



**To:** General Purposes Committee

**Date:** June 29, 2020

**From:** Wayne Craig  
Director, Development

**File:** HA 19-881148

**Re:** Application by Kanaris Demetre Lazos for a Heritage Alteration Permit (HA 19-881148) and a Steveston Village Heritage Conservation Grant at 12111 3rd Avenue (Steveston Hotel)

**Staff Recommendation**

1. That a Heritage Alteration Permit (HA 19-881148) be issued which would permit the replacement of the existing roof on the building located at 12111 3<sup>rd</sup> Avenue; and
2. That a grant request in the amount of \$72,800 be approved under the Steveston Village Heritage Conservation Grant Program to assist with the roof replacement work for the building located at 12111 3<sup>rd</sup> Avenue, and disbursed in accordance with Council Policy 5900.

Wayne Craig  
Director, Development  
(604-247-4625)

Barry Konkin  
Director, Policy Planning  
(604-276-4139)

WC/BK:cl

Att. 8

REPORT CONCURRENCE		
ROUTED TO:	CONCURRENCE	CONCURRENCE OF GENERAL MANAGER
Finance Department	<input checked="" type="checkbox"/>	

## Staff Report

### Origin

Kanaris Demetre Lazos has submitted applications to:

- Obtain a Heritage Alteration Permit (HA 19-881148) to replace the existing roof of the building at 12111 3<sup>rd</sup> Avenue, known as the Steveston Hotel, on a site zoned “Steveston Commercial (CS2)”; and
- Seek a grant in the amount of \$72,800.00 through the Steveston Village Heritage Conservation Grant Program to assist with the proposed roof replacement work necessary to maintain the lifespan of the building at 12111 3<sup>rd</sup> Avenue.

A location map and aerial photo of the subject site are included in Attachment 1.

### Findings of Fact

The Steveston Village is designated as a Heritage Conservation Area (HCA) in the Steveston Area Plan. 17 sites in the HCA are identified as protected heritage resources. The Steveston Hotel is one of these identified heritage resources. The hotel takes up a large portion of the west side of this block of 3<sup>rd</sup> Avenue at the west terminus of Moncton Street. The Steveston Area Plan and Heritage Procedures Bylaw 8400 require a Heritage Alteration Permit application for any exterior alterations proposed to the property as it is located within the HCA.

The Steveston Hotel is a two-storey utilitarian style building with a relatively flat façade and flat roof. The current use of the building is a hotel, restaurant, liquor primary establishment, and an existing non-conforming liquor store. The Statement of Significance describing the heritage value of the Steveston Hotel is included in Attachment 2.

### Surrounding Development

Existing development immediately surrounding the subject property is as follows:

- To the north is a property that contains both the “Steveston Courthouse” at 12051 3<sup>rd</sup> Avenue (an identified heritage resource), as well as a vacant non-identified building at 12011 3<sup>rd</sup> Avenue. The property is zoned “Steveston Commercial (CS2)”, and is the subject of a development application to permit a mixed use building containing two storeys of residential units over ground-level parking and commercial uses, and involves relocation of the Steveston Courthouse elsewhere on the property (RZ 17-794156). The application is currently under staff review and will be subject to a separate report to Council upon completion of the staff review.
- To the south and west, is the Gulf of Georgia Cannery National Historic Site on a property zoned “Light Industrial (IL)”.
- To the east, across 3<sup>rd</sup> Avenue, is a new mixed use building ranging from one to three storeys on the former Rod’s Lumber site at 12088 3<sup>rd</sup> Avenue, containing commercial and residential uses on a property zoned “Commercial Mixed Use (ZMU33) – Steveston Village”.

## **Related Policies & Studies**

### Official Community Plan

The existing land use designation in the 2041 Official Community Plan (OCP) for the subject property is “Neighbourhood Service Centre”.

The Official Community Plan (OCP) includes City-wide direction and Policy to “preserve, promote and celebrate community heritage”.

This application is consistent with the land use designation and applicable policies in the OCP.

### Steveston Area Plan

The Steveston Area Plan’s land use designation for the subject site is “Heritage Mixed Use (Commercial-Industrial with Residential & Office Above)” (Attachment 3).

The Steveston Area Plan includes direction and policy to:

- Conserve significant heritage resources throughout the Steveston area and to conserve the identified heritage resources within the Steveston Village Node (e.g., as per the Steveston Village Conservation Strategy).
- Provide incentives to the private sector to conserve buildings and sites designated as having significant heritage value in the Steveston Village.
- Support a Heritage Conservation Grant Program to assist in conserving the identified heritage resources in the Steveston Village.

This application is consistent with the objectives and land use designation in the Steveston Area Plan.

### Steveston Village Heritage Conservation Grant Program

The Steveston Heritage Conservation Grant Program was established in 2009 to provide financial assistance to property owners for the exterior conservation of the 17 identified heritage resources in the HCA, including maintenance to extend the lifespan of protected buildings. Funds for the Program are provided by contributions obtained through development applications in exchange for additional density, senior government and non-governmental organization grants, and private donations. Council Policy 5900 regarding the Grant Program was updated on November 13, 2018 to better promote and facilitate exterior conservation of the identified heritage resources and utilization of the funds collected through the Grant Program (Attachment 4). Council Policy 5900 is summarized below:

- The maximum grant amount per identified heritage resource is \$150,000.
- An additional maximum grant of \$100,000 per identified heritage building may be considered by City Council, with private matching funding, to achieve exceptional heritage conservation, as determined by City Council.

- The grant may not exceed 50% of the total cost of eligible expenses (however, for a site owned by a registered non-profit society, City Council may consider providing up to 75% of the total cost of eligible expenses).
- Eligible expenses include roof replacement.
- The owner may apply for a grant more than once as heritage conservation may occur in stages.
- A grant will not be provided where the work has already been undertaken prior to City Council approval.

The current balance of the Grant Program account is \$1,072,450.92 as of May 31, 2020.

To-date, City Council has approved a total of two grants totalling \$165,159.38 to the owners of the protected buildings containing the former Steveston Methodist Church at 3711/3731 Chatham Street and the Tasaka Barbership at 3891 Moncton Street. The grants are to be disbursed once staff receive the required documentation identified in Council Policy 5900, confirming the actual cost and scope of the completed work.

Further assessment of the subject Heritage Conservation Grant application as it relates to Council Policy 5900 is provided in the “Analysis” section of this report.

The subject application for a Heritage Alteration Permit to replace the roof of the Steveston Hotel and for a Heritage Conservation Grant is consistent with the land use designation and applicable policies in the Steveston Area Plan. It involves the conservation of the flat-roofed building form, which is a character-defining element of this heritage resource as indicated in the Statement of Significance. Roof replacement is one of the eligible expenses under the Heritage Conservation Grant Program as it is necessary to extend the physical life of the heritage resource.

### **Public Consultation**

A development sign has been installed on the subject property. Staff have not received any comments from the public about the application in response to the placement of the sign on the property.

### **Richmond Heritage Commission**

The Heritage Alteration Permit and Heritage Conservation Grant applications were presented to the Richmond Heritage Commission on June 10, 2020, and were supported. Although not identified as a condition of the Permit, the Commission suggested that the applicant install screening on the west and north sides of the rooftop mechanical equipment following completion of the roof replacement work in order to minimize the visual impact of the equipment from neighbouring properties. An excerpt from the Commission meeting minutes is included in Attachment 5.

The applicant has indicated that the existing mechanical equipment will be re-installed in their existing locations on the roof after the roof replacement work is completed and that, because the

feasibility of installing rooftop screening hasn't been investigated at this time, the applicant has agreed to pursue a separate Heritage Alteration Permit application for the rooftop screening in the future, to be considered by the Director of Development.

### **Analysis**

The Steveston Hotel has undergone significant exterior alterations since it was constructed in the 1890's, such that few original features of the building remain, other than the building's simple lines and flat-roofed form. Attachment 6 includes photos of the Steveston Hotel from various eras. In recent years, Heritage Alteration Permits have been issued for the subject property:

- To remove decorative shutters and replace all upper-storey windows (HA 18-804880).
- For the painting of a mural on the south elevation of the building on the property as a Canada 150 project (HA17-776233).
- To allow the replacement of a window with a new entry door to provide a separate entrance to the restaurant in the hotel (HA17-766440).
- To allow reconfiguration of the lot lines of 12111 and 12011 3<sup>rd</sup> Avenue so that each lot can function independently of one another in terms of access and parking (HA 16-723477).

None of the work undertaken as part of the above Heritage Alteration Permit applications altered original features of the Steveston Hotel.

### **Heritage Alteration Permit Application**

This proposal involves the replacement of the existing roof and repair of damage caused by leaks into the building. Specifically, the scope of work involves:

- Removal of the tar and gravel roof system, existing plywood and shiplap roof layers, and replacement of rotted joists and other structural elements, as required.
- Replacement with new plywood, and a new torch on roofing system complete with new roof drains, caps, flashing and vents.

A plan showing the area of the roof replacement work is shown in Plan # 1 to the Permit, and the Applicant's proposal and photos illustrating the existing condition of the roof are included in Attachment 7.

No changes are proposed to the height of the building and the existing building parapet will continue to conceal the rooftop mechanical equipment from 3<sup>rd</sup> Avenue.

The roof replacement work proposed with the subject Heritage Alteration Permit application will not alter original features of the Steveston Hotel and maintains its flat-roofed form, which is a character-defining element identified in the Statement of Significance.

The proposal is a necessary heritage conservation intervention that is intended to maintain the building's lifespan. Further conservation work to maintain the building will occur incrementally in the future.

### Heritage Conservation Grant Application

The applicant has requested the maximum grant amount of \$72,800 to assist with the proposed roof replacement work. The lower estimate for the proposed work is \$145,600 (not including tax), and the requested amount is 50% of the total cost, consistent with Council Policy 5900. Two cost estimates from independent contractors are included in Attachment 8.

The proposed roof replacement work at the Steveston Hotel is eligible for a grant as Council Policy 5900 identifies that eligible expenses include roof replacement as it is necessary to extend the physical life of the protected building.

Staff have used the following evaluation criteria to assess the grant application, as per Council Policy 5900:

- How the proposed work contributes to preserving and enhancing the overall historic fabric of Steveston Village.
- The level of contribution of the proposed work in conserving the heritage character and conveying the historic significance of the building.
- How the proposed work helps extend the physical life of the building.
- The overall quality of the submission and the applicant's ability to carry out the project in a reasonable timeframe and secure other funding sources.

Overall, the application complies with the above criteria. The proposed roof replacement work contributes to extending the physical life of the building, which is showing signs of damage evident by leaks throughout the building. In doing so, the proposed work preserves its social and cultural value as a historic and continuing community gathering place and local business in Steveston Village. Since the proposed work conserves the existing flat-roofed form and simple form, which are character-defining elements of the building, its heritage value is not impacted or reduced. The applicant has indicated that he has the ability to carry out the project in a reasonable timeframe and to provide the required matching funds. As the application meets the evaluation criteria, staff support the grant application.

Should City Council approve the grant application, the roof replacement work must be completed before the grant is disbursed. As noted in Council Policy 5900, the applicant will be required to submit a letter confirming the actual cost of the completed work, as well as a project completion report demonstrating that the work was completed in accordance with the Heritage Alteration Permit.

### **Financial Impact**

Funding for this \$72,800 grant request is available in the Steveston Village Heritage Conservation Grant Program fund.

## Conclusion

The applicant is seeking a Heritage Alteration Permit and Heritage Conservation Grant in the amount of \$72,800 to assist with replacing the existing roof of the Steveston Hotel at 12111 3<sup>rd</sup> Avenue, which is one of the identified heritage buildings in the Steveston Village Heritage Conservation Area.

The proposed roof replacement work extends the physical life of the building and conserves the character-defining elements of the Steveston Hotel, thereby retaining its heritage value, and the grant application is consistent with the Council Policy 5900.

On this basis, staff recommend that the Heritage Alteration Permit be endorsed, and issuance by City Council be recommended.



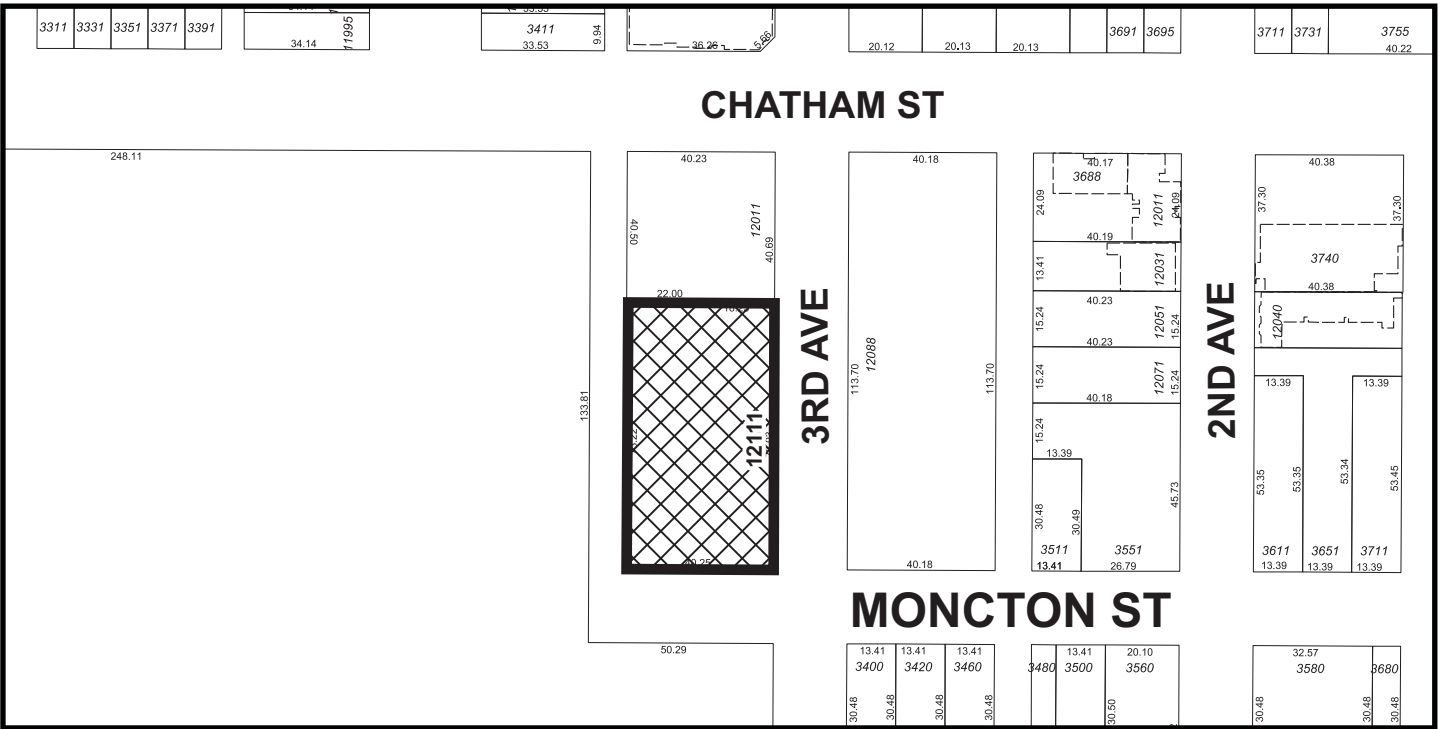
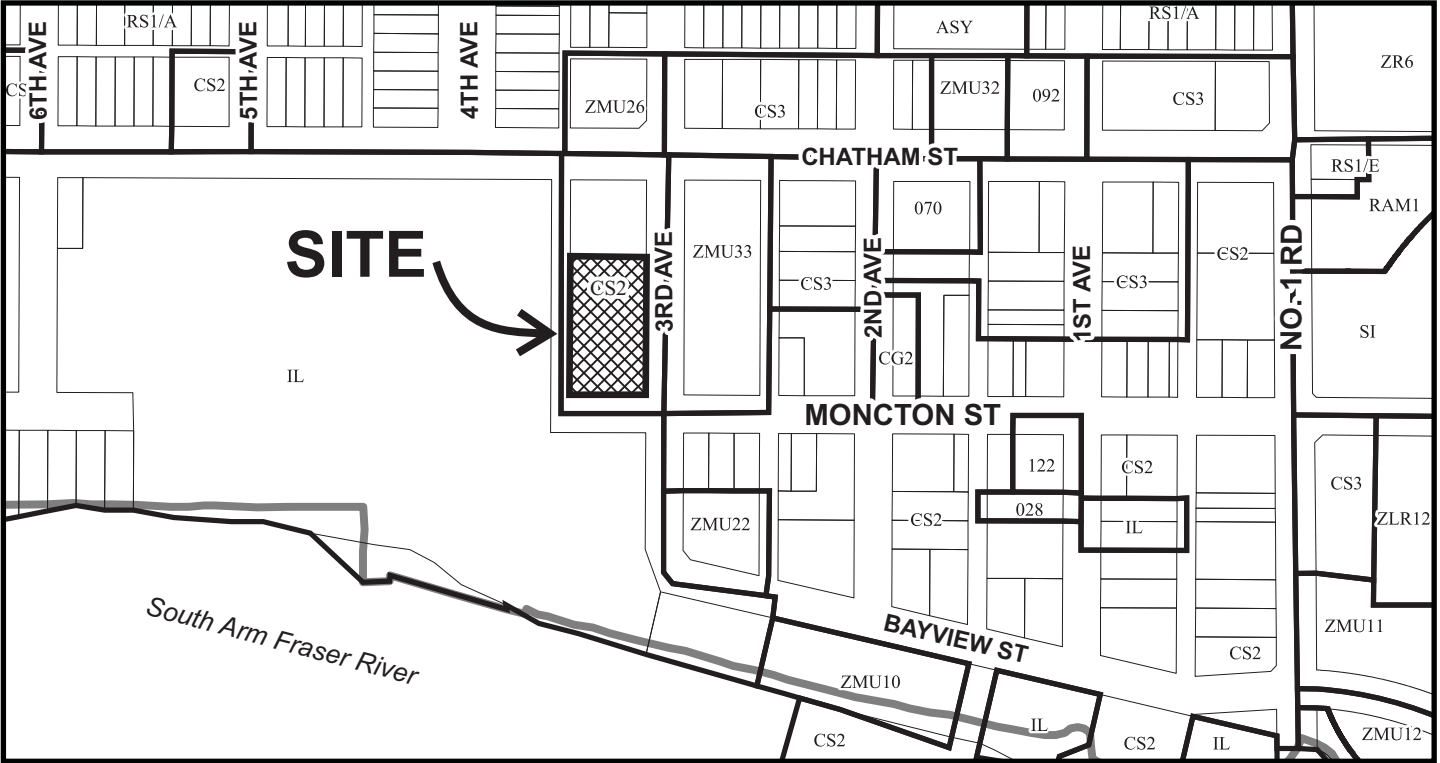
Cynthia Lussier  
Planner 2  
(604-276-4108)

CL:blg

- Attachment 1: Location Map/Aerial Photo
- Attachment 2: Statement of Significance for the Steveston Hotel
- Attachment 3: Steveston Waterfront Neighbourhood Land Use Map
- Attachment 4: Council Policy 5900
- Attachment 5: Excerpt from the June 10, 2020 Richmond Heritage Commission Minutes
- Attachment 6: Photos of the Steveston Hotel
- Attachment 7: Applicant's Proposal and Photos of Existing Roof Condition
- Attachment 8: Cost Estimates from Independent Contractors



# City of Richmond



## HA 19-881148

### GP - 194

Original Date: 01/08/20

Revision Date:

Note: Dimensions are in METRES





City of  
Richmond



HA 19-881148

GP - 195

Original Date: 01/08/20

Revision Date:

Note: Dimensions are in METRES



**Moncton Street  
resources**

**22. 12111 3rd Avenue  
Steveston Hotel/Sockeye Hotel**



**Description**

The Steveston Hotel (Sockeye Hotel) takes up the west side of a full block along Third Avenue. The historic place is a two-storey, utilitarian structure with a flat, unarticulated façade and a flat roof. It directly fronts the street, without transition or landscaping.

**Values**

The Steveston Hotel is valued for its historic association with the development of the Steveston townsite and its social and cultural value as a community gathering place and local business. Constructed in 1894, the hotel represents the economic infrastructure which supported the local fishing and canning industries historically, and the tourism industry today. As an historic and longstanding fixture in the community, it is significant that this historic place has had continuing use as a gathering place for the town's citizens, and continues to operate in its original function today.

Architecturally, the Steveston Hotel is an excellent example of a building which predates the fire of 1918. A significant landmark building in the commercial downtown of the village, it represents the growth of Steveston as a prosperous frontier town in the late nineteenth and early twentieth centuries. It is also important to note the role of this building as a refuge for many after the fire, and its contribution to rebuilding the town seen in its temporary housing of the Steveston Post Office for a time.

**Character-Defining Elements**

The character-defining elements of the Steveston Hotel include:

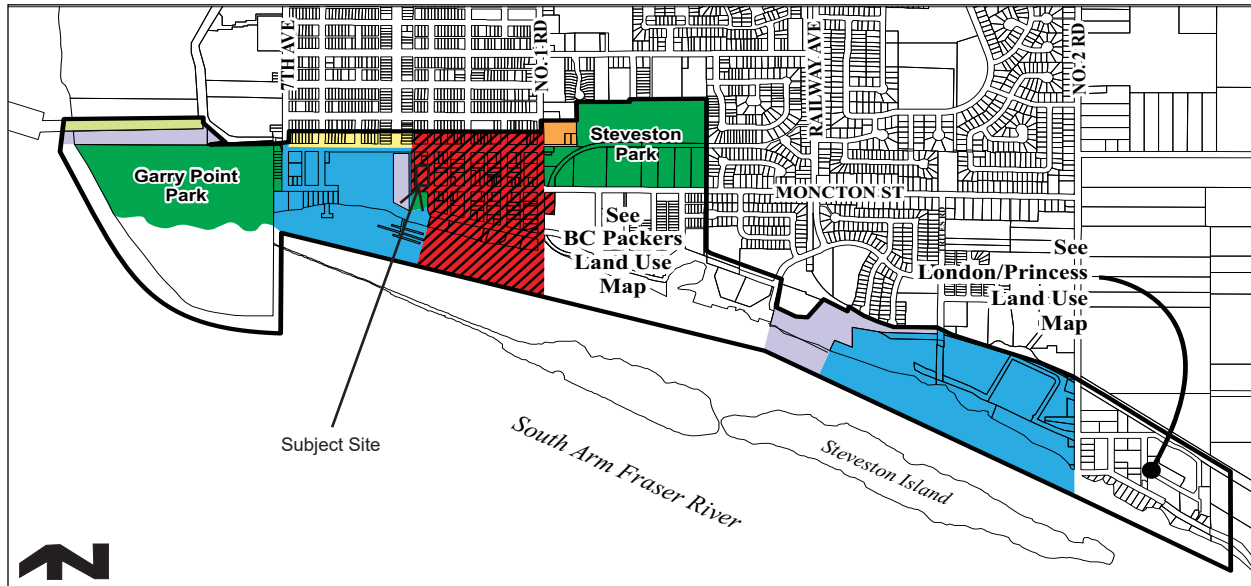
- The hotel's landmark status at the terminus of Steveston's main street
- Its prominent location at the corner of Moncton Street and 3rd Avenue
- The liveliness and diversity the establishment lends to the street edge along 3rd Avenue
- Surviving elements of its two stages of construction, seen in such elements as its flat-roofed form and simple lines









This resource met the following criteria:

- Criterion 1: The overall contribution of the resource to the heritage value and character of Steveston
- Criterion 2: The ability of the resource to represent a certain historical process, function and style
- Criterion 3: The level of importance of associations with an era in Steveston's history and development
- Criterion 4: The intactness and evocative qualities

# Steveston Waterfront Neighbourhood Land Use Map

Bylaw 8432  
2010/05/25



	Residential		Multiple-Family (Including Congregate Care Housing with complementary Community/Commercial uses)
	Maritime Heritage		Heritage Mixed Use (Commercial-Industrial with Residential & Office Above)
	Industrial		Public Open Space
	Commercial		Conservation Area



Page 1 of 4	<b>Steveston Village Heritage Conservation Grant Program</b>	<b>Policy 5900</b>
Adopted by Council: April 27, 2009 Amended by Council: November 13, 2018		

**POLICY 5900:**

It is Council policy that:

The Steveston Village Heritage Conservation Grant (SVHCG) Program is established to provide financial assistance to property owners – on a cost share basis - for conserving the exterior of 17 heritage buildings in the Steveston Village Heritage Conservation Area, as identified in the Steveston Area Plan.

The 17 identified heritage buildings make a significant contribution to the heritage character of Steveston Village. The intent of the program is to help conserve the exterior of these significant buildings and support their continued legacy for future generations.

**1. Program Funding Sources**

The source of funds for the SVHCG Program includes:

- Density bonus contributions, as set out in the Steveston Area Plan\*;
- Senior government and Non-Governmental Organization grants; and
- Other private donations.

\*Specific sites within the “Steveston Village Land Use Density and Building Height Map” are identified for a maximum possible Floor Area Ratio (FAR) of 1.6. In order to achieve this maximum density, a contribution of \$608.05 per m<sup>2</sup> (\$56.49 per ft<sup>2</sup>) - based on the increase in net building floor area between the 1.2 FAR base density and up to the 1.6 FAR maximum density - must be provided.

Contribution amounts may be reduced by an amount equivalent to any cash-in-lieu contributions received under the City’s Affordable Housing Strategy.

The above contribution rate to the SVHCG Program will be revised, starting February 28, 2019, and then by February 28 every two years thereafter, by adding the annual inflation for the preceding two calendar years using the Statistic Canada *Vancouver Construction Cost Index – Institutional* inflation rate. The revised rates will be published in a City Bulletin.

**2. Grant Amounts**

- Maximum grant of \$150,000 per identified heritage building. The grant may not exceed 50% of the total cost of eligible expenses (e.g. only projects with eligible expenses of \$300,000 or more would be able to apply for the maximum amount).
- An additional maximum grant of \$100,000 per identified heritage building may be considered by Council, with private matching funding, to achieve exceptional heritage conservation. Exceptional heritage conservation means a complete and comprehensive restoration of a building, in the opinion of Manager of Policy Planning and a retained heritage consultant, that would greatly enhance the heritage value of the Steveston Village Heritage Conservation Area. The final determination of what is exceptional will



be made by Council based on the project's overall contribution to conserving the character of Steveston Village.

- If the registered owner of the property containing one of the identified heritage buildings is a registered non-profit society, Council may consider providing up to 75% of the total cost of eligible expenses.
- As heritage conservation may occur in stages, an owner/developer may apply more than once; however, the total grant amount per identified heritage building is limited to \$150,000, and for exceptional conservation projects, it is limited to \$250,000.
- If no program funds are available, no grant applications will be considered (i.e., first-come, first-serve basis).

### 3. Eligible Expenses

Eligible expenses are limited to works related to the exterior conservation of the identified heritage buildings. These include, but are not limited to, the following:

- Façade restoration or rehabilitation to improve the appearance and convey the heritage significance of the building;
- Repair or restoration of the character-defining elements such as wood windows or original cladding;
- Reconstruction of lost heritage elements such as front porches or exterior trims;
- Roof replacement;
- Structural upgrades, including seismic upgrades, and stability work (e.g. new foundations) to extend the physical life of the building; and
- Directly related consultant costs, including the cost to prepare a conservation plan and architectural drawings, up to 10% of the total grant amount. Consultant costs without associated physical improvements to the building are not eligible.

Ineligible expenses include, but are not limited to, the following:

- General on-going maintenance work (e.g. power washing, gutter cleaning);
- Renovation or replacement of the non-historic elements of the building;
- New additions and/or construction of accessory buildings;
- Interior works; and
- Any other work deemed to be inappropriate at the discretion of the Manager of Policy Planning.

The Standards and Guidelines for the Conservation of Historic Places in Canada shall be used as a guide in determining eligible expenses. The Standards and Guidelines for the Conservation of Historic Places in Canada defines "conservation" as all actions or processes aimed at safeguarding the character-defining elements of a resource to retain its heritage value and extend its physical life.



#### 4. Grant Applications

- Grant applications must be submitted in accordance with the procedures and forms provided by the City;
- Owners or developers of sites with identified heritage buildings may include public entities (e.g. City or other levels of government), and are eligible to apply for a grant;
- Contributors to the SVHCG Program may apply for a grant (e.g., if the site proposed to be redevelop contains one of the 17 identified heritage buildings). However, the required contribution must be provided to the City prior to final approval of the accompanying rezoning or a Heritage Revitalization Agreement application;
- All grant applications that meet the eligibility criteria will be considered by Council. A grant will not be provided where work has already been undertaken prior to Council approval;
- Final decision on all grant applications that meet the eligibility criteria will be made by Council;
- If Council approves the application, the eligible works must be completed before the grant is issued. The following items must be submitted and accepted by City staff prior to the grant's issuance:
  - A letter from the applicant/owner indicating the actual cost of the completed project accompanied by paid bills as proof and a request for payment of the grant;
  - A project completion report from the project manager (e.g., independent contractor who has completed the work) confirming that the work has been completed in accordance with the approved plans and specifications, including a complete list of actual improvements and installation methods. The report must include a copy of written warranties of all applicable work; and
  - Photographs of the completed project; and
- The completed works must be inspected and deemed satisfactory by the City staff.
- The works covered by the approved grant must be completed within 24 months of the date of the approval by Council. After 24 months from the date of the approval, the grant approval will expire.

#### 5. Evaluation Criteria

The following considerations will form the basis for evaluation of grant applications:

- How the proposed work contributes to preserving and enhancing the overall historic fabric of Steveston Village;
- The level of contribution of the proposed work in conserving the heritage character and conveying the historic significance of the building;



Adopted by Council: April 27, 2009  
Amended by Council: November 13, 2018

- How the proposed work helps extend the physical life of the building; and
- The overall quality of the submission and the applicant's ability to carry out the project on a reasonable time-frame at reasonable costs and secure other funding sources.

**Excerpt of the Minutes to  
The Richmond Heritage Commission meeting**

**Wednesday, June 10, 2020 - 7:00 pm  
Cisco Webex**

**Heritage Alteration Permit and Steveston Village Heritage Conservation Grant applications for 12111 3<sup>rd</sup> Avenue (HA 19-881148)**

Staff summarized the Heritage Alteration Permit and Grant applications to highlight the key points.

The Commission was presented with historic photos of the building as well as photos provided by the applicant to illustrate the existing condition of the roof.

Staff noted the evaluation criteria against which the permit and grant applications are assessed.

In response to a query from the Commission, Staff provided information that: no grant had previously been issued for recent Heritage Alteration Permit applications to the Steveston Hotel; and that only two grants have been approved by City Council under the Steveston Village Heritage Conservation Grant Program.

Discussion occurred with respect to longer life roof systems that could be considered, and although not identified as a condition of the Permit, the Commission suggested that the applicant install screening on the west and north sides of the rooftop mechanical equipment following completion of the roof replacement work in order to minimize the visual impact of the equipment from neighbouring properties. It was also noted, however, that the roof replacement work, as proposed, is fully supported and should be completed as soon as possible.

It was moved and seconded:

***That the Heritage Alteration Permit application for the proposed roof replacement at 12111 3<sup>rd</sup> Avenue and the Steveston Village Heritage Conservation Grant application in the amount of \$72,800 be supported.***

CARRIED





Sockeye Hotel, [ca. 1905]  
City of Richmond Archives  
Photography #1977 19 25



Sockeye Hotel, [ca. 1920]  
City of Richmond Archives  
Photography #1978 5 10



Steveston Hotel, [undated]  
City of Richmond Archives  
Photography # 1997 42 1 200



Steveston Hotel, [2018]



KANARIS DEMETRE LAZOS  
1310 SINCLAIR STREET WEST VANCOUVER BC. (604-4016902)

**RE: 12111 3rd Ave Richmond BC ( STEVESTON HOTEL)**

NOVEMBER 15 2019

To: the members of the heritage committee of Richmond BC.

We have applied for a grand<sup>✓</sup> as per your guidelines.  
According to your directions we had to apply for a HAP although the work we want to do is roofing replacement.

We applied for a HAP according to your directions.

The Steveston Hotel is in need to have the roof replaced.

There have been plenty of evident leaks throughout the building but especially in the pub areas.

We have been doing temporary repairs since we purchased this building.

We had two roofers and one contractor to take a look and do the appropriate inspections.

They have opened up a few sections of the flat roof and it looks like that some of the wood structure ( roof joists ) will need to be replaced and repaired.

We will need to remove all existing roof layers ( Tar and Gravel..... The old style roofing) .  
Remove the existing plywood and shiplap.

Remove and replace all rotten joists and structural roofing members.

Install new exterior 5/8 T & G Plywood.

Install a new 3 ply torch on roofing system.

Install all new roof flashing , parapet wall flashings, roof vents & all new can strip.

We would like to have this work done during the spring of 2020 . April would be ideal.

KANARIS DEMETRE LAZOS ( owner's authorized agent )



GP - 205









**Gas Guys Outdoor Designs Ltd.  
Unit 101 – 14772 64 Avenue  
778-512-1000**

**ROOFING  
REPLACEMENT for 12111 3rd Ave Richmond BC (Steveston Hotel)**

**February  
15 2020**

Remove  
and dispose of existing 1 layer roof system to substrate.

.  
Supply  
and install 5/8 plywood over the entire roof surface .

.  
Remove  
and dispose of existing roof hardware such as drains, flashing, vents, etc.

.  
Remove  
and dispose of all perimeter cap flashing.

.  
Supply  
and install Base Sheet,

.  
Supply  
and install new plumbing vents, drains and all required  
vent  
flashing to replace the old ones.

Supply  
and install sheet stripping ply to all perimeters and  
curbs.

.  
Supply  
and install 250gr granulated cap sheet, fully torched on top of the new base sheet.

.  
Supply  
and install one layer of new granulated cap sheet stripping to all



perimeters  
and curbs, fully torched.

.  
Supply  
and install MS detail liquid membrane at the base of all roof hardware and on top of all parapet walls .

.  
Supply  
and install 26-gauge metal perimeter cap flashing, standing seam style

.  
Remove  
and dispose of all perimeter metal cap flashings from the lower roof

.  
Remove  
and dispose of all roof hardware i.e.: drains, leads vents Etc.

.  
Supply  
and install 180 FF base sheet

.  
Supply  
and install as required, all new roof hardware such as drain, vents,

.  
Supply  
and install base sheet stripping ply to all perimeters and curbs for this lower roof section

.  
Supply  
and install 250 TP cap sheet fully torched adhered to existing roof membrane and all parapet walls and all existing curbs. .

.  
Supply  
and install 26-gauge metal cap flashing, to replace all existing cap flassing

.  
Inspect  
roof upon completion to ensure all contract details are completed to industry standards

Life expectancy of roof system quoted is 20 years

OUR  
estimate and proposal for all above mentioned works is .....**Total**  
**: \$145,600,00+GST**

**STRUCTURAL  
REPAIRS:**

NOTE:

A. we have not included any structural repairs . If structural repairs will be needed we will do so at \$ 75.00 per hour plus costs of materials used.

B. If there will be a need for major structural repairs ie change roof joists you may need a building permit and most likely a structural engineer to attend these repairs. In this case you will have to pay the related costs to the city for building permits and the costs to the structural engineer, Please be informed that we have a structural engineer to recommend when the time comes if need be,

C. Safety

of tenants and crews will be observed at all time (ground protection)

Please

Note:

D.

Daily

clean-up is included

E.

All membrane application performed by ticketed journeyman roofers employed directly work

to be inspected upon completion by a senior member of Macbeth Roofing staff to

ensure compliance with all aspects of this contract.

\*\*\*\*\*The

**costs related to this inspection and its report is not included in our estimate. You may pay the inspector directly.**

**We**

**thank you for the opportunity to give you our quote and we look forwards to serve you**

**Our**

**estimate will be good as per your request until the end of APRIL 2020**

**Ranj Mann  
ranj@thegasguys.ca**



# German Master Roofing

March 22,2020

Project: Steveston Hotel

We are pleased to send you our quote for your project in Richmond. If you have any questions, we are happy to answer them.

## SCOPE OF WORK: Upper Flatroof ( Tar and Gravel)

**Note: Electrician has to remove all electrical cords before any work can start**  
**If AC Units are being are being installed we have to discuss how to waterproof them (we don't know installing system (blocks or build up on roof)**  
**Metal needs to be cut to keep molding.**  
**Old Flag post has to be removed**  
**New Flag post has to be checked**  
**Kitchen units has to be lifted up for waterproofing**  
**If the plywood under the metal cap flashing or walls are rotten they have to be changed on hourly basis (75 \$ PER LABOUR)**  
**New build up has to be approved by static engineer**  
**There is a small flatroof on the front which we didn't put in our quote as we don't know how to access it**

**We assumed that we remove the gravel and put down protection boards (sopra board) and screw it down with hex plates and then 2 layer of torch on**

**ALTERNATIV: If Owner choose plywood over protection board we have to add Primer and First layer of torch on will be colvent 830 , 2 layer torch on will be the same . NOTE Plywood will add up extra weight for roof has to be approved by engineer**

- Get rid of all the gravel and put it in a bin
- Remove existing metal and get rid of old metal
- Deliver and screw down sopra board with hex plates and screws
- Deliver and waterproof all flat decks with 1 layer torch on 180
- Deliver and waterproof all flat decks with 1 layer 180 cap (colour black)
- Strip all curbs with 2 layer of torch on attached to flat roof (walls)
- Deliver and waterproof all drains and overflows as extra on necessary areas
- Deliver and waterproof Metal on Flatroof (drip edge ) colour standard , 24 ga, 10" girth, 3 bend

## German Master Roofing

March 22,2020

- Deliver and change all existing bird houses, menzies and B-vents with new ones and waterproof them
- Deliver and install metal wall flashing 24 ga , colour the same as the old ones
- Deliver and install metal cap flashing 24 ga, colour the same as existing
  
- skylight has to be lifted and torched in
- existing Curbs has to be lifted, waterproofed and new metal has to be installed
- Stucco has to be cut 3 feet up for torch on
- Paver has to be removed by owner

No hights will be changed on the parapet walls .

We calculated ~~8,050~~ sqf . After the work is done we measure and bill exact sqf.

18,050

**Total FLATROOF : 172,970.- \$**

**Total METAL : 33,470.- \$**

**Total: 206,440.- \$ + Gst**

- 1) Any changes or additions made, requested or required to the above scope of work by any inspector, engineer, architect, designer or the like are chargeable and additional to this proposal.
- 2) German Master Roofing is not responsible for the sloping of the roof surface or the addition of sloping material
- 3) The above quote is based on continuous work, with the exception of weather related issues, and any delays to work, additional trips or start-ups are subject to additional charges.
- 4) German Master Roofing is not responsible for cutting holes in the roof for Menzies, Vents or drains
- 5) Garbage bin has to be on site, bin has to be provided by owner.
- 6) For the final bill German Master Roofing measures the exact sqft and bills accordingly.

Any other work requirements not included in the above are additional to this proposal and will be subject to a change of work order. The client will be informed

# German Master Roofing

March 22, 2020

## BY SIGNING THIS DOCUMENT YOU AGREE TO THE FOLLOWING:

- Pay for building and street permits required to execute this contract are extra to the main contract
- All remaining materials shall be deemed the property of German Master Roofing and may be picked up by the company.
- I understand that roofing may cause the building to move or vibrate or bounce. German Master Roofing is not responsible for any damage to pictures, glassware, chandeliers, carvings or other items attached to the interior of the building.
- Should any damage to driveway, lawns, shrubs, walkways, gardens, trees, eavestroughing, siding, deck, fence, or any other property, German Master Roofing limits its liability to repair of the directly affected areas only.
- German Master Roofing is not responsible for leakage due to ice damming.
- German Master Roofing is not responsible for ponding water on flat roofs or EPDM gutter systems.
- Any contract cancelled prior to commencement is subject to a \$500 administration fee plus any custom order items (i.e. skylights, flashings, etc.).
- German Master Roofing can cancel any job prior to commencement.
- German Master Roofing is not responsible for providing an on-site waste container.
- German Master Roofing will clean up all excess debris caused by roofing work



MARCUS MILLER

# German Master Roofing

March 22, 2020

of such change of work orders during job progression as required. All changes or additions of work will be approved by the client prior to proceeding with the work.

**TERMS ARE:** 20% upon signing, 30% upon commencement of work, 40% upon substantial completion and 10% holdback for 15 days.

Sincerely,  
Markus Hillen  
German Master Roofing

We propose to furnish material and labor completed, in accordance with the above specification for the sum of:

\$ \_\_\_\_\_

Plus GST \$ \_\_\_\_\_

**TOTAL PAYMENT TERMS:** \$ \_\_\_\_\_

Upon signing (20%): \_\_\_\_\_

Upon commencement (30%): \_\_\_\_\_

Upon Completion (40%): \_\_\_\_\_

Holdback (10%): \_\_\_\_\_

**(3% will be charged on overdue account)**

## ACCEPTANCE:

The above prices, specifications and conditions are satisfactory and are hereby accepted.

Purchaser: \_\_\_\_\_

Signature: \_\_\_\_\_

Contractor Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Any major repairs (over \$300) will be discussed prior to proceeding with the work. German Master Roofing will not be responsible for cracking and other damage to old torch on or drywall caused by standard applications of roofing materials.



# City of Richmond

## Heritage Alteration Permit

Development Applications Division  
6911 No. 3 Road, Richmond, BC V6Y 2C1

File No.: HA 19-881148

To the Holder: KANARIS DEMETRE LAZOS

Property Address: 12111 3<sup>rd</sup> AVENUE

Legal Description: LOT 2 SECTION 10 BLOCK 3 NORTH RANGE 7 WEST NEW WESTMINSTER DISTRICT PLAN EPP65456

(s.617, *Local Government Act*)

1. (Reason for Permit)
  - Designated Heritage Property (s.611)
  - Property Subject to Temporary Protection (s.609)
  - Property Subject to Heritage Revitalization Agreement (s.610)
  - Property in Heritage Conservation Area (s.615)
  - Property Subject to s.219 Heritage Covenant (Land Titles Act)
2. This Heritage Alteration Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. This Heritage Alteration Permit is issued to authorize the replacement of the existing roof at the building at 12111 3<sup>rd</sup> Avenue, as follows:
  - removal of the existing tar and gravel roof system, plywood and shiplap roof layers, and replacement of rotted joists and other structural elements, as required; and
  - replacement with new plywood, and a new torch on roofing system complete with new roof drains, caps, flashing and vents;
 for the areas of the building illustrated on the plan contained in Plan # 1.
4. This Heritage Alteration Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
5. If the alterations authorized by this Heritage Alteration Permit are not completed within 24 months of the date of this Permit, this Permit lapses.

AUTHORIZING RESOLUTION NO. \_\_\_\_\_ ISSUED BY THE COUNCIL THE DAY OF

DELIVERED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CORPORATE OFFICER

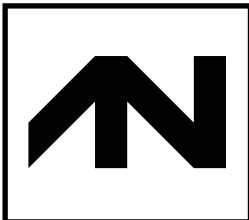
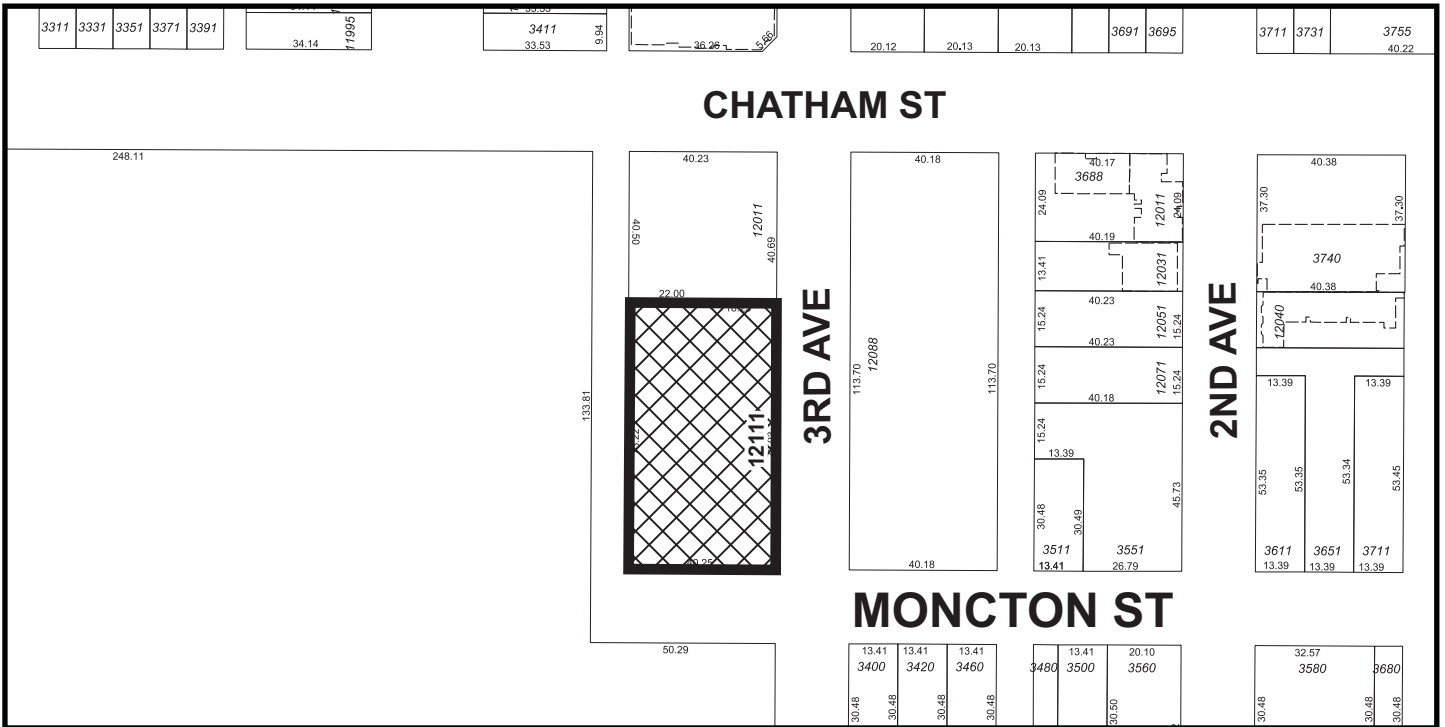
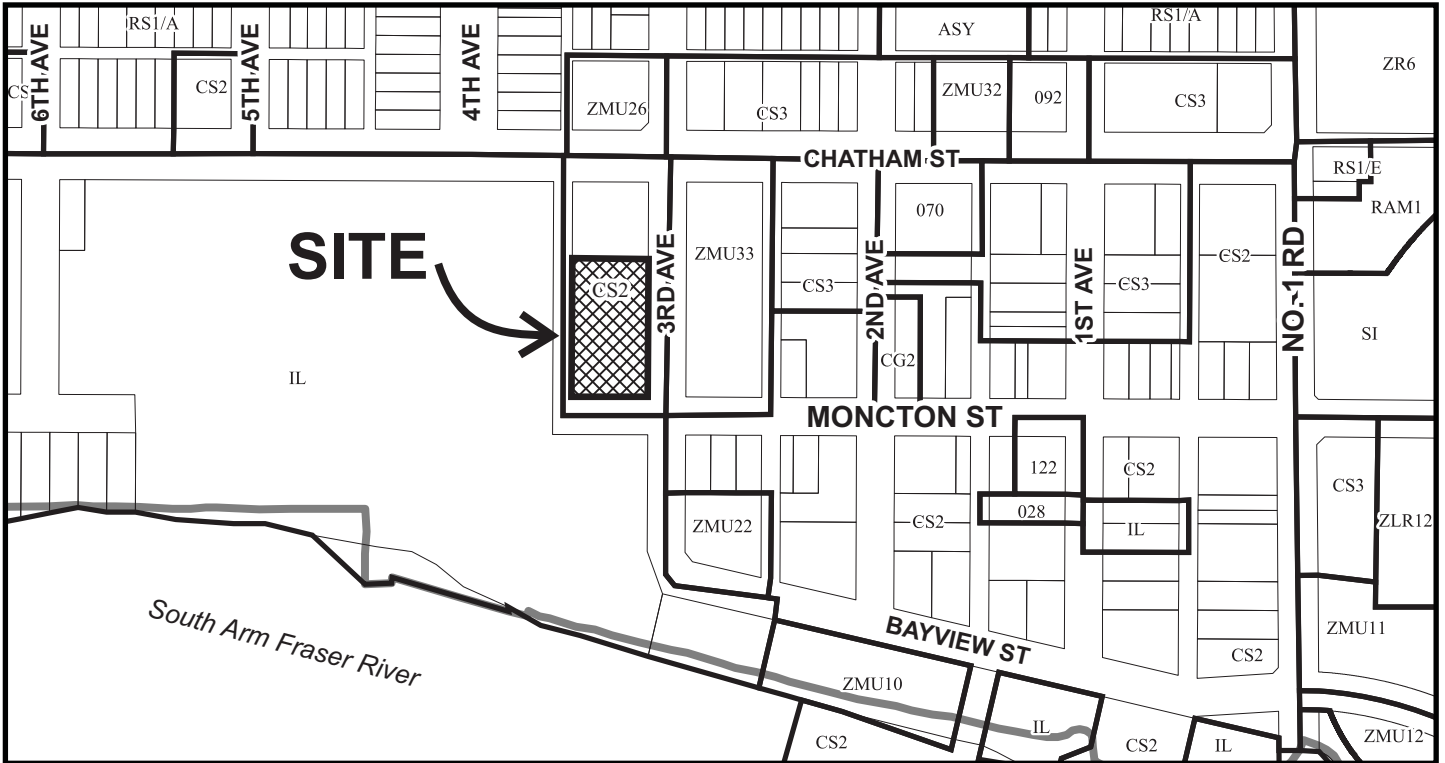
IT IS AN OFFENCE UNDER THE *LOCAL GOVERNMENT ACT*, PUNISHABLE BY A FINE OF UP TO \$50,000 IN THE CASE OF AN INDIVIDUAL AND \$1,000,000 IN THE CASE OF A CORPORATION, FOR THE HOLDER OF THIS PERMIT TO FAIL TO COMPLY WITH THE REQUIREMENTS AND CONDITIONS OF THE PERMIT.

**GP – 215**

Version 6



# City of Richmond



## DP 19-881148 SCHEDULE "A"

GP - 216

Original Date: 01/08/20

Revision Date:

Note: Dimensions are in METRES



NO.	DATE	REVISIONS
1		

12111-12011 3rd AVE.  
 RICHMOND, BC

LEGAL DESCRIPTION:  
 LOT 10, 09,  
 REAR PLAN

NOV-10-2019  
 ROOF  
 REPLACEMENT

CIVIL ADDRESS:  
 12111-12011 3RD AVE.  
 RICHMOND, BC

EXISTING SITE  
 ROOF PLAN

DATE: 1/18/2020  
 DRAWN: MJJ  
 PROJECT NO.: 15-0041  
 CLIENT: K.D. LAZOS  
 604-911-8802

NOT TO SCALE  
 THIS PLAN IS A PRELIMINARY DESIGN AND IS SUBJECT TO CHANGE WITHOUT NOTICE.  
 THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.  
 THE DESIGNER ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS PLAN.

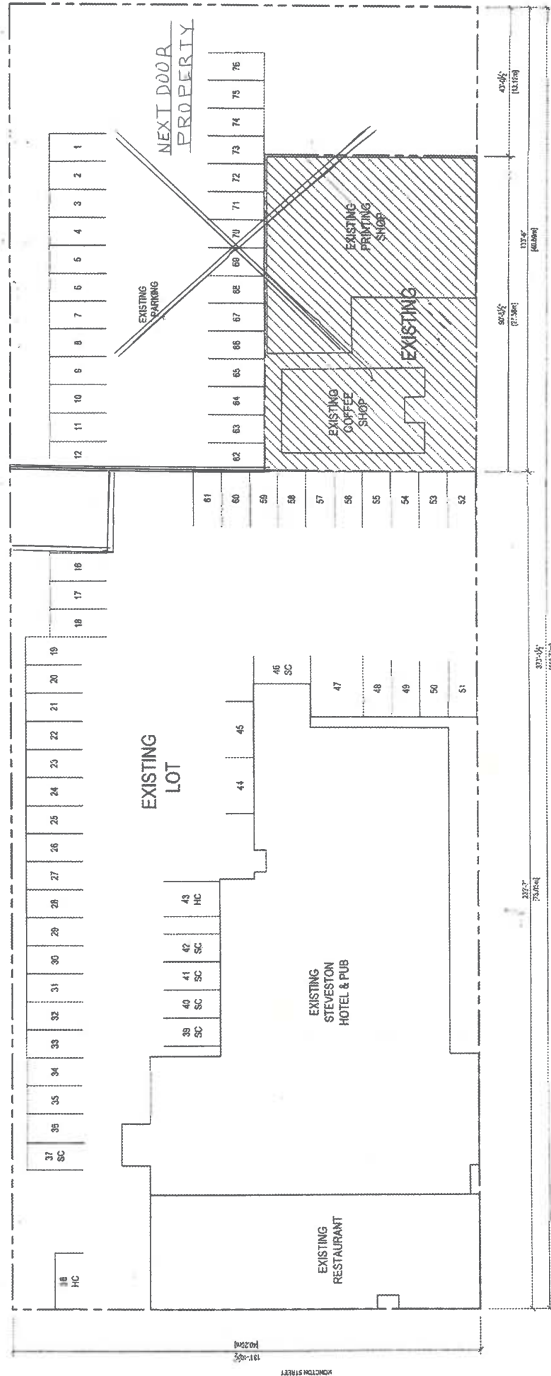
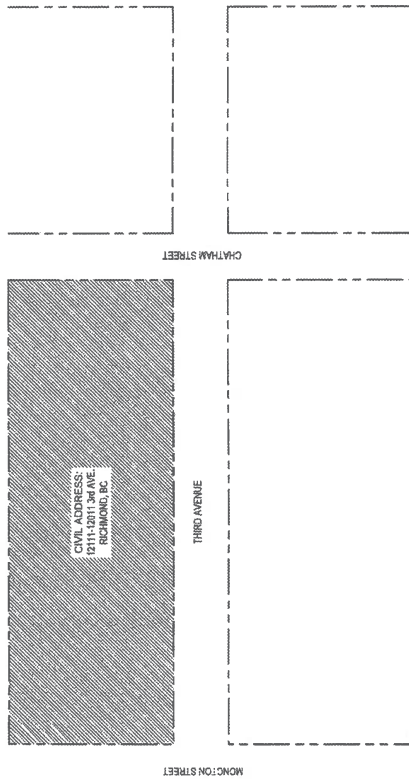


PHOTO OF EXISTING ROOF

Note: screening of existing rooftop mechanical equipment to be completed in future, subject to approval by the Director of Development.

H.A.P. APPLICATION FOR ROOF REPLACEMENT  
 STEVESTON HOTEL

HA 19-881148  
 June 29, 2020  
 Plan # 1



SITE PLAN - EXISTING  
 SCALE: 1/8"=1'-0"