



To: Development Permit Panel

Date: March 4, 2015

From: Wayne Craig
Director of Development

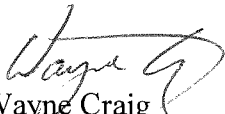
File: DP 14-677534

Re: **Application by Onni 7771 Alderbridge Corp. Inc. for a Development Permit at 7008 River Parkway and 7771 Alderbridge Way**

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of a 324-unit apartment project in two (2) six-storey buildings over connected concrete parking structures located at 7008 Alderbridge Way and 7771 Alderbridge Way; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - (a) Reduce the required exterior side yard setbacks for portions of partially below-grade parking structures from 3.0 m to 0.0 m on the west side of the site along Cedarbridge Way;
 - (b) Reduce the required interior side yard setback for limited portions of partially-below grade parking structures from 1.5 m to 0.0 m along the east property line of the site;
 - (c) Reduce the required rear yard setback for the attached below-grade parking structures from 1.5 m to 0.0 m on both sides of the future property line that will separate the two (2) future lots to be subdivided within the site;
 - (d) Reduce the required visitor parking from 0.20 spaces/dwelling unit to 0.15 spaces/dwelling unit for the development; and
 - (e) Reduce the requirement for the provision of one (1) WB-17 loading space to zero (0).


Wayne Craig
Director of Development

WC:mmm
Att. (5)

Staff Report

Origin

Onni 7771 Alderbridge Corp. Inc. has applied for a development permit to revise the parking and building design for two (2) apartment buildings within a 659-unit, four (4) building project previously approved under DP 12-615424 in November, 2012.

The two (2) subject buildings (Buildings 3 and 4) were planned to be located on a single site above one (1) large single-storey shared parkade on the east side of Cedarbridge Way (Attachments 2 and 3).

The proposed Development Permit makes changes to Building 3 to provide additional parking within a second above-grade parkade level. It also includes changes to the internal courtyard and the sixth floor on the east side of the building. The proposed Development Permit also includes an additional setback variance to facilitate construction of the adjacent parkades under Buildings 3 and 4 on separate lots. The proposed Development Permit does not change the exterior form and character of Building 4.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the north, lies a section of River Parkway currently under construction. Further to the north, one (1) large light industrial building is located on a site zoned "Industrial Business (IB1)".
- To the south lies Alderbridge Way; with the former Grimm's meat factory site on the south side of the street. This site was rezoned in July, 2013 (RZ11-593705) from "Industrial Retail (IR1)" to "Residential Limited Commercial (RCL)" to allow for a higher density, mixed-use development now under construction.
- To the east, two (2) light industrial/retail buildings are located on a site to the east of an adjacent lane and on a site zoned "Industrial Retail (IR1)".
- To the west, lies a new section of Cedarbridge Way and Buildings 1 and 2 further to the west within the overall development as approved under DP12-615424.

Staff Comments

The proposed development scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, the proposal complies with the intent of

the applicable sections of the Official Community Plan (OCP) and the City Centre Area Plan (CCAP) which designates the site as “Urban Centre T5 (25 m)”.

Zoning Compliance/Variances (staff comments in bold)

The proposal complies with the “High Density Low Rise Apartments (RAH2)” zone of the Richmond Zoning Bylaw 8500 except for the variances noted below. With the exception of variance No. 3, the variances are the same as those previously approved under the current development permit (DP 12-615424). These previous variances are included within the new proposed Development Permit to ensure that they are applied to the applicant’s revised development plans within the new Development Permit.

The single new variance (no. 3) is required to facilitate the proposed subdivision of the subject site into two (2) lots which better accommodates the applicant’s desired construction phasing.

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Reduce the required exterior side yard setbacks for portions of partially below-grade parking structures from 3.0 m to 0.0 m on the west side of the site along Cedarbridge Way;

(Staff supports continuation of the existing variance for the parkade setback to Cedarbridge Way as the sections of parkade walls located at 0.0 m. are largely located below the Cedarbridge Way street grade where the east-west greenway crosses the street. To conceal the parkade, lower parkade ceilings over bike parking and the front vehicle parking have been used to assist in accommodating these planters and hiding the parkade structures. This treatment leaves only short sections of these parkade walls rising up to approximately 0.75 m (2.5 ft.) to meet adjacent terraced planters.)

- 2) Reduce the required interior side yard setback for limited portions of partially-below grade parking structures from 1.5 m to 0.0 m along the east property line of the site;

(Staff supports continuation of the existing variance which is for the parkade wall under Buildings 3 and 4 on the east side of the site adjacent to a 6.0 m (20.0 ft.) lane. This is an interim condition as a future north-south pedestrian path will be constructed within the east lane at a higher grade rising up to the level of the intersecting east-west greenway. An ultimate grading plan is included within the Development Permit plans that address this future raised pathway with planter walls not exceeding 1.2 m (4.0 ft.) against the final pedestrian pathway elevation. Staff have also discussed this proposed change of grade with the owners of the future development site to the east who will be required to construct the pathway over the current lane alignment as discussed above.)

- 3) Reduce the required rear yard setback for the two (2) attached below-grade parking structures from 1.5 m to 0.0 m on both sides of the future property line that will separate the two (2) future lots to be subdivided within the site;

(Staff supports the proposed variance as it applies to the interim south elevation of the parkade to be constructed with Building 3 and is located adjacent to the remaining existing light industrial building to be demolished for the future Building 4. When Building 4 is built, its parkade will abut and be connected to the Building 3 parkade.)

- 4) Reduce the required visitor parking from 0.20 spaces/dwelling unit to 0.15 spaces/dwelling unit for the site.

(Staff supports continuation of the existing visitor parking reduction to 0.15 spaces/unit as accommodated within the 7.5% TDM reduction in total parking requirements (resident and visitor parking combined). As the visitor parking component was reduced by 25% under the existing DP12-615424 (more than the 10% TDM maximum), a formal variance was required. The applicant registered an easement that requires the interconnection of the visitor parkade intercoms and includes parkade entrance signage allowing for visitor parking sharing for Buildings 1/2 and Buildings 3/4. The interconnection provides flexibility for use and access to all of the 49 visitor spaces within the parkade for Buildings 3 and 4.)

- 5) To reduce the requirement for the provision of one (1) WB-17 loading space to zero (0).

(Staff supports continuation of this proposed variance as there will be four (4) medium SU9 loading spaces within the development site with one (1) space being located next to each building's lobby entrance off of Cedarbridge Way as included within the current Development Permit.)

Analysis

Urban Design and Site Planning

The current approved development includes four (4) similar buildings of six (6) storeys each. There are two (2) buildings on each of the two (2) lots on the east and west sides of Cedarbridge Way. The four (4) previously-approved buildings have a similar U-shaped form of development with each building having three (3) sides surrounding a garden courtyard.

The proposed revisions to Building 3 accommodate a second level of parking under the courtyard and within the inner part of the first storey of the building (see Attachment 5 and Development Permit plans), creating an additional "step" in the courtyard. Staff support the stepped concept as it provides visual interest when viewed in perspective from the street, creates an alternative to the other courtyard designs and breaks the courtyard into smaller, programmable sub-areas, including a passive recreation area on the lower level and more active children's play and urban agriculture areas on the upper level. No other substantive changes are proposed to be included on the first five (5) storeys of Building 3.

To off-set the loss of residential space on the first storey, units have been added to the sixth storey on Building 3. These units are located in the central (eastern) section of the “U” and match the approved six-storey height of the adjacent north and south wings. When combined with the raising of the interior courtyard, there is no appreciable increase in the height of the building’s east wing when viewed from Cedarbridge Way. The increased height will be more apparent when experienced from the current east lane (future north-south greenway) and when the building is viewed from the east. Measures to mitigate the impact of this added mass are discussed in the following section.

Architectural Form and Character

Buildings 3 and 4 remain consistent with the approved Development Permit DP 12-626615 with the exception of the following changes:

- The additional units included on the sixth storey of the east wing of the building will provide for a more strongly defined sixth storey than the current approved design that includes a covered, open breezeway connecting the north and south wings (see Attachment 4).
- The additional building mass included on the sixth storey is purposely set back from the north and south wings to provide breaks in the building mass in the building’s east wing. These breaks in building mass, which provide roof top decks for the adjacent units, are intended to reduce the apparent bulk of the upper floor level on both sides of the building, as well as allow for more sun penetration to public and private grade-level spaces.
- The glass curtain wall lobby entrance on River Parkway has been doubled in width to provide a more prominent break within the building facade.

Landscape Design Changes

Revisions to the landscaping plan for Building 3 are as follows:

- The one (1) storey increase in grade through the centre of the courtyard is addressed with the inclusion of three (3) landscape walls with terraces between two (2) main levels of the courtyard.
- The outdoor play area has been relocated to the centre of the courtyard away from the adjacent private unit patio space. The play area has also been slightly enlarged to provide for four (4) pieces of play equipment instead of the former one (1) piece.
- There is an increased number of community garden plots but the total garden space is somewhat reduced to provide for more pedestrian circulation area around the greater number of plots.

East-West Greenway:

The east-west greenway runs between Buildings 3 and 4 as required under the CCAP. The separation between the buildings averages approximately 22 m (72.5 ft.) along the greenway, leaving sufficient area for ground floor patios and common strata property on each side. The greenway features a 3.5 m (11.5 ft.) wide hard-surfaced public path with landscaping on both sides and is included within a 10 m (33 ft.) wide Statutory Right of Way (SRW) registered at the time of rezoning.

The proposed Development Permit application and subdivision do not change the ultimate location and design of the greenway and ensures that the full pathway surface is provided when Building 3 is constructed. In the interim, the portion of the greenway on Lot B4 will be located on fill and will be reconstructed when the parkade and Building 4 are built on Lot B4. The greenway will straddle the proposed lot line between Lots B3 and B4 and be included within the current greenway SRW and a proposed joint-maintenance easement for the interim and ultimate greenway as discussed below (see Attachment 3).

On-Site Vehicle Parking and Loading

The proposed parkade level 1 layout is similar to the combined parkade structure under Buildings 3 and 4 under the approved Development Permit, but with the inclusion of a partial second parking level within Building 3 and under its courtyard as described above. The proposed additional parkade level allows for 394 resident spaces (an increase of 39 spaces). The same number of visitor spaces are provided for Buildings 3 and 4 as included within the approved Development Permit which includes a variance to 0.15 visitor spaces/unit.

The design does not include a large WB17 loading space as it was relaxed under the current Development Permit DP12-615424 and is proposed to be relaxed under this new development permit.

Future Subdivision and Legal Documents

The phasing of construction of Buildings 3 and 4 and the associated street frontage and east-west greenway construction are consistent with that provided at rezoning and within the current approved DP12-615424.

The interim subdivision will allow for the construction of Building 3 on Lot B3 first and Building 4 on Lot B4 later, after the remaining light industrial existing building is demolished. The ultimate connected parkade structure will require the registration of a reciprocal parking and access easement on the proposed Lots B3 and B4. The subdivision and parking easement are requirements of Development Permit issuance.

The greenway located between Buildings 3 and 4 will be located on both future Lots B3 and B4 on the existing SRW. A reciprocal easement over these lots and the existing greenway SRW is required to ensure that the owners of both lots share the maintenance responsibilities and costs for the greenway and is a condition of Development Permit issuance.

The applicant has included an interim 1.5 m (5.0 ft.) asphalt pathway along the eastern side of the Cedarbridge Way along the Lot B4 frontage to the new crosswalk and traffic light being now installed at the Cedarbridge Way / Alderbridge Way intersection. When Building 4 is completed, the ultimate street frontage improvements, including sidewalks and boulevards, will be constructed on the sections of Cedarbridge Way and Alderbridge Way fronting Lot B4.

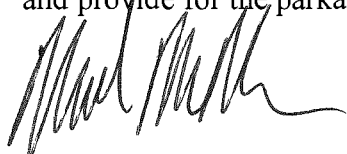
Lastly, the internal changes to provide the second parking level within Building 3 has resulted in shifting the current eight (8) affordable housing units from floors 2 and 3 to floors 3 and 4. The total floor area of the affordable housing and unit types would remain as provided in the current affordable housing covenant and housing agreement, but would require amendment to change the above-noted floor plans.

Conclusions

The proposed development permit to accommodate the additional parkade within Building 3 provides 39 additional resident parking spaces and maintains the same visitor parking at 0.15 spaces/unit as provided in the original Development Permit DP12-615424. Moreover, stepped terracing of the interior courtyard, on-site outdoor amenity space and revisions to the fifth and sixth floors of the east wing of Building 3 have improved the design of the development.

The revised Building 3 design is also consistent with the OCP and CCAP Development Permit Area guidelines and land-use policies as well as the RCL2 zoning.

On this basis, staff support issuance of the Development Permit for the revisions to Building 3 and provide for the parkade phasing.



Mark McMullen
Senior Coordinator-Major Projects

MM:rg

The following are to be met prior to forwarding this application to Council for approval:

- Holding of the current Letter of Credit for \$833,599 (provided under DP13-615424) to secure the Buildings 3 and 4 landscaping and that may be reduced after the completion of the Building 3 landscaping/interim greenway to \$327,044 for the remaining Building 4 landscaping and ultimate greenway.
- Prepare a subdivision plan for Lots B3 and B4 as generally shown in Attachment 3 to satisfaction of the City and the Approving Officer.
- Prepare and register a reciprocal easement on the title of the proposed Lots B3 and B4 that provides for sharing of the maintenance responsibilities for the greenway within the existing registered SRW as generally shown on Attachment 3 to the satisfaction of the City.
- Prepare and register a reciprocal easement on the title of Lots B3 and B4 that provides for shared use of and access to the parkades on each lot as generally shown on Attachment 5 to the satisfaction of the City.
- Prepare and register an amendment to the existing registered affordable housing covenant (#CA2848659-CA2848664) that includes the revised affordable housing units associated with changes in the proposed DP14-677534 while ensuring the affordable units and sizes are to the satisfaction of the City and that their total floor area is consistent with the existing affordable housing covenant to the satisfaction of the City.

- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Division at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Division (<http://www.richmond.ca/services/tp/special.htm>).

Attachments:

1. Development Application Data Sheet
2. Location Map
3. Site Plan for Current Development Permit for Buildings 1 to 4 and Proposed Development Permit for Buildings 3 and 4
4. Current Development Permit Elevation Plans for Building 3
5. Plans for Proposed Parkade Under Buildings 3 and 4



DP 14-677534

Attachment 1

Address: 7771 Alderbridge Way and 7008 River Parkway

Applicant: Onni 7771 Alderbridge Corp. Inc.

Owner: Onni 7771 Alderbridge Corp. Inc.

Planning Area(s): City Centre Area Plan (Lansdowne Village)

Floor Area Gross: 323,602m²

Floor Area Net: 300,271m²

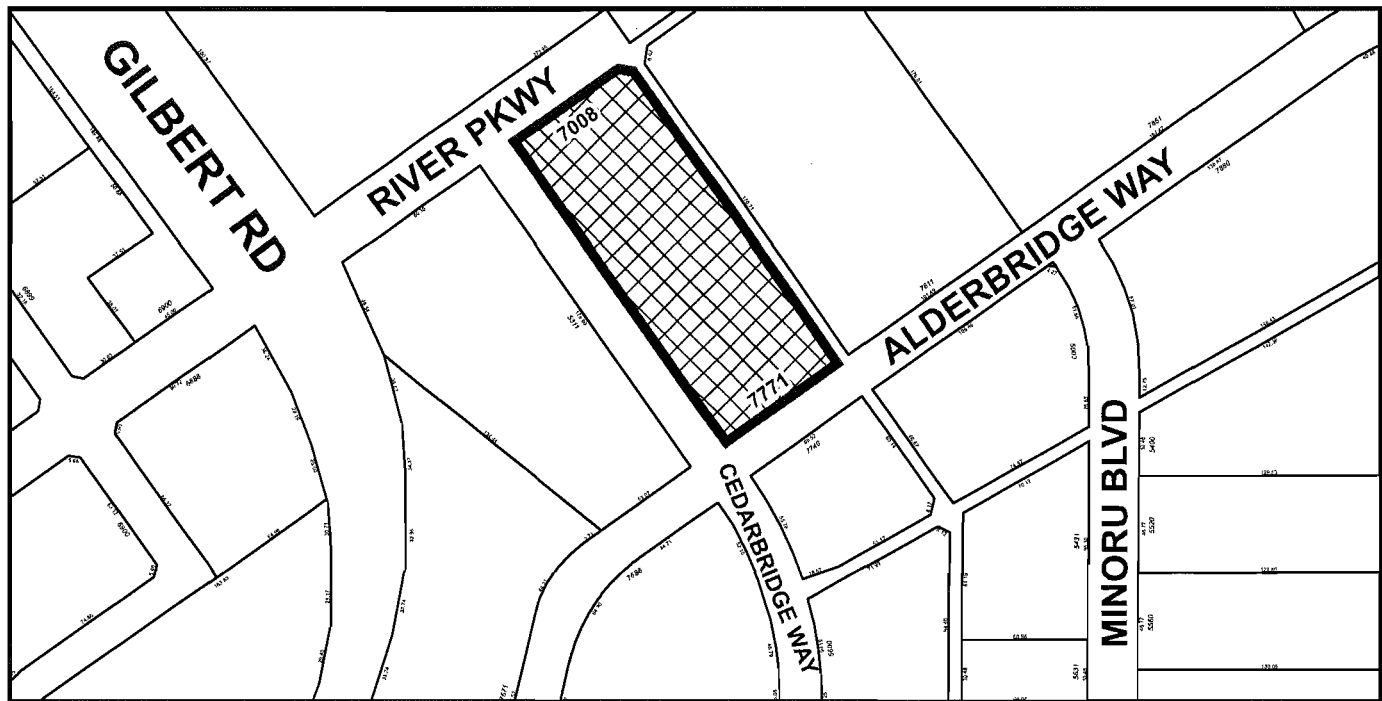
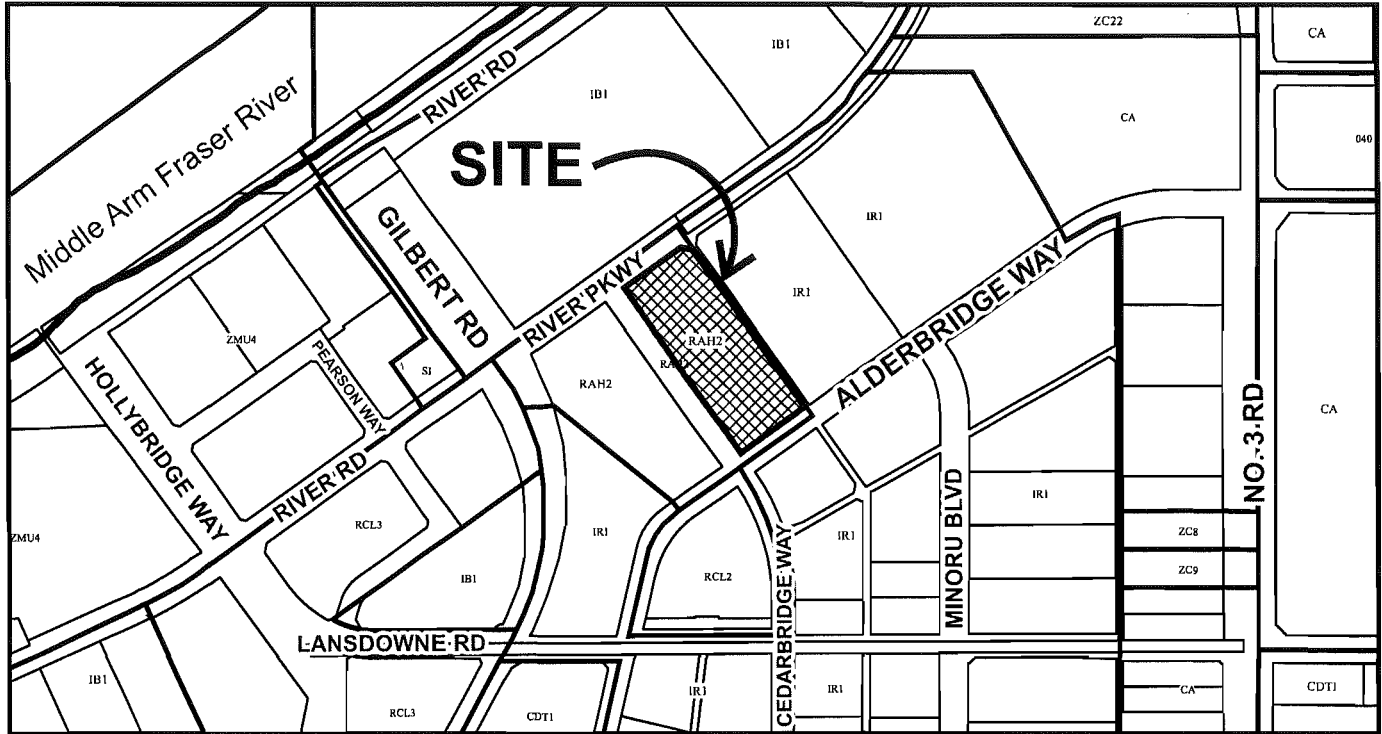
	Existing	Proposed
Site Area:	11,886 m ²	11,886 m ²
Land Uses:	Multi-Family Residential Light Industrial / Retail	Multi-Family Residential
OCP Designation:	Mixed-Use	Mixed-Use
Zoning:	High Density Low Rise Apartments (RAH2)	High Density Low Rise Apartments (RAH2)
Number of Units:	319	324

	Bylaw Requirement With DP 12-615424 Variance	Proposed Development	Variance
Lot Size (Min.)	<ul style="list-style-type: none"> 2,400 m² (25,833 ft²) 	<ul style="list-style-type: none"> 11,886 m² (127,947 ft²) 	<ul style="list-style-type: none"> None
Lot Coverage (Max.)	<ul style="list-style-type: none"> 60% for buildings 80% for building and non porous surfaces 	<ul style="list-style-type: none"> Buildings: 45% Buildings and non-porus surface: 70.3% 	<ul style="list-style-type: none"> None
FAR	<ul style="list-style-type: none"> 2.0 FAR of the total site with provision of 5% of total floor area for affordable housing units. 	<ul style="list-style-type: none"> 2.0 FAR of the total site with provision of 5% of total floor area for affordable housing units. 	<ul style="list-style-type: none"> None
Habitable Floor Elevation (Min.)	<ul style="list-style-type: none"> Residential: 2.9 m geodetic 	<ul style="list-style-type: none"> Residential: 4.064 m geodetic Local exception permitted for one (1) lobby per building. 	<ul style="list-style-type: none"> None
Height (Max.)	<ul style="list-style-type: none"> 25 m, but with specific areas allowing up to 35 m as outlined in CCAP. 	<ul style="list-style-type: none"> Varies, but less than 25 m above finished grade in all cases. 	<ul style="list-style-type: none"> None

<p>Setbacks (Min.)</p>	<p>a) 3.0m @ Alderbridge P/L b) 1.5m @ East Lane P/L c) 3.0m @ River Road P/L d) 3.0m @ Cedarbridge P/L e) 1.5m @ Interior Lot Line Separating Parcels B3 & B4</p>	<p>a) 5.3m @ Building 4 to Alderbridge Way SRW¹ b) 0.0m @ East Lane P/L for parkade c) 3.0m @ River Road P/L d) 0.0m @ Cedarbridge Way P/L for parkade e) 1.5m @ Interior Lot Line Separating Parcels B3 & B4</p> <p>¹Based on setback to the sidewalk SRW on Alderbridge Way; setbacks from the actual property lines are greater.</p>	<p>Same Variances for a) to d) as provided under DP 12- 615424. New Variance for e) from 1.5m to 0.0m</p>
<p>Off-Street Parking¹</p> <p>¹With maximum 7.5% TDM overall reduction approved at Rezoning</p>	<p><u>Building 3</u> Resident: 183 (small car 50%) Visitors: 25</p> <p><u>Building 4</u> Resident: 172 (small car 50%) Visitors: 24</p> <p><u>Combined Total (Buildings 3 & 4)</u> Resident: 355 (small car 50%) Visitors : 49</p>	<p><u>Building 3</u> Resident: 220 (small car 47%) Visitors: 25</p> <p><u>Building 4</u> Resident: 174 (small car 50%) Visitors: 24</p> <p><u>Combined Total (Buildings 3 & 4)</u> Resident: 394 (small car 48%) Visitors: 49</p>	<p>Same Variance to 0.15 visitor spaces/un it as provided under DP 12- 615424</p>
<p>Bicycle Parking</p>	<p>Resident (1.25/unit): 405 Visitor (0.2/unit): 65</p>	<p>Resident (1.25/unit): 419 Visitor (0.2/unit): 65</p>	<p>• None</p>
<p>Loading</p>	<p>1 Large WB17 On-site that can be shared with 2 Medium SU9 loading spaces</p>	<p>2 Medium SU9 loading spaces</p>	<p>Same as per DP 12-615424 to relax the Large WB17 Loading Space.</p>



City of Richmond



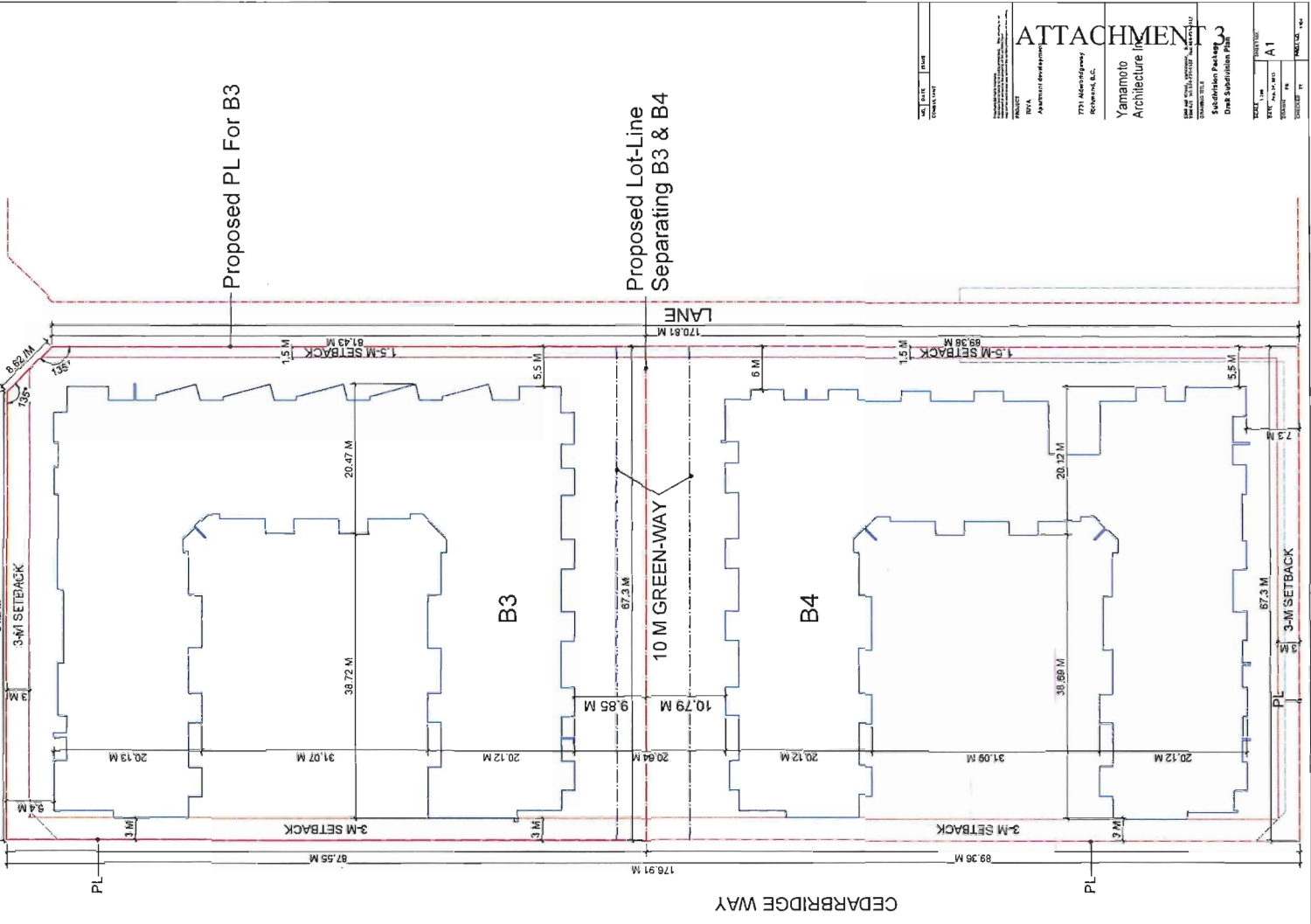
DP 14-677534

Original Date: 12/11/14

Revision Date: 03/06/15

Note: Dimensions are in METRES

PROJECT	Apartment Development
OWNER	770 Merchantsway, Richmond, B.C.
ARCHITECT	Yamamoto Architecture Inc.
ENGINEER	Saidi/Chan Packaging Design Inc.
DATE	2024.05.01
SCALE	AS SHOWN
REVISION	A1
DATE	2024.05.01
BY	YAM
CHECKED BY	YAM



Proposed PL For B3

Proposed Lot-Line Separating B3 & B4

CEDARRIDGE WAY

B2

B1

B3

B4

10 M GREENWAY

LANE

B3-1 Parking

DATE	REVISION	BY	DESCRIPTION
10/15/18	1	YAMAMOTO	ISSUE FOR PERMITTING
10/15/18	2	YAMAMOTO	REVISIONS TO PERMITTING
10/15/18	3	YAMAMOTO	REVISIONS TO PERMITTING
10/15/18	4	YAMAMOTO	REVISIONS TO PERMITTING
10/15/18	5	YAMAMOTO	REVISIONS TO PERMITTING
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10/15/18	92	YAMAMOTO	REVISIONS TO PERMITTING
10/15/18	93	YAMAMOTO	REVISIONS TO PERMITTING
10/15/18	94	YAMAMOTO	REVISIONS TO PERMITTING
10/15/18	95	YAMAMOTO	REVISIONS TO PERMITTING
10/15/18	96	YAMAMOTO	REVISIONS TO PERMITTING
10/15/18	97	YAMAMOTO	REVISIONS TO PERMITTING
10/15/18	98	YAMAMOTO	REVISIONS TO PERMITTING
10/15/18	99	YAMAMOTO	REVISIONS TO PERMITTING
10/15/18	100	YAMAMOTO	REVISIONS TO PERMITTING

B3-2 Parking Development (PROPOSED EXISTING)

Category	Count	Percentage	Notes
Standard	18	36%	
Handicap	2	4%	
Motorcycle	1	2%	
Other	1	2%	
Total	22	44%	

Category	Count	Percentage	Notes
Standard	18	36%	
Handicap	2	4%	
Motorcycle	1	2%	
Other	1	2%	
Total	22	44%	

Category	Count	Percentage	Notes
Standard	18	36%	
Handicap	2	4%	
Motorcycle	1	2%	
Other	1	2%	
Total	22	44%	

B4-1 Parking

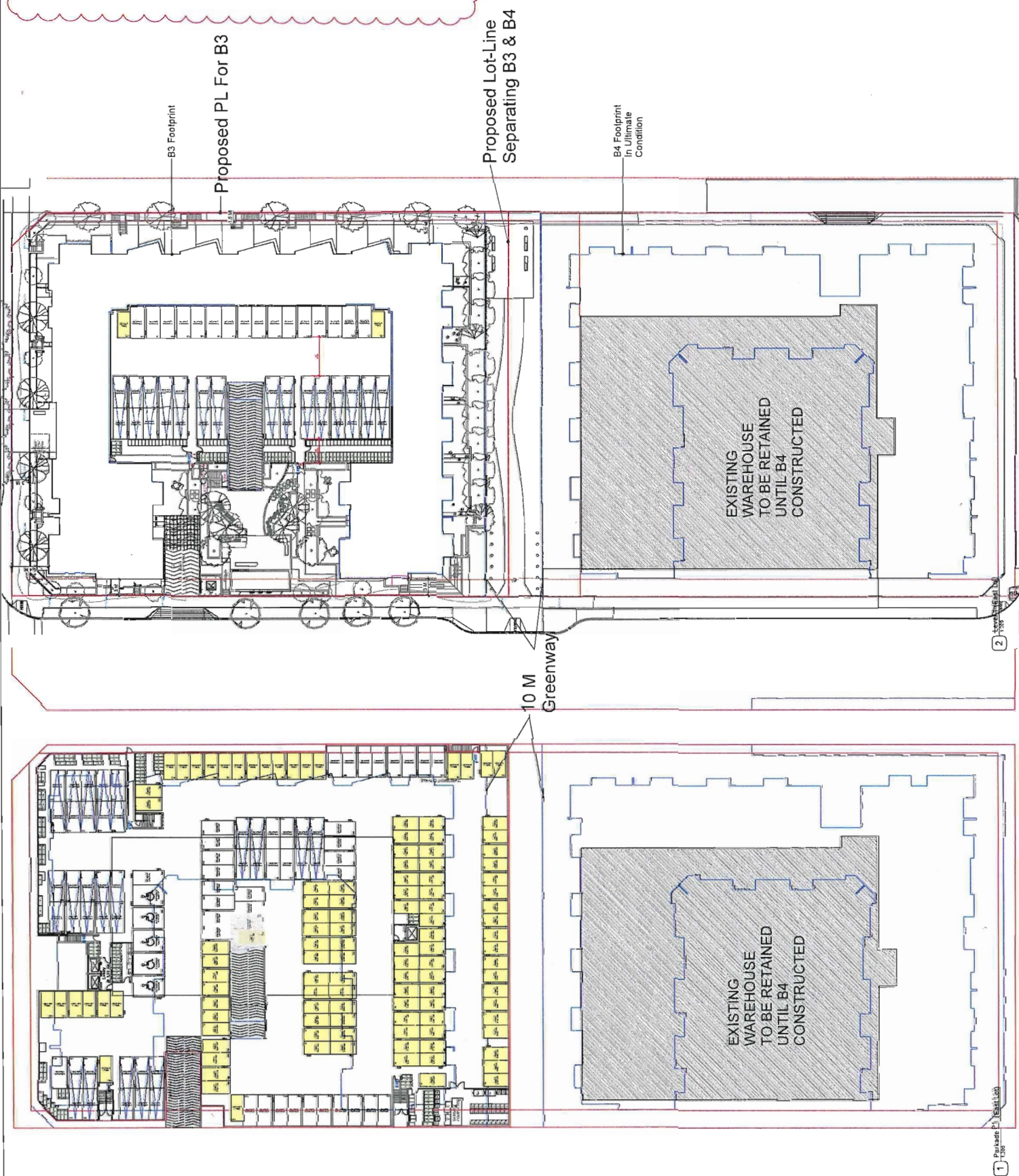
Category	Count	Percentage	Notes
Standard	18	36%	
Handicap	2	4%	
Motorcycle	1	2%	
Other	1	2%	
Total	22	44%	

ATTACHMENT 5

773 Administration
 773 Administration
 773 Administration
 Yamamoto Architecture Inc.

Subcontract Package
 Portside Plan - B3

DATE: 10/15/18
 SHEET: 14
 SCALE: 1/8" = 1'-0"





No. DP 14-677534

To the Holder: ERIC HUGHES C/O
ONNI 7771 ALDERBRIDGE WAY CORP. INC.

Property Address: 7771 ALDERBRIDGE WAY AND 7008 RIVER PARKWAY

Address: 300-550 ROBSON STREET
VANCOUVER, BC V6B 2B7

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - (a) Reduce the required exterior side yard setbacks for portions of partially below-grade parking structures from 3.0 m to 0.0 m on the west side of the site along Cedarbridge Way;
 - (b) Reduce the required interior side yard setback for limited portions of partially-below grade parking structures from 1.5 m to 0.0 m along the east property line of the site;
 - (c) Reduce the required rear yard setback for the two (2) attached below-grade parking structures from 1.5 m to 0.0 m on both sides of the future property line that will separate the two (2) future lots to be subdivided within the site;
 - (d) Reduce the required visitor parking from 0.20 spaces/dwelling unit to 0.15 spaces/dwelling unit for the development; and
 - (e) Reduce the requirement for the provision of one (1) WB-17 loading space to zero (0).
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #DP 14-677534-1 to #DP 14-677534-43 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$833,599 (provided under DP13-615424 to secure the Buildings 3 and 4 landscaping and that

Development Permit

No. DP 14-677534

To the Holder: ERIC HUGHES C/O
ONNI 7771 ALDERBRIDGE WAY CORP. INC.

Property Address: 7771 ALDERBRIDGE WAY AND 7008 RIVER PARKWAY

Address: 300-550 ROBSON STREET
VANCOUVER, BC V6B 2B7

may be reduced after the completion of the Building 3 landscaping/interim greenway to \$327,044 for the remaining Building 4 landscaping and ultimate greenway) to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.

7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.
8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF

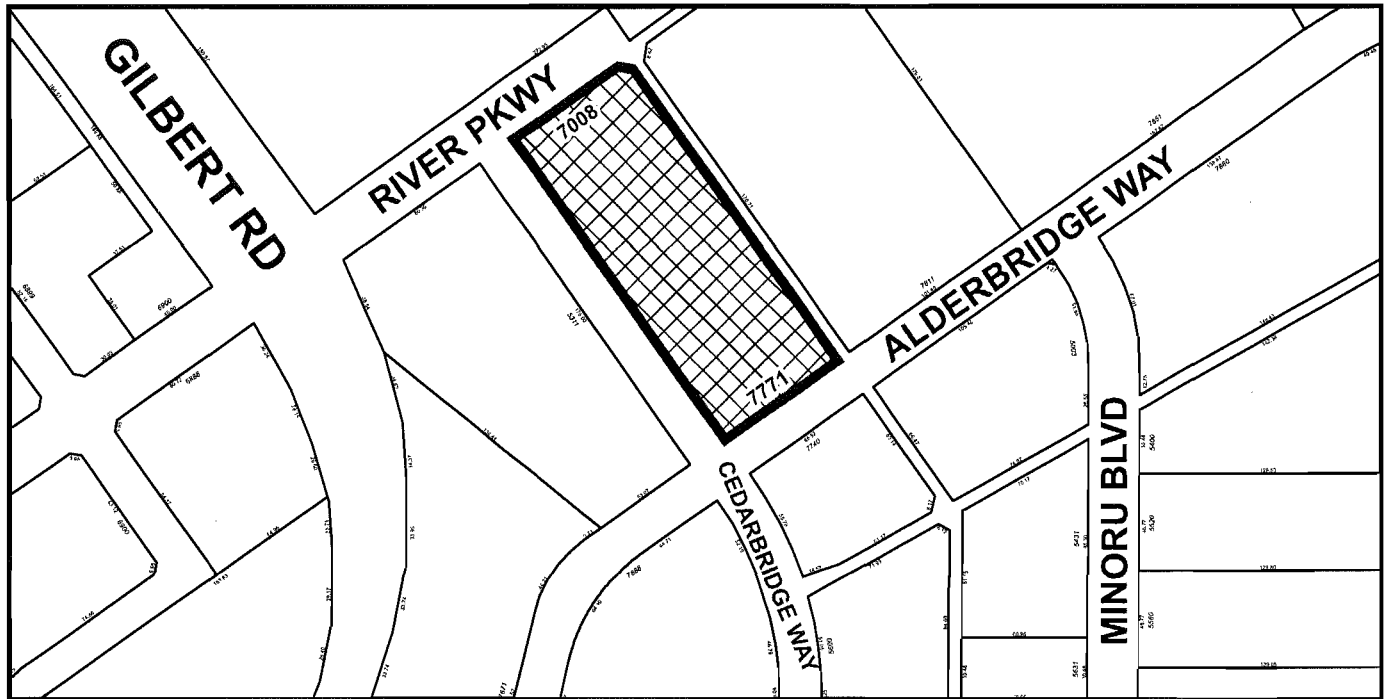
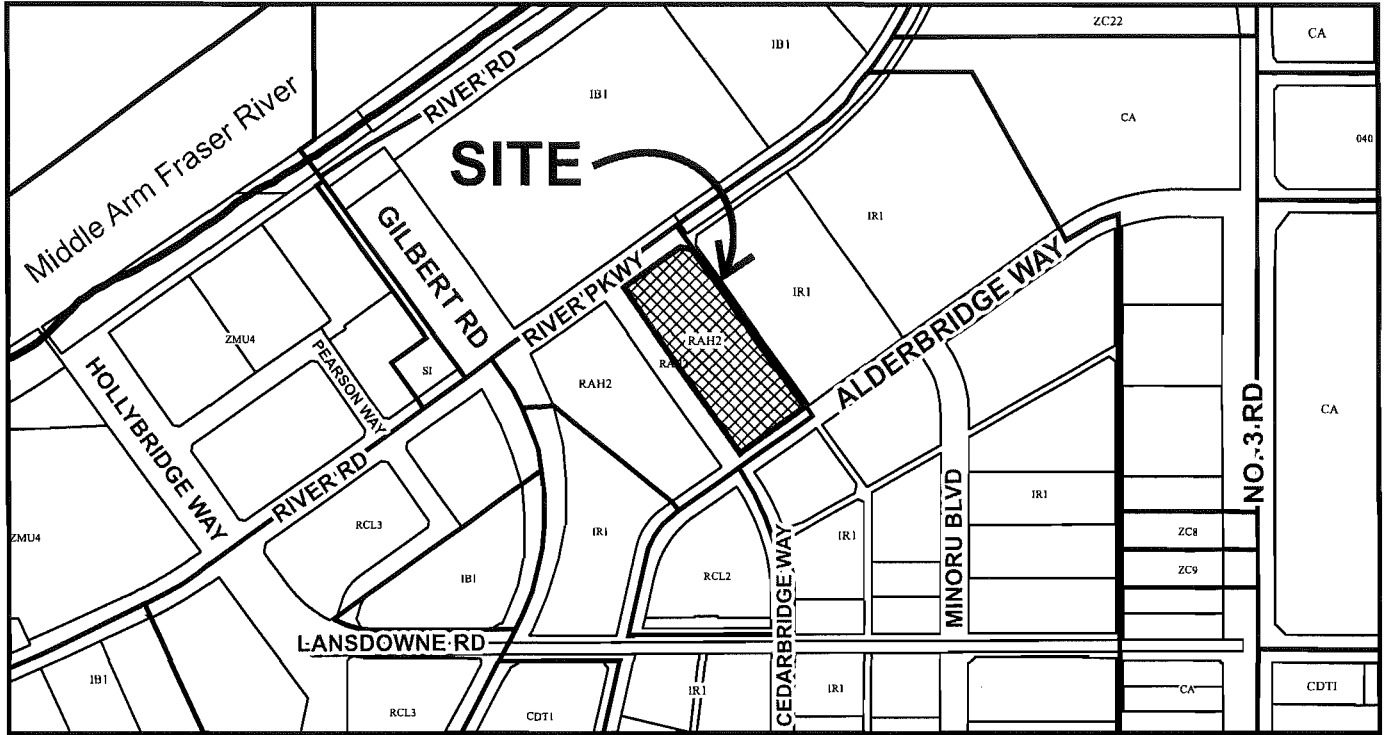
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

MAYOR



City of Richmond



DP 14-677534
SCHEDULE "A"

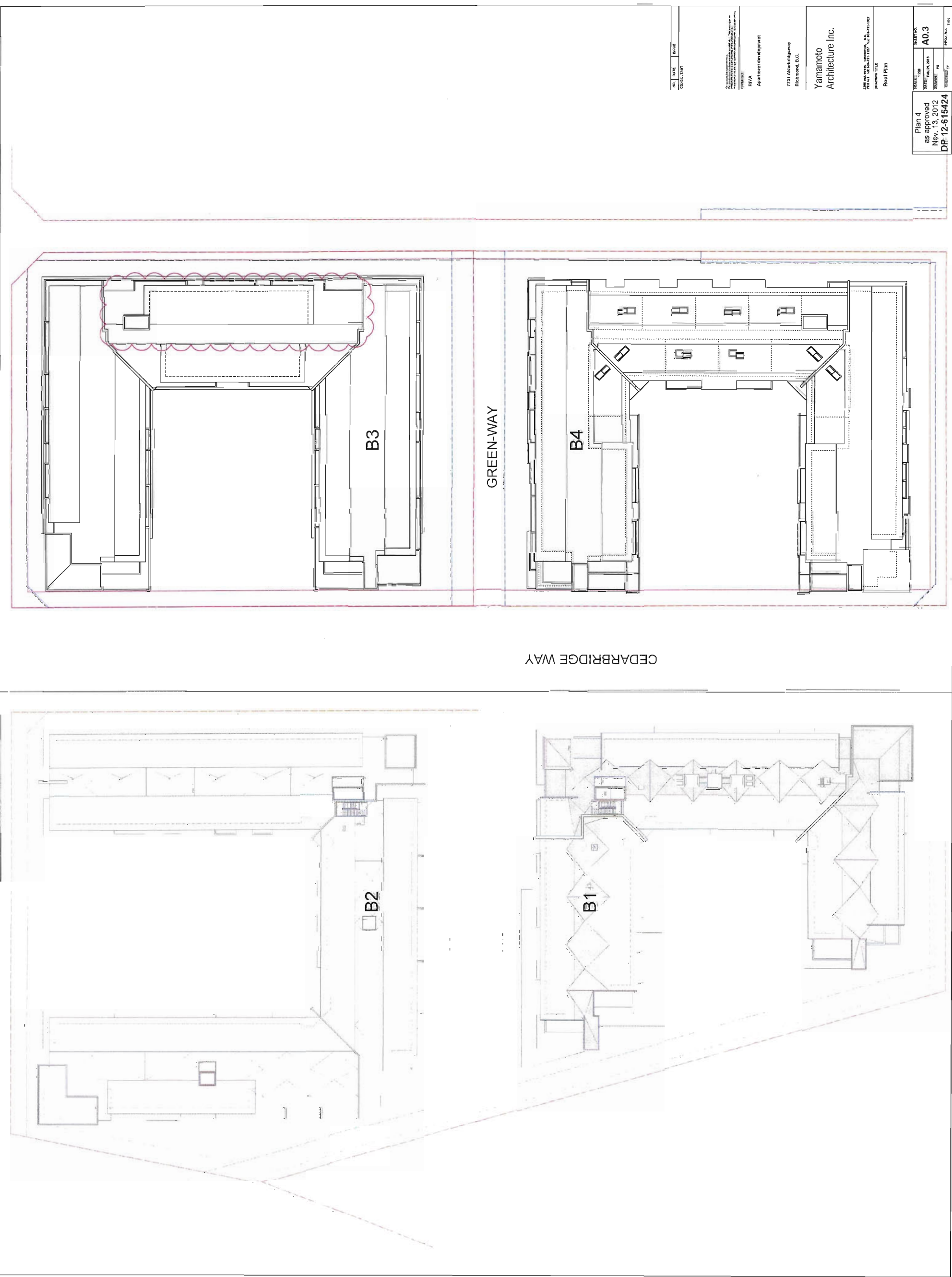
Original Date: 12/11/14

Revision Date: 03/06/15

Note: Dimensions are in METRES



DP 14-677534-4



Plan 4
 as approved
 Nov. 13, 2012
 DP-12-615424

SCALE: 1/8" = 1'-0"
 SHEET: A0.3
 DRAWN: PA
 CHECKED: TP
 PROJECT: 1414

DATE: 11/13/12
 DRAWN BY: J. YAMAMOTO
 CHECKED BY: J. YAMAMOTO
 PROJECT: 1414

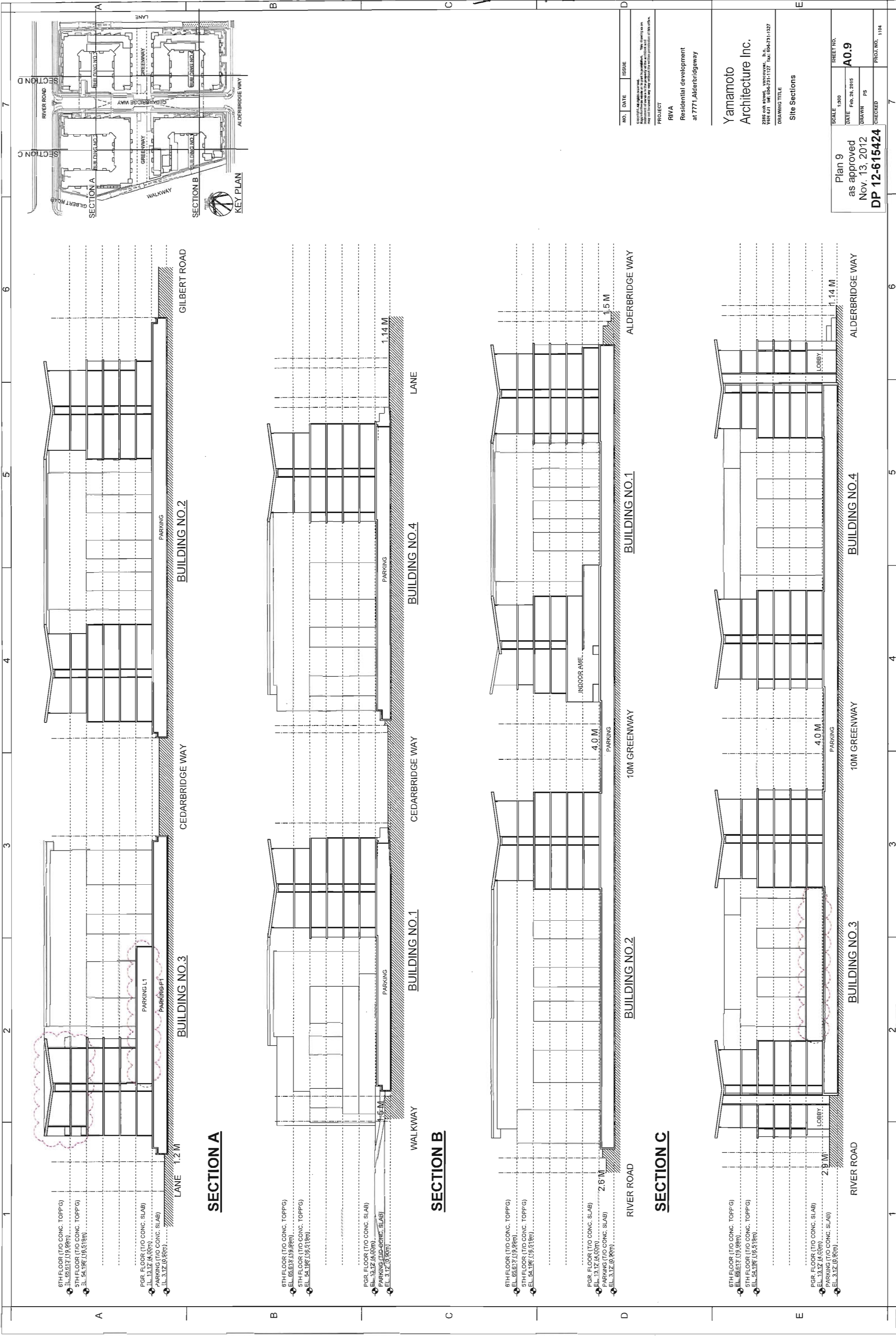
PROJECT: 1414
 DRAWN BY: J. YAMAMOTO
 CHECKED BY: J. YAMAMOTO

PROJECT: 1414
 DRAWN BY: J. YAMAMOTO
 CHECKED BY: J. YAMAMOTO

PROJECT: 1414
 DRAWN BY: J. YAMAMOTO
 CHECKED BY: J. YAMAMOTO

PROJECT: 1414
 DRAWN BY: J. YAMAMOTO
 CHECKED BY: J. YAMAMOTO

DP 14-677534-5



6TH FLOOR (T/O CONC. TOPPG)
 EL. 65.513 (19.99m)
 5TH FLOOR (T/O CONC. TOPPG)
 EL. 54.196 (16.519m)
 PGR. FLOOR (T/O CONC. SLAB)
 EL. 13.12 (4.00m)
 PARKING (T/O CONC. SLAB)
 EL. 3.12 (0.99m)

SECTION A

6TH FLOOR (T/O CONC. TOPPG)
 EL. 65.513 (19.99m)
 5TH FLOOR (T/O CONC. TOPPG)
 EL. 54.196 (16.519m)
 PGR. FLOOR (T/O CONC. SLAB)
 EL. 13.12 (4.00m)
 PARKING (T/O CONC. SLAB)
 EL. 3.12 (0.99m)

SECTION B

6TH FLOOR (T/O CONC. TOPPG)
 EL. 65.513 (19.99m)
 5TH FLOOR (T/O CONC. TOPPG)
 EL. 54.196 (16.519m)
 PGR. FLOOR (T/O CONC. SLAB)
 EL. 13.12 (4.00m)
 PARKING (T/O CONC. SLAB)
 EL. 3.12 (0.99m)

SECTION C

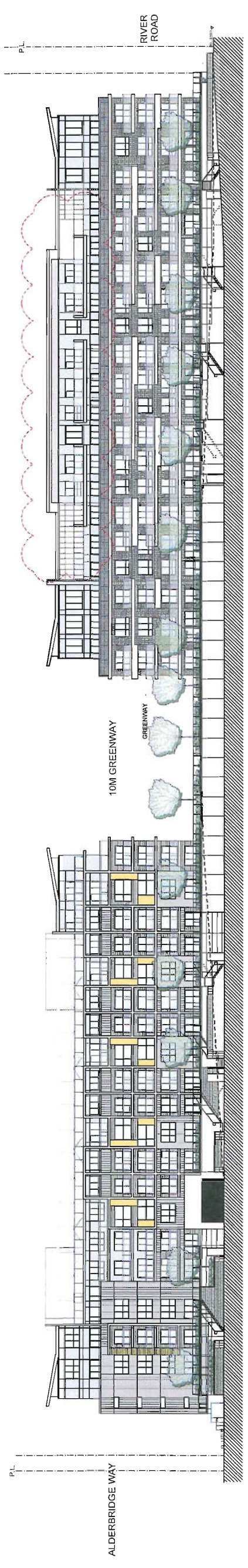
6TH FLOOR (T/O CONC. TOPPG)
 EL. 65.513 (19.99m)
 5TH FLOOR (T/O CONC. TOPPG)
 EL. 54.196 (16.519m)
 PGR. FLOOR (T/O CONC. SLAB)
 EL. 13.12 (4.00m)
 PARKING (T/O CONC. SLAB)
 EL. 3.12 (0.99m)

Plan 9
 as approved
 Nov. 13, 2012
DP 12-615424

SCALE 1:300
 DATE Feb. 26, 2015
 DRAWN PS
 CHECKED
 SHEET NO. **A0.9**
 PROJ. NO. 1104

NO. DATE ISSUE
 PROJECT
 RIVA
 Residential development
 at 7771 Alderbridgeway

Yamamoto
 Architecture Inc.
 2386 oak street, Vancouver, B.C.
 V6H 4J1 Tel: 604-731-1127 Fax: 604-731-1327
 DRAWING TITLE
 Site Sections

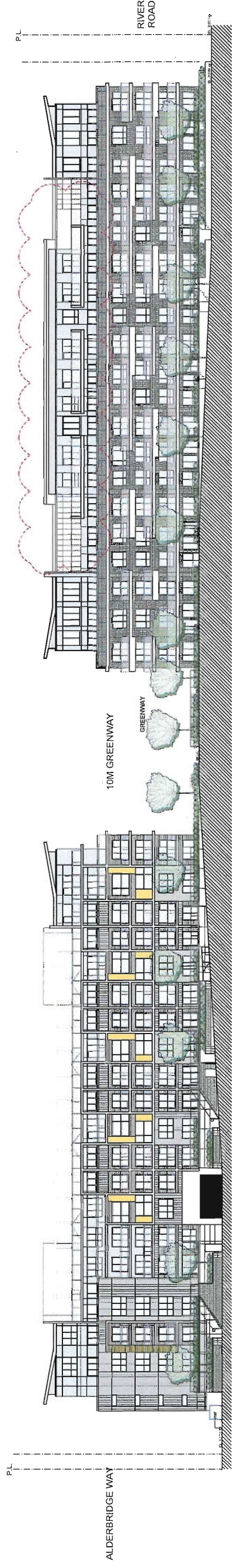


LANE INTERIM CONDITION (BUILDING 4 & 3 - EAST)

NO.	DATE	ISSUE
CONTRACT		
<small>THIS DRAWING IS THE PROPERTY OF YAMAMOTO ARCHITECTURE INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF YAMAMOTO ARCHITECTURE INC.</small>		
PROJECT		
RVA Apartment development		
7731 Alderbridge Way Richmond, B.C.		
Yamamoto Architecture Inc.		
2389 ROAD 404, WESTCOAST, B.C. V6X 4L1 TEL: 604-273-1177 FAX: 604-273-1177		
DRAWING TITLE		
East Elevation		
Lane Interim Condition		
SCALE	SHEET NO.	
1"=20'	A0.4	
DATE	DRAWN	CHECKED
Feb. 28, 2012	PS	TY
PROJECT NO.		1104

Plan 73
as approved
Nov. 13, 2012
DP 12-615424

DP 14-677534-6



LANE ULTIMATE CONDITION (BUILDING 4 & 3 - EAST)

NO.	DATE	ISSUE
		CONSULTANT

PROJECT
 RIVA
 Apartment development
 7731 Alderbridge Way
 Richmond, B.C.

PROJECT
 RIVA
 Apartment development
 7731 Alderbridge Way
 Richmond, B.C.

PROJECT
 RIVA
 Apartment development
 7731 Alderbridge Way
 Richmond, B.C.

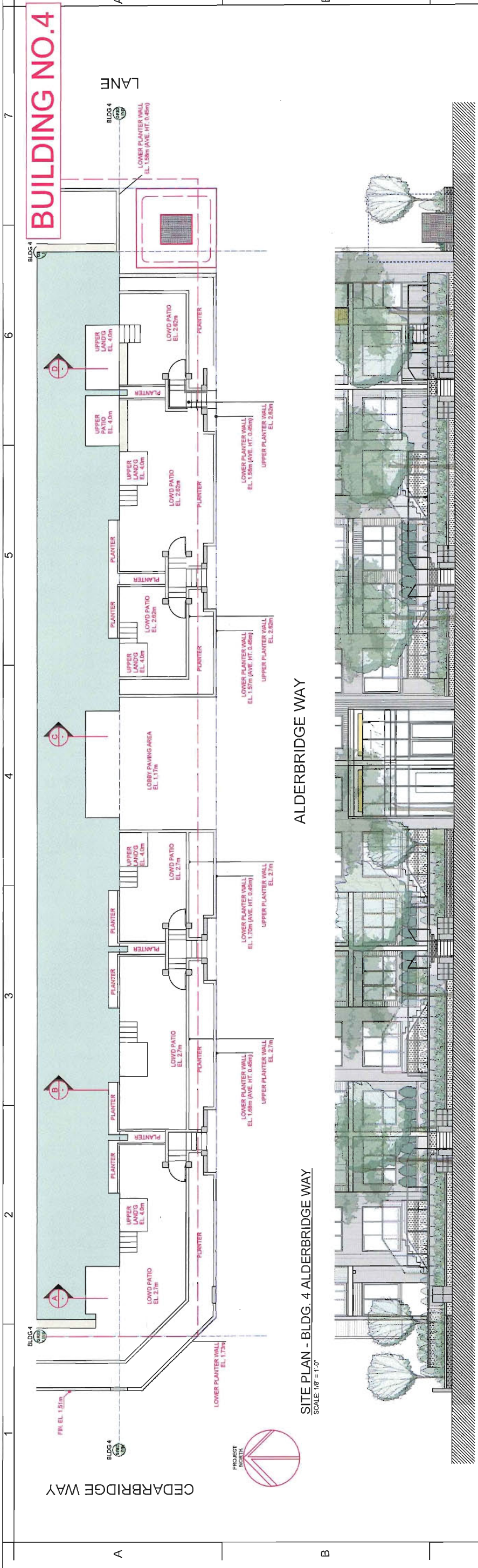
PROJECT
 RIVA
 Apartment development
 7731 Alderbridge Way
 Richmond, B.C.

NO.	DATE	ISSUE
		CONSULTANT

Plan 74
 as approved
 Nov. 13, 2012
 DP 12-615424

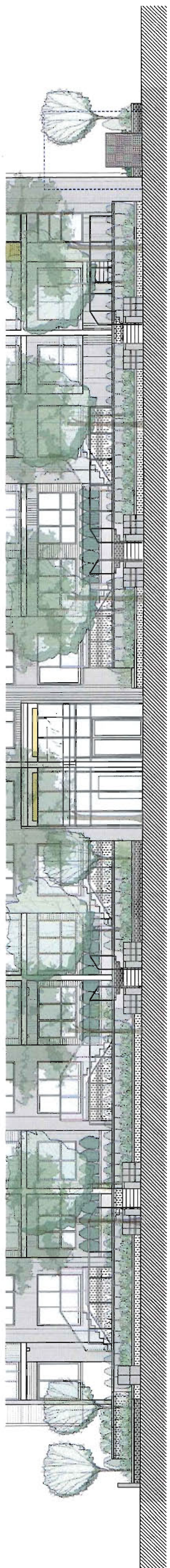
DP 14-677534-7

DP 14-677534-10

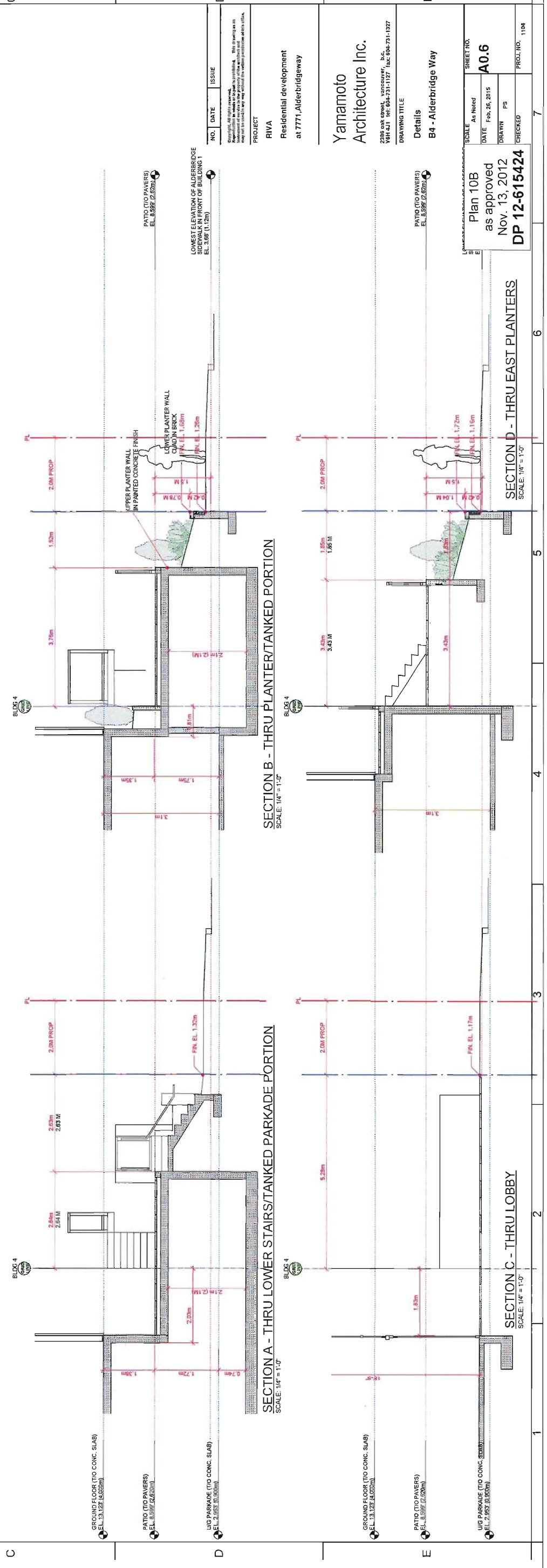


SITE PLAN - BLDG. 4 ALDERBRIDGE WAY
SCALE: 1/8" = 1'-0"

ALDERBRIDGE WAY



STREETSCAPE - BLDG. 4 ALDERBRIDGE WAY
SCALE: 1/8" = 1'-0"



SECTION A - THRU LOWER STAIRS/TANKED PARKADE PORTION
SCALE: 1/4" = 1'-0"

SECTION B - THRU PLANTER/TANKED PORTION
SCALE: 1/4" = 1'-0"

SECTION C - THRU LOBBY
SCALE: 1/4" = 1'-0"

SECTION D - THRU EAST PLANTERS
SCALE: 1/4" = 1'-0"

NO.	DATE	ISSUE

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PROJECT
RIVA
Residential development
at 7771 Alderbridge Way

Yamamoto Architecture Inc.
2388 oak street, Vancouver, B.C.
V6H 4J1 Tel: 604-731-1127 Fax: 604-731-1327

DRAWING TITLE
Details
B4 - Alderbridge Way

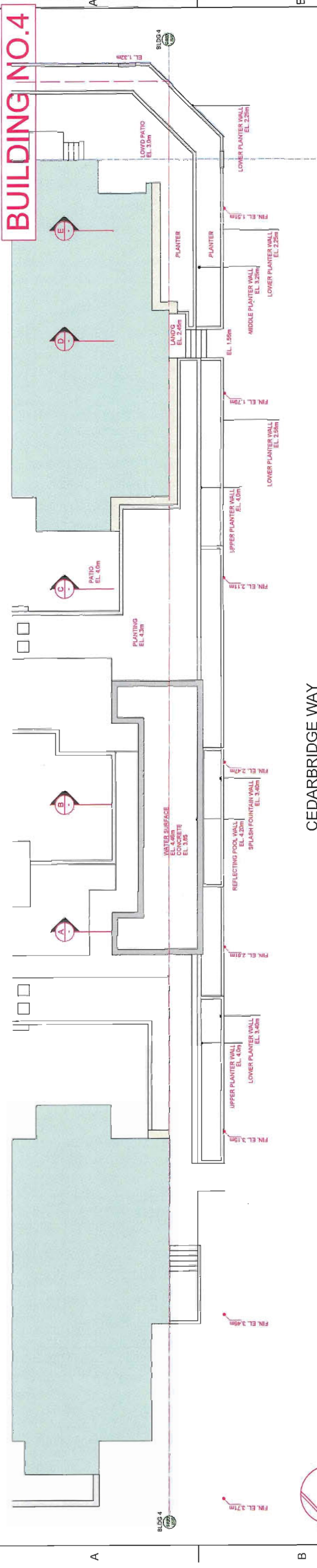
SCALE	As Noted	SHEET NO.

DATE	As approved	DATE	As Noted
Nov. 13, 2012		Feb. 26, 2015	

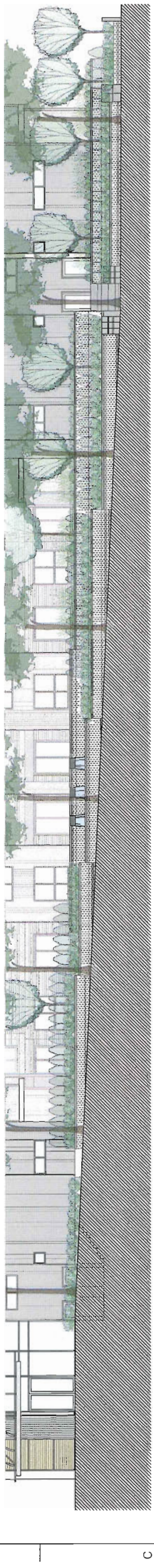
DRAWN	PS	CHECKED	

Plan 10B as approved Nov. 13, 2012
DP 12-615424

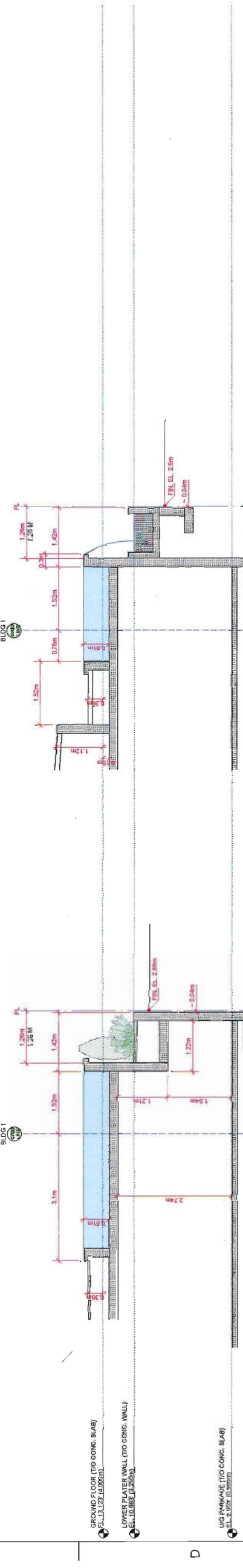
PROJ. NO.	1104



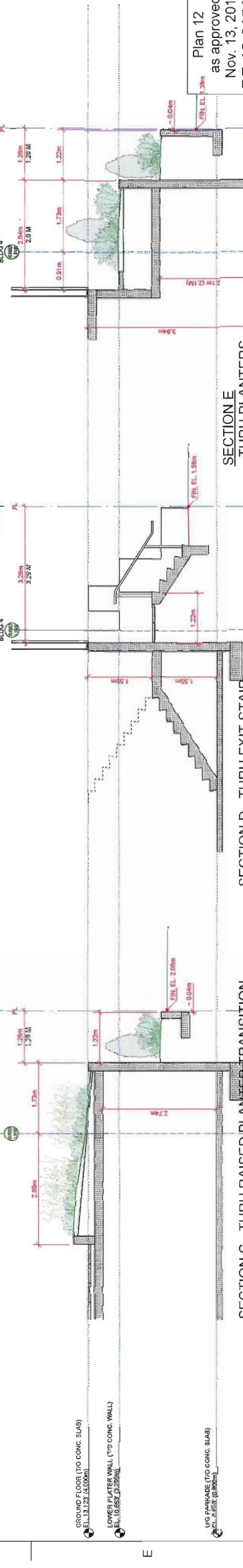
SITE PLAN - BLDG. 4 CEDARBRIDGE WAY
SCALE: 1/8" = 1'-0"



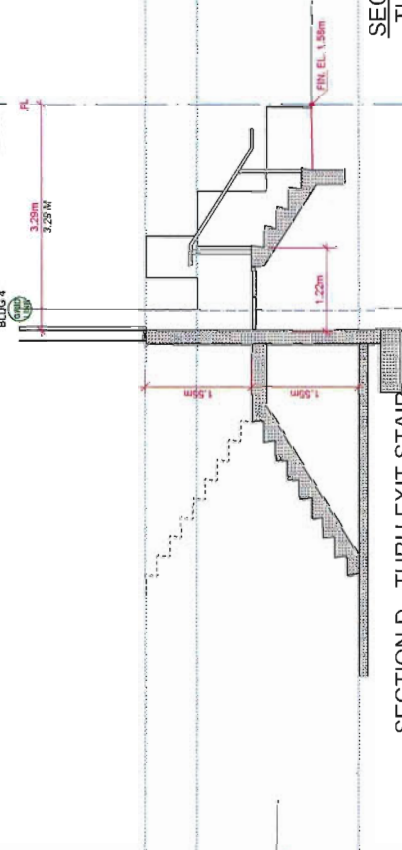
STREETSCAPE - BLDG. 4 CEDARBRIDGE WAY
SCALE: 1/8" = 1'-0"



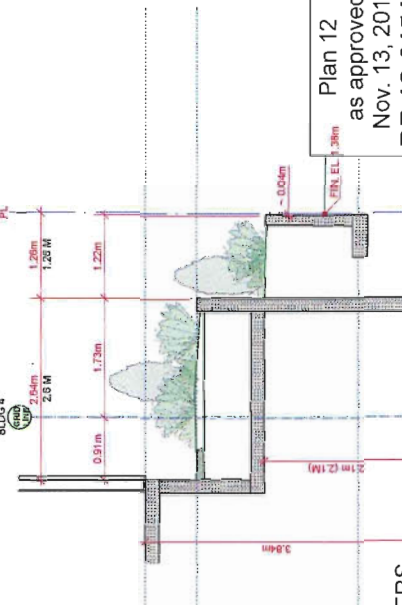
SECTION A - THRU PLANTER AT REFL. POOL
SCALE: 1/4" = 1'-0"



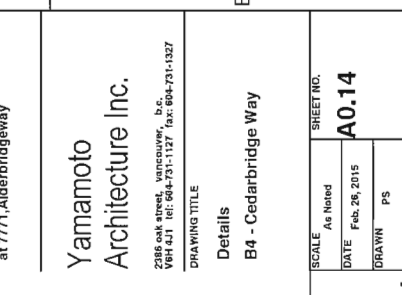
SECTION B - THRU FOUNTAIN AT REFL. POOL
SCALE: 1/4" = 1'-0"



SECTION C - THRU RAISED PLANTER TRANSITION
SCALE: 1/4" = 1'-0"



SECTION D - THRU EXIT STAIR
SCALE: 1/4" = 1'-0"



SECTION E - THRU PLANTERS
SCALE: 1/4" = 1'-0"

NO.	DATE	ISSUE

PROJECT: Residential development at 7771, Alderbridge way
 ARCHITECT: Yamamoto Architecture Inc.
 ADDRESS: 288 oak street, Vancouver, B.C.
 VEH. LIC. NO.: 64-73-1127 INC. NO.: 904-791-1327
 DRAWING TITLE: Details
 LOCATION: B4 - Cedarbridge Way

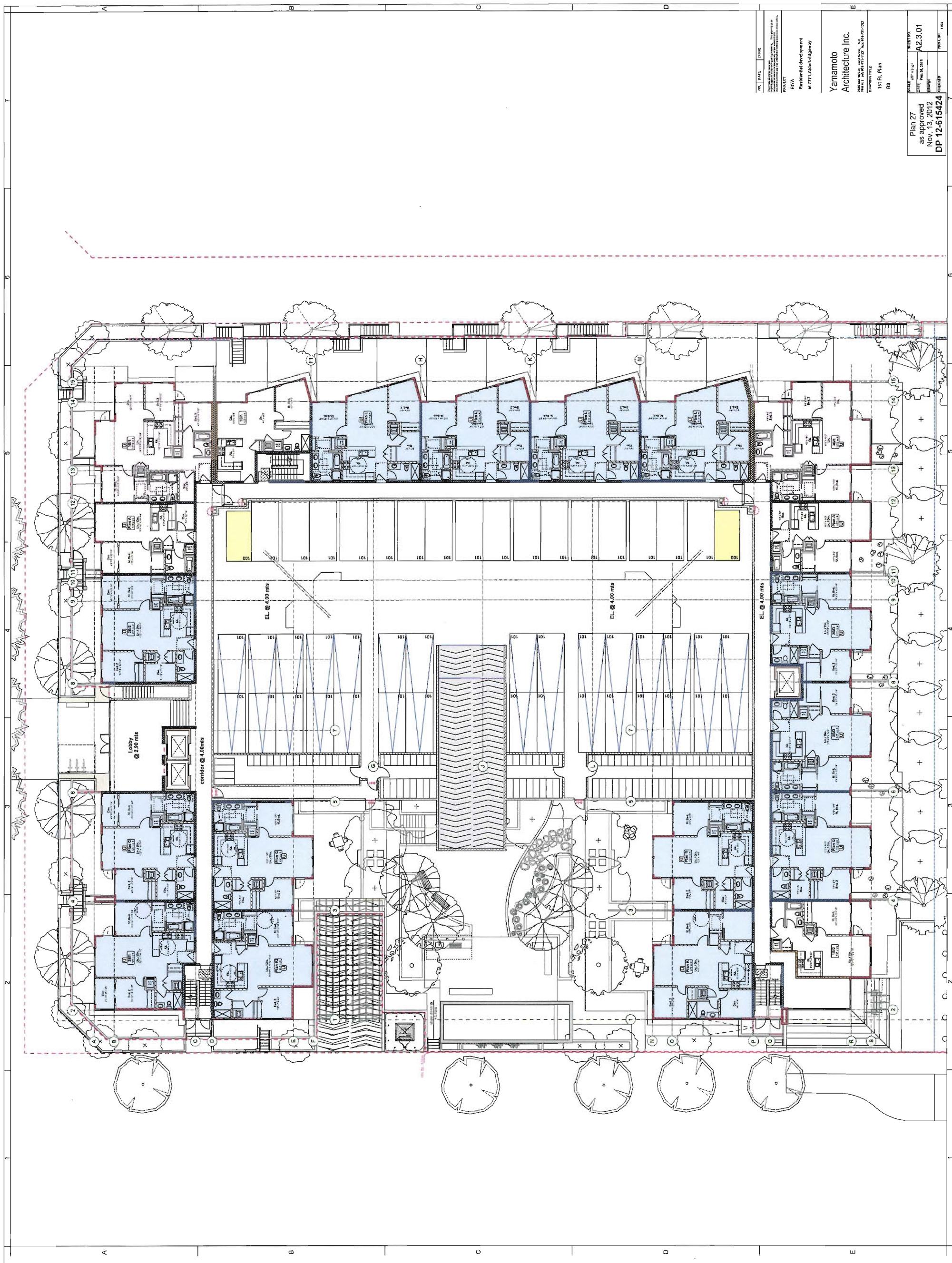
SCALE	As Noted	SHEET NO.

DATE	Feb. 26, 2015	CHECKED	PS

DATE	Nov. 13, 2012	AS APPROVED

Plan 12
 as approved
 Nov. 13, 2012
DP 12-615424
 PROJECT NO. 1104

DP 14-677534-11



NO.	DATE	ISSUE
REVISIONS: 1. 11/13/12: AS SHOWN 2. 11/13/12: AS SHOWN 3. 11/13/12: AS SHOWN		
PROJECT RIVA Residential development at 7771 Adelphiway		
Yamamoto Architecture Inc. 200 W. 10th St., Suite 100 Vancouver, BC V6P 4T2 TEL: 604.681.1777 FAX: 604.681.1772		
DRAWING TITLE 1st Fl. Plan 03		
SCALE	PROJECT	DATE
1/8" = 1'-0"	A23.01	Nov. 13, 2012
DRAWN	CHECKED	DATE
DP-12-615424		
PHYS. NO. 114		

Plan 27
as approved
Nov. 13, 2012
DP-12-615424

BUILDING 3 - OVERALL

Floor	1 Bed	2 Bed	3 Bed	Total Count	100%	11%	89%
6th Floor	7 (7)	16 (16)	2 (2)	25 (25)	25,000.0 sq. ft.	15,282.2 sq. ft.	61.1%
5th Floor	8 (7)	17 (13)	4 (0)	29 (20)	28,000.0 sq. ft.	15,282.2 sq. ft.	54.6%
4th Floor	7 (5)	22 (14)	2 (0)	31 (19)	28,000.0 sq. ft.	15,282.2 sq. ft.	54.6%
3rd Floor	8 (5)	22 (13)	2 (0)	32 (18)	28,000.0 sq. ft.	15,282.2 sq. ft.	54.6%
2nd Floor	8 (5)	22 (13)	2 (0)	32 (18)	28,000.0 sq. ft.	15,282.2 sq. ft.	54.6%
1st Floor	4 (2)	14 (14)	2 (2)	20 (18)	24,000.0 sq. ft.	15,282.2 sq. ft.	63.7%
Grand Total	41 (24)	115 (90)	12 (2)	168 (116)	1,512,000.0 sq. ft.	15,282.2 sq. ft.	1.0%
Total Count	25%	67%	18%	100%			

LIST OF FLOOR AREAS

Floor Area	Available Floor Area	Net Floor Area
25,000.0 sq. ft.	15,282.2 sq. ft.	15,282.2 sq. ft.
28,000.0 sq. ft.	15,282.2 sq. ft.	15,282.2 sq. ft.
28,000.0 sq. ft.	15,282.2 sq. ft.	15,282.2 sq. ft.
28,000.0 sq. ft.	15,282.2 sq. ft.	15,282.2 sq. ft.
28,000.0 sq. ft.	15,282.2 sq. ft.	15,282.2 sq. ft.
24,000.0 sq. ft.	15,282.2 sq. ft.	15,282.2 sq. ft.
Grand Total	15,282.2 sq. ft.	15,282.2 sq. ft.

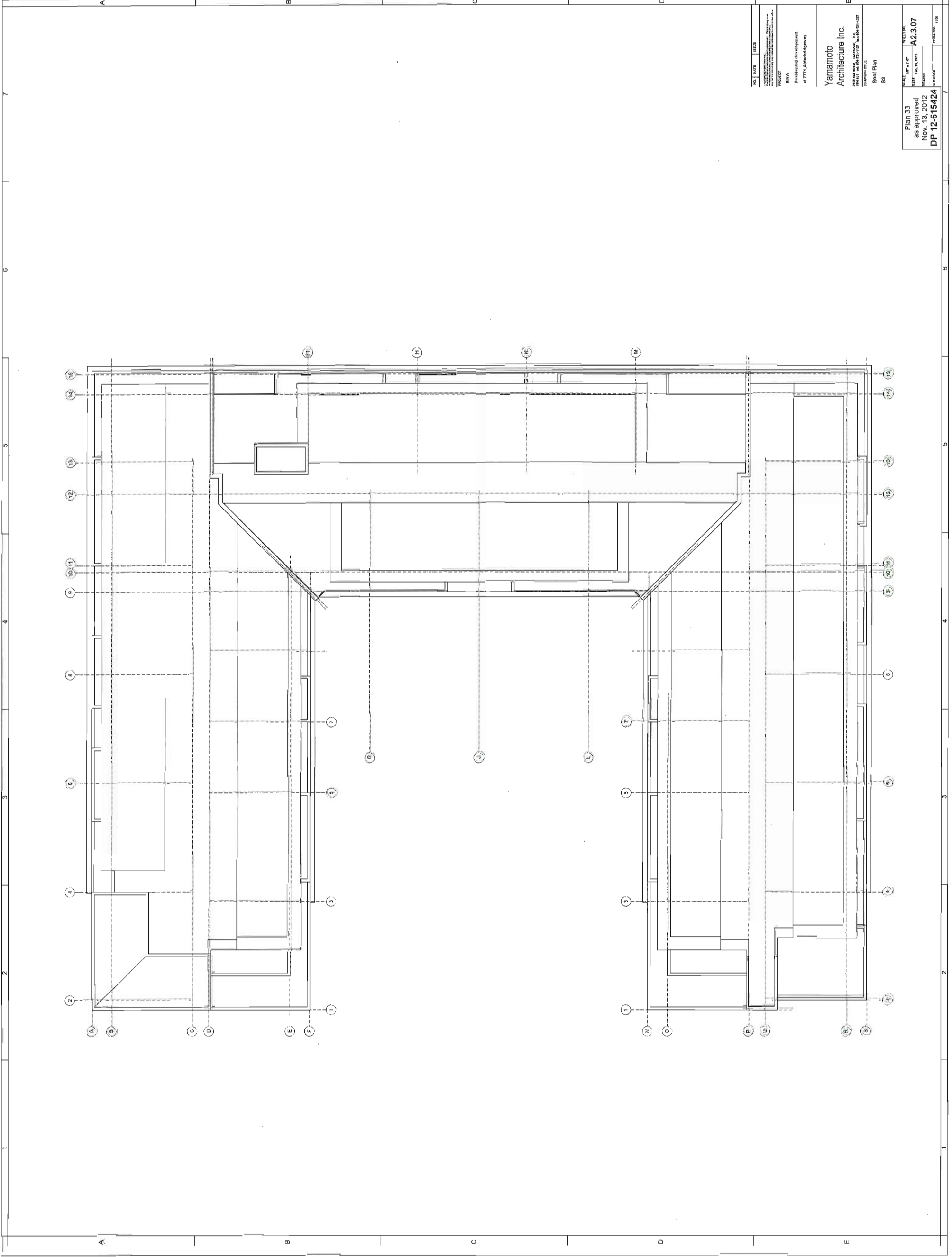
Notes:
 1. All areas are based on finished conditions and include the following:
 - Circulation on 2nd floor includes elevator shafts, elevator shafts & apartment of building space.
 - Circulation on ground floor includes enclosed parking, bicycle storage, mail & 100sqft common/intercommunal area.



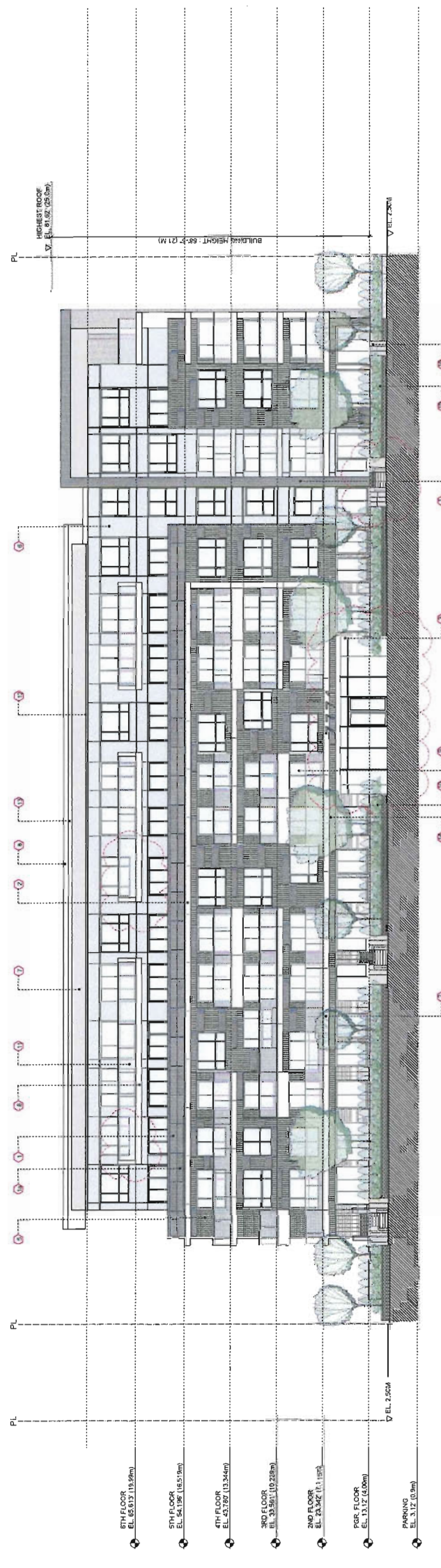
NO. DATE ISSUE
PROJECT
PRODUCT
41771, Addressed/entry
Yamamoto Architecture Inc.
680 Fl. Plan
BS

Plan 31	as approved	Nov. 13, 2012
DP-12-615424		

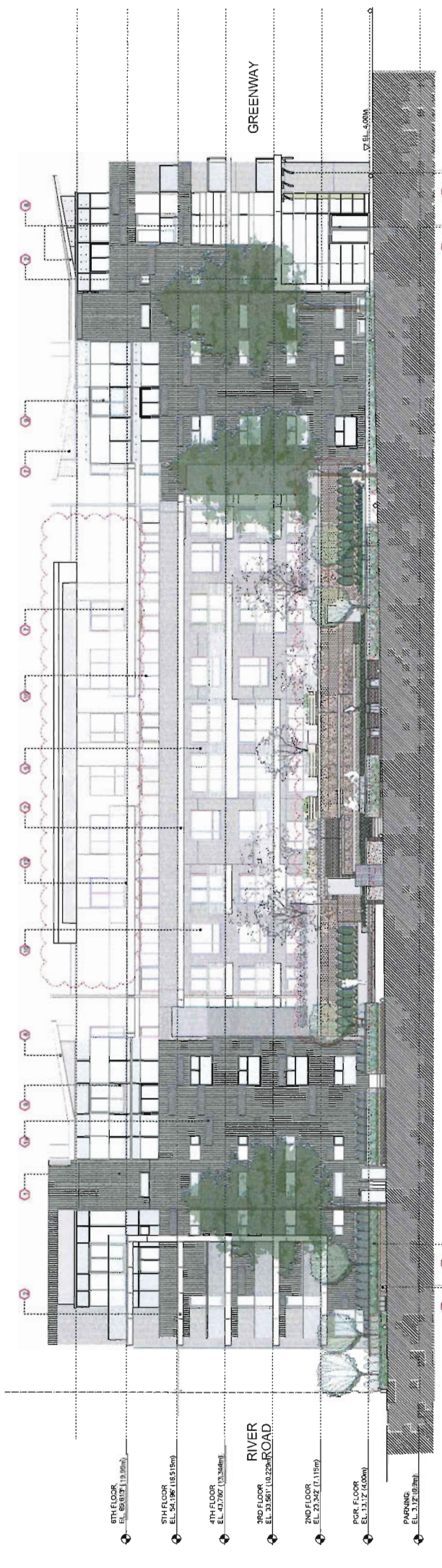
DP 14-677534-18



NO. DATE ISSUE	PROJECT	SCALE	DATE	PROJECT
RWA Residential development at 7771 Adelphi Avenue		1/4" = 1'-0"	Feb. 14, 2012	A23.07
Yamamoto Architecture Inc.		Sheet		
200 East Main Street, Suite 200 Channahon, IL 61015		Revol Plan		
83				
Plan 33 as approved Nov. 13, 2012 DP 12-615424				



BUILDING 3 NORTH ELEVATION (RIVER ROAD)



BUILDING 3 WEST ELEVATION (CEDARBRIDGE WAY)

NO.	DATE	SCALE
PROJECT		
RIVA Residential development at 7771 Alderbridge Way		
ARCHITECT		
Yamamoto Architecture Inc.		
DATE OF APPROVAL: 11/13/2012 BY: 2012-11-13 10:07 AM DRAWN BY: 2012-11-13 10:07 AM CHECKED BY: 2012-11-13 10:07 AM PROJECT NO.: 14-677534-19		
Elevation (North & West)		
B3		
SCALE	DATE	BY
A2.3.1	11/13/2012	2012-11-13 10:07 AM
1/8" = 1'-0"		
1/4" = 1'-0"		
1/2" = 1'-0"		
3/4" = 1'-0"		
1" = 1'-0"		
1 1/4" = 1'-0"		
1 1/2" = 1'-0"		
1 3/4" = 1'-0"		
2" = 1'-0"		
2 1/4" = 1'-0"		
2 1/2" = 1'-0"		
2 3/4" = 1'-0"		
3" = 1'-0"		
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81 3/4" = 1'-0"		
82" = 1'-0"		
82 1/4" = 1'-0"		
82 1/2" = 1'-0"		



BUILDING 3 - ELEVATION KEY NOTES:

- 1 FIBRE-CEMENT PANEL (SMOOTH) : PAINTED GP XX
- 2 FIBRE-CEMENT PANEL (TEXTURED) : PAINTED GP CL 2885A JACK IN THE PULPIT
- 3 FIBRE-CEMENT PANEL (GRANULAR) : PAINTED GP CLW 1047W DEER FEATHER
- 4 BRICK (STACKED) : XL WHITE
- 5
- 6 HARDIE-PLANK LAP SIDING (SMOOTH) : PAINTED GPCL 2885A (SAME AS 14)
- 7 HARDIE-PANEL W/ ALUM. TRIM : PAINTED GP CL 3061 W/ NIKNAM
- 8 HARDIE-PANEL SHADOW LINE (SMOOTH) : PAINTED GP CL 3014 D DIEGO
- 9 FIBRE-CEMENT FASCIA (SMOOTH) : PAINTED GP CLW 1047 W/ DEER FEATHER
- 10 DOUBLE GLAZED CLEAR ANODIZED ALUM. FRAMED STOREFRONT WINDOW
- 11 DOUBLE GLAZED VINYL FRAMED WINDOW - ALMOND
- 12 ALUM. FRAMED GUARD - WHITE W/ FROSTED TEMPERED GLASS
- 13 PRE-FINISHED ALUM. FLASHING CAP - WHITE
- 14 HARDIE-PANEL SOFFIT - OFF WHITE
- 15 ALUMINUM SIGNAGE MOUNTED TO CANOPY
- 16 LOWER BRICK WALL - COLORED ARCHITECTURAL BRICK-KL124 BISON SMOOTH
- 17 LOWER CONCRETE WALL : LIGHT SAND BLASTED CONCRETE FINISH WITH VERTICAL AND HORIZONTAL REVEALS
- 18 UPPER CONCRETE WALL : SAGED CONCRETE FINISH
- 19 PARKADE GATE & EXIT DOOR : STEEL - PAINTED
- 20 GROUND FLOOR ALUMINUM FRAMED RAILINGS: SILVER
- 21 RAILING (TYPE E): FIBER CEMENT FASCIA IN FRONT OF BALUSTERS, -GLASS: CLEAR
- 22 FASCIA, GP CLW 1047W DEER FEATHER
- 23 -ALUMINUM: GP CL 2885A JACK IN THE PULPIT

NO.	DATE	ISSUE

PROJECT
 RIVA
 Residential development
 at 7771 Alderbridge way

YAMAMOTO
 Architecture Inc.
 2386 oak street, Vancouver, B.C.
 V6H 4J1 Tel: 604-251-1127 Fax: 604-251-1327

DRAWING TITLE
 Detail Elevation
 B3

SCALE	SHEET NO.
1/8"=1'	A2.3.4

DATE	DRAWN	CHECKED
Feb. 26, 2015		

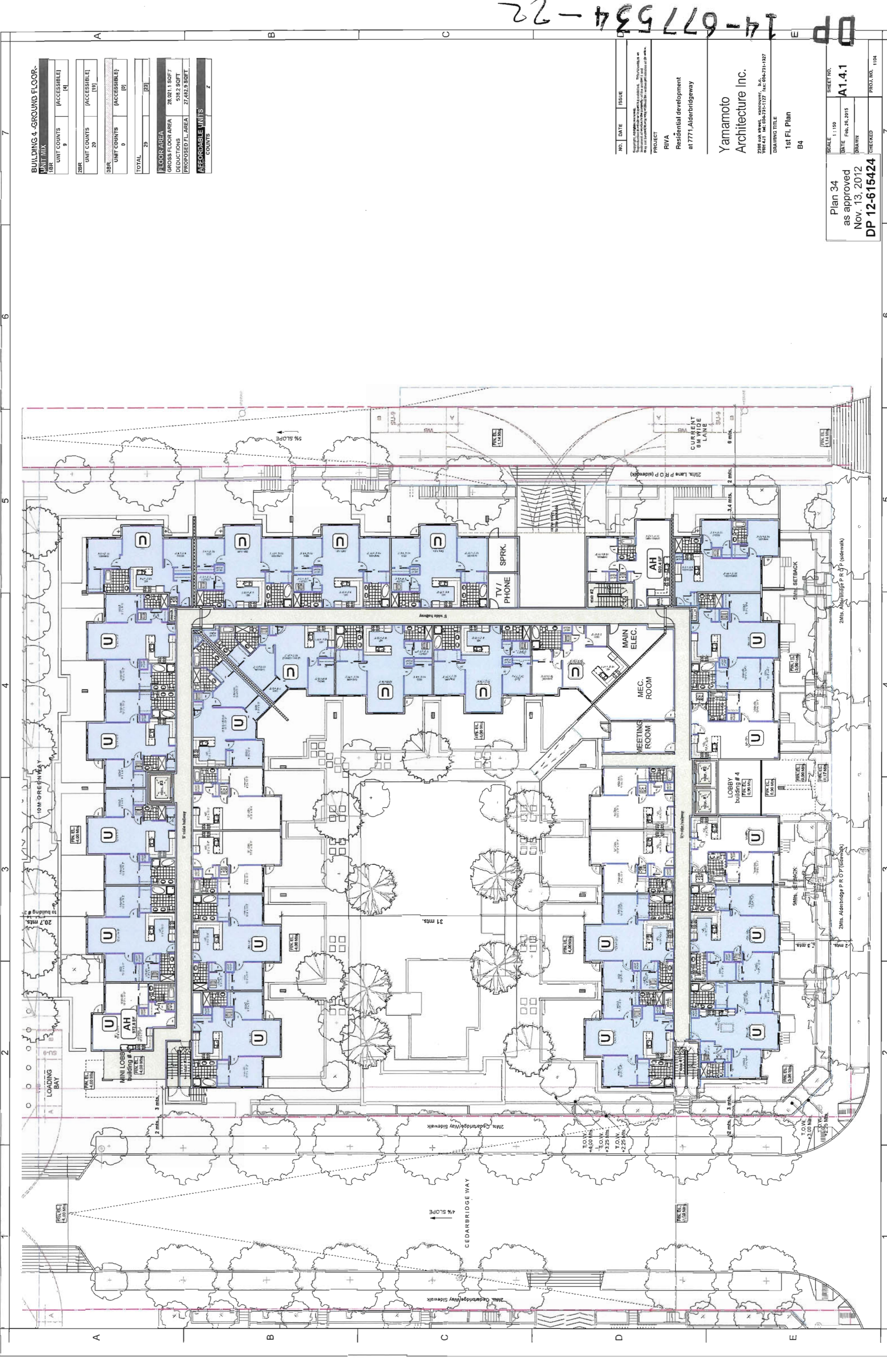
Plan 68
 as approved
 Nov. 13, 2012
 DP-12-615424

PROJ. NO. 1104

BUILDING 3 DETAIL ELEVATION (AT ALDERBRIDGE WAY AND LANE)

BUILDING 4 - GROUND FLOOR - UNIT MIX

UNIT COUNTS	[ACCESSIBLE]
9	[4]
2BR	[ACCESSIBLE]
20	[19]
3BR	[ACCESSIBLE]
0	[0]
TOTAL	[29]
FLOOR AREA	
GROSS FLOOR AREA	28,021.1 SQFT
DEDUCTIONS	538.2 SQFT
PROPOSED FL. AREA	27,482.9 SQFT
AFORDABLE UNITS COUNTS	2



NO.	DATE	ISSUE
PROJECT		
RIVA		
Residential development		
at 7771 Alderbridge way		
Yamamoto Architecture Inc.		
2388 oak street, Vancouver, B.C.		
V6H 4J1 Tel: 604-311-1127 Fax: 604-751-1927		
DRAWING TITLE		
1st Fl. Plan		
B4		

Plan 34
as approved
Nov. 13, 2012
DP 12-615424

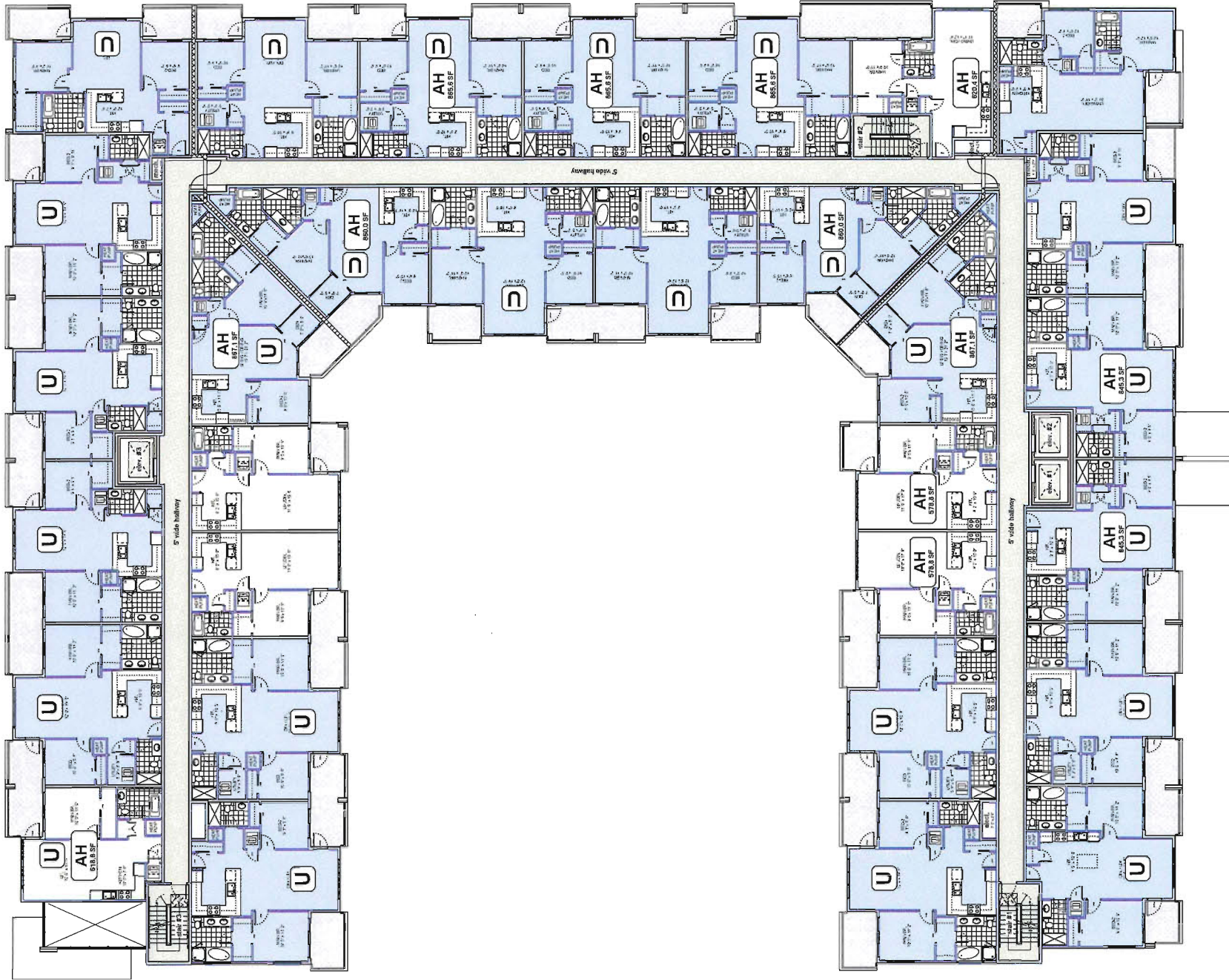
SCALE	1:100	SHEET NO.	A1.4.1
DATE	Feb. 26, 2015	DRAWN	
CHECKED		PROJ. NO.	1104

14-677534-22

DP 14-077534-23

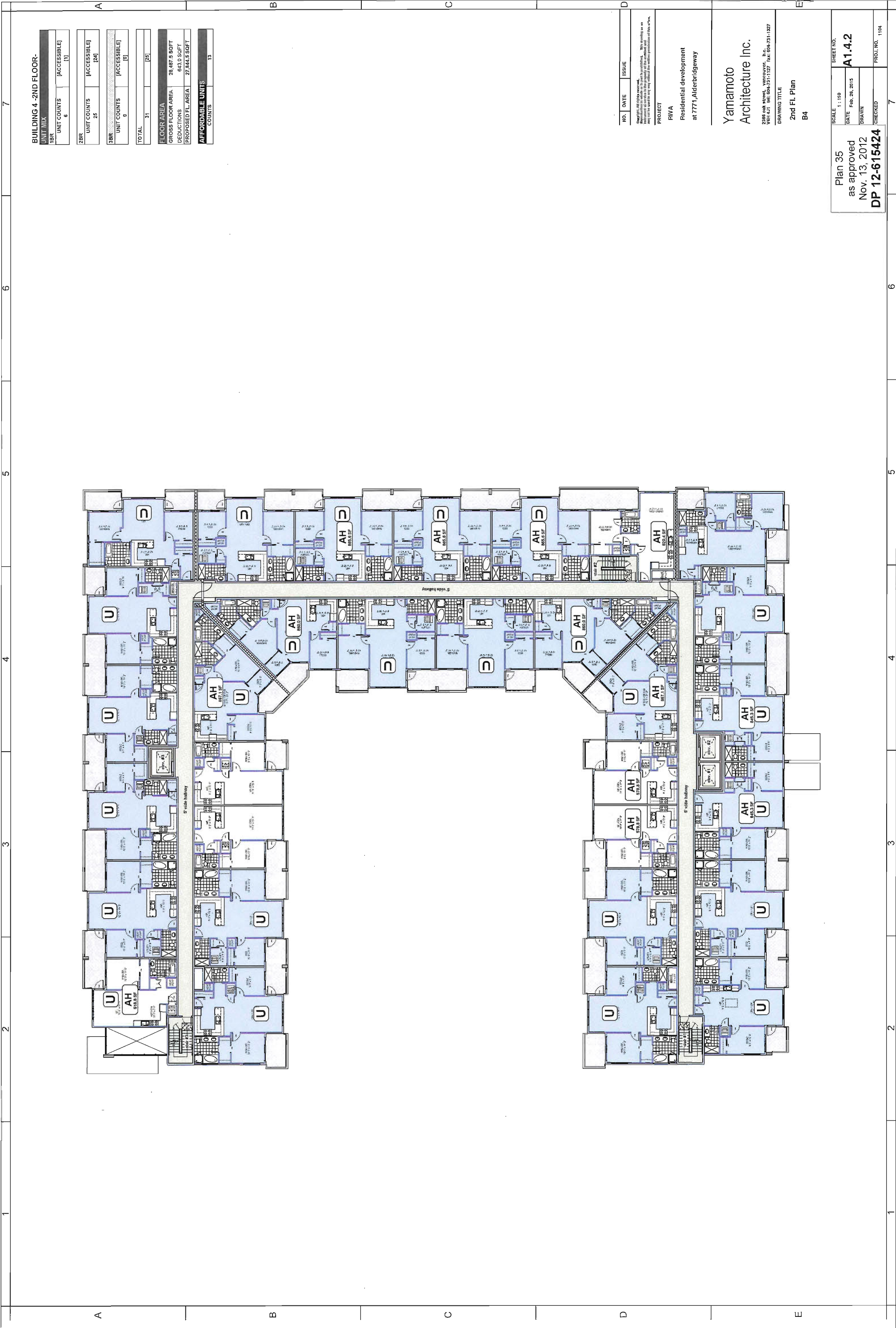
BUILDING 4-2ND FLOOR-

UNIT MIX	
FBR UNIT COUNTS	[ACCESSIBLE]
6	[1]
FBR UNIT COUNTS [ACCESSIBLE]	
25	[24]
FBR UNIT COUNTS [ACCESSIBLE]	
6	[0]
TOTAL	
31	[25]
FLOOR AREA	
GROSS FLOOR AREA	28,487.5 SQFT
DEDUCTIONS	643.0 SQFT
PROPOSED FL AREA	27,844.5 SQFT
AFFORDABLE UNITS COUNTS	
	13

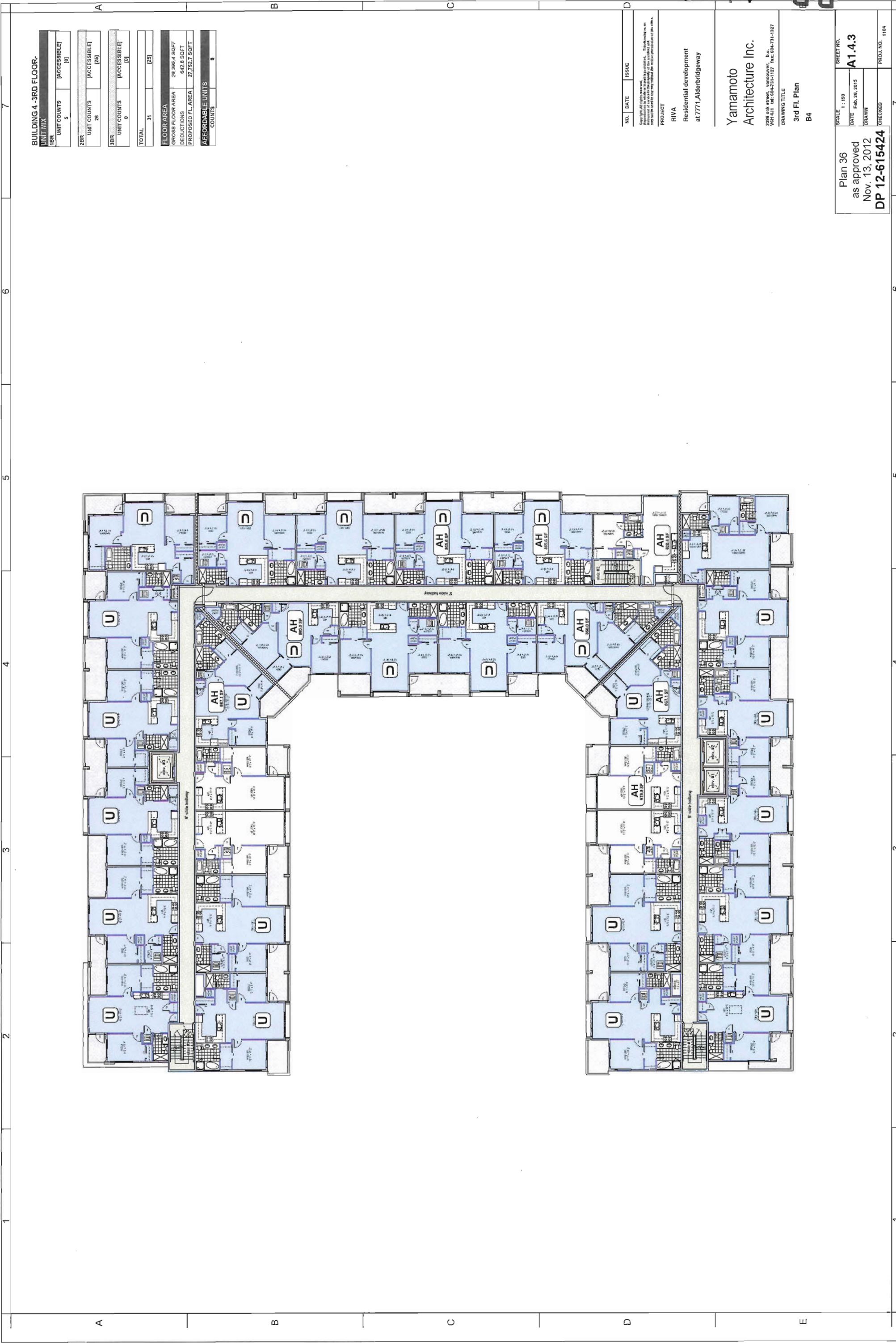


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PROJECT		
RIVA		
Residential development		
at 7771 Alderbridgeway		
Yamamoto Architecture Inc.		
2386 oak street, Vancouver, B.C.		
V6H 4J1 Tel: 604-731-1127 Fax: 604-731-1327		
DRAWING TITLE		
2nd Fl. Plan		
B4		
SCALE	1:150	SHEET NO.
DATE	Feb. 26, 2013	A1.4.2
DRAWN		
CHECKED		
		PROJ. NO. 1104

Plan 35
as approved
Nov. 13, 2012
DP 12-615424



DP 14-677534-24



BUILDING 4 - 3RD FLOOR - UNIT MIX

ZBR	UNIT COUNTS	[ACCESSIBLE]	[0]
ZBR	UNIT COUNTS	[ACCESSIBLE]	[25]
ZBR	UNIT COUNTS	[ACCESSIBLE]	[0]
TOTAL			[25]

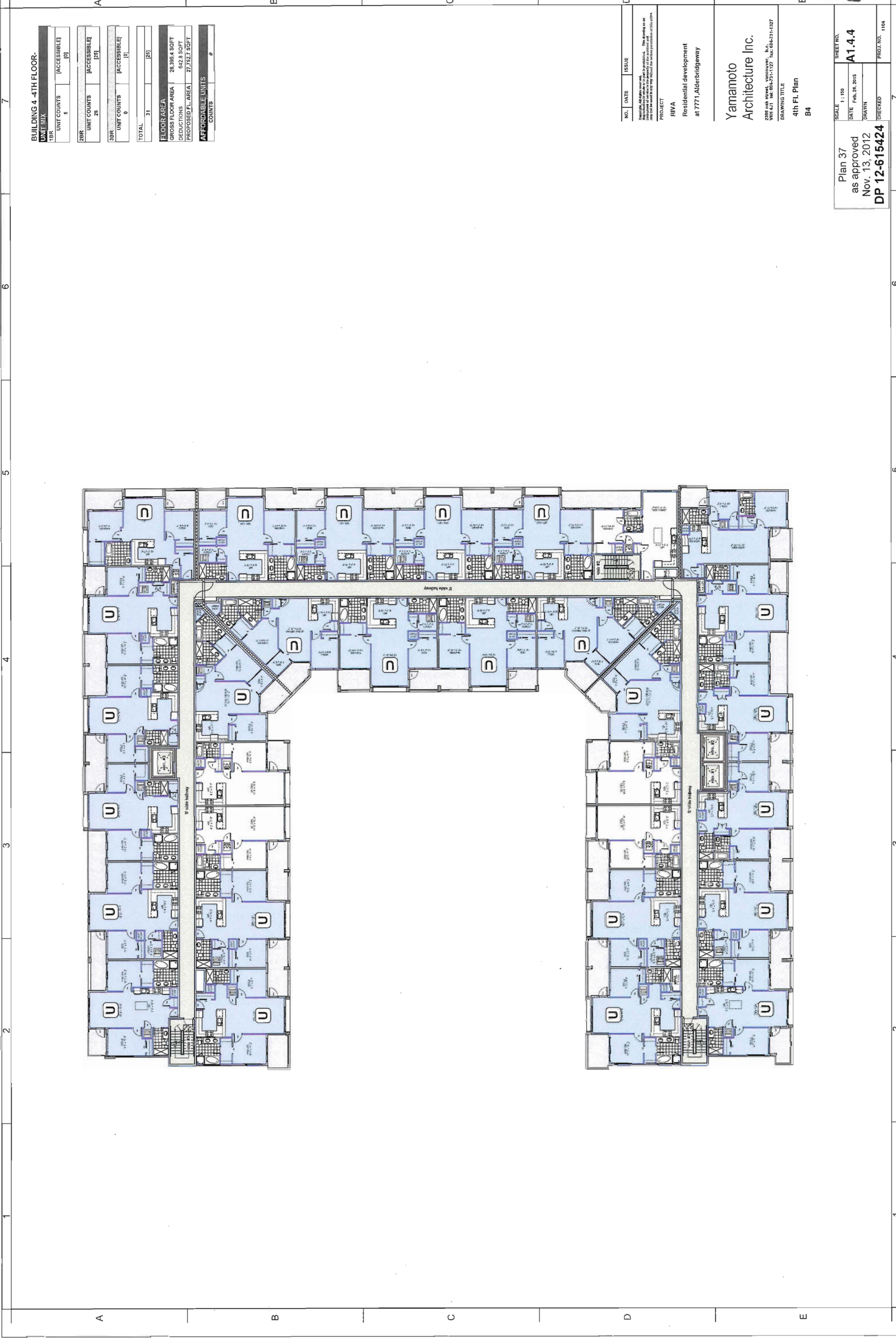
FLOOR AREA	
GROSS FLOOR AREA	28,396.4 SQFT
DEDUCTIONS	642.8 SQFT
PROPOSED FL AREA	27,752.7 SQFT

AFFORDABLE UNITS	
COUNTS	8

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PROJECT		
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Residential development		
at 7771 Alderbridgeway		
Yamamoto		
Architecture Inc.		
2386 oak street, Vancouver, B.C.		
V6H 4J1 tel: 604-731-1127 fax: 604-731-1327		
DRAWING TITLE		
3rd Fl. Plan		
B4		

Plan 36
as approved
Nov. 13, 2012
DP 12-615424

SCALE	1:100	SHEET NO.	A1.4.3
DATE	Feb. 26, 2015	DRAWN	
CHECKED		PROJ. NO.	1104

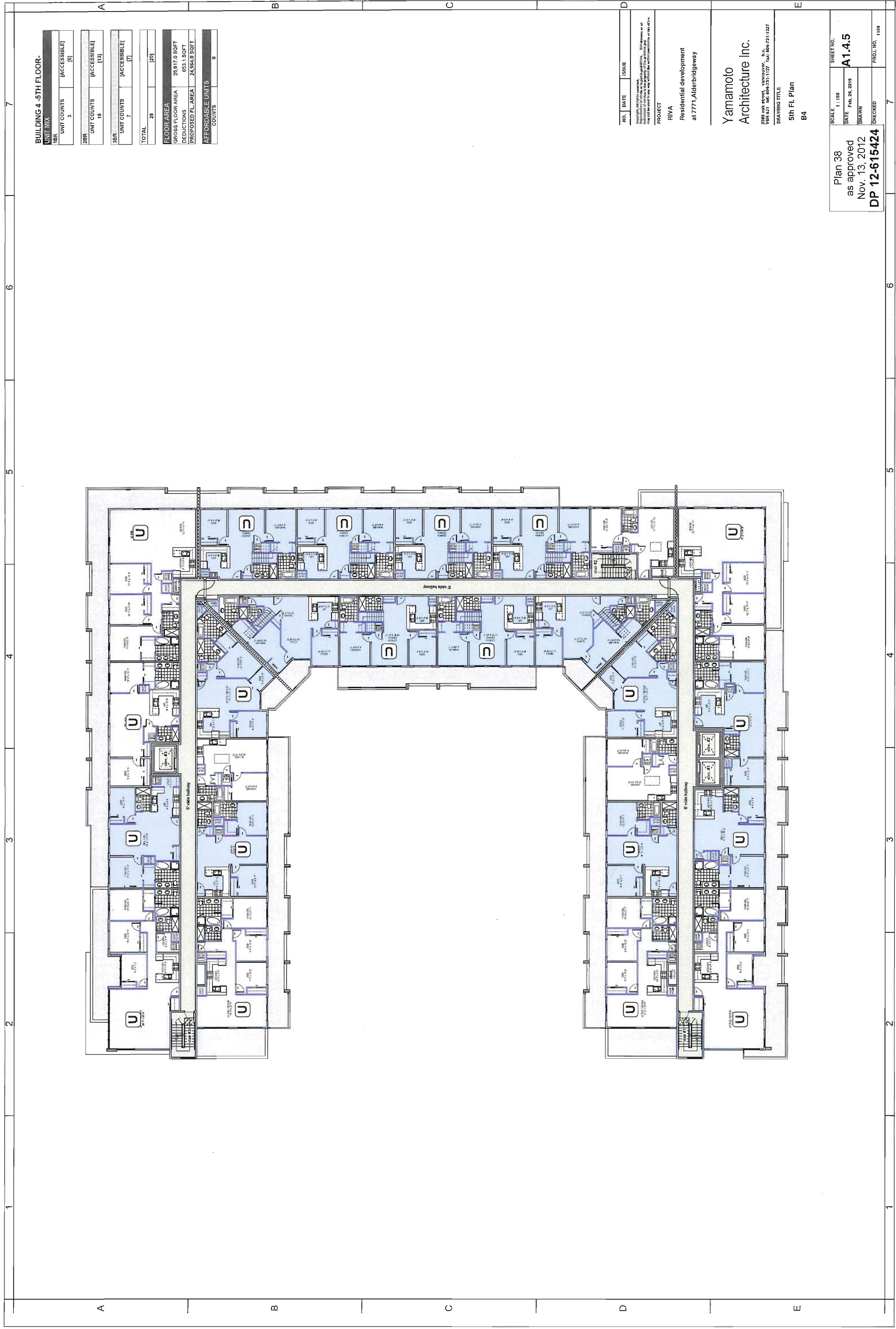


BUILDING 4-4TH FLOOR-

UNIT MIX	
1BR	[ACCESSIBLE]
UNIT COUNTS	5
	[0]
2BR	
UNIT COUNTS	[ACCESSIBLE]
	[25]
3BR	
UNIT COUNTS	[ACCESSIBLE]
	[0]
TOTAL	31
	[25]
FLOOR AREA	
GROSS FLOOR AREA	28,395.4 SQFT
DEDUCTIONS	542.8 SQFT
PROPOSED FL. AREA	27,752.7 SQFT
AFFORDABLE UNITS	
COUNTS	0

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PROJECT		
RIVA	Residential development	
at 7771 Alberdridge way		
Yamamoto Architecture Inc.		
<small>2386 oak street, Vancouver, B.C. V6H 4J1 Tel: (604) 251-1127 Fax: (604) 251-1327</small>		
DRAWING TITLE		
4th Fl. Plan		
B4		

Plan 37	SCALE 1:100	SHEET NO.
as approved	DATE Feb. 26, 2015	A1.4.4
Nov. 13, 2012	DRAWN	
DP 12-615424	CHECKED	PROJ. NO. 1104

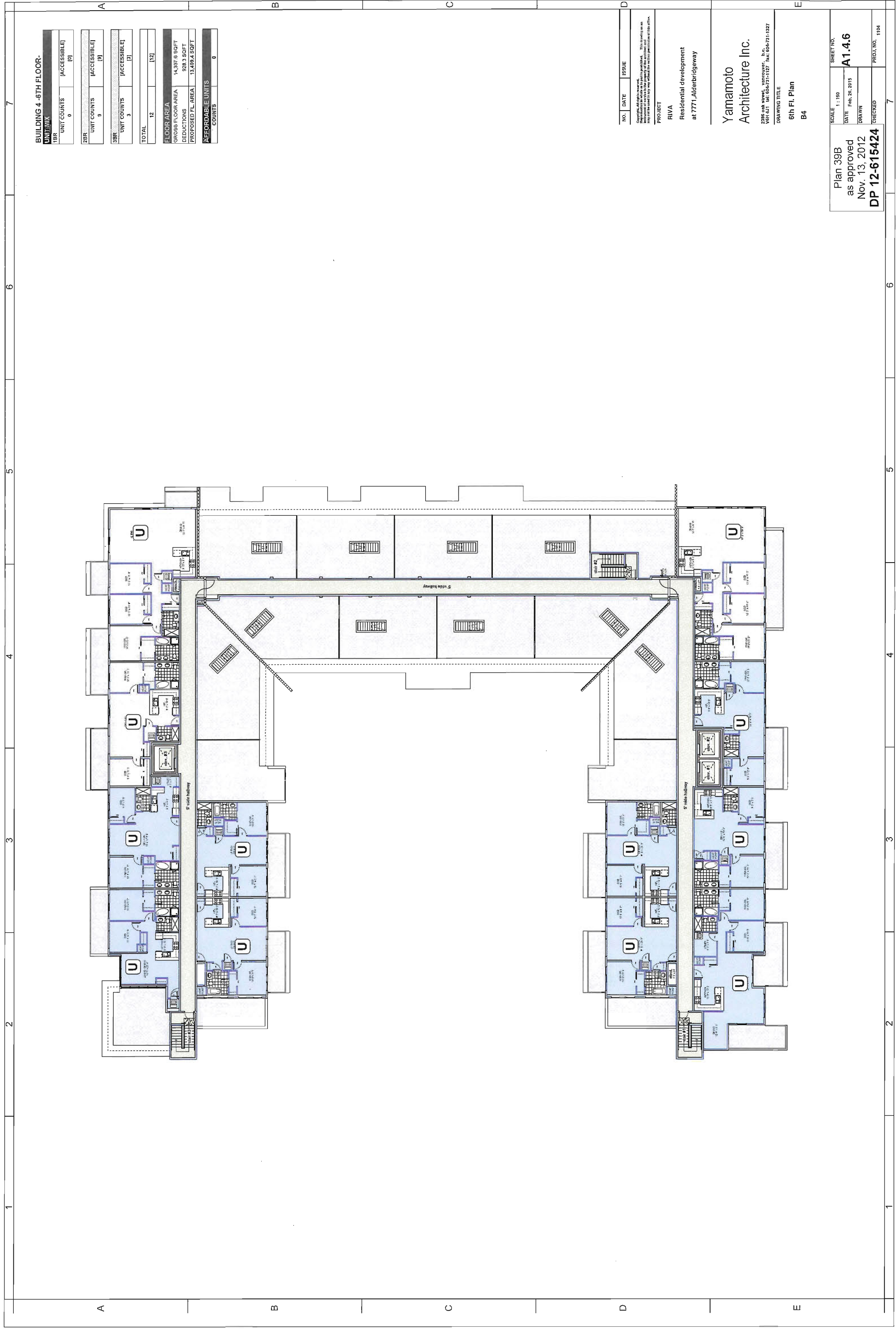


BUILDING 4 -5TH FLOOR-

UNIT MIX	
1BR	[ACCESSIBLE]
UNIT COUNTS	3
	[0]
2BR	[ACCESSIBLE]
UNIT COUNTS	16
	[13]
3BR	[ACCESSIBLE]
UNIT COUNTS	7
	[7]
TOTAL	26
	[20]
FLOOR AREA	
GROSS FLOOR AREA	25,617.0 SQFT
DEDUCTIONS	653.1 SQFT
PROPOSED FL AREA	24,964.0 SQFT
AFFORDABLE UNITS	0
COUNTS	

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PROJECT		
RIVA		
Residential development		
at 7771 Alderbridge way		
Yamamoto Architecture Inc.		
<small>2286 oak street, vancouver, b.c. v6k 4j1 bc: 604-731-1127 fax: 604-731-1327</small>		
DRAWING TITLE		
5th Fl. Plan		
B4		

Plan 38	SCALE 1:150	SHEET NO.
as approved	DATE Feb. 26, 2015	A1.4.5
Nov. 13, 2012	DRAWN	
DP 12-615424	CHECKED	PROJ. NO. 1104



BUILDING 4-6TH FLOOR-

UNIT MARK	UNIT COUNTS	[ACCESSIBLE]
RBR	0	[0]
FBR	9	[9]
UBR	3	[3]
TOTAL	12	[12]

FLOOR AREA	GROSS FLOOR AREA	DEDUCTIONS	PROPOSED FL AREA	AFFORDABLE UNITS COUNTS
	14,337.6 SQFT	928.3 SQFT	13,409.4 SQFT	0

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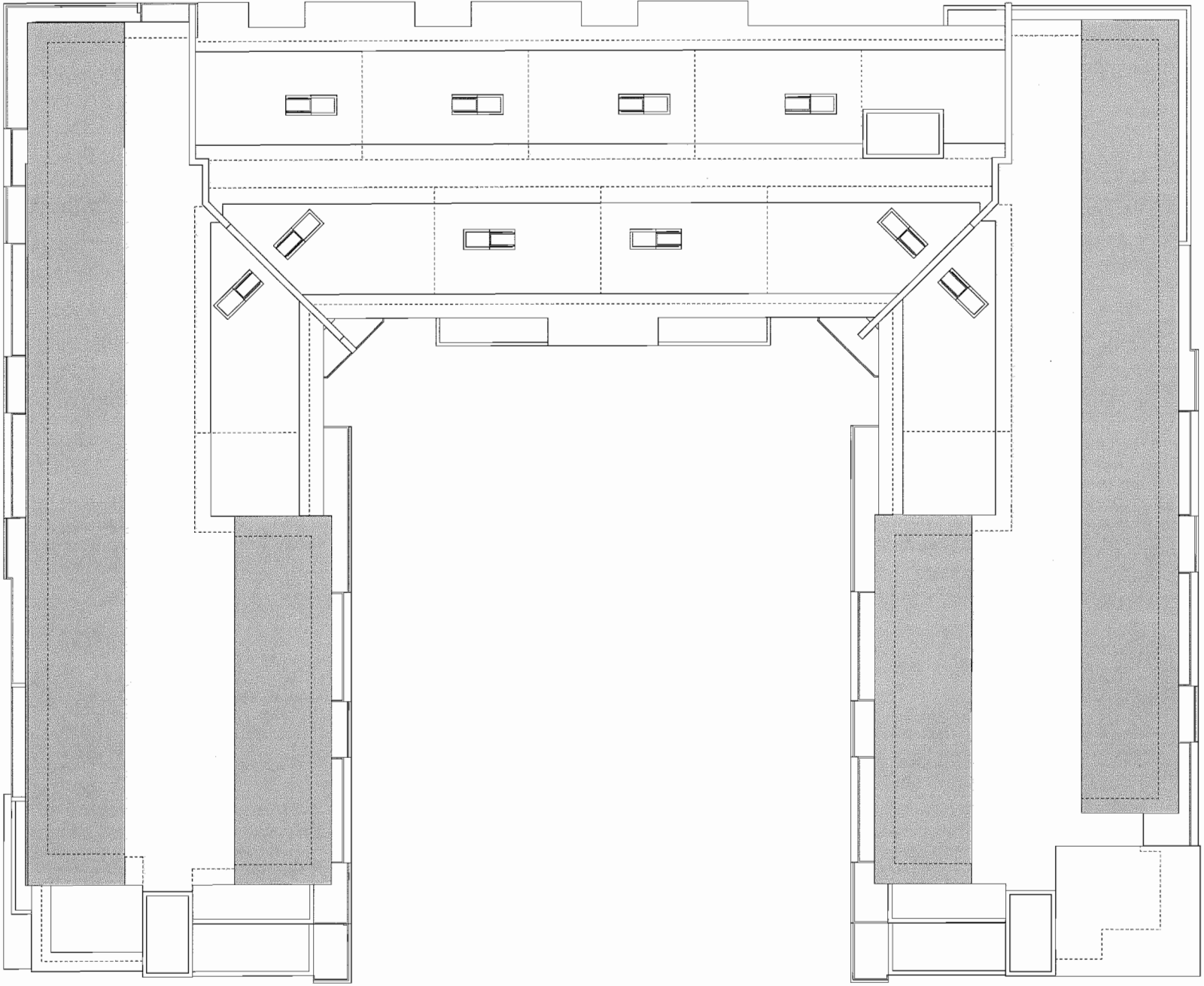
PROJECT
RIVA
Residential development
at 7771 Aldebridgeway

Yamamoto
Architecture Inc.
2386 oak street, Vancouver, b.c.
V6H 4J1 tel: 604-271-1127 fax: 604-271-1327

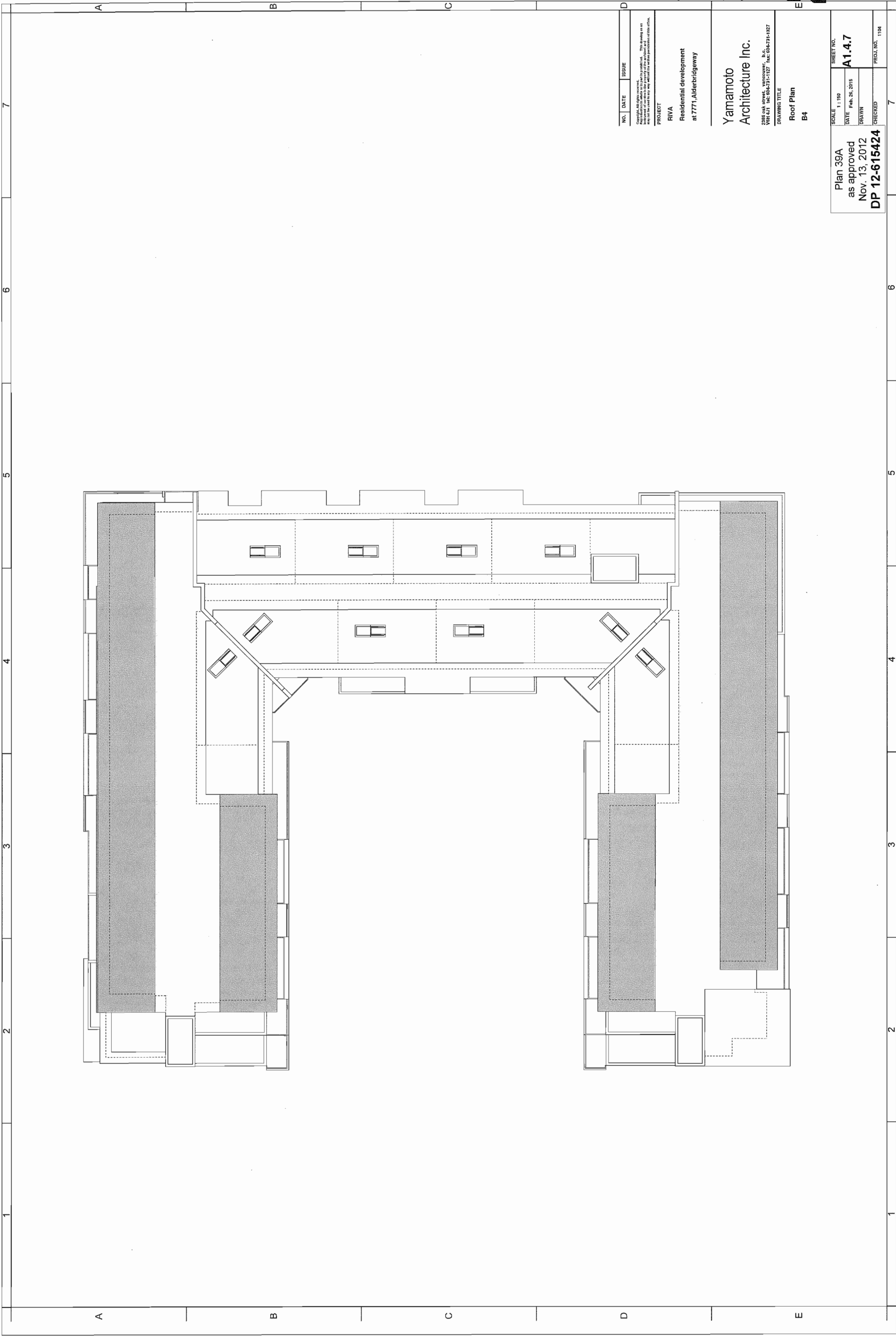
DRAWING TITLE
6th Fl. Plan
B4

Plan 39B as approved Nov. 13, 2012 DP 12-615424	SCALE 1:150	SHEET NO. A1.4.6
	DATE Feb. 26, 2015	
	DRAWN	CHECKED
		PROJ. NO. 1104

DP 14-677534-28



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PROJECT RIVA Residential development at 7771 Alderbridgeway		
Yamamoto Architecture Inc. <small>2386 oak street, Vancouver, B.C. V6H 4J1 tel: 604-731-1127 fax: 604-731-1327</small>		
DRAWING TITLE Roof Plan B4		
Plan 39A as approved Nov. 13, 2012 DP 12-615424		SCALE 1:100 DATE Feb. 26, 2015 DRAWN CHECKED PROJ. NO. 1104 SHEET NO. A1.4.7



DP 14-01/534-29



BUILDING 4 NORTH ELEVATION (10M GREENWAY)

BUILDING 4 WEST ELEVATION (CEDARBRIDGE WAY)

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PROJECT		
RIVA		
Residential development		
at 7771 Alderbridge way		
Yamamoto Architecture Inc.		
2888 Oak Street, Vancouver, B.C.		
V6T 1G1, Tel: 604-271-1127 Fax: 604-271-1277		
DRAWING TITLE		
Elevations (North & West)		
B4		

Plan 69
 as approved
 Nov. 13, 2012
 DP 12-615424

SCALE	SHEET NO.
1" = 10'-0"	A2.4.1
DATE	DRAWN
Feb. 26, 2015	
CHECKED	PROJ. NO.
	1104

DP 14-677534 - 30



BUILDING 4 SOUTH ELEVATION (ALDERBRIDGE WAY)

- BUILDING 4 - ELEVATION KEY NOTES:**
- 1 METAL PANEL (VERT. CORRUGATED): PAINTED GP CL 3016A GIANT
 - 2 METAL CAP: PAINTED GP CL W/ 186V LACE FALLS
 - 3 METAL PANEL (4" WIDE HORIZ. FLAT): PAINTED GP CL W/ 186V LACE FALLS
 - 4 METAL PANEL (6" WIDE HORIZ. FLAT): PAINTED GP CL W/ 186V LACE FALLS
 - 5 METAL PANEL (8" WIDE HORIZ. FLAT): PAINTED GP CL W/ 186V LACE FALLS
 - 6 METAL PANEL (10" WIDE HORIZ. FLAT): PAINTED GP CL W/ 186V LACE FALLS
 - 7 HARD-PANEL SHADOW LINE (SMOOTH): PAINTED CL 8040 DIEGO
 - 8 METAL FASCIA: PAINTED GP CL 2891 W/ FILTERED
 - 9 DOUBLE GLAZED CLEAR ANODIZED ALUM. FRAMED STORE-FRONT WINDOW
 - 10 DOUBLE GLAZED VINTL. FRAMED WINDOW - ALMOND
 - 11 ALUM. FRAMED GUARD - WHITE W/ FROSTED TEMPERED GLASS
 - 12 PREFINISHED ALUM. FLASHING CAP - WHITE
 - 13 METAL SPOFT - OFF WHITE
 - 14 ALUMINUM SIGNAGE MOUNTED TO CANOPY
 - 15 LOWER BRICK WALL: 12X 12X BROWN (SMOOTH)
 - 16 LOWER CONCRETE WALL: PAINTED
 - 17 UPPER CONCRETE WALL: SACRED CONCRETE FINISH
 - 18 PARKADE GATE & EXIT DOOR: STEEL - PAINTED
 - 19 GROUND FLOOR ALUM. FRAMED RAILINGS - WHITE
 - 20 PAILING (TYPE D): FACE MOUNTED, ALUMINUM FASCIA GLASS, CLEAR 186V LACE FALLS ALUMINUM CL 8040 DIEGO



BUILDING 4 EAST ELEVATION (LANE)

NO.	DATE	ISSUE

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PROJECT
 RIVA
 Residential development
 at 7771 Alderbridge way

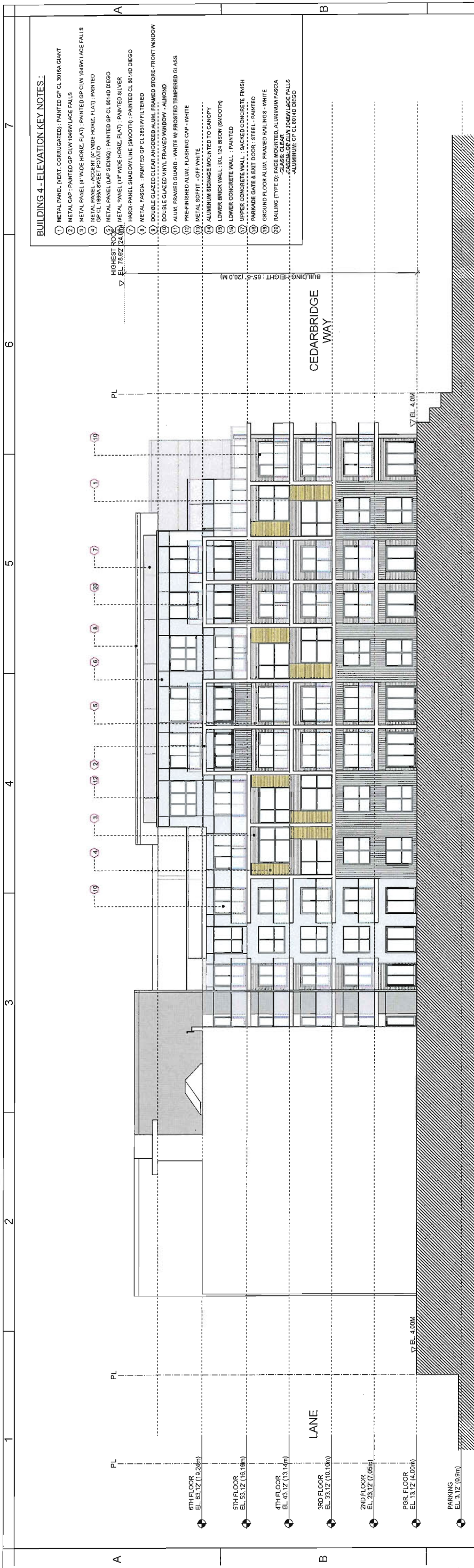
Yamamoto Architecture Inc.
 2288 VAN SICKLE AVENUE, # 202
 VANCOUVER, B.C. V6K 2R1
 TEL: 604-731-1127 FAX: 604-731-1327

DRAWING TITLE
 Elevations (South & East)
 B4

Plan 70	SCALE 1" = 10'-0"	SHEET NO.
as approved	DATE Feb. 26, 2015	A2.4.2
Nov. 13, 2012	DRAWN	
DP 12-615424	CHECKED	PROJ. NO. 1104

Plan 70
 as approved
 Nov. 13, 2012
 DP 12-615424

DP 14-677534 - 31



BUILDING 4 COURT YARD NORTH ELEVATION



BUILDING 4 COURT YARD SOUTH ELEVATION

- BUILDING 4 - ELEVATION KEY NOTES:**
- 1 METAL PANEL (VERT. CORRUGATED); PAINTED GP CL 3016A GIANT
 - 2 METAL CAP; PAINTED GP CL W/ 100W LACE FALLS
 - 3 METAL PANEL (WIDE HORIZ. FLAT); PAINTED GP CL W/ 100W LACE FALLS
 - 4 METAL PANEL (WIDE HORIZ. FLAT); PAINTED GP CL W/ 100W LACE FALLS
 - 5 METAL PANEL (WIDE HORIZ. FLAT); PAINTED GP CL W/ 100W LACE FALLS
 - 6 METAL PANEL (WIDE HORIZ. FLAT); PAINTED GP CL W/ 100W LACE FALLS
 - 7 METAL PANEL (WIDE HORIZ. FLAT); PAINTED GP CL W/ 100W LACE FALLS
 - 8 METAL PANEL (WIDE HORIZ. FLAT); PAINTED GP CL W/ 100W LACE FALLS
 - 9 METAL PANEL (WIDE HORIZ. FLAT); PAINTED GP CL W/ 100W LACE FALLS
 - 10 METAL PANEL (WIDE HORIZ. FLAT); PAINTED GP CL W/ 100W LACE FALLS
 - 11 METAL PANEL (WIDE HORIZ. FLAT); PAINTED GP CL W/ 100W LACE FALLS
 - 12 METAL PANEL (WIDE HORIZ. FLAT); PAINTED GP CL W/ 100W LACE FALLS
 - 13 METAL PANEL (WIDE HORIZ. FLAT); PAINTED GP CL W/ 100W LACE FALLS
 - 14 METAL PANEL (WIDE HORIZ. FLAT); PAINTED GP CL W/ 100W LACE FALLS
 - 15 METAL PANEL (WIDE HORIZ. FLAT); PAINTED GP CL W/ 100W LACE FALLS
 - 16 METAL PANEL (WIDE HORIZ. FLAT); PAINTED GP CL W/ 100W LACE FALLS
 - 17 METAL PANEL (WIDE HORIZ. FLAT); PAINTED GP CL W/ 100W LACE FALLS
 - 18 METAL PANEL (WIDE HORIZ. FLAT); PAINTED GP CL W/ 100W LACE FALLS
 - 19 METAL PANEL (WIDE HORIZ. FLAT); PAINTED GP CL W/ 100W LACE FALLS
 - 20 METAL PANEL (WIDE HORIZ. FLAT); PAINTED GP CL W/ 100W LACE FALLS
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 - 28 METAL PANEL (WIDE HORIZ. FLAT); PAINTED GP CL W/ 100W LACE FALLS
 - 29 METAL PANEL (WIDE HORIZ. FLAT); PAINTED GP CL W/ 100W LACE FALLS
 - 30 METAL PANEL (WIDE HORIZ. FLAT); PAINTED GP CL W/ 100W LACE FALLS

NO.	DATE	ISSUE

PROJECT
 RIVA
 Residential development
 at 7771 Aldebridgeway

Yamamoto
 Architecture Inc.
 2505 W. 10th St., Vancouver, BC
 V6H 4T1 Tel: 604-273-1127 Fax: 604-273-1327

DRAWING TITLE
 Elevations (Courtyard)
 B4

SCALE 1:150
 DATE Feb. 26, 2015
 DRAWN
 CHECKED
 Plan 71
 as approved
 Nov. 13, 2012
 DP 12-615424

SHEET NO.
A2.4.3
 PROJ. NO. 1184



BUILDING 4 - ELEVATION KEY NOTES:

- 1 METAL PANEL (VERT. CORRUGATED) : PAINTED GP CL 3018A GIANT
- 2 METAL CAP : PAINTED GP CLW 1048W LACE FALLS
- 3 METAL PANEL (4" WIDE HORIZ. FLAT) : PAINTED GP CLW 1048W LACE FALLS
- 4 METAL PANEL (4" WIDE HORIZ. FLAT) : PAINTED GP CLW 1048W LACE FALLS
- 5 METAL PANEL (4" WIDE HORIZ. FLAT) : PAINTED GP CLW 1048W LACE FALLS
- 6 METAL PANEL (4" WIDE HORIZ. FLAT) : PAINTED GP CLW 1048W LACE FALLS
- 7 HARD-PANEL SHADOW LINE (SMOOTH) : PAINTED CL 8014D DIEGO
- 8 METAL PANEL (18" WIDE HORIZ. FLAT) : PAINTED SILVER
- 9 METAL PANEL (18" WIDE HORIZ. FLAT) : PAINTED SILVER
- 10 METAL PANEL (18" WIDE HORIZ. FLAT) : PAINTED SILVER
- 11 METAL PANEL (18" WIDE HORIZ. FLAT) : PAINTED SILVER
- 12 METAL PANEL (18" WIDE HORIZ. FLAT) : PAINTED SILVER
- 13 METAL PANEL (18" WIDE HORIZ. FLAT) : PAINTED SILVER
- 14 METAL PANEL (18" WIDE HORIZ. FLAT) : PAINTED SILVER
- 15 METAL PANEL (18" WIDE HORIZ. FLAT) : PAINTED SILVER
- 16 METAL PANEL (18" WIDE HORIZ. FLAT) : PAINTED SILVER
- 17 METAL PANEL (18" WIDE HORIZ. FLAT) : PAINTED SILVER
- 18 METAL PANEL (18" WIDE HORIZ. FLAT) : PAINTED SILVER
- 19 METAL PANEL (18" WIDE HORIZ. FLAT) : PAINTED SILVER
- 20 METAL PANEL (18" WIDE HORIZ. FLAT) : PAINTED SILVER

CEDARBRIDGE WAY

BUILDING 4 DETAIL ELEVATION (AT ALDERBRIDGE WAY)

NO.	DATE	ISSUE

PROJECT
 RIVA
 Residential development
 at 7771 Alderbridge way

Yamamoto
 Architecture Inc.
 2388 oak street, vancouver, b.c.
 V6H 4J1 TEL: 604-271-1127 FAX: 604-771-1327

DRAWING TITLE
 Detail Elevation
 B4

SCALE 1/4" = 1'-0"
 DATE Feb. 26, 2015
 DRAWN
 CHECKED
 SHEET NO. A2.4.4
 PROJ. NO. 1104

Plan 72
 as approved
 Nov. 13, 2012
 DP 12-615424

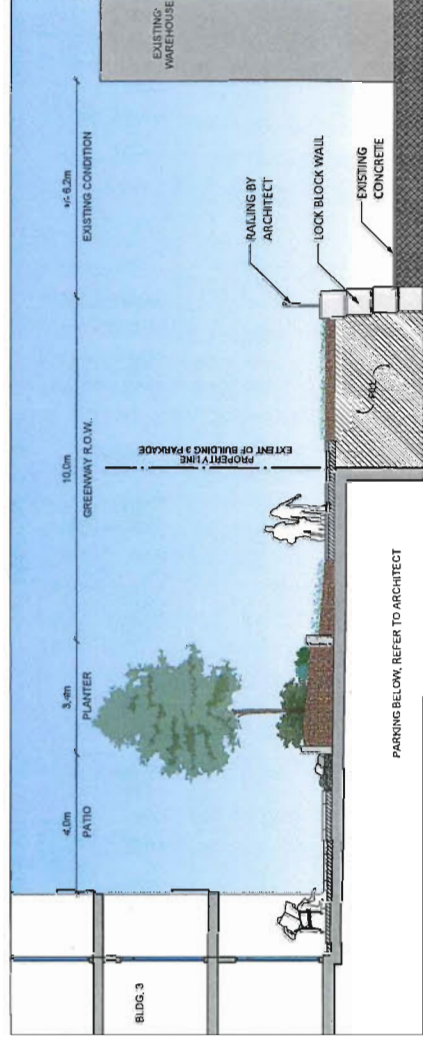
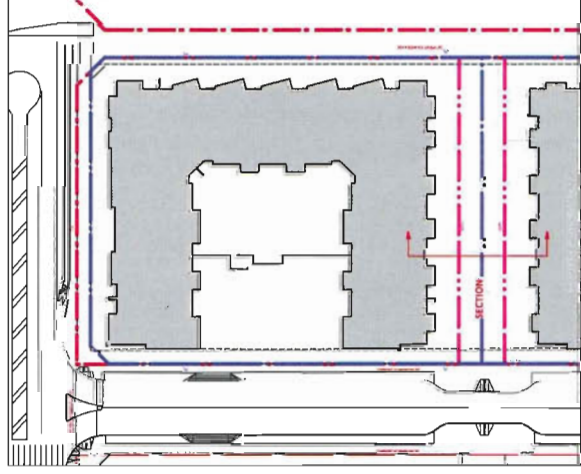
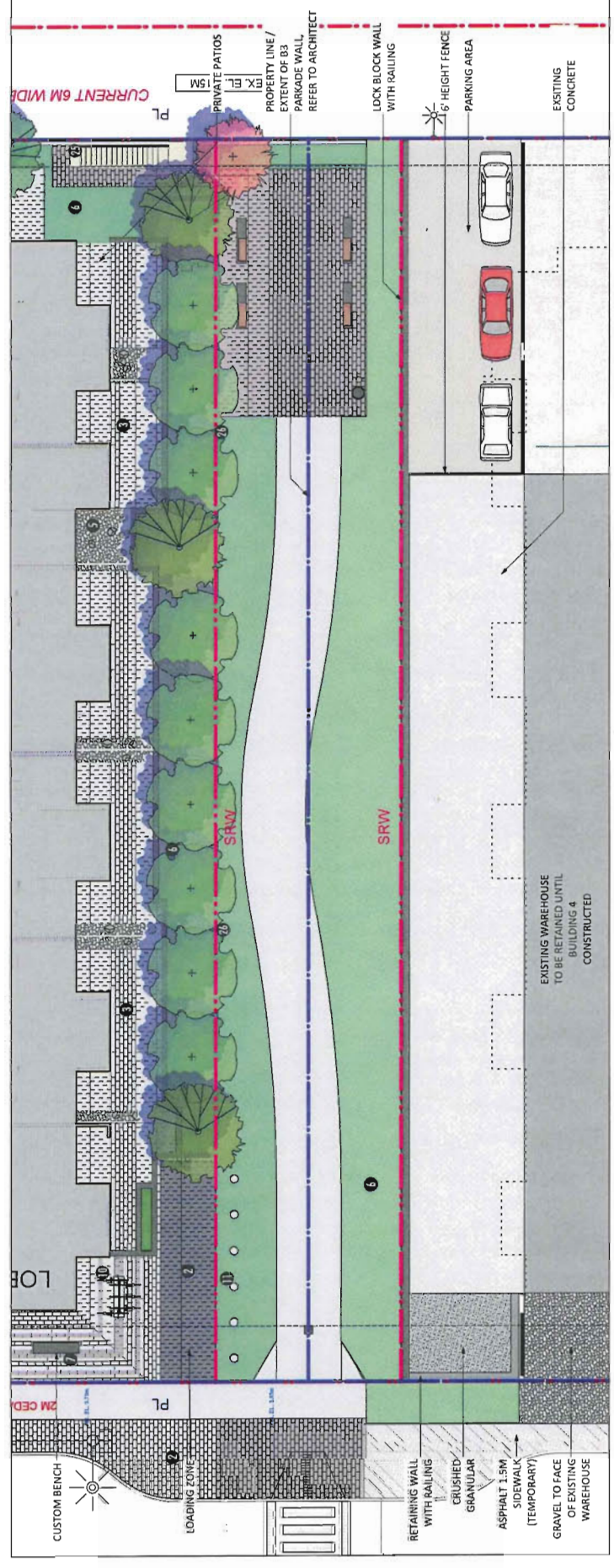
LEGEND

KEY SYMBOL	DETAIL MATERIAL
1	PAVING TYPE A C/P CONCRETE, REFER TO CIVIL
2	PAVING TYPE B VEHICULAR CONCRETE UNIT PAVEMENT AS SPECIFIED
3	PAVING TYPE C PEDESTRIAN CONCRETE UNIT PAVEMENT AS SPECIFIED
4	PAVING TYPE D HYDRAPRESSED SLAB PAVEMENT AS SPECIFIED
5	PAVING TYPE E COBBLE DRAIN STRIP AS SPECIFIED
6	PLANTING SOIL AS PER DETAILS AND SPECIFICATIONS
7	CUSTOM C/P CONCRETE BENCH AS PER DETAILS
8	CUSTOM C/P CONCRETE BENCH WITH MOUNTED TOP AS PER DETAILS
9	FREE STANDING BENCH AS SPECIFIED
10	BICYCLE RACKS AS SPECIFIED
11	CONCRETE BOLLARD REFER TO ARCHITECT
12	LIGHT BOLLARD AS SPECIFIED
13	TRELLIS AS PER DETAILS
14	BBQ COUNTER AS PER DETAILS
15	POTTING TABLE AS PER DETAILS
16	COMPOSTER AS PER DETAILS
17	TRIPLE SHIFTER AS SPECIFIED
18	COUPE DELUXE AS SPECIFIED
19	FRONT LOADER AS SPECIFIED
20	DAISY DESK AS SPECIFIED
21	PLAY SURFACING AS PER DETAILS
22	BURIED LOG IN TOT AS PER DETAILS
23	WATER FEATURE AS PER DETAILS AND SPECIFICATIONS
24	PLANTER WALL, TYP. AS PER DETAILS
25	PLANTER WALL AT FRONT YARD AS PER DETAILS
26	PLANTER WALL ALONG GREENWAY AS PER DETAILS
27	AGRICULTURAL PLANTER AS PER DETAILS
28	ROOFTOP PLANTER AS PER DETAILS

NOTES

1. ALL DIMENSIONS ARE METERS UNLESS OTHERWISE NOTED. DO NOT SCALE DRAWINGS.
2. LAYOUT DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANT DRAWINGS, DETAILS, AND SPECIFICATIONS.
3. VERIFY ALL DIMENSIONS IN FIELD AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT PRIOR TO PROCEEDING.
4. THE CONTRACTOR SHALL IDENTIFY AND PROTECT ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. ANY CONFLICTS FOUND WITH UTILITIES SHALL BE CLARIFIED WITH THE LANDSCAPE ARCHITECT AND CONSULTANT TEAM PRIOR TO PROCEEDING.
5. UNLESS OTHERWISE NOTED, THE CONTRACTOR IS TO PROVIDE A MINIMUM 1% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND TO DRAINAGE STRUCTURES.
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7. THE LOCATION OF ALL PROPOSED HARDSCAPE AND SITE FURNISHINGS ARE TO BE FLAGGED OUT ON SITE BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

NOTES



SD SHASP & DIAMOND LANDSCAPE ARCHITECTURE
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703.445.1883 & 571.464.1887
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www.yamamotoarch.com

RIVA

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EAST / WEST COMMUNITY GARDEN GREENWAY INTERIM CONDITION

L2.0

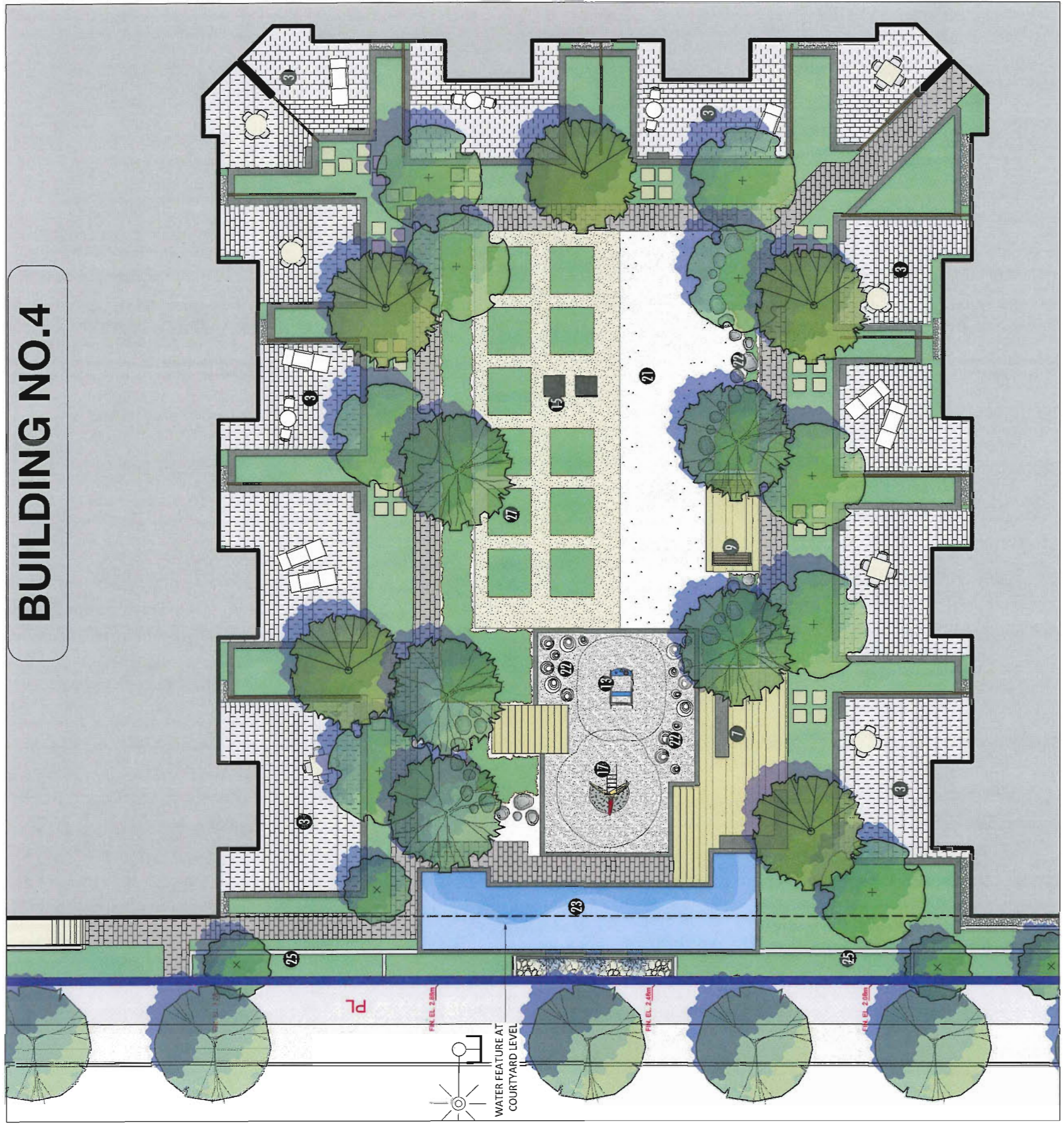
DP 14-071054-35

KEY	SYMBOL	DETAIL	MATERIAL
1		PAVING TYPE A	CIP CONCRETE, REFER TO CIVIL
2		PAVING TYPE B	VEHICULAR CONCRETE UNIT PAVEMENT AS SPECIFIED
3		PAVING TYPE C	PEDESTRIAN CONCRETE UNIT PAVEMENT AS SPECIFIED
4		PAVING TYPE D	HYDRAPRESSED SLAB PAVEMENT AS SPECIFIED
5		PAVING TYPE E	COBBLE DRAIN STRIP AS SPECIFIED
6		PLANTING SOIL	AS PER DETAILS AND SPECIFICATIONS
7		CUSTOM CIP CONCRETE BENCH	AS PER DETAILS
8		CUSTOM CIP CONCRETE BENCH WITH MOUNTED TOP	AS PER DETAILS
9		FREE STANDING BENCH	AS SPECIFIED
10		BICYCLE RACKS	AS SPECIFIED
11		CONCRETE BOLLARD	REFER TO ARCHITECT
12		LIGHT BOLLARD	AS SPECIFIED
13		TRELLIS	AS PER DETAILS
14		BBQ COUNTER	AS PER DETAILS
15		POTTING TABLE	AS PER DETAILS
16		COMPOSTER	AS PER DETAILS
17		TRIPLE SHIFTER	AS SPECIFIED
18		COUPE DELUXE	AS SPECIFIED
19		FRONT LOADER	AS SPECIFIED
20		DAISY DESK	AS SPECIFIED
21		PLAY SURFACING	AS PER DETAILS
22		BURIED LOG IN TOT	AS PER DETAILS
23		WATER FEATURE	AS PER DETAILS AND SPECIFICATIONS
24		PLANTER WALL, TYP.	AS PER DETAILS
25		PLANTER WALL AT FRONT YARD	AS PER DETAILS
26		PLANTER WALL ALONG GREENWAY	AS PER DETAILS
27		AGRICULTURAL PLANTER	AS PER DETAILS
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BUILDING NO.4



0 1 5 10 20 30 FT

0 1 5 10M

01 LEVEL 1 COURTYARD: LAYOUT AND MATERIALS PLAN
Scale: 3/16" = 1'-0"

*NOTE: LANDSCAPE DESIGN REMAINS EXACTLY AS APPROVED IN DP 12-615424 ISSUED NOV 13, 2012.

NOTES:

Plan 42 Sept 14 2012
DP 12-615424

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www.yamamotoarch.com

RIVA

ami

BUILDING 4
COURTYARD
DETAIL PLAN

L3.1

DP 12-01/534-40

KEY SYMBOL	DETAIL	MATERIAL
1	PAVING TYPE A	CIP CONCRETE, REFER TO CIVIL
2	PAVING TYPE B	VEHICULAR CONCRETE UNIT PAVEMENT AS SPECIFIED
3	PAVING TYPE C	PEDESTRIAN CONCRETE UNIT PAVEMENT AS SPECIFIED
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21	PLAY SURFACING	AS PER DETAILS
22	BURIED LOG IN TOT	AS PER DETAILS
23	WATER FEATURE	AS PER DETAILS AND SPECIFICATIONS
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26	PLANTER WALL ALONG GREENWAY	AS PER DETAILS
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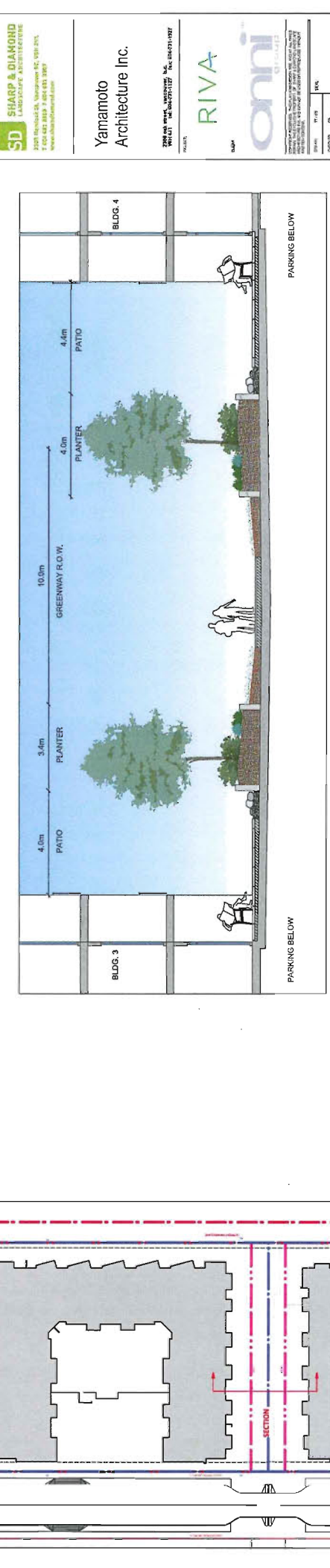
NOTES

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***NOTE: LANDSCAPE DESIGN REMAINS EXACTLY AS APPROVED IN DP 12-615424 ISSUED NOV 13, 2012.**

01 LEVEL 1: GREENWAY ULTIMATE CONDITION
Scale: 1:100



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Yamamoto Architecture Inc.
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TEL: 202-462-1800 FAX: 202-462-1807
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EAST / WEST COMMUNITY GARDEN GREENWAY

L4.0

NOTES

DP 14-677534 - Reference 1 #



BUILDING 3 - OVERALL

Area	1 Bed	2 Bed	3 Bed	Total Count	Other Units	Other Area	Other Units	Other Area	Other Units	Other Area
1st Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
2nd Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
3rd Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
4th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
5th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
6th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
7th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
8th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
9th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
10th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
11th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
12th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
13th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
14th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
15th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
16th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
17th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
18th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
19th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
20th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
21st Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
22nd Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
23rd Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
24th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
25th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
26th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
27th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
28th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
29th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
30th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
31st Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
32nd Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
33rd Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
34th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
35th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
36th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
37th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
38th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
39th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
40th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
41st Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
42nd Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
43rd Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
44th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
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49th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
50th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
51st Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
52nd Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
53rd Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
54th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
55th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
56th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
57th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
58th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
59th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
60th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
61st Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
62nd Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
63rd Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
64th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
65th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
66th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
67th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
68th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
69th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
70th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
71st Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
72nd Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
73rd Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
74th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
75th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
76th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
77th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
78th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
79th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
80th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
81st Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
82nd Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
83rd Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
84th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
85th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
86th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
87th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
88th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
89th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
90th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
91st Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
92nd Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
93rd Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
94th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
95th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
96th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
97th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
98th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
99th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0
100th Floor	217	90	210	517	20	20,000 sq ft	0	0	0	0

Notes:
 (1) Available floor area for B3
 (2) Available floor area for B3
 (3) Available floor area for B3

SITE

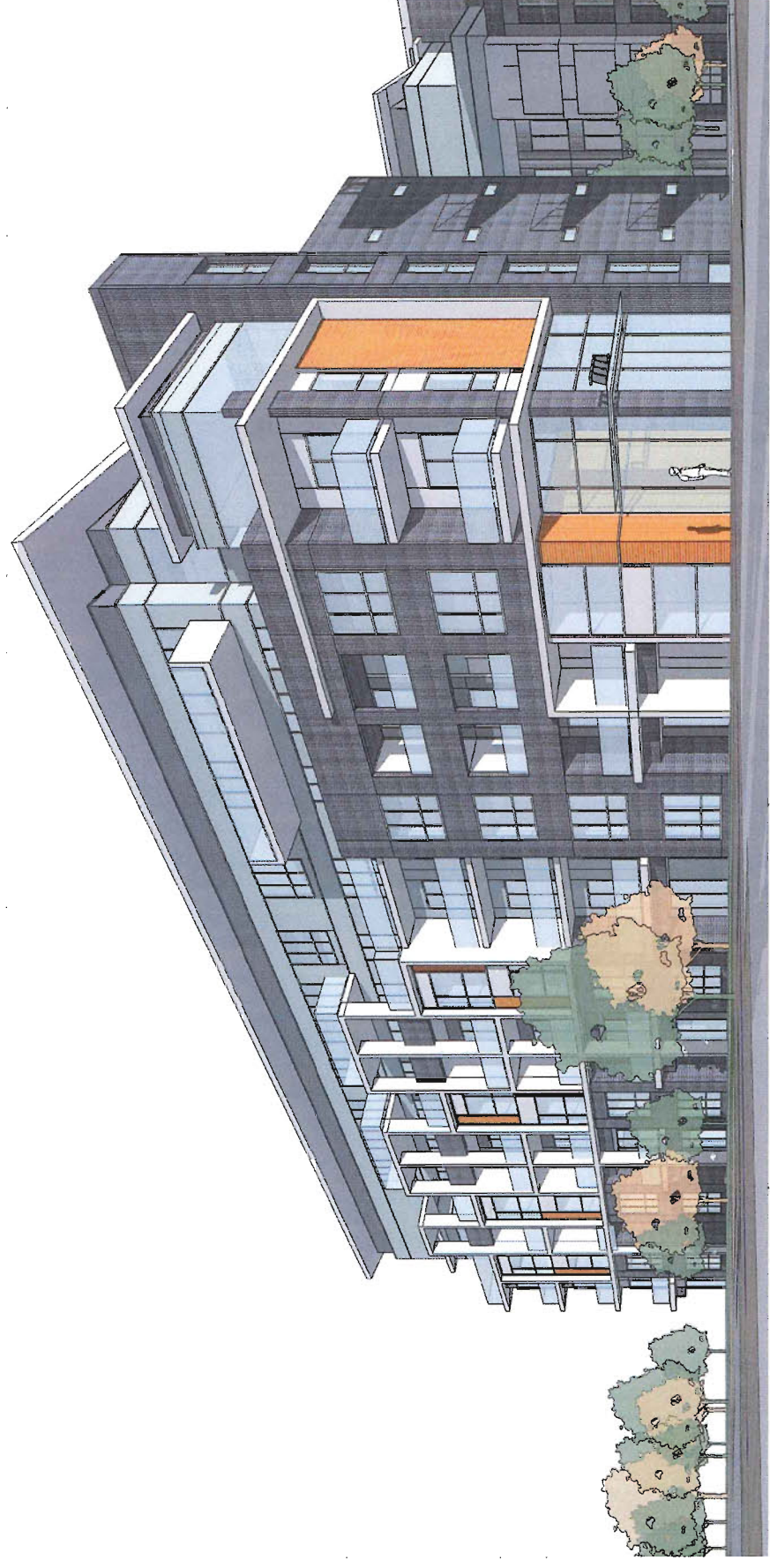
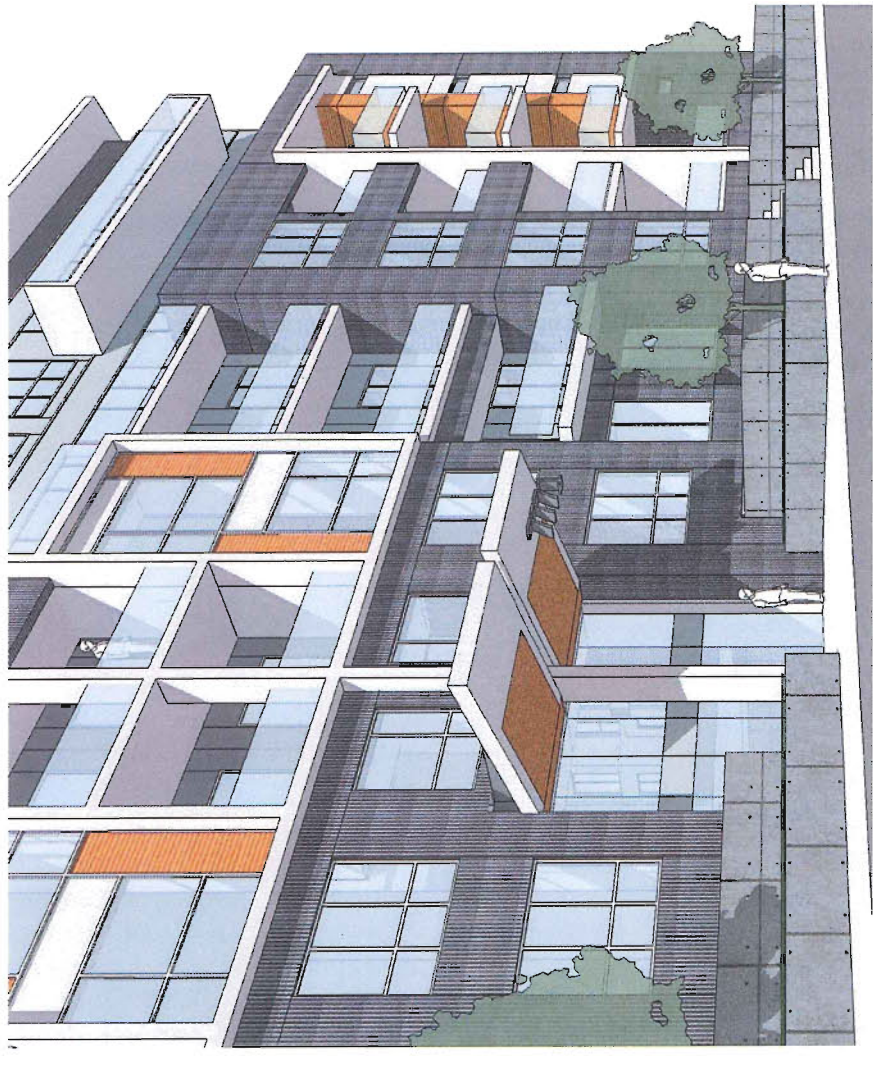
Area	Area (sq ft)
Site Area	20,000
Proposed Program Area	20,000
Net Site Area After Circulation and Other	18,000
Net Site Area After Circulation and Other (Minimum)	17,000
Net Site Area After Circulation and Other (Maximum)	19,000
Total	20,000

West lot
 20,000 sq ft
 100' x 200'

East lot
 20,000 sq ft
 100' x 200'

NO.	DATE	ISSUE
1	10/14/14	ISSUED FOR PERMITTING
2	11/10/14	REVISIONS
3	12/15/14	REVISIONS
4	01/20/15	REVISIONS
5	02/10/15	REVISIONS
6	03/02/15	REVISIONS
7	03/23/15	REVISIONS
8	04/14/15	REVISIONS
9	05/04/15	REVISIONS
10	05/18/15	REVISIONS
11	06/01/15	REVISIONS
12	06/15/15	REVISIONS
13	06/29/15	REVISIONS
14	07/13/15	REVISIONS
15	07/27/15	REVISIONS
16	08/10/15	REVISIONS
17	08/24/15	REVISIONS
18	09/07/15	REVISIONS
19	09/21/15	REVISIONS
20	10/05/15	REVISIONS
21	10/19/15	REVISIONS
22	11/02/15	REVISIONS
23	11/16/15	REVISIONS
24	11/30/15	REVISIONS
25	12/14/15	REVISIONS
26	12/28/15	REVISIONS
27	01/11/16	REVISIONS
28	01/25/16	REVISIONS
29	02/08/16	REVISIONS
30	02/22/16	REVISIONS
31	03/08/16	REVISIONS
32	03/22/16	REVISIONS
33	04/05/16	REVISIONS
34	04/19/16	REVISIONS
35	05/03/16	REVISIONS

DP 14-077534 - Reference #2



NO.	DATE	ISSUE

PROJECT
RIVA
 Residential development
 at 7771 Alsterbridgeway

Yamamoto Architecture Inc.
 2885 St. Charles Street, Suite 207
 Vancouver, BC V6J 4J1 Tel: 604-271-1127 Fax: 604-731-1327

DRAWING TITLE
Cover Sheet
 B4

SCALE
 1:150

DATE
 Feb. 26, 2015

SHEET NO.
A1.4.0

DRAWN
 CHECKED

PROJ. NO.
 1104

AFFORDABLE UNIT		
1BR	2BR	TOTAL
0	0	0
0	0	0
0	0	0
2	0	2
4	0	4
2	0	2
8	15	23

FLOOR AREA		
REDUCTION	BUILD. FLOOR AREA	TOTAL
0	13,978.8 SQFT	13,978.8 SQFT
0	23,817.0 SQFT	23,817.0 SQFT
0	28,985.4 SQFT	28,985.4 SQFT
0	27,732.7 SQFT	27,732.7 SQFT
0	28,487.5 SQFT	28,487.5 SQFT
0	28,021.1 SQFT	28,021.1 SQFT
4,048.1 SQFT	149,206.0 SQFT	153,254.1 SQFT

UNIT MIX (ACCESSIBLE UNITS)		
1BR	2BR	TOTAL
0 (0)	9 (9)	9 (9)
3 (0)	15 (15)	18 (15)
5 (0)	26 (25)	31 (25)
5 (0)	26 (25)	31 (25)
6 (1)	25 (24)	31 (25)
9 (4)	20 (18)	29 (23)
28 (5)	121 (115)	159 (130)

BUILDING 4 - OVERALL		
1BR	2BR	TOTAL
0 (0)	9 (9)	9 (9)
3 (0)	15 (15)	18 (15)
5 (0)	26 (25)	31 (25)
5 (0)	26 (25)	31 (25)
6 (1)	25 (24)	31 (25)
9 (4)	20 (18)	29 (23)
28 (5)	121 (115)	159 (130)

