



# City of Richmond

## Report to Development Permit Panel

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**To:** Development Permit Panel **Date:** February 19, 2015  
**From:** Wayne Craig **File:** DP 14-671600  
Director of Development  
**Re:** Application by Am-Pri Developments (2012) Ltd. for a Development Permit at  
9580, 9600, 9620, 9626, 9660 and 9680 Alexandra Road

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### Staff Recommendation

That a Development Permit be issued which would permit the construction of 96 three storey townhomes at 9580, 9600, 9620, 9626, 9660 and 9680 Alexandra Road on a site zoned "Town Housing (ZT67) – Alexandra Neighbourhood (West Cambie)".

  
Wayne Craig  
Director of Development

WC:dcb

## Staff Report

### Origin

Am-Pri Developments (2012) Ltd. has applied to the City of Richmond for permission to develop 96 three storey townhomes at 9580, 9600, 9620, 9626, 9660 and 9680 Alexandra Road on a site zoned "Town Housing (ZT67) – Alexandra Neighbourhood (West Cambie)". The site is currently vacant.

The site is proposed to be consolidated and rezoned from "Single Detached (RS1/F)" and "Two-Unit Dwellings (RD1)" to "Town Housing (ZT67) – Alexandra Neighbourhood (West Cambie)" for this project under Bylaw 9136 (RZ 13-649999 – third reading received on July 21, 2013).

A Servicing Agreement for offsite improvements (e.g. sidewalks, boulevards, lighting, road improvements, utility installations, etc.) along both the Alexandra Road and Alderbridge Road frontages is required prior to Rezoning adoption.

### Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

### Surrounding Development

Development surrounding the subject site is as follows:

To the North: An existing 26 building three storey townhouse development (known as "Wishing Tree") on a 24,291 m<sup>2</sup> sized lot containing 141 units [zoned "Town Housing (ZT67) – Alexandra Neighbourhood (West Cambie)"], a City owned park/greenway at 9611 Alexandra Road and a single, large lot currently zoned "Single Detached (RS1/F)".

To the East: A multi-family residential site (9728 Alexandra Road) zoned "Town Housing (ZT71) – Alexandra Neighbourhood (West Cambie)". This site was recently rezoned (Polygon Development 296 Ltd. RZ 13-649641 adopted Dec. 8, 2014) to allow development of approximately 64 three storey townhouse dwellings. The Development Permit (DP 14-667441) was also issued on Dec. 8, 2014.

To the South: Alderbridge Way and the Garden City lands (5555 No. 4 Road) to the south of that. The 55 hectare (136.5 acres) Garden City lands are zoned "Agriculture (AG1)".

To the West: A lot (9560 Alexandra Road) zoned "Single Detached (RS1/F)". An application for rezoning from "Single-Detached (RS1/F)" to "Town Housing (ZT67)" has been submitted by Yamamoto Architecture Inc. in order to construct 21 townhouse units.

## Background

### *Project Overview*

The Developer's intent is to create a multi-family development with approximately 96 three storey townhouses in a total of 21 buildings plus a centrally located 119 m<sup>2</sup> (1,280.9 ft<sup>2</sup>) amenity building and two separate open space amenity areas totaling approximately 576 m<sup>2</sup> (6,200 ft<sup>2</sup>). An 20 m wide (215.28 ft<sup>2</sup>), 1,068 m<sup>2</sup> (11,495.8 ft<sup>2</sup>) greenway is proposed across the north-western portion of the property that will become part of the future link between Alderbridge Way and the interior of the Alexandra Neighbourhood. This greenway link is a key component of the Alexandra Neighbourhood Land Use Plan. The greenway will be included within the Servicing Agreement and design, construction and enhancement will be coordinated with the City Parks Department.

## Related Policies & Studies

### *Official Community Plan- West Cambie Area Plan*

The subject properties are designated "Neighbourhood Residential" in the Official Community Plan – West Cambie Area Plan with the exception of a greenway strip over 9540 Alexandra Road and portions of 9560 – 9600 Alexandra Road. Townhouses are permitted within the areas designated for Neighbourhood Residential. The OCP also notes the remnant Environmentally Sensitive Area designation which is addressed through this application.

### *Affordable Housing Strategy*

The applicant will not utilize the available density bonus provisions and is proposing a project density of 0.65 FAR with a monetary contribution to the Affordable Housing Reserve in accordance with the contribution rates established by Council Policy 5044. The monetary contribution was included as part of the Rezoning Considerations.

### *Environmentally Sensitive Area Designations and Response*

The Environmentally Sensitive Area (ESA) features on the subject site were reassessed in detail through the project's Rezoning application. The site plan submitted through this Development Permit application provide a 3 m (9.84 ft) wide native species vegetation strip along the site's entire eastern property line. This vegetation strip was designed with the intent of complementing a similar vegetation strip being incorporated into a newly approved development at 9728 Alexandra Road immediately to the east of the subject property. A second four metre wide vegetation strip is included in the 6 m (19.68 ft) wide setback along the southern edge of the site adjacent to Alderbridge Road. The Development Considerations include requirements for legal agreements to be registered to protect and maintain the ESA strips prior to the Development Permit being issued.

## Rezoning and Public Hearing Results

During the rezoning process, staff identified the following design issues to be resolved at the Development Permit stage:

- Confirmation of the site plan in relation to the Zoning Schedule "Town Housing (ZT67) – Alexandra Neighbourhood (West Cambie)", detailing building massing and design,

- provision of parking, loading, pedestrian access, amenity areas, surface permeability, incorporation of play areas;
- Details on the existing vegetation, ESA mitigation, compensation and long term maintenance plan preparation and protection;
  - Follow up on tree assessments on City lands and trees on shared property boundaries;
  - Registration of legal agreements for the protection and maintenance of the ESA vegetation areas;
  - Confirmation of the Public Art response;
  - Resolving on-site garbage collection and appropriate vehicle movement allowances;
  - Provision of an emergency vehicle access between the subject site and Alderbridge Way;
  - Incorporation of appropriate Aircraft Noise Mitigation measures in the building plans;
  - Addressing accessibility features within the units;
  - Addressing drainage concerns adjacent to the Alexandra Road greenway and in the corridor between this site and the Polygon site to the east. Design of the greenway with parks and engineering; and
  - Confirmation of the sustainability measures that will be built into the units.

The applicant worked closely with staff to ensure that each of these elements are addressed in the final design plans.

#### *Environmentally Sensitive Area Habitat Balance and Compensation*

As identified through the Rezoning report from the Director of Development (RZ 13-649999 report dated May 28, 2014) the objective of the vegetation compensation and enhancement measures proposed for this site is to create high quality songbird habitat and movement corridors for small birds and animals using native trees and shrubs. The detailed landscaping plans submitted for this Development Permit are consistent with this overall objective and should provide foraging, roosting and general songbird habitat opportunities along the proposed ESA corridor strips and should result in a higher quality of habitat than what had previously existed on the site.

The overall habitat balance analysis provided by Stantec's biologist for the Rezoning indicated that a net loss of 37 m<sup>2</sup> (398.26 ft<sup>2</sup>) was anticipated for the site as a result of the development. A follow up analysis by Stantec of the Development Permit compensation and enhancement plans confirms this net loss figure. The Developer has agreed to provide a voluntary contribution of \$1,518.00 (based on \$48.00/m<sup>2</sup>) for environmental enhancements as compensation for the habitat losses incurred on site. This contribution amount is included in the Rezoning Considerations.

Vegetation enhancements and drainage requirements within the 20 m (65.62 ft) wide greenway will be coordinated through the Servicing Agreement and in consultation with Parks staff.

Legal agreements regarding the protection and maintenance of the ESA area are included as requirements to be completed prior to final issuance of the Development Permit. Submission of a bird nesting survey report biologist prior to site clearing is included as a requirement in the Development Permit Considerations.

## Zoning Compliance

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the "Town Housing (ZT67) – Alexandra Neighbourhood (West Cambie)".

## Urban Design Response

### *Advisory Design Panel Comments*

This application was reviewed by the Advisory Design Panel (ADP) on two separate occasions. At their initial review on November 19, 2014 the proposal was referred back to staff to address concerns including:

- the overall design appeared too repetitive;
- internal corridors were too long and without visual relief;
- building elements needing more resolution in terms of articulation and roof forms;
- placement of hydro kiosks;
- additional children's play space being needed; and
- shadowing impacts onto the central open space.

The applicant worked with staff to address the concerns raised by the Panel ultimately redesigning both the site plan and building elevations and roof elements. The redesigned plans were resubmitted to the Advisory Design Panel on January 21, 2015, receiving unanimous support. A copy of the relevant excerpt from the Advisory Design Panel Minutes of January 21, 2015 are attached for reference (Attachment 2). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '***bold italics***'.

### *Conditions of Adjacency*

- The form and massing of the proposed 3 storey townhouse development is consistent with existing and proposed townhouse developments to the north, east (Polygon's recently approved 64 unit, three storey "Jayden Mews" townhouse project) and to the west (a 20-21 three storey townhouse proposal under review). Grade elevations for the projects on both sides of the subject site are anticipated to match the site grades proposed for the subject site.
- Vegetation buffer strips proposed along the site's southern boundary adjacent to Alderbridge will provide a soft visual barrier from the south and will be consistent with the vegetation buffer sought from adjacent developments.
- A 3 m (9.84 ft) wide ESA native vegetation strip is provided along the eastern property line complementing a similar ESA native vegetation strip provided by the Polygon development located to the east of the subject site (DP 14-667441).
- The 20 m (65.62 ft) wide greenway strip along approximately half of the site's frontage with Alexandra Road will both buffer adjacent units from the street and will create a soft green edge providing a visual break to the residential presence along Alexandra Road.
- A Statutory Right of Way, required as part of the project's Rezoning Considerations, will provide legal access through the subject site to the property to the west.

- Way finding signage is proposed near the main driveway entrance showing the layout of both the subject site and the adjacent site to the west to facilitate visitors to the site as well as emergency service providers.
- Dwelling units fronting onto Alexandra Road will be constructed with their front entrance doors oriented to the street to lend a more pedestrian friendly face to the street.

#### ***Public Realm***

- This development will be required to construct a 3.3 m (10.83 ft) wide shared cyclist and pedestrian pathway plus a 1.5 m (4.92 ft) wide treed boulevard at its interface with Alderbridge Way. These works will connect with similar provisions from developments to both the east and west and ultimately creating a continuous pedestrian walking pathway between Garden City Road and No. 4 Road.
- Additional tree planting will be secured through the project's Servicing Agreement to enhance the centre median of Alderbridge Way along the length of the site's frontage.
- Along Alexandra Road, frontage improvements included in the project's Servicing Agreement include raising the road bed itself, provision of parking spaces and lighting on one side of the road, a 1.5 m (4.92 ft) grassed boulevard with street trees and a 2 m (6.56 ft) wide sidewalk.

#### ***Site and Functional Planning***

- The site is designed around two separate open space areas both of which include tables and chairs, trellis features and open grassed areas.
- Pedestrian circulation has been accommodated throughout the interior of the site incorporating 1.5 m (4.92 ft) wide walkways leading to most of the units in the north-eastern wing of the project as well as units in the centre of the project near the amenity building.
- Vehicle circulation within the project is in the form of a loop in the central part of the site making it easy for larger trucks to access and exit the site.
- A bollarded emergency access is provided to allow emergency service vehicles to access the site from Alderbridge Way should it be necessary. If an additional emergency access is created for the property to the west (9560 Alexandra Road) staff will explore whether the emergency access for the subject site can be closed and the access landscaped. If this can be achieved staff will also determine whether any related legal agreements related to the emergency access off Alderbridge Way for the subject property can be discharged.
- Colored unit pavers are used to aid pedestrian circulation through the site and alert motorists to higher pedestrian traffic areas.
- Way finding signage will be located near the main entrance to the complex.
- A bicycle rack is conveniently located adjacent to the central amenity building.

#### ***Landscaping Form and Character***

- Landscaping is stratified into three distinct groups addressing residential areas, restoration planting in the 20 m (65.62 ft) greenway area and the Environmentally Sensitive Area (ESA) buffer strips.
- In the residential areas along the internal roadways taller vegetation is incorporated to soften the interior spaces.
- Residential vegetation provides a mix of native trees and flowering shrubs and ground covers.

- Tree and shrub selections proposed for the restoration area and the ESA strips are predominately comprised of native species.
- A total of 216 trees are proposed for planting on site – fully addressing the Official Community Plan (OCP) 2:1 replacement requirements.
- Separate maintenance schedules have been prepared to address the different planting areas.
- A large 95 m<sup>2</sup> (1,022.57 ft<sup>2</sup>) children's play area is proposed in the southern portion of the central amenity area. An integrated climbing structure, log steppers and pin tail play equipment over a pea gravel base comprise the play space. Nearby picnic tables and benches have also been incorporated into the central amenity space.
- Based on the cost estimates provided by the Developer's consultants a landscape security in the amount of \$471,165.75 (inclusive of a 10% contingency) is included in the Development Permit Considerations.

#### ***Architectural Form and Character***

- The Developer has purposely sought to create a modern contemporary building form that also addresses aspects such as liveability, aging in place, sustainability and accessibility in the project's design.
- The project has been designed with seven different unit sizes ranging from approximately 152.4 m<sup>2</sup> to 175 m<sup>2</sup> (1,640.4 ft<sup>2</sup> to 1,883.68 ft<sup>2</sup>) and all of the 96 residential units have been designed with 3 bedrooms. This combination contributes to the overall massing requirements of each unit and the building mass as a whole.
- Each unit includes private outdoor amenity space typically in backyards and balconies.
- Exterior elevations incorporate three color schemes to differentiate units and blocks of units.
- A variety of bay forms, bay sizes and roof forms are used to avoid excessive repetition.
- Color is also used to accentuate projecting elements.
- Both building masses and individual units have been stepped to provide a more interesting face to the internal road.
- Roof forms throughout the project are varied including pop-up elements as well as gable forms.
- Building elevations include a base of stone wainscot on strategic frontages, premium quality vinyl, hardie panel, hardie plank siding, painted board and batten and metal clad entry and garage doors. Asphalt roof shingles are used on all roofing elements.
- The central amenity building has been designed to be consistent with the residential buildings.

#### **Accessible Housing**

- The proposed development includes ten (10) convertible units that are designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of these units will require the removal of a floor structures on two levels to accommodate a future elevator, the installation of an automatic door opener (prewired) and additional grab bar installations (wood blocking installed to accommodate). A convertible unit checklist is included in the design plans.
- The ten convertible dwellings provide features allowing for ready conversion to accommodate individuals with disabilities or in wheel chairs. Inside garage spaces for these units have sufficient space to accommodate accessible access. The convertible unit floor plans include a checklist of convertible features.

- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
  - stairwell hand rails;
  - lever-type handles for plumbing fixtures and door handles; and
  - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

### **Crime Prevention through Environmental Design (CPTED)**

- Residential unit doorways are readily visible from the internal drive aisles or from pedestrian circulation pathways that will be lit with lighted bollards.
- Metal clad entry doors are proposed for all the residential units.
- Key areas of the internal drive aisle (e.g. driveway ends, at bends in the entrance driveway) will be lit with lighted bollards.
- Vehicle stop bollards will be located at the emergency access to prevent unauthorized vehicles from accessing Alderbridge Way. The bollards will permit pedestrian access through to Alderbridge Way. This aspect addresses desire lines of movement through the site.
- The children's play area is located away from vehicle drive aisles and includes benches to facilitate parental observation while children are playing.
- The mail box facility will be located in a well lit area within the amenity building and protected from the elements.

### **Servicing Agreements/Engineering**

Frontage improvements are proposed along Alexandra Road including raising the Alexandra road surface, the installation of concrete sidewalks, parking along the south side of Alexandra Road and new light standards. In addition, upgrading and/or replacement of existing sanitary lines, storm lines, water main lines, additional fire hydrants and the undergrounding of hydro lines, will be required as part of development's off-site works.

A land dedication along Alderbridge Way was included in the Rezoning Considerations to accommodate the installation of a new public sidewalk and a treed boulevard that will ultimately run between Garden City Road and No. 4 Road.

### **Sustainability**

#### *Sustainability Initiatives*

The Developer has committed to achieving an Ener-Guide rating of 82 or better and to pre-duct for solar hot water heating for this townhouse project. An Ener-Guide analysis has been performed based on the project's design plans by Capture Energy (report dated October 24, 2014) confirming that the required Ener-Guide 82 rating will be achieved by all the residential units in this development.

In addition to the Ener-Guide objectives, the Developer has committed to including the following sustainability measures in all of the development's 96 units:

- Separate thermostats for each room;
- Low-E energy star rated windows;

- Low flow fixtures and energy star appliances are included in all the units;
- Fully insulated garage walls;
- Ener-Guide rated electric range (optional to purchasers);
- Advanced sealing package, foam around window and door openings and all exterior wall penetrations;
- Fibreglass exterior doors;
- Minimum 30 year roofing material - with 30 year manufacturer's warranty;
- Natural stone countertops;
- Many suppliers and trades are to recycle their own waste;
- Building a central recycling centre; and
- Many products used for these homes will be manufactured within 800 km.

### **Conclusions**

Significant efforts were made by the Developer and the design team to address concerns raised by the Advisory Design Panel and staff with the initial design proposal. The revised proposal presents a significant improvement and a design package which will complement Richmond's urban landscape. Staff are recommending support of the proposed development proposal.



David Brownlee  
Planner 2

DCB:cas

The following are to be met prior to forwarding this application to Council for approval:

- Receipt of a Letter-of-Credit for landscaping in the amount of \$428,332.50 (inclusive of a 10% contingency).
- Registration of legal agreements for the protection of the site's ESA areas, ensuring that they will not be abandoned or removed and adherence to the Landscape Maintenance plan as it applies to those areas
- Submission of a registerable plan prepared by a registered Surveyor defining the ESA vegetation areas and acceptable to the Director of Development.
- Registration of a statutory right-of-way to the satisfaction of the Director of Development, over the internal drive-aisle for emergency service providers unless alternative emergency access is provided to the satisfaction of the Director of Development.
- Receipt of a voluntary contribution of \$1,518.00 for environmental enhancements as compensation for habitat losses incurred on site.
- Submission of a bird nesting survey report by a registered professional biologist prior to site clearing. (Note this was originally a requirement of the Rezoning Considerations but under the advise provided by the consulting biologist the report needs to be done within seven days of clearing the site in order to be accurate as the bird nesting season is approaching.

Prior to future Building Permit issuance, the developer is required to complete the following:

- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Division at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Division (<http://www.richmond.ca/services/ttp/special.htm>).
- If applicable, payment of latecomer agreement charges associated with eligible latecomer works.



**City of  
Richmond**

**Development Application Data Sheet**  
Development Applications Division

**DP 14-671600**

**Attachment 1**

Address: 9580, 9600, 9620, 9626, 9660 and 9680 Alexandra Road

Applicant: Am-Pri Developments (2012) Ltd. Owner: Am-Pri Developments (2012) Ltd.

Planning Area(s): West Cambie Area Plan (2.11A)

Floor Area Gross: 10,468.10 m<sup>2</sup> Floor Area Net: 10417.01 m<sup>2</sup>

	<b>Existing</b>	<b>Proposed</b>
<b>Site Area:</b>	16,209 m <sup>2</sup>	16,100 m <sup>2</sup> net of dedications
<b>Land Uses:</b>	Single Family Residential, Two-Family Residential, Vacant	Multiple Family Residential
<b>OCP Designation:</b>	Neighbourhood Residential, Park	Same
<b>Area Plan Designation:</b>	Residential Area 2	Same
<b>Zoning:</b>	9580,9600,9660,9680 Alexandra Road: Single Detached (RS1/F)  9620 and 9626 Alexandra: Two-Unit Dwellings (RD1)	Town Housing (ZT67)
<b>Number of Units:</b>	5 dwellings were in place prior to demolition. Currently none on site.	96
<b>Other Designations:</b>	Environmentally Sensitive Area (ESA)	Portions to be retained. Compensation / replacement required for impacts.

	<b>Bylaw Requirement</b>	<b>Proposed</b>	<b>Variance</b>
Floor Area Ratio:	Max. 0.65 or 0.75 with affordable housing contribution per West Cambie Area Plan	0.65	None permitted
Lot Coverage – Building:	Max. 40%	38.1%	None
Lot Size (min. area):	10,000 m <sup>2</sup>	16,100 m <sup>2</sup>	None
Setback – Front Yard (m):	Min. 5.0 m	Min. 4.5 m	Addressed via Zoning Text Amendment
Setback – Side Yards (m):	Min. 3.0 m	Min. 3.0 m	None
Setback – Rear Yard (m):	Min. 6.0 m	Min. 6.0 m	None
Height (m):	12.0 m	10.7 m	None
Off-street Parking Spaces – Regular (R) / Visitor (V):	1.5 (R) and 0.2 (V) per unit	1.5 (R) and 0.2 (V) per unit	None
Off-street Parking Spaces – Total:	144 (R) and 20 (V)	192 (R) and 20 (V)	None

Tandem Parking Spaces:	Permitted	94 spaces in 47 units (49%)	None
Bicycle Stalls	Class 1: 1.25/unit (120 stalls) Class 2: 0.20/unit (20 stalls)	Class 1: 147 Class 2: 20	None
Amenity Space – Indoor:	100 m <sup>2</sup>	119.3 m <sup>2</sup>	None
Amenity Space – Outdoor:	576 m <sup>2</sup>	576 m <sup>2</sup>	None
Private Outdoor Space/Unit:	30 m <sup>2</sup>	30 m <sup>2</sup>	None

Other: Tree replacement compensation required for loss of significant trees.

**Excerpt from the Minutes from  
The Design Panel Meeting**

**Wednesday, January 21, 2015 – 4:00 p.m.  
Rm. M.1.003  
Richmond City Hall**

- use of decorative pavers on the internal drive aisles need to be rationalized; too much in less important areas and less in more important areas; consider using pavers on the crosswalks to make them more prominent;

*The paving design has been updated to highlight pedestrian walking areas over vehicular access. Pavers are already located at crosswalks but they have been enhanced to increase visibility and prominence.*

- reconsider use of stone wainscot at the base of the buildings as it will be screened by landscaping as seen in the architectural renderings presented by the applicant; relocate the material to more visible and prominent locations to get more value from a high quality material;

*Stone wainscot will remain on the base of the buildings as it will enrich the frontages. Though partially screened by landscaping, these areas will remain visible and represent the “front face” of the development.*

- proposed amenity building lacks programming; also lacking from an architectural point of view, i.e. trailer-like appearance; the amenity building should make a high impact statement on the project in view of its central location in a large project; consider a higher ceiling and a more dramatic roofline;

*Amenity building plan included and elevations enhanced to be more consistent with the architecture of the residential buildings.*

- the applicant is proposing a unique townhouse style in Richmond; however, the same concept has already been seen in many projects in Richmond; the applicant should consider more unique styles in future townhouse projects;

*We have varied the style by the width of the townhouse units, and through coloration of the projecting elements. With future townhouse projects we are always trying to develop innovative and unique styles that are contextually sensitive.*

- driveway entry is too zigzag; driving experience goes in many directions within a short distance; this is not desirable from functional and esthetic perspectives;

*Exact geometry of the entry driveway will be further refined in consultation with our Civil Engineer during Building Permit stage. We feel that the meandering entry creates a good traffic control measure to slow cars entering and leaving the development.*

- appreciate the many positive improvements to the project done by the applicant; proposed curved main internal drive aisle is a positive approach; however, vehicular route to some buildings (e.g. to the middle buildings northeast of the site) from the entry appears circuitous;

*See comment above. Vehicular movements are quite straight forward and some meandering is introduced to achieve variety and interest, and traffic calming.*

- applicant has made some big improvements to the project since it was first presented to the Panel; appreciate the introduction of new roof forms which mitigate the monotonous appearance of the buildings;

*We appreciate the comment*

- consider replacing vinyl with hardie materials;

*Some vinyl is used, but the amount has been reduced since initial ADP, and we have selected a more premium vinyl product for better appearance and colour.*

- internal drive aisles appear barren; bigger trees and additional unit pavers will help soften the harshness of the drive aisles;

*Larger trees in planters have been added to the drive aisles. Unit pavers have been added in drive aisles to support pedestrian way-finding.*

- reducing the setback for buildings fronting onto Alexandra Road will open up the internal drive aisles and provide additional space for planting;

*Buildings are at the minimum setback, buildings on the south-eastern portion of the site are set back from the landscape buffer to allow for pedestrian circulation and adequate private yard space.*

- the amenity building should pick up on the architecture of the townhouse buildings;

*The amenity building has been redesigned to be more consistent with the townhouses.*

- appreciate the introduction of pop-up roofs; however, having two buildings (e.g. Buildings 16 and 19) with pop-up roofs sited adjacent to each other is too much; siting of buildings with pop-up roofs adjacent to buildings with shed roofs works better;

*We have maintained the proposed roof forms for these buildings as they create a spacing and rhythm of alternative rooflines that is consistent throughout the project.*

- introducing dark trims mitigates the repetitiveness of the building forms; however, the volumes appear busy; consider simplifying the volumes, e.g. introducing uniform colour for trim and cladding;

*The trim colours have been lightened to provide less contrast with the box-out elements, and will help to unify the forms in contrast with the base-walls.*

- simplify the pedestrian circulation areas (including pedestrian crossings) within the proposed development as they are not clearly delineated;

*The pedestrian circulation areas (including pedestrian crossings) have been enhanced and clearly delineated with unit pavers using a particular colour*

- hope that the public art plan for the project involving students of Emily Carr University of Art and Design will be achieved;

*The Course with Emily Carr University is well underway. The students have had four sessions in January 2015 including:*

*1. Class introduction*

*2. Site Visit and presentation by Project Biologist*

*3. In class session with presentation by John Stiles, Public Art Expert and Principal at Stantec Consulting*

*4. Visit to City Hall for presentations by Eric Fiss, Jamie Esko, Sustainability Department Staff and a tour and presentation of the City Archives.*

*On February 4th, the Developer will present the project and company background to students and will be followed by a detailed presentation by the project Landscape Architects, who will present their scope of work and strategy to the students.*

- appreciate the big improvements in the project; however, the proposed amenity building needs to make a stronger statement in terms of its architecture;

*See responses above, the amenity building has been redesigned*

- patterning of decorative paving needs more clarity and efficiency to help in delineating wayfinding and crosswalks; no need for more materiality and expense in paving;

*The pedestrian circulation areas (including pedestrian crossings) have been enhanced and clearly delineated with unit pavers using a particular colour*

- appreciate the provision of more convertible units and introduction of pocket doors in the convertible units;

*Pocket doors introduced into the convertible units*

- look at pedestrian areas in the proposed development; consider introducing coloured unit pavers in lieu of roll-over curbs to enhance pedestrian accessibility;

***Roll over curbs are required for drainage, however, all pedestrian crossings have been treated with an alternate colour of unit pavers***

- ensure that mailboxes are located inside the amenity building to provide weather protection for residents picking up their mail;

***Mailboxes located inside the amenity building***

- the project is proceeding in the right direction in terms of sustainability and energy savings; however, there is no provision for water conservation; applicant is encouraged to use low-flow fixtures; also the applicant should consider using energy star appliances;

***Low-flow fixtures and energy star appliances will be used***

- agree with comments that the proposed amenity building needs further design development;

***See comments above***

- agree with comments regarding the need to review the use of decorative paving to better highlight the important areas in the project, e.g. at the portion of the drive aisle adjacent to the amenity building;

***The paving design has been updated to highlight pedestrian walking areas over vehicular access. Pavers are already located at crosswalks but they have been enhanced to increase visibility and prominence.***

- the pedestrian walkway at the northeast parcel of the site appears awkward in terms of wayfinding; relying on signs to get people to the front doors of C units is not the best design solution; and

***An additional walkway has been added providing more visible access, and better circulation to the entries of the southeastern row of C units. This circulation route has been further enhanced by providing a stronger delineation for pedestrians***

- appreciate the relocation of hydro kiosks out of the vegetated ESA strip along the east property line.

***We appreciate the comment***



# City of Richmond

## Development Permit

No. DP 14-671600

To the Holder: Am-Pri Developments (2012) Ltd.

Property Address: 9580, 9600, 9620, 9626, 9660 and 9680 Alexandra Road

Address: 9751 No. 6 Road  
Richmond, BC V6W 1B5

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #42 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$428,332.50 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

**Development Permit**  
**No. DP 14-671600**

To the Holder: Am-Pri Developments (2012) Ltd.

Property Address: 9580, 9600, 9620, 9626, 9660 and 9680 Alexandra Road

Address: 9751 No. 6 Road  
Richmond, BC V6W 1B5

---

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.  
DAY OF ,

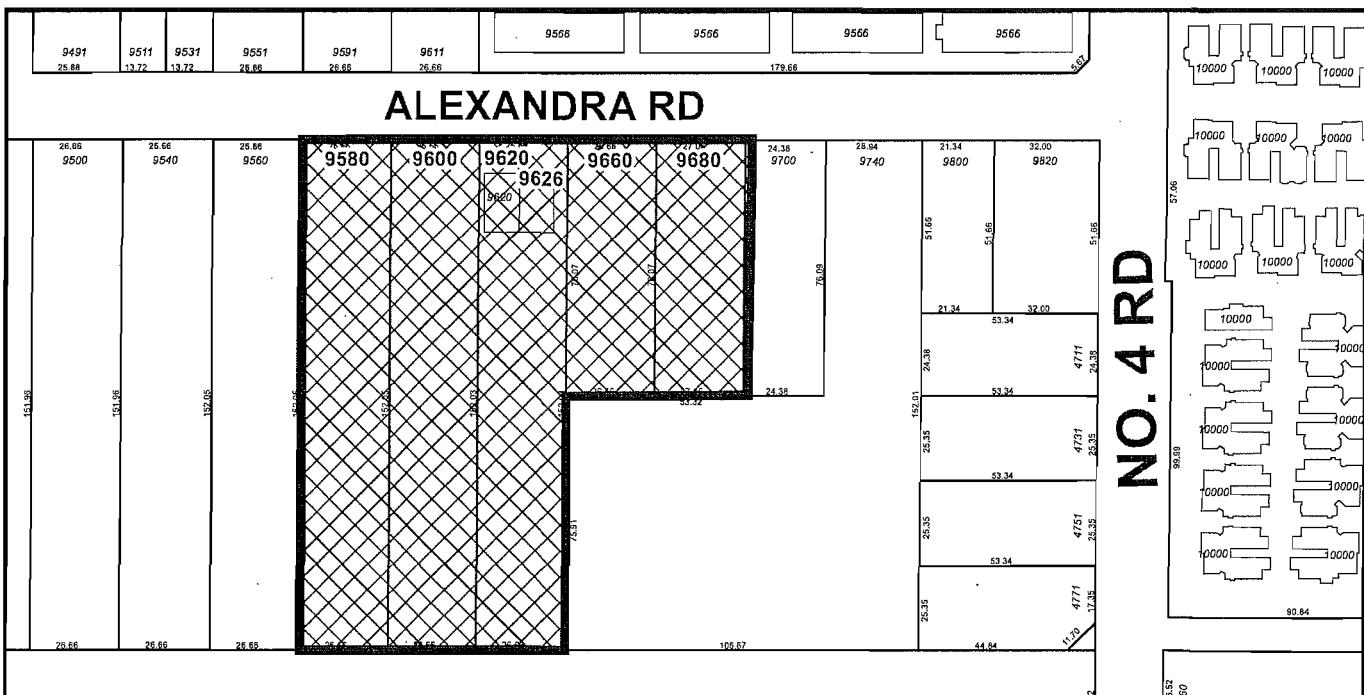
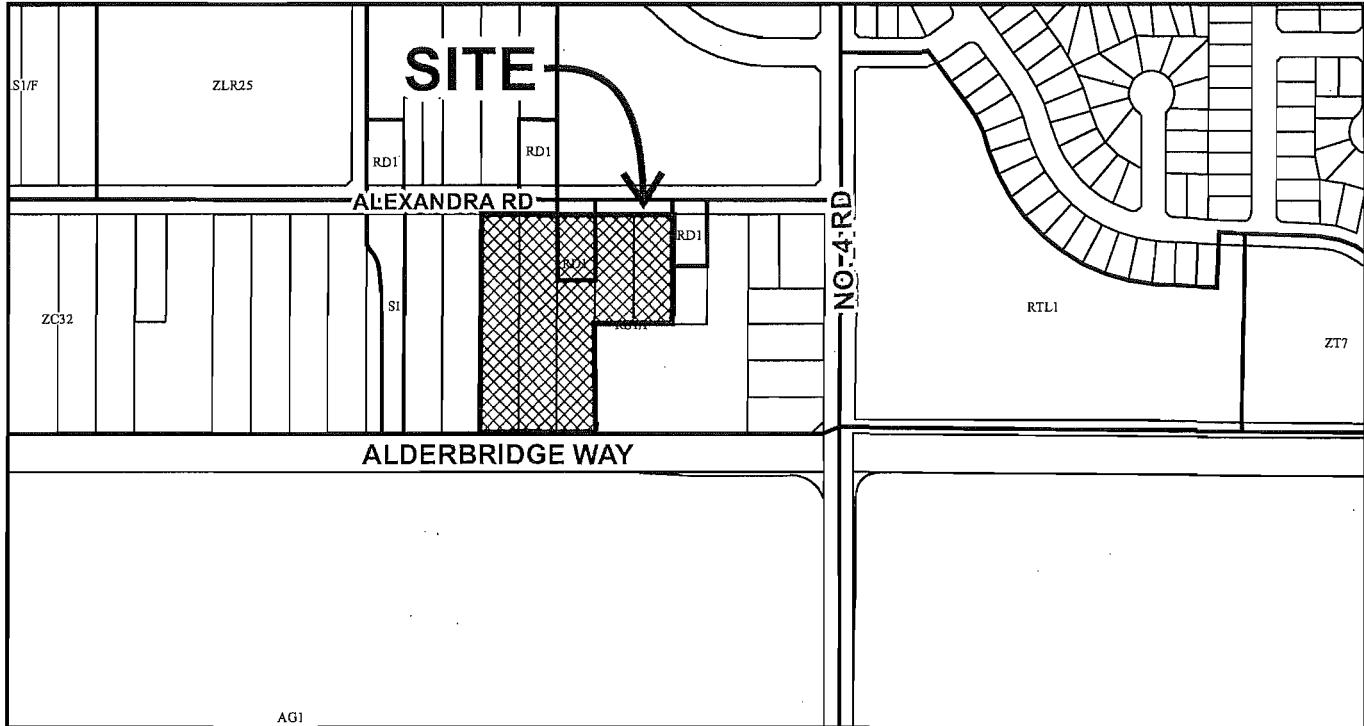
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF ,

MAYOR



# City of Richmond



**DP 14-671600  
SCHEDULE "A"**

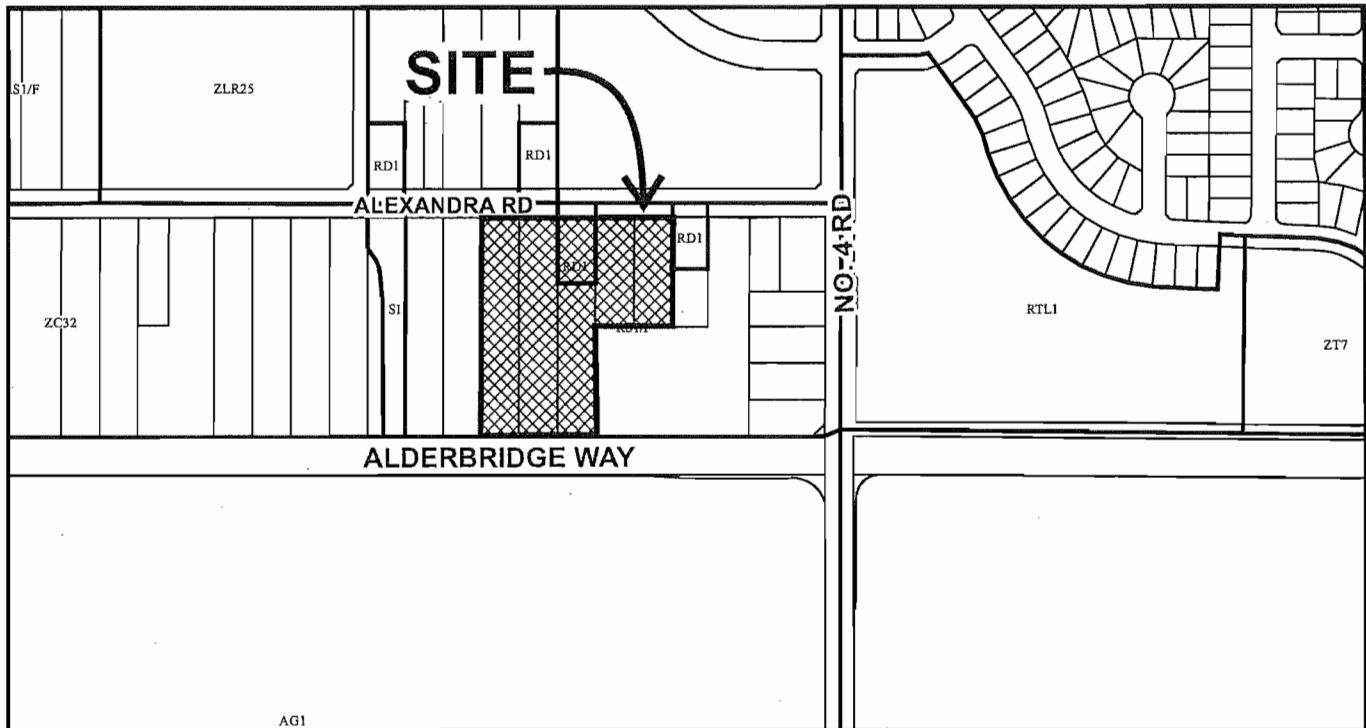
Original Date: 09/05/14

Revision Date: 02/06/15

Note: Dimensions are in METRES



# City of Richmond



Original Date: 09/05/14

Revision Date: 02/06/15

Note: Dimensions are in METRES



# City of Richmond



DP 14-671600

Original Date: 09/05/14

Revision Date: 02/06/15

Note: Dimensions are in METRES



MAR 10 2015

009 169-1

D

Plan #1

### SITE AREA AFTER GREENWAY ROW

161,812 SQ.FT. (15,032 SQ.M./150 HA)  
3.715 ACRES  
DENSITY ON EFFECTIVE SITE AREA: 0.70 FAR (12,663 SF / 161,812 SF)  
25.8 UPA  
64 UPHA

PROPOSED  
GREENWAY  
ROW

### STATISTICS:

CIVIC ADDRESS: 9680, 9600, 9620/9626, 9660, 9680 ALEXANDRA RD, EFFECTIVE SITE AREA: RICHMOND, B.C.

LEGAL DESCRIPTION:

ZONING:

GROSS SITE AREA: 174,476.6 SQ.FT. (16,209 SQ.M.)

NET SITE AREA: 123,319.7 SQ.FT. (11,610 SQ.M./161 HA)

MAX. LOT COVERAGE: 173,319.7 SQ.FT. x 40% = 69,327.9 SQ.FT.

PROPOSED: 57934.5 SQ.FT. (BUILDINGS)  
6575.9 SQ.FT. (PORCHES)  
414.9 SQ.FT. (GARAGE/RECYCL. ENCL.)  
1177.0 SQ.FT. (OUTDOOR AMENITY BLDG)

TOTAL: 66100.1 SQ.FT. (30.1%)

MAX. BUILDING HEIGHT: 12.0 M (THREE STOREYS)

PROPOSED: 10.7 M (THREE STOREYS)

### PARKING:

REQUIRED:	15 SPACES x 96 UNITS = 144 SPACES (RESIDENTS)
	0.2 SPACES x 96 UNITS = 19.2 SPACES (VISITORS)
TOTAL	= 163.2 SPACES

### AMENITY AREA

INDOOR	2 CAR GARAGES x 96 UNITS = 192 SPACES (RESIDENTS)
OUTDOOR	OPEN VISITORS PARKING = 20 SPACES (VISITORS)
TOTAL	= 212 SPACES

Yamamoto  
Architecture Inc.

PROJECT  
TOWNHOUSE DEVELOPMENT

DRAWING TITLE  
SITE PLAN  
STATISTICS

SCALE: 1/32" = 1'-0"  
SHEET NO.: 076 5Q.M. (6,200 SQ.FT.)

DATE: DEC. 19, 2014

ISSUED FOR A.P.

ISSUED FOR D.P. APPLICATION

BRAUN  
TY

NO. DATE

REVISIONS

PROJ. NO. 1311

CHEMCO

PROPOSED FIRE HYDRANT

NEW 15M SHARED CYCLIST/PEDESTRIAN PATH

NEW 15M REED BOULEVARD

1:200 REFERENCE

NOTE: All dimensions are in metres. The drawings are not to scale. They are intended for reference purposes only.

VIEW N.E. 100' 9600 ALEXANDRA RD

VIEW N.W. 9680 ALEXANDRA RD

VIEW S.E. 9620/9626 ALEXANDRA RD

VIEW S.W. 11,610 SQ.M. (161 HA) ALEXANDRA RD

VIEW N.E. 100' 9600 ALEXANDRA RD

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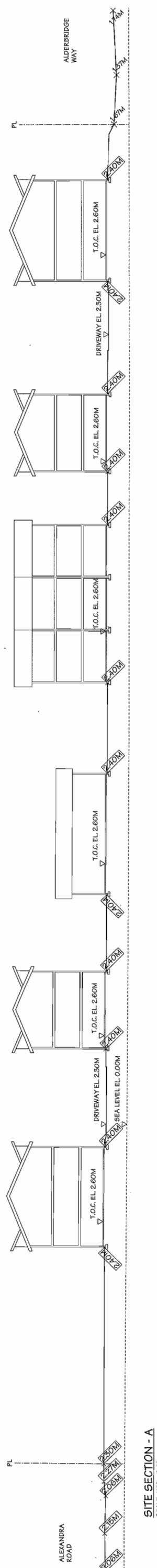
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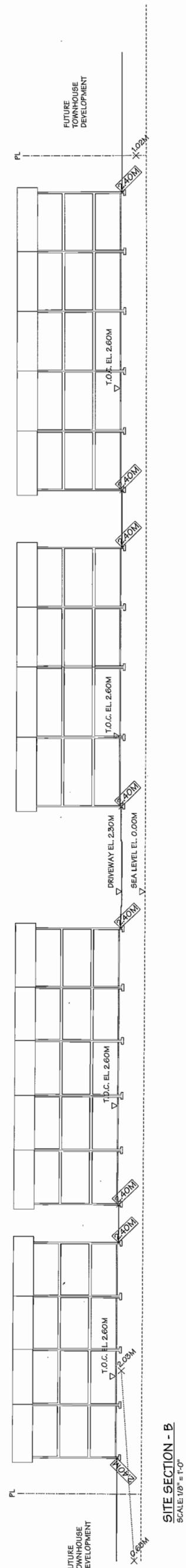
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Plan Z



SITE SECTION - A



SITE SECTION - B  
SCALE: 1/8" = 1'-0"

PROJECT		DRAWING TITLE	
Yamamoto Architecture Inc.		TOWNHOUSE DEVELOPMENT SITE SECTIONS	
		SCALE: 1/16" = 1'-0"	SHEET NO. 1311
		DATE: JAN. 12, 2015	
		DRAWN BY: WC	
		checked	PROJ. NO. 1311
		Comments: All rights reserved. Reproduction or distribution in whole or in part is prohibited. This drawing is an original document and may not be used in any way without written permission from the architect. Architect: Yamamoto Architecture Inc. Address: 9580-9680 Alexandra Road, Richmond, B.C. Tel: 604-731-1127 fax: 604-731-1327 V.H. 4.11	
NO.	DATE	REVISIONS	
	JAN 12 2015	ISSUED FOR A.D.P.	
	NOV 7, 2014	ISSUED FOR A.D.P.	
	AUG 25, 2014	ISSUED FOR D.A. APPLICATION	

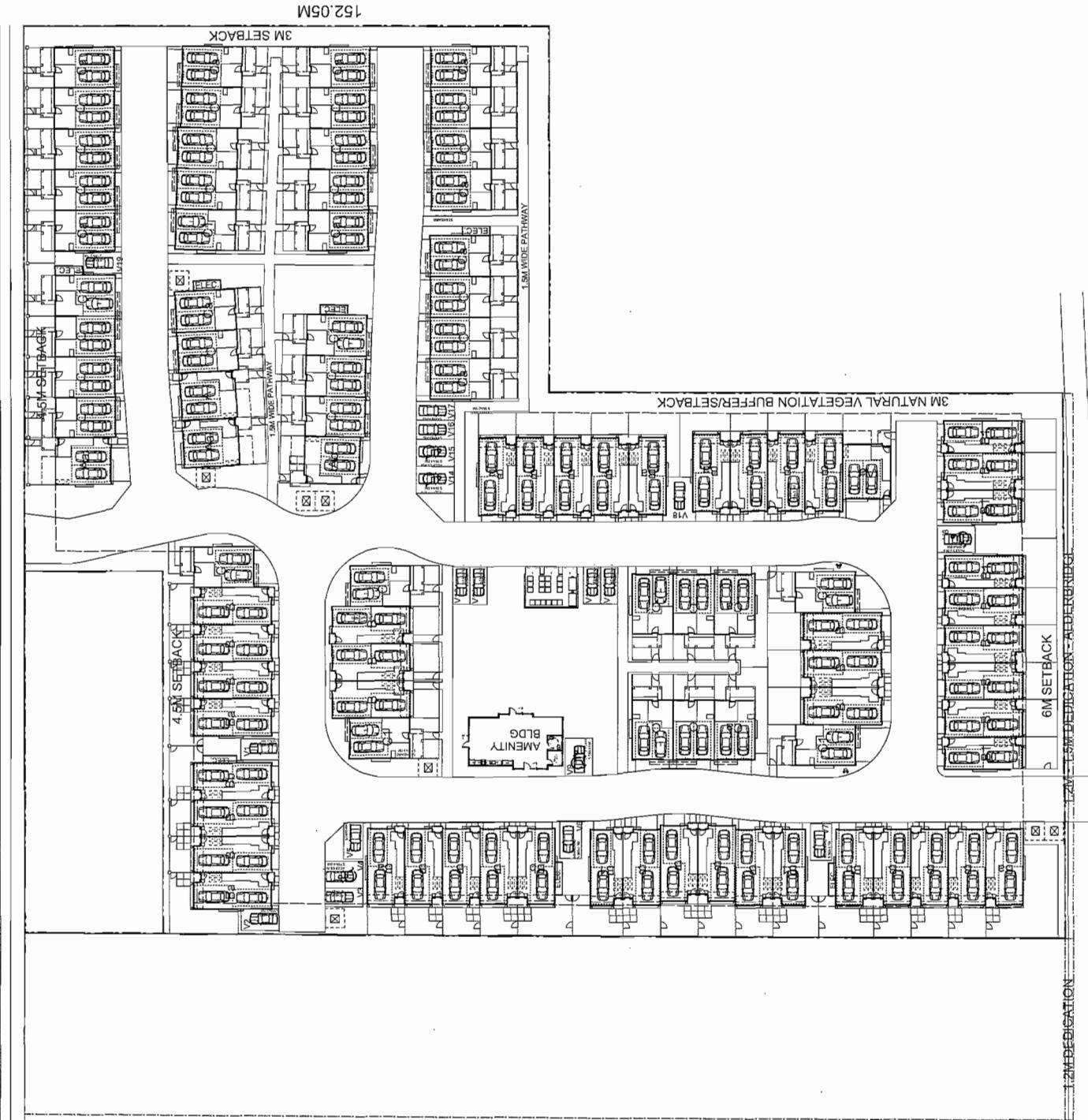
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1311  
#3

ALEXANDRA ROAD



A DEBBINGE WAY

SCARCE: 1/22 - 1-0



MAR 10 2015

DP 14-671600

FERAL NOTES:

- This drawing forms part of a set and may not be separated. This drawing must be read in conjunction with all other drawings in the set and all specifications included in the contract.

If there is any ambiguity in the drawings, specifications or details is to be reported to the Contractor. This drawing was not used for construction unless stamped and signed by the Landscape Architect. Contractor not to proceed in uncertainty.

The contractor to visit the site to confirm all site conditions prior to submitting bids. Discrepancies reported to the Contract Administrator for clarification.

Site work to be clearly understood by the contractor prior to any work taking place on the site. Contractor to contact Contract Administrator for direction if clarification is required.

Contractor to take necessary precautions to protect existing site features, unless specified for removal / demolition. This includes all survey bars, stakes & monuments. Make good any damage.

Dimensions shown on this drawing may be scaled for approximate layout only. All measurements are metric.

Materials specified in landscape works shall conform to the British Columbia Landscape Architects Standard. Contractor to report any discrepancies between the drawings, specifications and B.C.N.A. Landscape Standard, to the Contract Administrator for direction.

Contractor to supply all materials in quantities sufficient to complete work shown on these drawings. Any discrepancies between quantities shown and the plant is shall be reported to the Contract Administrator for direction.

Materials specified in landscape works shall conform to the British Columbia Landscape Architects Standard. Contractor to report any discrepancies between the drawings, specifications and B.C.N.A. Landscape Standard, to the Contract Administrator for direction.

On completion of work each day, remove all debris, garbage and surplus materials from the site. Keep the site clean and useable at all times.

Contractor to be responsible for any damage incurred.

COVER SHEET AND DRAWING LIST	
L-001	COVER SHEET & DRAWING LIST
YOUTH PLANS	
L-101	CONCEPTUAL LAYOUT PLAN
L-102	CONCEPTUAL LAYOUT PLAN (TREES REMOVED)
L-103	CROSS SECTIONS
L-104	LIGHTING PLAN
L-105	MAINTENANCE PLAN
L-106	BEAUGRADITION SURVEY (NORTHERN SECTION)
L-107	BEAUGRADITION SURVEY (SOUTHERN SECTION)
 WATER FEATURES	
L-108	PLANT LIST & TREE LAYOUT PLAN
L-201	PLANTING PLANS: RESIDENTIAL UNITS
L-203	PLANTING PLANS: RESTORATION AREA
L-204	PLANTING PLANS: NATIVE PLANNING BUFFER
 STRUCTURES	
L-301	FENCE & SCREENING DETAILS
L-302	SITE STRUCTURES AND FURNISHINGS DETAILS
L-303	PLAYGROUND DETAILS
L-304	PLAYGROUND DETAILS

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## LANDSCAPE DRAWING LIST AND NOTES

Am-Pri Developments Ltd  
Client/Project

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LANDSCAPE DRAWING  
AND NOTES

1

Project No.	Scale	As N
144313145		
Cutting No.	Revision	0

Bergeron





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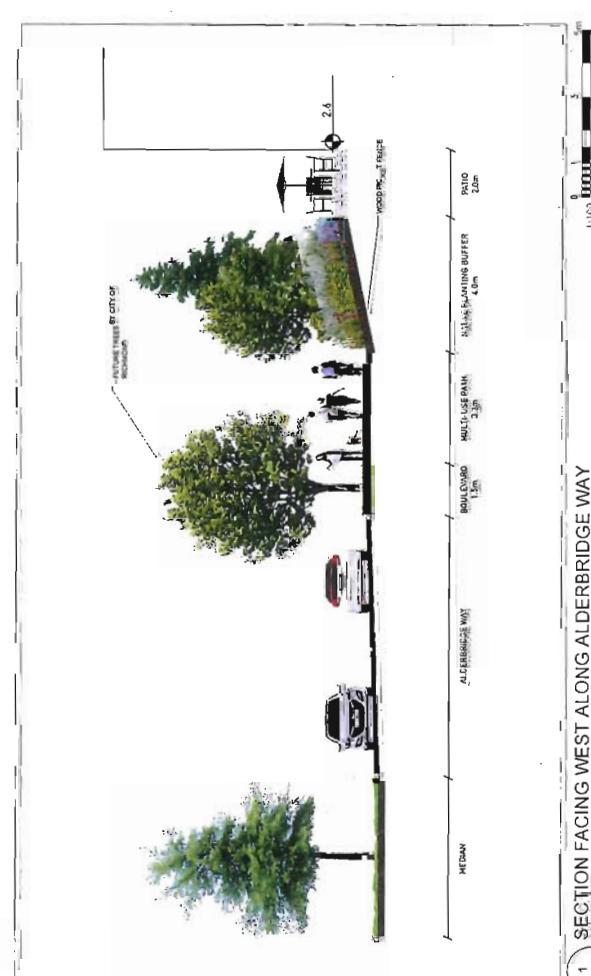
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SECTION FACING WEST ALONG ALDERBRIDGE WAY



SECTION FACING EAST ALONG ALDERBRIDGE WAY



SECTION FACING WEST ALONG ALDERBRIDGE WAY

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ISSUED FOR CP:	DNM	ED	15/01/13
ISSUE TO:	By	A/Cd.	TYANANDO
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	Dm:	Chkd:	
	Degn:		TYANANDO

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Permit-Seal

Am-Pri Developments Ltd.

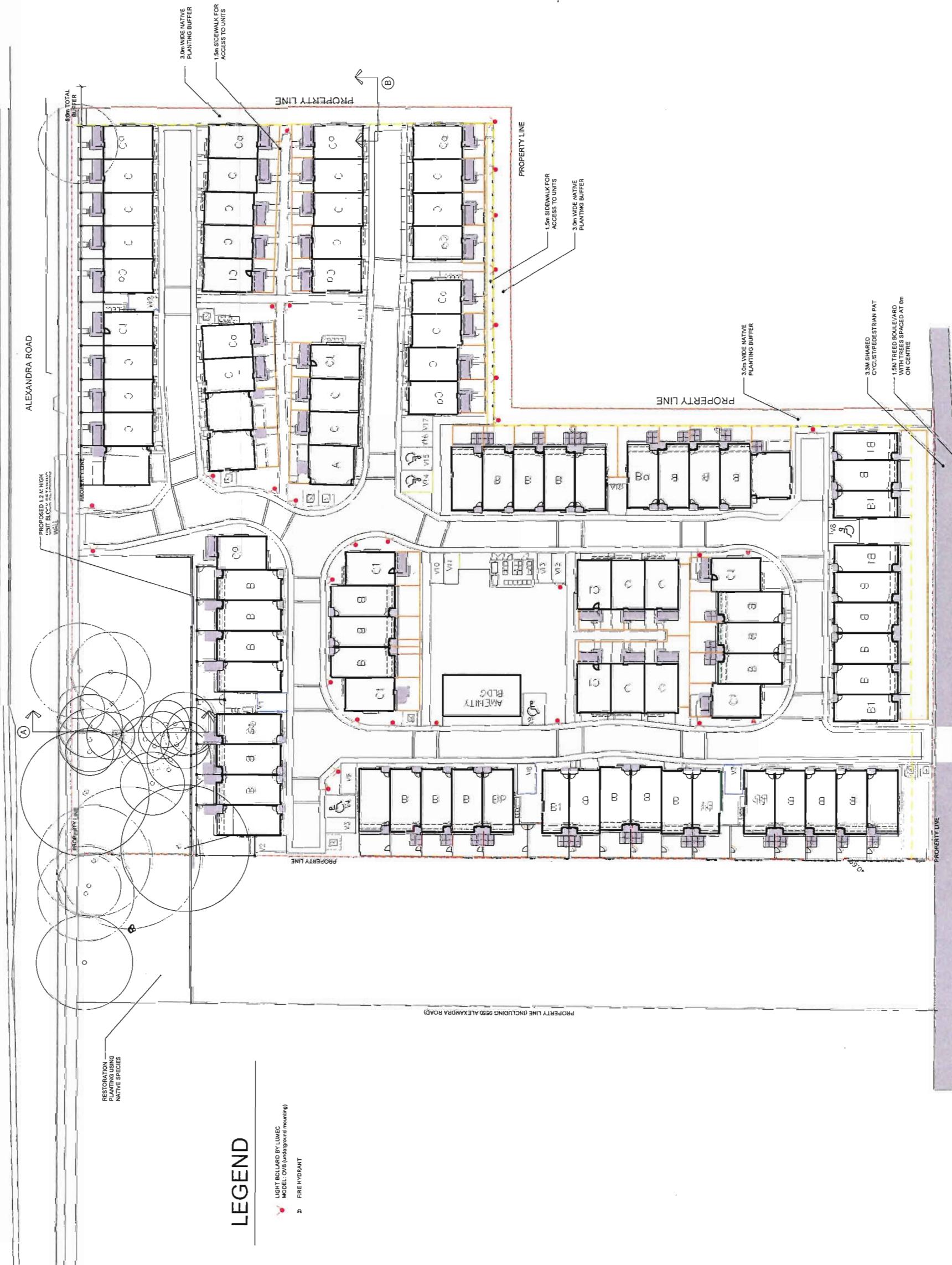
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3100 SECTION

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14431345			
Drawing No.	103		

3100 SECTION

Project No.	Scale	As Notes
144313145		
Drawing No.	Revision	0
		103



MAINTENANCE PLAN

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Client/Project  
Am-Pri Developments Ltd.

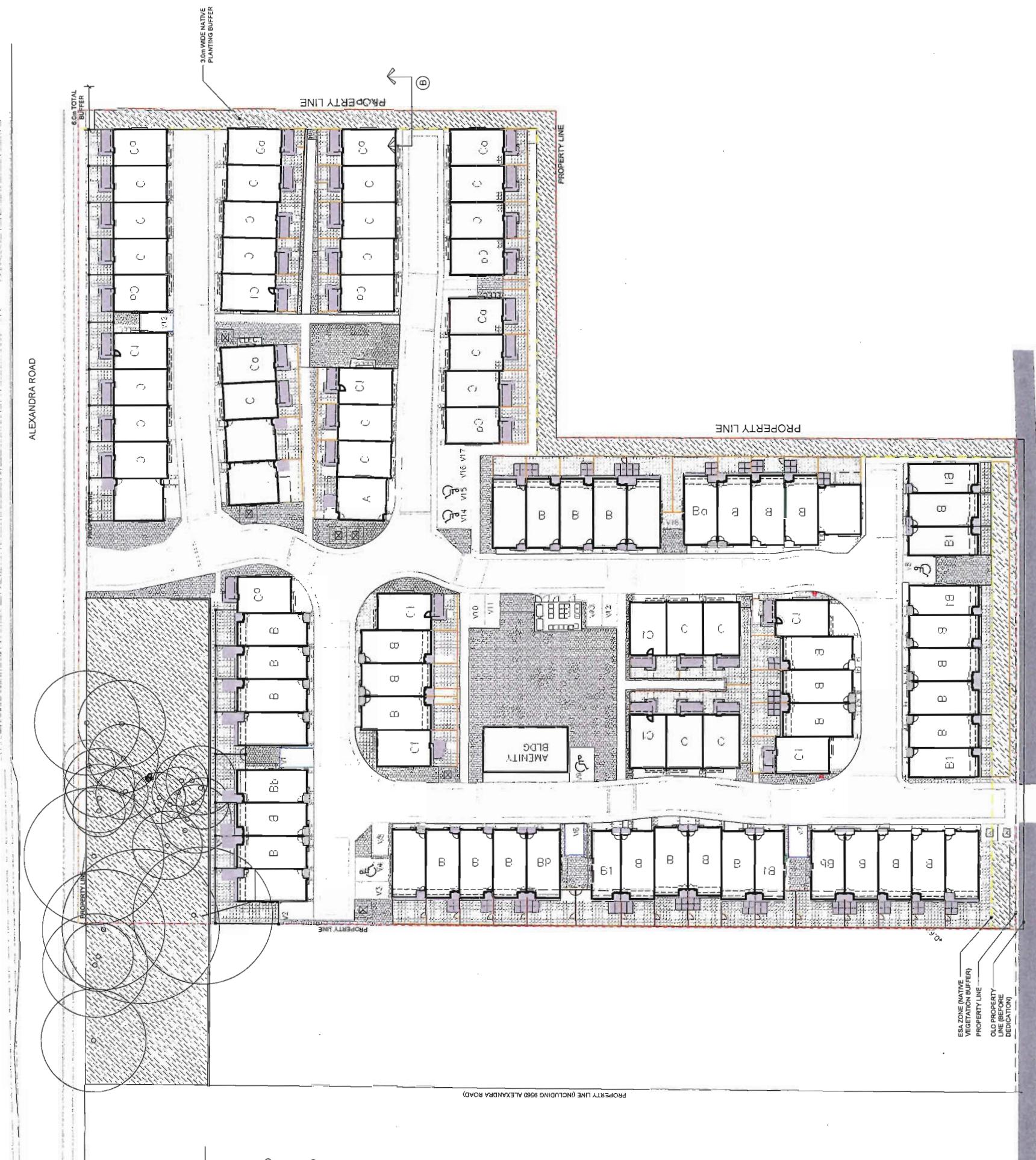
LANDSCAPE PACKAGE

Alexandria Board

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MAINTENANCE PLAN

Drawing No.	14413145	Revision
Project No.	14413145	As Noted





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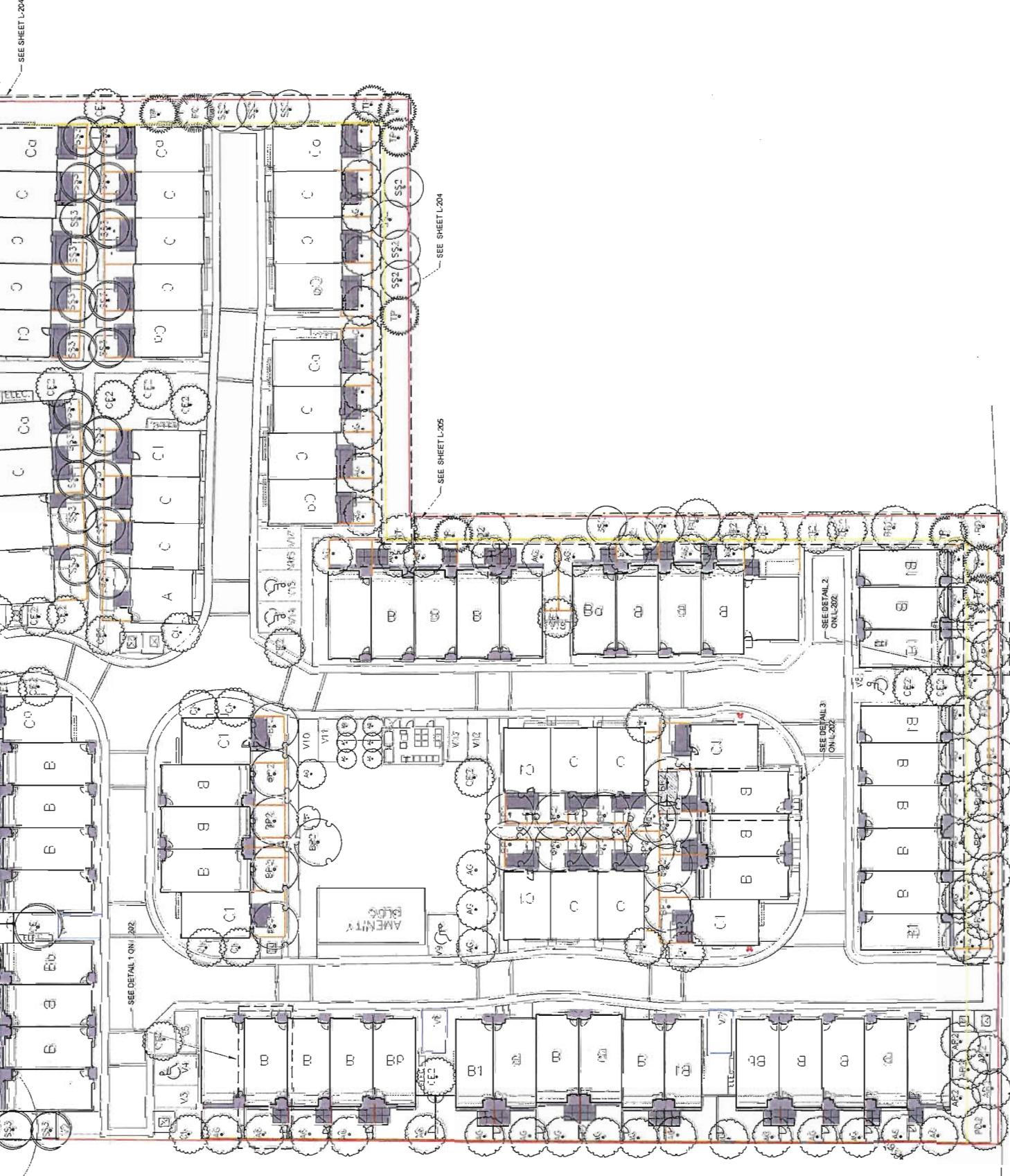
DP

**PLANTING PLAN  
TREE LAYOUT AND KEY PLAN**

Project No. 14431345  
Drawing No. L-201  
Scale As Noted  
Revision 0

Plan #9

TREE SCHEDULE		CALIPER/HEIGHT	
TREES RESIDENTIAL	CODE BOTANICAL NAME	COMMON NAME	CALIPER/HEIGHT
AS	Acer griseum	Paperbark Maple	7cm
BF-2	Betula papyrifera	Paper Birch	7cm
CK	Cornus foelskii	Kousa Dogwood	7cm
CE2	Cornus nuttallii 'Eddie's White Wonder'	Eddie's White Wonder Dogwood	7cm
SS3	Sorbus serotina	Mountain Ash	7cm
AC	Acer circinatum	Vine Maple	7cm
AT	Acer tataricum	Tatarian Maple	7cm
AR	Alnus rubra	Red Alder	7cm
PD	Pseudotsuga menziesii	Douglas Fir	7cm
TREES VEGETATED BUFFER		CALIPER/HEIGHT	
AR2	Alnus rubra	Red Alder	7cm
BP	Betula papyrifera	Paper Birch	7cm
CE	Cornus nuttallii 'Eddie's White Wonder'	Eddie's White Wonder Dogwood	7cm
CT	Crataegus cordata	Texas Red Haw	7cm
FC	Fraxinus contorta	Shore Pine	2m
PD2	Pseudotsuga menziesii	Douglas Fir	7cm
SS2	Sorbus scopulina	Western Mountain Ash	7cm
TP	Thuja plicata	Western Red Cedar	2m

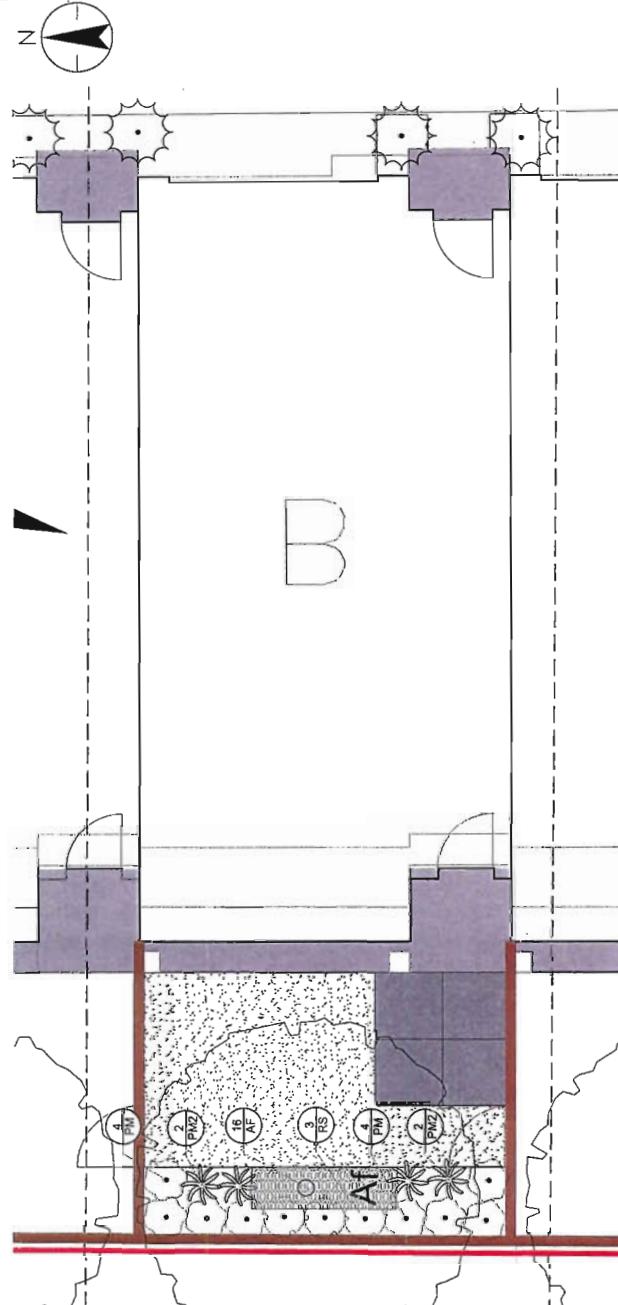


MAR 10 2015

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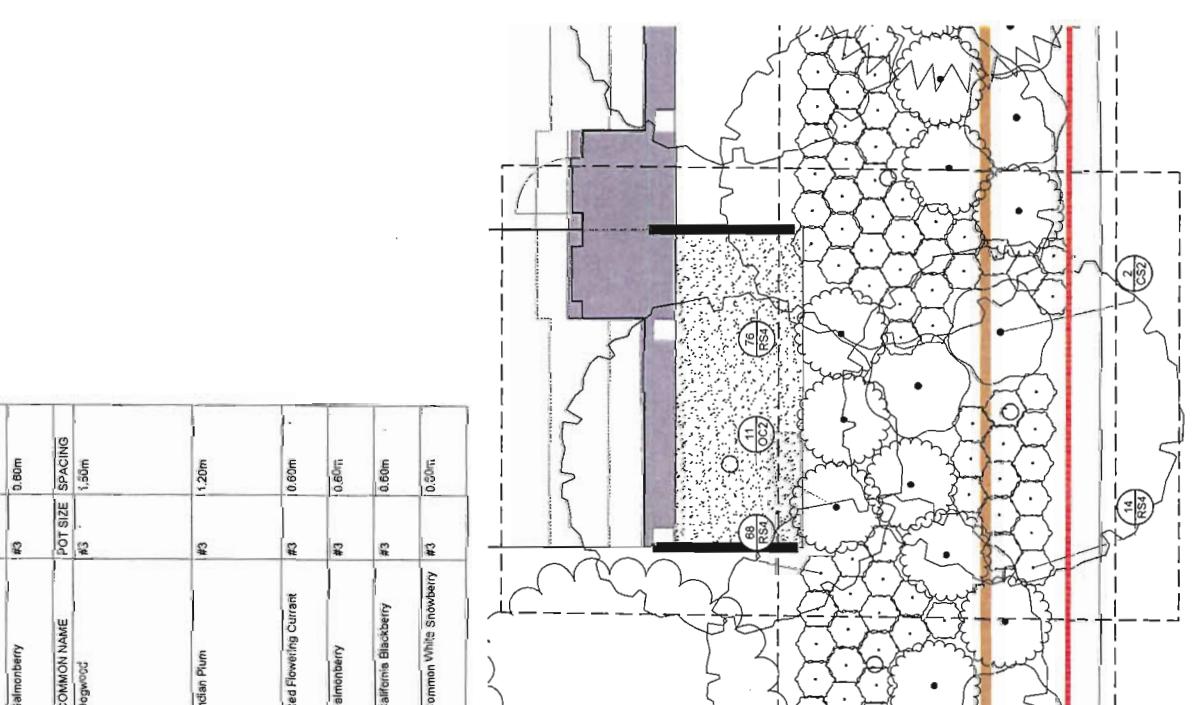
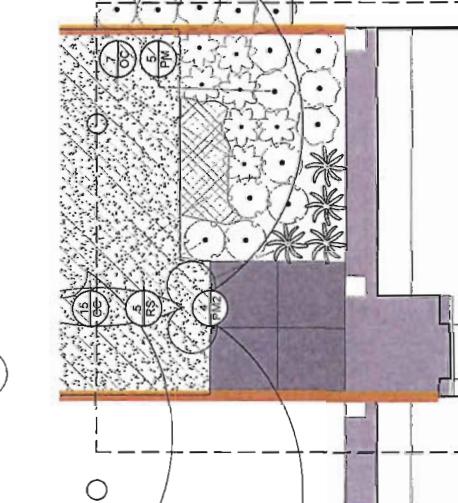
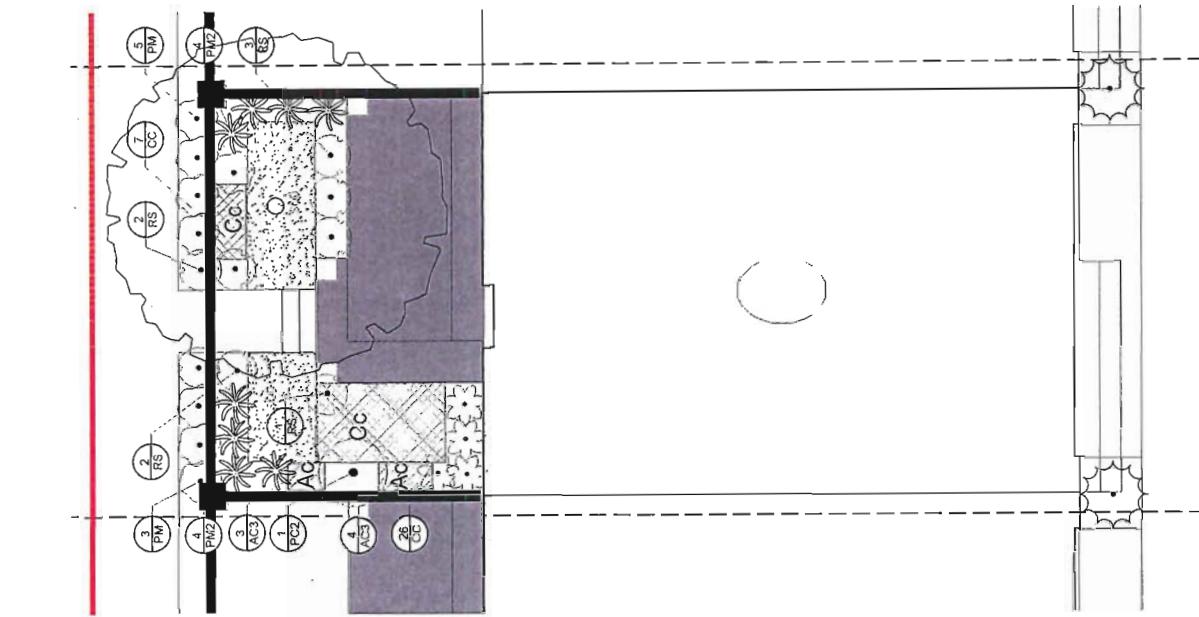
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Plan # 10



1 INDICATIVE PLANTING FOR B UNITS

PERENNIAL SCHEDULE			
SHRUB SCHEDULE	BOTANICAL NAME	COMMON NAME	POT SIZE SPACING O.C.
RESIDENTIAL SHRUBS	Gemella cerasiformis	Indian Plum	#3 0.60m
	Philadelphus coronarius	Sweet Mockorange	#3 1m
	Ribes sanguineum	Red Flowering Currant	#3 0.60m
	Salix doulgorukii	Western Spirea	#3 0.60m
	Taxus x media	Dense Yew	#5 1m
	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	#5 1m
RESTORATION	Cornus stolonifera	Dogwood	#3 1m
	Gaultheria shallon	Ssalal	#3 0.40m
	Philadelphus coronarius	Sweet Mockorange	#3 1m
	Rubus spectabilis	Salmonberry	#3 0.80m
SHRUB BUFFER	Citrus sinensis	Dogwood	#3 1.50m
	Gemella cerasiformis	Indian Plum	#3 1.20m
	Ribes sanguineum	Red Flowering Currant	#3 1.00m
	Rubus spectabilis	Salmonberry	#3 0.60m
	Rubus ursinus	California Blackberry	#3 0.60m
	Symplocarpus foetidus	Common White Strawberry	#3 0.60m



2 TYPICAL PLANTING SEGMENT IN NATIVE PLANTING BUFFER

SHRUB SCHEDULE			
RESIDENTIAL SHRUBS	BOTANICAL NAME	COMMON NAME	POT SIZE SPACING O.C.
	Gemella cerasiformis	Indian Plum	#3 0.60m
	Philadelphus coronarius	Sweet Mockorange	#3 1m
	Ribes sanguineum	Red Flowering Currant	#3 1.00m
	Rubus spectabilis	Salmonberry	#3 0.60m
	Rubus ursinus	California Blackberry	#3 0.60m
	Symplocarpus foetidus	Common White Strawberry	#3 0.60m

ISSUED FOR DRP	ID
ISSUED FOR DRP	ID
Issued	ID
File Name:	Aspd.
Permit Seal:	Chkd.
Client/Project:	Am-Pri Developments Ltd.
LANDSCAPE PACKAGE	
Alexandria Road	
Title:	PLANTING PLAN
Project No.:	1493145
Scale:	As Noted
Drawing No.:	L - 202
Revision:	0



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MAR 10 2015

14-01600-101

Plan #12

PLANT SCHEDULE					
	SHRUB AREAS	BOTANICAL NAME	COMMON NAME	POT SIZE	SPACING
④	Oemelia cerasiformis	Indian Plum	#3	0.60m	
⑤	Philadelphus coronarius	Sweet Mockorange	#3	1m	
⑥	Physocarpus malvaceus	Malow Ninebark	#3	0.60m	
*	Polygonatum multiflorum	Western Sword Fern	#3	0.60m	
⑦	Ribes sanguineum	Red Flowering Currant	#3	0.60m	
⑧	Spiraea douglasii	Western Spirea	#3	0.60m	
⑨	Taxus x media	Dense Yew	#5	1m	
RESTORATION	BOTANICAL NAME	COMMON NAME	POT SIZE	SPACING	
⑩	Corus sibirica	Dogwood	#3	1m	
⑪	Gaultheria shallon	Salal	#3	0.40m	
⑫	Philadelphus coronarius	Sweet Mockorange	#3	1m	
⑬	Rubus spectabilis	Salmonberry	#3	0.60m	
SHRUBS BUFFER	BOTANICAL NAME	COMMON NAME	POT SIZE	SPACING	
⑭	Corus sibirica	Dogwood	#3	1.50m	
⑮	Oemelia cerasiformis	Indian Plum	#3	1.20m	
⑯	Ribes sanguineum	Red Flowering Currant	#3	0.60m	
⑰	Rubus spectabilis	Salmonberry	#3	0.60m	
⑱	Rubus ursinus	California Blackberry	#3	0.60m	
⑲	Symphoricarpos albus	Common White Strawberry	#3	0.60m	

SHRUB SCHEDULE					
	RESIDENTIAL SHRUBS	BOTANICAL NAME	COMMON NAME	POT SIZE	SPACING
①	Oemelia cerasiformis	Indian Plum	#3	0.60m	
②	Philadelphus coronarius	Sweet Mockorange	#3	1m	
③	Physocarpus malvaceus	Malow Ninebark	#3	0.60m	
④	Polygonatum multiflorum	Western Sword Fern	#3	0.60m	
⑤	Ribes sanguineum	Red Flowering Currant	#3	0.60m	
⑥	Spiraea douglasii	Western Spirea	#3	0.60m	
⑦	Taxus x media	Dense Yew	#5	1m	
RESTORATION	BOTANICAL NAME	COMMON NAME	POT SIZE	SPACING	
⑧	Corus sibirica	Dogwood	#3	1m	
⑨	Gaultheria shallon	Salal	#3	0.40m	
⑩	Philadelphus coronarius	Sweet Mockorange	#3	1m	
⑪	Rubus spectabilis	Salmonberry	#3	0.60m	
SHRUBS BUFFER	BOTANICAL NAME	COMMON NAME	POT SIZE	SPACING	
⑫	Corus sibirica	Dogwood	#3	1.50m	
⑬	Oemelia cerasiformis	Indian Plum	#3	1.20m	
⑭	Ribes sanguineum	Red Flowering Currant	#3	0.60m	
⑮	Rubus spectabilis	Salmonberry	#3	0.60m	
⑯	Rubus ursinus	California Blackberry	#3	0.60m	
⑰	Symphoricarpos albus	Common White Strawberry	#3	0.60m	



1 NATIVE PLANTING BUFFER (NORTH WEST)

Original Sheet-Aero

ISSUED FOR DCP	DA#	ED#	APPLICANT
ISSUED FOR DCP	DA#	ED#	APPLICANT

Permit Seal

Client/Project:  
Am-Pr Developments Ltd.

LANDSCAPE PACKAGE

Alexandra Road

Title PLANTING PLAN  
NATIVE PLANTING BUFFER -  
NORTH WEST

Project No. 144313145  
Drawing No. L-204  
Scale As Noted  
Revision 0



**Stanitec**  
1100-111 Dunsmuir St.  
Vancouver, BC, Canada V6B 6A3  
Tel. (604) 984-8000  
[www.stanitec.com](http://www.stanitec.com)

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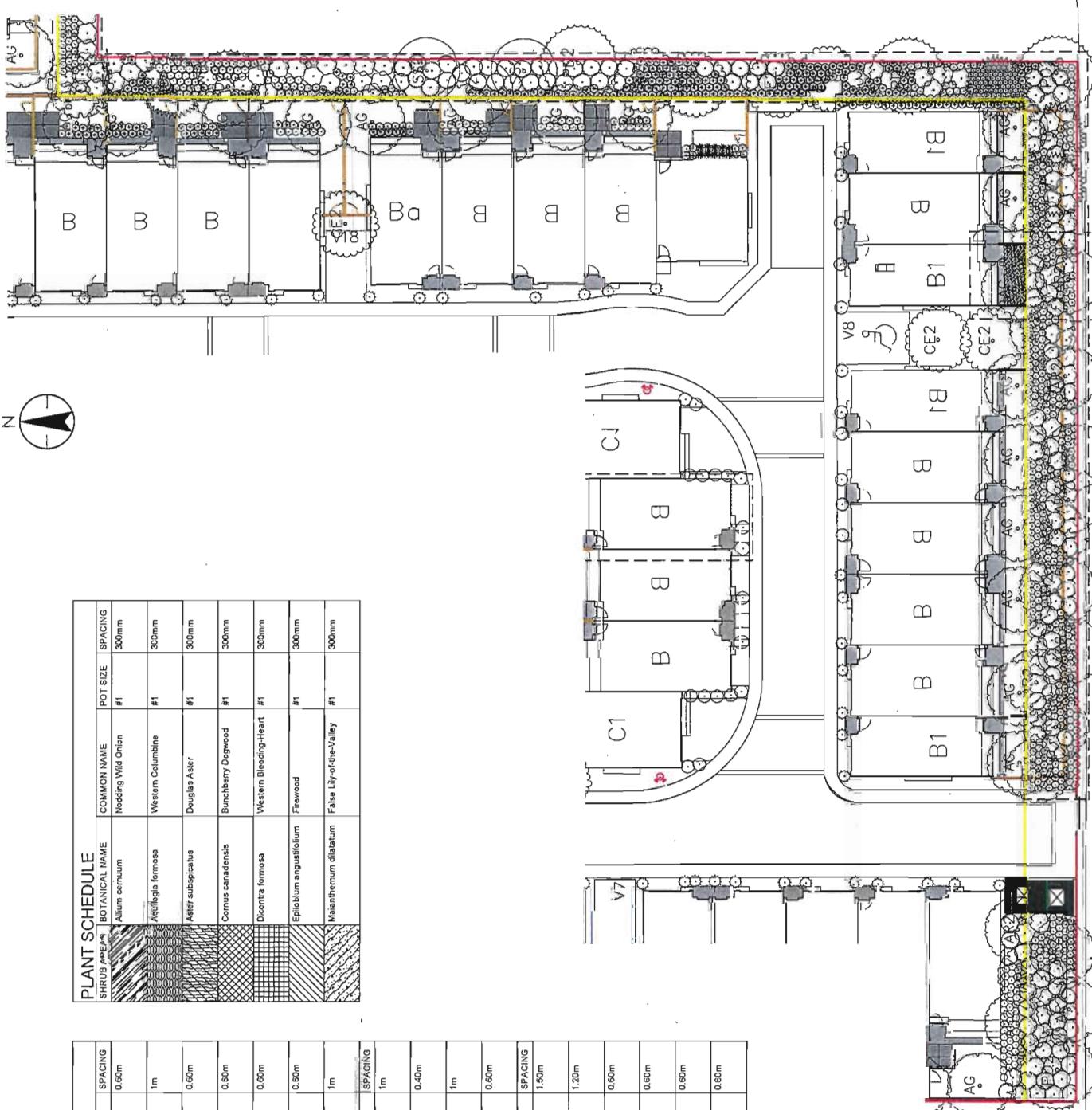
Consultants

MAR 10 2015

Op 14-671600

PLANT SCHEDULE					
PLANTING AREA	BOTANICAL NAME	COMMON NAME	POT SIZE	SPACING	
1	<i>Allium cernuum</i>	Nodding Wild Onion	#1	300mm	
2	<i>Astrofagaria formosa</i>	Western Columbine	#1	300mm	
3	<i>Aster subspicatus</i>	Douglas Aster	#1	300mm	
4	<i>Cornus canadensis</i>	Bunchberry Dogwood	#1	300mm	
5	<i>Dicentra formosa</i>	Western Bleeding-Heart	#1	300mm	
6	<i>Erythronium angustifolium</i>	Firwood	#1	300mm	
7	<i>Mahonia nervata</i>	False Lily-of-the-Valley	#1	300mm	

SHRUB SCHEDULE					
	BOTANICAL NAME	COMMON NAME	POT SIZE	SPACING	
④	<i>Oemleria cerasiformis</i>	Indian Plum	#3	0.60m	
⑤	<i>Philadelphus coronarius</i>	Sweet Mockorange	#3	1m	
⑥	<i>Physocarpus malvaceus</i>	Mallow Ninebark	#3	0.60m	
⑦	<i>Polystichum munitum</i>	Western Sword Fern	#3	0.60m	
*	<i>Ribes sanguineum</i>	Red Flowering Currant	#3	0.60m	
⑧	<i>Spirea douglasii</i>	Western Spirea	#3	0.50m	
⑨	<i>Taxus x media</i>	Dense Yew	#5	1m	
ESTORATION		BOTANICAL NAME	COMMON NAME	POT SIZE	SPACING
⑩	<i>Corinus stolonifera</i>	Dogwood	#3	1m	
⑪	<i>Gaultheria shallon</i>	Salal	#3	0.40m	
⑫	<i>Philadelphus coronarius</i>	Sweet Mockorange	#3	1m	
⑬	<i>Rubus spectabilis</i>	Salmonberry	#3	0.60m	
SHRUBS, BUFFER		BOTANICAL NAME	COMMON NAME	POT SIZE	SPACING
⑭	<i>Corinus stolonifera</i>	Dogwood	#3	1.50m	
⑮	<i>Oemleria cerasiformis</i>	Indian Plum	#3	1.20m	
⑯	<i>Ribes sanguineum</i>	Red Flowering Currant	#3	0.60m	
⑰	<i>Rubus spectabilis</i>	Salmonberry	#3	0.60m	
⑱	<i>Rubus ursinus</i>	California Blackberry	#3	0.60m	
⑲	<i>Sympetrum calopeltis</i>	Common White Snoderry	#3	0.60m	



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Client/Project  
Am-Pri Developments Ltd.

LANDSCAPE PACKAGE

## PLANTING PLAN NATIVE PLANTING BUFFER - SOUTH WEST

Object No. 144313145 Scale As Noted

0 205

1:200

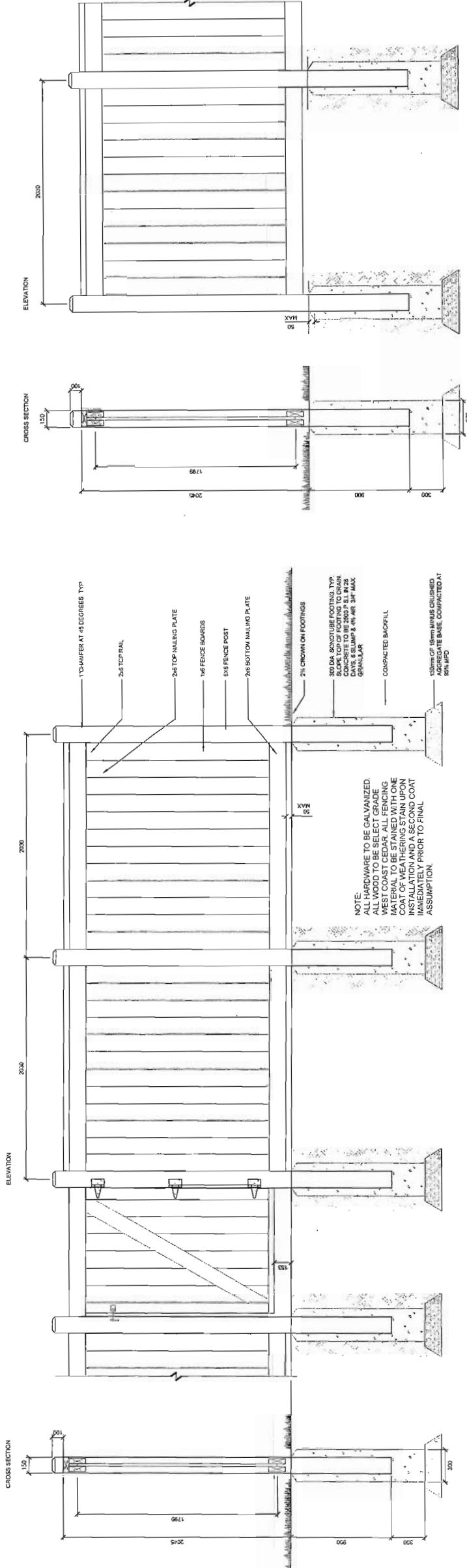
ORIGINALE - Arch D

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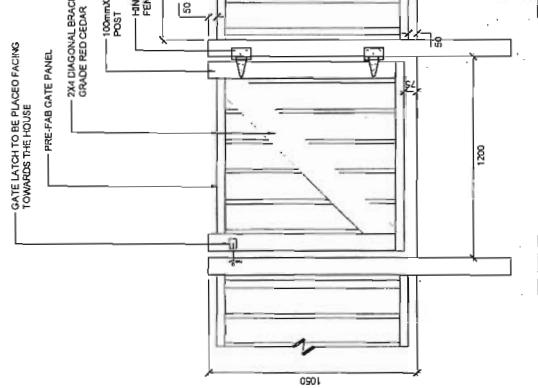
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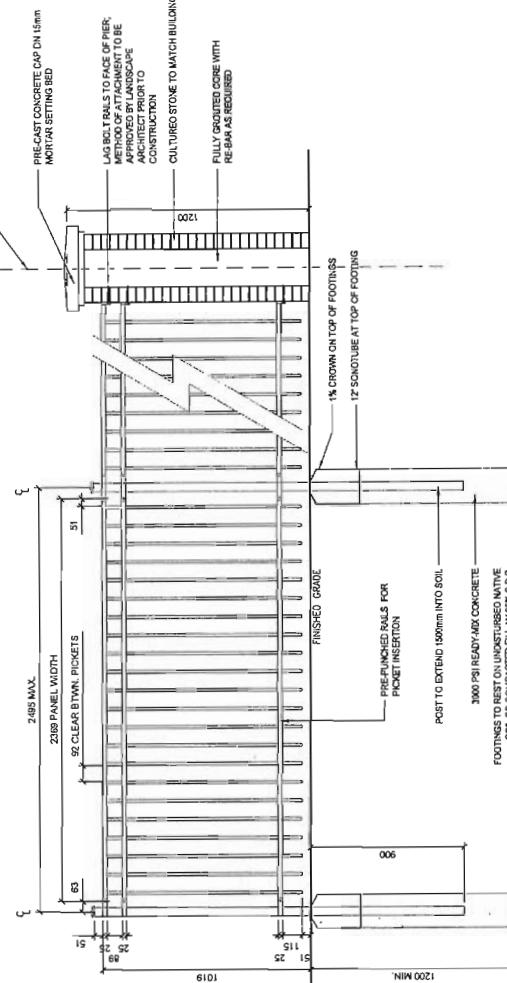


3 2.0 m WOOD PRIVACY FENCE AND GATE DETAIL  
L-301 120



3 1.2 m WOOD PICKET FENCE & GATE DETAIL

4 1.2 m METAL PICKET FENCE WITH GATE & PIERS DETAIL



FENCE AND SCREENING DETAILS

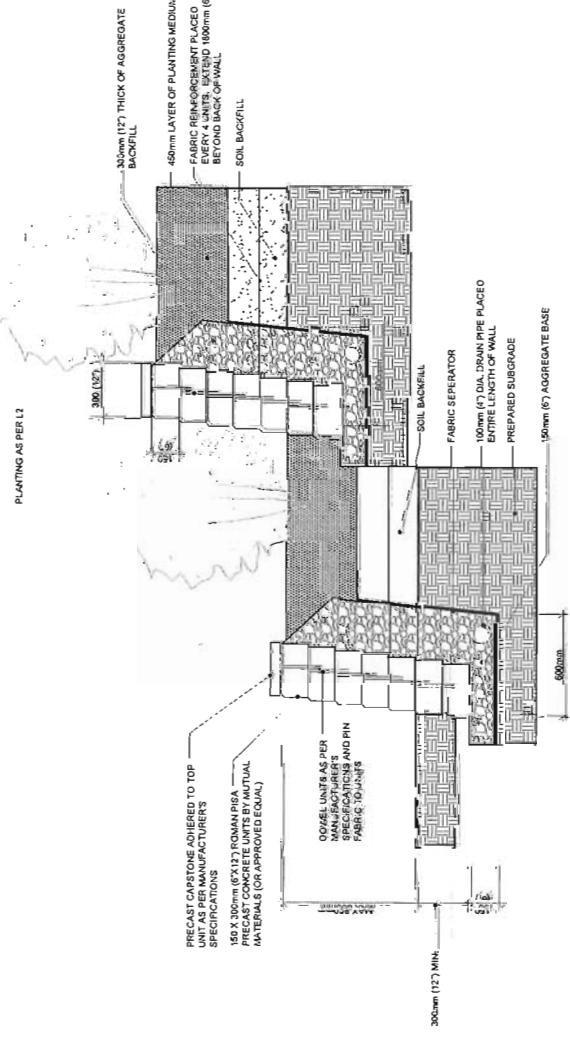
Project No. 144313145 Scale As Noted  
Drawing No. L-301 Revision 0

Plant III

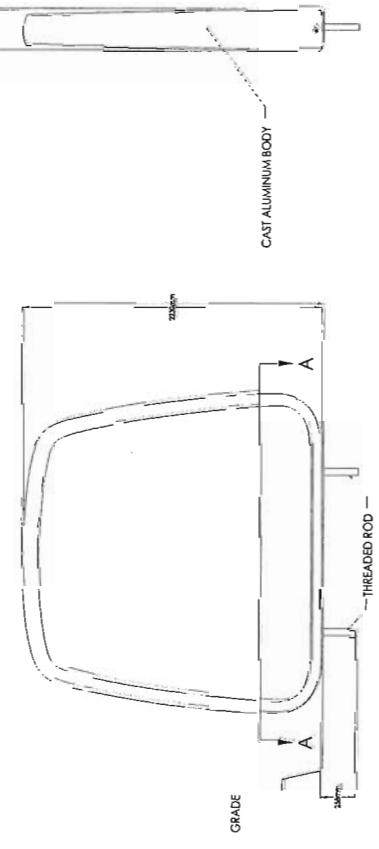
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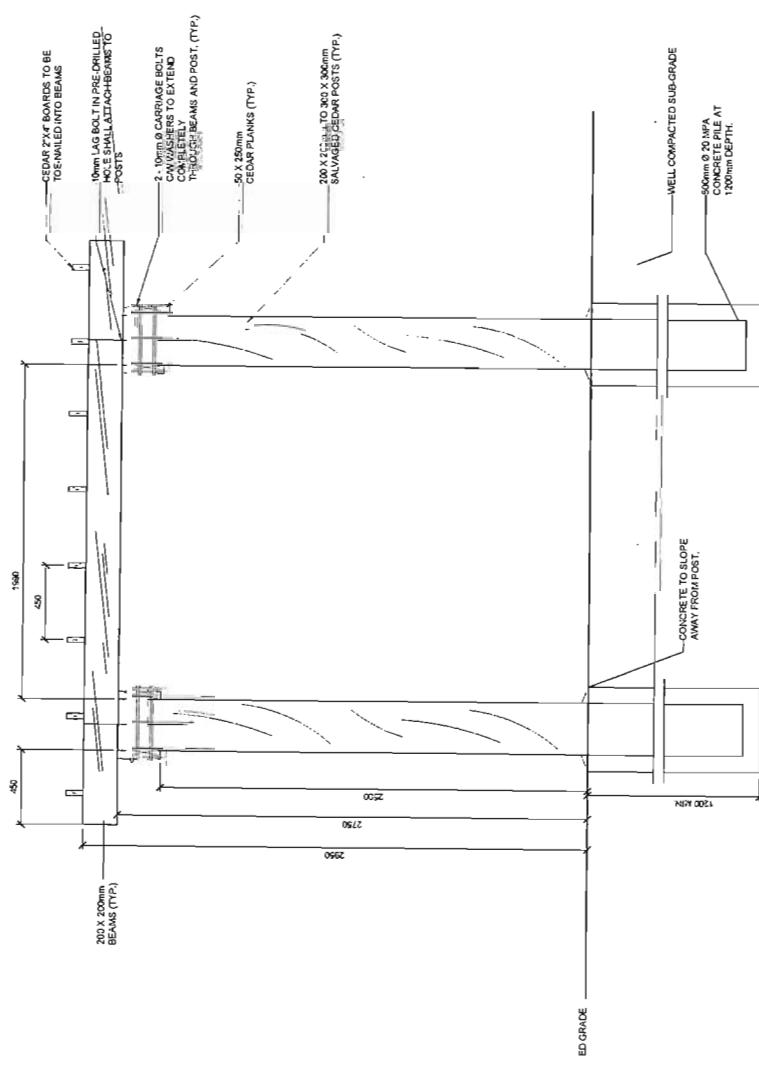
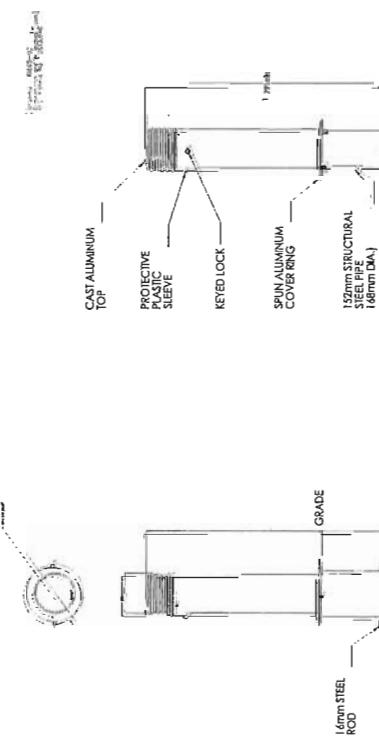
Consultants



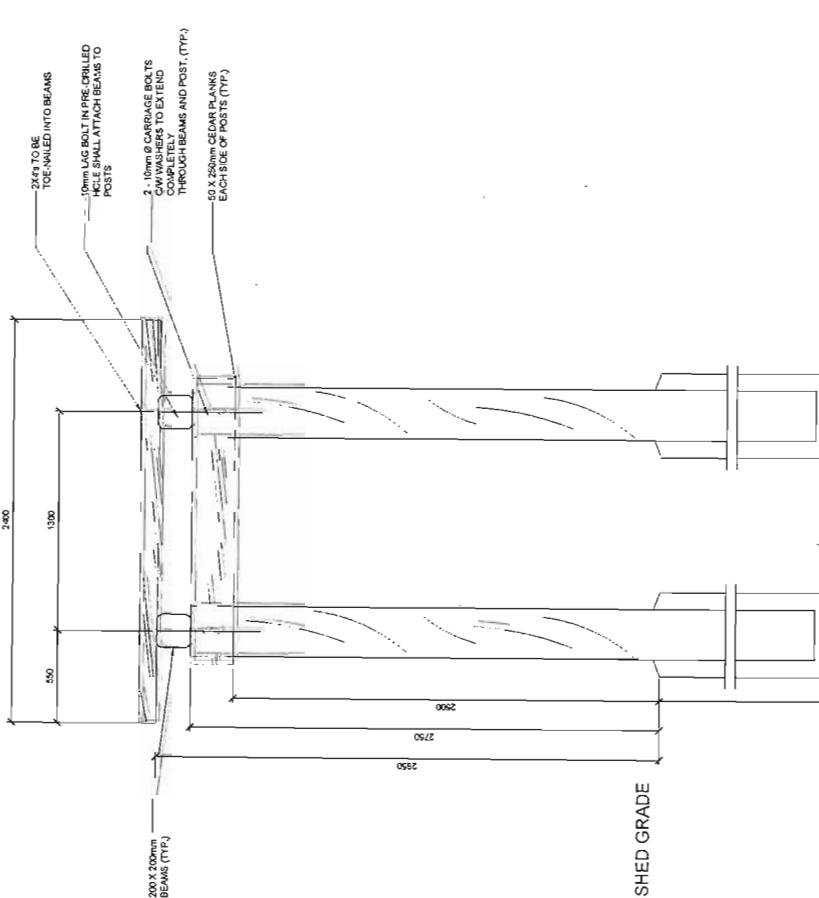
3 UNIT BLOCK RETAINING WALL PLANTER DETAIL



Ride Bike Rack By Landscape Forms  
N.T.S.  
L-302



Wood Trellis - Front View



Wood Trellis -Side View

**Am-Pri Developments Ltd.**

LANDSCAPE PACKAGE

110

SITE STRUCTURES  
AND SITE FURNISH

Project No. \_\_\_\_\_ Scale \_\_\_\_\_

Drawing No.

L-302

Plan 415





MAR 10 2015

This architectural elevation drawing shows a multi-story building with a complex facade. The building features multiple levels, each with different window configurations and doorways. The left side of the building has large windows and a prominent entrance. The right side consists of a series of smaller windows and doors. The roofline is relatively flat, with some minor variations in height. The drawing includes several labels indicating specific parts of the building:

- ROOF RIDGE**: Located at the top left, with a note **EL. +13.08M (42.22')**.
- ULS OF ROOF TRUSSES**: Located on the left side, with a note **EL. +10.78M (35.36')**.
- THIRD FLOOR**: Located in the center-left, with a note **EL. +8.52M (27.39')**.
- SECOND FLOOR**: Located in the center-right, with a note **EL. +5.31M (17.42')**.
- GROUND FLOOR**: Located at the bottom right, with a note **EL. +2.10M (6.89')**.
- FINISHES/FINISHING**: Located at the bottom right, with a note **EL. +2.10M (7.86')**.

The drawing also includes several vertical labels on the right side, likely referring to different units or sections of the building:

- UNIT-Ca**
- UNIT-Cb**
- UNIT-Cc**
- UNIT-Cd**
- UNIT-Ce**
- UNIT-Cf**
- UNIT-Cg**
- UNIT-Ch**
- UNIT-Ci**
- UNIT-Cj**
- UNIT-Ck**
- UNIT-Cl**
- UNIT-Cm**
- UNIT-Cn**
- UNIT-Co**
- UNIT-Cp**
- UNIT-Cq**
- UNIT-Cr**
- UNIT-Cs**
- UNIT-Ct**
- UNIT-Cu**
- UNIT-Cv**
- UNIT-Cw**
- UNIT-Cx**
- UNIT-Cy**
- UNIT-Cz**

PL

ROOF RIDGE  
EL. +13.08M (42.82')

10.66M (35.0') PROP BUILDING HEIGHT  
12.0 M (39.4') MAX BUILDING HEIGHT

U/S OF ROOF TRUSSES  
EL. +10.78M (35.39')

SECOND FLOOR  
EL. +5.11M (17.27')

THIRD FLOOR  
EL. +8.32M (27.30')

GROUND FLOOR  
EL. -2.80M (8.58')

FINISHED SITE GRADE  
EL. -2.40M (7.86')

JAN. 12, 2016	ISSUED FOR A.D.P.
NOV. 7, 2014	ISSUED FOR C.D.P.
AUG. 25, 2014	ISSUED FOR C.U.P. APPLICATION
MAR. 31, 2014	ISSUED FOR REZONING
NO. DATE	REVISIONS
CONSULTANT	

Yamamoto  
Architecture Inc.

2386 oak street, vancouver, b.c.  
v6h 4j1 tel: 731-1127 fax: 731-1327

---

DRAWING TITLE

ELEVATIONS

SCALE	1/8" = 1'-0"	SHEET NO.	
DATE	NDV - 24/2013		
DRAWN	KP		
CHECKED		PROJ. NO.	1311

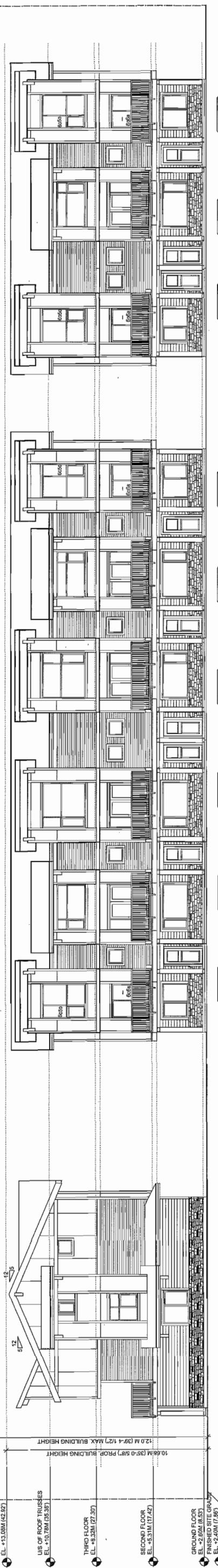
Plan # 18

PLAN #4

MAR 10 2015

14-671600

PL



BUILDING NO. 5

UNIT-Ba

UNIT-B1

UNIT-B

UNIT-B1

UNIT-B1

UNIT-B1

COLOUR SCHEME - B1

COLOUR SCHEME - C1

UNIT-B1

BUILDING NO. 7

UNIT-B1

UNIT-B1

UNIT-B1

BUILDING NO. 6

UNIT-B1

UNIT-B1

BUILDING NO. 5

UNIT-B1

MAR 10 2015

009 T49-11 d



MAR 10 2015

d 0

**SCALE** 1/8" = 1'-0" **SHEET NO.** \_\_\_\_\_

PLAN #7

**SOUTH ELEVATION**      COLOUR SCHEME - C2

Yamamoto  
Architecture Inc

DRAWING 241

## ELEVATIONS

SCALE

1/8" = 1'-0"

DATE AUG. 21, 2014

---

DRAWN

WC

CHECKED

Plan #21

NOV. 1, 2014	ISSUED FOR A.D.P.
AUG. 25, 2014	ISSUED FOR D.P. APPLICATION
MAR. 31, 2014	ISSUED FOR REZONING
NO. <input type="text"/>	DATE <input type="text"/> REVISIONS <input type="text"/>

CONSULTANT

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PROJECT  
**96 UNIT TOWNHOUSE DEVELOPMENT**

950-9510 ALEXANDRA ROAD  
RICHMOND, B.C.  
  
Yamamoto  
Architecture Inc.  
  
2386 Oak Street, Vancouver, B.C.  
V6H 4J1 tel: 731-1217 / fax: 731-1327  
  
DRAWING TITLE

SCALE		SHEET NO.
$1/8'' = 1-0''$		
DATE	AUG. 21, 2014	
DRAWN BY	WC	
CHECKED		PROJ. NO. 1311

This architectural elevation drawing shows a multi-story building with a complex facade. The building features a mix of window types, some with multiple panes and others with decorative frames. A prominent feature is a vertical section on the right side with horizontal hatching patterns. On the left, there are several smaller sections with different window arrangements. Numbered callouts (1 through 12) point to specific details: 1 points to a small circular feature near the base; 2 points to a vertical line; 3 points to a horizontal line; 4 points to a vertical line; 5 points to a horizontal line; 6 points to a vertical line; 7 points to a horizontal line; 8 points to a vertical line; 9 points to a horizontal line; 10 points to a vertical line; 11 points to a horizontal line; and 12 points to a vertical line near the top edge.

WEST ELEVATION

The diagram shows a three-story building elevation with a stepped gable roof. The facade features decorative trim, including a cornice with brackets and a central entrance flanked by sidelights. The windows are multi-paned with decorative frames. A legend on the left side identifies the following components:

- 1. Main entrance
- 2. Sidelight windows
- 3. Side door
- 4. Ground floor window
- 5. Second floor window
- 6. Third floor window
- 7. Gable trim
- 8. Cornice trim
- 9. Brackets under cornice
- 10. Stepped gable roofline
- 11. Eaves
- 12. Gable end trim
- 13. Gable end trim (repeated)

This vertical architectural drawing shows a multi-story building facade. The left side features a series of windows arranged in a grid pattern, some with horizontal and vertical mullions. The right side shows a vertical sequence of door units or entranceways, each with its own decorative frame and glass panels. Vertical dashed lines divide the facade into sections.

**EAST ELEVATION**  
COLOUR SCHEME C2  
BUILDING NO. 3

**EAST ELEVATION**  
COLOUR SCHEME C3  
BUILDING NO. 4

The image displays four architectural elevation drawings of a house, each illustrating a different color scheme. The house features a gabled roof with exposed trusses, a central entrance with a porch, and large windows. The color schemes are indicated by labels: 'COLOUR SCHEMIE - D2' (top), 'COLOUR SCHEMIE - C2' (second from top), 'COLOUR SCHEMIE - B2' (third from top), and 'COLOUR SCHEMIE - A2' (bottom). Each label includes a small color swatch and a numerical value (e.g., 12, 5) next to it.

This architectural elevation drawing shows a four-story building with a total height of 16 meters. The building features a central entrance on the ground floor, which includes a double door and a small porch. Above the entrance, there is a balcony with a metal railing. Each floor has two sets of windows, one on the left side and one on the right side. The top floor has a larger window on the right side. The building is surrounded by a fence, and there is a small garden area in front of the entrance. The drawing is labeled with 'UNIT-B1' at the top right, 'UNIT-B2' in the middle right, 'UNIT-B3' in the bottom right, and 'UNIT-B4' at the very bottom right.

**BUILDING NO. 4**

**NORTH ELEVATION**  
COLOUR SCHEME - C2

**SOUTH ELEVATION**  
COLOUR SCHEME - B2

MAR 10 2015

009179-14-000



JAN. 12, 2015	ISSUED FOR A.D.P.	
NOV. 7, 2014	ISSUED FOR A.D.P.	
AUG. 25, 2014	ISSUED FOR D.P. APPLICATION	
MAR. 31, 2014	ISSUED FOR REZONING	
NO. DATE	REVISIONS	CONSULTANT

**PROJECT:** 95 UNIT TOWNHOUSE DEVELOPMENT

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9580-9680 ALEXANDRA ROAD  
RICHMOND, B.C.

Yamamoto  
Architecture Inc.

2286 oak street, vancouver, b.c.  
v6g 4z1 tel: 731-1327 fax: 731-1327  

---

**DRAWING TITLE**  
**ELEVATIONS**

SCALE	$1/10^3 = 1-0^6$	SHEET NO.	
DATE	AUG. 21, 2014	DRAWN	WC
		CHECKED	
		PROJ. NO.	1311

PLAN #8

EAST ELEVATION      COLOUR SCHEME - B1

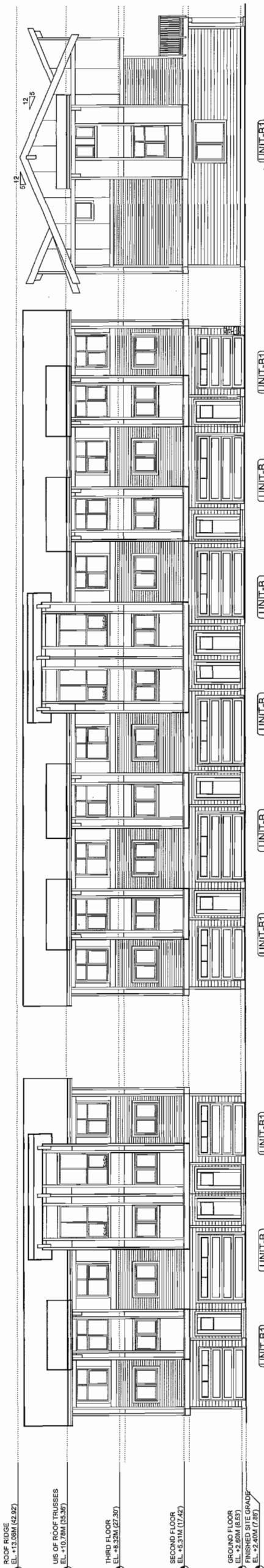
WEST ELEVATION  
COLOUR SCHEME - B1

SOUTH ELEVATION  
COLOUR SCHEME - A2

NORTH ELEVATION  
COLOUR SCHEME - A2

MAR 10 2015

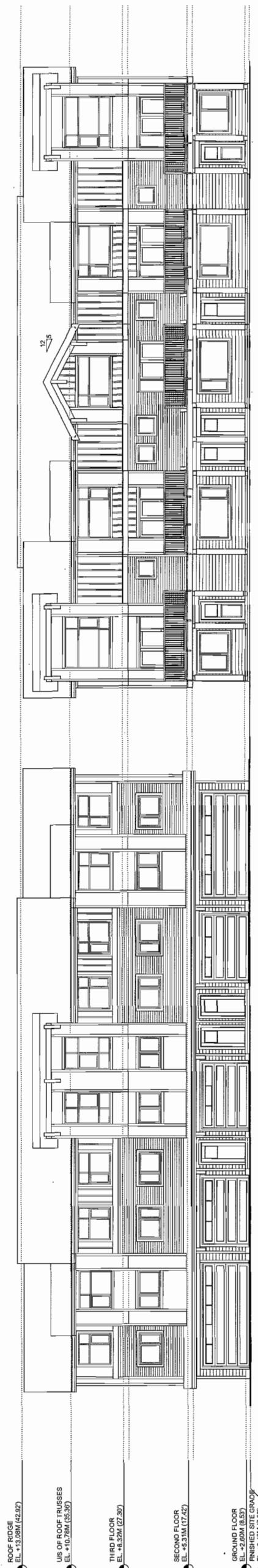
COLOUR / MATERIAL SCHEME	
<b>SCHEME A1 &amp; A2</b>	
2ND FLOOR PLASTERED PAINTED ROYAL BUILDING PRODUCTS "WHITE"	A1:
PAINTED ROYAL BUILDING PRODUCTS "WHITE"	A2:
PAINTED JAMES MARSH COLOURS "HORN GRAY"	Roof:
PAINTED JAMES MARSH COLOURS "WOODSTOCK BROWN"	Floor:
<b>SCHEME B1 &amp; B2</b>	
2ND & 3RD FLOOR WALL: PAINTED ROYAL BUILDING PRODUCTS "WHITE" & BLUE"	
GLAZED LUGGAGE WALL: PAINTED JAMES MARSH COLOURS "HORN GRAY"	
PAINTED JAMES MARSH COLOURS "HORN GRAY"	
PAINTED JAMES MARSH COLOURS "HORN GRAY"	
<b>SCHEME C1 &amp; C2</b>	
2ND & 3RD FLOOR WALL: PAINTED ROYAL BUILDING PRODUCTS "WHITE" & BLUE"	
GLAZED LUGGAGE WALL: PAINTED ROYAL BUILDING PRODUCTS "WHITE" & BLUE"	
PAINTED JAMES MARSH COLOURS "HORN GRAY"	
PAINTED JAMES MARSH COLOURS "HORN GRAY"	
PAINTED JAMES MARSH COLOURS "HORN GRAY"	
<b>COMMON ELEMENTS</b>	
BRICKWORK: PAINTED ROYAL BUILDING PRODUCTS "WHITE" & BLUE"	
ROOF:	
PAINTED ROYAL BUILDING PRODUCTS "WHITE" & BLUE"	
WALLS: PAINTED ROYAL BUILDING PRODUCTS "WHITE" & BLUE"	
DOORS: PAINTED ROYAL BUILDING PRODUCTS "WHITE" & BLUE"	
WINDOWS: PAINTED ROYAL BUILDING PRODUCTS "WHITE" & BLUE"	
ROOF RIDGE: PAINTED ROYAL BUILDING PRODUCTS "WHITE" & BLUE"	
ROOF TRUSSES: PAINTED ROYAL BUILDING PRODUCTS "WHITE" & BLUE"	
SECOND FLOOR: EL. +5.31M (17.42')	
GROUND FLOOR: EL. +2.60M (8.53')	
FINISHED SITE GRADE: EL. +2.40M (7.87')	
FINISHED SITE GRADE: EL. +2.40M (7.87')	



**BUILDING NO. 6**  
**NORTH ELEVATION**  
**COLOUR SCHEME - C1**

**BUILDING NO. 7**  
**TYP. SIDE ELEVATION**  
**COLOUR SCHEME - B1**

**BUILDING NO. 7**  
**NORTH ELEVATION**  
**COLOUR SCHEME - B1**



**BUILDING NO. 7**  
**NORTH ELEVATION**  
**COLOUR SCHEME - B1**

**BUILDING NO. 7**  
**SOUTH ELEVATION**  
**COLOUR SCHEME - A2**

**BUILDING NO. 7**  
**NORTH ELEVATION**  
**COLOUR SCHEME - A2**

<b>96 UNIT TOWNHOUSE DEVELOPMENT</b>	<b>Yamamoto Architecture Inc.</b>
SB#-2880 ALEXANDRA ROAD RICHMOND, B.C.	

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**BUILDING NO. 8**  
**SOUTH ELEVATION**  
**COLOUR SCHEME - A2**

**BUILDING NO. 8**  
**NORTH ELEVATION**  
**COLOUR SCHEME - A2**

**BUILDING NO. 8**  
**SOUTH ELEVATION**  
**COLOUR SCHEME - A2**

SCALE	1/8" = 1'-0"	SHEET NO.
DATE	AUG. 21, 2014	
DRAWN	WC	
CHECKED		
PROL. NO.	1311	

**PLAN #9**

**BUILDING NO. 8-1**  
**TYP. SIDE ELEV.**

**BUILDING NO. 8-1**  
**TYP. SIDE ELEV.**

**BUILDING NO. 9**  
**WEST ELEVATION**  
**COLOUR SCHEME - C2**  
**BUILDING NO. 10**  
**EAST ELEVATION**  
**COLOUR SCHEME - B2**

**BUILDING NO. 9**  
**EAST ELEVATION**  
**COLOUR SCHEME - C2**  
**BUILDING NO. 10**  
**WEST ELEVATION**  
**COLOUR SCHEME - B2**

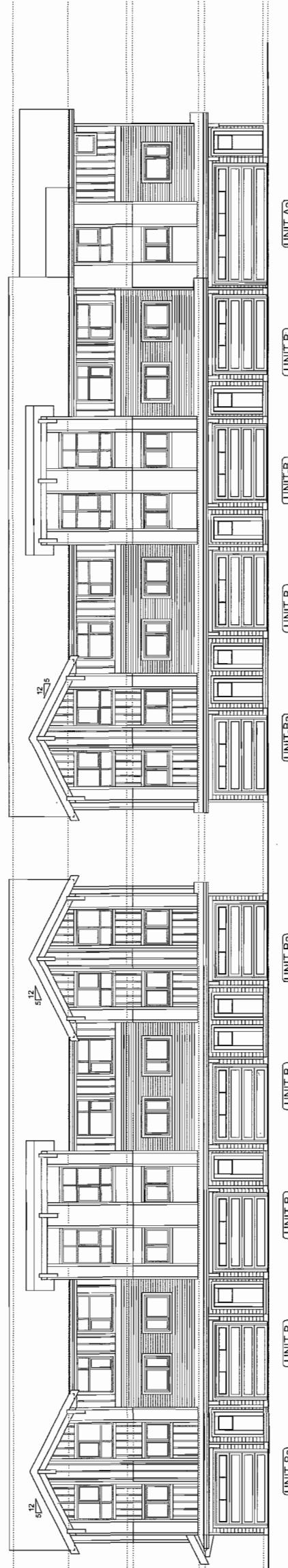
MAR 10 2015

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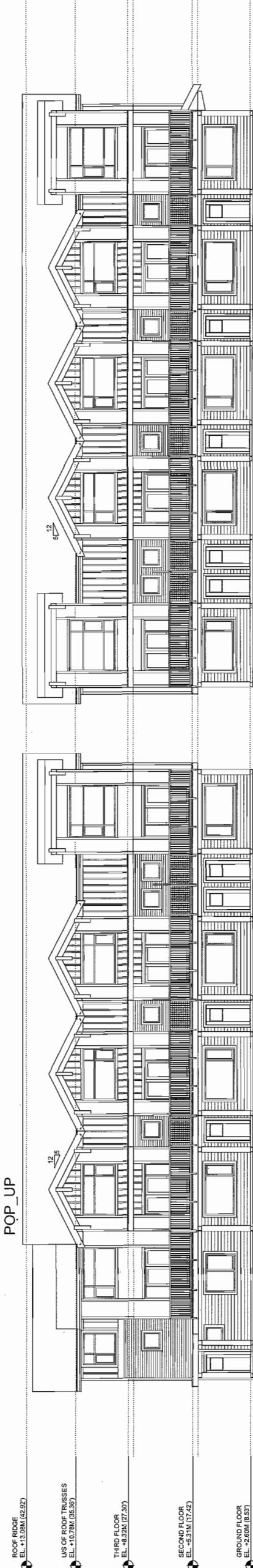
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COLOUR / MATERIAL SCHEME	
SCHEME A1 & A2	
ROOF & GUTTER	PAINTED METAL
WALLS & DOORS	PAINTED ROYAL BUILDING PRODUCTS "MISTY GRAY"
GROUND FLOOR WALL	PAINTED ROYAL BUILDING PRODUCTS "MISTY GRAY"
A1: HANFREY PLANK	HANFREY PLANK
A2: HANFREY PLANK	HANFREY PLANK
SECOND FLOOR	PAINTER JAMES HARVE COLORPLUS "WOODSTOCK BROWN"
EL. + 8.2M (27.30)	
THIRD FLOOR	PAINTER JAMES HARVE COLORPLUS "WOODSTOCK BROWN"
EL. + 8.2M (27.30)	
SCHEME B1 & B2	
ROOF & GUTTER	PAINTED ROYAL BUILDING PRODUCTS "MISTY GRAY"
WALLS & DOORS	PAINTED ROYAL BUILDING PRODUCTS "MISTY GRAY"
GROUND FLOOR WALL	PAINTER JAMES HARVE COLORPLUS "WOODSTOCK BROWN"
A1: HANFREY PLANK	HANFREY PLANK
A2: HANFREY PLANK	HANFREY PLANK
SECOND FLOOR	PAINTER JAMES HARVE COLORPLUS "WOODSTOCK BROWN"
EL. + 8.3M (27.40)	
SCHEME C1 & C2	
ROOF & GUTTER	PAINTED ROYAL BUILDING PRODUCTS "MISTY GRAY"
WALLS & DOORS	PAINTED ROYAL BUILDING PRODUCTS "MISTY GRAY"
GROUND FLOOR WALL	PAINTER JAMES HARVE COLORPLUS "WOODSTOCK BROWN"
A1: HANFREY PLANK	HANFREY PLANK
A2: HANFREY PLANK	HANFREY PLANK
SECOND FLOOR	PAINTER JAMES HARVE COLORPLUS "WOODSTOCK BROWN"
EL. + 8.3M (27.40)	
COMMON ELEMENTS	
ROOF	PAINTED ROYAL BUILDING PRODUCTS "MISTY GRAY"
ACROSS GUTTER	PAINTED ROYAL BUILDING PRODUCTS "MISTY GRAY"
HANFREY PLANK BOARD	PAINTED ROYAL BUILDING PRODUCTS "MISTY GRAY"
FRASER BOARD	PAINTED ROYAL BUILDING PRODUCTS "MISTY GRAY"
WOOD	PAINTED ROYAL BUILDING PRODUCTS "MISTY GRAY"
WIRKWOOD	PAINTED ROYAL BUILDING PRODUCTS "MISTY GRAY"
DOOR & STAIRCASE	PAINTED ROYAL BUILDING PRODUCTS "MISTY GRAY"
DRAWS & DRAWING	PAINTED ROYAL BUILDING PRODUCTS "MISTY GRAY"
ASSETTE	PAINTED ROYAL BUILDING PRODUCTS "MISTY GRAY"
ALUMA	PAINTED ROYAL BUILDING PRODUCTS "MISTY GRAY"
SHOWER	PAINTED ROYAL BUILDING PRODUCTS "MISTY GRAY"
ALUM CAP	PAINTED ROYAL BUILDING PRODUCTS "MISTY GRAY"
EDGING	PAINTED ROYAL BUILDING PRODUCTS "MISTY GRAY"
METAL	PAINTED ROYAL BUILDING PRODUCTS "MISTY GRAY"
BARS	PAINTED ROYAL BUILDING PRODUCTS "MISTY GRAY"
IRON	PAINTED ROYAL BUILDING PRODUCTS "MISTY GRAY"



POP\_UP  
WEST ELEVATION  
COLOUR SCHEME - C2

POP\_UP



POP\_UP  
WEST ELEVATION  
COLOUR SCHEME - C2

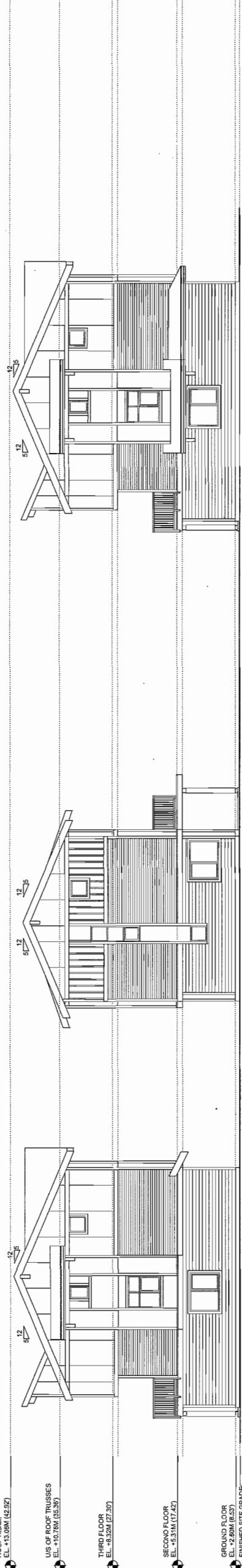
POP\_UP

PROJECT  
96 UNIT TOWNHOUSE DEVELOPMENT

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POP\_UP  
WEST ELEVATION  
COLOUR SCHEME - C2

POP\_UP

BUILDING NO. 13  
NORTH ELEV.  
COLOUR SCHEME - C2

PLAN #10

SCALE 1/8" = 1'-0"  
DATE AUG. 21 2014  
DRAWN WC  
CHECKED

PLANT #24

2386 Park Street, Vanc., B.C.  
V6H 4J1 Tel: 731-1327 fax:  
731-1327 DRAWING TITLE  
ELEVATIONS

ELEVATIONS

BUILDING NO. 13  
NORTH ELEV.  
COLOUR SCHEME - C2

BUILDING NO. 12  
SOUTH ELEVATION  
COLOUR SCHEME - B2

BUILDING NO. 12 & 13  
TYP. SIDE ELEV.

Yamamoto  
Architecture Inc.

MAR 10 2015

00916-4

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PROJ. NO. 1311

COLOUR / MATERIAL SCHEME	
SCHEME A & B	SCHEME C & D
<b>2nd BASE COLOR: WALL</b> * VIVA, SWING <b>GRINDING COLOR: FLOOR, MAINTAINING PRODUCTS &amp; CYPRESSES*</b> A1: HARVEY LANK A2: PAINTER JAMES HARVE COLOURS 1107 GRAY* PAINTER JAMES HARVE COLOURS 1107 GRAY* PAINTER JAMES HARVE COLOURS 1107 GRAY* <b>WOODSTOCK BROWN*</b>	<b>BASE COLOR: WALL</b> * VIVA, SWING <b>GRINDING COLOR: FLOOR, MAINTAINING PRODUCTS &amp; CYPRESSES*</b> A1: HARVE LANK A2: PAINTER JAMES HARVE COLOURS 1107 GRAY* PAINTER JAMES HARVE COLOURS 1107 GRAY* PAINTER JAMES HARVE COLOURS 1107 GRAY* <b>WOODSTOCK BROWN*</b>
<b>SCHEME B1 &amp; B2</b> 2nd BASE COLOR: WALL * VIVA, SWING <b>GRINDING COLOR: FLOOR, MAINTAINING PRODUCTS &amp; CYPRESSES*</b> A1: HARVE LANK B1: PAINTER JAMES HARVE COLOURS 1107 GRAY* B2: HARVE LANK C1: PAINTER JAMES HARVE COLOURS 1107 GRAY* C2: HARVE LANK	<b>SCHEME C1 &amp; C2</b> 2nd BASE COLOR: WALL * VIVA, SWING <b>GRINDING COLOR: FLOOR, MAINTAINING PRODUCTS &amp; CYPRESSES*</b> A1: HARVE LANK B1: PAINTER JAMES HARVE COLOURS 1107 GRAY* B2: HARVE LANK C1: PAINTER JAMES HARVE COLOURS 1107 GRAY* C2: HARVE LANK
<b>COMMON ELEMENTS</b> <b>RIDGE:</b> SPANISH SPANISH <b>CHARACTER SPANNERS:</b> <b>ACSERVIAL:</b> PAINTER JAMES HARVE COLOURS 1107 GRAY* EACH SIDE: 2 LAYER BRICKS <b>WOOD:</b> WOOD: BIRCH WOOD COLOUR: 214 "WILGROTH TROW" WOOD: BIRCH WOOD COLOUR: 214 "WILGROTH TROW" <b>WOODSTOCK BROWN:</b> BROAD: PAINTER JAMES HARVE COLOURS 1107 GRAY* OTHER: STONE <b>EDGING:</b> CHOCOLATE PAINTER JAMES HARVE COLOURS 2146 "DADY CASHMERE" <b>BRAZED BEVELLED CORNER: GARAGE DOOR, GATE, REACTA CODE:</b> PAINTER JAMES HARVE COLOURS 1107 GRAY* <b>EDGE:</b> METAL BALKERS: GUMBLETT METAL	



JAN. 12, 2015	ISSUED FOR A.O.P.
NOV. 4, 2014	ISSUED FOR A.D.P.
AUG. 26, 2014	ISSUED FOR O.P. APPLICATION
MAR. 31, 2014	ISSUED FOR REZONING
NO. DATE	REVISIONS
	CONSULTANT

**PROJECT**  
**96 UNIT TOWNHOUSE DEVELOPMENT**

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Yamamoto  
Architecture Inc.

2389 oak street, van. b.c.  
V6H 4J1 tel: 731-1127 fax: 731-1327

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ELEVATIONS

DRAWING TITLE

SCALE 1/8" = 1'-0" DATE AUG. 21, 2014 DRAWN "C"  
SHEET NO. \_\_\_\_\_

PLAN #1

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PLAN #1





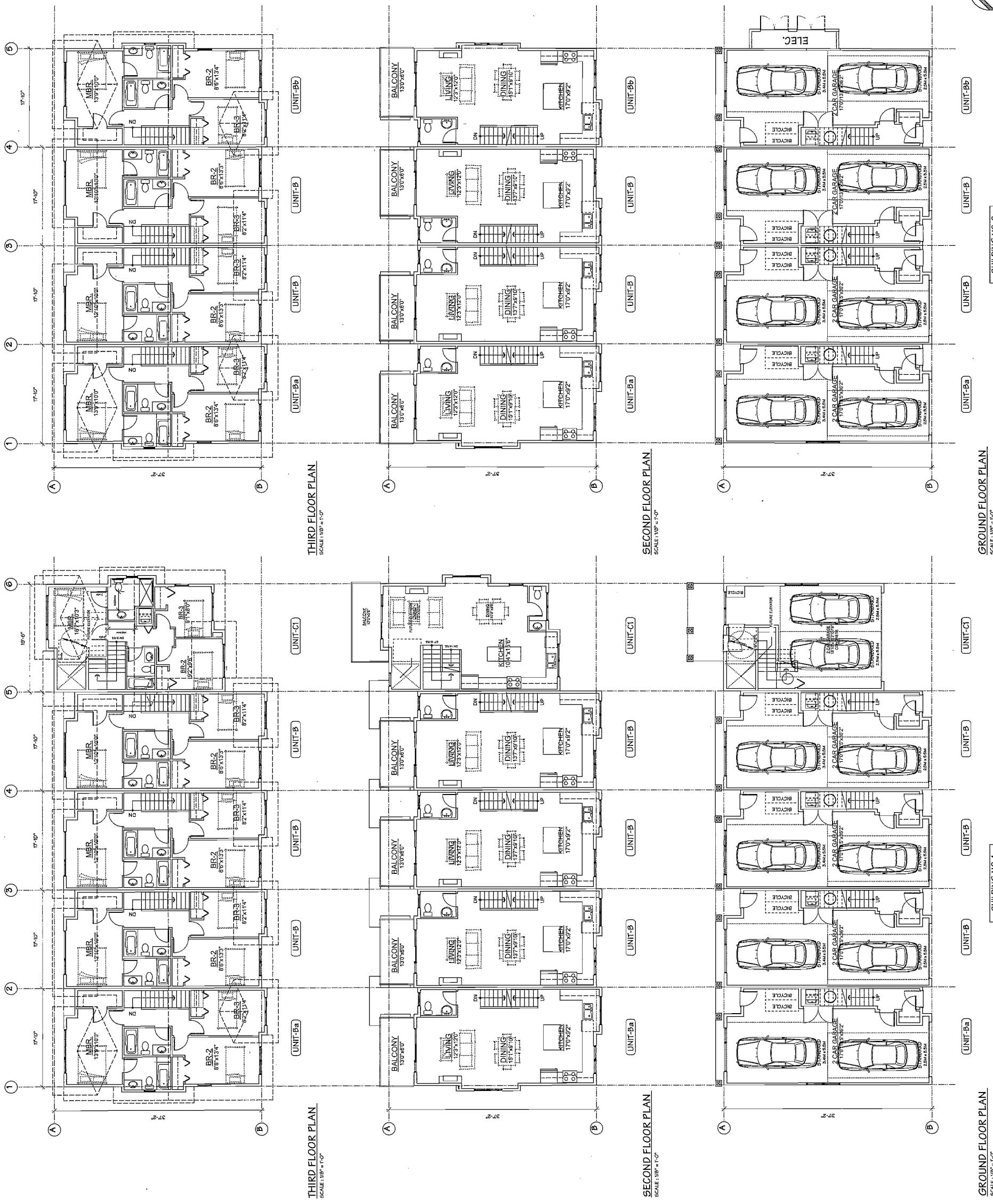
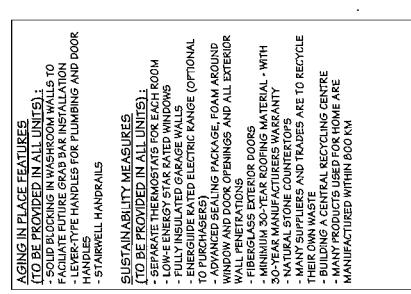




MAR 10 2015

000-67160

Plan #30



MAR 10 2015

DP 14-671600

- AGING IN PLACE FEATURES**
  - TO BE PROVIDED IN ALL UNITS:
  - SOFT BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION
  - LEVER TYPE HANDLES FOR PLUMBING AND DOOR HANDLES
  - STAINLESS STEEL BATHROOM TOWEL RACKS
  - STAINLESS STEEL BATHROOM SINKS
  - FULLY INSULATED FAUCET WALL MOUNTS
  - ENERGIZED RATED ELECTRIC RANGE (OPTIONAL TO PURCHASERS)
  - ADVANCED SEALING PACKAGE, FOAM AROUND WINDOW AND DOOR OPENINGS AND ALL EXTERIOR WALL PENETRATIONS
  - STAINLESS STEEL DOOR CLOSERS
  - STAINLESS STEEL DOOR TRIM
  - 30 YEAR MANUFACTURER'S WARRANTY
  - NATURAL STONE COUNTERTOPS
  - MANY SUPPLIERS AND TRADES ARE TO RECYCLE THEIR OWN WASTE
  - BUILDING A CENTRAL RECYCLING CENTRE
  - MANY PRODUCTS USED FOR HOME ARE MANUFACTURED WITHIN 200 KM
- SUSTAINABILITY MEASURES**
  - TO BE PROVIDED IN ALL UNITS:
  - ONE ENERGY STAR RATED HEATING SYSTEMS
  - FULLY INSULATED FAUCET WALL MOUNTS
  - ENERGIZED RATED ELECTRIC RANGE (OPTIONAL TO PURCHASERS)
  - ADVANCED SEALING PACKAGE, FOAM AROUND WINDOW AND DOOR OPENINGS AND ALL EXTERIOR WALL PENETRATIONS
  - STAINLESS STEEL DOOR CLOSERS
  - STAINLESS STEEL DOOR TRIM
  - 30 YEAR MANUFACTURER'S WARRANTY
  - NATURAL STONE COUNTERTOPS
  - MANY SUPPLIERS AND TRADES ARE TO RECYCLE THEIR OWN WASTE
  - BUILDING A CENTRAL RECYCLING CENTRE
  - MANY PRODUCTS USED FOR HOME ARE MANUFACTURED WITHIN 200 KM

**SUSTAINABILITY MEASURES**  
[TO BE PROVIDED IN ALL UNITS]:  
-SEPARATE THERMOSTATS FOR EACH  
-LOW ENERGY STAR RATED WINDOW/WALLS  
-FULLY INSULATED GARAGE WALLS  
-ENERGY RATEAD ELECTRIC RANGE  
-KITCHEN CABINETS: PACKAGE, FOAM  
HANGING AND DOOR OPENINGS AND ALL  
WALL PENETRATIONS  
-PLASTIC EXTERIOR DOORS  
-MINIMUM 30-DAY DOOR DROPPING  
-30-YEAR MANUFACTURERS WARRANTY  
-NATURAL STONE COUNTERTOPS ARE 100%  
MANY SUPPLIERS AND TRADES ARE 100%  
THEIR OWN MANUFACTURERS RECYCLING CERTIFIED  
MANUFACTURED WITH AGO IN  
AGO IS A REGISTERED TRADEMARK OF THE  
AGO GROUP OF COMPANIES

Detailed description of the floor plan:

- Floor 7:** Features a large terrace at the top right. Includes a bathroom (BB3, 7'0" x 10'0") and a walk-in closet.
- Floor 6:** Includes a bathroom (BB2, 7'4" x 11'4") and a walk-in closet.
- Floor 5:** Includes a bathroom (BB2, 6'0" x 3'3") and a walk-in closet.
- Floor 4:** Includes a bathroom (BB2, 6'0" x 3'3") and a walk-in closet.
- Floor 3:** Includes a bathroom (BB2, 6'0" x 3'3") and a walk-in closet.
- Floor 2:** Includes a bathroom (BB2, 6'0" x 3'3") and a walk-in closet.
- Floor 1:** Includes a bathroom (BB2, 7'4" x 11'4") and a walk-in closet.
- Ground Floor (A):** Features a large open area (approx. 17'0" x 32'0"), a kitchen, a dining room (DIN), and a central staircase.

THIRD FLOOR PLAN

THIRD FLOOR PLAN

**Floor Plan Details:**

- KITCHEN:** Units A & B: 14'7" x 9'2"; Units C & D: 12'0" x 6'4"
- DINING:** Units A & B: 11'11" x 9'10"; Units C & D: 13'7" x 9'10"
- LIVING:** Units A & B: 12'3" x 12'0"; Units C & D: 12'3" x 12'0"
- BATH:** Units A & B: 9'8" x 7'11"; Units C & D: 9'8" x 7'11"
- BALCONY:** Units A & B: 18'0" x 6'6"; Units C & D: 13'0" x 6'6"
- STAIRS:** Located between Units A & B, and between Units C & D.

SECOND FLOOR PLAN

**Floor Plan Details:**

- KITCHEN:** 12'0" x 9'0" (Units A, B, C, D)
- DINING:** 15'7" x 9'1" (Units A, B, C, D) or 13'7" x 9'1" (Unit A)
- LIVING:** 12'3" x 12'0" (Units A, B, C, D) or 12'3" x 12'0" (Unit A)
- BATH:** Located between the Living and Dining areas
- BALCONY:** 13'0" x 6'0" (Units A, B, C, D)
- STAIRS:** Located between Units B and C, and between Units C and D.
- ENTRANCE:** Located at the bottom of the building.

**Dimensions:**

- Overall Width:** 30'0"
- Overall Depth:** 60'0"
- Unit Depth:** 12'0"
- Unit Width:** 15'7" (Dining) or 13'7" (Dining)
- Balcony Depth:** 6'0"
- Balcony Width:** 13'0"

**Orientation:** The plan shows two main sections labeled A and B. Section A is at the bottom, and Section B is at the top. The entrance is at the bottom, and the central staircase is between Sections B and C.

SECOND FLOOR PLAN

GROUND FLOOR PLAN

The floor plan illustrates a multi-story building layout. The top section, labeled 'ELEC.', contains two standard garage bays. Below this, there are two levels of '2-CAR GARAGE' sections, each containing two bays. A central vertical circulation area features an 'UP' arrow pointing upwards. To the right of the central area, there is a 'STAIRS' section. On the left side, there are sections labeled 'STANDARD 2-BAY GARAGE' and 'STANDARD 1-BAY GARAGE'. A 'CROSS STAIRS' section is located between the two main sections of garages. The bottom level also includes sections for 'STANDARD 2-BAY GARAGE', 'STANDARD 1-BAY GARAGE', and 'CROSS STAIRS'. Various rooms and areas are labeled throughout the plan, including 'BICYCLE' storage areas and 'COMMON AREA' sections.

GROUND FLOOR PLAN

JAN 12, 2016	ISSUED FOR A.D.P.
NOV 7, 2016	ISSUED FOR A.D.P.
AUG 25, 2014	ISSUED FOR D.F. APPLICATION
MAR 21, 2014	ISSUED FOR READING
NO.	DATE
	REVISIONS
	CONSULTANT

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PROJECT

**96 UNIT TOWNHOUSE DEVELOPMENT**

Yamamoto  
Architecture Inc

23886 oak street, van., b.c.  
V6H 4J1 tel: 731-1127 fax: 731-1327

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DRAWING TITLE

SCALE	1/8" = 1'-0"	SHEET NO.	
DATE	NOV. 24, 2013	DRAWN	KP
		APPROVED	
		CHECKED	
		PROJ. NO.	1311

Plan #31

DI ANI #17



BUILDING NO 1

GROUND FLOOR PLAN  
SCALE : 1'0" = 1'-0"

BUILDING NO. 3

GROUND FLOOR PLAN  
SCALE : 1/8" = 1'-0"

SCALE	1/8" = 1'-0"	SHEET NO.	
DATE	NOV. 24, 2013		
DRAWN	KP		PROJ. NO. 1311
CHECKED			

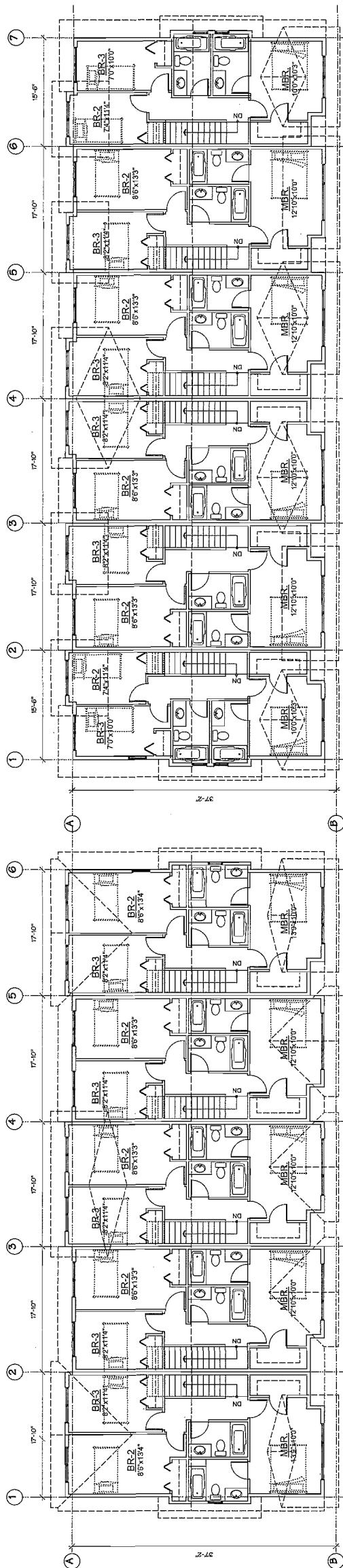
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MAR 10 2015

Yamamoto  
Architecture Inc.

PLAN #18

AGING IN PLACE FEATURES (TO BE PROVIDED IN ALL UNITS):	SUSTAINABILITY MEASURES (TO BE PROVIDED IN ALL UNITS):
- SOFT BLOCKING IN WASHROOM WALLS	- SEPARATE THERMOSTATS FOR EACH ROOM
- FACILITATE FUTURE GRAB BAR INSTALLATION	- EASILY REMOVABLE ACRYLIC WALL CLINGS
- LEVER-STYLE HANDLES FOR PLUMBING AND DOOR HANDLES	- ENERGY RATED ELECTRIC RANGE (TO PURCHASE AS)
- STAIRWELL HANDRAILS	- ADVANCED PACKAGING FOAM AROUND WINDOW AND DOOR OPENINGS AND ALL EXTERIOR WALL ENTABLATURES
	- FIBERGLASS EXTERIOR DOORS
	- 30 YEAR MANUFACTURE WARRANTY
	- NATURAL STONE COUNTERTOPS
	- MANY SUPPLIERS AND TRADES ARE TO RECYCLE THEIR OWN WASTE
	- MANUFACTURED WITHIN 500 KM
	- MANY PRODUCTS USED FOR HOME ARE MANUFACTURED WITHIN 500 KM

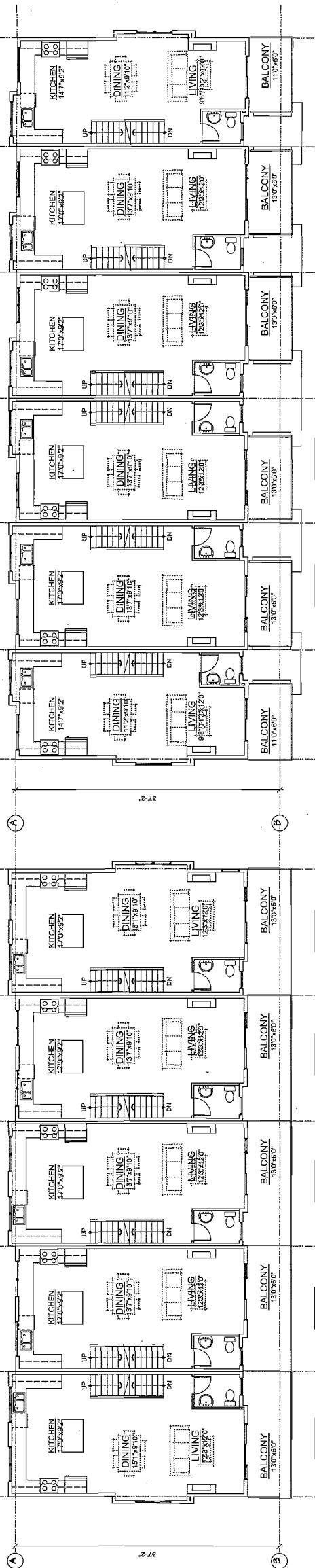


**UNIT-B1**

**THIRD FLOOR PLAN**

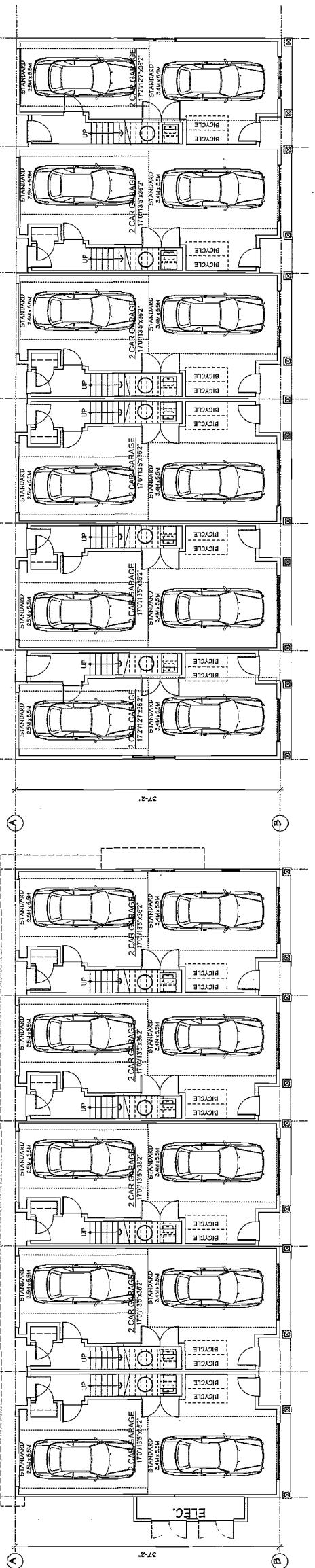
SCALE : 1:500

THIRD FLOOR PLAN



SECOND FLOOR PLAN

SECOND FLOOR PLAN



GROUND FLOOR PLAN

GROUND FLOOR PLAN

**PROJECT**  
**96 UNIT TOWNHOUSE DEVELOPMENT**

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9580-9680 ALEXANDRA ROAD  
RICHMOND, B.C.

2386 oak street, van, b.c.  
v6h 4z1 tel: 731-1127 fax: 731-1324

---

DRAWING TITLE

SCALE	1" = 1'-0"		
SHEET NO.			
DATE	AUG 21, 2014		
DRAWN	KIP		
PROJ. NO.			
CHECKED			

Plan #32

1/B" = 1-0"  
DATE AUG. 21, 201  
DRAWN KP  
CHECKED

DATE	AUG. 21, 2014
DRAWN	KP
CHECKED	
1/16 <sup>th</sup> = 1-0"	

MAR 10 2015

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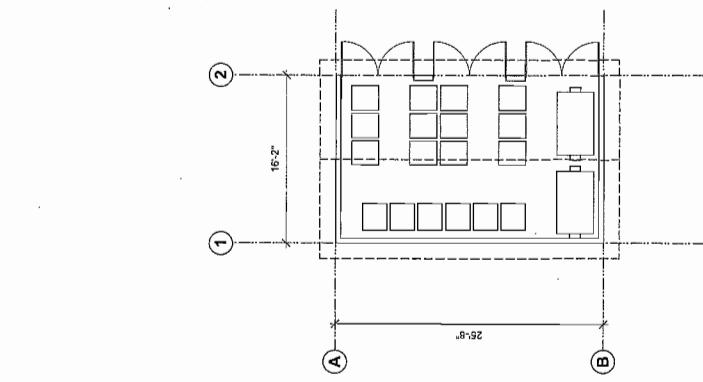
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Plan #33

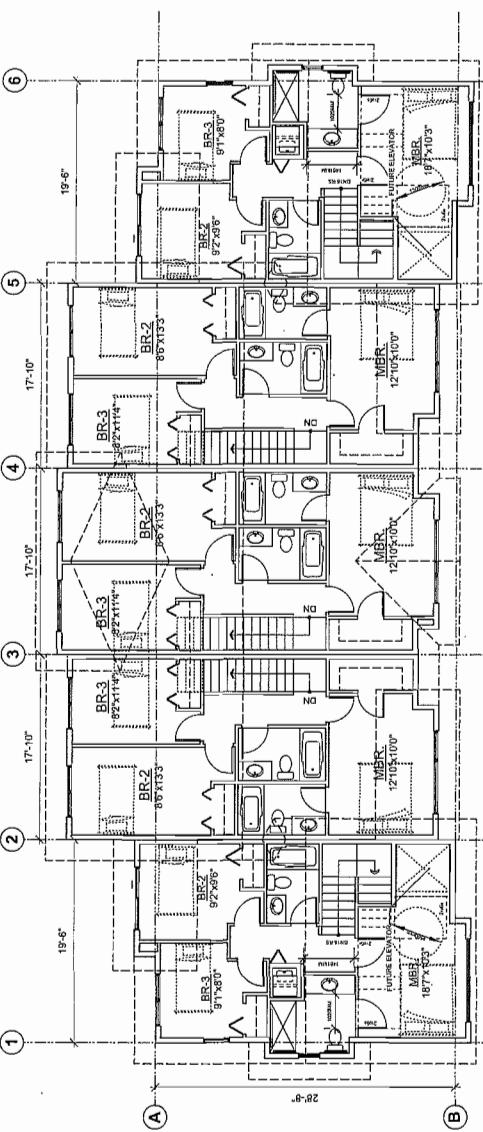
**AGING IN PLACE FEATURES**  
 TO BE PROVIDED IN ALL UNITS:  
 -SOLID DOORING, DIVISIONS, DOOR TRIM  
 -FACILITATE FUTURE GRAB BAR INSTALLATION  
 -LEVER TYPE HANDLES FOR PLUMBING AND  
 DOOR HANDLES  
 -STAIRWELL HANDRAILS

**SUSTAINABILITY MEASURES**  
 TO BE PROVIDED IN ALL UNITS:  
 -SEPARATE THERMOSTATS FOR EACH ROOM  
 -LOW-E ENERGY STAR RATED WINDOWS  
 -FULLY INSULATED GARAGE WALLS  
 (OPTIONAL TO PURCHASERS)  
 -ADVANCED SEALING (ICF, FOAM AROUND WIRING AND DOOR OPENINGS)  
 -FIBERGLASS EXTENDED DUCTS  
 -MINIMUM 30-YEAR ROOFING MATERIAL  
 -NATURAL STONE COUNTERTOPS  
 -MANY SUPPLIERS AND TRADES ARE TO RECYCLE THEIR OWN WASTE  
 -BUILDING A CENTRAL RECYCLING CENTRE  
 -MANY PRODUCTS USED FOR HOME ARE MANUFACTURED WITHIN 800 KM



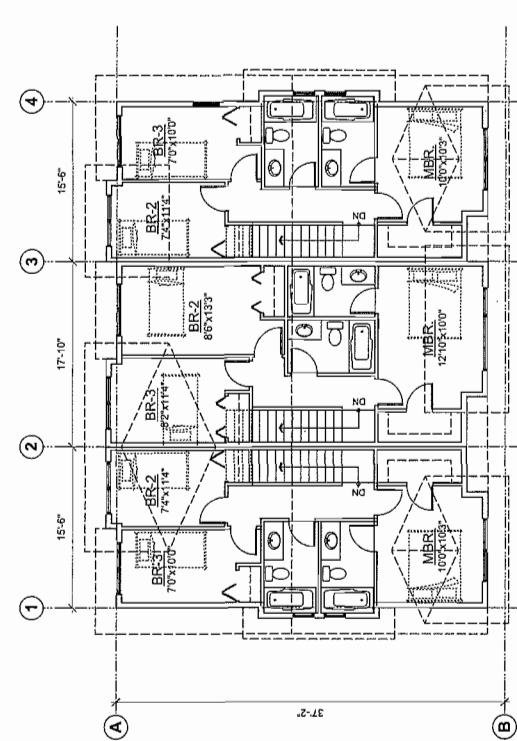
GROUND FLOOR PLAN

SCALE : 1/8" = 1'-0"



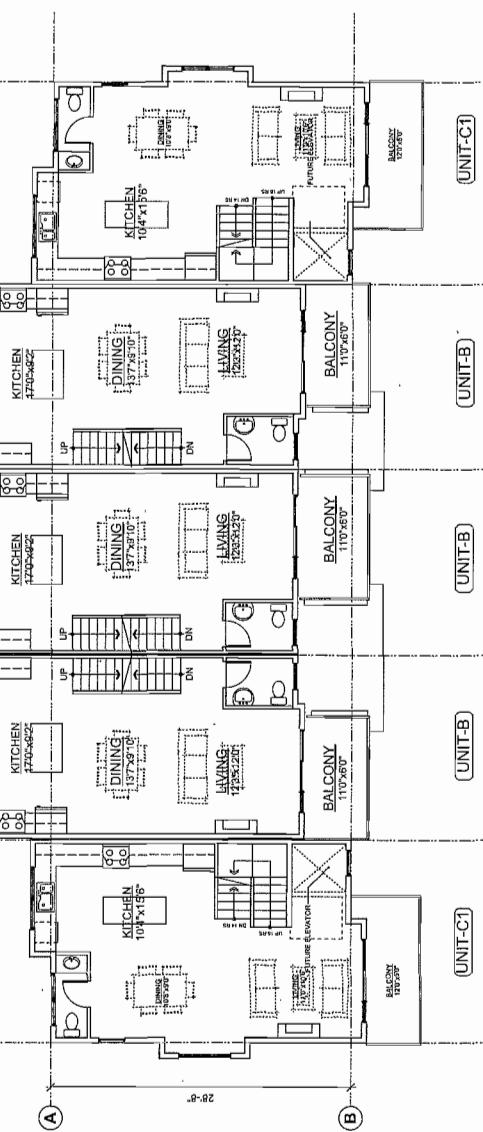
THIRD FLOOR PLAN

SCALE : 1/8" = 1'-0"



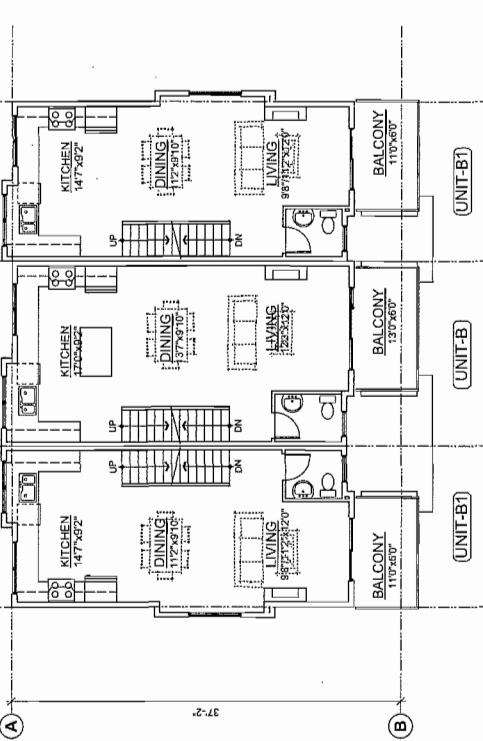
THIRD FLOOR PLAN

SCALE : 1/8" = 1'-0"



SECOND FLOOR PLAN

SCALE : 1/8" = 1'-0"



SECOND FLOOR PLAN

SCALE : 1/8" = 1'-0"

96 UNIT TOWNHOUSE DEVELOPMENT  
 CONSULTANT  
 NO. DATE REVISIONS  
 PROJECT

SRB-660 ALEXANDRA ROAD  
 RICHMOND, B.C.

Yamamoto  
 Architecture Inc.

2386 oak street, vancouver, b.c.  
 v6h 4j1 tel: 731-1127 fax: 731-1127  
 DRAWING TITLE  
 FLOOR PLANS

SCALE : 1/8" = 1'-0"  
 SHEET NO. \_\_\_\_\_  
 DATE AUG. 21, 2014  
 DRAWN KP  
 CHECKED FRCJ. NO. 1311

PLAN #19



INDOOR AMENITY

(UNIT-C1)

(UNIT-B)

(UNIT-B)

(UNIT-C1)

(UNIT-B)

(UNIT-B)

(UNIT-B)

(UNIT-B)

GROUND FLOOR PLAN  
 SCALE : 1/8" = 1'-0"

BUILDING NO. 8, NO. 11 MIRRORED

GROUND FLOOR PLAN  
 SCALE : 1/8" = 1'-0"

BUILDING NO. 7

GROUND FLOOR PLAN  
 SCALE : 1/8" = 1'-0"

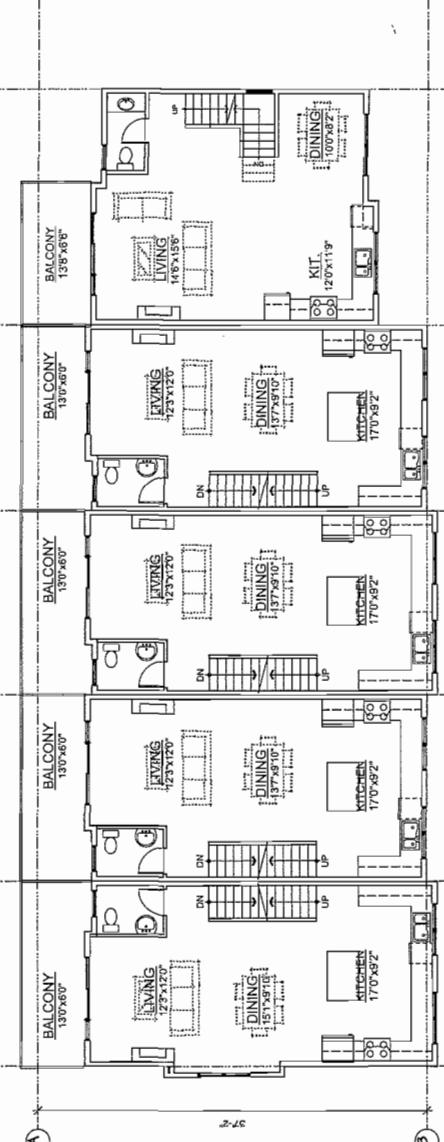
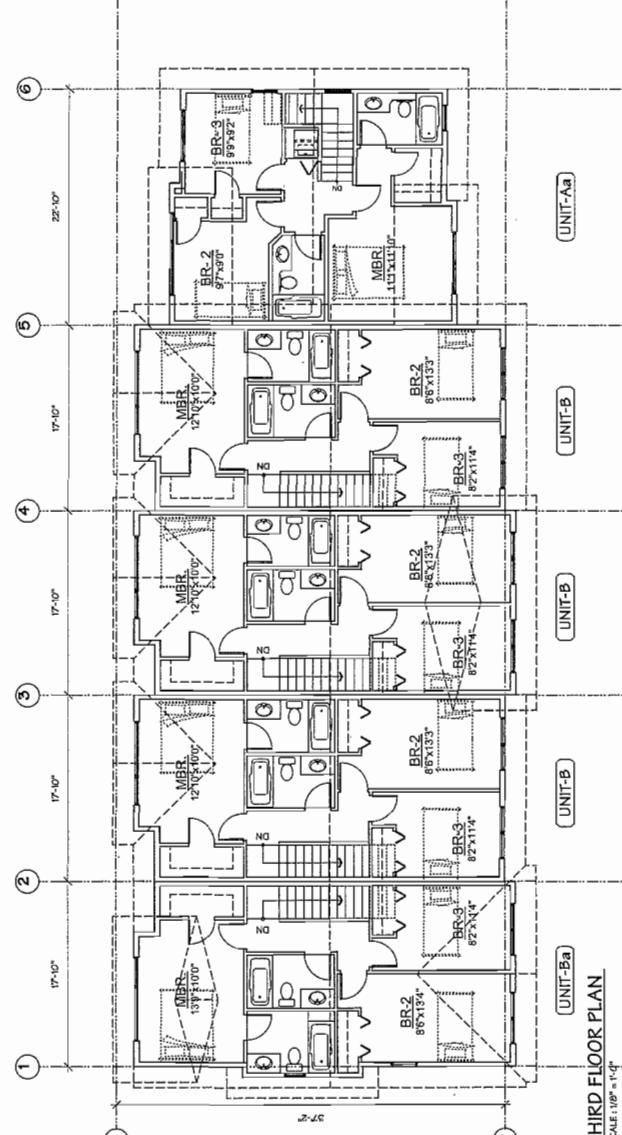
MAR 10 2015

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Plan #34

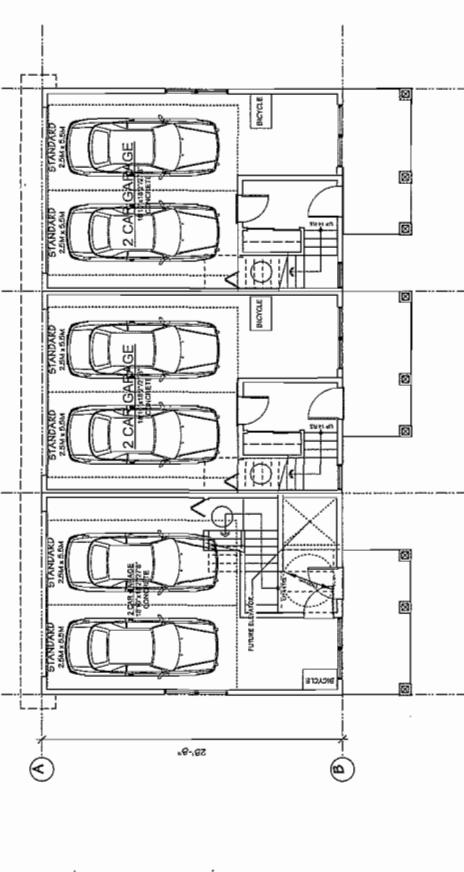
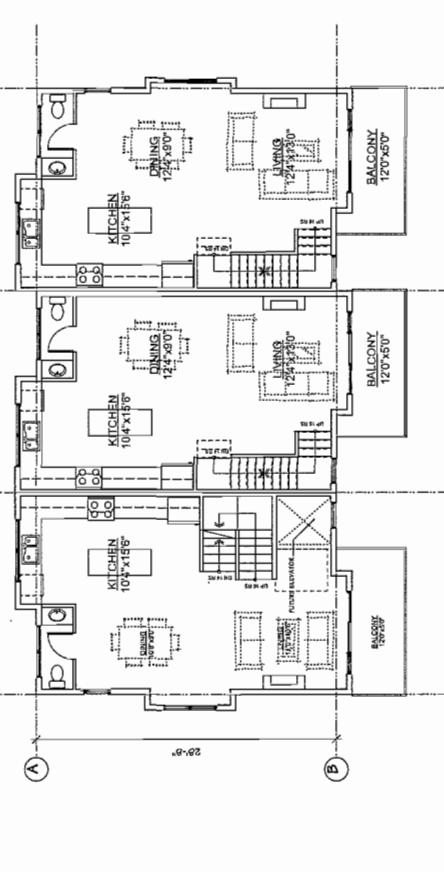
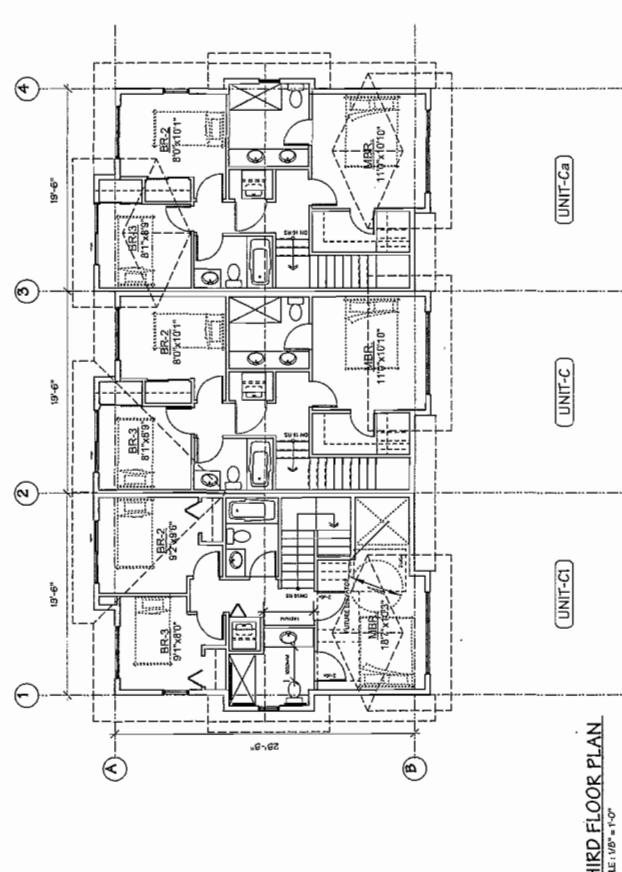
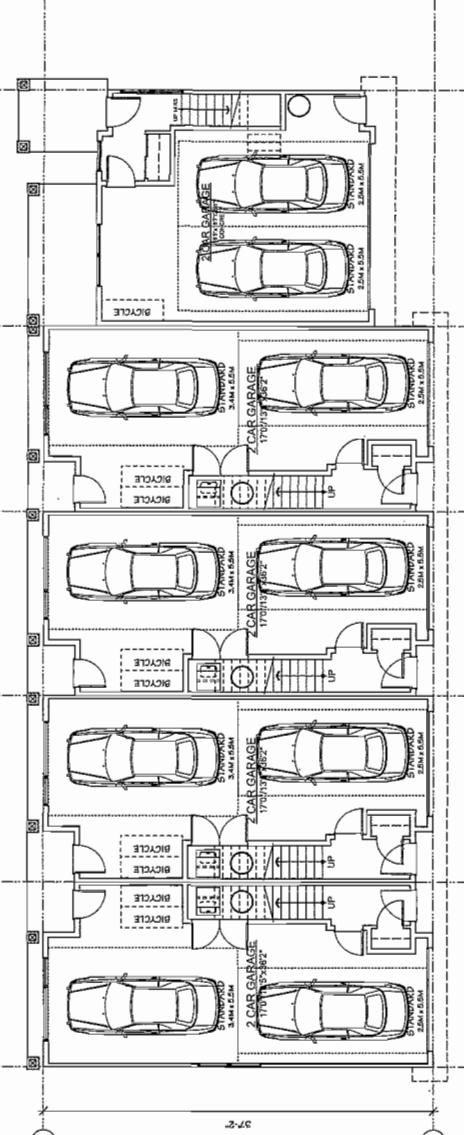
<b>AGING IN PLACE FEATURES</b>	
(TO BE PROVIDED IN ALL UNITS):	
- GOLD PLATED DRAWERS AND STOLES TO LEVER-TYPE HANDLES FOR KITCHEN AND DOOR HANDLES	
- STARVEL HANDRAILS	
<b>SUSTAINABILITY MEASURES</b>	
(TO BE PROVIDED IN ALL UNITS):	
- SEPARATE THERMOSTATS FOR EACH ROOM	
- FULLY INSULATED GARAGE WALLS	
- ENERGY RATED ELECTRIC RANGE (OPTIONAL TO PURCHASE RATED)	
- ADVANCED SEALING PACKAGE FOR AROUND WINDOW AND DOOR OPENINGS AND ALL EXTERIOR	
- FIBERGLASS EXTERIOR DOORS	
- MINIMUM 30-YEAR ROOFING MATERIAL - WITH 30-YEAR MANUFACTURERS WARRANTY	
- NATURAL STONE COUNTERTOPS	
- MANY SUPPLIERS AND MANUFACTURERS ARE TO RECYCLE	
- BUILDING A CENTRAL RECYCLING CENTRE	
- MANY PRODUCTS USED FOR HOME ARE MANUFACTURED WITHIN 800 KM	



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PROJECT  
NO. DATE REVISIONS  
CONSULTANT

96 UNIT TOWNHOUSE DEVELOPMENT



SCALE 1/8" = 1'-0"  
DATE AUG. 21, 2014  
DRAWN KP  
PROJ. NO. 1311  
SHEET NO. 1  
DRAWING TITLE FLOOR PLANS  
CHECKED  
REVIEWED  
APPROVED

PLAN #20



UNIT-Aa

UNIT-B

UNIT-Ba

UNIT-Ca

UNIT-C

BUILDING NO. 9, NO. 10 MIRRORED

GROUND FLOOR PLAN

SCALE 1/10" = 1'-0"

REV. 1

MAR 10 2015

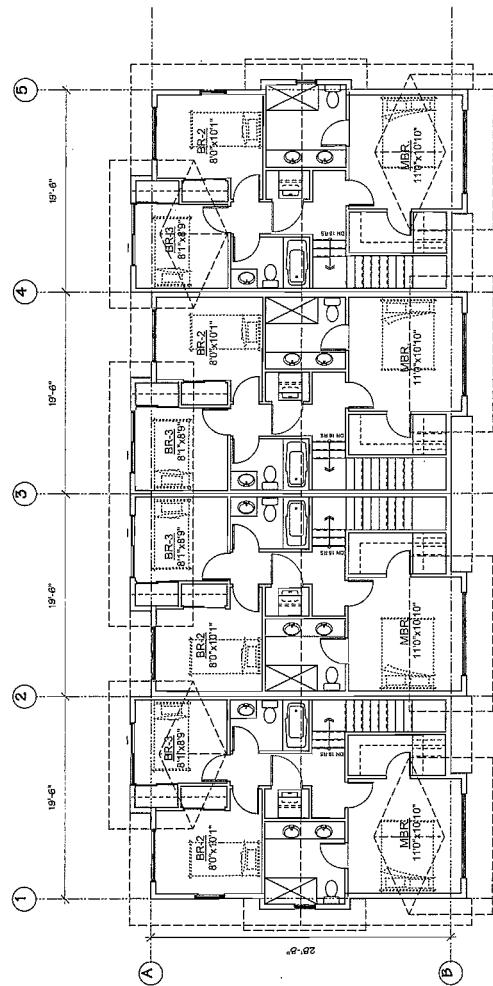
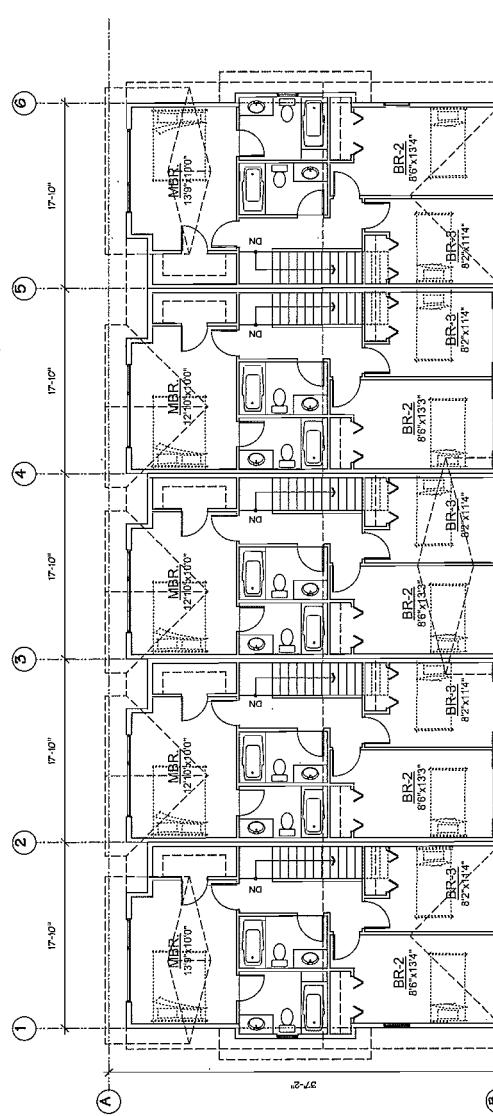
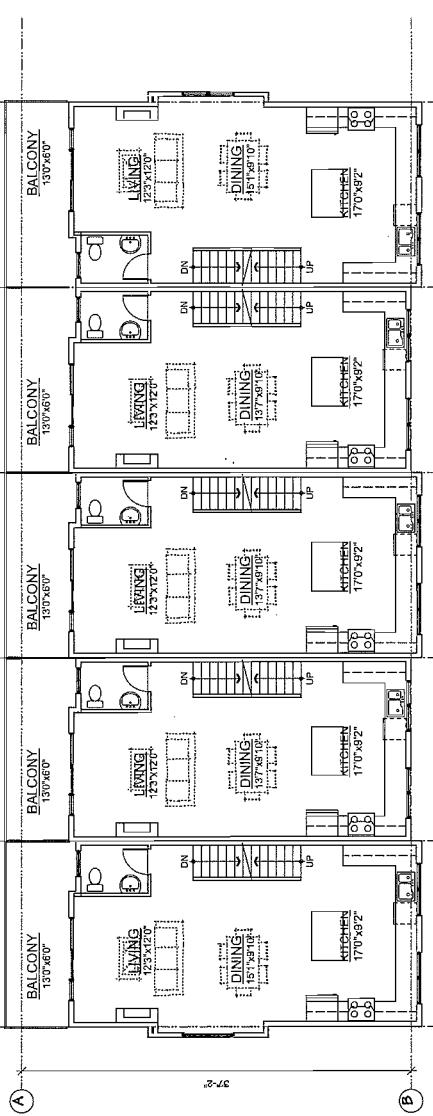
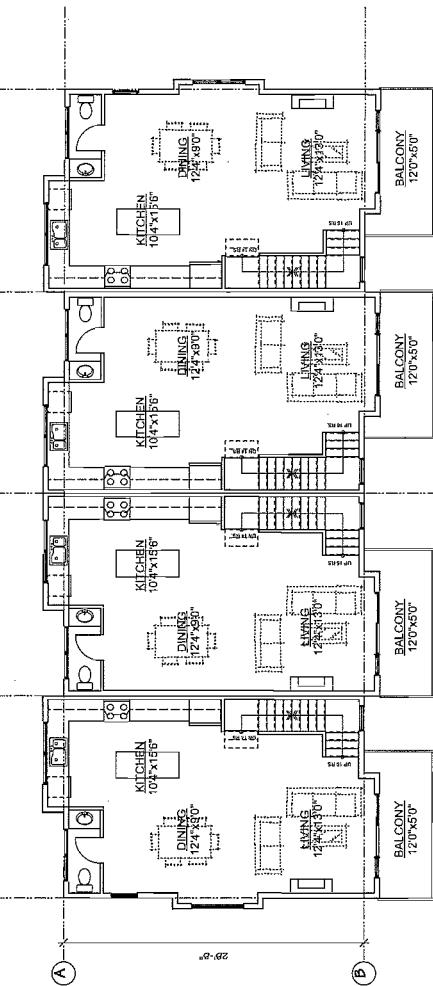
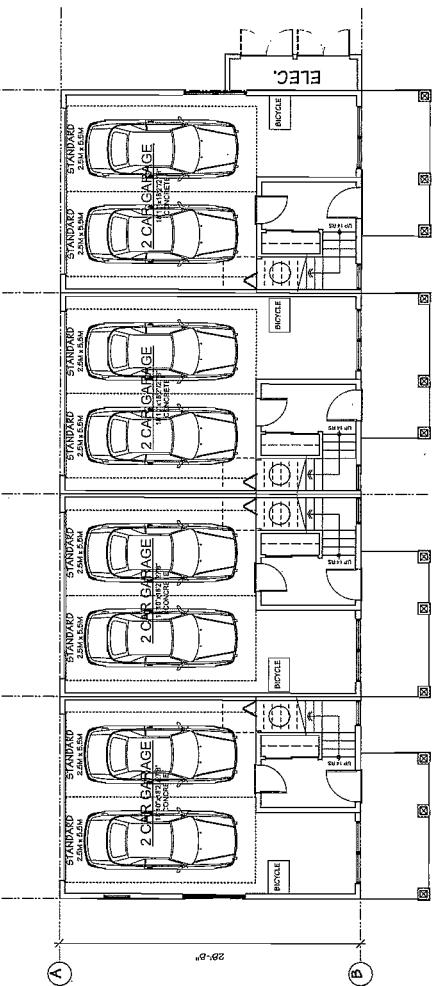
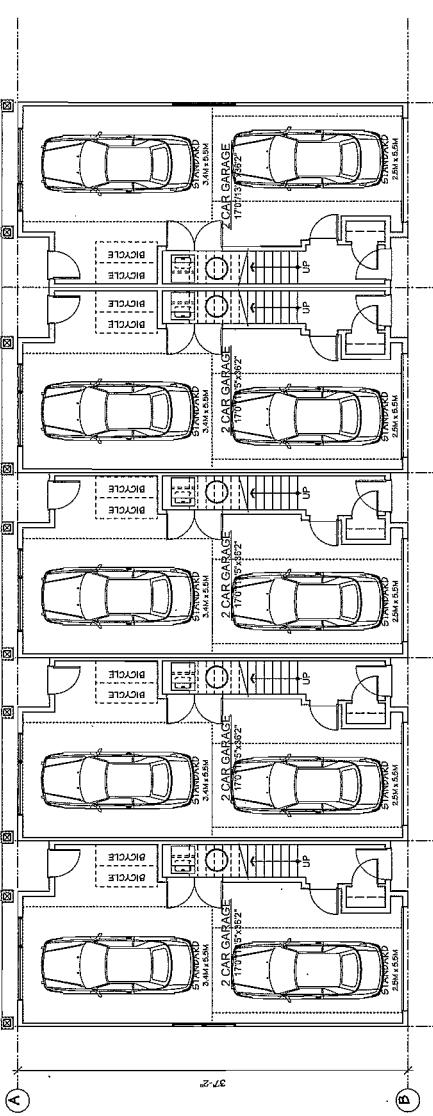
4-671600

Plan #35

<b>AGING IN PLACE FEATURES</b>
LODERS PROVIDED IN ALL UNITS
BUILT-IN CABINETS AND DRAWERS FOR EACH ROOM
STAINLESS STEEL KITCHEN SINKS
STAINLESS STEEL GRANITE COUNTERTOPS
ADVANCED SEALING PACKAGE, TO AVOID WATER DAMAGE AND LOSS OF INSULATION
LEVER-TYME HANDLES FOR PLUMBING AND DOOR HANDLES
STAIRWELL HANDRAILS

**SUSTAINABILITY MEASURES**

- TO BE PROVIDED IN ALL UNITS:
- STAINLESS STEEL KITCHEN SINKS
- STAINLESS STEEL GRANITE COUNTERTOPS
- FIRE-RATED EXTERIOR DOORS
- FULLY INSULATED GARAGE WALLS (OPTIONAL TO PURCHASE)
- ADVANCED SEALING PACKAGE, TO AVOID WATER DAMAGE AND LOSS OF INSULATION
- NATURAL STONE COUNTERTOPS ARE TO RECYCLE THEM DOWN THE LINE
- BUILDING CENTRAL RECYCLING CENTRE
- MANY PRODUCTS USED FOR HOME ARE MANUFACTURED WITHIN 50 KM

THIRD FLOOR PLAN  
SCALE: 1/10" = 1'-0"THIRD FLOOR PLAN  
SCALE: 1/10" = 1'-0"SECOND FLOOR PLAN  
SCALE: 1/10" = 1'-0"SECOND FLOOR PLAN  
SCALE: 1/10" = 1'-0"GROUND FLOOR PLAN  
SCALE: 1/10" = 1'-0"GROUND FLOOR PLAN  
SCALE: 1/10" = 1'-0"

JAN. 12, 2015	ISSUED FOR A.D.P.
NOV. 7, 2014	ISSUED FOR A.O.P.
NOV. 25, 2014	ISSUED FOR D.P./APPLICATION
MAR. 31, 2014	ISSUED FOR REZONING

NO. DATE

REVISIONS

CONSULTANT	PROJECT
Yamamoto Architecture Inc.	96 UNIT TOWNHOUSE DEVELOPMENT

NO. DATE

REVISIONS

96 UNIT TOWNHOUSE DEVELOPMENT

2386 98th ALEXANDRA ROAD  
VANCOUVER, BC  
V6P 4L1  
TEL 731-1127 / FAX 731-1327  
DRAWING TITLE

FLOOR PLANS

SCALE: 1/10" = 1'-0"	SHEET NO.
DATE: AUG. 21, 2014	DRAWN BY: KP
CHECKED	PROJ. NO. 1311

BUILDING NO. 14  
UNIT-CaBUILDING NO. 14  
UNIT-CaBUILDING NO. 13  
UNIT-CaBUILDING NO. 13  
UNIT-BBUILDING NO. 13  
UNIT-BaBUILDING NO. 13  
UNIT-Ba

MAR 10 2015

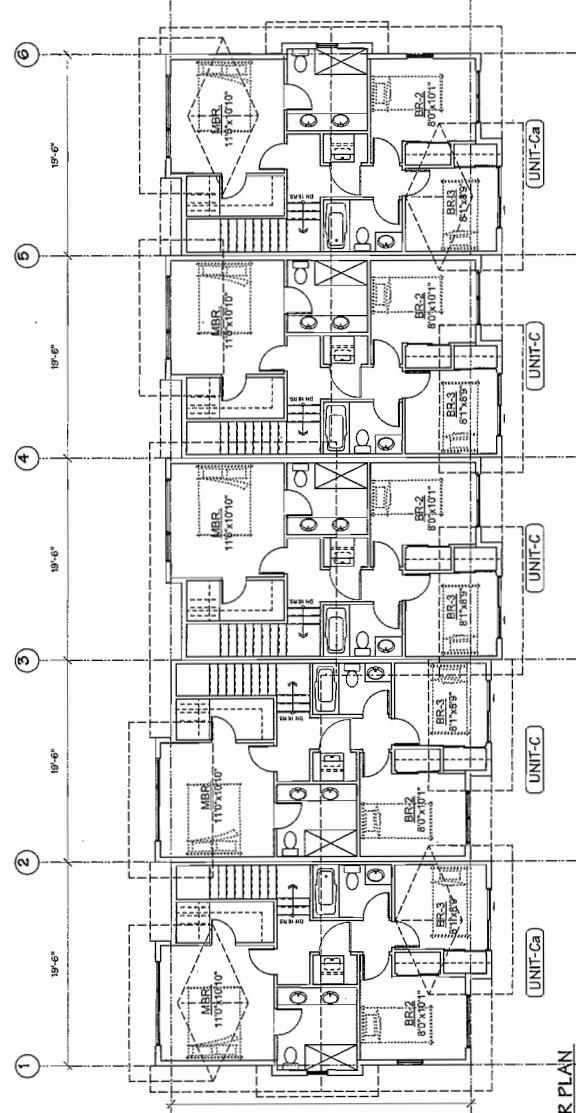
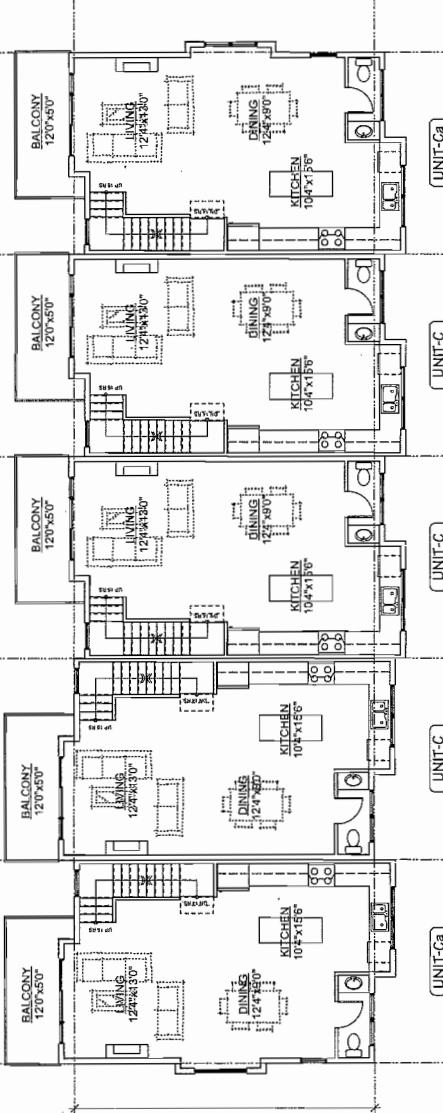
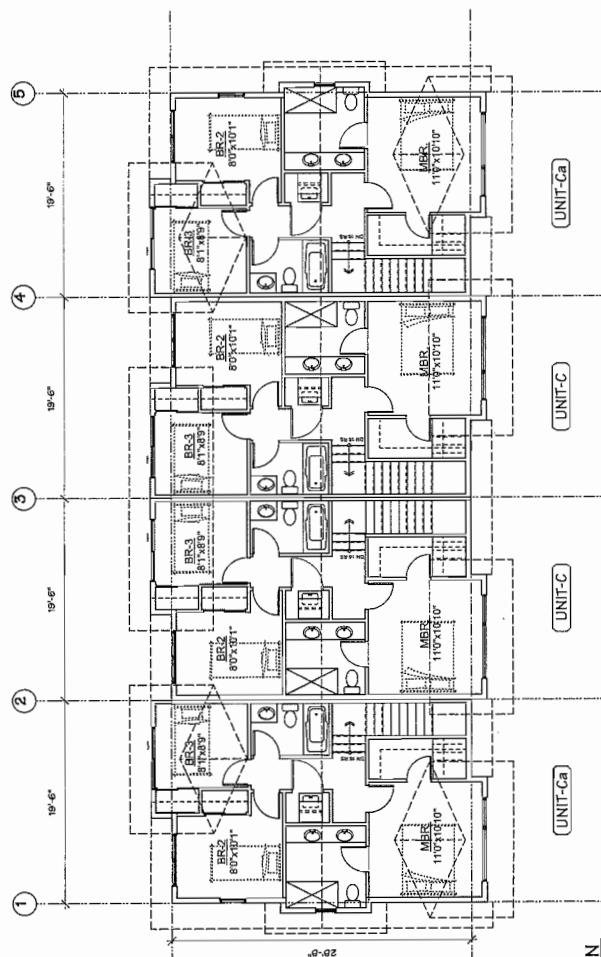
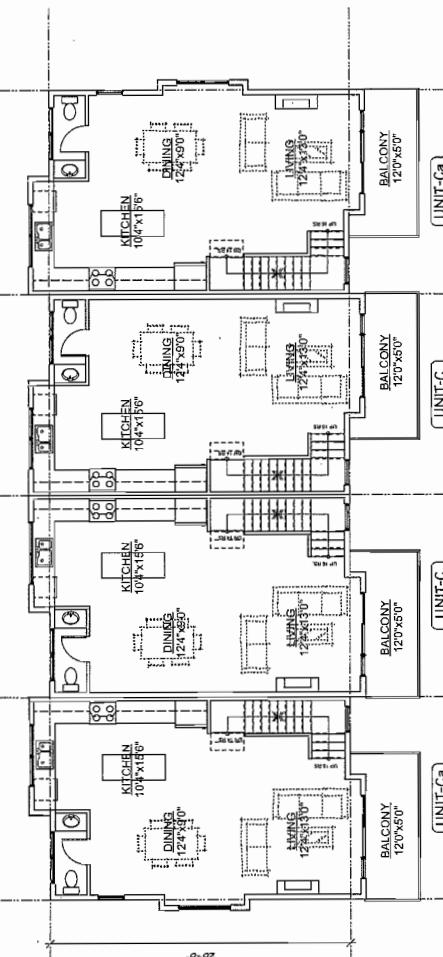
4-671600

D

Plan #36

**AGING IN PLACE FEATURES**  
 (TO BE PROVIDED IN ALL UNITS):  
 - SOLID BLOCCO IN WASHROOM WALLS TO  
 FACILITATE FUTURE TUB/BATHTUB INSTALLATION  
 - HANDLES FOR PLUMBING AND DOOR  
 - STAIRWELL HANDRAILS

**SUSTAINABILITY MEASURES**  
 (TO BE PROVIDED IN ALL UNITS):  
 - SEPARATE THERMOSTATS FOR EACH ROOM  
 - LOW ENERGY STAR RATED KINNEDOS  
 - ENERGY STAR CERTIFIED ELECTRIC VENTS (OPTIONAL)  
 - ENERGY STAR CERTIFIED ELECTRIC VENTS (OPTIONAL)  
 - ADVANCED SEALING PACKAGES, FOAM AROUND  
 WINDOW AND DOOR OPENINGS, AND ALL EXTERIOR  
 WALL ENSEMENTS  
 - MINIMUM 20 YEAR ROOFING MATERIAL - WITH  
 30-YEAR MANUFACTURERS WARRANTY  
 - NATURAL STONE COUNTERTOPS  
 - MANY SUPPLIERS AND TRADES ARE RECYCLE  
 THEIR OWN WASTE  
 - LOCAL RECYCLING CENTRE  
 - MANY PRODUCTS USED FOR HOME ARE  
 MANUFACTURED WITHIN 500 KM

THIRD FLOOR PLAN  
SCALE: 1/16" = 1'-0"SECOND FLOOR PLAN  
SCALE: 1/16" = 1'-0"THIRD FLOOR PLAN  
SCALE: 1/16" = 1'-0"SECOND FLOOR PLAN  
SCALE: 1/16" = 1'-0"

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PROJECT  
 96 UNIT TOWNHOUSE DEVELOPMENT

JAN 12, 2015	ISSUED FOR A.D.P.
NOV 7, 2014	ISSUED FOR A.D.P.
AUG 25, 2014	ISSUED FOR D.O.A. APPLICATION
MAR 31, 2014	ISSUED FOR REZONING
NO. DATE	REVISIONS
	CONSULTANT

9880-5680 ALEXANDRA ROAD  
 RICHMOND, B.C.

Yamamoto  
 Architecture Inc.

2380 DAK STREET, VANCOUVER, B.C.  
 V6T 4J1 TEL 778-731-1327

FLOOR PLANS

SCALE: 1/16" = 1'-0"  
 SHEET NO. \_\_\_\_\_  
 DATE AUG. 21, 2014  
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 CHECKED  
 PROJ. NO. 1311

PLAN #22

GROUND FLOOR PLAN  
SCALE: 1/16" = 1'-0"BUILDING NO. 16  
UNIT-CaGROUND FLOOR PLAN  
SCALE: 1/16" = 1'-0"BUILDING NO. 16  
UNIT-Ca

MAR 10 2015

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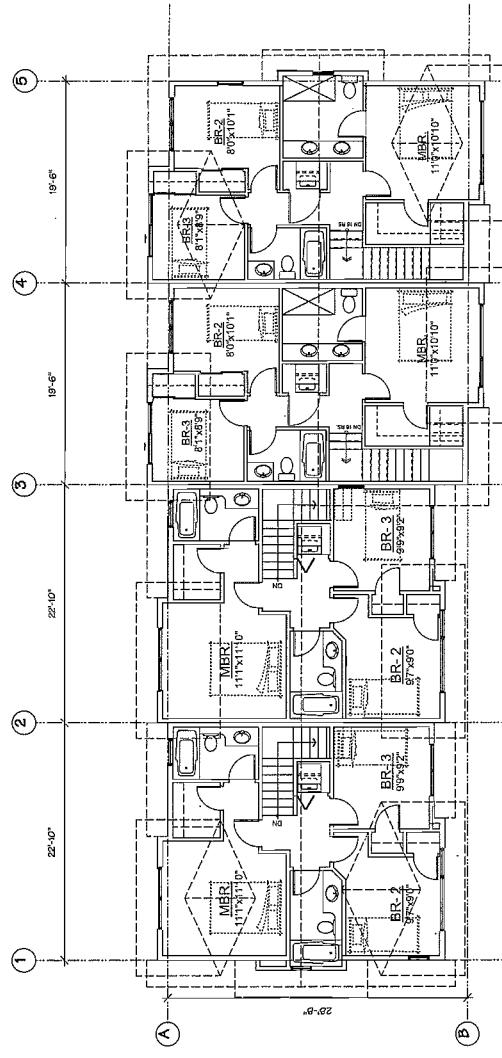
Plan #37

**AGING IN PLACE FEATURES**

- STAINLESS STEEL IN ALL KITCHENS (S)
- SOLID SURFACE COUNTERTOPS
- FACILITATE EASY REPAIRS
- LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES
- STARVELL HANDRAILS

**SUSTAINABILITY MEASURES**

- TO BE PROVIDED IN ALL UNITS
- FIBERGLASS EXTERIOR DOORS
- FULLY INSULATED GARAGE WALLS
- ENERGY RATED ELECTRIC RANGE (OPTIONAL TO PURCHASERS)
- ADVANCED SEALING PACKAGE FOAM AROUND HALL PIPES, DUCTS AND EXTERIOR DOORS
- FIBERGLASS EXTERIOR DOORS
- MINIMUM 30-YEAR ROOFING MATERIAL - WITH 30-YEAR MANUFACTURERS WARRANTY
- NATURAL STONE COOKTOPS
- STAINLESS STEEL TRASH TRAYS ARE TO RECYCLE THEM ONCE WASTE
- BUILDING A CENTRAL RECYCLING CENTRE
- MANY PRODUCTS USED FOR HOME ARE MANUFACTURED WITHIN CANADA

THIRD FLOOR PLAN  
SCALE: 1/10" = 1'-0"

UNIT-Aa

UNIT-Ca

UNIT-C

UNIT-A

UNIT-C

UNIT-C

UNIT-C1

UNIT-C

UNIT-C

UNIT-AB

UNIT-C

UNIT-C

UNIT-AB

UNIT-C

UNIT-C

THIRD FLOOR PLAN  
SCALE: 1/10" = 1'-0"

UNIT-C

UNIT-C

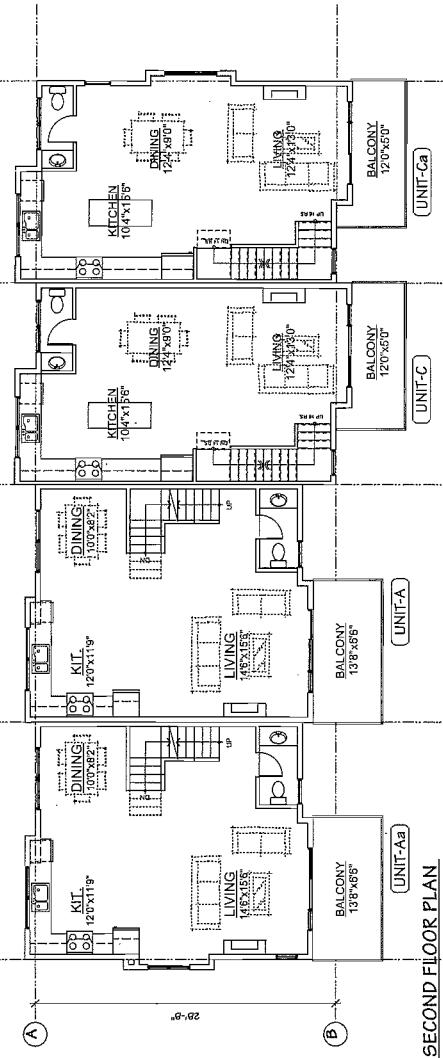
UNIT-C

UNIT-C

UNIT-C

UNIT-C

UNIT-C

SECOND FLOOR PLAN  
SCALE: 1/10" = 1'-0"

UNIT-Ca

UNIT-C

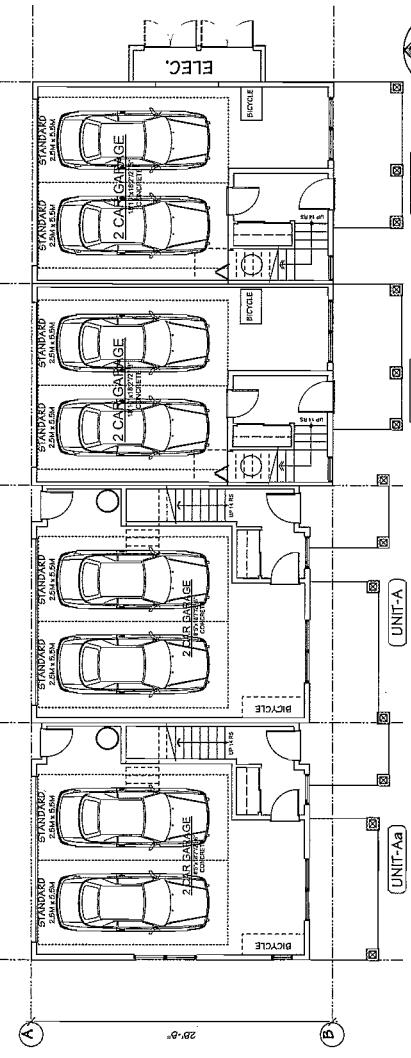
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PROJECT

NO. DATE REVISIONS

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GROUND FLOOR PLAN  
SCALE: 1/10" = 1'-0"BUILDING NO.17  
UNIT-Ca  
UNIT-C  
UNIT-CUNIT-C  
UNIT-C  
UNIT-CUNIT-C  
UNIT-C  
UNIT-CUNIT-C  
UNIT-C  
UNIT-CUNIT-C  
UNIT-C  
UNIT-CUNIT-C  
UNIT-C  
UNIT-CUNIT-C  
UNIT-C  
UNIT-CBUILDING NO.18  
UNIT-Ca  
UNIT-C  
UNIT-CUNIT-C  
UNIT-C  
UNIT-CUNIT-C  
UNIT-C  
UNIT-CUNIT-C  
UNIT-C  
UNIT-CUNIT-C  
UNIT-C  
UNIT-CUNIT-C  
UNIT-C  
UNIT-CUNIT-C  
UNIT-C  
UNIT-C

2865 Oak Street, Burnaby, BC  
V5H 1J1 Tel: 778-299-1127 Fax: 778-299-1327  
DRAWING TITLE  
FLOOR PLANS

SCALE: 1/10" = 1'-0"  
SHEET NO. \_\_\_\_\_  
DATE: AUG. 21, 2014  
DRAWN: KP  
PROJ. NO.: 1311  
CHECKED: \_\_\_\_\_

PLAN #23

<b>AGING IN PLACE FEATURES [TO BE PROVIDED IN ALL UNITS]:</b>	<ul style="list-style-type: none"> <li>- SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAK INSTALLATION</li> <li>- REVERSIBLE HANDLES FOR PLUMBING AND DOOR</li> <li>- STAINLESS STEEL HANDRAILS</li> </ul>
<b>SUSTAINABILITY MEASURES [TO BE PROVIDED IN ALL UNITS]:</b>	<ul style="list-style-type: none"> <li>- SEPARATE THERMOATTS FOR EACH ROOM</li> <li>- LOW-E ENERGY STAR RATED WINDOWS</li> <li>- FULLY INSULATED GARAGE WALLS</li> <li>- ENERGY RATED ELECTRIC RANGE [OPTIONAL TO PURCHASERS]</li> <li>- ADVANCED SEALING PACKAGE, FOAM AROUND WINDOW AND DOOR OPENINGS AND ALL EXTERIOR WALL PERTINCTIONS</li> <li>- FIBERGLASS ATTIC INSULATION - 12 INCHES DEEP ON ROOF DOORS</li> <li>- 10 YEAR MANUFACTURERS WARRANTY</li> <li>- NATURAL STONE COUNTERTOPS</li> <li>- MANY SUPPLIERS AND TRADERS ARE RECYCLE THEM OR WASTE</li> <li>- BUILDING A CENTRAL RECYCLING CENTRE</li> <li>- MANY PRODUCTS USED FOR HOME ARE MANUFACTURED WITHIN 800 KM</li> </ul>

JAN 12, 2015	ISSUED FOR A.D.Z.	
NOV. 7, 2014	ISSUED FOR A.P.T.	
AUG. 25, 2014	ISSUED FOR D.P. APPLICATION	
MAR 25, 2014	ISSUED FOR REZONING	
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		CONSULTANT

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PROJECT

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96 UNIT TOWNHOUSE DEVELOPMENT

Yamamoto  
Architecture Inc.

2386 oak street, vancouver, b.c.  
v6h 4j1 tel: 731-1227 fax: 731-1327

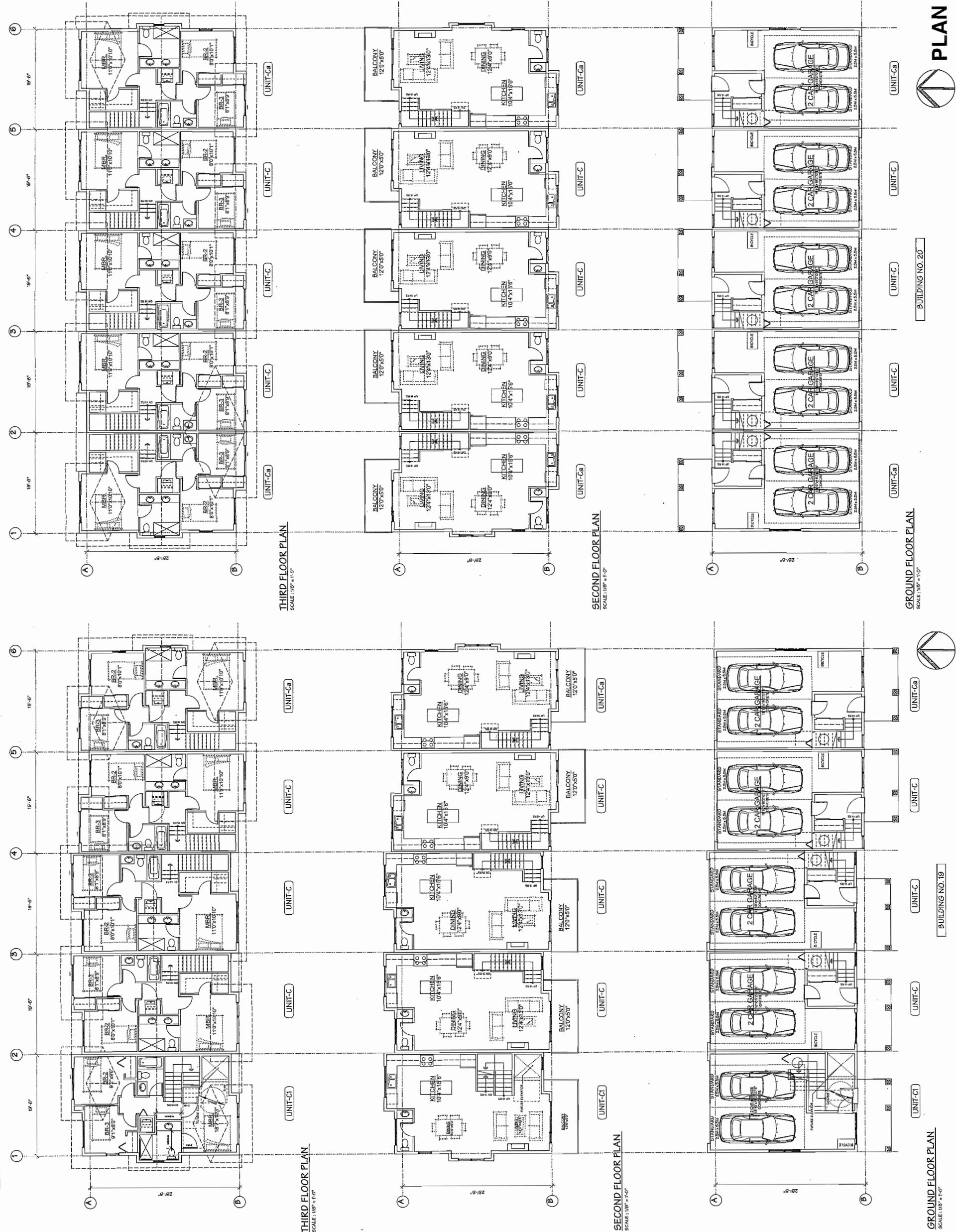
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**FLOOR PLANS**

SCALE	1'0" = 1'-0"		SHEET NO.		
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DRAWN	KP		CHECKED		

Plan #38



MAR 10 2015

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Plan # 39

- AGING IN PLACE FEATURES**
  - SOIL BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION
  - LEVER TYPE HANDLES FOR PLUMBING AND DOOR HANDLES
  - STAIRWELL HANDRAILS
  
- SUSTAINABILITY MEASURES**
  - (TO BE PROVIDED IN ALL UNITS):
    - SEPARATE THERMOSTATS FOR EACH ROOM
    - LOW-E ENERGY STAR RATED WINDOWS
    - FULLY INSULATED GARAGE WALLS
    - ENERGY STAR RATED ELECTRIC RANGE
    - ADVANCED SEALING PACKAGE, FOAM AROUND WINDOW AND DOOR OPENINGS AND ALL EXTERIOR WALL PENETRATIONS
    - FIBERGLASS EXTERIOR DOORS
    - MINIMUM 30-YEAR ROOFING MATERIAL - WITH 30-YEAR MANUFACTURERS WARRANTY
    - NATURAL STONE COUNTERTOPS ARE TO RECYCLE THEIR OWN WASTE
    - BUILDING A CENTRAL RECYCLING CENTRE
    - MANY PRODUCTS USED FOR HOME ARE MANUFACTURED WITHIN 800 KM

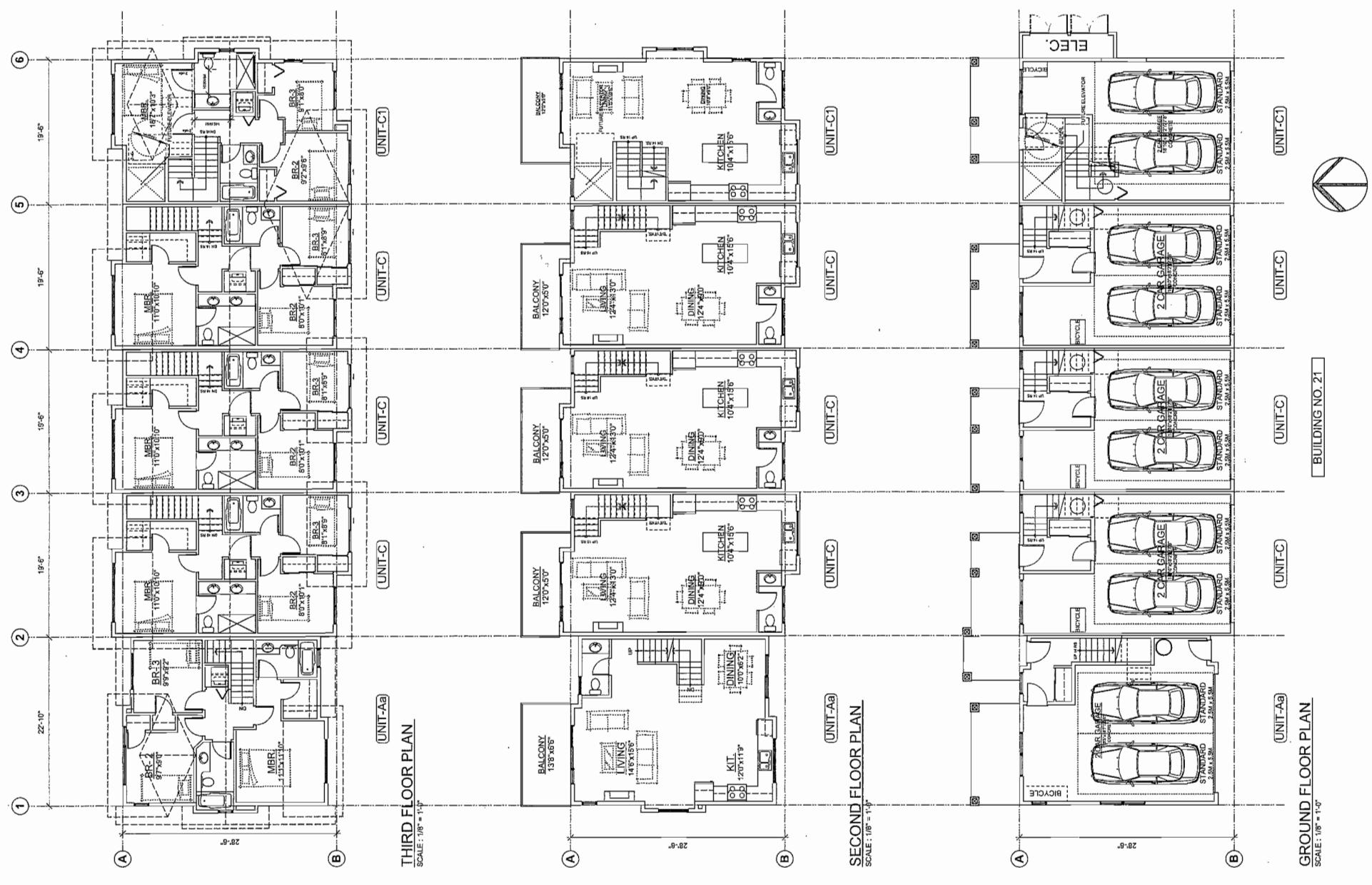
9580-9680 ALEXANDRA ROAD  
RICHMOND B.C.

Yamamoto  
Architecture Inc

2386 oak street, van., b.c.  
V6H 4J1 tel: 731-1127 fax: 731-1127  
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PLAN #25





MAR 10 2015

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Plan #41

