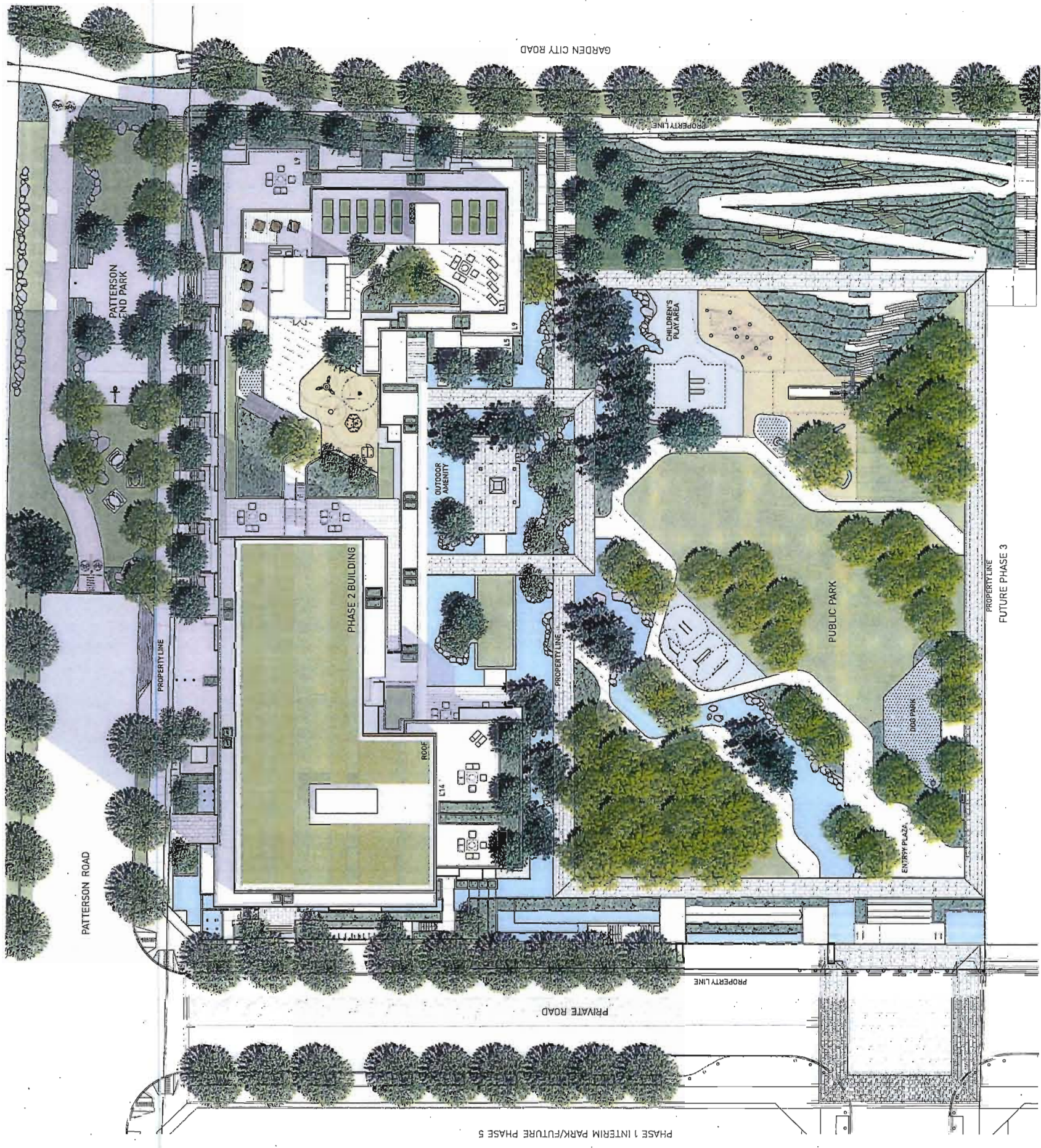
PROJECT
 CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

DRAWING TITLE
 RENDERED PLAN



PROJECT NO.	1286
DATE	July 2013
F.F. NAME	1286 PLAN 12 L3 WORK
DATE	12/10/13 AT 5:03:25 PM
DRAWN	ZL
REVIEWED	DUJ/GB

LDP 1.00



PHASE 1 INTERIM PARK/FUTURE PHASE 5

PROPERTY LINE
 FUTURE PHASE 3



PWL partnership

PWL Partnership
220 West 10th Avenue
Vancouver BC, Canada V6E 2Y2
www.pwlpartnership.com
P: 604.681.1112



NO.	DATE	DESCRIPTION
01	2013/1/13	Issued for DP
02	2013/1/18	Revised per City Comment
03	2013/1/21/6	Re-issued for DP

Plan 8b Dec 16, 2013
DP 13-642725



PROJECT
CONCORD GARDENS
PHASE 2
RICHMOND, BC
FOR CONCORD PACIFIC

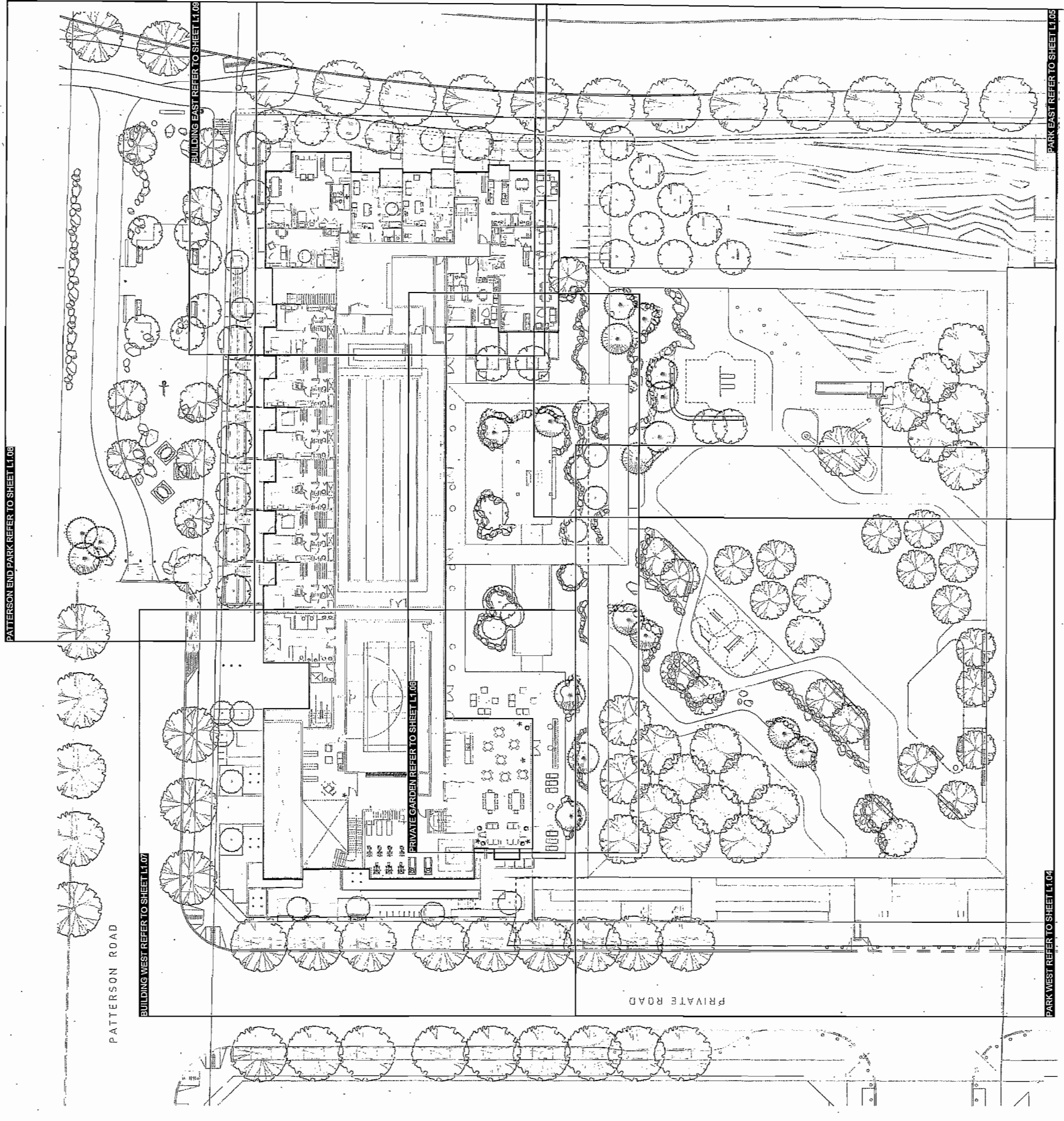
DRAWING TITLE
KEY PLAN
GROUND FLOOR

SCALE
1"=20'-0"



PROJECT NO.	1286
DATE	July 2013
DESIGNER	1286 PLAN 13.MXS
NOTED	12/19/13 at 5:09:26 PM
DRAWN	JZ
REVIEWED	DL/GB

LDP 1.01





PWL Partnership
 1200 West Beaver Creek
 Richmond, BC V6X 3E7
 www.pwlpartnership.com
 TEL: 604.273.1111



REVISING AND DATE	DESCRIPTION
01 2013/11/13	Issued for DP
02 2013/11/18	Revised per City Comment
03 2013/12/16	Re-issued for DP

Plan 8c Dec 16, 2013
 DP 13-642725



PROJECT
 CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

DRAWING TITLE
 LEGENDS

Checklist: All info entered. Rechecked on 12/16/13. All drawings for the project are complete. All drawings for the project are complete. All drawings for the project are complete.

PROJECT NO.	DATE	FILE NAME	PLOTTED	DRAWN	REVIEWED
1285	July 2013	1285 PLAN.WWK	12/18/13 at 7:26:53 PM	ZL	GB

LDP 2.01

SITE FURNITURE LEGEND

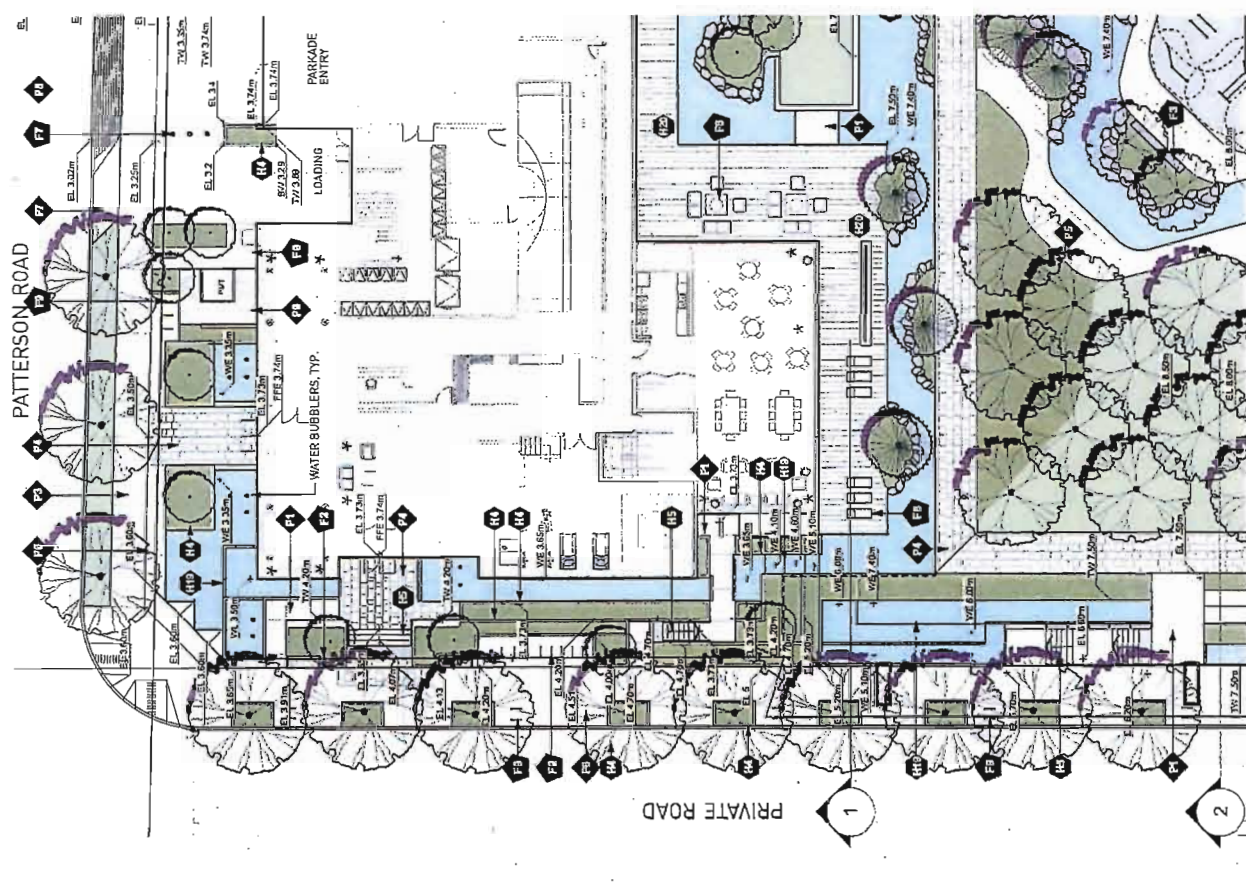
F1	PICNIC TABLE PRODUCT: MARGIE SUPPLIER: LANDSCAPE FORMS
F2	BENCH PRODUCT: MARGIE SUPPLIER: LANDSCAPE FORMS
F3	CONCRETE SEAT WALL WITH BENCH TOP
F4	NET PLAY ELEMENT PRODUCT: CONCORD FISHNET COR2640, SIZE ADJUSTED TO FIT SUPPLIER: KOMPAN PLAY EQUIPMENT
F5	BRD AREA WITH HYDRO AND GAS CONNECTIONS
F6	CHASE LOUNGE
F7	BOLLARD
F8	FIREBOWL WITH OUTDOOR LIVING FURNITURE
F9	BIKE RACK PRODUCT: BIKE GARDEN SUPPLIER: FORMS AND SURFACE INC. 54 BIKES PARKING ON SITE TOTALLY
F10	URBAN AGRICULTURE AREA PRODUCT: CURB PLANTER SUPPLIER: BARKMAN CONCRETE LTD
F11	OUTDOOR FITNESS EQUIPMENT PRODUCT: FITNESS FOR FITNESS PROGRAMS: ELES900105, ELES900106, ELES900107 AND ELES900109 SUPPLIER: RECTECH INDUSTRIES
F12	CHILDREN SLIDE PRODUCT: HEDSTEN/SLIMLESS STEEL SLIDE SUPPLIER: LANDSCAPE STRUCTURE INC
F13	TRASH RECEPTACLE
F14	SWING ELEMENT - GAT SWING 1775P SUPPLIER: LANDSCAPE STRUCTURE INC
F15	WATER PLAY ELEMENT PRODUCT: KAISER AND KUHN WATER PUMP AND WATER TROUGH 5.1113-001, 0-33254-000, 0-33252-000, AND 0-33254-000 SUPPLIER: RECTECH INDUSTRIES
F16	BASKETBALL HOOP PRODUCT: P70 PACKAGE ON BA777 POLE SUPPLIER: BISON INC.

HARDSCAPE MATERIAL LEGEND

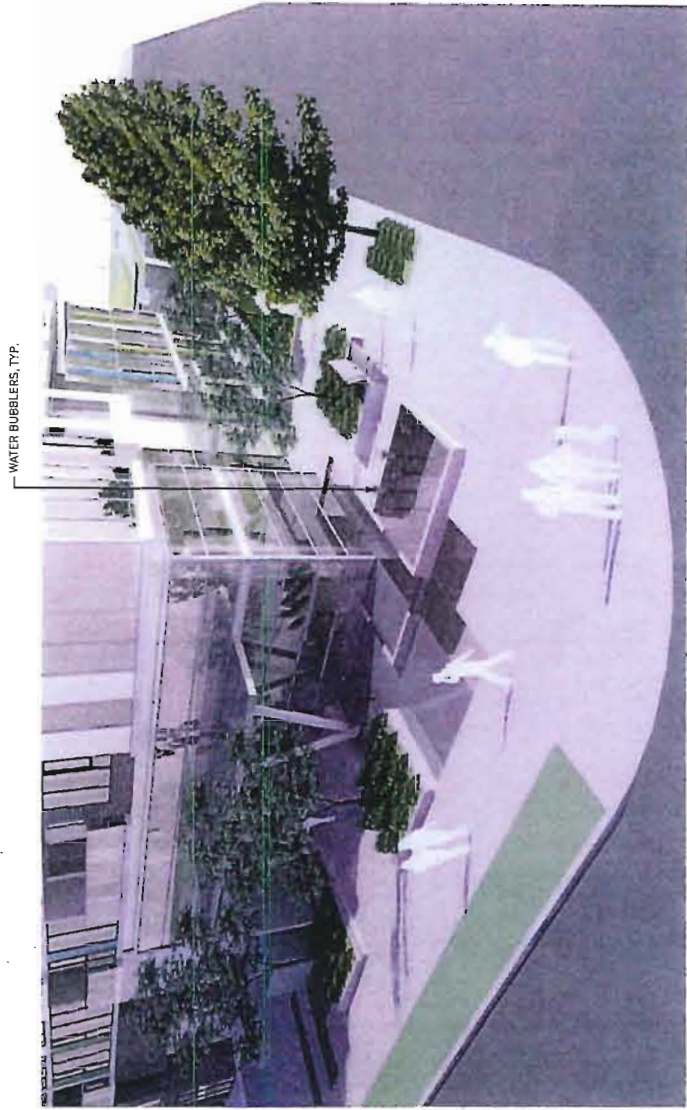
H1	CONCRETE PLINTH WITH ADDRESS SIGNAGE & LIGHTING
H2	PARK SIGNAGE
H3	BOULDERS WATER EDGE
H4	CAST IN PLACE CONCRETE RETAINING WALL FINISH: MEDIUM SANDBLAST
H5	CAST IN PLACE CONCRETE STAIRS WITH METAL HANDRAIL & TACTILE WARNING STRIP
H6	CAST IN PLACE CONCRETE WALL WITH STONE FACING
H7	GRANITE STONE STEP/SEATING
H8	LANTERN PAVILION CUSTOM DESIGN
H9	METAL GATE
H10	PRIVACY SCREEN REFER TO ARCHITECTURAL DRAWINGS
H11	GUARDRAIL REFER TO ARCHITECTURAL DRAWINGS
H12	METAL FENCE
H13	STRUCTURE ON HILL
H14	TRELLIS WITH GLASS CANOPY
H15	HOSE BB
H16	WATER FEATURE
H17	WATER SUPPLY
H18	WATER SOURCE
H19	WATERFALL WALL CAST IN PLACE CONCRETE CORE WITH BASALT VENEER
H20	IFE PARKING
H21	NATURAL BOULDERS SEAT/TABLE/PLAY ELEMENT

PAVING MATERIAL LEGEND

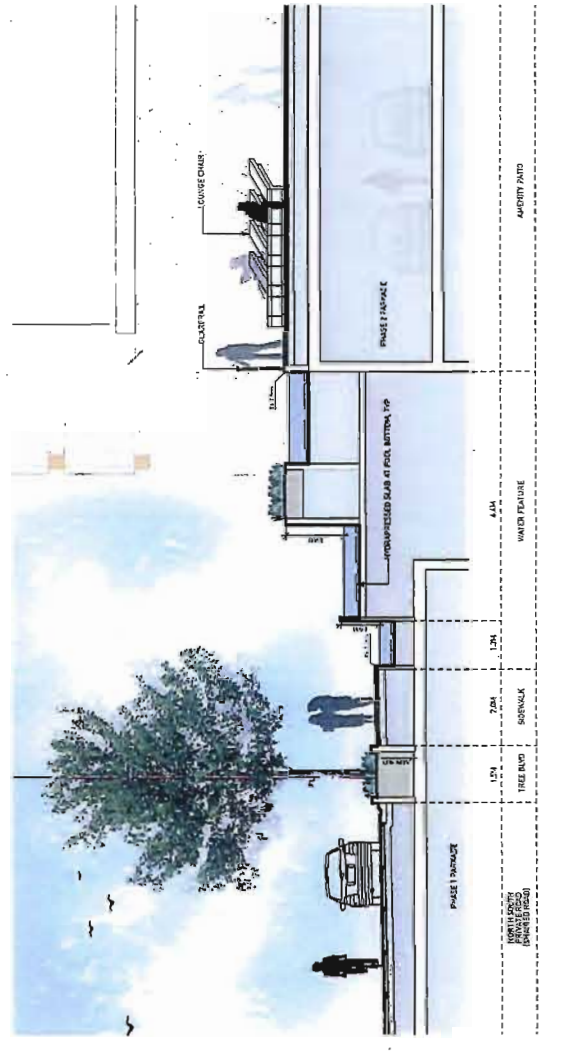
P1	CAST IN PLACE CONCRETE PAVING FINISH: SANDBLAST
P2	HYDRO-PRESSED SLABS
P3	CAST IN PLACE CONCRETE PAVING FINISH: BROOM, TOOLED JOINTS AS SHOWN REFER TO CIVIL DRAWINGS
P4	NATURAL STONE PAVEMENT RUNNING BOND PATTERN
P5	NATURAL STONE PAVEMENT COLOR: BLACK
P6	LIGHT DUTY CONCRETE UNIT PAVEMENT
P7	HEAVY DUTY CONCRETE UNIT PAVEMENT
P8	ASPHALT PAVING REFER TO CIVIL PLANS
P9	MAINTENANCE STRIP
P10	CRUSHED GRANITE 9MM CLEAR
P11	PLAY SAND
P12	RESILIENT PLAY SURFACE



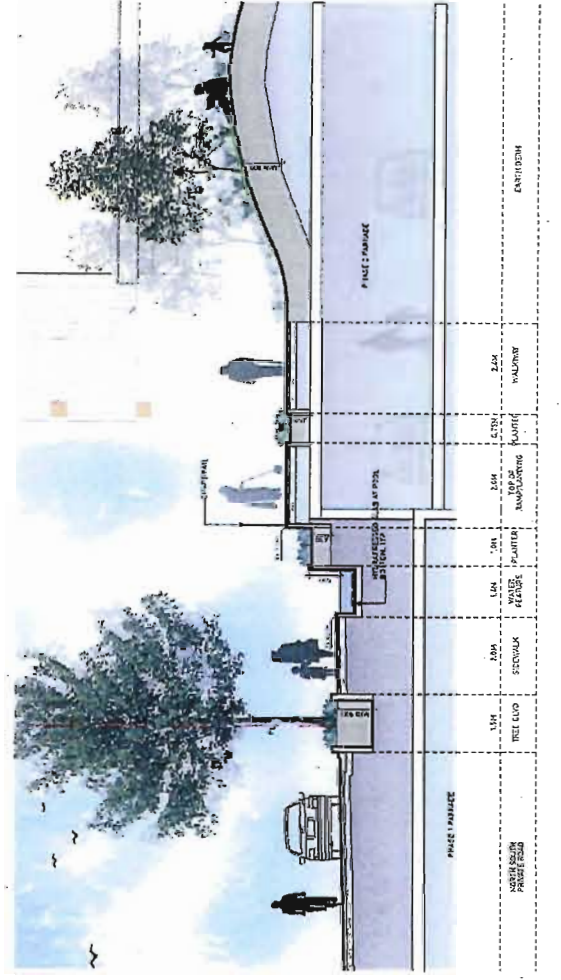
1 BUILDING WEST PLAN
SCALE 1/8"=1'



2 PERSPECTIVE



3 SECTION 1
SCALE 1/8"=1'



4 SECTION 2
SCALE 1/8"=1'

PAVING MATERIAL LEGEND

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
---	---	---	---	---	---	---	---	---	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	-----

HARDSCAPE MATERIAL LEGEND

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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SITE FURNITURE LEGEND

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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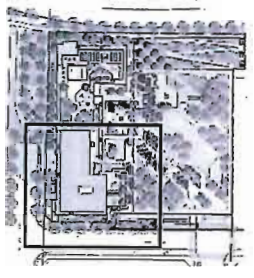


PWL Partnership includes the following:
 PWC Engineering Ltd.
 100 West Beaver Creek
 Richmond, BC V6X 3V9
 Tel: 604-273-1111
 Fax: 604-273-1112
 www.pwc-engineering.com



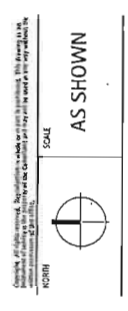
REVISIONS AND ISSUES
 NO. DATE DESCRIPTION
 01 2012/11/13 Issued for DP
 02 2013/11/18 Revised per City Comment

Plan 8g Dec 16, 2013
 DP 13-642725



PROJECT
 CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

DRAWING TITLE
 LAYOUT AND
 MATERIALS PLAN
 BUILDING WEST



PROJECT NO. 1288
 DATE JULY 2013
 REVISION 1288 PLAN L2 L3.WRK
 PLOTTED 12/10/13 at 5:09:26 PM
 DRAWN JZ
 CHECKED DL / GB
 PRINTING

SCALE
 AS SHOWN

LDP 3.04

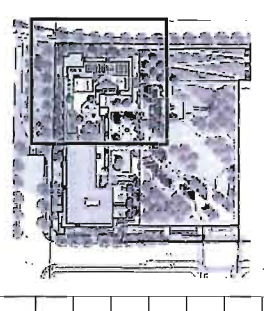


PWL Partnership Architects Inc.
3000 West Broadway
Vancouver BC V6K 2E7
www.pwlpw.com
Tel: 604.681.1177
Fax: 604.681.1177



REVISIONS AND ISSUES
NO. DATE DESCRIPTION
01 2013/11/13 Issued for DP
02 2013/11/18 Revised per City Comment

Plan 8h Dec 16, 2013
DP 13-642725



PROJECT
CONCORD GARDENS
PHASE 2
RICHMOND, BC
FOR CONCORD PACIFIC

DRAWING TITLE
LAYOUT AND MATERIALS PLAN
LEVEL 3

Scale
1/16" = 1'-0"

PROJECT NO. 1286
DATE MAY 2013
REVISION 1286 PLAN L3-10
PLotted 12/10/13 AT 5:08:28 PM
DRAWN BY RUPDRO

Sheet number
LDP 3.06

PAVING MATERIAL LEGEND

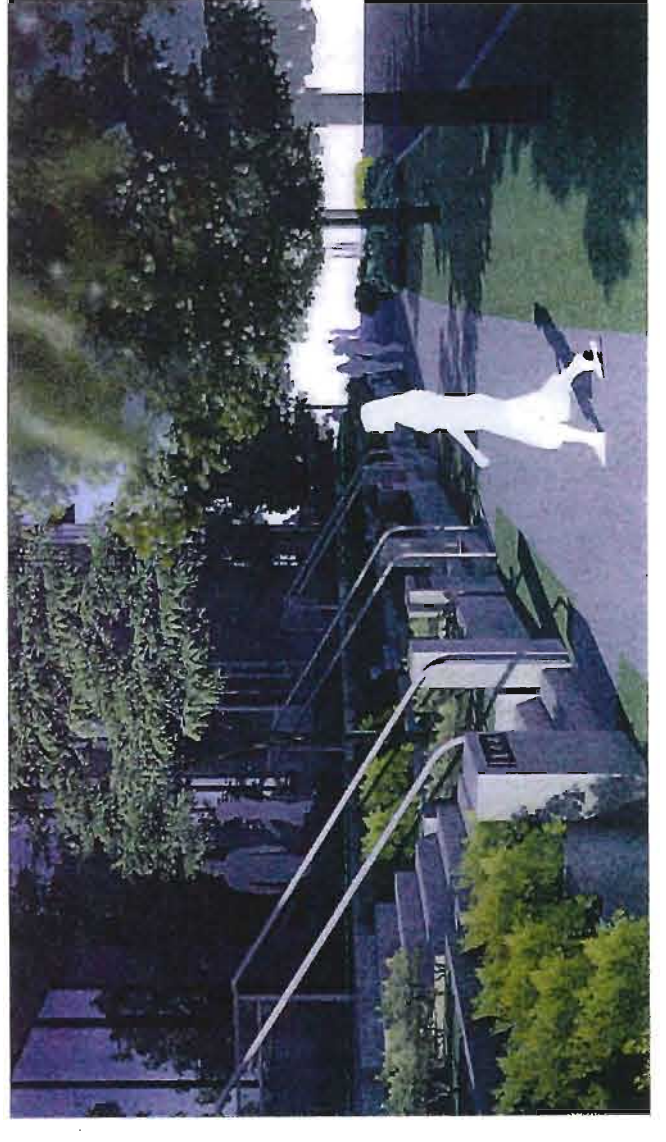
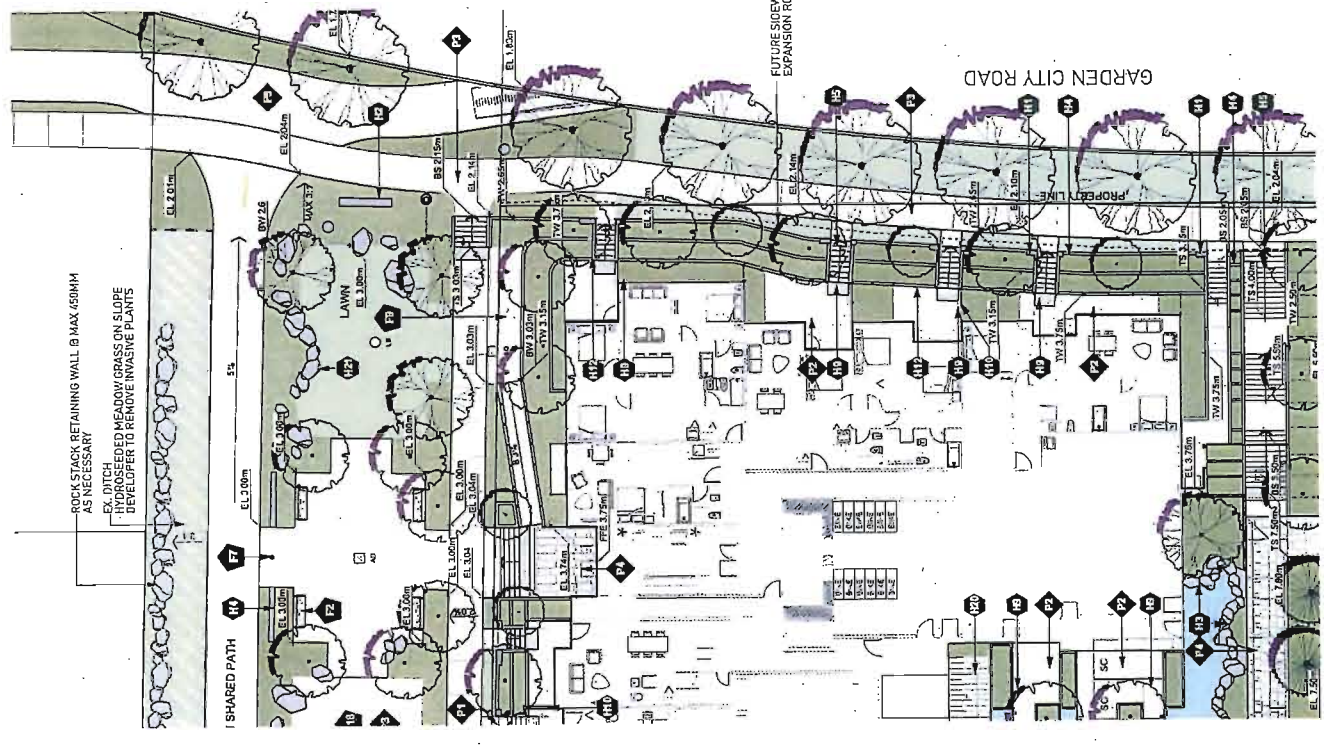
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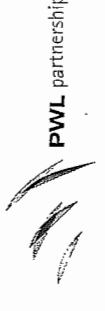
HARDSCAPE MATERIAL LEGEND

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SITE FURNITURE LEGEND

1	BENCH
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PWL Partnership
 12345 Main Street
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REVISIONS AND ISSUES
 NO. DATE DESCRIPTION
 01 2013/12/16 Re-issued for DP

Plan 8i Dec 16, 2013
 DP 13-642725



PROJECT
 CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

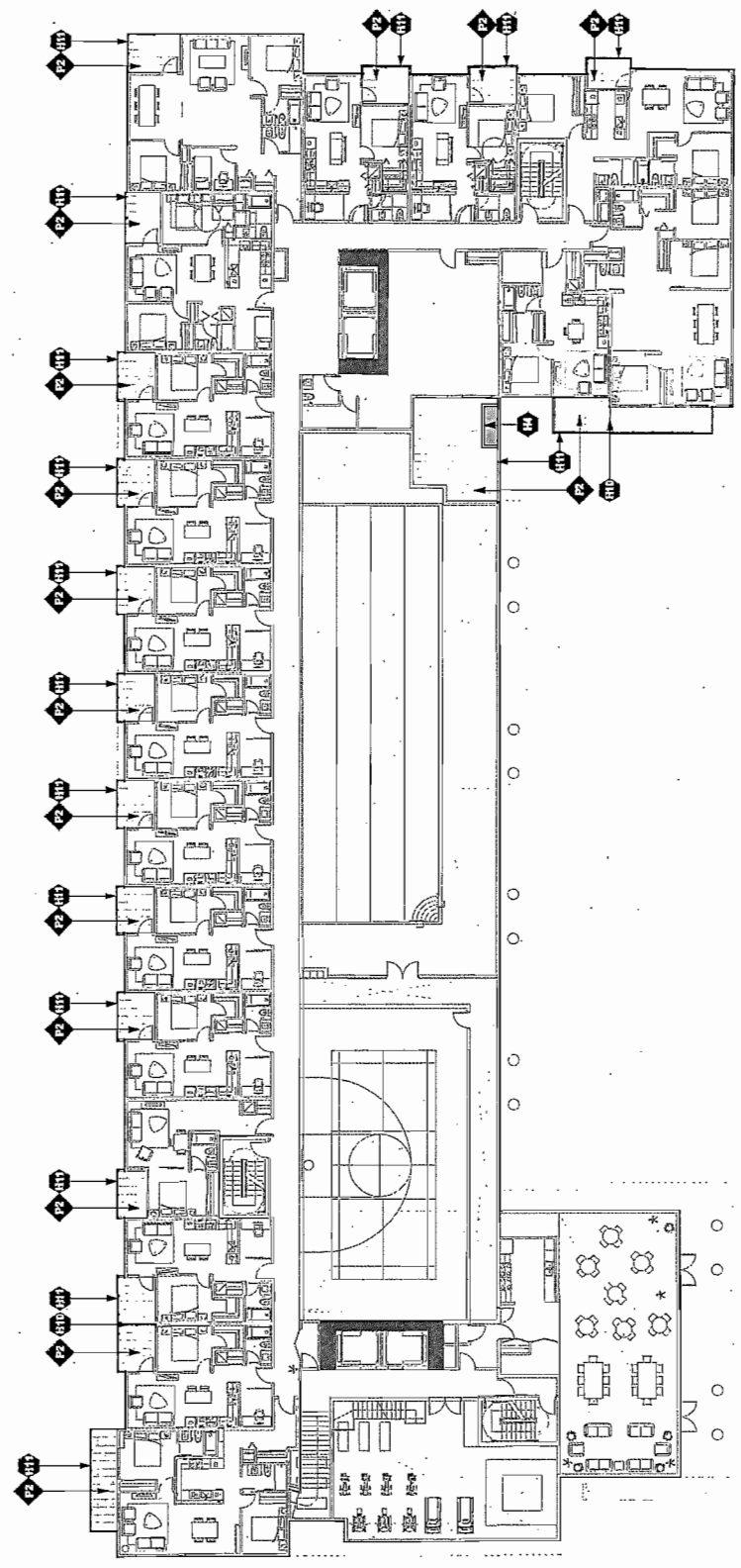
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 LAYOUT AND
 MATERIALS PLAN
 ROOF PLAN LEVEL 4 AND 5

SCALE
 1/16" = 1'-0"

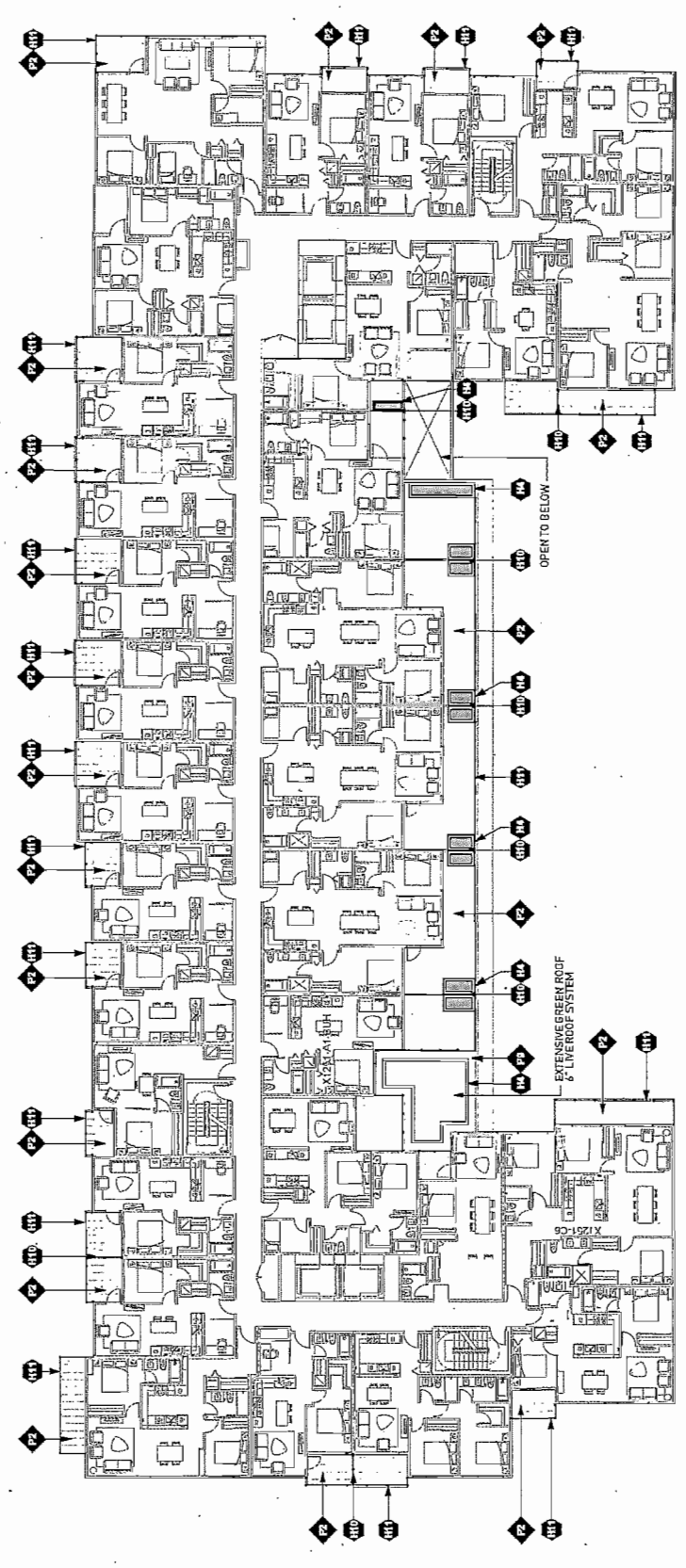


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 DATE JULY 2013
 FILE NAME 1288 PLAN L2 L3.WK6
 PLOTTED 12/10/13 4:50:26 PM
 DRAWN ZL
 REVIEWED DL / GS

LDP 3.07



1 ROOF PLAN LEVEL 4



2 ROOF PLAN LEVEL 5

PAVING MATERIAL LEGEND	
◆	CAST IN PLACE CONCRETE PAVING FROM SUBGRADE
◇	COMPRESSED SAND
◊	LIGHT DUTY CONCRETE UNIT PAVED
◈	MAINTENANCE STRIP
◆	COURED EMERALD BHM GRAK
◆	P-16 SAND
◆	RESILIENT FILL BRIDGE
HARDSCAPE MATERIAL LEGEND	
◆	CASE IN PLACE CONCRETE RETAINING WALL FROM EXISTING SUBGRADE
◆	PERFORATED PAVING
◆	PERFORATED PAVING WITH GEOTEXTILE
◆	PERFORATED PAVING WITH GEOTEXTILE AND DRAINAGE CHANNELS
◆	TRELLIS WITH GLASS CANOPY
◆	WOOD DECK
◆	WOOD DECK WITH RAILING
◆	WOOD DECK WITH RAILING AND GLASS CANOPY
◆	WOOD DECK WITH RAILING AND GLASS CANOPY AND LIGHT FIXTURES
SITE FURNITURE LEGEND	
◆	CONCRETE SIDE WALL
◆	BRICK WALL AND GAS CONDUIT
◆	CONCRETE CURB
◆	CONCRETE CURB WITH LIGHT FIXTURES
◆	CONCRETE CURB WITH LIGHT FIXTURES AND PLANTER
◆	CONCRETE CURB WITH LIGHT FIXTURES AND PLANTER AND BENCH
◆	CONCRETE CURB WITH LIGHT FIXTURES AND PLANTER AND BENCH AND RAILING
◆	CONCRETE CURB WITH LIGHT FIXTURES AND PLANTER AND BENCH AND RAILING AND GLASS CANOPY
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PWL Partnership
 PINE PARTNERSHIP LANDSCAPE ARCHITECTURE INC.
 200-734-1111
 www.pinepartnership.com



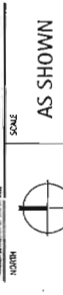
REVISED AND TITLES	DESCRIPTION
01 2013/1/13	Issued for DP
02 2013/1/18	Revised per City Comment

Plan 8k Dec 16, 2013
 DP 13-642725



CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

LAYOUT AND
 MATERIALS PLAN
 ROOF PLAN LEVEL 11



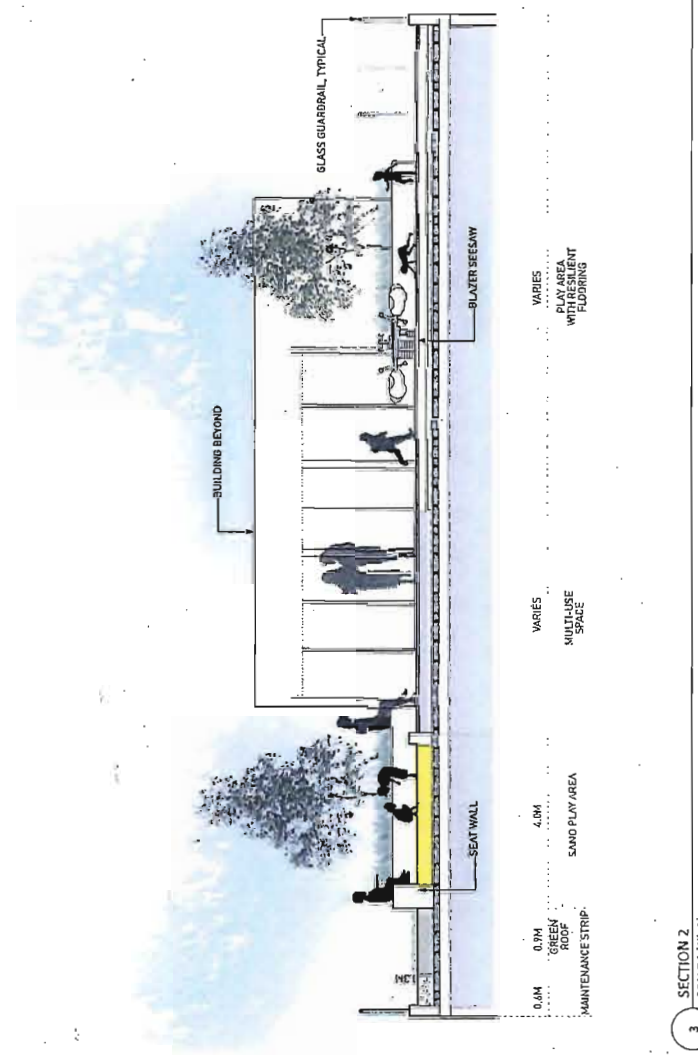
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CHECKED BY	DL/OB
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SCALE	AS SHOWN

LDP 3.09

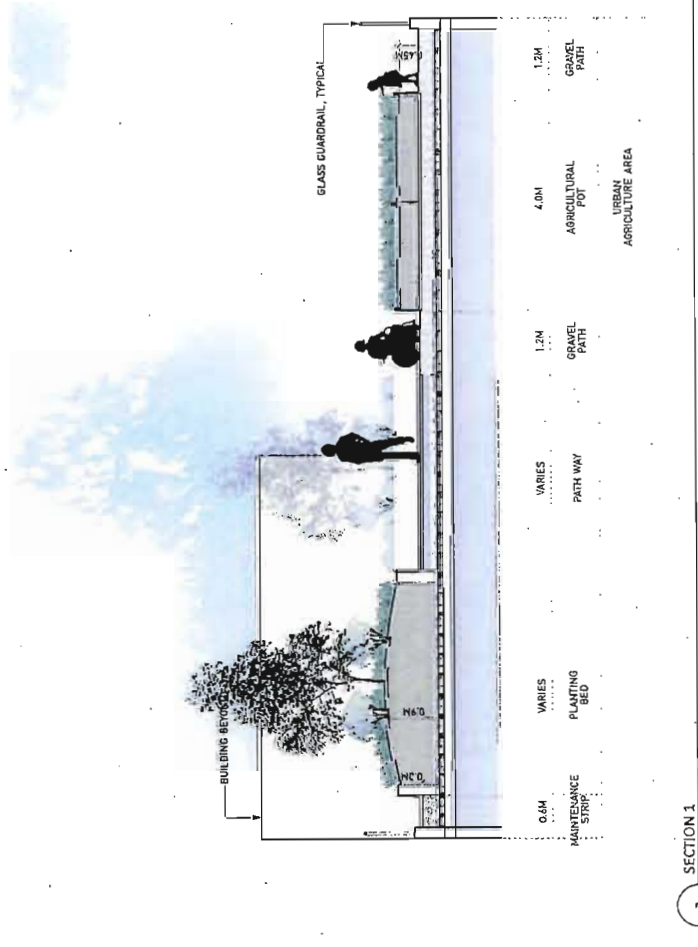
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	CAST IN PLACE CONCRETE WITH 2% SLOPE
	COMPRESSED GRAVEL
	UNIT WEIGHT CONCRETE (28 MPa)
	MAINTENANCE STRIP
	EXPOSED GRANITE SAN CLEAN
	PUR SAND
	STAINLESS STEEL SURFACE
HARDSCAPE MATERIAL LEGEND	
	COST VARIATE EXPOSED GRANITE SAN CLEAN
	FRONT CORNER
	FRONT TO ADJUNCTION
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SITE FURNITURE LEGEND	
	CONCRETE SEAT WALL
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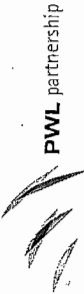
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 SCALE 1/16"=1'



3 SECTION 2
 SCALE 1/4"=1'



2 SECTION 1
 SCALE 1/4"=1'



PWL Partnership Architects Inc.
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 Richmond, BC V6X 1V6
 www.pwlpartnership.com
 FOLIOSEB111
 FOLIOSEB112



REVISION AND DATE	DESCRIPTION
01 2013/11/13	Issued for DP
02 2013/11/18	Revised per City Comments
03 2013/12/16	Revised for DP

Plan 8l Dec 16, 2013
 DP 13-642725



PROJECT
 CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

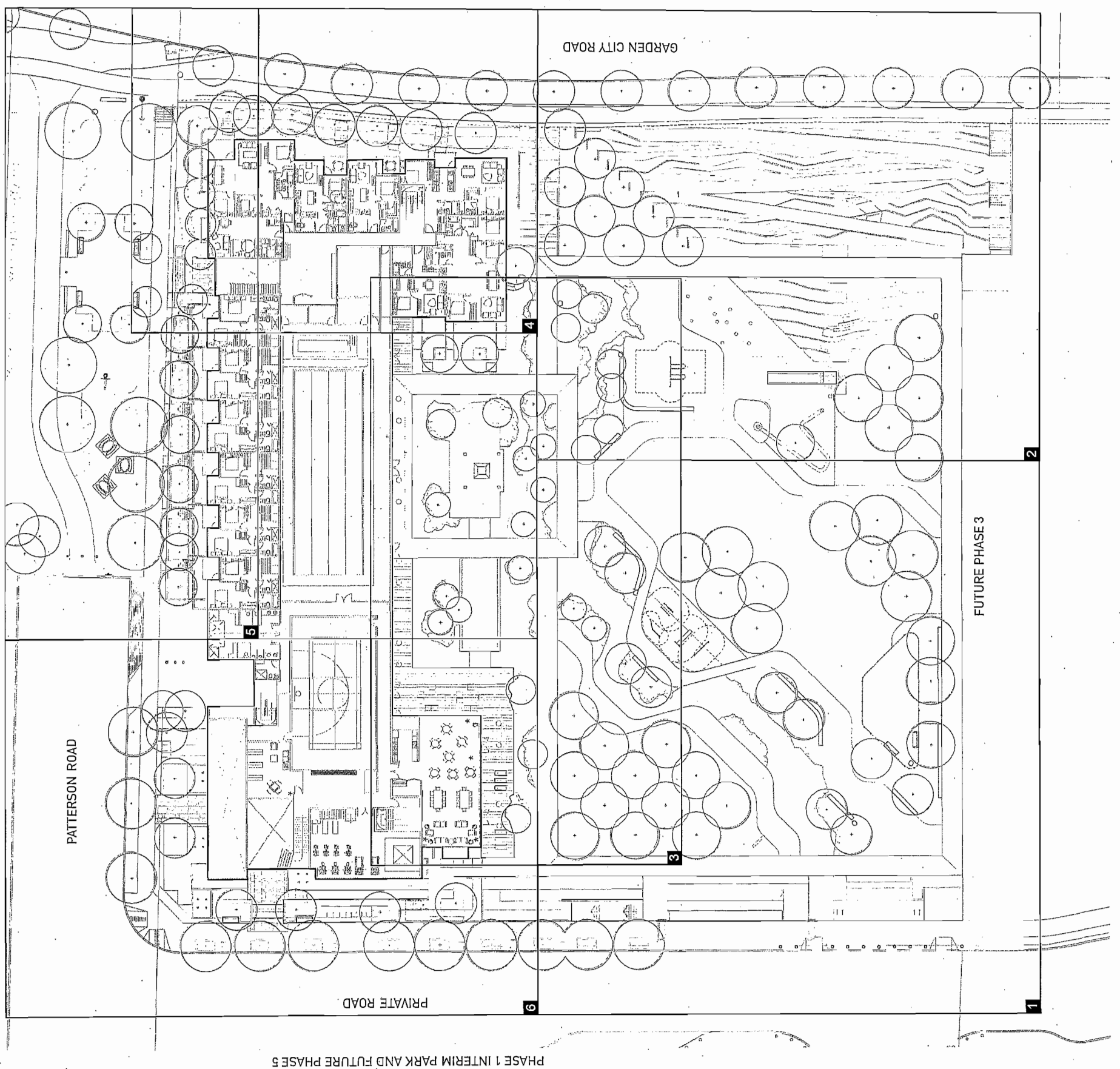
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SCALE
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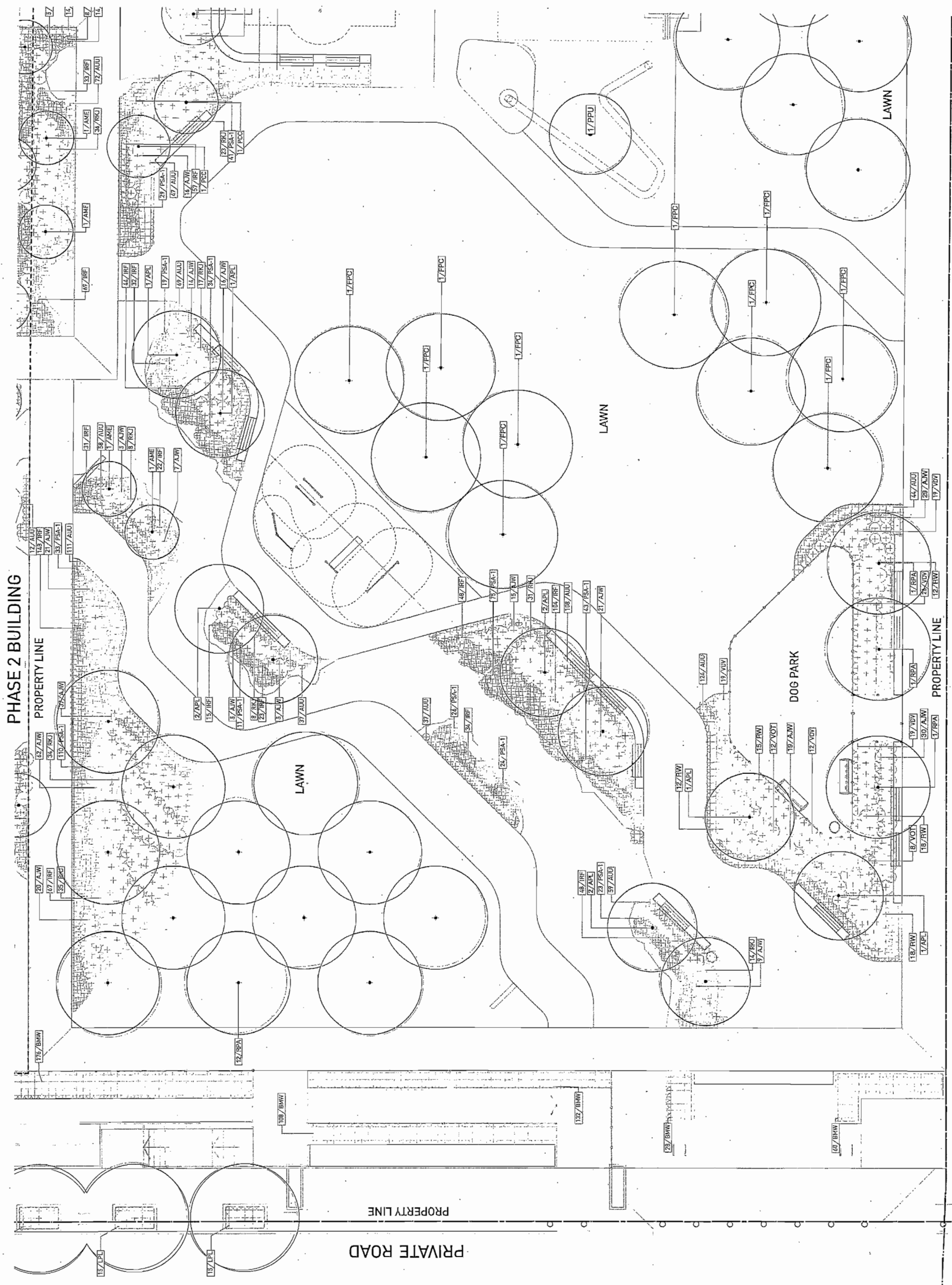
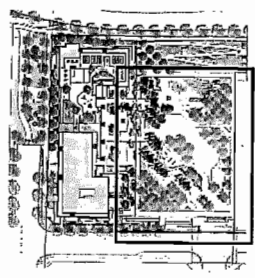


PROJECT NO.	1286
DATE	MAY 2013
FILE NAME	1286 PLANTING.WKX
PLOTTED	12/16/13 4:50:48 PM
DRAWN	JTKG/MZL BHP/BW

DRAWING
 LDP 4.01



PHASE 1 INTERIM PARK AND FUTURE PHASES



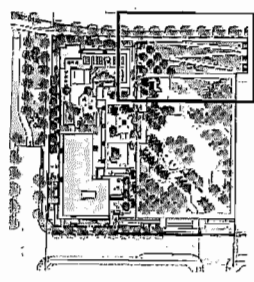


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SECTIONS AND ISSUES
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 01 2013/11/13 Issued for OP
 02 2013/11/18 Rechecked per City Comments
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PROJECT
 CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

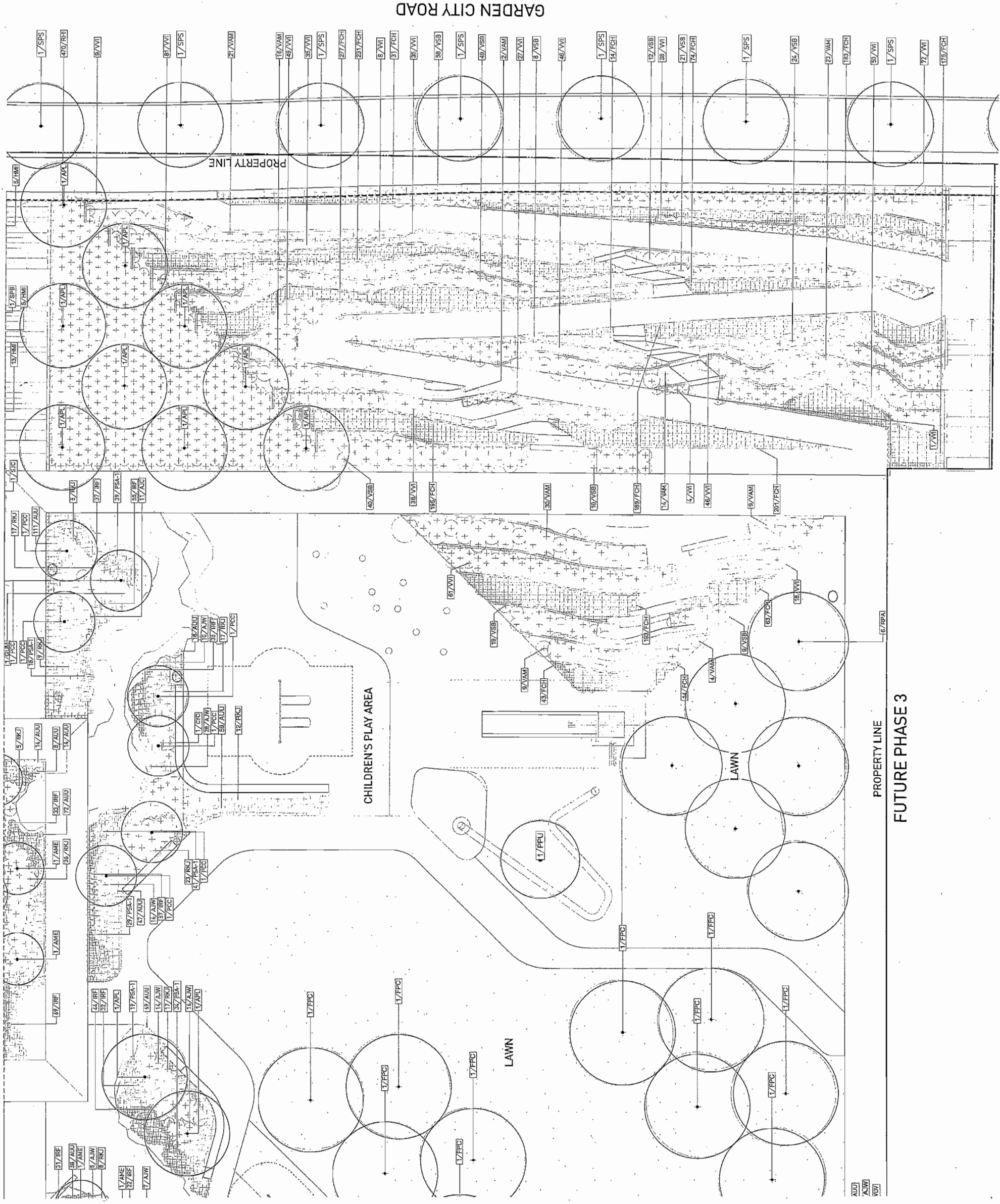
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 PUBLIC PARK EAST

SCALE
 1/8" = 1'-0"



PROJECT NO. 1286
 DATE JULY 2013
 FILE NAME 1286 PLANTING.VBK
 PLOTTED 12/14/13 4:13:25 PM
 DRAWN JTK/SM/PLZ
 CHECKED

LDP 4.03



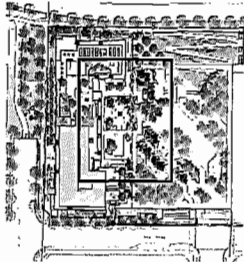


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PROJECT
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 PHASE 2
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 FOR CONCORD PACIFIC

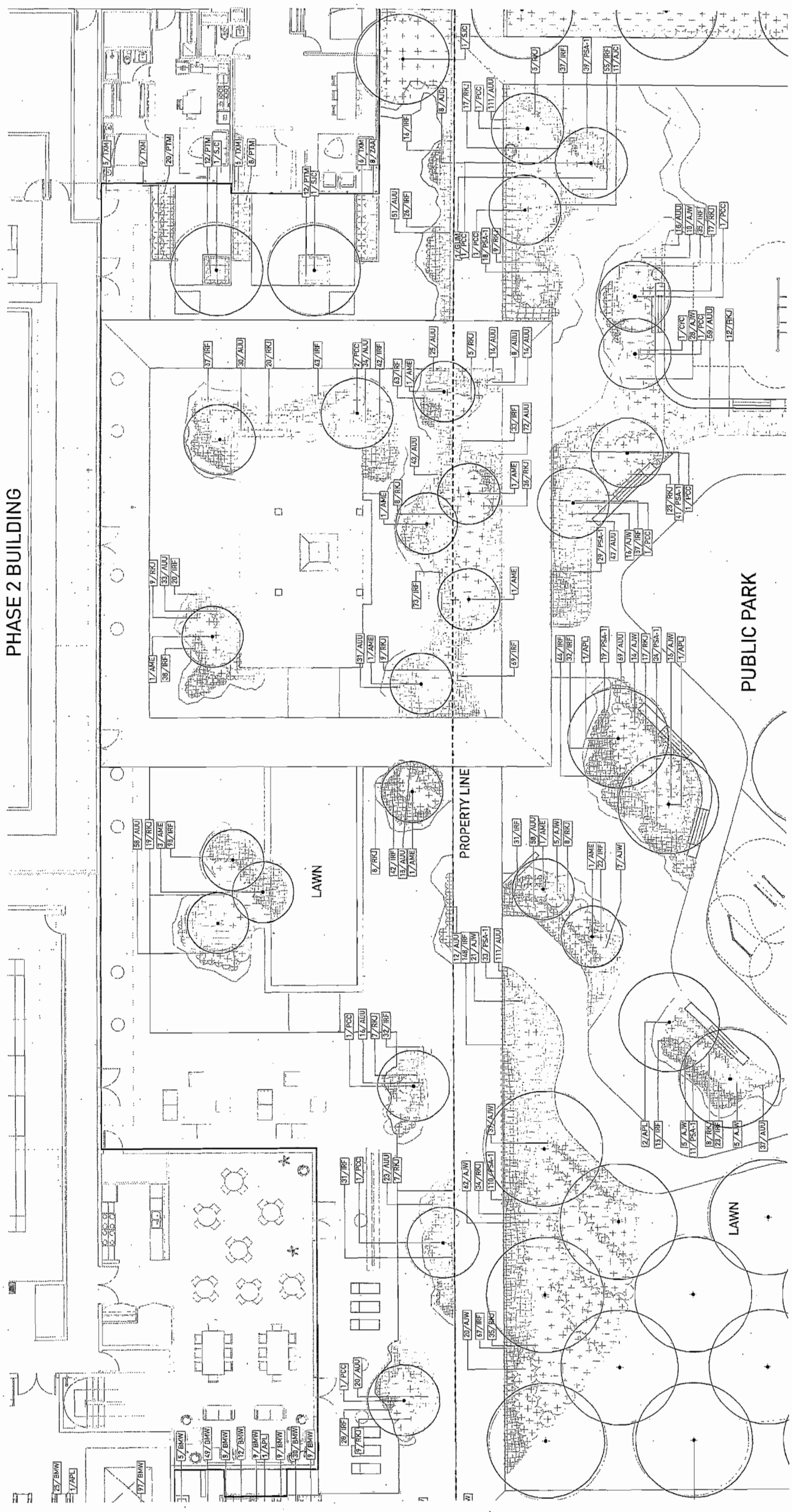
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 PLANTING PLAN
 PRIVATE GARDEN

Scale
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PROJECT NO. 1288
 DATE JULY 2013
 FILE NAME 1288 PLANTING.VWK
 PLOTTED 12/14/13 4:52:49 PM
 DRAWN JIKERPAZL
 CHECKED

LDP 4.04



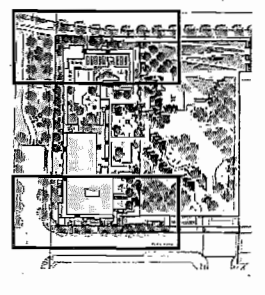


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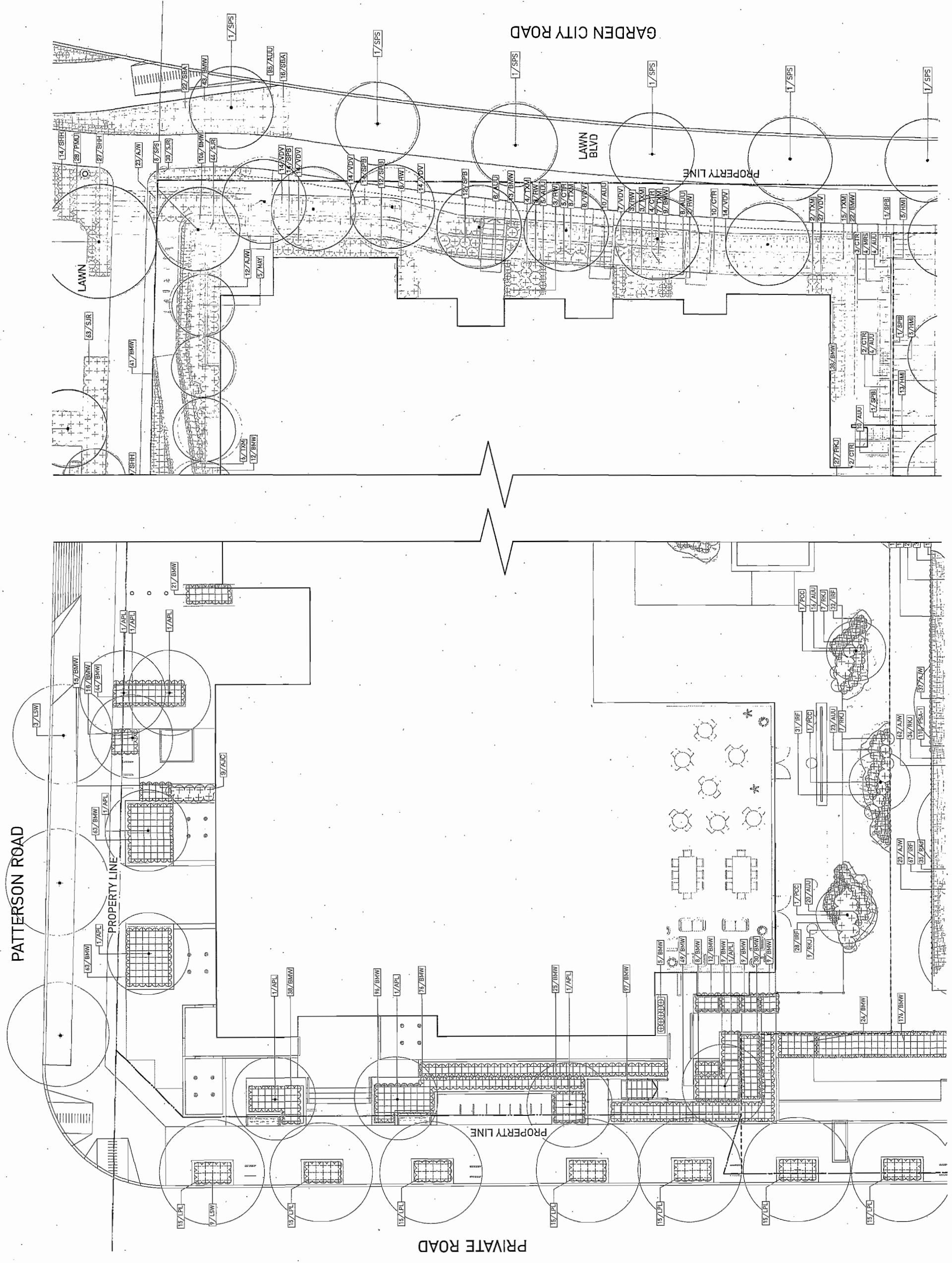
PROJECT
 CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

DRAWING TITLE
 PLANTING PLAN
 BUILDING EAST/WEST

SCALE
 1/8" = 1'-0"

PROJECT NO.	1266
DATE	JULY 2013
PREPARED BY	1266 PLANTING PKC
PLANNED BY	12/14/13 at 5:25:00 PM
DRAWN BY	JT/AEP/MJZL
CHECKED BY	REVRWD

LDP 4.05





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REV.	DATE	DESCRIPTION
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PROJECT
 CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

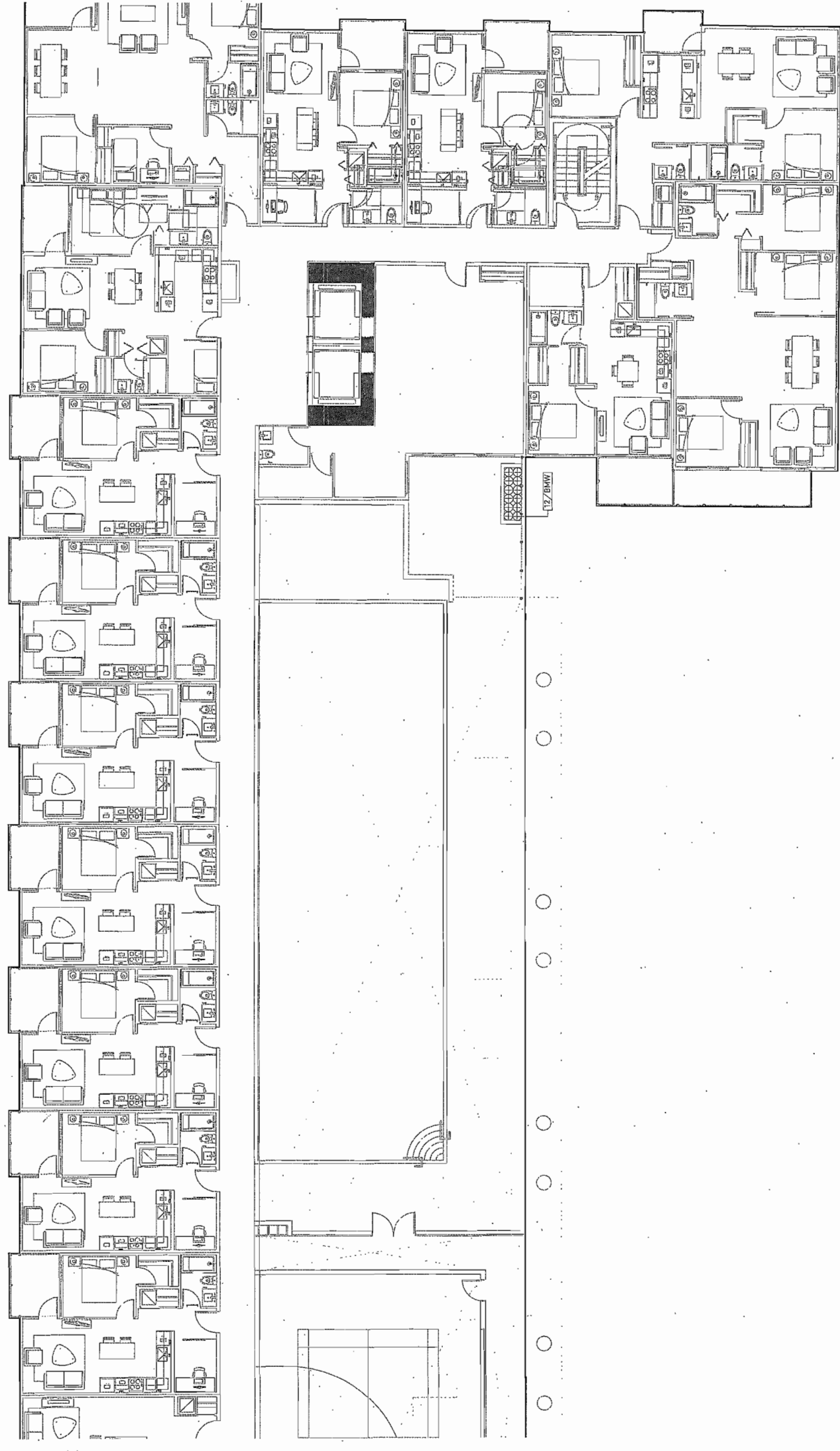
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 PLANTING PLAN
 LEVEL 4

Scale
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PROJECT NO.	1286
DATE	JULY 2013
FILE NAME	1286 PLANTING.VMX
PLOTTED	12/16/13 4:45:53 PM
DRAWN	JT/KEP/ZL
REVIEWED	

LDP 4.07





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PROJECT
 CONCORD GARDENS
 PHASE 2
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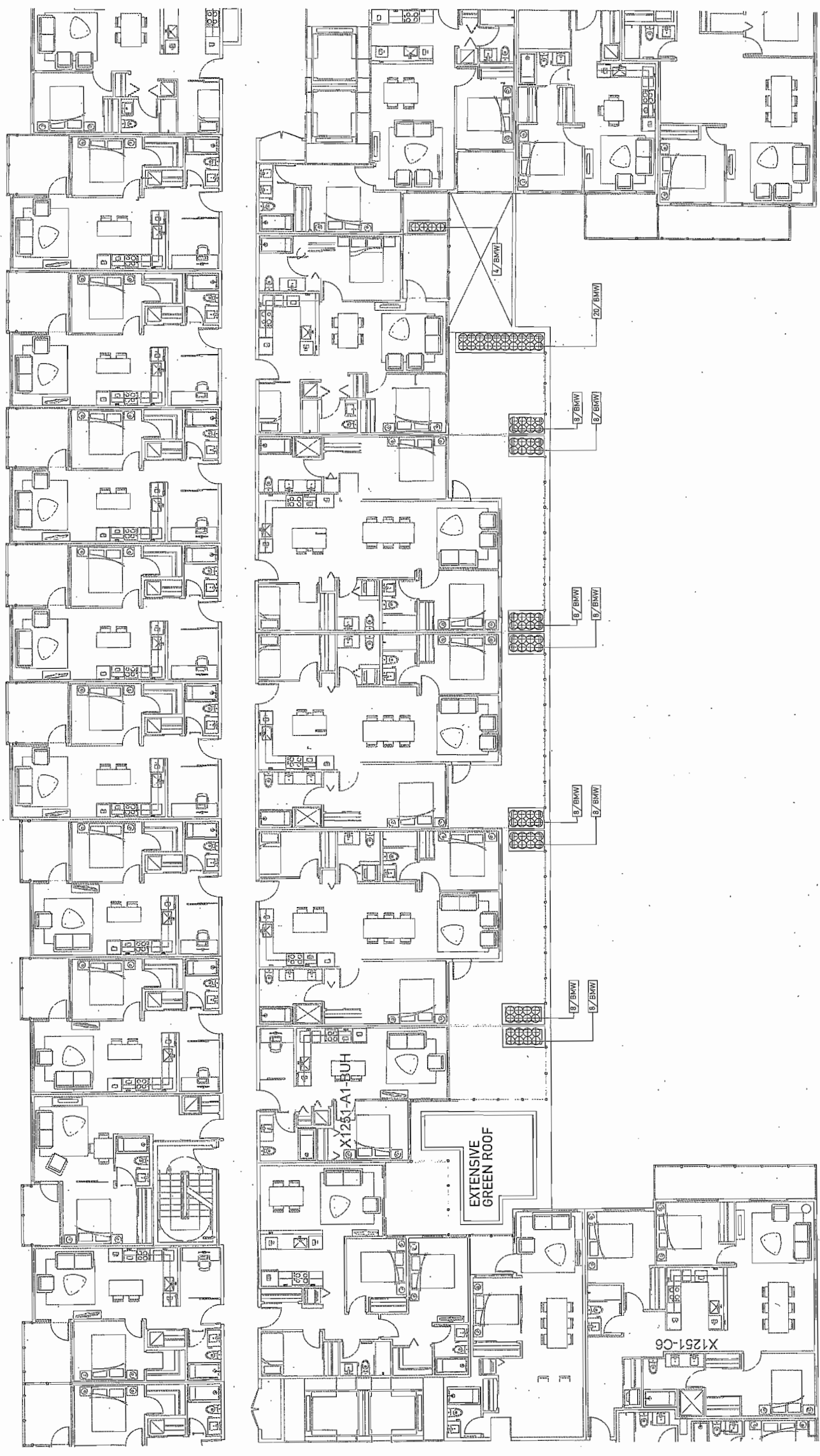
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 PLANTING PLAN
 LEVEL 5

Scale
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PROJECT NO.	1286
DATE	JULY 2013
FILE NAME	1286 PLANTING.VMX
PLOTTED	12/14/13 at 5:20:01 PM
DRAWN	JT/KEP/MLZ
REVIEWED	
DRAWING	

LDP 4.08





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 DP 13-642725



PROJECT
 CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

DRAWING TITLE
 PLANTING PLAN
 LEVEL 9

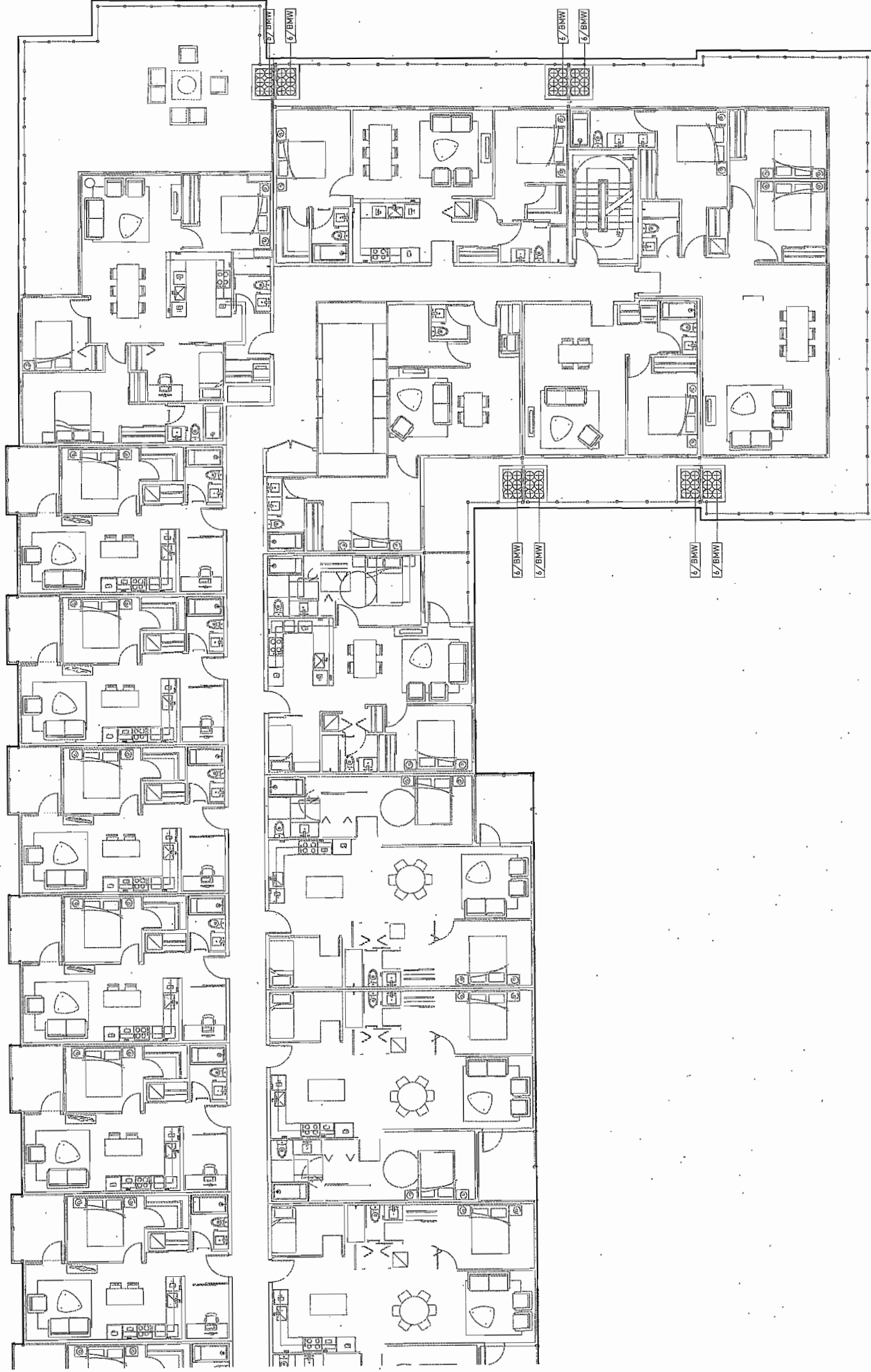
NOTES
 1. All dimensions are in feet and inches. All dimensions are to the centerline of the planting area.
 2. All dimensions are to the centerline of the planting area.



SCALE
 1/8" = 1'-0"

PROJECT NO.	1286
DATE	JULY 2013
FILE NAME	1286 PLANTING.WRK
DATE	12/16/13 4:52:15 PM
DRAWN	JTK/PMZL
DRAWING	REVISED

LDP 4.09





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	02	2013/11/18	Revised per City Comments
	03	2013/12/16	Re-issued for DP

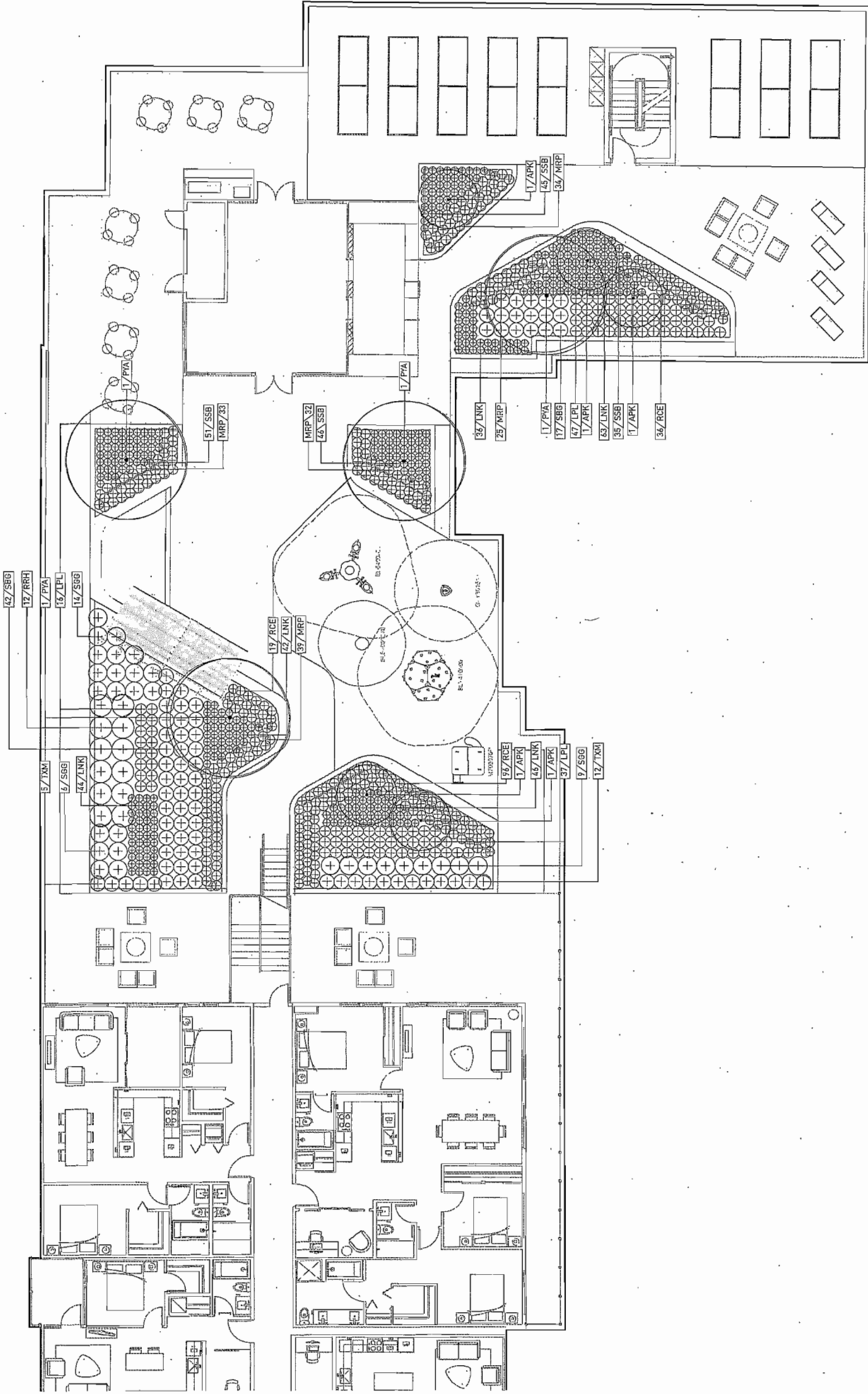
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 DP 13-642725



PROJECT
 CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

DRAWING TITLE
 PLANTING PLAN
 LEVEL 11

DATE: JULY 2013
 PROJECT NO: 1286
 DRAWING NO: 1286 PLANTING-00K
 DRAWN BY: JINKEP/MLZ
 CHECKED BY: [blank]
 SCALE: 1/8" = 1'-0"



LDP 4.10



PWL Partnership Landscape Architects Inc.
5814c, East Abbotsford
Vancouver BC V6P 1V9
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TEL: 604-271-1111
FAX: 604-271-1112



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NO.	DATE	DESCRIPTION
01	2013/11/13	Issued for DP
02	2013/11/19	Revised per City Comments
03	2013/12/16	Re-issued for DP

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DP 13-642725



PROJECT
CONCORD GARDENS
PHASE 2
RICHMOND, BC
FOR CONCORD PACIFIC

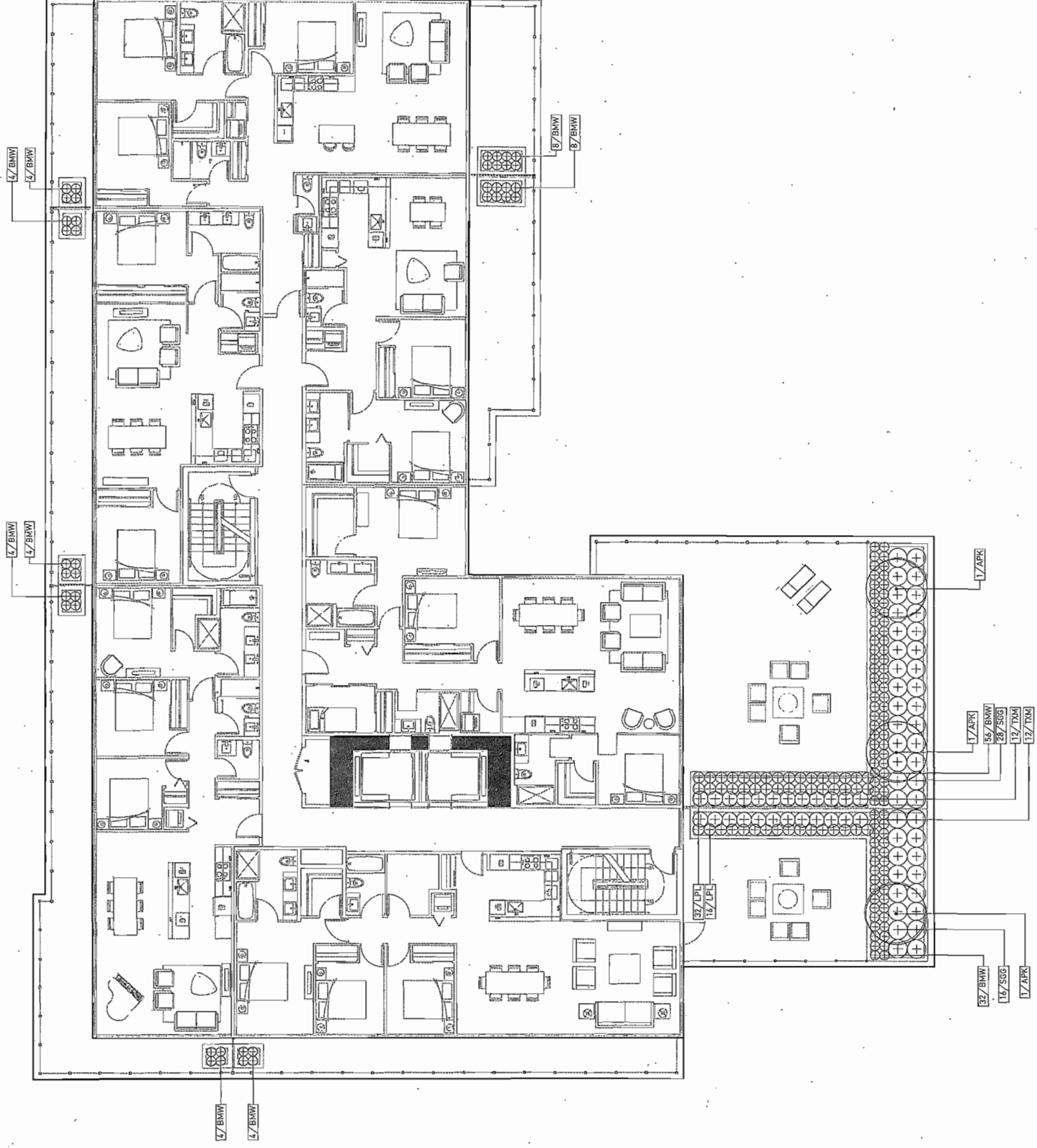
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LEVEL 14

Scale: 1/8"=1'-0"



PROJECT NO.		1286	
DATE	JULY 2013	FILE NAME	1286 PLANTING.WK
PROJECTED	12/14/13 at 5:20:45 PM	DRAWN	JT/KEP/MJZ
DRAWING	REVISED		

LDP 4.11





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CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

PLANT LIST

PROJECT NO.	1285
DATE	JULY 2013
FILE NAME	1285 PLANTING.vwk
PLOTTED	12/15/13 11:53:36 AM
DRAWN	JTKEN/MPZL - REVISED
CHECKED	

LDP 4.12

ID	Qty	Botanical Name	Common Name	Scheduled Size	Spacing	Remarks
Plant List Public Park						
Trees						
APL	19	Acer palmatum 'Green'	Green Japanese Maple	2.4 m ht. x 1.8 m w. (8 ft. x 6 ft.)	As Shown	B&B. Specimen and densely branched, no included bark
AME	4	Arbutus menziesii	Pacific Madrone	#2 pot	As Shown	Well established, nursery grown
PPC	10	Prunus pennsylvanica 'Crimson'	Crimson Green Ash	8 cm cal. (3" cal.)	As Shown	B&B. Specimens
PPU	1	Parrotia persica - upright form	Parrotia Parrotia	5 cm cal. (2" cal.)	As Shown	B&B. Straight trunk, uniform branching, 5 (1.5) ml std.
PCC	7	Pinus contorta var. contorta	Shore Pine	2.4m ht. (8'-0" ht.)	As Shown	B&B. Well branched, dense tree, nursery grown
PCC	21	Pinus pseudotsugata	Black Lodgepole	6 cm cal. (2 1/2" cal.)	As Shown	B&B. Well branched, dense tree, nursery grown
Shrubs						
AJC	19	Abelia japonica 'Hino Crimson'	Hino Crimson Japanese Azalea	#2 pot	60cm (24")	Well established
AJW	369	Azalea japonica 'Ward's Ruby'	Ward's Ruby Japanese Azalea	#2 pot	60cm (24")	Well established
BHW	528	Buxus microphylla 'Winter Gem'	Winter Gem Boxwood	#2 pot	38cm (15")	Well established
RHJ	271	Rhododendron 'Ken Jaweck'	Ken Jaweck Rhododendron	#3 pot	90cm (36")	Well established
RHJ	470	Rhododendron 'Impegiatum'	Impegiatum Rhododendron	#3 pot	75cm (30")	Well established
RW	75	Rhododendron williamsianum	Williams Rhododendron	#3 pot	80cm (32")	Well established
RSB	290	Rosa 'Sunshine Blue'	Sunshine Blue Rose	#2 pot	45cm (18")	Well established, to be maintained at 450mm ht.
VAM	123	Vaccinium macrocarpon	Cranberry	#1 pot	90cm (36")	Well established, nursery grown
VOT	20	Vaccinium ovatum 'Thunderbird'	Thunderbird Evergreen Huckleberry	#2 pot	75cm (30")	Well established, nursery grown
VOT	618	Vaccinium vitis-idaea 'Red Pearl'	Red Pearl Lingonberry	#1 pot	90cm (36")	Well established, nursery grown
VVV	95	Viburnum dentifolium	David Viburnum	#2 pot	60cm (24")	Well established
Ground Cover						
AUU	988	Arctostaphylos uva-ursi	Kinnikinnick	#1 pot	38cm (15")	15cm (6") leads, Minimum 3 leads, nursery grown
FCH	1883	Fragaria chiloensis	Beach Strawberry	#1 pot	30cm (12")	10cm (4") height, Well established, nursery grown
LPL	60	Lonicera pilata	Privet Honeyuckle	#1 pot	45 cm (18")	Well established, nursery grown
PSA	553	Potentilla alba	White Buttercup	#1 pot	30cm (12")	Well established, nursery grown
Perennials						
CYC	1	Corydalis aurea	Cordovan	#1 pot	90cm (36")	Well established
RUM	1	Rumex crispus	Smartweed	#3 pot	As Shown	Well established
IRF	902	Iris foetidissima	Scarletberry Iris	#1 pot	30cm (12")	Well established
Ferns						
PMU	140	Polystichum munifolium	Western Sword Fern	#1 pot	45 cm (18")	Well established, nursery grown

ID	Qty	Botanical Name	Common Name	Scheduled Size	Spacing	Remarks
Plant List Phz Building						
Trees						
APL	9	Acer palmatum 'Green'	Green Japanese Maple	2.4 m ht. x 1.8 m w. (8 ft. x 6 ft.)	As Shown	B&B. Specimen and densely branched, no included bark
AME	8	Arbutus menziesii	Pacific Madrone	#2 pot	As Shown	Well established, nursery grown
MAY	5	Magnolia sieboldii	Oyama Magnolia	3m ht. (10'-0" ht.)	As Shown	B&B. Uniform branching, dense tree
PPC	5	Prunus pennsylvanica 'Crimson'	Crimson Green Ash	8 cm cal. (3" cal.)	As Shown	B&B. Well branched, dense tree, nursery grown
SFS	8	Stewartia pseudocamellia	Japanese Stewartia	6 cm cal. (2 1/2" cal.)	As Shown	B&B. Well branched, dense tree, nursery grown
SJC	10	Styrax japonica	Japanese Snowbell	6 cm cal. (2 1/2" cal.)	As Shown	B&B. Uniform branching, dense tree, 6 (1.8) ml std.
Shrubs						
AJC	9	Abelia japonica 'Hino Crimson'	Hino Crimson Japanese Azalea	#2 pot	60cm (24")	Well established
AJW	369	Azalea japonica 'Ward's Ruby'	Ward's Ruby Japanese Azalea	#2 pot	60cm (24")	Well established
BHW	1005	Buxus microphylla 'Winter Gem'	Winter Gem Boxwood	#2 pot	38cm (15")	Well established
CTR	26	Celastrus scandens	Wax Leafed Spurge	#3 pot	90cm (36")	Well established
RHJ	127	Rhododendron 'Ken Jaweck'	Ken Jaweck Rhododendron	#3 pot	75cm (30")	Well established
RHJ	470	Rhododendron 'Impegiatum'	Impegiatum Rhododendron	#3 pot	80cm (32")	Well established
RW	51	Rhododendron williamsianum	Williams Rhododendron	#3 pot	80cm (32")	Well established
RSB	9	Rosa 'Sunshine Blue'	Sunshine Blue Rose	#2 pot	45cm (18")	Well established
SJR	74	Spiraea japonica 'Rubella'	Rubella Spirea	#2 pot	60cm (24")	Well established
SPB	55	Spiraea betulifolia	Birch-leaf Spirea	#2 pot	90cm (36")	Well established
TKM	123	Taxus x media 'H.M. Eddis'	H.M. Eddis Yew	1.2m	60cm (24")	Well established, dense hedging plant / B & B
VVV	95	Viburnum dentifolium	David Viburnum	#2 pot	60cm (24")	Well established
Ground Cover						
AUU	458	Arctostaphylos uva-ursi	Kinnikinnick	#1 pot	38cm (15")	15cm (6") leads, Minimum 3 leads, nursery grown
IBU	75	Ilex pedunculata	Privet Honeyuckle	#1 pot	45 cm (18")	Well established, nursery grown
MRS	2	Moroneja pinnata	Crescent Bayberry	#1 pot	40cm (16")	Well established, nursery grown
PTM	52	Podagrandora teranjinensis	Japanese Spurge	#1 pot	38cm (15")	Well established
Perennials						
HKI	23	Heuchera micrantha	Alumroot	#1 pot	30 cm (12")	Well established, nursery grown
IRF	606	Iris foetidissima	Scarletberry Iris	#1 pot	Well established	Well established
ZAA	8	Zantedeschia aethiopica	Calla Lily	#1 pot	40cm (16")	Well established
Ferns						
PMU	140	Polystichum munifolium	Western Sword Fern	#1 pot	45 cm (18")	Well established, nursery grown

ID	Qty	Botanical Name	Common Name	Scheduled Size	Spacing	Remarks
Plant List Pocket Park						
Trees						
MAY	6	Magnolia sieboldii	Oyama Magnolia	3m ht. (10'-0" ht.)	As Shown	B&B. Uniform branching, dense tree
POR	2	Prunus pennsylvanica 'Crimson'	Crimson Green Ash	8 cm cal. (3" cal.)	As Shown	B&B. Well branched, dense tree
PXA	7	Parrotia persica - upright form	Parrotia Parrotia	2.4 m ht. (8'-0" ht.)	As Shown	B&B. Uniform branching, dense tree, 7 (2.1) ml std.
PKZ	1	Pseudotsuga menziesii	Black Lodgepole	2.4 m ht. (8'-0" ht.)	As Shown	B&B. Well branched, dense tree, nursery grown
SJC	12	Styrax japonica	Japanese Snowbell	6 cm cal. (2 1/2" cal.)	As Shown	B&B. Uniform branching, dense tree, 6 (1.8) ml std.
Shrubs						
AJW	18	Azalea japonica 'Ward's Ruby'	Ward's Ruby Japanese Azalea	#2 pot	60cm (24")	Well established
BHW	377	Buxus microphylla 'Winter Gem'	Winter Gem Boxwood	#2 pot	38cm (15")	Well established
CTR	26	Celastrus scandens	Wax Leafed Spurge	#3 pot	90cm (36")	Well established
SSH	23	Saxifraga hypnifolia	Maianthemum	#2 pot	45cm (18")	Well established, nursery grown
SHH	148	Sarcococca hookeriana humilis	Himalayan Sarcococca	#2 pot	45cm (18")	Well established
SJR	314	Spiraea japonica 'Rubella'	Rubella Spirea	#2 pot	60cm (24")	Well established
SBA	154	Spiraea betulifolia	Birch-leaf Spirea	#2 pot	90cm (36")	Well established
VVV	210	Viburnum dentifolium	David Viburnum	#2 pot	60cm (24")	Well established
Ground Cover						
AUU	391	Arctostaphylos uva-ursi	Kinnikinnick	#1 pot	38cm (15")	15cm (6") leads, Minimum 3 leads, nursery grown
Perennials						
PMU	140	Polystichum munifolium	Western Sword Fern	#1 pot	45 cm (18")	Well established, nursery grown

ID	Qty	Botanical Name	Common Name	Scheduled Size	Spacing	Remarks
Plant List ROOF TOP GARDEN						
Trees						
APK	8	Acer palmatum 'Katsura'	Katsura Japanese Maple	2.4 m ht. x 1.8 m w. (8 ft. x 6 ft.)	As Shown	B&B. Specimen and densely branched, no included bark
PVA	4	Prunus yedoensis 'Akebono'	Daybreak Flowering Cherry	8 cm cal. (3" cal.)	As Shown	B&B. Uniform branching, dense tree, 6 (1.8) ml std.
Shrubs						
BHW	274	Buxus microphylla 'Winter Gem'	Winter Gem Boxwood	#2 pot	38cm (15")	Well established
RRH	12	Rosa rugosa 'Hansa'	Hansa Rose	#2 pot	90cm (36")	Well established
SRB	59	Spiraea japonica 'Goldflame'	Goldflame Spirea	#2 pot	60cm (24")	Well established
TKM	41	Taxus x media 'H.M. Eddis'	H.M. Eddis Yew	1.2m	60cm (24")	Well established, dense hedging plant / B & B
Ground Cover						
LPL	148	Lonicera pilata	Privet Honeyuckle	#1 pot	45 cm (18")	30 cm (12") spread
MHP	183	Mahonia nervosa	Dwarf Oregon Grape	#1 pot	40cm (16")	Well established, nursery grown
RCE	191	Rubus californicus 'Emerald Carpet'	Emerald Carpet Rubus	#1 pot	38cm (15")	15cm (6") leads, Minimum 3 leads
Perennials						
LNK	231	Lupinus nootkatensis	Nootka Lupine	#1 pot	30 cm (12")	Well established, nursery grown
SSB	177	Salvia superba	Perennial Salvia	10 cm pot	30 cm (12")	Well established
Ferns						
PMU	140	Polystichum munifolium	Western Sword Fern	#1 pot	45 cm (18")	Well established, nursery grown

Checklist of plants to be installed on site. Plants to be installed on site are indicated by a checkmark. Plants to be installed in the future are indicated by a plus sign (+). Plants to be removed are indicated by a minus sign (-). Plants to be installed in the future are indicated by a plus sign (+). Plants to be removed are indicated by a minus sign (-). Plants to be installed in the future are indicated by a plus sign (+). Plants to be removed are indicated by a minus sign (-).



PWL Partnership Limited Liability Partnership
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02	2013/11/18	Revised per City Comment
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Plan 8w Dec 16, 2013
 DP 13-642725



PROJECT
 CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

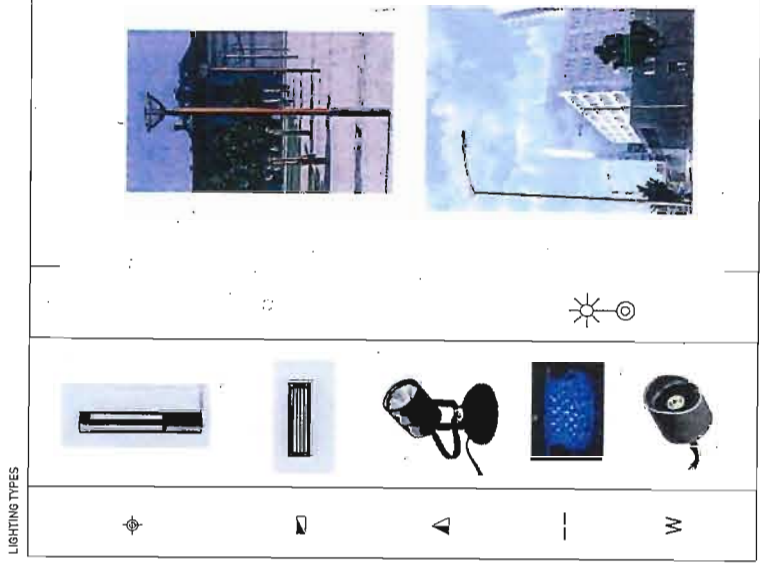
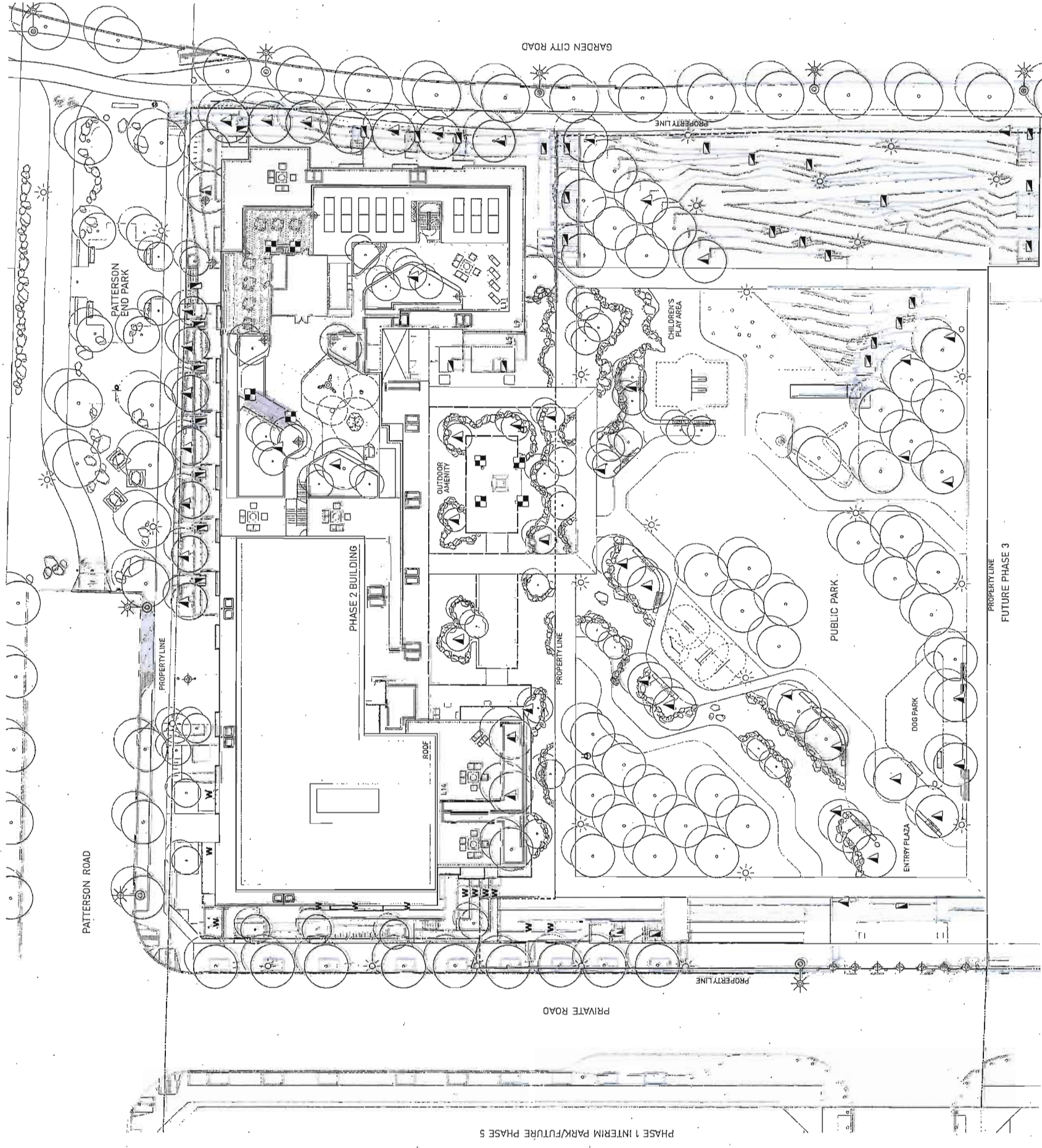
DRAWING TITLE
 LIGHTING PLAN

SCALE
 1"=20'



PROJECT NO.	1286
DATE	OCT 2013
FILE NAME	1286 PLAN L3.AWK
PLotted	12/19/13 AT 5:09:26 PM
DRAWN	JZ
REVIEWED	GB

LDP 5.01



LIGHTING REFER TO ELECTRICAL PLANS

	TYPE 1 - STREET LIGHT WITH RECESSED LIGHT DESIGN REFERENCE: SCHREIBER - PUMPO 3
	TYPE 2 - RECESSED WALL MOUNTED DESIGN REFERENCE: SCHREIBER - ALTYPA LED
	TYPE 3 - STREET LIGHT DESIGN REFERENCE: SCHREIBER - PUMPO 3
	TYPE 4 - TRAFFIC SIGNAL
	TYPE 5 - BOLLARD LIGHT
	TYPE 6 - STEP LIGHT/WALL LIGHT
	TYPE 7 - DOWN LIGHT AT STRUCTURES
	TYPE 8 - UP LIGHT
	TYPE 9 - LED ROPE LIGHT
	TYPE 10 - SUBMERSIBLE ACCENT LIGHT
	OUTLET FOR SEASONAL LIGHTING

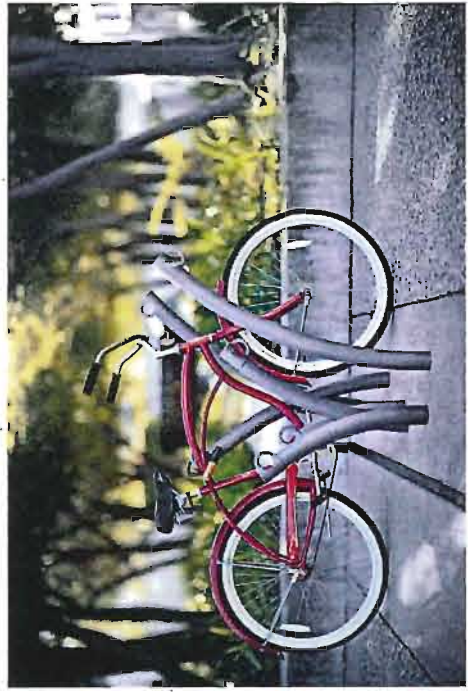


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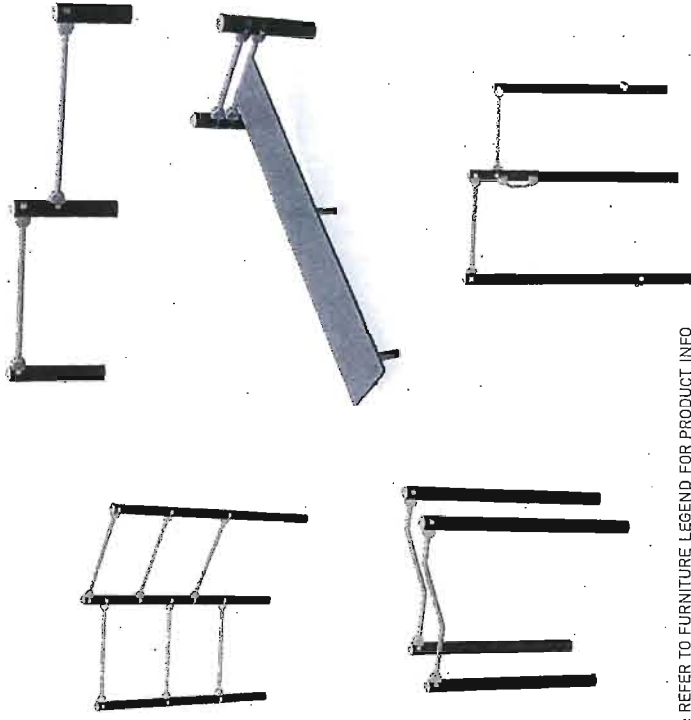
REV.	DATE	DESCRIPTION
01	2013/11/13	Issue for DP
02	2013/11/19	Revised per City Comment
03	2013/12/16	Re-issued for DP

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NOTE: REFER TO FURNITURE LEGEND FOR PRODUCT INFO

1 BIKE RACK



NOTE: REFER TO FURNITURE LEGEND FOR PRODUCT INFO

2 OUTDOOR FITNESS



NOTE: REFER TO FURNITURE LEGEND FOR PRODUCT INFO

3 BENCH



NOTE: REFER TO FURNITURE LEGEND FOR PRODUCT INFO

4 PLAY STRUCTURE



PROJECT
 CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

DRAWING TITLE
 OUTDOOR FURNITURE

PROJECT NO. 1286
 DATE MAY 2013
 FILE NAME 1286 PLAN 13.WK
 PLOTTED 12/10/13 AT 5:09:28 PM
 DRAWN JZ
 REVISION DL / GB
 DRAWN



LDP 6.01

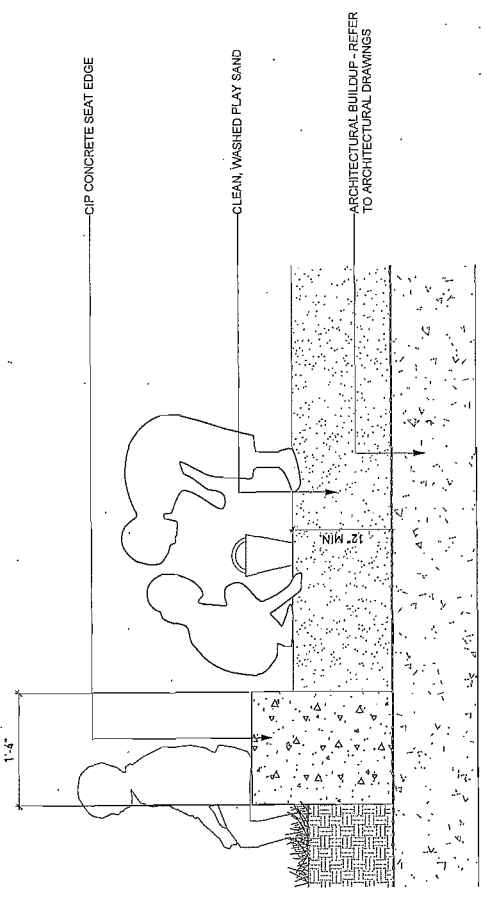


PWL Partnership
 100 West Broadway
 Vancouver, BC V6C 3E7
 Tel: 604.681.1111
 Fax: 604.681.1112

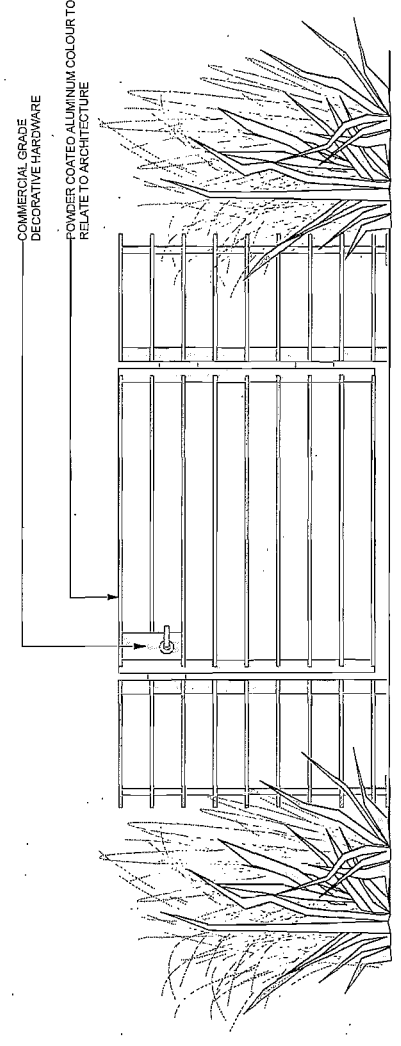


REVISIONS AND DATES
 NO. DATE DESCRIPTION
 01 2013/11/18 Revised per City Comments
 02 2013/12/18 Re-issued for DP

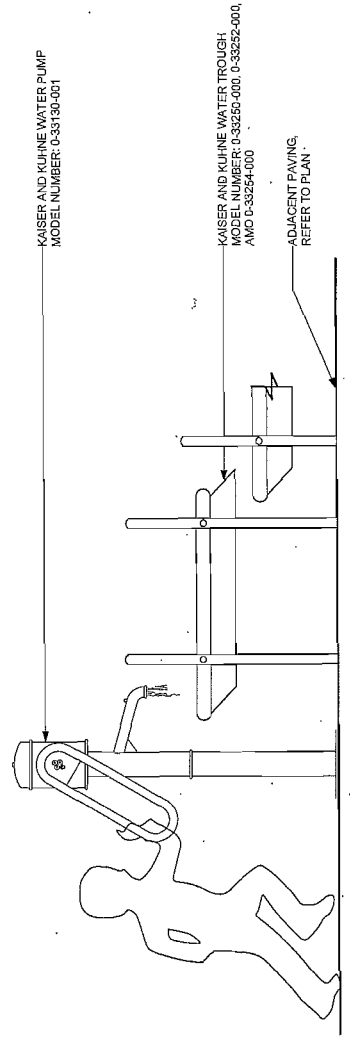
Plan 8y Dec 16, 2013
 DP 13-642725



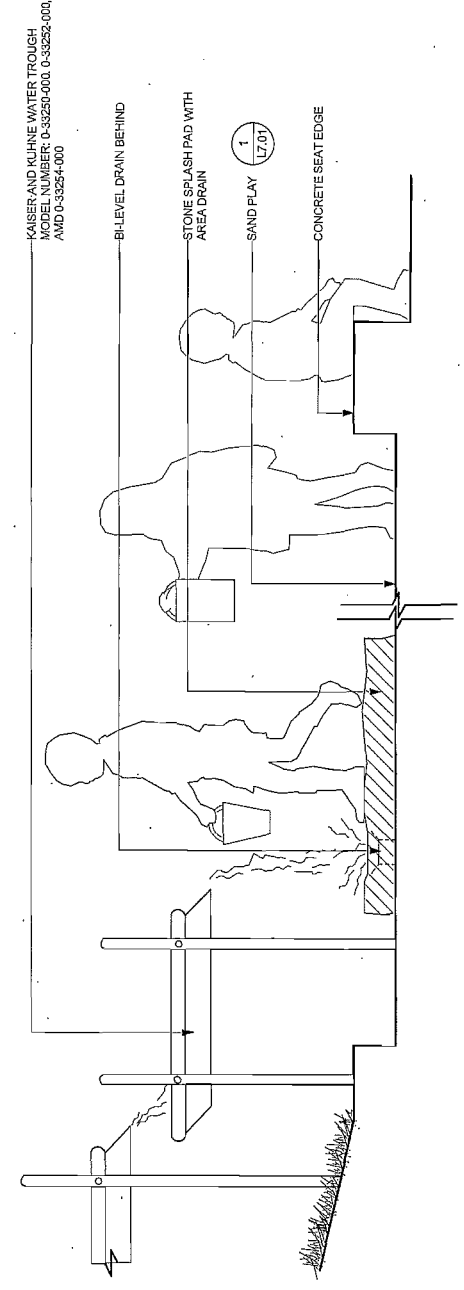
1 SAND PLAY AREA
 Scale: 1" = 1'-0"



2 PUBLIC/PRIVATE REALM GATE
 Scale: 1" = 1'-0"



3 WATER PLAY ELEMENT
 Scale: 1" = 1'-0"



PROJECT
 CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

DRAWING TITLE
 DETAILS

SCALE
 AS SHOWN

PROJECT NO.	1286
DATE	NOV 2013
FILE NAME	1286 DETAILS.WAK
PLOTTED	12/15/13 at 1:08:38 PM
DRAWN	MP/ZL
REVIEWED	GB
DRAWING	

LDP 7.01

ATTENTION: PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION REGARDING MATERIALS, REFERENCES, INSTALLATION METHODS AND APPROVALS

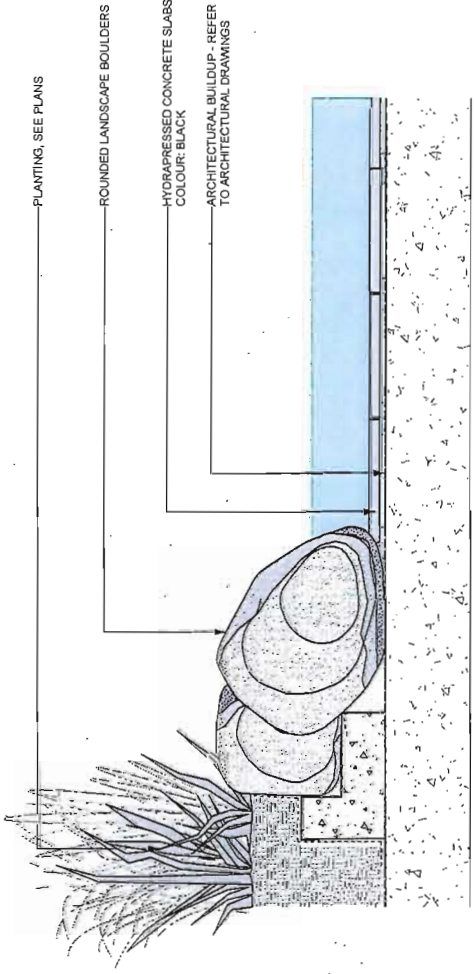


PWL Partnership Landscape Architects Inc.
 22 First Street, Suite 101
 Vancouver BC V6C 2K6
 www.pwlpw.com
 Tel: 604.681.1111
 Fax: 604.681.1112

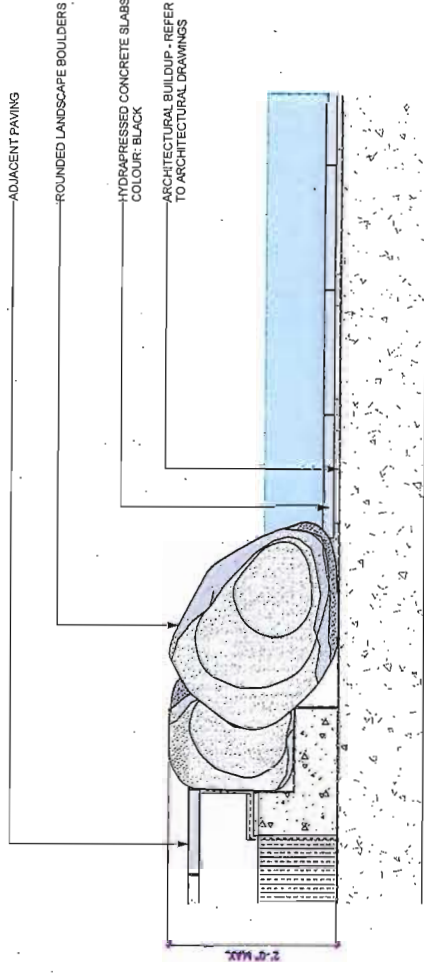


REVIEWS AND DATES	DESCRIPTION
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02 2013/12/16	Re-issued for DP

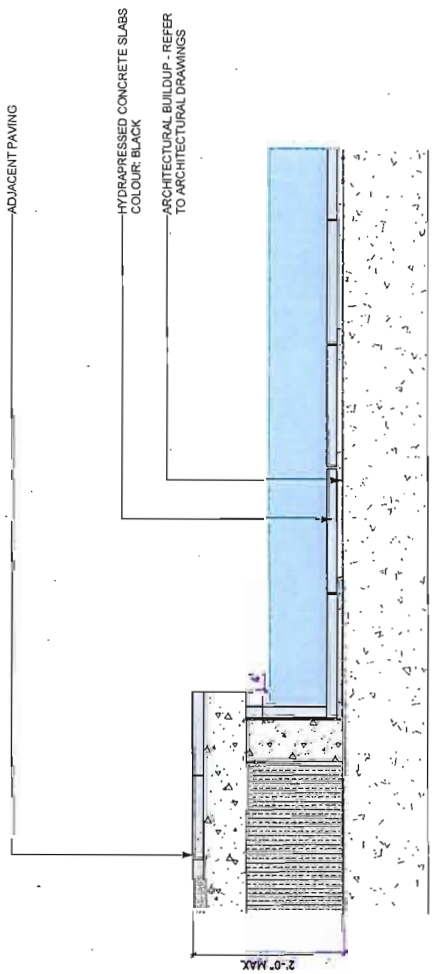
Plan 8z Dec 16, 2013
 DP 13-642725



1 WATER FEATURE EDGE 1
 Scale: 1" = 1'-0"



2 WATER FEATURE EDGE 2
 Scale: 1" = 1'-0"



3 WATER FEATURE EDGE 3
 Scale: 1" = 1'-0"



4 DOG PARK GATE/FENCE
 Scale: 1" = 1'-0"



PROJECT
 CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

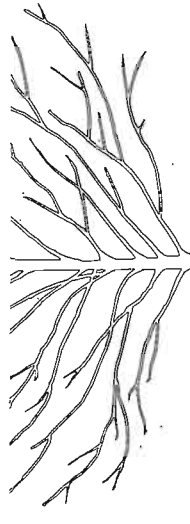
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 DETAILS

SCALE
 AS SHOWN

PROJECT NO.	1288
DATE	NOV 2013
FILE NAME	1288 DETAILS.MXD
PLOTTED	12/15/13 at 1:05:38 PM
DRAWN	MJZL
REVISED	GB

LDP 7.02

ATTENTION: PROJECT SPECIFICATIONS FOR
 ADDITIONAL INFORMATION REGARDING
 MATERIAL REFERENCES, INSTALLATION
 METHODS AND APPROVALS



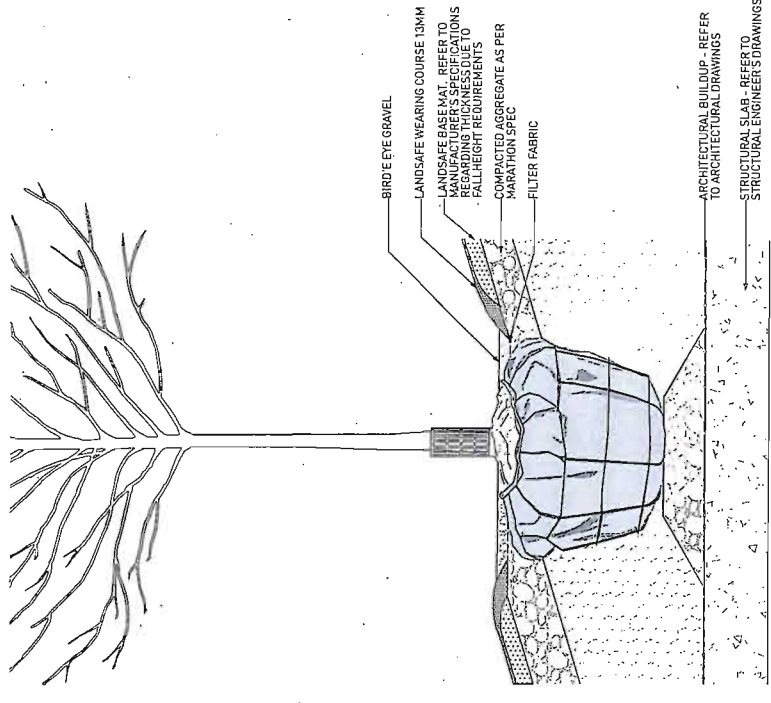
PWL partnership

PWL Partnership Landscape Architects Inc.
 100 West 1st Avenue
 100 West 1st Avenue
 Vancouver, BC V6C 1A7
 TEL: 604.681.1111
 FAX: 604.681.1112

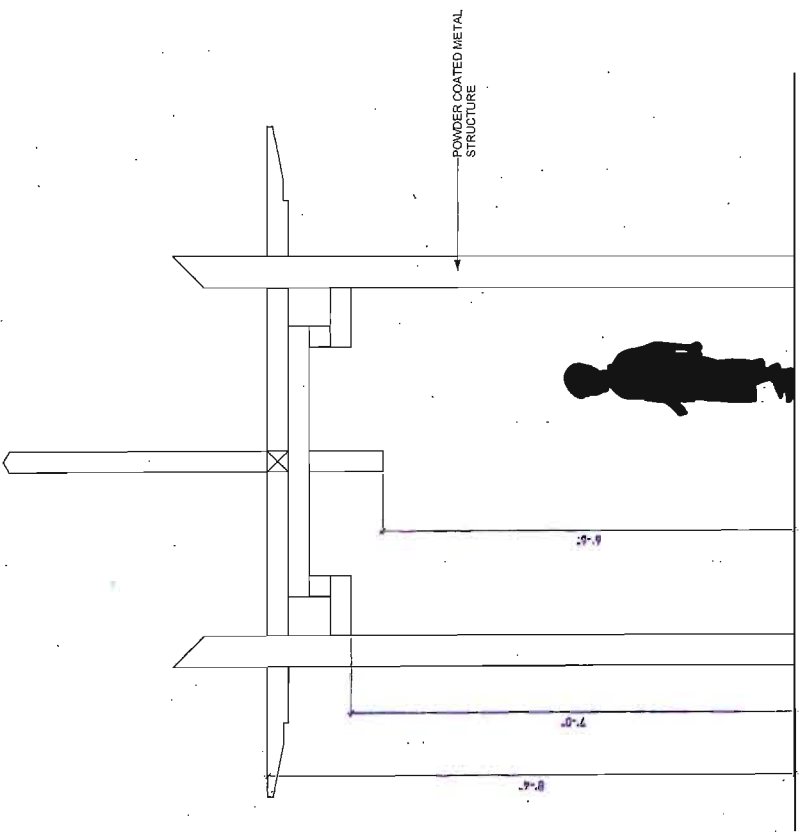


NO.	DATE	DESCRIPTION
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02	2013/12/16	Re-issued for CP

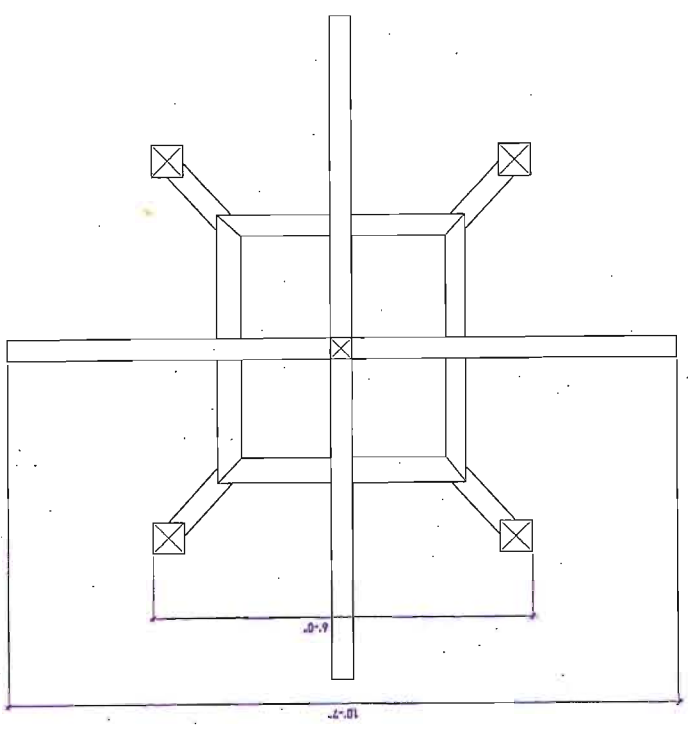
Plan 8aa Dec 16, 2013
 DP 13-642725



3 TREE PLANTING IN RESILIENT SURFACING
 Scale: 3/4"=1'-0"

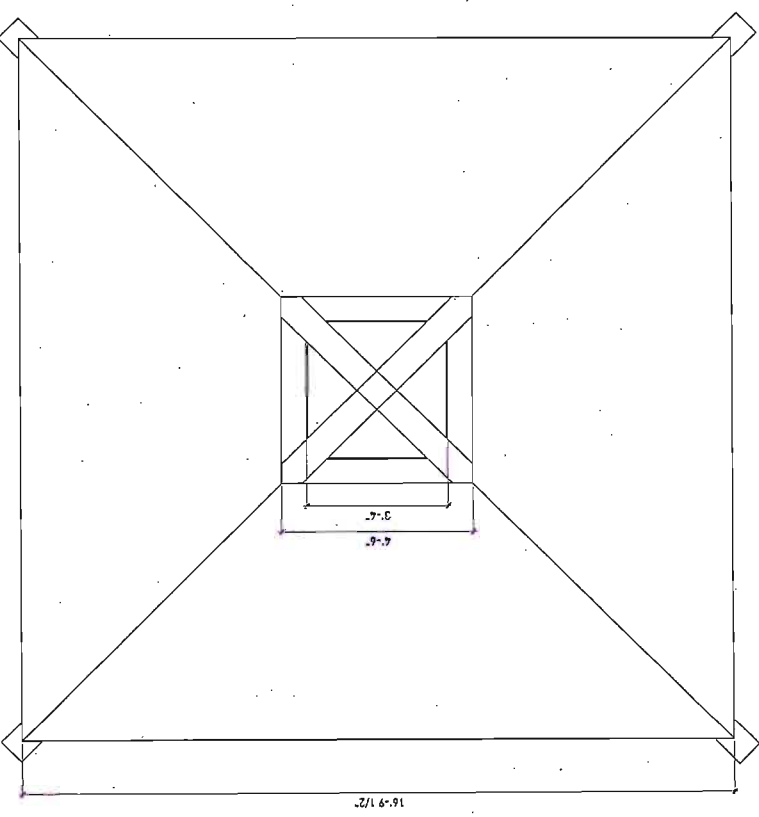


ELEVATION



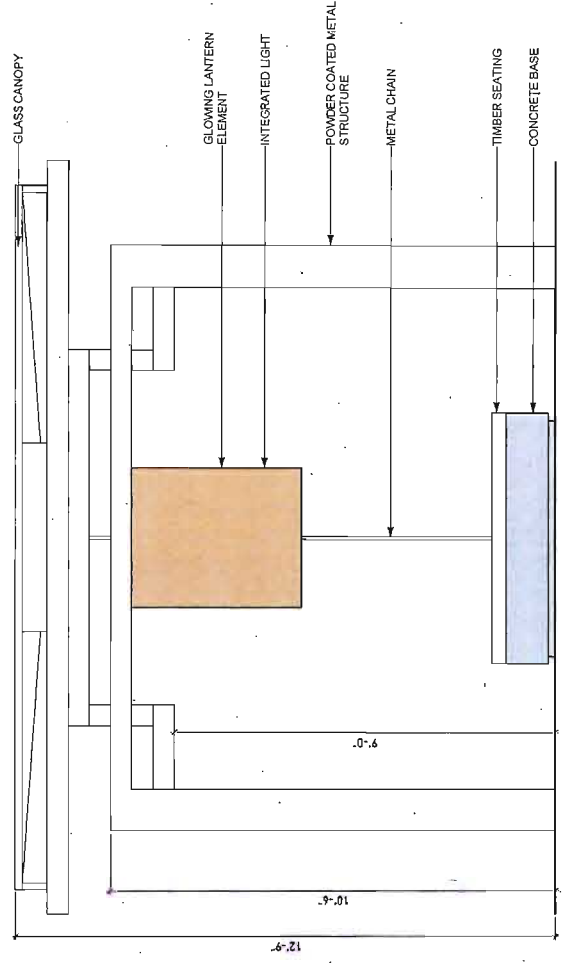
PLAN VIEW

1 STRUCTURE ON HILL
 Scale: 3/4"=1'-0"

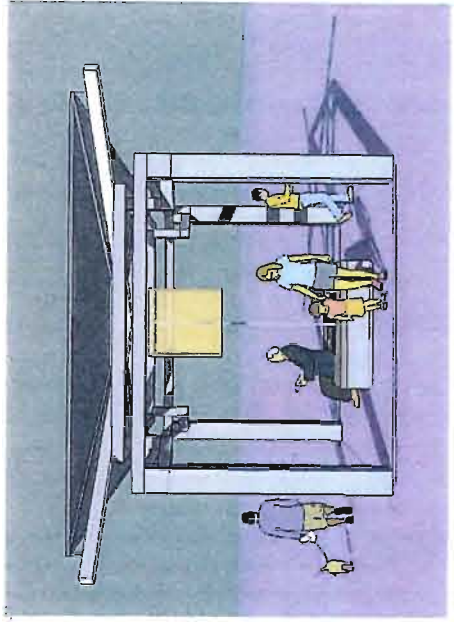


PLAN VIEW

2 LANTERN STRUCTURE
 Scale: 3/4"=1'-0"



ELEVATION



PERSPECTIVE



PROJECT
 CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

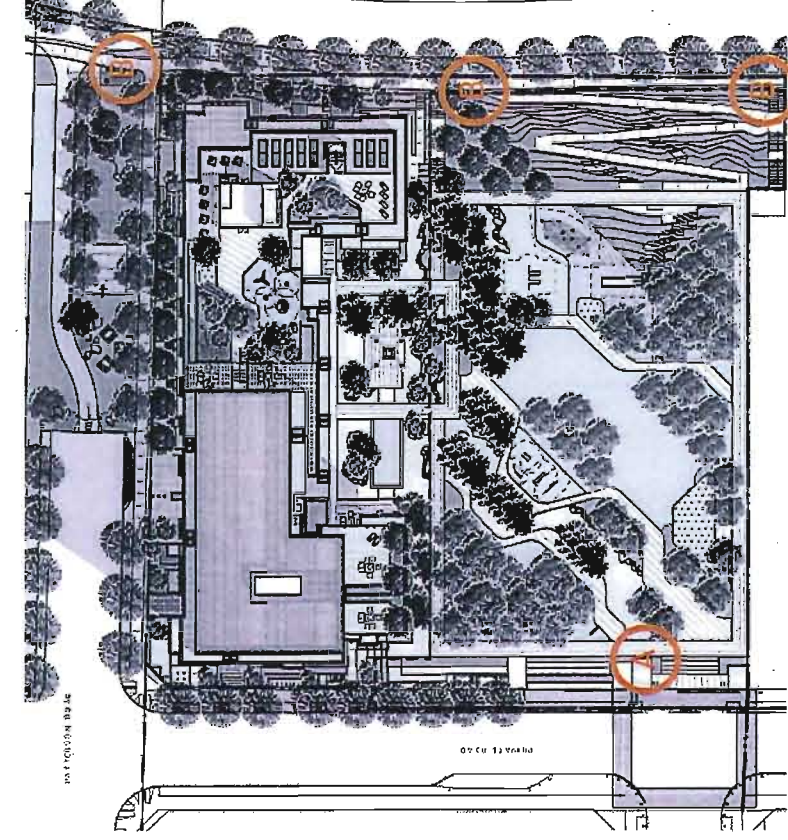
DRAWING TITLE
 DETAILS

SCALE
 AS SHOWN

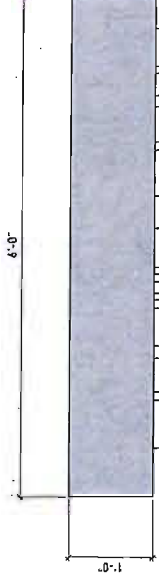
PROJECT NO.	DATE	FILE NAME	DATE	DRAWN BY	REVIEWED BY
1288	NOV 2013	1288-DETAILS.MXD			
			12/15/13 at 1:08:38 PM	M9/ZL	REVIEWED GB

ATTENTION: PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION REGARDING MATERIAL REFERENCES, INSTALLATION METHODS AND APPROVALS

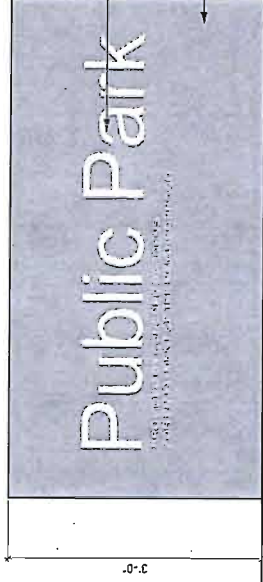
LDP 7.03



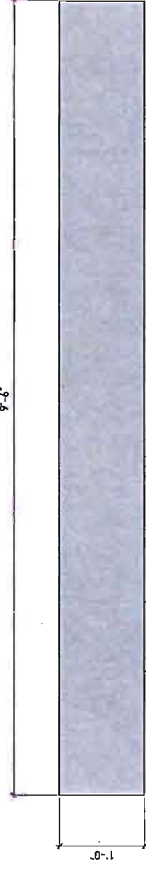
LOCATION PLAN



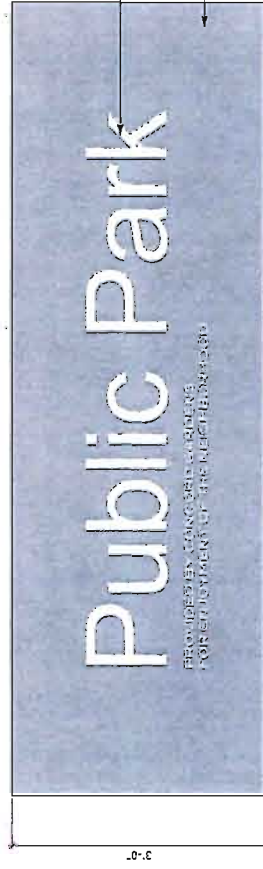
SIGNAGE B PLAN VIEW



SIGNAGE B ELEVATION



SIGNAGE A PLAN VIEW



SIGNAGE A ELEVATION



SECTION

1 PUBLIC PARK SIGNAGE
Scale: 1" = 1'-0"



PWL Partnership Ltd
100 Pitt Street, Suite 1000
Vancouver, BC V6B 5K1
www.pwlpartnership.com
Tel: 604.681.1111
Fax: 604.681.1112



NO.	DATE	DESCRIPTION
01	2013/11/08	Revised per City Comments
02	2013/12/16	Revised for DP

Plan 8bb Dec 16, 2013
DP 13-642725



CONCORD
PACIFIC

PROJECT
CONCORD GARDENS
PHASE 2
RICHMOND, BC
FOR CONCORD PACIFIC

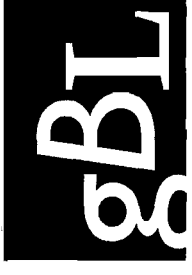
DRAWING TITLE
DETAILS

SCALE
AS SHOWN

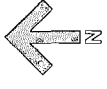
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DATE	NOV 2013
FILE NAME	1286 DETAILS.VWK
ROUTE	12/16/13 AT 1:05:28 PM
DRAWN	MFTZL
REVIEWED	GB

ATTENTION:
REFER TO PROJECT SPECIFICATIONS FOR
ADDITIONAL INFORMATION REGARDING
MATERIAL REFERENCES, INSTALLATION
METHODS AND APPROVALS

LDP 7.04



GBI ARCHITECTS, INC.
 140 - 20th Street, 17th Floor
 Vancouver, BC Canada V6C 2P9
 TEL: 604.681.1111 FAX: 604.681.1179
 WWW.GBIARCHITECTS.COM



PROJECT NORTH

PLOT INFO:
 Parcel # 12000000000000000000

Legal Address: LOT 11, PLAN BCP
 SECTIONS 27 AND 28, BLOCK 5, NORTH RANGE 6
 WEST/NEW WESTMINSTER DISTRICT

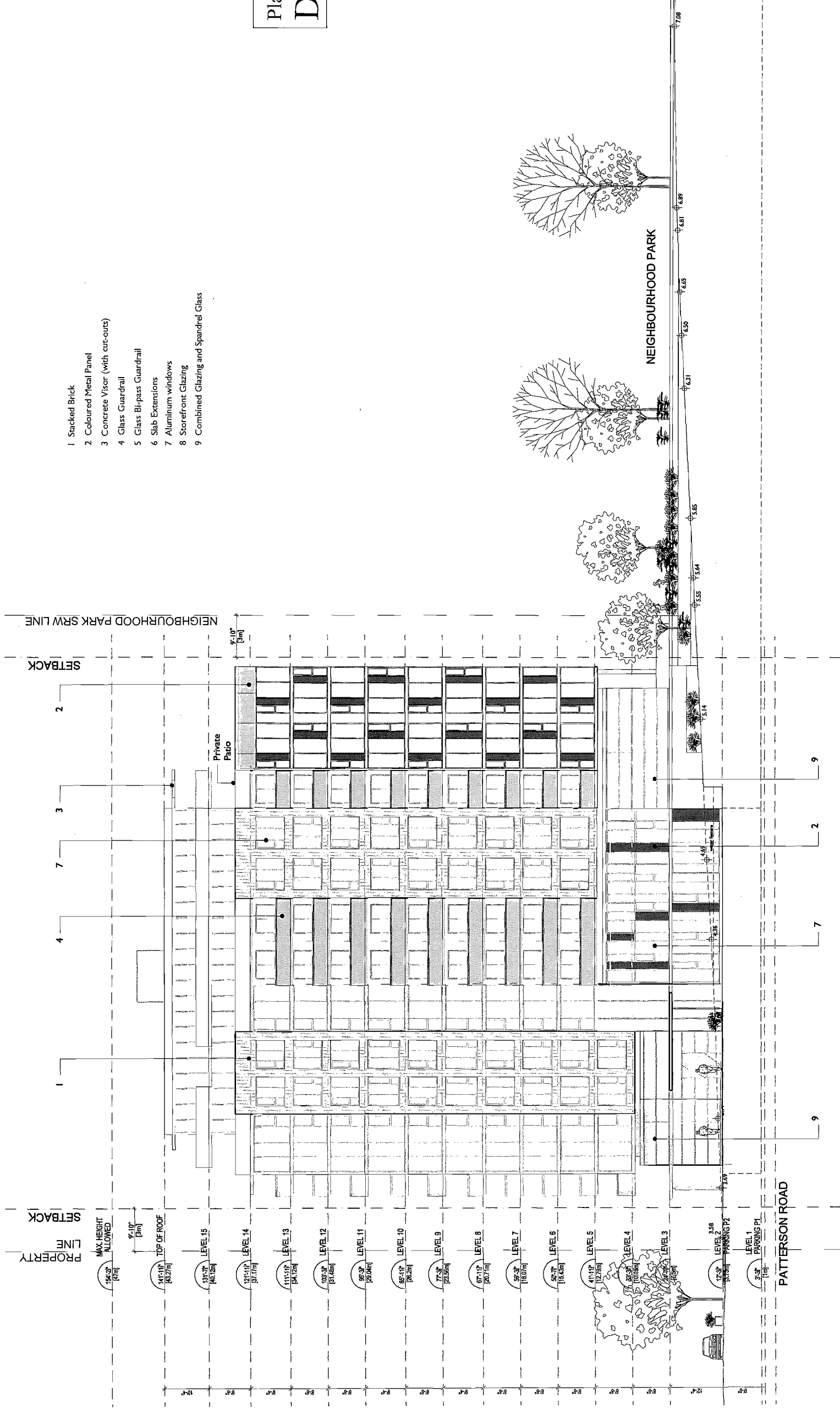
ISSUE / REVISIONS

NO.	DATE	DESCRIPTION
1	NOV. 15, 2012	PROVISIONAL PERMIT APPLICATION
2	NOV. 15, 2012	PROVISIONAL PERMIT APPLICATION
3	NOV. 15, 2012	CITY REVIEW - CIVIL ENGINEERING RESPONSE
4	DEC. 14, 2012	CITY REVIEW - CIVIL ENGINEERING RESPONSE
5	DEC. 14, 2012	CITY REVIEW - CIVIL ENGINEERING RESPONSE

NOTE:
 ALL SECTIONS REFERENCED TO IN SECTIONS 11, 14, 15, 16, 17 AND 18

Plan 9 Dec 16, 2013
 DP 13-642725

- 1 Stacked Brick
- 2 Coloured Metal Panel
- 3 Concrete Visor (with cut-outs)
- 4 Glass Guardrail
- 5 Glass Bi-pass Guardrail
- 6 Slab Extensions
- 7 Aluminum windows
- 8 Storefront Glazing
- 9 Combined Glazing and Spandrel Glass



CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

NORTH/SOUTH RD
 ELEVATION

DATE: MAR 14, 2013
 DRAWN BY: SS
 CHECKED BY: AB
 SCALE: 3/32" = 1'-0"
 JOB NUMBER: 1251

A-5.01

Zoning Bylaw Variances

1a	Exit stair @ Level 11	Increase the maximum allowable building height for portions of the building located less than 50.0 m from a lot line abutting Garden City Road, for the purpose of permitting enclosed stair shafts, an elevator penthouse, and an indoor residential amenity space, from 28.0 m to 33.4 m.
1b	Elevator & indoor amenity space @ Level 11	
1c	Unenclosed exit stair @ Levels 11-13	
2a	Balconies @ Levels 12 & 13	Reduce the minimum allowable setback from a lot line abutting Garden City Road for portions of the building having a height greater than 28.0 m, for the purpose of permitting a cantilevered roof and balconies, from 50.0 m to 48.6 m.
2b	Cantilevered roof	



gBI ARCHITECTS INC.
 145-200 WEST 117TH AVENUE
 VANCOUVER, BC CANADA V6P 2C9
 TEL: 604-273-1158
 FAX: 604-273-1159

PROJECT NORTH

PLANTING

ISSUE / REVISIONS

NOTE:
 ALL DIMENSIONS ARE UNLESS OTHERWISE SPECIFIED IN METERS AND MILLIMETERS.

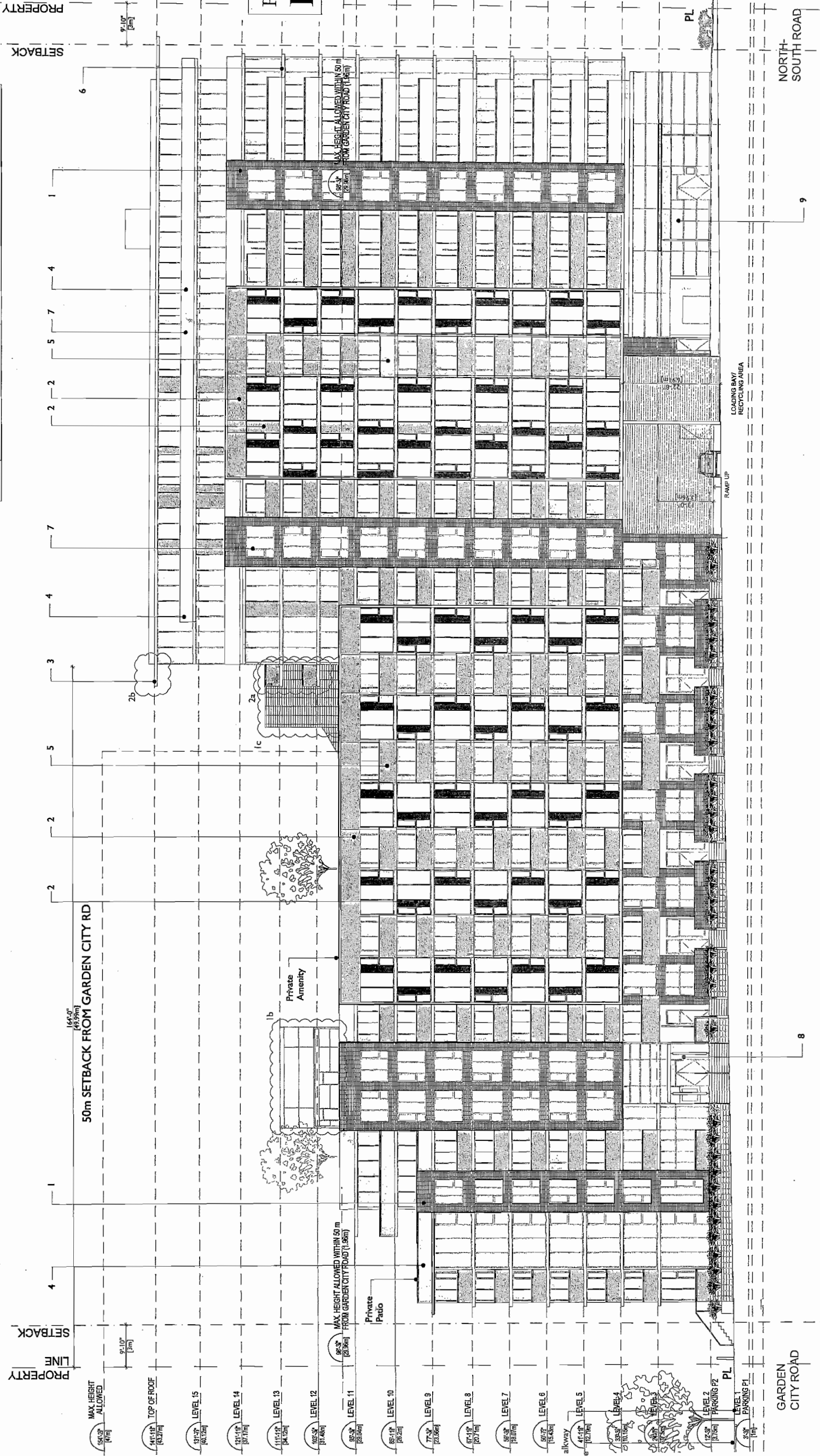
Plan 10 Dec 16, 2013
 DP 13-642725



CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

PATTERSON RD
ELEVATION

DATE: MAR 14, 2013
 DRAWN BY: SS
 CHECKED BY: AB
 SCALE: 3/32" = 1/8"
 JOB NUMBER: 1251



- 1 Stacked Brick
- 2 Coloured Metal Panel
- 3 Concrete Visor (with cut-outs)
- 4 Glass Guardrail

A-5.02



GBL ARCHITECTS INC.
 140-348 WEST 17TH AVENUE
 VANCOUVER, BC CANADA V6C 2C7
 TEL: 604-681-1118
 FAX: 604-681-1579
 WWW.GBLARCHITECTS.COM



PROJECT NORTH

PLOT INFO:
 Phase 11, November 2011

Legal Address: LOT 1; PLAN BCP
 SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6
 WEST/NEW WESTMINSTER DISTRICT

ISSUE / REVISIONS

NO.	DATE	DESCRIPTION
1	JULY 20 2011	EXHIBIT A - PRELIMINARY
2	JULY 20 2011	EXHIBIT B - PRELIMINARY
3	AUG 11 2011	OFFICIAL REVIEW
4	NOV 14 2011	OFFICIAL REVIEW
5	NOV 14 2011	OFFICIAL REVIEW
6	DEC 16 2013	OFFICIAL REVIEW

NOTE:
 ALL ELEVATIONS ARE MADE TO AN ELEVATION IN PLANE, ELEVATION AND
 ELEVATION.

Plan 11 Dec 16, 2013
 DP 13-642725



CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

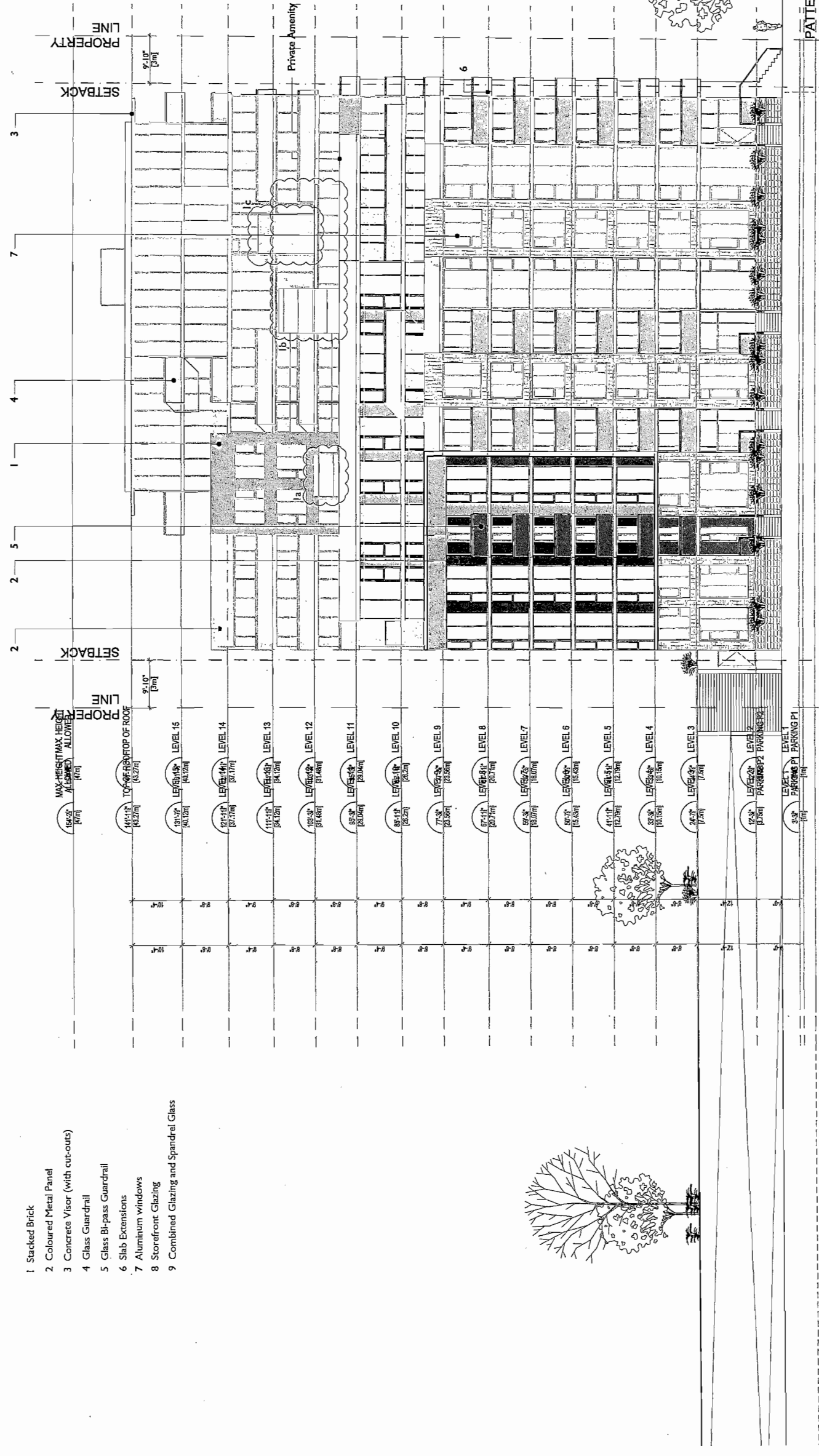
GARDEN CITY RD
 ELEVATION

DATE: MAR 14, 2013
 DRAWN BY: AS
 CHECKED BY: AS
 SCALE: 3/32" = 1'-0"
 JOB NUMBER: 1251

A-5.03

Zoning Bylaw Variances

1a	Exit stair @ Level 11	Increase the maximum allowable building height for portions of the building located less than 50.0 m from a lot line abutting Garden City Road, for the purpose of permitting enclosed stair shafts, an elevator penthouse, and an indoor residential amenity space, from 28.0 m to 33.4 m.
1b	Elevator & Indoor amenity space @ Level 11	
1c	Unenclosed exit stair @ Levels 11-13	
2a	Balconies @ Levels 12 & 13	Reduce the minimum allowable setback from a lot line abutting Garden City Road for portions of the building having a height greater than 28.0 m, for the purpose of permitting a cantilevered roof and balconies, from 50.0 m to 48.6 m.
2b	Cantilevered roof	



- 1 Stacked Brick
- 2 Coloured Metal Panel
- 3 Concrete Visor (with cut-outs)
- 4 Glass Guardrail
- 5 Glass Bi-pass Guardrail
- 6 Slab Extensions
- 7 Aluminum windows
- 8 Storefront Glazing
- 9 Combined Glazing and Spandrel Glass

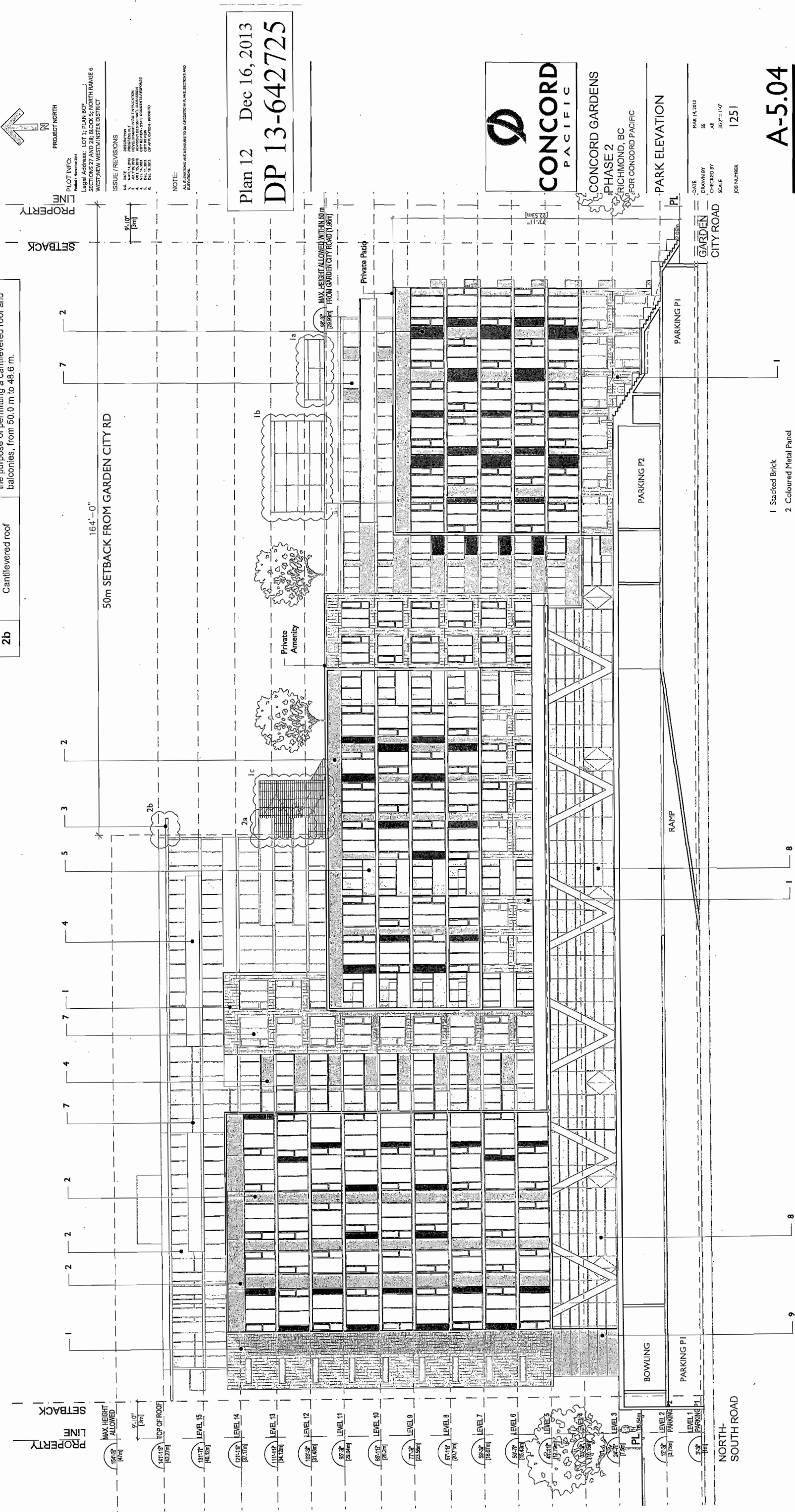
PATTERSON ROAD



GBL ARCHITECTS INC.
 140-250 WEST 17TH AVENUE
 VANCOUVER, BC V6M 2K6
 TEL: 604.271.1100
 FAX: 604.271.1101
 WWW.GBLARCHITECTS.COM

Zoning Bylaw Variances

1a	Exit stair @ Level 11	Increase the maximum allowable building height for portions of the building located less than 50.0 m from a lot line abutting Garden City Road, for the purpose of permitting enclosed stair shafts, an elevator penthouse, and an indoor residential amenity space, from 28.0 m to 33.4 m.
1b	Elevator & indoor amenity space @ Level 11	
1c	Unenclosed exit stair @ Levels 11-13	
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2b	Cantilevered roof	



Plan 12 Dec 16, 2013
 DP 13-642725



CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

DATE: MAR 14, 2013
 DRAWN BY: SS
 CHECKED BY: AB
 SCALE: 3/32" = 1'-0"
 JOB NUMBER: 1251

- 1 Stacked Brick
- 2 Coloured Metal Panel
- 3 Concrete Visor (with cut-outs)

A-5.04



GBT ARCHITECTS INC.
 140-3011 WEST 117th AVENUE
 VANCOUVER, BC CANADA V6V 2C9
 TEL: 604-273-1171 FAX: 604-273-1172
 WWW.GBTARCHITECTS.COM



PROJECT NORTH

PLOT INFO:

Plan 13 (November 2011)
 Legal Address: LOT 1; PLAN BCP
 SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6
 WEST/NEW WESTMINSTER DISTRICT

ISSUE / REVISIONS

NO.	DATE	DESCRIPTION
1	NOV 20 2011	DEVELOPMENT PERMIT APPLICATION
2	NOV 21 2011	CITY REVIEW STAFF CONSULTATION
3	NOV 21 2011	FINAL DESIGN
4	DEC 11 2013	FOR PRELIMINARY REVIEW

NOTE:

ALL DIMENSIONS ARE MEASURED TO THE EXTERIOR FINISH UNLESS OTHERWISE SPECIFIED.

Plan 13 Dec 16, 2013
 DP 13-642725



CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

SECTION A-A

DATE: FEB 19, 2013
 DRAWN BY: SS
 CHECKED BY: AS
 SCALE: 3/32" = 1'-0"

JOB NUMBER: 1251

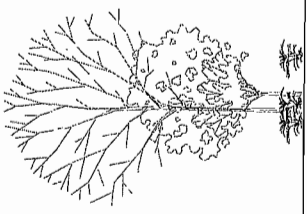
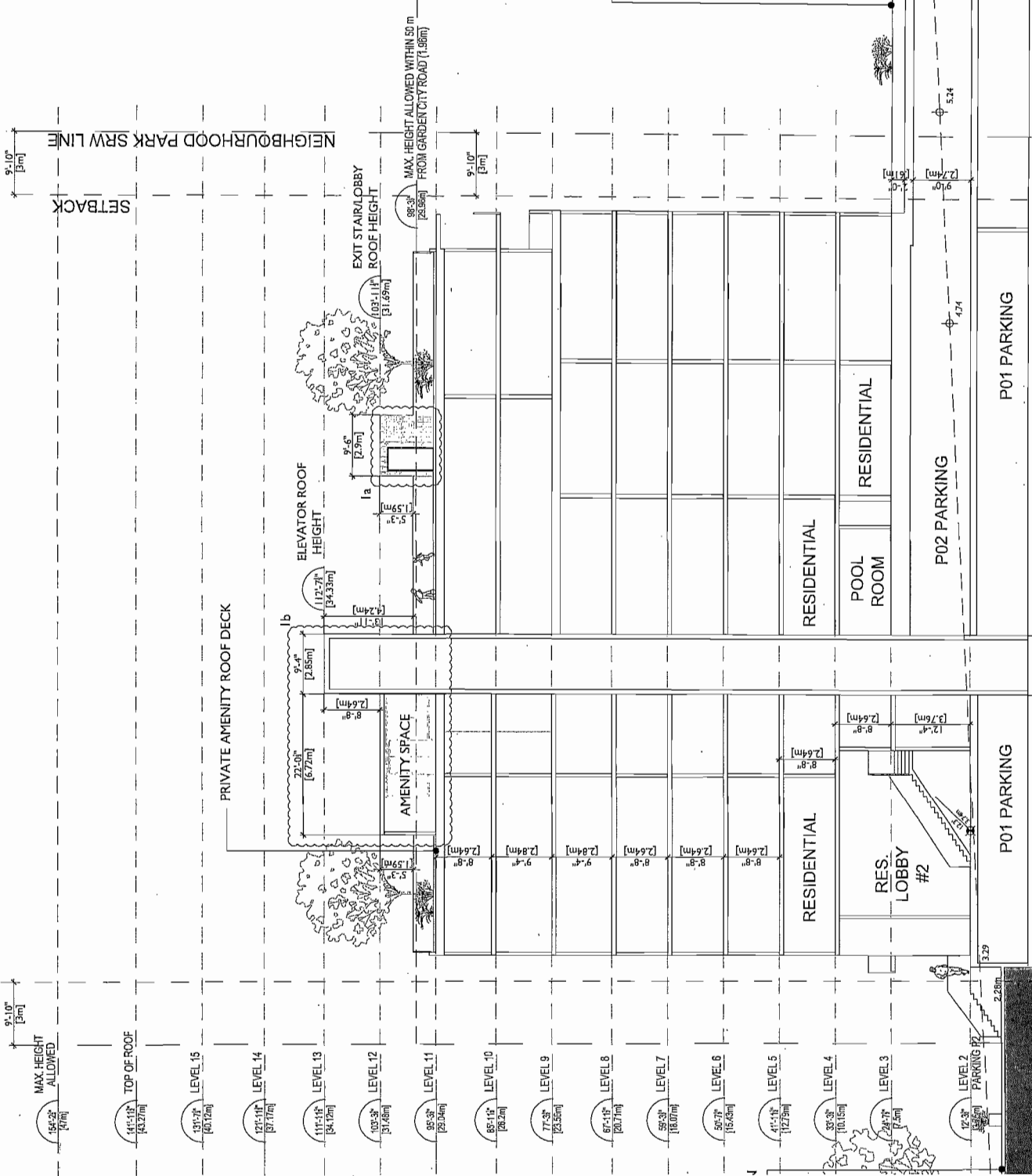
Zoning Bylaw Variances	
1a	Exit stair @ Level 11
1b	Elevator & indoor amenity space @ Level 11
1c	Unenclosed exit stair @ Levels 11-13
2a	Balconies @ Levels 12 & 13
2b	Cantilevered roof

Increase the maximum allowable building height for portions of the building located less than 50.0 m from a lot line abutting Garden City Road, for the purpose of permitting enclosed stair shafts, an elevator penthouse, and an indoor residential amenity space, from 28.0 m to 33.4 m.

Reduce the minimum allowable setback from a lot line abutting Garden City Road for portions of the building having a height greater than 28.0 m, for the purpose of permitting a cantilevered roof and balconies, from 50.0 m to 48.6 m.

PROPERTY LINE
 9'-10" [3m] SETBACK

PROPERTY LINE
 9'-10" [3m] SETBACK



A-6.01



GBI ARCHITECTS INC.
 14-2881 WEST 17TH AVENUE
 VANCOUVER, BC CANADA V6L 2C9
 TEL: 604-273-1158 FAX: 604-273-3279
 WWW.GBIARCHITECTS.COM



PLOT INFO:
 Project Number: 2011
 Legal Address: LOT 1, PLAN BCP
 WEST 17TH AVENUE NORTH RANGE 6
 WEST/NEIGH WESTMINSTER DISTRICT

ISSUE / REVISIONS

NO.	DATE	DESCRIPTION
1	MAY 14 2013	PROPOSED
2	JULY 15 2013	REVISIONS TO PERMIT APPLICATION
3	AUG 15 2013	REVISIONS TO PERMIT APPLICATION
4	NOV 14 2013	CITY REVIEW STAFF COMMENTS RESPONSE
5	DEC 16 2013	FINAL APPROVAL

NOTE:
 ALL DIMENSIONS ARE MEASURED TO THE GEOMETRIC PLANE, EXCEPT AS NOTED OTHERWISE.

Plan 14 Dec 16, 2013
 DP 13-642725



CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

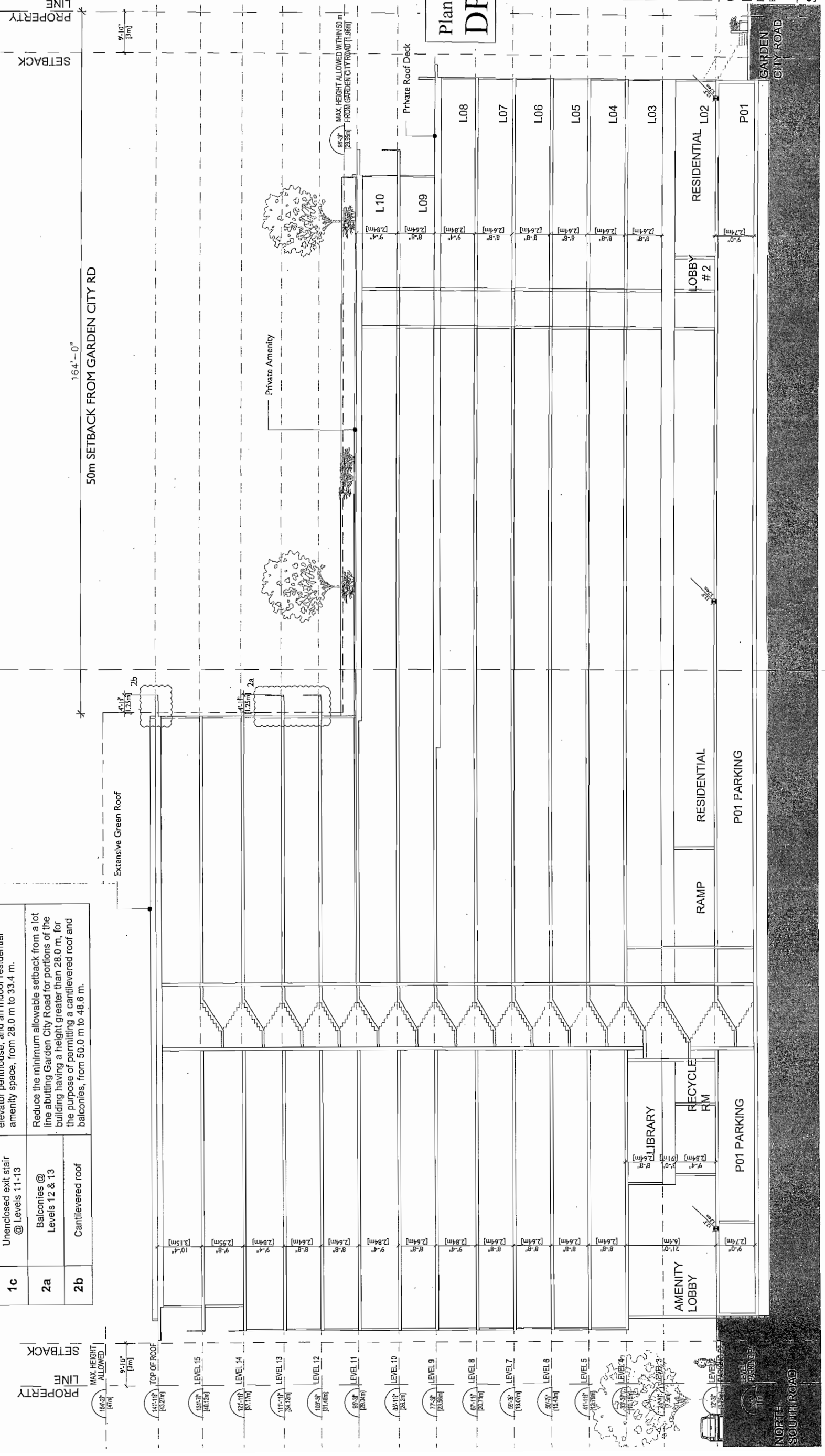
SECTION B-B

DATE: FEB 19, 2013
 DRAWN BY: SS
 CHECKED BY: AB
 SCALE: 3/32" = 1'-0"
 JOB NUMBER: 1251

Zoning Bylaw Variances	
1a	Exit stair @ Level 11
1b	Elevator & indoor amenity space @ Level 11
1c	Unenclosed exit stair @ Levels 11-13
2a	Balconies @ Levels 12 & 13
2b	Cantilevered roof

Increase the maximum allowable building height for portions of the building located less than 50.0 m from a lot line abutting Garden City Road, for the purpose of permitting enclosed stair shafts, an elevator penthouse, and an indoor residential amenity space, from 28.0 m to 33.4 m.

Reduce the minimum allowable setback from a lot line abutting Garden City Road for portions of the building having a height greater than 28.0 m, for the purpose of permitting a cantilevered roof and balconies, from 50.0 m to 48.6 m.





GBL ARCHITECTS INC.
 140-294 WEST 117th AVENUE
 VANCOUVER, BC CANADA V6V 1B3
 TEL: 604-273-1177
 FAX: 604-273-1178
 WWW.GBLARCHITECTS.COM



Zoning Bylaw Variances	
1a	Exit stair @ Level 11
1b	Elevator & indoor amenity space @ Level 11
1c	Unenclosed exit stair @ Levels 11-13
2a	Balconies @ Levels 12 & 13
2b	Cantilevered roof

Increase the maximum allowable building height for portions of the building located less than 50.0 m from a lot line abutting Garden City Road, for the purpose of permitting enclosed stair shafts, an elevator penthouse, and an indoor residential amenity space, from 28.0 m to 33.4 m.

Reduce the minimum allowable setback from a lot line abutting Garden City Road for portions of the building having a height greater than 28.0 m, for the purpose of permitting a cantilevered roof and balconies, from 50.0 m to 48.6 m.

PROPERTY LINE
 SETBACK

MAX. HEIGHT ALLOWED

9'-10" (3m)

TOP OF ROOF

LEVEL 15

LEVEL 14

LEVEL 13

LEVEL 12

LEVEL 11

LEVEL 10

LEVEL 9

LEVEL 8

LEVEL 7

LEVEL 6

LEVEL 5

LEVEL 4

LEVEL 3

LEVEL 2

LEVEL 1

PARKING P1

PARKING P2

PARKING P3

PARKING P4

PARKING P5

PARKING P6

PARKING P7

PARKING P8

PARKING P9

PARKING P10

PARKING P11

PARKING P12

PARKING P13

PARKING P14

PARKING P15

PARKING P16

PARKING P17

PARKING P18

PARKING P19

PARKING P20

PARKING P21

PARKING P22

PARKING P23

PARKING P24

PARKING P25

PARKING P26

PARKING P27

PARKING P28

PARKING P29

PARKING P30

PARKING P31

PARKING P32

50m SETBACK FROM GARDEN CITY RD

164'-0"

PROPERTY LINE
 SETBACK

9'-10" (3m)

PROJECT NORTH

PLOT INFO:

Project: 13-642725

Legal Address: LOT 1, PLAN BCP

SECTION 25, BLOCK 5, NORTH RANGE 6

WEST-NEW WESTMINSTER DISTRICT

ISSUE / REVISIONS

NO. DATE BY

1. 04/14/2013

2. 05/17/2013

3. 06/11/2013

4. 06/11/2013

5. 06/11/2013

6. 06/11/2013

7. 06/11/2013

8. 06/11/2013

9. 06/11/2013

10. 06/11/2013

11. 06/11/2013

12. 06/11/2013

13. 06/11/2013

14. 06/11/2013

15. 06/11/2013

16. 06/11/2013

17. 06/11/2013

18. 06/11/2013

19. 06/11/2013

20. 06/11/2013

21. 06/11/2013

22. 06/11/2013

23. 06/11/2013

24. 06/11/2013

25. 06/11/2013

26. 06/11/2013

27. 06/11/2013

28. 06/11/2013

29. 06/11/2013

30. 06/11/2013

31. 06/11/2013

32. 06/11/2013

33. 06/11/2013

34. 06/11/2013

35. 06/11/2013

36. 06/11/2013

37. 06/11/2013

38. 06/11/2013

39. 06/11/2013

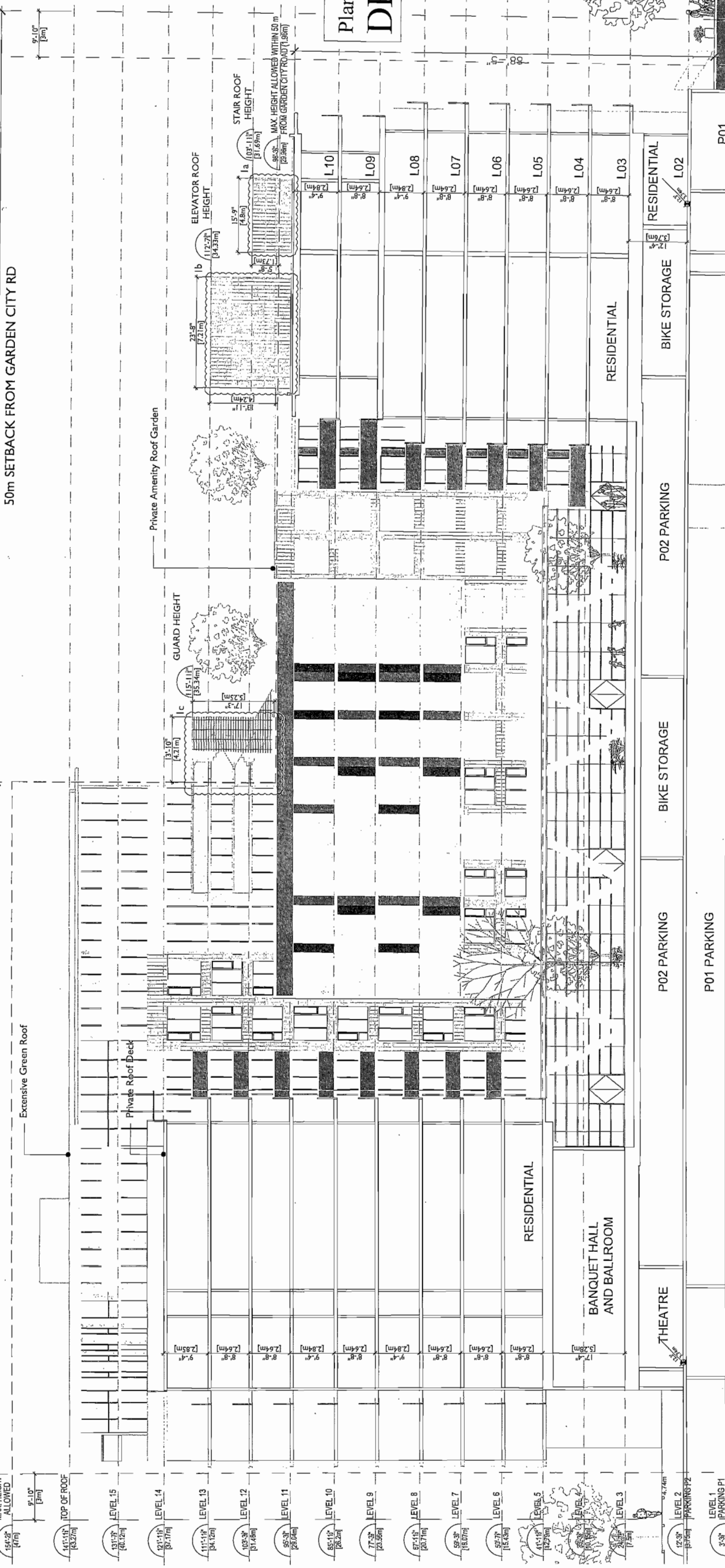
Plan 15 Dec 16, 2013
 DP 13-642725



CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

SECTION C-C

DATE: FEB 19, 2013
 DRAWN BY: SS
 CHECKED BY: AB
 SCALE: 1/2" = 1'-0"
 JOB NUMBER: 1251



A-6.03



GBI ARCHITECTS INC.
140-201 WEST 17TH AVENUE
VANCOUVER, BC CANADA V6J 1C9
TELEPHONE 604 728 1155
FACSIMILE 604 728 3779
WE PROVIDE THE BEST ARCHITECTURAL DESIGN AND CONSTRUCTION SERVICES TO OUR CLIENTS.



PROJECT NORTH

PLOT INFO:
Plot 1 (November 2011)
Legal Address: LOT 1; PLAN BCP
SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6
WEST/NEW WESTMINSTER DISTRICT

ISSUE / REVISIONS

NO.	DATE	DESCRIPTION
1.	10.11.2013	CONCOURSE PERMIT APPLICATION
2.	10.11.2013	CONCOURSE PERMIT APPLICATION
3.	10.11.2013	CITY REVIEW - STAFF COMMENTS RESPONSE
4.	10.11.2013	CITY REVIEW - STAFF COMMENTS RESPONSE
5.	10.11.2013	CITY REVIEW - STAFF COMMENTS RESPONSE
6.	10.11.2013	CITY REVIEW - STAFF COMMENTS RESPONSE

NOTE:
ALL DIMENSIONS ARE MEASURED TO THE GEOMETRIC CENTRE UNLESS OTHERWISE SPECIFIED.

Plan 16 Dec 16, 2013
DP 13-642725



CONCORD GARDENS
PHASE 2
RICHMOND, BC
FOR CONCORD PACIFIC

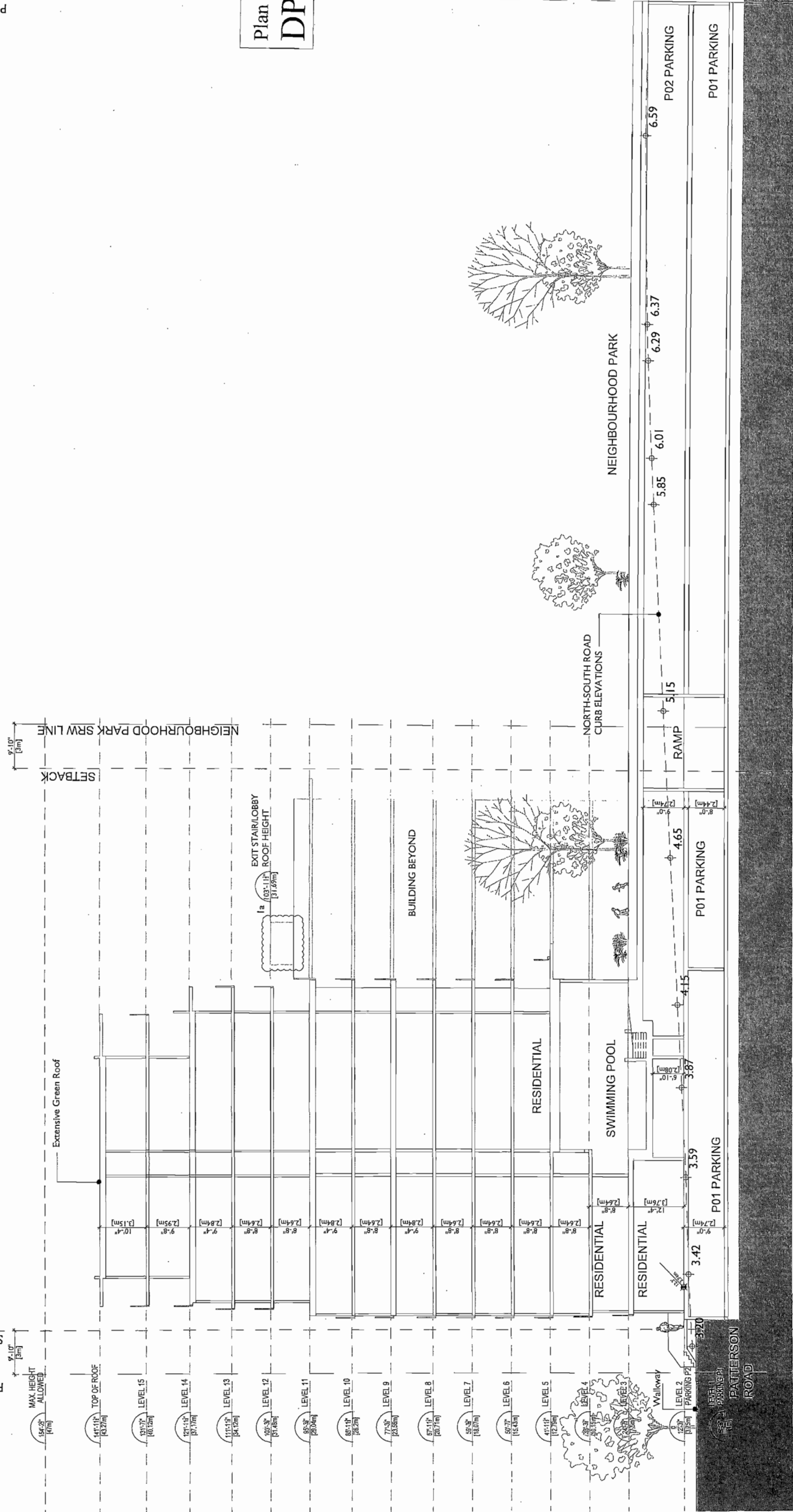
SECTION D-D

DATE: FEB 19, 2013
DRAWN BY: SS
CHECKED BY: AB
SCALE: 3/32" = 1'-0"
JOB NUMBER: 1251

Zoning Bylaw Variances	
1a	Exit stair @ Level 11
1b	Elevator & indoor amenity space @ Level 11
1c	Unenclosed exit stair @ Levels 11-13
2a	Balconies @ Levels 12 & 13
2b	Cantilevered roof

Increase the maximum allowable building height for portions of the building located less than 50.0 m from a lot line abutting Garden City Road, for the purpose of permitting enclosed stair shafts, an elevator penthouse, and an indoor residential amenity space, from 28.0 m to 33.4 m.

Reduce the minimum allowable setback from a lot line abutting Garden City Road for portions of the building having a height greater than 28.0 m, for the purpose of permitting a cantilevered roof and balconies, from 50.0 m to 48.6 m.





GBT ARCHITECTS INC.
140-1204 WEST 17TH AVENUE
VANCOUVER, B.C. CANADA V6J 2S7
TEL: (604) 271-1114
FAX: (604) 271-5729
WWW.GBTARCHITECTS.COM



PLOT INFO:
Project # H-2011-0211
Legal Address: LOT 1; PLAN BCP
SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6
WEST-NEW WESTMINSTER DISTRICT

ISSUE / REVISIONS

NO.	DATE	DESCRIPTION
1	11.15.13	PRODUCTION
2	02.14.13	PRODUCTION
3	04.11.13	PRODUCTION
4	04.11.13	PRODUCTION

NOTE:
ALL DIMENSIONS ARE MEASURED TO THE CENTERLINE UNLESS SPECIFIED OTHERWISE.



**CONCORD GARDENS
PHASE 2
RICHMOND, BC
FOR CONCORD PACIFIC**

**UNIT PLANS
AFFORDABLE HOUSING**

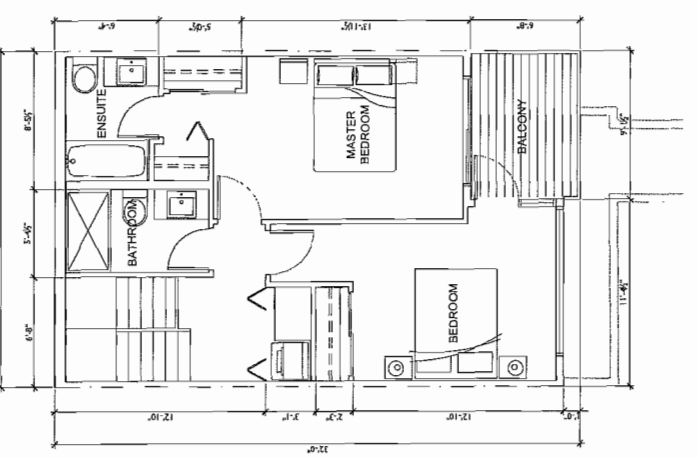
DATE: FEB. 02, 2013
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CHECKED BY: JHE
SCALE: 3/16"=1'-0"
JOB NUMBER: 1251

A-4.01

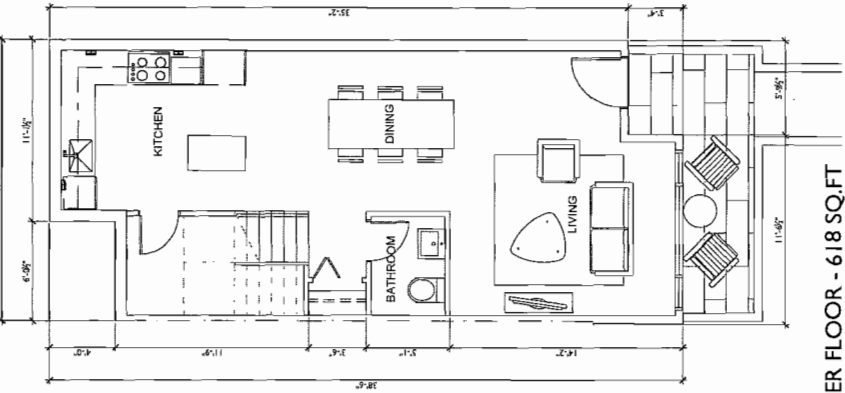
GENERAL AFFORDABLE HOUSING REQUIREMENTS
CONCORD GARDENS PHASE 2 AFFORDABLE HOUSING UNIT MUST COMPLY WITH THE FOLLOWING REQUIREMENTS FOR BASIC UNIVERSAL HOUSING (BAH):
1. TWO TOILETS IN UNIT MUST PROVIDE AGING IN PLACE
2. AN AUTOMATIC DOOR OPENER SHALL BE PROVIDED FOR THE MAIN ENTRY (MAY LOBBY)

BASIC UNIVERSAL HOUSING FEATURES - NOTES
BAH HAS BEEN ADDED TO THE TITLE OF UNITS THAT INCORPORATE BASIC UNIVERSAL HOUSING FEATURES WILL COMPLY WITH RICHMOND ZONING BYLAW

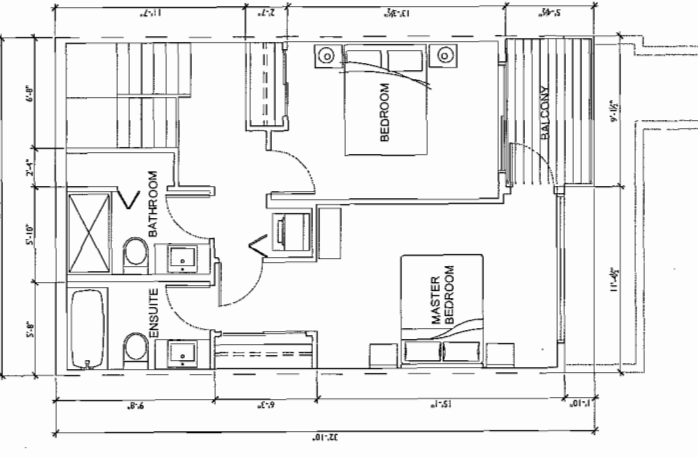
- 1) AN AUTOMATIC DOOR OPENER SHALL BE PROVIDED FOR THE MAIN ENTRY (MAY LOBBY)
- 2) KNOCK-IN WIRING FOR AN AUTOMATIC DOOR OPENER SHALL BE PROVIDED AT EACH UNIT ENTRY DOOR
- 3) ALL ENTRY DOORS TO COMMON AREAS SHALL BE NO LESS THAN 36" WIDE CLEARANCE FROM THE DOOR THRESHOLD TO THE INSIDE OF THE DOOR
- 4) AT LEAST ONE BEDROOM AND ONE ACCESSIBLE BATHROOM IN EVERY SUITE
- 5) DOORS IN EVERY DWELLING UNIT AND COMMON AREAS SHALL BE OPERABLE BY DEVICES THAT DO NOT REQUIRE TIGHT GRASPING OR EXCESSIVE FORCE
- 6) ALL THRESHOLDS THROUGHOUT THE BUILDING SHALL BE A MAXIMUM OF 12mm HIGH
- 7) THE ABOVE NOTED DIMENSIONS FOR DOORS DO NOT APPLY TO MECHANICAL ROOMS, SERVICE AREAS, CLOSETS, ETC. WHERE THROUGH DOORS ARE NOT ANTICIPATED
- 8) ENTRY DOORS TO ALL COMMON AREAS AND DATA AREAS SHALL BE OPERABLE BY DEVICES THAT DO NOT REQUIRE TIGHT GRASPING OR EXCESSIVE FORCE
- 9) COMMON CORRIDORS SHALL BE NO LESS THAN 1225mm WISE
- 10) FLOOR SURFACES THROUGHOUT THE BUILDING SHALL HAVE NO ABRUPT CHANGES IN LEVEL, I.E. A MAXIMUM SLOPE OF THE FLOOR THRESHOLD OF 1:25 SHALL BE MAINTAINED
- 11) WHERE CARPETS ARE USED, THEY MUST BE PERMANENTLY FIXED, HAVE A PILE HEIGHT OF 10mm OR LESS
- 12) WINDOWS WHICH ARE ACCESSIBLE SHALL HAVE A WINDOW SILL HEIGHT THAT DOES NOT EXCEED 750mm ABOVE THE FLOOR TO WHICH THEY ARE ACCESSIBLE
- 13) WINDOWS WHICH ARE ACCESSIBLE SHALL APPROXIMATELY 1200mm HIGH AND ONE WINDOW IN THE LIVING ROOM SHALL APPROXIMATELY 1200mm HIGH
- 14) WINDOWS WHICH ARE ACCESSIBLE SHALL HAVE OPENING MECHANISMS OPERABLE WITH ONE HAND AND OF A TYPE THAT DOES NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE UNIT, QUILTS AND SWITCHES
- 15) LIGHT SWITCHES, ELECTRICAL PANELS AND INTERIOR LIGHTS SHALL BE LOCATED NOT LESS THAN 450mm FROM THE FLOOR
- 16) ELECTRICAL OUTLETS, CABLE OUTLETS AND TELEPHONE JACKS SHALL BE LOCATED NOT LESS THAN 450mm FROM THE FLOOR
- 17) SWITCHES SHALL BE LOCATED BETWEEN 1000mm TO 1350mm FROM THE FLOOR
- 18) COMMON AREAS SHALL BE NO LESS THAN 1200mm WISE
- 19) LIGHT SWITCHES WILL BE LOCATED ON FACETS OF THE SWITCHES
- 20) AT LEAST ONE BATHROOM SHALL:
 - a) HAVE A TOILET WITH CONTROLS OF WHICH THE TOILET PAPER HOLDER IS LOCATED WITHIN A REACH RANGE OF 1200mm FROM THE TOILET AND AT LEAST 500mm FROM THE TOILET PAPER HOLDER
 - b) HAVE A CLEAR FLOOR AREA OF 1200mm X 1200mm AND BE CENTERED ON THE BENCH
 - c) HAVE A CLEARANCE OF 2000mm ALONG THE FULL LENGTH OF THE BATHUB
 - d) HAVE STRUCTURAL REINFORCEMENT IN WALLS BEHIND TUB AND SHOWER TO FACILITATE THE INSTALLATION OF GRIP HANDLES ON TUB AND SHOWER
 - e) INCLUDE HANDY TO GRASP HANDLES ON FAUCETS, E.G. LEVER-TYPE FAUCETS
- 21) WHERE BATHROOMS ARE PROVIDED TO SERVE A COMMON AREA, THE TOILET SHALL BE LOCATED AT LEAST 450mm FROM THE TOILET IN THAT ONE BATHROOM SHALL BE 450mm ABOVE THE FLOOR
- 22) THE KITCHEN MUST HAVE:
 - a) A COUNTER TOP WITH CONTROLS WHICH ARE ACCESSIBLE BY PEOPLE WITH SEVERE LIMB DIFFICULTIES INCLUDING PEOPLE WITH WHEELCHAIRS, ETC.
 - b) A COUNTER TOP WITH CONTROLS WHICH ARE ACCESSIBLE BY PEOPLE WITH SEVERE LIMB DIFFICULTIES INCLUDING PEOPLE WITH WHEELCHAIRS, ETC.
 - c) ADJUSTABLE HEIGHT IN ALL CABINETS, FULL-OUT WORK SURFACES AT 815mm HEIGHT, AND FULL-OUT CABINET
 - d) EASY TO GRASP HANDLES ON FAUCETS, E.G. LEVER-TYPE FAUCETS
 - e) EASY TO GRASP HANDLES ON CUPBOARDS, E.G. ON CABINET HANDLES AND GAB EDGES UNDER
 - f) TASK LIGHTING AT SINK, STOVE AND KEY WORK AREAS
 - g) A POTENTIAL 815mm WIDE LINEN COUNTER
 - h) A CLEARANCE OF 2000mm ALONG THE FULL LENGTH OF THE BATHUB
 - i) UNIVERSALLY ACCESSIBLE FOR KNEE SPACE UNDER THE BATHUB, THERE IS A COUNTER TOP FOR SEATING
 - j) A CLOTHES HANGER
 - k) A CLOTHES HANGER
- 23) THE SPACE AROUND A BED IN A DWELLING UNIT THAT CONSISTS OF A SINGLE BED OR TWO SINGLE BEDS SHALL BE SUFFICIENT SPACE TO PROVIDE A TURNING CIRCLE OF 1200mm ON THE EDGE OF THE BED OR SUITE AND AT LEAST ONE BEDROOM IN EVERY OTHER DWELLING UNIT SHALL BE AT LEAST 1200mm BY 1200mm AND A CLOTHES HANGER THAT CAN BE LOWERED TO 1200mm
- 24) ACCESS DOORS SHALL HAVE A MINIMUM CLEAR OPENING OF 815mm WITH A MINIMUM CLEARANCE OF 1200mm FROM THE EDGE OF THE DOOR TO THE CENTERLINE OF THE DOOR
- 25) ALL REPAIRING SITS WILL INCORPORATE AGING IN PLACE
- 26) ALL WALLS SHALL HAVE HANDLES
- 27) ALL WALLS SHALL HAVE HANDLES
- 28) ALL WALLS SHALL HAVE HANDLES
- 29) ALL WALLS SHALL HAVE HANDLES
- 30) ALL WALLS SHALL HAVE HANDLES



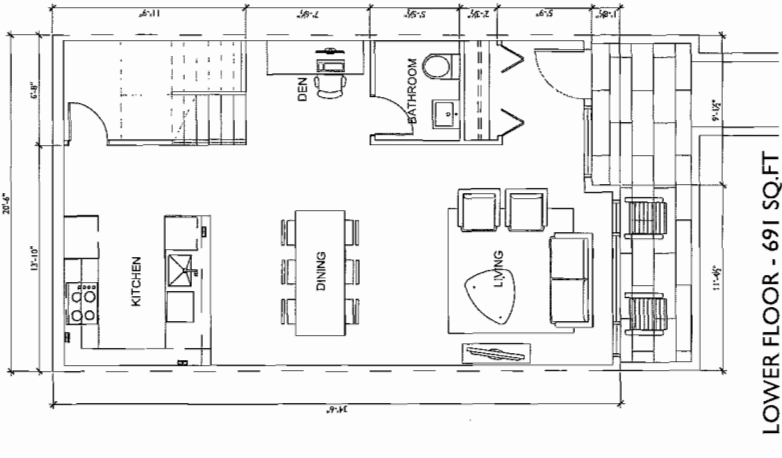
UPPER FLOOR - 584 SQ.FT



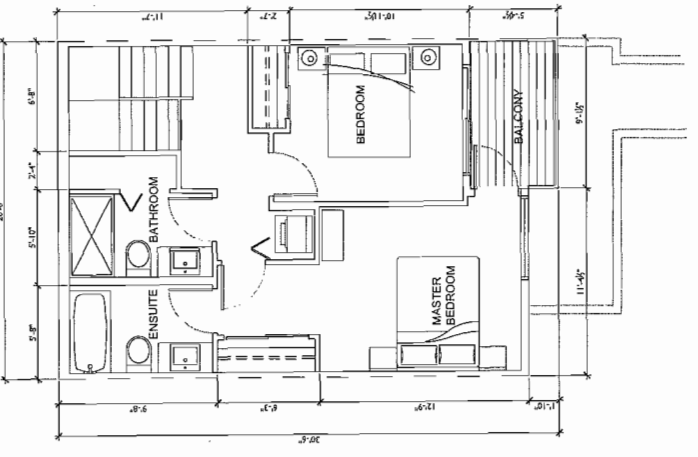
LOWER FLOOR - 618 SQ.FT



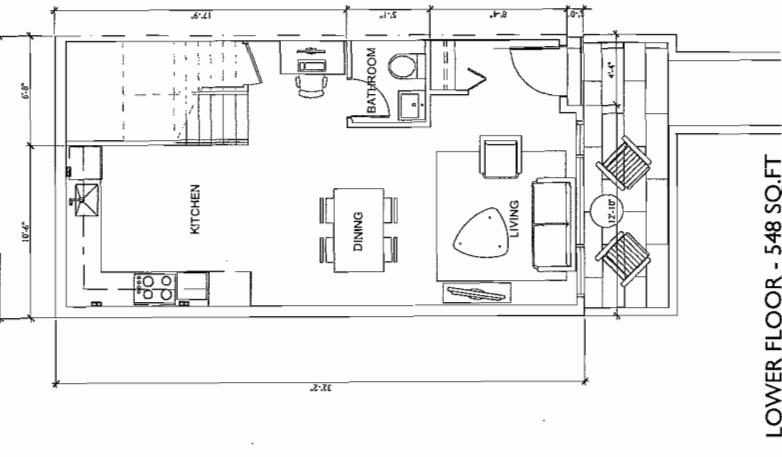
UPPER FLOOR - 604 SQ.FT



LOWER FLOOR - 691 SQ.FT



UPPER FLOOR - 556 SQ.FT



LOWER FLOOR - 548 SQ.FT

TH 2
2 BED 2.5 BATH & DEN - 1,295 SQ.FT (4 UNITS)
AGING IN PLACE FEATURES PROVIDED

TH 3
2 BED 2.5 BATH - 1,202 SQ.FT (1 UNIT)
AGING IN PLACE FEATURES PROVIDED

Plan 17a Dec 16, 2013
DP 13-642725

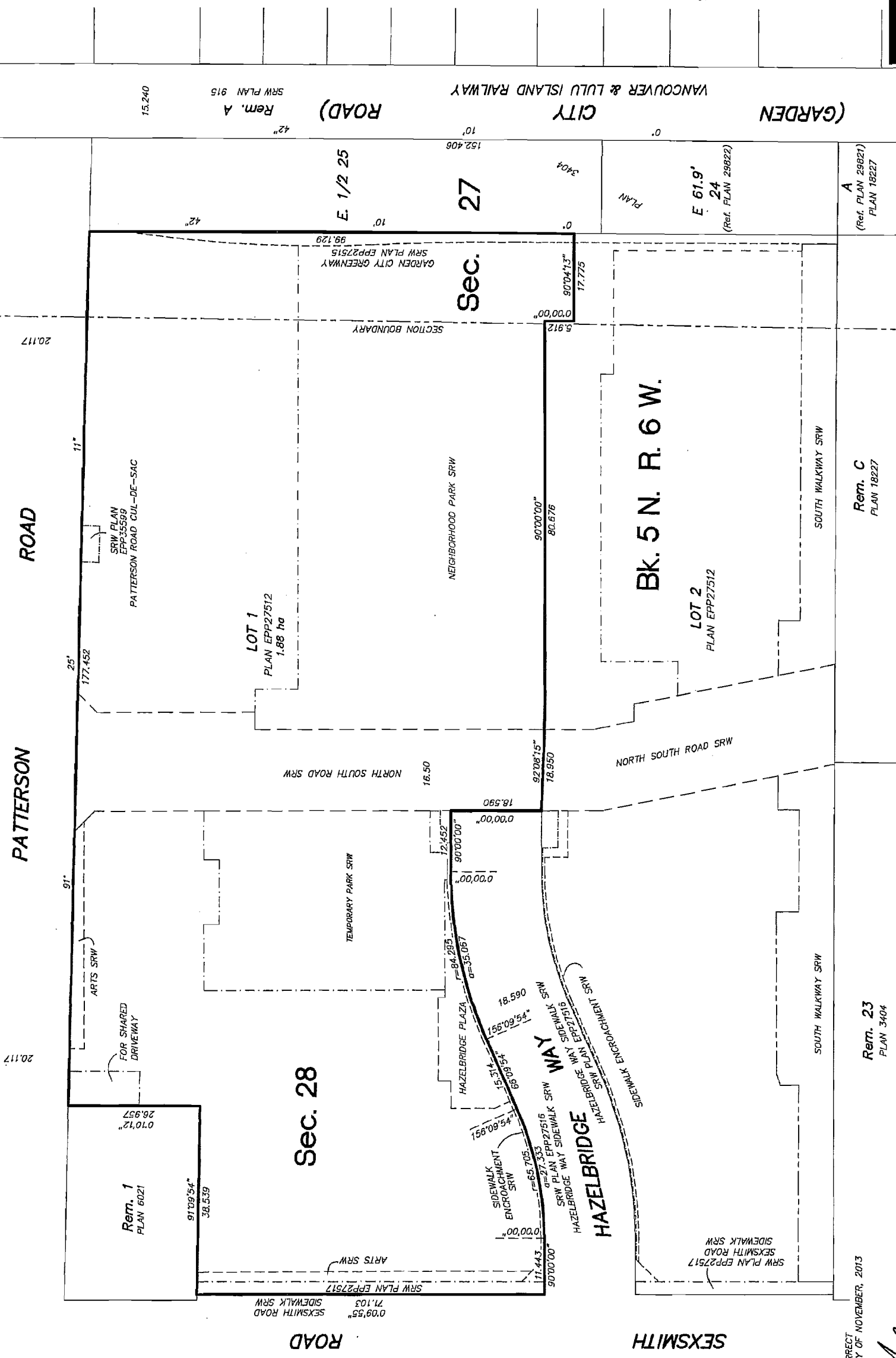
**SURVEY PLAN OF LOT 1 SECTIONS 27 AND 28
BLOCK 5 NORTH RANGE 6 WEST
NEW WESTMINSTER DISTRICT PLAN EPP27512**

CIVIC ADDRESS:
8888 PATTERSON ROAD
RICHMOND, B.C.
P.I.D. 029-003-610

SCALE 1:600 DISTANCES ARE IN METRES



Rem. 31 PLAN	Rem. Pcl. A (RD30427E)	Rem. E. 1/2 32	Rem. W. 1/2 33	Rem. Pcl. A (309189E) 3404	Rem. 1 PLAN	Rem. 2 7957	Rem. W. 1/2 35	Rem. E. 1/2 35 3404	Rem. 36 PLAN 3404 BYLAW PLAN 29822
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PROJECT NORTH

PLAT INFO:
Revised 16 November 2013
Legal Address: LOT 1; PLAN BCP
SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6
WEST NEW WESTMINSTER DISTRICT

ISSUE / REVISIONS

NO.	DATE	DESCRIPTION
1	16 NOV 2013	ISSUE FOR DEVELOPMENT PERMIT APPLICATION
2	16 NOV 2013	ISSUE FOR DEVELOPMENT PERMIT APPLICATION
3	16 NOV 2013	ISSUE FOR DEVELOPMENT PERMIT APPLICATION
4	16 NOV 2013	ISSUE FOR DEVELOPMENT PERMIT APPLICATION
5	16 NOV 2013	ISSUE FOR DEVELOPMENT PERMIT APPLICATION
6	16 NOV 2013	ISSUE FOR DEVELOPMENT PERMIT APPLICATION

NOTE:
ALL DIMENSIONS ARE MEASUREMENTS TO THE GEOMETRIC IN PLANS, SECTIONS AND
ELEVATIONS.

Reference Plan Dec 16, 2013
DP 13-642725

**CONCORD
PACIFIC**

CONCORD GARDENS
PHASE 2
RICHMOND, BC
FOR CONCORD PACIFIC

SURVEY

DATE: FEB 27, 2013
DRAWN BY: PIG
CHECKED BY: NTS
SCALE: 1:600
JOB NUMBER: 1251



**BUTLER
SUNDVICK**

4 - 19089 94th Ave
Surrey, BC V4N 3S4
www.butlersundvick.ca
Tel: 604-513-9611

File: 3486
Dwg: 3486-ST-LOT 1

THIS PLAN LIES WITHIN THE GREATER VANCOUVER REGIONAL DISTRICT

CERTIFIED CORRECT
THIS 26th DAY OF NOVEMBER, 2013

JESSE HAIN
B.C.L.S.



gBI ARCHITECTS INC.
140-1204 WEST 17TH AVENUE
VANCOUVER, B.C. CANADA V6J 2C9
TELEPHONE 604-271-1114
FACSIMILE 604-271-3279

A-1.06



PLOT INFO:
 SHEET: 160-300 WEST 117th AVENUE
 SECTIONS 57 AND 24, BLOCK 55, NORTH RANGE 6
 WEST-NEW WESTMASTER DISTRICT

ISSUE / REVISIONS
 NO. DATE BY DESCRIPTION
 1. 2012.11.16 GBI ARCHITECTS INC. PRELIMINARY
 2. 2013.01.16 GBI ARCHITECTS INC. PRELIMINARY
 3. 2013.01.16 GBI ARCHITECTS INC. PRELIMINARY
 4. 2013.01.16 GBI ARCHITECTS INC. PRELIMINARY
 5. 2013.01.16 GBI ARCHITECTS INC. PRELIMINARY
 6. 2013.01.16 GBI ARCHITECTS INC. PRELIMINARY

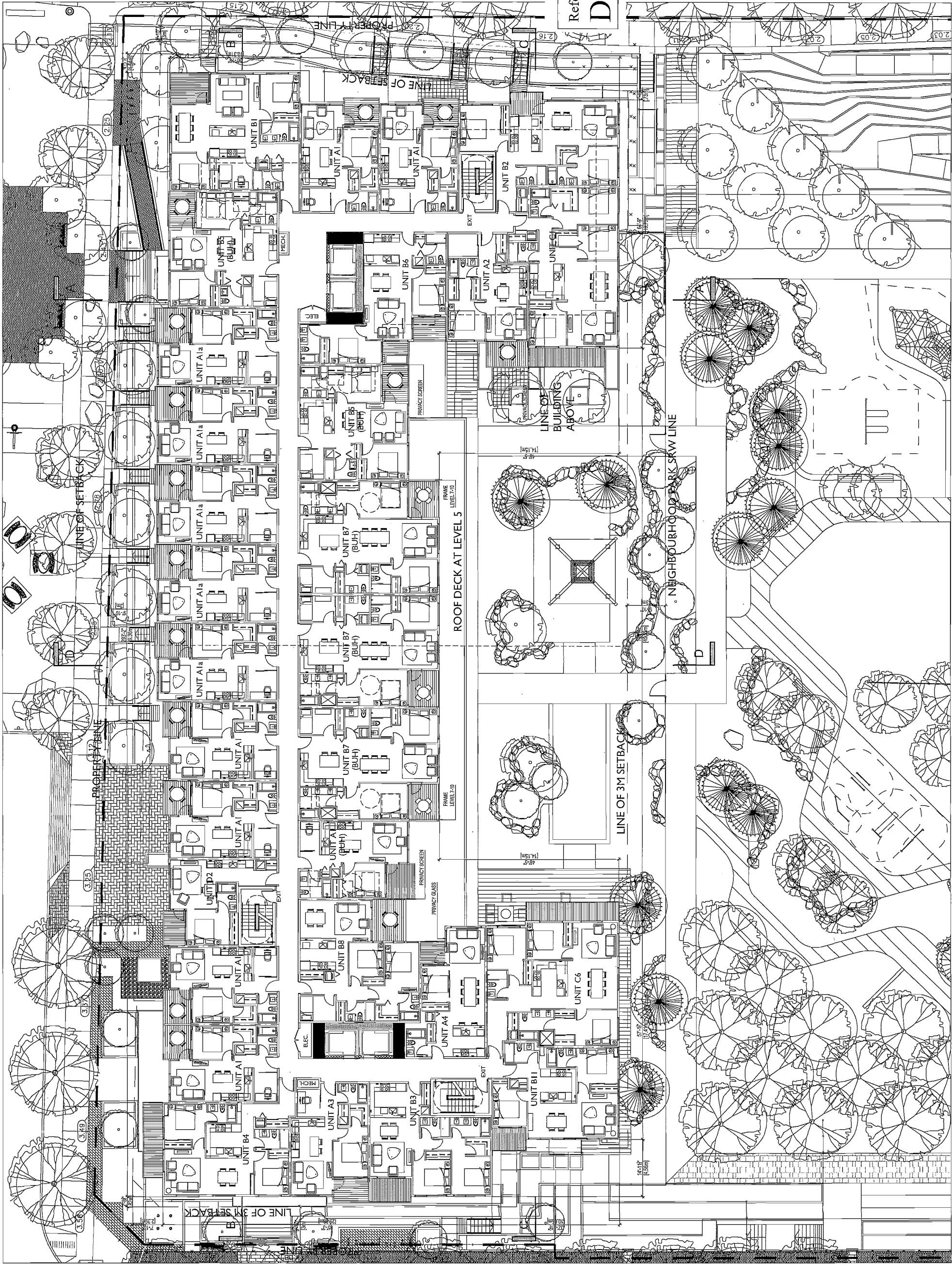
NOTE:
 ALL DIMENSIONS ARE MEASURED TO DIM LINES UNLESS OTHERWISE SPECIFIED.

Reference Plan Dec 16, 2013
DP 13-642725

**CONCORD GARDENS
PHASE 2
RICHMOND, BC
FOR CONCORD PACIFIC**

LEVEL 6-8

DATE: MAR 14, 2013
 DRAWN BY: IS
 CHECKED BY: AS
 SCALE: 1/2" = 1'-0"
 JOB NUMBER: 1251





GBI ARCHITECTS INC.
 14-320 WEST 17TH AVENUE
 VANCOUVER, BC CANADA V6L 2C3
 TEL: 604-273-1111
 FAX: 604-273-1112
 WWW.GBIARCHITECTS.COM



PLOT INFO:
 Project Number: 2111
 Legal Address: LOT 1; PLAN BCP
 SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6
 WEST/NEW WESTMINSTER DISTRICT

ISSUE / REVISIONS

NO.	DATE	DESCRIPTION
1	NOV 14, 2013	SCHEMATIC DEVELOPMENT
2	NOV 14, 2013	SCHEMATIC DEVELOPMENT
3	NOV 14, 2013	CITY REVIEW STAFF COMMENTS RESPONSE
4	NOV 14, 2013	DP APPLICATION - PREP/13

NOTE:
 ALL ELEVATIONS SHALL BE TO FINISH UNLESS OTHERWISE NOTED.

Reference Plan Dec 16, 2013
 DP 13-642725

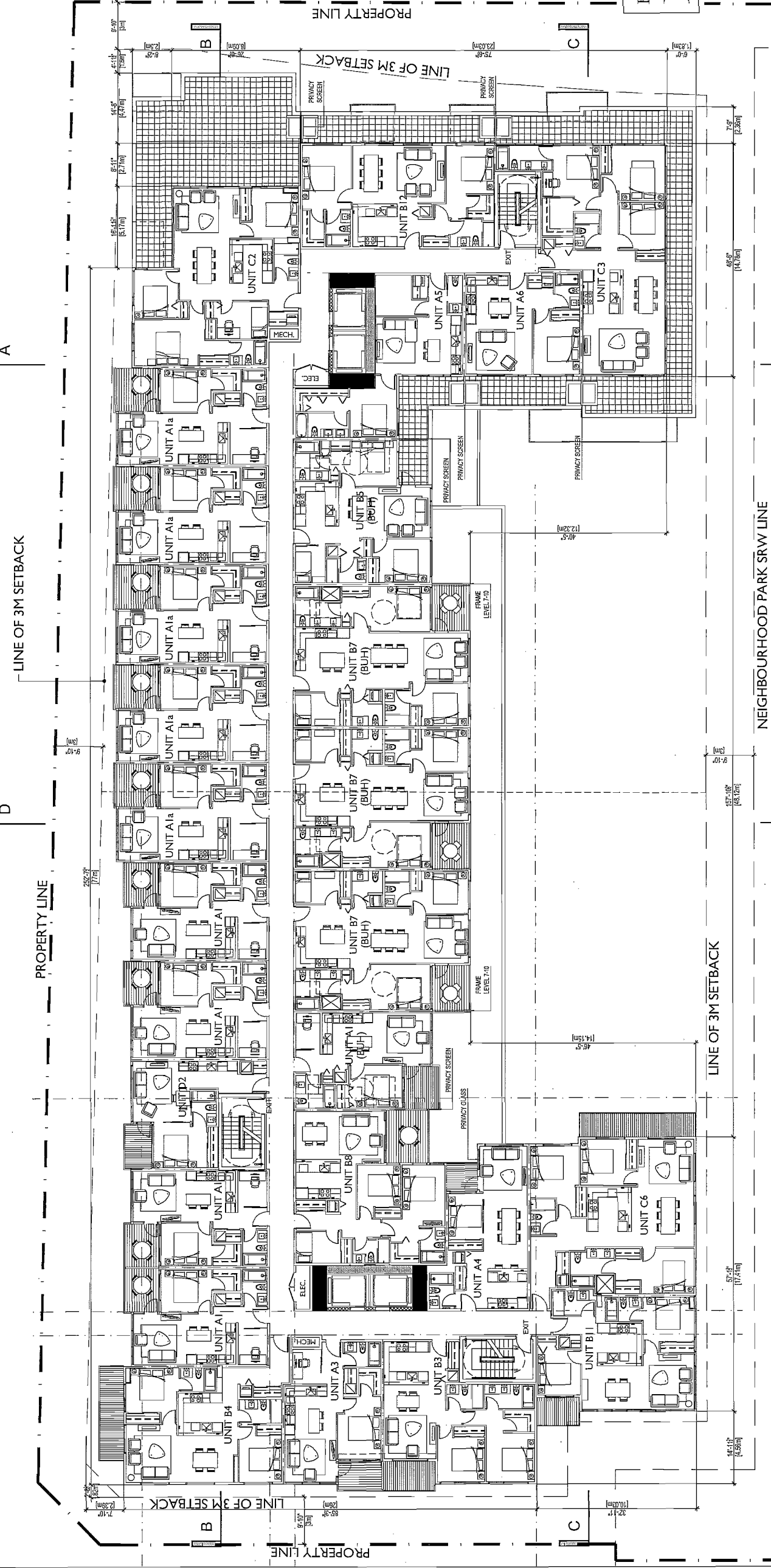


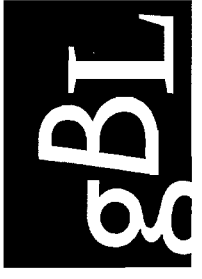
CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

LEVEL 9

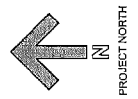
DATE	PAR	FIG
DEC 14, 2013	AB	SS
DRAWN BY	AB	SS
CHECKED BY	AB	SS
SCALE		
JOB NUMBER	1251	

A-3.05





GIL ARCHITECTS INC.
 140-254 WEST 17TH AVENUE
 VANCOUVER, BC CANADA V6J 2D9
 TEL: 604-681-1111
 FAX: 604-681-1109
 WWW.GILARCHITECTS.COM



PLOT INFO:
 Project: 1 November 2013
 Legal Address: LOT 1; PLAN BCP
 SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6
 WEST/NEW WESTMINSTER DISTRICT

ISSUE / REVISIONS

NO.	DATE	DESCRIPTION
1	NOV 14 2013	ISSUE FOR PERMIT APPLICATION
2	JUL 26 2013	REVISED PER CITY COMMENTS
3	MAY 14 2013	CITY PERMITS STAFF COMMENTS RESPONSE
4	MAY 14 2013	REVISED PER CITY COMMENTS
5	MAY 14 2013	REVISED PER CITY COMMENTS

NOTE:
 ALL ELEVATIONS ARE IN METERS TO BE CONSISTENT WITH LOCAL REGULATIONS AND STANDARDS.

Reference Plan Dec 16, 2013
DP 13-642725

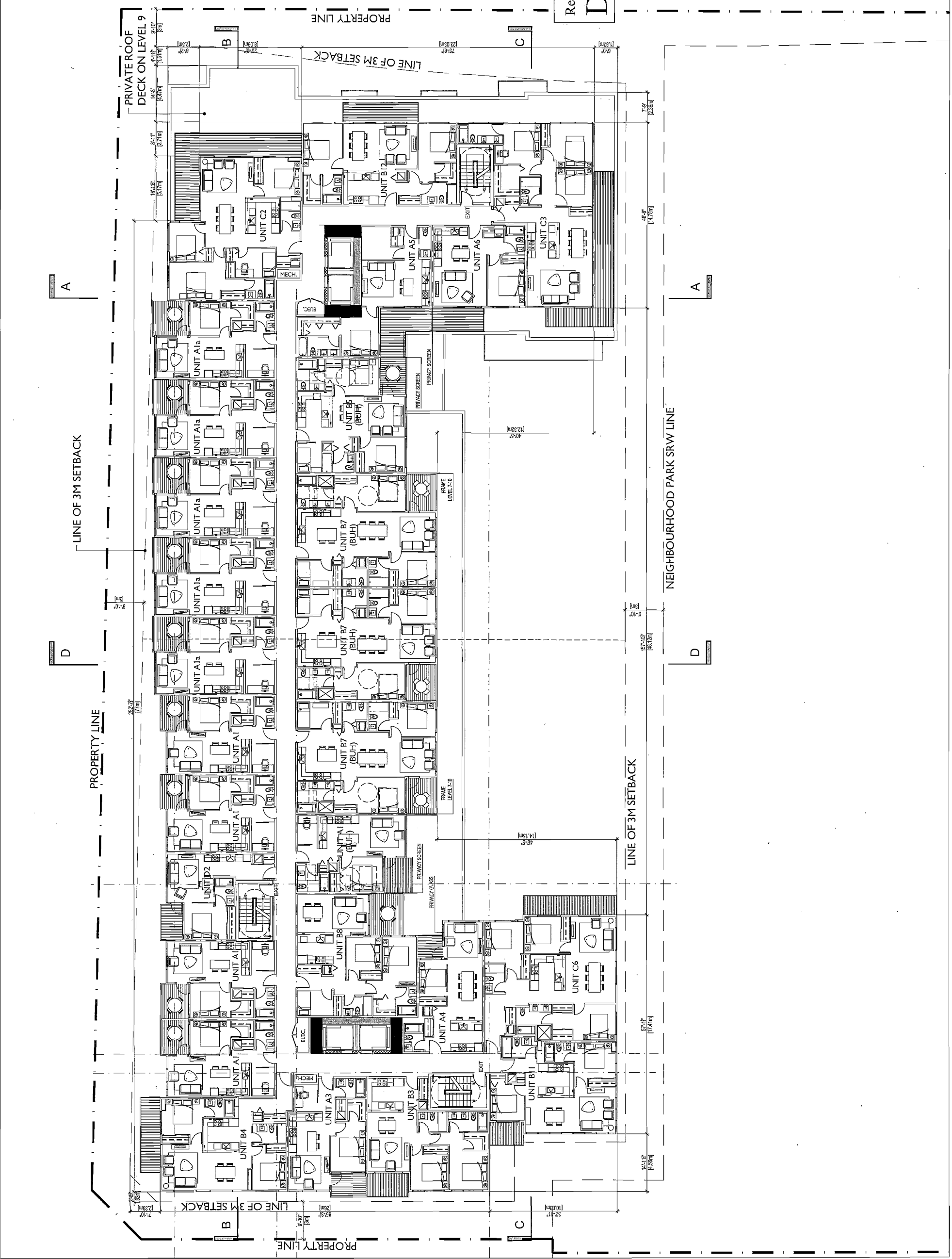


CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

LEVEL 10

DATE	MAR 14, 2013
DRAWN BY	SS
CHECKED BY	AB
SCALE	3/8"=1'-0"
JOB NUMBER	1251

A-3.06





GBL ARCHITECTS INC.
 180-2814 WISSET 17TH AVENUE
 VANCOUVER, BC CANADA V6J 1B7
 TEL: 604-271-1111
 FAX: 604-271-1111
 WWW.GBLARCHITECTS.COM



PROJECT NORTH

PLOT INFO:
 Project # 13-642725
 Legal Address: LOT 1, PLAN BCP
 SECTIONS 27 AND 28, BLOCK 5, NORTH RANGE 6
 WESTVIEW WESTMINSTER DISTRICT

ISSUE / REVISIONS

NO.	DATE	DESCRIPTION
1.	JAN 14, 2013	REVISIONS
2.	JAN 29, 2013	DEVELOPMENT PERMITS APPLICATION
3.	FEB 14, 2013	CITY REVIEW - STATE COMMENTS RESPONSE
4.	MAR 14, 2013	DP APPLICATION - PERMITS

NOTE:
 ALL DIMENSIONS ARE MAINTAINED OR AS SHOWN IN PLANS, SECTIONS AND ELEVATIONS.

Reference Plan Dec 16, 2013
DP 13-642725

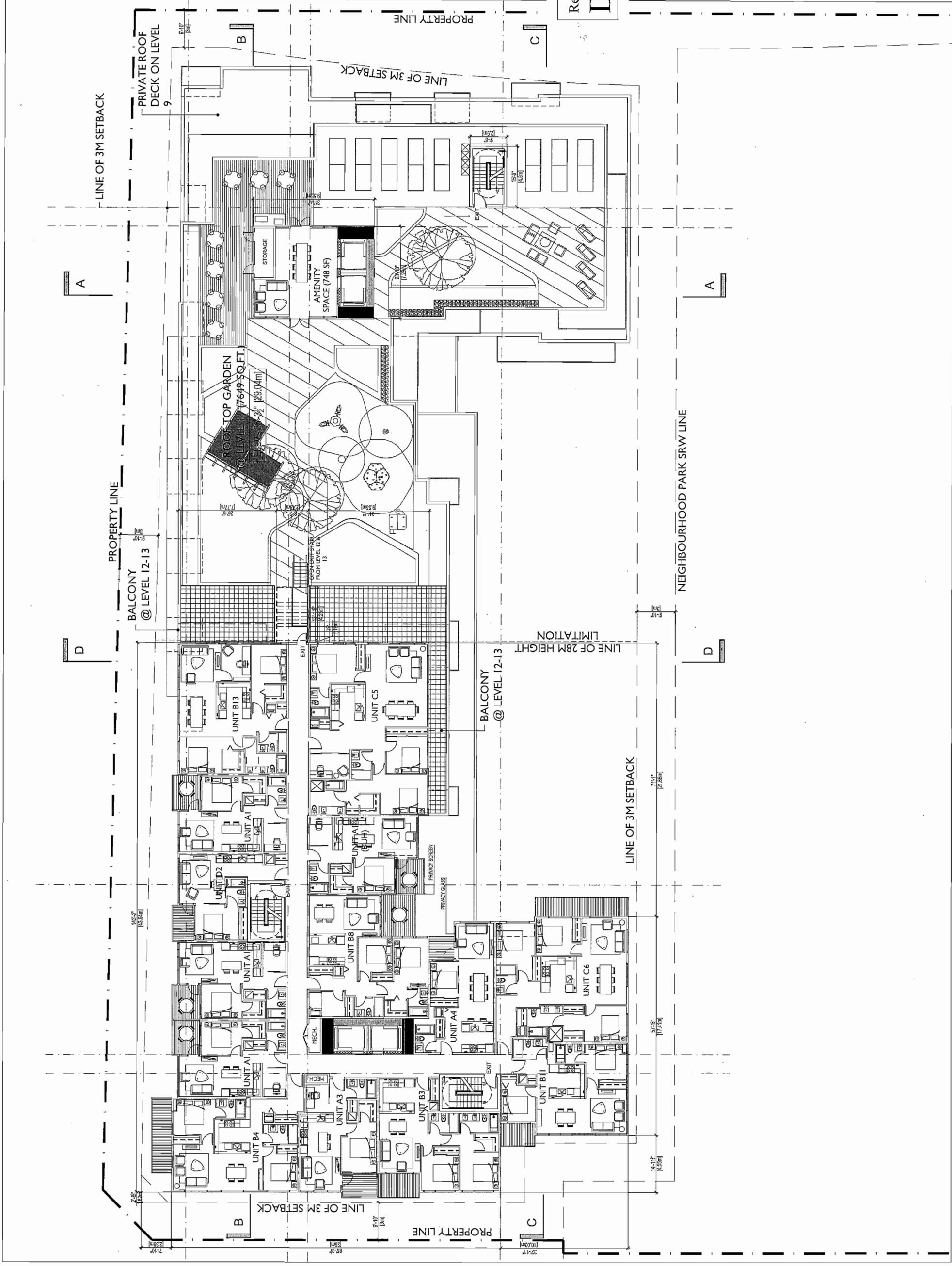


CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

LEVEL 11

DATE	MAR 14, 2013
DRAWN BY	SS
CHECKED BY	AB
SCALE	3/32"=1'-0"
JOB NUMBER	1251

A-3.07





GBL ARCHITECTS INC.
 140-25th WEST STREET
 VANCOUVER, BC CANADA V6J 1P7
 TEL: 604-681-7114
 FAX: 604-681-7117
 WWW.GBIARCHITECTS.COM



PROJECT NORTH

PLOT INFO:
 Project Number: 2011
 Legal Address: LOT 1; PLAN BCP
 SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6
 WEST; NEW WESTMINSTER DISTRICT

ISSUE / REVISIONS
 NO. DATE DESCRIPTION
 1. 04.14.2013 APPROVED BY ARCHITECT APPLICATION
 2. 05.13.2013 APPROVED BY CITY PLANNING DEPARTMENT
 3. 06.14.2013 CITY APPROVAL - PERMITS
 4. 06.14.2013 APPROVED BY ARCHITECT

NOTE:
 ALL DIMENSIONS ARE MEASURED TO AN EXTERIOR FINISH UNLESS NOTED OTHERWISE.

Reference Plan Dec 16, 2013
 DP 13-642725

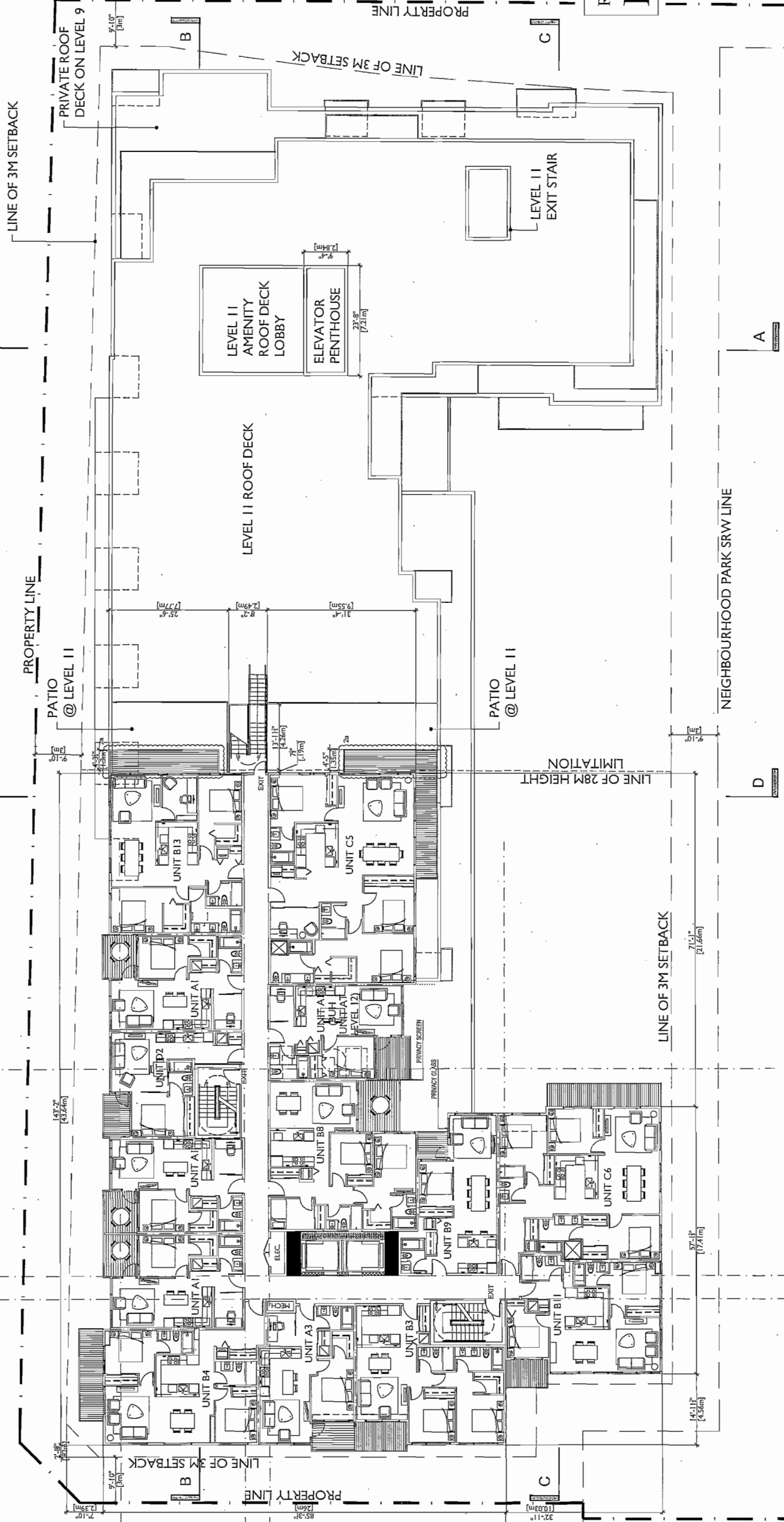


CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

LEVEL 12-13

DATE: MAY 14, 2013
 DRAWN BY: SS
 CHECKED BY: AB
 SCALE: 3/32"=1'-0"
 JOB NUMBER: 1251

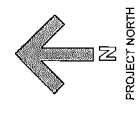
A-3.08



Zoning Bylaw Variances		
1a	Exit stair @ Level 11	Increase the maximum allowable building height for portions of the building located less than 50.0 m from a lot line abutting Garden City Road, for the purpose of permitting enclosed stair shafts, an elevator penthouse, and an indoor residential amenity space, from 28.0 m to 33.4 m.
1b	Elevator & indoor amenity space @ Level 11	Reduce the minimum allowable setback from a lot line abutting Garden City Road for portions of the building having a height greater than 28.0 m, for the purpose of permitting a cantilevered roof and balconies, from 50.0 m to 48.6 m.
1c	Unenclosed exit stair @ Levels 11-13	
2a	Balconies @ Levels 12 & 13	
2b	Cantilevered roof	



GBL ARCHITECTS INC.
 140, 300 WEST 11TH AVENUE
 VANCOUVER, BC CANADA V6J 0C9
 TEL: 604.681.1114
 FAX: 604.681.1379



PROJECT NORTH

PLOT INFO:
 Project # 13-642725-01
 Legal Address: LOT 1; PLAN BCP
 SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6
 WEST NEW WESTMINSTER DISTRICT

ISSUE / REVISIONS

NO.	DATE	DESCRIPTION
1	10/15/2013	ISSUE FOR PERMIT APPLICATION
2	10/15/2013	ISSUE FOR PERMIT APPLICATION
3	10/15/2013	ISSUE FOR PERMIT APPLICATION
4	10/15/2013	ISSUE FOR PERMIT APPLICATION
5	10/15/2013	ISSUE FOR PERMIT APPLICATION
6	10/15/2013	ISSUE FOR PERMIT APPLICATION

NOTE:
 ALL DIMENSIONS ARE MEASURED TO THE OUTSIDE FINISH, SECTION AND
 CENTERLINE.

Reference Plan Dec 16, 2013
DP 13-642725

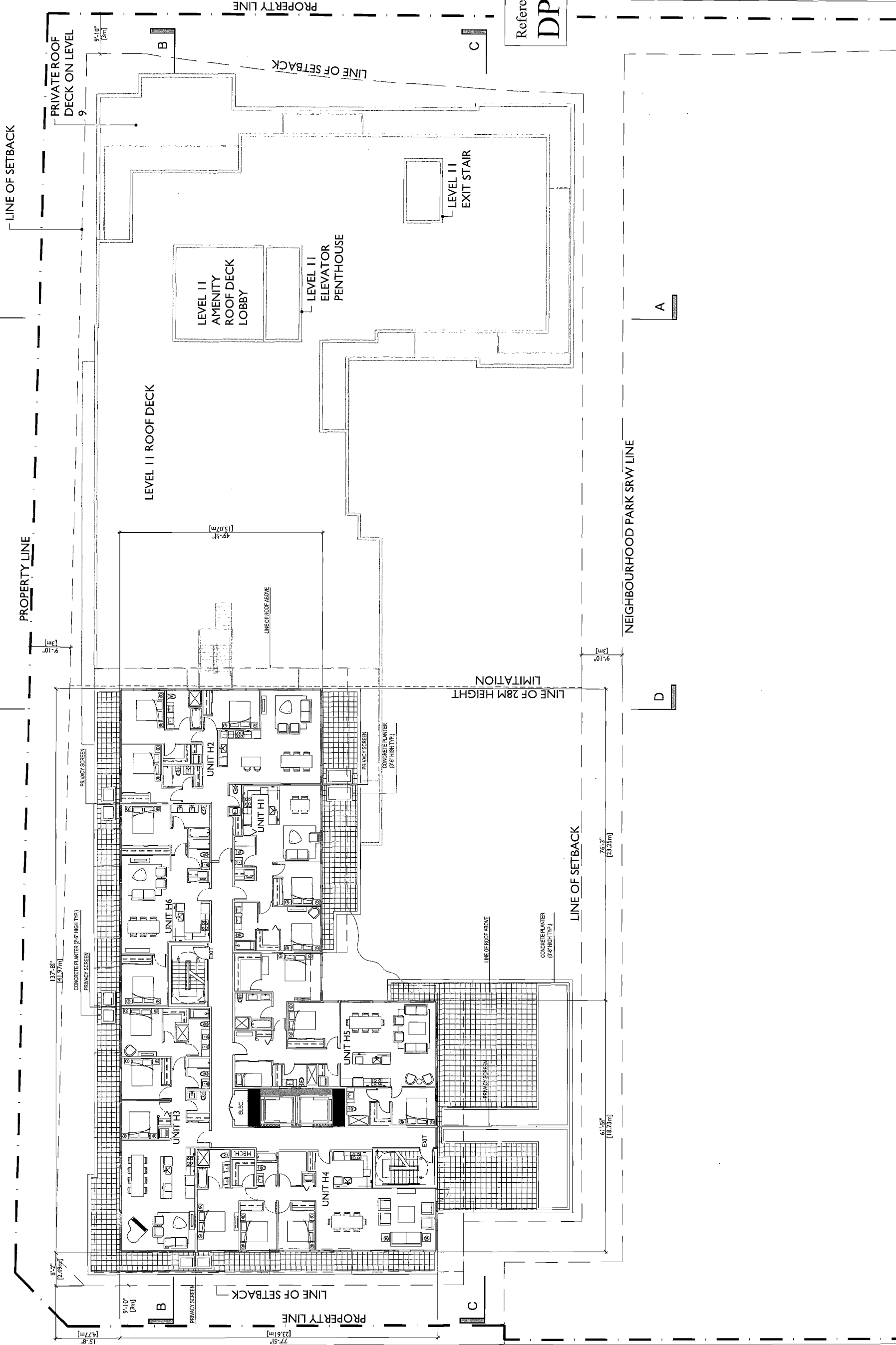


CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

LEVEL 14

DATE	MAR 14, 2013
DRAWN BY	SS
CHECKED BY	AB
SCALE	3/32"=1'-0"
JOB NUMBER	1251

A-3.09





GBI ARCHITECTS INC
 140-384 WEST 17TH AVENUE
 VANCOUVER, BC CANADA V6J 2C4
 TEL: 604-681-1111 FAX: 604-681-1112
 PROJECT NUMBER: 1251



PROJECT NORTH

PILOT INFO:
 Project Number: 2911
 Legal Address: LOT 1: PLAN RCP
 SECTIONS 27 AND 28; BLOCKS: NORTH RANGE 6
 WEST-NEW WESTMINSTER DISTRICT

ISSUE / REVISIONS

NO.	DATE	DESCRIPTION
1	MAR 14, 2013	PROGRESS SET
2	MAR 14, 2013	PROGRESS SET
3	MAR 14, 2013	ADVISORY COMMITTEE REVIEW RESPONSE
4	MAR 14, 2013	CITY REVIEW
5	DEC 16, 2013	CP APPROVAL - FINISHED

NOTE:
 ALL ELEVATIONS ARE MEASURED TO THE EXTERIOR IN PLANS, SECTIONS AND ELEVATIONS.

Reference Plan Dec 16, 2013
DP 13-642725

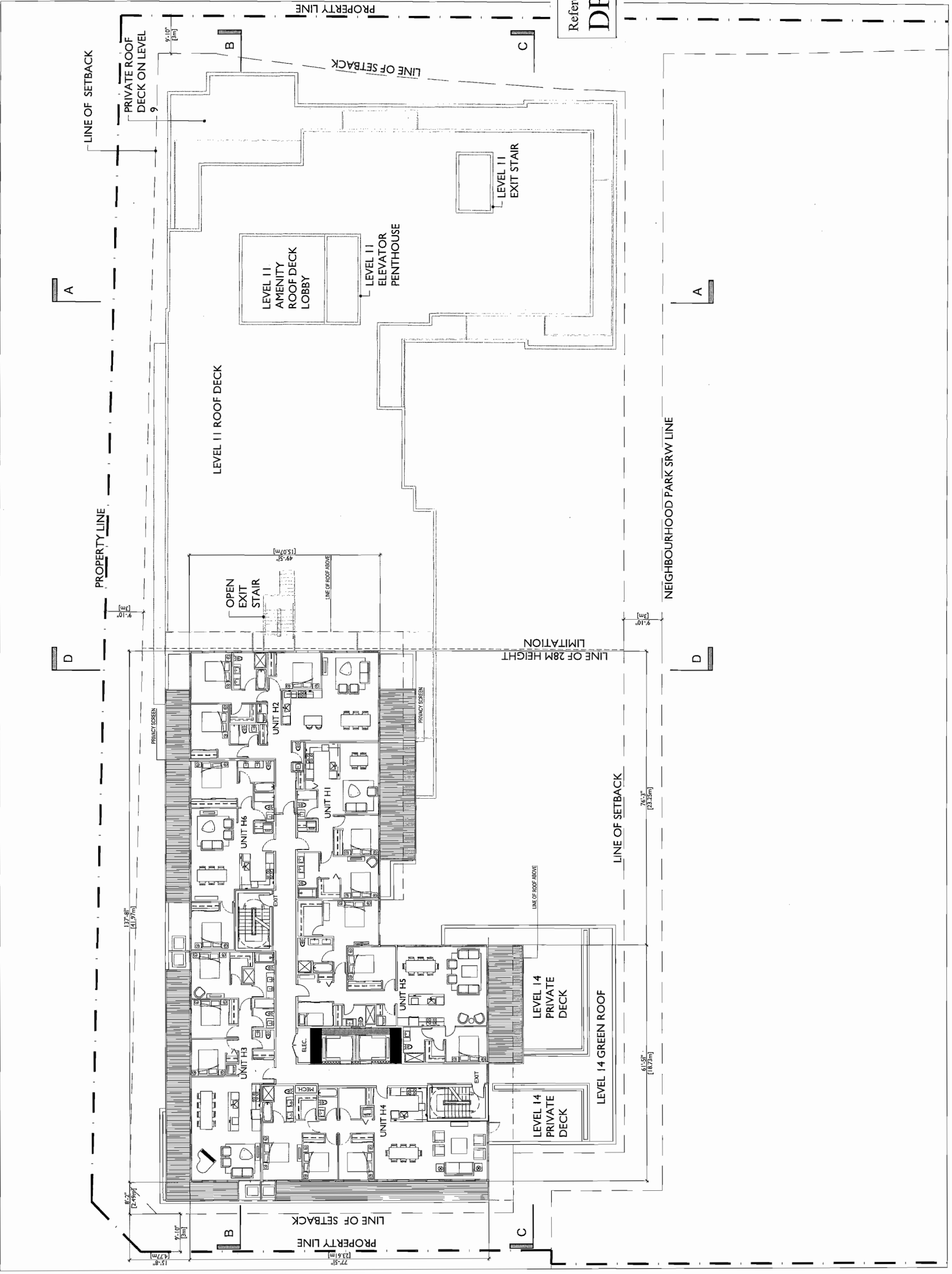


CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

LEVEL 15

DATE	MAR 14, 2013
DRAWN BY	SS
CHECKED BY	AB
SCALE	3/32"=1'-0"
JOB NUMBER	1251

A-3.10





GBI ARCHITECTS INC.
 145-1204 WEST 117TH AVENUE
 VANCOUVER, BC CANADA V6V 2C7
 TEL: (604) 273-1177 FAX: (604) 273-1178
 WWW.GBIARCHITECTS.COM



PROJECT NORTH
 PLOT INFO:
 Project Name: LOT 1, PLAN REP
 Legal Address: LOT 1, PLAN REP
 SECTIONS 27 AND 28, BLOCK 5, NORTH RANGE 6
 WEST-NEW WESTMINSTER DISTRICT

ISSUE / REVISIONS
 1. DATE: 04.10.2013 PROJECT SET
 2. DATE: 05.15.2013 ADVISORY BOARD PRESENTATION
 3. DATE: 06.11.2013 CITY REVIEW - STAFF COMMENTS RESPONSE
 4. DATE: 08.15.2013 DP APPLICATION - PREPARED

NOTE:
 ALL ELEVATIONS ARE MEASURED TO AN INDICATED IN PLANS, SECTIONS AND
 EXTERIORS.

Reference Plan Dec 16, 2013
 DP 13-642725

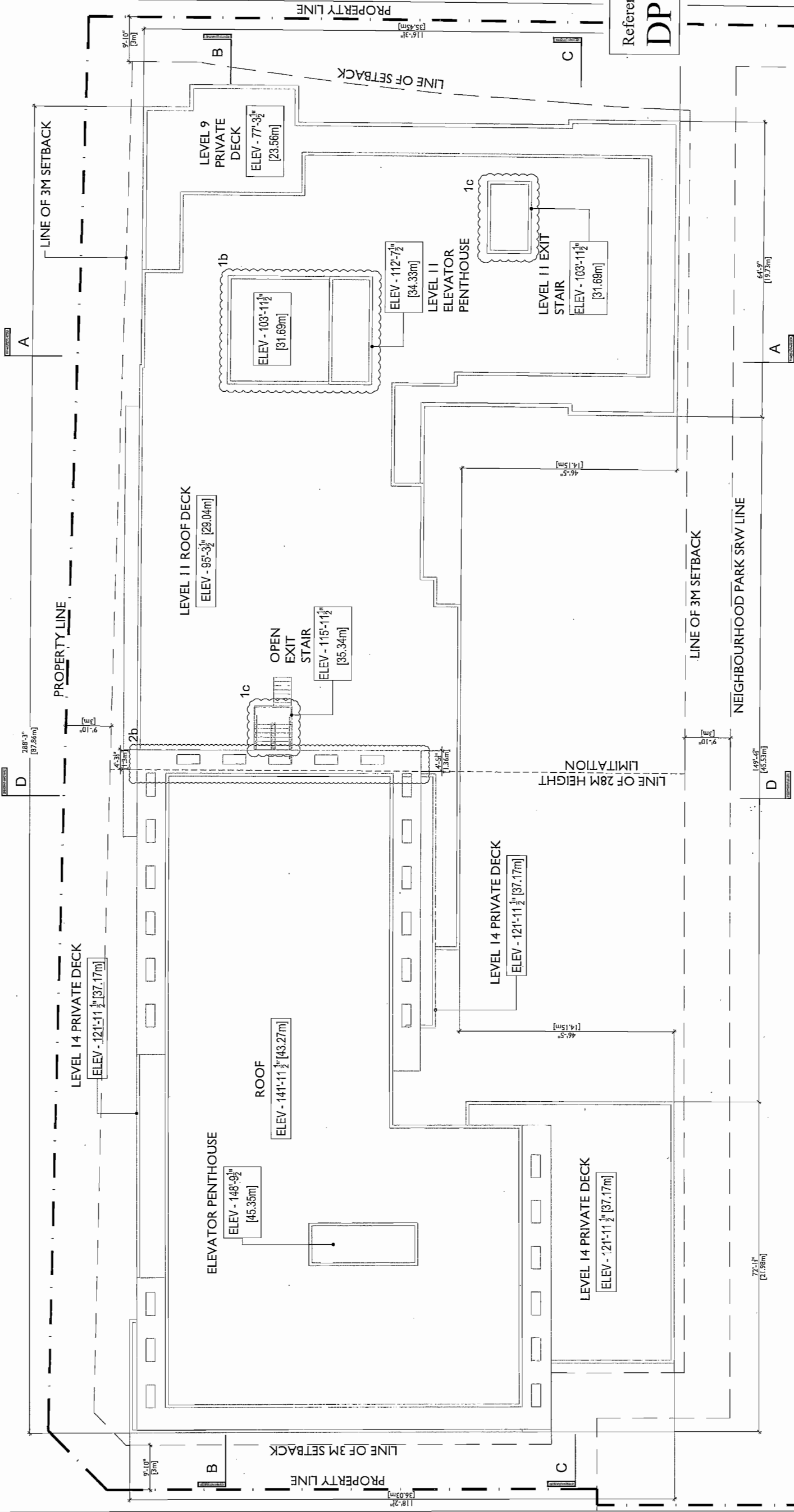


CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

ROOF PLAN

DATE: MAR. 14, 2013
 DRAWN BY: SS
 CHECKED BY: AB
 SCALE: 3/32"=1'-0"
 JOB NUMBER: 1251

A-3.11



Zoning Bylaw Variances

1a	Exit stair @ Level 11	Increase the maximum allowable building height for portions of the building located less than 50.0 m from a lot line abutting Garden City Road, for the purpose of permitting enclosed stair shafts, an elevator penthouse, and an indoor residential amenity space, from 28.0 m to 33.4 m.
1b	Elevator & indoor amenity space @ Level 11	
1c	Unenclosed exit stair @ Levels 11-13	
2a	Balconies @ Levels 12 & 13	Reduce the minimum allowable setback from a lot line abutting Garden City Road for portions of the building having a height greater than 28.0 m, for the purpose of permitting a cantilevered roof and balconies, from 50.0 m to 48.6 m.
2b	Cantilevered roof	