



City of Richmond

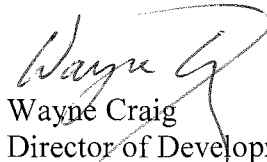
Report to Development Permit Panel

To: Development Permit Panel
From: Wayne Craig
Director of Development
Date: November 19, 2014
File: DP 14-667322
Re: **Application by Pinnacle Living (Capstan Village) Lands Inc. for a Development Permit at 3291, 3331, and 3371 Sexsmith Road**

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of a one-phase, residential development containing 400 dwelling units at 3291, 3331, and 3371 Sexsmith Road on a site zoned “Residential/Limited Commercial and Artist Residential Tenancy Studio Units (ZMU25) – Capstan Village (City Centre)”; and
2. Vary the provisions of Richmond Zoning Bylaw 8500, as amended by zoning amendment Bylaw No. 9135, to:
 - a) Reduce the minimum required number of on-site, loading spaces for large-size vehicles from one (1) to nil;
 - b) Increase the maximum distance that balconies may project into the required road setback near the intersection of Sexsmith Road and Hazelbridge Way from 1.0 m (i.e. one third of the minimum required setback) to 1.31 m;
 - c) Increase the maximum distance that architectural features may project into the required road and park setback from 0.6 m to 2.24 m; and
 - d) Increase the maximum distance that canopies may project into the required road and park setback from 1.5 m (i.e. 50% of the required setback) to 2.92 m.


Wayne Craig
Director of Development

WC:spc
Att.

Staff Report

Origin

Pinnacle Living (Capstan Village) Lands Inc. has applied to the City of Richmond for permission to construct Phase 1 of a 4-phase, 126,575 m² (1,362,491 ft²), high-rise, mixed use development adjacent to the designated future location of the Capstan Canada Line Station. The site will be zoned “Residential/Limited Commercial and Artist Residential Tenancy Studio Units (ZMU25) – Capstan Village (City Centre)” and “School & Institution Use (SI)” (i.e. park). The subject application for Phase 1 proposes a 35,144.1 m² (378,287.9 ft²), 400-dwelling, multi-family residential project at the southeast corner of the development, including:

- Three mid/high-rise apartment buildings containing 372 market units, 11 affordable housing units, and 17 Artist Residential Tenancy Studio (ARTS) units (i.e. affordable housing secured by a Housing Agreement for professional artists);
- A 326-space Public Parking Facility, including 6 car-share spaces equipped with electric vehicle “quick charge” stations (i.e. 240V); and
- On-site, publicly-accessible open space, including a “terrace” along the frontages of the ARTS units and a broad, landscaped walkway along the site’s west side linking the future Capstan Canada Line Station and neighbourhood park with existing and future shops, services, and amenities south of the development.

The site is being rezoned for this project from “Single Detached (RS1/F)” to “Residential / Limited Commercial and Artist Residential Tenancy Studio Units (ZMU25) – Capstan Village (City Centre)” and “School & Institution Use (SI)” under Bylaw No. 9135 (RZ 12-610011). The bylaw received third reading of Council on May 20, 2014.

All Engineering, Transportation, and Parks off-site requirements in respect to the subject development have been resolved via the rezoning. As per legal agreements registered on title, the developer is responsible for the design and construction, at the developer’s sole cost, of upgrades across the subject site’s street frontages, together with various other road, utility, and park-related works. These off-site works will be managed in four stages through the City’s standard City Servicing Agreement processes whereby, on a lot-by-lot basis, the developer will enter into a Servicing Agreement prior to each Development Permit issuance. Works to be constructed by the developer, at the developer’s sole cost, prior to the occupancy of Phase 1 shall include:

- Engineering and road works (SA 14-671776), including the extension of Hazelbridge Way, widening of Sexsmith Road, water, storm, and sanitary service upgrades, and related improvements; and
- Neighbourhood park construction (SA 14-671777), including a children’s playground, plaza, seating, tree protection, invasive species removal, and public art.

No additional Servicing Agreement works are required in respect to the subject Development Permit application for Phase 1.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

The subject site, which is currently vacant, is situated in Capstan Village: a transitional area designated for medium- and high-density, mixed-use development under the City Centre Area Plan (CCAP). Existing development surrounding the subject site includes:

- North: Future phases of Pinnacle Living's 4-phase development, beyond which is Sea Island Way and highway-oriented commercial properties zoned "Auto-Oriented Commercial (CA)" and designated under the CCAP for future development with high-rise, high density, commercial uses;
- East: Sexsmith Road and a largely vacant area, which is designated under the CCAP for higher-density residential uses and currently occupied by a church, a former TransLink park-and-ride site zoned "School & Institution Use (SI)", two single-family homes on lots zoned "Single Detached (RS1/F)", and "Concord Gardens", a 5-phase, high density, residential development zoned "High Rise Apartment and Artist Residential Tenancy Studio Units – ZHR10 (Capstan Village City Centre" (RZ 06-349722);
- South: 8677 Capstan Way, a 200-unit, high-rise, residential development zoned "Residential / Limited Commercial (RCL/4)" that is currently under construction by Pinnacle Living (RZ 10-544729 / DP 12-604012) and will share use of parking, loading, and podium-level residential (indoor and outdoor) amenity spaces with the subject Phase 1 development; and
- West: Lands designated under the CCAP for future, high density, mixed use development (by others) and the future Capstan Canada Line Station.

Rezoning and Public Hearing Results

During the rezoning process, staff identified a number of design issues requiring attention on a phase-by-phase basis at Development Permit stage. For Phase 1, further design development was encouraged in particular with respect to three things:

- 1) ARTS Units: The proposed ARTS units and related public outdoor spaces (i.e. ARTS Terraces) must provide for an attractive, arts-related, "home-based business-type" environment and contribute to an engaging public realm that helps to foster Capstan Village's growth as an "arts district".
 - Staff support the applicant's design development of the ARTS units and related features as set out in this report, which include:
 - 1- and 2-storey, street-fronting, loft-style units with living and work spaces on the first floor, bedrooms and private balconies on the second floor, double height studios, with glazed, garage-type doors, and special features aimed to support arts activities (e.g., durable finishes, daylight controls, noise attenuation);
 - Locating the units along Phase 1's Hazelbridge Way and Sexsmith Road frontages to enhance Capstan Village's emerging network of ARTS units and linkages with nearby public art, transit, and amenities;

- In coordination with the Servicing Agreement with respect to rezoning of the subject site (SA 14-671776), raising the grade of Hazelbridge Way to provide for convenient, barrier-free public access to the ARTS units and informal, outdoor, arts-related activity space; and
 - A contemporary aesthetic expressed through the use of industrial-type materials (e.g., concrete, metal panels), garage-type doors, and bold colours.
- 2) Public Parking Facility: The proposed Public Parking Facility satisfies the requirements of Zoning Bylaw No. 8500, as amended by Zoning Amendment Bylaw No. 9135, for a transitional, multi-phase parking strategy, whereby 250 “surplus” parking spaces are constructed as part of Phase 1 and, in turn, a 250-space parking reduction is permitted in the development’s final phase. The accommodation of this increased parking on Phase 1 presents a design challenge that must be sensitively addressed if streetscape and public open space impacts are to be minimized.
- Staff support the applicant’s design development of the Public Parking Facility as set out in this report, which proposes to integrate Phase 1 with the applicant’s adjacent development at 8677 Capstan Way (as per legal agreements registered on the titles of the two lots through their rezoning processes) and provides for:
 - Reduced building bulk by the avoiding the duplication of vertical circulation;
 - Ease of public use by locating all short-term, public spaces on one level with direct access from Hazelbridge Way and managing the visitor parking for Phase 1 and 8677 Capstan Way as part of the Facility’s short-term parking; and
 - Reduced streetscape impacts by limiting driveways (i.e. two locations serve all of Phase 1 and 8677 Capstan Way) and incorporating special signage, lighting, weather protection, decorative paving, and related landscape features.
- 3) Towers: As a result of the Public Parking Facility and the design of various public open space features (as approved through the rezoning), the buildable “footprint” of Phase 1 was reduced, which increases the challenge of creating attractive tower forms and skyline interest.
- Staff support the applicant’s design development of Phase 1’s towers and related features as set out in this report. While Phase 1’s three towers have simple forms with flat roofs:
 - All three towers generally comply with CCAP Development Permit (DP) Guidelines for 650 m² (6,997 ft²) maximum floorplate sizes (i.e. 656 m² - 665 m² / 7,061 ft² - 7,158 ft²);
 - Subtle variations in tower height (i.e. two at 14 storeys and one at 13 storeys) are enhanced by variations in tower orientation and, along Hazelbridge Way, a landscaped break in the podium streetwall that provides for a significant shift in scale between the west and north towers;
 - The towers are sited to maximize sunlight to outdoor amenity spaces at the podium and mid-rise levels;
 - The shape, orientation, and colour palette for each tower is distinct, which enhances visual interest and identity; and
 - All roofs, including the tower roofs, are treated as some combination of extensive green roof and usable (private and/or shared) amenity space.

The Public Hearing for the rezoning of this site was held on May 20, 2014. At the Public Hearing, Council requested that the developer consider providing transit passes to residents, particularly those occupying the affordable housing units.

- Staff worked with the applicant to address this issue and concluded that the provision of transit passes would be best considered at future phases of the development because: (i) through the rezoning, a comprehensive parking strategy was approved for the development (secured through zoning and legal agreements); (ii) as part of the parking strategy, in Phase 1 the developer is committed to the construction of a large Public Parking Facility, including 6 car-share spaces equipped with electric vehicle “quick charge” stations (i.e. 240V); and, (iii) the completion of future phases will more closely coincide with the construction of the Capstan Canada Line Station, thus, making them more attractive options for transit pass initiatives.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and CCAP, and is in compliance with the proposed “Residential/Limited Commercial and Artist Residential Tenancy Studio Units (ZMU25) – Capstan Village (City Centre)” zone except for the zoning variances noted below.

Legal agreements to be registered on title prior to rezoning adoption secure the implementation of on-site community amenities on a phase-by-phase basis. No additional on-site community amenities are being sought through the subject Phase 1 Development Permit application. The on-site community amenities that will be provided by the developer as part of Phase 1 (exclusive of off-site works and cash-in-lieu contributions secured through the rezoning) include the following:

Phase 1 Amenities		Committed Voluntary Developer Contributions, as per RZ 12-610011
1.	Affordable Housing	<ul style="list-style-type: none"> ▪ 11 units (843.8 m² / 9,082.6 ft²), secured with a Housing Agreement and Housing Covenant
2.	ARTS Units	<ul style="list-style-type: none"> ▪ 17 units (1,393.5 m² / 15,000.0 ft²), secured with a Housing Agreement and Housing Covenant
3.	Public Parking Facility	<ul style="list-style-type: none"> ▪ 326-space, comprehensively managed, Public Parking Facility, co-located on Phase 1 and the developer’s interconnected development at 8677 Capstan Way. (NOTE: Through DP 12-604012 for 8677 Capstan Way, 99 surplus spaces were secured on that site for the future use of Phase 1. Of those spaces, 29 will be used for the Public Parking Facility and 70 will be used for Phase 1 resident parking.) ▪ The proposed Public Parking Facility will be managed comprehensively by the developer and includes: <ul style="list-style-type: none"> i. 125 “assigned” spaces that may be leased (e.g., daily, weekly, monthly, or annual use); and ii. 201 “unassigned” spaces, pooled together for the short-term (i.e. hourly) use of the general public (at rates not greater than nearby on-street parking), including: <ul style="list-style-type: none"> - 125 public spaces required with respect to RZ 12-610011; - 36 visitor spaces required with respect to Phase 1; and - 40 visitor spaces required with respect to 8677 Capstan Way.

Phase 1 Amenities		Committed Voluntary Developer Contributions, as per RZ 12-610011
4.	Car-Share Parking	<ul style="list-style-type: none"> 6 car-share spaces (located within the Public Parking Facility) equipped with electric vehicle "quick charge" stations (i.e. 240V)
5.	Public Open Space	<ul style="list-style-type: none"> "ARTS Terrace" (403.2 m² / 0.10 ac) provided in association with the ARTS units to enhance public access and opportunities for art displays, art openings, and similar activities; and "Mid-Block Trail" (637.0 m² / 0.16 ac) for pedestrians and bikes along Phase 1's west side, including a plaza, paths, seating, rain-garden, landscape features, and public art.
6.	Public Art	<ul style="list-style-type: none"> A Detailed Public Art Plan for Phase 1, providing for public art on-site and within the Neighbourhood Park and secured with a \$272,468 Letter of Credit.
7.	Tree Replacement	<ul style="list-style-type: none"> 158 replacement trees (based on 2 trees for each on-site tree removed), as per the development's multi-phase Tree Protection and Replacement Plan

Public Art:

The Richmond Public Art Advisory Committee considered the Phase 1 Detailed Public Art Plan on November 18, 2014. The Plan proposes two projects on-site and one in the Neighbourhood Park (off-site) with a combined total budget of \$272,468 (as per legal agreements registered on title through the rezoning). The Committee voted in support of the Plan and recommended that, with respect to the park: (i) a larger portion of the total budget be allocated to this location; (ii) the call be opened to artists across Canada; (iii) staff help the art consultant identify community representatives for the panel; and, (iv) a design team member act as an advisor on the panel.

The Phase 1 Plan has been updated to address the Committee's recommendations. A voluntary developer contribution of \$272,468 will be secured with a Letter of Credit prior to issuance of the subject Phase 1 Development Permit.

Aircraft Noise Sensitive Development (ANSD):

Phase 1 is situated within ANSD "Area 3", which permits all ANSD uses (i.e. residential, child care, hospital, and school) provided that a restrictive covenant is registered on title, acoustics reports are prepared at Building Permit stage identifying appropriate noise attenuation measures, and various building design features are incorporated (e.g., air conditioning or equivalent). The required covenant will be registered on the subject site prior to rezoning adoption, and other requirements will be satisfied prior to Building Permit issuance, as required.

Zoning Compliance/Variances (staff comments in **bold**)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500, as amended by zoning amendment Bylaw No. 9135 (RZ 12-610011), to:

- 1) Reduce the minimum required number of on-site, loading spaces for large-size vehicles from one (1) to nil.
 - **Staff support the requested variance on the basis that: (i) a comprehensive loading analysis was undertaken at rezoning stage, which concluded that the subject site did not require on-site loading for large trucks; and, (ii) the on-street parking lane along Phase 1's Hazelbridge Way frontage will be sized in anticipation of intermittent use by large trucks, as per SA 14-671776.**

- 2) Increase the maximum distance that balconies may project into the required road setback near the intersection of Sexsmith Road and Hazelbridge Way from 1.0 m (i.e. one third of the minimum required setback) to 1.31 m.
 - *Staff support the requested variance on the basis that: (i) the dedicated (road) corner-cut at the Hazelbridge Way/Sexsmith Road intersection effectively requires Phase 1 to be setback further from the street in this location than elsewhere on-site; (ii) the proposed balconies add prominence and visual interest to the building without adding bulk; and, (iii) no sightline issues are created.*
- 3) Increase the maximum distance that architectural features may project into the required road and park setback from 0.6 m to 2.24 m.
 - *Staff support the requested variance on the basis that the features are projecting frame-like elements that: (i) serve to enhance the building's prominence at two key neighbourhood crossroads (i.e. the intersection of Hazelbridge Way with Sexsmith Road on the east and with the Mid-Block Trail on the west); (ii) are a part of a coordinated series of projecting "frames" used to impart a "human-scale", provide visual interest, and break up Phase 1's facades into smaller, identifiable "buildings"; and (iii) do not add bulk or create sightline issues.*
- 4) Increase the maximum distance that canopies may project into the required road and park setback from 1.5 m (i.e. 50% of the required setback) to 2.92 m.
 - *Staff support the requested variance on the basis that the canopies: (i) enhance streetscape variety, amenity, and visual interest; (ii) enhance wayfinding with respect to the Public Parking Facility and tower entrances; (iii) provide streetscape continuity with the applicant's adjacent development under construction at 8677 Capstan Way; and, (iv) do not create sightline issues or negatively impact the public realm.*

Advisory Design Panel (ADP) Comments

The Design Panel considered the subject Phase 1 development on November 5, 2014, and voted in favour of it moving forward to the Development Permit Panel, subject to the applicant giving consideration to the Panel's comments (e.g., improvements to the treatment of the building's north elevation, use of colour, ground plane features, and energy performance). Minutes of the meeting are attached for reference. (Attachment 2) The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '***bold italics***'. Staff believe the applicant's revised design satisfactorily addresses the recommendations of the Panel.

Analysis

The proposed development is the first phase of a 4-phase, comprehensively planned, high density, mixed use development in the Capstan Village area of Richmond's City Centre. The site will be zoned "Residential/Limited Commercial and Artist Residential Tenancy Studio Units (ZMU25) – Capstan Village (City Centre)" and is subject to OCP and CCAP policies and DP Guidelines aimed at encouraging the development of a high-amenity, pedestrian-oriented, urban community supportive of City objectives for the future construction of a Canada Line station in Capstan Village and the area's establishment as part of a vibrant "arts district". In support of this, current City policies and zoning:

- Require the subject site to be developed with a combination of high-density, high- and mid-rise residential uses and public open spaces;
- Provide for density bonusing to encourage voluntary developer contributions towards the Capstan Station Reserve fund, the provision of publicly-accessible open space, and the construction of affordable housing and subsidized rental housing for professional artists; and
- Encourage the development of an attractive, high-amenity environment that will set a benchmark for subsequent development in and around Capstan Village and the City Centre's emerging "arts district".

The subject Phase 1 development proposes a 35,144.1 m² (378,287.9 ft²), 400-unit, multi-family residential project (adjacent to and interconnected with the developer's previously approved 200-dwelling project at 8677 Capstan Way), including three high-rise apartment buildings containing 372 market units, 11 affordable housing units, and 17 ARTS units (i.e. affordable housing for professional artists), publicly-accessible open space, and a multi-storey parkade containing a 326-space Public Parking Facility. Staff's review indicates that the subject development proposal is a well-considered and attractive design that is consistent with the intent of the OCP, CCAP, and Zoning Bylaw and warrants favourable consideration as follows:

Conditions of Adjacency

The subject residential development presents few adjacency concerns because it is bounded by City streets on its east and north sides, a broad, landscaped walkway (on-site) on its west side that will be widened by future development, and the developer's previously approved, interconnected project at 8677 Capstan Way on the south. Furthermore:

- The project's towers appear to be well located because: (i) Phase 1 provides for a minimum tower spacing of 24 m (79 ft) , which is consistent with most high density, CCAP locations; (ii) Phase 1's towers are located to minimize potential impacts on future development (by others) to the west and the subject developer's Phase 2 site to the north; (iii) tower overlook of 8677 Capstan Way is minimized through an increased tower setback along Phase 1's west side; (iv) primary living spaces in adjacent towers are oriented away from each other; and, (v) opportunities for sunny, rooftop amenity spaces and tower views of broad, landscaped rooftops have been maximized;
- Potential overlook issues at interior corners have been resolved through: (i) minimizing the number of such units by breaking the mid-rise portion of the development into two separate buildings; and, (ii) wrapping the project's few interior corners with large, 2- and 3-bedroom units; and
- Potential public/private interface issues along the street frontages of the ARTS units have been resolved by: (i) locating bedrooms and private outdoor spaces at the second storey of the units; (ii) providing for a landscaped setback and terrace along the frontages of the units; and (iii) incorporating a combination of solid wall, translucent glazing, clerestory windows, movable window coverings, and outdoor art display opportunities to ensure adequate interior daylight and an attractive streetscape, without compromising the ability of residents to control their openness to the street.

Urban Design and Site Planning

In compliance with the CCAP, through the rezoning, the developer has agreed to provide for new parks and roads including, among other things, the developer's voluntary contribution of land with respect to the CCAP's Capstan Station Bonus and "minor street" policies. Those policies

allow the net site area of a development, for density calculation purposes, to include land transferred to the City for park and road. In addition, as described previously, Phase 1 includes 250 “extra” parking spaces (to satisfy Zoning Bylaw requirements) as part of the proposed Public Parking Facility. The developer’s design of Phase 1 aims to resolve the challenge of accommodating the permitted density on the subject site by, among other things:

- Raising the grades of Sexsmith Road and Hazelbridge Way, which helps to: (i) reduce the bulk of parking located above grade and conceal it from view; and, (ii) minimize the change in grade between the public realm and interior habitable spaces, which could otherwise impair the attractiveness and accessibility of Phase 1’s streetscapes (due to a minimum flood construction level of 2.9 m GSC);
- Proposing an articulated, 8- storey streetwall form around the perimeter of Phase 1, which helps to: (i) define the fronting streets and Mid-Block Trail in an attractive, urban manner; (ii) visually break up the development into a series of smaller, more human-scaled “buildings”; and (iii) provide visual interest through an interruption in the podium massing along Hazelbridge Way, a series of architectural “frames” that mark key corners and add texture to the facades, and variations in colours, materials, and setbacks; and
- Providing for pedestrian-oriented streetscapes, enhanced with: (i) street-oriented ARTS units along two frontages and townhouse units with direct access to fronting streets and public open space elsewhere; (ii) special public open space features along all three frontages, including the Mid-Block Trail, ARTS Terraces, and Sexsmith Road greenway and off-street bike path; (iii) high quality architectural and landscape features and finishes; and, (iv) public art at two prominent locations (i.e. Hazelbridge Way at Sexsmith Road and at the Mid-Block Trail).

Architectural Form and Character

The CCAP encourages the City Centre to be developed as a mosaic of distinctive, yet cohesive, urban villages. The contemporary style of the subject development, its playful use of colour and architectural features, and its complementary character to 8677 Capstan Way are all consistent with this objective. Moreover, the development is comprised of three distinct “layers” that contribute to visual interest, pedestrian scale, and a distinct identity, as follows:

- **Base:** The lower two floors of the building, which contain street-fronting ARTS and townhouse units, tower lobbies, and the entrances to the Public Parking Facility, are strongly articulated with projecting canopies and balconies, studio garage doors, changes in grade, colour, and landscaping to make a strong visual statement and provide for a variety of engaging pedestrian-oriented experiences – ranging from arts to residential to park – around the perimeter of Phase 1.
- **Mid-Rise:** The 8-storey, mid-rise portion of Phase 1 conveys a strong, urban character and is the key element defining the street edge. Articulated by an interruption in the Hazelbridge Way streetwall and a bold, vertical “frame” at the Hazelbridge Way/Sexsmith Road corner, the development is effectively split into three distinct buildings, each of which is further articulated with smaller “frames”, projecting and recessed balconies, and variations in colours and materials that impart a human scale and contribute towards a highly textured and engaging streetscape experience.
- **Towers:** The development’s high-rise forms, which vary in design, while being simple in massing, are strategically used to break up the length of Phase 1’s streetwall and provide for a more varied, interesting streetscape. At the east and north towers, this is achieved in a

conventional manner by bringing the towers to the ground at their lobbies and reinforcing this with vertical stripes of colour that enhance the towers' apparent height. More dramatically, to the east of Phase 1's west tower the height of the streetwall is dropped to two storeys, the tower is oriented with its narrow side facing Hazelbridge Way, and its height is slightly reduced. The effect this gives, in combination with the adjacent, landscaped Mid-Block Trail, is one of a boutique-type "tower on the park" whose unique identity will contribute towards Capstan Village's open space experience and provide visual cues that enhance wayfinding.

Landscape Design and Open Space Design

The development's landscape has been designed with the aim of providing for a highly livable, urban-residential environment. In addition to providing every dwelling with private outdoor space in the form of a balcony or patio, the development incorporates five key open space areas as follows:

- Mid-Block Trail: The trail, which is 10 m wide and located along the west side of Phase 1, is intended as a privately-owned/publicly-accessible, pedestrian/bike linkage between Hazelbridge Way and Capstan Way. The first phase of the Trail will be built as part of the developer's adjacent, approved development under construction at 8677 Capstan Way. Phase 1 will extend the Trail north to Hazelbridge Way; and, future development (by others) will widen it to the west. The design of the Trail will be fully accessible and include a paved walkway/bike path, lawn, seating, rain gardens, indigenous planting, and a mix of deciduous and evergreen trees. A small seating plaza at the north end of the Trail (at Hazelbridge Way) is identified for public art.
- ARTS Terraces: The Terraces, which are approximately 3.1 m wide and located along the north and east sides of Phase 1, are intended as privately-owned/publicly-accessible, pedestrian areas that enhance public and private enjoyment of arts-related activities arising through the development of the project's proposed ARTS units. The design of the Terraces is level with the sidewalk on the north, along Hazelbridge Way, and elevated on the east, along Sexsmith Road, with stair access and a designated public art location at the corner. Barrier-free access along the north, together with street trees, decorative planting, and seating, will make this area an inviting place to stop and look at artworks on display and in process in the fronting studios; while, the elevation of the east terrace, will make it a place to explore and enjoy the view. Concrete retaining walls and metal guardrails, together with studio garage doors and bold punches of colour on the building, will lend the Terraces an industrial-like character, complementary to outdoor formal and informal art displays and events; while, granite sets, planting, trees, and seating speak to the high quality of the development and will contribute to the Terrace's "fit" with the project's residential uses.
- Podium Rooftop Indoor/Outdoor Amenity Space: Phase 1's indoor amenity space and primary outdoor amenity space are located at the development's podium roof level and are designed to appear and function as a seamless extension of the indoor and outdoor spaces constructed by the developer at 8677 Capstan Way (as per legal agreements registered on the titles of both properties). Phase 1's indoor amenity space, which is accessible from its residential buildings via covered walkways, includes a gymnasium (large enough to accommodate two badminton courts) and rooms for parties, play, theatre, golf, relaxing, and dining; plus, residents will have direct indoor access to the swimming pool, change rooms, and other facilities provided at 8677 Capstan Way. Phase 1's podium-level outdoor amenities include children's play space, lawn, edible gardens, seating and dining areas, walkways, decorative planting, and shade trees; and, residents will also have unrestricted access to complementary outdoor spaces/uses at 8677 Capstan Way.

- **Mid-Rise Rooftop Outdoor Amenity Space:** Phase 1's mid-rise rooftops are designed as more intimate, outdoor amenity spaces for the exclusive use of Phase 1 residents. These spaces include garden plots (equipped with hose bibs, potting benches, and tool storage), children's play spaces, seating, decorative planting, walkways, lawns, and shade trees.
- **Green Roofs:** The roofs of the development's podium, mid-rise, and high-rise buildings are treated as a combination of extensive green roofs and shared/private outdoor spaces for the enjoyment of residents. The roof of the amenity building is entirely treated as a green roof to, among other things, enhance rooftop views from surrounding residential units. Extensive green roofs are separated from high foot-traffic areas by various landscape features (e.g., changes in grade, curbs, shrubs, hedges) to minimize wear and maintenance requirements are included in the landscape drawings.

Crime Prevention through Environmental Design (CPTED)

The Phase 1 development incorporates CPTED strategies including, among other things:

- The development's site planning and building design provide for passive surveillance of fronting streets and public open spaces;
- Lobbies are placed in prominent locations and have clear sightlines to fronting streets and publicly-accessible open spaces;
- The parking structure and lobbies are designed to minimize alcoves and hidden corners;
- The parking structure will be well lit, its interior will be painted white, public pay stations will be situated in highly-visible locations, and security gates will be installed between public and resident-only areas;
- Elevator lobbies and vestibules will include glazing as per Building Code requirements; and
- Outdoor amenity spaces will be visually open, well lit, and offer multiple egress options.

Affordable Housing

In accordance with Richmond's Affordable Housing Strategy, through the rezoning process, the developer agreed to the phased construction, at the developer's sole cost, of 5% of the 4-phase development's total residential floor area as low-end market rental units. As per affordable housing phasing covenants registered on title, the subject Phase 1 development shall provide for 11 units (843.8 m² / 9,082.6 ft²), which will be:

- Secured with a Housing Agreement and Housing Covenant registered on title to the lot;
- Dispersed throughout Phase 1 (i.e. Levels 3, 4, 5, and 6);
- 100% Basic Universal Housing compliant; and
- Comprised of two 1-bedroom, seven 2-bedroom, and two 3-bedroom units.

Artist Residential Tenancy Studio (ARTS) Units

In addition to complying with Richmond's Affordable Housing Strategy, through the rezoning process, the developer agreed to construct, at the developer's sole cost, 1,393.5 m² (15,000.0 ft²) of ARTS units (i.e. low-end market rental units secured for occupancy by professional artists and their households). Legal agreements registered on title require that 17 ARTS units are constructed, all of which shall be located in Phase 1 and will be:

- Secured with a Housing Agreement and Housing Covenant registered on title to the lot;
- Located at grade fronting Hazelbridge Way and Sexsmith Road in order to allow for easy public access and displays of artworks;

- 100% equipped with aging-in-place features and include one unit that is Basic Universal Housing compliant; and
- Comprised of five bachelor, seven 1-bedroom, and five 2-bedroom units.

Accessible Housing

Richmond's OCP seeks to meet the needs of the city's aging population and people facing mobility challenges by encouraging the development of accessible housing that can be approached, entered, used, and occupied by persons with physical or sensory disabilities. To address the City's policy, the developer proposes to provide:

- Barrier-free access to all residential lobbies from the fronting street.
- Barrier-free access to all indoor and outdoor amenity spaces.
- 49 Basic Universal Housing (BUH) units (i.e. 12% of total units) designed to Zoning Bylaw standards to provide for their ready renovation to accommodate wheelchair users, including:
 - 37 market units (10%);
 - 11 affordable housing units (100%); and
 - 1 ARTS unit (6%).
 (Note: The developer does not plan to take advantage of the Zoning Bylaw's permitted density exclusion of 1.86 m² per BUH unit.)
- Aging in place features in all dwellings, including:
 - Stairwell hand rails;
 - Lever-type handles for plumbing fixtures and door handles; and
 - Solid blocking in washroom walls to facilitate future grab bar installation (by others) beside toilets, bathtubs, and showers.

Sustainability

The project's sustainability goal is to provide a cost-effective, high-value development that meets or exceeds CCAP standards (i.e. LEED "Silver" equivalent), as per the attached LEED Checklist. (Attachment 3) Highlights of Phase 1's sustainability strategy include:

- A District Energy Utility (DEU) ready design providing for the hook-up of Phase 1 to a City DEU utility when it comes available (as per legal agreements registered on title);
- At least a 20% reduction in the project's design energy cost compared to the energy cost of the ASHRAE/IESNA Standard 90.1-2007 reference building through the use of an efficient mechanical system and passive design elements (e.g., optimal window glazing, high-performance insulation, operable windows);
- Reductions in the Heat Island Effect and the rate and quantity of storm water runoff through the use of vegetation over at least 43.2% of the site, including:
 - 17.5% traditional landscape areas;
 - 7.2% lawn;
 - 0.9% urban agriculture plots; and
 - 17.6% extensive green roofs;
- A 50% reduction in potable water consumption for irrigation through appropriate plant selection and maintenance;
- The installation of electric vehicle charging infrastructure, including (i) "quick charge" (240V) stations within the Public Parking Facility for the 6 car-share vehicles; (ii) 120V stations for 20% of resident parking and pre-ducting for future stations for 25% of resident parking; and (iii) one charging station for every ten Class 1 bike storage spaces;
- The use of Energy Star rated appliances throughout the project; and

- An emphasis on the recycling of construction waste, using locally manufactured building materials with high recycled content, and measures aimed at minimizing construction impacts on the surrounding environment.

Conclusions

The proposed development is consistent with Richmond's objectives for the subject property and Capstan Village as set out in the OCP, City Centre Area Plan (CCAP), and Zoning Bylaw. The project's distinctive form, pedestrian-oriented streetscapes, publicly-accessible open space, ARTS units and affordable and accessible housing, public art, and sustainable development measures (e.g., electric vehicle charging facilities, green roofs, LEED Silver), together with voluntary developer contributions secured at the project's rezoning stage (e.g., roads, parks, Capstan Station Reserve funding), will enhance the establishment of Capstan Village as a high-amenity, transit-oriented, urban community. On this basis, staff recommend support for the subject Development Permit application.



Suzanne Carter-Huffman
Senior Planner/Urban Design

SPC:cas

Attachments:

1. Development Application Data Sheet
2. Advisory Design Panel Minutes
3. LEED Checklist
4. Development Permit Considerations



DP 14-667322

Attachment 1

Address: 3291, 3331, and 3371 Sexsmith Road

Applicant: Pinnacle Living (Capstan Village) Lands Inc. Owner: Pinnacle Living (Capstan Village) Lands Inc

Planning Area(s): City Centre (Capstan Village)

Floor Area Gross: 37,222.1 m² Floor Area Net: 35,144.1 m²

	Existing	Proposed
Site Area	<ul style="list-style-type: none"> 9,131.0 m² (2.26 ac) 	<ul style="list-style-type: none"> 9,131.0 m² (2.26 ac), including: <ul style="list-style-type: none"> - Public Open Space: 882.9 m² (0.22 ac) - Building Footprint: 8,248.1 m² (2.04 ac)
Land Uses	<ul style="list-style-type: none"> Vacant 	<ul style="list-style-type: none"> Multi-family residential
OCP Designation	<ul style="list-style-type: none"> Mixed Use 	<ul style="list-style-type: none"> No change
Zoning	<ul style="list-style-type: none"> Residential / Limited Commercial & Artist Residential Tenancy Studio (ARTS) Units (ZMU25) – Capstan Village (City Centre) 	<ul style="list-style-type: none"> No change
Number of Units	<ul style="list-style-type: none"> Nil 	<ul style="list-style-type: none"> Market units: 372 Affordable Housing Units: 11 ARTS Units: 17 TOTAL: 400
Accessible Housing	<ul style="list-style-type: none"> Nil 	<ul style="list-style-type: none"> Basic Universal Housing (BUH) Units: 12% (49 units) <ul style="list-style-type: none"> - 10% Market units (37 units) - 100% Affordable Housing Units (11 units) - 6% ARTS Units (1 unit) Aging in Place Features: 100% of units

	Bylaw Requirement	Proposed	Variance
Floor Area (Max.)	<ul style="list-style-type: none"> 35,144.1 m² 	<ul style="list-style-type: none"> 35,144.1 m² 	<ul style="list-style-type: none"> None permitted
Lot Size (Min.)	<ul style="list-style-type: none"> 9,000.0 m² 	<ul style="list-style-type: none"> 9,131.0 m² 	<ul style="list-style-type: none"> None
Lot Coverage (Max.)	<ul style="list-style-type: none"> Max. 90% 	<ul style="list-style-type: none"> 81% 	<ul style="list-style-type: none"> None
Setback – Road & Park (Min.)	<ul style="list-style-type: none"> 6.0 m, but may be reduced to 3.0 m based on approved DP 	<ul style="list-style-type: none"> 3.0 m 	<ul style="list-style-type: none"> None
Setback – Interior Side Yard (Min.)	<ul style="list-style-type: none"> 6.0 m, but may be reduced to nil based on approved DP 	<ul style="list-style-type: none"> 3.0 m 	<ul style="list-style-type: none"> None
Permitted Projections into Road Setbacks (Max.)	<ul style="list-style-type: none"> Balconies: 1.0 m 	<ul style="list-style-type: none"> Balconies: 1.31 m 	<ul style="list-style-type: none"> 0.31 m increase
	<ul style="list-style-type: none"> Architectural features: 0.6 m 	<ul style="list-style-type: none"> Architectural features: 2.24 m 	<ul style="list-style-type: none"> 1.64 m increase
	<ul style="list-style-type: none"> Canopies: 1.5 m 	<ul style="list-style-type: none"> Canopies: 2.92 m 	<ul style="list-style-type: none"> 1.42 increase
Height (Max.)	<ul style="list-style-type: none"> 35.0 m, but may be increased to 47.0 m based on approved DP 	<ul style="list-style-type: none"> 47.0 m 	<ul style="list-style-type: none"> None

	Bylaw Requirement	Proposed	Variance
TOTAL Off-Street Resident & Public Parking Spaces	<ul style="list-style-type: none"> 681 spaces 	<ul style="list-style-type: none"> 681 spaces, including <ul style="list-style-type: none"> 582 on-site 99 on 8677 Capstan Way (existing SRW) 	<ul style="list-style-type: none"> None
Off-Street Resident Parking - - Market units @ 1.0/unit - Affordable Housing @ 0.81/unit - ARTS units @ 0.81/unit - Visitors @ 0.09/unit <i>NOTE: Rates assume 10% TDM reduction & 50% visitor parking reduction for the provision of Public Parking, as per RZ 12-610011</i>	<ul style="list-style-type: none"> 431 spaces, including: <ul style="list-style-type: none"> 372 - Market units 9 - Affordable Housing 14 - ARTS units 36 - Visitors 	<ul style="list-style-type: none"> 431 spaces, including: <ul style="list-style-type: none"> 372 - Market units 9 - Affordable Housing 14 - ARTS units 36 - Visitors 	<ul style="list-style-type: none"> None
Off-Street Public Parking Facility	<ul style="list-style-type: none"> 250 spaces, as per RZ 12-610011, including: <ul style="list-style-type: none"> 6 car-share 119 general public 125 assignable 	<ul style="list-style-type: none"> 250 spaces, as per RZ 12-610011 PLUS, co-location with: <ul style="list-style-type: none"> 36 - Phase 1 visitor spaces (as above) 40 - 8677 Capstan Way visitor spaces (existing) TOTAL FACILITY: 326 	<ul style="list-style-type: none"> None
Off-Street Parking Spaces – Accessible	<ul style="list-style-type: none"> 2% min. (14 spaces) 	<ul style="list-style-type: none"> 2% (14 spaces) 	<ul style="list-style-type: none"> None
Off-Street Parking Spaces – Small Car	<ul style="list-style-type: none"> 50% max. (340 spaces) 	<ul style="list-style-type: none"> 11% (74 spaces) 	<ul style="list-style-type: none"> None
Off-Street Parking Spaces – Tandem	<ul style="list-style-type: none"> Permitted 	<ul style="list-style-type: none"> Nil 	<ul style="list-style-type: none"> None
Bike Storage (Min.) - Class 1 @ 1.25/unit - Class 2 @ 0.2/unit	<ul style="list-style-type: none"> 500 - Class 1 80 - Class 2 	<ul style="list-style-type: none"> 500 - Class 1 80 - Class 2 	<ul style="list-style-type: none"> None
Electrical Vehicle (120-V) Charging Stations for Residents (Min.)	<ul style="list-style-type: none"> Off-Street Parking Spaces: <ul style="list-style-type: none"> 20% Stations (87) 25% Pre-ducted (108) Bike Storage (Class 1): <ul style="list-style-type: none"> 10% stations (50) 	<ul style="list-style-type: none"> Off-Street Parking Spaces: <ul style="list-style-type: none"> 20% Stations (87) 25% Pre-ducted (108) Bike Storage (Class 1): <ul style="list-style-type: none"> 10% stations (50) 	<ul style="list-style-type: none"> None
Electrical Vehicle (240-V) Charging Stations for the Public (Min.), as per RZ 12-610011	<ul style="list-style-type: none"> 2 stations for the 6 car-share spaces 	<ul style="list-style-type: none"> 2 stations for the 6 car-share spaces 	<ul style="list-style-type: none"> None
Off-Street Loading	<ul style="list-style-type: none"> 1 – Large-size 2 - Medium-size 	<ul style="list-style-type: none"> 2 – Medium-size NOTE: Large-size loading to be accommodated on-street on Hazelbridge Way 	<ul style="list-style-type: none"> Large loading reduced from 1 space to nil
Amenity Space - Indoor - 2 m ² /unit min.	<ul style="list-style-type: none"> 800 m² 	<ul style="list-style-type: none"> 800 m² 	<ul style="list-style-type: none"> None
Amenity Space – Outdoor - OCP: 6.0 m ² /unit min. - CCAP: 10% net site	<ul style="list-style-type: none"> 3,313 m², including: <ul style="list-style-type: none"> OCP: 2,400 m², including 600 m² children's play space CCAP: 913 m² 	<ul style="list-style-type: none"> 3,452 m², including: <ul style="list-style-type: none"> OCP: 2,539 m², including 604 m² children's play space CCAP: 913 m² 	<ul style="list-style-type: none"> None
Tree Replacement – On-Site - 2:1 replacement planting	<ul style="list-style-type: none"> 158 replacement trees 	<ul style="list-style-type: none"> 181 replacement trees 	<ul style="list-style-type: none"> None

**Excerpt from the Minutes from the
Advisory Design Panel Meeting
November 5, 2014, Richmond City Hall**

DP- 14-667322 – 400 DUS HIGH-RISE (3 TOWERS) AND PUBLIC PARKING STRUCTURE

APPLICANT: Pinnacle Living (Capstan Village) Lands Inc.

PROPERTY LOCATION: 3291, 3331 & 3371 Sexsmith Road, Capstan Village (Phase 1 of 4 phases)

Applicant's Presentation

John Bingham, Bingham Hill Architects, and Peter Kreuk, Durante Kreuk Ltd., presented the project and answered queries from the Panel on behalf of the applicant.

Panel Discussion

Comments from the Panel were as follows:

- well-designed project; appreciate the [rooftop] community gardens;
- understand the City's requirement, however, the project's objective to achieve LEED Silver equivalency is not a high standard; applicant is encouraged to achieve at least six energy points (i.e., one energy point above the current proposal for five) because the net effect will be significant given the size of the subject development and the developer's future phases;
 - ***The Phase 1 LEED Checklist has been revised as recommended.***
- well-thought out project; would have liked to see detailed drawings of lay-out of units but confident that the applicant is following disability guidelines;
 - ***Detailed unit layouts are included in the permit drawings and comply with City requirements.***
- overall form and development is well-handled; placement of density on the parcel is done well;
- towers are well-handled; however, concerned regarding the large scale of the north elevation facing Hazelbridge Way; elements introduced to break down the north façade are not sufficient; look at opportunities to further articulate the north façade, break down its mass, and possibly carve away a portion of the podium;
 - ***Design development has been undertaken to reduce the bulk of the Hazelbridge Way facade, including:***
 - i. ***Setting back of a portion of the tower's upper floors;***
 - ii. ***Relocating and re-sizing balconies to reduce the visual breadth of the tower; and***
 - iii. ***Introducing coloured metal panels running up the tower (from grade to top) to create a strong vertical element that attracts the eye , interrupts the length of the facade, marks the tower's entrance, and enhances the tower's apparent height.***
- introduction of accent colours is a positive approach; however, it needs to go further to further visually break down the project;
 - ***The use of colour has been made bolder including, along Hazelbridge Way (as above), the introduction of a bold, vertical stripe that enhances the identity and apparent height of the tower, while breaking down the scale of the facade, and, elsewhere, the removal of coloured glass spandrel "ribbons" in favour of larger areas of coloured metal panels.***

- ground plane is well-handled; however, look at the interface of the ARTS units with the public sidewalk to further enhance public engagement;
 - ***The proposed grade of Hazelbridge Way has been raised to provide direct, level access (i.e. no ramp or stairs required) to the ARTS Terraces along Phase 1's Hazelbridge Way and Sexsmith Road frontages from the north.***
- investigate handling of details; e.g. long-term maintenance of the garage doors [proposed as part of the ARTS units];
 - ***As per legal agreements registered on title, prior to Building Permit issuance for Phase 1, the ARTS units will be the subject of detailed design review and approval, to the satisfaction of the Director of Development, Manager of Community Social Development, and Director of Arts, Culture, and Heritage Services.***
- look at the spacing between the [lower five floors of the] west and north towers to mitigate shadowing and overlook and create more open space;
 - ***The applicant proposes to maintain the original spacing between the lower floors of the west and north towers on the basis that no primary residential living spaces are oriented to this area and its widening would result in increased bulk at upper levels, which could be visually unattractive and have shadowing impacts on- and off-site.***
- the project is well handled given its context;
- use of window wall is unrelenting; would be nice to see different materials on the building façades;
 - ***The applicant has increased the use of colour and metal panels. More significant variations in materials are proposed for future phases of the development.***
- the indoor amenity building appears lacking, e.g. the roof is uninteresting; consider a green roof and a more interesting roof form in view of the overlook from residential units above;
 - ***An extensive green roof is proposed over the entirety of the amenity building.***
- look at opportunities to reduce heat gain at the west elevation, e.g. reducing aperture and glazing;
 - ***Significant deciduous and evergreen tree planting has been added to the Mid-Block Trail that, together with future development west of the Trail, will help to mitigate heat gain issues along the building's west elevation. In addition, glazing performance measures will be reviewed in detail at Building Permit stage.***
- agree with comments that the project is well-designed; however, consider design development with regard to the frame elements, e.g. introduce more colours and materials to provide more visual interest;
 - ***As noted above, a bolder use of colour and changes to the building's massing and balconies have been introduced to, among other things, enhance visual interest.***
- landscaping is well resolved and organized; has strong series of program elements;
- pleased to see better than average materials palette;
- extensive green roofs is a positive approach; however, consider the foot traffic aspect as green roof plants are delicate for foot traffic;
 - ***Extensive green roofs are separated from high foot-traffic areas by various landscape features (e.g., changes in grade, curbs, shrubs, hedges). Green roof maintenance requirements are included in the landscape drawings.***

- appreciate the proposed mid-block walkway along the west side of Phase I and the Arbutus Walk example provided by the applicant; however, consider further design development to tie in with the richness and intricate details of the rest of the project;
 - ***The landscape treatment of the Mid-Block Trail has been further developed and now includes, in addition to pathways and lawns, seating, decorative lighting, public art, rain-gardens, indigenous planting, and a mix of deciduous and coniferous trees.***
- understand the ARTS units challenge on the streetscape; concern on the resolution of ramps; look at the slope of the ramps whether it meets the Building Code requirement; look at how to better integrate the ramp and consider the safety aspect in view of its proximity to the garage entry;
 - ***As noted above, the proposed grade of Hazelbridge Way has been raised to provide direct, level access to the ARTS Terraces from Hazelbridge Way. Public safety will be further enhanced through the introduction of changes in paving treatments, bollards, and signage signalling the locations of the proposed parking garage entrances.***
- look at the corner treatment of the ARTS unit and public terrace at the Hazelbridge Way and Sexsmith Road corner; and
 - ***As a result, in part, of the proposed changes to the grade of Hazelbridge Way, it has been possible to open up the corner of the ARTS Terrace with a broad stair oriented towards the intersection, complemented by planting, refinements to the building facade, and public art (as per the Detailed Public Art Plan for Phase 1).***
- look at the placement of trees and changes in grade on the landscaped podium along the primary walkways to ensure adequate privacy to private patios.
 - ***Additional trees and shrubs have been added to enhance privacy at the patios.***

Panel Decision

It was moved and seconded

That DP 14-667322 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Panel.

CARRIED

Attachment 3 LEED Checklist



Working Draft of
LEED Canada-NC
2009 Project
Checklist



Pottinger Gaherty
1000-1100 West Georgia Street
Vancouver, BC V6E 4K1
www.pottingergaherty.com

Project Phase: DP Level Assessment
Date: 23-Oct-14
Address: Phase 1 B Capstar Village, Richmond BC

PGL Proj#: 3374-04.01

Yes + No			26 Points	Lead	LEED Requirement	Implementation Timing	
19	3	4	Sustainable Sites				
			Prereq 1 Erosion & Sedimentation Control	Required	Civil	Create Erosion and Sediment Control Plan for construction phase of development.	Construction
1			Credit 1 Site Selection	1	Sustainability Consultant	Do not develop property on prime farmland or previously undeveloped or graded land.	Design
5			Credit 2 Development Density	5	Arch	Conform with a minimum development density of 13,800m ² /ha/s and meet community connectivity requirements.	Design
		1	Credit 3 Redevelopment of Contaminated Site	1	Owner	Develop on a contaminated site and provide remediation by Provincial Contaminated Sites Program	Design
6			Credit 4.1 Alternative Transportation, Public Transportation Access	6	Sustainability Consultant	Locate within 400m of two bus lines.	Design
1			Credit 4.2 Alternative Transportation, Bicycle Storage & Changing Rooms	1	Arch	Covered storage facilities for securing bicycles for 15% or more of occupants. This can include storage rooms and bike racks.	Design
2	1		Credit 4.3 Alternative Transportation, Low-Emitting & Fuel-Efficient Vehicles	3	Owner	Install alternative-fuel refueling stations for 3% of total vehicle parking capacity or provide fuel-efficient vehicles and parking for these vehicles. An additional option is to provide occupants access to fuel-efficient vehicle sharing program and providing easy access to parking.	Design
	2		Credit 4.4 Alternative Transportation, Parking Capacity	2	Arch	Size parking capacity to meet, but not exceed, minimum local zoning requirements and provide easy access to mass transit. Project does not exceed 3.5parking spaces per 93 sqm of floor area.	Design
		1	Credit 5.1 Site Development, Protect or Restore Habitat	1	Landscape	Restore or protect minimum of 50% of the site area (excluding building footprint) or 20% of total site area with native or adapted vegetation. Vegetated roof surface can be included in this calculation if it is native or adaptive.	Design
		1	Credit 5.2 Site Development, Maximize Open Space	1	Landscape	Exceed local zoning requirements for open space by 25%. Vegetated roof areas and pedestrian orientated hardscape areas can contribute to open space.	Design
1			Credit 6.1 Storm Water Management, Rate and Quantity	1	Landscape/Sustainability Consultant	Implement storm water management plan that results in a 25% decrease (compared to pre-development) in the rate and volume of stormwater runoff from the 2-year 24-hour design storms.	Construction
		1	Credit 6.2 Storm Water Management, Treatment	1	Mech	Storm water management plan that promotes infiltration and captures/treats 90% of storm water runoff. The plan is designed to remove 80% of the average annual post-development total suspended solids (TSS).	Construction
1			Credit 7.1 Heat Island Effect, Non-Roof	1	Arch	Place minimum 50% of parking underground or within a covered structure.	Design
1			Credit 7.2 Heat Island Effect, Roof	1	Arch	75% or greater of roof area has solar reflective Index (SRI) of 76 (low-sloped roof) or 29 (steep-sloped roof). Items such as white cement tile, white coated gravel on built up roof have high SRI values (greater than 76). Or Install vegetated roof for 50% of roof area. Covered parking structures do not count towards this credit.	Design
1			Credit 8 Light Pollution Reduction	1	Elec	Reduce light trespass from building and site. Interior Lighting: Reduce the input power (by automatic device) of all non-emergency interior luminaires with a direct line of sight to any openings in the envelope (translucent or transparent) by at least 50% between the hours of 11pm and 5am. After hours override may be provided by a manual or occupant sensing device provided the override lasts no more than 30 minutes. OR All openings in the envelope (translucent or transparent) with a direct line of sight to any non-emergency luminaires must have shielding (controlled/closed by automatic device for a resultant transmittance of less than 10% between the hours of 11am and 5pm). Exterior Lighting: Partially or fully shield all exterior luminaires with 1000 initial lamp lumens or more to meet the Full Cutoff IESNA Classification so they do not emit light directly to the night sky.	Construction

Yes	No	Points	Lead	LEED Requirement	Implementation Timing			
4	2	4	Water Efficiency	10 Points				
			Prereq 1	Water Use Reduction	Required	Mech	Use 20% less water than a baseline building (not including irrigation).	Construction
2			Credit 1.1	Water Efficient Landscaping, Reduce by 50%	2	Land	Reduce potable water consumption for irrigation by 50% over conventional means.	Construction
		2	Credit 1.2	Water Efficient Landscaping, No Potable Use or No Irrigation	2	Land	Use only captured rain or recycled site water to eliminate all potable water use for site irrigation (except for initial watering to establish plants).	Construction
		2	Credit 2	Innovative Wastewater Technologies	2	Mech	Reduce potable water for sewage conveyance by 50% or treat 50% of wastewater on-site to tertiary standards.	Construction
2			Credit 3.1	Water Use Reduction, 30% Reduction	2	Mech	Employ strategies that in aggregate use 30% less water than in the water use baseline calculated for the building (not including irrigation).	Construction
			Credit 3.2	Water Use Reduction, 35% Reduction	1	Mech	Employ strategies that in aggregate use 35% less water than in the water use baseline calculated for the building (not including irrigation).	Construction
			Credit 3.2	Water Use Reduction, 40% Reduction	1	Mech	Employ strategies that in aggregate use 40% less water than in the water use baseline calculated for the building (not including irrigation).	Construction

Yes	No	Points	Lead	LEED Requirement	Implementation Timing			
7	28	35	Energy & Atmosphere	35 Points				
			Prereq 1	Fundamental Building Systems Commissioning	Required	Mech	Implement all of the following commissioning procedures: 1. Engage commissioning personnel. 2. Develop design intent. 3. Include commissioning requirements in construction documents. 4. Develop and implement commissioning plan. 5. Verify installation and performance of systems to be commissioned. 6. Complete summary commissioning report.	Construction
			Prereq 2	Minimum Energy Performance	Required	Mech	New buildings: design energy cost improvement by 23% over MNECB reference case OR energy cost improvement by 10% over ASHRAE/IESNA 90.1-2007 reference case.	Construction
			Prereq 3	CFC Reduction In HVAC&R Equipment	Required	Mech	Zero use of CFC-based refrigerants in new base building HVAC&R systems.	Occupancy (Occupancy Permit)
5	14	1 to 19	Credit 1	Optimize Energy Performance	1 to 19	Mech	Improve energy cost compared to the energy cost of MNECB or ASHRAE/IESNA Standard 90.1-2007 reference building. New Building: 12% Reduction required for 1 Point (20% Reduction for 5 Points) MNECB/ASHRAE: 1(25/12); 2(27/14); 3(28/15); 4(30/18); 5(32/20); 6(33/22); 7(35/24); 8(26/50); 9(28/55); 10(30/60) etc.	Construction
		7	Credit 2.1	On-Site Renewable Energy	1 to 7	Owner	Use on-site renewable energy systems to offset building energy cost. New Building % of renewable energy generated on-site: 1 (1%), 2 (3%), 3 (5%),... etc.	Construction
		2	Credit 3	Enhanced Commissioning	2	Mech	Implement additional commissioning tasks: 1. Engage Independent Commissioning Authority to oversee commissioning activities. 2. Conduct commissioning design review and review construction documents when close to completion. 3. Selective review of contractor submittals of commissioned equipment (all by independent authority) 4. Provide recommissioning manual. 5. Have a contract in place to review ops. with O&M staff including: report and process plan for IAQ concerns; plan for issues resolution within one year of construction completion.	Construction
2			Credit 4	Enhanced Refrigeration Management	2	Mech	Do not use refrigerants or install base building level HVAC and fire suppression equipment that do not contribute to ozone depletion (no HCFCs, CFCs, halons and HFCs etc.).	Construction
		3	Credit 5	Measurement & Verification	3	Mech	Develop a measurement and verification plan. The plan must cover at least 1 year of post-construction occupancy. Typically requires metering for central equipment and common utilities. If energy savings are not being achieved develop corrective actions.	Occupancy (Occupancy Permit)
		2	Credit 6	Green Power	2	Owner	Engage in at least 2-yr renewable energy contract to provide at least 35% of the building's electricity from renewable sources. For a building of this size it will cost approximately an extra \$3,500 per month in energy costs.	Occupancy (Occupancy Permit)

Yes	No						
11		4	Indoor Environmental Quality	15 Points	Lead	LEED Requirement	Implementation Timing
			Prereq 1 Minimum IAQ Performance	Required	Mech	Meet the minimum requirements of Sections 4 through 7 of ASHRAE 62.1-2007, Ventilation for Acceptable Indoor Air Quality (with errata but without addenda). Mechanical ventilation systems must be designed using the ventilation rate procedure or the applicable local code, whichever is more stringent. Naturally ventilated buildings must comply with ASHRAE 62.1-2007, paragraph 5.1 (with errata but without addenda).	Construction
			Prereq 2 Environmental Tobacco Smoke (ETS) Control	Required	Mech / Owner	Prohibit smoking in all common areas of the building. Locate exterior designated smoking areas at least 7.5m from entries, outdoor air intakes etc. Weather strip all exterior doors and operable windows in residential units. Sealing penetrations in walls, ceilings and floors in each unit. Or just prohibit smoking anywhere in building or with 7.5m from entries, outdoor air intakes etc.	Construction
		1	Credit 1 Outdoor Air Delivery Monitoring	1	Mech/Elec	Install permanent monitoring systems to ensure that ventilation systems maintain design minimum requirements. Install CO2 (every unit) and outdoor intake airflow monitoring system (each supply duct). Airflow monitoring devices can cost \$1,000 to \$5,000 per monitor and CO2 sensor can cost \$500-\$1,000 per unit including installation.	Construction
		1	Credit 2 Increased Ventilation	1	Mech	Design ventilation systems in accordance with ASHRAE 62.1-2007 and provide outside air through a central or individual system, ducted directly to the suite with air distributed to all regularly occupied areas in the suite. Project is using an air source VRF (Variable Refrigerant Flow) System for the heating and cooling system on this project.	Construction
		1	Credit 3.1 Construction IAQ Management Plan: During Construction	1	Contractor	Develop an Indoor Air Quality (IAQ) Management Plan for construction and pre-occupancy phases. The aim on this project is to provide a high performance, functional building enclosure. This is achieved through careful material selection and detailing for durability as well as consistent design with specific attention to continuity of the air, vapour, moisture, and thermal barriers. The exterior cladding system is a durable rainscreen brick veneer. The target effective R-value for the framed walls and roofs is R22 (U0.045) which exceeds the prescriptive requirements of the Energy Standard, ASHRAE 90.1-10.	Construction
		1	Credit 3.2 Construction IAQ Management Plan: Testing Before Occupancy	1	Contractor	Develop an Indoor Air Quality (IAQ) Management Plan and implement it after all finishes have been installed and the building has been completely cleaned before occupancy. This can be done by using air to flush-out building (most common) or testing air for a number of parameters before occupancy.	Occupancy (Occupancy Permit)
		1	Credit 4.1 Low-Emitting Materials: Adhesives & Sealants	1	Arch/Int	The VOC content of adhesives, sealants and sealant primers used must be less than VOC content limits of the State of California's South Coast Air Quality Management District (SCAQMD) Rule #1168.	Construction
		1	Credit 4.2 Low-Emitting Materials: Paints and Coating	1	Arch/Int	Paints and coatings of interior of building must meet or exceed the VOC and chemical component limits of Green Seal's Standard GS-11 Jan., 1997 requirements.	Construction
		1	Credit 4.3 Low-Emitting Materials: Flooring Systems	1	Arch/Int	Use carpet that meet or exceed reqs. Of Carpet and Rug Institute's Green Label Plus Program. Resilient flooring, rubber flooring and prefinished wood flooring all must be Floorscore or GreenGuard certified. Wood, concrete and other flooring installed raw need not be certified as long as adhesives, coatings and sealants meet requirements of MR Credit 4.1/4.2.	Construction
		1	Credit 4.4 Low-Emitting Materials: Composite Wood	1	Arch/Int	Composite wood and agrifiber products, including core materials, must contain no added urea-formaldehyde resins. Adhesives used to fabricate laminated assemblies containing these products must contain no added urea-formaldehyde resins.	Construction
		1	Credit 5 Indoor Chemical & Pollutant Source Control	1	Arch / Mech	Employ permanent entryway systems (grills, gates, etc.) to capture dirt, particulates, etc. from entering the building at all high volume entryways, AND sufficiently exhaust each spaces where hazardous gases or chemicals may be stored (garages, housekeeping/laundry areas etc.) and separate with deck-to-deck partitions or a hard-lid ceiling.	Construction
		1	Credit 6.1 Controllability of Systems: Lighting	1	Arch / Elec	Individual lighting controls for greater than 50% (minimum) of the building occupants to enable adjustments to suit individual's needs. Provide lighting system controls for all shared multi-occupant spaces that complies with ASHRAE/IESNA Standard 90.1-2007 section 9.4.1.2 (lighting).	Construction
		1	Credit 6.2 Controllability of Systems: Thermal Comfort	1	Mech	Provide individual comfort controls (temperature/operable windows) for each regularly occupied space to enable adjustments to meet individual needs. Operable windows can be used as comfort controls. The areas of operable windows must meet the requirements of ASHRAE Standard 62.1-2007-Ventilation for Acceptable Indoor Air Quality, paragraph 5.1 Natural Ventilation. Typically occupants in regularly occupied spaces (living rooms) are within 13.5m ² of a operable window.	Construction

1			Credit 7.1 Thermal Comfort: Design	1	Mech	Comply with ASHRAE Standard 55-2004, Thermal Comfort Conditions for Human Occupancy.	Construction
		1	Credit 7.2 Thermal Comfort: Verification	1	Mech	Provide a permanent monitoring system to ensure building performance to the desired comfort criteria as determined by IEQ Credit 7.1., Thermal Comfort - Design. Where the occupant has control over the unit temperature, it is acceptable to have standalone displays of temperature.	Construction
1			Credit 8.1 Daylight & Views: Daylight	1	Arch	75% or more of all regularly occupied spaces (living rooms) achieve daylight illuminance levels of a minimum 250 Lux and a maximum of 5,000 Lux on Sept 21 or March 21 at 9am and 3pm.	Construction
1			Credit 8.2 Daylight & Views: Views	1	Arch	Achieve direct line of sight to outdoor environment via vision glazing between 0.75m and 2.3m above the finished floor for building occupants in 90% of all regularly occupied areas (living rooms).	Construction

5		1	Innovation & Design Process	6 Points	Lead	LEED Achievement	Implementation Timing
1			Credit 1.1 Innovation In Design	1	Sustainability Consultant	90% construction waste management	Construction
1			Credit 1.2 Innovation In Design	1	Landscape Arch	Over 90% underground/covered parking	Design
1			Credit 1.3 Innovation In Design	1	Arch	Proximity to transit (100m to skytrain, bus route out front), walking distance to shopping.	Design
1			Credit 1.4 Innovation In Design	1	Arch	Long-term, affordable and sustainable energy plan. District Energy Utility	Design
		1	Credit 1.5 Innovation In Design	1	N/A	Not proposed	Design
1			Credit 2 LEED® Accredited Professional	1	Sustainability Consultant	At least one principal participant of the project team that has successfully completed the LEED Accredited Professional exam.	Design

1		3	Regional Priorities	4 Points	Lead	LEED Achievement	Implementation Timing
		1	Credit 1 Durable Building	1	Owner	Green housekeeping	Occupancy
1			Credit 2 Regional Priority Credit	1	Arch	Utilizing District Energy Utility	Design
		1	Credit 2 Regional Priority Credit	1	N/A	Not proposed	N/A
		1	Credit 2 Regional Priority Credit	1	N/A	Not proposed	N/A

53	5	52	Project Totals (pre-certification estimates)	110 Points
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Certified 40-49 points Silver 50-59 points Gold 60-79 points Platinum >80 points



City of Richmond

Development Permit Considerations
Development Applications Division
6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 3291, 3331, and 3371 Sexsmith Road

File No.: DP 14-667322

Prior to approval of the Development Permit, the developer is required to complete the following:

1. Rezoning (RZ 12-610011): Final adoption of the Zoning Amendment Bylaw No. 9135, including the developer's compliance with the terms of the Rezoning Considerations, as approved by Council, which include:
 - 1.1. Provincial Ministry of Transportation and Infrastructure approval; *[Complete. REDMS #4261072]*
 - 1.2. Subdivision plan registration, which requires that the developer satisfies road dedication, land transfer (park), right-of-way (public passage and utilities), and related requirements;
 - 1.3. Driveway crossing agreements registration;
 - 1.4. Cross access (vehicle) agreements registration;
 - 1.5. Cross access (shared indoor and outdoor amenity) agreements registration;
 - 1.6. Flood indemnity covenant registration;
 - 1.7. Aircraft Noise Sensitive Development (ANSD) covenant registration;
 - 1.8. View blockage, Canada Line, and other development impacts covenants registration;
 - 1.9. District Energy Utility (DEU) covenant registration;
 - 1.10. Capstan Station Bonus covenant registration;
 - 1.11. Transition parking and transportation demand management requirements, including:
 - 1.11.1. Public parking agreement registration;
 - 1.11.2. Car-share parking agreement registration;
 - 1.11.3. Transit shelter voluntary cash-in-lieu developer contribution (\$60,000);
 - 1.11.4. Pedestrian mobility enhancements voluntary cash-in-lieu developer contribution (\$220,000);
 - 1.11.5. Electric vehicle (on-street) charging stations, secured via SA 14-671776 and a voluntary cash-in-lieu developer contribution (\$15,000); and
 - 1.11.6. Park frontage works, secured via SA 14-671777 and phasing covenant registration for future off-site works;
 - 1.12. Tandem parking covenant registration;
 - 1.13. Affordable housing, including:
 - 1.13.1. For Lot 1, Housing Agreement Bylaw adoption and Housing Covenant registration; and
 - 1.13.2. For Lots 2-4, phasing covenant registration for future, lot-by-lot, Housing Agreement Bylaw adoption and Housing Covenant registration;
 - 1.14. Artist Residential Tenancy Studio (ARTS) units (Lot 1 only), including Housing Agreement Bylaw adoption and Housing Covenant registration;
 - 1.15. Early Childhood Development (ECD) Hub agreement registration for the developer's future construction of the facility on Lot 2 and its transfer to the City;
 - 1.16. Public art covenant registration, including a plan for phased (lot-by-lot) implementation;
 - 1.17. Tree protection and replacement covenant registration;
 - 1.18. Phasing covenant registration;

- 1.19. Community planning voluntary developer contribution (\$323,873);
- 1.20. Development Permit processing for the subject site (Lot 1) to the satisfaction of the Director of Development (DP 14-667322); and
- 1.21. Servicing Agreement registration, secured with Letters of Credit, including:
 - 1.21.1. Engineering and road design and construction (SA 14-671776); and
 - 1.21.2. Park design and construction (SA 14-671777).
- 2. Landscape Security: Receipt of a Letter of Credit for landscaping in the amount of \$1,574,807.30, the value of which is based on 100% of the sealed cost estimate provided by the Landscape Architect, including labour and 10% contingency. (For the sealed cost estimate, see: REDMS #4439513)
- 3. “No Development”: Compliance with the terms of the restrictive covenants registered on title to Lot 1 prior to rezoning adoption of RZ 12-610011, which include:
 - 3.1. View Blockage and Other Development Impacts: Submission of a Letter of Assurance from a certified professional confirming that the subject development has been designed in accordance with the covenant, including the reports for the acoustic, mechanical, and architectural professionals attached as a schedule to the covenant.
 - 3.2. Public Parking Facility: Completion of the parking design to the satisfaction of the Director of Development and Director of Transportation.
 - 3.3. Car-Share Parking Spaces: Completion of the parking design to the satisfaction of the Director of Development and Director of Transportation.
 - 3.4. Affordable Housing: Compliance with the terms of the Housing Agreement and Housing Covenant with respect to affordable housing units on Lot 1, which indicate that they apply in perpetuity and provide for, but are not limited to, 11 affordable rental units as per the following:

Unit Type	Number of Units	Minimum Unit Sizes	Maximum Monthly Rent	Total Household Annual Income
1 Bedroom	2	50 m2 (535 ft2)	\$950	\$38,000 or less
2 Bedroom	7	80 m2 (860 ft2)	\$1,162	\$46,500 or less
3 Bedroom	2	91 m2 (980 ft2)	\$1,437	\$57,500 or less

NOTE: “Maximum Monthly Rent” and “Total Household Annual Income” may be adjusted periodically as provided for under adopted City policy. “Total Household Annual Income” may be increased annually by the Consumer Price Index.

- 3.5. Artist Residential Tenancy Studio (ARTS) Units: Compliance with the terms of the Housing Agreement and Housing Covenant with respect to ARTS units on Lot 1, which indicate that they apply in perpetuity and provide for, but are not limited to, 17 affordable rental units for professional artists as per the following:

Unit Type	Number of Units	Minimum Unit Sizes	Maximum Monthly Rent	Total Household Annual Income
ARTS bachelor	5	74 m2 (797 ft2)	\$850	\$34,000 or less
ARTS 1-bedroom	7	74 m2 (797 ft2)	\$850	\$34,000 or less
ARTS 2-bedroom	5	91 m2 (980 ft2)	\$850	\$34,000 or less

NOTE: “Maximum Monthly Rent” and “Total Household Annual Income” may be adjusted periodically as provided for under adopted City policy. “Total Household Annual Income” may be increased annually by the Consumer Price Index.

- 3.6. Public Art:
 - 3.6.1. Submission of a Detailed Public Art Plan for Lot 1, to the satisfaction of the Director of Arts, Culture, and Heritage Services and Director of Development (which may include consideration by the Richmond Public Art Committee), which provides for public art off-site

at the Neighbourhood Park and on-site at two locations on Lot 1 and has a combined total value equal to or greater than \$272,468.

- 3.6.2. City acceptance of a Letter of Credit for Lot 1 public art in the amount of \$272,468.
- 3.7. Tree Protection and Compensation:
 - 3.7.1. Enter into a Servicing Agreement for the design and construction of the City-owned Neighbourhood Park (SA 14-671777), which agreement shall include, among other things, the retention of existing trees within the park, to the satisfaction of the Senior Manager of Parks.
 - 3.7.2. City acceptance of the developer’s offer to voluntarily contribute \$6,500 to the City’s Tree Compensation Fund for the planting of replacement trees within the city in lieu of replacing City-owned trees removed by the developer from existing or proposed dedicated roads.
 - 3.7.3. Submission of a Contract entered into between the applicant and a Certified Arborist for supervision of any on-site works conducted within the tree protection zone of the trees to be retained. The Contract should include the scope of work to be undertaken, including: the proposed number of site monitoring inspections, and a provision for the Arborist to submit a post-construction assessment report to the City for review. (Complete. REDMS #4429526)
 - 3.7.4. Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities, including demolition, occurring on-site.

Prior to Building Permit Issuance, the developer must complete the following requirements:

- 1. “No Build”: Compliance with the terms of the restrictive covenants registered on title to Lot 1 prior to rezoning adoption of RZ 12-610011, which include, but may not be limited to, the following:
 - 1.1. Capstan Station Bonus: City acceptance of the developer’s offer to voluntarily contribute funds to the Capstan Station Reserve as required by the provisions of the Zoning Bylaw.
 - 1.2. District Energy Utility (DEU): Submission of a Letter of Assurance from a certified professional confirming that the building is designed with the capability to connect to and be serviced by a DEU and the owner has provided an energy modelling report satisfactory to the Director of Engineering.
 - 1.3. Mid-Block Trail: The design must be to the satisfaction of the Senior Manager of Parks and Director of Development.
 - 1.4. Aircraft Noise Sensitive Development (ANSD): Submission of a report and recommendations prepared by an appropriate registered professional(s), which demonstrate that the interior noise levels and thermal conditions comply with the City’s Official Community Plan requirements for Aircraft Noise Sensitive Development. The standard required for air conditioning systems and their alternatives (e.g. ground source heat pumps, heat exchangers and acoustic ducting) is the ASHRAE 55-2004 “Thermal Environmental Conditions for Human Occupancy” standard and subsequent updates as they may occur. Maximum interior noise levels (decibels) within the dwelling units must achieve CMHC standards as follows:

Portions of Dwelling Units	Noise Levels (decibels)
Bedrooms	35 decibels
Living, dining, recreation rooms	40 decibels

- 1.5. View Blockage and Other Development Impacts: Submission of a Letter of Assurance from a certified professional confirming that the subject development has been designed in accordance with the covenant and attached report.

1.6. Canada Line: Submission of a report and recommendations prepared by an appropriate registered professional(s), to the satisfaction of the Director of Development and Senior Manager of Building Approvals, which demonstrate that:

- a) Maximum interior noise levels (decibels) within the dwelling units and other noise sensitive uses will achieve CMHC standards as follows, taking into consideration, among other things, existing and future rail operation-specific noise (e.g., squealing rails; station announcements; night-time operations; voices, especially at peak periods, early mornings, and late nights):

Portions of Building	Noise Levels (decibels)
Bedrooms	35 decibels
Living, dining, recreation rooms	40 decibels

- b) With respect to achieving the required CHMC interior noise standards, the standard required for air conditioning systems and their alternatives (e.g. ground source heat pumps, heat exchangers and acoustic ducting) shall comply with the ASHRAE 55-2004 “Thermal Environmental Conditions for Human Occupancy” standard and subsequent updates as they may occur.
- c) Other potential livability impacts arising through the proximity of the subject development to existing and future Canada Line infrastructure and operations will be effectively mitigated, which include, but may not be limited to, issues of overlook and reduced privacy due to the elevation of the trains and station platforms; light impacts caused by the trains, station, platforms, and associated public spaces; and, vibration.

For the purpose of the report, recommendations, and required mitigation measures, affected developments shall include all developments situated, in whole or in part, within 100 m of the Canada Line right-of-way, or as otherwise determined to the satisfaction of the Director of Development and Senior Manager of Building Approvals, that include Canada Line sensitive uses, which shall be defined as the following:

- a) Residential, meaning all residential uses, including multiple-family dwellings, live/work units, work/live units, and nursing homes;
- b) School, meaning all public and private places where K-12 education is offered, as per provincial requirements;
- c) Child care, meaning all licensed child care uses; and
- d) Hospital, meaning all places that provide medical services, as per provincial requirements, where patients may stay overnight or for longer periods of time.

1.7. Public Parking Facility: Inclusion of the parking in the Lot 1 Building Permit as required by the Development Permit.

1.8. Car-Share Parking Spaces: Inclusion of the parking in the Lot 1 Building Permit as required by the Development Permit.

1.9. Affordable Housing: Inclusion of the units in the Lot 1 Building Permit as required by the Development Permit

1.10. ARTS Units: Completion of the design to the satisfaction of the Director of Development, Manager of Community Social Development, and Director of Arts, Culture, and Heritage Services and the inclusion of the units in the Lot 1 Building Permit.

1.11. Additional Legal Agreements: Registration of all necessary additional legal agreements identified through the Building Permit approval processes for Lot 1 to the satisfaction of the Director of Development, Director of Engineering, Director of Transportation, Senior Manager of Park, and Senior Manager of Building Approvals

2. Construction Parking and Traffic Management Plan: Submission of a Plan to the Transportation Division. The Management Plan shall include locations for parking for services, deliveries, workers, and loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
3. Accessibility: Incorporation of accessibility measures in the Building Permit as required by the Development Permit (e.g., aging in place features and Basic Universal Housing units).
4. Landscape: Submission of a Letter of Assurance from a registered professional confirming that the following features are appropriately provided for in the Building Permit as required by the Development Permit:
 - 4.1. Hose bibs and related features; and
 - 4.2. Green roofs.
5. Sustainability:
 - 5.1. LEED: Submission of a Letter of Assurance from a registered professional confirming that the site specific measures identified at Development Permit stage are appropriately provided for in the Building Permit to achieve LEED Silver or better (equivalency).
 - 5.2. Electric Vehicle (EV) Charging Stations: Incorporation of on-site EV charging requirements in the Lot 1 Building Permit for resident parking (i.e. 120V duplex outlets and pre-ducting for future service), Class 1 bike parking, and the Public Parking Facility (i.e. 240V quick-charge stations serving the designated Car-Share Parking Spaces) as required by the Development Permit.
6. Hoarding: Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Division at 604-276-4285.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.
- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

SIGNED COPY ON FILE (REDMS #4440687)

Signed _____

Date _____



No. DP 14-667322

To the Holder: Pinnacle Living (Capstan Village) Lands Inc.
Property Address: 3291, 3331, and 3371 Sexsmith Road
Address: 300 – 911 Homer Street, Vancouver, BC V6B 2W6

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500", as amended by zoning amendment Bylaw No. 9135, is hereby varied to:
 - a) Reduce the minimum required number of on-site, loading spaces for large-size vehicles from one (1) to nil;
 - b) Increase the maximum distance that balconies may project into the required road setback near the intersection of Sexsmith Road and Hazelbridge Way from 1.0 m (i.e. one third of the minimum required setback) to 1.31 m;
 - c) Increase the maximum distance that architectural features may project into the required road and park setback from 0.6 m to 2.24 m; and
 - d) Increase the maximum distance that canopies may project into the required road and park setback from 1.5 m (i.e. 50% of the required setback) to 2.92 m.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #24c attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$1,574,807.30 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.

Development Permit
No. DP 14-667322

To the Holder: Pinnacle Living (Capstan Village) Lands Inc.

Property Address: 3291, 3331, and 3371 Sexsmith Road

Address: 300 – 911 Homer Street, Vancouver, BC V6B 2W6

- 7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.
- 8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

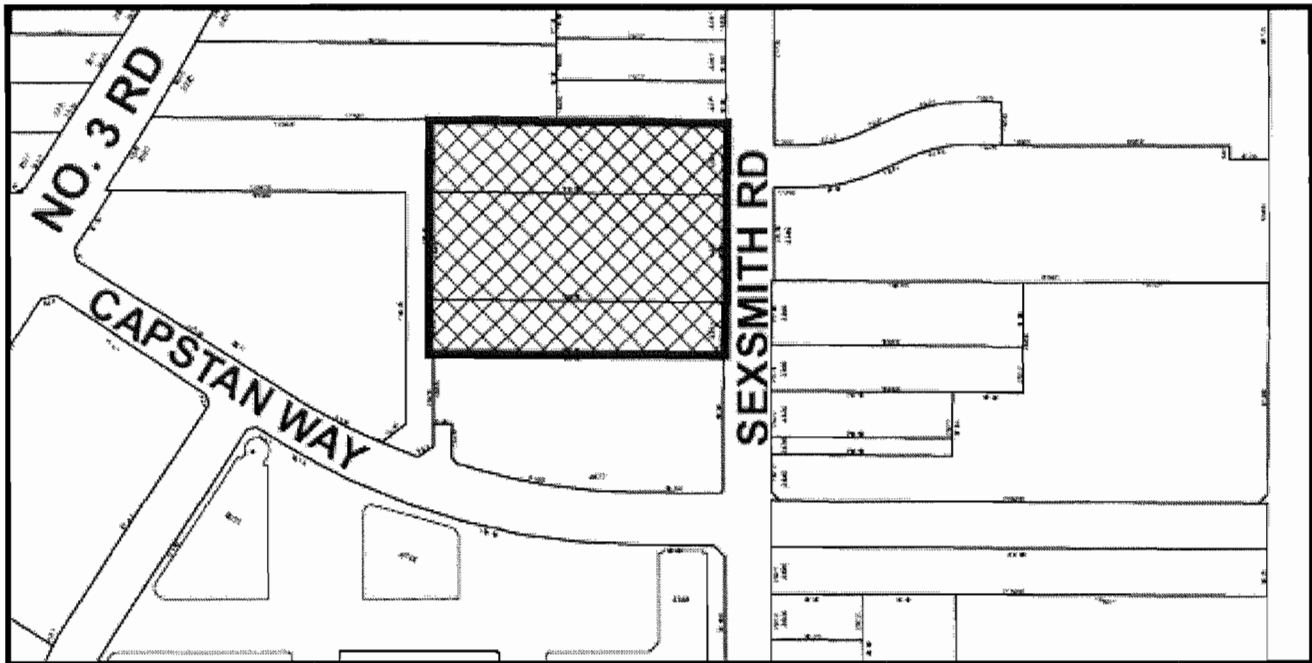
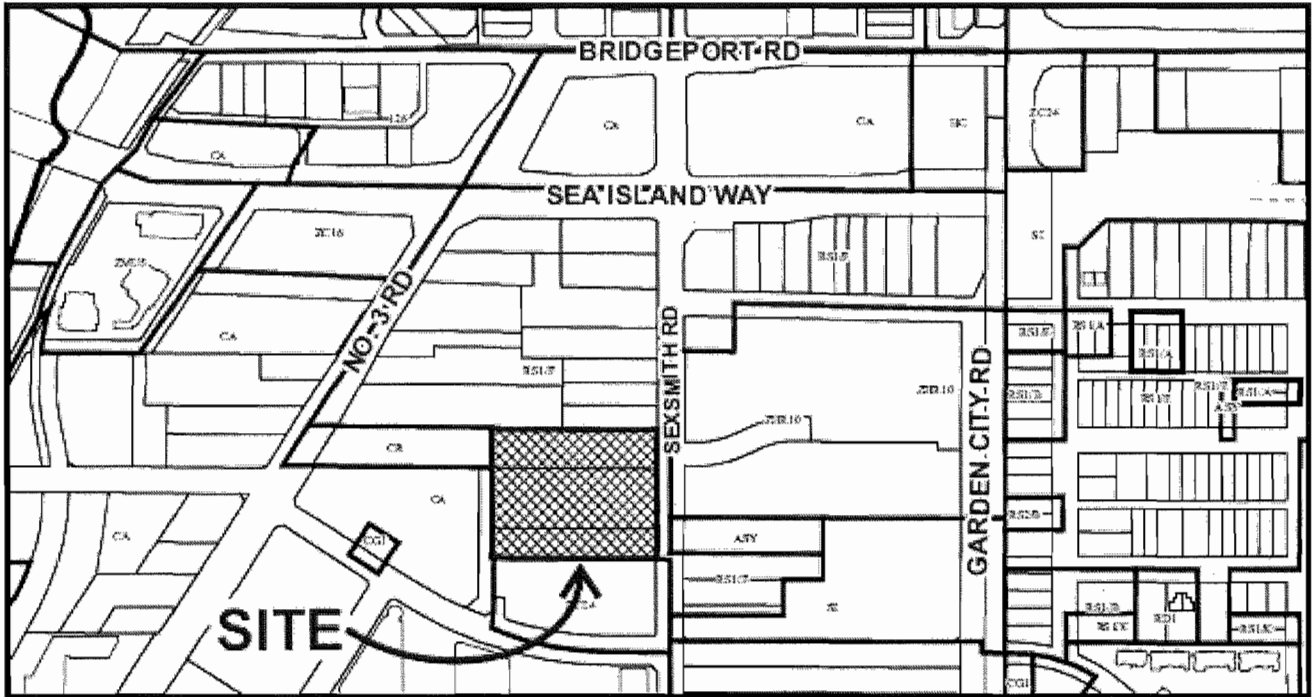
AUTHORIZING RESOLUTION NO.
DAY OF

ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

MAYOR

Schedule "A" attached to and forming part of DP 14-667322



	<p>DP 14-667322 SCHEDULE "A"</p>	<p>Original Date: 07/11/14</p>
		<p>Revision Date:</p>
		<p>Note: Dimensions are in METRES</p>

City of Richmond Notes:

- Variations are indicated on the Site Plan.
- Statutory right-of-ways are indicated on the Parking Plan (Level P1) and the Landscape Plan (L-1).
- 11 Affordable Housing Units, secured with a Housing Agreement, are "hatched" and labelled on Levels 3, 4, 5, and 6.
- 17 Artist Residential Tenancy Studio (ARTS) units, secured with a Housing Agreement, are "hatched" and labelled on Levels 1 and 2.
- Aging-in-Place features shall be included in all units and shall include, but may not be limited to:
 - Stairwell hand rails;
 - Lever-type handles for plumbing fixtures and door handles; and
 - Solid blocking in washroom walls to facilitate future grab bar installation (by others) beside toilets, bathtubs, and showers.
- 49 Basic Universal Housing (BUH) units, are "hatched" and labelled on Levels 1, 3, 4, 5, 6, 7, and 8, including:
 - 37 market units;
 - 11 affordable housing units; and
 - 1 ARTS unit (6%).

Note: The proposed development does not utilize the permitted BUH density exclusion.

- Residential Amenity Spaces (indoor and outdoor) at Level 4 shall be constructed to facilitate the unrestricted access by the residents of 8677 Capstan Way (and to facilitate the residents of the subject site to have unrestricted access to indoor and outdoor amenity spaces on 8677 Capstan Way that are contiguous with the Level 4 amenity spaces on the subject site), as per reciprocal legal agreements are registered on the titles of both lots.
- Parking, Loading, and Waste Removal: Legal agreements are registered on the subject site and 8677 Capstan Way to permit:
 - Shared use of vehicle access for residents and service uses;
 - Waste removal for 8677 Capstan on the subject site; and
 - 70 resident parking spaces for the subject site on 8677 Capstan Way (i.e. 27 at Level P1 and 43 at Level 3).
- Public Parking Facility (325 spaces) shall be co-located on the subject site and 8677 Capstan Way, as per reciprocal legal agreements registered on title. The Public Parking Facility includes:
 - 125 spaces that may be assigned (e.g. leased for weekly, monthly, or annual use) on Level 2 of the subject site; and
 - 201 spaces that must be pooled together for the short-term (i.e. hourly) use of the general public Level 1 and 2 of the subject site and the contiguous levels of 8677 Capstan Way, including:
 - 5 car-share spaces, secured via a legal agreement;
 - 119 public spaces required for RZ 12-6-10011;
 - 36 visitor spaces required for the subject site; and
 - 40 visitor spaces required for 8677 Capstan Way.

	8677 Capstan (Existing)	Subject Site	Total
Level 1	65	132	197
Level 2	4	125	129
Total	69	257	326

- Electric vehicle charging infrastructure, including:
 - For residents:
 - 87 @ 120V stations
 - 108 @ pre-ducting for future 120V stations
 - 50 @ Class 1 bike storage
 - Public Parking Facility:
 - 2 @ 240V stations, to be located with the designated car-share spaces

PROJECT INFO	3291, 3331 & 3371 Sexsmith Rd
CIVIC ADDRESS	
LEGAL DESCRIPTION	To Be Determined
ZONING	ZMU25
EXISTING USE	Single-Family
PERMITTED USES	Town Housing Apartment Housing Artist Residential Tenancy Studios (A.R.T.S.)
PROPOSED USE	L1-L2: A.R.T.S. & Town Housing L3-L14: Apartment Housing

SITE	ALLOWABLE	PROPOSED
SITE SIZE	129,48m x 71.87m	32,904.9 m ²
SITE AREA	9,131.0 m ²	845.4 m ²
LOT COVERAGE	81.0%	1,393.8 m ²
DENSITY (GFA)		35,144.1 m ²
APT/TOWN HOUSING		32,904.9 m ²
AFFORDABLE HOUSING		845.4 m ²
A.R.T.S. UNITS		1,393.8 m ²
NET FLOOR AREA	35,144.1 m ²	35,144.1 m ²
AREA EXCLUSIONS		
STAIRS & ELEVATOR SHAFTS	1,278.0 m ²	1,278.0 m ²
INDOOR AMENITY	800.0 m ²	800.0 m ²
GROSS FLOOR AREA	37,222.1 m ²	37,222.1 m ²

TOTAL NO. UNITS:		
APT/TOWN HOUSING	372	
AFFORDABLE HOUSING	11	
ARTS UNITS	17	
TOTAL NO. UNITS	400	
UNITS WITH BASIC UNIVERSAL HOUSING (BUH) FEATURES		
APT/TOWN HOUSING	37	
AFFORDABLE HOUSING	11	
ARTS	1	
TOTAL	49	

AGING IN PLACE FEATURES
100% of units in this development will be provided with the following Aging-In-Place features:
1. Stairwell handrails;
2. Lever type handles for plumbing fixtures and door handles;
3. Solid blocking in washroom walls for future grab bars beside toilet, bathtub and shower.

RESIDENT AMENITY	REQUIRED	PROPOSED
INDOOR AMENITY (2.0 m ² /unit)	800.0 m ²	800.0 m ²
COMMON OUTDOOR AMENITY		
(see levels 4 & 9)		
OCP (6.0 m ² /unit)	2,400.0 m ²	2,599.0 m ²
CCAP (10% net site area)	913.1 m ²	913.1 m ²
TOTAL	3,913 m²	3,452.1 m²
CHILDRENS PLAY (PART OF OCP REQ'D)	600 m ²	604 m ²

SETBACKS	ALLOWABLE	PROPOSED
SEXSMITH ROAD (SIDEWALK SRW)	3.0 m	3.0 m
HAZELBRIDGE WAY	3.0 m	3.0 m
MID-BLOCK TRAIL (SRW)	3.0 m	3.0 m
SOUTH PL (8677 Capstan Way)	0.0 m	0.0 m

BUILDING HEIGHT	ALLOWABLE	PROPOSED
FLOOD CONTROL LEVEL (FCL)	2.9 m	2.9 m
MIN. HABITABLE ELEVATION	47.00 m	47.00 m
MAX. GEODETIC HEIGHT		
NO. OF STOREYS:		
BUILDING C		14
BUILDING D		14
BUILDING E		13

PARKING	REQUIRED	PROPOSED
APT/TOWN HOUSING (1.00/unit)	372	310
AFFORDABLE HOUSING (0.81/unit)**	9	9
ARTS UNITS (0.81/unit)**	14	6
VISITOR (0.09/unit) ***	36	11
PUBLIC PARKING	250	246
TOTAL	681	582

** 99 pre-approved spaces provided in 8677 Capstan Way
** 10% TDM reduction is applied to parking rates
*** 10% TDM reduction and additional 50% reduction is applied for the provision of 250 shared parking stalls

SMALL CAR (max.50%)	340	74
RESIDENT E.V. STALLS	87	87
FUTURE RESIDENT E.V. STALLS	108	108
TANDEM	0	0
HANDICAPPED:		
ALL RESIDENTIAL (2% of required)	8	8
VISITOR (2% of required)	1	1
SHARED (2% of required)	5	5

PUBLIC PARKING BREAKDOWN	PHASE 1 (DP 14-67322)	TOTAL
8677 CAPSTAN WAY (EXISTING)		
LEVEL 1 *	65	132
LEVEL 2	4	125
TOTAL	69	257

* 40 residential visitor stalls for the existing 8677 Capstan Way project and 36 residential visitor stalls for the current Phase 1 project are pooled together on Level 1 with the public short-term pay-parking.

BICYCLE PARKING	REQUIRED	PROPOSED
CLASS 1 (1.25/unit)	335	
HORIZONTAL (min. 67%)		165
VERTICAL (max. 33%)	500	500
TOTAL CLASS 1*		
* 10% of resident bicycle spaces provided with duplex outlets.		
CLASS 2 (0.2/unit)	80	80

LOADING	REQUIRED	PROPOSED
MEDIUM SIZE	2	2
LARGE SIZE	1	1

* Variance Required: Parking lane width on Hazelbridge is increased to 3.0m to accommodate large loading vehicles.

GARBAGE & RECYCLING	REQUIRED	PROPOSED
GARBAGE (4 cu.yd)	6	6
CARBONARD (4 cu.yd)	3	3
RECYCLING (carts)	57	57
FUTURE FOOD SCRAPS (carts)	20	20

REQUIRED VARIANCES

- Proposed lower spacing is less than OCP requirement of 35m.
- Large size loading space is proposed to be accommodated on Hazelbridge Way.
- Architectural feature at Sexsmith/Hazelbridge corner projects 2m into the yard formed by the corner-cut.

PROJECT STATISTICS

PINNACLE LIVING AT CAPSTAN VILLAGE - PHASE 1
RICHMOND, BRITISH COLUMBIA

NO.	ISSUED/REVISION	DATE
3	RE-ISSUED FOR DP NOTIFY	NOV 24 2014
2	RE-ISSUED FOR DP	JUL 30 2014
1	ISSUED FOR DP	JUL 30 2014

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PROJECT DATA

PROJECT #	1402	DRAWING NUMBER
SCALE		A1.03
DRAWN		
CHECKED		

Plan 4
DP 14 - 667322

Nov 19, 2014

PINNACLE LIVING AT CAPSTAN VILLAGE - PHASE 1

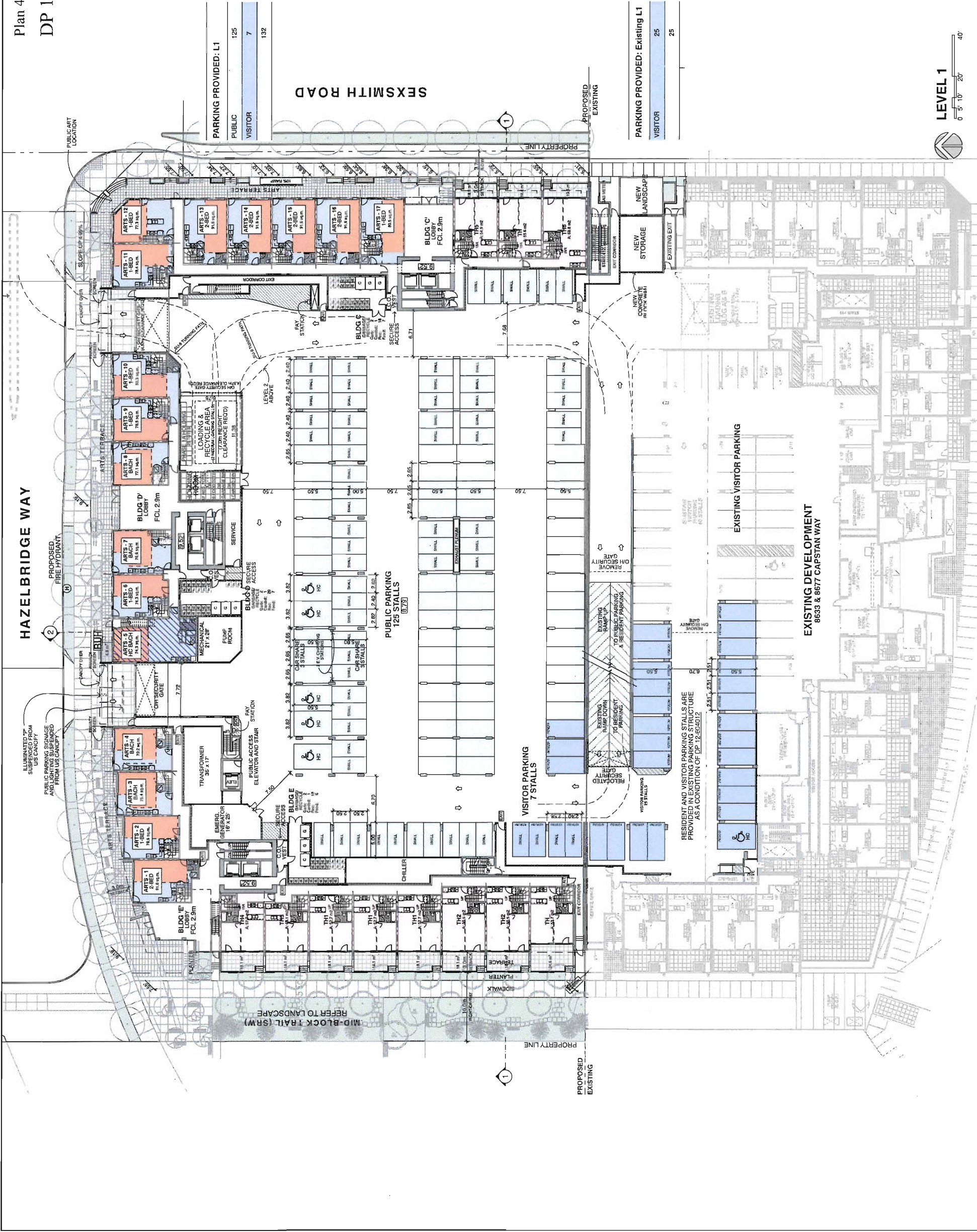
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**SITE PLAN &
LEVEL 1**

ALL DIMENSIONS SHALL BE VERIFIED ON SITE
PROJ. # 1402 DRAWING NUMBER
SCALE 1/16"=1'-0" A3.02
CHECKED



PARKING PROVIDED: L1

PUBLIC	125
VISITOR	7
TOTAL	132

PARKING PROVIDED: Existing L1

VISITOR	25
TOTAL	25



Pinnacle Living at Capstan Village - Phase 1

RICHMOND, BRITISH COLUMBIA



PARKING PROVIDED: L2

PUBLIC	121
VISITOR	4
TOTAL	125

PARKING PROVIDED: Existing L2

PUBLIC	4
TOTAL	4



NO.	ISSUED / REVISED	DATE
3	RE-ISSUED FOR DP	2014
2	RE-ISSUED FOR DP	2014
1	ISSUED FOR DP	2014

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PROJ. # _____ DRAWING NUMBER **A3.03**

SCALE: 1/16" = 1'-0"

DATE: _____

LEVEL 2

PINNACLE LIVING AT CAPSTAN VILLAGE - PHASE 1

RICHMOND, BRITISH COLUMBIA

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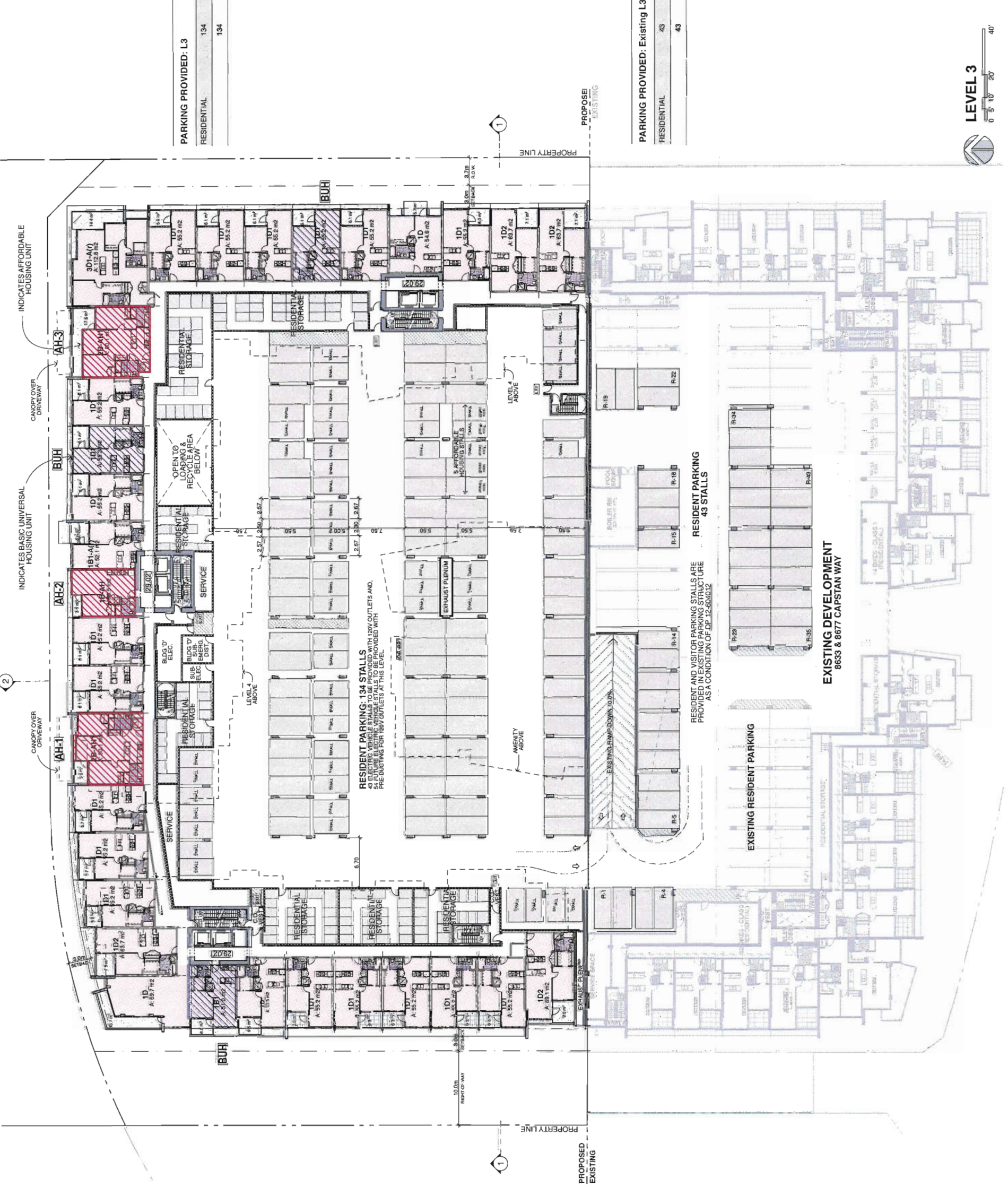
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NO.	DATE / REVISION	DATE
3	RE-ISSUED FOR DP	NOV 27 2014
2	RE-ISSUED FOR DP	NOV 17 2014
1	ISSUED FOR DP	NOV 17 2014

LEVEL 3

PROJECT #	1402	DRAWING NUMBER	A3.04
SCALE	1/16" = 1'-0"		
DATE			
DESIGNED			
CHECKED			
DATE			



PARKING PROVIDED: L3

RESIDENTIAL	134
	134

PARKING PROVIDED: Existing L3

RESIDENTIAL	43
	43

LEVEL 3
0 5' 10' 20' 40'

PINNACLE LIVING AT CAPSTAN VILLAGE - PHASE 1

RICHMOND, BRITISH COLUMBIA

NO.	DATE / REVISION	DATE
3	REISSUED FOR DP	2014
2	REISSUED FOR DP	2014
1	ISSUED FOR DP	2014

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CHECKED BY: BINGHAM HILL ARCHITECTS
DATE OF ISSUE: 2014.11.19

LEVEL 4

ALL DIMENSIONS SHALL BE VERIFIED ON SITE
DRAWING NUMBER
SCALE 1/8"=1'-0"
OWNER
A3.05
DESIGNED



LEVEL 4
0 5' 10' 20' 40'

PINNACLE LIVING AT CAPSTAN VILLAGE - PHASE 1 RICHMOND, BRITISH COLUMBIA

NO.	ISSUED / REVISION	DATE
3	RE ISSUED FOR DP	10/24/14
2	RE ISSUED FOR DP	10/07/14
1	ISSUED FOR DP	09/10/14

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SCALE 1/16"=1'-0"
DRAWN
CHECKED
A3.06



LEVEL 5
0' = 5'-10" 20'
40'

PINNACLE LIVING AT CAPSTAN VILLAGE - PHASE 1

RICHMOND, BRITISH COLUMBIA

NO.	DESCRIPTION	DATE
3	RE-ISSUED FOR DP	NOV 19, 2014
2	RE-ISSUED FOR DP	NOV 17, 2014
1	ISSUED FOR DP	NOV 12, 2014

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LEVEL 6

PROJ. #	1402	DRAWING NUMBER	A3.07
SCALE	1/16"=1'-0"		
DRAWN			
CHECKED			



LEVEL 6
0 5' 10' 20' 40'

PINNACLE LIVING AT CAPSTAN VILLAGE - PHASE 1

RICHMOND, BRITISH COLUMBIA

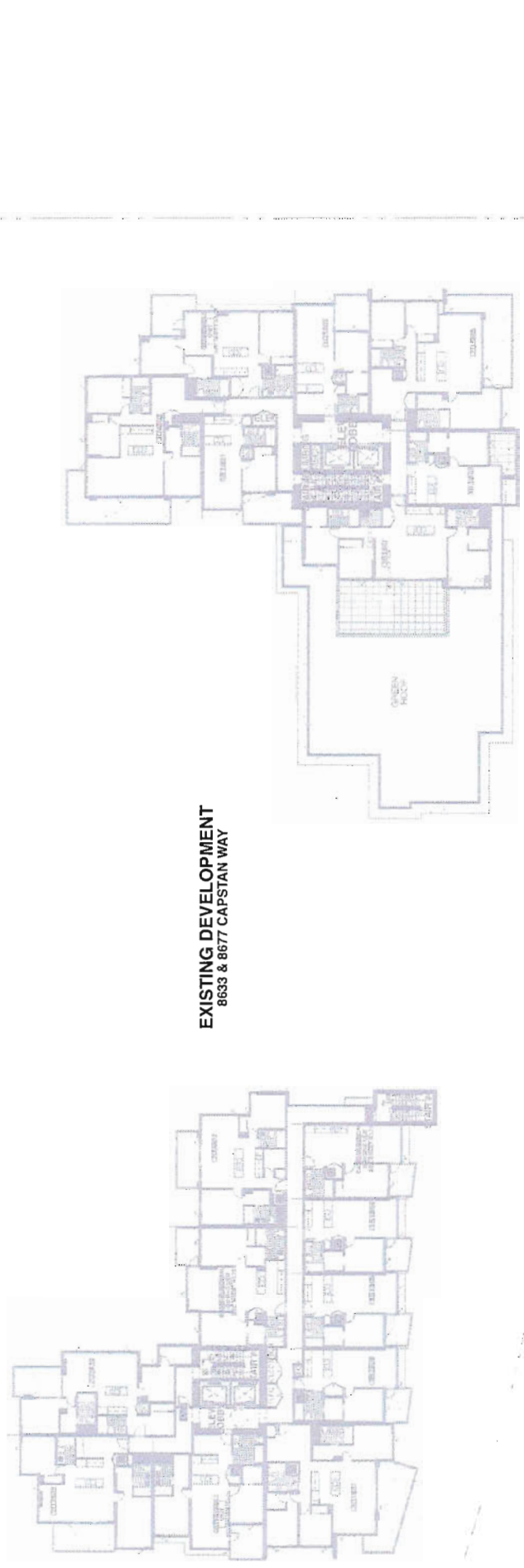
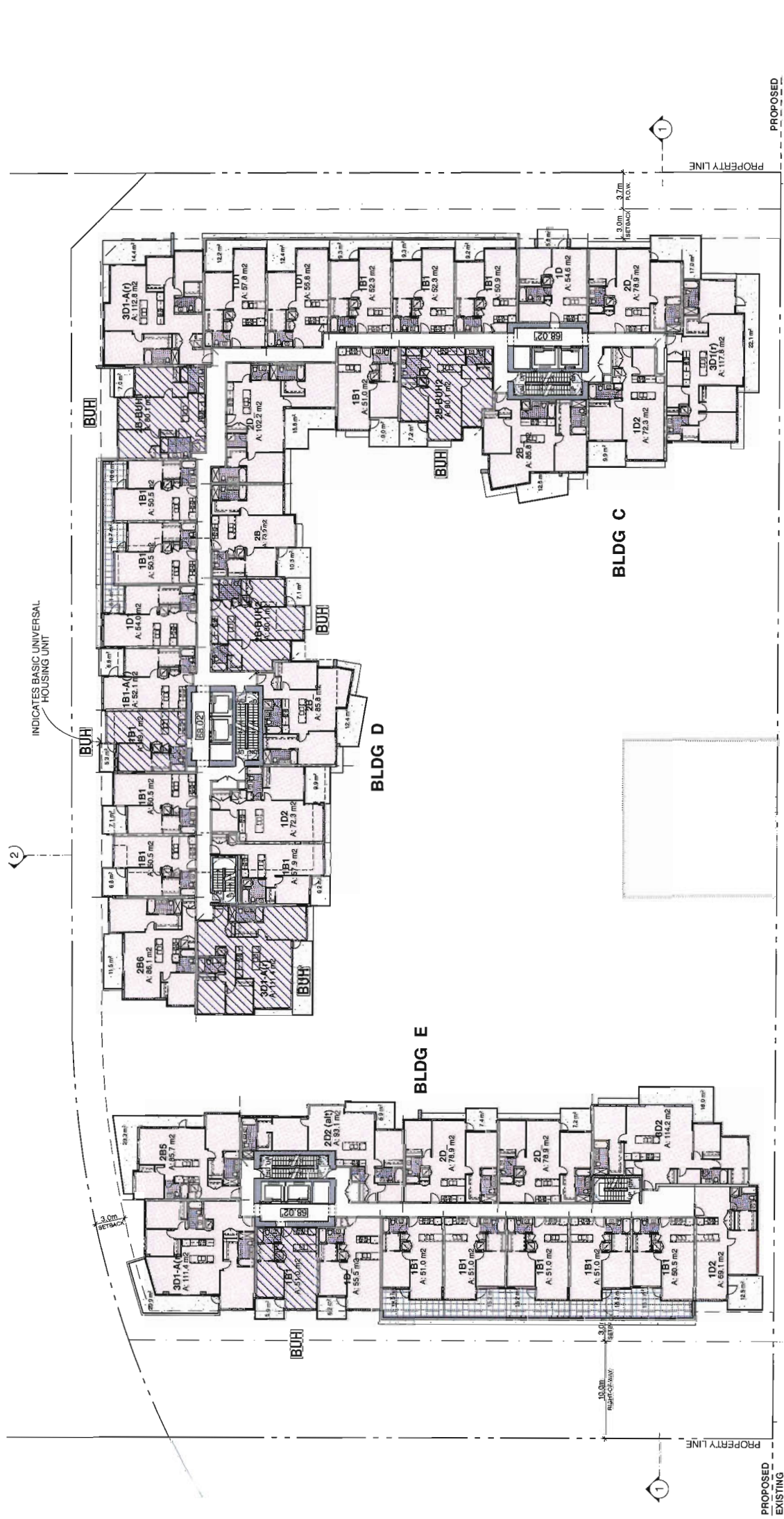
NO.	SAVED / REVISION	DATE
3	RE ISSUED FOR DP	2014.11.19
2	RE ISSUED FOR DP	2014.10.27
1	ISSUED FOR DP	2014.09.29

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CONTRACT NUMBER: N/A
 PROJECT NUMBER: N/A
 DRAWING NUMBER: A3.08
 DATE: 2014.11.19

LEVEL 7

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PROJ. # 1402
SCALE 1/16"=1'-0"
DRAWING NUMBER
A3.08
CHECKED
DATE



**PINNACLE LIVING
AT CAPSTAN VILLAGE - PHASE 1**
RICHMOND, BRITISH COLUMBIA

NO.	ISSUED / REVISION	DATE
3	RE ISSUED FOR DP	2014.11.19
2	RE-ISSUED FOR DP	2014.11.19
1	ISSUED FOR DP	2014.11.19

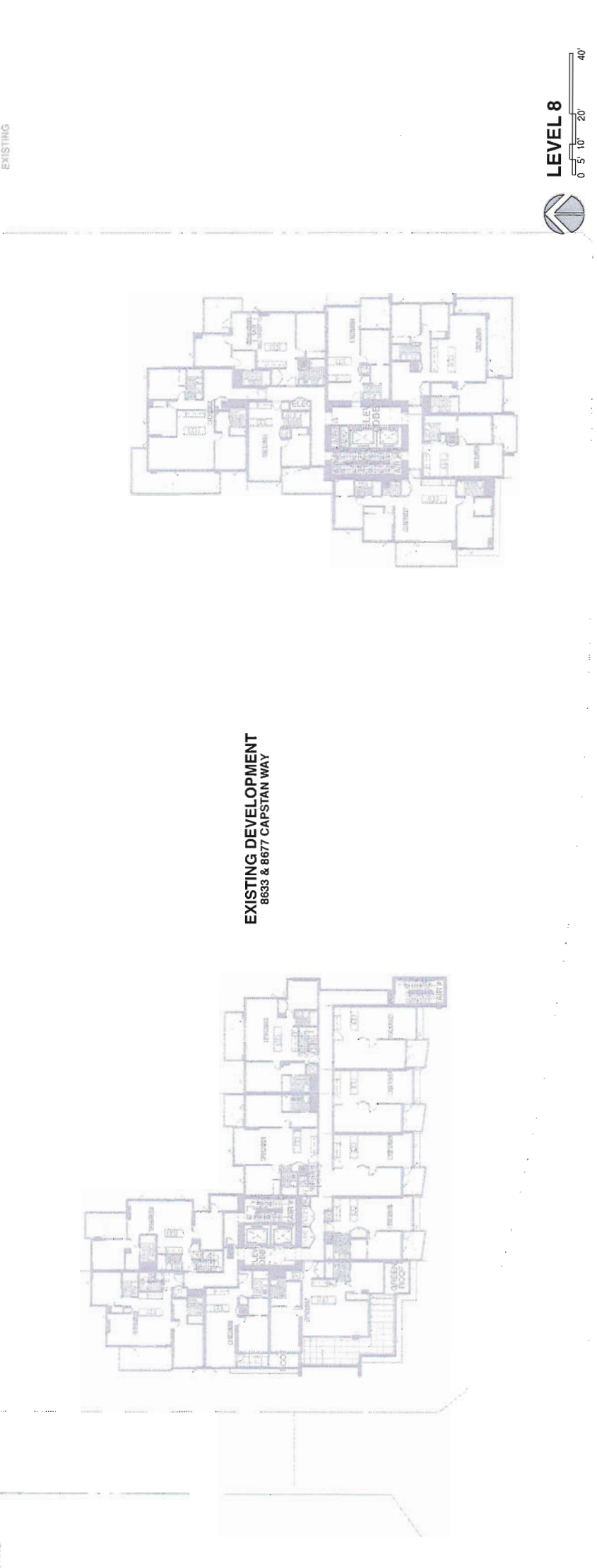
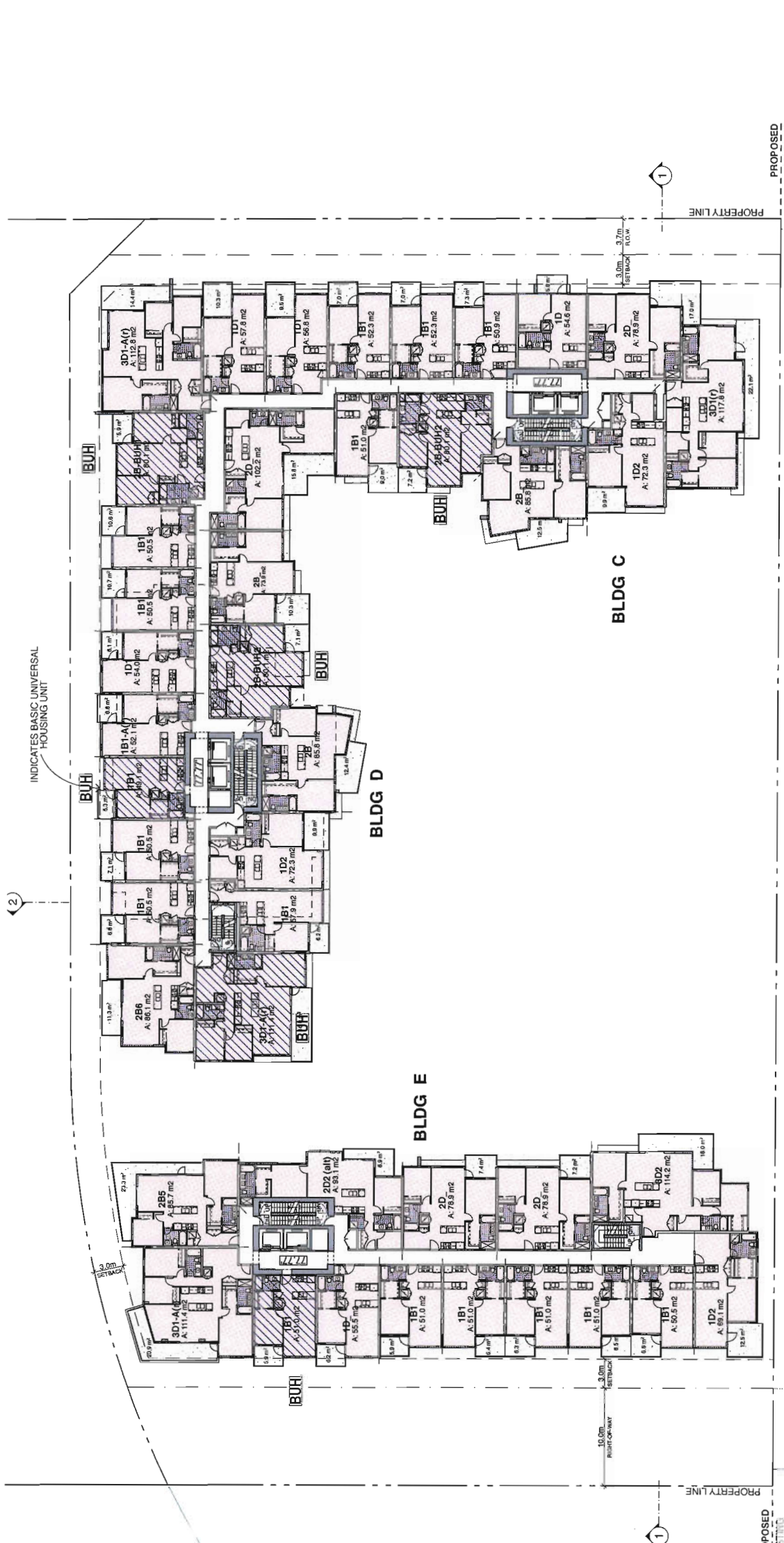
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LEVEL 8

PROJ. NO.	1402
SCALE	1/16" = 1'-0"
DATE	2014.11.19
DESIGNER	ARCHITECTS
DRAWN	ARCHITECTS
CHECKED	ARCHITECTS
PROJECT NO.	A3.09



LEVEL 8
0 5' 10' 20' 40'

PINNACLE LIVING AT CAPSTAN VILLAGE - PHASE 1

RICHMOND, BRITISH COLUMBIA

NO.	DATE / REVISION	DATE
3	RE-ISSUED FOR DP	NOV 19 2014
2	RE-ISSUED FOR DP	NOV 19 2014
1	ISSUED FOR DP	NOV 19 2014

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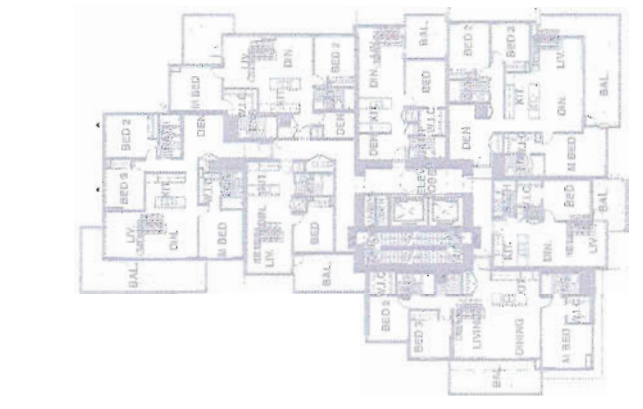
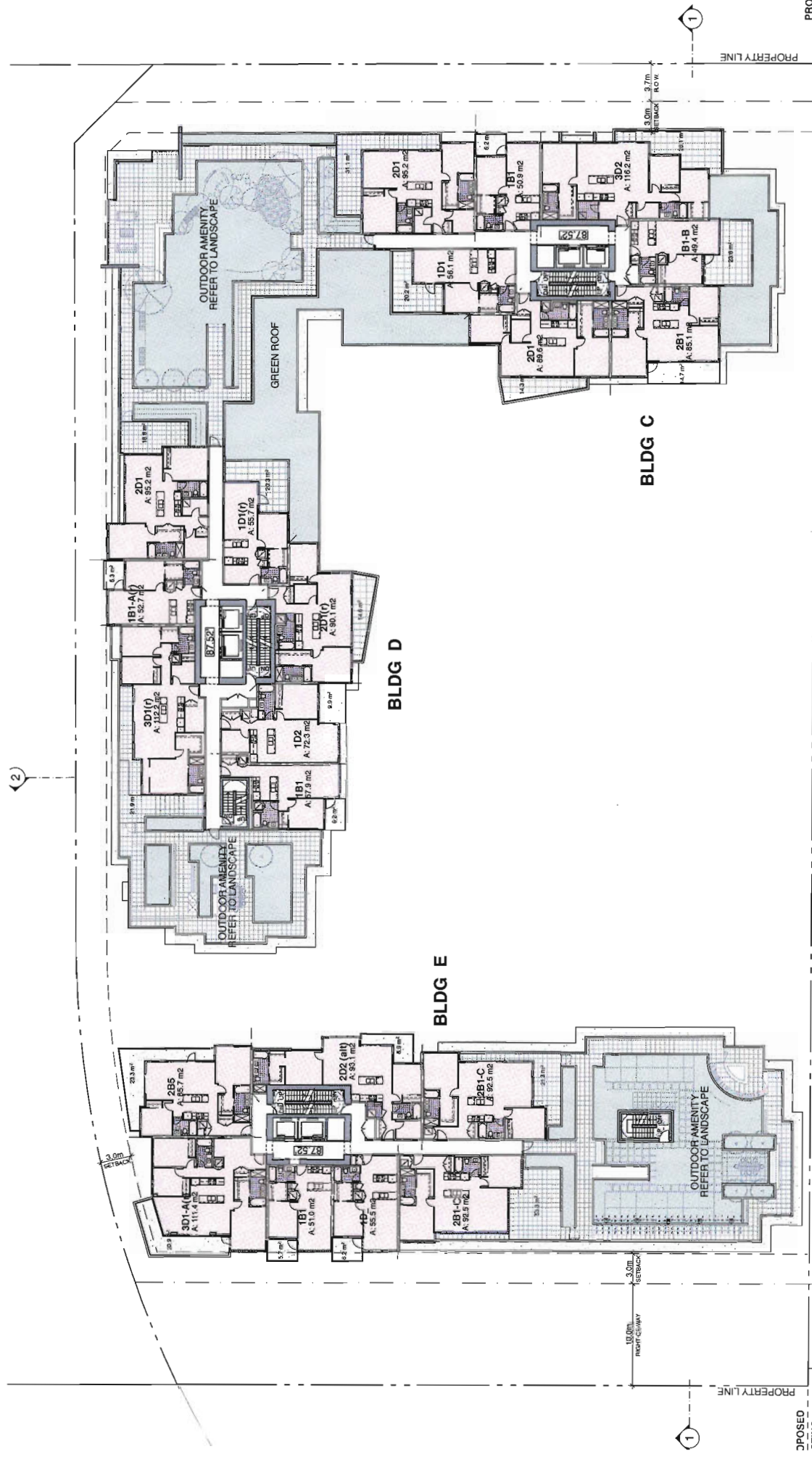
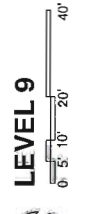
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PROJ. # 1402 DRAWING NUMBER

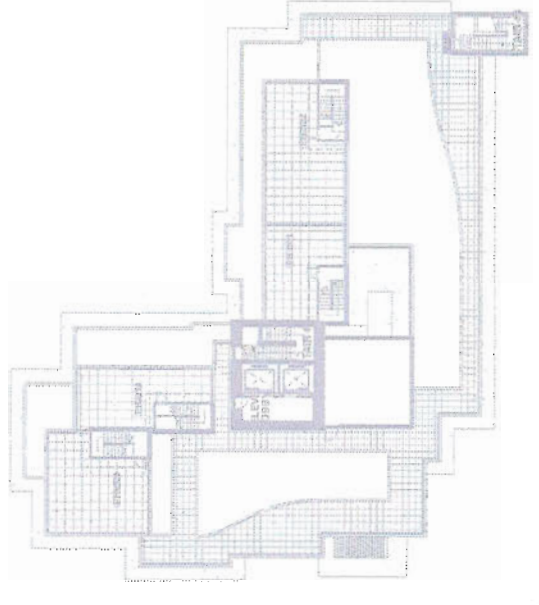
SCALE 1/16"=1'-0" A3.10

DATE

LEVEL 9



EXISTING DEVELOPMENT
8633 & 8677 CAPSTAN WAY



PINNACLE LIVING AT CAPSTAN VILLAGE - PHASE 1

RICHMOND, BRITISH COLUMBIA

NO.	REVISION / APPROVAL	DATE
3	RE-ISSUED FOR DP	2014.11.19
2	RE-ISSUED FOR DP	2014.11.17
1	ISSUED FOR DP	2014.11.12

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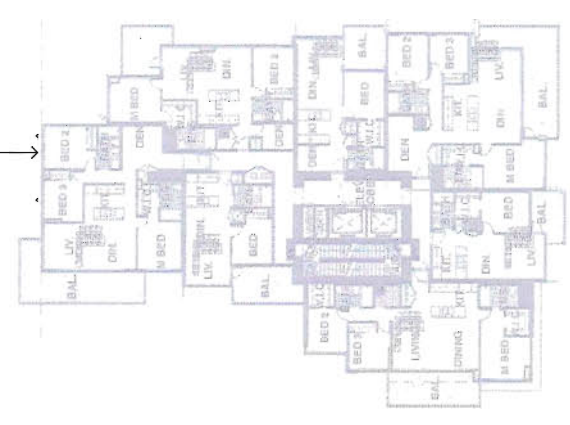
100-1183 BURNHAMTHORPE RD. #100
RICHMOND, BRITISH COLUMBIA
V6V 2G6
TEL: 604.273.8333
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OWNER: Pinnacle Living at Capstan Village
100-1183 Burnhamthorpe Rd. #100
Richmond, BC V6V 2G6
Project No. 2014-001

LEVEL 10-13

PROJ. /	1402	DRAWING NUMBER	A3.11
SCALE	1/16"=1'-0"		
DRAWN			
CHECKED			

LEVEL 10-13
0 5' 10' 20' 40'



PINNACLE LIVING AT CAPSTAN VILLAGE - PHASE 1

RICHMOND, BRITISH COLUMBIA

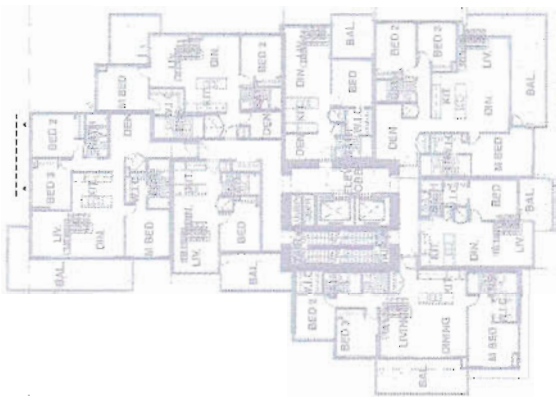
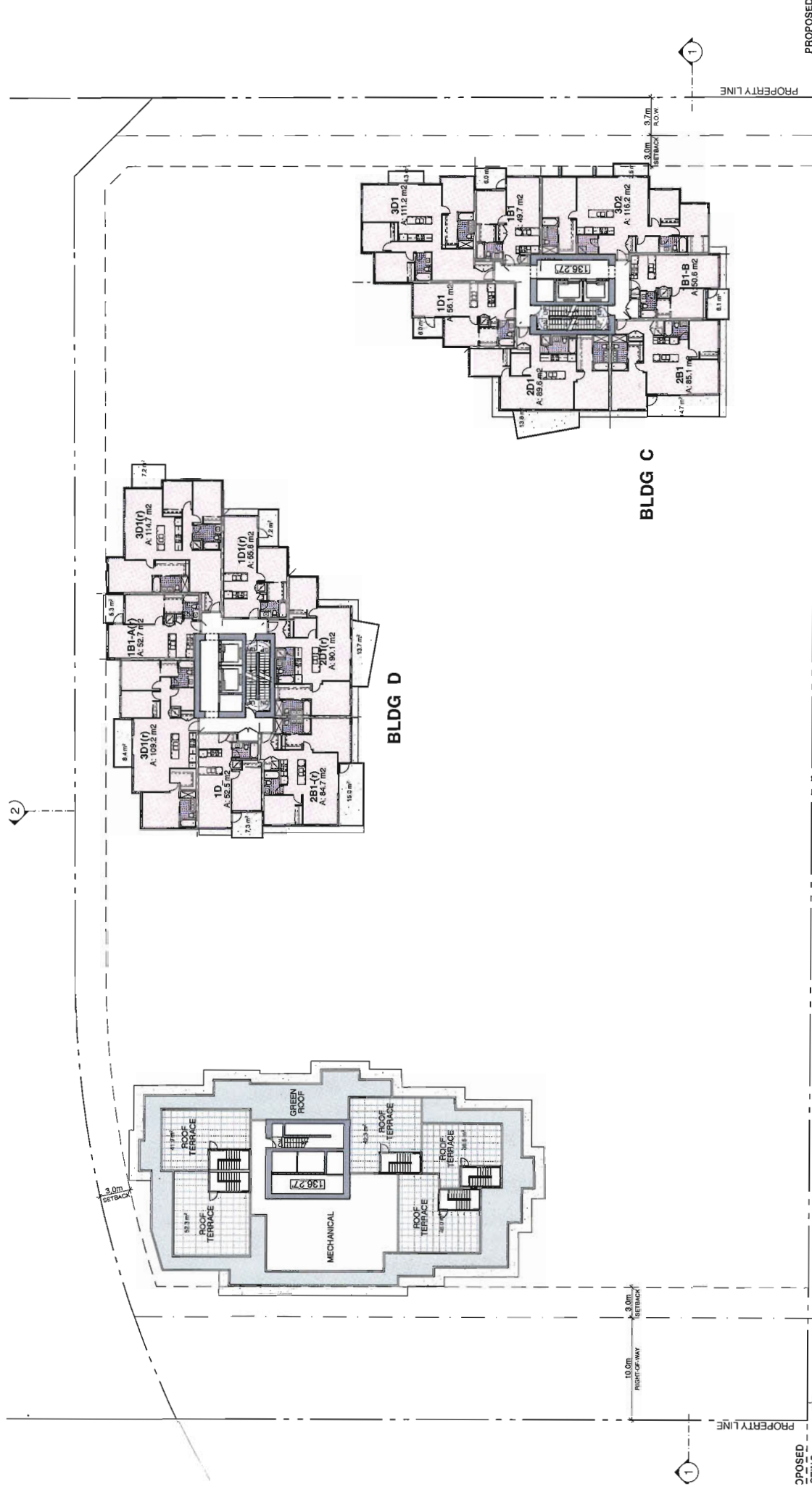
NO.	SKETCH / REVISION	DATE
3	RE-ISSUED FOR DP	NOV 19 2014
2	RE-ISSUED FOR DP	NOV 19 2014
1	ISSUED FOR DP	NOV 19 2014

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LEVEL 14

PROJ. #	1402	DRAWING NUMBER	A3.12
SCALE	1/16"=1'-0"		
SHEET			
DATE			



LEVEL 14



PINNACLE LIVING AT CAPSTAN VILLAGE - PHASE 1 RICHMOND, BRITISH COLUMBIA

NO.	ISSUED / REVISION	DATE
3	RE-ISSUED FOR DP	10/24/2014
2	RE-ISSUED FOR DP	10/17/2014
1	ISSUED FOR DP	09/19/2014

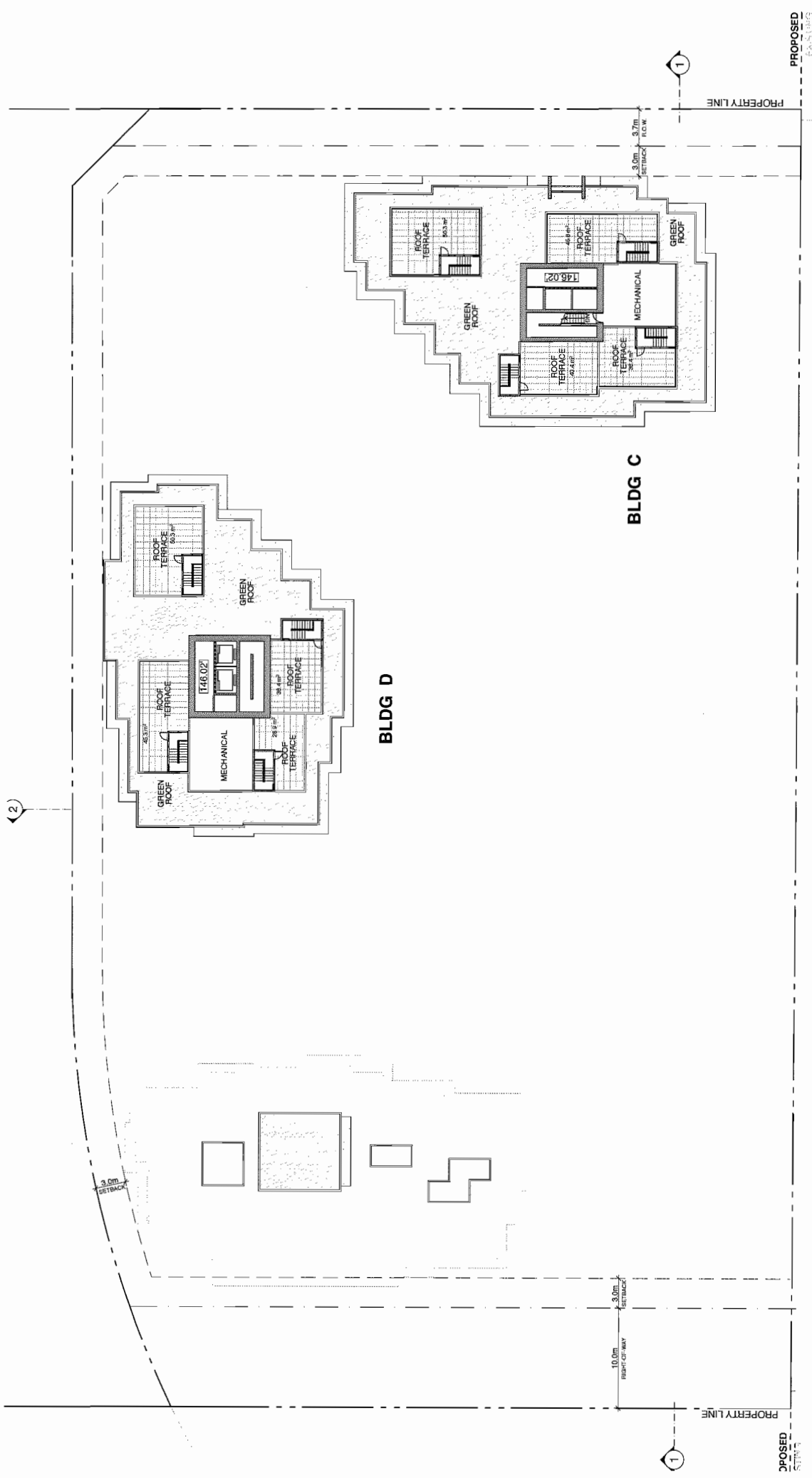
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 Fax: 604.253.8888
 Email: info@binghamhill.ca

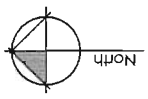
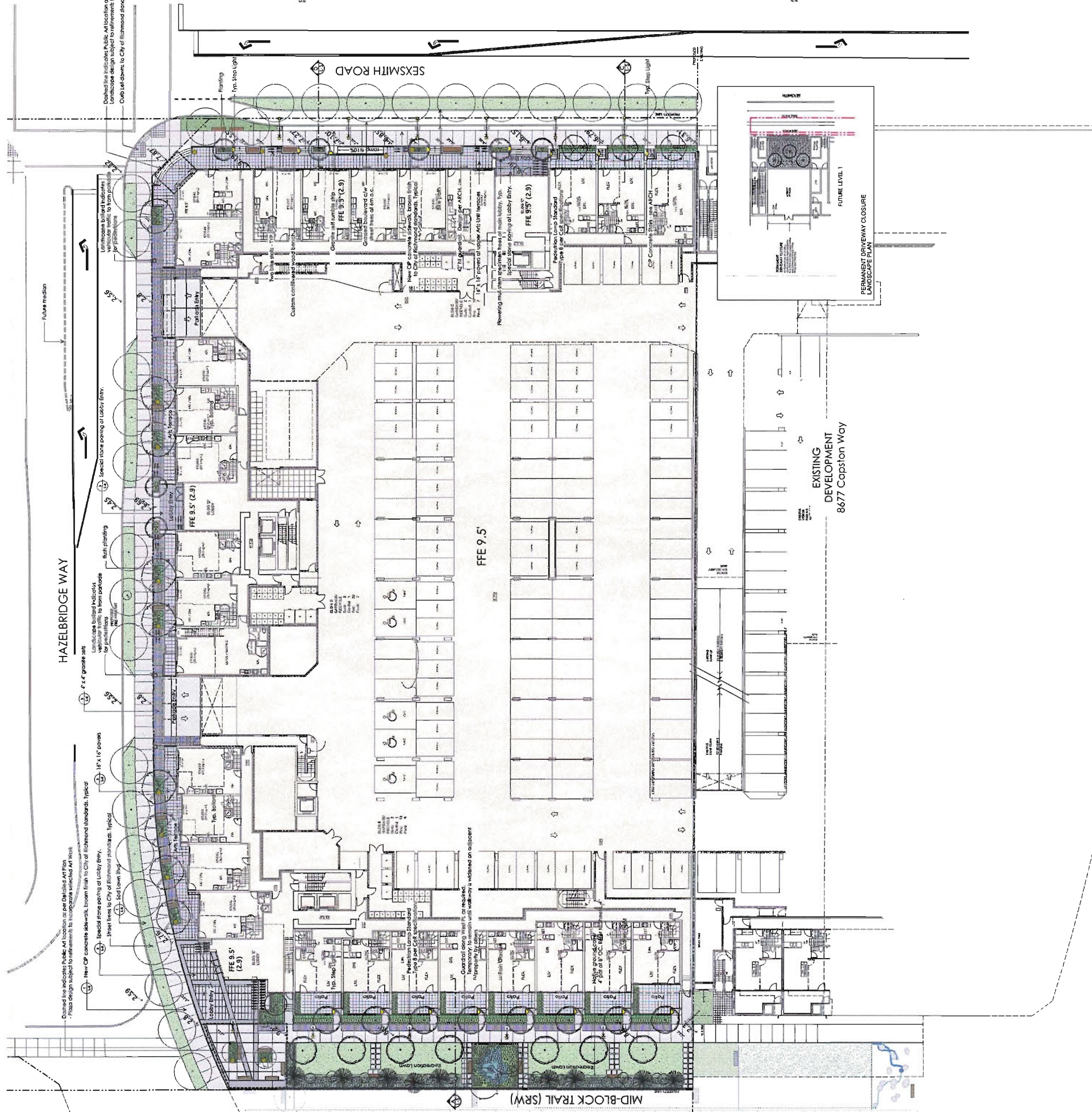
REGISTERED ARCHITECTS
 BC REG. NO. 20000
 BC REG. NO. 20000
 BC REG. NO. 20000
 BC REG. NO. 20000

LEVEL 15 ROOF

PROJ. #	1402	DRAWING NUMBER	A3.13
SCALE	1/16" = 1'-0"		
DATE			
DESIGNED			
CHECKED			



Graphic	Description
[Pattern]	On Impact Concrete Fining Colour: Buff
[Pattern]	On Concrete Fining Light brown, buff, City of Richmond Paving Materials
[Pattern]	Grass Mat Fining 17' x 24' x 1/2" (4064x24x125)
[Pattern]	Grass Mat Fining 16' x 18' x 1/2" (4064x18x125)
[Pattern]	On Upper Gravel Set Fining 4' x 4' x 1/2" (1016x1016x125) Available from Escorial (604-611-7762)
[Pattern]	Reinforced Concrete Form Available from Absorbent Concrete
[Pattern]	Use Decking Material: Redwood
[Pattern]	Reinforced Concrete Form Material: Concrete Natural concrete 2, 4 Available from Absorbent Concrete
[Pattern]	Finishing and Hedge
[Pattern]	Native Grasses Perennial Grasses Available from Hillier Landscape Supply
[Pattern]	Soaked Item
[Pattern]	Extensive Pre-vegetated green roof Material: Sedum
[Pattern]	Water Ground Cover 4' part of F.O.C. Rules to 2014.1.4
[Pattern]	Compact Soil
[Pattern]	Finishing Bench Material: Maple Length: 4032x16x30x16
[Pattern]	Water Step
[Pattern]	Landscaping Island Material: 1000x1000x100 Colour: Silver Finish
[Pattern]	Site and Site Work Material: 200mm x 200mm x 200mm Material: 200mm x 200mm x 200mm Material: 200mm x 200mm x 200mm
[Symbol]	Step Light
[Symbol]	Rebound Light
[Symbol]	City of Richmond Public Use Land Standard Type: L1B-C-1 (Outdoor Luminaires) - 150W Government of BC, Richmond, British Columbia, City of Richmond



4 Nov. 20 2014 DP Resubmission
 4 Nov. 15 2014 DP Resubmission
 3 Oct. 10 2014 Arts Unit Memo Review
 2 Jul. 09 2014 Inland for DP
 1 Jun. 05 2014 Arch. Review
 No. 1 2014
 Version:



Project:
CARSTAN VILLAGE PHASE 1
RICHMOND, BC

Drawn by: SP/A
 Checked by: AL
 Date: MAY 20 2014
 Scale: 1/16" = 1'-0"
 Drawing Title:

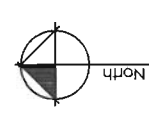
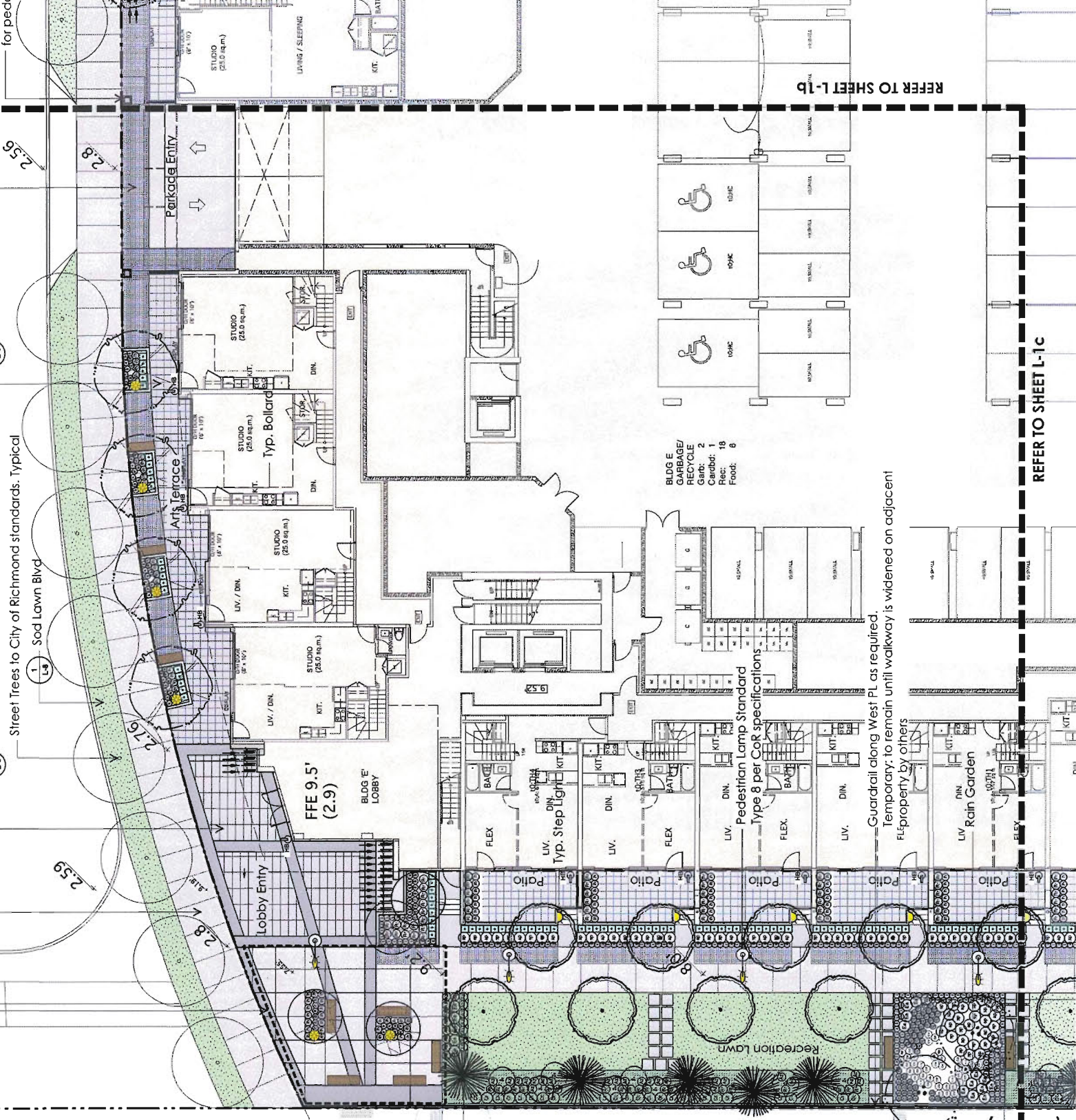
**Ground Floor
Landscape Plan**

Project No:
14035
 Sheet No.:

HAZE

Dashed line indicates Public Art location as per Detailed Art Plan
 - Plaza design subject to refinements to incorporate selected Art Work

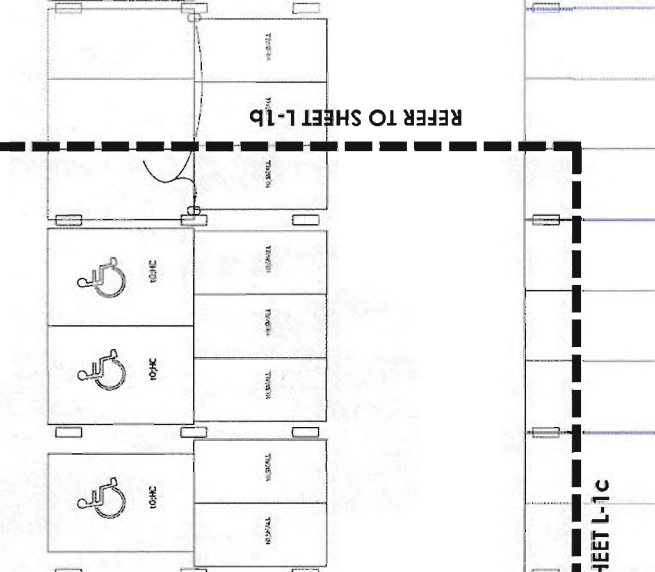
- 1 New CIP concrete sidewalk, broom finish to City of Richmond standards. Typical
- 2 Special stone paving at Lobby Entry.
- 3 Street Trees to City of Richmond standards. Typical
- 4 Sod Lawn Blvd.
- 5 4" x 7" granite sets
- 6 Landsc. vehicuk for ped
- 7 for ped



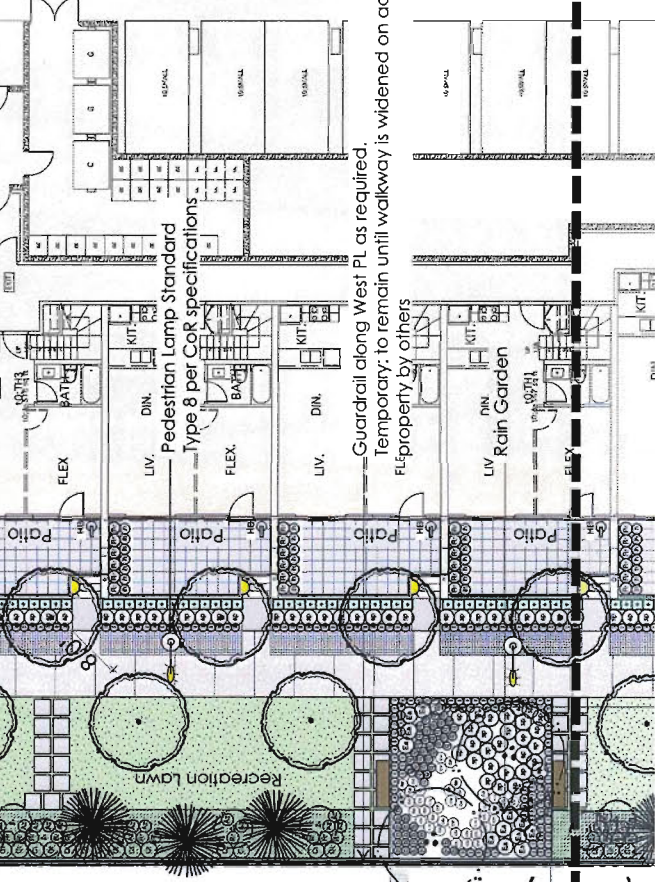
4 Nov-20-2014 DP Revisions
 3 Nov-15-2014 Revisions
 2 Oct-27-2014 Revisions for ADP
 1 Jul-03-2014 Issued for DP
 0 Jun-28-2014 Progress Review
 001 002 003 004 005 006 007 008 009 010 011 012 013 014 015 016 017 018 019 020 021 022 023 024 025 026 027 028 029 030 031 032 033 034 035 036 037 038 039 040 041 042 043 044 045 046 047 048 049 050 051 052 053 054 055 056 057 058 059 060 061 062 063 064 065 066 067 068 069 070 071 072 073 074 075 076 077 078 079 080 081 082 083 084 085 086 087 088 089 090 091 092 093 094 095 096 097 098 099 100 101 102 103 104 105 106 107 108 109 110 111 112 113 114 115 116 117 118 119 120 121 122 123 124 125 126 127 128 129 130 131 132 133 134 135 136 137 138 139 140 141 142 143 144 145 146 147 148 149 150 151 152 153 154 155 156 157 158 159 160 161 162 163 164 165 166 167 168 169 170 171 172 173 174 175 176 177 178 179 180 181 182 183 184 185 186 187 188 189 190 191 192 193 194 195 196 197 198 199 200 201 202 203 204 205 206 207 208 209 210 211 212 213 214 215 216 217 218 219 220 221 222 223 224 225 226 227 228 229 230 231 232 233 234 235 236 237 238 239 240 241 242 243 244 245 246 247 248 249 250 251 252 253 254 255 256 257 258 259 260 261 262 263 264 265 266 267 268 269 270 271 272 273 274 275 276 277 278 279 280 281 282 283 284 285 286 287 288 289 290 291 292 293 294 295 296 297 298 299 300 301 302 303 304 305 306 307 308 309 310 311 312 313 314 315 316 317 318 319 320 321 322 323 324 325 326 327 328 329 330 331 332 333 334 335 336 337 338 339 340 341 342 343 344 345 346 347 348 349 350 351 352 353 354 355 356 357 358 359 360 361 362 363 364 365 366 367 368 369 370 371 372 373 374 375 376 377 378 379 380 381 382 383 384 385 386 387 388 389 390 391 392 393 394 395 396 397 398 399 400 401 402 403 404 405 406 407 408 409 410 411 412 413 414 415 416 417 418 419 420 421 422 423 424 425 426 427 428 429 430 431 432 433 434 435 436 437 438 439 440 441 442 443 444 445 446 447 448 449 450 451 452 453 454 455 456 457 458 459 460 461 462 463 464 465 466 467 468 469 470 471 472 473 474 475 476 477 478 479 480 481 482 483 484 485 486 487 488 489 490 491 492 493 494 495 496 497 498 499 500 501 502 503 504 505 506 507 508 509 510 511 512 513 514 515 516 517 518 519 520 521 522 523 524 525 526 527 528 529 530 531 532 533 534 535 536 537 538 539 540 541 542 543 544 545 546 547 548 549 550 551 552 553 554 555 556 557 558 559 560 561 562 563 564 565 566 567 568 569 570 571 572 573 574 575 576 577 578 579 580 581 582 583 584 585 586 587 588 589 590 591 592 593 594 595 596 597 598 599 600 601 602 603 604 605 606 607 608 609 610 611 612 613 614 615 616 617 618 619 620 621 622 623 624 625 626 627 628 629 630 631 632 633 634 635 636 637 638 639 640 641 642 643 644 645 646 647 648 649 650 651 652 653 654 655 656 657 658 659 660 661 662 663 664 665 666 667 668 669 670 671 672 673 674 675 676 677 678 679 680 681 682 683 684 685 686 687 688 689 690 691 692 693 694 695 696 697 698 699 700 701 702 703 704 705 706 707 708 709 710 711 712 713 714 715 716 717 718 719 720 721 722 723 724 725 726 727 728 729 730 731 732 733 734 735 736 737 738 739 740 741 742 743 744 745 746 747 748 749 750 751 752 753 754 755 756 757 758 759 760 761 762 763 764 765 766 767 768 769 770 771 772 773 774 775 776 777 778 779 780 781 782 783 784 785 786 787 788 789 790 791 792 793 794 795 796 797 798 799 800 801 802 803 804 805 806 807 808 809 810 811 812 813 814 815 816 817 818 819 820 821 822 823 824 825 826 827 828 829 830 831 832 833 834 835 836 837 838 839 840 841 842 843 844 845 846 847 848 849 850 851 852 853 854 855 856 857 858 859 860 861 862 863 864 865 866 867 868 869 870 871 872 873 874 875 876 877 878 879 880 881 882 883 884 885 886 887 888 889 890 891 892 893 894 895 896 897 898 899 900 901 902 903 904 905 906 907 908 909 910 911 912 913 914 915 916 917 918 919 920 921 922 923 924 925 926 927 928 929 930 931 932 933 934 935 936 937 938 939 940 941 942 943 944 945 946 947 948 949 950 951 952 953 954 955 956 957 958 959 960 961 962 963 964 965 966 967 968 969 970 971 972 973 974 975 976 977 978 979 980 981 982 983 984 985 986 987 988 989 990 991 992 993 994 995 996 997 998 999 1000



Project: Pinnacle Living at Capstan Village - Phase 1
 Drawn by: SFAL
 Checked by: AL
 Date: June 2014
 Scale: 1/8" = 1'-0"
 Drawing Title: Ground Level NORTH-WEST Enlarged Landscape Plan



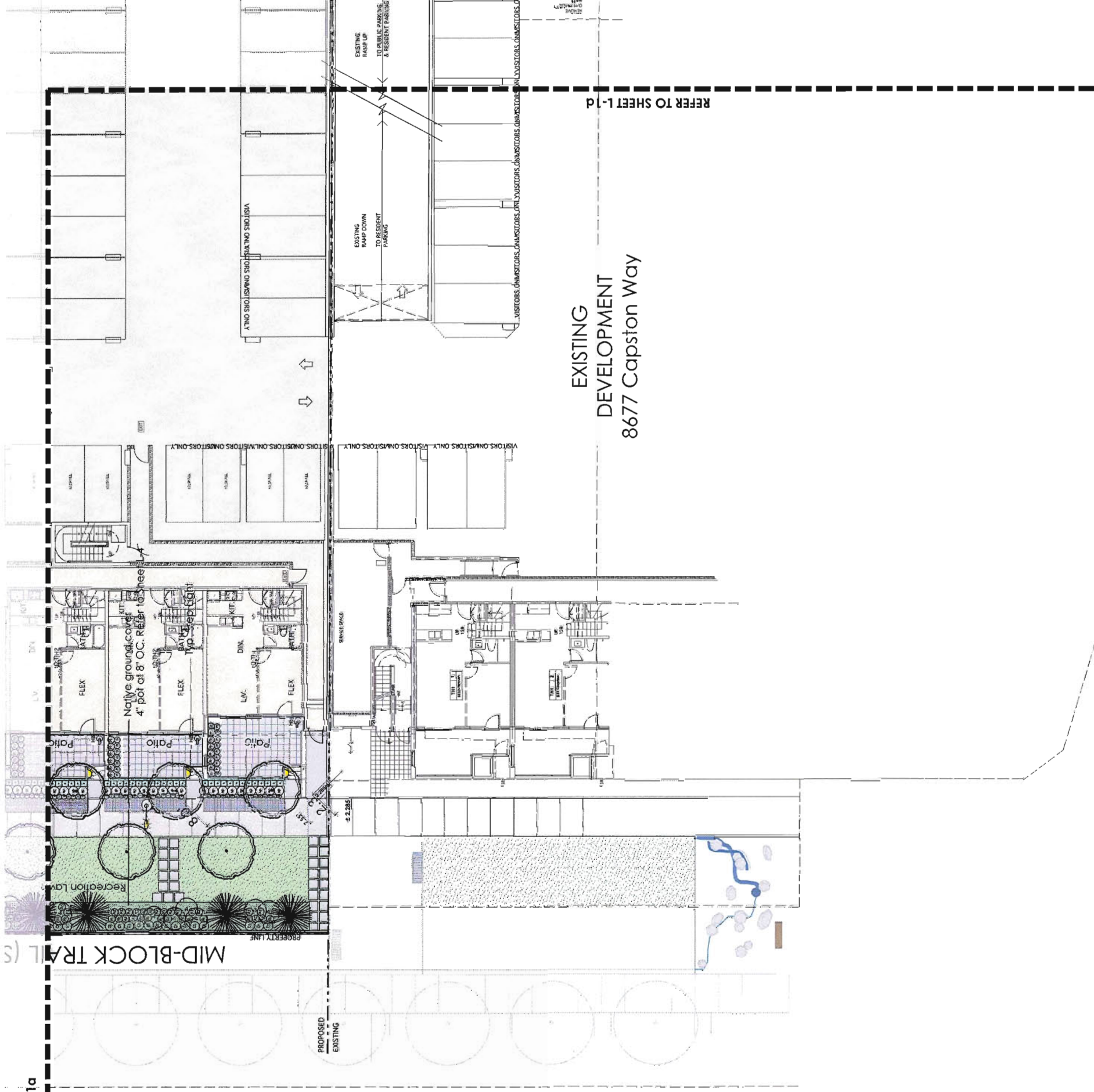
REFER TO SHEET L-1B



REFER TO SHEET L-1C

(SRW)

REFER TO SHEET L-1C



REFER TO SHEET L-1a

EXISTING
 DEVELOPMENT
 8677 Capston Way

REFER TO SHEET L-1b



- 4 Nov-20-2014 DP Authorization
- 4 Nov-15-2014 DP Authorization
- 4 Nov-15-2014 Revised DP
- 3 Oct-27-2014 Issued for ADP
- 2 Jul-03-2014 Issued for DP
- 1 Jun-28-2014 Progress Review

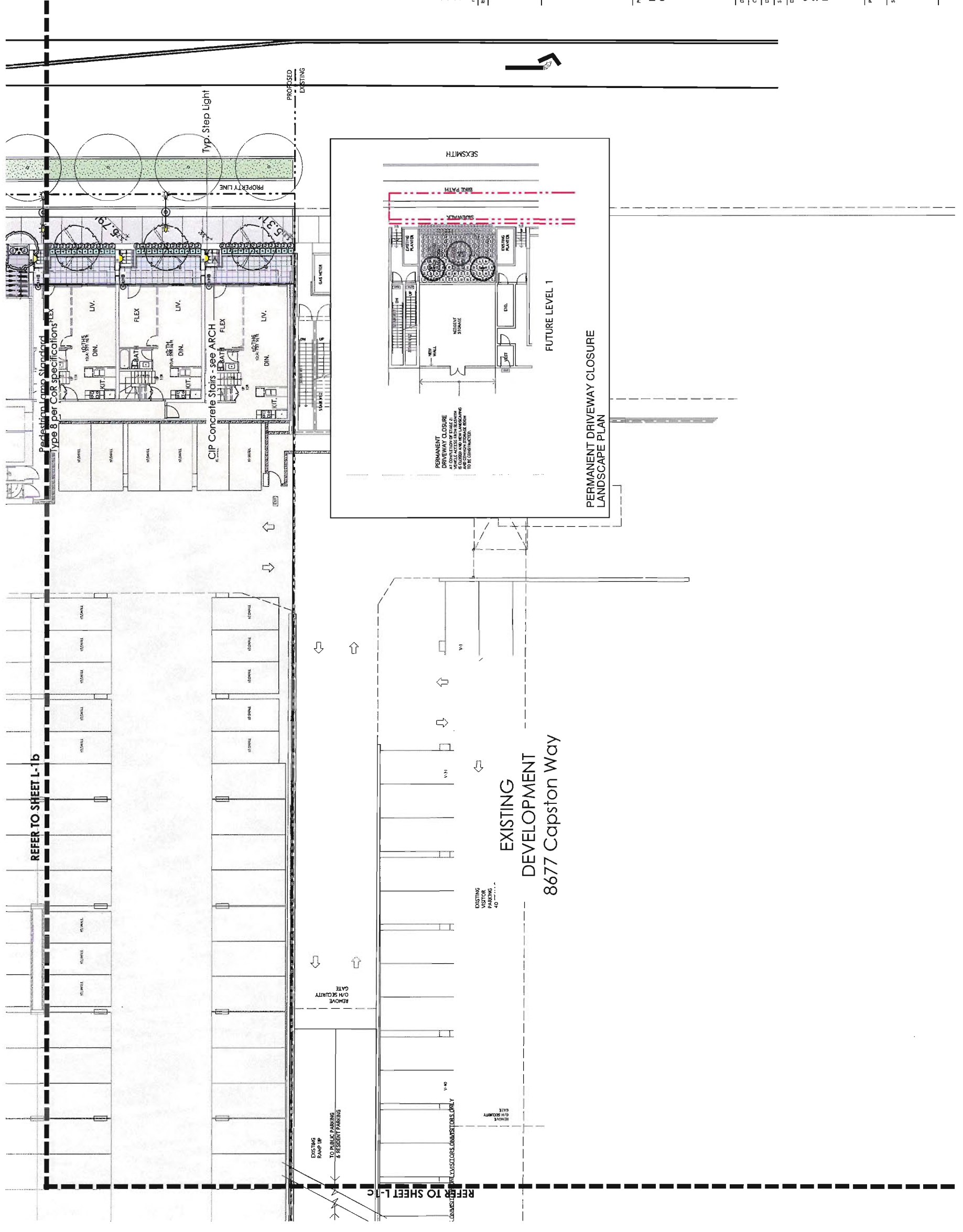

 Pinnacle Kwik Ltd.
 1100 Capston Avenue
 Vancouver BC V6L 1H5
 Tel: 604 684 4811
 Fax: 604 684 4817
 www.pk2022.ca

Project:
**Pinnacle Living at
 Capstan Village - Phase 1**

Drawn by: SF/AL
 Checked by: AL
 Date: June 2014
 Scale: 1/8" = 1'-0"

Drawing Title:
**Ground Level
 SOUTH-WEST Enlarged
 Landscape Plan**

Project No.:
14035
 Sheet No.:



- 1 Nov. 28 2014 DP Resubmission
- 2 Nov. 28 2014 DP Resubmission
- 3 Oct. 27 2014 Revised for ACP
- 4 Nov. 12 2014 Revised DP
- 5 Oct. 27 2014 Revised for ACP
- 6 Oct. 27 2014 Revised for ACP
- 7 Jul 03 2014 Revised for DP
- 8 Jun 25 2014 Revised for DP
- 9 Jun 25 2014 Revised for DP
- 10 Jun 25 2014 Revised for DP
- 11 Jun 25 2014 Revised for DP
- 12 Jun 25 2014 Revised for DP
- 13 Jun 25 2014 Revised for DP
- 14 Jun 25 2014 Revised for DP
- 15 Jun 25 2014 Revised for DP
- 16 Jun 25 2014 Revised for DP
- 17 Jun 25 2014 Revised for DP
- 18 Jun 25 2014 Revised for DP
- 19 Jun 25 2014 Revised for DP
- 20 Jun 25 2014 Revised for DP



Project:
**Pinnacle Living at
 Capstan Village - Phase 1**

Drawn by:	SP/AL
Checked by:	AL
Date:	June 2014
Scale:	1/8" = 1'-0"
Drawing Title:	

**Ground Level
 SOUTH-EAST Enlarged
 Landscape Plan**

Project No.:	14035
Sheet No.:	



5 Nov. 22 2014 DP Resubmission
 4 Nov. 19 2014 DP Resubmission
 3 Oct. 27 2014 DP Resubmission
 2 Oct. 27 2014 Issued for ADP
 1 Jan. 26 2014 Program Review
 No. | Date | Description |
 Version:



Dunlap Reed LLC
 1000 North Main Street
 New Haven, CT 06510
 E: 604.664.4811
 F: 604.664.0377
 www.dunlapreed.com

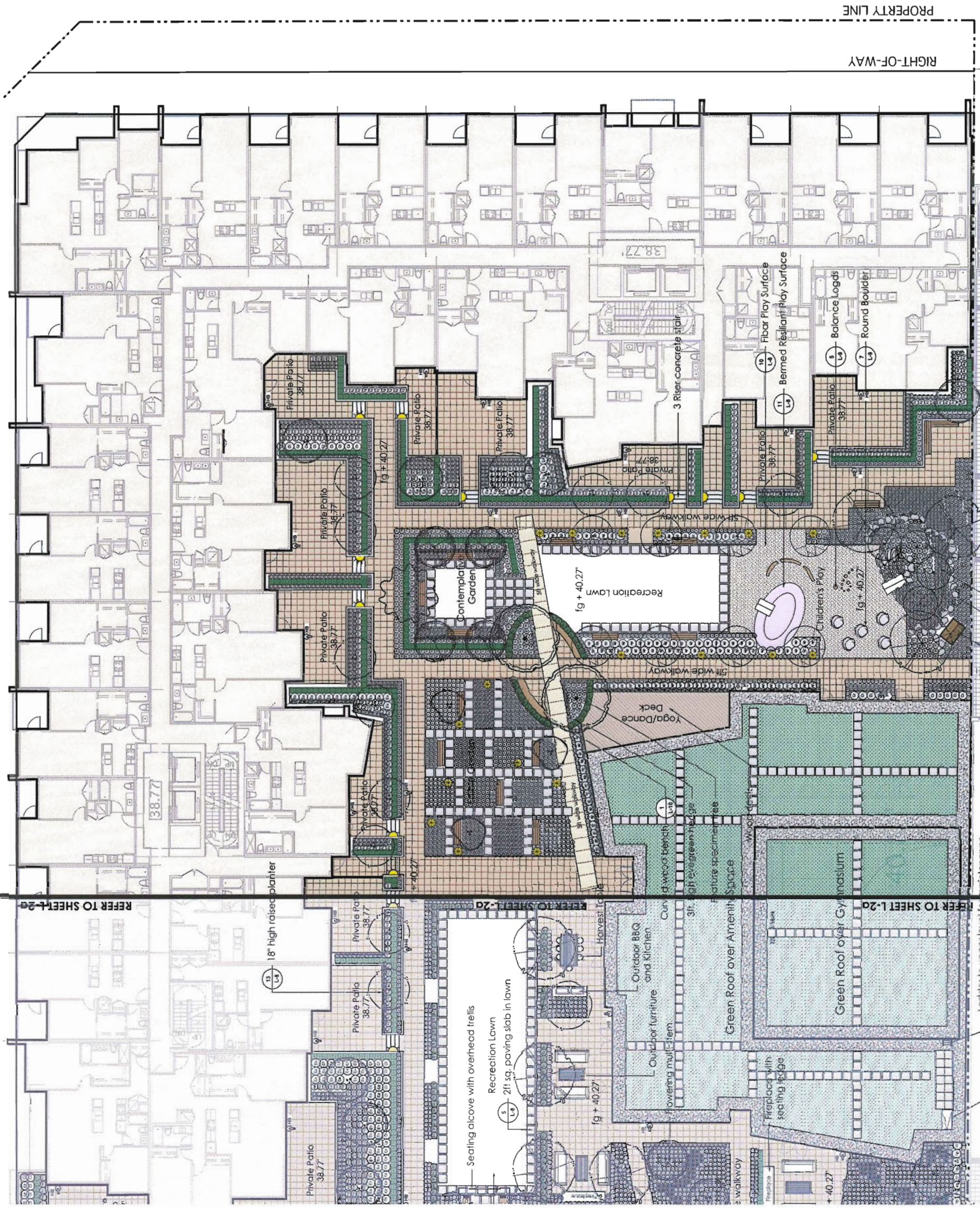
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**Pinnacle Living at
 Capstan Village - Phase 1**

Drawn by: SF/AL
 Checked by: AL
 Date: June 2014
 Scale: 1/8" = 1'-0"
 Drawing Title:

**Level 4 - Podium
 EAST Enlarged
 Landscape Plan**

Project No.:
14035
 Sheet No.:

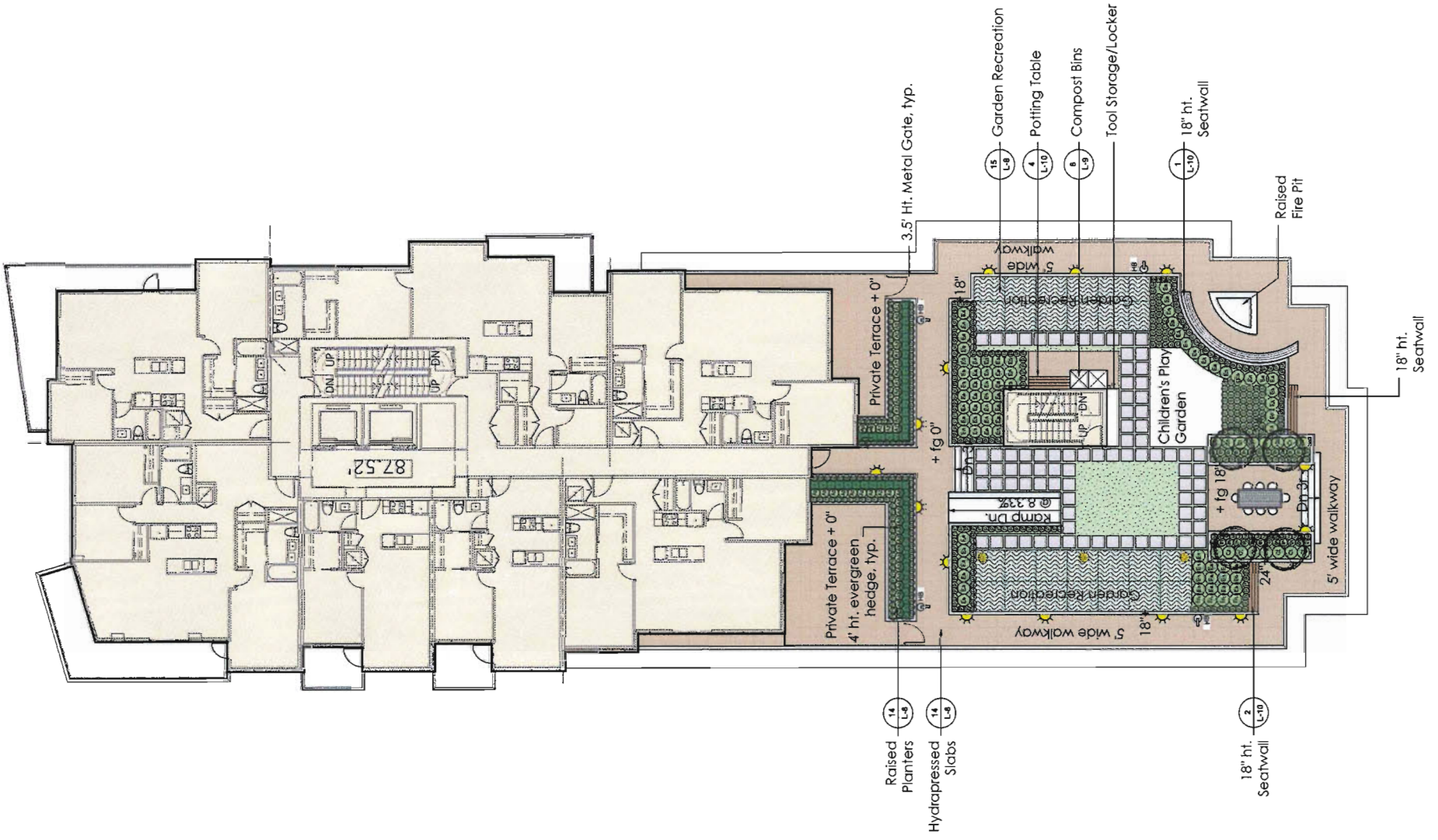
L-2b of 12



REFER TO SHEET 20

REFER TO SHEET 20

REFER TO SHEET L-20



- 4 Nov. 20 2014 DP Resubmission
 - 5 Nov. 17 2014 DP Resubmission
 - 6 Nov. 13 2014 DP Resubmission
 - 7 Oct. 27 2014 Issued for ADP
 - 8 Jul. 03 2014 Issued for DP
 - 1 Jun. 26 2014 Progress Review
- Rev. | Date | Description



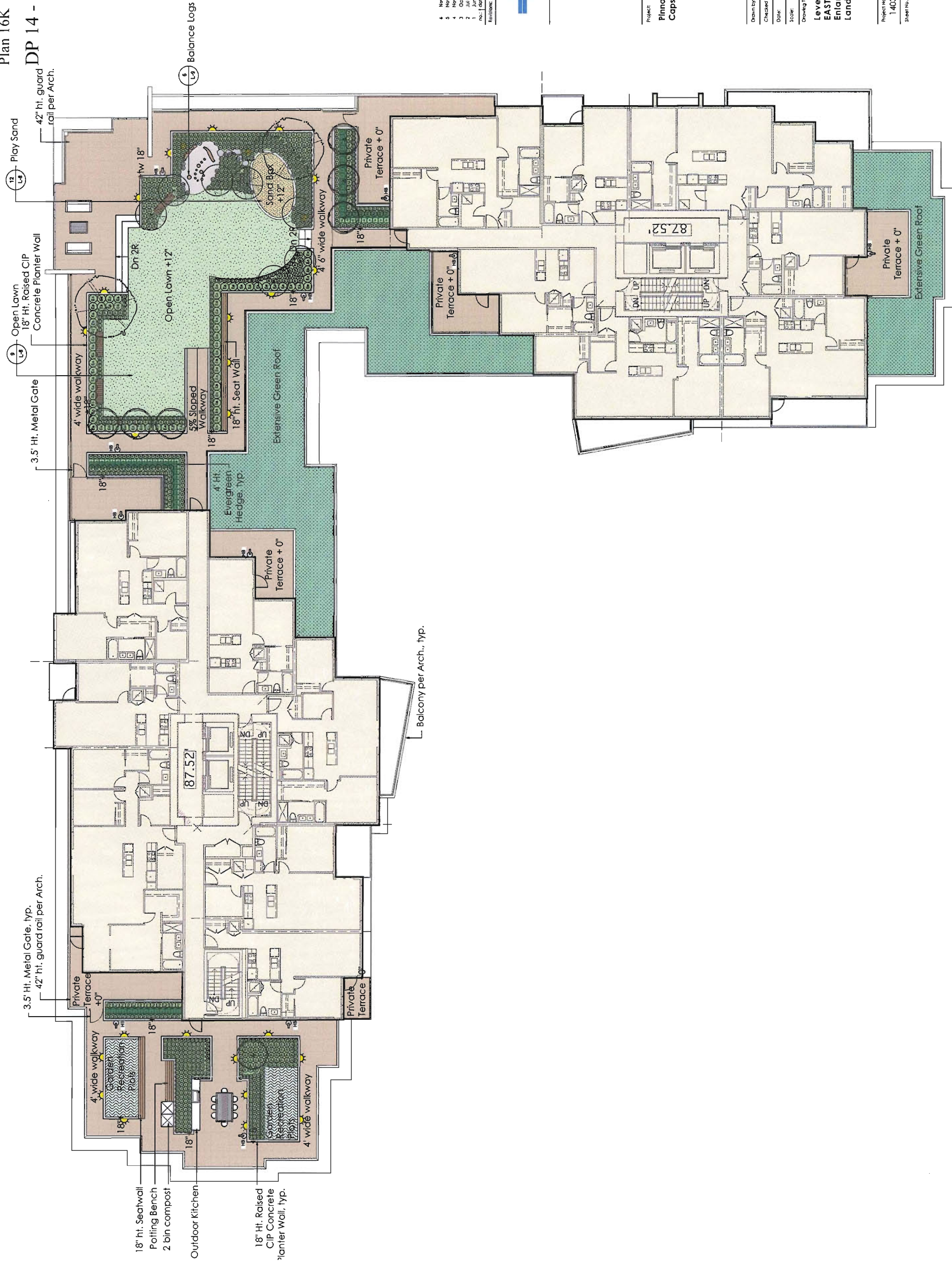
Diverse Media, LLC
 1000 West 10th Street
 New York, NY 10011
 Phone: 212 694 4811
 Fax: 212 694 4812
 www.dmd.com

Project:
**Pinnacle Living at
 Capston Village - Phase 1**

Drawn by: SJ/AL
 Checked by: AL
 Date: June 2014
 Scale: 1/8" = 1'-0"

Drawing file:
**Level 9
 WEST
 Enlarged
 Landscape Plan**

Project No.:
 14035
 Sheet No.:



- 4 Nov-28-2014 DP Resubmission
- 4 Nov-12-2014 Revised DP
- 3 Oct-27-2014 Issued for ADP
- 2 Jul-07-2014 Based for DP
- 1 Nov-17-2014 Program Review
- 10-1-2014
- 10-1-2014

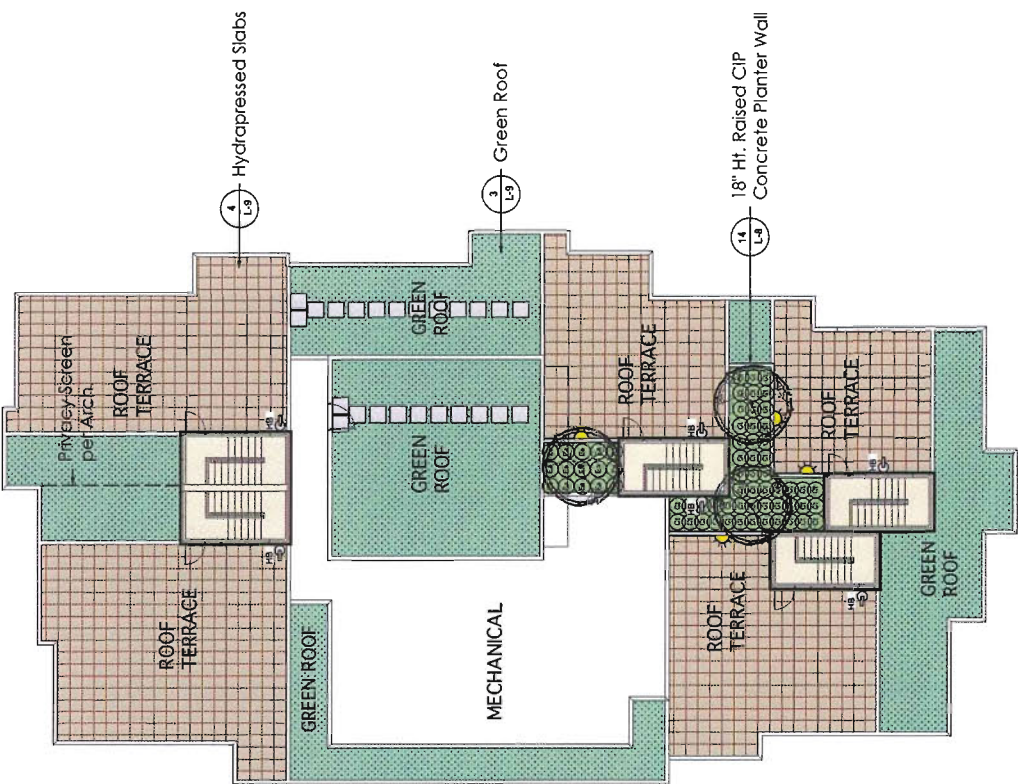


Project:
 Pinnacle Living at
 Capstan Village - Phase 1

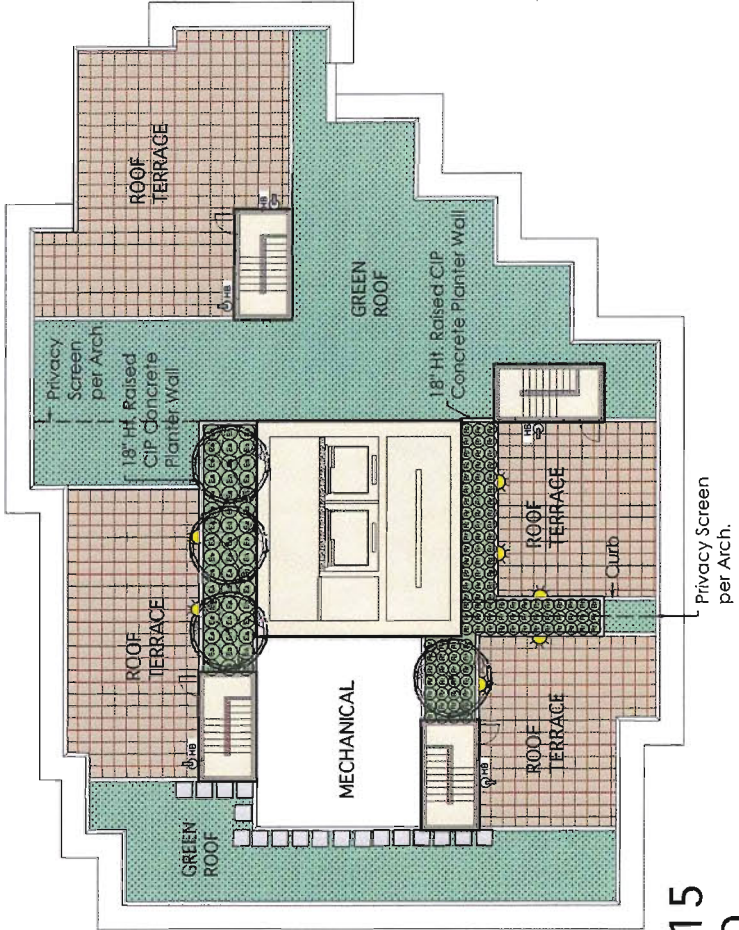
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 Date: June 2014
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 Drawing Title:

Level 9
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 Enlarged
 Landscape Plan

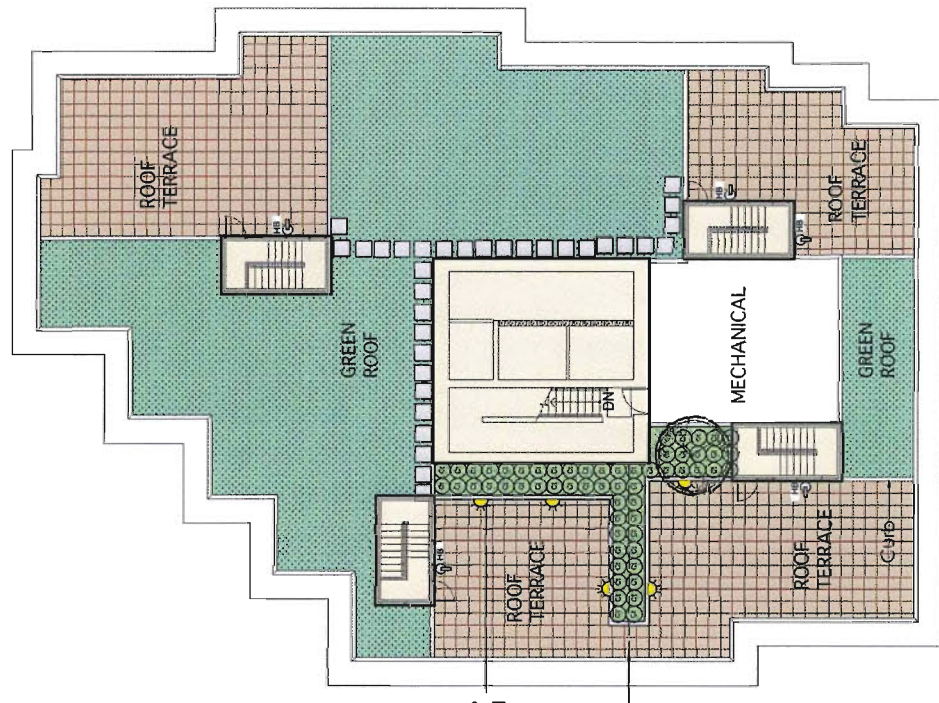
Project No.:
 14035
 Sheet No.:



LEVEL 14
 BLDG E



LEVEL 15
 BLDG D



LEVEL 15
 BLDG C



- 4 Nov. 20 2014 DP Resubmission
- 4 Nov. 19 2014 DP Resubmission
- 4 Nov. 13 2014 Revised DP
- 3 Oct 27 2014 Issued for ADP
- 2 Jul 03 2014 Issued for DP
- 1 Apr 20 2014 Issued for Review
- Rev. 1 08/09/14 (Rev.)



Pinnacle Living at
 Capitan Village, LLC
 102 - 1027 West 5th Avenue
 Mesquite, NC 78048
 Phone: 817-584-0377
 www.pvl.com

Project:
 Pinnacle Living at
 Capitan Village - Phase 1

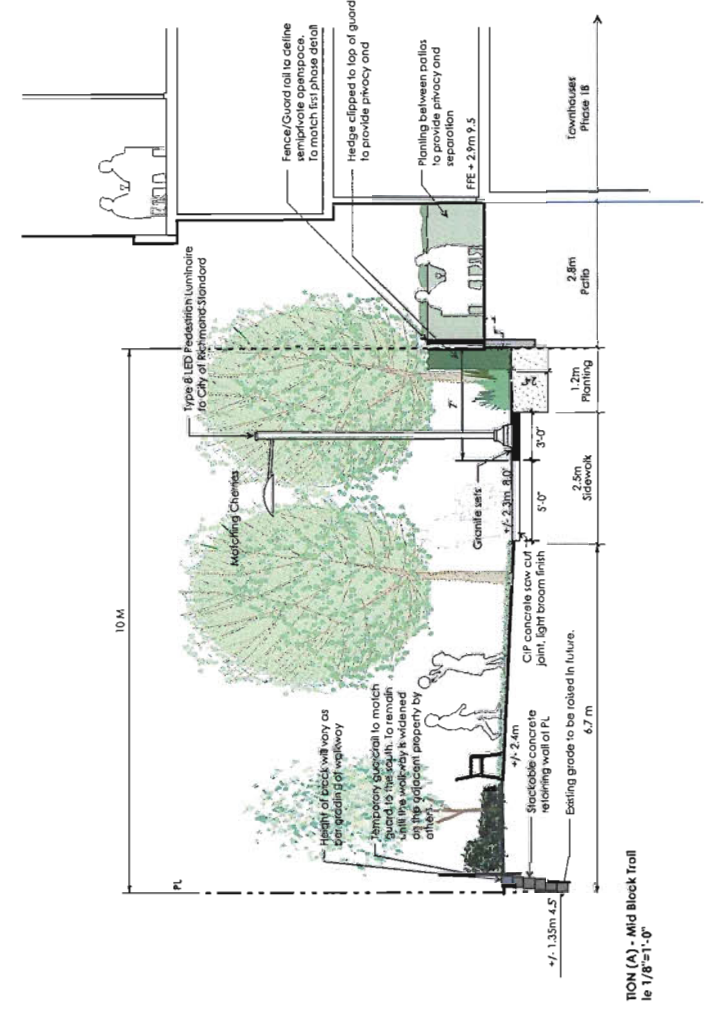
Drawn by:	PT/A
Checked by:	AL
Date:	June 2014
Scale:	1/8" = 1'-0"

Drawing Title:
 Level 14/15 - Podium
 Enlarged
 Landscape Plan

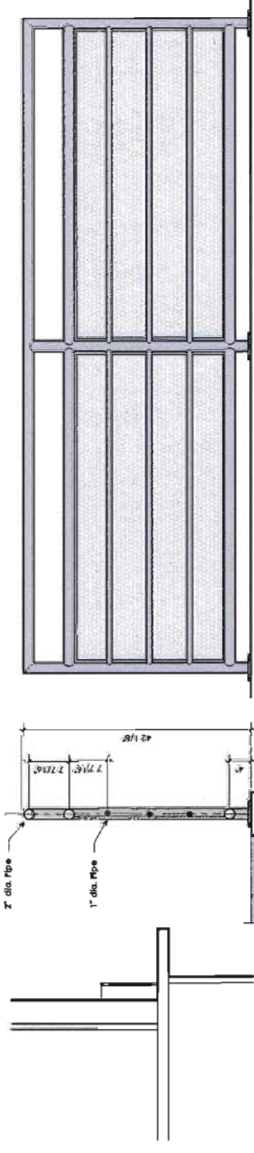
Project No.:	14035
Sheet No.:	



Architectural Rendering of Townhouse Guardrails



SECTION (A) - Mid Block Trail
 Scale 1/8"=1'-0"



SECTION (B) - HAZELBRIDGE WAY @ PHASE 1
 Scale 1/8"=1'-0"

SECTION (C) - SEXSMITH RD. Townhouse Interface
 Scale 1/8"=1'-0"



SECTION (D) - SEXSMITH RD. Arts Units
 Scale 1/8"=1'-0"



1 Nov 20 2014 DP Re-submission
 2 Nov 17 2014 DP Re-submission
 3 Nov 13 2014 Revised DP
 4 Nov 10 2014 Revised DP
 5 Nov 10 2014 Revised DP
 6 Nov 10 2014 Revised DP
 7 Nov 10 2014 Revised DP
 8 Nov 10 2014 Revised DP
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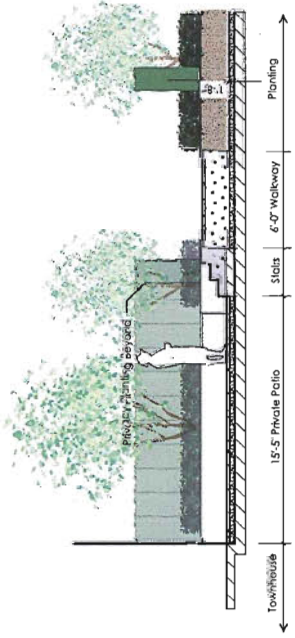


Project:
CAPSTAN VILLAGE PHASE 1
 RICHMOND, BC

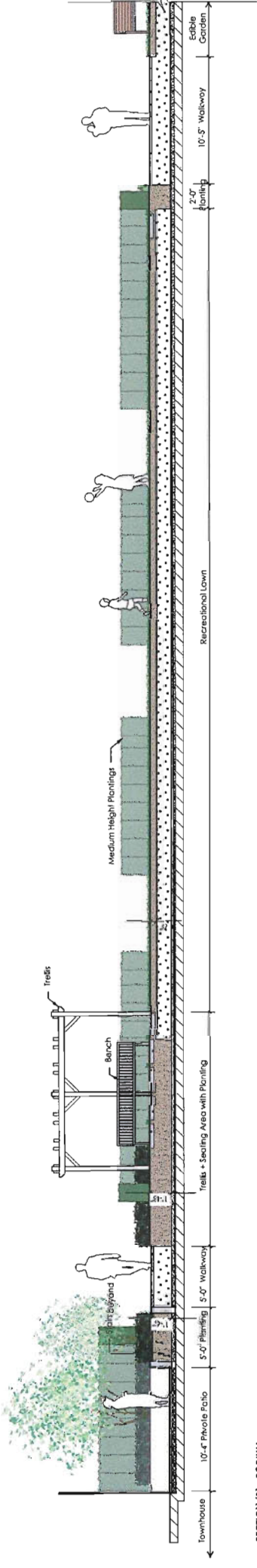
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Checked by:	AL
Date:	MAY 202014
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Drawing title:	Sections

Project No.:
 14035
 Sheet No.:

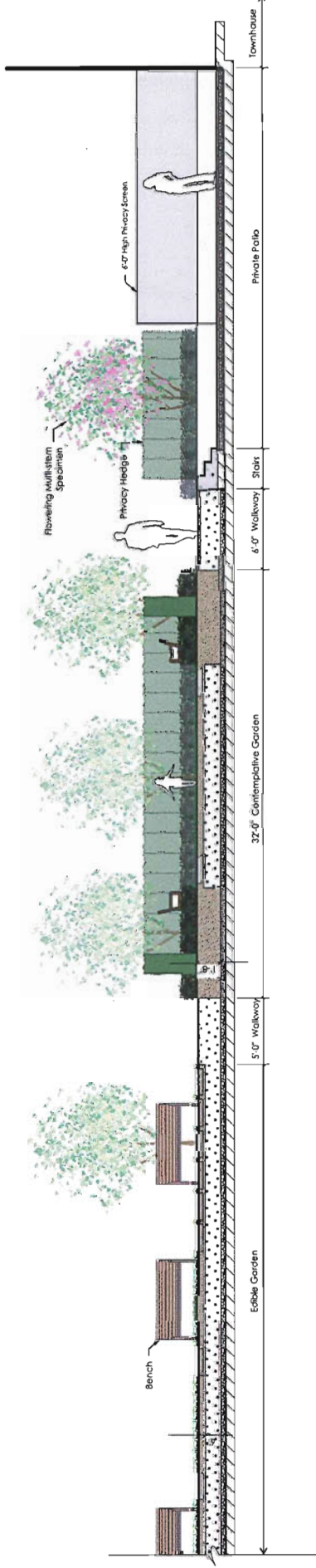
Level 1 Sections PINNACLE LIVING AT CAPSTAN VILLAGE - PHASE 1



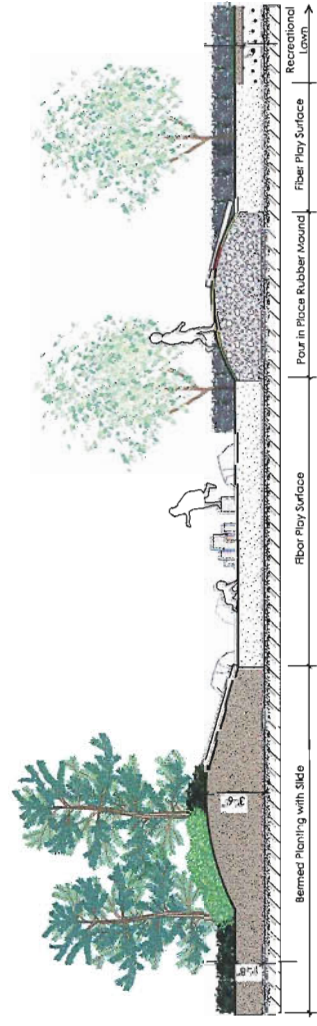
SECTION (A) - Bldg. E Townhouses
 Scale 1/4"=1'-0"



SECTION (B) - PODIUM
 Scale 1/4"=1'-0"



SECTION (B) CONTINUED - PODIUM
 Scale 1/4"=1'-0"



SECTION (C) - PODIUM CHILDREN'S PLAY
 Scale 1/4"=1'-0"



4 Nov. 20 2014 DP Resubmission
 5 Nov. 17 2014 DP Resubmission
 1 Nov. 13 2014 DP Resubmission
 1 Jul. 03 2014 DP Resubmission
 no. | date | item:
 Revises:



Purvis Reed LLC
 102 - 1627 Wood 5th Avenue
 Vancouver BC V6L 1M8
 T: 604 684 5277
 www.prl.ca

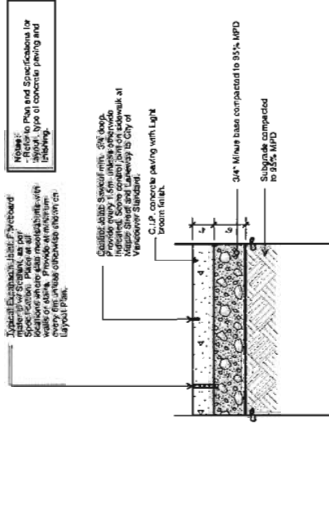
Project:
CAPSTAN VILLAGE PHASE 1
RICHMOND, BC

Drawn by:	SP/AL
Checked by:	AL
Date:	MAY 20/2014
Scale:	as shown

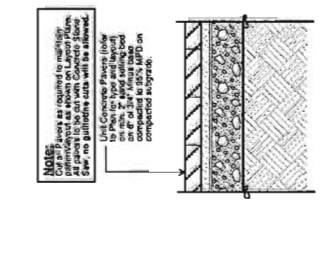
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Sections

Project No.:	14035
Sheet No.:	

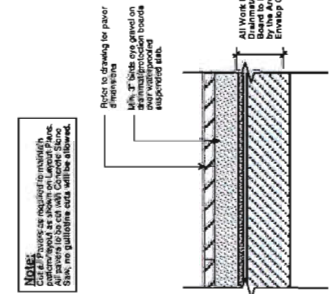
Level 4 Podium Sections PINNACLE LIVING AT CAPSTAN VILLAGE - PHASE 1



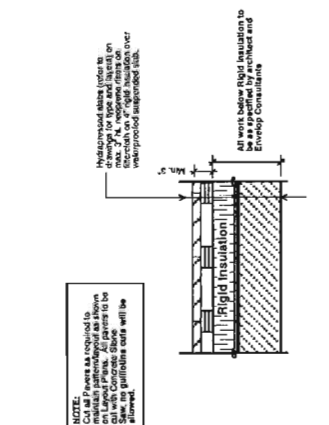
1 Concrete Paving - On Grade
L-1 Scale 1" = 1'-0"



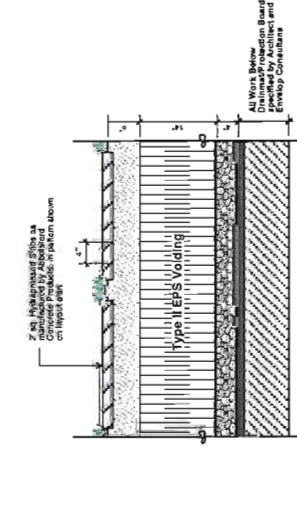
2 Precast Concrete Unit Pavers - On Grade
L-1 Scale 1" = 1'-0"



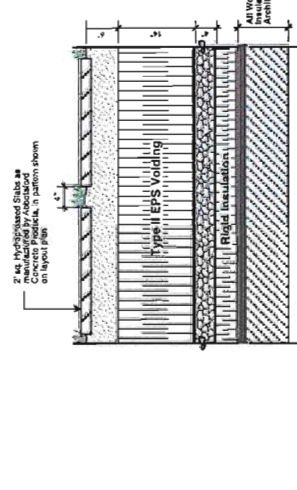
3 Pavers on Grade and on Slab - Over Parkade
L-1 Scale 1" = 1'-0"



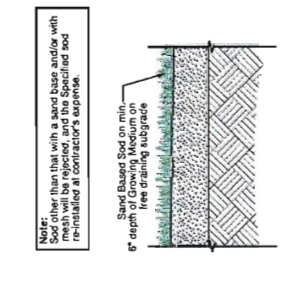
4 Hydrated Slabs on Inverted Roof
L-3 Scale 1" = 1'-0"



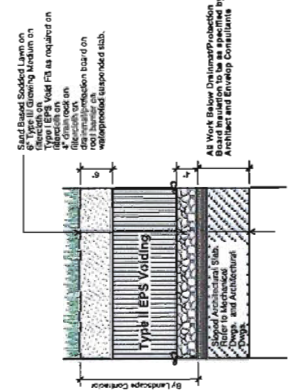
5 24"x24" Concrete Pavers Set in Lawn on Slab - Over Parkade
L-2 Scale 1" = 1'-0"



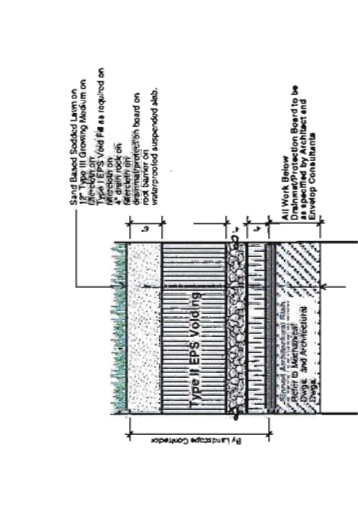
6 24"x24" Concrete Pavers Set in Lawn on Slab - Inverted Roof
L-3 Scale 1" = 1'-0"



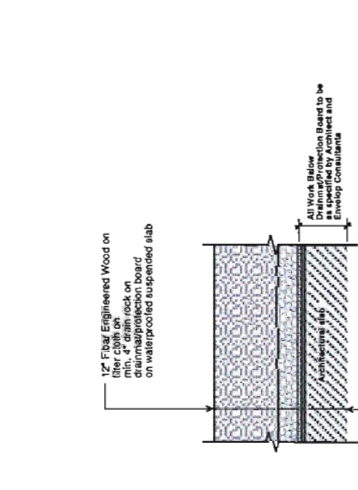
7 Sodded Lawn - On Grade
L-1 Scale 1" = 1'-0"



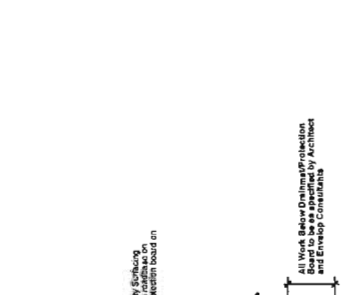
8 Sodded Lawn on Slab - Over Parkade
L-2 Scale 1" = 1'-0"



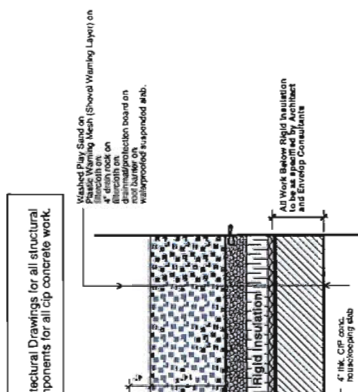
9 Sodded Lawn on Slab - Inverted Roof
L-3 Scale 1" = 1'-0"



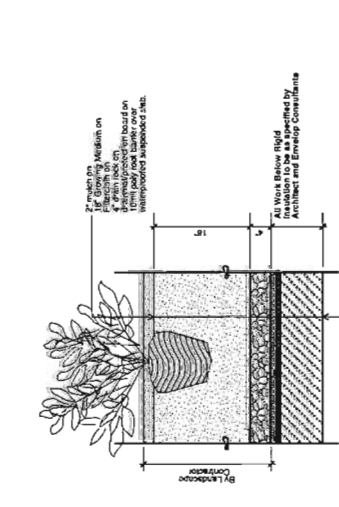
10 Fibar Play Surface on Slab - Over Parkade
L-2 Scale 1" = 1'-0"



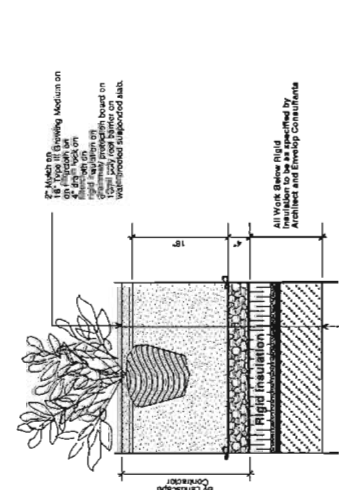
11 Resilient Poured Rubber Surfacing - Over Parkade
L-2 Scale 1" = 1'-0"



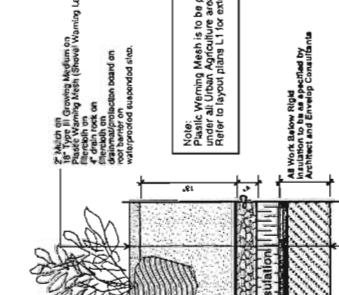
12 Play Sand - Over Parkade
L-2 Scale 1" = 1'-0"



13 Shrub Planting on Slab - Over Parkade
L-2 Scale 1" = 1'-0"



14 Shrub Planting on Slab - Inverted Roof
L-3 Scale 1" = 1'-0"



15 Urban Agriculture Planting on Slab - Inverted Roof
L-3 Scale 1" = 1'-0"

2 Nov. 26, 2014, DP Amendment
1 Nov. 19, 2014, DP Amendment
no. | date: | desc:
Revised:

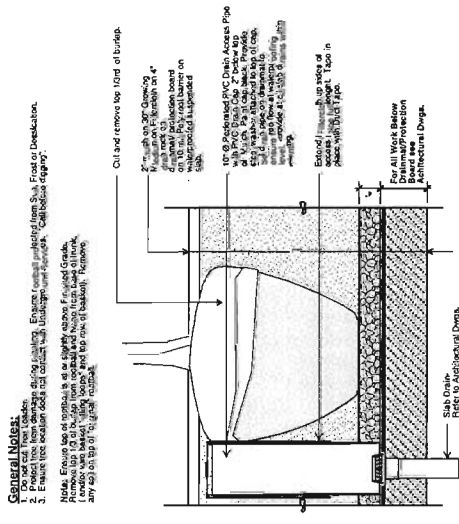


Richmond Park & Recreation
102 - 1627 West 5th Avenue
Vancouver BC V6J 1H5
Tel: 604-681-5277
www.rpk.bc.ca

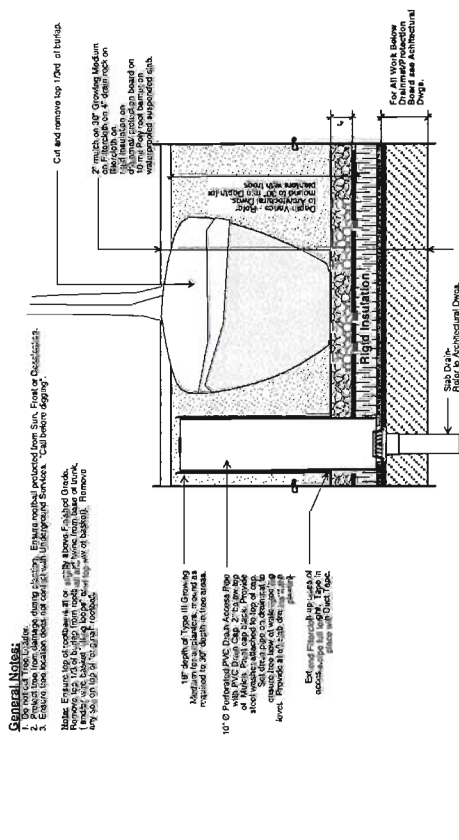
Project:
CAPSTAN VILLAGE PHASE 1
RICHMOND, BC

Drawn by: ALV
Checked by: AL
Date: MAY 20/2014
Scale: as shown
Drawing title: Details

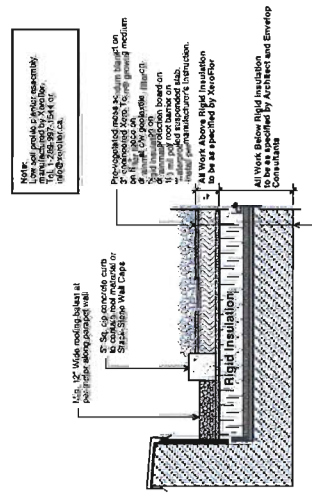
Project No.: 14035
Sheet No.:



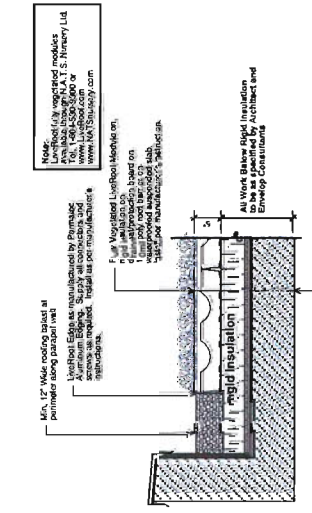
1 Typical Tree Planting on Slab - Over Parkade
L-2 Scale 1" = 1'-0"



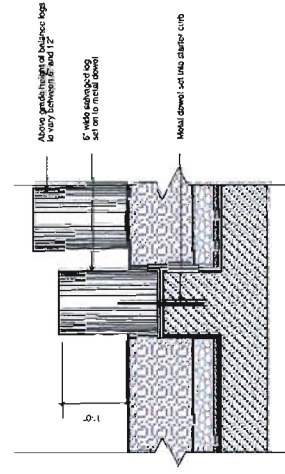
2 Typical Tree Planting on Slab with Drain Access Pipe in Planters on Slab - Inverted Roof
L-3 Scale 1" = 1'-0"



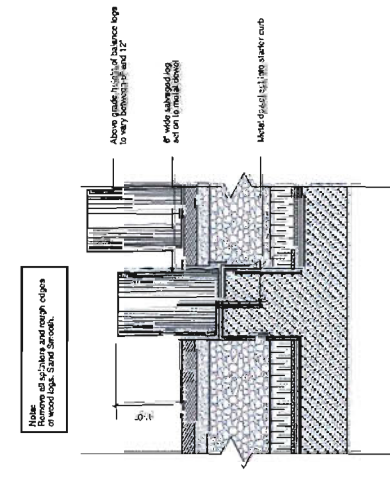
3 OPTION #1 - XeroFlor Pre-Vegetated Low Soil Planter on Slab - Inverted Roof
L-3 Scale 1" = 1'-0"



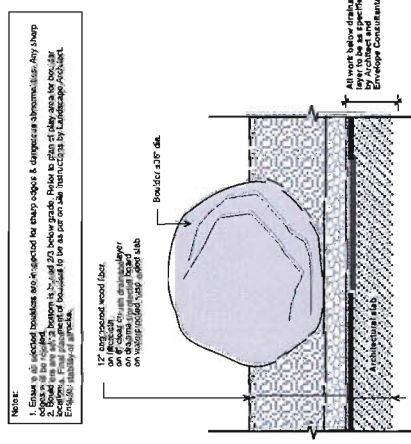
4 OPTION #2 - LiveRoof Low Soil Profile Planter on Slab - Inverted Roof
L-3 Scale 1" = 1'-0"



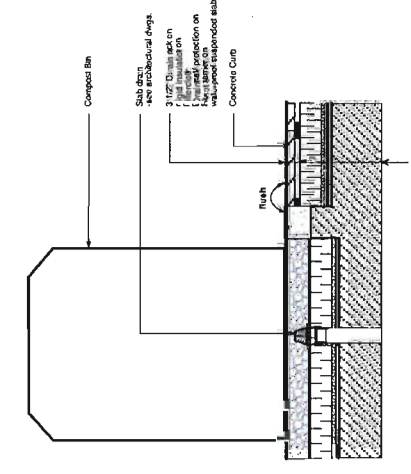
5 Balance Logs in Fiber Play Surface - Over Parkade
L-2 Scale 1" = 1'-0"



6 Balance Logs in Resilient Play Surface - Inverted Roof
L-3 Scale 1" = 1'-0"



7 Wood Fiber Play Area with Boulder
L-2 Scale 1" = 1'-0"



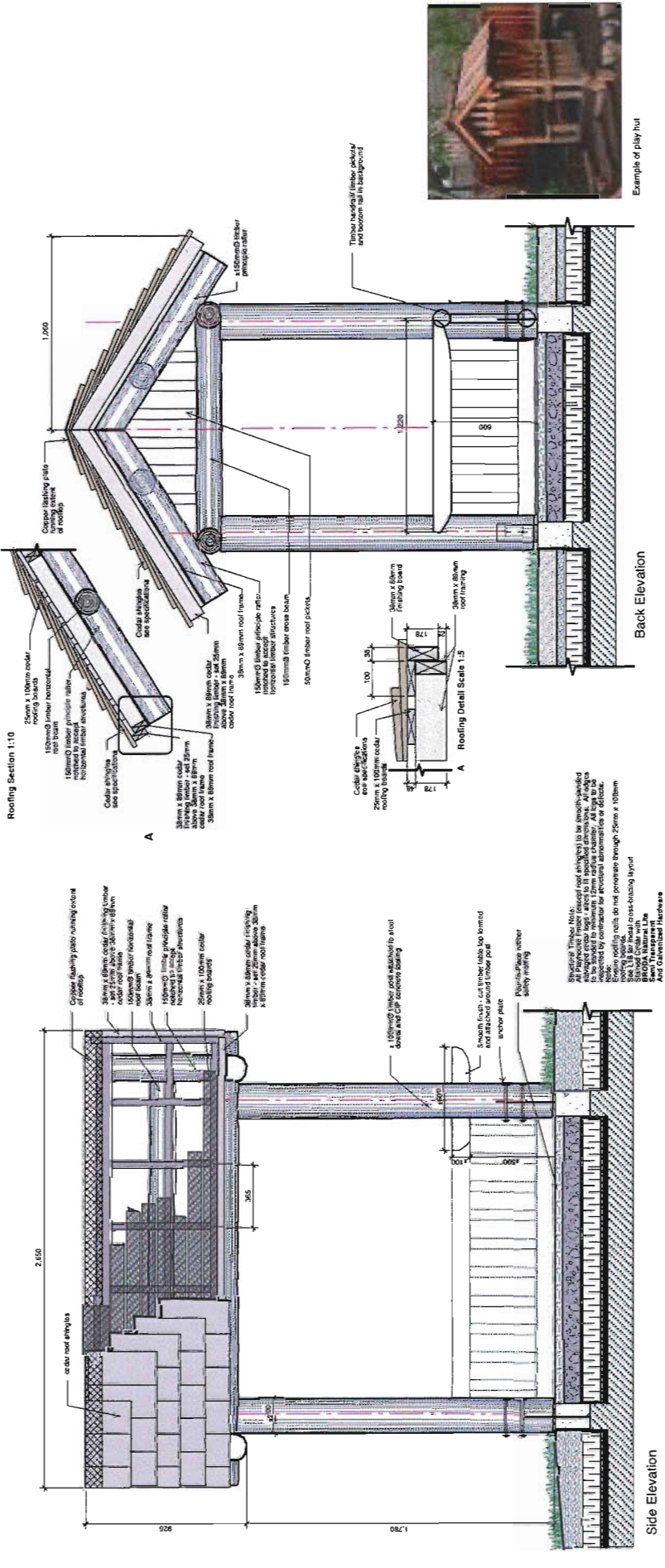
8 Composite Bin with Drainage Layer
L-3 Scale 1" = 1'-0"

1 Nov 20, 2014 DP Resubmission
1 Nov 17, 2014 DP Resubmission
R: 667322
PROJECT: CAPSTAN VILLAGE PHASE 1
RICHMOND, BC
102 - 1637 West 5th Avenue
Richmond BC V6Y 1K5
C: 604-684-0377
www.dribo.ca

PROJECT: CAPSTAN VILLAGE PHASE 1
RICHMOND, BC

Drawn by: AJPL
Checked by: AL
Date: MAY 20/2014
Scale: as shown
Drawing Title: Details

Project No.: 14035
Sheet No.:



1 Play Hut
 L-3 Scale 1" = 1'-0"

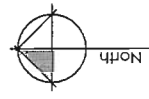
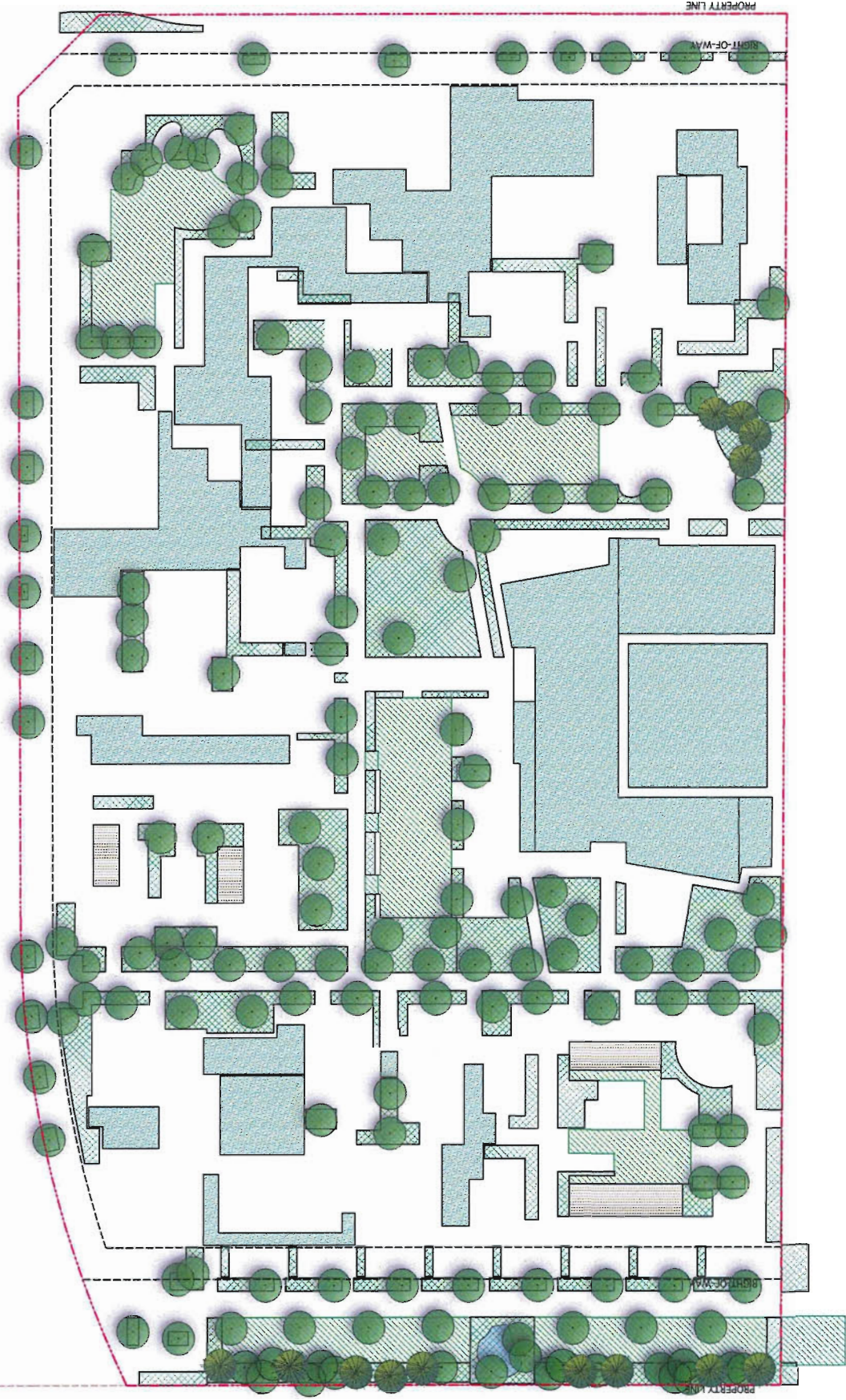
2 Nov. 20, 2014 DP Amendment
 1 Nov. 19, 2014 DP Amendment
 no. | code | item
 Remarks:

Purvis Road Ltd.
 102 - 1652 West 5th Avenue
 Vancouver BC V6J 1H5
 Tel: 604-681-8277
 www.dr.com

Project:
CAPSTAN VILLAGE PHASE 1
RICHMOND, BC

Drawn by: AJT
 Checked by: AL
 Date: MAY 20/2014
 Scale: as shown
 Drawing Title:
Details

Project No.:
 14035
 Sheet No.:



2 Nov 20 2014 DP Finalization
 1 Nov 19 2014 DP Finalization
 Date: | Date: | Date: |
 Revision: |
 Designer: Kline Ltd
 102 - 1037 Wood Dr Avenue
 Nanaimo BC V9L 1N5
 Tel: 250 884 0277
 www.kline.ca

Project:
CAPSTAN VILLAGE PHASE 1
RICHMOND, BC

Drawn by: SP/AL
 Checked by: AL
 Date: MAY 20 2014
 Scale: 1/16" = 1'-0"

Drawing Title:
**Green Overlay-
 LEED Calculations**

Project No.:
14035
 Sheet No.:

GREEN SPACE SUMMARY - LEED CALCULATIONS	
Calculations	
Site Area (inside Property Line): 78,284 sq/ft	
Traditional Landscape Area 17,265 sq/ft. (17.56%)	
Lawn Area 1,145 sq/ft. (1.22%)	
Urban Agriculture Areas 69,759 sq/ft. (7.26%)	
Extensive Green Roof Areas 16,883 sq/ft. (17.56%)	
Total Replacement Trees meeting City of Richmond Bylaw	181
Total Vegetated Area	42,125 sq/ft. (42.84%)

KEY	
	Traditional Landscape
	Lawn
	Urban Agriculture
	Extensive Green Roof
	Site Area
	Trees Deciduous (6cm cal min.) = 168
	Trees Conifers (3.5m tall min.) = 13

PINNACLE LIVING AT CAPSTAN VILLAGE - PHASE 1

RICHMOND, BRITISH COLUMBIA

NO.	ISSUE / REVISION	DATE
3	RE-ISSUED FOR DP	NOV 24 2014
2	RE-ISSUED FOR DP	NOV 17 2014
1	ISSUED FOR DP	NOV 14 2014

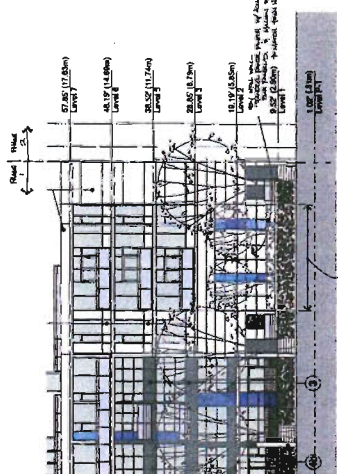
bingham hill
 architects

1000 WEST 10TH AVENUE, SUITE 200
 VANCOUVER, BC V6H 2Y4
 TEL: (604) 681-3333
 FAX: (604) 681-3334
 WWW.BINGHAMHILLARCHITECTS.COM

CONTRACT NO. 14-022
 PROJECT NO. 14-022
 DRAWING NO. A4.01

ELEVATIONS (BUILDING C)

PROJ. #	1402	DRAWING NUMBER	A4.01
SCALE	1/16" = 1'-0"		
DRAWN			
CHECKED			



DRIVEWAY CLOSURE AT 8677 CAPSTAN WAY
 UPON COMPLETION OF PHASE 1

LIST OF MATERIALS

- GLAZING IN ALUMINUM FRAMES
 - 1A - dark grey frame
 - 1B - silver frame: clear anodized aluminum
- SPANDREL GLASS IN ALUMINUM FRAMES
 - ACCENT COLOURS
 - 2B - dark green
 - 2C - light green
 - 2D - dark orange
 - 2E - light orange
 - 2F - light red
 - 2G - light blue
 - 2H - dark grey
 - 2I - medium grey
 - METAL PANEL
 - 3A - dark grey
 - 3B - medium grey
 - PAINTED CONCRETE
 - 4A - dark grey
 - 4B - white
 - 4C - medium grey
 - 4D - not used
 - 4E - dark green
 - 4F - dark red
 - 4G - dark red
- METAL GUARDRAILS
 - 5A - match
- CORRUGATED METAL
 - 6A - match
- TRANSLUCENT GLASS
 - 7A - white
- OVERHEAD GARAGE DOOR W/ GLASS PANELS
 - 8A - silver frame: clear anodized aluminum
- GLASS CANOPY
 - 9A - dark grey steel frame
 - 9B - silver
 - 9C - dark grey
 - 9D - dark grey
 - 9E - silver
- OVERHEAD GARAGE DOOR
 - 10A - dark grey
 - 10B - silver
 - 10C - silver
- NOT USED
 - 11A - silver
 - 11B - silver
 - 11C - silver
 - 11D - silver
 - 11E - silver
 - 11F - silver
 - 11G - silver
 - 11H - silver
 - 11I - silver
 - 11J - silver
 - 11K - silver
 - 11L - silver
 - 11M - silver
 - 11N - silver
 - 11O - silver
 - 11P - silver
 - 11Q - silver
 - 11R - silver
 - 11S - silver
 - 11T - silver
 - 11U - silver
 - 11V - silver
 - 11W - silver
 - 11X - silver
 - 11Y - silver
 - 11Z - silver
- ALUMINUM GLAZED GUARDRAILS
 - 12A - dark grey
 - 12B - silver
 - 12C - silver

SOUTH ELEVATION BUILDING C



PINNACLE LIVING AT CAPSTAN VILLAGE - PHASE 1

RICHMOND, BRITISH COLUMBIA

bingham hill architects

1111 15th Street
Vancouver, BC V6Z 2S2
Tel: 604.278.1111
Fax: 604.278.1112
www.binghamhill.com

CONTRACT NO. 2013-01-001
PROJECT NO. 2013-01-001
DRAWING NO. 19-01-001
DATE: 11/19/14

NO. 1: 11/19/14
NO. 2: 11/19/14
NO. 3: 11/19/14

RE-ISSUED FOR DP
RE-ISSUED FOR DP
ISSUED FOR DP

DATE: 11/19/14

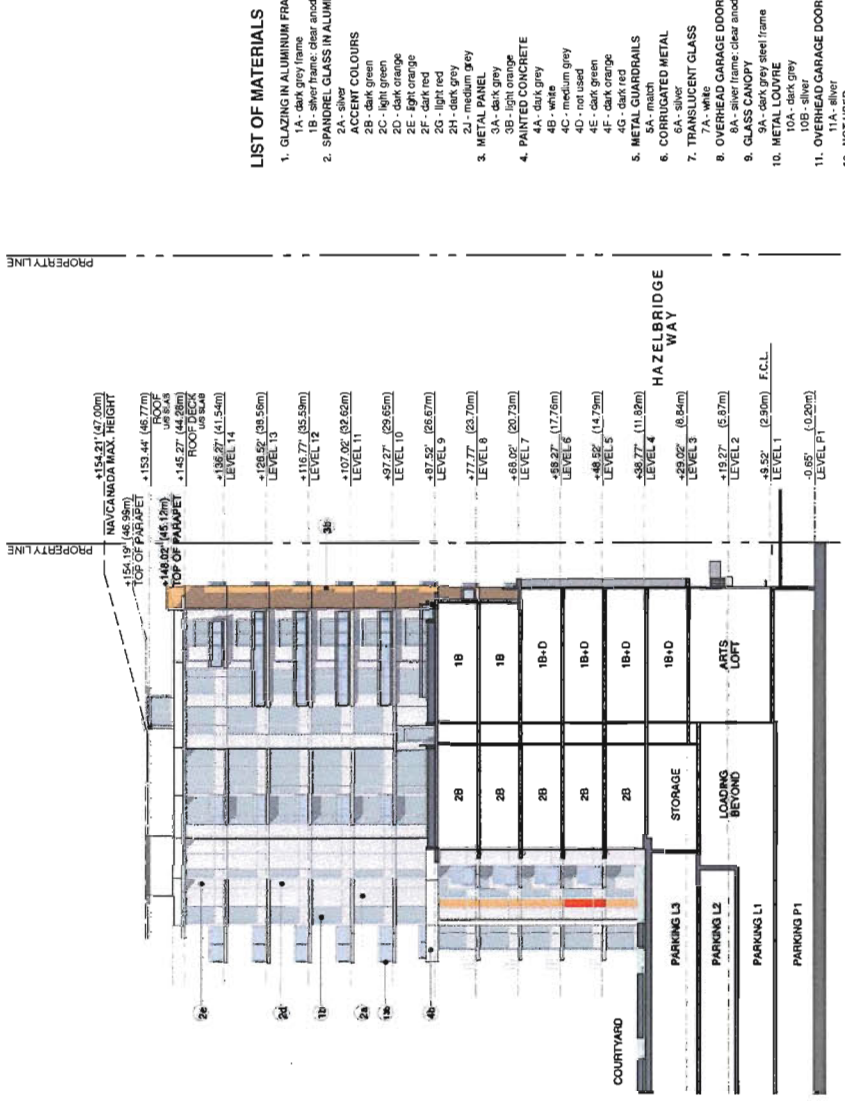
ELEVATIONS (BUILDING D)

ALL DIMENSIONS SHALL BE VERIFIED ON SITE

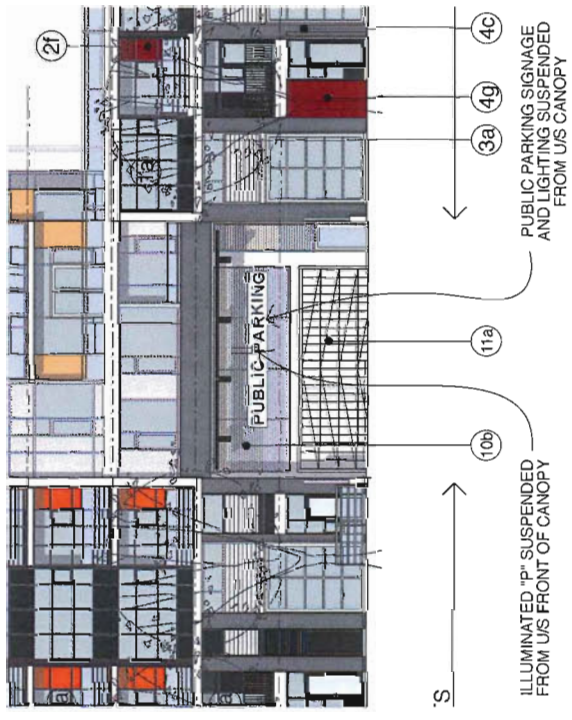
SCALE: 1/4" = 1'-0"

DRAWING NUMBER: A4.03

CHECKED: _____
DATE: _____



- LIST OF MATERIALS**
- GLAZING IN ALUMINUM FRAMES
 - 1A - dark grey frame
 - 1B - silver frame - clear anodized aluminum
 - SPANDREL GLASS IN ALUMINUM FRAMES
 - ACCENT COLOURS
 - 2C - light green
 - 2D - dark orange
 - 2E - light orange
 - 2F - light red
 - 2G - dark red
 - 2H - dark grey
 - 2I - medium grey
 - METAL PANEL
 - 3A - dark grey
 - 3B - medium grey
 - 3C - light grey
 - 3D - not used
 - 3E - dark green
 - 3F - dark red
 - 3G - dark red
 - 3H - dark red
 - 3I - white
 - PAINTED CONCRETE
 - 4A - dark grey
 - 4B - white
 - 4C - medium grey
 - 4D - not used
 - 4E - dark green
 - 4F - dark red
 - 4G - dark red
 - METAL GUARDRAILS
 - 5A - match
 - 5B - silver
 - 5C - dark grey
 - 5D - dark red
 - 5E - dark red
 - 5F - dark red
 - 5G - dark red
 - 5H - dark red
 - 5I - white
 - CORRUGATED METAL
 - 6A - silver
 - 6B - dark grey
 - 6C - dark red
 - 6D - dark red
 - 6E - dark red
 - 6F - dark red
 - 6G - dark red
 - 6H - dark red
 - 6I - white
 - TRIM AND FINISH GLASS
 - 7A - white
 - 7B - white
 - 7C - white
 - 7D - white
 - 7E - white
 - 7F - white
 - 7G - white
 - 7H - white
 - 7I - white
 - OVERHEAD GARAGE DOOR W/ GLASS PANELS
 - 8A - silver frame - clear anodized aluminum
 - 8B - silver frame - clear anodized aluminum
 - GLASS CANOPY
 - 9A - dark grey steel frame
 - 9B - dark grey steel frame
 - 9C - dark grey steel frame
 - 9D - dark grey steel frame
 - 9E - dark grey steel frame
 - 9F - dark grey steel frame
 - 9G - dark grey steel frame
 - 9H - dark grey steel frame
 - 9I - dark grey steel frame
 - NOT USED
 - ALUMINUM GLAZED GUARDRAILS
 - 10A - silver
 - 10B - silver
 - 10C - silver
 - 10D - silver
 - 10E - silver
 - 10F - silver
 - 10G - silver
 - 10H - silver
 - 10I - silver
 - NOT USED
 - ALUMINUM GLAZED GUARDRAILS
 - 11A - silver
 - 11B - silver
 - 11C - silver
 - 11D - silver
 - 11E - silver
 - 11F - silver
 - 11G - silver
 - 11H - silver
 - 11I - silver
 - NOT USED
 - ALUMINUM GLAZED GUARDRAILS
 - 12A - silver
 - 12B - silver
 - 12C - silver
 - 12D - silver
 - 12E - silver
 - 12F - silver
 - 12G - silver
 - 12H - silver
 - 12I - silver
 - NOT USED
 - ALUMINUM GLAZED GUARDRAILS
 - 13A - silver
 - 13B - silver
 - 13C - silver
 - 13D - silver
 - 13E - silver
 - 13F - silver
 - 13G - silver
 - 13H - silver
 - 13I - silver



PINNACLE LIVING AT CAPSTAN VILLAGE - PHASE 1

RICHMOND, BRITISH COLUMBIA

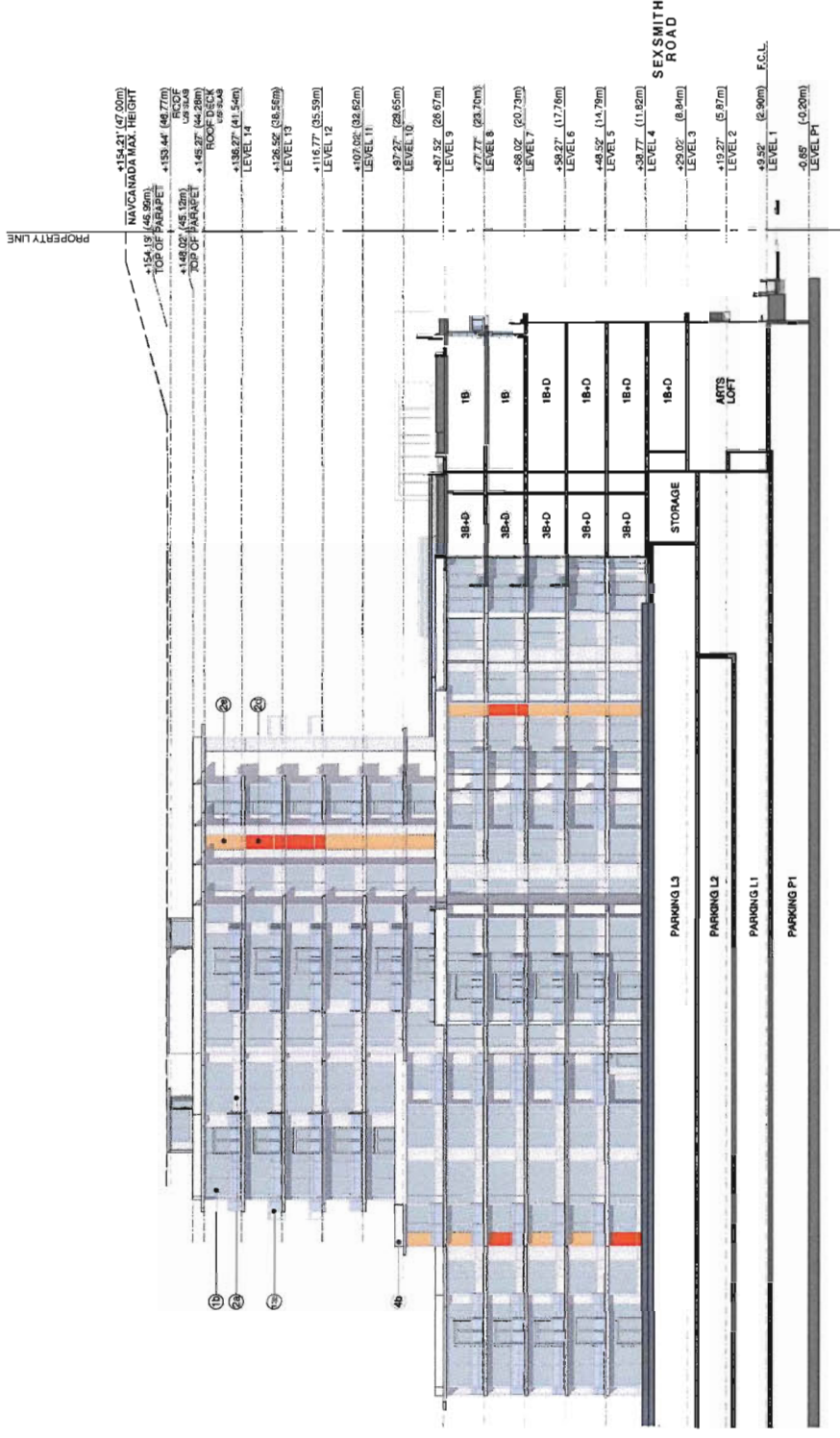
bingham hills
architects

NO.	DATE/REVISION	DATE
3	RE-ISSUED FOR DP	NOV 27, 2014
2	RE-ISSUED FOR DP	NOV 21, 2014
1	ISSUED FOR DP	NOV 21, 2014

CONTRACT: RICHMOND, BC, CANADA, 1402
PROJECT: PINNACLE LIVING AT CAPSTAN VILLAGE - PHASE 1
DRAWING: ELEVATIONS (BUILDING D)
DATE: NOV 19, 2014
DRAWN BY: [REDACTED]
CHECKED BY: [REDACTED]

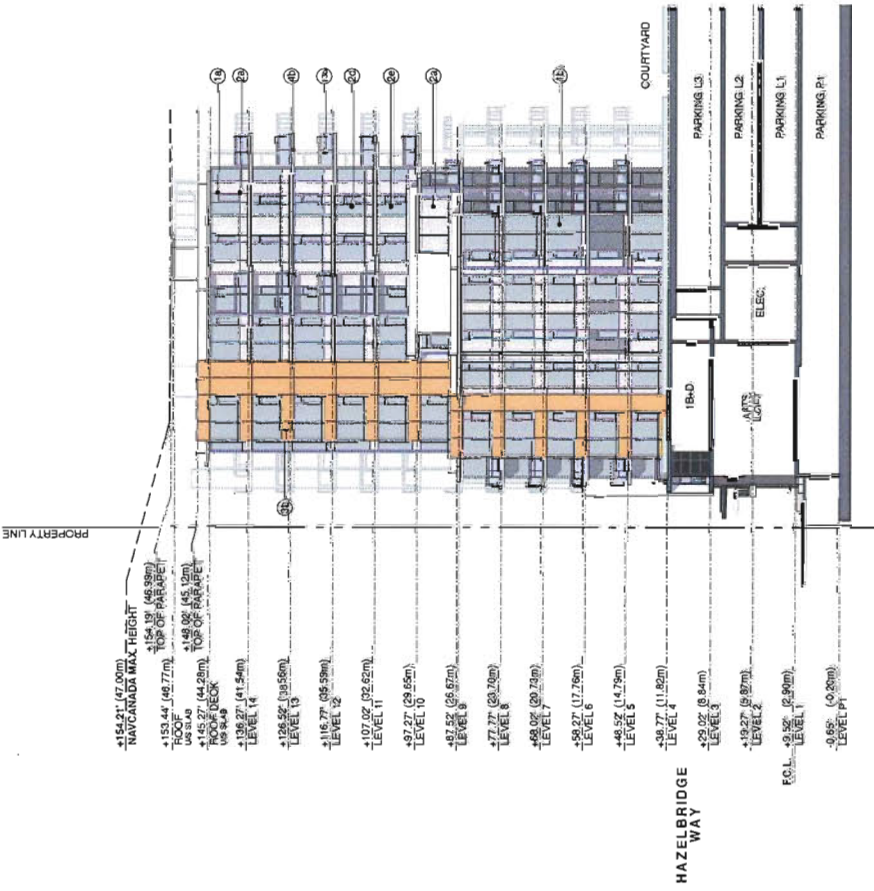
ELEVATIONS (BUILDING D)

SCALE: 1/4" = 1'-0"	DRAWING NUMBER
1/4" = 1'-0"	A4.04
DATE: 11/19/14	DRAWN BY: [REDACTED]
CHECKED BY: [REDACTED]	



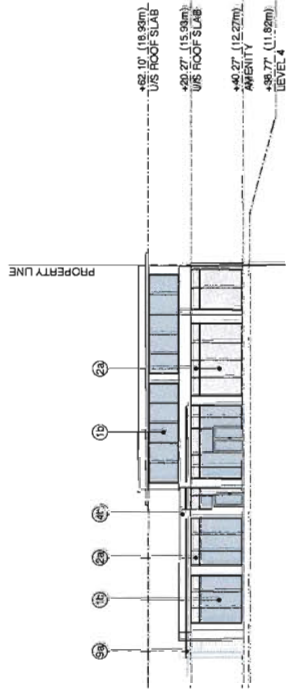
SOUTH ELEVATION
BUILDING D

0 5' 10' 20' 40'

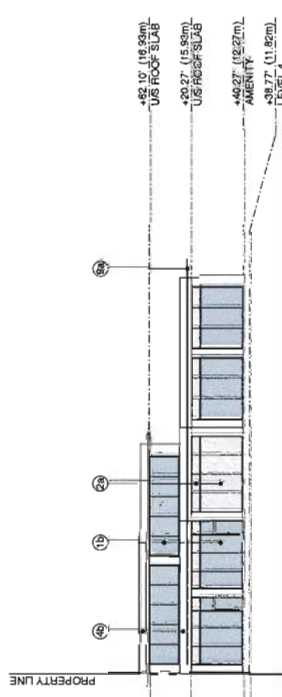


WEST ELEVATION
BUILDING D

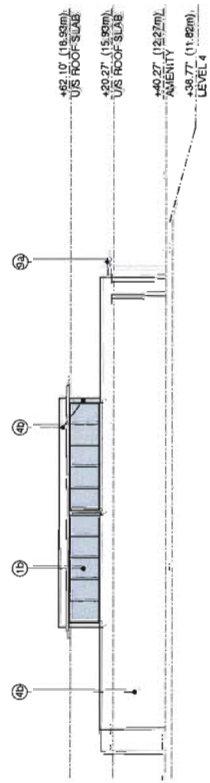
0 5' 10' 20' 40'



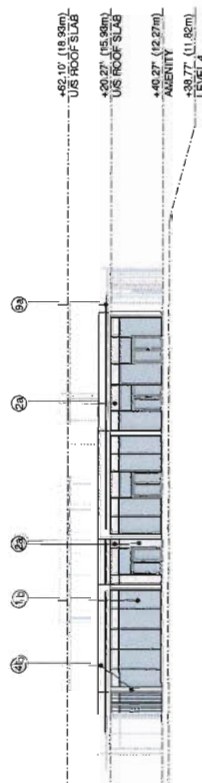
WEST ELEVATION
AMENITY BUILDING



EAST ELEVATION
AMENITY BUILDING



SOUTH ELEVATION
AMENITY BUILDING



NORTH ELEVATION
AMENITY BUILDING

- LIST OF MATERIALS**
- GLAZING IN ALUMINUM FRAMES
 - 1A - dark grey frame
 - 1B - silver frame: clear anodized aluminum
 - SMOKELESS GLASS IN ALUMINUM FRAMES
 - 2A - accent colours
 - 2B - dark green
 - 2C - light green
 - 2D - dark orange
 - 2E - light orange
 - 2F - light blue
 - 2G - light red
 - 2H - dark grey
 - 2I - medium grey
 - 2J - dark grey
 - 2K - dark grey
 - 2A - accent colours
 - METAL PANEL
 - 3A - dark grey
 - 3B - white
 - 3C - medium grey
 - 3D - not used
 - 3E - dark grey
 - 3F - dark red
 - 3G - dark red
 - 3H - white
 - 3I - medium grey
 - 3J - dark grey
 - 3K - dark grey
 - 3L - white
 - 3M - medium grey
 - 3N - not used
 - 3O - dark grey
 - 3P - dark red
 - 3Q - dark red
 - 3R - white
 - 3S - medium grey
 - 3T - dark grey
 - 3U - dark grey
 - 3V - white
 - 3W - medium grey
 - 3X - not used
 - 3Y - dark grey
 - 3Z - dark red
 - PAINTED CONCRETE
 - 4A - dark grey
 - 4B - white
 - 4C - medium grey
 - 4D - not used
 - 4E - dark grey
 - 4F - dark red
 - 4G - dark red
 - 4H - white
 - 4I - medium grey
 - 4J - dark grey
 - 4K - dark grey
 - 4L - white
 - 4M - medium grey
 - 4N - not used
 - 4O - dark grey
 - 4P - dark red
 - 4Q - dark red
 - 4R - white
 - 4S - medium grey
 - 4T - dark grey
 - 4U - dark grey
 - 4V - white
 - 4W - medium grey
 - 4X - not used
 - 4Y - dark grey
 - 4Z - dark red
 - METAL GUARDRAILS
 - 5A - match
 - 5B - white
 - 5C - medium grey
 - 5D - dark grey
 - 5E - dark red
 - 5F - dark red
 - 5G - white
 - 5H - medium grey
 - 5I - dark grey
 - 5J - dark grey
 - 5K - dark grey
 - 5L - white
 - 5M - medium grey
 - 5N - not used
 - 5O - dark grey
 - 5P - dark red
 - 5Q - dark red
 - 5R - white
 - 5S - medium grey
 - 5T - dark grey
 - 5U - dark grey
 - 5V - white
 - 5W - medium grey
 - 5X - not used
 - 5Y - dark grey
 - 5Z - dark red
 - CORRUGATED METAL
 - 6A - white
 - 6B - medium grey
 - 6C - dark grey
 - 6D - dark red
 - 6E - dark red
 - 6F - white
 - 6G - medium grey
 - 6H - dark grey
 - 6I - dark grey
 - 6J - dark grey
 - 6K - dark grey
 - 6L - white
 - 6M - medium grey
 - 6N - not used
 - 6O - dark grey
 - 6P - dark red
 - 6Q - dark red
 - 6R - white
 - 6S - medium grey
 - 6T - dark grey
 - 6U - dark grey
 - 6V - white
 - 6W - medium grey
 - 6X - not used
 - 6Y - dark grey
 - 6Z - dark red
 - TRANSLUCENT GLASS
 - 7A - white
 - 7B - medium grey
 - 7C - dark grey
 - 7D - dark red
 - 7E - dark red
 - 7F - white
 - 7G - medium grey
 - 7H - dark grey
 - 7I - dark grey
 - 7J - dark grey
 - 7K - dark grey
 - 7L - white
 - 7M - medium grey
 - 7N - not used
 - 7O - dark grey
 - 7P - dark red
 - 7Q - dark red
 - 7R - white
 - 7S - medium grey
 - 7T - dark grey
 - 7U - dark grey
 - 7V - white
 - 7W - medium grey
 - 7X - not used
 - 7Y - dark grey
 - 7Z - dark red
 - OVERHEAD GARAGE DOOR W/ GLASS PANELS
 - 8A - silver frame: clear anodized aluminum
 - 8B - silver frame: clear anodized aluminum
 - 8C - silver frame: clear anodized aluminum
 - 8D - silver frame: clear anodized aluminum
 - 8E - silver frame: clear anodized aluminum
 - 8F - silver frame: clear anodized aluminum
 - 8G - silver frame: clear anodized aluminum
 - 8H - silver frame: clear anodized aluminum
 - 8I - silver frame: clear anodized aluminum
 - 8J - silver frame: clear anodized aluminum
 - 8K - silver frame: clear anodized aluminum
 - 8L - silver frame: clear anodized aluminum
 - 8M - silver frame: clear anodized aluminum
 - 8N - silver frame: clear anodized aluminum
 - 8O - silver frame: clear anodized aluminum
 - 8P - silver frame: clear anodized aluminum
 - 8Q - silver frame: clear anodized aluminum
 - 8R - silver frame: clear anodized aluminum
 - 8S - silver frame: clear anodized aluminum
 - 8T - silver frame: clear anodized aluminum
 - 8U - silver frame: clear anodized aluminum
 - 8V - silver frame: clear anodized aluminum
 - 8W - silver frame: clear anodized aluminum
 - 8X - silver frame: clear anodized aluminum
 - 8Y - silver frame: clear anodized aluminum
 - 8Z - silver frame: clear anodized aluminum
 - GLASS CANOPY
 - 9A - silver frame: clear anodized aluminum
 - 9B - silver frame: clear anodized aluminum
 - 9C - silver frame: clear anodized aluminum
 - 9D - silver frame: clear anodized aluminum
 - 9E - silver frame: clear anodized aluminum
 - 9F - silver frame: clear anodized aluminum
 - 9G - silver frame: clear anodized aluminum
 - 9H - silver frame: clear anodized aluminum
 - 9I - silver frame: clear anodized aluminum
 - 9J - silver frame: clear anodized aluminum
 - 9K - silver frame: clear anodized aluminum
 - 9L - silver frame: clear anodized aluminum
 - 9M - silver frame: clear anodized aluminum
 - 9N - silver frame: clear anodized aluminum
 - 9O - silver frame: clear anodized aluminum
 - 9P - silver frame: clear anodized aluminum
 - 9Q - silver frame: clear anodized aluminum
 - 9R - silver frame: clear anodized aluminum
 - 9S - silver frame: clear anodized aluminum
 - 9T - silver frame: clear anodized aluminum
 - 9U - silver frame: clear anodized aluminum
 - 9V - silver frame: clear anodized aluminum
 - 9W - silver frame: clear anodized aluminum
 - 9X - silver frame: clear anodized aluminum
 - 9Y - silver frame: clear anodized aluminum
 - 9Z - silver frame: clear anodized aluminum
 - METAL LOUVER
 - 10A - dark grey
 - 10B - silver
 - 10C - silver
 - 10D - silver
 - 10E - silver
 - 10F - silver
 - 10G - silver
 - 10H - silver
 - 10I - silver
 - 10J - silver
 - 10K - silver
 - 10L - silver
 - 10M - silver
 - 10N - silver
 - 10O - silver
 - 10P - silver
 - 10Q - silver
 - 10R - silver
 - 10S - silver
 - 10T - silver
 - 10U - silver
 - 10V - silver
 - 10W - silver
 - 10X - silver
 - 10Y - silver
 - 10Z - silver
 - OVERHEAD GARAGE DOOR
 - 11A - silver
 - 11B - silver
 - 11C - silver
 - 11D - silver
 - 11E - silver
 - 11F - silver
 - 11G - silver
 - 11H - silver
 - 11I - silver
 - 11J - silver
 - 11K - silver
 - 11L - silver
 - 11M - silver
 - 11N - silver
 - 11O - silver
 - 11P - silver
 - 11Q - silver
 - 11R - silver
 - 11S - silver
 - 11T - silver
 - 11U - silver
 - 11V - silver
 - 11W - silver
 - 11X - silver
 - 11Y - silver
 - 11Z - silver
 - NOT USED
 - ALUMINUM GLAZED GUARDRAILS
 - 12A - silver
 - 12B - silver
 - 12C - silver
 - 12D - silver
 - 12E - silver
 - 12F - silver
 - 12G - silver
 - 12H - silver
 - 12I - silver
 - 12J - silver
 - 12K - silver
 - 12L - silver
 - 12M - silver
 - 12N - silver
 - 12O - silver
 - 12P - silver
 - 12Q - silver
 - 12R - silver
 - 12S - silver
 - 12T - silver
 - 12U - silver
 - 12V - silver
 - 12W - silver
 - 12X - silver
 - 12Y - silver
 - 12Z - silver
 - ALUMINUM GLAZED GUARDRAILS
 - 13A - silver
 - 13B - silver
 - 13C - silver
 - 13D - silver
 - 13E - silver
 - 13F - silver
 - 13G - silver
 - 13H - silver
 - 13I - silver
 - 13J - silver
 - 13K - silver
 - 13L - silver
 - 13M - silver
 - 13N - silver
 - 13O - silver
 - 13P - silver
 - 13Q - silver
 - 13R - silver
 - 13S - silver
 - 13T - silver
 - 13U - silver
 - 13V - silver
 - 13W - silver
 - 13X - silver
 - 13Y - silver
 - 13Z - silver

PINNACLE LIVING AT CAPSTAN VILLAGE - PHASE 1

RICHMOND, BRITISH COLUMBIA

3	RE-ISSUED FOR DP	10/27/14
2	RE-ISSUED FOR DP	10/17/14
1	ISSUED FOR DP	10/16/14

NO. 00357 / PROJECT DATE

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architects

1100 WEST 10TH AVENUE, SUITE 100
VANCOUVER, BC V6H 2T6
TEL: 604.275.1531
WWW.BINGHAMHILI.COM

CONTRACT: RESIDENTIAL DEVELOPMENT, PHASE 1
CAPSTAN VILLAGE, 1100 WEST 10TH AVENUE, RICHMOND, BC
DRAWING NO. DP 14-667322

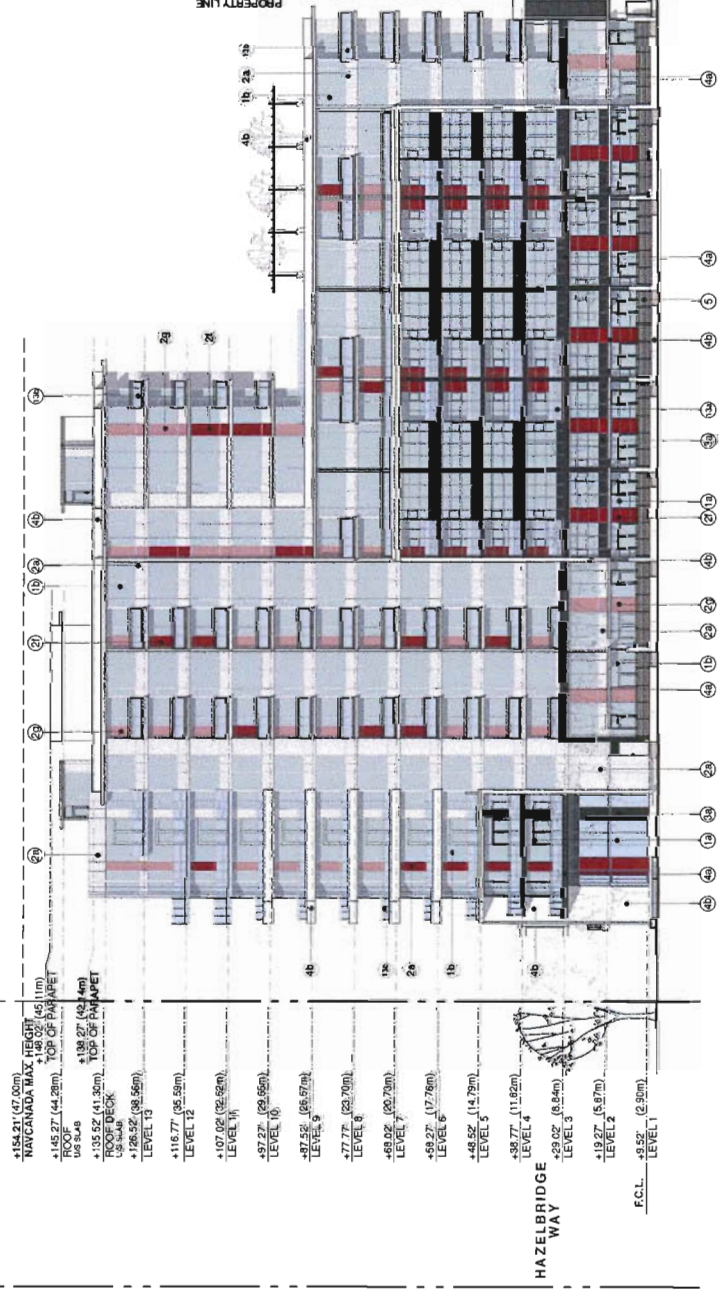
ELEVATIONS (BUILDING E)

SCALE	1:400
DRAWING NUMBER	A4.05
DATE	
DESIGNED BY	
CHECKED BY	

LIST OF MATERIALS

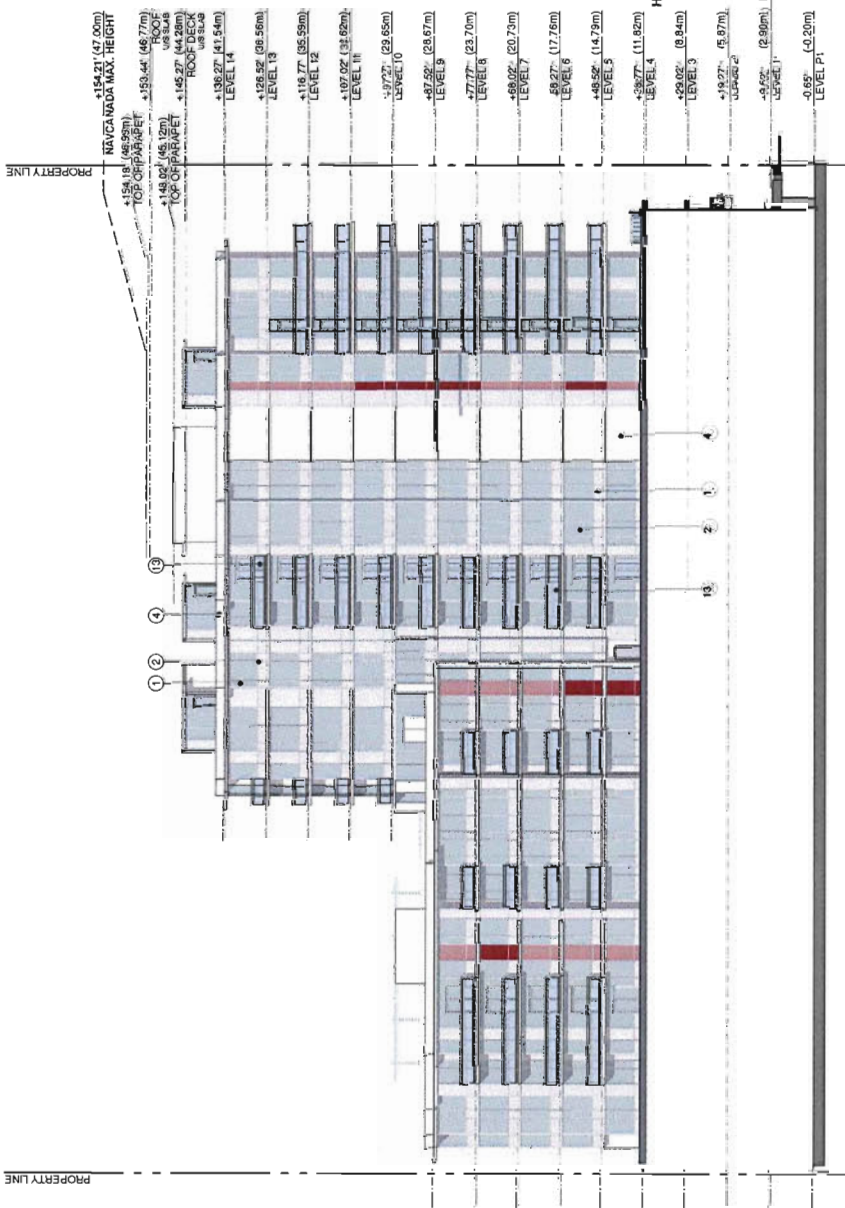
- GLAZING IN ALUMINUM FRAMES
 - 1A - dark grey frame
 - 1B - medium grey frame
 - 1C - light grey frame
 - 1D - clear anodized aluminum
- SPANDREL GLASS IN ALUMINUM FRAMES
 - 2A - silver
 - 2B - dark green
 - 2C - light orange
 - 2D - light green
 - 2E - light grey
 - 2F - dark red
 - 2G - light red
 - 2H - dark grey
 - 2I - medium grey
 - 2J - medium grey
- METAL PANEL
 - 3A - light orange
 - 3B - light orange
 - 3C - light orange
 - 3D - light orange
 - 3E - light orange
 - 3F - light orange
 - 3G - light orange
 - 3H - light orange
 - 3I - light orange
 - 3J - light orange
 - 3K - light orange
 - 3L - light orange
 - 3M - light orange
 - 3N - light orange
 - 3O - light orange
 - 3P - light orange
 - 3Q - light orange
 - 3R - light orange
 - 3S - light orange
 - 3T - light orange
 - 3U - light orange
 - 3V - light orange
 - 3W - light orange
 - 3X - light orange
 - 3Y - light orange
 - 3Z - light orange
- PAINTED CONCRETE
 - 4A - white
 - 4B - white
 - 4C - medium grey
 - 4D - medium grey
 - 4E - dark green
 - 4F - dark orange
 - 4G - dark red
 - 4H - dark red
- METAL GUARDRAILS
 - 5A - silver
 - 5B - silver
 - 5C - silver
 - 5D - silver
 - 5E - silver
 - 5F - silver
 - 5G - silver
 - 5H - silver
 - 5I - silver
 - 5J - silver
 - 5K - silver
 - 5L - silver
 - 5M - silver
 - 5N - silver
 - 5O - silver
 - 5P - silver
 - 5Q - silver
 - 5R - silver
 - 5S - silver
 - 5T - silver
 - 5U - silver
 - 5V - silver
 - 5W - silver
 - 5X - silver
 - 5Y - silver
 - 5Z - silver
- CORRUGATED METAL
 - 6A - silver
 - 6B - silver
 - 6C - silver
 - 6D - silver
 - 6E - silver
 - 6F - silver
 - 6G - silver
 - 6H - silver
 - 6I - silver
 - 6J - silver
 - 6K - silver
 - 6L - silver
 - 6M - silver
 - 6N - silver
 - 6O - silver
 - 6P - silver
 - 6Q - silver
 - 6R - silver
 - 6S - silver
 - 6T - silver
 - 6U - silver
 - 6V - silver
 - 6W - silver
 - 6X - silver
 - 6Y - silver
 - 6Z - silver
- TRANSLUCENT GLASS
 - 7A - white
 - 7B - white
 - 7C - white
 - 7D - white
 - 7E - white
 - 7F - white
 - 7G - white
 - 7H - white
 - 7I - white
 - 7J - white
 - 7K - white
 - 7L - white
 - 7M - white
 - 7N - white
 - 7O - white
 - 7P - white
 - 7Q - white
 - 7R - white
 - 7S - white
 - 7T - white
 - 7U - white
 - 7V - white
 - 7W - white
 - 7X - white
 - 7Y - white
 - 7Z - white
- OVERHEAD GARAGE DOOR W/ GLASS PANELS
 - 8A - silver frame; clear anodized aluminum
 - 8B - silver frame; clear anodized aluminum
 - 8C - silver frame; clear anodized aluminum
 - 8D - silver frame; clear anodized aluminum
 - 8E - silver frame; clear anodized aluminum
 - 8F - silver frame; clear anodized aluminum
 - 8G - silver frame; clear anodized aluminum
 - 8H - silver frame; clear anodized aluminum
 - 8I - silver frame; clear anodized aluminum
 - 8J - silver frame; clear anodized aluminum
 - 8K - silver frame; clear anodized aluminum
 - 8L - silver frame; clear anodized aluminum
 - 8M - silver frame; clear anodized aluminum
 - 8N - silver frame; clear anodized aluminum
 - 8O - silver frame; clear anodized aluminum
 - 8P - silver frame; clear anodized aluminum
 - 8Q - silver frame; clear anodized aluminum
 - 8R - silver frame; clear anodized aluminum
 - 8S - silver frame; clear anodized aluminum
 - 8T - silver frame; clear anodized aluminum
 - 8U - silver frame; clear anodized aluminum
 - 8V - silver frame; clear anodized aluminum
 - 8W - silver frame; clear anodized aluminum
 - 8X - silver frame; clear anodized aluminum
 - 8Y - silver frame; clear anodized aluminum
 - 8Z - silver frame; clear anodized aluminum
- GLASS
 - 9A - silver frame; clear anodized aluminum
 - 9B - silver frame; clear anodized aluminum
 - 9C - silver frame; clear anodized aluminum
 - 9D - silver frame; clear anodized aluminum
 - 9E - silver frame; clear anodized aluminum
 - 9F - silver frame; clear anodized aluminum
 - 9G - silver frame; clear anodized aluminum
 - 9H - silver frame; clear anodized aluminum
 - 9I - silver frame; clear anodized aluminum
 - 9J - silver frame; clear anodized aluminum
 - 9K - silver frame; clear anodized aluminum
 - 9L - silver frame; clear anodized aluminum
 - 9M - silver frame; clear anodized aluminum
 - 9N - silver frame; clear anodized aluminum
 - 9O - silver frame; clear anodized aluminum
 - 9P - silver frame; clear anodized aluminum
 - 9Q - silver frame; clear anodized aluminum
 - 9R - silver frame; clear anodized aluminum
 - 9S - silver frame; clear anodized aluminum
 - 9T - silver frame; clear anodized aluminum
 - 9U - silver frame; clear anodized aluminum
 - 9V - silver frame; clear anodized aluminum
 - 9W - silver frame; clear anodized aluminum
 - 9X - silver frame; clear anodized aluminum
 - 9Y - silver frame; clear anodized aluminum
 - 9Z - silver frame; clear anodized aluminum
- METAL LOUVER
 - 10A - dark grey
 - 10B - silver
 - 10C - silver
 - 10D - silver
 - 10E - silver
 - 10F - silver
 - 10G - silver
 - 10H - silver
 - 10I - silver
 - 10J - silver
 - 10K - silver
 - 10L - silver
 - 10M - silver
 - 10N - silver
 - 10O - silver
 - 10P - silver
 - 10Q - silver
 - 10R - silver
 - 10S - silver
 - 10T - silver
 - 10U - silver
 - 10V - silver
 - 10W - silver
 - 10X - silver
 - 10Y - silver
 - 10Z - silver
- OVERHEAD GARAGE DOOR
 - 11A - silver
 - 11B - silver
 - 11C - silver
 - 11D - silver
 - 11E - silver
 - 11F - silver
 - 11G - silver
 - 11H - silver
 - 11I - silver
 - 11J - silver
 - 11K - silver
 - 11L - silver
 - 11M - silver
 - 11N - silver
 - 11O - silver
 - 11P - silver
 - 11Q - silver
 - 11R - silver
 - 11S - silver
 - 11T - silver
 - 11U - silver
 - 11V - silver
 - 11W - silver
 - 11X - silver
 - 11Y - silver
 - 11Z - silver
- NOT USED
- ALUMINUM GLAZED GUARDRAILS
 - 13A - dark grey
 - 13B - silver

BUILDING E



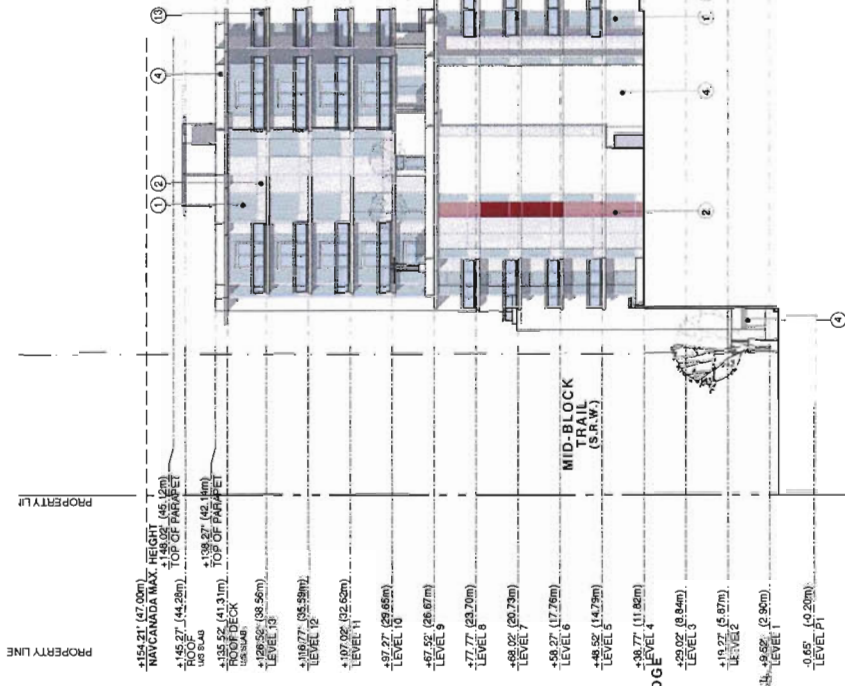
BUILDING E
WEST (FACING MID-BLOCK TRAIL)

0' 5' 10' 20'



EAST ELEVATION
BUILDING E

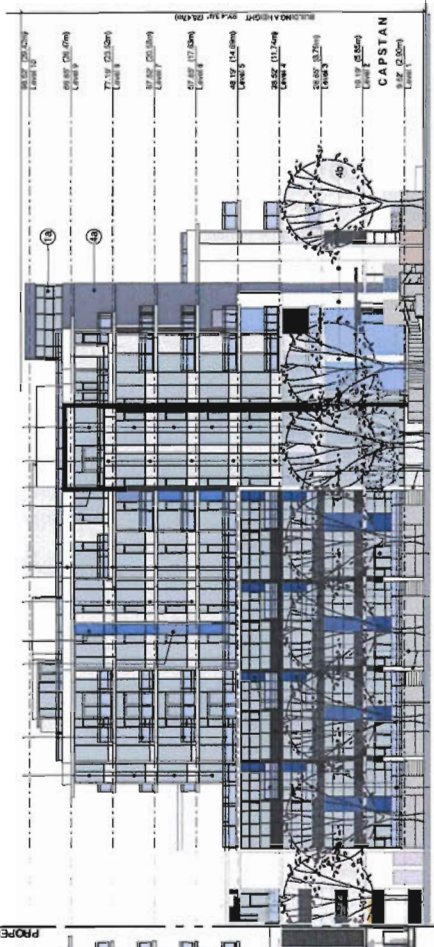
0' 5' 10' 20'



SOUTH ELEVATION
BUILDING E

0' 5' 10' 20'

EXISTING BUILDING



EXISTING BUILDING

PINNACLE LIVING AT CAPSTAN VILLAGE - PHASE 1

RICHMOND, BRITISH COLUMBIA

NO. 1	ISSUED FOR DP	DATE
NO. 2	ISSUED FOR DP	
NO. 3	RE ISSUED FOR DP	

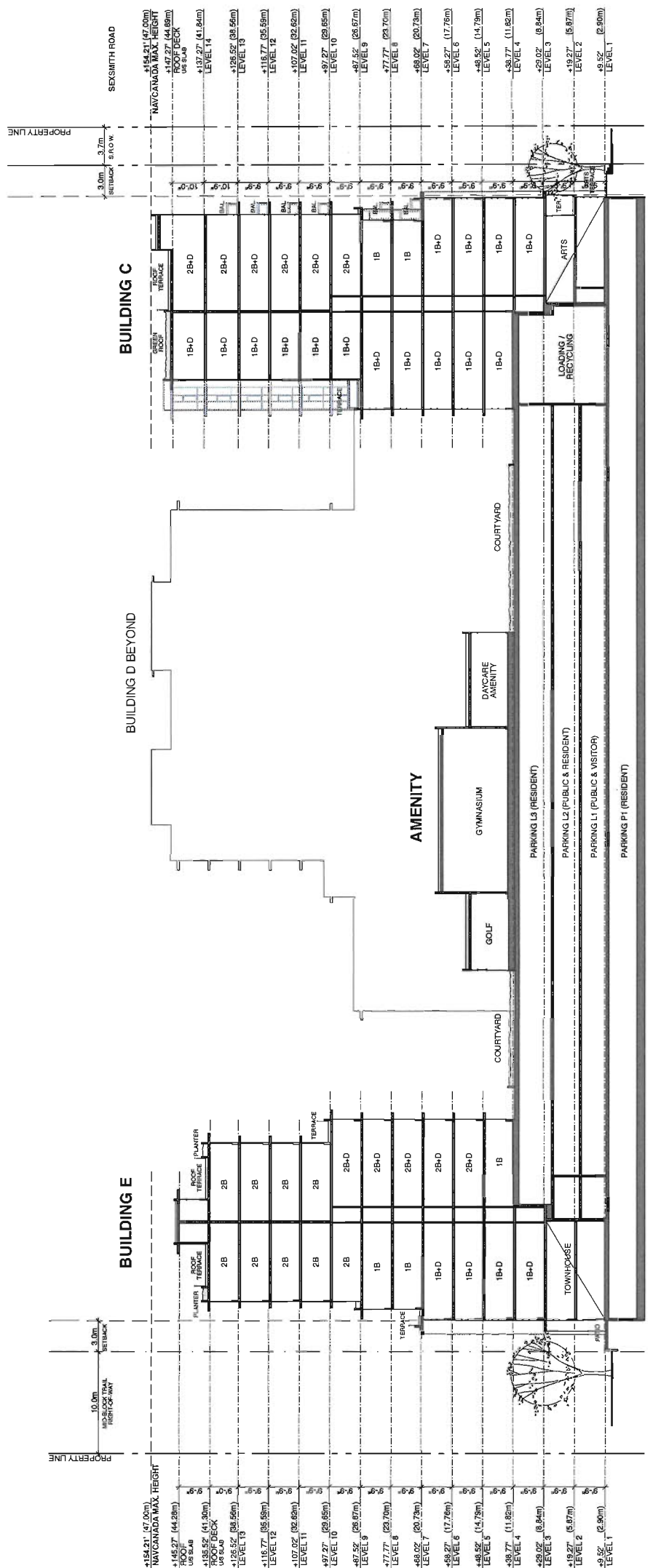
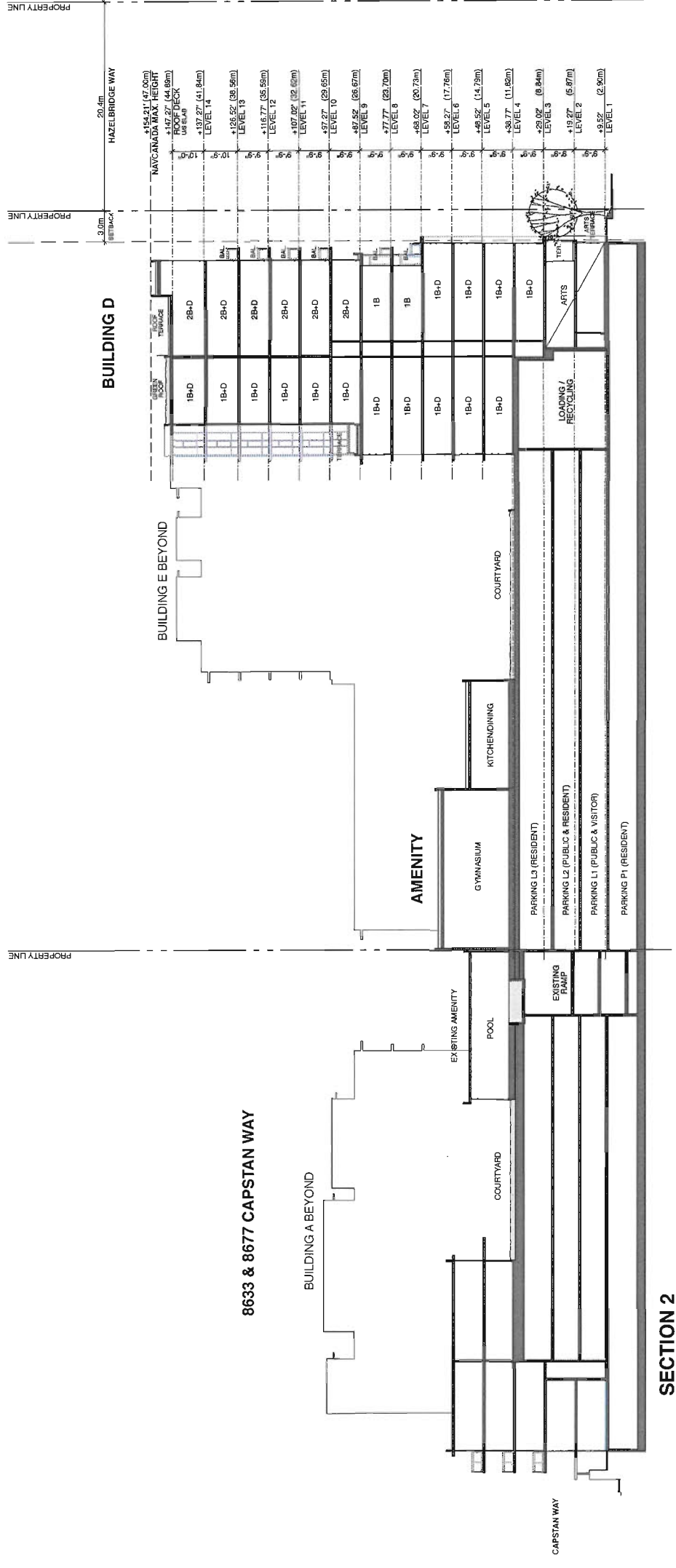
bingham hills
architects

201-733-1111
100-1111-1111
100-1111-1111

CONTRACT NO. 100-1111-1111
PROJECT NO. 222
DATE: 10/19/14

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ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED	
SCALE	1:400
DRAWN	
CHECKED	
A5.01	



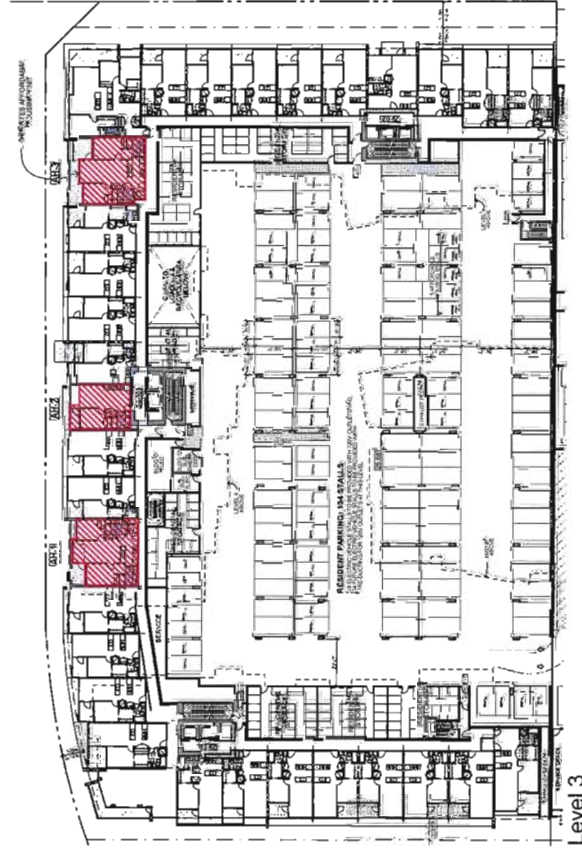
SECTION 1 (EAST-WEST)
0 5' 10' 20' 40'

PINNACLE LIVING AT CAPSTAN VILLAGE - PHASE 1

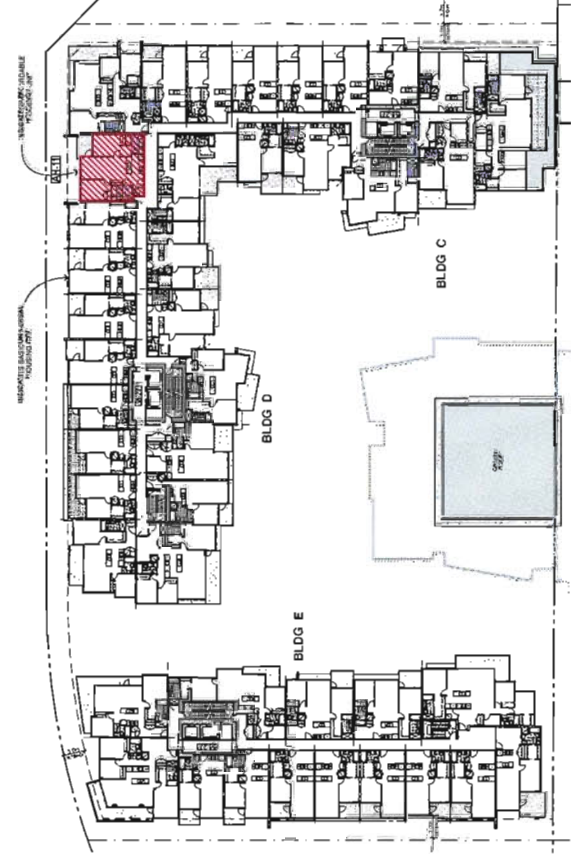
RICHMOND, BRITISH COLUMBIA



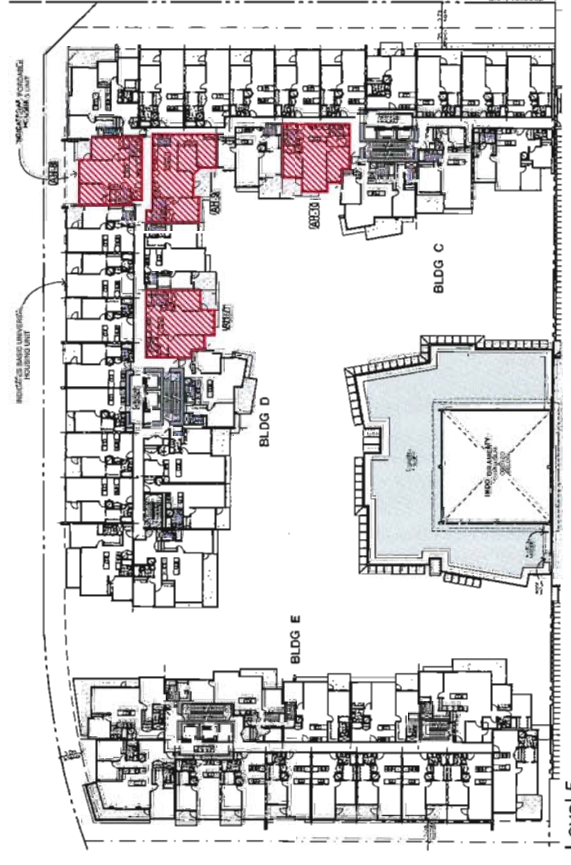
Level 4
 SCALE: 1/32" = 1'-0"



Level 3
 SCALE: 1/32" = 1'-0"



Level 6
 SCALE: 1/32" = 1'-0"



Level 5
 SCALE: 1/32" = 1'-0"

AFFORDABLE HOUSING UNITS BREAKDOWN

FLOOR	UNIT NO.	UNIT TYPE	UNIT AREA		PRIVATE-OUTDOOR AREA	
			SQ.M.	SQ.FE.	SQ.M.	SQ.FE.
L3	1	2-BED	60.1	652	7.7	82
	2	1-BED	50.5	544	3.8	41
	3	2-BED	60.1	652	7.7	82
L4	4	1-BED	50.5	544	3.8	41
	5	2-BED	60.1	652	7.7	82
	6	3-BED	91.8	984	12.4	133
L5	7	2-BED	60.1	652	7.9	83
	8	2-BED	60.1	652	7.7	82
	9	3-BED	91.8	984	6.6	70
L6	10	2-BED	60.1	652	7.9	83
	11	2-BED	60.1	652	7.7	82
TOTAL			645.4	698	60.9	613

TOTAL UNIT TYPES PROVIDED

UNIT TYPE	QUANTITY	PCT.
1-BED	2	18.2%
2-BED	7	63.6%
3-BED	2	18.2%
TOTAL	11	100.0%

NO.	DATE / REVISED	DATE
3	RE-ISSUED FOR DP	NOV 17 2014
2	RE-ISSUED FOR DP	NOV 17 2014
1	ISSUED FOR DP	NOV 17 2014

bingham hill
 architects

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 Vancouver, BC V6Z 2Y4
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 Fax: 604.271.4112
 www.binghamhill.com

CONTRACT NO. 2014-01-001
 PROJECT NO. 14-667322

AFFORDABLE HOUSING UNITS

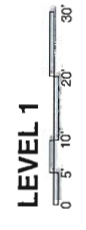
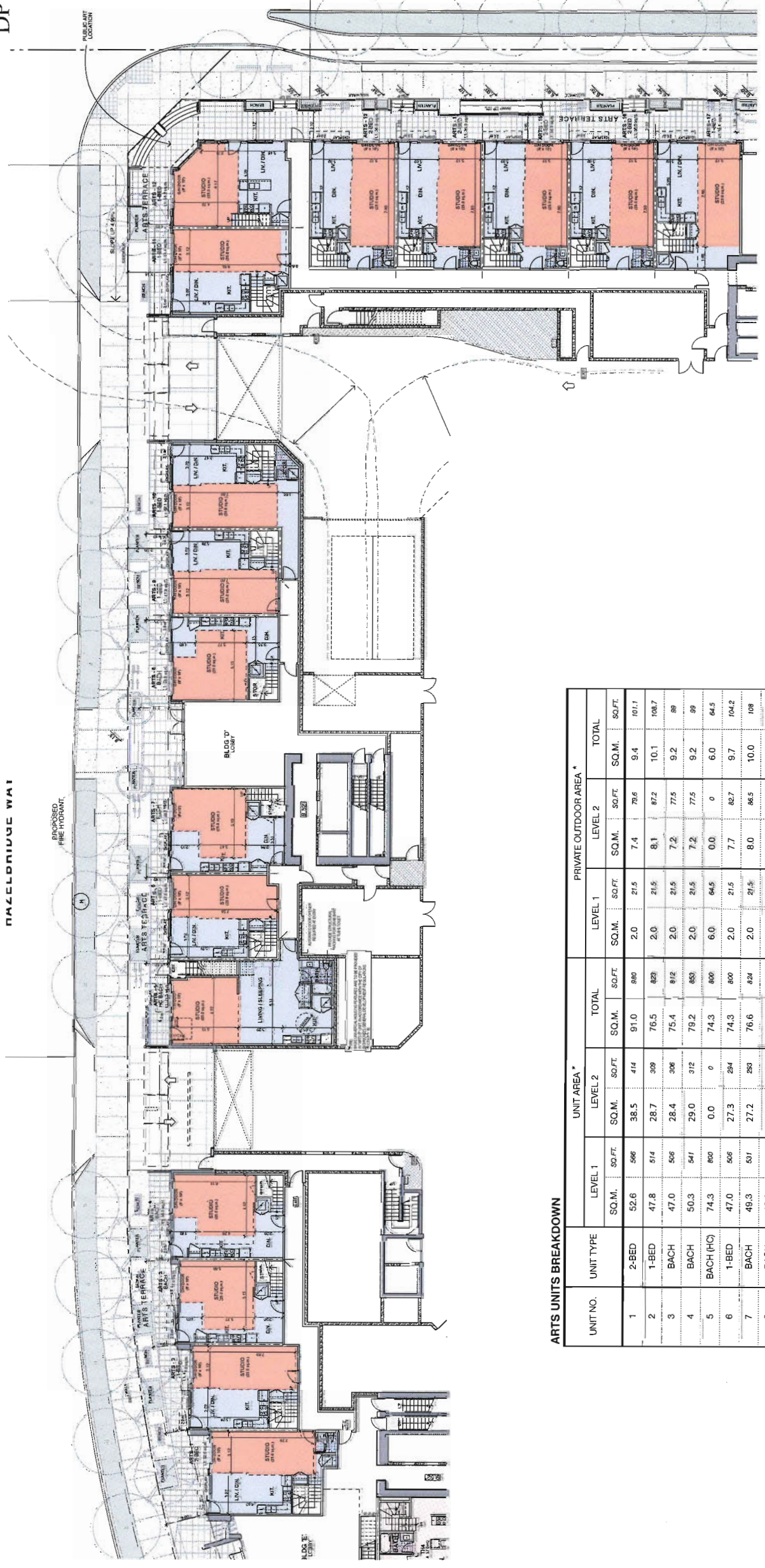
**PINNACLE LIVING
 AT CAPSTAN VILLAGE - PHASE 1**
 RICHMOND, BRITISH COLUMBIA

**ingham+hill
 architects**

201111 Alhambra Street
 Vancouver, BC V6P 4G1
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CONTRACTOR: [REDACTED]
 CONTRACT NO.: [REDACTED]
 CONTRACT VALUE: [REDACTED]
 CONTRACT START DATE: [REDACTED]
 CONTRACT END DATE: [REDACTED]

ALD (IMPERSONAL REVIEW DATE)	PROJ. #	DRAWING NUMBER
	1402	A6.03
SCALE	DRAWN	CHECKED



ARTS UNITS BREAKDOWN

UNIT NO.	UNIT TYPE	UNIT AREA *			PRIVATE OUTDOOR AREA *			TOTAL	
		LEVEL 1	LEVEL 2	TOTAL	LEVEL 1	LEVEL 2	TOTAL		
1	2-BED	52.6	38.5	91.0	2.0	21.5	7.4	9.4	101.7
2	1-BED	47.8	28.7	76.5	2.0	21.5	8.1	8.2	108.7
3	BACH	47.0	306	75.4	2.0	21.5	7.2	77.5	89
4	BACH	50.3	312	79.2	2.0	21.5	7.2	77.5	99
5	BACH (HC)	74.3	0	74.3	6.0	64.5	0.0	0	64.5
6	1-BED	47.0	27.3	74.3	2.0	21.5	7.7	82.7	104.2
7	BACH	49.3	283	76.6	2.0	21.5	8.0	86.5	108
8	BACH	48.0	313	77.1	2.0	21.5	7.2	77.4	92
9	1-BED	47.8	309	76.5	2.0	21.5	8.0	86.5	108
10	1-BED	62.1	304	90.3	2.1	22.6	7.1	76.4	92
11	1-BED	51.4	291	78.4	2.1	22.6	8.3	88.3	111.9
12	1-BED	50.8	285	77.3	2.0	21.5	8.6	92.1	114.6
13	2-BED	56.9	374	91.6	2.0	21.5	10.5	113.1	124.6
14	2-BED	56.9	374	91.6	2.0	21.5	10.5	113.1	124.6
15	2-BED	56.9	374	91.6	2.0	21.5	10.5	113.1	124.6
16	2-BED	56.9	374	91.6	2.0	21.5	10.5	113.1	124.6
17	1-BED	55.4	270	80.5	2.0	21.5	8.5	91.7	112.2
TOTAL		911.1	6,897	1,393.8	38.2	471	1,35.4	1,468	1,733.6

* ALL AREAS TO BE CONFIRMED FOR FINAL DP SUBMISSION

TOTAL UNIT TYPES PROVIDED

UNIT TYPE	QUANTITY	PCT.
BACH	4	28.4%
BACH (HC)	1	
1-BED	7	41.2%
2-BED	5	29.4%
TOTAL	17	100.0%

ARTS UNITS

PINNACLE LIVING AT CAPSTAN VILLAGE - PHASE 1

RICHMOND, BRITISH COLUMBIA

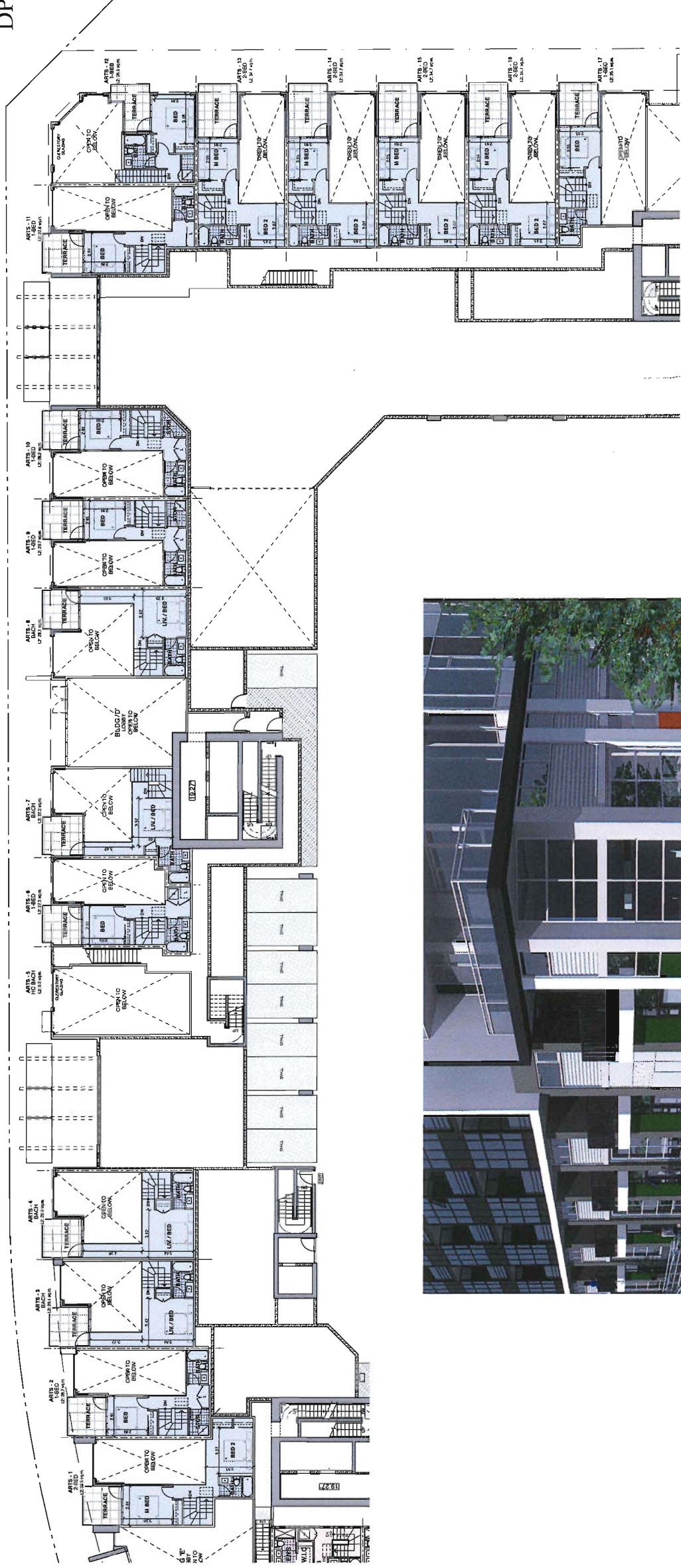
NO.	REVISION / REVISION	DATE
1	ISSUED FOR DP	11/19/14
2	RE-ISSUED FOR DP	11/19/14
3	RE-ISSUED FOR DP	11/19/14

bingham+hill
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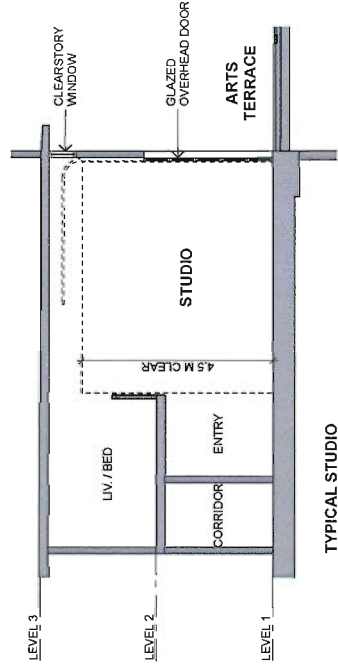
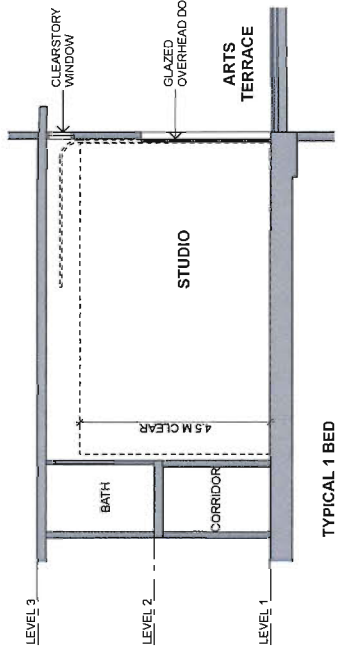
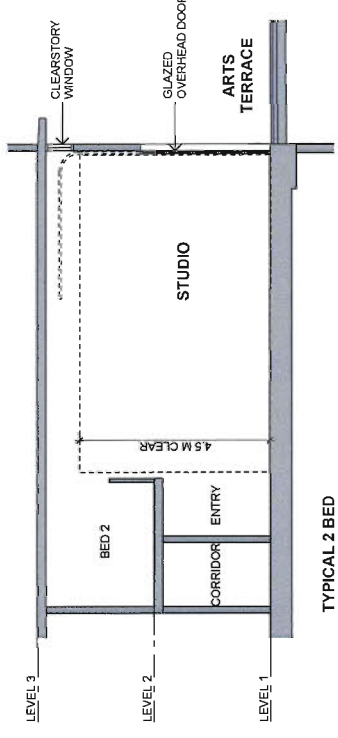
ALL DIMENSIONS SHALL BE VERIFIED ON SITE
PROJ. # 1402
SCALE
DRAWN
CHECKED
DRAWING NUMBER
A6.04



LEVEL 2
0 5' 10' 20' 30'



ARTS TERRACE
FACING SEXSMITH / HAZELBRIDGE INTERSECTION



TYPICAL SECTIONS
THROUGH ARTS UNITS
0 5' 10' 15'

