



City of Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: December 16, 2013

From: Wayne Craig
Director of Development

File: DP 13-634111

Re: Application by Integra Architecture Inc. for a Development Permit at 6511
Buswell Street

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of a 15-storey mixed use (residential/commercial) tower at 6511 Buswell Street on a site zoned "Downtown Commercial (CDT1)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - a) Reduce the residential parking rate from the standard City-wide parking rate to the City Centre Zone 1 parking rate.



Wayne Craig
Director of Development

WC:bg

Staff Report

Origin

Integra Architecture Inc., has applied to the City of Richmond on behalf of Majorca International Investments Ltd., for permission to develop a 15-storey mixed use (residential/commercial) tower at 6511 Buswell Street on a site zoned “Downtown Commercial (CDT1)”. There is an existing 1-storey building with rooftop parking on the site, which includes Legend’s Pub as one of the tenants. No rezoning is required.

A separate Servicing Agreement (SA) is required for utility upgrades, service connections and frontage improvements, which has been agreed to by the owner/developer. See the attached Development Permit Considerations for a general description of the SA scope of work.

Development Information

Please refer to attached Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the north, across Cook Road is a 3-storey commercial building located at 8171 Cook Road with “Downtown Commercial (CDT1)” zoning and designated Urban Core T6 (45m) in the City Centre Area Plan (CCAP) within the Brighthouse Village;
- To the east, across Buswell Street is an older 3-storey apartment building over parking located at 6560 Buswell Street with (RAM1) zoning and designated Urban Centre T5 (25m) according to the CCAP within the Brighthouse Village;
- To the south, across the existing 6 m wide lane is a surface parking lot and a older 2-storey commercial building located at 8091 Park Road with “Downtown Commercial (CDT1)” zoning and designated Urban Core T6 (45m) eligible for the Village Centre bonus according to the CCAP within the Brighthouse Village; and
- To the west, on the adjacent lot is an older 1-storey commercial building located at 8160 Cook Road with “Downtown Commercial (CDT1)” zoning and designated Urban Core T6 (45m) according to the CCAP within the Brighthouse Village.

Staff Comments

The proposed development scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the Development Permit application review process. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the policies and design guidelines in the Official Community Plan (OCP) Schedule 2 – City Centre Area Plan (CCAP) – Brighthouse Village. Zoning variances are required as noted below.

Zoning Compliance/Variations (staff comments in **bold**)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- a) Reduce the residential parking rate from the standard City-wide parking rate to the City Centre Zone 1 parking rate.

Staff supports the proposed parking variance since this site is located within the City Centre Zone 1 area due to proximity to the Canada Line therefore the variance would be consistent with Zone 1 parking rate and as the owner/developer has agreed to provide:

- 1. Five (5) affordable housing units, to the approval of the City; and***
- 2. Various measures that support Transit-Oriented Development (TOD) including:***
 - a) Upgrade of the existing signal at the Cook Road and Buswell Street intersection to include the following:***
 - APS (Accessible Pedestrian Signals) and illuminated street name signs; and***
 - The provision of three (3) benches (one) 1 on Cook Road and two (2) on Buswell Street near existing bus stops).***
 - b) Provision of a continuous canopy attached to building along Buswell Street in lieu of a \$25,000 contribution towards a bus shelter for the bus stop on Buswell Street.***

Advisory Design Panel Comments

The Advisory Design Panel was supportive of this development proposal. A copy of the relevant excerpt from the Advisory Design Panel Minutes from November 6, 2013 is attached for reference (**Attachment 2**). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '***bold italics***'.

Analysis

Land Dedications & Statutory Right of Ways (SRW's)

- A. Land Dedications: The owner/developer has agreed to assume all costs associated with the dedication of two City owned lots that will formalize the Buswell Street road right-of-way.
- B. Statutory Right of Ways (SRW's)
1. This development proposal includes the following SRW's along Cook Road:
 - a. A 4.20m wide Statutory Right of Way (SRW) along the entire Cook Road frontage for road, utility and sidewalk purposes; and
 - b. A 4m x 4m corner cut as a Statutory Right of Way (SRW) at the Cook/Buswell intersection for road, utility and frontage upgrade purposes.
 2. The development proposal also includes the following SRW's along Buswell Street:
 - a. A 1.1m wide Statutory Right of Way (SRW) along the entire Buswell Street frontage for road, utility and frontage upgrade purposes;
 - b. A 3m x 3m corner cut as a Statutory Right of Way (SRW) at the Buswell Street and lane intersection for road, utility frontage upgrade purposes.
 3. The development proposal also includes the following SRW's along the lane:
 - a) A 3.0m wide land dedication along the entire south property line adjacent to the lane for road, utility and frontage upgrades.

Conditions of Adjacency

- To the North: The reduced building setback from 6.0 m to 4.69 m is consistent with the Zoning Bylaw 8500, Section 9.3.6 since an acceptable streetscape interface has been proposed. There are no issues with existing development on the north side of Cook Road.
- To the East: The reduced building setback from 6.0 m to 3.0 m is consistent with the Zoning Bylaw 8500, Section 9.3.6 since an acceptable streetscape interface has been proposed. There are no issues with existing development on the east side of Buswell Street.
- To the South: The owner/developer has agreed to provide the requested SRW noted above to facilitate parallel load operations along the lane. Temporary lane lighting will be provided by private wall mounted lights until the property to the south is redeveloped. This will provide manoeuvring flexibility for loading vehicles servicing the subject site. There are no issues with existing development on the south side of the lane.
- To the West: The owner/developer has provided verification to substantiate the discharge of a legal agreement registered on title requiring the owner/developer of the subject site to provide 16 parking spaces for nearby site. The owner/developer has also submitted proof that the neighbouring 3 properties to the west are controlled by the same owner(s) and has demonstrated with a schematic redevelopment scenario that the proposed development of the subject site does not preclude the future redevelopment of the neighbouring 3 properties. In addition, the applicant proposes interim facade enhancements to the exposed west wall of the parkade, which will improve the visual appearance of the proposed parkade until redevelopment occurs on the neighbouring lots.

Urban Design and Site Planning

1. **Urban Design:** The proposed design responds to the existing and anticipated urban fabric surrounding the site with a continuous streetwall and a slender tower design, which results in a minimal amount of shading and minimal impacts on the views for neighbouring properties. The stepped building massing at the podium level allows flexibility for the adjacent site to redevelop with either a 2 or 3-storey parkade and the terraced rooftop design provides variety for the City skyline.
2. **Site Planning:** The design proposal for this narrow site provides all requested land dedications and SRW's and achieves a streetscape design that incorporates generous sidewalk widths with fronting uses that will help to active the street including appropriate pedestrian amenities. The commercial-retail units (CRU's) at-grade will help to active the street and the streetscape design includes pedestrian and transit amenities.
3. **Public Art:** The owner/developer prefers to make a financial contribution of approximately \$55,902 based on the applicable rates in the Public Art Policy to the City's public art reserve rather than a public art installation integrated with the proposed built form or as a stand-alone public art installation along the street. See the Development Permit considerations for the details.

Architectural Form and Character

1. **Built Form Massing:** The slender tower element represents a unusual built form massing for the City Centre and is a welcome departure from the typical square and squat towers in the City Centre. The tower element is set back from the Cook/Buswell intersection, which provides an opportunity to stagger the placement of future towers along Cook Road. This in turn allows the adjacent consolidated sites to achieve the maximum allowable density outlined in the CCAP and still comply with the minimum required tower separation. This design approach would also preserve maximum views from all towers (existing and future) as well as permit maximum sunlight penetration to the street below.
2. **Architectural Character:**
 - a) **Podium Design:** The proposed white metal banding that frames the podium accentuates the separation between the parking structure and the tower. The cantilevered spandrel elements at the intersection above the corner plaza add visual interest and drama to this relatively small pedestrian space. Facade improvements have been proposed for the west wall of the parking podium including concrete reveals and two different colours of paint.
 - b) **Tower Design:** The design of the tower is a combination of overlapping vertical and horizontal elements consisting of metal fins, louvers, screens and thin concrete slab extensions that create an interesting visual treatment of the tower facades. The elevator core is proposed along the exterior wall facing Buswell Street, which creates a strong vertical element that breaks the expansive glass wall system on this facade and contributes to the streetscape character. Facade enhancements to the previously blank wall of the elevator core along Buswell Street include textured concrete stucco or concrete panels and a coloured dark charcoal consistent with the proposed metal screens. The thin concrete floor slab balcony extensions create a rhythm of contrasting horizontal lines that balance the vertical lines of tower. The proposed clear glass guard railings and metal fins further help to accentuate the contemporary architectural character.
3. **Indoor Amenities:** The proposed design includes approximately 111m² (1,201 ft²) of indoor amenity space, which exceeds the minimum 100m² (1,076 ft²) requirement of the OCP. The indoor amenity space consisting of 2 separate but adjacent common use rooms including a gym room and a lounge/entertainment room. The lounge room incorporates a kitchen area and opens onto the podium roof deck with a complementary outdoor patio and seating area under a trellis structure with an adjacent children's play area.

Landscape Design and Open Space Design

1. **Streetscape Design:** Wide boulevards are proposed despite the narrow site, (i.e., 6.6 m wide along Cook Road and 5.6 m wide along Buswell Street) including the minimum 2.0 m wide sidewalks clear of any obstructions along both road frontages. The design features pedestrian amenities for the adjacent bus stop including weather protection via a continuous building canopy and 2 benches along Buswell Street. The proposal also includes decorative street lighting and boulevard paving that consists of standard City Centre concrete sidewalk panels in combination with exposed aggregate banding. The street tree planting is proposed at larger than the minimum sizes required at the time of planting (10 cm versus 7 cm caliper) and the laneway design incorporates a wider, reinforced concrete sidewalk and shared loading area on the north side of the lane with interim lighting attached to the building.

2. At-Grade Pedestrian Plazas: The proposed site plan features two relatively small, pedestrian plaza areas including:
 - a recessed corner plaza with a seating plinth that doubles as a small performance area; and
 - a small recessed space adjacent to the lobby area, which helps to separate the residential and commercial uses, to identify the residential entry and to create a more gracious sequence of arrival and entry to the residential lobby.
3. Parkade Rooftop Design: The proposed landscape design of the parking structure roof deck includes private outdoor patio use for the residential units on level 4 as well as two large outdoor patio areas for common use connected via a narrow walkway along the west edge of the roof deck. The outdoor patio area on the north side of the tower is proposed as a complementary space to the adjacent indoor amenity room while the other patio area on the south side of the parkade roof deck proposes raised planting beds for gardening, a fire pit and seating area, a small putting green, a bosque of trees in raised planters as well as a second children's play area.

Affordable and Accessible Housing

Accessible Housing:

1. All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
 - stairwell hand rails;
 - lever-type handles for plumbing fixtures and door handles; and
 - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.
2. The proposed development includes the following provision for accessibility:

Accessible Units	Intent	Proposed Unit Accessibility	Notes
Basic Universal Housing Units (BUHU's)	designed to be easily renovated to accommodate a future resident in a wheelchair	70 of 70	Each BUHU is permitted a density exclusion of 1.86 m ² (20 ft ²) per unit. Each unit must comply with all Richmond Zoning Bylaw requirements to be eligible for the density exclusion.
Age-in-Place Units (AIPU's)	to accommodate mobility constraints associated with aging	70 of 70 units	Not required but strongly encouraged for all single level apartment units including lever-type handles for plumbing fixtures/door handles and solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Affordable Housing:

1. The owner/developer has agreed to provide five (5) affordable housing units, to the approval of the City according to the following schedule:

Unit Number	Unit Type	No. of Units	Unit Area	Minimum Unit Area	Maximum Monthly Unit Rent**	Total Maximum Household Income**
AFHU 1 Level 2	1 Bedroom	1	707 ft ²	535 ft ²	\$950.00/month	\$38,000 or less
AFHU 2 Level 2	1 Bedroom	1	685 ft ²	535 ft ²	\$950.00/month	\$38,000 or less
AFHU 1 Level 3	1 Bedroom	1	707 ft ²	535 ft ²	\$950.00/month	\$38,000 or less
AFHU 2 Level 3	1 Bedroom	1	685 ft ²	535 ft ²	\$950.00/month	\$38,000 or less
AFHU B Level 5	2 Bedroom	1	853 ft ²	860 ft ²	\$1,162.00/month	\$46,500 or less
		5	3,637 ft ²			

2. The proposed affordable housing units on levels 2 and 3 have unusual linear layouts but provide larger than the minimum floor space. There is also parking on levels 2 and 3 but the affordable housing unit are sufficiently separated and buffered from the parking areas. These affordable housing units would be accessed directly from the main elevator core and are supported by staff.

Transportation and Traffic

1. The proposed development includes the requested land dedications, SRW's and frontage improvements. See the Development Permit Considerations for the details.
2. The proposed development incorporates the following Transit-Oriented Development (TOD) measures:
 - a) An upgrade of the existing traffic signals at the Cook Road and Buswell Street intersection including:
 - APS (Accessible Pedestrian Signals) and illuminated street name signs; and
 - A minimum of three (3) benches, one (1) along Cook Road and two (2) along Buswell Street near the bus stop in lieu of three (3) separate SRW's for the placement of benches along the two fronting streets.
 - b) A continuous canopy attached to the building along Buswell Street in lieu of a cash contribution in the amount of \$25,000.00 towards a bus shelter for the bus stop on Buswell Street.
3. Loading: The proposed development includes two shared, medium sized (SU9) loading bays, which meet the minimum requirements with one perpendicular to the lane in the building and one parallel to the lane that would straddle the property line but would permit two standard sized passenger vehicles to pass simultaneously during loading operations.

4. Parking: The proposed development includes the following provisions for parking:

Land Use	Required Parking	Parking Reduction	Proposed Parking Provided
Residential Housing Spaces (65 Units)	65 spaces (1 space/unit)	65 spaces (no reduction)	91 spaces
Residential Housing (5 Affordable Units)	5 spaces (0.9 spaces/unit)	5 spaces (no reduction)	
Residential Visitor Spaces	14 spaces (0.2 spaces/unit)	28 – 7 = 21 spaces (based on shared spaces and provision of a parking covenant)	
Commercial Spaces	14 spaces (3.75 spaces/100m²)		
Total Spaces	98 spaces	91 spaces	
Small Car Stalls	max. 50%	(max. 45 spaces)	29
Accessible Parking Stalls	min. 2%	(min. 2 spaces)	2
Residential Class 1 Bike Parking	88 (1.25 stalls/resi.unit)	88 (provided in parkade)	88
Residential Class 2 Bike Parking	14 (0.2 stalls/resi. unit)	14 bike racks (provided on-street)	14
Commercial Class 1 Bike Parking	1 (0.27 spaces/100m²)	1 (provided in parkade)	1
Commercial Class 2 Bike Parking	1 (0.4 space/100m²)	1 (provided in parkade)	1
Loading Spaces	2 medium (SU9) spaces	-	2 shared medium spaces (SU9)

Note: A parking variance is required but supported based on the provision of affordable housing.

5. The proposed development also includes traffic signal modifications required at the sole cost of the owner/developer including but not limited to:
- Traffic pole/base relocations along the frontage of the development;
 - Junction box/conduit relocations;
 - Associated traffic signal cables/conductors and vehicle detector loops; and
 - Traffic signal modification design drawings if required and identified during the SA process.

Engineering and Servicing

1. All requested frontage improvements and utility upgrades are included in the SA requirements.
2. District Energy Utility (DEU): The owner/developer has agreed to the provision of a DEU-ready building including the registration of appropriate legal agreements in the Land Title Office to the approval of the City. See the Development Permit considerations for the details.
3. Supplemental Work: The owner/developer has also agreed to carry out the necessary survey and legal work to ensure the dedication of two (2) City-owned lots as road right-of-ways that formalize the road corridor for Buswell Street. These road dedications are required to facilitate both City and private utility servicing. All costs associated with these land dedications shall be borne by the owner/developer, including but not limited to survey work, preparation of legal plans and filing at the Land Title Office. See the Development Permit considerations for the details.

Sustainability and Crime Prevention Through Environmental Design (CPTED)**Sustainability**

1. The proposed development includes the following sustainability features:
 - a) The site is close to transit, schools, shopping, and services;
 - b) The use of concrete construction for longer-life span;
 - c) The building would be designed to be DEU-ready;
 - d) Electric vehicle charging stations and preducting to expand the availability of plug-ins;
 - e) An efficient building envelope including entry overhangs improving building durability;
 - f) Both active and passive solar design features including balconies, louvers and roof overhangs to provide solar shading and exterior wall assemblies including low E glass to ensure an energy efficient design;
 - g) A balanced mechanical ventilation system;
 - h) All units provided with operable windows and corner units with windows on two sides to encourage passive cooling through cross ventilation;
 - i) A high albedo roof design with light grey patterned 2 ply SBS material on the upper roof;
 - j) A landscaped podium rooftop with planting beds and with garden plots;
 - k) Rainwater collection for watering on roof deck levels; and
 - l) Sustainable fit and finish of the building including energy star appliances, low flow fixtures, low VOC materials and finishes plus reduced allergen carpeting.

CPTED

1. The proposed development includes the following CPTED features:
 - a) Visible or no dead-end corridors in the parkade;
 - b) Parkade lighting and interior walls painted white;
 - c) Overlook to landscape roof deck areas from adjacent residential units;
 - d) Security features in the building lobby to limit access;
 - e) Retail at-grade with secure rear service entries;
 - f) Secured garbage, storage, and bike storage rooms;
 - g) Access control to the parkade via an overhead gate to the parkade for residents; and
 - h) Glazing to vestibule doors and enclosed corridors.

Conclusions

This development proposal provides an appropriate design response for this narrow site. The slender tower presents a welcome deviation from the usual broad based towers typical in Richmond with minimal view obstruction and over shading for surrounding development sites. The proposed built form responds to the surrounding urban fabric with enhanced facade treatments and an appropriate streetscape design. The tower location, which is set back from the corner, suggest a staggered pattern of tower placement on future development sites along Cook Road, which would allow for these consolidated sites to achieve the maximum allowable density. Staff supports this Development Permit application.



Brian Guzzi, MCIP, MCSLA
Senior Planner - Urban Design

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Att:

Attachment 1: Development Application Data Sheet

Attachment 2: Advisory Design Panel Comments and Applicant Responses

Prior to forwarding this application to Council for Development Permit approval, the developer is required to complete the following requirements:

1. Provision of surveys, legal and other work required to dedicate two (2) City-owned lots (identified below) along the Buswell Street for road, utility and frontage upgrade purposes. The dedication of these City-owned lots is required to facilitate City and private utility servicing. All costs associated with these land dedication shall be borne by the owner/developer.
 - a) Northern lot:
PID: 011-212-705
Legal Address: Lot 38, Section 9, Block 4 North, Range 6 West, Plan 7312
 - b) Southern lot:
PID: 010-335-579
Legal Description: Lot 27, Section 9, Block 4 North, Range 6 West, Plan 7312
2. Provision the following Statutory Right of Ways (SRW's) along Cook Road:
 - a) A minimum 4.20m wide Statutory Right-of-Way (SRW) along the entire Cook Road for road, utility and frontage upgrade purposes to be designed and constructed by the owner/developer according Road Functional Plan(s) approved by the Director of Development and the Director of Transportation and maintained by the City;
 - b) A minimum 4m x 4m corner cut Statutory Right-of-Way (SRW) for road, utility and frontage upgrade purposes at the Cook Road and Buswell Street intersection to be designed and constructed by the owner/developer according Road Functional Plan(s) approved by the Director of Development and the Director of Transportation and maintained by the City; and
3. Provision the following Statutory Right of Ways (SRW's) along Buswell Street:

- a) A minimum 1.1m wide Rights of Passage – Right of Way (PROP-ROW) along the entire Buswell Street frontage for road, utility and frontage upgrade purposes to be designed and constructed by the owner/developer according Road Functional Plan(s) approved by the Director of Development and the Director of Transportation and maintained by the City;
 - b) A minimum 3m x 3m corner cut Statutory Right-of-Way (SRW) for road, utility and frontage upgrade purposes at the intersection of Buswell Street and the lane to be designed and constructed by the owner/developer according Road Functional Plan(s) approved by the Director of Development and the Director of Transportation and maintained by the City.
4. Provision the following Statutory Right of Ways (SRW's) along the south property line adjacent to the lane:
 - a) A minimum 3.0m wide Statutory Right-of-Way (SRW) along the entire south property line adjacent to the lane for road, utility and frontage upgrade purposes to be designed and constructed by the owner/developer according Road Functional Plan(s) approved by the Director of Development and the Director of Transportation and maintained by the City.
 5. City acceptance of the developer's offer to voluntarily contribute \$55,902.00 to the City's Public Art Reserve (e.g. total residential floor area or 70,551 ft² x \$0.77/ft² plus total commercial floor area or 3,849 ft² x \$0.41/ft²) in lieu of an on-site public art installation.
 6. Receipt of a landscape Letter of Credit. The amount is based on an updated landscape cost estimate from a BC registered Landscape Architect including a 10% contingency.
 7. Submission of an acoustical and mechanical report and recommendations prepared by an appropriate registered professional, which demonstrates that the interior noise levels and noise mitigation standards comply with the City's Official Community Plan and Noise Bylaw requirements. The standard required for air conditioning systems and their alternatives (e.g. ground source heat pumps, heat exchangers and acoustic ducting) is the ASHRAE 55-2004 "Thermal Environmental Conditions for Human Occupancy" standard and subsequent updates as they may occur. Maximum interior noise levels (decibels) within the dwelling units must achieve CMHC standards follows:

Portions of Dwelling Units	Noise Levels (decibels)
Bedrooms	35 decibels
Living, dining, recreation rooms	40 decibels
Kitchen, bathrooms, hallways, and utility rooms	45 decibels

8. Registration of an Aircraft Noise Sensitive Use Covenant on title in the Land Title Office.
 - a. Registration of a legal agreement on title identifying that the proposed development must be designed and constructed in a manner that mitigates potential aircraft and road noise to the proposed dwelling units. Dwelling units must be designed and constructed to achieve:

- i. CMHC guidelines for interior noise levels as indicated in the chart below:

Portions of Dwelling Units	Noise Levels (decibels)
Bedrooms	35 decibels
Living, dining, recreation rooms	40 decibels
Kitchen, bathrooms, hallways, and utility rooms	45 decibels

- ii. The ASHRAE 55-2004 "Thermal Environmental Conditions for Human Occupancy" standard for interior living spaces.
9. Registration of a flood indemnity covenant on title.
 10. Registration of the City's standard Housing Agreement to secure 5 affordable housing units, the combined habitable floor area of which shall comprise at least 5% of the subject development's total residential building area. Occupants of the affordable housing units subject to the Housing Agreement shall enjoy full and unlimited access to and use of all on-site indoor and outdoor amenity spaces. The terms of the Housing Agreements shall indicate that they apply in perpetuity and provide for the following:

Unit Number	Unit Type	No. of Units	Unit Area	Minimum Unit Area	Maximum Monthly Unit Rent**	Total Maximum Household Income**
AFHU 1 Level 2	1 Bedroom	1	707 ft ²	535 ft ²	\$950.00/month	\$38,000 or less
AFHU 2 Level 2	1 Bedroom	1	685 ft ²	535 ft ²	\$950.00/month	\$38,000 or less
AFHU 1 Level 3	1 Bedroom	1	707 ft ²	535 ft ²	\$950.00/month	\$38,000 or less
AFHU 2 Level 3	1 Bedroom	1	685 ft ²	535 ft ²	\$950.00/month	\$38,000 or less
AFHU B Level 5	2 Bedroom	1	853 ft ²	860 ft ²	\$1,162.00/month	\$46,500 or less
		5	3,637 ft ²			

** May be adjusted periodically as provided for under adopted City policy.

11. Registration of a restrictive covenant and/or alternative legal agreement(s), subject to the approval of the Director of Engineering to secure the owner's/developer's commitment to connect to a District Energy Utility (DEU), which covenant and/or legal agreement(s) will include, at minimum, the following terms and conditions:
 - a) No building permit will be issued for a building on the subject site unless the building is designed with the capability to connect to and be serviced by a DEU and the owner has provided an energy modelling report satisfactory to the Director of Engineering;
 - b) If a DEU is available for connection, no final building inspection permitting occupancy of a building will be granted until the building is connected to the DEU and the owner/developer enters into a Service Provider Agreement on terms and conditions satisfactory to the City and grants or acquires the Statutory Right-of-Way(s) and/or easements necessary for supplying the DEU services to the building;
 - c) If a DEU is not available for connection, no final building inspection permitting occupancy of a building will be granted until:
 - the City receives a professional engineer's certificate stating that the building has the capability to connect to and be serviced by a DEU;
 - the owner/developer enters into a covenant and/or other legal agreement to require that the building connect to a DEU when a DEU is in operation;
 - the owner/developer grants or acquires the Statutory Right-of-Way(s) and/or easements necessary for supplying DEU services to the building; and
 - the owner/developer provides to the City a letter of credit, in an amount satisfactory to the City, for costs associated with acquiring any further Statutory Right of Way(s) and/or easement(s) and preparing and registering legal agreements and other documents required to facilitate the building connecting to a DEU when it is in operation."
12. Registration of an appropriate legal agreement on title in the Land Title Office to ensure that the fourteen (14) shared commercial/residential visitor parking spaces are unassigned. This legal agreement is subject to the approval of the Director of Transportation.
13. Registration of an appropriate legal agreement on title in the Land Title Office to ensure that the two (2) medium sized (SU9) loading spaces are shared between the residential and commercial uses at all times. This legal agreement is subject to the approval of the Director of Transportation.
14. Registration of an appropriate legal agreement on title in the Land Title Office to ensure that the appropriate number of electrical vehicle charging stations are supplied and installed in the proposed parking structure to service the following number of electrical vehicle parking spaces:
 - a) A minimum of 20% of parking stalls to be provided with a 120V receptacle to accommodate electric vehicle charging equipment; and
 - b) An additional 25% of parking stalls to be constructed to accommodate the future installation of electric vehicle charging equipment (e.g. pre-ducted for future wiring).

15. Enter into a Servicing Agreement* for the design and construction of infrastructure upgrades and frontage improvements for the property located at 6511 Buswell Street. Works include, but may not be limited to the following:

A. Infrastructure Upgrades:

a) Drainage Works Servicing:

- i. Storm analysis is not required but the lane drainage from existing manhole STMH6237 (approx. 20m west of the west property line of development site) to existing manhole STMH6248 (Buswell Street) with a length of 56m must be upgraded to a min. 300mm by the developer.
- ii. The development site is to connect to the storm sewer on Cook Road.
- iii. The existing storm sewer along Cook Road and the rear lane is in close proximity to the development site. A geotechnical assessment is required to determine the impact due to site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities; the developer may be required to repair/relocate the existing storm sewer.

b) Water Works Servicing:

- i. Using the OCP Model, there is 182.9 L/s available at 20 psi residual on Cook Rd. Based on your zoning, your site requires a minimum fire flow of 220 L/s. The developer must submit fire flow calculations signed and sealed by a professional engineer based on F.U.S or ISO to confirm that there is adequate available flow to service the site; if the site cannot be serviced, upgrades will be required. The developer is responsible for the under-grounding of the existing private utility pole line and/or the installation of pre-ducting along Cook Road and Buswell Street frontage and the lane, subject to concurrence from the private utility companies. Private utility companies will require rights-of-ways for their equipment (i.e. vistas, kiosks, transformers, etc.) and/or to accommodate the future under-grounding of the overhead lines. The developer is required contact the private utility companies to learn of their requirements.
- ii. The distance from the existing fire hydrant to the southeast corner of the development site is approximately 115m, which exceeds the minimum 75m hydrant spacing required for commercial/industrial/multifamily areas. Since there is no watermain on Buswell Street, the developer's consultant's is responsible to ensure adequate fire hydrants are available. Approval may be required from Richmond Fire Department and the developer's consultant is required to provide written confirmation (signed/sealed).
- iii. The existing watermain along Cook Road is in close proximity to the development site. A geotechnical assessment is required to determine the impact due to site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities; the developer may be required to repair/relocate the existing watermain.

c) Sanitary Works Servicing:

- i. Under the OCP scenario the Richmond Centre Pump Station does not have adequate capacity to service the existing catchment area; the City has proposed to modify the catchment area and re-direct flows from several properties to the Buswell Pump Station. This will require construction new a gravity sanitary system. Each development site will be responsible, at a minimum, for their frontage. The developer is required to provide contribution in the amount of \$122,378.00 (to be deposited into to account 2253-10-000-14913) for future sanitary sewer works within the pump station catchment.
- ii. The development site is to connect to the existing sanitary sewer along the rear lane at the east property line. A new manhole is required on the existing sanitary sewer.
- iii. The existing sanitary sewer along the lane is in close proximity to the development site. A geotechnical assessment is required to determine the impact due to site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities. The developer may be required to repair and/or relocate the existing sanitary sewer if deemed appropriate by the City.

B. Frontage Improvements:

- a) Provision of the following to support Transit-Oriented Development (TOD) in consideration of a parking variance (applying City Centre Zone 1 parking rates):
 - APS (Accessible Pedestrian Signals) and illuminated street name signs;
 - Three (3) benches (1 along the Cook Road frontage and 2 on Buswell Street near the bus stop) instead of SRW's for benches and a bus shelter pad; and
- b) Intersection Upgrades: The off-site improvements to include the design and construction of traffic signal modifications at the sole cost of the owner/developer including but not limited to:
 - Traffic pole/base relocations along the frontage of the development;
 - Junction box/conduit relocations;
 - Associated traffic signal cables/conductors and vehicle detector loops;
 - Traffic signal modification design drawings if required and identified during the SA process.
- c) Cook Road: Design and construct a new, minimum 2m wide City Centre standard sidewalk from the back of the new SRW with the remaining boulevard width to existing south curb of Cook Road to be hard surfaced to the satisfaction of Transportation staff. See the Servicing Agreement design drawing (SA 09-486006) for the recently constructed frontage improvements associated with the mixed-use, high-rise development located at 8160 Park Road. City infrastructure shall be located in the ultimate location(s).
- d) Buswell Street: Design and construct a new, minimum 2m wide City Centre standard sidewalk from the back of the new SRW with the remaining boulevard width to existing west curb of Buswell Street to be a landscaped boulevard. See also Buswell Street frontage details as part of SA 09-486006 for 8160 Park Road.
- e) Lane: Design and construct lane upgrades to City Centre standard with a new 1.5m wide concrete sidewalk and lighting along the north side of the lane.

Prior to Building Permit Issuance, the developer must complete the following requirements:

1. Submission of a Construction Parking and Traffic Management Plan to the Transportation Division. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
2. Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Development Permit process.
3. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Division at 604-276-4285.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner/developer but also as covenants pursuant to Section 219 of the Land Title Act.
- All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.
- The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Signed

Date



City of Richmond

Development Application Data Sheet

Development Applications Division

DP 13-634111

Attachment 1

Address:	6511 Buswell Street			
Applicant:	Integra Architecture Inc.		Owner: Majorca International Investments Ltd.	
Planning Area(s):	City Centre Area Plan – Brighthouse Village			
Floor Area	Gross:	6,912 m ² (74,400 ft ²)	Net:	6,801m ² (73,200 ft ²)

	Existing	Proposed
Site Area	2,117.61 m ² (22,794 ft ²)	same
Land Uses	Commercial	Mixed-Use (commercial/residential)
OCP Designation	Urban Core T6 (45m)	same
Zoning:	Downtown Commercial (CDT1)	same
Number of Units	3 commercial units	6 CRU's & 70 residential units

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	max. 3.0 + 0.1 amenity + 0.15 affordable housing = 3.25 FAR	3.21 FAR	None permitted
Lot Coverage:	max. 90%	79 %	None required
Setback – Cook Road:	min. 6.0 m (may be reduced to 3.0 m)	4.69 m	Variance requested
Setback - Buswell	min. 6.0 m (may be reduced to 3.0 m)	3.0 m	Variance requested
Setback – Side Yard:	min. 0.0 m	0.0 m	None required
Setback – Rear (lane) Yard:	min. 0.0 m	1.5 m	None required
Maximum Height (m):	max. 47 m geodetic	46.9 m	None required
CDT1 Required Off-Street Parking Resident/Commercial/Visitor:	R 102+V 14+C 14 = 130	-	Not applicable based on the provision of 5 units of affordable housing
CCAP – Zone 1 Off-Street Parking Spaces Resident/Commercial/Visitor:	R 70 + V 14 + C 14 = 98	R 70 + V 14 + C 7 = 91	Variance requested based on shared visitor & commercial spaces
Small Car Parking Spaces	Max. 50%	29	None required
Off-street Parking Spaces Accessible:	HC stalls min. 2% of total	2	None required
Commercial Loading Spaces:	2 medium (SU9) spaces	2 shared SU9 spaces	No variance required with legal agreement
Common Indoor Amenity Space:	min 100 m ²	111 m ²	None required
Common Outdoor Amenity Space:	min. 10% of net site area	384 m ²	None required

**Excerpt from the Minutes from
The Design Panel Meeting**

**Wednesday, November 6, 2013 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall**

Item 2. DP 13-634111 – MIXED-USE - RESIDENTIAL & LIMITED COMMERCIAL (70 UNITS)

APPLICANT: INTEGRA ARCHITECTURE INC.

PROPERTY LOCATION: 6511 BUSWELL STREET

Applicant's Presentation

Duane Siegrist, Integra Architecture Inc., and William Harrison, Forma Design Inc., presented the project and answered queries from the Panel on behalf of the applicant.

Panel Discussion

In reply to the written queries from absent Panel members read by the Chair, Mr. Siegrist advised that (i) the project is not aiming for a Leadership in Energy and Environmental Design (LEED) equivalency, and (ii) all units in the project meet universal design guidelines.

Comments from the Panel were as follows:

- overall, the design is well resolved, especially the tower; *---acknowledged*
- the podium is less well resolved; *---acknowledged – refer to the revised applicant landscape drawings*
- context drawings show that the subject site borders on a residential area; look at opportunities for further planting and landscaping; *---acknowledged - – refer to the revised applicant landscape drawings*
- the required Statutory Right of Ways (SRWs) for road purposes, which may reduce the boulevards on the subject site, will negatively impact on the public realm; could potentially reduce the amount of planting on site; *---acknowledged*
- the corner plaza at Buswell Street and Cook Road needs a bigger and bolder gesture; it is a good location for public art which could be incorporated with the architecture of the building; *---acknowledged – refer to the revised applicant landscape drawings for the revised design*
- transition at the podium corners is abrupt; *---note that there is no further ability to provide further setbacks; we do not see this as a negative impact*

- parkade wall on the west side appears blank; consider further treatment to create some liveliness; **---concrete reveals have been indicated (refer also to development application applicant response letter)**
- the narrow building is unique in Richmond; **---acknowledged**
- appreciate the building form and character; **---acknowledged**
- good solar shading; spandrel glass will provide insulation; **---acknowledged**
- agree that the corner plaza at Buswell Street and Cook Road needs further design development; look at the proportion of the concrete circular plinth and the space around it; **---acknowledged –per item addressed above and in the development permit response letter (above)**
- programming of activities at the podium is well organized; **---acknowledged**
- soil volume in pots may not be adequate to enable trees to reach their full growth potential; consider a different solution to avoid future maintenance problems; **— refer to the revised applicant landscape drawings for the revised design**
- consider further design development for the raised urban agricultural plots, i.e. better integration -and arrangement; applicant needs to provide a storage shed for urban agriculture; **— refer to the revised applicant landscape drawings for the revised design**
- vertical screens are innovative and interesting; however, consider more appropriate vine species to be incorporated; **— refer to the revised applicant landscape drawings for the revised design**
- appreciate the appearance of the slender building; fits well into the long and narrow site; **---acknowledged**
- the project works well due to its corner location; appreciate the building setback from Cook Road; good resolution not only for this project but also for the other future developments on the block; **---acknowledged**
- vertical fins enhance the slender appearance of the building; gives a unique shape for the building; a welcome addition to the City Centre Area; **---acknowledged**
- appreciate the white metal ribbon wrapping around the podium; provides a welcoming feel to the podium entries; frames the podium well and enhances the separation of the tower from the podium; **---acknowledged**
- lay-out of the affordable housing units is unusual; concern on solar gain, livability, and privacy of the affordable housing units; **---acknowledged –refer to the revised applicant drawings as the façade has been further refined to indicate locations of spandrel glazing and opacity to address this comment**

- the back of the elevator shaft works in an unusual way as it becomes a central theme on the concrete wall façade; applicant needs to clarify the texture on the concrete wall; and ***---acknowledged -(refer also to development application applicant response letter)***
- the applicant is advised to reconsider contributing to the City's public art fund as there are good potential locations for the public art component of the project, i.e. at the corner plaza, the metal screens, and the concrete wall at the back of the elevator shaft. ***---acknowledged and the owner is to contribute to the Public Art Fund***

The Chair noted that the Panel members present expressed general support for the project.

Due to the absence of a quorum, a Panel recommendation could not be considered.



No. DP 13-634111

To the Holder: Integra Architecture Inc.
Property Address: 6511 Buswell Street
Address: 416 West Pender Street,
Vancouver, BC V6B 1T5

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) Reduce the residential parking rate from the standard City-wide parking rate to the City Centre Zone 1 parking rate.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #27 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$269,156.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

To the Holder: Integra Architecture Inc.

Property Address: 6511 Buswell Street

Address: 416 West Pender Street,
Vancouver, BC V6B 1T5

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO. _____
DAY OF _____,

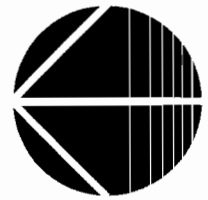
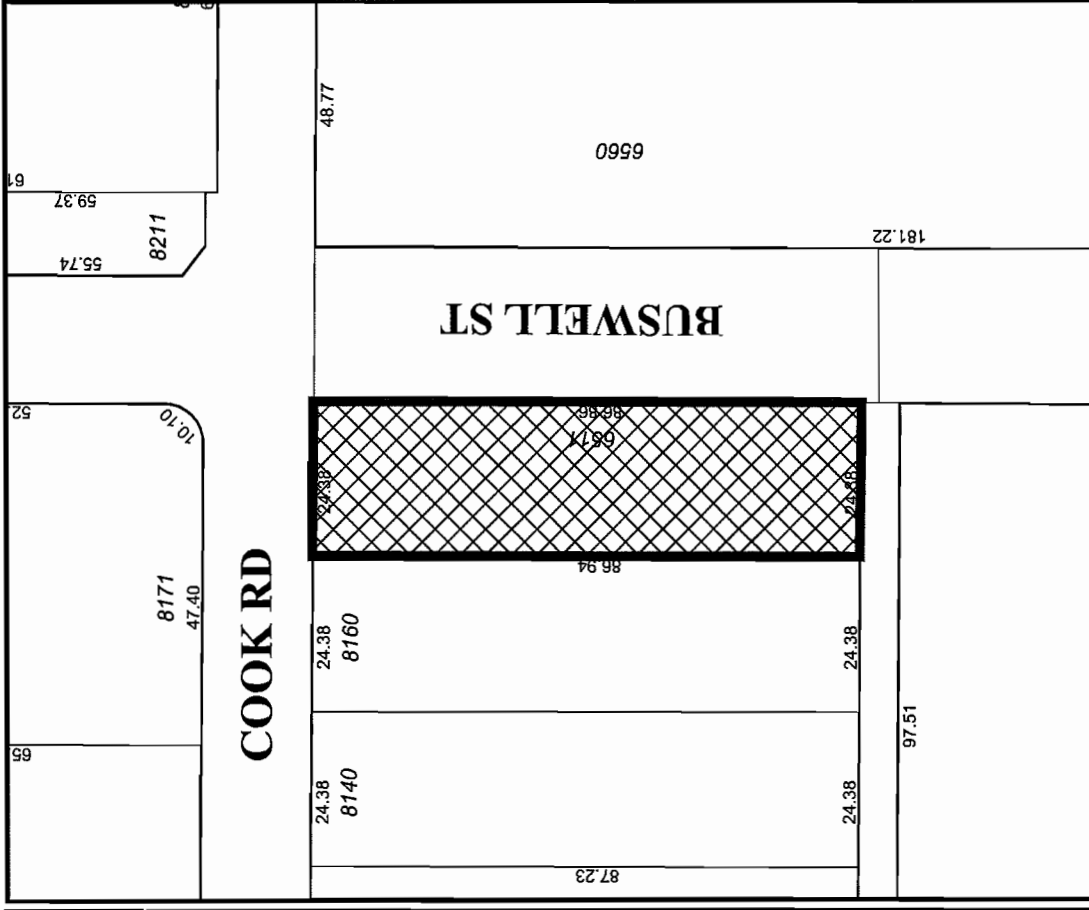
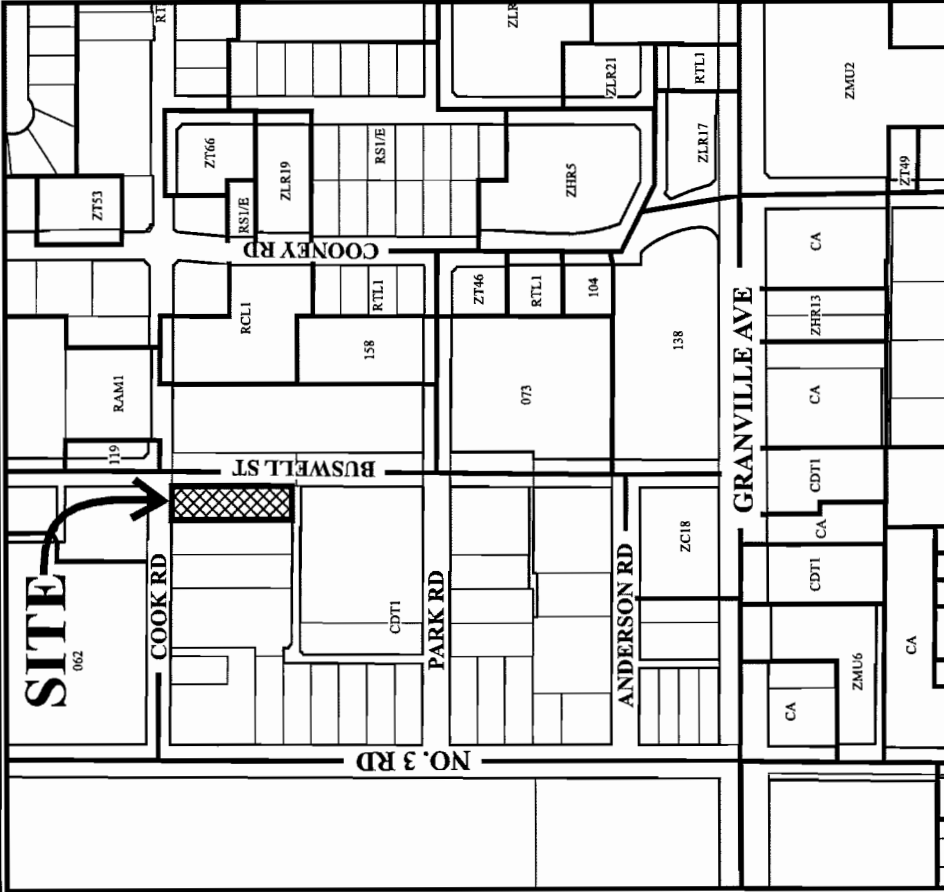
ISSUED BY THE COUNCIL THE

DELIVERED THIS _____ DAY OF _____, _____.

MAYOR



City of Richmond

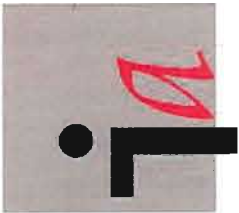


DP 13-634111 SCHEDULE "A"

Original Date: 04/16/13

Revision Date:

Note: Dimensions are in METRES



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Sheet No. 1
December 16, 2013
DP 13-634111

ARCHITECT SEAL

MAJORCA INTERNATIONAL
INVESTMENTS LTD.

PROJECT

ELLE

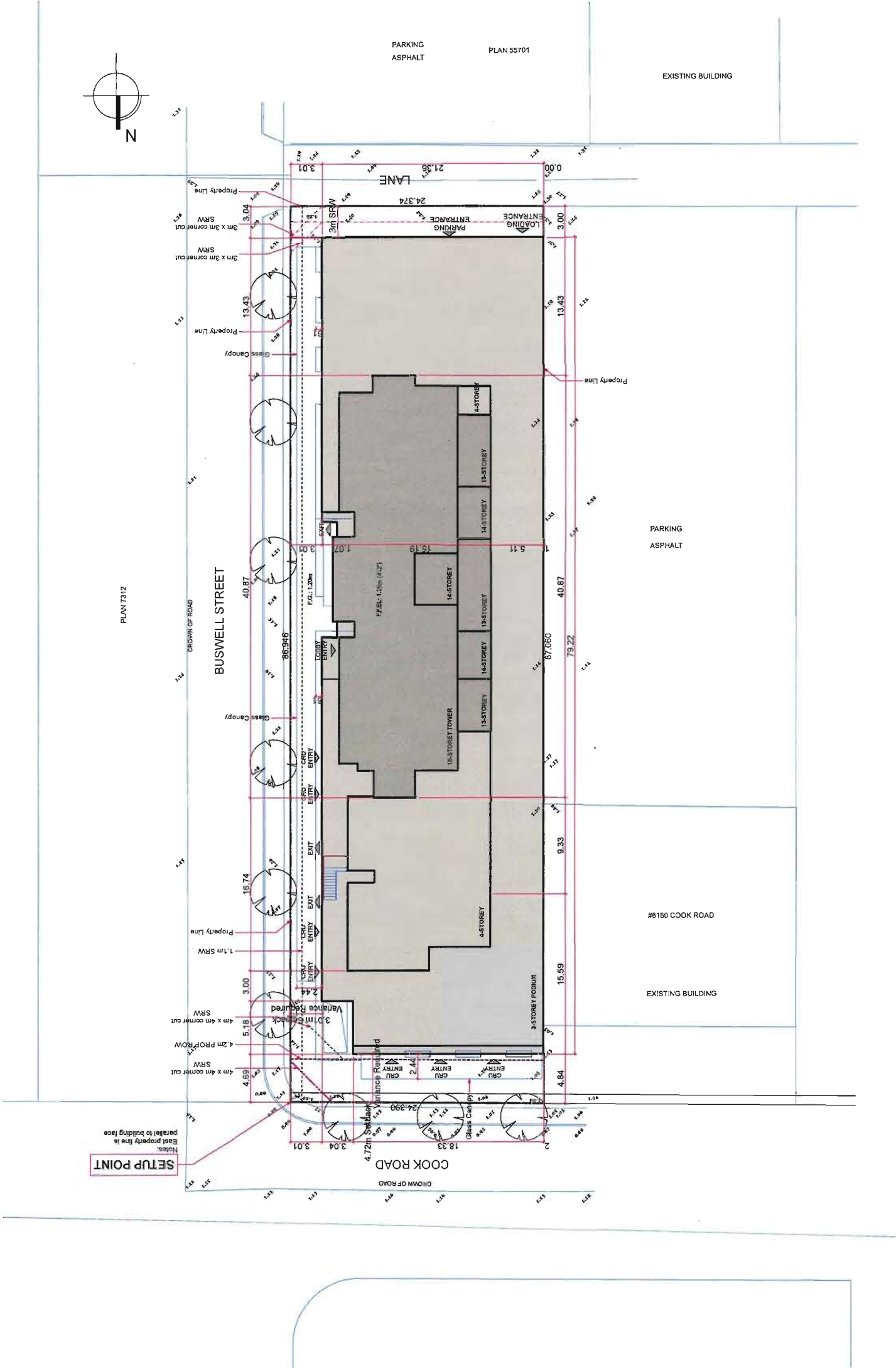
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RICHMOND, BC CANADA

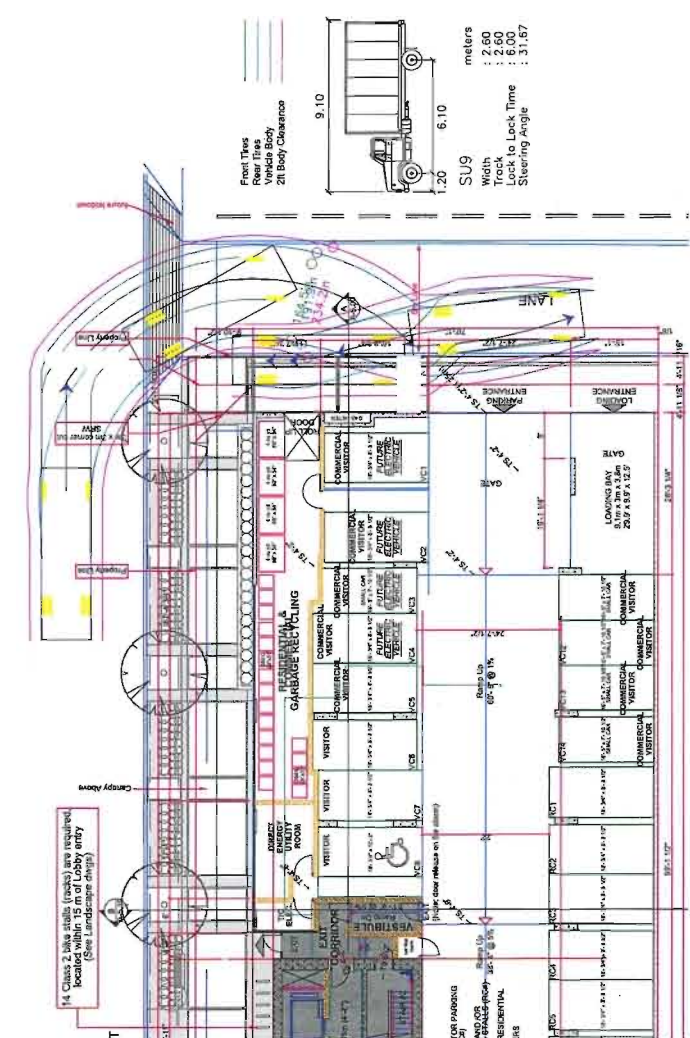
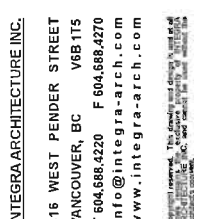
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December 13, 2013	DATE
8 - DP Resubmission	ISSUE
	DRAWING

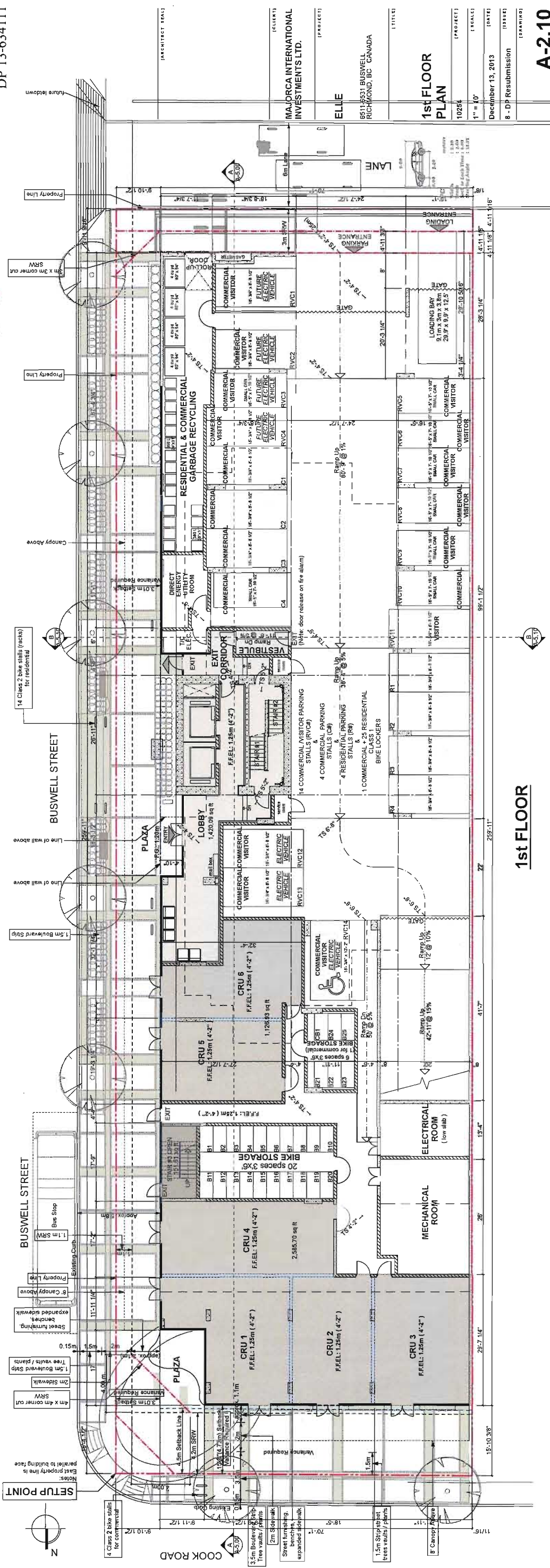
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FIRST LOADING SPACE DIAGRAM

1st FLOOR



A-2.10



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DP 13-634111

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111142

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10254

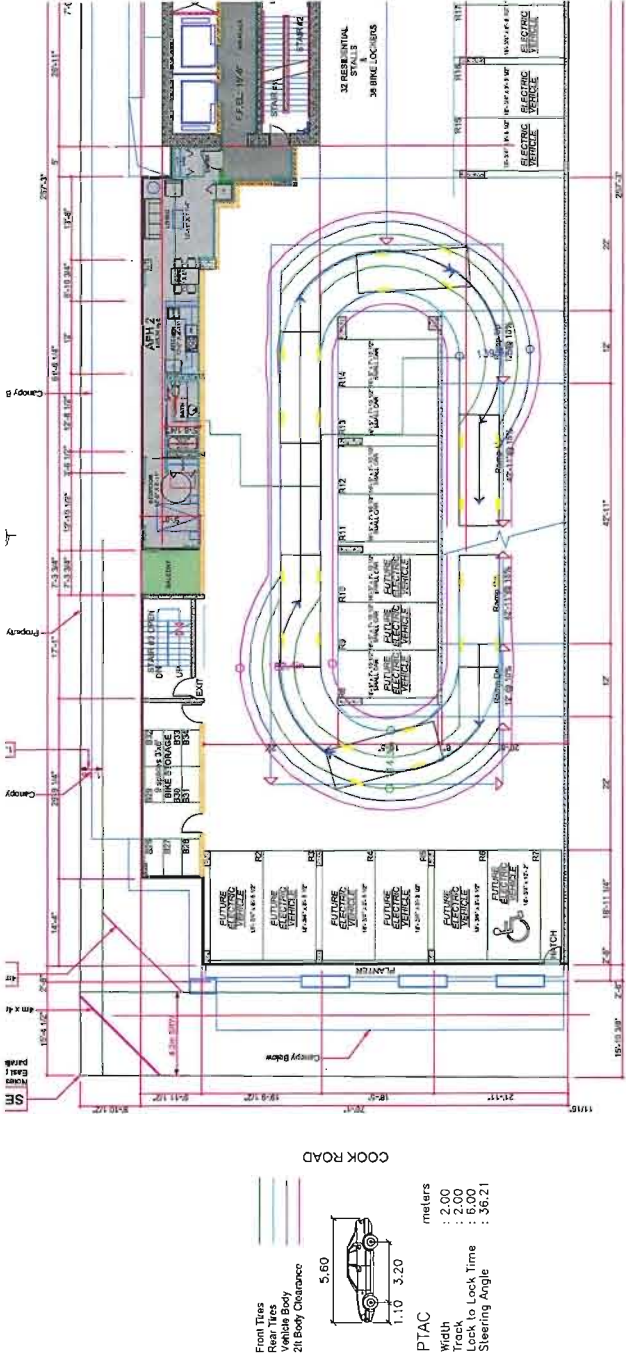
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December 13, 2013

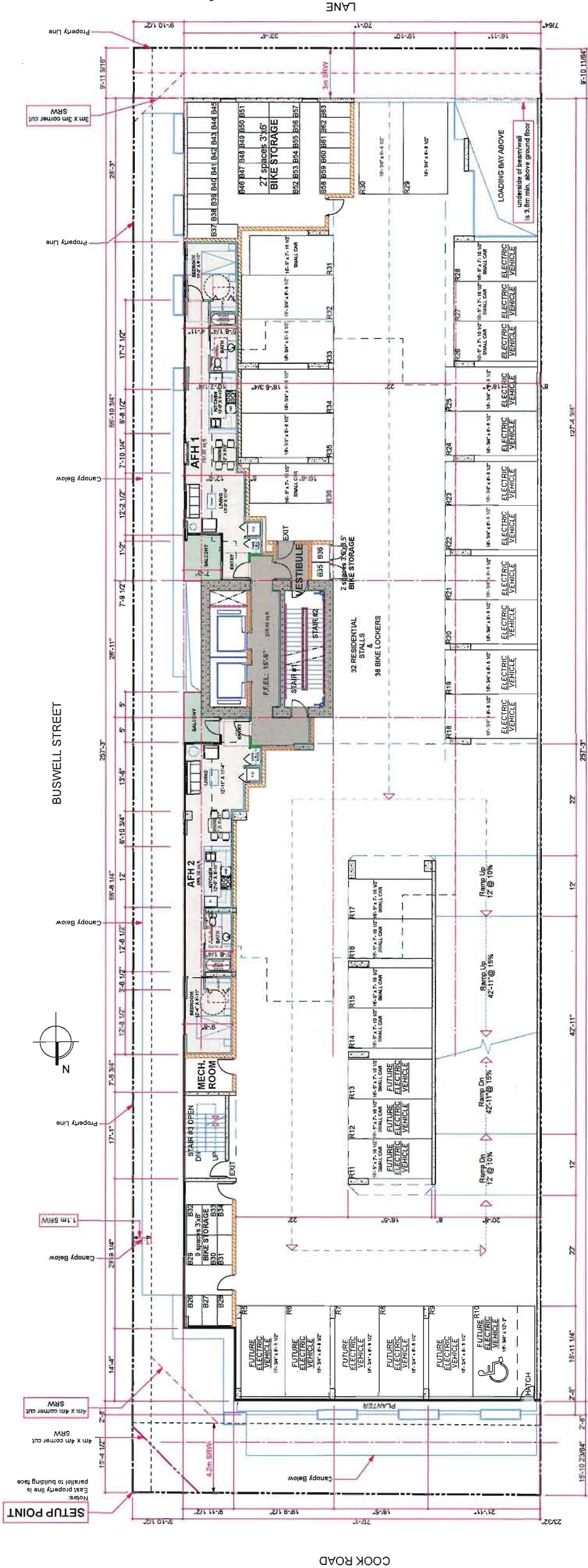
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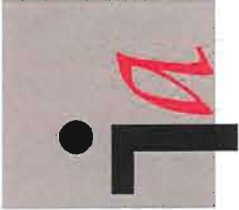
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VEHICLE TURNING DIAGRAM

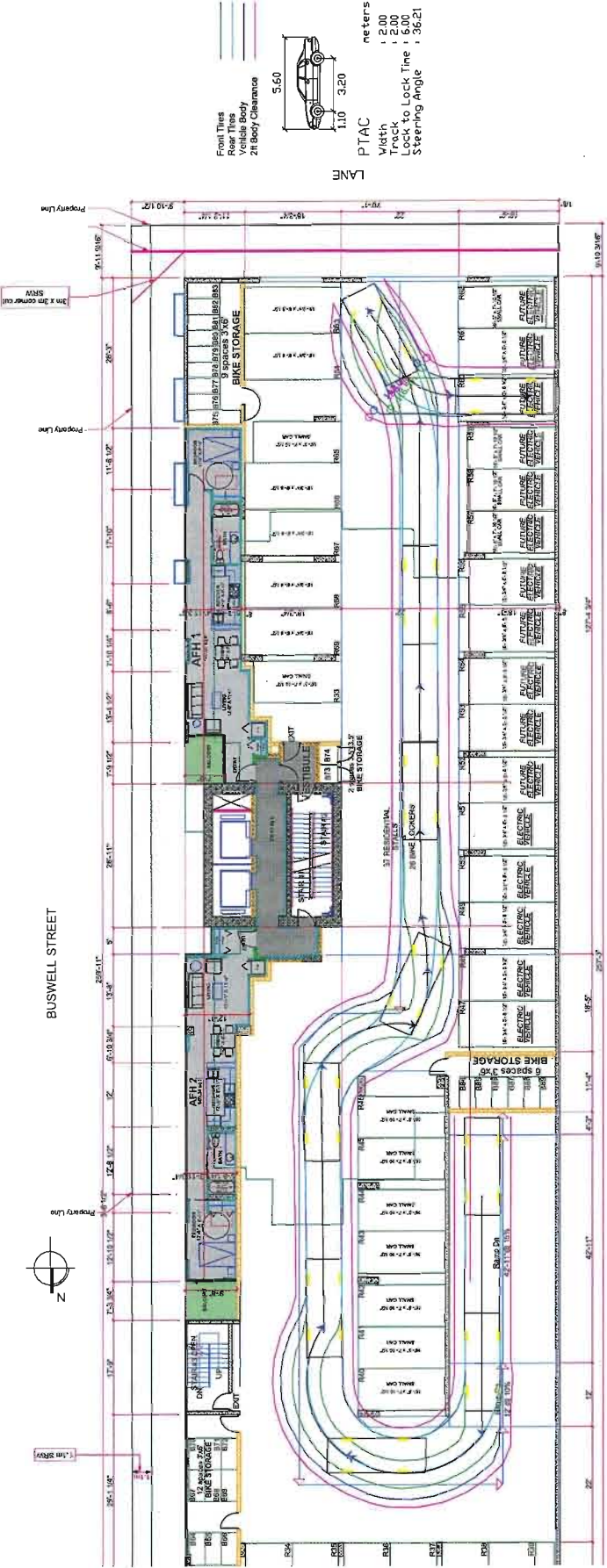


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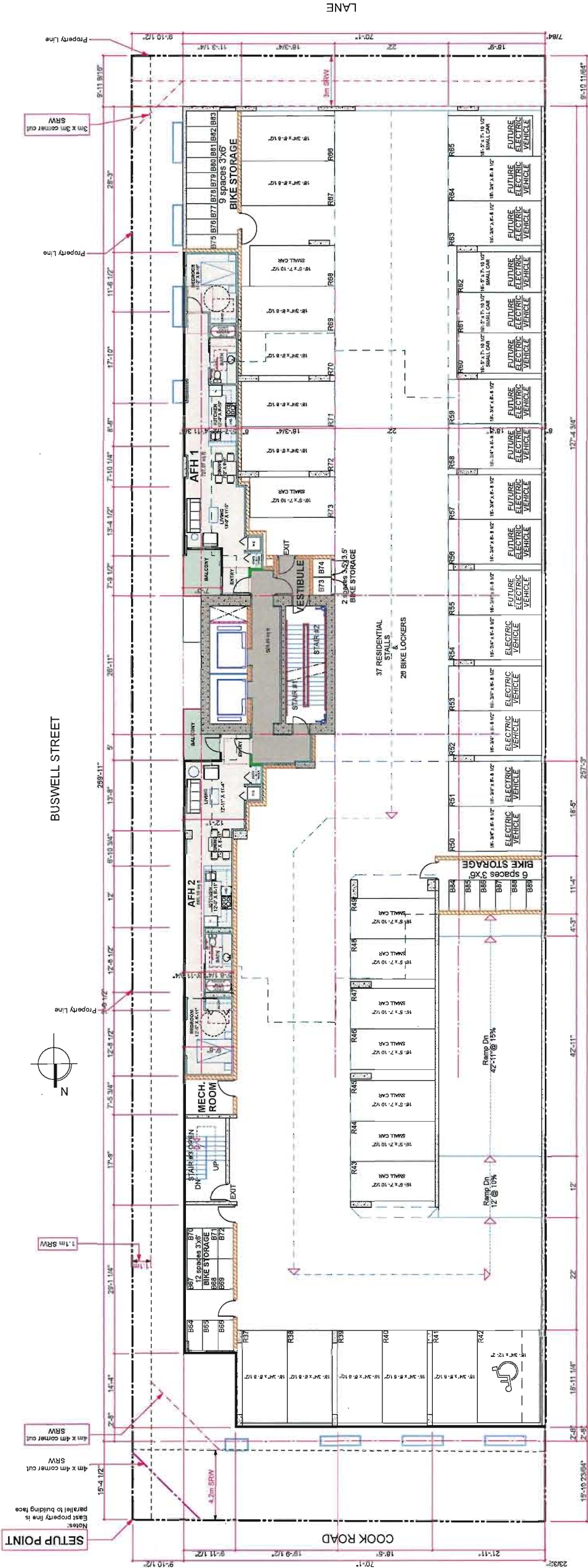


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DATE: [DATE]
PROJECT: [PROJECT NAME]



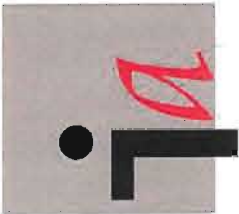
VEHICLE TURNING DIAGRAM



3rd FLOOR

Sheet No. 4
December 16, 2013
DP 13-634111

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ELLE	PROJECT
6511-6531 BUSWELL RICHMOND, BC CANADA	TITLE
3rd FLOOR PLAN	PROJECT
10254	SCALE
1" = 10'	DATE
December 13, 2013	ISSUE
8 - DP Resubmission	DRAWING



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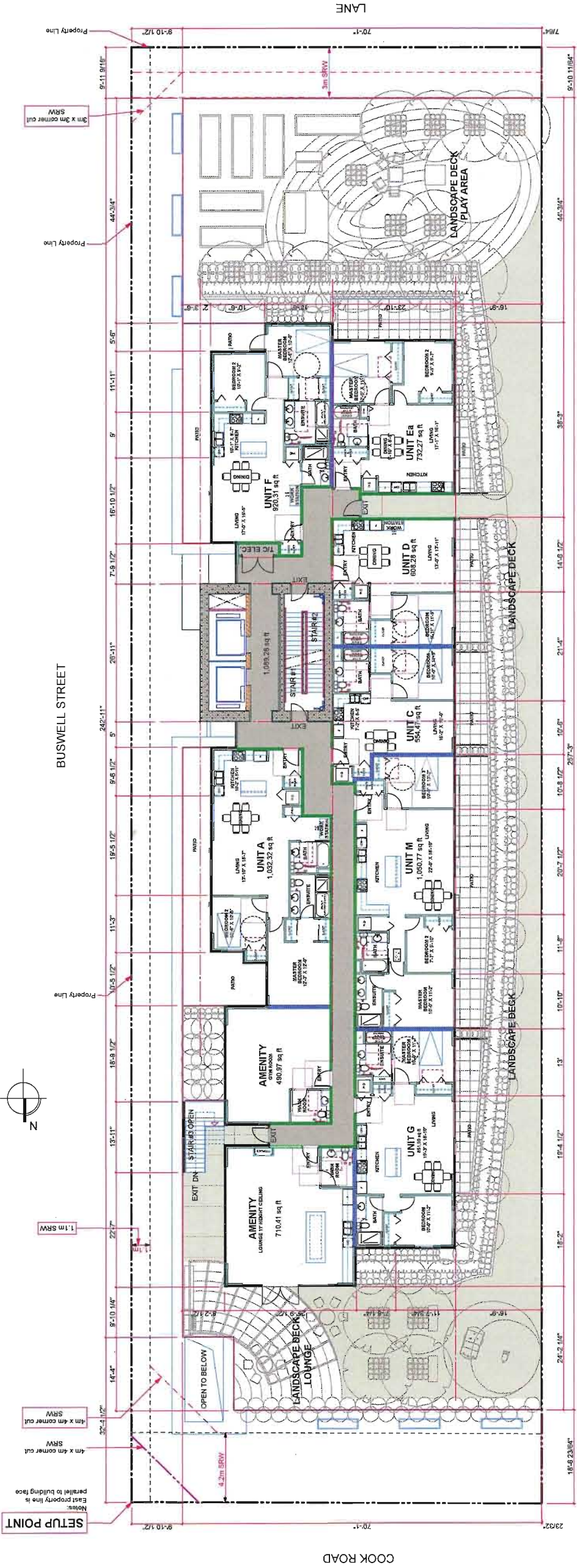
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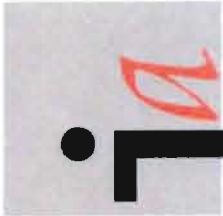
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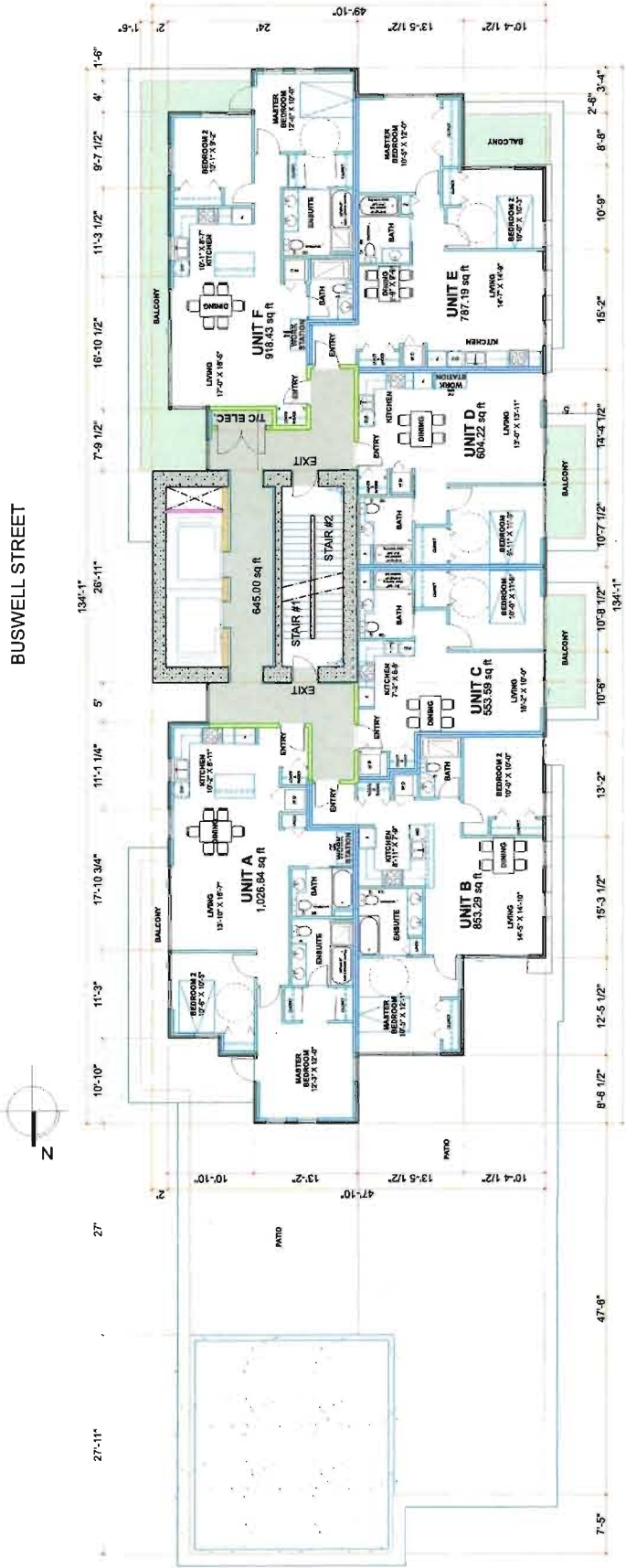


4th FLOOR
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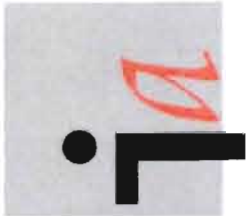


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DP 13-634111

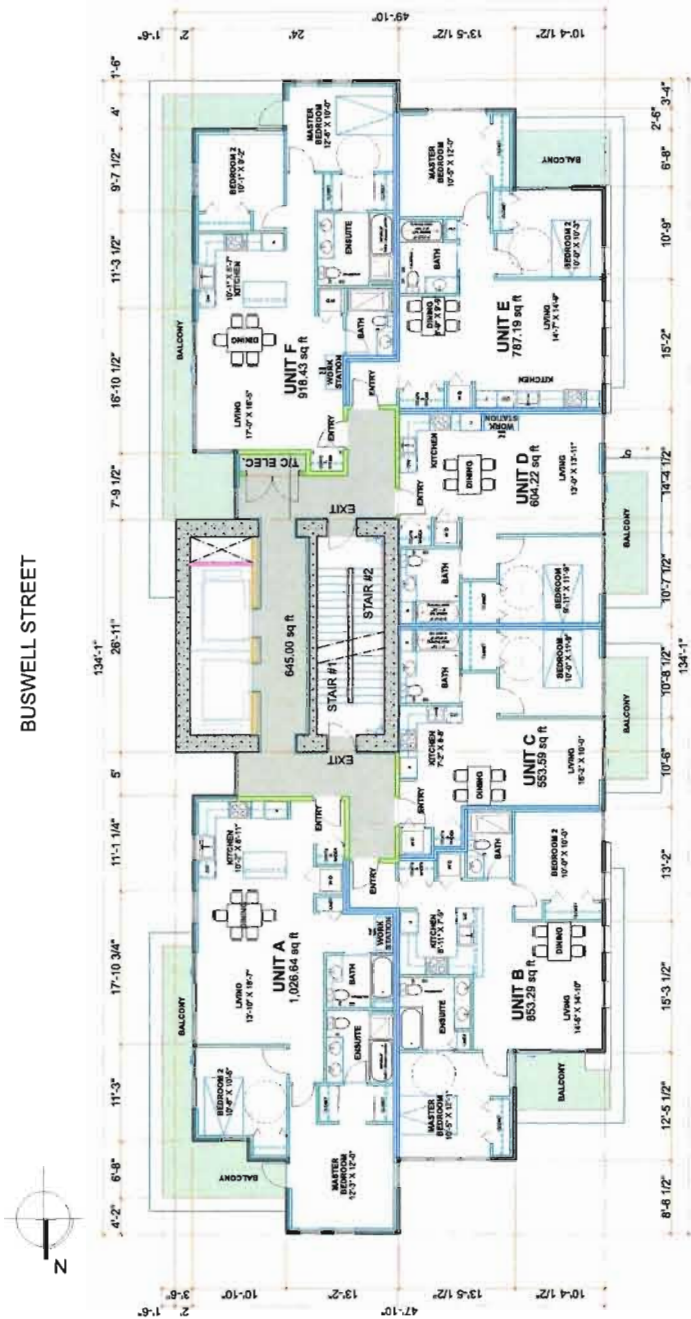
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December 13, 2013	[DATE]
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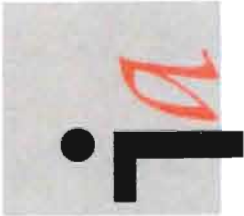
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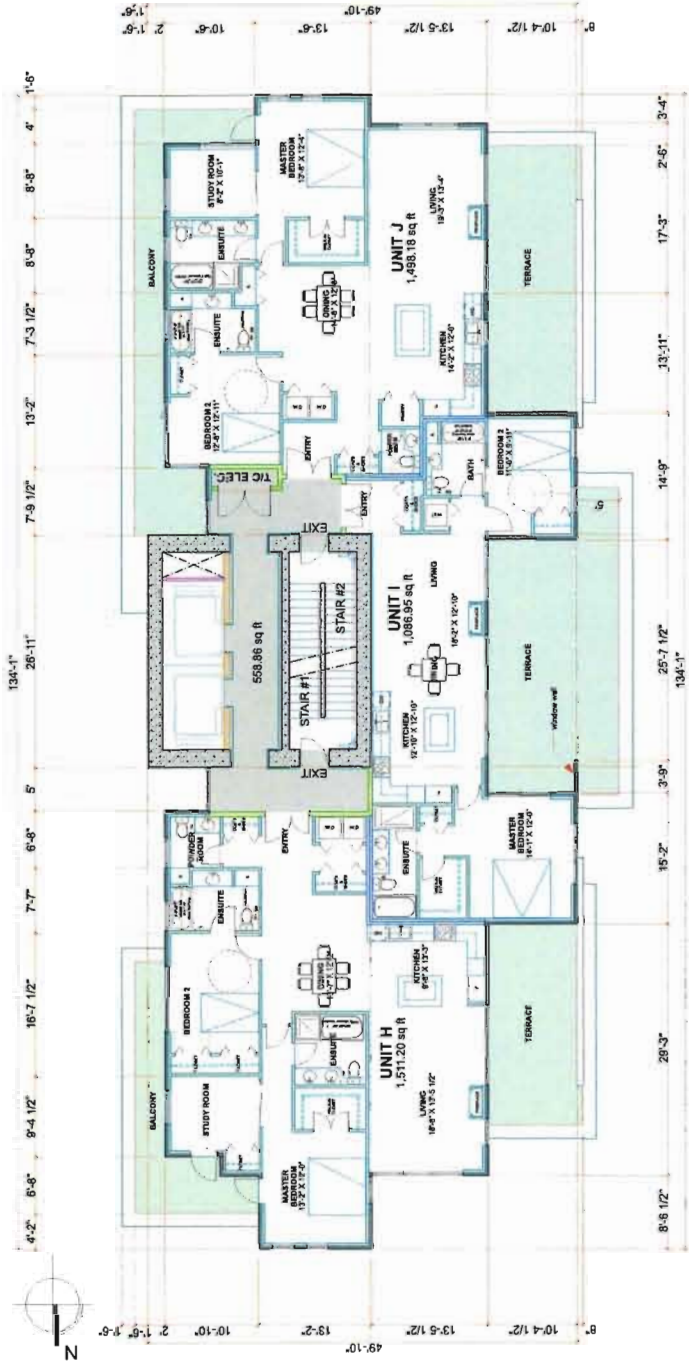
6th ~ 13rd TYPICAL FLOOR

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14th FLOOR (SUB-PENTHOUSE)

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December 16, 2013
DP 13-634111

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[PROJECT]

ELLE

6511-6531 BUSHWELL
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[TITLE]

SUB-PENTHOUSE
14th FLOOR
PLAN

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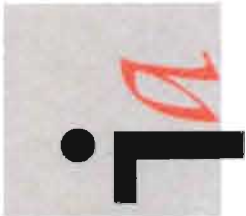
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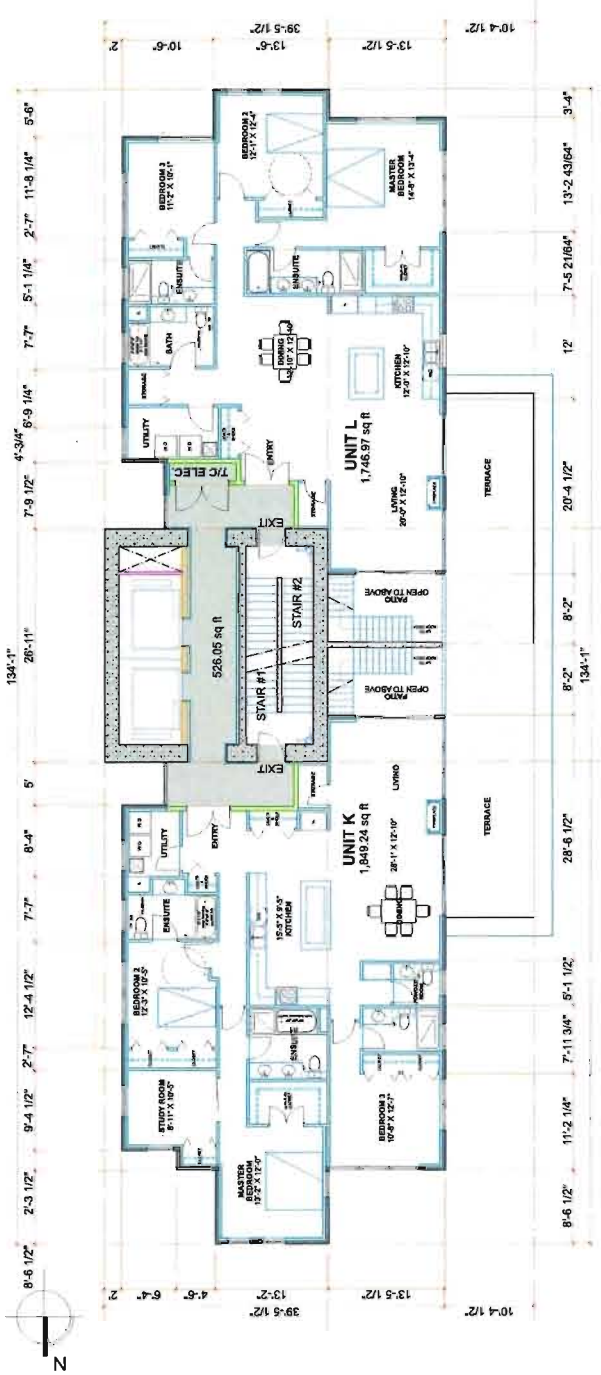
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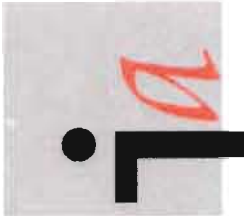
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15th FLOOR (PENTHOUSE)

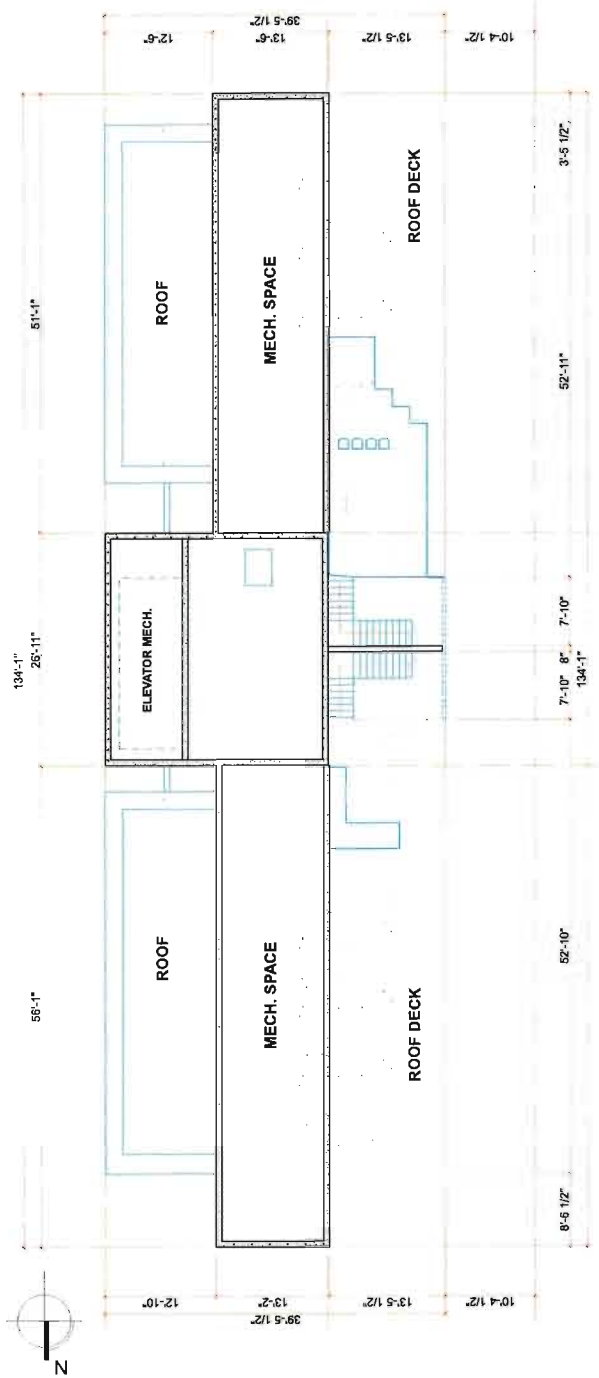
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December 16, 2013
DP 13-634111

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[ISSUE]	8 - DP Resubmission
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ROOF PLAN

Sheet No. 10
December 16, 2013
DP 13-641796

ARCHITECT SEAL

CLIENT
MAJORCA INTERNATIONAL
INVESTMENTS LTD.

PROJECT

ELLE

6511 6511 BUSHNELL
RICHMOND, BC CANADA

TITLE

ROOF
PLAN

10254 PROJECT
1" = 10' SCALE
December 13, 2013 DATE
8 - DP Resubmission ISSUE
DRAWING

A-2.80

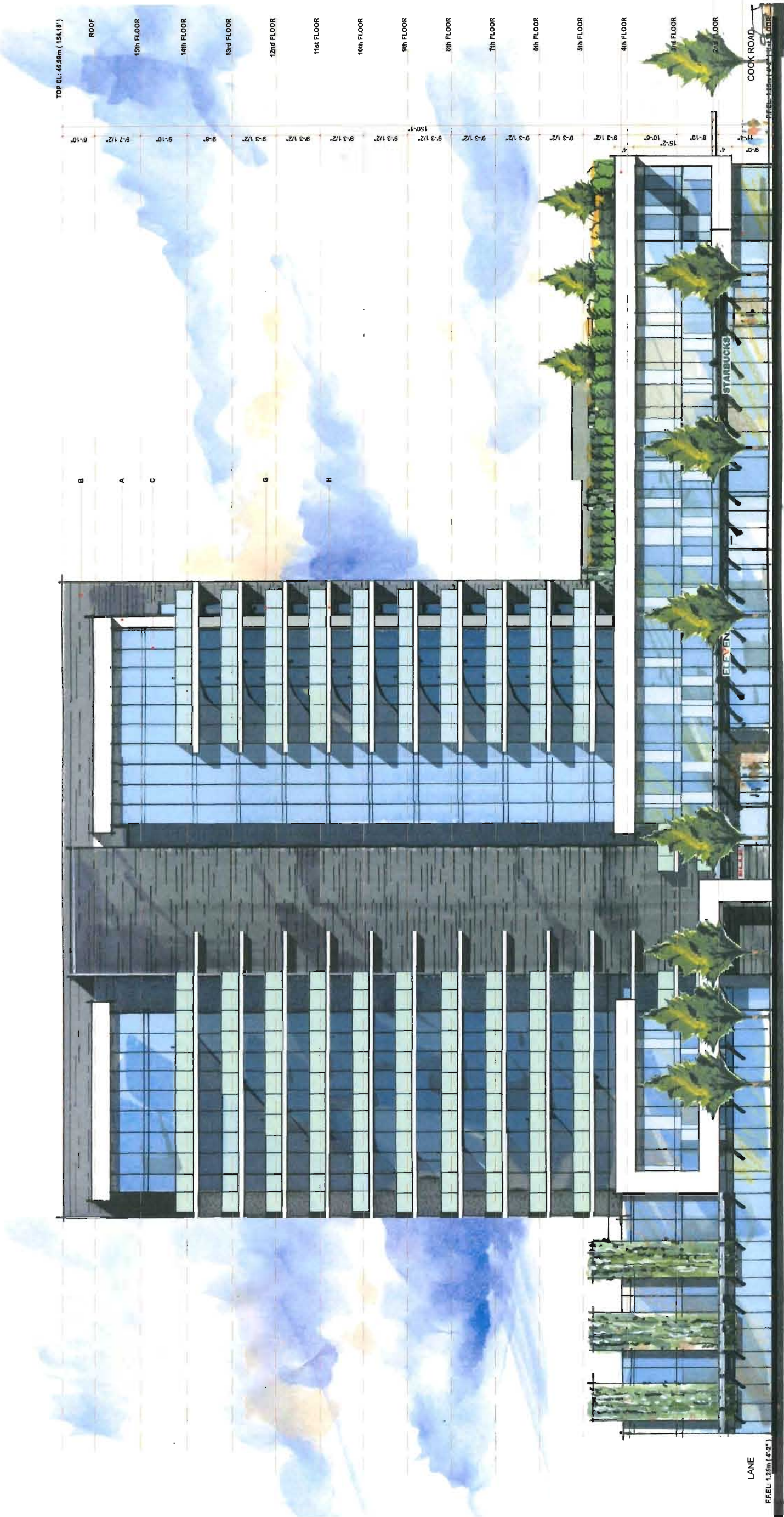
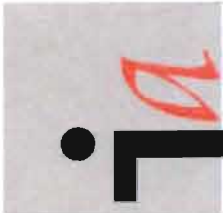
MATERIAL & COLOUR LEGEND

• A	White	Metal Panel	BM - Cloud white (concealed edges no flashing)
• B	Charcoal	Cementitious Cladding or exposed reinforced concrete (form liner)	Charcoal (Colour by Architect)
• C	Charcoal + White	Window Wall System w/ clear glazing and spandrel glass	Frame colour White to match metal panel Charcoal (Iron mountain)
• D	Charcoal	Metal Screen (Woods) in metal angle frames to suit	Charcoal Perforated metal mesh screen
• E	Clear	Glass Canopy w/ steel outrigger supports	Aluminum Aluminum

• F	Clear	Storefront commercial	Aluminum Keweenaw 1600
• G	Charcoal	Aluminum Ballings w/ clear safety glazing security gate	Charcoal BM Iron mountain 2134-30
• H	White	Skirt + Balcony Deck edge membrane	White (standard colour)
• I	Grey	Concrete wall	Grey (colour by Architect)
			Elastomeric paint

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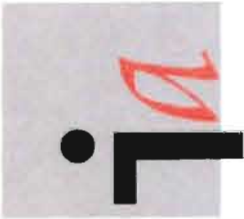
EAST ELEVATION

Sheet No. 11
December 16, 2013
DP 13-634111

ARCHITECT SEAL

MAJORCA INTERNATIONAL INVESTMENTS LTD.	ELLE	(COLOUR) EAST ELEVATION
9511-6531 BUSWELL RICHMOND, BC CANADA		
10254	1" = 10'	December 13, 2013
8 - DP Resubmission		

A-4.10



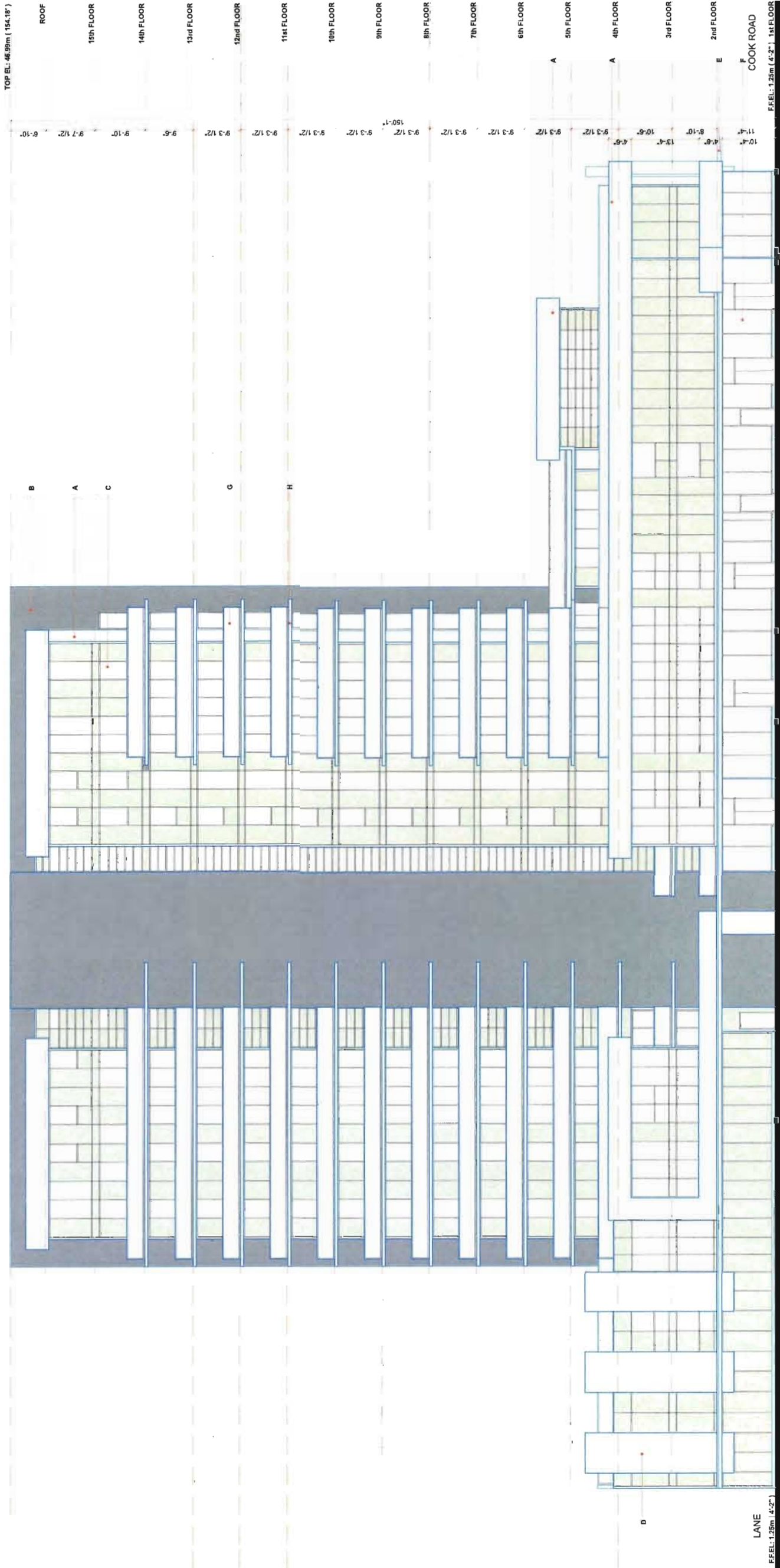
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MATERIAL & COLOUR LEGEND

A	White	Black Panel	Black or Alu/oxidized (consult supplier for finish)
B	Charcoal	Charcoal	Charcoal
C	Charcoal	Charcoal	Charcoal
D	Charcoal	Charcoal	Charcoal
E	Charcoal	Charcoal	Charcoal

F	Charcoal	Charcoal	Charcoal
G	Charcoal	Charcoal	Charcoal
H	Charcoal	Charcoal	Charcoal
I	Charcoal	Charcoal	Charcoal



EAST ELEVATION

Sheet No. 12
December 16, 2013
DP 13-634111

[ARCHITECT SEAL]

[CLIENT]
MAJORCA INTERNATIONAL
INVESTMENTS LTD.

[PROJECT]

ELLE

8511-6531 BUSWELL
RICHMOND, BC CANADA

[TITLE]

EAST
ELEVATION

[PROJECT]
10254

[SCALE]
1" = 10'

[DATE]
December 13, 2013

[ISSUE]
8 - DP Resubmission

[DRAWING]

A-4.11



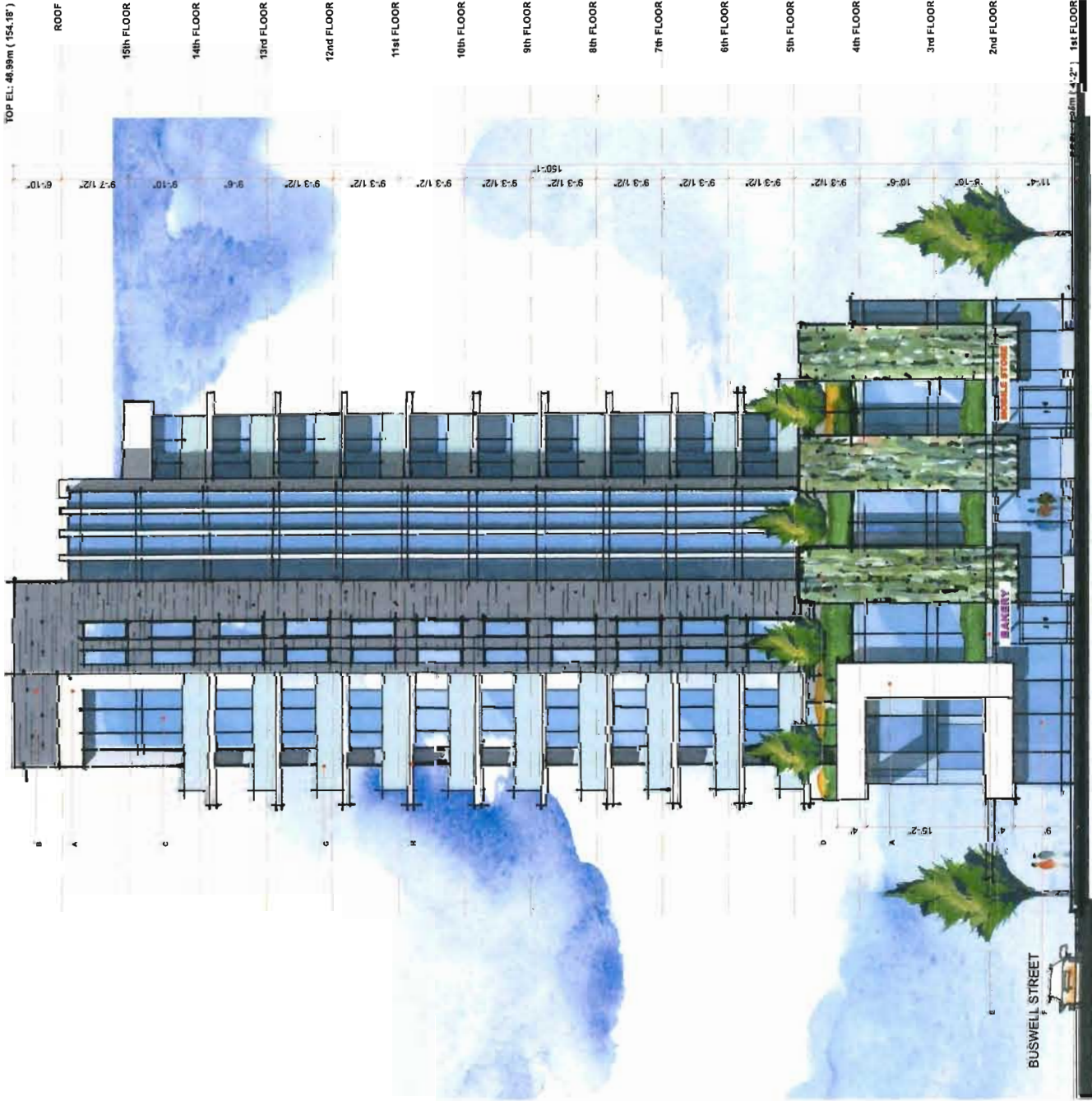
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MATERIAL & COLOUR LEGEND

A	White	BM - Cloud white (resembling white paint)	Stainless steel (brushed finish)
B	Charcoal	Charcoal (solid color)	Charcoal (solid color)
C	Charcoal - 100%	White to match metal panel	White to match metal panel
D	Charcoal	White to match metal panel	White to match metal panel
E	Clear	Clear (solid color)	Clear (solid color)

F	Clear	Standard commercial	Aluminum	Kemper 100
G	Charcoal	Aluminum Building security gate	Charcoal	Iron metal 134-12
H	White	White - Building Deck edge	White (standard color)	
I	Gray	Concrete wall	Gray (solid color)	Paintwork paint



NORTH ELEVATION



SOUTH ELEVATION

Sheet No. 13
December 16, 2013
DP 13-634111

(ARCHITECT SEAL)

(CLIENT)
MAJORCA INTERNATIONAL
INVESTMENTS LTD.

(PROJECT)
ELLE
8511-6531 BUSWELL
RICHMOND, BC CANADA

(TITLE)
(COLOUR)
NORTH & SOUTH
ELEVATION

(PROJECT)
10254
(SCALE)
1" = 10'
(DATE)
December 13, 2013
(ISSUE)
8 - DP Resubmission
(DRAWING)

A-4.20

MATERIAL & COLOUR LEGEND

A	White Metal Panel	BM - Cloud white or standard colour (selected by Architect)	Similar to Alucobond (concealed edges no flashing)
B	Charcoal Concrete/Cladding or Exposed textured Concrete (form liner)	Charcoal (Colour by Architect)	Synstone Typical back fastened assembly
C	Charcoal + White Window Wall System w/ clear glazing and spandrel glass	Frame colour White to match metal panel colour or Charcoal (Iron mountain)	Allan Windows or Starline 8000
D	Charcoal Metal Screen (Woven metal in mesh angle frames to suit)	Charcoal	Perforated metal mesh screen
E	Clear Glass Canopy Areas/Entrigger supports	Aluminum	Aluminum

F	Clear Storefront commercial	Aluminum	Kawneer 1600
G	Charcoal Aluminum Railings Iron mountain 2134-30	Charcoal Iron mountain 2134-30	
H	White Soffit + Balcony Deck edge membrane	White (standard colour)	
I	Grey Concrete wall	Grey (colour by Architect)	Elastomeric plant

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TOP EL: 46.98m (154.16')

ROOF

15th FLOOR

14th FLOOR

13rd FLOOR

12nd FLOOR

11th FLOOR

10th FLOOR

9th FLOOR

8th FLOOR

7th FLOOR

6th FLOOR

5th FLOOR

4th FLOOR

3rd FLOOR

2nd FLOOR

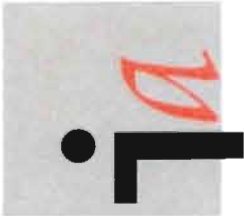
LANE

F.F.E.L: 4.35m (14.27') 1st FLOOR

(COLOUR)
WEST
ELEVATION

10254 (PROJECT)
1" = 10' (SCALE)
December 13, 2013 (DATE)
8 - DP Resubmission (ISSUE)
[DRAWING]

WEST ELEVATION



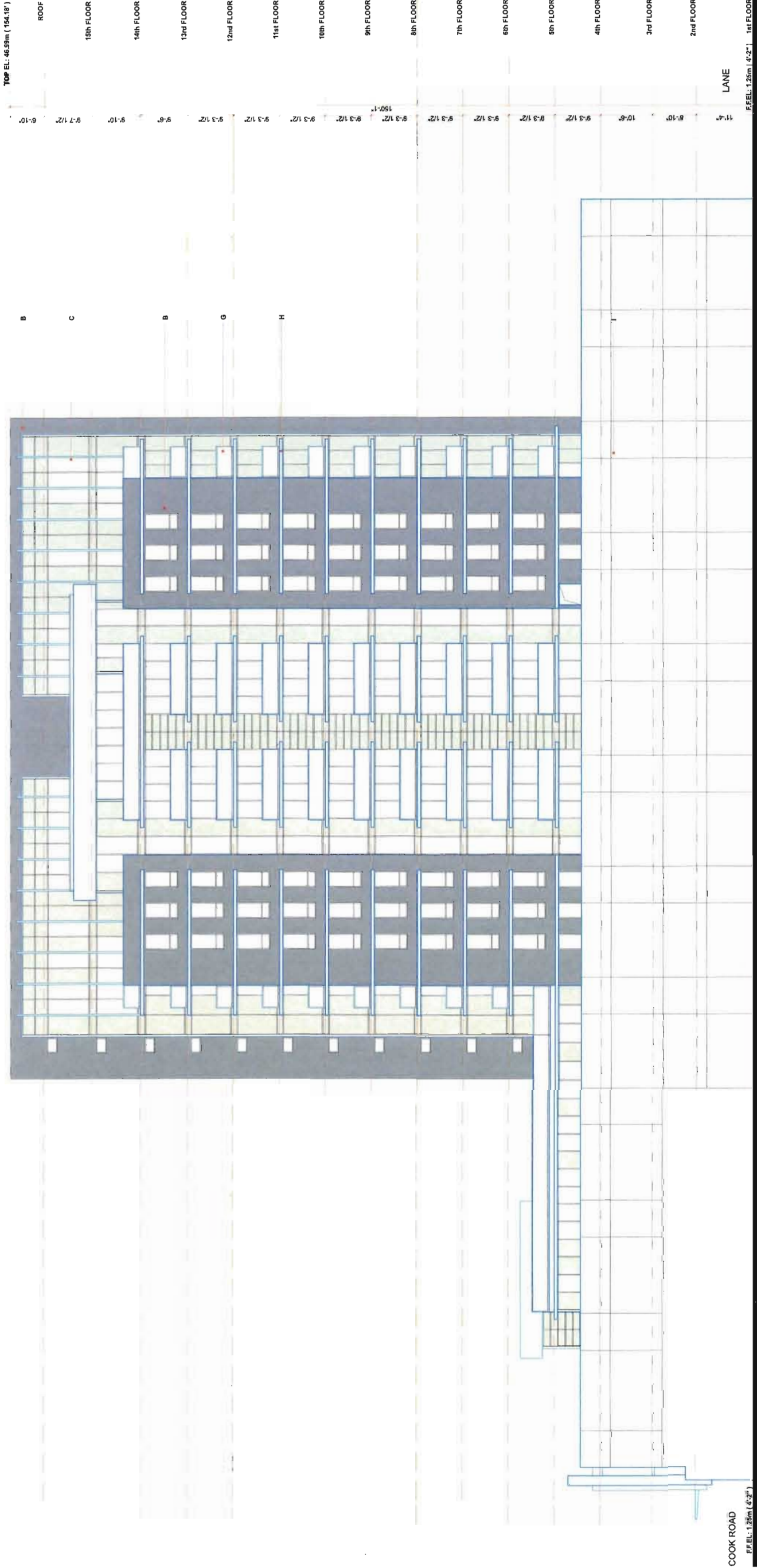
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MATERIAL & COLOUR LEGEND

A	White Solid Panel	Blk. Cloud walls in standard colour (selected by Architect)	Stainless Steel (selected by Architect)
B	Charcoal Composite Exterior Concrete (form finish)	Charcoal (Colour by Architect)	Stainless Typical black tapered assembly
C	Charcoal 1x6x2x10 Metal Screen (Rivets metal to metal high tensile steel)	Form colour White to match metal panel Charcoal (form moulding)	Alum Windows of Series 6000
D	Charcoal	Charcoal	Prefinished metal mesh screen
E	Clear	Aluminum Glass Canopy Metal Canopy Supports	Aluminum

F	Clear Metallic commercial	Aluminum	Granite 1005
G	Charcoal	Aluminum Balings Aluminum Balings Aluminum Balings	Charcoal Aluminum Balings Aluminum Balings
H	White	White Dark edge Dark edge Dark edge	White (Painted colour)
I	Grey	Concrete wall	Grey (Colour by Architect)



Sheet No. 16
December 16, 2013
DP 13-634111

[ARCHITECT SEAL]

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[PROJECT]

ELLE
6511-6531 BUSWELL
RICHMOND, BC CANADA

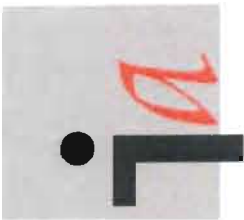
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WEST
ELEVATION

10254 [PROJECT]
1" = 10' [SCALE]
December 13, 2013 [DATE]
8 - DP Resubmission [ISSUE]
[DRAWING]

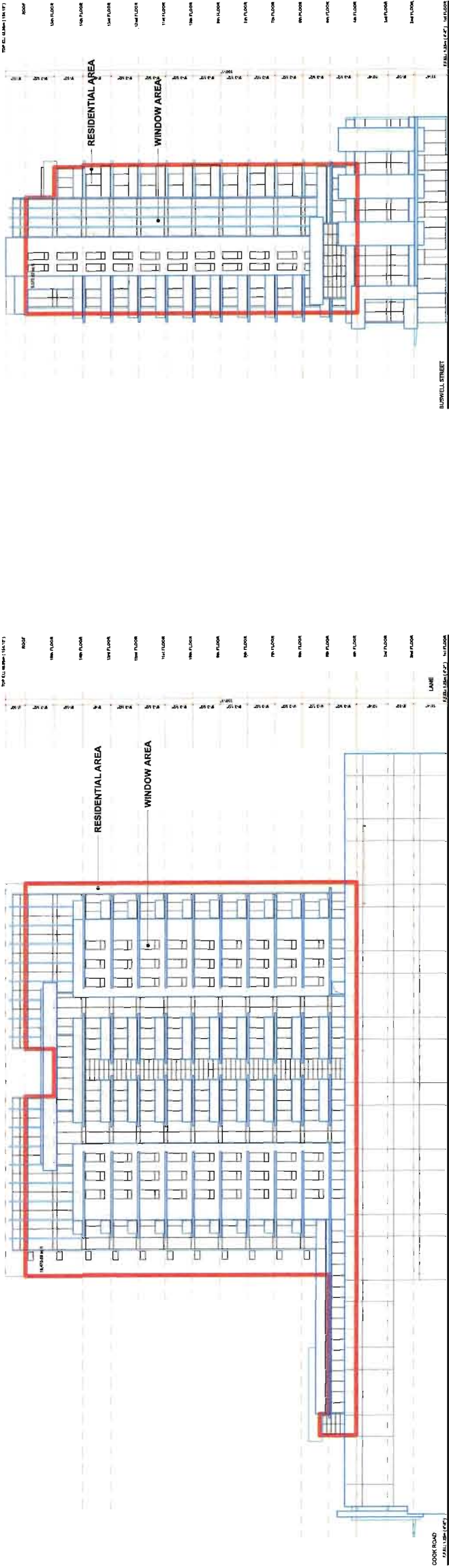
WEST ELEVATION

A-4.31



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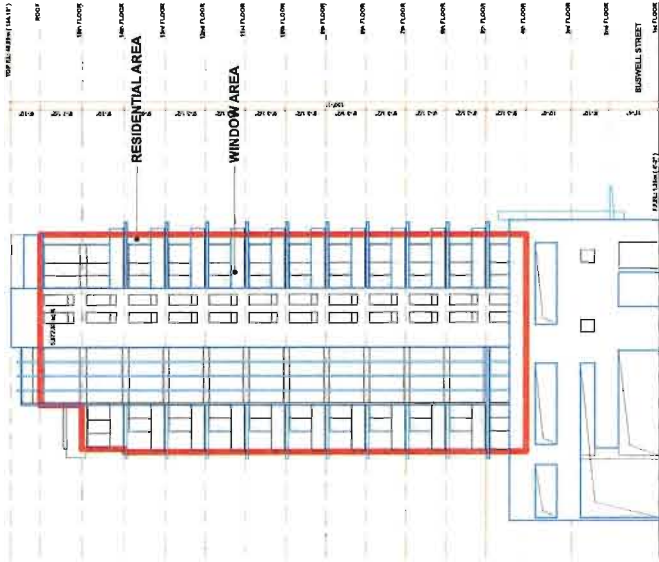


WEST ELEVATION WINDOW/WALL RATION DIAGRAM

RESIDENTIAL WINDOW AREA: 5,595.0 SFT
RESIDENTIAL WALL & WINDOW AREA: 15,470.9 SFT = 36.2%

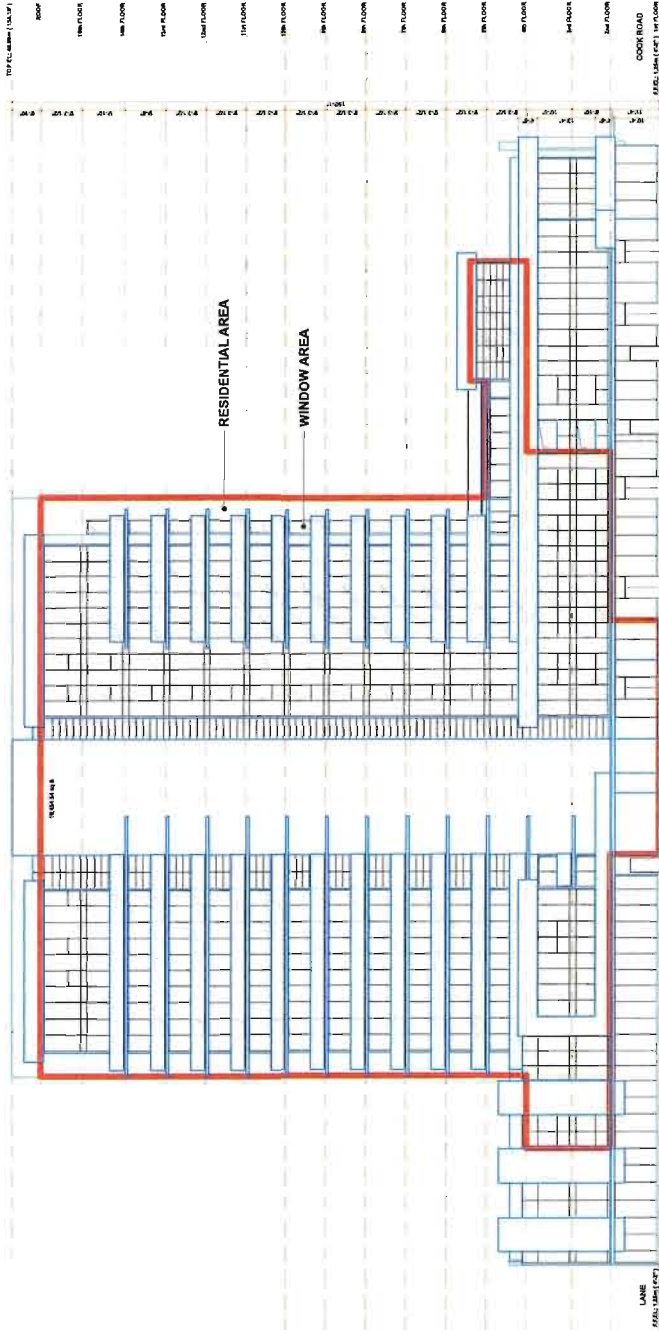
NORTH ELEVATION WINDOW/WALL RATION DIAGRAM

RESIDENTIAL WINDOW AREA: 2,210.9 SFT
RESIDENTIAL WALL & WINDOW AREA: 5,572.6 SFT = 39.7%



SOUTH ELEVATION WINDOW/WALL RATION DIAGRAM

RESIDENTIAL WINDOW AREA: 2,212.8 SFT
RESIDENTIAL WALL & WINDOW AREA: 5,572.6 SFT = 39.7%



EAST ELEVATION WINDOW/WALL RATION DIAGRAM

RESIDENTIAL WINDOW AREA: 7,206.2 SFT
RESIDENTIAL WALL & WINDOW AREA: 19,454.5 SFT = 37.1%

Sheet No. 17
December 16, 2013
DP 13-634111

(ARCHITECT SEAL)

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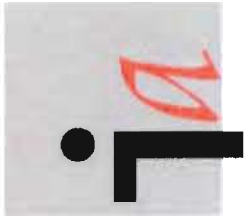
[PROJECT]
ELLE

6511-8531 BUISWELL
RICHMOND, BC CANADA

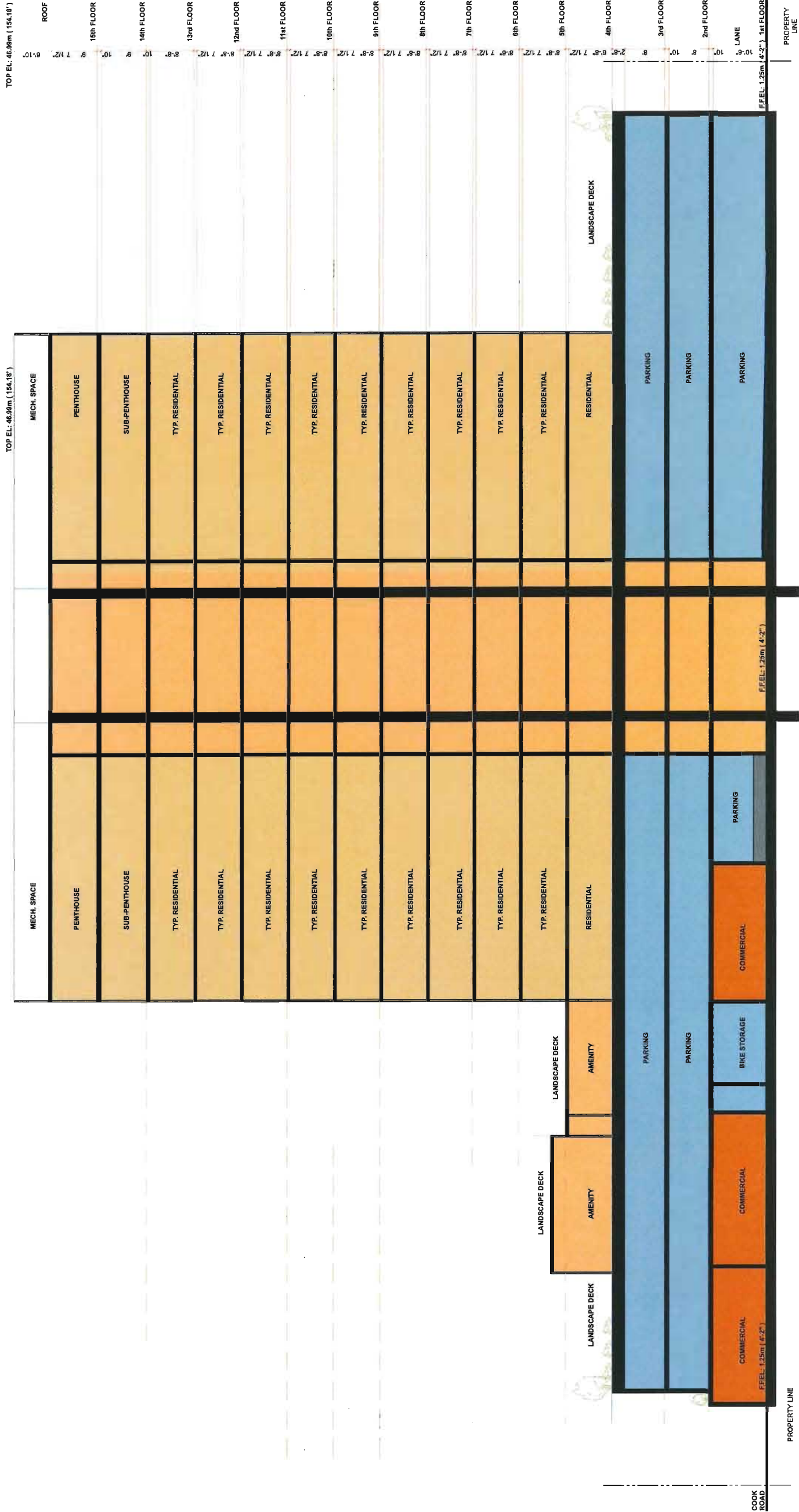
[TITLE]
WINDOW RATION
DIAGRAM

[PROJECT]
10254
[SCALE]
1" = 20'
[DATE]
December 13, 2013
[ISSUE]
8 - DP Resubmission
[DRAWING]

A-4.40



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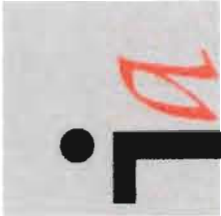
Sheet No. 18
December 16, 2013
DP 13-63411

[ARCHITECT SEAL]

[CLIENT]	
MAJORCA INTERNATIONAL INVESTMENTS LTD.	
[PROJECT]	
ELLE	
8511-6531 BUSWELL, RICHMOND, BC CANADA	
[TITLE]	

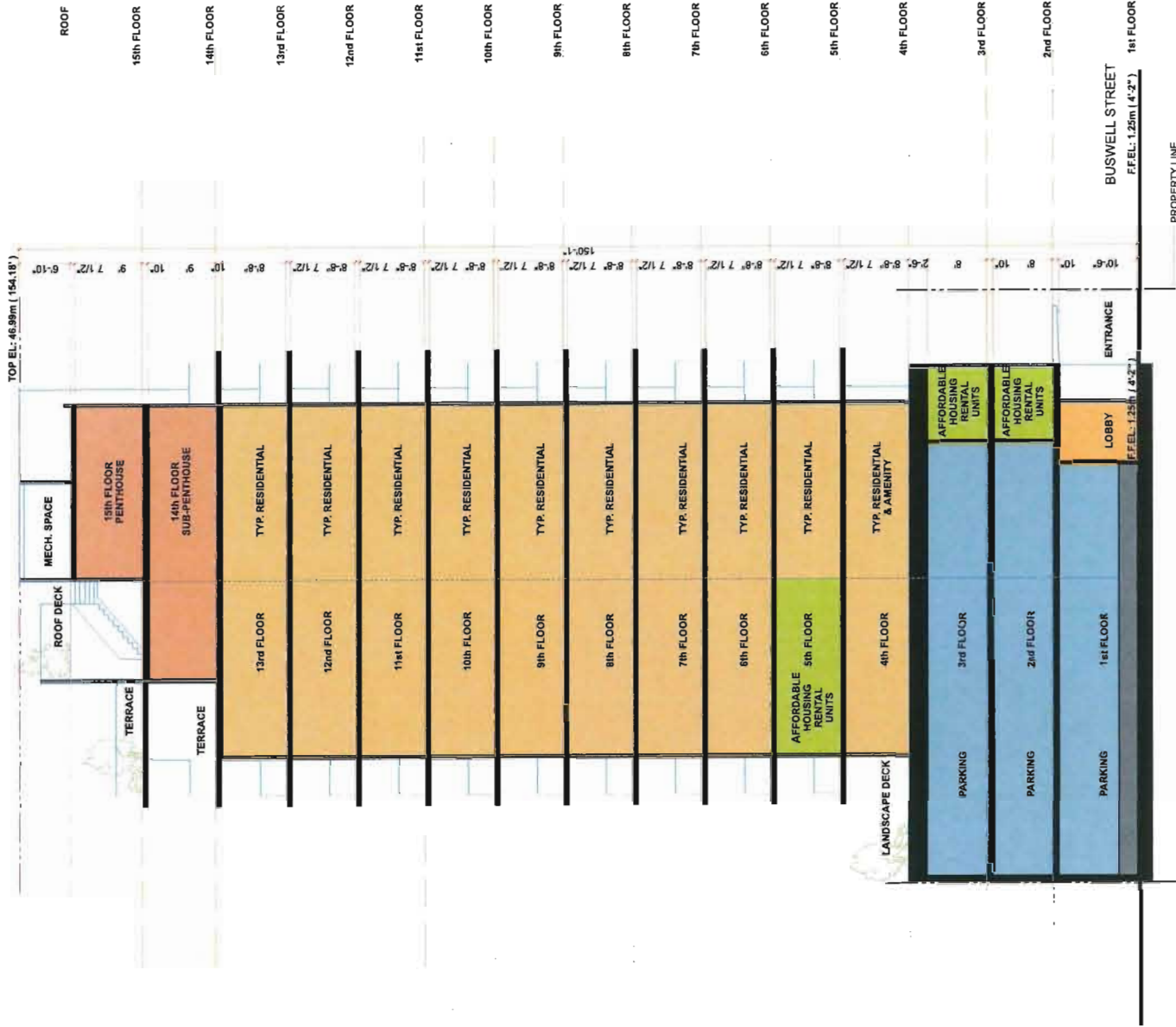
SECTION DIAGRAM A-A	
10254	[PROJECT]
1" = 10'	[SCALE]
December 13, 2013	[DATE]
8 - DP Resubmission	[REVISION]
[DRAWING]	

SECTION DIAGRAM A-A



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Sheet No. 19
December 16, 2013
DP 13-634111

ARCHITECT SEAL

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INVESTMENTS LTD.

PROJECT

ELLE

5511-6531 BUSWELL
RICHMOND, BC CANADA

TITLE

SECTION
DIAGRAM B-B

PROJECT

SCALE

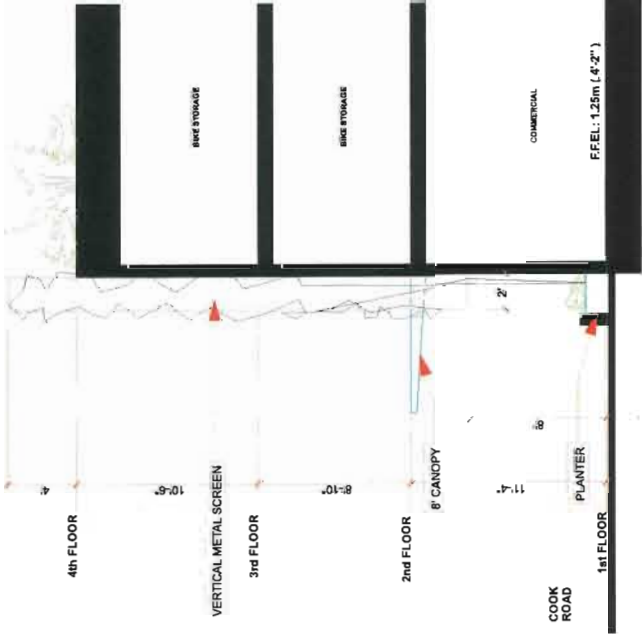
DATE

ISSUE

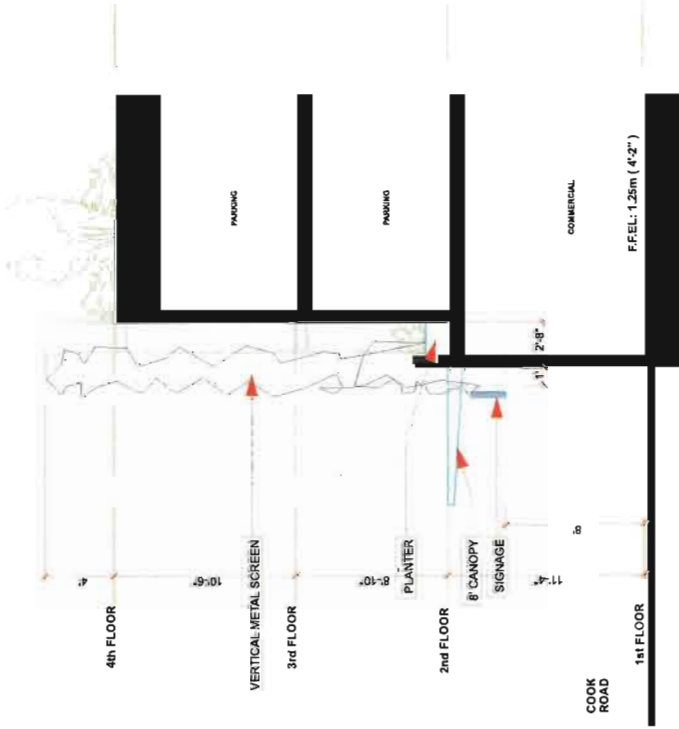
DRAWING

A-5.10

SECTION DIAGRAM B-B



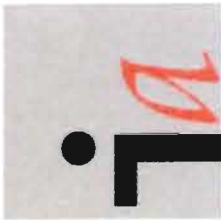
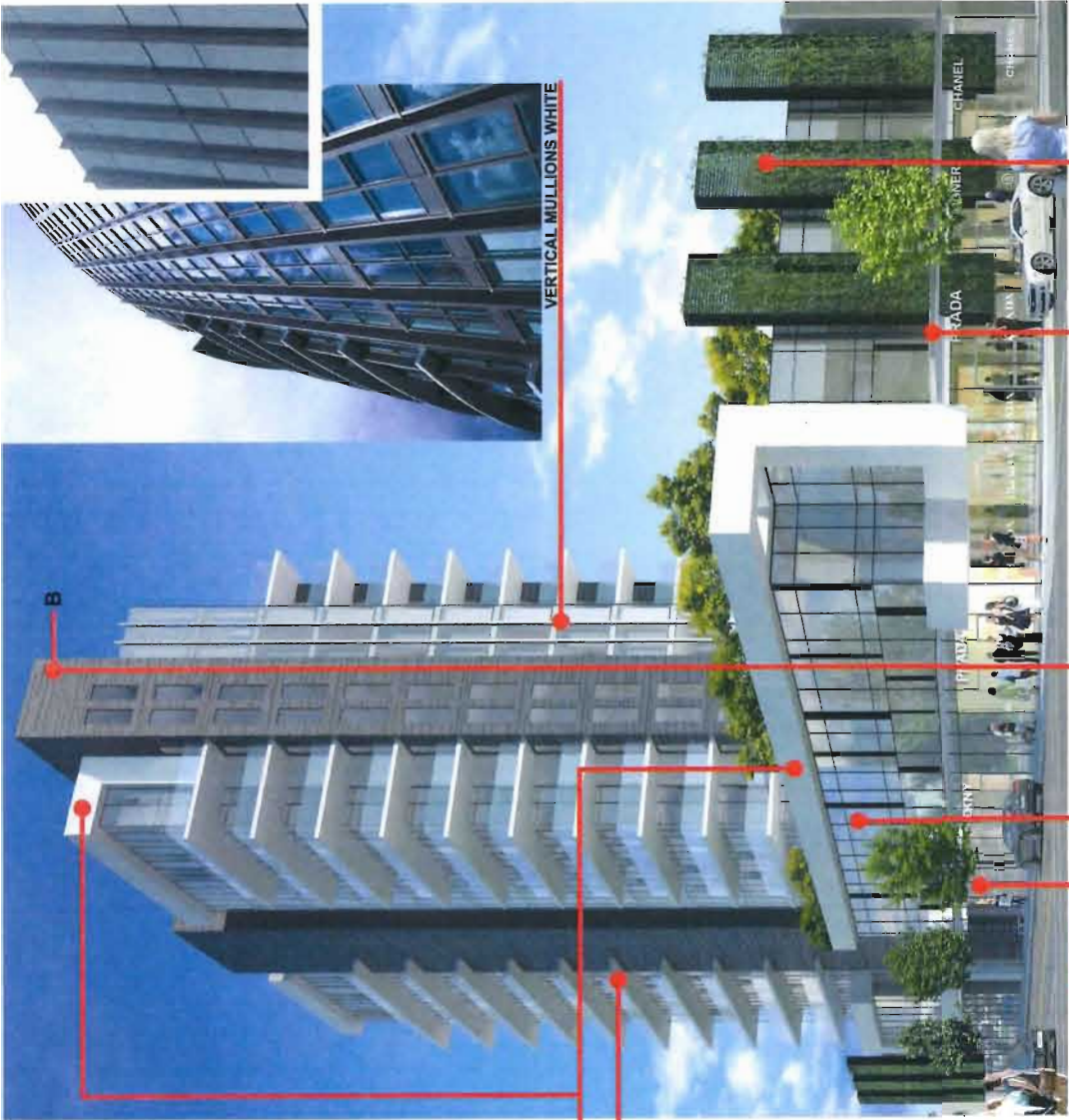
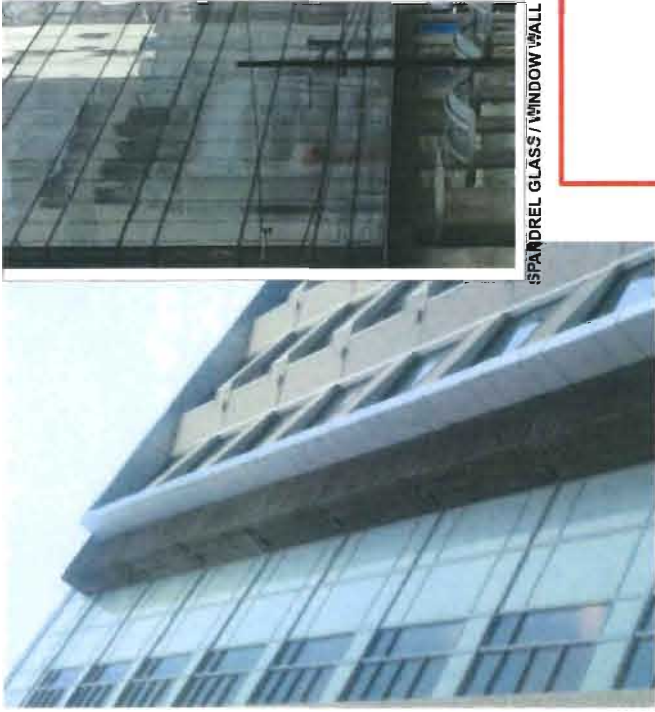
VERTICAL METAL SCREEN
SECTION DIAGRAM (ON BUSWELL ST.)



VERTICAL METAL SCREEN & SIGNAGE
SECTION DIAGRAM (ON COOK ROAD)

MATERIAL & COLOUR LEGEND

White	Metal Panel	BM - Cloud white (selected by Architect)	Similar to Alucobond (concealed edges no flashing)
Charcoal	Cementitious Cladding or Precast Concrete (form liner)	Charcoal (Colour by Architect)	Synstone Typical back fastened assembly
Charcoal + White	Window Wall System (Woven metal in metal angle frames to suit)	Frame colour - Charcoal to match metal panel colour or spandrel glass Charcoal (Iron moutain)	Allan Windows or Slatline 9000
Charcoal	Metal Screen	Charcoal	Perforated metal mesh screen
Clear	Glass Canopy (we steel outrigger supports)	Aluminum	Aluminum
Clear	Storefront	Aluminum	Kawneer 1860
Charcoal	Aluminum Railings /we clear safety glazing security gate	Charcoal BM Iron moutain 2134-30	
White	Softlit + Balcony membrane	White (standard colour)	
Grey	Concrete wall	Grey (colour by Architect)	Elastomeric paint



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Sheet No. 20
December 16, 2013
DP 13-634111

ARCHITECT SCALE

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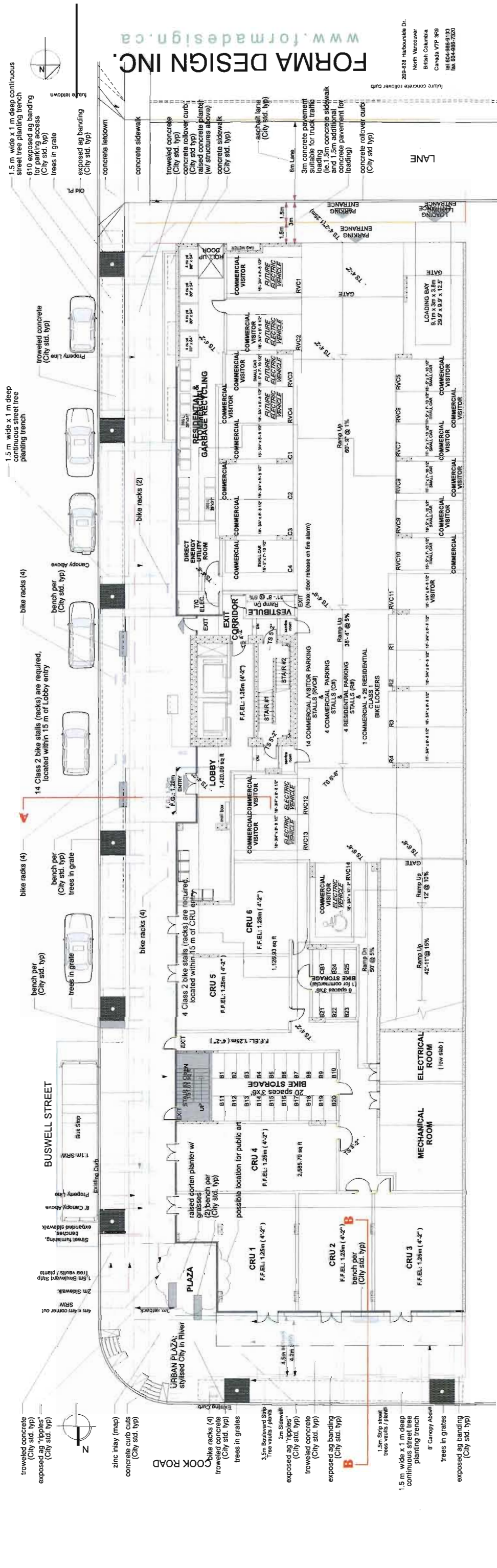
ELLE

6511-6531 BUSWELL
RICHMOND, BC CANADA

MATERIAL
LEGEND

10254
December 13, 2013
8 - DP Resubmission

A-8.00



TreeGrates:



corner detail

Sheet No. 21
December 16, 2013
DP 13-634111

1. Mar 28 2013 Development Application
2. Sep 28 2013 Re-submission DP
3. Oct 23 2013 Re-submission ADP
4. Dec 13 2013 Re-submission ADP

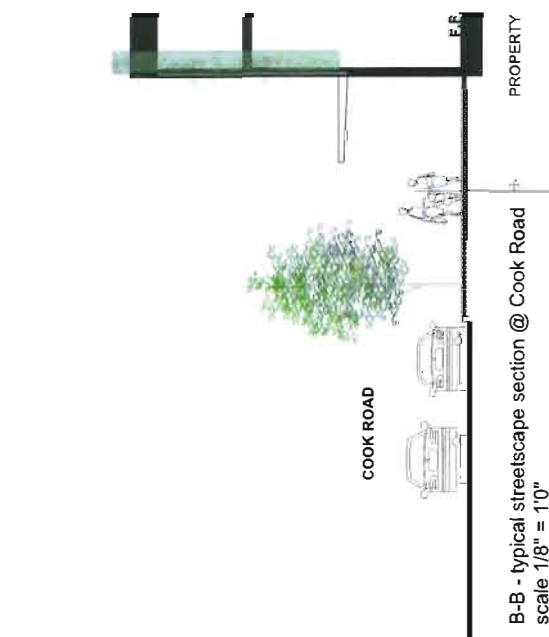
Backless bench: MLE1400B
Bench by Maglin
(www.maglin.com) or
equivalent



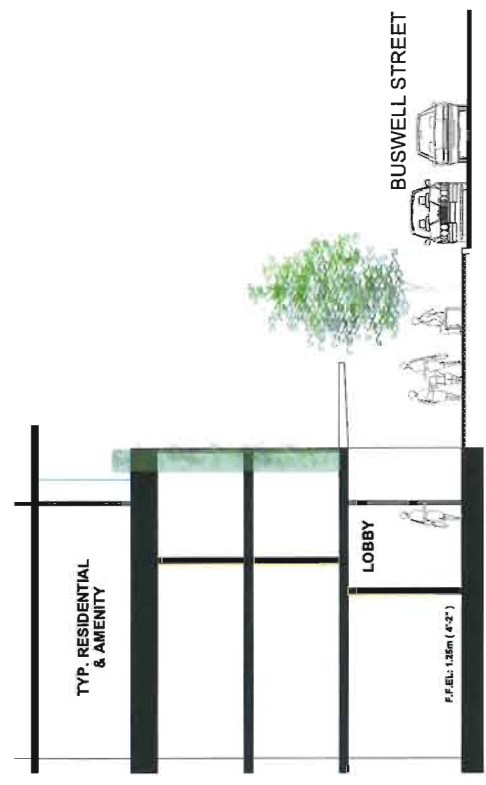
Trash container:
MLWR250S-32 by Maglin
(www.maglin.com) or
equivalent, as req. by COR



Bike rack: SCBR1600 Series
Bike Rack by Maglin
(www.maglin.com) or
equivalent, as req. by COR



B-B - typical streetscape section @ Cook Road
scale 1/8" = 1'0"



A-A - typical streetscape section @ Buswell Street
scale 1/8" = 1'0"

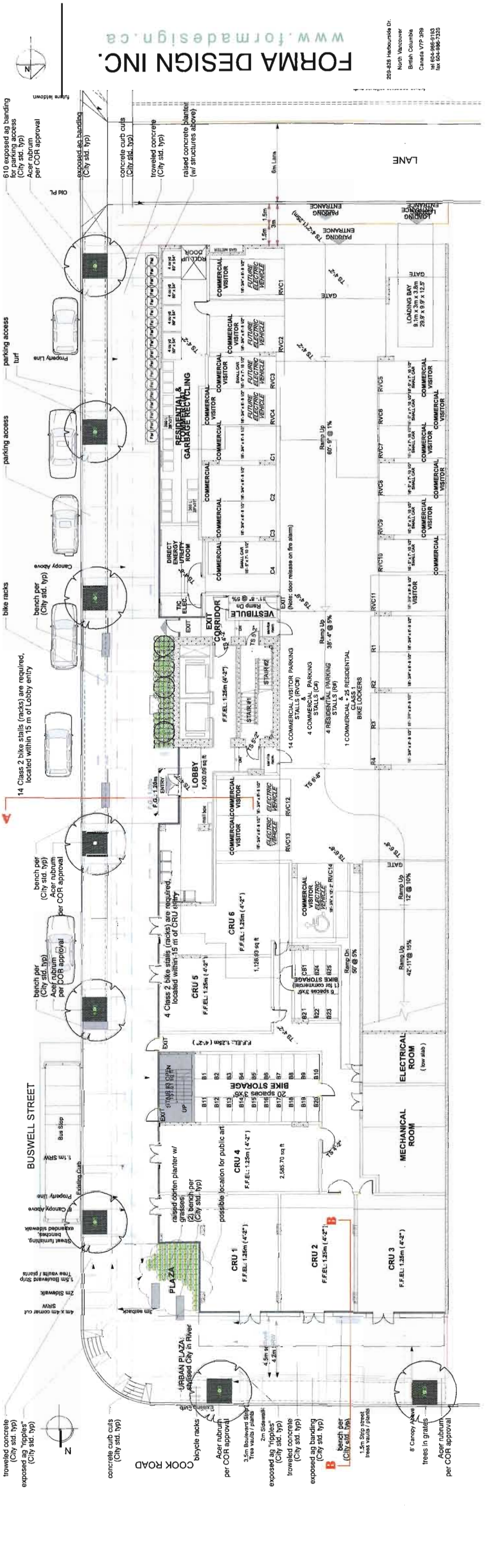
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www.formadesign.ca

205-828 Harbourside Dr.
North Vancouver
British Columbia
Canada V7P 3H6
tel 804-986-9103
fax 804-986-7620

ELITE
Buswell Street
Richmond, BC

Street Level
LANDSCAPE LAYOUT

12.048
L1 of 6



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North Vancouver
British Columbia
Canada V7P 3R9
Tel: 604-986-9183
Fax: 604-986-7320

Sheet No. 22
December 16, 2013
DP 13-634111

OFF-SITE PLANT LIST

KEY	QTY	BOTANICAL	COMMON NAME	SIZE	CONDITION/COMMENTS
TREES					
ARS	7	Acer rubrum 'Red Sunset'	Red Sunset Maple	10cm cal	B & B
POP	4	Populus tremuloides	Trembling Aspen	5 cm. cal.	B & B
SHRUBS					
Vol	85	Veronica ovalum 'Thunderbird'	Evergreen huckleberry		#2 Pot
GROUND COVERS/ANNUALS/FERNS/GRASSES/OTHER					
cab	70	Carex buchananii	Curry Sedge	12"	Sp #3

Planting Notes

- All materials and execution of landscape works shall conform to the BCS/ABONTA Landscape standard. Refer to written specifications for complete landscape documentation, if applicable.
- The Landscape Contractor shall ensure that the on-site planting medium/soil meets the specification and recommendations of the soil analysis taken at the time of Substantial Completion. All recommendations of the soil analysis shall be executed prior to Final Acceptance of the landscape works by the Consultant and the Municipality/Authority.
- Minimum planting medium depths:
 - Item - 67150mm
 - Shrub - 67150mm
 - Trees - 24" (610mm) (around and beneath rootball) / 2700mm on slab
 - Shrubs - 18" (457mm)
 - Trees - 24" (610mm) (around and beneath rootball) / 2700mm on slab
- All plant material shall meet minimum size requirements as indicated on plant list. Quality of plant material and grading of site to conform to BCNTA standard for container grown stock.
- Discrepancies between plant numbers on the plant list and on the plan should be reported to the landscape architect prior to ordering plant material. In the case where there is a discrepancy between plant numbers on the plant list and on the plan, the plant shall supersede the list.





BUSWELL STREET

600x 600 concrete pavers

outdoor kitchen

OPEN TO BELOW

aluminum structure
(architectural)
guard rail (architectural)
concrete paving
(concentric ring pattern)
trees in giant pots

COOK ROAD

600x 600 concrete pavers
guard rail (architectural)
seating bench

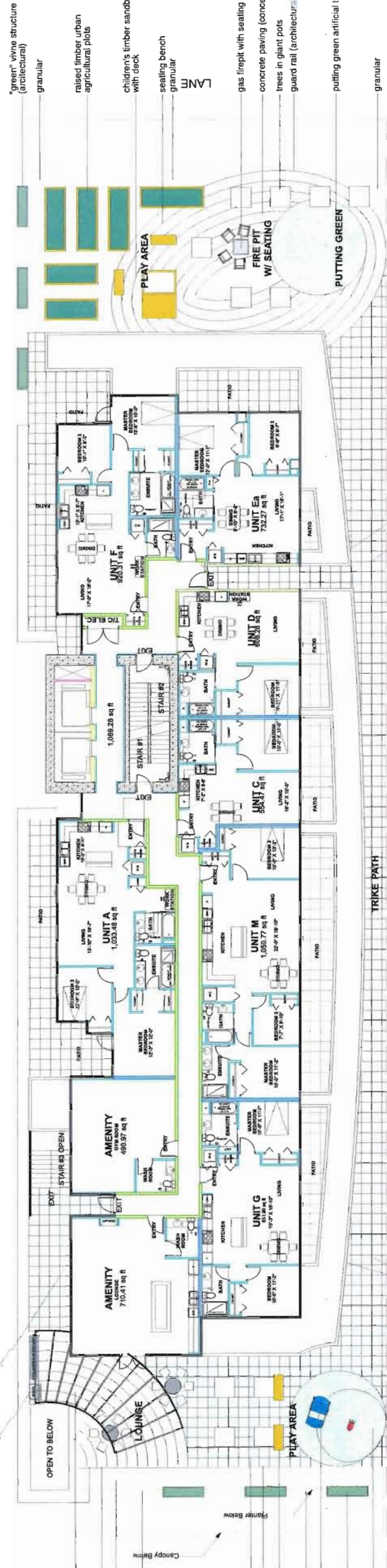
trees in giant pots
play equipment

"green" vine structure
(architectural)
artificial turf rubberised
play area

concrete planters 600 ht
600x 600 concrete pavers

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fax: 604-966-7920



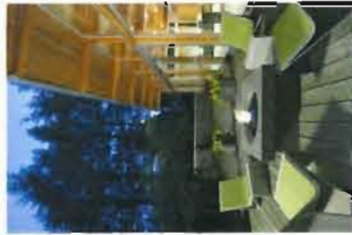
Steel Arbour Inspiration



Backless bench: ML.B8728-W
xBench by Maglinx
(www.maglinx.com) or equivalent



large scaled fibre reinforced concrete pots:



Elevated 36" Halo Fire Pit by
Solus (www.solusdecor.com)
or equivalent

24x24 hyrapressed concrete pavers:



granular material between pavers:



ELLE

Buswell Street
Richmond, BC

Podium Level
LANDSCAPE LAYOUT

Scale	1:50
Date	2013.11.04
Drawn	SS Rhymen
Checked	SS Rhymen
Approved	SS Rhymen
Comments	1. This drawing is a preliminary design and is subject to change without notice. 2. All dimensions are in millimeters unless otherwise specified. 3. All materials are to be of the highest quality and are to be installed in accordance with the manufacturer's instructions. 4. All work is to be done in accordance with the latest edition of the British Columbia Building Code.



BUSWELL STREET

600x 600 concrete pavers

outdoor kitchen

OPEN TO BELOW

aluminum structure
(architectural)
guard rail (architectural)
concrete paving
(concentric ring pattern)
concrete planter (lower level)

COOK ROAD

600x 600 concrete pavers
guard rail (architectural)

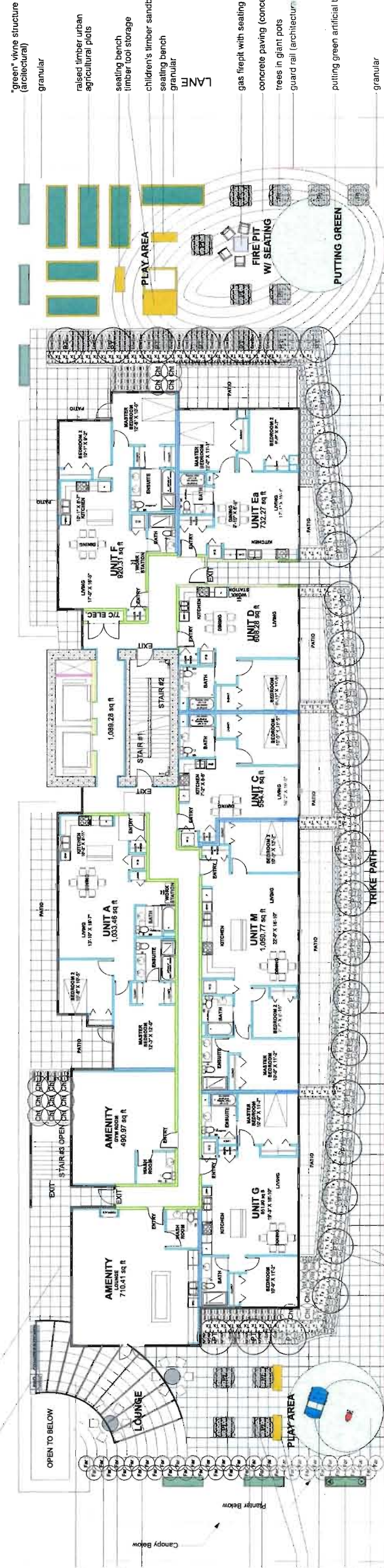
trees in giant pots
seating bench
play equipment

"green" vine structure
(architectural)
artificial turf rubberised
play area

concrete planters 600 ht
600x 600 concrete pavers

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British Columbia
Canada V7P 3R9
tel: 604-986-9183
fax: 604-986-7320



PLANT LIST

KEY	QTY	BOTANICAL	COMMON NAME	SIZE	CONDITION	COMMENTS
TREES						
APR2	4	Acer palmatum var.	Red Japanese Maple	3.0m ht.	B & B	
MGG	6	Magnolia grandiflora 'Little Gem'	Southern Magnolia	5 cm. cal.	B & B / 3.0m ht.	
PT	29	Populus tremula 'Erecta'	Columnar Trembling Aspen	5cm cal.	B & B / 2.5m ht.	
SHRUBS						
CHI	16	Choisya ternata	Mexican Orange Blossom	-	#3 Pot	
Piz	11	Topiary 'Realform Prunus'	Topiary	-	B&B / 1.2m ht.	
Tx	180	Taxus X Media 'H.M. Eddie'	Yew Hedge	-	B&B / 1.2m ht.	
Tbc	15	Taxus baccata 'cone'	Topiary Yew	-	B&B / 1.2m ht.	
Vol	6	Vaccinium ovatum 'Thunderbolt'	Evergreen Huckleberry	-	#2 Pot	
GROUND COVERS						
ha	200	Hakonechloa macro aurea	Hakonechloa	-	#1 Pot	
VINES						
P1	12	Parthenocissus tricuspidata	Boston Ivy	-	#2 Pot	
h	24	Hedera helix	English Ivy	-	#2 Pot	
PERENNIALS/ANNUALS/FERNS/GRASSES/AQUATIC						
agr	126	Agropyron magellanicum	Blue wheat grass	12"	Sp #3	
ecw	121	Euphorbia charad. 'Wulfenii'	Euphorbia 'Wulfenii'	-	#2 Pot	
Far	57	Fragaria rufa	Panda Bamboo	.5m	#10 pot	
hm	141	Heuchera micrantha	Alumroot	-	#1 Pot	
opb	280	Ophiopogon plantiscapus 'Ebony Knight'	Black Mondo Grass	12"	#1 Pot	
sic	99	Stipa calamagrostis	Spear Grass	12"	Sp #3	

Planting Notes

1. All materials and execution of landscape works shall conform to the BCSLA/BCNTA Landscape standard. Refer to within specifications for complete landscape documentation. If applicable.
2. The Landscape Contractor shall ensure that the on-site planting, medium/soil meets the specification and recommendations of the soil analysis taken at the time of Site/soil sample Collection. All recommendations of the soil analysis shall be executed prior to Final Acceptance of the landscape works by the Client and the Landscape Contractor.
3. Minimum planting medium depths:
lawns - 6"/150mm
shrubs - 12"/300mm
trees - 24"/600 mm (around and beneath rootball) 12"/300 mm on slab
4. All plant materials shall meet minimum size requirements as indicated on plant list. Quality of plant material and grading of site to conform to BCNTA standard for container grown stock.
5. Discrepancies between plant numbers on the plant list and on the plan should be reported to the landscape architect prior to ordering plant material. In the case where there is a discrepancy between plant numbers on the plant list and on the plan, the plan shall supersede the list.

Podium Level
LANDSCAPE PLANTING

DATE	12.048	SHEET NO.	L4 of 6
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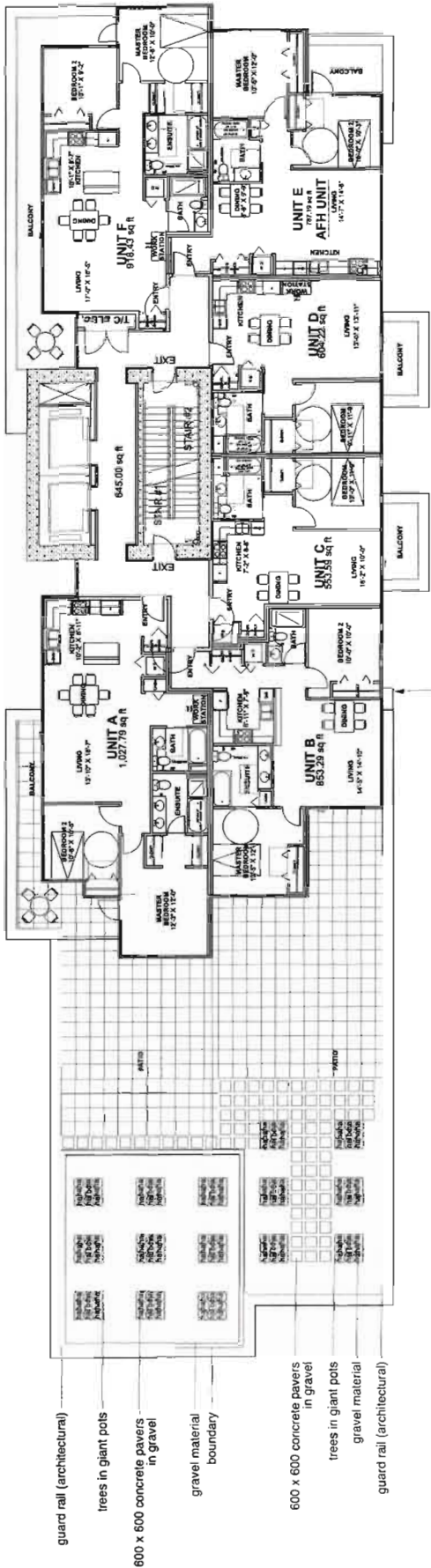
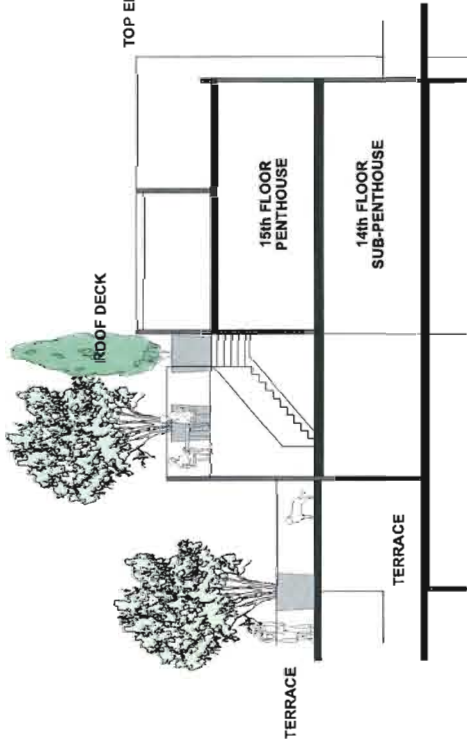


large scaled fibre reinforced concrete pots:

outdoor stainless steel kitchen
Quest Metal or equal:



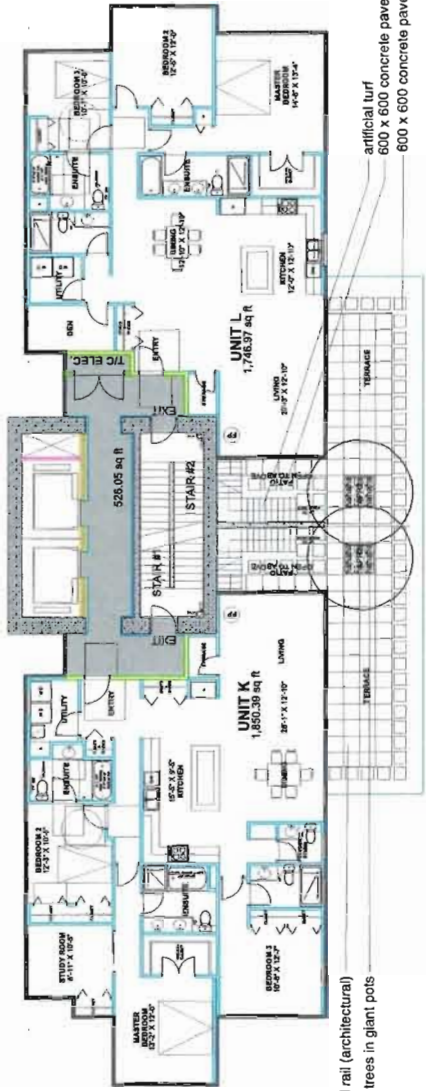
24X24 hyrapressed concrete pavers:



Fifth Floor Private Terraces
scale 3/32" = 10'



5th FLOOR



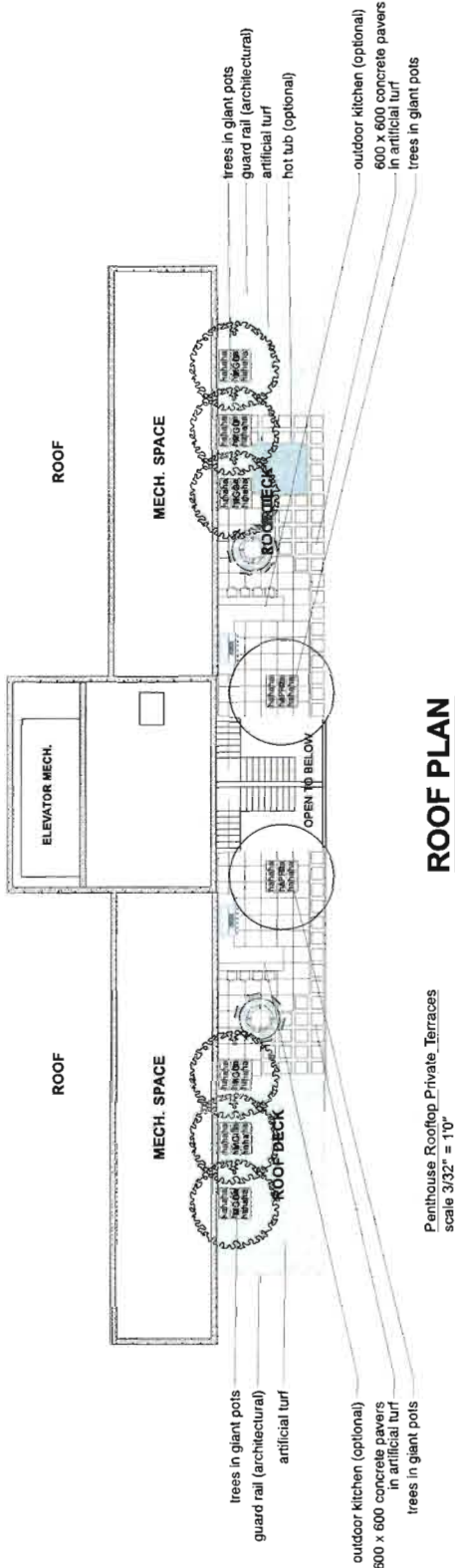
guard rail (architectural)
trees in giant pots



granular material between pavers:



15th FLOOR (PENTHOUSE)



Penthouse Rooftop Private Terraces
scale 3/32" = 10'



PART ONE GENERAL REQUIREMENTS

- REFERENCES

1.1

This section, along with the drawings, forms part of the contract documents and is to be read, interpreted and coordinated with all other parts.

The intent of this written specification is to complement the drawn information as indicated on the Landscape Plan and used in conjunction with each other to conform to all applicable governing codes and provisions.

All landscape works to be performed under this contract to meet the applicable provisions of the B.C.L.A. / B.C.N.A. Landscape Standard.

All materials and workmanship shall be in accordance with the applicable provisions and recommendations set forth in the Master Material Specifications & Standards Data and respect to Municipal Bylaws.

1.2

The subcontractor shall furnish from a recognized soil testing laboratory a certified analysis of the planting soils at their expense. A period of 7 days must be allowed for return of analytical data.

1.3

Any landscape products that differ from those specified in the contract documents, must be pre-approved by the Landscape architect.

1.4

SITE REVIEW

2.

All submittals are to include a product sample and or specification sheet.
- 1.5

WORKMANSHIP

1.

The subcontractor shall identify and become familiar with the location of all new and existing utilities, structures, structures and features on site which may affect the work prior to commencement of this contract. Any damages shall be repaired by the subcontractor at their own expense to the satisfaction of the consultant.

2.

The subcontractor shall take all precautionary measures to protect all existing trees and plants and shall be responsible for the protection of the same. The subcontractor shall be responsible for the removal of any debris and materials from the site and shall be responsible for the removal of any debris and materials from the site and shall be responsible for the removal of any debris and materials from the site.

3.

All cut or damaged roots of limbs over 1" (25mm) in diameter shall be painted with carbide.

4.

All existing trees to be saved shall be protected from the following:
a) Stockpiling of earth or materials under spread of tree.
b) Vehicle parking and/or driving under spread of tree.
c) Dumping of refuse or chemically injurious materials or liquids.
d) Contrail puddling or running water.

5.

The subcontractor shall be aware of the structural limitations of the slab and is responsible for the protection of the water proofing membrane.

1.6

WARRANTIES

1.

Guarantee plants for one year from date of substantial completion of the project. Replacements will be required under this contract until each plant unit so replaced will have successfully established and taken to the consultant's satisfaction.

2.

Guarantee that material and workmanship of this trade found defective will be replaced at no cost to the consultant within a period of one year from date of substantial performance of the project.
- PART TWO PRODUCTS
- 2.1

DESCRIPTION OF WORK AND SCOPE OF WORK

This work includes all labor, materials, equipment, transportation and services necessary for, but not limited to, the following:

 - Finish grading of all planned areas to meet finish with all paved surfaces and building elevations as specified on the landscape architectural and engineering drawings.
 - Improvement of existing planting-soil and supply and placement of new planting-soil to required depths.
 - Planting and maintenance of new shrubs, trees. All substitutions and changes to the original planting schedule shall be approved by the consultant prior to shipment of the plant material to the site.
 - Supply and installation of drainage courses where required. Refer to architectural detail.
 - Supply and install back mulch in shrub beds only.
 - Supply A.I. system as a design/build installation to the standard as per the written Specification Section 4.02310 Irrigation.
 - Install unit prices to the work of the section. Such unit prices to be used in adjusting the contract amount in the event of changes to the scope of work.

2.2

MATERIALS

1.

Growing Medium:
The growing medium to be supplied for layer of virgin or recycled source (see any submittal) imported planting-soil must be submitted to the specified laboratory for analysis. The laboratory will specify any required additions of sand, organic matter, fertilizers and lime to meet specifications. The growing medium shall be delivered to the site in a timely manner and shall be delivered to the planting-soil may be rejected and must be replaced with a superior preparation.

2.

Commercial fertilizer shall be selected after soil analysis. It shall be uniform in composition, dry and free-flowing. The fertilizer shall be delivered to the site in the original, unopened containers with the manufacturer's name and address clearly visible. No substitutions or changes to the original planting schedule shall be approved by the consultant prior to shipment of the plant material to the site.

3.

Lime shall be ground limestone containing not less than 85% of total carbonate and shall be ground to such a fineness that 50% will pass through a 100-mesh sieve and 50% will pass a 20-mesh sieve.

4.

Plant (Plant Material) shall be a domestic product consisting of partially decomposed vegetable matter or peat moss, and shall be in the form of a soil conditioner. It shall be applied to the planting soil to a depth of 1" (25mm) in diameter.

5.

Sand: Clean washed pumped sand to meet requirements of B.C. Landscape Standard.
6.

Organic mulch shall be maximum size 2" (50mm) in any dimension with within analysis from a recognized lab to the approval of the consultant prior to installation.

7.

Fertilizers

8.

Filter Fabric: Woven "Pema Liner", Type 3100, as manufactured by Synflex Industries, or other polypropylene approved by the consultant.

9.

Drain Pipe

10.

Washed drain rock 1/4 - 1/2 in. (5-10mm) diameter.

11.

Plant Material

12.

Soil

13.

Miscellaneous
- 3.1

SITE CONDITIONS

1.

The subcontractor shall respect the site prior to commencement of work and report to the consultant any discrepancies between existing site conditions and conditions shown on the drawings.

2.

Install plant material during the season or seasons which are optimal for each species determined on the responsibility of the contractor, planting of the lawn and plant material may be done under any circumstances and shall be approved by the consultant. The subcontractor shall be responsible for such work until they have received written approval from the consultant or their representative of the charged time or work and methods of operation.

3.2

SITE PREPARATION

1.

Sturdy existing subgrade 24" (600mm) below finish grade at planted areas. Do not scarify within 8" of existing trees. Determine location and depth of existing utilities before scarifying.

2.

Grading: Establish finished grades in planting areas, to elevations shown on architectural drawings. Upon completion, ensure absence of potholes or other drainage obstructions.

3.

Layout: Layout work from dimensions on drawings. Verify measurements on the site report discrepancies to consultant before proceeding with the plan.

4.

Surface Drainage: Slope and pitch grades as shown on plan, drain to gutters and catch basins.

5.

Clean-up: Remove and dispose of stumps, roots, pieces of wood, bushes, leaves, refuse, concrete rubble and similar debris from the before spreading of planting soil.

3.3

PLANTING SOIL PREPARATION

1.

Native planting soil and/or imported planting soil, to be analyzed according to recommendations of the soil analysis. No other additions or amendments shall be made to the planting soil without prior approval by the consultant.

2.

Mixing may be done at the job site in an area approved by the consultant.

3.

Planting soil depths - off slab:
Groundcover - 12" (300mm);
Shrub Beds - 18" (450mm);
Trees - 12" (300mm) (ground & beneath roadbed).

4.

Planting soil depths - on slab:
Groundcover - 18" (450mm);
Shrub Beds - 18" (450mm);
Trees - 12" (300mm) (ground & beneath roadbed).

3.4

STRUCTURAL SOIL

1.

Structural soil to be installed to City of North Vancouver standards as approved

3.5

LIME AND FERTILIZER

1.

Lime: Apply as necessary determined by the soil analysis to raise planting-soil pH to 6.5.

2.

Fertilizer: Apply fertilizer as determined by the soil analysis and as noted in this section.

11.

To facilitate watering, form a ridge of planting-soil around the edge of the pit or trench.

12.

Secure trees as follows:
a) Stake or guy each tree immediately after planting. Confirm with the consultant which stakes are to be guyed or staked.
b) Stake each tree with two stakes. Set each stake vertically a minimum of 24" (600mm) from the trunk of the tree. The stakes shall be secured with a minimum of 1/2" (12mm) wire encased in pieces of rubber hose. Tree-see shall be large enough to allow for a two year growth, and neatly constructed.
c) Secure trees over 2" (50mm) caliper with 3 cuts equally spaced about each tree. Each cut shall be made with a sharp, clean cut. The cuts shall be made at a distance of 40 degrees and at 2/3rds the height of the tree, where the wire attached to the tree is shall be adequately encased in hose as noted in (d) below. Anchor guys at the ground to 3" x 3" x 3-1/2" (75mm x 75mm x 75mm) steel rods or equivalent. The rods shall be secured with a minimum of 1/2" (12mm) wire encased in pieces of rubber hose. The rods shall be secured with a minimum of 1/2" (12mm) wire encased in pieces of rubber hose. The rods shall be secured with a minimum of 1/2" (12mm) wire encased in pieces of rubber hose.

3.6

CLEAN-UP

1.

Remove from the site all surplus materials, cans and other debris resulting from the work of this Section 2600. Neatly dress and finish planting areas; flush clean walks and paved areas with water from a recognized lab to the satisfaction of the consultant.

3.7

MAINTENANCE

1.

Protect plants against trespassing and damage at all times. If any plants are injured they shall be treated or replaced as required by the consultant.

2.

If necessary, surround planted areas with temporary fencing of stakes and heavy stakes at minimum 6'-0" (1800mm) centres. Remove temporary fencing when planting is completed by consultant.

3.

Protect plants against damage including rodents: If plants are installed subsequent to lawn preparation, remove proper damage to the protection of them. Remove proper damage to the protection of them.

4.

If any have been injured by the subcontractor, the consultant shall be responsible for the cost of replacement. The consultant shall be responsible for the cost of replacement. The consultant shall be responsible for the cost of replacement.

3.8

WARRANTIES

1.

Guarantee plants for one year from date of substantial completion of the project. Replacements will be required under this contract until each plant unit so replaced will have successfully established and taken to the consultant's satisfaction.

2.

Guarantee that material and workmanship of this trade found defective will be replaced at no cost to the consultant within a period of one year from date of substantial performance of the project.

2.3

SPRINKLER HEADS

1.

First quality of the types indicated on the drawing or pre-approved equivalents by the consultant.

2.4

AUTOMATIC CONTROLLER

1.

First quality of the types indicated on the drawing or pre-approved equivalents by the consultant.

2.5

CONTROL AND COMMON WIRING

1.

Insulated single strand wiring with THW-40 #14 gauge to used where directly buried in the landscape. Wire to be used as the common wire.

2.

Wiring from the controller to the landscape may be a minimum of #18 solid wire run in conduit.

3.

All electrical connections to be made with CSA watertight connectors.

3.0

EXECUTION

3.1

LAYOUT

1.

The irrigation subcontractor shall respect the site prior to commencement of work and report to the consultant any discrepancies between existing site conditions and conditions shown on the drawings.

2.

Confirm exact locations of lines, valves and heads with other placement to avoid conflicts and damage to plants during installation. Stake locations and exact grades of all components.

3.2

EXCAVATION AND BACKFILLING

a)

The excavation depths for piping shall be:
landscape areas - minimum 12" (300mm) cover.
paving - minimum 18" (450mm) cover.

b)

concrete slab - place pipe on filter fabric above drain rock 1/2" (30mm) cover can not be met.

c)

Trenches shall be straight with uniform slopes to the bottom of the trenches.

d)

Place pipe on firm soil at all points of the trench.

e)

Backfill trenches in 6" (150 mm) layers, tamping to ensure compaction of trench is equal to surrounding undisturbed area.

f)

Backfill material shall be free from rocks and other unsuitable materials which could damage the pipe or create unusual settling problems.

3.3

INSTALLATION OF PIPING

1.

Install the piping in accordance with the drawings and with manufacturer's recommendations.

2.

Where possible, main and lateral lines may occupy the same trench provided a minimum 2" (50 mm) clearance exists between all materials.

3.

No line may be installed parallel to and directly over another line.

4.

All piping to run as straight as possible between fittings.

5.

Remove all excess PVC solvent cement from all solvent weld joints.

6.

The entire irrigation system shall be thoroughly flushed with water to remove dirt, scale and foreign matter before sprinkler heads are installed.

3.4

INSTALLATION OF SPRINKLERS

1.

Pop-up sprinklers shall have an adjustable riser assembly (triple swing joint) assembled by using at least three standard PVC street elbows. (NOTE: market street elbows are not allowed).

2.

Triple swing joint risers shall be of Schedule 80 PVC and fittings of schedule 40 PVC unless otherwise indicated on the drawings.

3.

The bottom street elbow shall be connected to the side outlet on the lateral line.

4.

The PVC nipple on a pop-up sprinkler shall be installed on a 45 degree to the lateral line.

5.

All stationary spray sprinklers shall be installed with two PVC street elbows to connect to the lateral line and a Schedule 80 PVC nipple that is long enough to be four inches (4") or an minimum (10 cm) above finished grade.

6.

All sprinkler heads to be installed a minimum of one inch (1") or two and one half centimeters (2.5 cm) away from any hard surface.

3.5

INSTALLATION OF VALVES AND VALVE BOXES

1.

All valve boxes to be installed flush with finished grade.

2.

All valve boxes to be installed vertically and centred in the valve box for ease of accessibility for servicing.

3.

All valve boxes to be blocked so the valve box does not rest on the piping below.

4.

Minimum valve box sizes:
a) 910 - one 1.57(3.8 cm) valve or two 1.12(5 cm) valves
b) 1419 - two 1.57(3.8 cm) valve or three 1.12(5 cm) valves
c) 1320 - three 1.57(3.8 cm) valve or four 1.12(5 cm) valves

5.

All wiring connections in the valve boxes to be sufficient length to permit removal of the top of the valve from the valve box.

3.6 INSTALLATION OF WIRE

1.

Install low-voltage wire beneath irrigation piping for protection.

2.

All electrical connections to be made in an accessible valve box.

3.7 OPERATION INSPECTION

1.

Upon completion of the irrigation system, the entire system shall be tested for proper operation.

2.

The irrigation subcontractor shall balance and adjust the various components of the irrigation system to ensure proper operation. The irrigation subcontractor shall be responsible for the adjustment of pressure regulators, pop-up sprinklers and radial valves. The irrigation subcontractor shall be responsible for the adjustment of the pressure regulators, pop-up sprinklers and radial valves. The irrigation subcontractor shall be responsible for the adjustment of the pressure regulators, pop-up sprinklers and radial valves.

3.

COVERAGE TEST: When the irrigation system has been completed, a coverage test shall be performed in the presence of the consultant to ensure all planting areas are adequately covered.

4.

CONTROLLER TEST: Prior to substantial performance of the irrigation system, the automatic controllers shall be tested in sequence and through all zones. Any necessary adjustments shall be made to the satisfaction of the consultant.

FORMA DESIGN INC.

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British Columbia
Canada V7P 3R9
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fax 604-986-7320

Sheet No. 26
December 16, 2013
DP 13-63411

DATE	
1.	Mar 28 2013 Development Application
2.	Sep 26 2013 Re-submission DP
3.	Oct 23 2013 Re-submission ADP
4.	Dec 13 2013 Re-submission ADP

DATE	
ELLE	
Buwell Street	
Richmond, BC	

LANDSCAPE SPECIFICATIONS

DATE	
1.	Mar 28 2013 Development Application
2.	Sep 26 2013 Re-submission DP
3.	Oct 23 2013 Re-submission ADP
4.	Dec 13 2013 Re-submission ADP

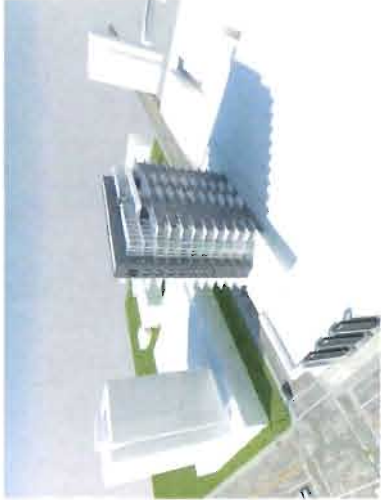
12.048
L6 of 6



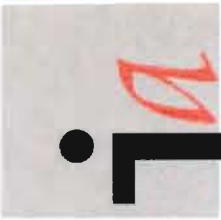
RENDERING NIGHT VIEW



PERSPECTIVE FROM SOUTH-EAST



MASSING STUDY VIEWS



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Sheet No. 27
December 16, 2013
DP 13-634111

[ARCHITECT SEAL]

[CLIENT]
MAJORCA INTERNATIONAL
INVESTMENTS LTD.

[PROJECT]
ELLE

6511-6531 BUSWELL
RICHMOND, BC CANADA

[TITLE]

CONCEPT

10254 [PROJECT]
[SCALE]
December 13, 2013 [DATE]
8 - DP Resubmission [ISSUE]
[DRAWING]

A-0.50