



City of Richmond

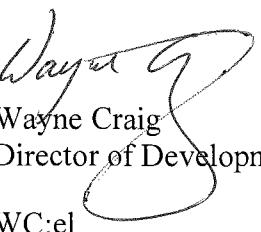
Report to Development Permit Panel

To: Development Permit Panel **Date:** February 17, 2015
From: Wayne Craig **File:** DP 13-644888
Director of Development
Re: Application by Balandra Development Inc. for a Development Permit at 8600 and
8620 No. 2 Road

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of nine (9) townhouse units at 8600 and 8620 No. 2 Road on a site zoned "Low Density Townhouses (RTL4)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - a) reduce the minimum lot width on major arterial road from 50.0 m to 43.29 m;
 - b) reduce the front yard setback from 6.0 m to 5.4 m; and
 - c) permit seven (7) small car parking spaces.


Wayne Craig
Director of Development

WC:el
Att.

Staff Report**Origin**

Balandra Development Inc. has applied to the City of Richmond for permission to develop nine (9) townhouse units at 8600 and 8620 No. 2 Road. The site is being rezoned from “Single Detached (RS1/E)” to “Low Density Townhouses (RTL4)” for this project under Bylaw 9146 (RZ 13-644887), which received Third Reading following the Public Hearing on September 2, 2014. The site is currently vacant.

A Servicing Agreement for frontage improvements along No. 2 Road is required prior to issuance of a Building Permit for the site. Works include, but are not limited to, removing the existing sidewalk behind the curb and gutter, and installing a new 1.5 m concrete sidewalk at the property line with a 1.5 m grass and treed boulevard up to the curb.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

To the North: Single-family homes on large lots zoned “Single Detached (RS1/E)” and under Land Use Contract (LUC141); and then two (2) newer homes on compact lots with lane access, zoned “Compact Single Detached (RC1)”, at the corner of Danube Road and No. 2 Road.

To the South: Single-family homes on large lots zoned “Single Detached (RS1/E)”; and then a 10 unit two-storey townhouse development on a lot zoned “Low Density Townhouses (RTL1)” at the corner of Francis Road and No. 2 Road.

To the East: Single-family homes on smaller lots under Land Use Contract (LUC141), fronting Delaware Road.

To the West: Across No. 2 Road, a mix of single-family homes on larger and smaller lots zoned “Single Detached (RS1/E)” and a duplex on a lot zoned “Two-Unit Dwellings (RD2)” with accesses to No. 2 Road as well as newly developed dwellings with lane accesses on lots zoned “Coach Houses (RCH)”.

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on September 2, 2014. The following concerns were expressed during the Public Hearing. The response to the concern is provided in *italics*.

1. Increased Traffic

Transportation staff advised that the proposed nine (9) unit townhouse development will result in a manageable increase in traffic volume over the existing two single family houses. It is anticipated this increase will result in five (5) additional vehicles per hour during the morning and afternoon peak periods, or about one (1) vehicle every 12 minutes. This marginal increase is expected to have minimal impact on the surrounding road system and can be accommodated within the capacity and geometry of No. 2 Road.

2. Parking

The proposed redevelopment meets the off-street parking requirements in the Zoning bylaw with two (2) parking spaces for each unit and two (2) on-site visitor parking spaces.

3. Building Height

Building height will be kept to two (2) storeys along all property lines. The height of the duplex units along the rear (east) property line will be approximately 8.45 m (27.72 ft.) measured to the average finished site grade, which is below the maximum building height allowed in single-family zones (i.e. 9.0 m or 29.53 ft.).

4. Loss of Sunlight and Shadowing

Shadow study provided by the applicant shows no shadowing upon neighbouring properties.

5. Loss of Privacy

The second floor of the rear units will be set back 6.0 m from the rear (east) property line; which is similar to the setback required from single-family homes.

6. Non Compliance with Zoning Requirements

a. Minimum Lot Width

The frontage of the development site is 43.29 m, which does not comply with the minimum frontage requirement of 50.0 m on a major arterial road. In support to the application, the applicant has developed a concept plan showing how the rest of the block could be redeveloped (on file). The subject proposal will not restrict future development of lands to the north or south of the subject site. A Public Rights of Passage (PROP) Statutory Right-of-Way (SRW) on the subject site is secured as part of the Rezoning to provide vehicle access to future developments to the north and south along No. 2 Road.

b. Minimum Front Yard Setback

A front yard setback variance from 6.0 m to 5.4 m is being requested. The Arterial Road Guidelines for Townhouses in the OCP support reduced front yard setback where a larger rear yard setback is deemed necessary, provided that there is an appropriate interface with neighbouring properties. The proposed rear yard setbacks at 4.5 m to ground floor and 6.0 m to the second floor exceed the zoning requirement of 3.0 m under the "Low Density Townhouses (RTL4)" zone.

The buildings on the adjacent properties to the north and south are significantly set back from No. 2 Road. A number of new trees are proposed within the side yard setbacks to screen the view of the proposed buildings from the neighbours' view, and mitigate potential impacts of this variance.

7. High Density

The proposed density at 0.60 FAR is within the density range for townhouse developments under the Arterial Road Policy in the OCP. The streetscape and rhythm created by the proposal (i.e., duplex and triplex along No. 2 Road) will respect existing developments along both sides of No. 2 Road.

8. Potential Flooding on Neighbouring Properties

Perimeter drainage will be installed as part of the Building Permit to ensure the proposed grade change does not adversely impact the surrounding sites.

9. Dark Building Colour on the East Elevation

To address neighbours' concerns related to the proposed dark grey colour on the east elevation, a lighter shade of grey has been selected. The new colour will maintain a visual contrast with the white trim detailing.

10. Natural Screening along the East Property Line

The developer has agreed to the neighbours' request to retain the existing hedge along the southern half of the east property line and provide a minimum 2.75 m (9 ft.) tall hedge along the north half of the east property line to address overlook concerns and provide natural screening between the townhouse development and the existing single-family homes to the east. This arrangement has been incorporated into the landscaping plan; 3.0 m tall Eddie Yew is proposed along the north half of the east property line.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the "Low Density Townhouses (RTL4)" zone except for the zoning variances noted below.

Zoning Compliance/Variances (staff comments in **bold**)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Reduce the minimum lot width on major arterial road from 50.0 m to 43.29 m.

(The proposed variance will not restrict future development of lands to the north or south of the subject site. A Public Rights of Passage (PROP) Statutory Right-of-Way (SRW) on the subject site has been secured at Rezoning to provide vehicle access to future developments to the north and south along No. 2 Road.)

- 2) Reduce the front yard setback from 6.0 m to 5.4 m.

(The Arterial Road Guidelines for Townhouses in the OCP support reduced front yard setback where a larger rear yard setback is deemed necessary, provided that there is an appropriate interface with neighbouring properties. The proposed rear yard setbacks at 4.5 m to ground floor and 6.0 m to the second floor exceed the zoning requirement of 3.0 m under the "Low Density Townhouses (RTL4)" zone. The proposed rear setbacks in tandem with proposed landscaping should address any interface concerns.)

- 3) Permit seven (7) small car parking spaces.

(The Zoning Bylaw permits small car parking stalls only when more than 31 parking stalls are proposed on site. The proposed 9-unit project will provide 18 residential and two (2) visitor parking spaces on site. Transportation staff support the proposed variances to allow one (1) small car stall in each of the side-by-side double car garages.)

Advisory Design Panel Comments

The Advisory Design Panel supported the design of the project and the Design Panel's suggested design changes have been incorporated into the proposal. A copy of the relevant excerpt from the Advisory Design Panel Minutes from Wednesday, November 19, 2014 is attached for reference (Attachment 2). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '***bold italics***'.

Analysis***Conditions of Adjacency***

- The proposed height, siting and orientation of the buildings generally address the massing of the surrounding residential developments.
- Two (2) 2½ storey buildings are proposed along No. 2 Road. The end units adjacent to the north and south side yards have no habitable space in the third level (attic) and are considered 2 storeys, which meet the development guidelines under the Arterial Road Policy that building height is limited to 2 storeys within 7.5 m of the side yard interface with single-family housing and other townhouse development along arterial road.
- Two-storey duplex units are proposed along the rear property line to minimize privacy and overlook concerns. The proposed roof line has been minimized to diminish the impact of shadowing and scale to the neighbours. There is no half storey associated with these units.

- The proposed rear yard setbacks of 4.5 m on the ground floor and 6.0 m on the second floor meet the minimum rear yard setback specified in the “Low Density Townhouses (RTL4)” zone and in the Arterial Road Guidelines for Townhouses in the OCP.
- The existing site grade along the rear property line will be maintained in order to retain and protect two (2) rows of existing cedar hedge at the southeast corner of the site. In addition to the existing cedar hedge, a combination of Trompenburg Japanese Maple tree, Serbian Spruce trees, Golden Beech trees, and Eddie Yew hedge will be planted in the side and rear yards to increase privacy in the yard spaces of the adjacent single-family homes.
- Perimeter drainage will be required as part of the Building Permit to ensure storm water is managed and addressed through the development and will not impact the neighbouring properties.
- A 1.8 m tall wood fence is also proposed along the rear property line to protect the privacy of the neighbouring single-family homes.

Urban Design and Site Planning

- The site layout includes one (3) triplex and three (6) duplex units. A triplex and a duplex are proposed along No. 2 Road to minimize repetitive building form.
- The internal road layout is a T-shape with future connections to the neighbouring properties to the north and south, secured by SRW.
- All units have two (2) vehicle parking spaces; seven (7) units have a side-by-side double car garage; two (2) units have a single car garage and a surface parking space in the side yard.
- A total of two (2) visitor parking spaces are proposed, which meet the minimum bylaw requirement. No accessible visitor parking space is required. Both residential and visitor bicycle parking are provided and are also in compliance with the zoning bylaw requirements.
- Outdoor amenity space is proposed opposite the site entry for maximum casual surveillance opportunity and sun exposure. The size and location of the outdoor amenity space is appropriate in providing open landscape and amenity space convenient to all of the units.
- A covered mailbox kiosk and short-term bicycle parking spaces are provided at the southwest corner of the internal drive aisle intersection.
- The required garbage, recycling and organic waste storage enclosures have been incorporated into the design of Building No. 1 (at the north side of the entry driveway) to minimize their visual impact.

Architectural Form and Character

- The exterior form and materials are reminiscent of the architecture of heritage row houses. The building design includes several elements common to historic styles such as Georgian, Adam and Greek Revival including pedimented dormers, quoins, dentils and mouldings, entablatures over the entries, and windows with lintel.
- The proposed buildings have consistent setbacks, height, and roofline along No. 2 Road. The proposed urban character is cohesive with intricate detail that reinforces the row house form.
- The impact of blank garage doors has been mitigated with panel patterned doors, transom windows, unit entrances, and planting islands along the drive aisle.

- The proposed building materials (asphalt roof shingles, horizontal lap siding, hardi panel, wood fascia/trim/dentil/bracket, and brick) are generally consistent with the Official Community Plan (OCP) Guidelines and compatible with the existing single-family character of the neighbourhood.

Landscape Design and Open Space Design

- Tree preservation was reviewed at rezoning stage and all 16 bylaw-sized trees noted on-site were identified for removal due to general poor condition, proposed grade changes, and conflict with the building envelope; 32 replacement trees are required.
- The applicant is proposing to plant 23 replacement trees on-site, including 15 conifers and 8 deciduous trees. A voluntary contribution of \$4,500 to the City's Tree Compensation Fund in lieu of planting the remaining nine (9) replacement trees has been secured at Rezoning.
- Hedges, shrubs and ground covers, as well as perennials and grasses have been selected to ensure the landscape treatment remains interesting throughout the year.
- Two (2) cedar hedge rows located along the east and south property line are identified for retention. Tree protection fencing is required to be installed as per the Arborist Report recommendations prior to any construction activities (including demolition) occurring on-site. A Tree Survival Security will be required as part of the Landscape Letter of Credit at Development Permit stage to ensure that these hedges will be protected. No Landscape Letter of Credit will be returned until the post-construction assessment report, prepared by the Arborist, confirming the protected hedge rows survived the construction, is reviewed by staff.
- A pedestrian-oriented streetscape along No. 2 Road is proposed with a landscaped edge treatment, low metal fencing with brick columns, and gates to individual townhouse unit front doors.
- Each unit will have a private yard with landscaping and lawn area.
- The amenity space consists of a low climbing wall, a sandbox, and a small lawn area.
- The entry driveway and internal drive aisle will be treated with permeable pavers for better water infiltration and variety in paving surfaces. Surface parking stalls will be treated with grass pavers (GrassPave2) for additional store water mitigation and added green space. Feature paving will be used to identify and enhance the pedestrian route from the site entrance to the internal units.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$149,090.00 in association with the Development Permit.
- Indoor amenity space is not proposed on-site. A \$9,000 cash-in-lieu contribution has been secured as a condition of rezoning approval, consistent with the OCP.

Crime Prevention Through Environmental Design

- The architect advised that the following CPTED design/features are incorporated into the proposal:
 - Site lighting and clear site lines provide unobstructed views of surrounding area.

- Plantings near residential entries are low to maximize views and casual surveillance opportunities.
- “Good neighbour” fencing between rear gardens are 3 ft. high to encourage interaction between neighbours and foster a sense of community.
- All entrances are visible and overlooked by pedestrians or by neighbour’s windows.
- The landscape design avoids hiding places that would conceal criminals.
- Security lights including wall mounted lighting for drive aisles and lighting at entries to provide adequate outdoor security illumination.

Sustainability

- A Restrictive Covenant specifying that all units are to be built and maintained to the EnerGuide rating of 82 or higher, and that all units are to be solar-hot-water-ready, has been secured at Rezoning. A Certified Energy Advisor has confirmed that the proposed townhouse units will be designed to achieve an EnerGuide rating of 82. The report prepared by the Energy Advisor is on file and will be utilized through the Building Permit review process to ensure these measures are incorporated in the permit drawings.
- The developer also advises that the following sustainability features will be incorporated into the development:
 - use of drought tolerant or native dominant plantings;
 - use of locally available materials where possible;
 - use of permeable surfaces wherever possible;
 - use of exterior building materials require low maintenance and provide highly durable surfaces (i.e., hardie siding and brick);
 - use of low-emitting paint for suite interiors;
 - use of climate-based automatic irrigation controls to minimize the use of water on site;
 - use of Energy Star appliances in all units; and
 - use of at least 6 CEL light bulbs in each unit.

Accessible Housing

- The proposed development includes one (1) convertible unit that is designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of this unit will require installation of a chair lift (where the staircase has been dimensioned to accommodate this in unit 9D3) in the future, if desired.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
 - stairwell hand rails;
 - lever-type handles for plumbing fixtures and door handles; and
 - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Conclusions

The applicant has satisfactorily addressed staff's comments regarding conditions of adjacency, site planning and urban design, architectural form and character, and landscape design. The applicant has presented a development that fits into the existing context. On this basis, staff recommend support of this Development Permit application.



Edwin Lee
Planner 1

EL:cas

Attachment 1: Development Application Data Sheet

Attachment 2: Excerpt from the Minutes of the Advisory Design Panel Meeting – November 19, 2014

The following are to be met prior to forwarding this application to Council for approval:

- Final adoption of the Zoning Amendment Bylaw 9146.
- Receipt of a Letter-of-Credit for landscaping and hedge survival in the amount of \$149,090.00; Letter-of-Credit will not be released until the Letter of Assurance that landscaping installed from Landscape Architect as well as the Post Construction Impact Assessment Report confirming the protected hedgerows survived the construction from Arborist are reviewed by staff.

Prior to future Building Permit issuance, the developer is required to complete the following:

- Enter into a Servicing Agreement* for the design and construction of frontage improvements and service connections as per Rezoning Considerations.
- Submission of DCC's (City & GVS&DD), School site acquisition charges, Address Assignment Fee, and servicing charges, etc.
- Incorporation of accessibility, CPTED, and sustainability features/measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For further information on the Building Permit, please contact *Building Approvals Division at 604-276-4285*.
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Division (<http://www.richmond.ca/services/ttp/special.htm>).
- If applicable, payment of latecomer agreement charges associated with eligible latecomer works.



City of Richmond

Development Application Data Sheet

Development Applications Division

DP 13-644888

Attachment 1

Address: 8600 and 8620 No. 2 Road

Applicant: Balandra Development Inc. Owner: Balandra Development Inc.

Planning Area(s): Blundell

Floor Area Gross: 1624.3 m² Floor Area Net: 1185.7 m²

	Existing	Proposed
Site Area:	1981.8 m ²	1981.8 m ²
Land Uses:	Single-Family Residential	Multiple-Family Residential
OCP Designation:	Neighbourhood Residential	No Change
Zoning:	Single Detached (RS1/E)	Low Density Townhouses (RTL4)
Number of Units:	2	9

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.60	0.60	none permitted
Lot Coverage – Building:	Max. 40%	40%	none
Lot Coverage – Non-porous Surfaces:	Max. 65%	49.25%	none
Lot Coverage – Landscaping:	Min. 25%	25.44%	none
Setback – Front Yard (m):	Min. 6.0 m	5.4 m Min.	Variance Requested
Setback – North Side Yard (m):	Min. 3.0 m	3.0 m Min.	none
Setback – South Side Yard (m):	Min. 3.0 m	3.0 m Min.	none
Setback – Rear Yard (m):	Min. 3.0 m	4.5 m Min.	none
Height (m):	Max. 12.0 m (3 storeys)	10.45 m Max.	none
Lot Width:	Min. 50.0 m	43.29 m	Variance Requested
Off-street Parking Spaces – Regular (R) / Visitor (V):	2 (R) and 0.2 (V) per unit	2 (R) and 0.2 (V) per unit	none
Off-street Parking Spaces – Total:	20	20	none
Tandem Parking Spaces:	Max. 50% of proposed residential spaces in enclosed garages (16 x Max. 50% = 8)	0	none

Small Car Parking Spaces	None when fewer than 31 spaces are provided on site	7	Variance Requested
Handicap Parking Spaces:	None when fewer than 3 visitor parking spaces are required	0	none
Amenity Space – Indoor:	Min. 70 m ² or Cash-in-lieu	Cash-in-lieu	none
Amenity Space – Outdoor:	Min. 6 m ² x 9 units = 54 m ²	66 m ²	none

**Excerpt from the Minutes from
The Design Panel Meeting**

**Wednesday, November 19, 2014 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall**

Panel Discussion

Comments from the Panel were as follows:

- a unique project; proposed project design minimizes the project's impact to a primarily single family neighbourhood;
No Comment.
- look at the project's domestic water heating efficiency to increase the project's Energuide 82 rating;
Project design meets Energuide 82 requirements and goes above and beyond code with R22 insulation instead of R20, HRV, and DHW heat recovery, thus already maximizing the domestic hot water system.
- appreciate the provision of a convertible unit and use of sliding doors in the powder room on the ground floor and in the bathroom on the upper floor; consider pocket doors for the ensuite bathroom and laundry room on the upper floor in lieu of swinging doors to free up floor space and improve accessibility; also consider the same approach to the other units in the proposed development;
Please see attached plan#07.
- introduction of a different architectural style in Richmond is encouraging; look at how to effectively blend the materials at the front and back of the buildings;
Materials have been blended via the trim details which present consistency across all elevations.
- side elevations are not symmetrical; look at the rooflines;
No Comment.
- consider increasing the area of the outdoor amenity to make it more visually significant;
We have reviewed on increasing in the bulge of the road intersection. There was no significant increasing in the landscaping and the curb pattern was less pleasing in central open space. Final solution is shown on plan# L3b.
- concern on the interface of the north and south property lines with neighbouring properties in view of the potential 10-12 feet surface height of the fence on top of a retaining wall on the subject property; applicant should continue looking for ways to address the interface to mitigate the visual impact to the neighbourhood; concern on shadowing upon the adjacent property to the north;

We lowered the drive aisle grade at the north and south end to drop down the retaining wall height. The maximum height of the retaining wall is about 40". Furthermore the height of retaining wall has been dropped again about 11" from back of parking stall to the front yard. Also in an effort to reduce the apparent height of the retaining wall and fencing, the fence at the top of the retaining wall has been reduced to 42" guardrail height. Arbour at each end of internal drive aisle will provide more privacy for the residents.

- site planning is well done;
No Comment.
- the applicant is proposing a unique architectural style; the applicant should maintain the detailing through the construction stage to enhance the character of the proposed development;
No Comment.
- concern on the extreme differences in the roof pitch; understand the rationale for the proposed 4/12 roof pitch; however, it takes away the proposed architectural style for the buildings; look at ways to integrate a steeper roof pitch closer to the standard 8/12 while also addressing the concerns of the neighbouring properties;
The proposed roof pitch changed to 4/12 to address shadowing the neighbour's properties.
- site planning is well-handled; appreciate the massing of the building and the applicant's efforts to keep it down; shadow study provided by the applicant shows no shadowing upon neighbouring properties; an 8/12 roof pitch for the back buildings will not create more shadows;
No Comment.
- appreciate the proposed architectural style; however, some of the detailing appears fuzzy, e.g. use of cultured stone and too much horizontal banding (brick could be carried upwards);
Cultured stone removed from the drawings and replaced with precast concrete.
- window treatment is rigorous on the street edge; look at precedent in the MOSAIC development where the window treatment is more relaxed, i.e., living room windows are bigger than the upper floor windows;
The window treatment is picked carefully to address the proposed style. The living room windows need to be bigger to provide more light for bigger area.
- walls on the street edge appear high in one of the renderings presented by the applicant;
No Comment.
- applicant should have provided a street view to enable the Panel to visualize how the proposed architectural style fits into the neighbourhood context;
Please see attached streetscape.
- consider toning down the fuzziness of the detailing of the buildings;
The detailing will be provided on BP stage.

- appreciate the applicant's efforts and due diligence to address the concerns of the neighbouring properties at the back;
No Comment.
- There is verticality and formality in the proposed development; however, the neighbourhood is expected to redevelop in the future with increased density and more rigorous pattern of vertical elements;
No Comment.
- high standard of proposed materials for the project (e.g. metal, wood and brick as opposed to vinyl) should be maintained as the project develops;
No Comment.
- landscaping is well-resolved;
No Comment.
- proposed play equipment is a good choice; appreciate the proposed materials for the outdoor amenity area;
No Comment.
- concern on the height of the walls (6-foot fence on top of the retaining wall) on the north, south and east property lines; applicant should look at opportunities to work with neighbouring properties to ameliorate the impact of the walls, e.g. making the walls more permeable; and
We lowered the drive aisle grade at the north and south end to drop down the retaining wall height. The maximum height of the retaining wall is about 40". Furthermore the height of retaining wall has been dropped again about 11" from back of parking stall to the front yard. Also in an effort to reduce the apparent height of the retaining wall and fencing, the fence at the top of the retaining wall has been reduced to 42" guardrail height. Arbour at each end of internal drive aisle will provide more privacy for the residents.
- Appreciate the applicant's efforts to increase the permeability of the site; however, the applicant is encouraged to get an engineering input in view of Richmond's high water table.
In general, we prefer to avoid large areas of permeable pavers as they can be subject to significant differential settlement. Additionally, as the water table in Richmond is high, there is little point to increasing permeability as the infiltrated water won't necessarily go anywhere.

Panel Decision

It was moved and seconded

That DP 13-644888 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Panel.

CARRIED



City of Richmond

Development Permit

No. DP 13-644888

To the Holder: Balandra Development Inc.

Property Address: 8600 and 8620 No. 2 Road

Address: c/o Wayne Fougere
#202 – 2425 Quebec Street
Vancouver, BC V5T 4L6

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) reduce the minimum lot width on major arterial road from 50.0 m to 43.29 m;
 - b) reduce the front yard setback from 6.0 m to 5.4 m; and
 - c) permit seven (7) small car parking spaces.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #4 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$149,090.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 13-644888

To the Holder: Balandra Development Inc.
Property Address: 8600 and 8620 No. 2 Road
Address: c/o Wayne Fougere
#202 – 2425 Quebec Street
Vancouver, BC V5T 4L6

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF ,

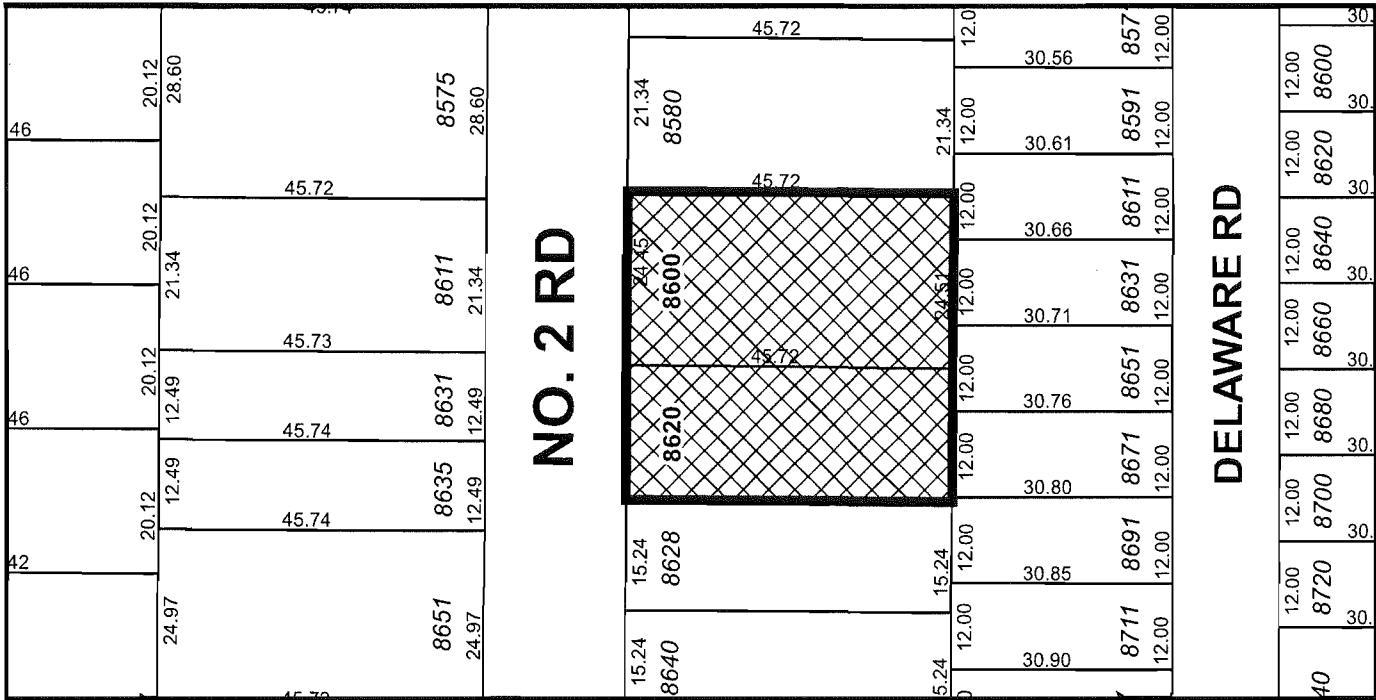
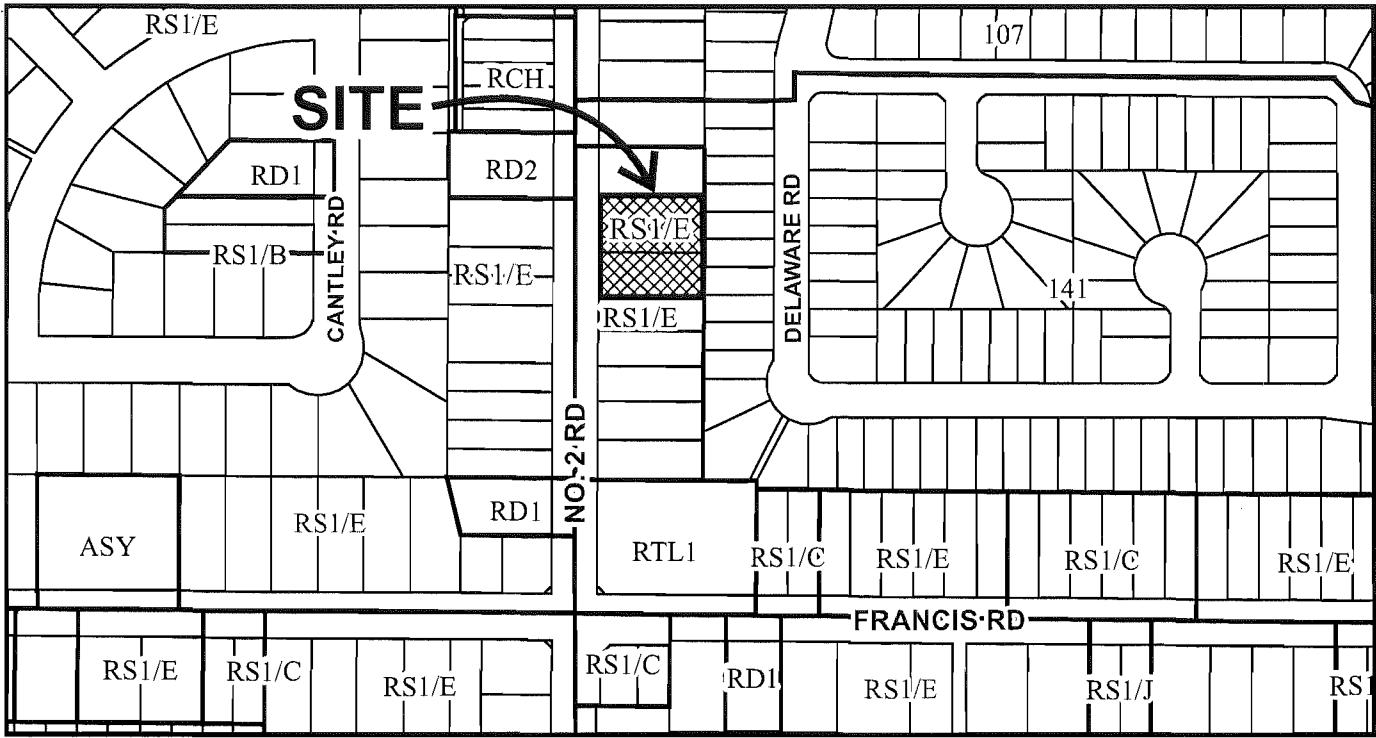
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF ,

MAYOR



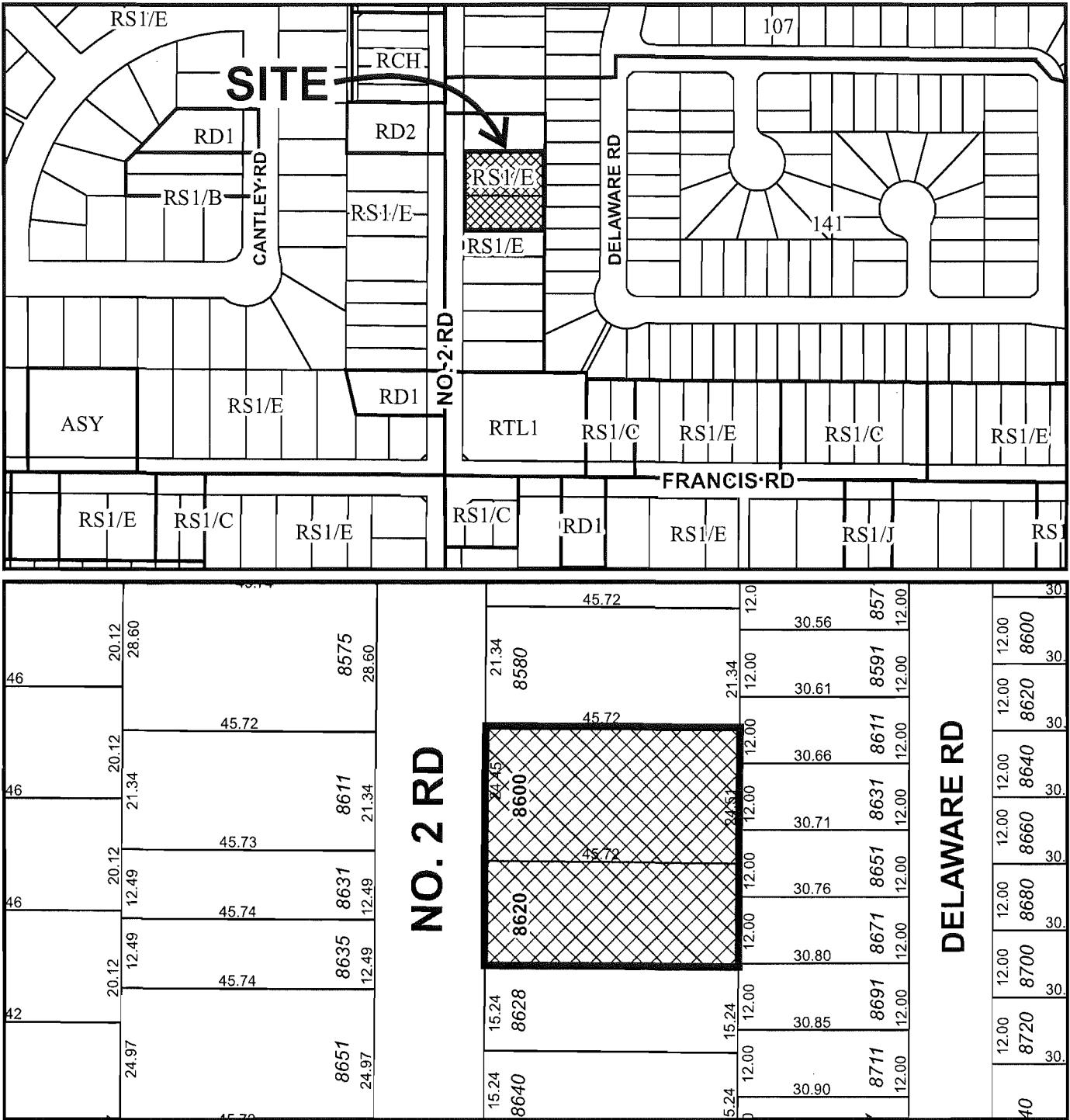
City of Richmond



DP 13-644888	SCHEDULE "A"	Original Date: 02/18/15
		Revision Date:
		Note: Dimensions are in METRES



City of Richmond



N	DP 13-644888	Original Date: 02/18/15
		Revision Date:
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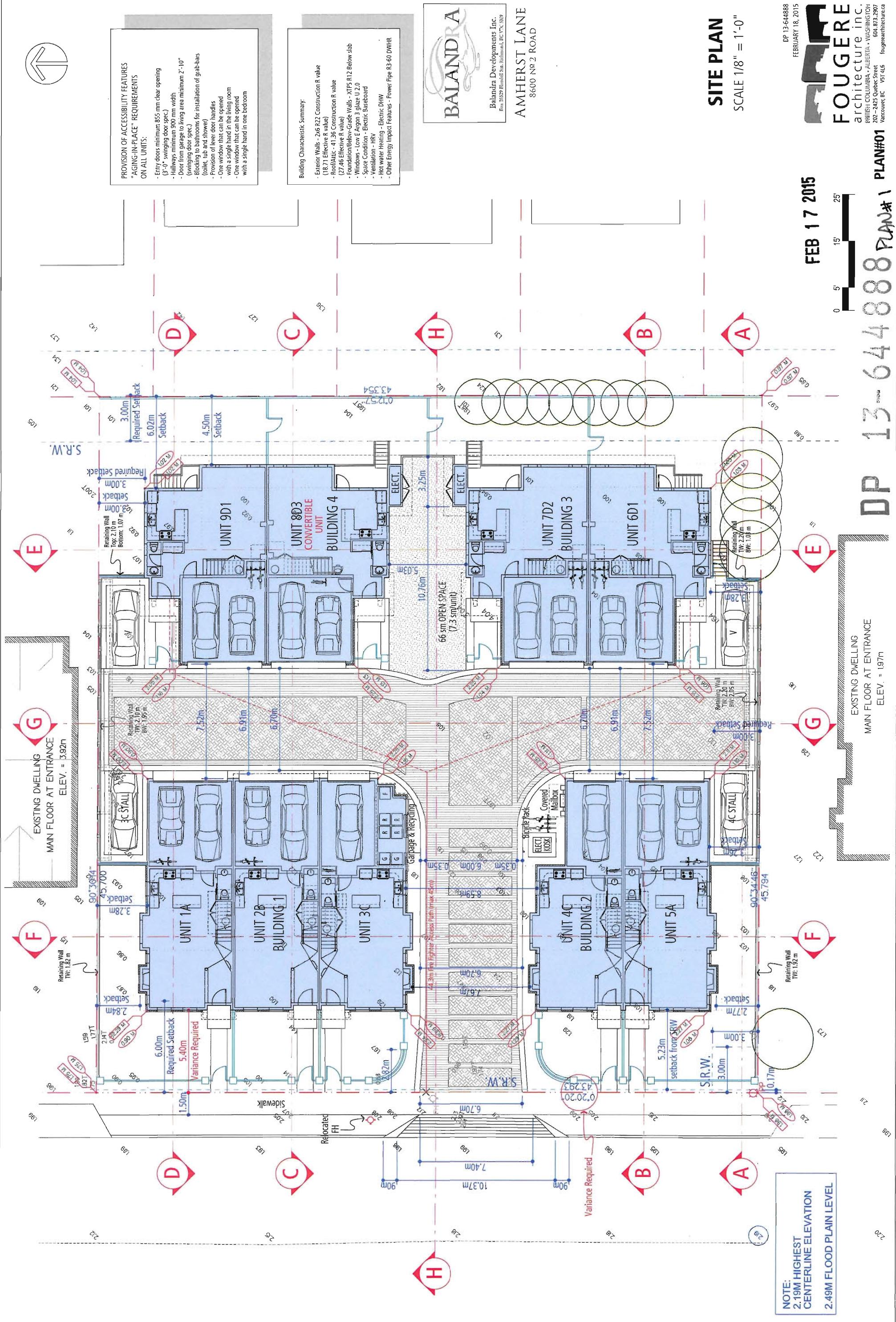
FEB 17 2015

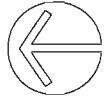
DP 13-644888 PLAN#1

SITE PLAN
SCALE 1/8" = 1'-0"

Balandra Developments Inc.
Rm 26329 Blanshoff Stn, Richmond, BC V6C 5S9

AMHERST LANE
8660 N° 2 ROAD





S.R.W.



EXISTING DWELLING
MAIN FLOOR AT ENTRANCE
ELEV. = 3.92m

LOT COVERAGE
PRIVATE OPEN SPACE

Lot Coverage Required	max 40%
Lot Coverage Proposed	40%



Balandra Developments Inc.
Suite 305-27 Blandford Way, Richmond, BC V7C 5A9

AMHERST LANE
3600 N° 2 ROAD

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COVERAGE PLAN

SCALE 1/8" = 1'-0"

DP 13-644888
FEBRUARY 11, 2015
FOUGERE architecture inc.
BRITISH COLUMBIA - ALBERTA - WASHINGTON
201-2425 Quebec Street
V6T 4L6
Vancouver, BC
604.873.2907
fougerearchitecture.ca

FEB 17 2015

DP

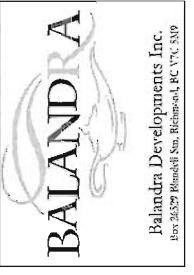
EXISTING DWELLING
MAIN FLOOR AT ENTRANCE
ELEV. = 1.97m

PLAN#01a

NO. 2 ROAD

SITE DATA
 DP 13-644888
 FEBRUARY 11, 2015


Site Area	Maximum Lot Coverage	Proposed Lot Coverage	40%	Maximum Accessory Area	358 sf	Maximum Covered Area	10.0%
Proposed Density	184 upa	Proposed Lot Coverage	40%	Proposed Average Accessory Area	261 sf	Proposed Covered Area	2.92%

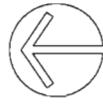

 Balandra Developments Inc.
 119 2659 Ranch St., Rutherford, BC V7C 5S9

AMHERST LANE
 8600 N° 2 ROAD

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UNIT DENSITY	SITE COVERAGE CALC.			ACCESSORY CALC.			COVERED AREA CALC.
	Unit Count	Unit Type	Foot Print	Total Area	Accessory Area	Total Accessory Area	
2	A	945	sf	1,890	sf	353	706 sf
1	B	925	sf	925	sf	333	353 sf
2	C	825	sf	1,650	sf	245	490 sf
2	D1	952	sf	1,904	sf	358	358 sf
1	D2	1,008	sf	1,008	sf	716	57 sf
1	D3	1,008	sf	1,008	sf	343	57 sf
2	Elec. Clo	28	sf	56	sf	28	56 sf
1	Gatb Rec	107	sf	107	sf	107	0 sf
11			sf	8,548	sf	3,129	373 sf

RT14 Zoning District	Zoning Requirement	Our Design
8.11.1 Purpose	low Density Housing	complies
8.11.2 Permitted uses	Single Detached Housing	complies
8.11.4.2. a) Permitted Density	0.60 FAR	complies
8.11.5. Lot Coverage		
1. buildings		complies
2. non-porous		complies
3. live plants		complies
8.11.6. Yards & Setbacks		
1. front yard	6.0 m	variance required: 5.4m
2. interior side yard	3.0 m	complies
4. rear yard	3.0 m	complies
OCP requirement:		
14.4.13 Aerial Road Guidelines for Townhouses	Along the rear yard interface with single-family housing;	complies
14.4.13.C. Rear Yard	may have a 6 m setback where deemed necessary;	complies
	may have 1 storey projections less than 1.5 m	
8.11.7.1 Permitted Height	12.0 m (3 stories)	variance required: lot width 43.3 m
8.11.8. Minimum lot size	50.0 m	complies
1. minimum lot width	35.0 m	complies
2. minimum lot depth		variance required: lot width 43.3 m
8.11.10 On-Site Parking and Loading		
7.7.2.1 residential visitors	18 stalls (2 cars/unit)	complies
7.5.13 small car	2.5 stalls (0.2 cars/unit)	complies
	no small car stalls	
7.14.5 On-Site Bicycle Requirements	4 vertical stalls (33% of Class 1)	complies
7.14.10 Other Requirements	2.2 stalls (1.25 spaces/unit)	complies
	2 stalls (0.2 spaces/unit)	
8.7.11 Other Regulations	4.4.1. density calculation exclusion	complies
	10% of floor area for covered area	complies
	maximum of 50 sm for garage	complies
	exclusion of 10 sm of stairs & entry	complies
4.9.4. bay window projection	1.0 m maximum	complies
front yard	0.6 m maximum	complies
side or rear yard	no closer than 3.0 m	complies
4.9.5. entry stairs projection	no closer than 1.5 m	complies
front or rear lot line	1.5 m maximum	complies
4.9.6. balconies & porches projection	no closer than 1.5 m	complies
front, exterior side & rear yard	1.2 m maximum	complies
4.12.3. cantilevered roofs, eaves & gutters	into the yard	complies
4.16. basic universal housing features		



PARKING & BICYCLE DATA

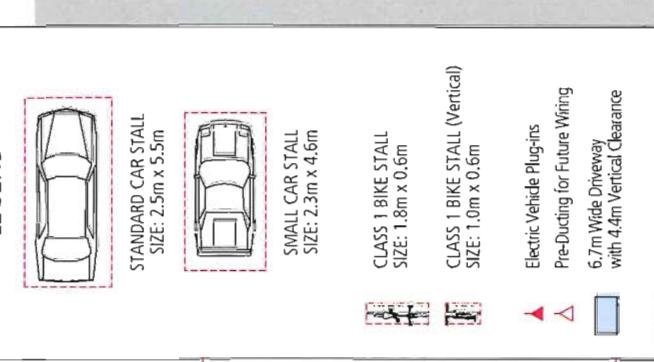
Residential 2 cars/unit	18
Visitor 0.2 cars/unit	2
Total Required	20
Parking Provided	
Standard Stall	11
Small Stall	7
Visitor Provided	2
Total Provided	20

Zoning Variance:

On-site Bicycle Parking Requirements

Class 1: 1.25 stalls/unit max. 33% Vertical Stalls	11.25
Class 2: 0.2 stall/unit	3.71
Total Class 1 Stalls Required	12
Total Class 1 Stalls Provided	12
Total Class 2 Stalls Required	2
Total Class 2 Stalls Provided	2
Horizontal Stalls Provided	9
Vertical Stalls Provided	3

LEGEND



BALANDRA
Balandra Developments Inc.
Block 2629, Burnside St., Burnaby, BC V5C 5J9

AMHERST LANE
8600 No 2 ROAD

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PARKING
PLAN

SCALE 1/8" = 1'-0"

DP 13-644888
FEBRUARY 11, 2015

FOUGERE
architecture inc.
9815 188th COLUMBIA • ALBERTA • WASHINGTON
202 - 2425 Quebec Street V5T 4L6
604 833 2907 vancouver, BC
fougerearchitecture.ca

FEB 17 2015
DP 13-644888 PLAN #2

DP 13-644888 PLAN #2

EXISTING DWELLING
MAIN FLOOR AT ENTRANCE
ELEV. = 1.97m

NO. 2 ROAD

AMHERST LANE
for Balandra Development

Civic Address: 8600 No 2 Road, Richmond, BC



1690 West 2nd Avenue, Vancouver, BC, V6J 1H4
t: 604.683.1456 | f: 604.683.1459 | w: www.etalca.ca

Owner: Balandra Development
Architect: Fougere Architecture Inc.
Landscape: eta landscape architecture

re-ISSUED FOR DP February 18, 2015

LANDSCAPE:

Sheet No.	Sheet Name
L3a	Tree Management Plan
L3b	Landscape Plan
L3c	Landscape Planting Plan
L3d	Amenity Area Landscape Plan and Schedules
L3e	Elevations- Crib Retaining/ detail
L3f	Landscape Details - Paving
L3g	Landscape Details - Brick Piers, Sign Wall and Fences
L3h	Landscape Details - Site Furnishings
L3i	Permeability Plan
L3j	Lighting Plan
L3k	Images

DP

13-644888 PLAN #3

FEB 17 2015

DP 13-644888 PLAN # 3A

FEB 17 2015

Drawing Title: Tree Management Plan

Notes:
 1. Trees that cannot be replaced at the required 2:1 ratio will require a cash-in-lieu arrangement will need to be made between the city and developer.
 2. Refer to tree management plan prepared by arborist consulting, dated Jun 19.
 3. Root pruning by project arborist is required during site preparation.

Drawn By:	Project Manager	Reviewed By:	2/11/15
Drawing No:	DP 13-644888	Date:	2/11/15
Drawn On:	02/12/2013	Approved By:	10

By Office:

21033 Arment Law, LLP

Tree Replacement Schedule:
 - Existing trees to be removed: 19 trees (38 bylaw replacement trees)
 - Proposed new trees on site: 23 trees

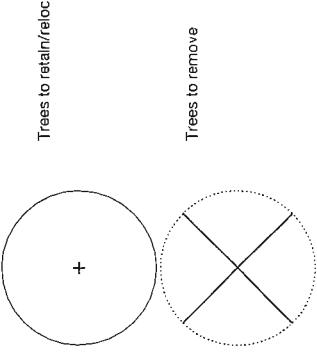
ID	QTY	LATIN NAME	COMMON NAME	SPACING	SCHEDULED SIZE	NOTES
Apa	9	Acer palmatum 'Toyonobori'	Tronpenburg Japanese Maple	4m h/B&B	4m h/B&B	multi-stemmed
Fsd	5	Fagus sylvatica dawryck gold	Golden Beech	7cm cal. B&B	7cm cal. B&B	full, bushy plants/ 2m standard
Fsd-1	2	Fagus sylvatica dawryck gold	Galaxy Magnolia	8cm cal. B&B	8cm cal. B&B	full crown/ 2m standard
Ms	1	Magnolia Galaxy	Serbian Spruce	4m h/B&B	as shown	full' bushy plants
Pri	6	Picea eminika				as shown
	0					

Top:



Trees to remove
Trees to retain/relocate

LEGEND



Project: Amherst Lane
8600 No 2 Road
Richmond, BC

Drawing Title:

Tree Management Plan

Issue No:

Date:

Revision Notes:

1
5/23/14
Reviewed by City of Richmond
Comments: 15

A	Issued for DP
B	Retained for DP
C	Retained for DP
D	Retained for review
E	REISSUED FOR RECORDING AND ISSUED FOR ADP

Comments:

1
5/23/14
Retained for DP
Retained for DP /#80 proto-1.0
Comments: 15

F

10/17/14
Retained for ADP

G

11/10/15
Retained for DP /#80 proto-1.0
Comments: 15

H

2/19/15
Retained for DP

I

2/19/15
Retained for DP

eta professional level

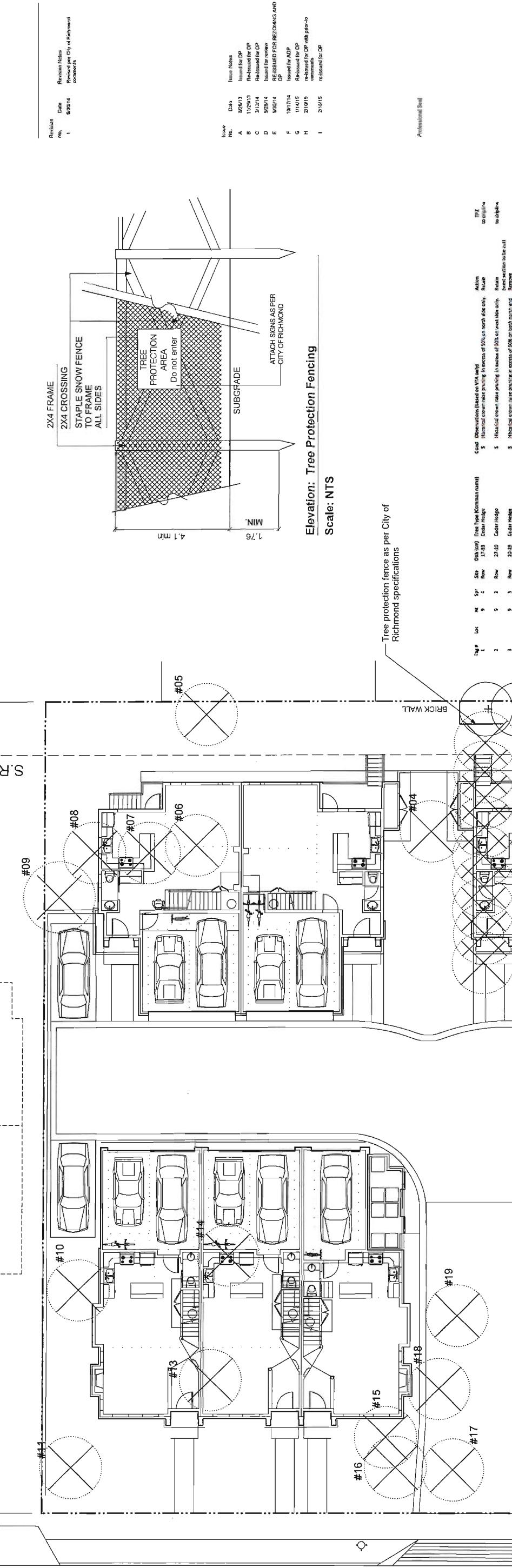
10/22/2013
to Objekts

to be retained

Remove

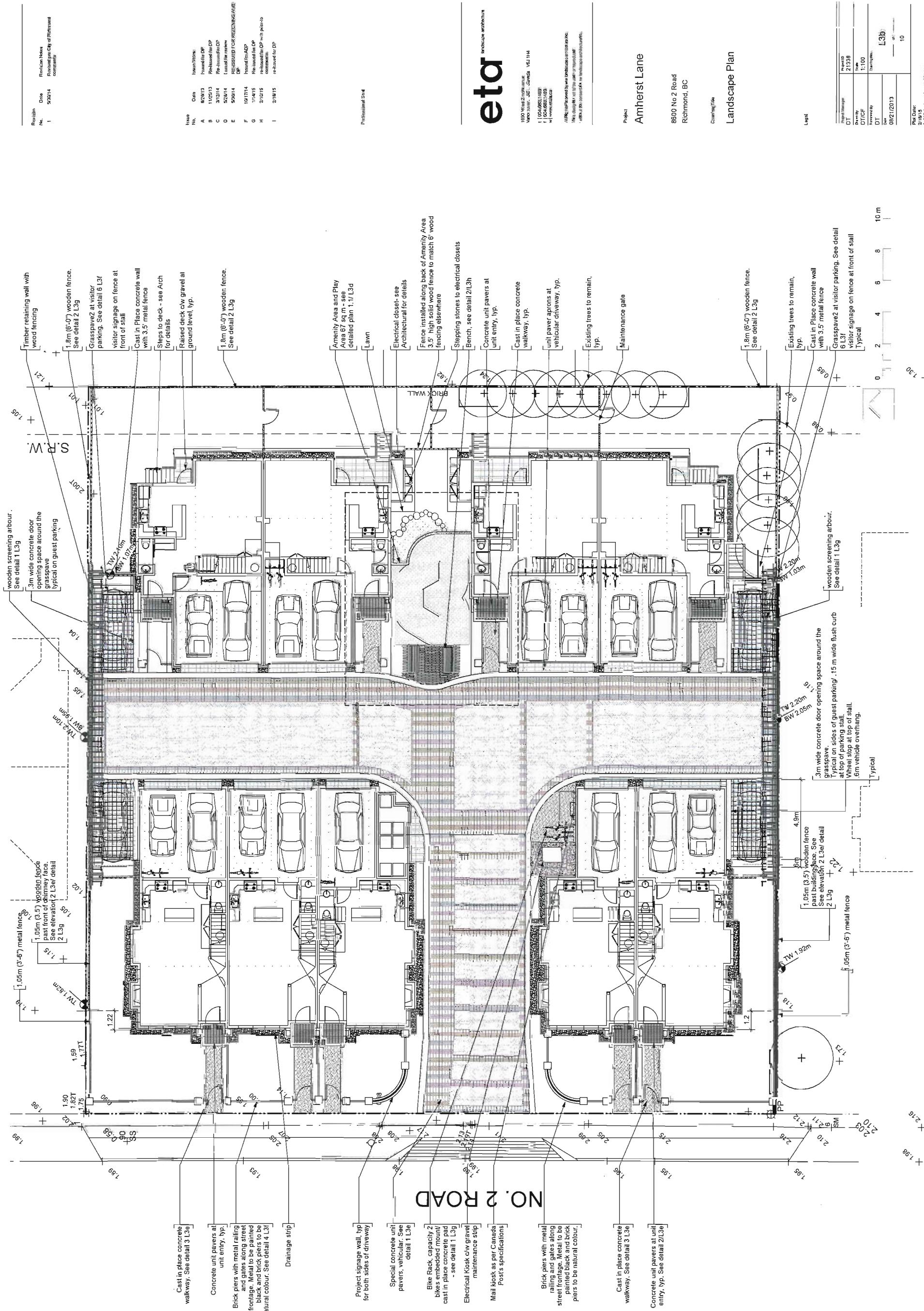
Replace

Retain



FEB 17 2015

DP 12-644888 PLAN #3B



eta landscape architecture

Project
Amherst Lane

860 No 2 Road
Richmond, BC

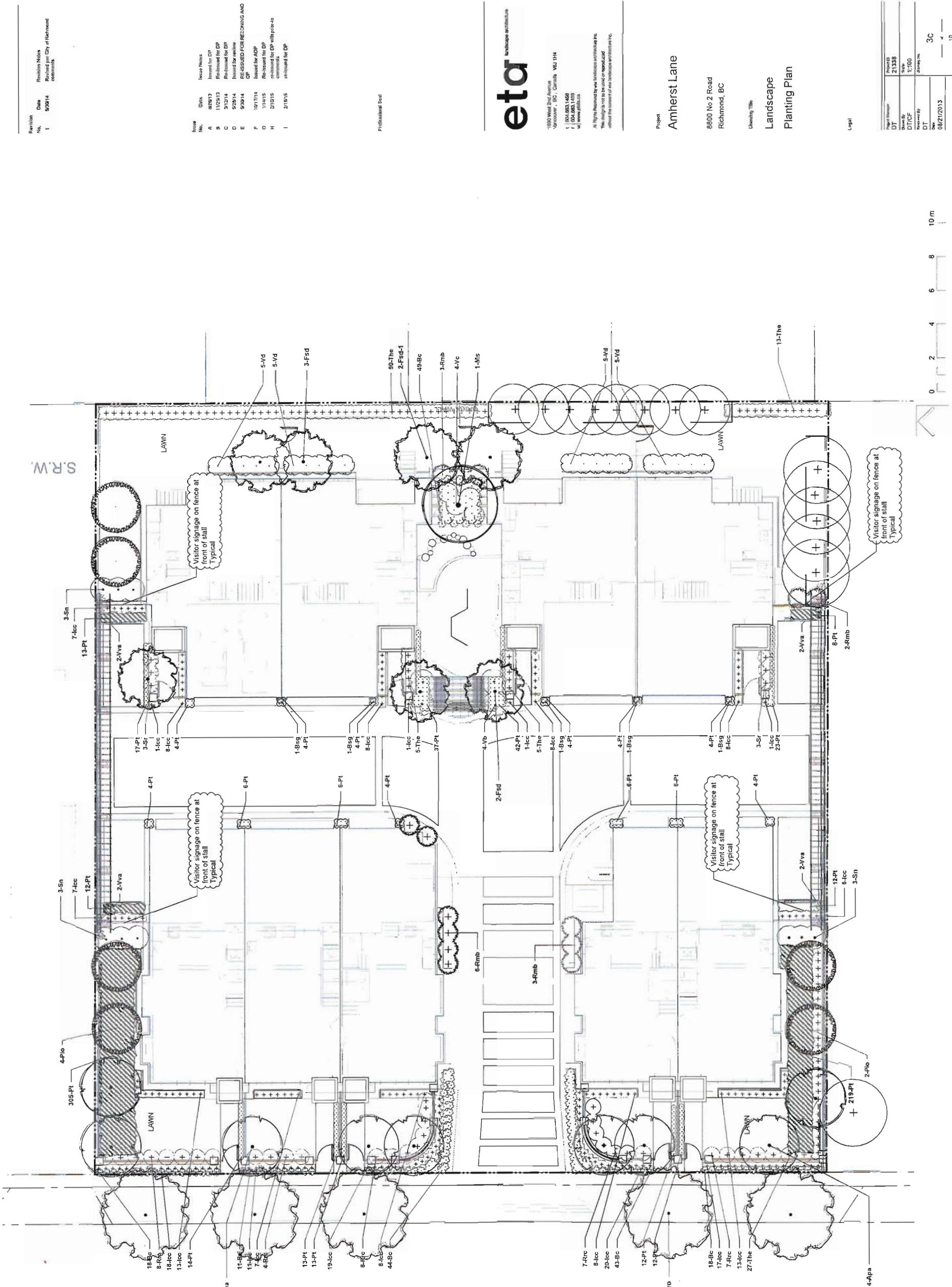
Client/Title
Landscape Plan

Project Manager	Project ID	Drawings
D/C/F	21359	1:100
Reviewed by		
Date		

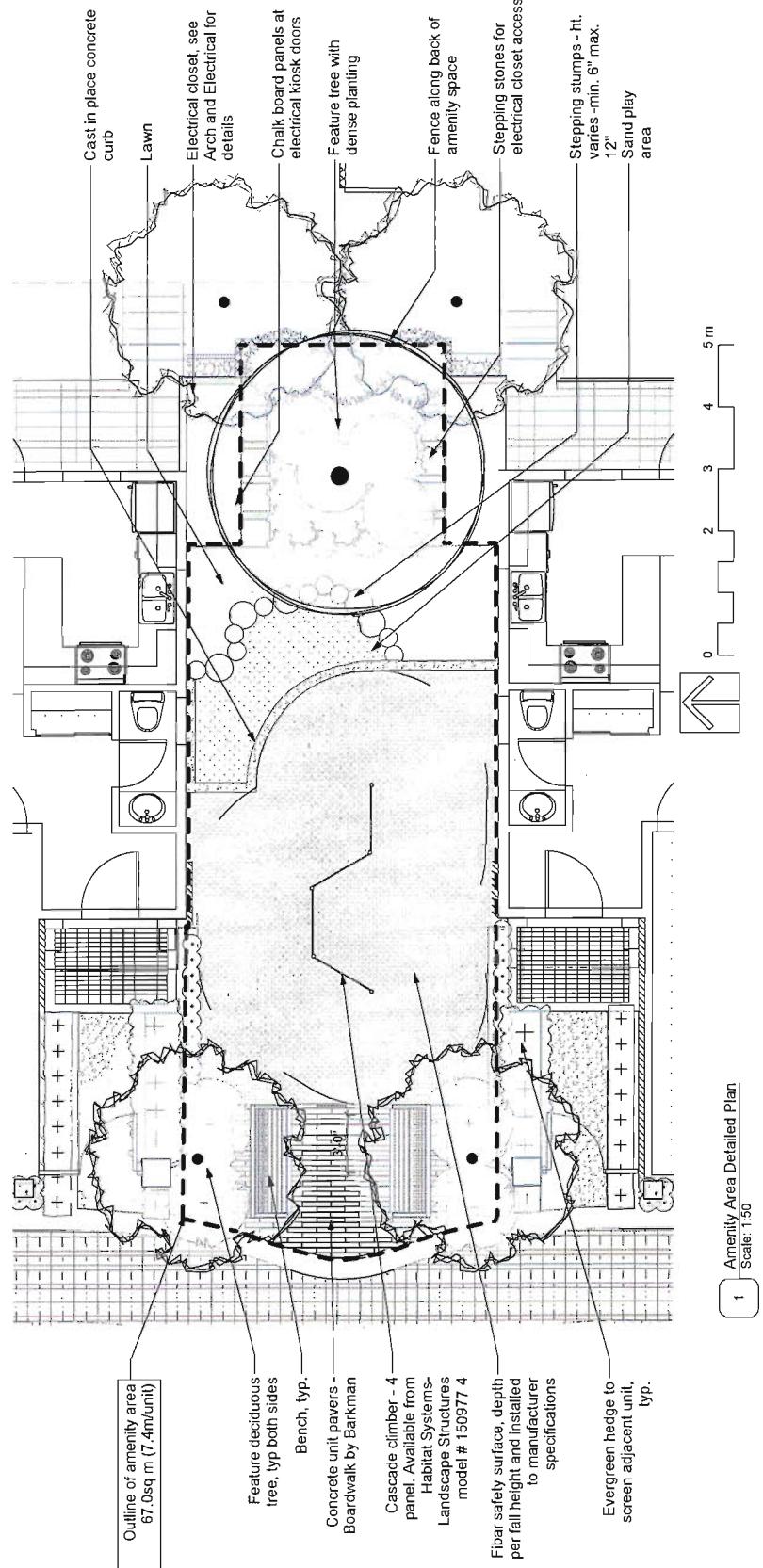
Plot Date
2/16/15
2/16/15 Amherst Lane, Richmond, BC

FEB 17 2015

DP 13-644888 PLAN #3C



Revision No. 1 Date 5/30/14 Revision Notes Revised per City of Richmond comments



PLANT LIST ID	TREES- OFF SITE	QTY	COMMON NAME	LATIN NAME	SPACING	SCHEDULED SIZE	NOTES
Arc	5		Acer rubrum 'October Glory'	Acer rubrum 'October Glory'	as shown	7cm Cal	full, bushy plants/ 2m standard

TREES- ON SITE

Aga	9	Acer palmatum Trompenburg	Trompenburg Japanese Maple	as shown	4m h/B & B	multi-stemmed/ 2m standard
Fsd	5	Fagus sylvatica lawayk gold	Golden Beech	7cm cal. B&B	full, bushy plants/ 2m standard	
Fsd-1	2	Fagus sylvatica lawayk gold	Golden Beech	8cm cal. B&B	full crown/ 2m standard	
Ms	1	Magnolia Galaxy	Magnolia	8cm cal. B&B	full, bushy plants	
Pio	6	Picea omorika	Serbian Spruce	4m h/B & B	full, bushy plants	

SHRUBS

Bc	183	Bergenia cordifolia Bressingham White	Heartleaf Bergenia	0.41 #1 cont.	full, bushy plants/ heavy
Bsg	5	Buxus sempervirens Graham Blandy	Graham Hardy Boxwood	0.25 #5 cont.	full, bushy plants/ previously cli
Icc	190	Ilex crenata compacta	Japanese Holly	0.41 #5 cont.	full, bushy plants
Pt	812	Pachysandra terminalis	Rhododendron 'Mission bells'	0.25 #4	full, bushy plants
Rrb	14	Rosa Royal City	Royal City Rose	1.07 1mx1m field grown/ B&B	full, bushy plants
Ric	34	Sambucus nigra	European Elder	0.91 #2 cont.	full, bushy plants
Sn	9	Sarcococca ruscifolia	Fragrant Sarcococca	0.76 #3 cont.	full, bushy plants
Sr	6	Taxus x media H.M. Eddie'	Eddie's Yew	0.46 3m/B&B	full, bushy plants
The	100	Vaccinium burkwoodii	Korean Spice Bush	1.07 1m high B&B	full, bushy plants
Vb	4	Vaccinium corymbosum	Blueberry	0.41 #5 cont.	full, bushy plants
Vc	4	Viburnum davidii	Viburnum	0.91 #2 cont.	full, bushy plants
Vd	20	Vitis vinifera atropurpurea	Purple Leaf Grape	0	full, bushy plants
Vva	8				
	0				

LAWN

NOTE: ALL LANDSCAPE TO CONFORM TO BC LANDSCAPE STANDARDS CURRENT ED. FOR LEVEL 2 'GROOMED' LANDSCAPE TREATMENT IN THE EVENT OF A DISCREPENCY BETWEEN THE PLANT LIST AND THE PLANTING PLAN, THE PLANTING PLAN TAKES PRECEDENCE.

Amenity Area Detailed Plan

Plant List and Materials Schedule

Item No.	Description	Size	Model	Manufacturer	Highlight	Colour	Qty
BENCH	4'-0"		Parc Yue RING			Black	2
BIKE RACK			CASCADE CLIMBER	LANDSCAPE FORMS		Black	1
PLAY STRUCTURE				LANDSCAPE STRUCTURES			

Site inspection to provide written 1 year warranty on soil specifications. An independent soil test to be provided 1 week prior to end of 1 year warranty period. Contractor to provide soil amendments to bring soil up to quality recommended in soils report.

Site inspection to provide written 1 year warranty on soil specifications. Accepting in writing to the consultant. Ascertain the size and location of all existing services and upgrades prior to the work. Immediately repair damage resulting from failure of contractor to provide such precautions at no cost to the owner.

All pruning to be in accordance with the BC NAVSUL standards current edition.

Plant counts in the case of any discrepancy between plant counts on the plant list and actual plant counts on site. Contractor to advise all plant counts and notify consultant of any discrepancy.

Overhead structures superseeded over structure.

Tree (10m² per tree) 30' 24' 20' 18' 15' 12' 9' 6' 3' 1.5' ft. wooden fence.

Shrub ground covers 3.5 ft. metal fence.

FEB 17 2015

eta

Issue No. Date 6/29/13 A 6/29/13 Issued for DP Requirements for DP Review for review SDC14 RE-ISSUED FOR REZONING AND DP F 10/17/14 Issued for ADP Requirements for DP with Prio-D H 2/10/15 Issued for DP comments I 2/18/15 Issued for DP

Professional Seal

Drawing Title

Amenity Area Detailed Plan

Plant List and Materials Schedule

Item No.	Description	Size	Model	Manufacturer	Highlight	Colour	Qty
DT	80mm depth		Standard	ABBOFSFORD CONCRETE BOARDWALK	Herringbone pattern	Brown	2138
DT	80mm depth		Standard	ABBOFSFORD CONCRETE BOARDWALK	Stack Board pattern	Charcoal	8
DT	60mm depth		Standard	ABBOFSFORD CONCRETE BOARDWALK	Stack Board pattern	Brown	8

Project Amherst Lane

8600 No 2 Road

Richmond, BC

Legal

Plan Date: 2/19/15

Plan Title: Amherst Lane, Mtn Structures Inc.

Plan Date: 2/19/15

Plan Title: Amherst Lane, Mtn Structures Inc.

Revision No. 1 Date 5/25/14 Revision Notes Review per City of Richmond comments

Issue No. Date 8/26/13 A Issued for DP
B 11/25/13 Issued for DP
C 3/21/14 Released for review
D 5/28/14 Issued for review
E 5/20/14 REISSUED FOR REZONING AND DP
F 10/7/14 Issued for ADP
G 11/14/15 Issued for DP with plan-o comments
H 2/10/15 Issued for DP with plan-o comments
I 2/18/15 Issued for CP

Professional Seal

eta landscape architecture

1050 West 2nd Avenue
Vancouver, BC V6J 1H4
t 604.682.1456
f 604.682.4556
w www.eta.ca

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Project Amherst Lane

8600 No 2 Road
Richmond, BC

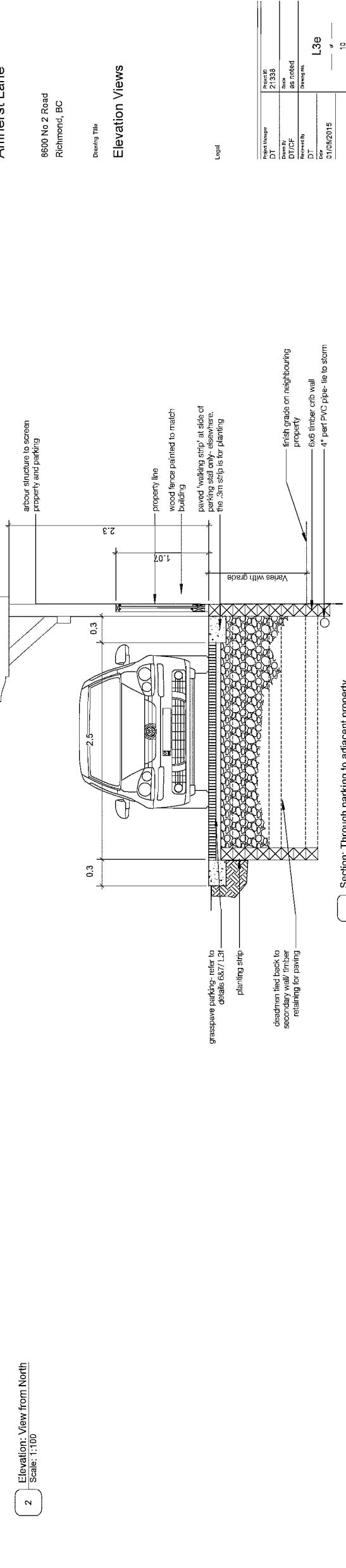
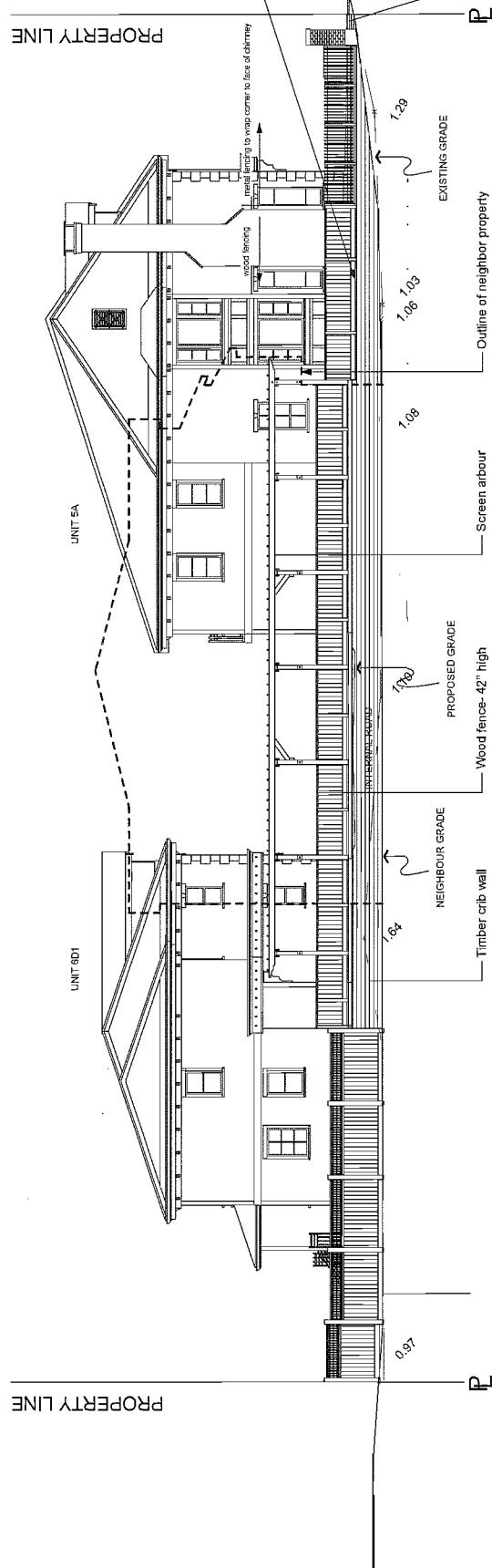
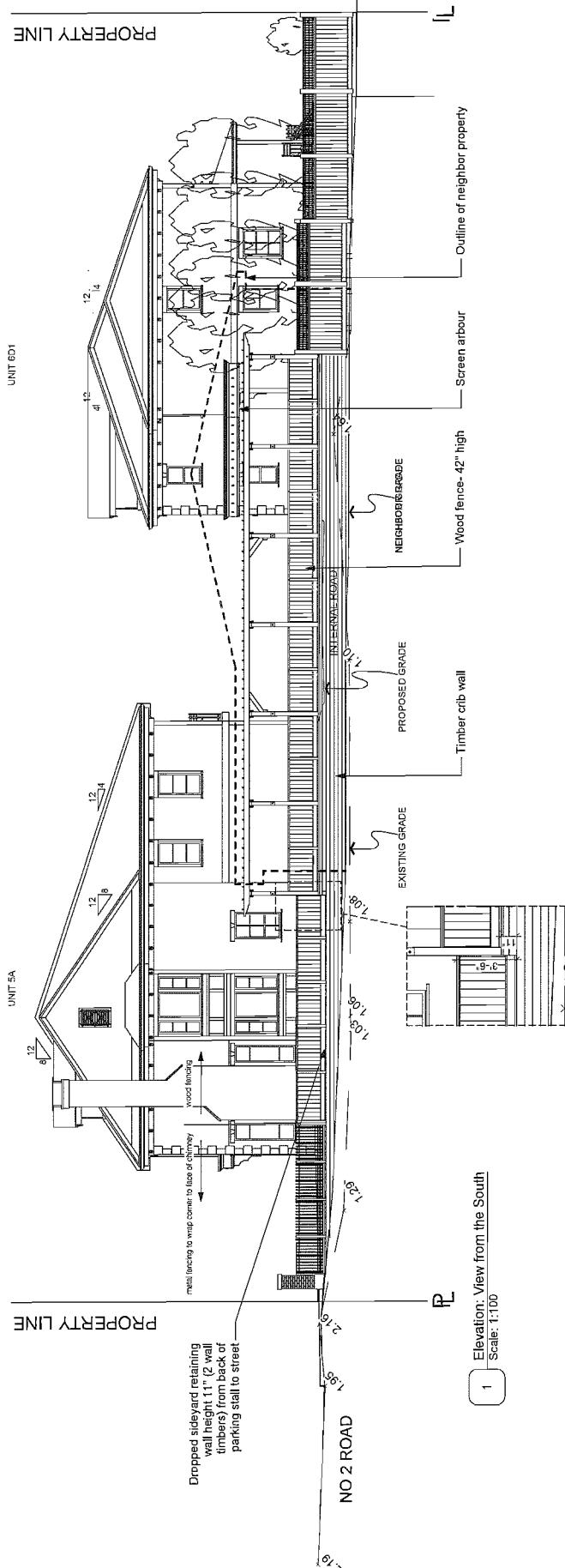
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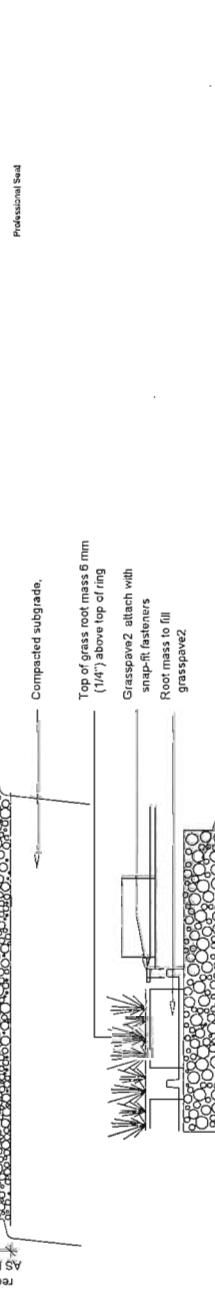
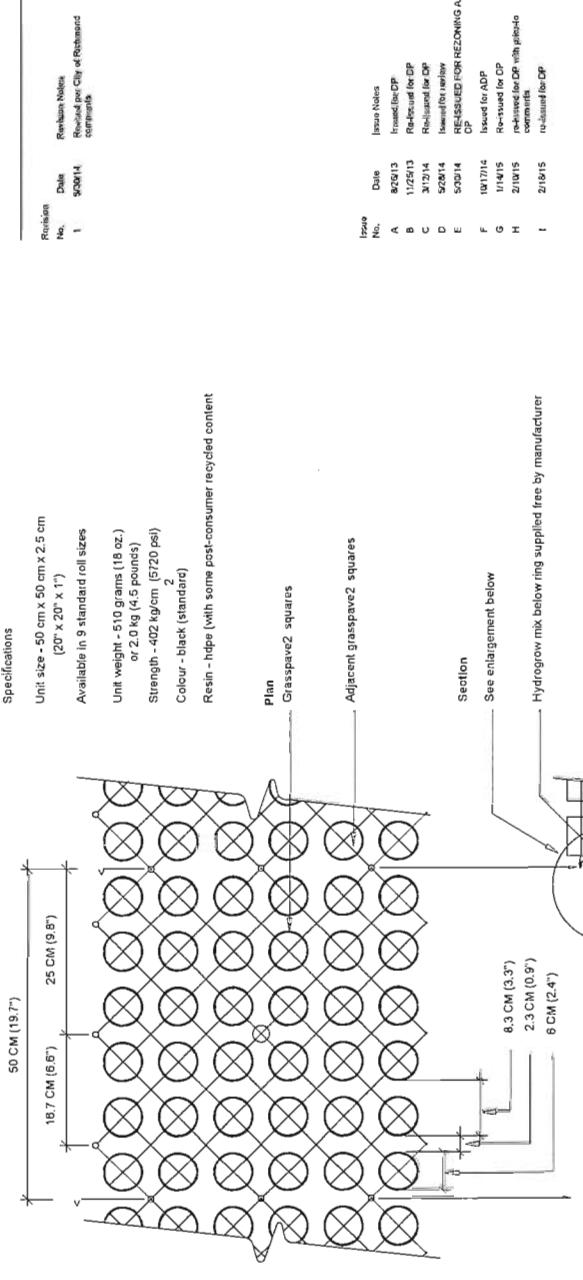
Project Manager	Project ID
DT	21338
Drawings	Specified
Reviewed	Not Yet
Approved	L3e
Date Approved	01/09/2015
Comments	10

Plan Date: 2/18/15
21338 Amherst Lane Master Work

FEB 17 2015

PLAN # 3E
DP 12-644888





eta landscape architecture

Issue Notes

A 8/20/13
Issued/Rec'd CP
Revised/Rec'd CP

C 3/12/14
Revised/Rec'd CP

D 5/20/14
Issued/Rec'd CP

E 5/20/14
REISSUED FOR REZONING AND
CP

F 10/17/14
Issued for ADP

G 11/14/15
Revised for CP with plan-0
commits

H 2/16/15
reduced for CP

I 2/16/15
reduced for CP

Project
Amherst Lane

8600 No 2 Road
Richmond, BC

Driving Title

Landscape Details
Typical

Legal

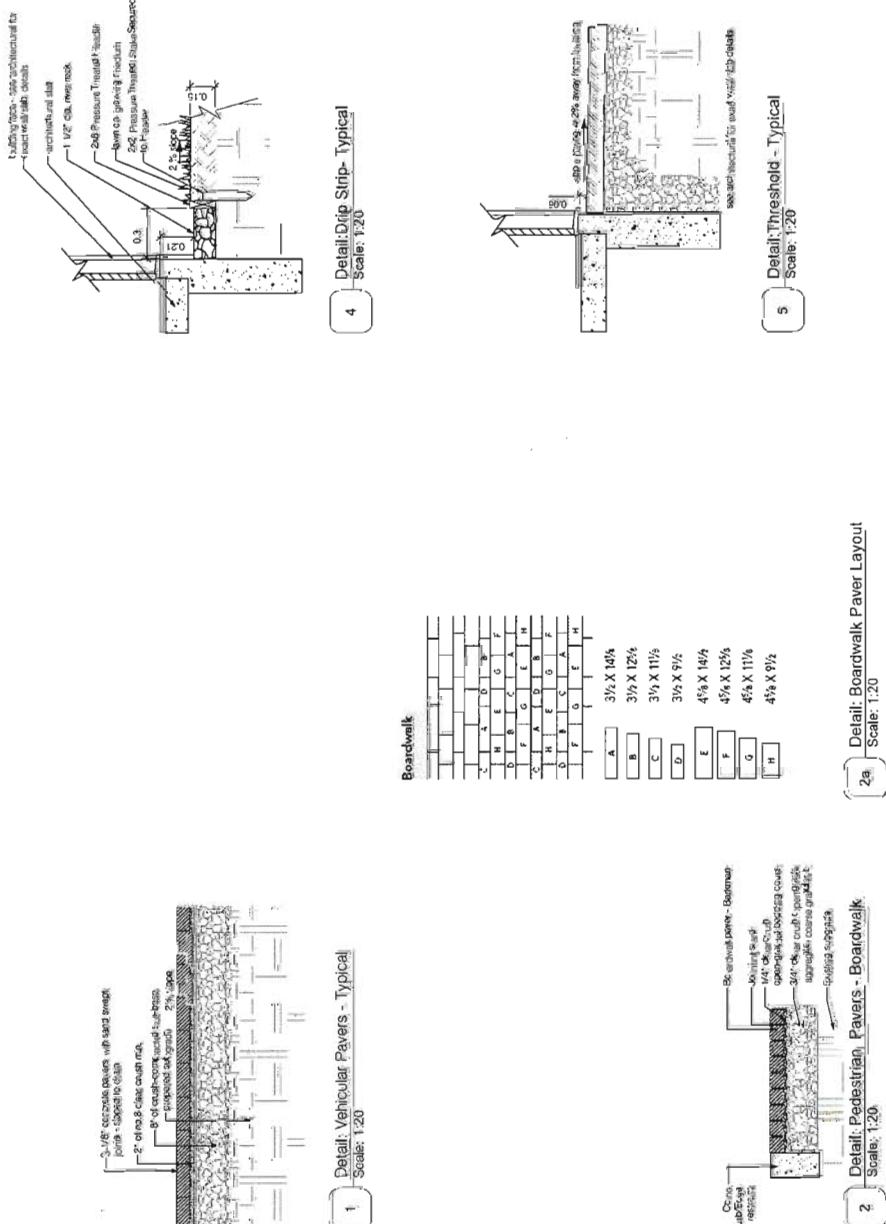
Print/Email	Printed
DT	2/13/15
Done By	as noted
DT/C/F	
Reviewed By	
DT	
Rev	
08/21/2013	L3f
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	10

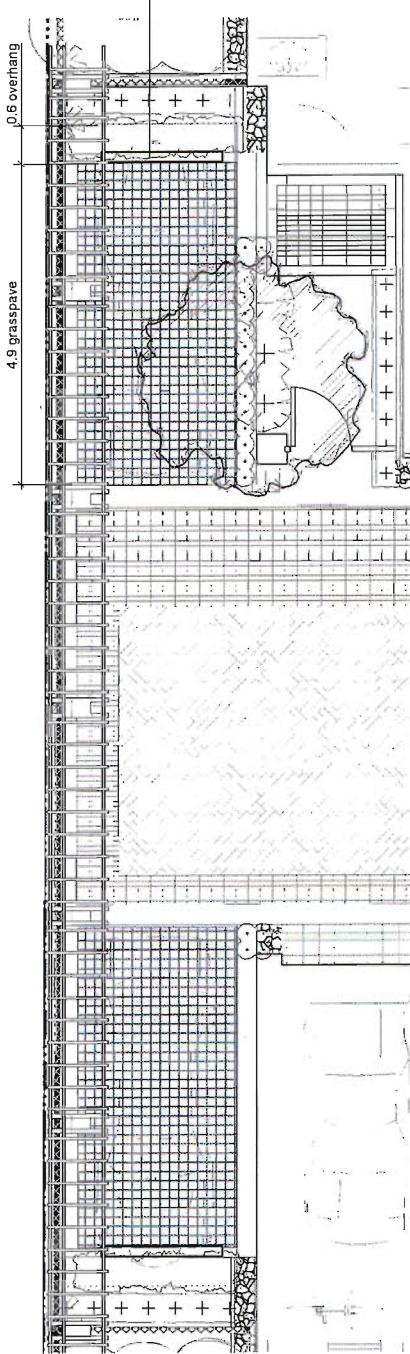
Plan Date:
2/13/15
2/05/Amherst Lane, Richmond.

FEB 17 2015

DP 13-644888 PLAN# 3F

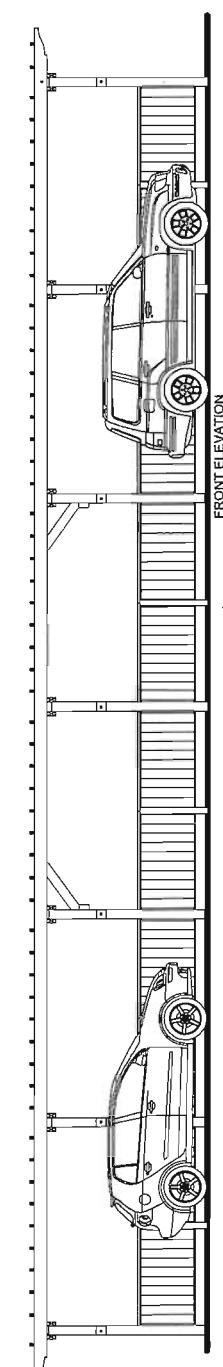
Product Images



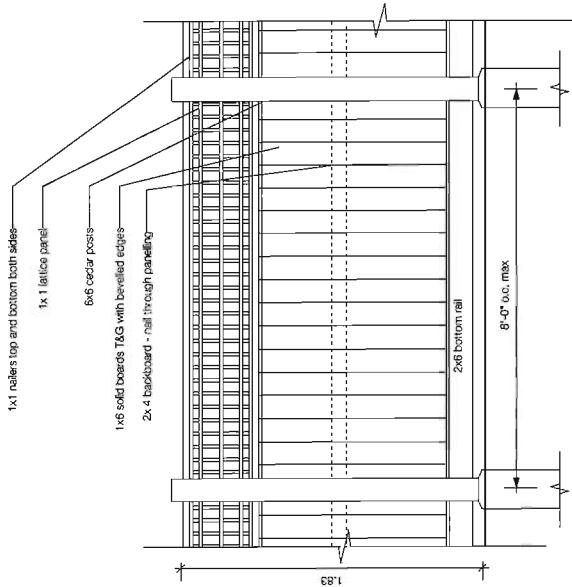


Notes for details:

- All fasteners and hardware to be hot dipped galvanized and/or painted black.
- All metal components to be primed and painted black.
- All walls to be continuous and 1/2" thick.
- All metal fences for locations where step in grade is greater than 1/4" are to be designed as guardrails.
- All paneling, panels and rails to be select light knot, appearance grade.
- All wood to be left natural.
- All wood fencing to be select light grain cedar.
- All posts to be set in concrete with tops of concrete sloped for positive drainage.
- All timber cribbing to be pressure treated HEM/FIR.
- Provide shop drawings to landscape architect for review and approval prior to execution.



1 Detail Elevation: Trellis at Parking
Scale: 1:50

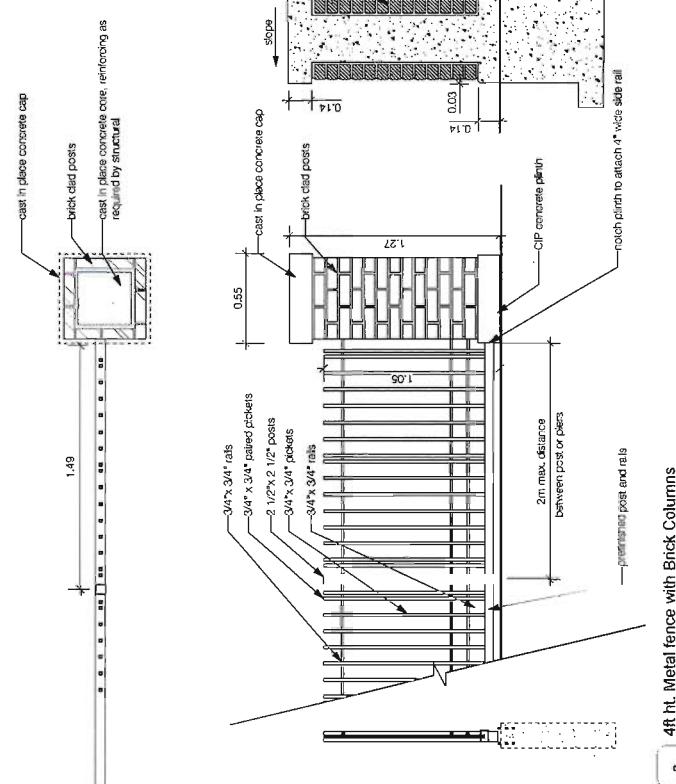


Professional Site

Revision No.	Date	Revision Notes
1	5/29/14	Revised per City of Richmond comments

eta Landscape architecture

2 3.5' back of play area, site yards and arbour and 6ft ht. wooden fence at side and rear yards.
Scale: 1:20



3 4ft ht. Metal fence with Brick Columns
Scale: 1:20

Issue No.	Date	Issue Notes
A	8/28/13	Issued for DP
B	11/25/13	Released for CP
C	3/21/14	Released for CP
D	5/29/14	Issued for review
E	5/30/14	REISSUED FOR REZONING AND CP
F	10/17/14	Issued for ACP
G	11/4/15	Released for DP
H	2/10/15	Released for CP - info req'd comments
I	2/18/15	Released for CP

Project

Amherst Lane

8600 #2 Road
Richmond, BC

Drawing Title

Details
Brick Piers, Sign Wall and Fences

Legal

Project Name	Revised By	Reviewed By	Owner	Comments
Amherst Lane	DT	DT/CF	DT	L3g

FEB 17 2015
DP 15-644888 Plan #34

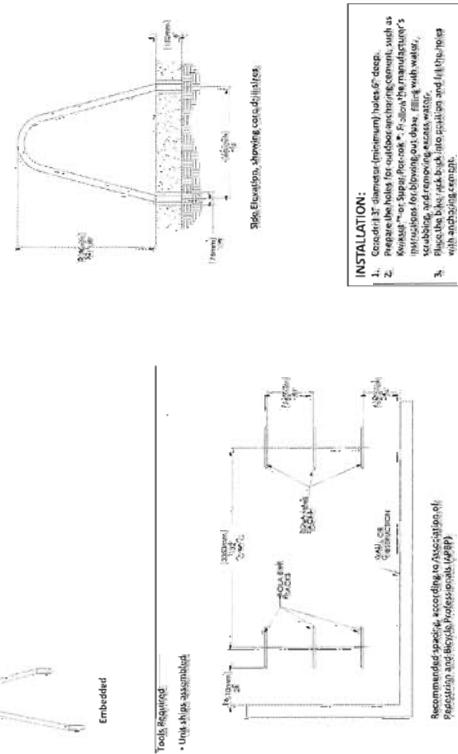
Print Date:
2/18/15
2133 Amherst Lane - Metrolinx work

Revision No.	Date	Review Notes
1	5/26/14	Reviewed per City of Richmond commitments

Bola® Bike Rack

Installation Guide

HANDLE WITH CARE! Bol's flight caps, scuffed by contact with rough concrete, or other abrasive surfaces. Protect the flight from damage during installation. Use touch-up paints to repair any powder coat finish abrasions.



Date: April 2010
Page 1 of 1

1 Bike Rack - Landscape Forms Bola



Issue No.	Date	Issue Notes
A	8/26/13	Issued for DP
B	1/17/13	Revised for DP
C	3/21/14	Revised for DP
D	5/26/14	Issued for review.
E	5/26/14	REISSUE FOR ZONING AND DP
F	10/17/14	Issued for ALBP.
G	1/14/15	Revised for DP with prior comments.
H	2/19/15	Revised for DP with prior comments.
I	2/18/15	Revised for DP.

Professional Seal

eta incisive architecture

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Project

Amherst Lane

8600 No 2 Road
Richmond, BC

Drawing Title

Details

Site Furnishings

Project Manager	1 hours
DT	21338
Drawn By	244
DT/GF	as noted
Reviewed By	DT
Code	L3h
08/21/2013	—
Print Date:	10

Legal

2/19/15 Amherst Ln

DP 13-644888

FEB 17 2015

Plan #34

Revision No.	Date	Revision Notes
1	5/20/14	Released per City of Richmond Comments

Issue No.	Date	Issue Notes
A	8/26/13	Issued for CP
B	11/25/13	Re-issued for CP
C	3/21/14	Released for CP
D	5/29/14	Released for review
E	5/29/14	REISSUED FOR RIZZONING AND CP
F	10/7/14	Issued for ADP
G	11/4/15	Re-issued for CP with pic-0
H	2/10/15	re-issued for CP with pic-0
I	2/18/15	re-issued for CP

Professional Seal

eta landscape architecture

1690 West 2nd Avenue
Vancouver - BC • Canada • V6J 1H4
T 604.685.1450
F 604.685.4450
w www.etal.ca

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Project

Amherst Lane

8600 No 2 Road
Richmond, BC

Drawing Title

Site Permeability

Plan

OVERALL SITE AREA: 1981.9 sqm

HARD LANDSCAPE - 49.25% (976.28 sqm)

includes building footprints, patios, concrete entry paths, top of walls, top of fence and entry posts, monuments, and concrete walking surface around parking stalls.
total area= 972.34sqm
total area plastic grid in grasspave= 3.94sqm
total hard landscape= 976.28sqm

PERMEABLE SURFACE - 25.31% (501.74 sqm)

includes permeable paving, gravel surfaces, fiber, and sand

SOFT LANDSCAPE - 25.44% (504.33 sqm)

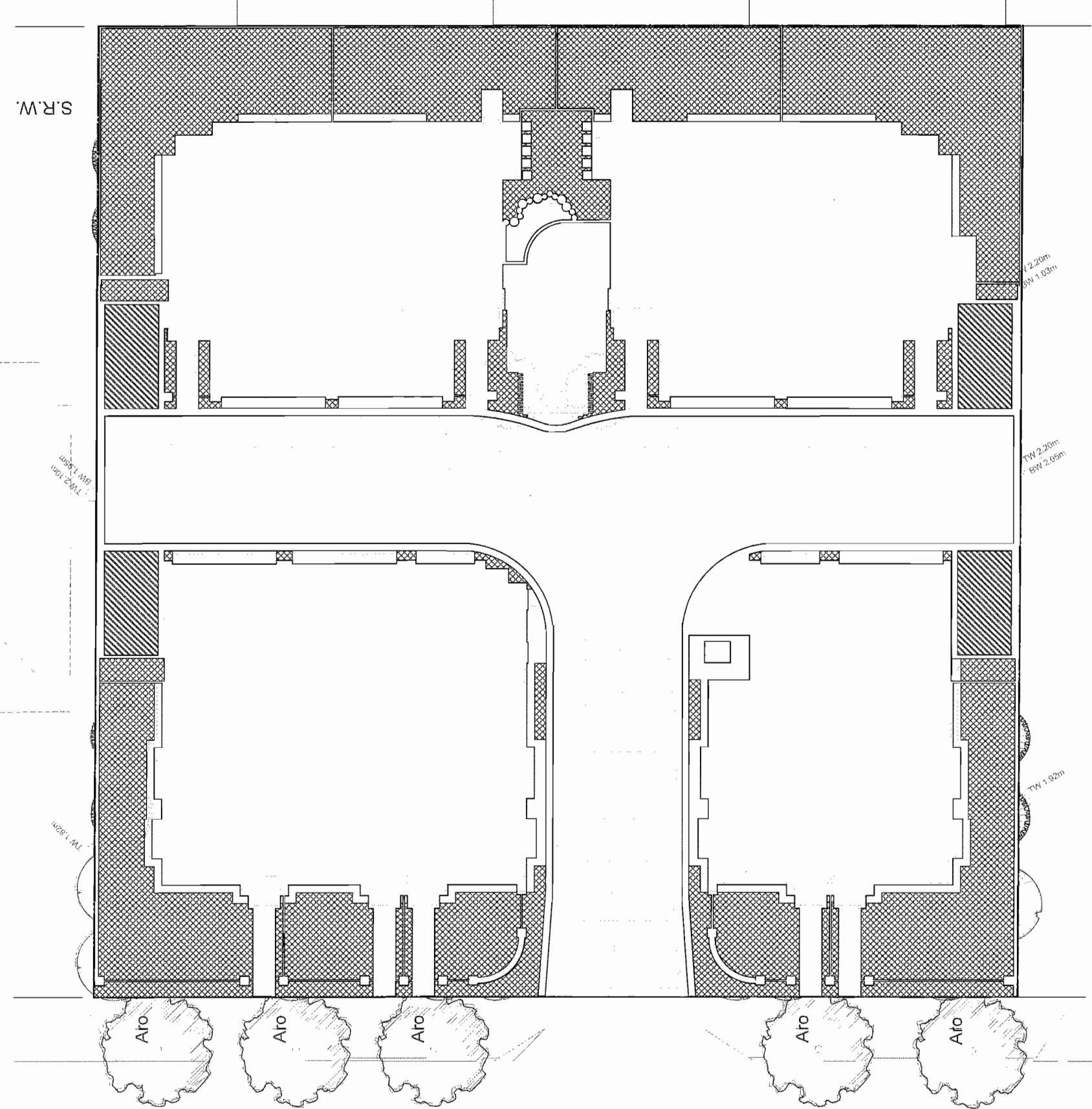
includes trees, shrubs, perennials, groundcover and lawn
total area= 458.99 sqm

grass pave parking stalls
total area= 49.28sqm
total area plastic grid= 3.94 sqm² (included in Hard Landscape above)
total area grass= 45.34sqm

Print Manager	Printed	Drawn By	Drawn On	Scale	Reviewed By	Reviewed On	Approved By	Approved On
L3j	10		08/21/2013	1:100				

Print Date:
2/18/15
2/13/15 Amherst Lane_Moderator

DP 13-644888 Plan #31
FEB 17 2015



Revision No. 1 Date 5/23/14 Revision Notes Issued per City of Richmond comments

LIGHTING SCHEDULE

1	S/W	WALL MOUNTED FIXTURE- Hadco RSCZ Aluminum Stepyle	
2	○	FREE STANDING ILLUMINATED BOLLARD - Hadco Aluminum bollard (RF6) Black	
3	Upi	INGROUND ACCENT UPLIGHT - Hadco Edule (BW4) Black	
4	Dl.	DOWNLIGHT / SPOTS - Hadco Bullyte (BL5016) Black	

Professional Steel

eta Influence architecture

Issue No. Date 8/26/13
A 8/26/13 Issued for DP
B 11/25/13 Released for DP
C 3/12/14 Released for review
D 5/26/14 REISSUED FOR REZONING AND
DP
E 5/30/14 REISSUED FOR REZONING AND
DP
F 10/17/14 Issued for ADP
G 11/4/15 Issued for DP with prior-to
comments
H 2/10/15 Issued for DP with prior-to
comments
I 2/18/15 Issued for CP

Project Amherst Lane

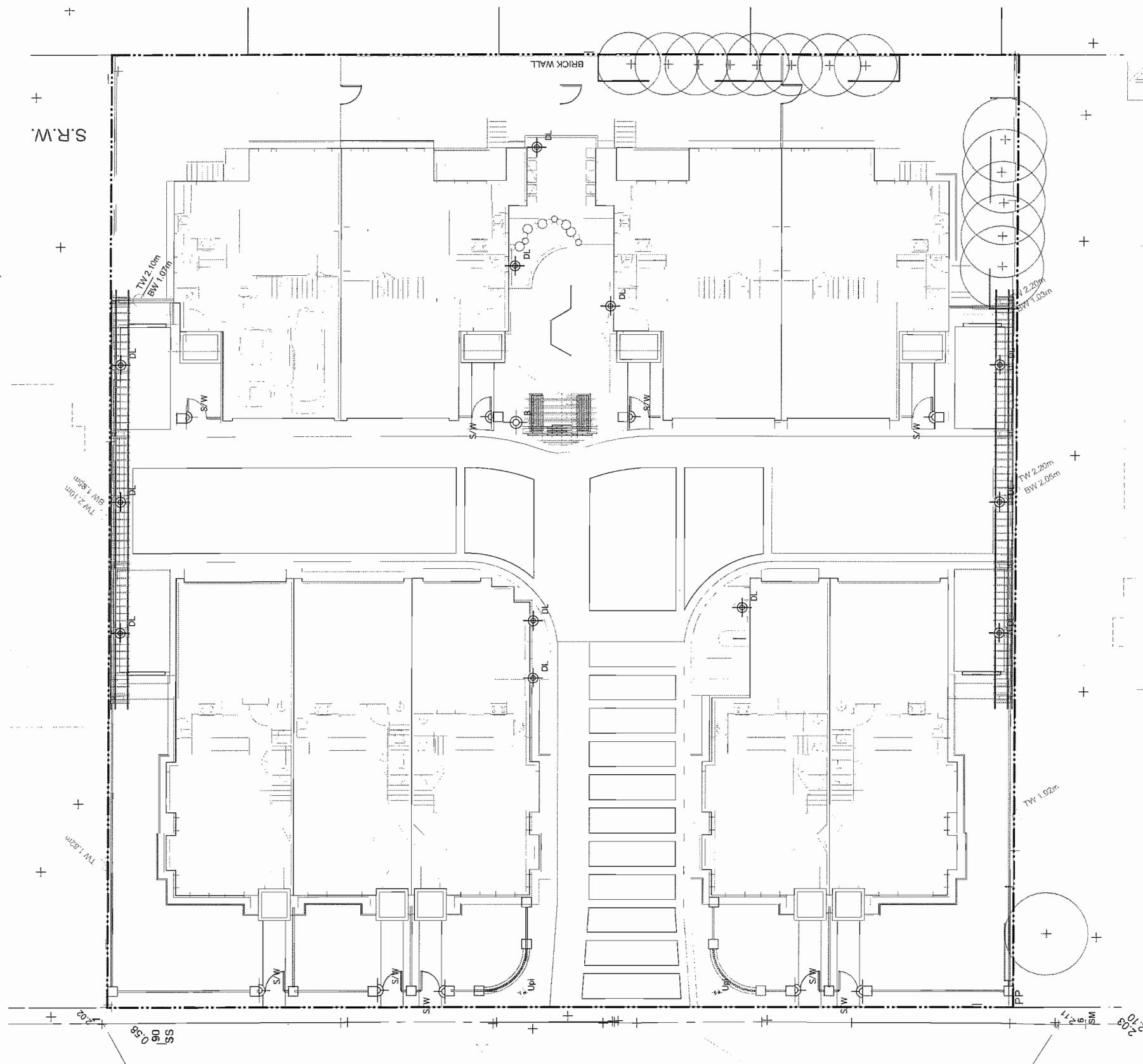
8600 No 2 Road
Richmond, BC

Drawing Title
Lighting Plan

Project Manager	Project ID
DT	2/338
Drawn By	Date
DT	1/100
Reviewed By	Drawing No.
DT	L3j
Approved By	—
DT	—
Drawn On	10
Print Date:	
	2/18/15
	2/18/15

2/18/15 Amherst Lane, Metro/WWK

DP 13-644888 PLAN #3J FEB 17 2015



NO. 2 ROAD

FEB 17 2015

DP 13-644888 Plan #3K

Plan Date:

21/02/15

21/02/15 Amherst Lane, Newmarket.

Project Name:	Project ID:
City:	21/02/15
Owner:	L3K
Architect:	—
Surveyor:	—
Date:	08/02/2013
Scale:	10

Issue No:

5/2014

Revision Notes:

Received by City of Brampton
customer

Date:

5/2014

Revised by DP:

11/25/13

Released for DP:

2/21/14

Released for OP:

5/20/14

Issued for Survey:

5/20/14

REASSUED FOR REZONING AND
OP:

5/20/14

Issued for ADP:

10/17/14

Revised for DP:

1/14/15

Issued for DP with particular
comments:

2/10/15

Revised for OP:

2/10/15

Chamfer Tie
Images

Project
Amherst Lane

8600 No 2 Road
Richmond, BC

Professional Staff

1000 Victoria Avenue
Vancouver - BC - Canada V6S 1H6

T: 604 681 4159
F: 604 681 4150
E: info@etadesign.ca
W: www.etadesign.ca

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eta
DESIGN ARCHITECTURE

Sarcococca ruscifolia



Sambucus nigra black lace



Fastigiate Buxus



Hydrangea anomala petiolaris



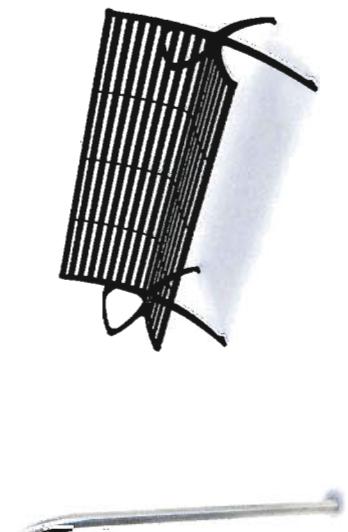
Viburnum burkwoodii



Permeable paving in children's area



Permeable paving in children's area



Bench



Brick pier and metal fencing



play area

Purple Leaf Grape



Buxus Hedging



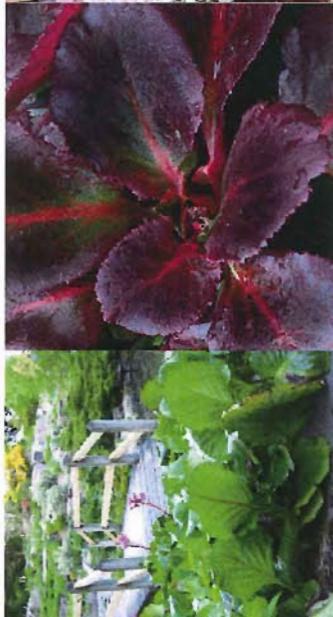
Rosa Royal City



Pachysandra terminalis



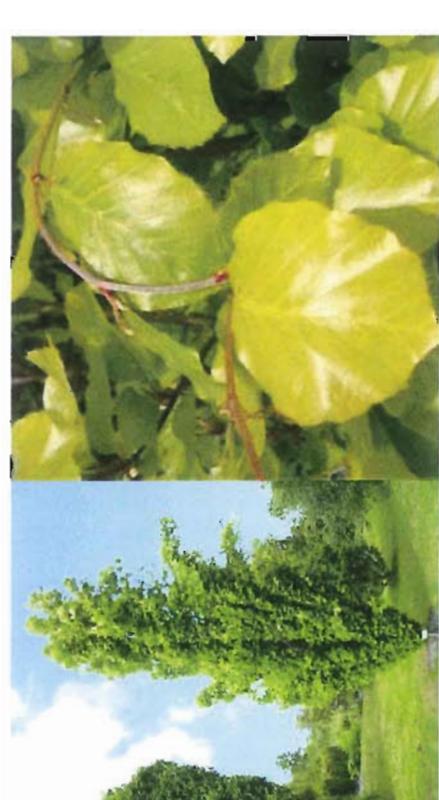
Bergenia and with winter colour



Magnolia Galaxy



Acer palmatum Trompenburg



Fagus sylvatica Dawyck Gold

DP 15-644888 PLAN #4

ELEVATIONS

FEB 17 2015

DP 13-644888

FEBRUARY 11, 2015



BUILDING 1
SCALE 1/8" = 1'-0"
0' 5' 15' 25'



AMHERST LANE
8600 N° 2 ROAD

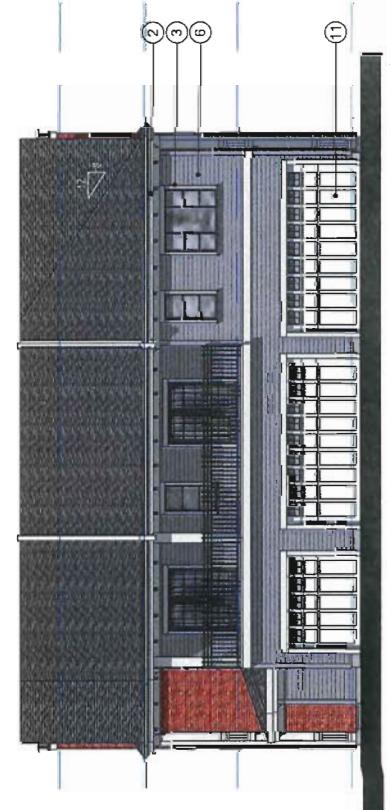
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EXTERIOR FINISHES SCHEDULE	
1. ASPHALT SHINGLES	100 - Asphalt Shingles - Charcoal Gray
2. WOOD FASCIA	SHERWIN WILLIAMS - SW 7050 Used Gray
3. WOOD TRIM	SHERWIN WILLIAMS - SW 7050 Used Gray
4. WOOD DETAILS	SHERWIN WILLIAMS - SW 7141 Nature
5. WOOD FRACKET	SHERWIN WILLIAMS - SW 7050 Used Gray
6. HORIZONTAL LAP SIDING	JAMES HARDIE - Hardiplank-BJ134-50 - Gulf Wing Gray
7. HARO PANEL	JAMES HARDIE - Hardiplank-BJ134-50 - Arctic White
8. BRICK	MUTUAL METAL - Handmade Columbia Red sand
9. TIN WINGDOOR	SHERWIN WILLIAMS - SW 7050 Used Gray
10. SOFT CLOSING EXTENSION DOOR	SHERWIN WILLIAMS - SW 7050 Used Gray
11. GARAGE DOOR	SHERWIN WILLIAMS - SW 7050 Used Gray
12. RAILING	BIRK
13. GUTTERS AND DOWNSPOUT	GENTER - White
14. METAL ORNAMENT OVER VENT	BIRK
15. WINDOW SILL OVER BRICK	PREFAB CONCRETE
16. WINDOW LINTER OVER BRICK	PREFAB CONCRETE
17. CORNER CONNS	PREFAB CONCRETE
18. PABBE DIVIDER	GENTER - White
19. VINT. SOFFIT	White
20. ELECTRICAL ROOM	SHERWIN WILLIAMS - SW 7050 Used Gray

WEST ELEVATION



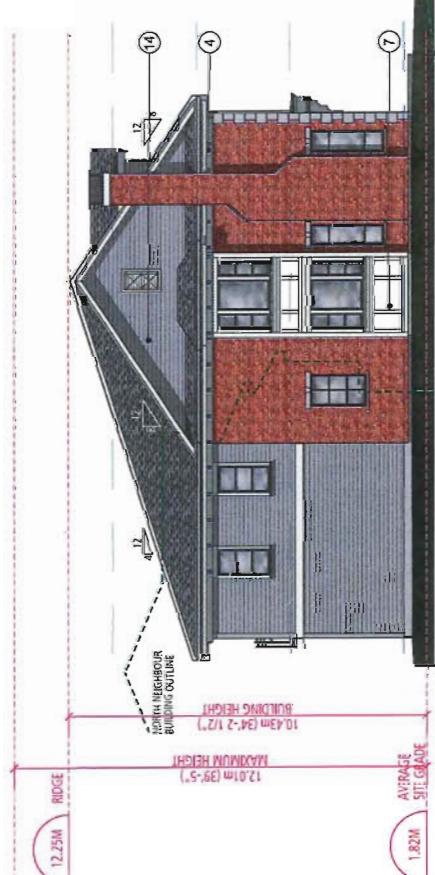
EAST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION



FEB 17 2015

DP 13-644888 ELEVATIONS



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Vancouver, BC V5J 4L6

DP 13-644888 PLAN#05

BUILDING 2

SCALE 1/8" = 1'-0"



EXTERIOR FINISHES SCHEDULE	
1	ASPHALT SHINGLES
2	WOOD TRIM
3	WOOD DENTILS
4	WOOD BRACKETS
5	WOOD ACAL OR SIDINGS
6	HARDSPANEL
7	BRICK
8	VINYL WINDOWS
9	SOLIDCORE EXTERIOR DOOR
10	GARAGE DOOR
11	RAILING
12	GUTTERS AND DOWNSPOUT
13	METAL CRAYDOWNPIPE
14	WINDOW SILL OVER BRICK
15	PREFAB CONCRETE
16	CONCRETE BLOCK
17	CONCRETE PAVING STONES
18	PARAPET DIVIDER
19	VINYL SOFFIT
20	ELECTRICAL BOXES

REGISTERED ARCHITECT • FUGERE
Vancouver, BC V5J 4L6

DP 13-644888 PLAN#05

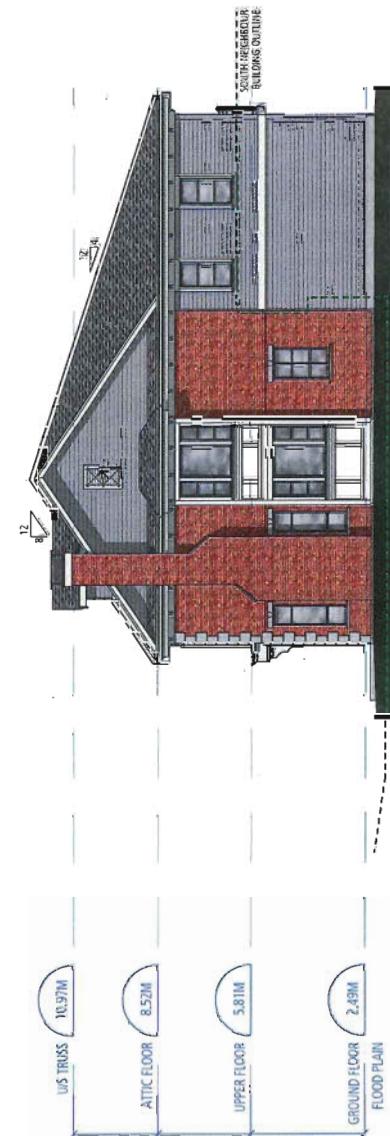
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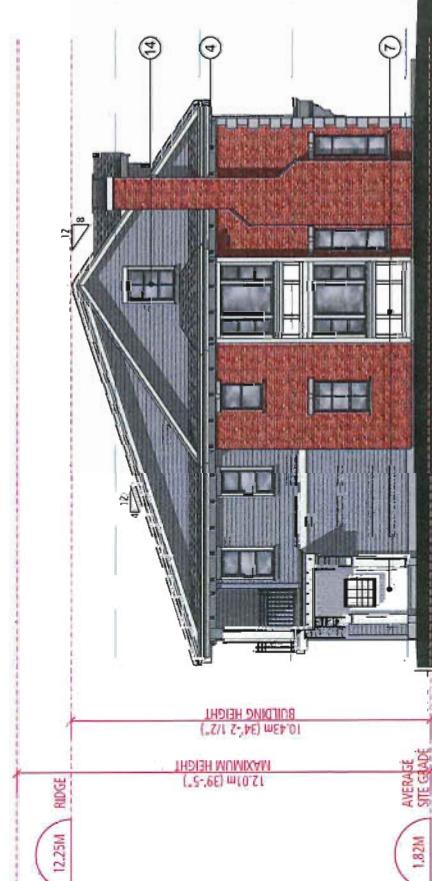
EAST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION



Balandra Developments Inc.

Site 20573 Handlinia, Burnaby, BC V5C 5W2

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Vancouver, BC V5J 4L6

DP 13-644888 PLAN#05

FEB 17 2015
DP 13-644888 PLAN#06
ELEVATIONS



REGISTERED ARCHITECT
FEBRUARY 11, 2015

DP 13-644888

FEBRUARY 11, 2015

BUILDING 3
SCALE 1/8" = 1'-0"
0' 5' 15' 25'

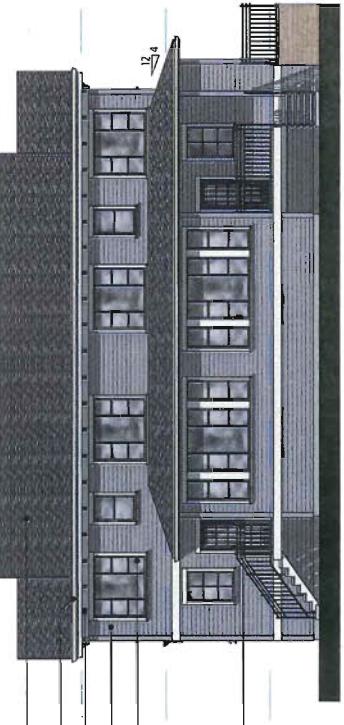


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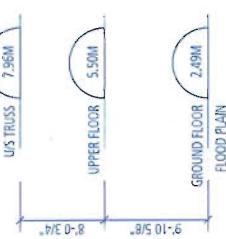
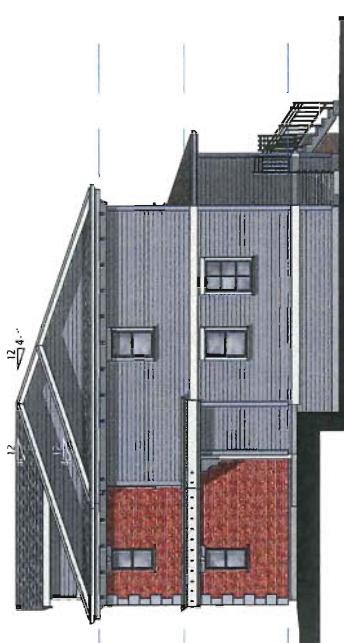
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EXTERIOR FINISHES SCHEDULE	
1	ASPHALT SHINGLES
2	WOOD FASCIA
3	SHERWIN WILLIAMS - SW705 Used Gray
4	WOOD TRIM
5	SHERWIN WILLIAMS - SW704 Nuance Gray
6	WOOD BRICKET
7	SHERWIN WILLIAMS - SW705 Used Gray
8	HORIZONTAL LAP SIDING
9	JAMES HARDIE - HardiePlank® 5273-56 - Bull Witch Gray
10	HAZEL HARVEY - Hazelwood Paintings - Arctic White
11	MINTUAKE EPOXY - Commercial Red Used
12	VANITY WINDOWS
13	SHERWIN WILLIAMS - SW702 Black Fox
14	GARAGE DOOR
15	SHERWIN WILLIAMS - SW705 Used Gray
16	BLACK
17	RAILINGS
18	SHERWIN WILLIAMS - SW704 Nuance
19	GUTTERS AND DOWNSPOUT
20	GENTEK - White
21	METAL GRANITE OVER VENT
22	WINDOW SILL OVER BRICK
23	PREFAB CONCRETE
24	PREFAB CONCRETE
25	TOE KICK - White
26	VANITY SIGHT BORDER
27	WALL SIGHT BORDER
28	ELECTRICAL ROOM
29	SHERWIN WILLIAMS - SW705 Used Gray

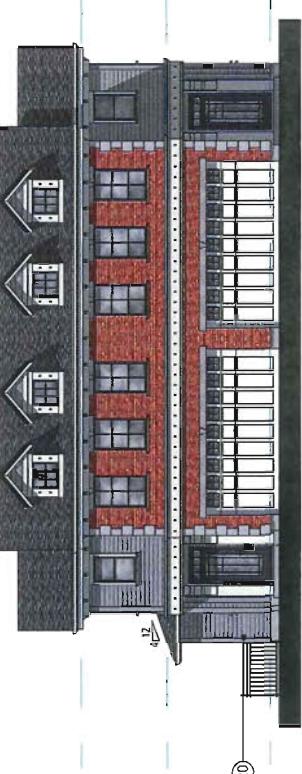
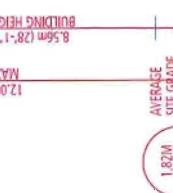
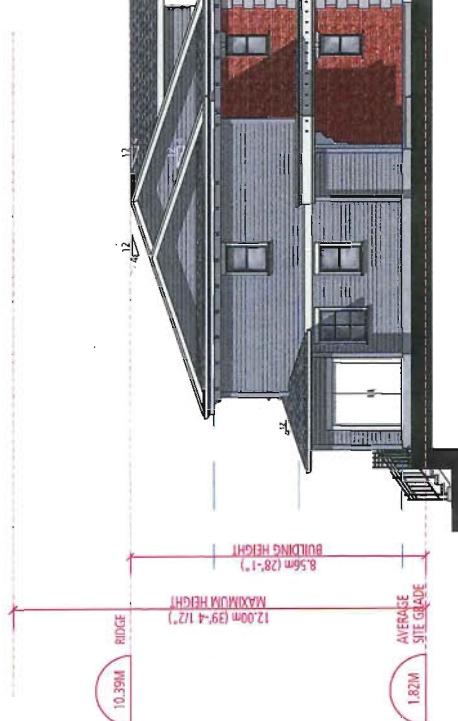
EAST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION



WEST ELEVATION

BAJANDRA
Bajandra Developments Inc.
#6-36579 Hazelton St., Burnaby, BC V5C 5M9

BUILDING 3

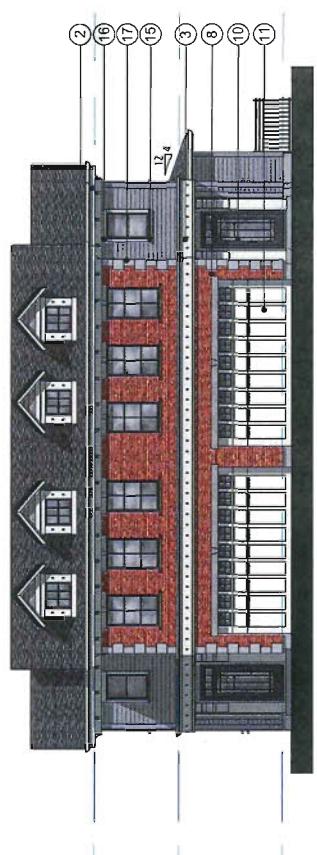
SCALE 1/8" = 1'-0"

0' 5' 15' 25'

ELEVATIONS DP 13-644888 PLAN #4C
FEB 17 2015

EXTERIOR FINISHES SCHEDULE	
1	ASPHALT SHINGLES - Charcoal Grey
2	KO - Asphalt shingles - Charcoal Grey
3	WOOD FASCIA
4	SHERWIN WILLIAMS - SW 7650 Used Gray
5	WOOD VENTILIS
6	SHERWIN WILLIAMS - SW 7429 Nuance
7	WOOD TRACER
8	SHERWIN WILLIAMS - SW 7429 Nuance
9	HORIZONTAL LAP SIDING
10	ALUMINUM SIDING
11	ALUMINUM SIDING
12	BRICK PANEL
13	VINYL WINDOWS
14	MUTUAL METAL - Columbia Red Seed
15	BRICK
16	SHERWIN WILLIAMS - SW 7620 Black Fox
17	SHERWIN WILLIAMS - SW 7650 Used Gray
18	BRICK
19	RAILING
20	SHERWIN WILLIAMS - SW 7649 Nuance
21	BRICK
22	GUTTERS AND DOWNSPOUT
23	GENTEK - White
24	METAL DRAINAGE OVERVENT
25	BRICK
26	WINDOR SILL OVER BRICK
27	PREFAB CONCRETE
28	CONCRETE OVER BRICK
29	PRECAST CONCRETE
30	CONCRETE
31	GENTEK - White
32	BRASS
33	WHITE
34	VINYL SOFFIT
35	SHERWIN WILLIAMS - SW 7650 Used Gray
36	ELECTRICAL ROOM

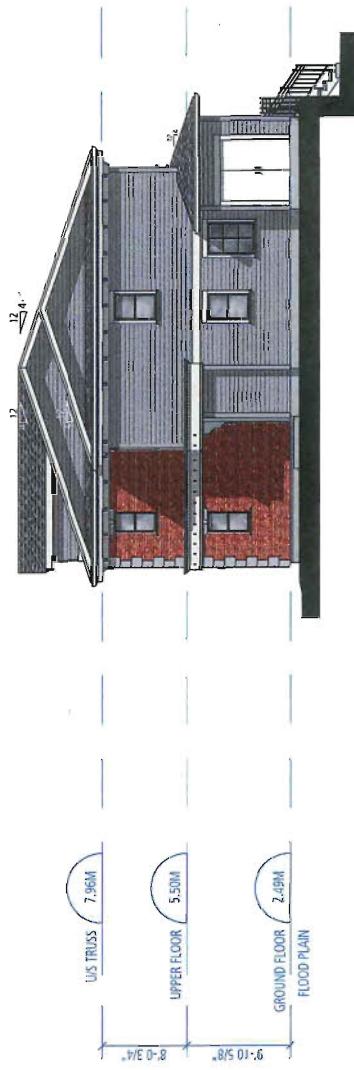
WEST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



AMHERST LANE

AMHERST LANE
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BUILDING 4
SCALE 1/8" = 1'-0"
0' 5' 15' 25'

DP 13-644888
FEBRUARY 11, 2015
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PLAN#09

DP 13-644888 PLANS #4D

FEB 17 2015



DP 13-644888
FEBRUARY 11, 2015

SITE SECTIONS

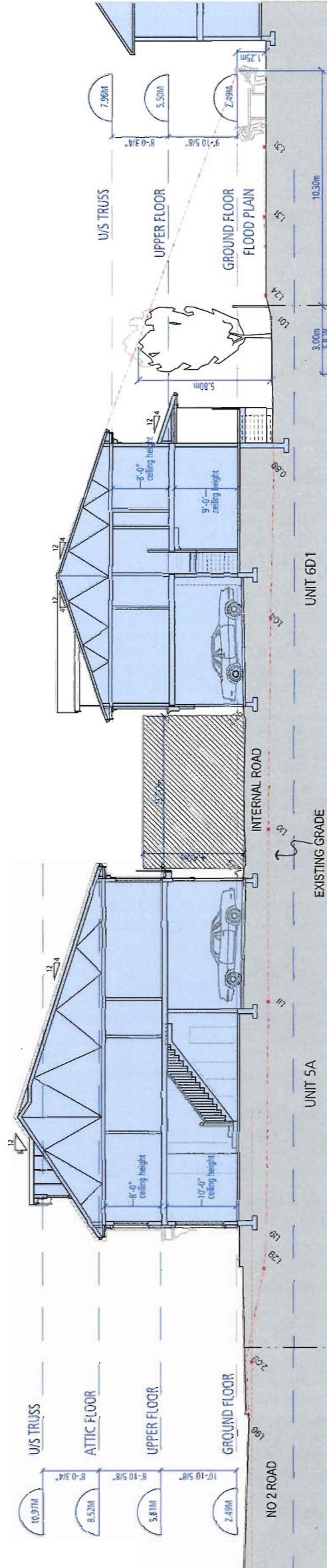
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SECTION B

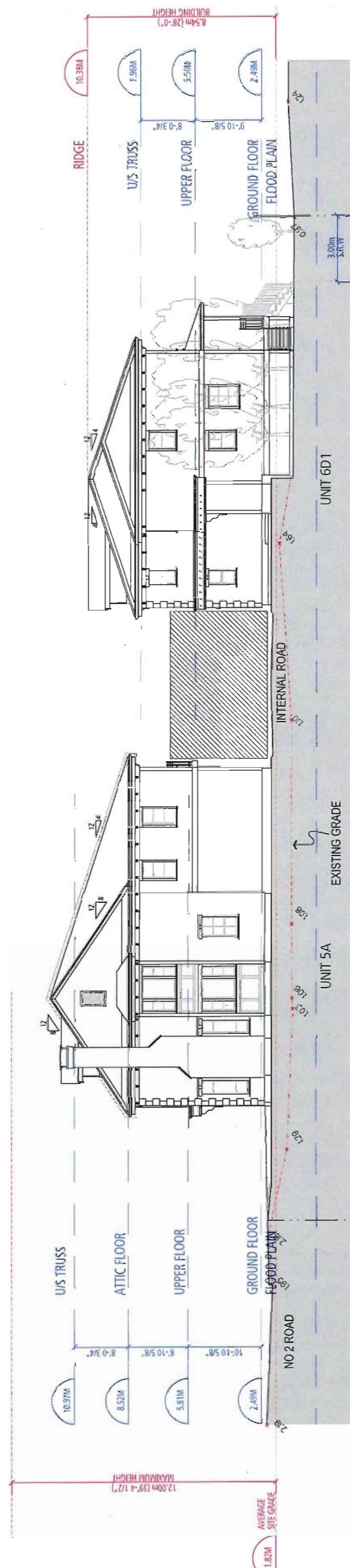
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SECTION A

Balandra Developments Inc.
Box 26290 Burnaby, BC, V3N 3W4



DP 13-644888 Plan#4E

FEB 17 2015

PLAN#10



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604.823.2307
292-2425 Quebec Street
Vancouver, BC
V5J 4L5
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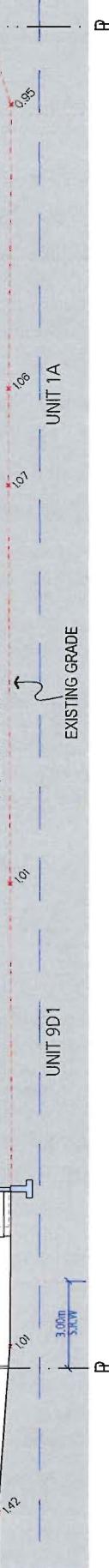
DP 13-644888
FEBRUARY 11, 2015

SCALE 1/8" = 1'-0"
0' 5' 15' 25'

SITE SECTIONS

1

SECTION D

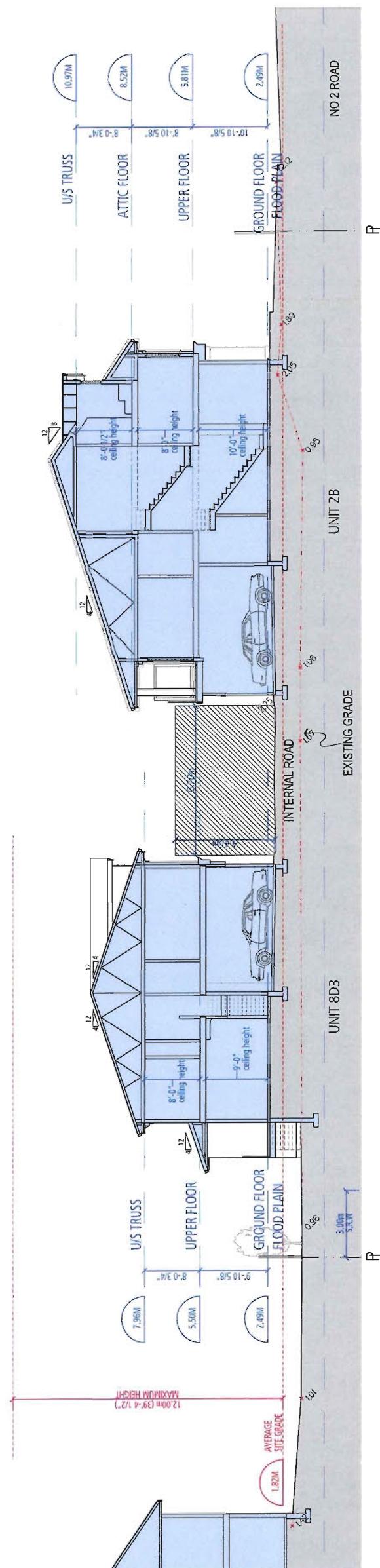


Balandra Developments Inc.
Box 26290 Mississauga, BC V7X 5J2

AMHERST LANE
8-00 NO 2 ROAD

U/S TRUSS 10.9M
ATTIC FLOOR 8.52M
UPPER FLOOR 5.81M
GROUND FLOOR 2.49M
FLOOD PLAIN 1.85M

SECTION C



DP 13-644888 FEB 17 2015 PLAN #4F

DP 13-644888
FEBRUARY 11, 2015

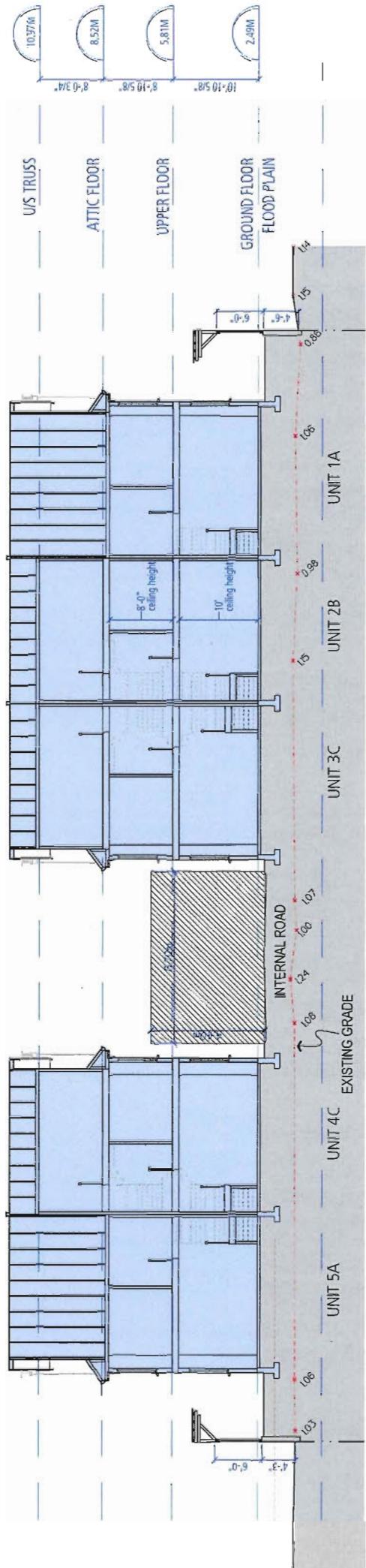


SITE SECTIONS
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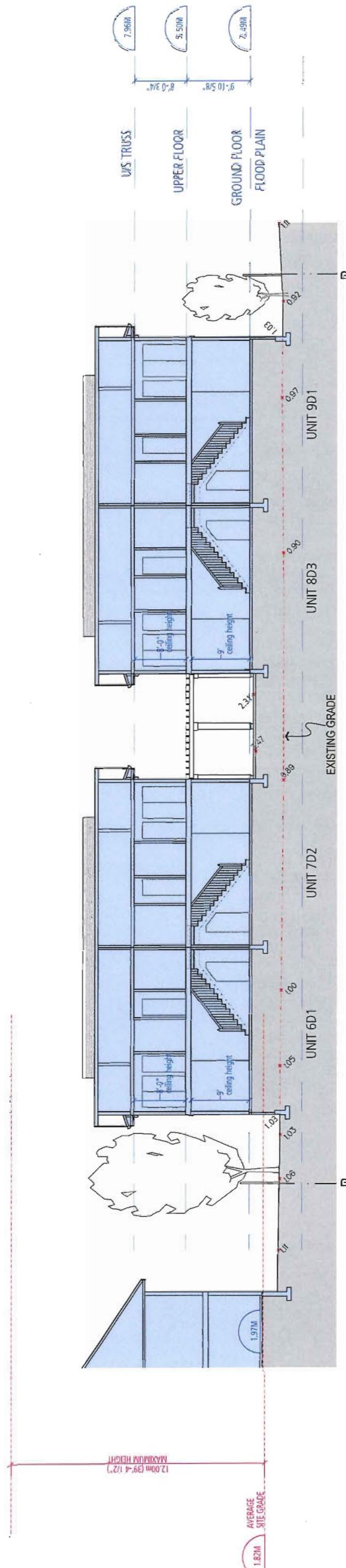


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SECTION E



DP 13-644888 PLAN #4G

FEB 17 2015



FOUGERE
architecture inc.
BRITISH COLUMBIA, ALBERTA, WASHINGTON
202-2425 Quebec Street
Vancouver, BC V5I 4G6
fougerrearchitecture.ca

DP 13-644888

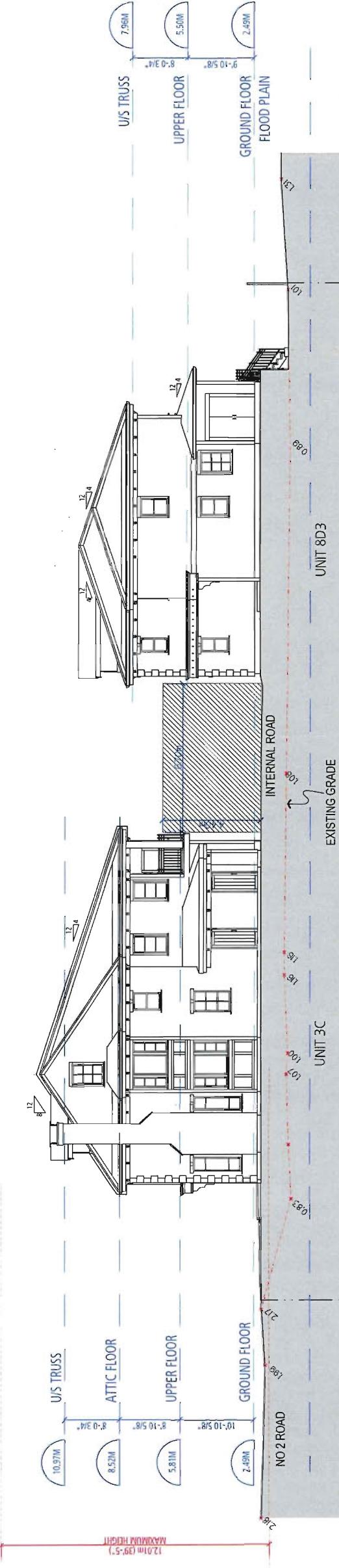
FEBRUARY 11, 2015

SITE SECTION S
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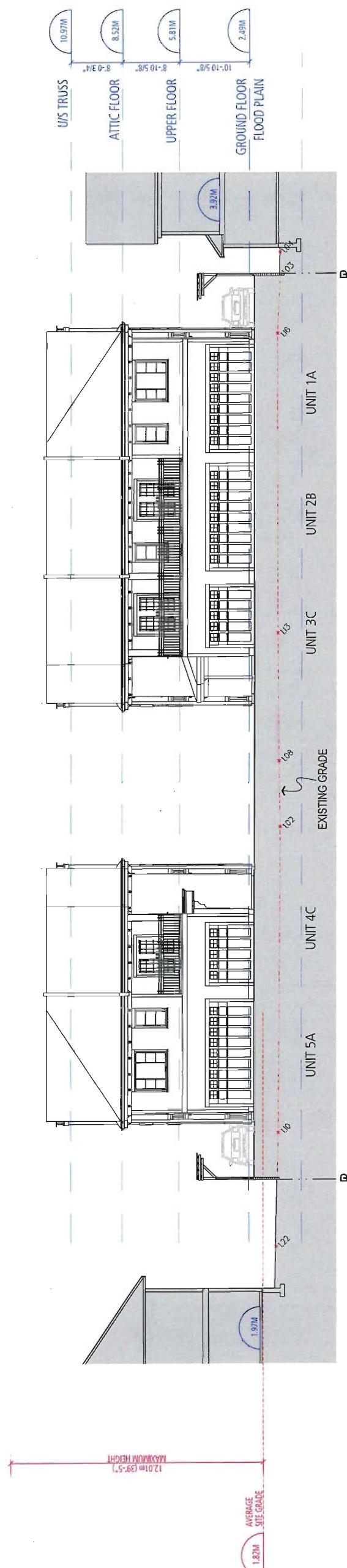


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SECTION G



SECTION H

PLAN#13

FEB 17 2015
DP 13-644888
REAR PROPERTY LINE YARDSCAPE



DP 13-644888

FEBRUARY 11, 2015

Vancouver, BC V5T 4L6

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STREETSCAPES

SCALE 1/16" = 1'-0"

0' 5' 10' 20'

AMHERST LANE
8600 № 2 ROAD

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NO. 2 ROAD STREETSCAPE



DP 13-644888
ATTIC FLOOR
REFERENCE PLAN
0 2' 5' 10'

UNIT 9D3
FLOOR PLANS
(CONVERTIBLE UNIT)

SCALE 1/4" = 1'-0"

DP 13-644888

FEBRUARY 11, 2015

FLOOR AREA CALCULATION

GROUND FLOOR	972 sf
UPPER FLOOR	907 sf
ATTIC FLOOR	0 sf
GROSS	1,879 sf
less garage	343 sf
less covered area	20 sf
SUBTOTAL	1,516 sf
less entry / stair	108 sf
less upper stair	56 sf
less attic stair	0 sf
TOTAL NET	1,352 sf

Summary of the Convertible Unit Features Checklist as Submitted

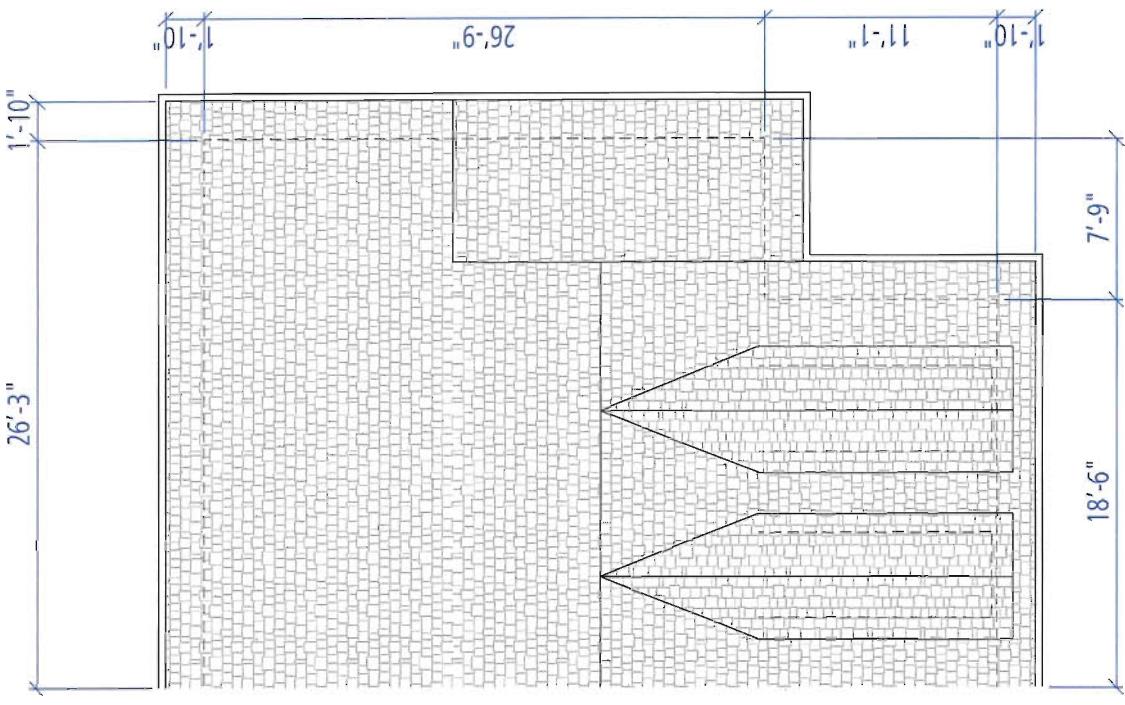
- Entry doors minimum 863 mm clear opening, but ideally 914 mm.
- Entry door clear exterior floor space min. 1220 mm depth by door width plus 600 mm on latch side.
- Interior doors to entry & main living areas, min. 800 mm clear opening.
- Interior doors to entry & main living areas, min. 800 mm clear opening, (28" sliding or 210° swinging door spec.) with flush thresholds max. 13mm height.
- Stair lift (as per manufacturer spec)
- Hallways minimum 900 mm width
- Door from garage to living area minimum 800 mm clear opening.
- Min. clear opening 850 mm clear opening to Patios and Balconies.
- One window that can be opened with a single hand in one bedroom
- One window that can be opened with a single hand in one bedroom
- Wall blocking for future installation of grab-bars (toilet, tub and shower)
- Clear area needed under future work space. Plumbing and gas pipes (in-wall and in-floor) located clear of under counter area of future work space (stove, sink & min. 810 mm wide counter)
- 1500 mm turning diameter or turning path diagram
- One window that can be opened with a single hand in one bedroom

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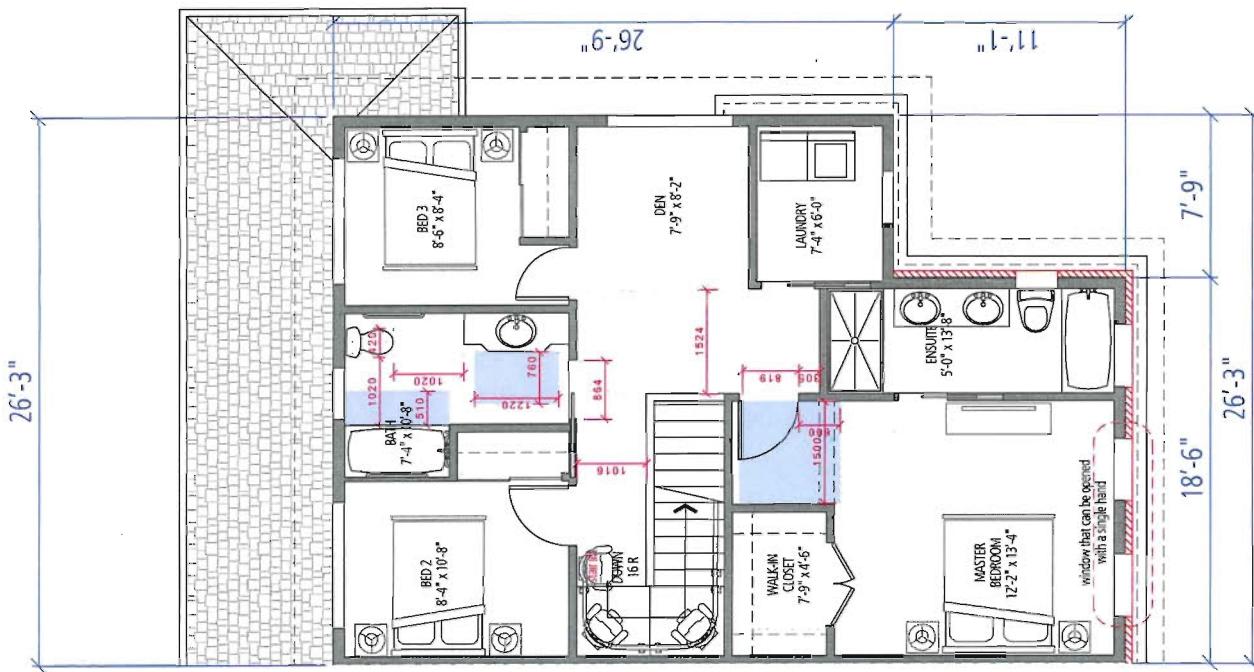
860 N° 2 ROAD
Balandra Developments Inc.
Ref. 2015-09 Balandra, Inc. BC "C" 349



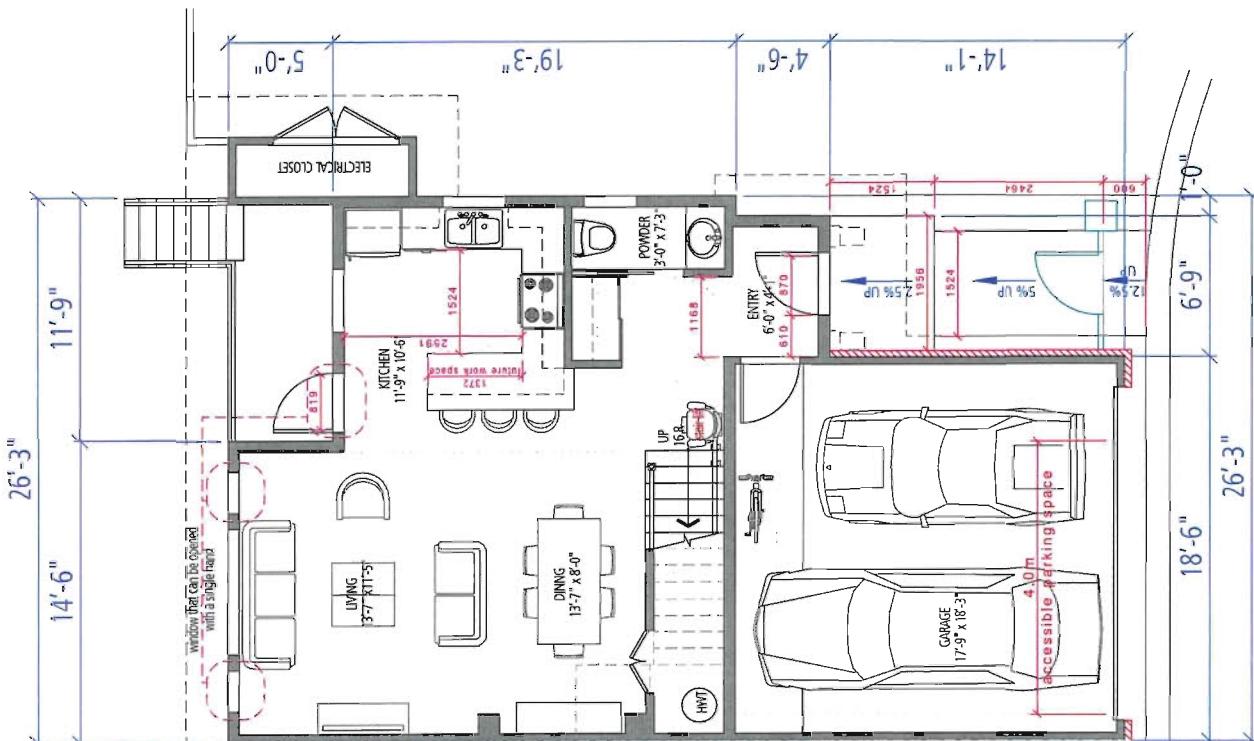
ATTIC FLOOR



UPPER FLOOR



GROUND FLOOR



FEB 17 2015
13-644888

DP

BLOCK PLANSREGISTERED ARCHITECT
FEBRUARY 11, 2015

REGISTRATION NO. 4

FEBRUARY 11, 2015

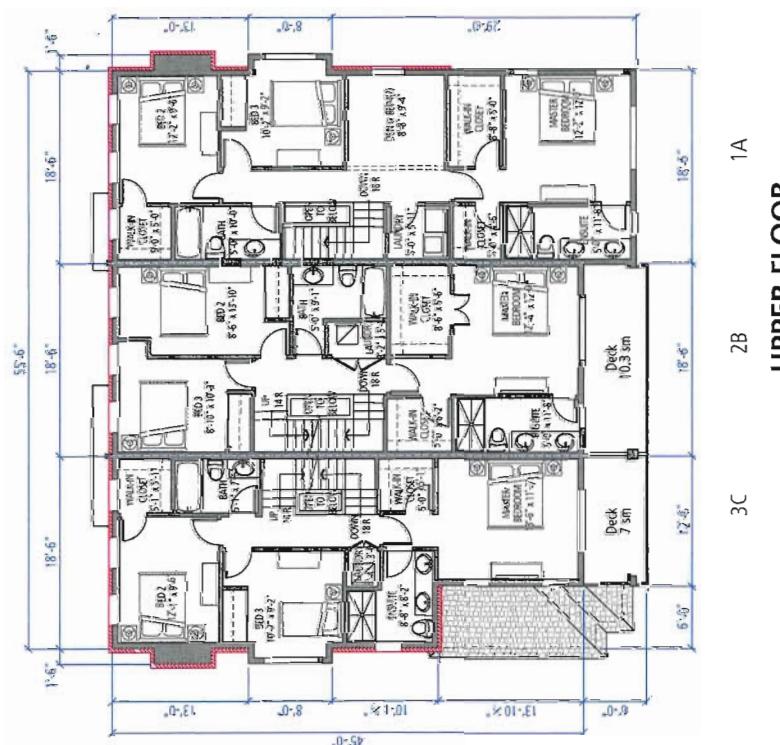
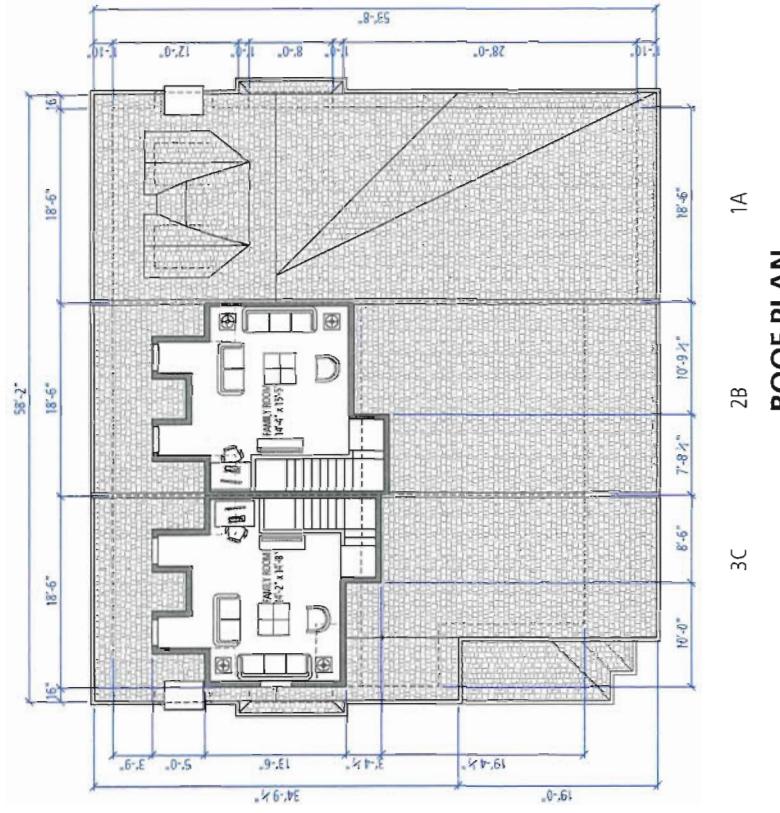
VANCOUVER, BC V5J 4L6

BUILDING 1
SCALE 1/8" = 1'-0"

0' 5' 15' 25'

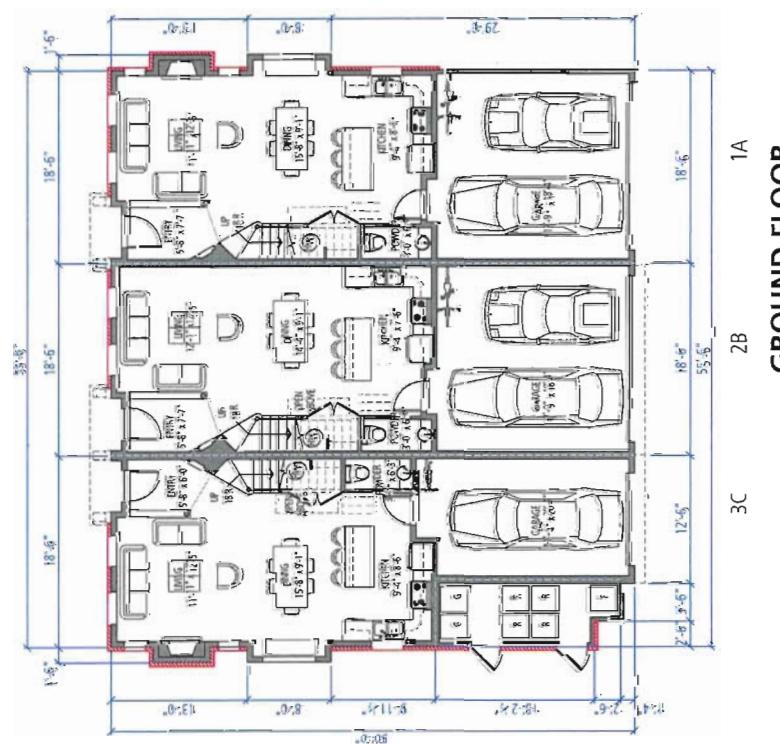
AMHERST LANE
860 NO 2 ROAD

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Building Characteristic Summary:
 - Exterior Walls: Z6 R22 Construction R Value
 (18.71 Effective R Value)
 - Roof/Attic: 4.136 Construction R Value
 (27.46 Effective R Value)
 - Foundations/Below Grade Walls: XPS R12 Below slab
 - Windows: Low E Argon 3 glaze U 2.0
 (27.46 Effective R Value)
 - Space Condition: Electric Baseboard
 - Ventilation: HRV
 - Hot water Heating: Electric DHW
 - Other Energy Impact Features: Power Pipe R3.60 DWHR

PROVISION OF ACCESSIBILITY FEATURES
 "AGING-IN-PLACE" REQUIREMENTS
 ON ALL UNITS:
 - Entry doors minimum 855 mm clear opening
 (3'0" swinging door spec.)
 - Hallways minimum 900 mm width
 - Door from garage to living area minimum 2'-10"
 (swinging door spec.)
 - Blocking to bathrooms for installation of grab-bars
 (toilet, tub and shower)
 - Provision of lever door handles
 - One window that can be opened
 with a single hand in the living room
 - One window that can be opened
 with a single hand in one bedroom



BLOCK PLANS

DP 13-644888



DP 13-644888
FEBRUARY 11, 2015

PLAN#05a

REFERENCE PLAN

PRINTED ON 02/10/2015 - PAGE 07 OF 10

202-2835 Quebec Street
Vancouver, BC V5T 4L6
fougererarchitecture.ca

BUILDING 2
SCALE 1/8" = 1'-0"

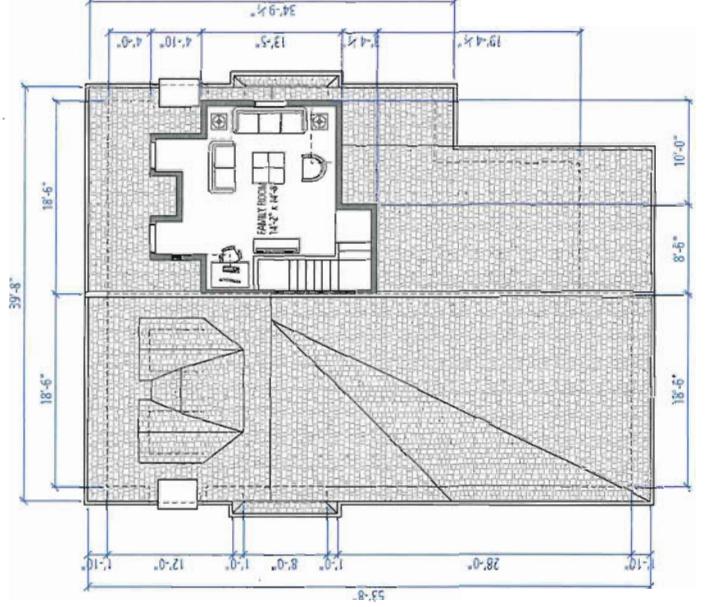
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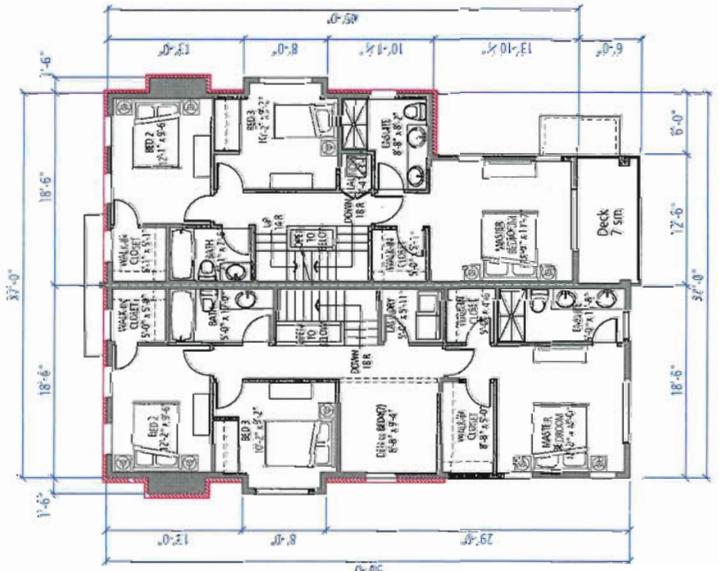
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ROOF PLAN



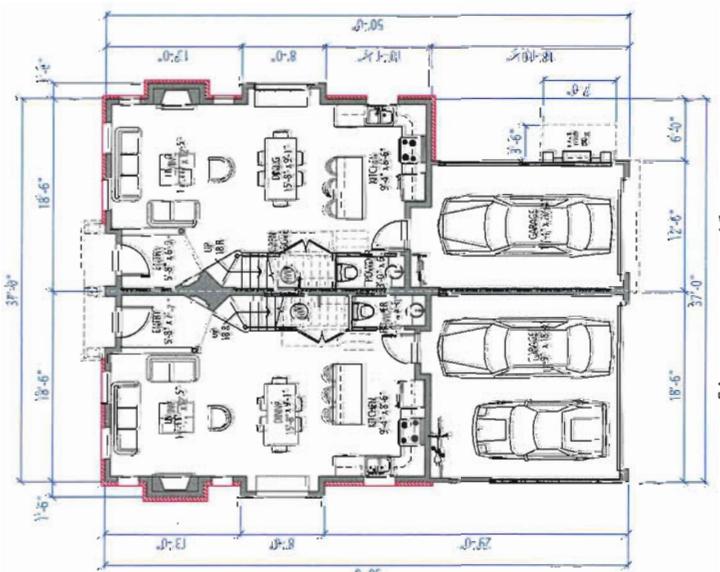
UPPER FLOOR



Building Characteristic Summary:
- Exterior Walls: 2x6 R22 Construction R value
(18.7 Effective R value)
- Roof/Attic: 4-136 Construction R value
(27.46 Effective R value)
- Foundation/Below-Grade Walls: XPS R12 Below slab
- Windows: Low E Argon 3 Glaze U 2.0
- Space Condition: Electric Baseboard
- Ventilation: HRV
- Hot water Heating: Electric DHW
- Other Energy Impact Features: Power Pipe R3-60 DWHR

PROVISION OF ACCESSIBILITY FEATURES
AGING-IN-PLACE REQUIREMENTS
ON ALL UNITS:
- Entry doors minimum 855 mm clear opening
(3'-0" swinging door spec)
- Hallways minimum 900 mm width
(Swinging door spec)
- Blocking to bathrooms for installation of grab-bars
(toilet, tub and shower)
- Provision of lever door handles
- One window that can be opened
with a single hand in the living room
- One window that can be opened
with a single hand in one bedroom

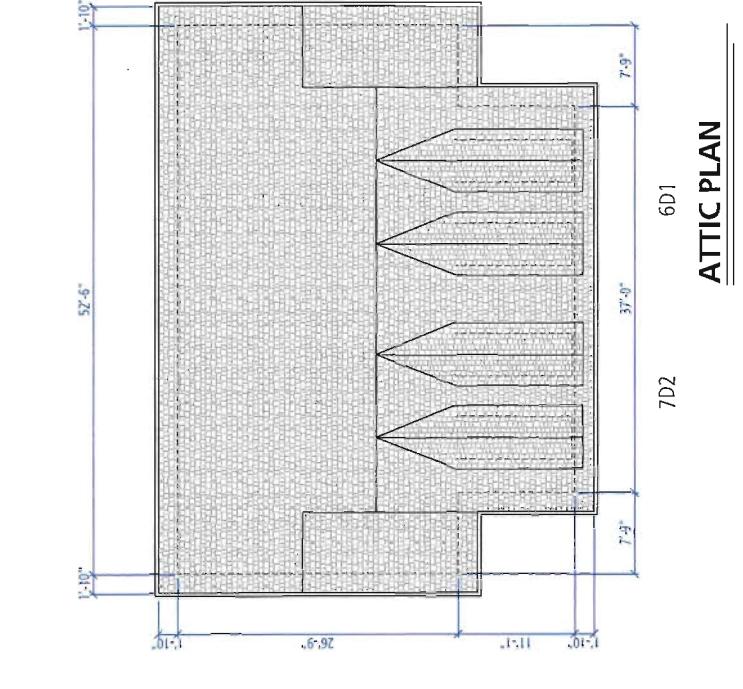
GROUND FLOOR



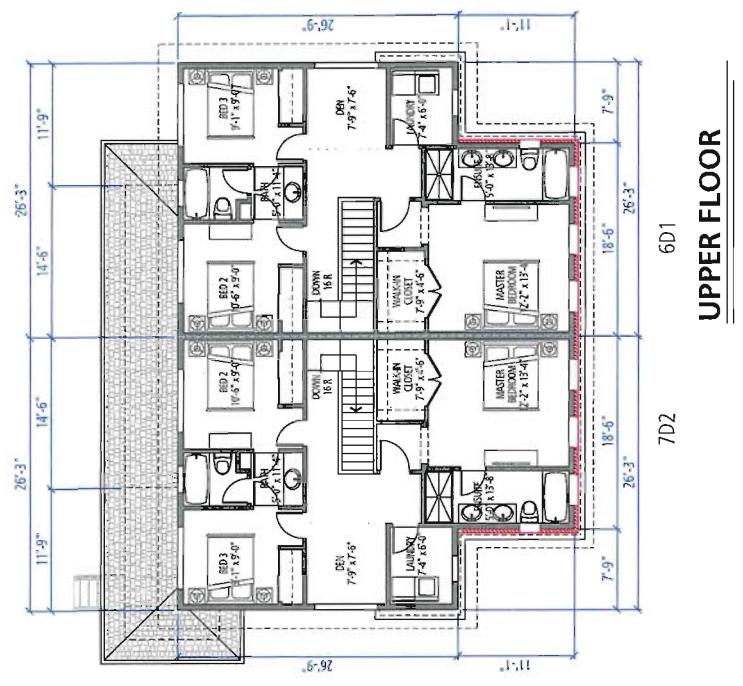
DP 13-644888

BLOCK PLANS

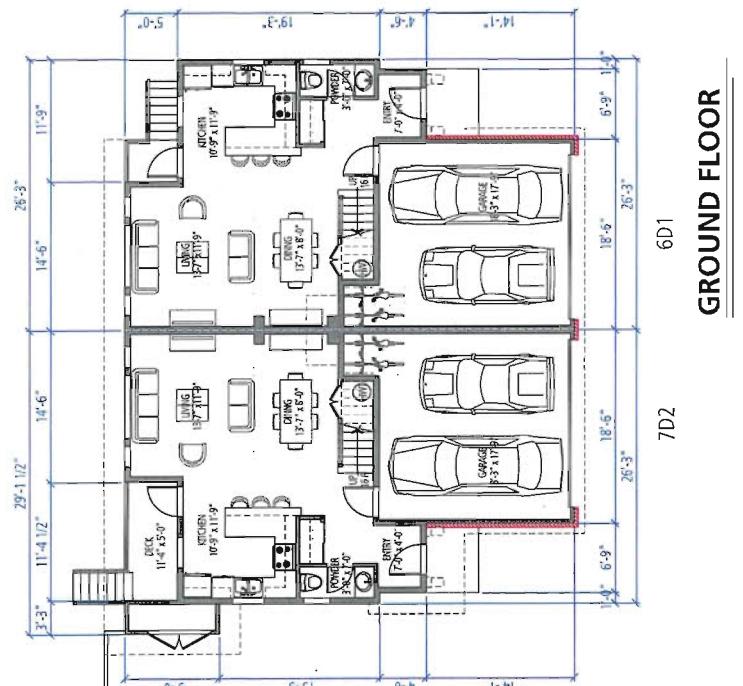
FEB 17 2015 REFERENCE PLAN



ATTIC PLAN



UPPER FLOOR



GROUND FLOOR

Building Characteristic Summary:
- Exterior Walls: 2x6 R22 Construction R value (18.7 Effective R Value)
- Roof/Attic: 4x16 Construction R value (27.46 Effective R Value)
- Foundation/Below-Grade Walls: XPS R12 Below slab
- Windows: Low E Argon 3 glaze U 2.0
- Space Condition - Electric Baseboard
- Ventilation - HRV
- Hot Water Heating - Electric DHW
- Other Energy Impact Features - Power Pipe R3-60 DWHR

PROVISION OF ACCESSIBILITY FEATURES
"AGING-IN-PLACE" REQUIREMENTS
ON ALL UNITS:
- Entry doors minimum 855 mm clear opening (3'-5" swinging door spec)
- Hallways minimum 900 mm width
- Door from garage to living area minimum 2'-10" (swinging door spec)
- Blocking to bathrooms for installation of grab-bars (toilet, tub and shower)
- Provision of lever door handles
- One window that can be opened with a single hand in the living room
- One window that can be opened with a single hand in one bedroom

BUILDING 3
SCALE 1/8" = 1'-0"

0' 5' 15' 25'

DP 13-644888
FEBRUARY 11, 2015



AMHERST LANE
8600 NW 2 ROAD

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PLAN#06a



PLAN#07a

FEB 17 2015
DP 13-644888
BLOCK PLANS

REFERENCE PLAN

BUILDING 4

SCALE 1/8" = 1'-0"

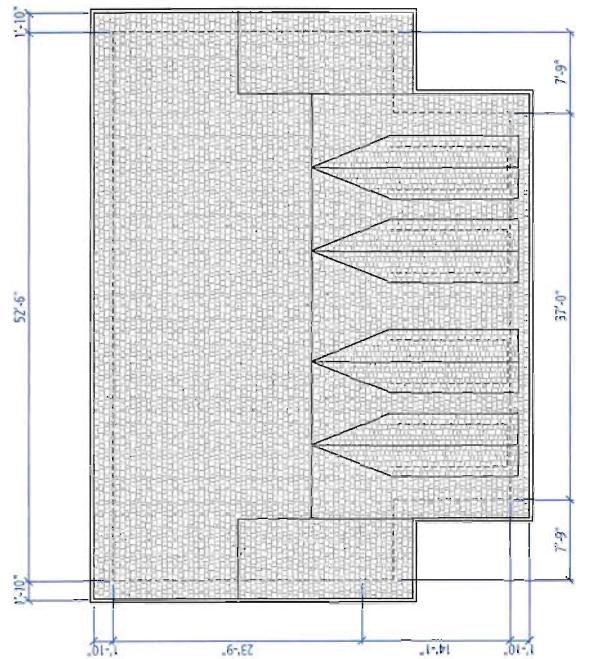
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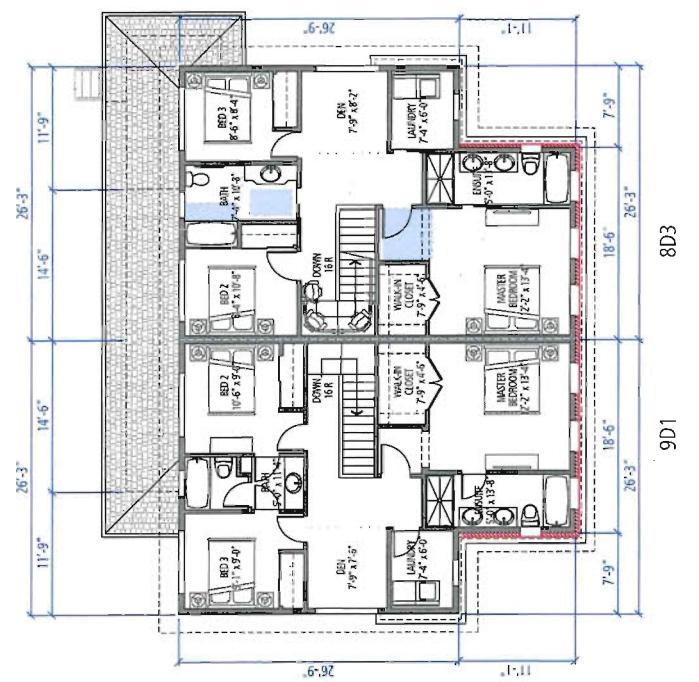
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ATTIC PLAN



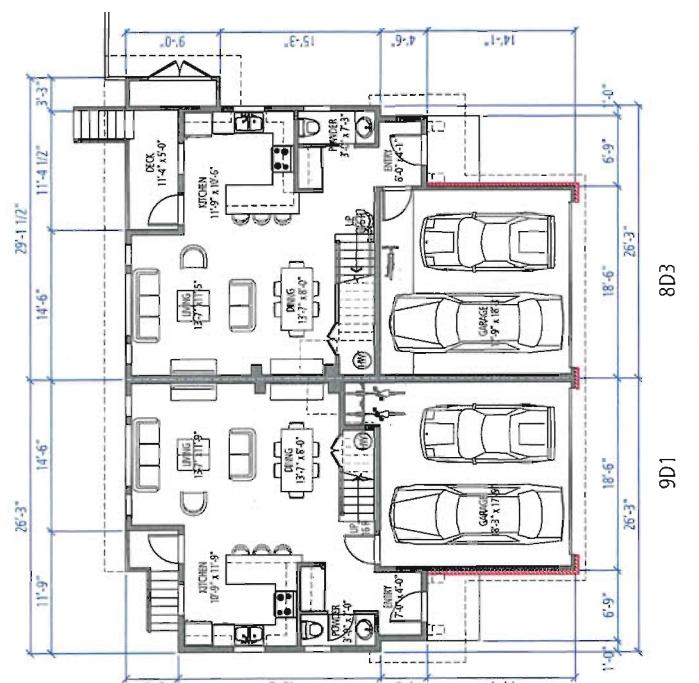
9D1 8D3



9D1 8D3

Building Characteristic Summary:
- Exterior Walls: 2x6 R12 Construction R Value
(18.1 Effective R Value)
- Roof/Attic: 4x136 Construction R Value
(27.46 Effective R Value)
- Foundation/Below-Grade Walls: XPS R12 Below slab
- Windows: Low E Argon 3 glaze U 2.0
- Space Condition: Electric Baseboard
- Ventilation: HRV
- Hot Water Heating: Electric DHW
- Other Energy Impact Features: Power Pipe R3.60 DMHR

PROVISION OF ACCESSIBILITY FEATURES
"AGING-IN-PLACE" REQUIREMENTS
ON ALL UNITS:
- Entry doors minimum 855 mm clear opening
(3'-0" swinging door spec.)
- Hallways minimum 900 mm width
- Door from garage to living area minimum 2'-10"
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9D1 8D3

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BLOCK PLANS

REFERENCE PLAN

PLAN#07a