



City of Richmond
Urban Development Division

Report to Development Permit Panel

To: Development Permit Panel

Date: June 7, 2004

From: Raul Allueva
Director of Development

File: DP 03-244883

Re: **Application by James Lee, Architect for a Development Permit at
8711 Alexandra Road**

Staff Recommendation

That a Development Permit be issued for 8711 Alexandra Road that would:

1. Allow a 536 m² (5,769 ft²) two-storey Karaoke building on a site zoned Automobile-Oriented Commercial District (C6); and
2. Vary the regulations in the *Zoning and Development Bylaw* to:
 - Reduce the required road setback from 6.0 m to 2.7 m on Alexandra Road and to 5.8 m on Sorensen Crescent;
 - Reduce the manoeuvring aisles from 7.5 m to 6 m; and
 - Increase the allowable number of small car spaces from 30% (14 stalls) to 48% (22 stalls).


Raul Allueva
Director of Development

CA:blg
Att.

Staff Report

Background

Originally, the Development Permit Panel recommended denial of this development application to construct a Karaoke entertainment building at the corner of Alexandra Road and Sorenson Crescent when it was first referred on January 14, 2003, because of a lack of secured off-site parking arrangement, significant rear setback relaxation requested, and concerns expressed by adjacent residents.

This Development Application last came before the Development Permit Panel on April 14, 2004. The Panel approved the project for consideration by Council subject to the registration of an off-site parking covenant for 31 spaces. The applicant was unable to obtain cooperation from the off-site parking property owner to complete the necessary legal arrangements.

Subsequently, the applicant proposes to eliminate the third storey in order for the proposed development to be able to provide all the required parking on site. The applicant intends to apply for a new Development Permit in the future to add the third storey as previously proposed should additional parking become available.

A detailed description of the project is provided in previous staff reports, which are attached for your reference (**Attachment 2 and 3**).

Development Information

Please refer to the attached Development Permit Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant Bylaw requirements.

Variations Requested

The current proposal complies with all provisions in the Zoning and Development Bylaw No. 5300, with the exception of the following variations, all of which were previously proposed and supported by the DP Panel in the previous 3-storey proposal (*staff comments in bold*):

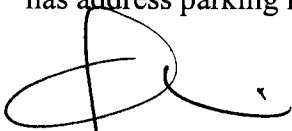
1. To vary the road setback from the required 6.0 m to 2.7 m on Alexandra Road and to 5.8 m on Sorensen Crescent.
(The applicant has shifted the building to the south and away from the residential lot to the north in response to the neighbourhood concerns. This results in a front yard setback of 2.7 m (9.2 ft.). Staff support this variance. It is desirable from an urban design perspective to bring the building closer to the street to provide animation and create a better interface with the streetscape in a City Centre location. In addition, the proximity to the street allows for convenient surveillance for crime prevention and safety.

The proposed minor (0.2 m) setback variance along Sorenson Crescent occurs only along a very small portion of the building façade because of its circular shape. The variance is supported).

2. To reduce the manoeuvring aisles from 7.5 m to 6 m.
(Staff support the variance. The applicant proposes one-way traffic circulation on the site. The reduction of the manoeuvring aisle width will not negatively impact vehicular movement on site).
3. To increase the allowable number of small car spaces from 30% (14 stalls) to 48% (22 stalls).
(Staff support the variance. The parking stall layout under the proposed building is restricted by the placement of structural columns and the applicant's commitment to retain a large Birch tree on the north side of the property to maintain visual privacy for adjacent neighbours. The proposed development otherwise meets the parking requirement of the Zoning and Development Bylaw).

Conclusions

Staff recommend approval of this proposed Development Permit application on the basis that the project remains unchanged from the previous proposal with respect to overall design and siting, and has improved from the point of view of adjacency impacts due to the removal of the third storey and has address parking issues on-site.



Cecilia Achiam
Urban Design Planner
(Local 4122)

CA:blg

The following conditions are required to be met prior to forwarding this application to Council for approval:

- A Letter of Credit for \$11,538 to cover landscaping.

Prior to issuance of the Building Permit:

- The developer is to enter into the City's standard Servicing Agreement to design and construct beautification frontage works along Alexandra Road; and
- Fences must be erected around all retained trees (including street trees).



City of Richmond

6911 No. 3 Road
Richmond, BC V6Y 2C1

**Development Permit
Application Data Sheet**
Development Applications Department

Attachment 1

Planning Area: City Centre

Planning Sub-Area: -

Zoning: C6

Site Area (sq. m): 1761

Floor Area (sq. m): 536

Number of Units: N/A

	Min. or Max.	Proposed
Floor Area Ratio:	0.5	.30
Lot Coverage – Building:	50%	30%
Lot Coverage – Planting:	NA	NA
Density (unit/acre)	NA	NA
Density (units/hectare)	NA	NA
Setback – Alexandra Rd	6 m	2.7 m*
Setback – Sorenson Crescent	6m	5.8 m **
Setback – Rear (North)	7.5 m	7.5 m
Setback – Side (East)	N/A	4 m
Height (m):	12 m	11m
Off-street Parking Spaces – Regular:	45	45 (incl. 22 small)***
Off-street Parking Spaces – Visitor:	N/A	N/A
Off-street Parking Spaces – Handicapped:	1	1
Amenity Space – Indoor (sq. m):	N/A	N/A
Amenity Space – Outdoor:	NA	NA

Demonstration of F.A.R. Calculation: Architectural floor plans

Variances Requested: Alexandra Road setback*, Sorenson Cres. setback**, Small Car ratio***, parking aisle width

DP Guidelines Checklist: City Centre Design Guidelines, Commercial Use Design Guidelines

Affordable Seniors Supportive Housing Design Guidelines: NA

Other: NA

Staff Report

Origin

The Development Permit Panel recommended denial of this development application to construct a Karaoke entertainment building at the corner of Alexandra Road and Sorenson Crescent when it was last referred on January 14, 2004. Subsequent to the Panel decision, the applicant has made several meaningful changes to the application to address the concerns raised by the Panel and the public. Council reviewed this application on March 8, 2004 and referred it back to the Development Permit Panel for further consideration. A copy of the previous staff report is attached for your reference (**Appendix I**).

The key issues that prompted the previous denial included the following:

- The lack of secure arrangement for 31 required off-street parking spaces on the subject site or within 150 m of the proposed development;
- The proposed rear setback variance (from 25 m to 12.4 m) requested; and
- Concerns expressed by adjacent residents regarding potential privacy conflict and security.

Staff worked with the applicant to address these concerns. This staff report will concentrate on the negotiated changes since the last Development Permit Panel submission:

1. Off-site Parking Arrangement

The applicant has procured a formal lease agreement, with a 10 year term, with the property located at 8740 Alexandra Road. The shared parking arrangement allows the karaoke to use up to 40 existing parking spaces at 8740 Alexandra Road between 9 pm and 5 am when the daycare is not in operation and during non-peak hours for the café. The lease, which includes the City as a signatory, will protect against any change in use or redevelopment of the site at 8740 Alexandra Road which affects the parking area covered by the lease. The terms and conditions of the lease have been reviewed and found acceptable by the City Solicitor (**Appendix II**). The off-site parking is located to the southeast of the site across Alexandra Road, and is shown on **Appendix IV**.

In addition, the owner of the site is prepared to register a Restrictive Covenant (**Appendix III**) on the project site, which includes the following restrictions:

- City of Richmond will be notified by the Land Title Office of any attempt to discharge the covenant to ensure that the covenant cannot be discharged without the City's consent;
- The Karaoke operator agrees that he will operate only if sufficient parking is provided (i.e. if the current lease expires and the off-site parking provider does not want to renew, the Karaoke operator has to find an alternate site to provide the required parking); and
- The Karaoke operator agrees that he will not convert the building to a restaurant or other use without providing parking in compliance with the parking, loading and all other applicable provisions in the Zoning Bylaw.

The proposed C6 Zone permits a range of commercial and light industrial uses, including retail and office, and will allow re-use of the karaoke building once the lease expires and/or the karaoke use is terminated, base on the existing parking and loading that are available on site.

2. Setback Variances

The siting of the building has been improved by increasing the rear yard setback from 12.4 m to 14.8 m. (Note: for this section only, staff comments on the variances are notated in ***bold italics***). Section 236.4 of the C6 Zoning Bylaw stipulates the following:

236.4 MINIMUM SETBACKS FROM PROPERTY LINES

.01 Road Setbacks: 6 m (19.685 ft.).

(The applicant has shifted the building to the south and away from the residential lot to the north in response to the neighbourhood concerns. This results in a front yard setback of 2.7 m (9.2 ft.). Staff supports this variance. It is desirable from an urban design perspective to bring the building closer to the street to provide animation and create a better interface with the streetscape in a City Centre location. In addition, the proximity to the street allows for convenient surveillance for crime prevention and safety).

.02 Side & Rear Yards:

- (a) A building shall not be located closer to the boundary line of a zoning district which permits residential use than

For One-Storey: 3 m (9.8 ft.)

For Two-Storeys: 7.5 m (24.6 ft.)

For Three-Storeys: 25 m (82.0 ft.)

(While the proposed building is technically considered as a three-storey building thus requiring a setback variance, the proposed building actually steps down from three-storeys in the front of the site (Alexandra Road) to two-storeys towards the rear. By relocating the building forward as noted above, the proposed building will have a minimum setback of 14.8 m (48.6 ft.) to the two-storey portion and 25 m (82.01 ft.) to the three-storey portion).

3. Interface With Neighbours-Privacy and Security

The neighbouring residents who attended the previous Development Permit Panel meeting noted that they are presently experiencing some negative impact from some of the existing late night businesses in the area already and are concerned that the proposed Karaoke will exacerbate the situation. In particular, residents have raised the following concerns:

- Patrons using the vacant site to the west at 8631 Alexandra Road for parking;
- Impact of other associated late night activities (headlights shining into the homes to the north, littering, noise and undesirable behaviour, etc.);
- Site security; and
- Potential noise, overlook and privacy conflicts related to late night use of the proposed roof deck on the second floor (concerns also raised by RCMP at ADP).

It is noted that some of these issues (i.e. uses of adjacent site at 8631 Alexandra) are beyond the control of the operator of the proposed Karaoke. However, the applicant is proposing the following mitigation measures on the subject site to alleviate the valid concerns:

- The increased building setback will improve the privacy;
- The Karaoke will have security staff on site during the operating hours of the Karaoke to monitor the parking lot and the Karaoke building;
- Security cameras with 24 hour monitoring services will be provided within the building and through out the site as additional safety measures;
- The design has incorporated Crime Prevention Through Environmental Design (CPTED) principles such as inclusion of appropriate amount of lighting and provision of natural surveillance opportunities to minimize opportunities for crime and to improve the sense of safety;
- The height of the hedge along the rear (north) property line has been increased from 2 m (6 ft.) to 4 m (12 ft.) at planting in addition to the proposed 6 ft. high fence to improve privacy screening for the adjacent neighbours;
- The applicant has redesigned the second storey roof to address privacy and security concerns by providing only one access for maintenance purposes only, eliminating all seating areas and using the area for planting only to reduce impervious surface. This will enable the roof to maintain its function as a "green roof (achieves environmental objectives of improving infiltration and slowing the flow of stormwater) and eliminate human activities except for maintenance purposes; and
- The applicant has attempted to contact the property owner (who resides overseas) without success to discuss mitigation measures. Nevertheless, the applicant has committed in writing, at his cost, and with the consent of the property owner at 8631 Alexandra Road, to install concrete barriers along the existing vehicular entrances to 8631 Alexandra Road to discourage the use of the site for unlawful parking.

Conclusions

Staff note that the zoning of the site permits the proposed use, and that the magnitude of variances requested have been reduced considerably. The applicant has taken reasonable steps to address concerns raised at the previous Development Permit Panel meeting, including issues related to off-site parking and mitigation of resident concerns related to privacy and security. Staff, therefore, recommend that the Development Permit Panel approve this Development Permit application.



Cecilia Achiam
Urban Design Planner
(Local 4122)

CA:blg

The following conditions are required to be met prior to forwarding this application to Council for approval:

- A Letter of Credit for \$18,958 to cover landscaping will be required.

- Registration of the Restrictive Covenant prohibiting the building from being used as a restaurant or any other commercial use unless additional parking is provided as per the Zoning Bylaw (Note: the RC cannot be discharged without consent from the City of Richmond); and
- Registration of the lease for off-site parking to ensure a total provision of 31 off-site parking spaces. (Note: the lease cannot be discharged without consent from the City of Richmond).

Prior to issuance of the Building Permit:

- The developer is to enter into the City's standard Servicing Agreement to design and construct beautification frontage works along Alexandra Road; and
- Fences must be erected around all retained trees (including street trees).

Staff Report

Origin

JLA Architecture, on behalf of Wen Sung Wu, has applied for a Development Permit to construct a Karaoke entertainment building at the corner of Alexandra Road and Sorenson Crescent. The project will have vehicular access from both Alexandra Road and Sorenson Crescent.

A copy of the development application filed with the Urban Development Division is appended to this report.

Development Information

Site Area:	1,761.2 m ² (18,958 ft ² .)
Building Area:	880.6 m ² (9,479 ft ² .)
Site Coverage:	50% Allowed 30% Proposed
F.A.R.:	0.50 Allowed 0.50 Proposed
Parking:	76 Spaces Required* see Urban Development-Transportation analysis 45 Space Proposed (including 22 or 48% small car spaces)

Findings of Fact

Applicable guidelines for form and character for Development Permits are:

- Schedule 1 and Schedule 2.10 of Bylaw 7100, the Official Community Plan, and in particular the City Centre Area Plan.

Development surrounding the subject site is as follows:

- Single-family residential development to the north, and
- Existing commercial developments to the east, west and south.

Staff Comments

Urban Development - Design

The proposed building contributes to the eclectic collection on this street and the use will likely contribute to the festive atmosphere of "restaurant row".

The proposed variances for the road setbacks to Alexandra Road and Sorensen Crescent, the rear yard setback to the existing residential development to the north, the manoeuvring aisle widths and amount of small car spaces are predicated by the proposed organic form of the proposed building. Staff supports these variances provided that in consideration of the retention of the existing Birch tree on the north side of the property and the screening provided to the adjacent properties by the existing

trees and the proposed landscaping along the north and west perimeters of the site. Norm Hol, a registered arbourist has been retained to supervise tree protection and to monitor/inspect during construction.

ANALYSIS OF THE CITY CENTRE GUIDELINES

The following is a summary of the guidelines, with only areas of non-compliance discussed in *bold italics*.

4.3 General Design Considerations

4.3.1 Public Amenity: Contribute to the establishment of a "complete community".

- Safety in design should provide for surveillance, territoriality, effective lighting, and increased security around potential crime targets. *Note Design Panel comments regarding surveillance and access to the roof deck.*

4.3.2 Environmental Factors: Enhance liveability of the public and private realms.

- Weather protection should be designed to enhance pedestrian comfort and activity: *The building setback and the curved form of the building make it difficult to provide weather protection in the form of awnings/canopies for pedestrians along the sidewalk. However, a double row of street trees has been proposed to provide shade from the sun.*

4.4 Land Use-Specific Design Considerations

- Bicycle parking and end-of-trip facilities must be provided: *Consideration to be given to provide a shower/locker room for employees as the applicant has indicated that the employees will be encouraged to use alternative means of transportation to maximize parking availability for customer use on site.*

Urban Development - Transportation*

Council has endorsed recommendations of the City Centre North Transit and Transportation Task Force in November 2003, which included a recommendation that "*new developments must provide sufficient parking for their own uses.*" As this application was in process prior to this endorsement, staff are prepared to consider alternative arrangements to facilitate the proposed development. The Transportation Department staff have reviewed the parking study dated October 5, 2003 (draft) and has concern that the proposed parking would not be adequate based on the surveys conducted by the applicant's consultant on similar developments in Richmond. Upon further discussion with the applicant, Transportation Department staff revised the required number of parking spaces should be 76 stalls based on occupancy of 166 people (as per the Building Code analysis).

The applicant has committed to the registration of restrictive covenants, easements and/or leases (between the owners of the proposed development site, the owner(s) of the site(s) providing the additional required off-site parking, noting that the covenant cannot be discharged without the City's consent) to secure permanent parking on adjacent sites. The covenants must be registered before issuance of the building permit. The total number of parking spaces provided is 76.

Building Approvals

Building Department staff requested a detailed code analysis addressing spatial separation, interconnected floor, exiting disabled accessibility, fire alarm, occupant load, etc., as well as clarification on whether the building will have sprinklers. *The applicants have submitted a code analysis. Interconnected floor space will have sprinklers.*

Advisory Design Panel

The Panel supported the project to proceed subject to the above noted comments. The notable objection to the project was the safety issue associated with the roof top deck and the parking level. The key comments of the Panel were as follows:

- Ensure good lighting in the parking areas.
- Provide good visibility to all areas of the lot. Landscaping at the perimeter on Alexandra Road and Sorenson Crescent should not conceal views into, or out of, the lot.
- Glass should be used at the entrances to the stairwells and all stairwell doors and the elevator lobby to allow users to see what is on the other side before they exit or enter the area.
- The third level roof deck has the potential for serious negative activities to occur due to its lack of visibility and surveillance opportunities from interior to exterior. There is only one entrance and exit, which makes the deck an entrapment area. The entire deck is also concealed from all directions: There is no opportunity for natural surveillance. The “night club” atmosphere may encourage that the deck area could be used for illegal drug use, fighting, sexual assault and other abnormal behaviour. Because of the design and location of this deck, it is at a very high risk for serious criminal behaviour to occur.
- The use of English Ivy was not recommended due to its invasive tendencies.
- A change to hardiplank would not be supported due to the less elegant form and the precedent that would be set for future similar projects. Metal panel cladding material was preferred.
- Universal accessibility considerations include the provision of a ramp to the dance floor; separation of accessible washroom/staff change room; provision of door widths in accordance with Building Code; provision of the adequately sized handicapped parking stalls and clarify the number of parking stalls proposed.
- Some Building Code issues required attention.

In general, the applicant has satisfactorily responded to the comments of the Design Panel, except that the roof deck will still be accessible to patrons, and the benches have not been removed.

Analysis

The proposed development is unique in function as a “single purpose” karaoke building. The innovative building form and interior layout allows supervision of the individual rooms from a central location on each of the floors. The exterior of the proposed building is generally of high quality and the retention of the large birch tree on the north side of the site is commendable.

The road and rear yard setback and manoeuvring aisle variances are supportable. There is ample screening to protect the view and privacy of the adjacent residential development to the north afforded by the retention of the birch tree, the existing trees on the adjacent sites and the proposed landscaping along the rear. The front yard relaxation enabled the retention of the birch tree. The manoeuvring aisle reduction varies, with the narrowest one being 20' at the rear of the building. The internal vehicular circulation has been limited to one-way traffic in most part. The smaller aisles have proven adequate in other similar situations.

Parking for karaoke use is not specified in the Zoning By-law. Staff and the applicant have compromised to establish a requirement of 76 spaces to be provided on and off site. The reduced number of the required parking space is supported partially in consideration that the Zoning By-law does not cover karaoke use and thus leaves the parking requirement up to interpretation. The most comparable uses to karaoke are food catering establishment, which requires 10 spaces for each 100 sq. m. (1,076.43 sq. ft) and commercial, which requires 3 spaces for each 100 sq. m. (1,076.43 sq. ft.). Based on these uses, the parking requirement for the proposed development lies somewhere between 89 and 36 spaces. The applicant has demonstrated the intent to register the necessary restrictive covenants, easements and or leases to secure the additional parking spaces off site. In addition, staff support an increase of the on-site small car ratio from 30% to 48% in consideration of the physical constraints of the building footprint and location of the structural columns and elements of the proposed building. The off-site parking conforms to the small-car ratio requirement of the Zoning By-law.

The Design Panel had some specific concerns about surveillance of the roof deck that has not been fully addressed by the applicant.

Conclusions

Staff recommend that the Development Permit Panel approve this development application subject to compliance with the Design Panel recommendations to minimize opportunities for crime nuisance to the residents to the north and maximize personal safety for the patrons.



Cecilia Achiam
Urban Design Planner

AJ1/CA:ajl

There are conditions to be met prior to forwarding this application to Council:

- A Letter of Credit for landscaping will be required.

Prior to issuance of the Building Permit:

- The developer is to enter into the City's standard Servicing Agreement to design and construct beautification frontage works along Alexandra Road.
- Fences must be erected around all retained trees (including street trees).
- Covenant prohibiting the building from being used as a restaurant unless additional parking is provided as per the bylaw, and
- Registration of restrictive covenant, easement and/or lease for off-site parking to ensure a total provision of 76 parking spaces including 45 spaces on site and 31 off site. (Note: The off-site parking restrictive covenant cannot be discharged without consent from the City of Richmond).



No. DP 03-244883

To the Holder: JAMES LEE, ARCHITECT

Property Address: 8711 ALEXANDRA ROAD

Address: C/O 1728 WEST 58TH AVENUE
VANCOUVER, BC V6P 1W9

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning and Development Bylaw No. 5300" is hereby varied or supplemented as follows:
 - a) The dimension and siting of buildings and structures on the land shall be generally in accordance with Plan #1a-1b attached hereto.
 - b) The siting and design of off-street parking and loading facilities shall be generally in accordance with Plan #1b & 2 attached hereto.
 - c) Landscaping and screening shall be provided around the different uses generally in accordance with the standards shown on Plan #3 attached hereto.
 - d) Roads and parking areas shall be paved in accordance with the standards shown on Plan #1b attached hereto.
 - e) Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
 - f) Subject to Section 692 of the Local Government Act, R.S.B.C., the building shall be constructed generally in accordance with Plans 4 - 6 attached hereto.
4. As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that the landscaping is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder, or should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived. If the existing tree that has been identified for retention dies as a result of construction activity, the City may cash the Letter of Credit for the value of the tree or request replanting as appropriate.

Development Permit

No. DP 03-244883

To the Holder: JAMES LEE, ARCHITECT
Property Address: 8711 ALEXANDRA ROAD
Address: 1728 WEST 58TH AVENUE
VANCOUVER, BC V6P 1W9

There is filed accordingly:

An Irrevocable Letter of Credit in the amount of \$11,538 for the site landscape construction.

- 5. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.
- 6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

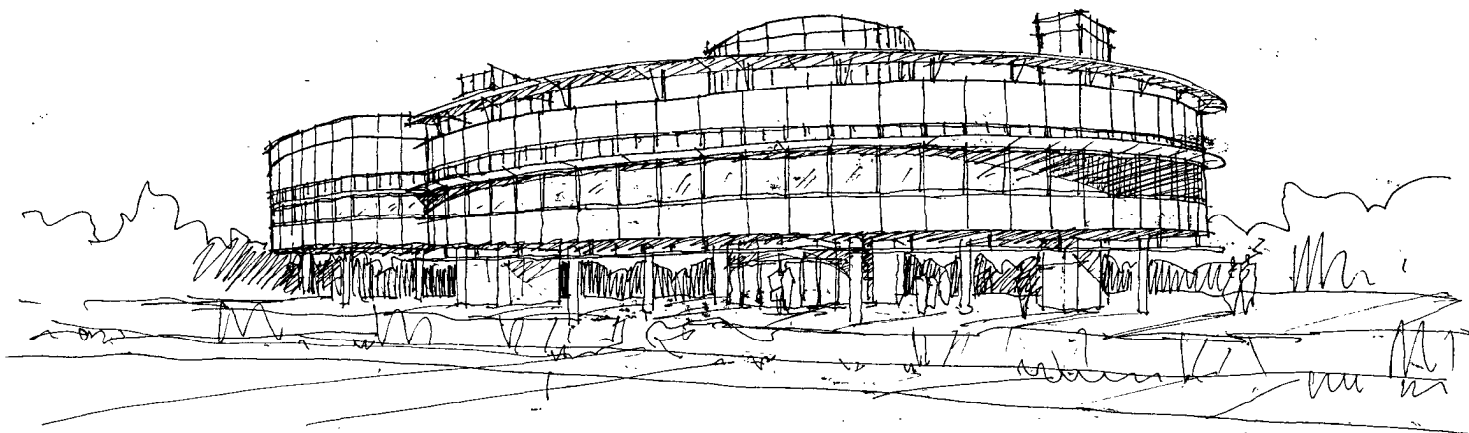
This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF

ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

MAYOR



REVISED KARAOKE PROJECT. MAY 13, 2003
JWA ARCHITECTURE

REFERENCE

The Drawing is an arrangement of services and shall remain the property of JLA Architecture and the consultant named herein. Construction must comply with all requirements on site and report any discrepancies to the architect before proceeding, with the work. Drawings are not to be used.

RECEIVED
MAY 27 2004

BY:

JUN 30 2004
03244883

JLA
Architecture
173 West 106 Avenue
Vancouver B.C. Canada V6P 1A9
Tel: 1-604-261-1733
Fax: 1-604-261-1734
Web: www.jla-architecture.com
e-mail: jla@jla-architecture.com

Project Name
KARAOKE

Richmond, B.C.

Drawing
FRONT PAGE

Date: Drawing No:
Issued: Dec 15, 2003
Drawn: G Sun **A-0**
Checked: J Lee
Job No: Rev No:

Proposed Karaoke Building

History:

The owner of this purposely-built, single use, steel and concrete structure, is an experienced operator of Karaoke clubs. He is, at present, the owner of Red Music Karaoke Bar which is located just 100 feet away. His intention is to build the best Karaoke club in the Lower Mainland. In order to fulfill his dream, he understands that he needs to build his own building instead of renting and modifying an existing commercial building. Thus he has retained JLA Architecture, together with Jones Kwong Kishi, Structural Engineers and Phillips Farevaag Smallegen, Landscape architects to be his consultants for this project.

Requirements:

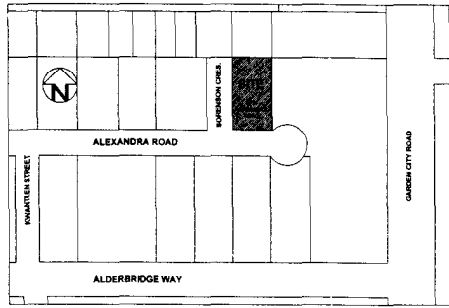
The requirement of the owner is very simple. He wants an exciting, dynamic building that can be divided into two parts, both are for Karaoke singing. There is a larger side that accommodates approximately 30 Karaoke rooms of various sizes. On the other side is a smaller club that has only two Karaoke rooms with a small stage in the centre. They both share the same washrooms, lobby, stairwells and a small kitchen that serves finger food. There is also a requirement for some staff and office space etc. The smaller, membership only, club is catered to adults only where liquor is to be served, providing a liquor license can be obtained. The larger side is for the general public where only non-alcoholic beverage will be served.

The requirements of the City of Richmond are more onerous. Due to their experience of dealing with Karaoke clubs, the city requires that the karaoke rooms has to be opened to the common area and has at least 50% of the wall facing the common area installed with transparent glass. Lack of parking is also a concern for the city officials. Other issues are the typical zoning and building codes requirements which are easier to comply.

Solution:

In order to fulfill the requirement of the owner and the City, we have designed a two storey building with parking taking over the entire ground floor area except for some trees that we have retained on site and in the surrounding area. As for the openness issue for the karaoke rooms, we solved the issue by creating fan-shaped area so that all rooms can be monitored in the common area on both floors. All the karaoke rooms have openable windows for ventilation besides central air-conditioning.

KEY PLAN



PROJECT DATA

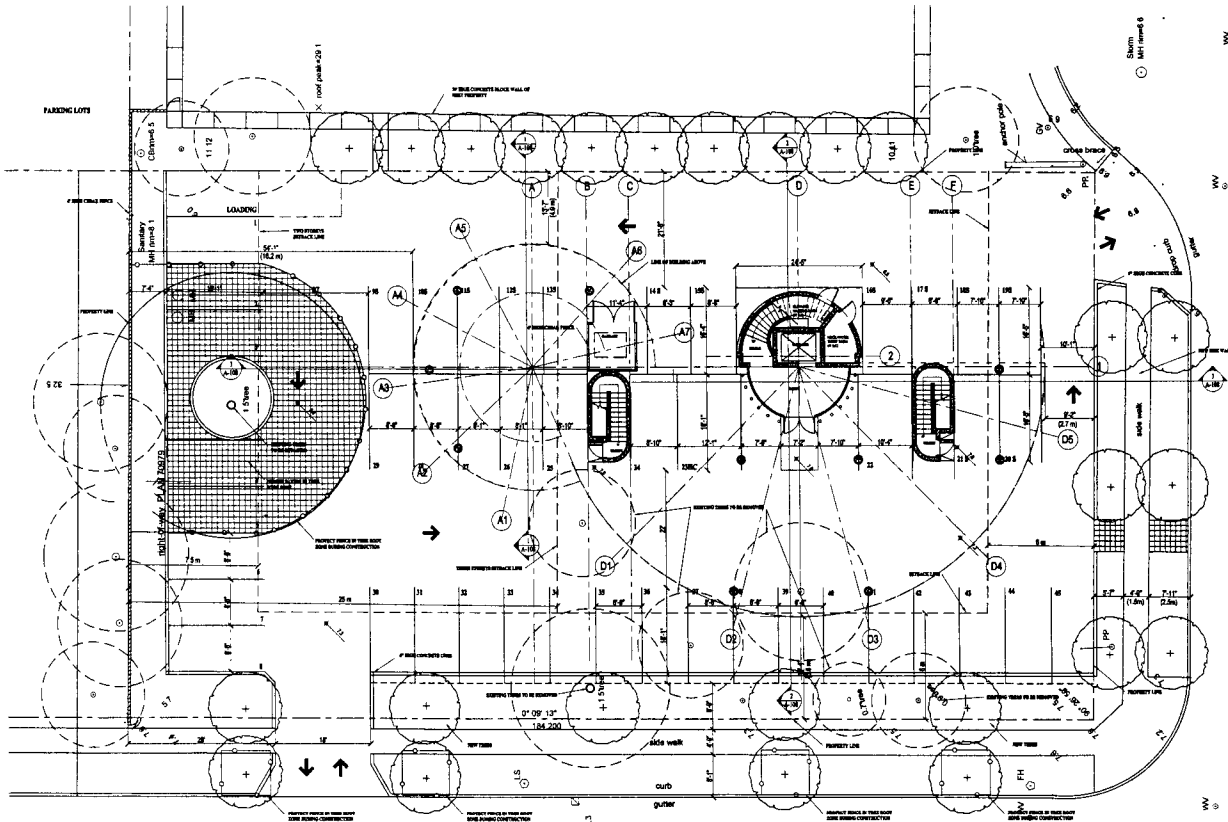
Address: 8711 Alexandra Rd., Richmond, B.C. Canada
Legal Description: Lot 27 Except North 120 Feet Section 33 Block 5 North Range 6 West Plan 6979 N.W.D.
Zoning: Automobile - Oriented Commercial District (C6)

	Permitted	Proposed
Uses:		Karaoke Box
Height:	39.370 ft.	36 ft.
Lot Area:	18958 s.f.	
Ground Floor:		577 s.f.
Second Floor:		5192 s.f.
Total Floor Area:		5769 s.f.
Floor Area Ratio:	0.5 = 9479 s.f.	
Lot Coverage:	50%	30%
Parking:		45 Cars 1 Loading

LIST OF DRAWING

- A-0 FRONT PAGE
- A-101 SITE PLAN
- A-102 GROUND FLOOR PLAN
- A-103 SECOND FLOOR PLAN
- A-105 ROOF PLAN
- A-106 BUILDING ELEVATIONS
- A-107 BUILDING ELEVATIONS
- A-108 BUILDING SECTIONS
- A-109 CONTEXT PLAN
- L-1 LANDSCAPE PLAN

#1a

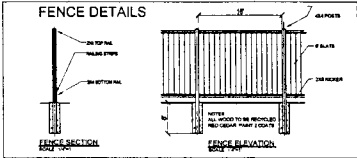


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8711 ALEXANDRA Rd.

JUN 30 2004
03244883



SORENSEN Cres.

16

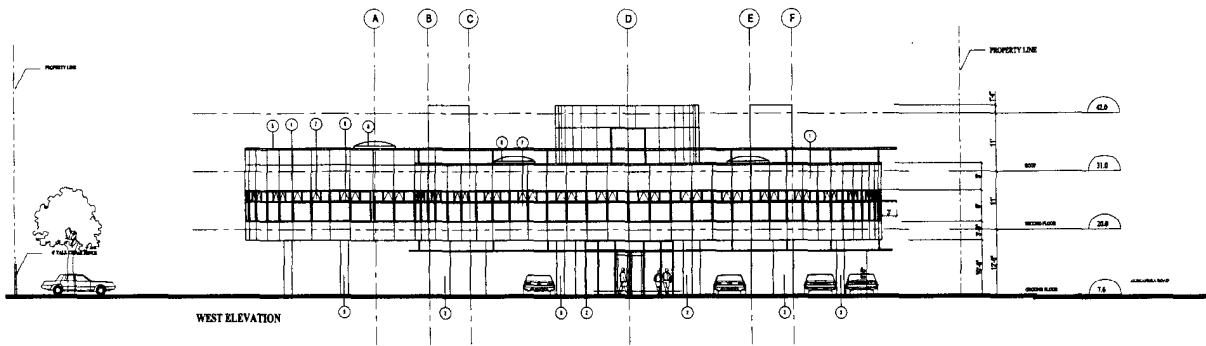
JLA
178 West 9th Avenue
Richmond, B.C. Canada V6V 1V9
Tel: (604) 273-1778
Fax: (604) 273-1779
Cell: (604) 273-1778
e-mail: jla@jlaarchitects.com

Project Name: **KARAOKE**
Richmond, B.C.

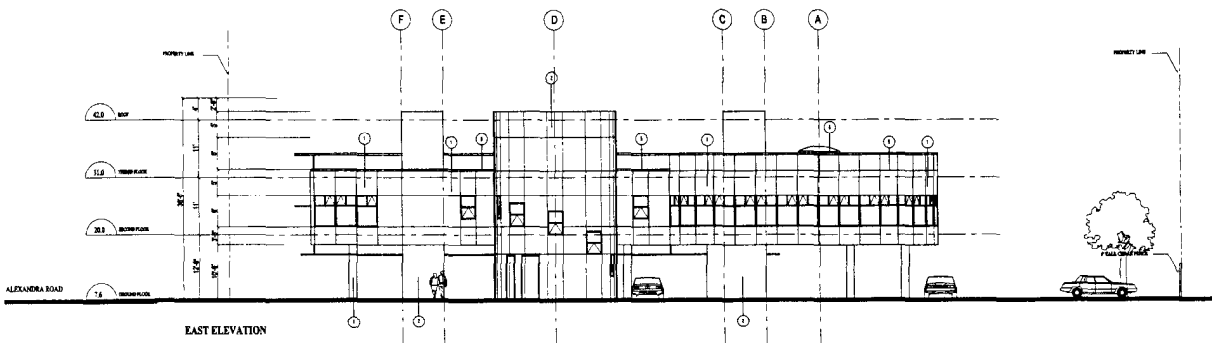
Drawing
SITE PLAN

Scale: 1/8" = 1'-0" Drawing No:
Printed: Aug 14, 2003
Drawn: G. Day **A-101**
Checked: J. Lee
Job No: Rev. No:

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LEGEND	
①	PREFABRICATED METAL CLADDING
②	PAINTED CONCRETE WALL
③	PAINTED CONCRETE COLUMN
④	PREFABRICATED METAL ROOF
⑤	PREFABRICATED METAL PLUMBING
⑥	ARTIFICIAL PANEL ALUMINUM
⑦	DOUBLE GLAZED WINDOW
⑧	WALKWAY



JLA
 1700 West 20th Street
 Vancouver, B.C. Canada V6J 1P9
 Tel: 604-275-1178
 Fax: 604-275-1179
 www.jlaarchitects.com

Project Name:
KARAOKE
 Richmond, B.C.

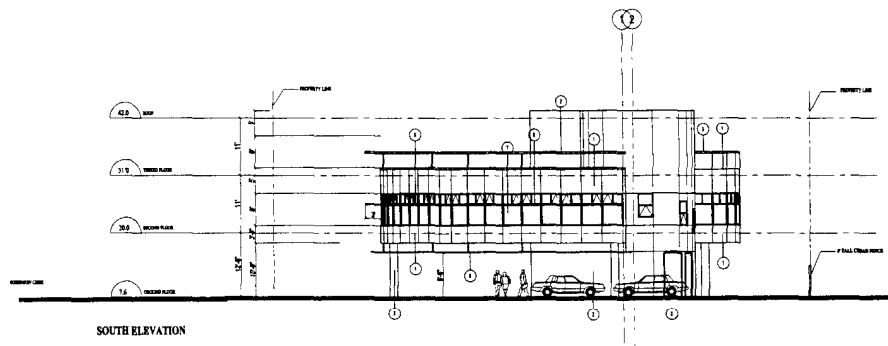
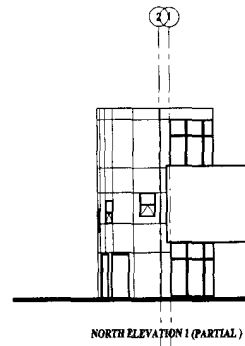
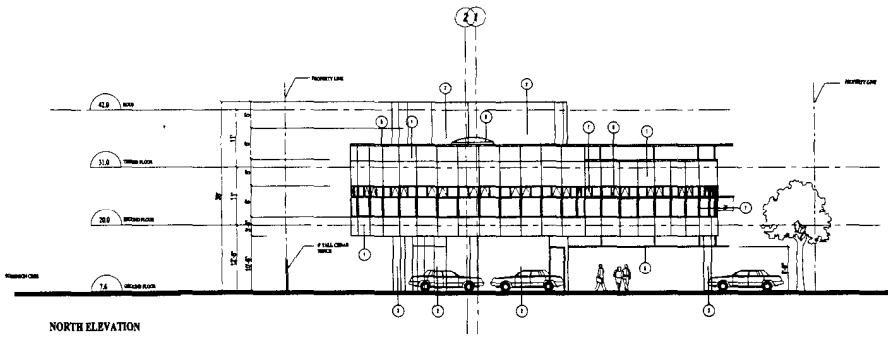
Drawing
BUILDING ELEVATIONS

Scale: 1/8" = 1'-0"	Drawing No:
Issue: Aug. 11, 2004	A-106
Drawn: G. Day	
Checked: J. Lee	
APP No:	Rev No:

JUN 30 2004
03244883 #A

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LEGEND	
○	PREPARED METAL CLADDING
○	PAINTED CONCRETE WALL
○	PAINTED CONCRETE COLUMN
○	PREPARED METAL ROOF
○	PREPARED METAL FLOORING
○	ACRYLIC PANEL FINISH
○	DOUBLE GLAZED WINDOW
○	DOOR



JLA
 Architecture
 178 West 20th Avenue
 Vancouver, B.C. Canada V6P 1P1
 Tel: 604-271-1776
 Fax: 604-271-1778
 Cell: 604-271-1779
 Email: jla@jlaarch.com

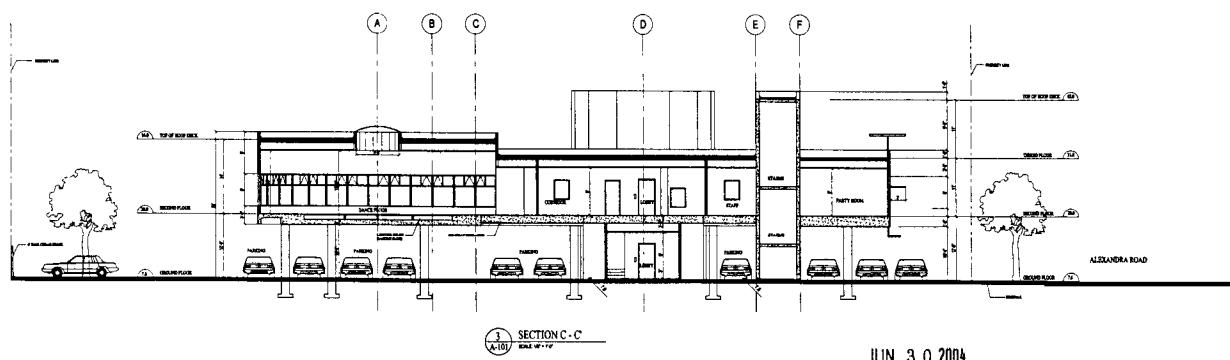
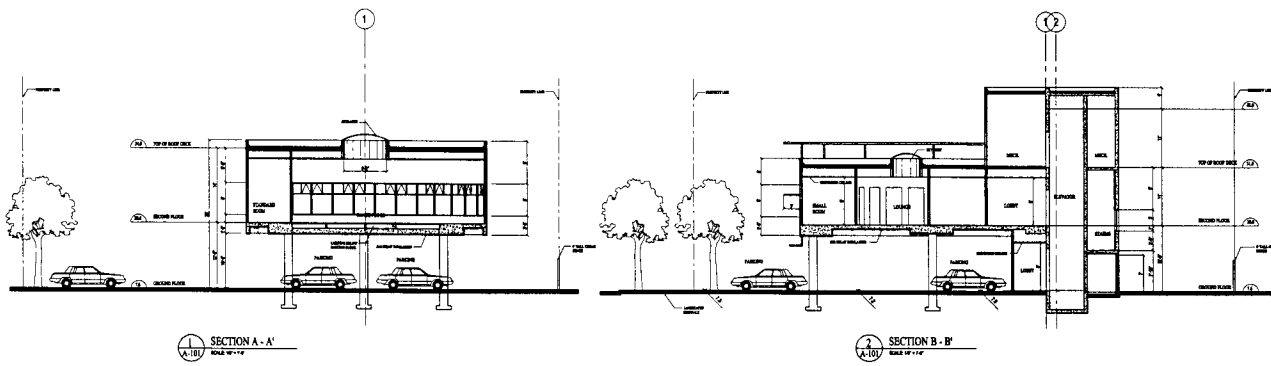
Project Name:
KARAOKE
 Richmond, B.C.

JUN 30 2004
 03244883

#5

BUILDING ELEVATIONS	
Scale: 1/8" = 1'-0"	Drawing No.
Project: Aug. 11, 2003	A-107
Drawn: G. Sim	
Checked: J. Lee	
Scale: 1/8" = 1'-0"	Rev. No.

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ELEVATIONS ARE TO RICHMOND DATUM AND ARE REFERRED TO FIRE HYDRANT #3-N LOCATED NORTH SIDE ALEXANDRA RD AT E.P.N. OF #111 P.V. ROAD SIDE NET ELEVATION 2066 (7.24 FEET)

JUN 30 2004
03244883 #6

JJA
Architect

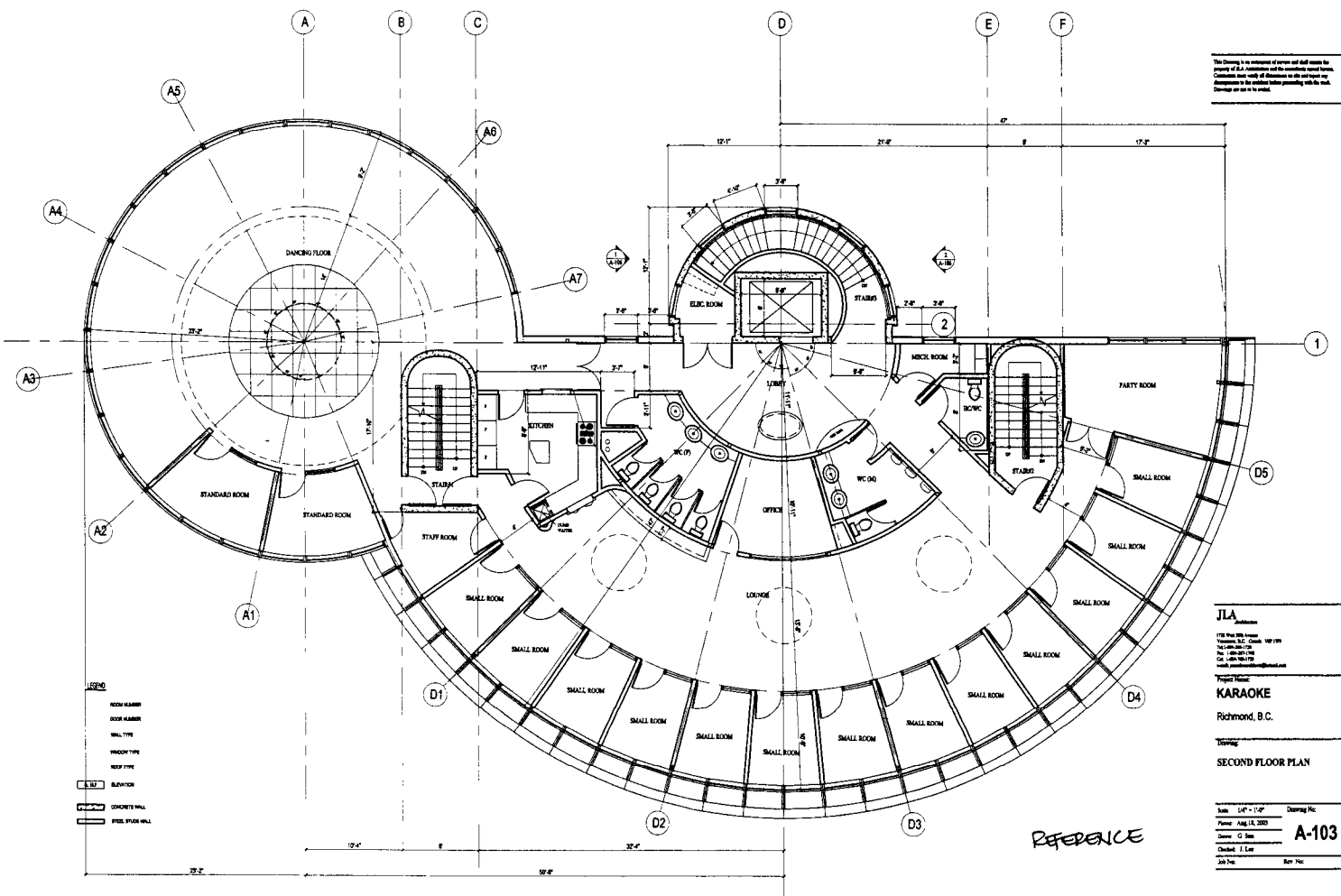
1700 Pine Hill Avenue
Richmond, B.C. Canada V6V 1P9
Tel: (604) 271-1122
Fax: (604) 271-1122
Cell: (604) 993-1700
Email: jja@jjaarchitect.com

Project Name:
KARAOKE
Richmond, B.C.

Building Sections

Scale: 1/4" = 1'-0" Drawing No:
Printed: Dec 15, 2003 **A-108**
Drawn: G. Sun
Checked: J. Lee
Job No: Rev. No:

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J.L.A.
 1725 THE 990 AVENUE
 RICHMOND, B.C. CANADA V6V 1P9
 TEL: (604) 276-1120
 FAX: (604) 276-1121
 CELL: (604) 276-1122
 EMAIL: jla@jlaarchitects.com

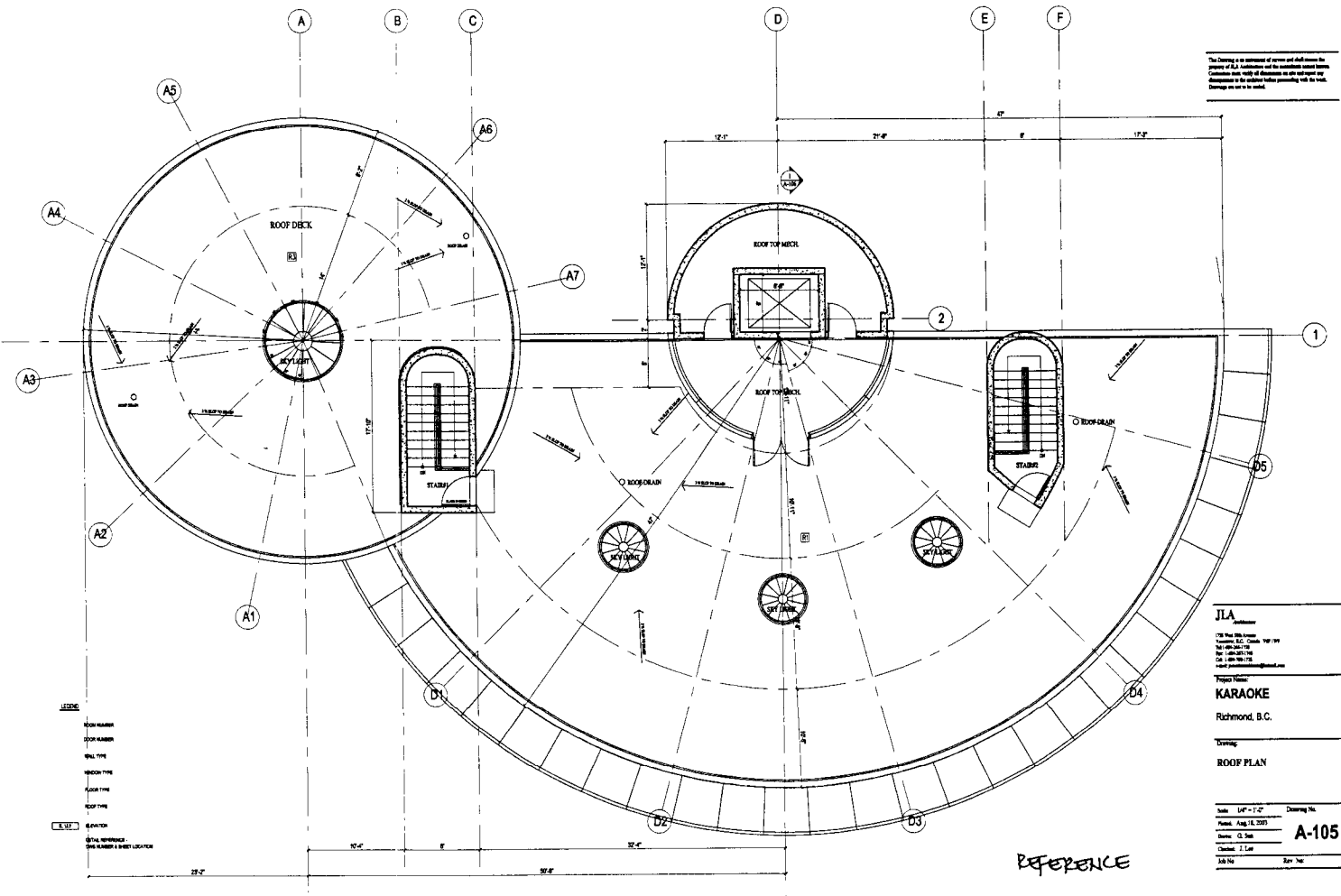
Project Name:
KARAOKE
 Richmond, B.C.

Issuing:
SECOND FLOOR PLAN

Scale: 1/4" = 1'-0" Drawing No:
 Date: AUG 15, 2020 Rev No:
 Designer: G. Sim **A-103**
 Checker: J. Lee
 Job No: Rev No:

REFERENCE

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REFERENCE

JLA
 178 West 5th Avenue
 Vancouver, B.C. Canada V6P 1W9
 Tel: (604) 681-1776
 Fax: (604) 681-1776
 Cell: (604) 681-1776
 E-mail: jla@jla-architect.com

Project Name
KARAOKE
 Richmond, B.C.

Drawing
ROOF PLAN

Scale: 1/4" = 1'-0" Drawing No.
 Date: Aug 14, 2001
 Drawn: G. Sun
 Checked: J. Lee
 Job No. _____ Rev. No. _____

A-105