



To: Development Permit Panel

Date: March 4, 2015

From: Wayne Craig
Director of Development

File: DP 14-658285

Re: Application by Western Gardenia Garden Holdings Ltd. for a Development Permit
at 7571 and 7591 St. Albans Road

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of sixteen (16) three storey townhouse units on a consolidated lot including 7571 and 7591 St. Albans on a site zoned "High Density Townhouse (RTH4)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - a) Reduce the minimum building side yard setback from 4.5 m to 3.9 m at the southeastern corner of the building;
 - b) Increase the maximum bay window projection from 0.6 m to 0.9 m to the south property line adjacent to Jones Road; and
 - c) Allow seven (7) small car parking stalls at the site.


Wayne Craig
Director of Development

WC:dcb

Staff Report

Origin

Western Gardenia Garden Holdings Ltd. has applied to the City of Richmond for permission to develop 16 three storey townhouse units at 7571 and 7591 St. Albans Road on a site zoned “High Density Townhouse (RTH4)”. The site currently contains two single family residential homes.

The site is being consolidated and rezoned from “Single Detached RS1/E)” to “High Density Townhouse (RTH4)” for this project under Bylaw 9189 (RZ 14-658284). The Bylaw received third reading at the Public Hearing on December 22, 2014.

A Servicing Agreement for offsite improvements (e.g. sidewalks, boulevards, lighting, utility installations, etc) along both Jones Road and St. Albans Road frontages is required prior to Building Permit issuance.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

Surrounding Development

Development surrounding the subject site is as follows:

To the North: A two and one half storey townhouse development on a lot zoned “Town Housing (ZT45) – Gilbert Road, Acheson – Bennett Sub-Area, St. Albans Sub-Area, South McLennan (City Centre)”.

To the East: A 23 unit three storey townhouse development on a lot zoned “High Density Townhouses (RTH4)”.

To the South: A four storey apartment building on a lot zoned “Medium Density Low Rise Apartments (RAM1)” located on the south-western corner of Jones Road and St. Albans Road. On the south-eastern corner of Jones Road and St. Albans Road is a 3 storey, 10 unit townhouse complex.

To the West: A four storey apartment building on a lot zoned “Medium Density Low Rise Apartments (RAM1)”. General Currie School and park space are located just to the west at 8191 Jones Road/8220 General Currie Road (approximately 400 m away).

Background

The proposed development site is located at the north-west corner of St. Albans Road and Jones Road in the City Centre area. The consolidated site will be approximately 0.475 acres in size.

The applicant’s proposal is to build a 1,626.36 m² (17,506 ft² net) medium density, ground-oriented, 3 storey townhouse project on the consolidated lot. The development will contain

16 dwellings ranging in size from 97.5 m² (1,054 ft²) to 140.5 m² (1,512 ft²). The units are proposed to be a mix of two, three and four bedroom dwellings. All of the units will have two areas of private outdoor space: at grade and on the proposed elevated podium overtop the parking structure. A 114 m² (1,227.09 ft²) shared outdoor amenity space will be located on the elevated podium. The parking area will have a common gated vehicle entrance, and each unit having its own garage space with individual garage doors inside the parkade.

Ten of the homes will have direct pedestrian access from either St. Albans Road or Jones Road. Six homes will have pedestrian access from an asphalt walkway that will run along the site's western property boundary leading to Jones Road. A single vehicle access will be provided from Jones Road on the south property line.

The grade of the site will be kept close to the existing grade (i.e. approximately two feet below the adjacent public sidewalk) to facilitate the retention of a row of large trees within the St. Albans and Jones Road frontages partially on the lot and partially on City lands.

Related Policies & Studies

Official Community Plan and the St. Albans Sub-Area Plan

The Official Community Plan designates the subject properties as "Neighbourhood Residential" (i.e. areas where the principal uses are single family, two-family and multiple family housing [specifically townhouses]).

The St. Albans Sub-Area of the City Centre, designates the properties for "Multi-Family Low Rise (3 Storey apartments, Townhouses, Two-Family or Single-Family Dwellings)".

The proposed two storey over parking (effectively 3 storey) townhouse development will comply with both the OCP and the St. Albans Sub-Area Plan land use designations.

Rezoning and Public Hearing Results

During the rezoning process, staff identified the following design issues to be resolved at the Development Permit stage:

- Confirmation that the proposed design generally meets the Development Permit guidelines (*the applicant has submitted a complete checklist showing how the guidelines have been addressed – this was submitted to the Advisory Design Panel for review*);
- Ensuring that the landscaping plan addresses all the tree replacement requirements as per the Official Community Plan (*an Arborist's report indicates 21 trees being removed, the landscape plan attached to this application shows 56 new trees to be planted exceeding the OCP's 2:1 replacement criteria*);
- Submission of an acceptable report by a Certified Energy Advisor prior to the formal review by the Development Permit Panel (*a report prepared by DW Energy Advisors has been submitted to the City*);
- Confirmation of the site grading to allow preservation of the retained trees (*The submitted site plan shows grade elevations will be retained in the vicinity of the trees. An Arborist has also been retained and has been working with Parks staff to ensure impacts to the trees to be retained will be minimized*);

- Confirmation of the aging in place and convertible unit elements are incorporated into the Development Permit plans (*aging in place features are shown on the plan sets*); and
- Detailing of all sustainability measures incorporated into the design (*a list of sustainability features proposed is provided later in this report*).

The Public Hearing for the rezoning of this site was held on December 22, 2014. At the Public Hearing, the following concerns about rezoning the property were expressed:

A resident from the south side of St. Albans Road expressed concerns for the anticipated impact upon their views of the mountains, perceived devaluation of their property and effects of construction noise on their personal health.

A resident from an adjacent property to the west raised concerns regarding increases to the existing traffic congestion in the area, obstruction of the skyline and mountain views and infringement on the privacy of adjacent property owners.

Zoning Compliance/Variances (staff comments in **bold**)

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the “High Density Townhouse (RTH4)” zone except for the zoning variances noted below.

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

1. Reduce the minimum building side yard setback from 4.5 m to 3.9 m at the southeastern corner of the building.

At the southeastern corner of the site the building will be closer to the property line after the required road dedication of a 4 by 4 corner cut adjacent to the St. Albans Road and Jones Road intersection. Staff support the variance as it is a function of the road dedication and will not result in an obstruction to visibility for motorists.

2. Increase the maximum bay window projection from 0.6 m to 0.9 m at the southern side of the building adjacent to Jones Road.

Staff support the proposed variance as it will apply only to the upper floor bay windows for 3 units (14D, 15B6 and 16E). The proposed building will be located parallel to St. Albans Road but Jones Road tapers slightly northward as it moves away from the St. Albans Road intersection resulting in the variance. The variance does not impact any pedestrian circulation and provides for additional building articulation along the Jones Road frontage.

3. Vary the Zoning Bylaw, to allow 7 small car parking stalls at the site.

Staff support the proposed variance as two of these stalls are considered surplus stalls as the proponent is providing more stalls than required by the Bylaw. Overall, this project will provide 29 parking stalls. The variance is required because the 16 unit development will require less than 31 total vehicle stalls. The Zoning Bylaw allows up to 50% small car stalls if 31 or more stalls are provided. The seven small car stalls proposed represent less than 25% of the overall total number of stalls.

Urban Design Response

Advisory Design Panel Comments

The Advisory Design Panel was supportive of the proposed project. A copy of the relevant excerpt from the Advisory Design Panel Minutes from December 18, 2014 is attached for reference (Attachment 2). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '***bold italics***'. The applicant has addressed these suggestions to the extent recommended by staff.

Conditions of Adjacency

- Both the form and massing of the proposed development are consistent with the existing surrounding development which is comprised of three and four storey townhouses and apartments.
- Vegetation planting strips are proposed to incorporate a variety of shrubs species along most of the site's perimeter creating a soft edge to the project.
- Six foot high cedar fencing is proposed along both the western and northern property boundaries providing a degree of privacy for adjacent properties and the future owners of this development.
- A total of 7 significant trees are proposed to be protected and retained on this site. Four of these are very large trees located prominently along the south eastern edge of the site. These trees are a significant component of the neighbourhood and their retention is considered an important amenity contribution to the area.
- Dwelling units fronting onto Jones Road or St. Albans have sidewalks leading directly to the street contributing to a more pedestrian friendly streetscapes.
- As the project is located within the City Centre, the standard requirement is typically for a 2.0 m wide public sidewalk and a 1.5 m wide grass and treed boulevard along all road frontages. The public frontage sidewalk will be allowed to meander to minimize impacts upon the trees being preserved. The exact details will be determined through the Servicing Agreement submission at Building Permit stage. Similar meandering is evident across the street along the east side of St. Albans along the frontage of 8399 Jones Road. The grass and tree boulevard in front of the subject site will be adjusted as needed to accommodate the changes in the sidewalk alignment.

Site and Functional Planning

- The vehicle access to the site has been placed as far west as practical to ensure proper clearance from the Jones Road / St. Albans intersection.
- Visitor parking is located adjacent to the entrance to the site and easily located. This parking area also includes one handicapped parking space.
- Individual unit parking garages are all secured with individual garage doors.
- Garbage and recycling areas have been designed to be fully accessible with double doors for easy entry.
- A 1.2 m wide common walkway is proposed along the west side of the complex to provide access to all the units along the western side of the building and also leads to one of the two stair accesses to the upper podium level.

- The podium level provides "at grade" access to the common open space and play areas from the second level all the units. The Advisory Design Panel felt that the use of the upper podium space will serve the residents very well and makes particularly good use of the limited space on the site as a whole. Being raised above the ground level there will be less shading and more natural light for the residents using this area.

Architectural Form and Character

- Viewed from the eastern side, the proposed building mass will give the appearance of three buildings with space separations apparent for the second and third floors above the podium level.
- The building massing is articulated by variations in the roof design, the use of gable ends and shed roofing over projected areas. Window and box projections are also employed along the building sides breaking up what would otherwise be large vertical planes.
- At grade, stone veneer finishes, vertical board and batten and solid core doors with glazing elements are proposed. The upper two storey elevations are proposed to include hardie plank siding, board and batten, "Nichiha" architectural block, wood trims and wood fascia. Paint colors include Boothbay Blue, Serape, Smoky Blue for main elements and Natural Tan colors for trims and fascia boards and "Gale Force" gray colors for the vinyl windows. Asphalt shingles are proposed to be a pewter gray color. Extensive glazing is proposed for both the second and third floors. The net result is clear horizontal definition between floors and a distinctive frontage appearance that should fit well with the neighbouring developments.

Landscaping Form and Character

- This project's design is very much oriented to retention of the significant trees along the Jones Road / St. Albans frontage. These trees will continue to lend a presence for both this project and the community as a whole. An arborist has been retained to ensure that both the on-site and off-site works in the vicinity of the trees will not be detrimental to the survival of these trees.
- The proposed landscape design achieves the required City Centre Area Plan's requirement for an additional 10% landscape area providing a total of 196 m² (2,110 ft²) of outdoor landscape area in addition to the standard of 6.0 m² (64.59 ft²) per unit landscape area requirements. The total proposed outdoor space area with this design is 310 m² (3336.8 ft²).
- Per the Arborist's report (Michael Mills Consulting, dated October 8, 2014) fourteen of the site's 21 trees will be removed. The seven retained trees are large trees in good condition. A total of 56 new trees will be added to the site more than meeting the two for one replacement requirement of the Official Community Plan. Replacement trees will consist of a five varieties of maple trees and a Japanese Stewartia species.
- Significant shrub and ground cover plantings are proposed for the combined at grade and upper podium planting areas. The majority of the 24 species proposed for inclusion are bushy plants and many are flowering varieties.
- Permeable pavers, gravel, Turfpavers and raised wooden boardwalks are used in various locations allowing natural infiltration in areas which might otherwise contain impervious materials. The boardwalks are proposed in areas which might otherwise negatively impact the tree roots of the retained existing trees rather than concrete or asphalt surfaces.

- A 1.8 m (6 ft) foot high cedar fencing is proposed along both the western and northern property boundaries providing a degree of privacy for adjacent properties and the future owners of this development. Fencing materials are proposed to consist of 4x4 posts, 2 x 4 and 1 x 4 horizontal elements.
- An existing swale that runs between the proposed units and the frontage sidewalk from unit 11 to unit 15 is proposed to be enhanced with native and naturalized planting.
- On the upper amenity level the green space includes a bermed planting area for trees, open lawn areas and a children's play area.
- The children's play area is proposed to contain a .9 m (3 ft) wide concrete circular path, resilient play surfaces, a concrete climbing wall with a green-screen arbour and a concrete seating wall for care givers.
- Screens are proposed between unit patios to allow privacy while the bermed planting will be strategically located to give privacy across the courtyard.
- Cedar arbors are located at each unit's entry pathway and at the entrance to the common pathway at the western side of the project.
- In response to the Advisory Design Panel's comments, two feature trees are proposed to be located in flanking positions adjacent to the vehicle entry and the main pedestrian entry off St. Albans Road.
- A landscape security in the amount of \$198,490.26 has been included in the Development Permit Considerations required to be submitted prior to Council review of the application.

Parking, Loading and Waste Collection

- Twenty nine (29) parking stalls are proposed including 18 standard residential parking stalls, 7 small residential stalls and 4 visitor stalls. One of the four outside visitor parking stalls also serves as a handicapped stall.
- Only four stalls (in two units) are in a tandem configuration with all the remaining stalls being either side by side or single car stalls.
- All the interior garages have individual garage doors for security and privacy.
- The project will also provide the required number of Class 1 (20 inside) and Class 2 (4 outside) bicycle stalls. An outdoor bicycle rack is located near the driveway entrance to the project.
- Garbage and food scraps containers are located in an open roof enclosure just to the west of the vehicle entrance. Landscaping and a feature tree will provide screening of the enclosure. A recycling centre is built into the south-west corner of the building. Double doors will allow full access to the facility.
- Registration of a covenant to ensure that the building's main vehicle gate is kept open during the day time to allow the service vehicle to partially enter the parkade to turn around is a requirement of the Development Permit issuance.

Crime Prevention through Environmental Design (CPTED)

- A lighting design will be provided for the project (as indicated in the plan submission) that will provide lighting to common area such as the western pedestrian pathway, each of the entry gates, the open space on top of the podium, the mail box facility and to the two stairways leading to the podium.
- All entrances are visible and overlooked by pedestrians or by neighbour's windows.

- The mail room is located just inside the eastern stairway leading to the upper podium.
- A security gate will prevent access to the parkade area at night time.
- Gates are provided for each unit's entry pathway and to the common pathway along the western side of the site to differentiate the private/semi private space from the public walkways along the street frontages.
- Stairs to the upper podium are gated to the public.
- Each unit's garage is equipped with its own garage door providing security and privacy. The Rezoning Considerations included a covenant to prohibit garages from being converted into habitable space.

Accessible Housing

- The proposed development includes one convertible unit designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of these units will require installation of a stair mounted wheelchair lift mechanism on each floor. Backing for these mechanisms will be installed during construction.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
 - stairwell hand rails;
 - entry doors minimum 855 clear opening
 - hallways minimum 900 mm width
 - one window that can be opened with a single hand in the living room and in one bedroom
 - lever-type handles for plumbing fixtures and door handles; and
 - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Servicing Agreements/Engineering

A Servicing Agreement application has not yet been submitted for this project but will be required prior to Building Permit issuance in order for the proposed project to be adequately serviced. The off-site improvements identified through the Rezoning application include a new water service connection, upgrading of the existing storm sewer, replacement of existing inspection chambers, service connections and lawn basins, sidewalk and treed boulevard installations along both St. Albans Road and Jones Road. The exact specifications and alignment will be determined through the forth coming Servicing Agreement.

Sustainability

The applicant has submitted a full Hot 2000 report prepared by DW Energy Advisors (report dated September 24, 2014) which indicates that the project design will achieve the EnerGuide 82 rating and the Architect has advised that all the units will be pre-ducted for solar hot water heating.

In addition to the EnerGuide 82 response, the proponent has identified a number of elements they proposed to incorporate into the development to improve the overall sustainability of the project including:

- construction of a landscaped roof and open space over portions of the parkade;

- preservation of on-site mature trees (the building design and Flood Construction Level [FCL] have been adjusted to preserve these trees);
- low V.O.C. paints on interior spaces;
- use of durable, low maintenance surfaces on building exteriors;
- locating buildings and windows to maximize natural light and ventilation;
- use of permeable surfaces wherever possible (e.g., interlocking grass pave at the visitor parking area);
- the buildings are located and windows placed to maximize natural light and ventilation;
- incorporating "energy star" appliances and light bulbs in each unit; and
- use of drought tolerant and native plants plus high efficiency climate-based irrigation systems are proposed within the site's landscaping.

Conclusions

The proposed 16 unit townhouse project for the north-western corner of St. Albans and Jones Road has been well thought out, well designed and should be an attractive complement to the surround developments. The project has place considerable emphasis on the preservation of existing mature trees and commitments have been made to ensure the highest possibility of their survival. Staff recommend approval of the application by Western Gardenia Garden Holdings Ltd. for the proposed Gardenia Gardens project at 7571 / 7591 St. Albans Road.



David Brownlee
Planner 2

DCB:cas

The following are to be met prior to forwarding this application to Council for approval:

- Final adoption of the Zoning Amendment Bylaw No. 9189.
- Registration of a legal agreement on title requiring the main parkade gate to remain open or unlocked during daytime (7:00 am to 7:00 pm) hours to allow service vehicle to turn around in the complex; and
- Receipt of a Letter-of-Credit for landscaping in the amount of \$198,490.26.
- Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities, including building demolition, occurring on-site.
- Registration of a legal agreement on title ensuring that car stalls in a tandem arrangement are assigned to the same dwelling unit.

Prior to future Building Permit issuance, the developer is required to complete the following:

- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Division at 604-276-4285.*
- Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Division (<http://www.richmond.ca/services/ttp/special.htm>).
- If applicable, payment of latecomer agreement charges associated with eligible latecomer works.



DP 14-658285

Attachment 1

Address: 7571 and 7591 St. Albans Road

Applicant: Western Gardenia Garden Holdings Ltd. Owner: Western Gardenia Garden Holdings Ltd.

Planning Area(s): City Centre – St. Albans Sub Area Plan 2.10 A

Floor Area Gross: 1,818.67 m² (19,576 ft²) gross Floor Area Net: 1,609.08 m² (17,320 ft²) net

	Existing	Proposed
Site Area:	1,930 m ² (20,774 ft ²)	1,922 m ² (20,687 ft ²) after corner cut dedication
Land Uses:	Single-Family Residential	Multi-Family Residential
OCP Designation:	Neighbourhood Residential	No Change
Area Plan Designation:	Multi-Family Low Rise (3 Storey apts., Townhouses, Two-Family or Single- Family Dwellings)	No Change
Zoning:	Single Detached (RS1/E)	High Density Townhouses (RTH4)
Number of Units:	2	16
Other Designations: FCL	2.9m GSC – or 0.3 m above crown of adjacent road per Area A	Same. Proposed 1.59 m GSC.

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.90 with contribution to affordable housing reserve	0.84 with contribution to affordable housing reserve	none permitted
Lot Coverage: Buildings	Max. 45%	44.2%	None
Lot Coverage – Non-Porous Surface	Max. 70%	68%	None
Lot Coverage – Landscaping live plant material	Min. 20%	22%	None
Setback – Front Yard (m): St. Albans Road	Min. 4.5 m Max. 1.0 m projection of bay window	3.9 m Min. to SE building corner. Rest of the building will be 4.5 m; 3.6 to the bay window	Variance for SE building corner to 3.9 m due to corner cut (RTH4)
Setback – Exterior Side, Road setback : Jones Road (m):	Min. 4.5 m Max. 0.6 m bay window projection	Min. 4.5 m to building 3.66 m to bay window. Max. 0.9 m to bay window	Variance for bay window projection (0.28 m)

	Bylaw Requirement	Proposed	Variance
Setback – Interior Side Yard (m):	Min. 2.0 m Max. 0.6 m bay window projection	2.0 m to building 1.45 m to bay window	None
Setback – Rear Yard (m):	Min. 2.0 m Max. 0.6 m bay window projection	Min. 5.5 m to building Min. 4.59 m to bay window	None
Height (m):	12.0 m (3 storeys)	11.03 m (3 storeys)	None
Lot Size (min. dimensions):	Min 20 m wide x 30m deep Min. Area 600 m ²	40.12 m wide by 48.46m deep Area 1,922 m ² (Net)	None
Off-street Parking Spaces – Regular (R) / Visitor (V):	1.4 (23 R) and 0.2 (4 V) per unit	1.625 (25 R) and 0.2 (4 V) per unit	None
Off-street Parking Spaces – Total:	27	29	None
Off-street Parking Spaces - Accessible	1	1	None
Tandem Parking Spaces:	Permitted	4 (2 units)	None
Small Car Parking Spaces	0	7	Variance to Sec 7.5.13
Onsite Bicycle Parking Facilities – Class 1	Class 1 (indoor) 1.25 per unit = 20 stalls	Class 1 (indoor) 1.25 per unit = 20 stalls (6 vertical & 14 horizontal stalls)	None
Onsite Bicycle Parking Facilities – Class 2	Class 1 (outdoor) 0.2 per unit = 4 stalls	Class 1 (outdoor) 0.2 per unit = 4 stalls	None
Amenity Space – Indoor:	50 m ²	\$16,000 Cash-in-lieu	None
Amenity Space – Outdoor:	6.0 m ² per unit	7.875 m ² per unit = 126 m ²	None
CCAP 10% Additional Landscaping Requirement	192 m ²	196 m ²	None

Other: Tree replacement compensation required for loss of significant trees.

Excerpt from the Minutes from
The Design Panel Meeting

Wednesday, December 18, 2014 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall

CARRIED

1. DP 14-658285 - 16 THREE-STOREY TOWNHOUSES

APPLICANT: Western Gardenia Garden Holdings

Ltd. PROPERTY LOCATION: 7571 and 7591 St. Albans

Road **Applicant's Presentation**

Architect Wayne Fougere, Fougere Architecture Inc., and Landscape Architect Daryl Tyacke, ETA Landscape Architecture Inc., presented the project and answered queries from the Panel on behalf of the applicant.

Panel Discussion

Comments from the Panel were as follows:

- like the project; applicant used a different approach for the type of site where the subject development is located; lifting the plane one level up is beneficial to residents, e.g. more daylight exposure and privacy of outdoor amenity area;
No Comment
- appreciate the proposed materials and contemporary approach to the architecture; however, the three garbage and recycling elements on the ground floor are spread out; consider integrating these elements to enhance the appearance of the entry to the proposed development;
Please refer to attached letter from property Management Company that confirms separating garbage and recycling causes no problem for the residents and operators who are handling the pick-up.
- Good project; applicant gave attention to details to ensure that the proposed development fits well into the neighbourhood;
No Comment
- appreciate the quality of glazing; however, consider introducing opaque elements into the bay window to minimize the energy impact to the proposed development;
Based on the proposed window design, we will achieve Energuide 82.

- like the design of the convertible unit; appreciate the pocket door in the ensuite bathroom on the upper floor; also consider a pocket door for the powder room on the main floor in lieu of a swinging door;
There are not enough side walls for switching to a pocket door in the powder.
- consider enlarging the transfer areas for the chair lift;
The circulation of the stair lift has been revised.
- consider a future location for a vertical lift in the convertible unit; look at the parking space on the ground floor adjacent to the living area as a potential location;
There is not enough space in the garage to provide a vertical lift.
- consider locating the laundry on the same floor as one of the bedrooms; also consider introducing a PVC pipe to facilitate the transport of things from the upper floor to other floors/areas in the convertible unit;
We explored various options but in the end prefer laundry on the main floor. Please see attached plan# 15.
- a successful project from a landscape perspective;
No Comment
- garbage and recycling elements at the entry point on grade need further design development; could be shifted and clustered together; also consider bigger and taller plant materials to soften the frontage and provide more screening;
Please refer to attached letter from property Management Company that confirms separating garbage and recycling causes no problem for the residents and operators who are handling the pick-up. We explored various options and the proposed approved by Recycling and Garbage staff. Feature trees added at the entry. Please see attached plan#3b.
- introduction of TurfPave is an innovative approach for the grassed area on the podium; however, minimize its use and introduce pavers and/or stepping stones so that residents can avoid walking on wet ground during rainy days; also consider a regular lawn in lieu of TurfPave in some areas;
Because the area is so small, the potential for excessive wear and tear on the turf seemed great. As a means of minimizing damage to it, the decision was made to use TurfPave throughout. Maintenance will be easier with reduced compaction requiring aerating. Paving stones have been added across the amenity garden connecting the two staircases

- appreciate the planting islands on the courtyard which provide screening for townhouse units from other units directly across; consider introducing green screen for exposed units;

No Comment

- appreciate the form and landscaping of the proposed development; like the materiality and finishes; appreciate the different approach for the outdoor amenity space; applicant was able to fit in a lot in a tight site; however, ensure adequate lighting at the narrow stairs to address potential CPTED concerns;

The distance between two buildings is 6' and the stairs end up to open area at each end with adequate light and they will be gated to the public and used by the residence only.

- the project is well-designed and efficient;

No Comment

- consider further design development to garbage and recycling;

We explored various options and the proposed approved by Recycling and Garbage staff.

- ensure adequate lighting at the internal drive aisle; explore innovative ways to introduce natural lighting;

In our opinion the addition of daylighting into the drive aisle, other than that already afforded by the open ends, will be ineffectual. The level of lighting required in these spaces even during the day will far exceed that provided by light tubes, for example. The small amount of natural light entering the parkade will not be noticed above the ambient artificial light. The only way to make an impact would be to open large areas of the parkade roof- minimizing an already tight amenity space above.

- applicant is encouraged to introduce public art in the proposed development; public art pieces could be integrated at the outdoor amenity space on podium level;

The client is going to cash-in-Lieu.

- appreciate the raised podium; provides parking and adequate outdoor amenity space in a tight site; a good precedent for future projects on a similar site;

No Comment

- appreciate the forms, roofs and cross sections; however, the architecture appears plain and confused as it is a mix of heritage and modern architecture; consider a more unique and modern architecture to make it more exciting;

Exterior design blends traditional and modern elements so as to provide interest while maintaining local flavor.

- applicant should pay more attention to the entry sequence on grade; look at opportunities to reorganize; agree with comment to explore the possibility of planting bigger and taller trees at the frontage and utilizing structural soil cells; should consider a specimen tree to pay homage to the fir tree to be removed;
Feature trees added at the site entry.
- look at synergy and efficiency of garbage and recycling lay-outs; and
Please refer to attached letter from property Management Company that confirms separating garbage and recycling causes no problem for the residents and operators who are handling the pick-up.
- good approach for a tricky site; applicant needs to address potential CPTED issues, e.g. lighting at the internal drive aisle and security for vehicle entrance gate.
At the BP stage, electrical engineer will design lighting that provides a well illuminate drive aisle.

Panel Decision

It was moved and seconded

That DP 14-658285 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Panel.

CARRIED



No. DP 14-658285

To the Holder: Western Gardenia Garden Holdings Ltd.

Property Address: 7571 and 7591 St. Albans Road

Address: 202 – 2425 Quebec Street
Vancouver, BC V5T 4L6

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a. Reduce the minimum building side yard setback from 4.5 m to 3.9 m at the southeastern corner of the building;
 - b. Increase the maximum bay window projection from 0.6 m to 0.9 m at the southern side of the building adjacent to Jones Road; and
 - c. Vary the Zoning Bylaw, to allow seven (7) small car parking stalls at the site.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #28 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$198,490.26 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

To the Holder: Western Gardenia Garden Holdings Ltd.

Property Address: 7571 and 7591 St. Albans Road

Address: 202 – 2425 Quebec Street
Vancouver, BC V5T 4L6

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

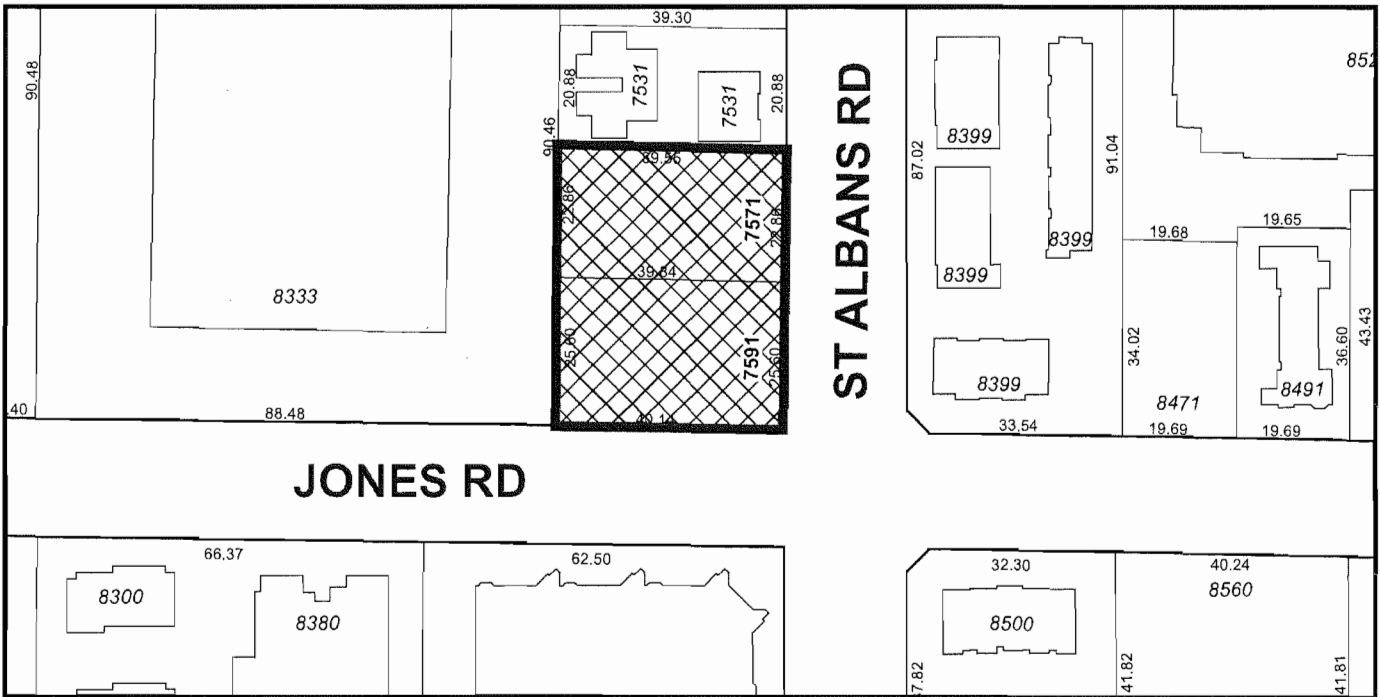
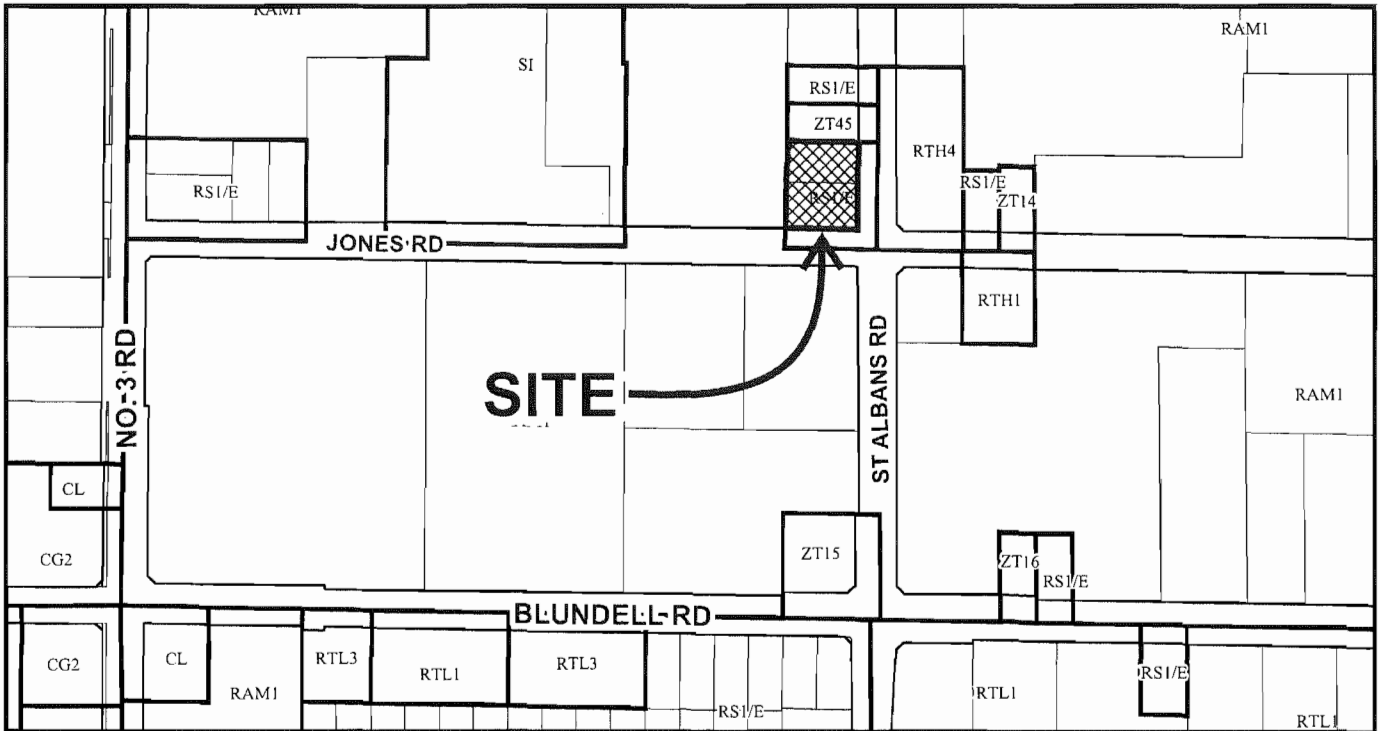
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond



	<h2>DP 14-658285 SCHEDULE "A"</h2>	<p>Original Date: 03/21/14 Revision Date: 02/06/15 Note: Dimensions are in METRES</p>
--	--	---



Development Statistic

Gross Site Area	1,930 sm (20,774 sf)
Dedication Site Area	8 sm (87 sf)
Net Site Area	1,922 sm (20,687 sf)
Zoning	R1H4
Proposed Net Floor Area	1609.08 sm (17,320 sf)
Proposed FAR	0.837
No. of Units	16
Density (UPA)	33.7
Required Lot Coverage	45%
Proposed Lot Coverage	44.2%
Required Building Height	12.00 m
Proposed Building Height	11.03 m
Required Setback:	
Front Yard (St. Albans Road)	4.50m
Exterior side yard, Road (Jones Road)	4.50m
Interior/Rear yard	2.00m
Corner cut of St. Albans & Jones Road	4.50m
Proposed Setback:	
Front Yard (St. Albans Road)	4.50m
Max. 1.0 m projection of bay window	3.58m
Exterior side yard, Road (Jones Road)	4.54m
Max. 0.6 m projection of bay window	Variance 3.624m
Interior/Rear yard	2.00m
Corner cut of St. Albans & Jones Road	Variance 3.90m
Parking requirement:	
Residential 1.4 cars/unit (City Center Parking)	23
Visitor 0.2 cars/unit	4
Total Required	27
Handicap Stall	1
Parking Provided:	Standard Stall 18
	Small Stall Variance 7
Visitor Provided	4
Total Provided	29
On-site Bicycle Parking Requirements:	
Class 1: 1.25 stalls/unit	20
Class 2: 0.2 stalls/unit	4
Total Class 1 Stalls Provided	20
Total Class 2 Stalls Provided	4

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GARDENIA GARDENS

7571-7591 St Albans Rd

DP 14-658285
JANUARY 23, 2015



CONTEXT PLAN

SCALE 1" = 40'-0"

MAR 25 2015

14-658285

DP

Reference

ZONING ANALYSIS

RTH4 Zoning District	Zoning Requirement	Our Design
8.8.1 Purpose	High Density town housing (City Center)	complies
8.8.2 Permitted uses	Housing, Town	complies
8.8.4.2. d) Permitted Density	0.90 FAR	complies
8.8.5. Lot Coverage	45% maximum	complies
1. buildings	70% maximum	complies
2. non-porous	20% minimum	complies
3. live plants	4.5 m	complies
8.8.6. Yards & Setbacks		
1. front yards, exterior side yard or road setback	4.5 m	variance required (3.9 m)
corner of St Albans & Jones Road	2.0 m	complies
2. interior side yard and rear yard	1.2 m	complies
3. lane setback	12.0 m(3 storeys)	complies
8.8.7. Permitted Height		
8.8.8. Minimum Lot Size	20.0 m	complies
1.a. minimum lot width	30.0 m	complies
2. minimum lot depth	600 sm	complies
3.a. minimum lot size		
8.8.10 On-Site Parking and Loading		
7.7.2.1 residential visitors	23 stalls (1.4 cars/unit)	complies
7.5.13 small car	4 stalls (0.2 cars/unit)	complies
7.5.14 handicap	no small car	variance required (7 small cars)
7.14.10 On-site Bicycle	1 stall (2% of stalls)	complies
Class 1 vertical	1.25 spaces/unit	complies
Class 2	33% of required	complies
0.2 spaces/unit		complies
8.7.11 Other Regulations		
4.4.1. density calculation exclusion		
a. 10% of floor area for covered area	complies	
b. maximum of 50 sm for garage	complies	
c. exclusion of 10 sm of stairs & entry	complies	
4.9.4. bay window projection		
front yard	1.0 m maximum	complies
side or rear yard	0.6 m maximum	variance required
4.9.5. entry stairs projection		
front lot line	no closer than 3.0 m	complies
side or rear lot line	no closer than 1.5 m	complies
4.9.6. balconies & porches projection		
front, exterior side & rear yard	1.5 m maximum	complies
4.9.7. gateways, pergola and similar landscape structure		
4.1.2.3. cantilevered roofs, eaves & gutters into the yard	2.0 m maximum to a lot line	complies
4.16. accessible unit	1.2 m maximum	complies

FLOOR AREA CALCULATION

Unit Count	Unit Type	Current Address Proposed Address			7571 - 7591 St. Albans Road 8383 Jones Road			Current Zoning Proposed Zoning		RS/E RTH4		Gross Site Area: 20,774 sf (1,930 sm) Net Site Area: 20,687 sf (1,922 sm)	
		Ground Floor Area	Main Gross Floor Area	Upper Gross Floor Area	Unit Gross Floor Area	Total Gross Floor Area	Ground Floor Stair Exemption	Main Floor Staircase Exemption	Upper Floor Staircase Exemption	Unit Net Floor Area	Total Net Area		
1	A1 (3 bedroom)	105	554	603	1,262	sf	66	42	27	1,127	sf	1,127	sf
2	A2 (4 bedroom)	273	554	603	1,430	sf	78	30	27	1,295	sf	2,590	sf
2	B1 (2 bedroom)	91	464	506	1,061	sf	65	43	35	918	sf	1,836	sf
2	B2 (2 bedroom)	182	469	512	1,163	sf	65	43	35	1,020	sf	2,040	sf
2	B3 (3 bedroom)	334	469	512	1,315	sf	65	43	35	1,172	sf	2,344	sf
2	B4 (2 bedroom)	137	464	506	1,107	sf	65	43	35	964	sf	1,928	sf
1	B5 (3 bedroom)	298	469	512	1,279	sf	65	43	35	1,136	sf	1,136	sf
1	B6 (2 bedroom)	79	464	506	1,049	sf	63	43	35	908	sf	908	sf
1	C (3 bedroom)	332	565	615	1,512	sf	72	36	31	1,373	sf	1,373	sf
1	D (2 bedroom)	87	467	500	1,054	sf	55	53	33	913	sf	913	sf
1	E (3 bedroom)	104	565	599	1,268	sf	66	42	35	1,125	sf	1,125	sf
16					19,576	sf						17,320	sf

Maximum FAR	0.900
Proposed FAR	0.837

UNIT DENSITY

Unit Count	Unit Type	Accessory Area	Total Accessory Area
1	A1	383	383
2	A2	350	700
2	B1	417	834
2	B2	199	398
2	B3	363	726
2	B4	246	492
1	B5	333	333
1	B6	212	212
1	C	321	321
1	D	203	203
1	E	217	217
1	Elec / Mech	142	142
1	Garbage / Recycling	80	80
			5,041

Site Area	20,687 sf (0.475 Acres)	Maximum Accessory Area	417 sf
Proposed Density	33.7 upa	Proposed Average Accessory Area	314 sf

Required Outdoor Amenity Space (6 sm/unit)	96 sm
Required Additional Landscaped Outdoor (10% of net site area)	192 sm
Required Open Space	96+192=288 sm
Proposed Open Space	114+196=310 sm

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GARDENIA GARDENS

7571-7591 St Albans Rd

DP 14-658285
JANUARY 23, 2015



SITE DATA

Plan #1

MAR 25 2015

14-658285



All units will be designed to meet EnerGuide 82 and be pre-ducted for solar hot water.

Unit Type	Ground Level		Main Level		Total Private Open Space
	Private Open Space	Open Space	Private Open Space	Open Space	
1A1	17.3	15.4	15.4	32.7	sm
2B1	17.9	13.3	13.3	31.2	sm
3B2	17.2	13.5	13.5	30.7	sm
4B3	16.7	13.5	13.5	30.2	sm
5B4	11.6	12.0	12.0	23.6	sm
6A2	16.9	13.9	13.9	30.8	sm
7A2	18.9	13.9	13.9	32.8	sm
8B4	18.0	12.0	12.0	30.0	sm
9B3	16.5	13.5	13.5	30.0	sm
10B2	16.5	13.5	13.5	30.0	sm
11B1	18.0	13.3	13.3	31.3	sm
12B5	28.6	13.5	13.5	42.1	sm
13C	67.3	17.1	17.1	84.4	sm
14D	19.2	18.1	18.1	37.3	sm
15B6	20.1	10.0	10.0	30.1	sm
16E	15.7	26.3	26.3	42.0	sm

PROVISION OF ACCESSIBILITY FEATURES

"AGING-IN-PLACE" REQUIREMENTS ON ALL UNITS:

- Entry doors minimum 855 mm clear opening (3'-0" swinging door spec.)
- Hallways minimum 900 mm width
- Door from garage to living area minimum 2'-10" (swingng door spec.)
- Blocking to bathrooms for installation of grab-bars (toilet, tub and shower)
- Provision of lever door handles
- One window that can be opened with a single hand in the living room
- One window that can be opened with a single hand in one bedroom

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GARDENIA GARDENS
7571-7591 St Albans Rd

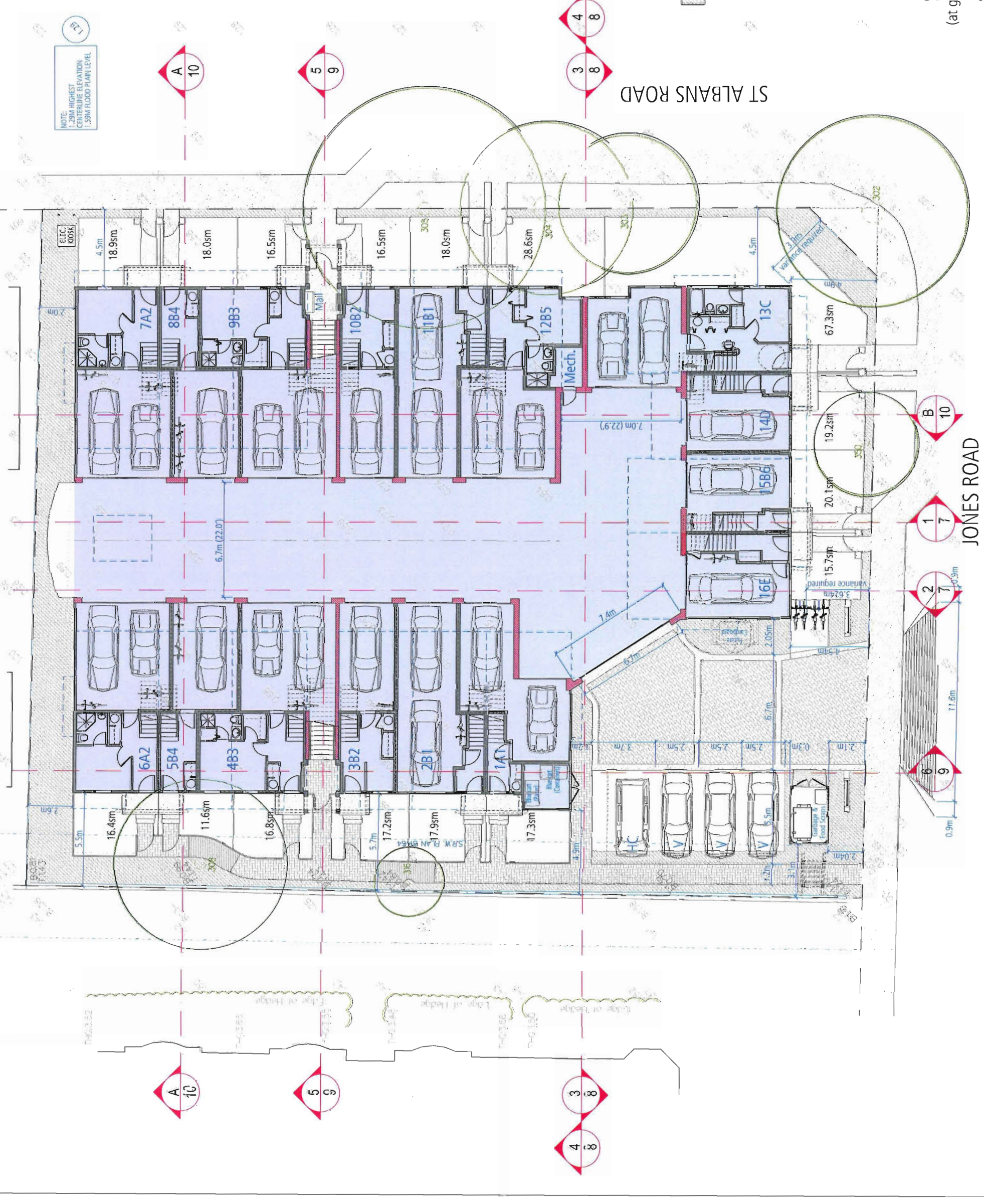
DP 14-658285
JANUARY 23, 2015

FOUGERE architecture inc.
PRITCHEP CHILDERN - ALBERTA - BRITISH COLUMBIA
202 - 3425 Quebec Street
Vancouver BC V6T 4J6
fougerearchitecture.ca
604.873.2807

SITE PLAN
(at ground floor - entry level)

SCALE 1/8" = 1'-0"

Plan #2



NOTE:
1.25M HIGHEST CENTERLINE ELEVATION
1.59M FLOOD PLAIN LEVEL

CCAP 10% Additional Landscape (196 sm)



92.1

A 10

5 9

3 8

4 8

B 10

1 7

2 7

6 9

JONES ROAD

ST ALBANS ROAD

11.6m

0.9m

11.6m

0.9m

11.6m

0.9m

11.6m

0.9m

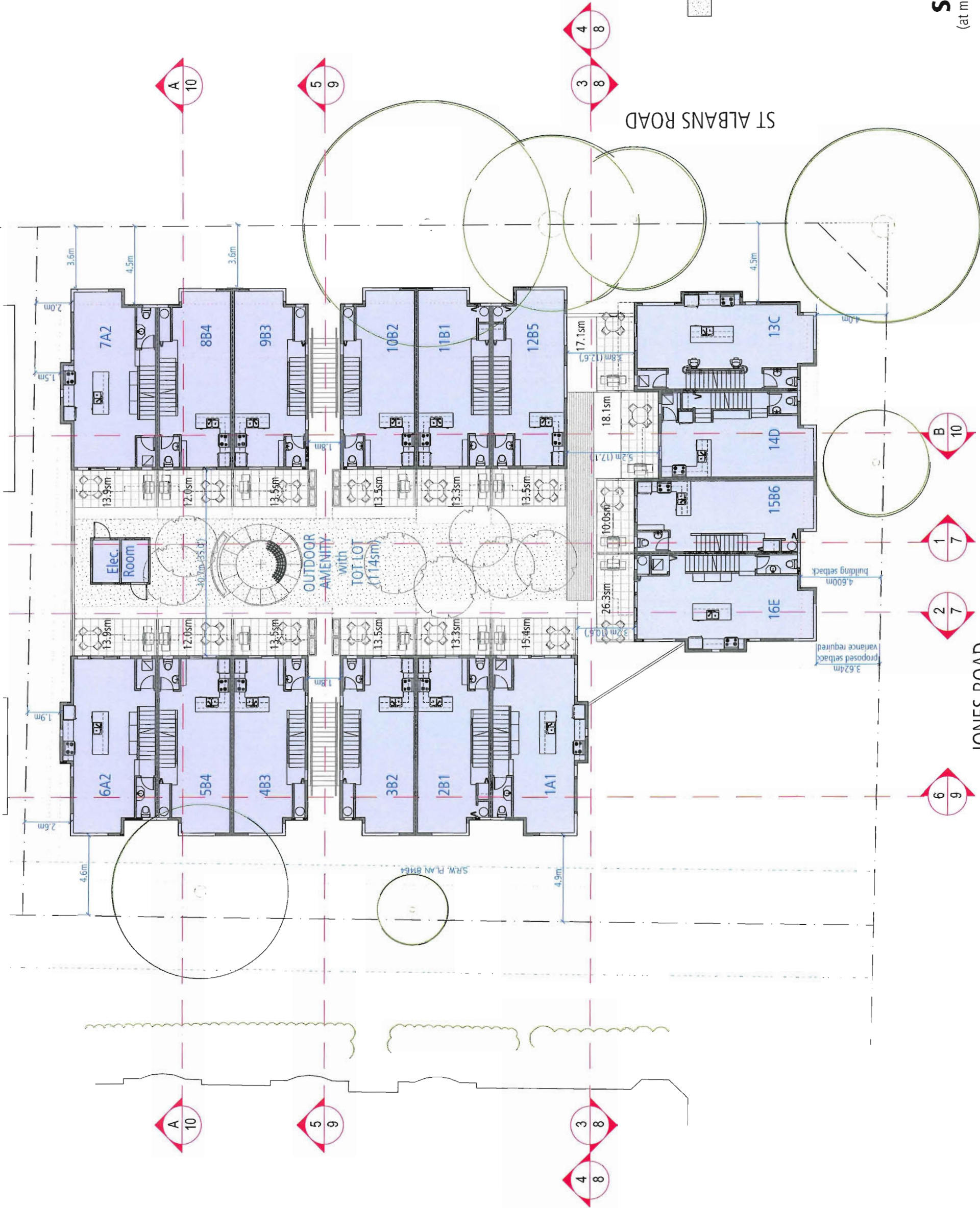
11.6m

0.9m

11.6m

0.9m

All units will be designed to meet EnerGuide 82 and be pre-ducted for solar hot water.



PROVISION OF ACCESSIBILITY FEATURES ON ALL UNITS:

- Entry doors minimum 855 mm clear opening (3'-0" swinging door spec)
- Hallways minimum 900 mm width
- Door from garage to living area minimum 2'-10" (swinging door spec)
- Reclining to bathrooms for installation of grab-bars (toilet, tub and shower)
- Provision of lever door handles
- One window that can be opened with a single hand in the living room
- One window that can be opened with a single hand in one bedroom

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Outdoor Amenity Area (114 sm)

GARDENIA GARDENS
7571-7591 St Albans Rd

DP 14-658285
JANUARY 23, 2015

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BRITISH COLUMBIA • ALBERTA • VIA RINGSTON
202-2425 Quebec Street 604.873.2907
Vancouver, BC V5T 4L6 fougerearchitecture.ca

SITE PLAN
(at main floor - deck level)

SCALE 1/8" = 1'-0"

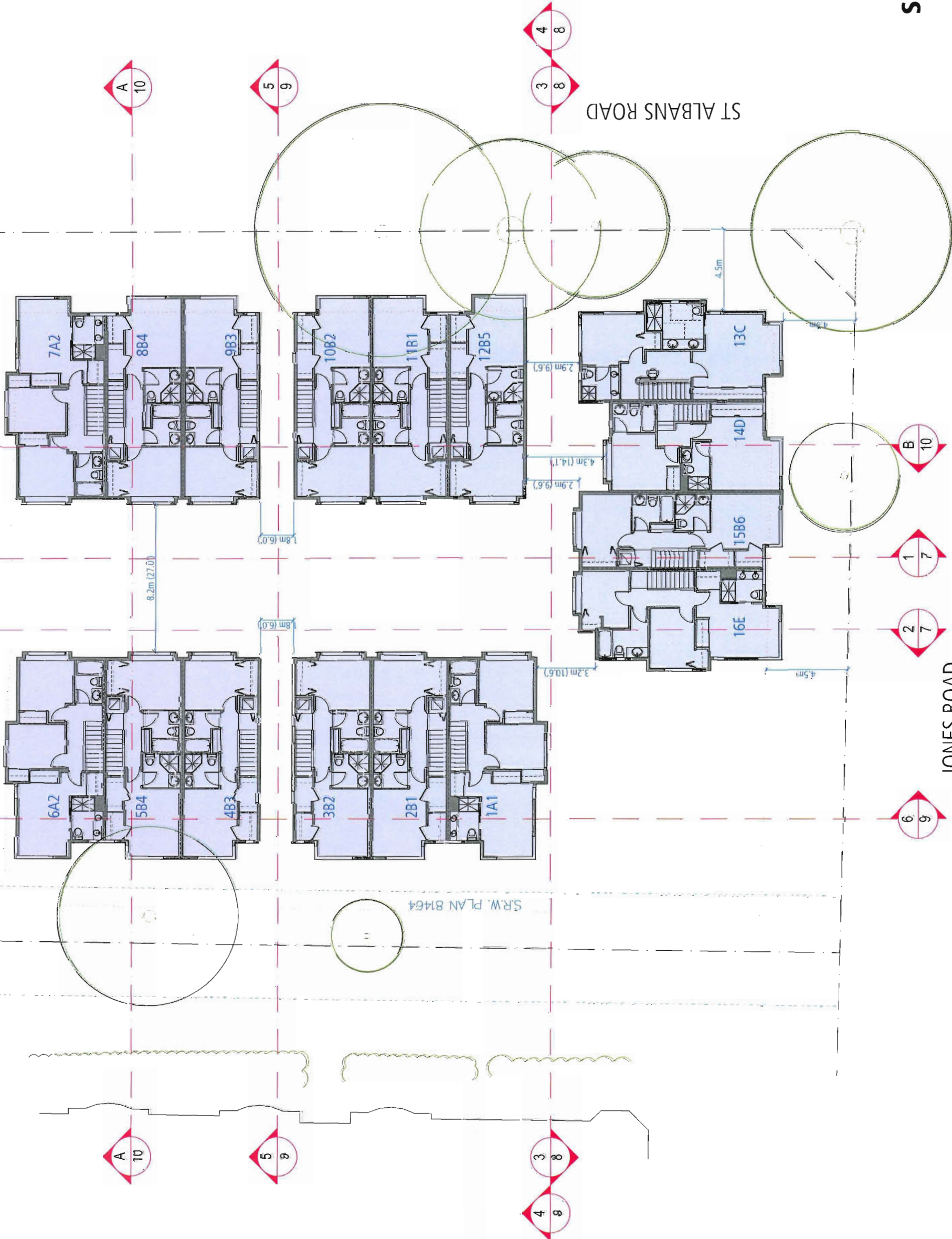
1b

Plan #3

DP 14-658285

MAR 25 2015

All units will be designed to meet EnerGuide 82 and be pre-ducted for solar hot water.



S.R.W. PLAN 81464

PROVISION OF ACCESSIBILITY FEATURES ON ALL UNITS:

- Entry doors minimum 855 mm clear opening (3'-0" swinging door spec.)
- Hallways minimum 900 mm width
- Door from garage to living area minimum 2'-10" (swinging door spec.)
- Blocking to bathrooms for installation of grab-bars (toilet, tub and shower)
- Provision of lever door handles
- One window that can be opened with a single hand in the living room
- One window that can be opened with a single hand in one bedroom

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DP 14-658285
JANUARY 23, 2015

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Vancouver, BC V5T 4L5
604.873.2907
fougerearchitecture.ca



SITE PLAN
(at upper level)

SCALE 1/8" = 1'-0"

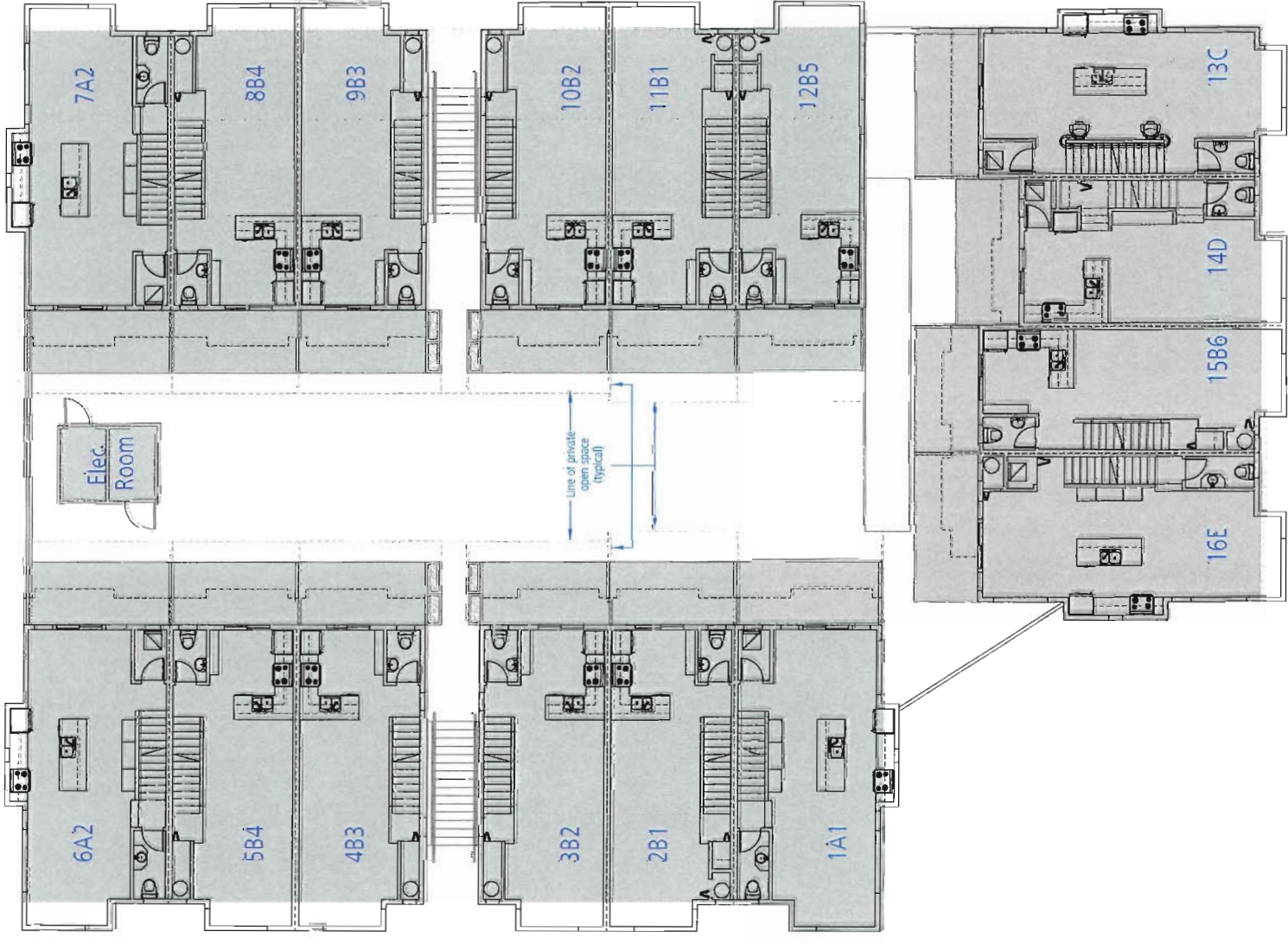
MAR 25 2015

14-658285



Plan #14

All units will be designed to meet EnerGuide 82 and be pre-ducted for solar hot water.



SRW PLAN 8964

ST ALBANS ROAD

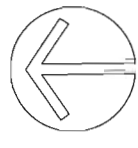
JONES ROAD

LOT COVERAGE CALCULATION	
Maximum Lot Coverage	45.0%
Proposed Lot Coverage	44.2%

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GARDENIA GARDENS
7571-7591 St Albans Rd



DP 14-658285
JANUARY 23, 2015

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Vancouver, BC V5T 4L5 fougerearchitecture.ca

LOT COVERAGE PLAN

SCALE 1/8" = 1'-0"

1d

Plan #15

MAR 25 2015

14-658285

DP

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GARDENIA GARDENS

7571-7591 St Albans Rd

DP 14-658285
JANUARY 23, 2015



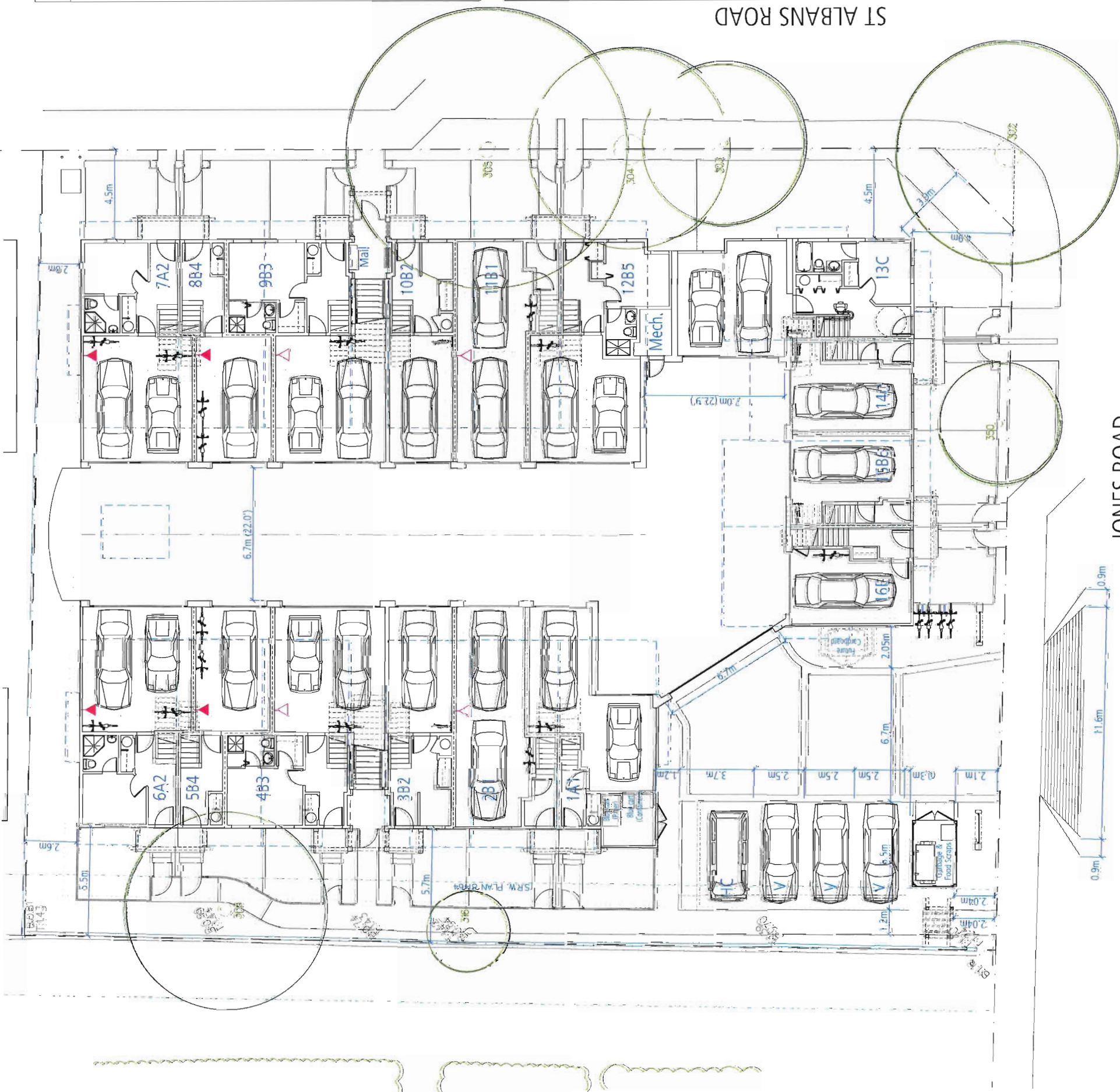
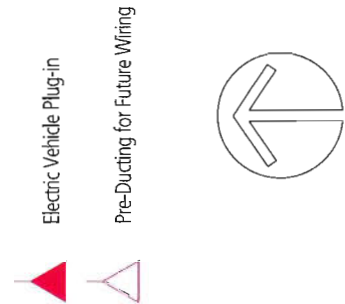
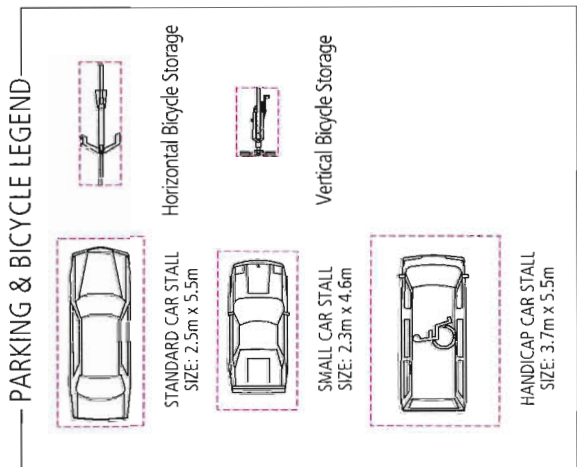
PARKING PLAN

(at ground floor - entry level)

SCALE 1/8" = 1'-0"

Plan #6

PARKING & BICYCLE DATA	
On-site Parking Requirements	
Residential 1.4 cars/unit (City Center Parking)	23
Visitor 0.2 cars/unit	4
Total Required	27
Handicap Stall	1
2% of the total required parking spaces	
Small Parking stall (when 31 stalls or more)	0
50% of provided parking spaces	
Parking Provided	18
Standard Stall	7
Small Stall (variance required)	4
Visitor Provided	29
On-site Bicycle Parking Requirements	
Class 1: 1.25 stalls/unit	20
Class 2: 0.2 stall/unit	4
Total Class 1 Stalls Provided	20
Total Class 2 Stalls Provided	4



JONES ROAD

0.9m, 11.6m, 0.9m

Gardenia Gardens for Thomas Leung

Legal Description:
Civic Address: 7571- 7591 St. Albans Road, Richmond



landscape architecture inc.
1890 West 2nd Avenue, Vancouver, BC, V6J 1H4
(1) 604.683.1456 | (1) 604.683.1459 w | www.etal.ca

Owner:
Architect:
Consultants:
Electrical:
Civil:
Structural:
Landscape: eta landscape architecture

RE-ISSUED FOR : DP January 20, 2015

LANDSCAPE:

Sheet No.	Sheet Name
L3a	Tree Management Plan
L3b	Landscape at Grade
L3c	Landscape second level Courtyard
L3d	Groundfloor landscape lighting
L3e	Courtyard landscape lighting
L3f	Landscape Sections and Schedules
L3g	Landscape Details and precedent Images
L3h	Landscape Permeability Plan

Reference

MAR 25 2015

DP 14-658285



1 Ground Level Landscape Plan
Scale: 1/8" = 1'-0"

Revision No.	Date	Revision Notes
A	3/2/14	Final for SP
B	10/2/14	Final for DP
C	12/2/14	Final for RAKP

Issue No.	Date	Issue Notes
A	3/2/14	Final for SP
B	10/2/14	Final for DP
C	12/2/14	Final for RAKP

Professional Seal

eta landscape architecture

1000 West 20th Avenue
Vancouver, BC, Canada V6L 1H4
1 (804) 693-1429
1 (604) 693-1429
www.eta.ca

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Project:
Gardenia Gardens
7571-7591
St Albans Rd, Richmond

Drawing Title:
**Landscape
Grade Level**

Project Number	Scale
21-005	3b
21-005	9

Drawn By: [Name]
Reviewed By: [Name]
Date: 2014/02/09

Plan #8

DP 14-658285

MAR 25 2015

Revision No. Date Description

Rev. No.	Date	Description
A	3/6/14	ISSUED FOR ZONING DP
B	10/6/14	Issue for DP
C	12/9/14	Issue for ADP
D	1/28/15	Re-issued for DP

Professional Seal



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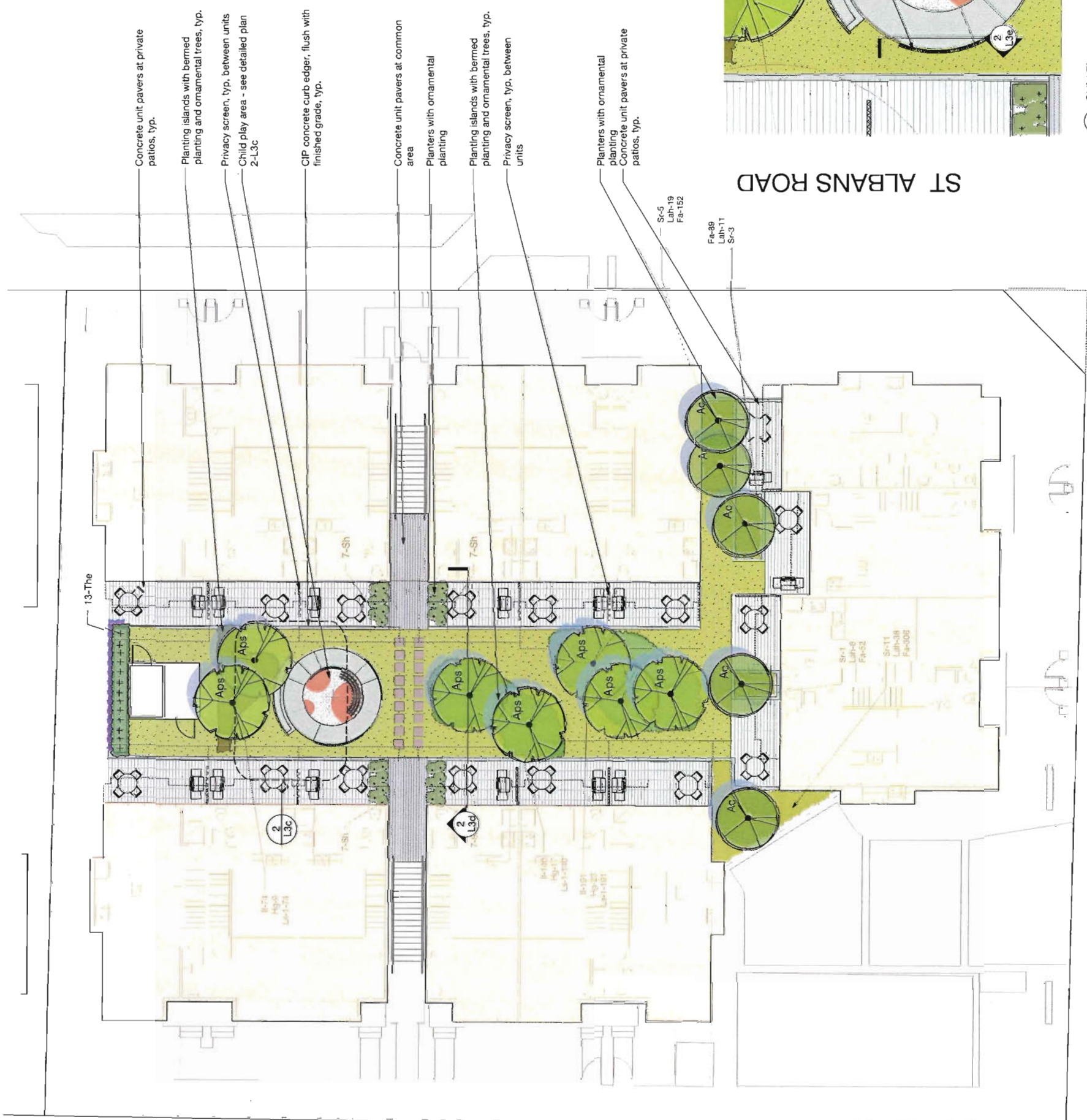
Project: **Gardenia Gardens**
 7571-7581
 St. Albans Rd, Richmond

Drawing Title: **Landscape**
2nd Level Courtyard

Layer:

Project ID	214025
Client	BRITISH
Drawn By	3C
Reviewed By	
Stamp No.	2014/02/03
Project Name	110015
Client Name	214025-CIP-Gardenia Gardens Landscape

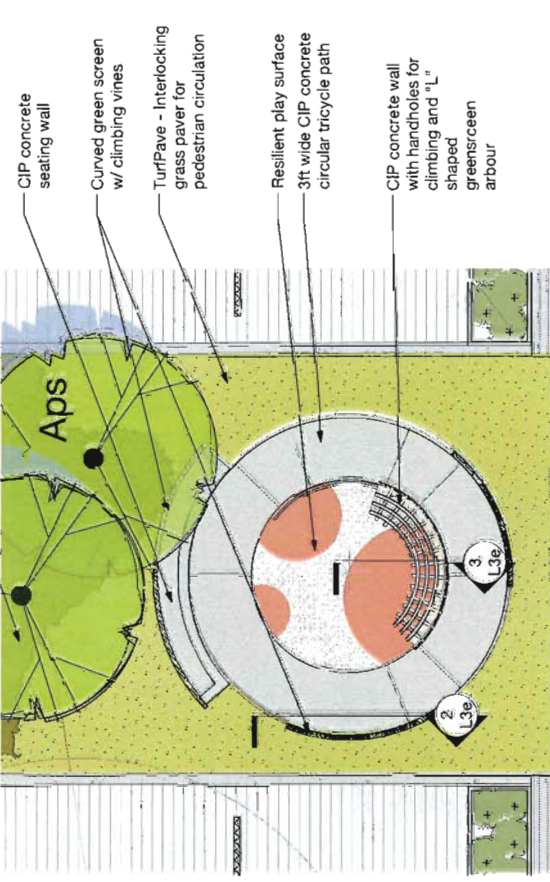
Plan #9



- Concrete unit pavers at private patios, typ.
- Planting islands with bermed planting and ornamental trees, typ.
- Privacy screen, typ. between units
- Child play area - see detailed plan 2-L3c
- CIP concrete curb edger, flush with finished grade, typ.
- Concrete unit pavers at common area
- Planters with ornamental planting
- Planting islands with bermed planting and ornamental trees, typ.
- Privacy screen, typ. between units
- Planters with ornamental planting
- Bermed planters with ornamental planting and trees
- Concrete unit pavers at private patios, typ.

Sr-5
Lsh-19
Fa-152

Fa-89
Lsh-11
Sr-3



2 Child Play area
 Scale: 1:48

JONES ROAD

0 5 10 FT

1 Courtyard Level landscape Plan
 Scale: 1/8" = 1'-0"

0 15 25 FT

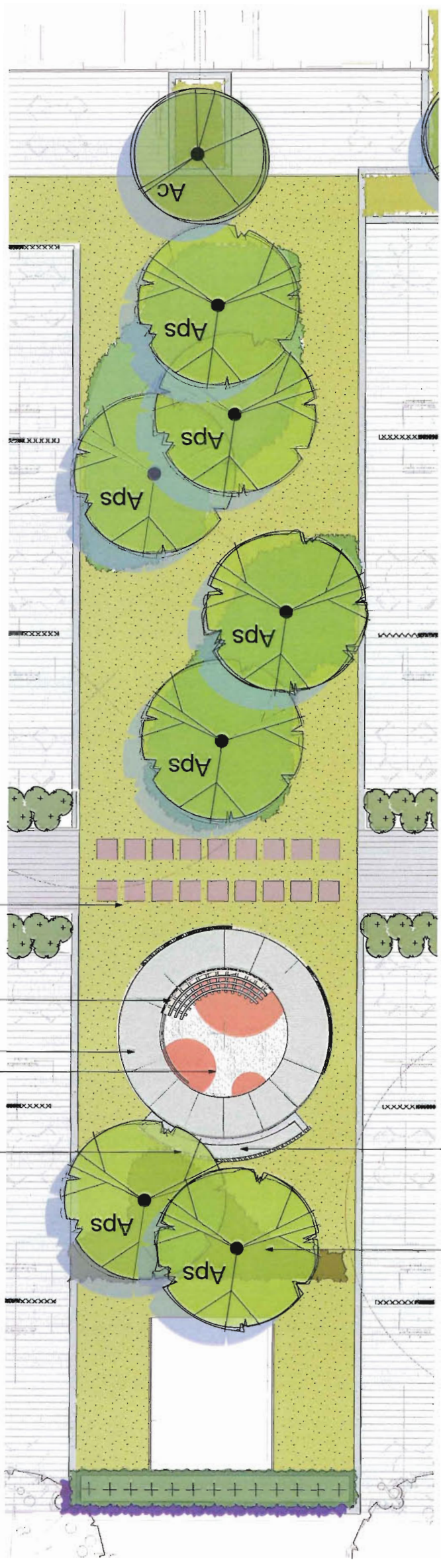
DP 14-658285

MAR 25 2015

Revision No.	Date	Revision Notes
A	10/27/14	ISSUED FOR TENDER DP
B	10/27/14	Issue for DP
C	10/29/14	Revised for DP
D	1/20/15	Revised for DP

Issue No.	Date	Issue Name
A	10/27/14	ISSUED FOR TENDER DP
B	10/27/14	Issue for DP
C	10/29/14	Revised for DP
D	1/20/15	Revised for DP

Professional Seal



3ft wide CIP concrete circular bicycle path

Resilient play surface

Curved green screen w/ climbing vines

CIP concrete wall with handholes for climbing and "L" shaped greenscreen around

TurfPave - Interlocking grass paver for pedestrian circulation

Bermed planters with ornamental planting and trees

CIP concrete seating wall

1 2nd Level Amenity
Scale: 1/4" = 1'-0"



MAR 25 2015

14-658285 DP



1800 West 20th Avenue
Vancouver, BC, Canada V6L 1H4
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Project:
Gardenia
Gardens
7571-7591
St Albans Rd, Richmond
Drawing Title:
Landscape
2nd Level Courtyard


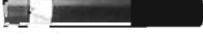


Legal

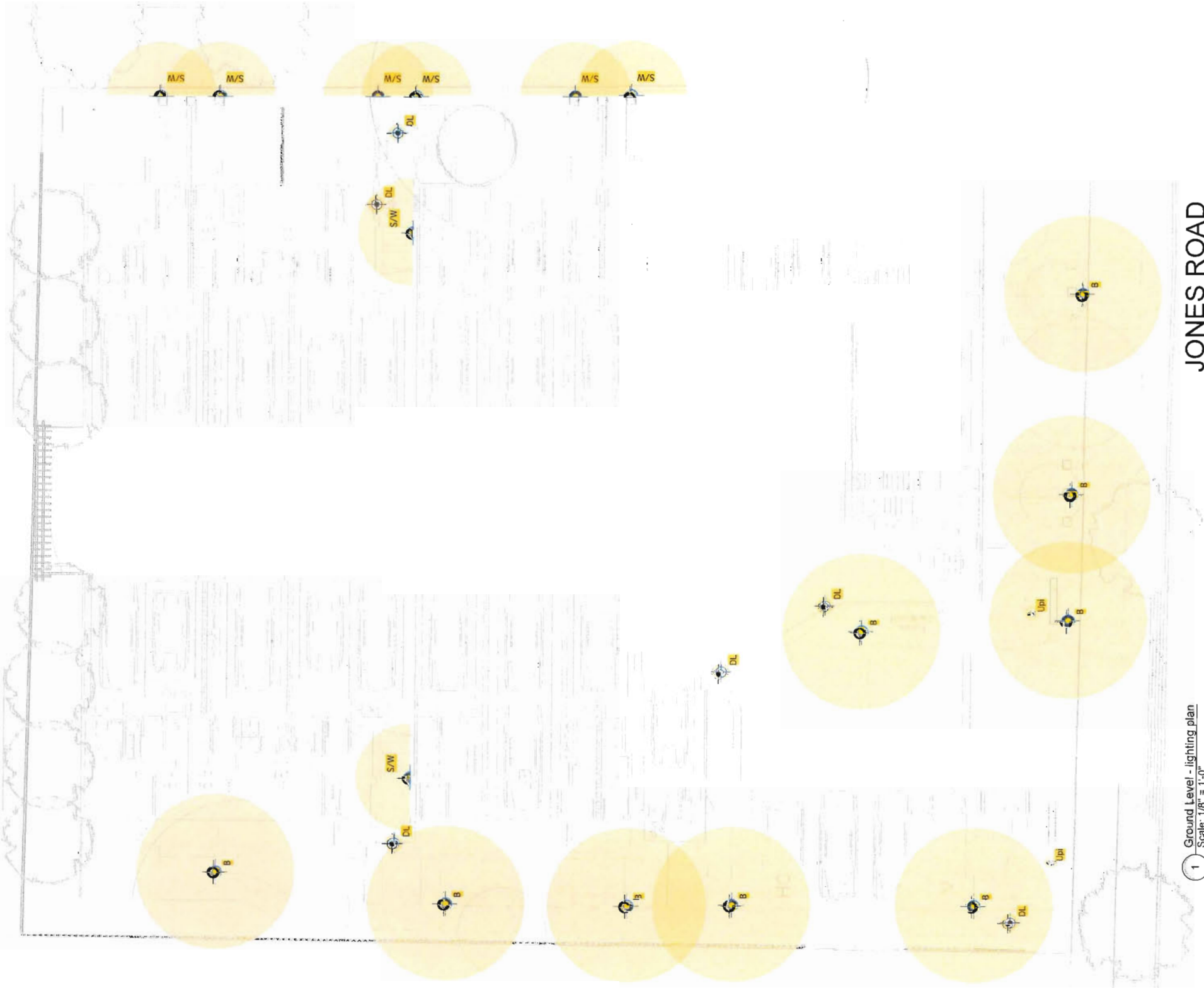
Project Number	Project
21465	21465
Client	Site
dt	dt
Drawn By	Checked By
dt	dt
Reviewed By	Date
dt	2/18/2015
3C	
9	

Plan #10

ST ALBANS ROAD

LIGHTING SCHEDULE

1	S/W	WALL MOUNTED FIXTURE - Hadco RRCL11 Aluminum StepLye	
2	B	FREE STANDING ILLUMINATED BOLLARD - Hadco Aluminum Bollard (RF6) Black	
3	Upl	INGROUND ACCENT UPLIGHT - Hadco Bullye (BULY) Black	
4	DL	ARBOUR DOWNLIGHT - Hadco/ Bullye (BL5016) Black	



1 Ground Level - lighting plan
Scale: 1/8" = 1'-0"

JONES ROAD



Revised: Date: Revision Notes:

No.	Date	Issue/Notes
A	3/2/14	ISSUED FOR ZONING CP
B	10/2/14	Issue for DP
C	12/2/14	Issue for ADP
D	1/2/15	Re-issue for DP

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Project: Gardenia Gardens
7571-7581 St Albans Rd, Richmond

Drawing Title: Landscape Grade Level - Lighting

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Project Name:	Gardenia Gardens
Drawn By:	ZH
Checked By:	JAS
Reviewed By:	3d
Date:	20/10/2014
Scale:	1:1

Plan #11

DP 14-658285

MAR 25 2015

No.	Date	Issue Notes
A	2/21/14	ISSUED FOR ZONING DP
B	12/29/14	Issue for DP
C	12/29/14	Issue for ADP
D	1/22/15	Re-issue for DP

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Project
**Gardenia
 Gardens**
 7671-7591
 St Albans Rd, Richmond

Drawing Title
**Landscape
 2nd Level Lighting**

Legal





Project Manager	2/14/15
Drawn By	BR/MLB
Checked By	2/14/15
Scale	3e
Sheet No.	3e
Sheet Total	3
Project No.	20140205

1/22/15
 2-NDLDP-Gardenia-Gardenia-MACTE-1504

DP 14-658285

Plan #12

LIGHTING SCHEDULE

1	S/W	WALL MOUNTED FIXTURE - Hadco RRCL11 Aluminum Stiplyte	
2	B	FREE STANDING ILLUMINATED BOLLARD - Hadco Aluminum Bollard (RF6) Black	
3	Upl	INGROUND ACCENT UPLIGHT - Hadco Bullyte (BWA) Black	
4	DL	ARBOUR DOWNLIGHT - Hadco/ Bullyte (BL5016) Black	

ST ALBANS ROAD

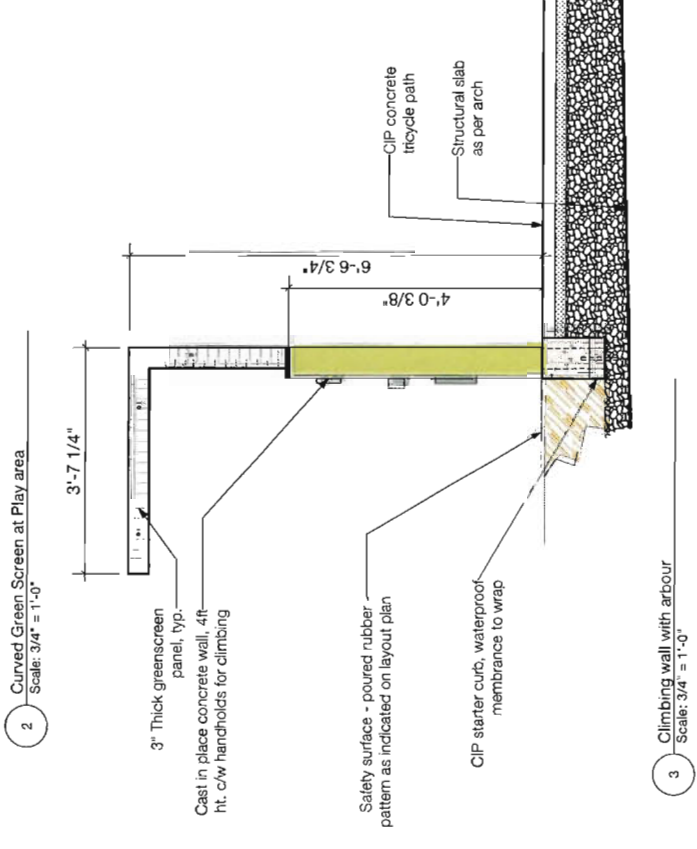
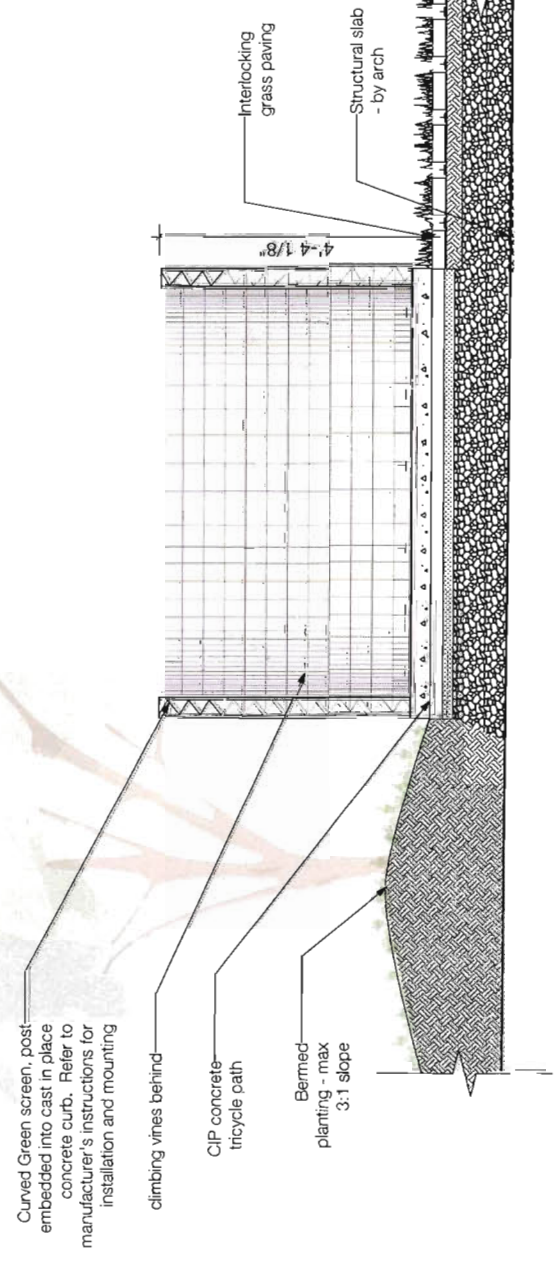
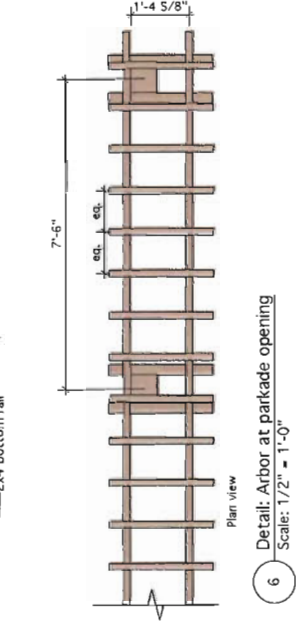
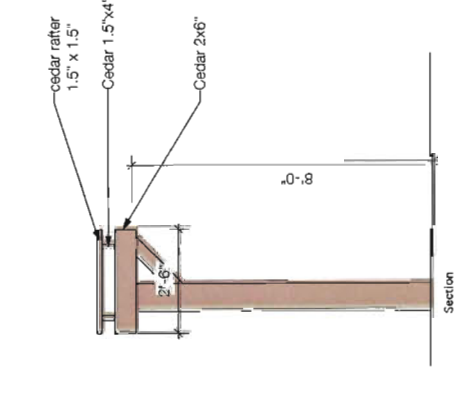
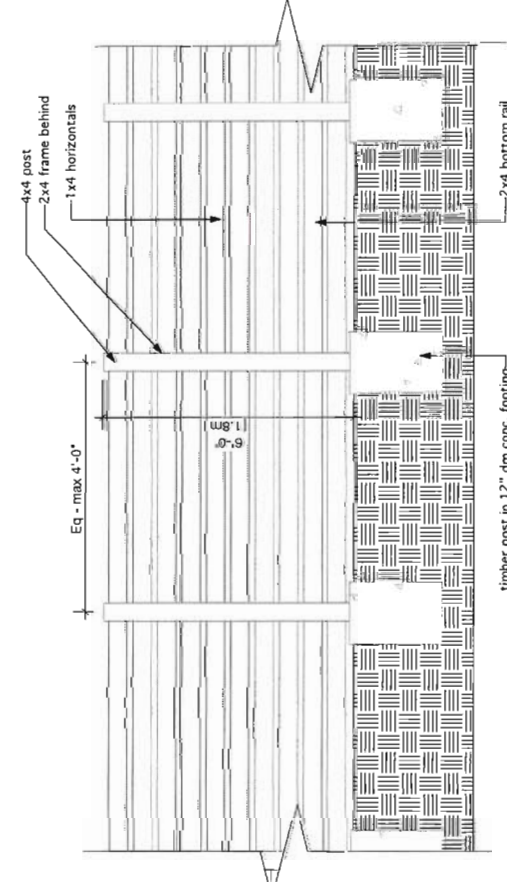
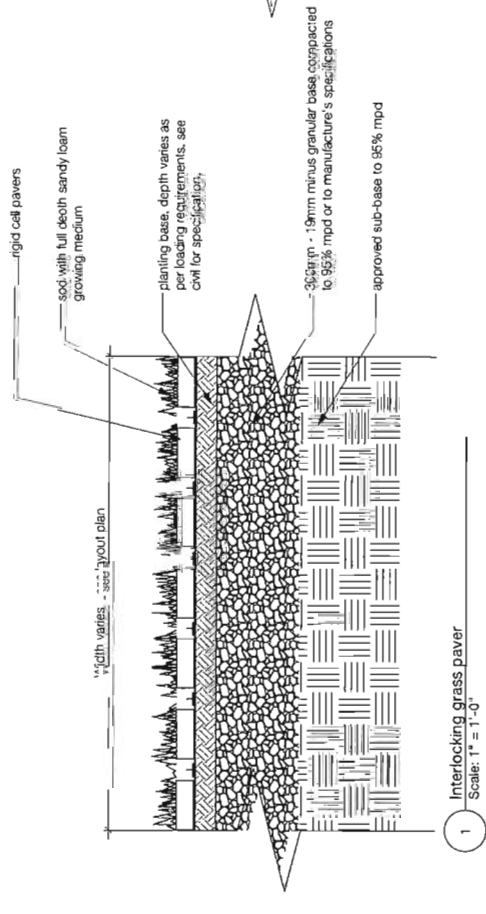


1 Courtyard Level-Lighting Plan
 Scale: 1:36

JONES ROAD



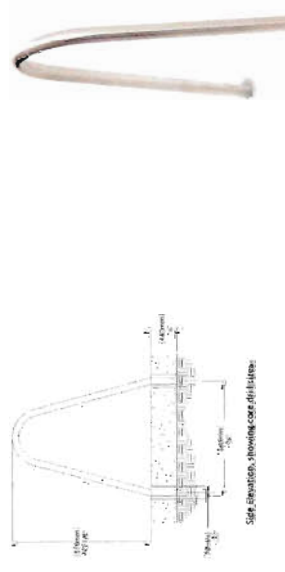
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Installation Guide
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INSTALLATION:

- Concrete: Minimum 4" thick 4000 psi concrete.
- Concrete: Minimum 4" thick 4000 psi concrete. Follow manufacturer's instructions for the following mix design. Fill with water, tamp, and remove any air bubbles.
- with anchoring cement.

Page 1 of 1

Date: April 2010

5 Bike Rack - Landscape Forms Bola

Revision No.	Date	Revision Notes
A	3/6/14	ISSUED FOR ZONING DP
B	10/9/14	Issue for DP
C	12/9/14	Issue for ADP
D	1/20/15	Re-issue for DP

Name	Date	Issue Notes
A	3/6/14	ISSUED FOR ZONING DP
B	10/9/14	Issue for DP
C	12/9/14	Issue for ADP
D	1/20/15	Re-issue for DP

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Product
Gardenia Gardens
7571-7591
St Albans Rd, Richmond

Drawing Title
Landscape Details and Precedent Images

Legal

Project Name	Project No.	Scale
Gardenia Gardens	2-145	3/8"
Client	AS Pined	
Architect	eta landscape architects	
Reviewed By	2014.02.05	
Drawn By		
Checked By		
Project Manager		
Project Engineer		
Project Designer		
Project Drafter		
Project Coordinator		
Project Assistant		
Project Secretary		
Project Receptionist		
Project Cleaner		
Project Security		
Project Maintenance		
Project Landscaping		
Project Construction		
Project Installation		
Project Operation		
Project Maintenance		
Project Decommissioning		

3 Climbing wall with arbour
Scale: 3/4" = 1'-0"

PRECEDENT IMAGES

DP 14-658285

MAR 25 2015

Play 14

Item No.	Date	Remarks
A	3/21/14	ISSUED FOR ZONING DP
B	10/24/14	Issue for DP
C	12/26/14	Issue for ADP
D	1/22/15	Re-issue for DP

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Project:
Gardenia Gardens
7571-7591
St Albans Rd, Richmond

1/2" = 1'-0"
Landscape
Permeability Plan

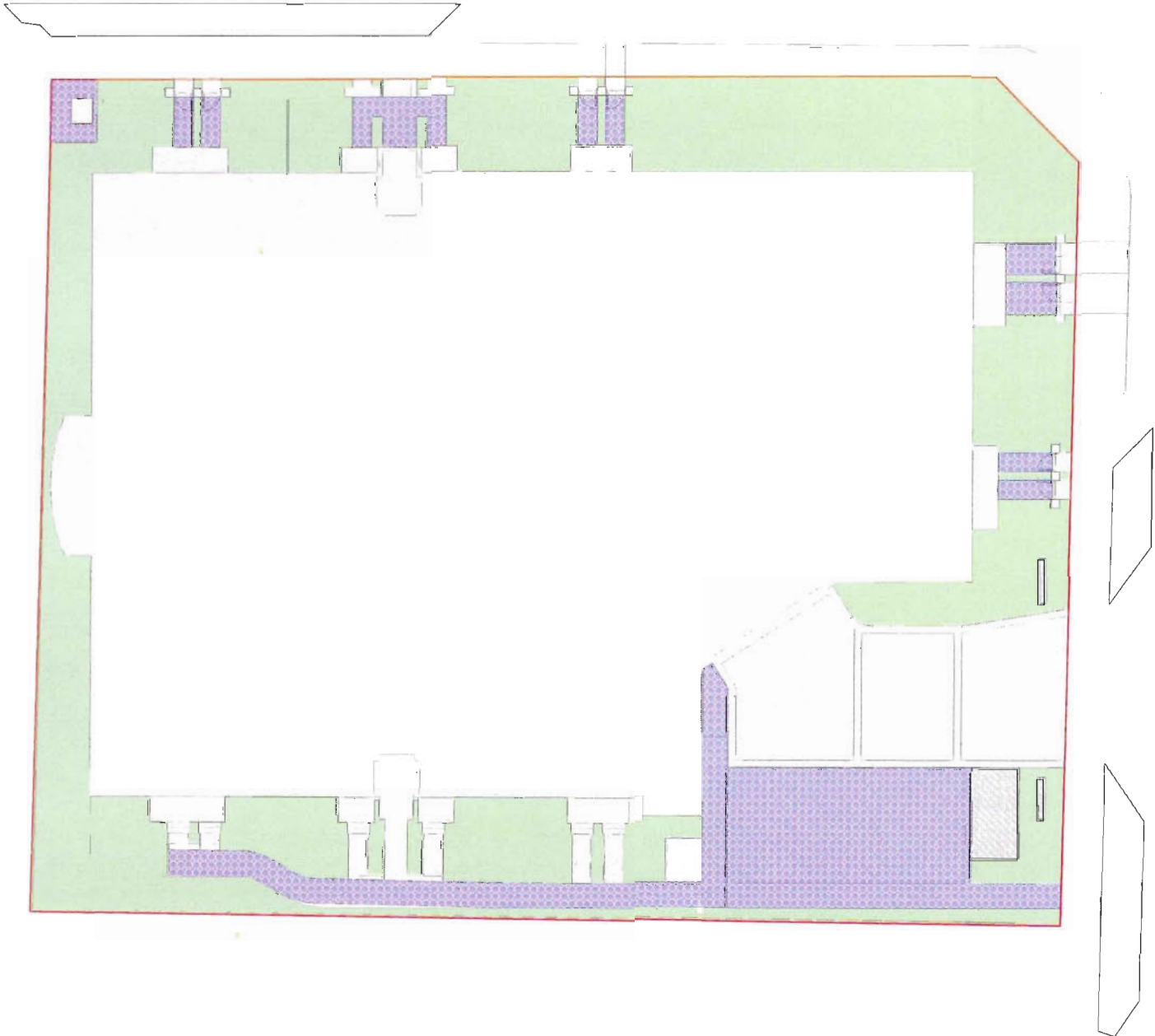
Legal

Project Number	21405
Client	3/02/14 - 1'-0"
Drawn By	3/02/14 - 1'-0"
Reviewed By	3/02/14 - 1'-0"
Date	3/02/14
Scale	1" = 10'
Sheet No.	9

File Path:
1/2014/21405/21405EP-CourtesyMASTERPLAN

ST ALBANS ROAD

JONES ROAD

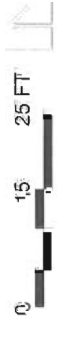


Overall site area: 1922.2 sqm

Permeable paving
also including gravel, Turfpave, and boardwalk
162.18 sqm - 8.4%

Planting areas
437.69 - 22.7%

Non-porous surfaced areas
including impervious paving, decks and
buildings
1321.28 sqm - 68.9%



1 Permeability Plan
Scale: 3/32" = 1'-0"

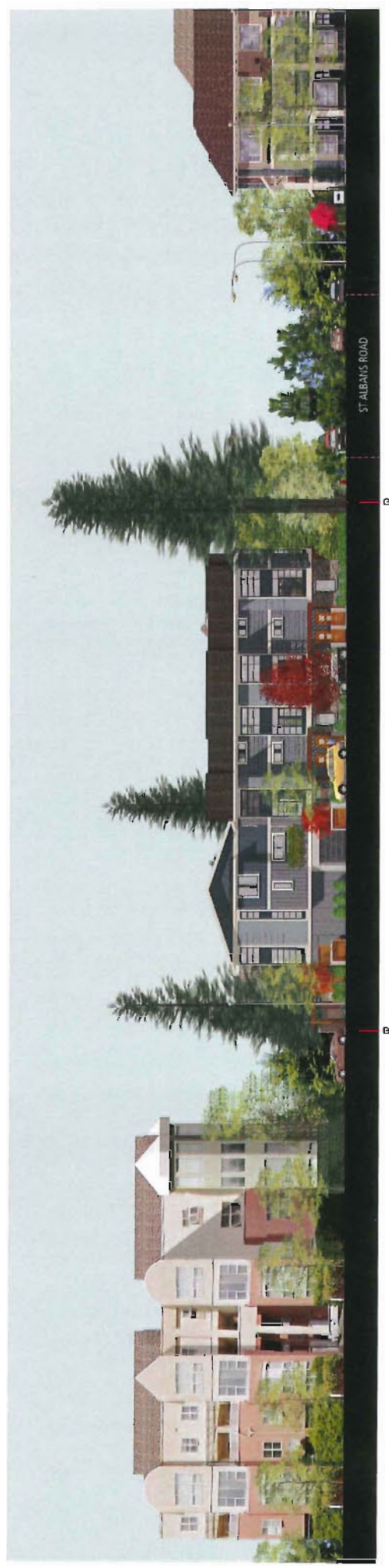
MAR 25 2015

DP 14-658285

Plan # 15



SOUTH ELEVATION
SCALE 1/8" = 1'-0"



STREETSCAPE Jones Road
SCALE 1/16" = 1'-0"

EXTERIOR FINISHES SCHEDULE

1	ASPHALT SHINGLES	PABCO - Asphalt shingles - Pewter Gray
2	WOOD TRIMS	SHERWIN WILLIAMS - SW 7567 Natural Tan
3	WOOD FASCIA	SHERWIN WILLIAMS - SW 7567 Natural Tan
4	HARDIE SIDING	JAMES HARDIE - HardiePlank - Boothbay Blue
5	NICHHA - Architectural Block (18" x6" with score)	SHERWIN WILLIAMS - SW 7603 Poolhouse
6	BOARD & BATTEN	SHERWIN WILLIAMS - SW 7604 Smoky Blue
7	VINYL WINDOWS	SHERWIN WILLIAMS - SW 7605 Gale Force
8a	WOOD POST & ARBOUR & BRACKET	SHERWIN WILLIAMS - SW 7710 Branchvime
8b	WOOD POST & ARBOUR	SHERWIN WILLIAMS - SW 6656 Serape
9	SOLID-CORE EXTERIOR DOOR	SHERWIN WILLIAMS - SW 6556 Serape
10	GARAGE DOOR	OVERHEAD DOOR Thermacore-Cedar Desert Tan
11	METAL RAILING	SHERWIN WILLIAMS - SW 7605 Gale Force
12	SERVICE DOOR (electrical room)	SHERWIN WILLIAMS - SW 7604 Smoky Blue
13	SERVICE DOOR (recycle enclosure)	SHERWIN WILLIAMS - SW 7604 Smoky Blue
14a	PRIVACY SCREEN	SHERWIN WILLIAMS - SW 7604 Smoky Blue
14b	PRIVACY SCREEN	SHERWIN WILLIAMS - SW 7567 Natural Tan
15	MAIN GARAGE DOOR	OVERHEAD DOOR Aluminum Obscure Glass Door - Black
16	CONCRETE	
17	STONE VENEER	CULTURED STONE - Pro-Flr-Ledgestone Grey

ELEVATION

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GARDENIA GARDENS
7571-7591 St Albans Rd

DP 14-658285
JANUARY 23, 2015

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EAST ELEVATION
SCALE 1/8" = 1'-0"



STREETSCAPE St. Albans Road
SCALE 1/16" = 1'-0"

EXTERIOR FINISHES SCHEDULE

1	ASPHALT SHINGLES	PABCO - Asphalt shingles - Pewter Gray
2	WOOD TRIMS	SHERWIN WILLIAMS - SW 7567 Natural Tan
3	WOOD FASCIA	SHERWIN WILLIAMS - SW 7567 Natural Tan
4	HARDIE SIDING	JAMES HARDIE - HardiePlank - Boothbay Blue
5	NICHHA - Architectural Block (1.8" x6" with score)	SHERWIN WILLIAMS - SW 7603 Redhouse
6	BOARD & BATTEN	SHERWIN WILLIAMS - SW 7604 Smoky Blue
7	VINYL WINDOWS	SHERWIN WILLIAMS - SW 7605 Gills Force
8a	WOOD POST & ARBOUR & BRACKET	SHERWIN WILLIAMS - SW 7710 Blansyvine
8b	WOOD POST & ARBOUR	SHERWIN WILLIAMS - SW 6656 Serape
9	SOLID-CORE EXTERIOR DOOR	SHERWIN WILLIAMS - SW 6656 Serape
10	GARAGE DOOR	OVERHEAD DOOR Thermacore-Color Desert Tan
11	METAL RAILING	SHERWIN WILLIAMS - SW 7605 Gills Force
12	SERVICE DOOR (electrical room)	SHERWIN WILLIAMS - SW 7604 Smoky Blue
13	SERVICE DOOR (recycle enclosure)	SHERWIN WILLIAMS - SW 7604 Smoky Blue
14a	PRIVACY SCREEN	SHERWIN WILLIAMS - SW 7604 Smoky Blue
14b	PRIVACY SCREEN	SHERWIN WILLIAMS - SW 7567 Natural Tan
15	MAIN GARAGE DOOR	OVERHEAD DOOR Aluminum Obscure Glass Door - Black
16	CONCRETE	
17	STONE VENEER	CULTURED STONE - Pro-fit LedgeStone Grey

ELEVATION

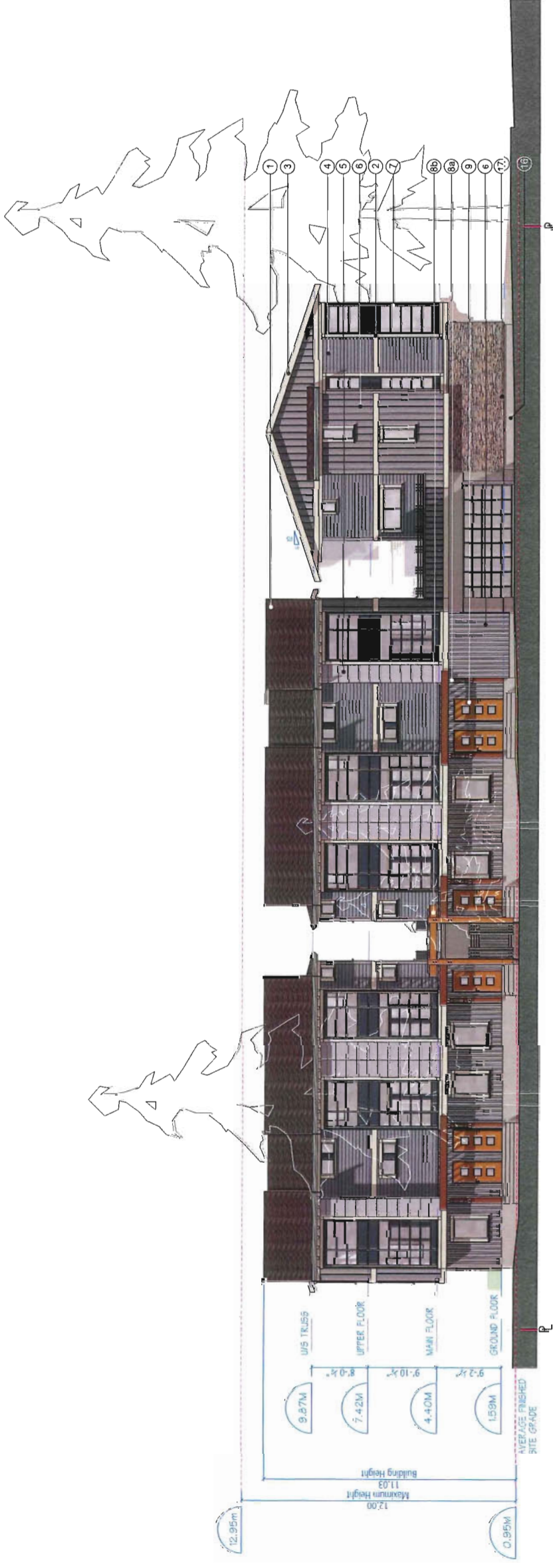
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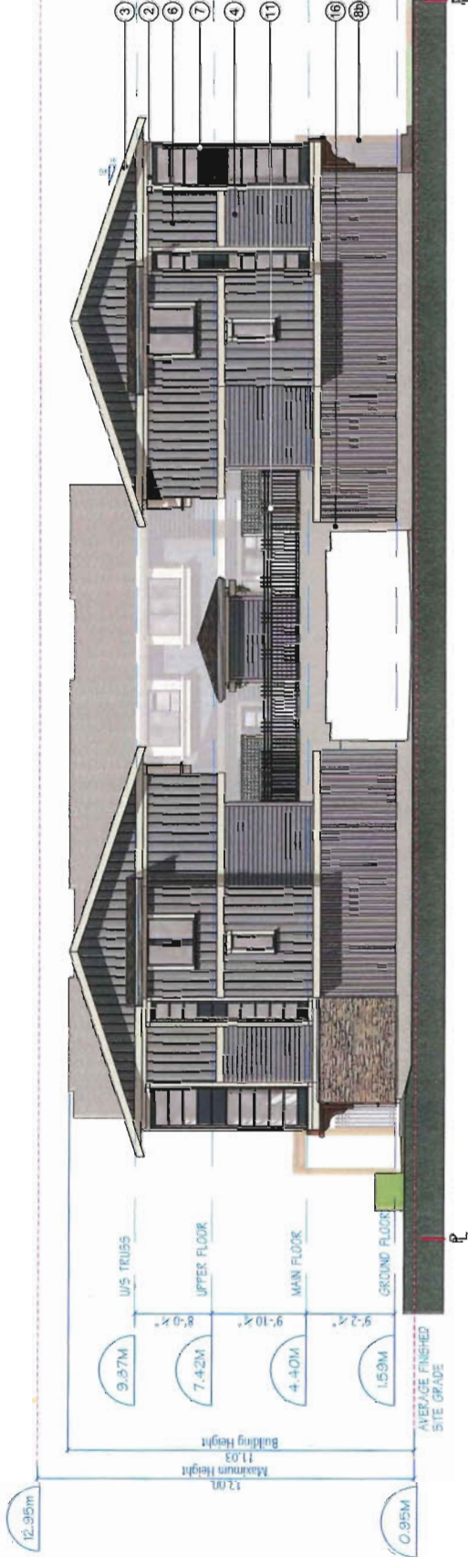
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WEST ELEVATION



NORTH ELEVATION

EXTERIOR FINISHES SCHEDULE

1	ASPHALT SHRINGLES	PABCO - Asphalt shingles - Pewter Gray
2	WOOD TRIMS	SHERWIN WILLIAMS - SW 7567 Natural Tan
3	WOOD FASCIA	SHERWIN WILLIAMS - SW 7567 Natural Tan
4	HARDIE SIDING	JAMES HARDIE - HardiePlank - Boatbay Blue
5	NICHHA - Architectural Block (18" w/ score)	SHERWIN WILLIAMS - SW 7603 Poolhouse
6	BOARD & BATTEN	SHERWIN WILLIAMS - SW 7604 Smoky Blue
7	VINYL WINDOWS	SHERWIN WILLIAMS - SW 7605 Gale Force
8a	WOOD POST & RAIL	SHERWIN WILLIAMS - SW 7710 Brandywine
8b	WOOD POST & RAIL	SHERWIN WILLIAMS - SW 6656 Serape
9	SOLID-CORE EXTERIOR DOOR	SHERWIN WILLIAMS - SW 6656 Serape
10	GARAGE DOOR	OVERHEAD DOOR - Thermacore-Color Desert Tan
11	METAL RAILING	SHERWIN WILLIAMS - SW 7616 Smoky Blue
12	SERVICE DOOR (electrical room)	SHERWIN WILLIAMS - SW 7604 Smoky Blue
13	SERVICE DOOR (recycle enclosure)	SHERWIN WILLIAMS - SW 7604 Smoky Blue
14a	PRIVACY SCREEN	SHERWIN WILLIAMS - SW 7604 Smoky Blue
14b	PRIVACY SCREEN	SHERWIN WILLIAMS - SW 7567 Natural Tan
15	MAIN GARAGE DOOR	OVERHEAD DOOR - Aluminum Obscure Glass Door - Black
16	CONCRETE	
17	STONE VENEER	CULTURED STONE - Pro-Rite Ledgestone Grey

ELEVATION
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**GARDENIA
GARDENS**
5751-7591 St Albans Rd

DP 14-658285
JANUARY 23, 2015

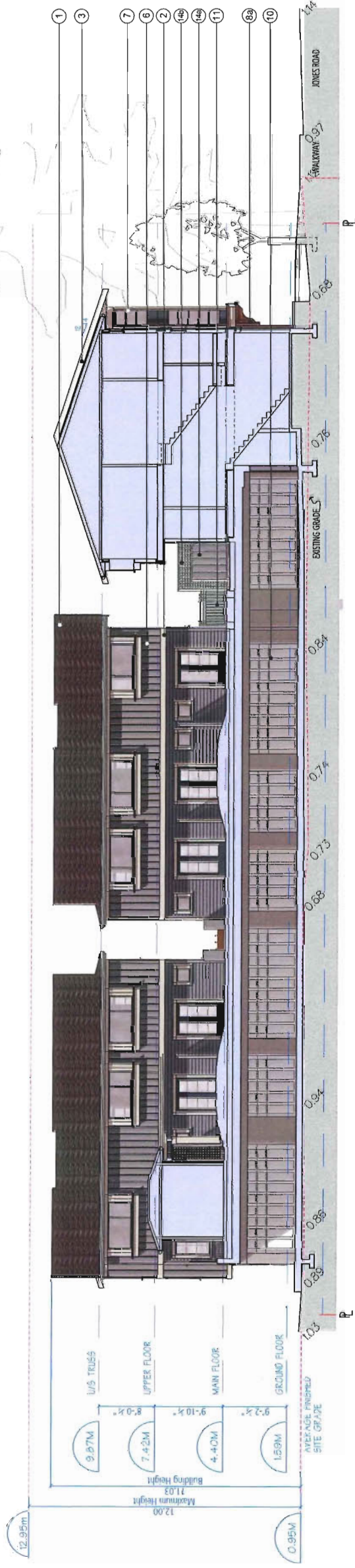
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Plan # 18

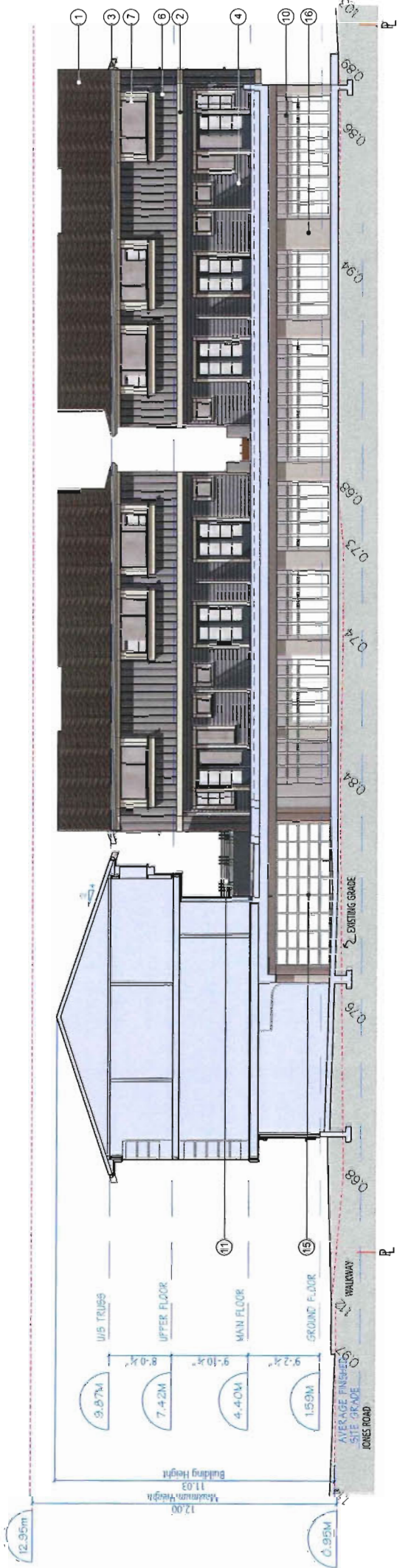
MAR 25 2015

14-658285

DP



SECTIONAL ELEVATION 01



SECTIONAL ELEVATION 02

EXTERIOR FINISHES SCHEDULE

1	ASPHALT SHINGLES	PABCO - Asphalt shingles - Pewter Gray
2	WOOD TRIMS	SHERWIN WILLIAMS - SW 7567 Natural Tan
3	WOOD FASCIA	SHERWIN WILLIAMS - SW 7567 Natural Tan
4	HARDIE SIDING	JAMES HARDIE - HardiePlank - Bootbay Blue
5	NICHHA - Architectural Block (18" x6" with score)	SHERWIN WILLIAMS - SW 7603 Redhouse
6	BOARD & BATTEN	SHERWIN WILLIAMS - SW 7604 Smoky Blue
7	VINYL WINDOWS	SHERWIN WILLIAMS - SW 7605 Gale Force
8a	WOOD POST & RAJBOR & BRACKET	SHERWIN WILLIAMS - SW 7710 Brandspine
8b	WOOD POST & RAJBOR	SHERWIN WILLIAMS - SW 6656 Serape
9	SOLID-CORE EXTERIOR DOOR	SHERWIN WILLIAMS - SW 7605 Gale Force
10	GARAGE DOOR	SHERWIN WILLIAMS - SW 7605 Gale Force
11	METAL RAILING	OVERHEAD DOOR, Thermo-Cable Desert Tan
12	SERVICE DOOR (electrical room)	SHERWIN WILLIAMS - SW 7604 Smoky Blue
13	SERVICE DOOR (bicycle enclosure)	SHERWIN WILLIAMS - SW 7604 Smoky Blue
14a	PRIVACY SCREEN	SHERWIN WILLIAMS - SW 7604 Smoky Blue
14b	PRIVACY SCREEN	SHERWIN WILLIAMS - SW 7567 Natural Tan
15	MAIN GARAGE DOOR	OVERHEAD DOOR Aluminum Obscure Glass Door - Black
16	CONCRETE	
17	STONE VENEER	CULTURED STONE - Pro-Flt LedgeStone Grey

SECTIONAL ELEVATION
SCALE 1/8" = 1'-0"

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7571-7591 St Albans Rd

DP 14-658285
JANUARY 23, 2015

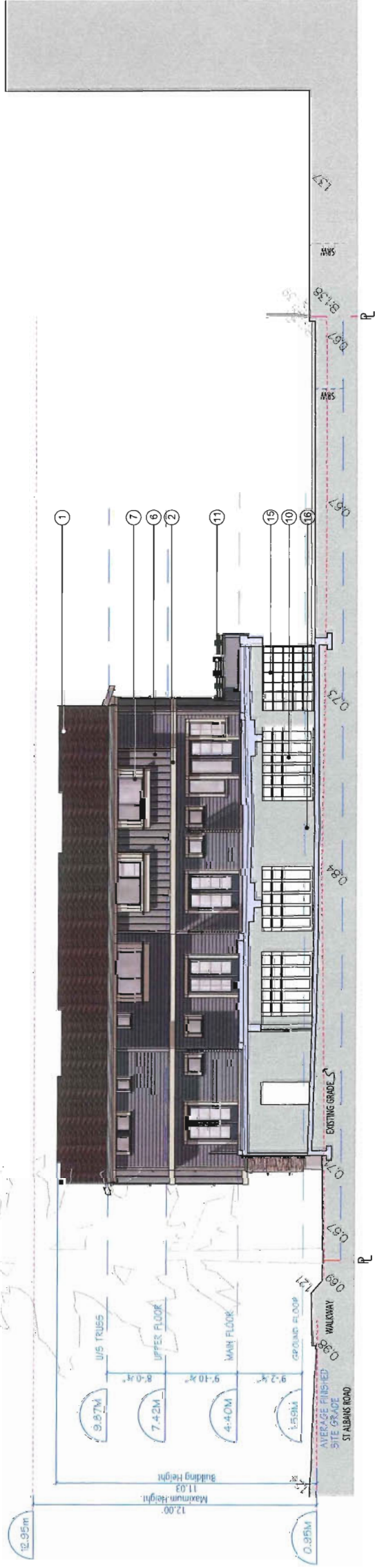
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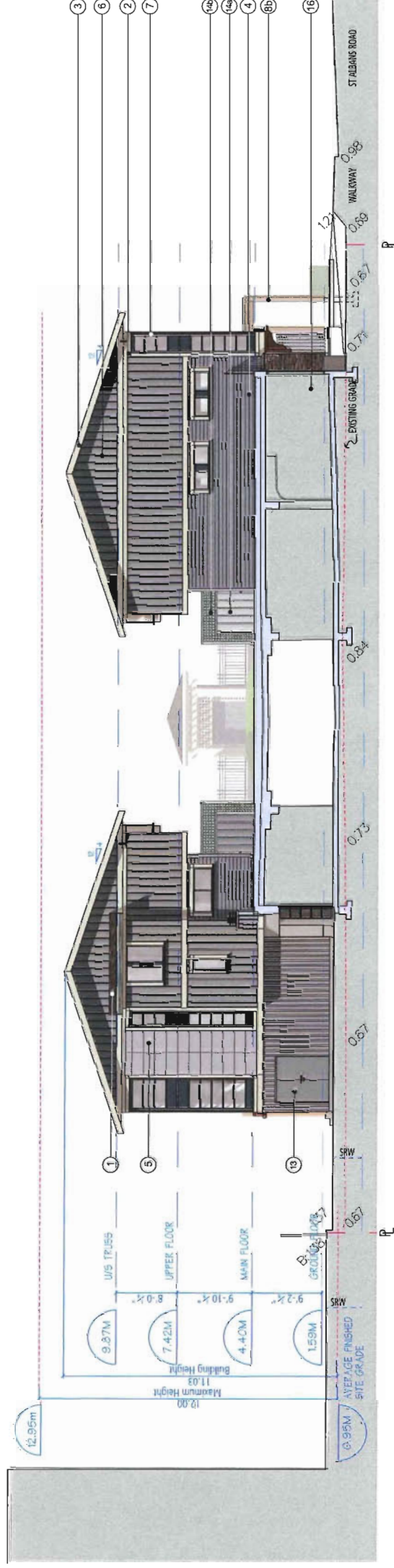
MAR 25 2015

14-658285

OP



SECTIONAL ELEVATION 03



SECTIONAL ELEVATION 04

EXTERIOR FINISHES SCHEDULE

1	ASPHALT SHINGLES	PABCO - Asphalt shingles - Pewter Gray
2	WOOD TRIMS	SHERWIN WILLIAMS - SW 7567 Natural Tan
3	WOOD FASCIA	SHERWIN WILLIAMS - SW 7567 Natural Tan
4	HARDIE SIDING	JAMES HARDIE - HardiePlink - Bootbay Blue
5	NICHHA - Architectural Block (18" x6" with score)	SHERWIN WILLIAMS - SW 7603 Frodohouse
6	BOARD & BATTEN	SHERWIN WILLIAMS - SW 7604 Smoky Blue
7	VINYL WINDOWS	SHERWIN WILLIAMS - SW 7605 Gale Force
8a	WOOD POST & ARBOUR & BRACKET	SHERWIN WILLIAMS - SW 7710 Brandywine
8b	WOOD POST & ARBOUR	SHERWIN WILLIAMS - SW 6556 Serape
9	SOLID-CORE EXTERIOR DOOR	SHERWIN WILLIAMS - SW 6556 Serape
10	GARAGE DOOR	OVERHEAD DOOR Transcend-Color Desert Tan
11	METAL RAILING	SHERWIN WILLIAMS - SW 7605 Gale Force
12	SERVICE DOOR (electrical room)	SHERWIN WILLIAMS - SW 7604 Smoky Blue
13	SERVICE DOOR (recycle enclosure)	SHERWIN WILLIAMS - SW 7604 Smoky Blue
14a	PRIVACY SCREEN	SHERWIN WILLIAMS - SW 7604 Smoky Blue
14b	PRIVACY SCREEN	SHERWIN WILLIAMS - SW 7567 Natural Tan
15	MAIN GARAGE DOOR	OVERHEAD DOOR Aluminum Obscure Glass Door - Black
16	CONCRETE	
17	STONE VENEER	CULTURED STONE - Pro-Flt LedgeStone Gray

SECTIONAL ELEVATION

SCALE 1/8" = 1'-0"

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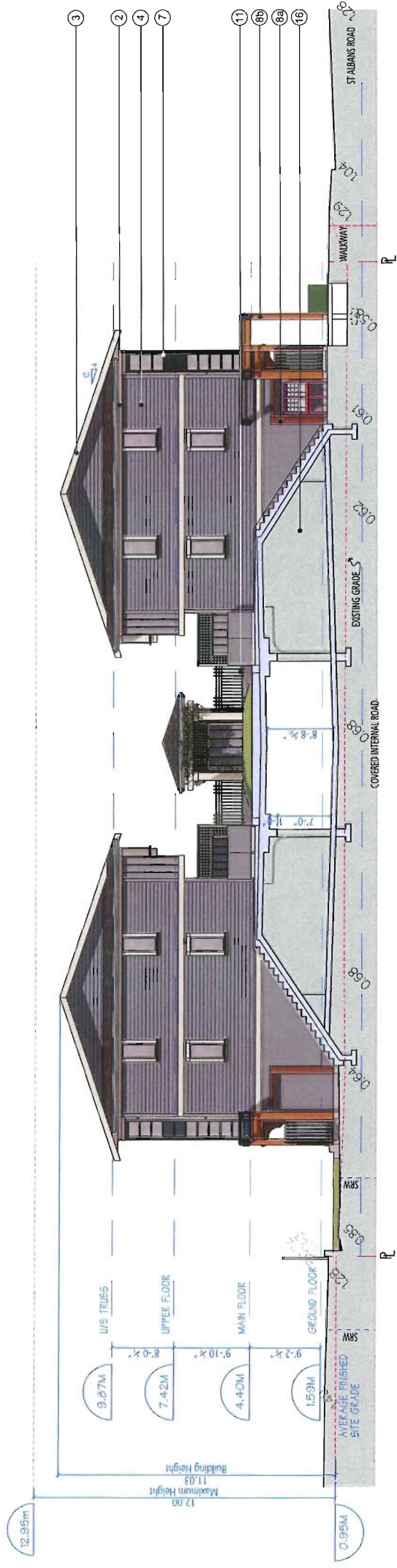
GARDENIA GARDENS

7571-7591 St Albans Rd

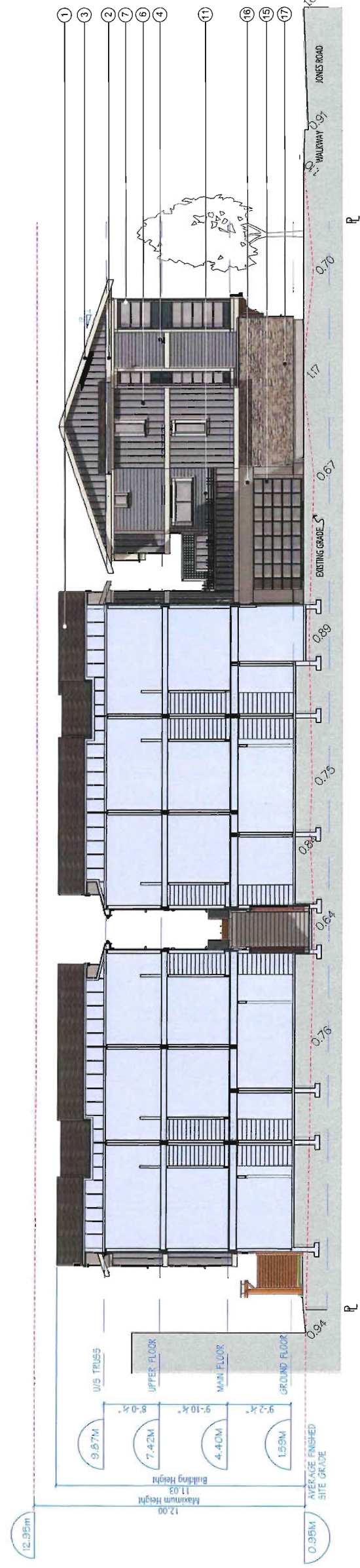
DP 14-658285
JANUARY 23, 2015



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SECTIONAL ELEVATION 05



SECTIONAL ELEVATION 06

EXTERIOR FINISHES SCHEDULE

1	ASPHALT SHINGLES	PABCO - Asphalt shingles - Pewter Grey
2	WOOD TRIMS	SHERWIN WILLIAMS - SW 7567 Natural Tan
3	WOOD FASCIA	SHERWIN WILLIAMS - SW 7567 Natural Tan
4	HARDIE SIDING	JAMES HARDIE - HardiePlank - Boothbay Blue
5	NICHHA - Architectural Block (18" x6" with score)	SHERWIN WILLIAMS - SW 7603 Poolhouse
6	BOARD & BATTEN	SHERWIN WILLIAMS - SW 7604 Smoky Blue
7	VINYL WINDOWS	SHERWIN WILLIAMS - SW 7605 Gale Force
8a	WOOD POST & ARBOUR & BRACKET	SHERWIN WILLIAMS - SW 7710 Brandywine
8b	WOOD POST & ARBOUR	SHERWIN WILLIAMS - SW 6656 Serape
9	SOLID-CORE EXTERIOR DOOR	SHERWIN WILLIAMS - SW 6656 Serape
10	GARAGE DOOR	SHERWIN WILLIAMS - SW 7605 Gale Force
11	METAL RAILING	OVERHEAD DOOR, Thermacolor Desert Tan
12	SERVICE DOOR (electrical room)	SHERWIN WILLIAMS - SW 7604 Smoky Blue
13	SERVICE DOOR (recycle enclosure)	SHERWIN WILLIAMS - SW 7604 Smoky Blue
14a	PRIVACY SCREEN	SHERWIN WILLIAMS - SW 7604 Smoky Blue
14b	PRIVACY SCREEN	SHERWIN WILLIAMS - SW 7567 Natural Tan
15	MAIN GARAGE DOOR	OVERHEAD DOOR Aluminum Obscure Glass Door - Black
16	CONCRETE	
17	STONE VENEER	CULTURED STONE - Pro-Flt LedgeStone Grey

SECTIONAL ELEVATION
SCALE 1/8" = 1'-0"

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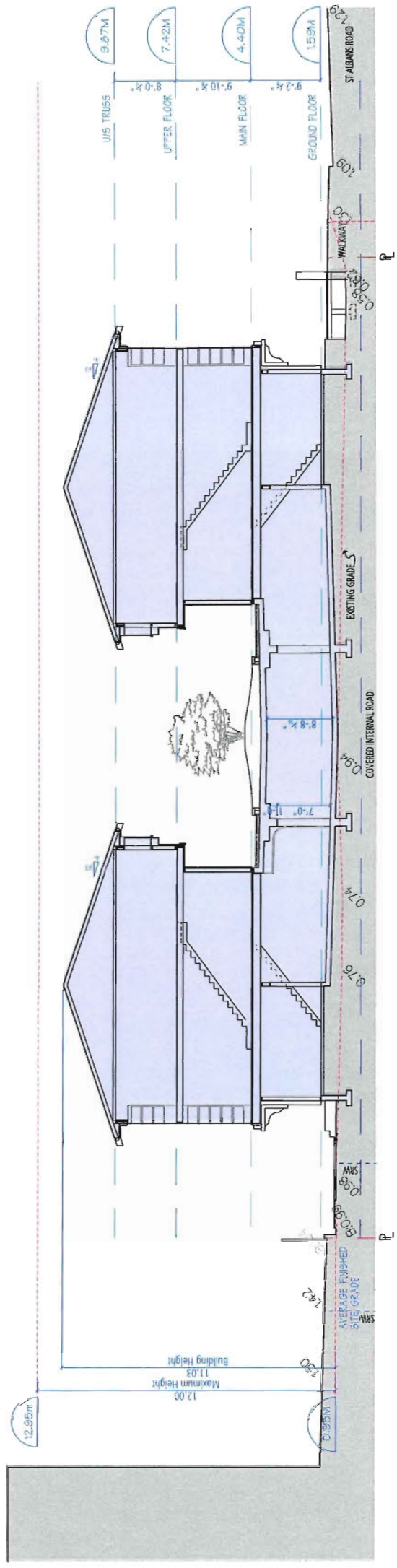


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fougerearchitecture.ca

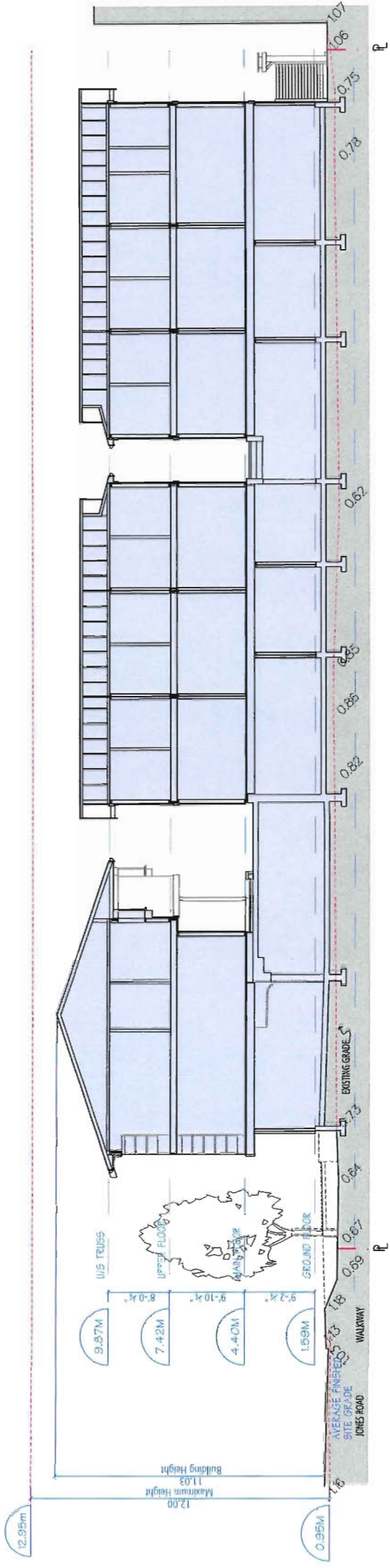
Plan # 21

MAR 25 2015

14-658285 DP



SECTION A



SECTION B

SECTIONS
SCALE 1/8" = 1'-0"

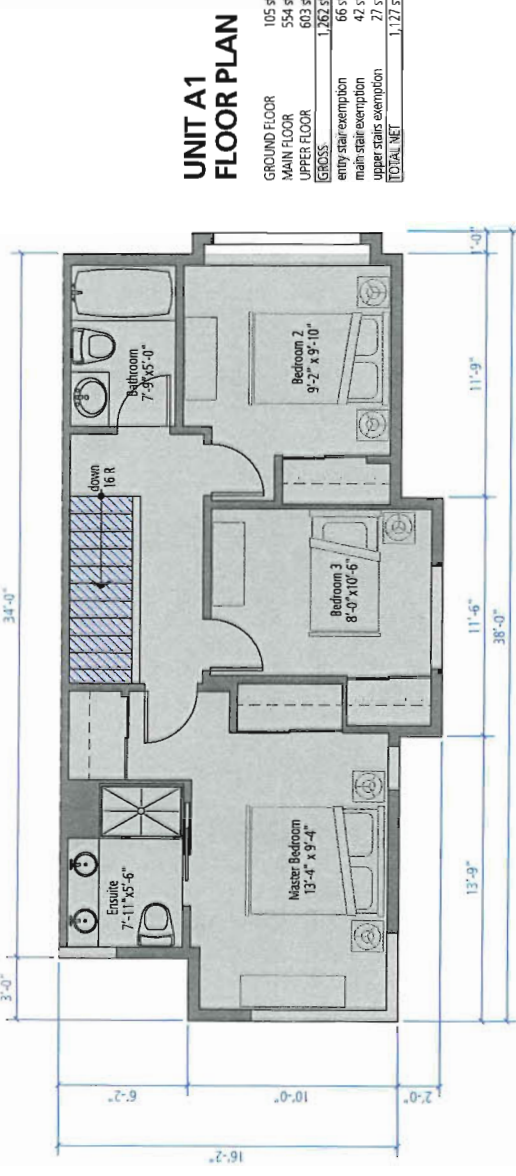
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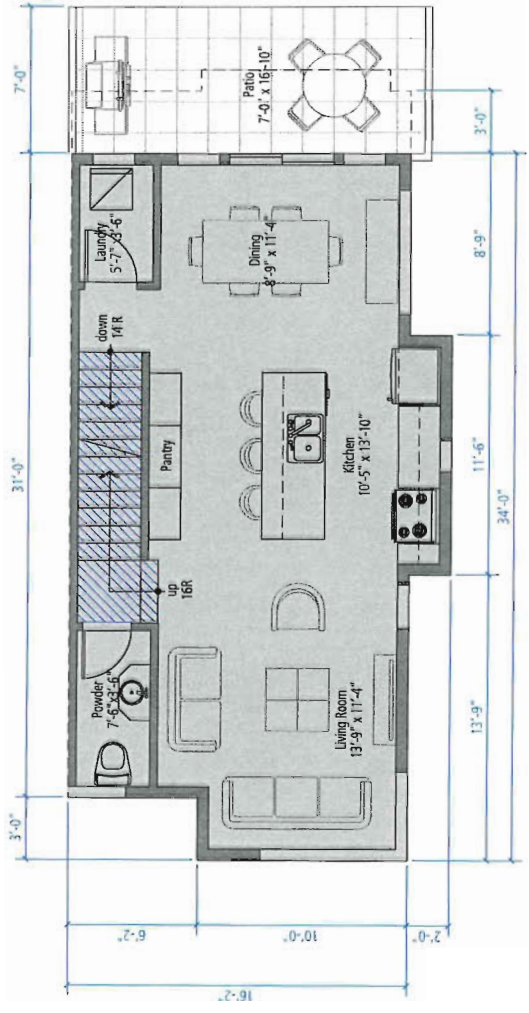
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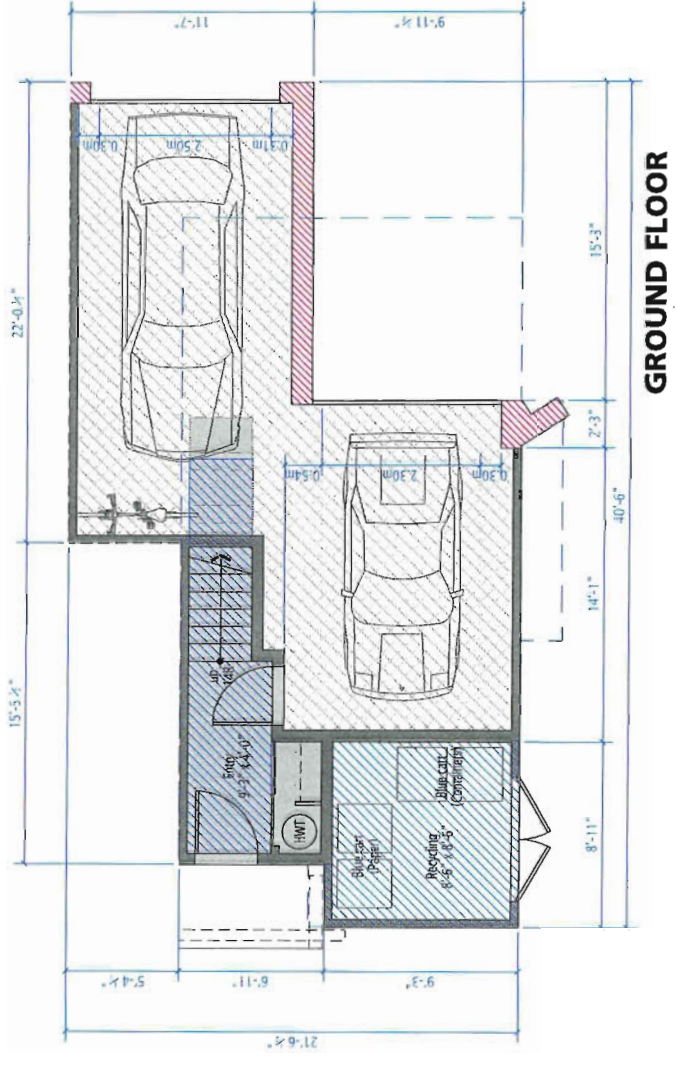
UNIT A1 FLOOR PLAN

GROUND FLOOR	105 sf
MAIN FLOOR	554 sf
UPPER FLOOR	603 sf
GROSS	1,262 sf
entry stair exemption	66 sf
main stair exemption	42 sf
upper stairs exemption	27 sf
TOTAL NET	1,127 sf

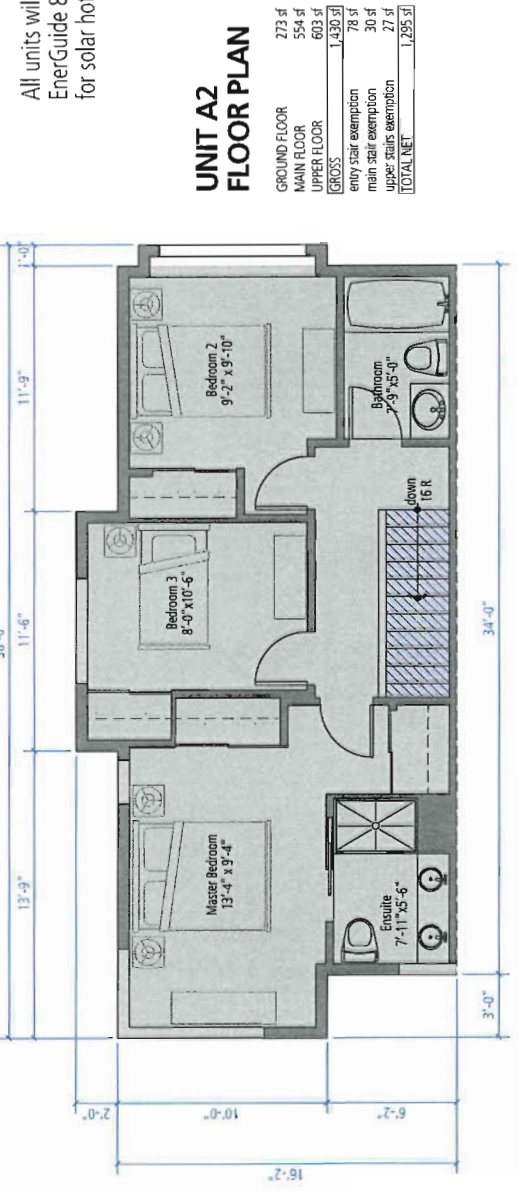
UPPER FLOOR



MAIN FLOOR



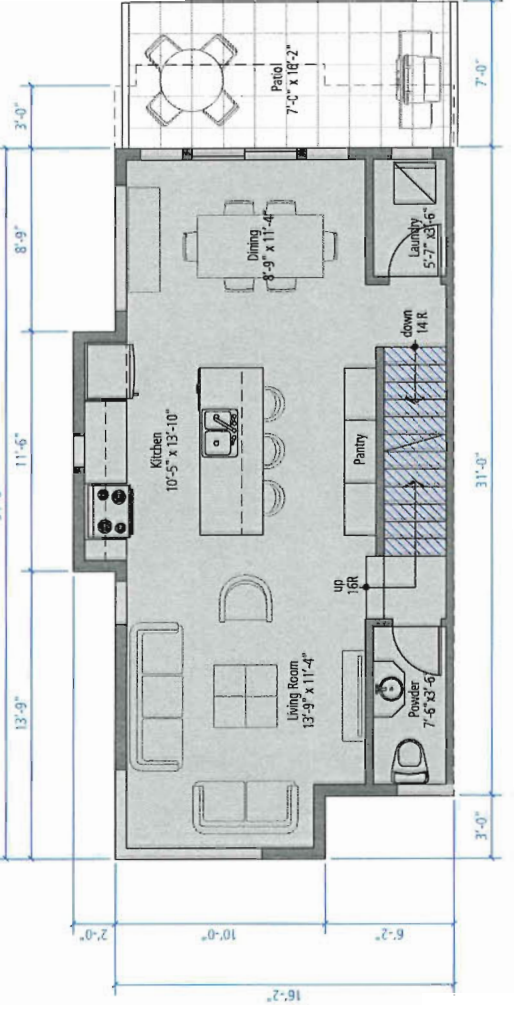
GROUND FLOOR



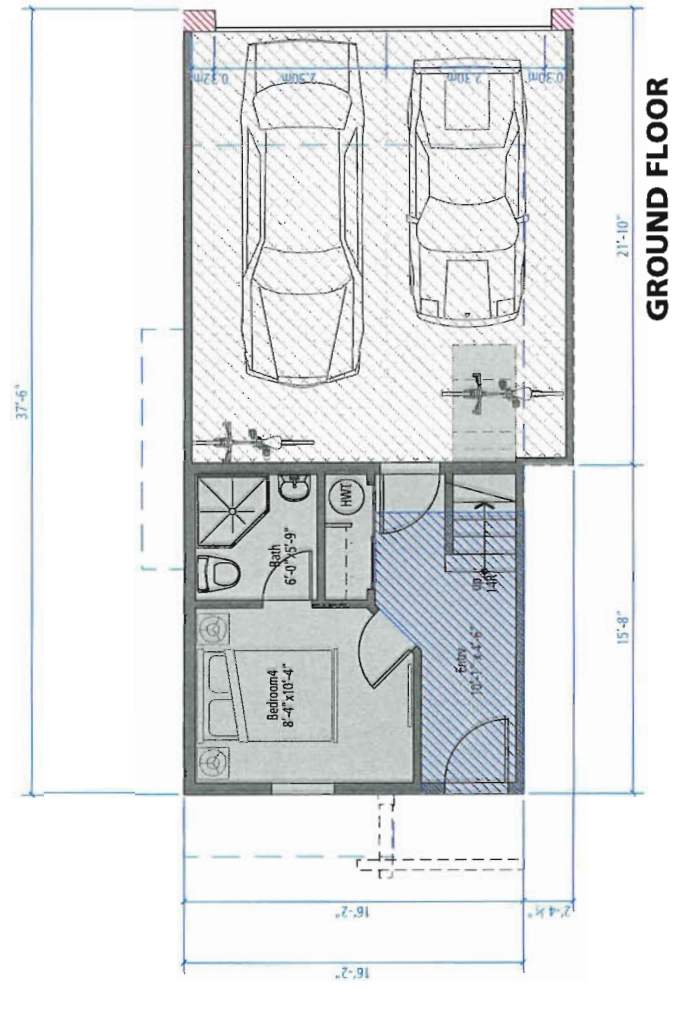
UNIT A2 FLOOR PLAN

GROUND FLOOR	273 sf
MAIN FLOOR	554 sf
UPPER FLOOR	603 sf
GROSS	1,430 sf
entry stair exemption	78 sf
main stair exemption	30 sf
upper stairs exemption	27 sf
TOTAL NET	1,295 sf

UPPER FLOOR



MAIN FLOOR



GROUND FLOOR

All units will be designed to meet EnerGuide 82 and be pre-ducted for solar hot water.

PROVISION OF ACCESSIBILITY FEATURES ON ALL UNITS:

- Entry doors minimum 855 mm clear opening (3'-0" swinging door spec)
- Hallways minimum 900 mm width
- Door from garage to living area minimum 2'-10" (swinging door spec)
- Recessing to bathrooms for installation of grab-bars (toilet, tub and shower)
- Provision of lever door handles
- One window that can be opened with a single hand in the living room
- One window that can be opened with a single hand in one bedroom



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FLOOR PLANS
SCALE 1/4" = 1'-0"

Plan # 23

Mar 23 2015

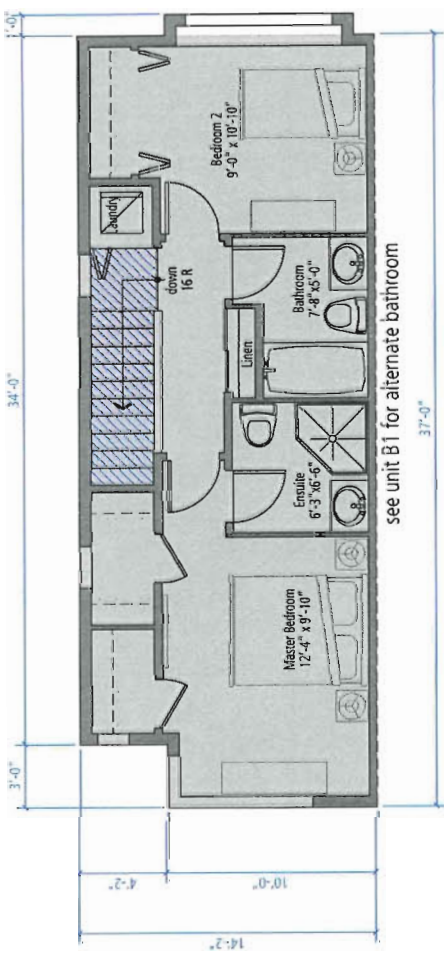
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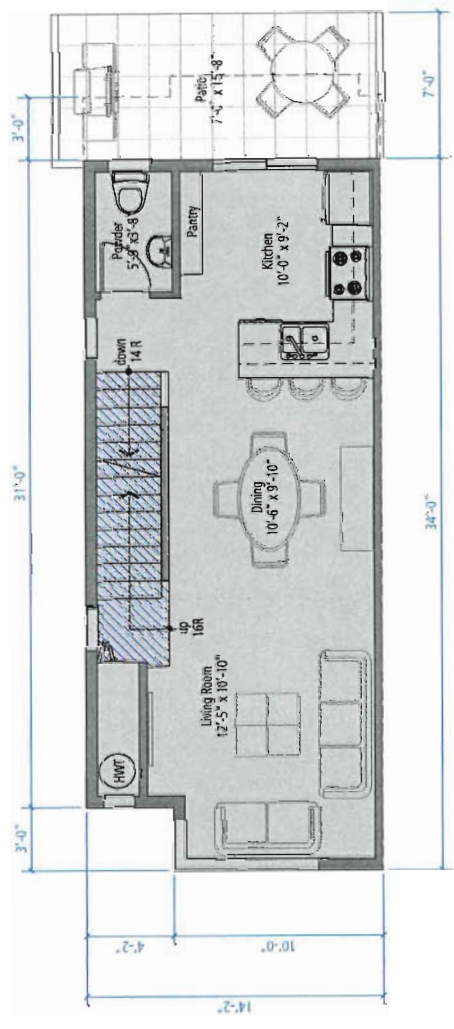
All units will be designed to meet EnerGuide 82 and be pre-ducted for solar hot water.

UNIT B2 FLOOR PLAN

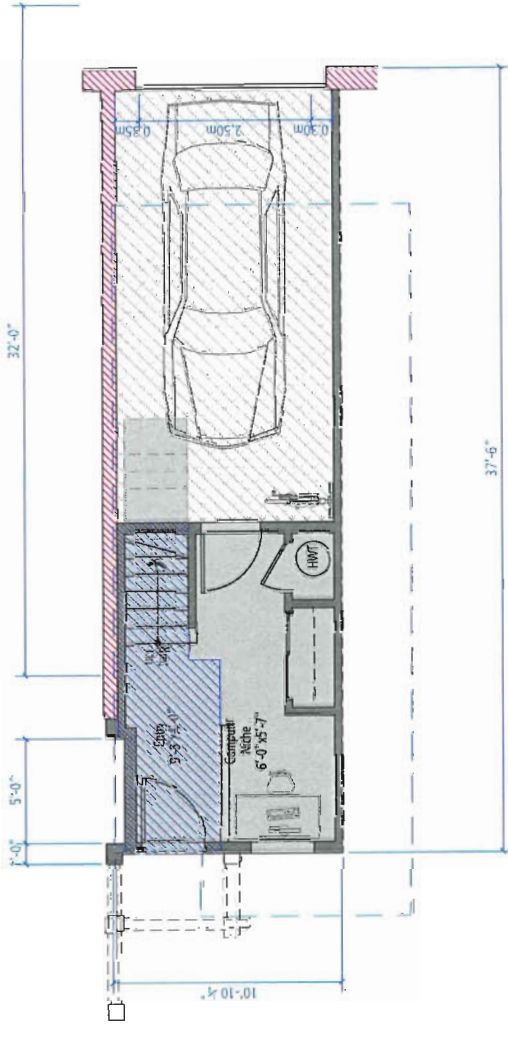
GROUND FLOOR	182 sf
MAIN FLOOR	469 sf
UPPER FLOOR	512 sf
GROSS	1,163 sf
entry stair exemption	65 sf
main stair exemption	43 sf
upper stairs exemption	35 sf
TOTAL NET	1,020 sf



UPPER FLOOR



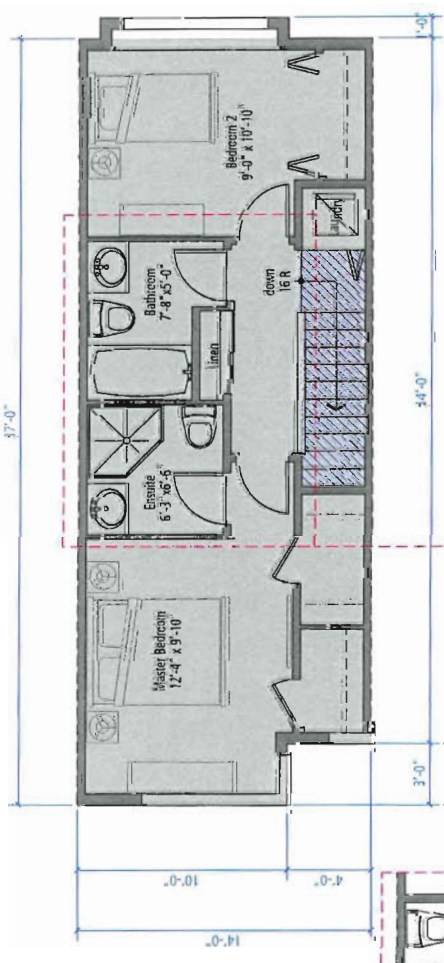
MAIN FLOOR



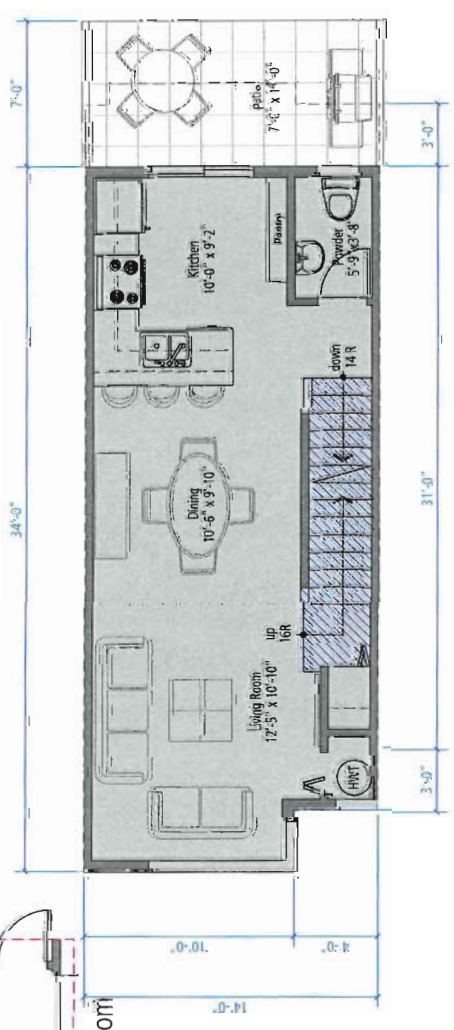
GROUND FLOOR

UNIT B1 FLOOR PLAN

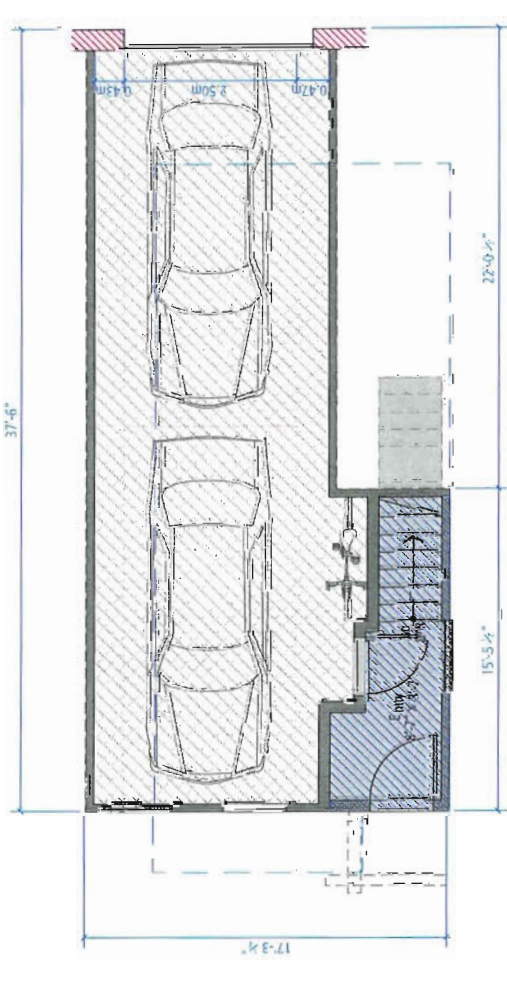
GROUND FLOOR	91 sf
MAIN FLOOR	464 sf
UPPER FLOOR	506 sf
GROSS	1,061 sf
entry stair exemption	65 sf
main stair exemption	43 sf
upper stairs exemption	35 sf
TOTAL NET	918 sf



UPPER FLOOR



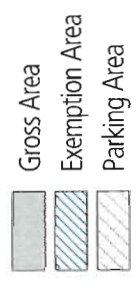
MAIN FLOOR



GROUND FLOOR

PROVISION OF ACCESSIBILITY FEATURES ON ALL UNITS:

- Entry doors minimum 855 mm clear opening (3'-0" swinging door spec.)
- Hallways minimum 900 mm width
- Door from garage to living area minimum 2'-10" (swinging door spec.)
- Blocking to bathrooms for installation of grab-bars (toilet, tub and showers)
- Provision of lever door handles
- One window that can be opened with a single hand in the living room
- One window that can be opened with a single hand in one bedroom



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FLOOR PLANS

SCALE 1/4" = 1'-0"

Plan # 24

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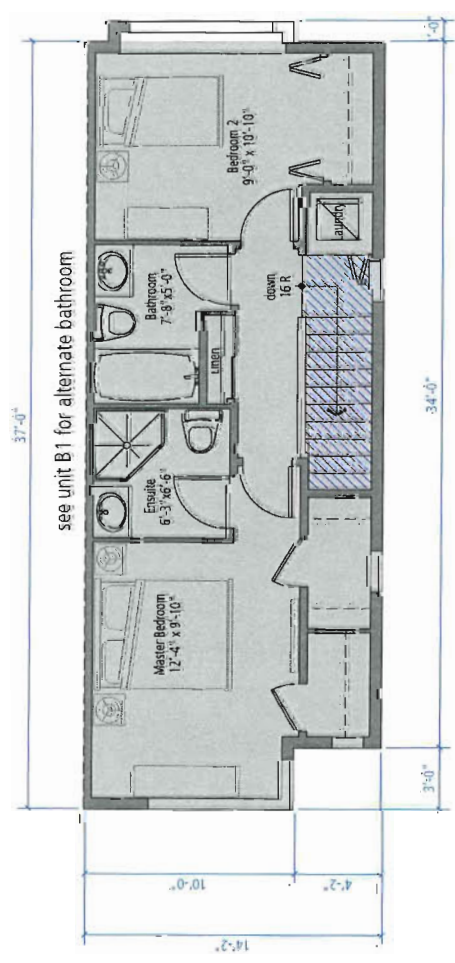
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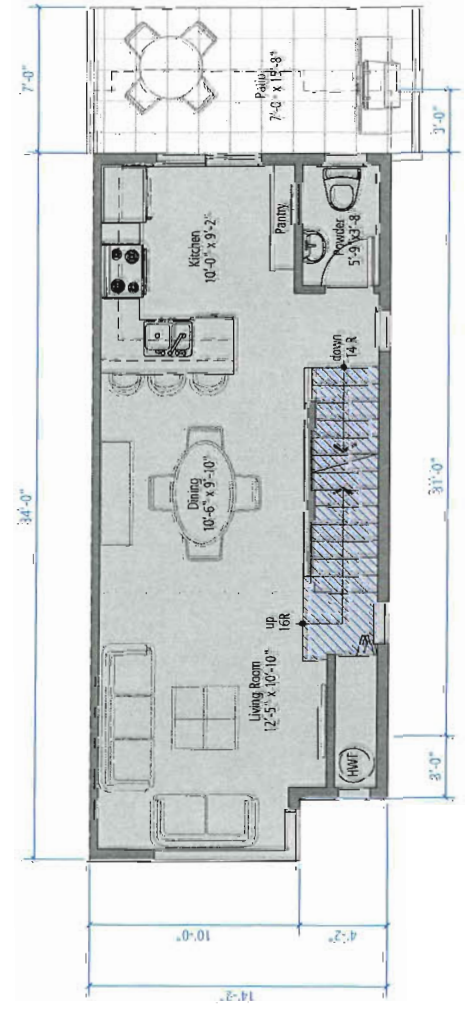
All units will be designed to meet EnerGuide 82 and be pre-ducted for solar hot water.

UNIT B3 FLOOR PLAN

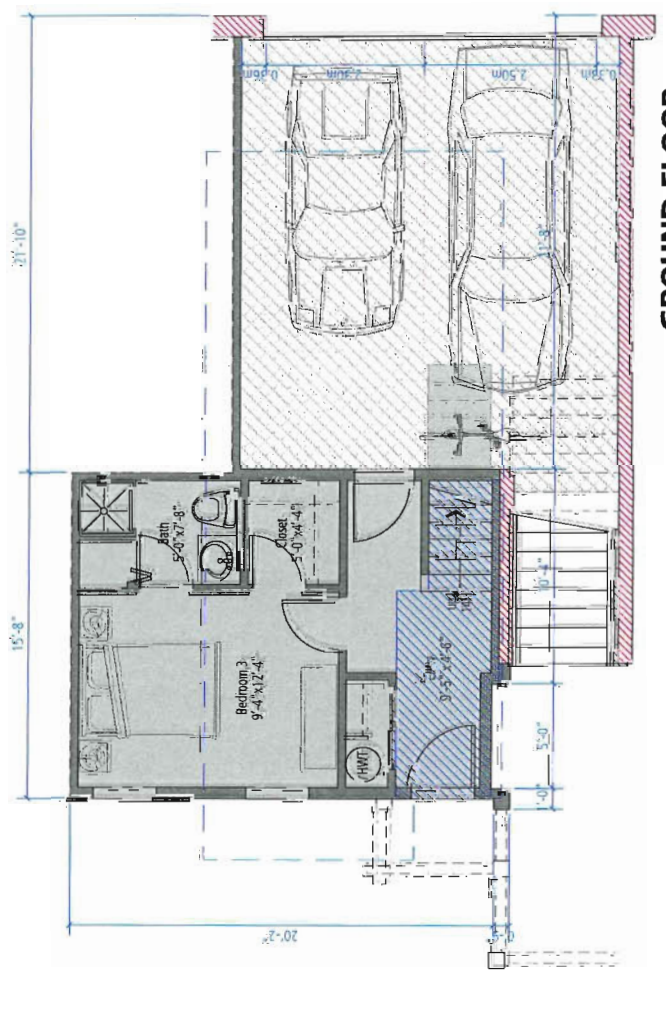
GROUND FLOOR	334 sf
MAIN FLOOR	468 sf
UPPER FLOOR	512 sf
GROSS	1,313 sf
entry stair exemption	65 sf
main stair exemption	43 sf
upper stairs exemption	35 sf
TOTAL NET	1,172 sf



UPPER FLOOR



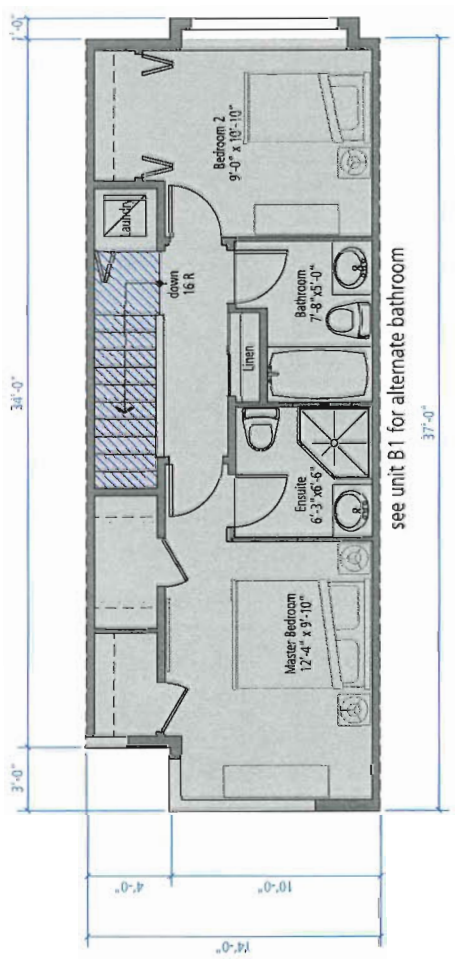
MAIN FLOOR



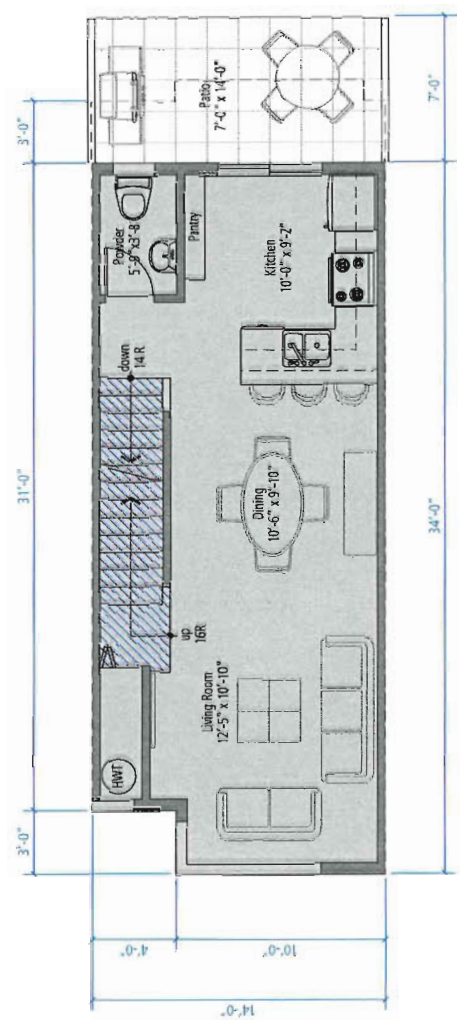
GROUND FLOOR

UNIT B4 FLOOR PLAN

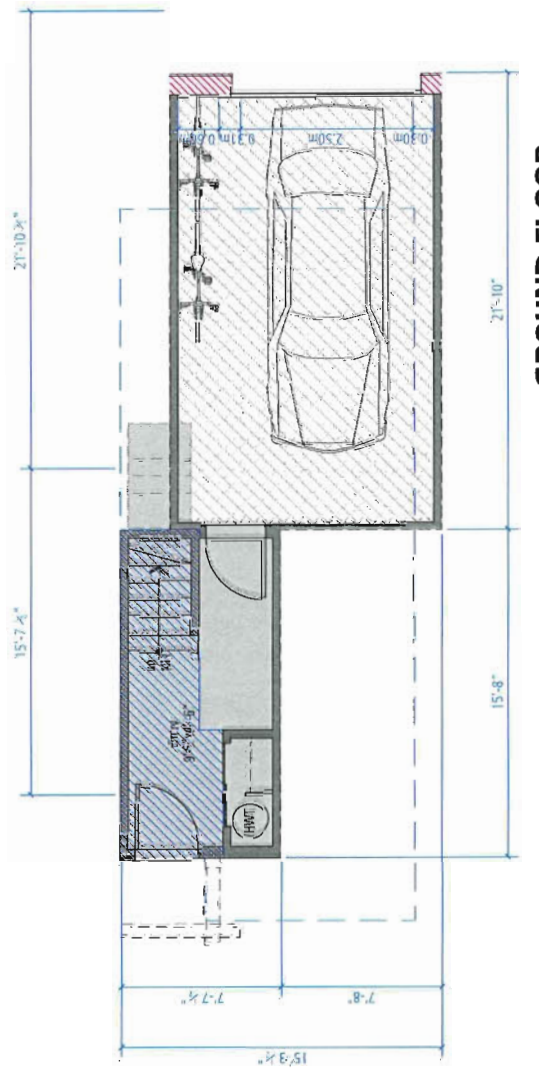
GROUND FLOOR	137 sf
MAIN FLOOR	464 sf
UPPER FLOOR	506 sf
GROSS	1,107 sf
entry stair exemption	65 sf
main stair exemption	43 sf
upper stairs exemption	35 sf
TOTAL NET	964 sf



UPPER FLOOR



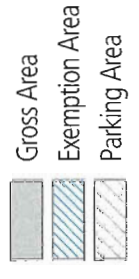
MAIN FLOOR



GROUND FLOOR

PROVISION OF ACCESSIBILITY FEATURES ON ALL UNITS:

- Entry doors minimum 855 mm clear opening (3'-0" swinging door spec.)
- Hallways minimum 900 mm width
- Door from garage to living area minimum 2'-10" (swinging door spec.)
- Blocking to bathrooms for installation of grab-bars (toilet, tub and shower)
- Provision of lever door handles
- One window that can be opened with a single hand in the living room
- One window that can be opened with a single hand in one bedroom



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FLOOR PLANS

SCALE 1/4" = 1'-0"

Plan # 25

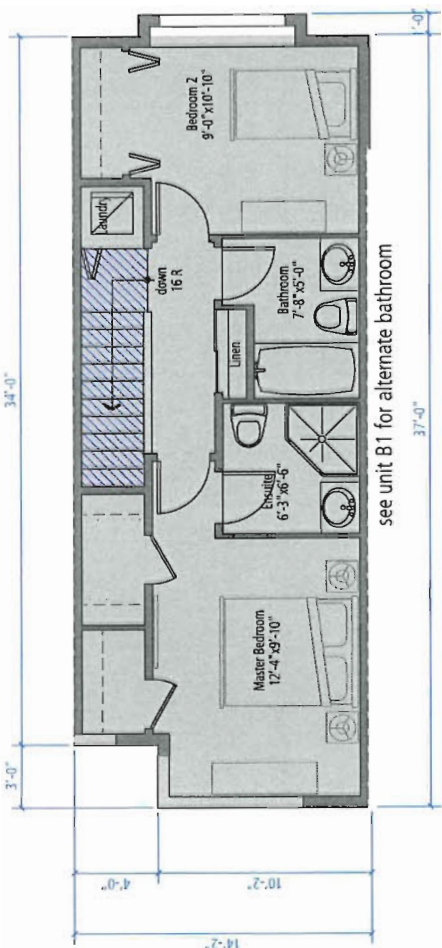
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All units will be designed to meet EnerGuide 82 and be pre-ducted for solar hot water.

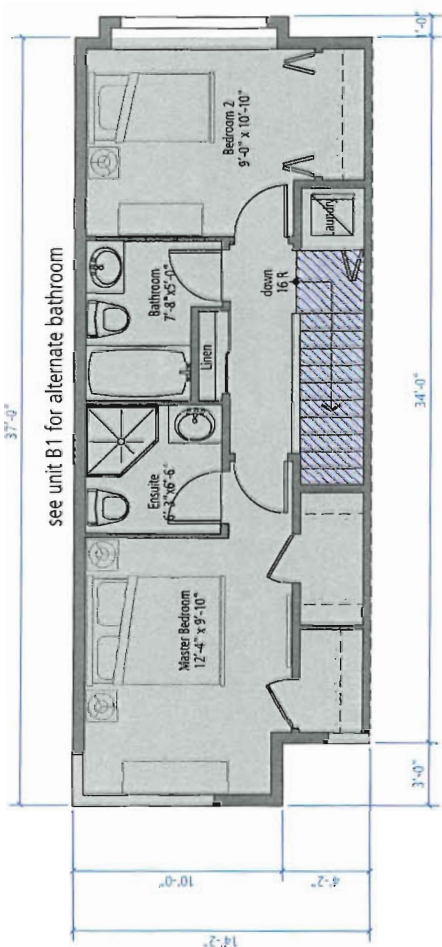
UNIT B6 FLOOR PLAN

GROUND FLOOR	79 sf
MAIN FLOOR	464 sf
UPPER FLOOR	505 sf
GROSS	1,048 sf
entry stair exemption	63 sf
main stair exemption	43 sf
upper stairs exemption	35 sf
TOTAL NET	908 sf

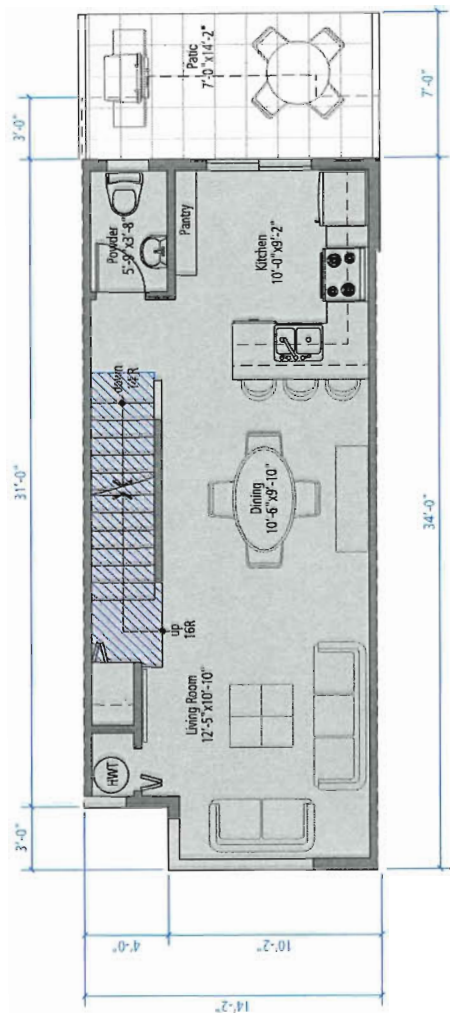


UNIT B5 FLOOR PLAN

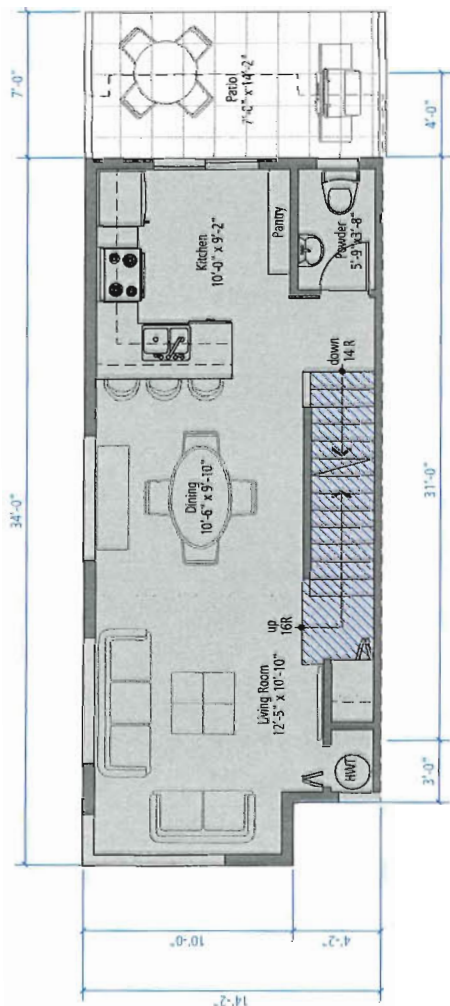
GROUND FLOOR	298 sf
MAIN FLOOR	469 sf
UPPER FLOOR	517 sf
GROSS	1,275 sf
entry stair exemption	65 sf
main stair exemption	43 sf
upper stairs exemption	35 sf
TOTAL NET	1,136 sf



UPPER FLOOR



UPPER FLOOR

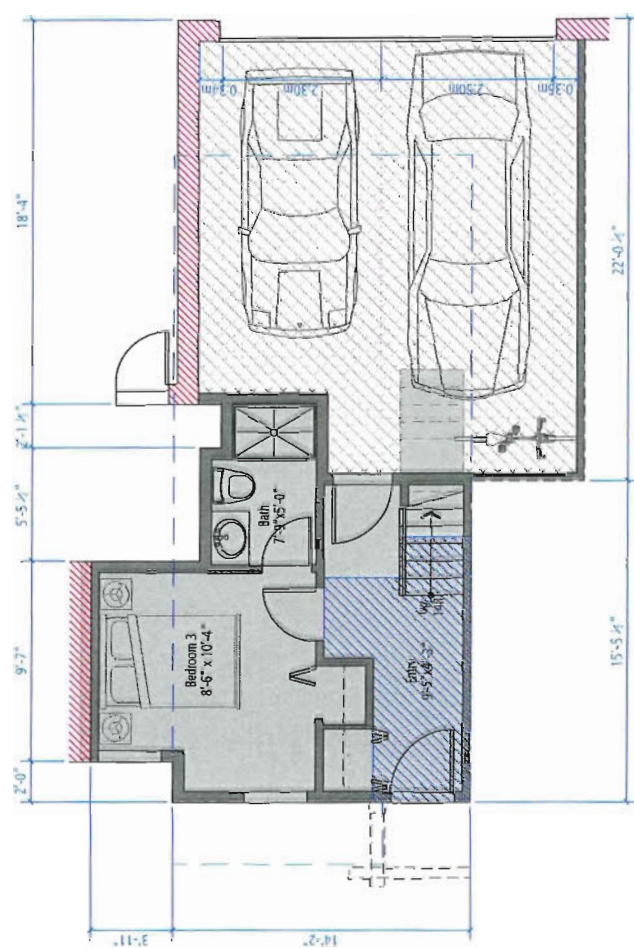


PROVISION OF ACCESSIBILITY FEATURES ON ALL UNITS:

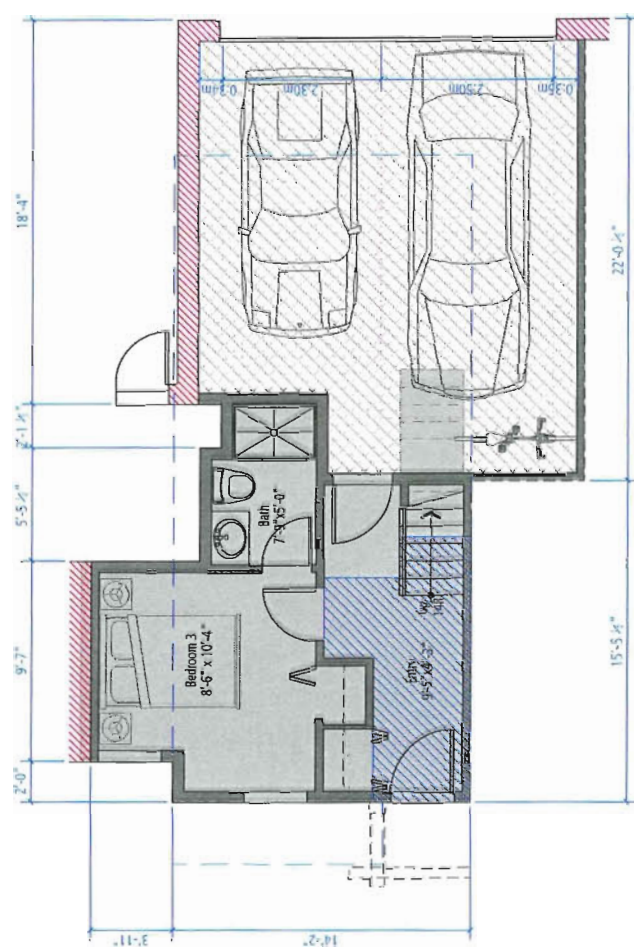
- Entry doors minimum 855 mm clear opening (3'-0" swinging door spec.)
- Hallways minimum 900 mm width
- Door from garage to living area minimum 2'-10" (swinging door spec.)
- Blocking to bathrooms for installation of grab-bars (toilet, tub and shower)
- Provision of lever door handles
- One window that can be opened with a single hand in the living room
- One window that can be opened with a single hand in one bedroom

- Gross Area
- Exemption Area
- Parking Area

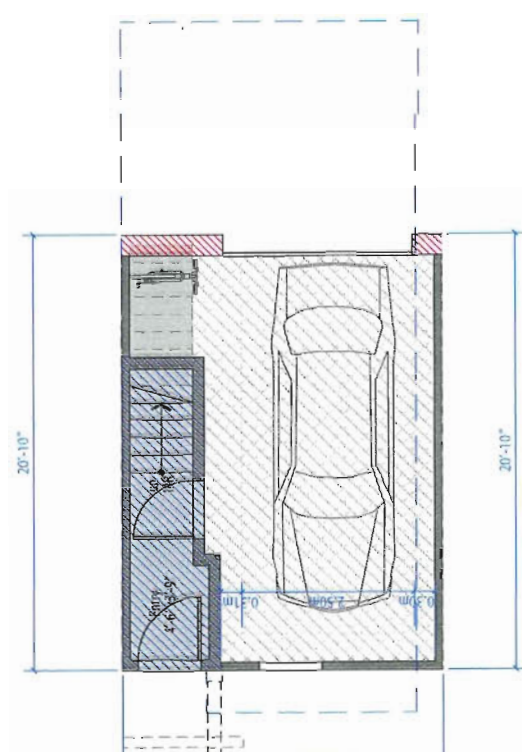
MAIN FLOOR



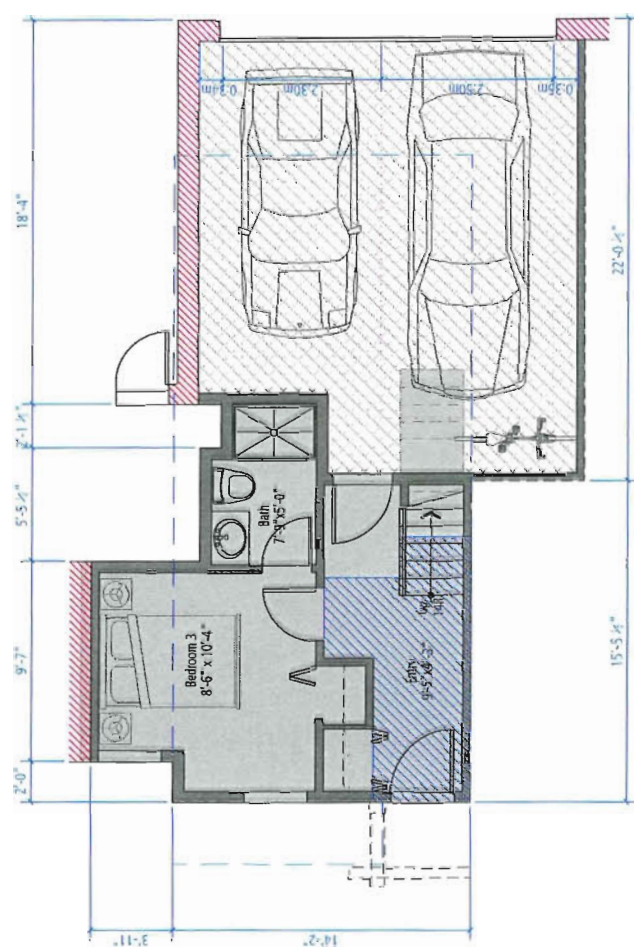
MAIN FLOOR



GROUND FLOOR



GROUND FLOOR



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FLOOR PLANS
SCALE 1/4" = 1'-0"

Plan # 26

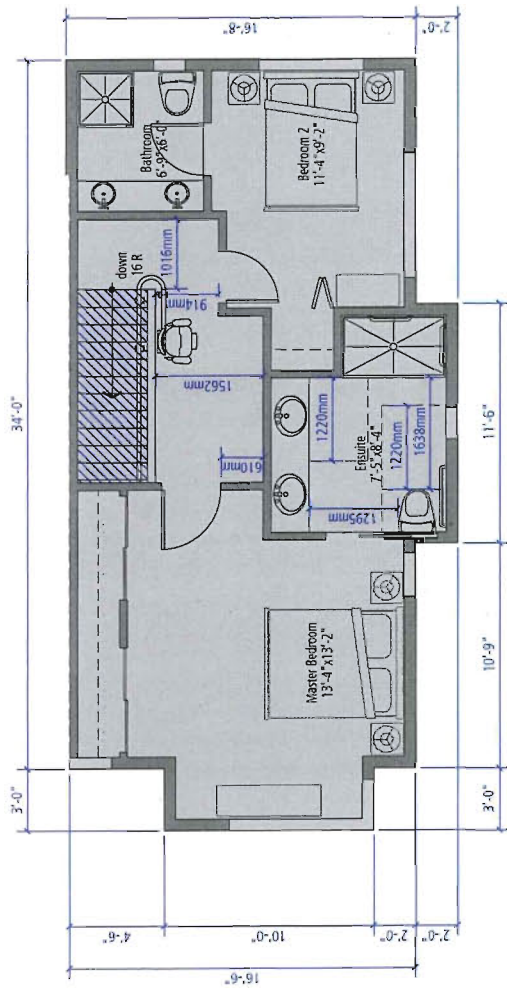
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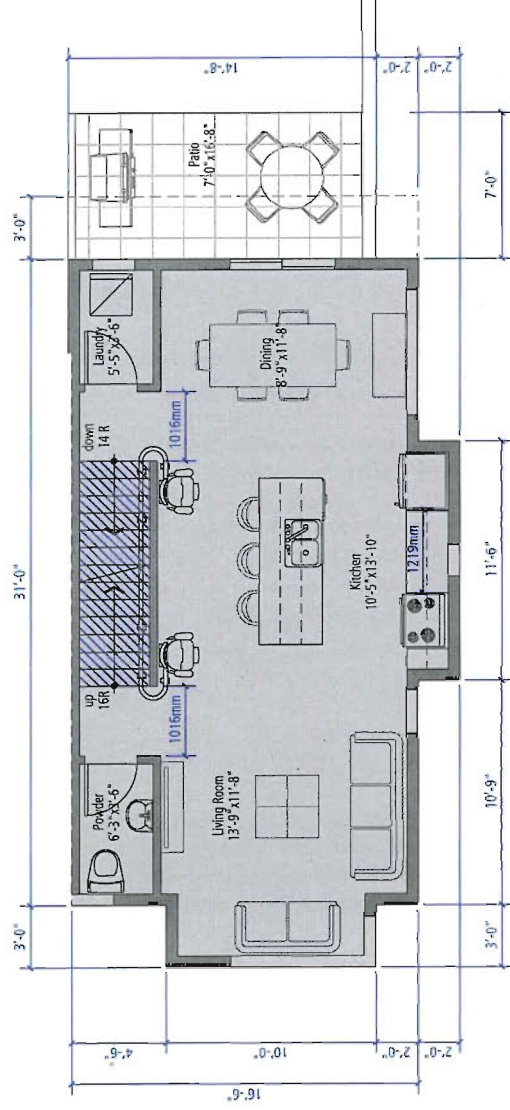
All units will be designed to meet EnerGuide 82 and be pre-ducted for solar hot water.

UNIT C FLOOR PLAN

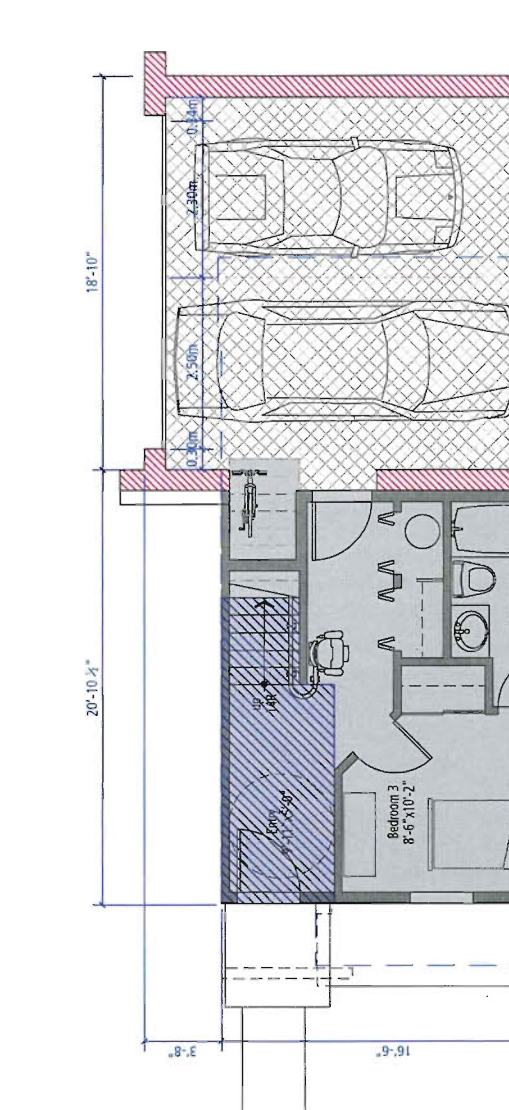
GROUND FLOOR	332 sf
MAIN FLOOR	555 sf
UPPER FLOOR	615 sf
GROSS	1,502 sf
entry stair exemption	72 sf
main stair exemption	36 sf
upper stairs exemption	31 sf
TOTAL NET	1,373 sf



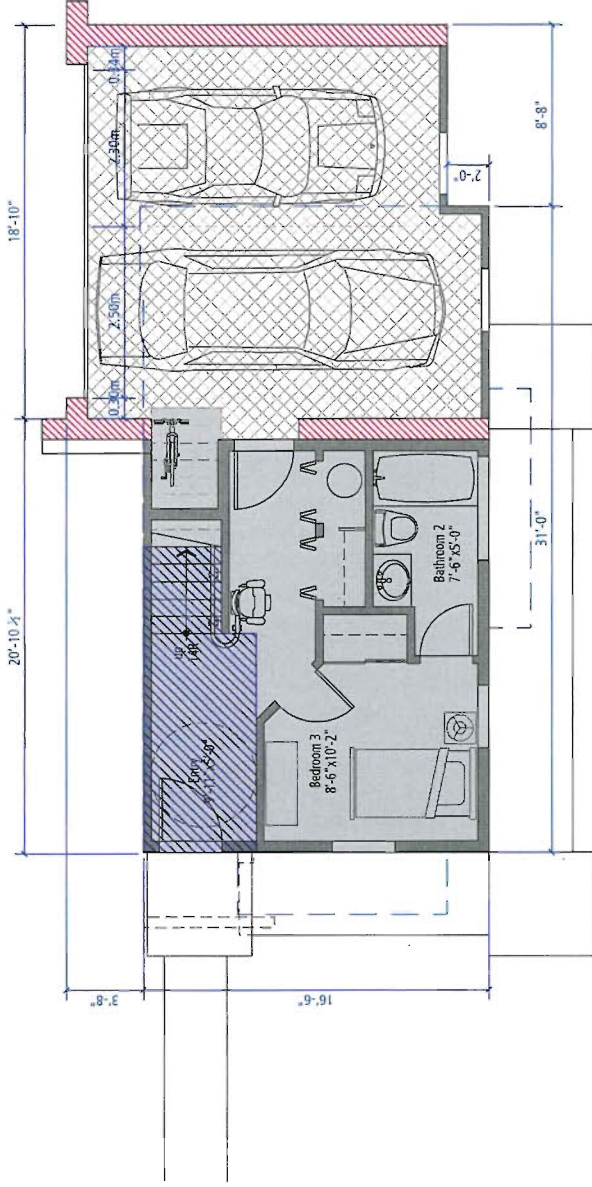
UPPER FLOOR



MAIN FLOOR



GROUND FLOOR



Summary of the Convertible Unit Features Checklist as Submitted

- Entry doors minimum 863 mm clear opening, but ideally 914 mm.
- Entry door clear exterior floor space min. 1220 mm depth by door width plus 600 mm on latch side.
- Interior doors to entry & main living areas, min. 800 mm clear opening. (2'8" sliding or 2'10" swinging door spec.) with flush thresholds max. 13mm height.
- Stair lift (as per manufacturer spec) and framing to accommodate shaft construction.
- Hallways minimum 900 mm width
- Door from garage to living area minimum 800 mm clear opening.
- Min. clear opening 860 mm clear opening to Patios and Balconies.
- Toilet clear floor space min. 1020 mm at side and in front
- Interior Doors to main living areas, 1 bedroom and 1 bedroom min 800 mm clear opening with flush thresholds max. 13 mm height.
- Wall blocking for future installation of grab-bars (toilet, tub and shower)
- Clear area needed under future work space. Plumbing and gas pipes (in-wall and in-floor) located clear of under counter area of future work space (stove, sink & min. 810 mm wide counter)
- 1500 mm turning diameter or turning path diagram
- One window that can be opened with a single hand in the living room
- One window that can be opened with a single hand in one bedroom

- Gross Area
- Exemption Area
- Parking Area

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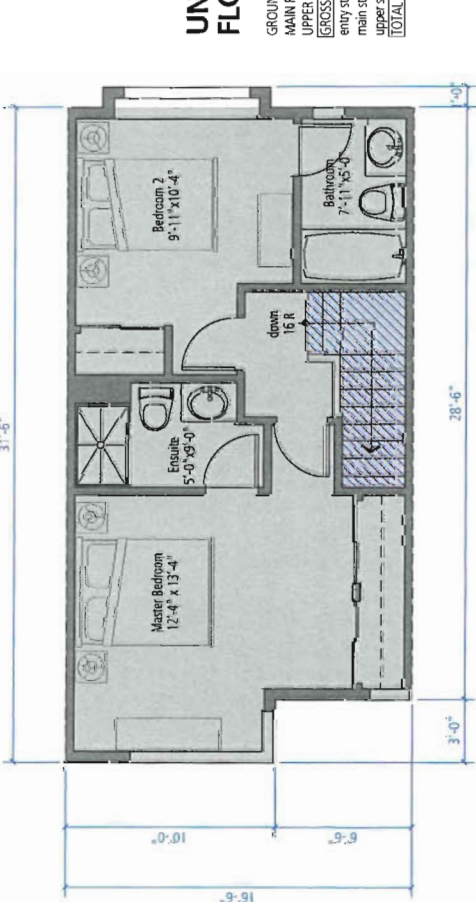


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Plan # 27

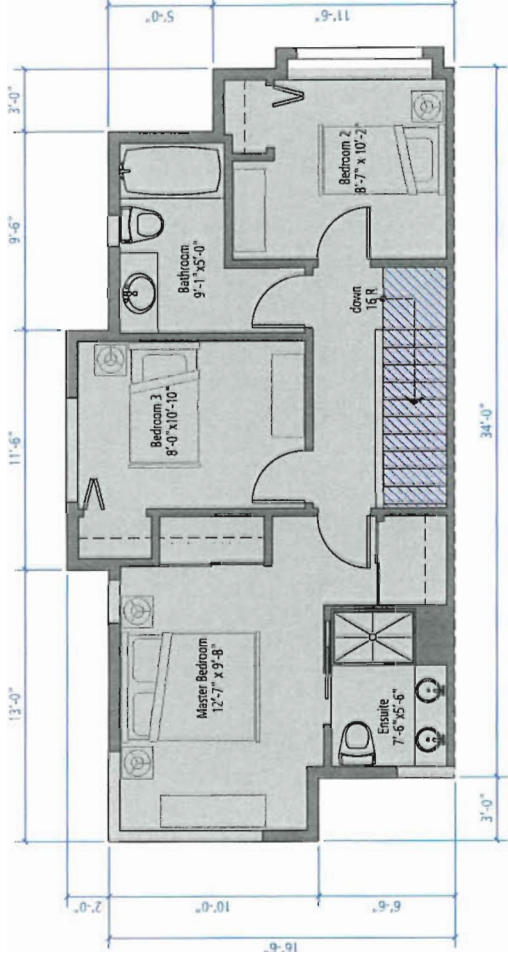
FLOOR PLANS

SCALE 1/4" = 1'-0"



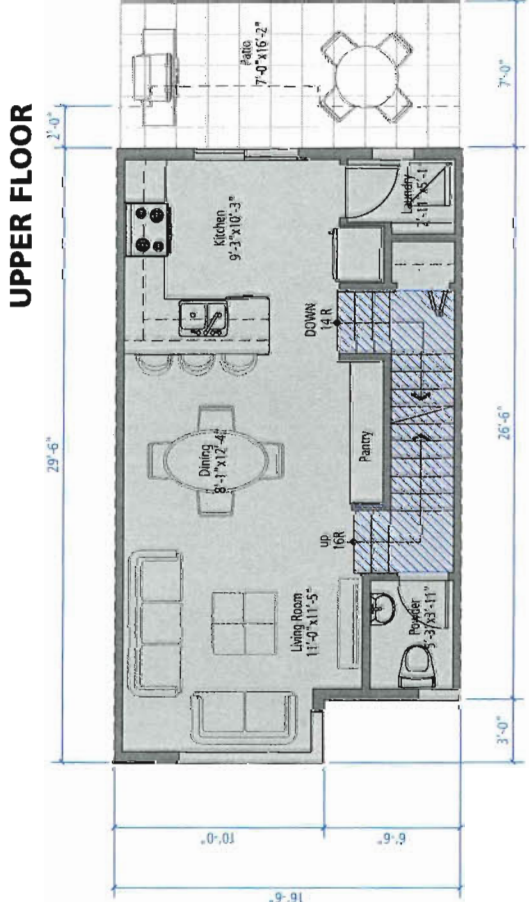
UNIT D FLOOR PLAN

GROUND FLOOR	87 sf
MAIN FLOOR	467 sf
UPPER FLOOR	500 sf
GROSS	1,054 sf
entry stair exemption	55 sf
main stair exemption	53 sf
upper stairs exemption	33 sf
TOTAL NET	913 sf

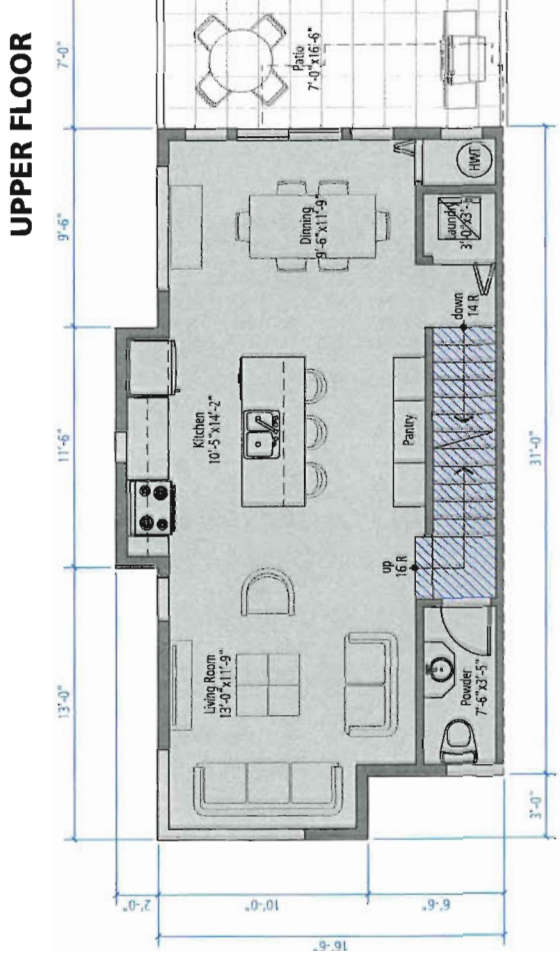


UNIT E FLOOR PLAN

GROUND FLOOR	104 sf
MAIN FLOOR	565 sf
UPPER FLOOR	599 sf
GROSS	1,268 sf
entry stair exemption	66 sf
main stair exemption	42 sf
upper stairs exemption	35 sf
TOTAL NET	1,125 sf



UPPER FLOOR

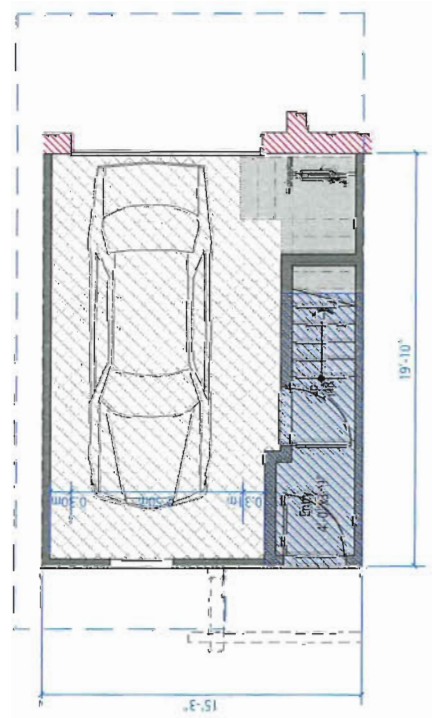
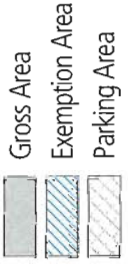


MAIN FLOOR

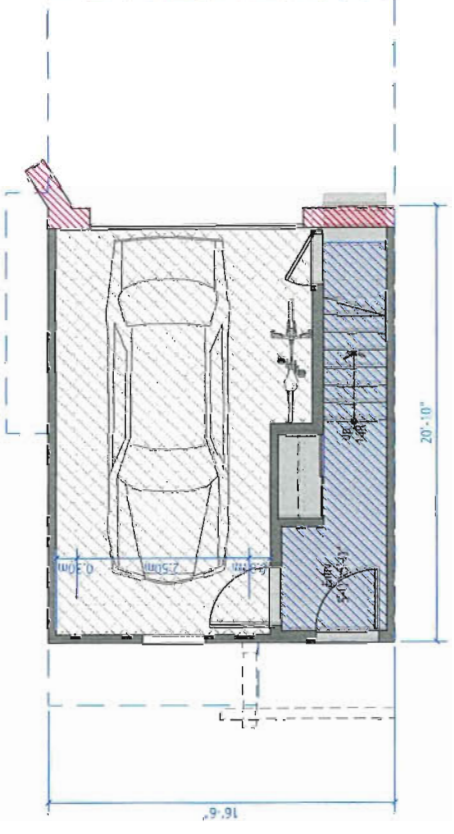
MAIN FLOOR

PROVISION OF ACCESSIBILITY FEATURES ON ALL UNITS:

- Entry doors minimum 855 mm clear opening (3'-0" swinging door spec)
- Hallways minimum 900 mm width
- Door from garage to living area minimum 2'-10" (swinging door spec)
- Blocking to bathrooms for installation of grab-bars (toilet, tub and shower)
- Provision of lever door handles
- One window that can be opened with a single hand in the living room
- One window that can be opened with a single hand in one bedroom



GROUND FLOOR



GROUND FLOOR

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FLOOR PLANS
SCALE 1/4" = 1'-0"

Plan # 28

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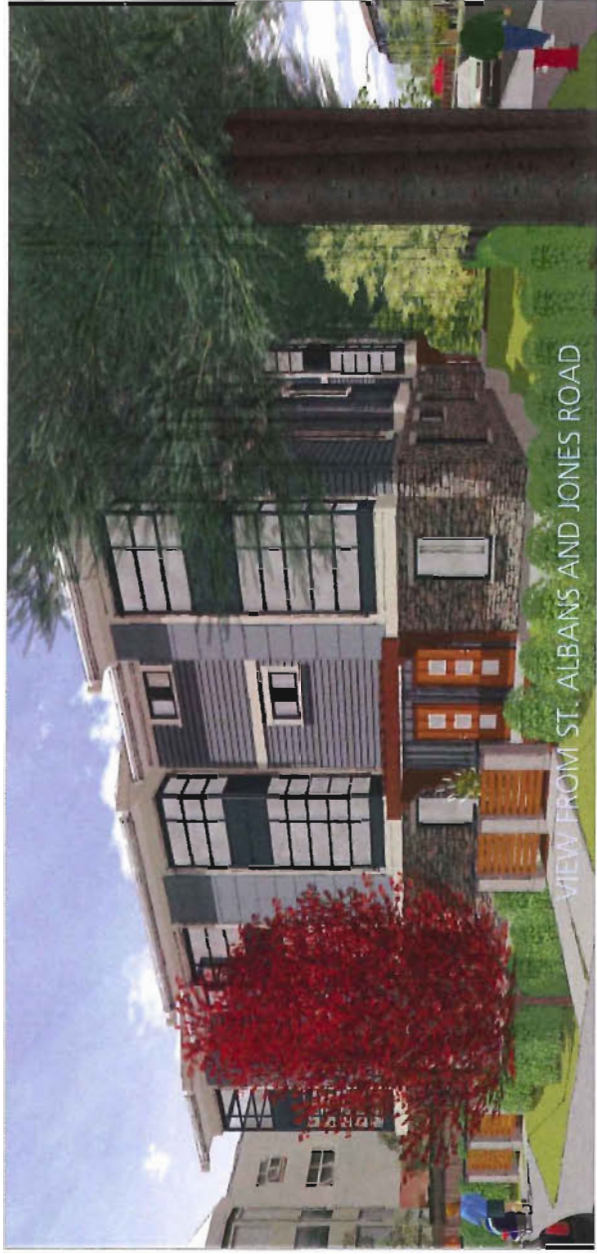
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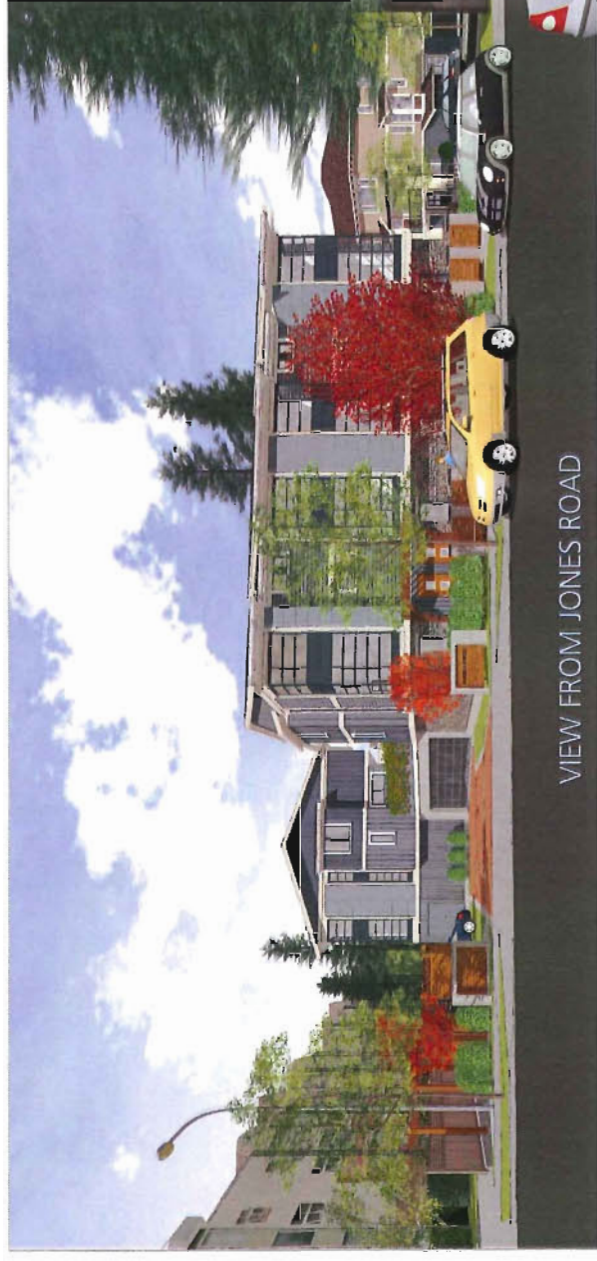
AERIAL 1



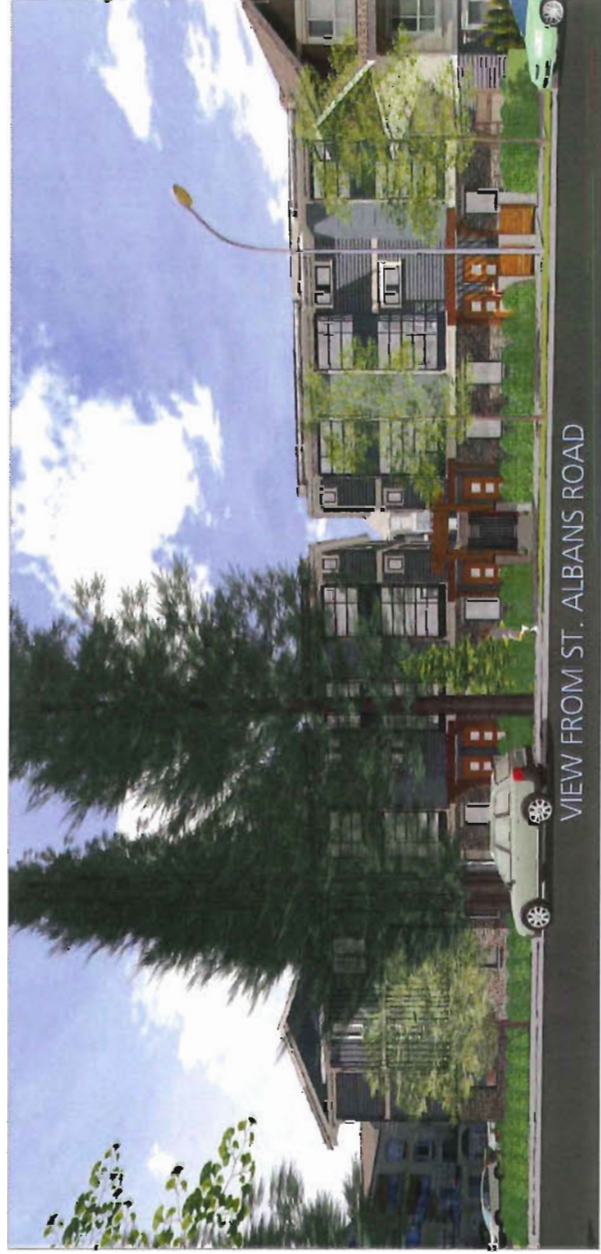
AERIAL 2



VIEW FROM ST. ALBANS AND JONES ROAD



VIEW FROM JONES ROAD



VIEW FROM ST. ALBANS ROAD



VIEW FROM ST. ALBANS AND JONES ROAD

PERSPECTIVES

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