



City of Richmond

Report to Committee

To: Parks, Recreation and Cultural Services Committee
Date: January 3, 2023

From: Marie Fenwick
 Director, Arts, Culture and Heritage Services
 File: HA 22-026415

Jim V. Young, P. Eng.
 Director, Facilities and Project Development

Re: **Application by the City of Richmond for a Heritage Alteration Permit at 5180 Westwater Drive (Britannia Shipyards)**

Staff Recommendation

That a Heritage Alteration Permit be issued to authorize alterations to the landside buildings at Britannia Shipyards, 5180 Westwater Drive, as outlined in the staff report titled, "Application by the City of Richmond for a Heritage Alteration Permit at 5180 Westwater Drive (Britannia Shipyards)," dated January 3, 2023, from the Director, Arts, Culture and Heritage Services and the Director, Facilities and Project Development.

Marie Fenwick
 Director, Arts, Culture and Heritage Services
 (604-276-4288)

Jim V. Young, P. Eng.
 Director, Facilities and Project Development
 (604-247-4610)

Att. 3

REPORT CONCURRENCE		
ROUTED TO:	CONCURRENCE	CONCURRENCE OF GENERAL MANAGER
Policy Planning	<input checked="" type="checkbox"/>	
SENIOR STAFF REPORT REVIEW	INITIALS:	APPROVED BY CAO

Staff Report

Origin

Britannia Shipyards, located at 5180 Westwater Drive (the Site) (Attachment 1), is a 3.2 hectare historic cannery and shipyard site and public park bounded by the Fraser River to the south, Westwater Drive and residential development to the north and west, and the Steveston Harbour Authority to the east. The site consists of a collection of 14 wooden buildings related to early fishing and boatbuilding operations.

In October 2020, building condition assessments were completed for multiple buildings, which identified necessary infrastructure and envelope repairs. On December 6, 2021 Council subsequently approved \$2,125,000 as part of the 2022 Capital Program to complete the work for the over-land buildings.

Britannia Shipyards, was designated a municipal heritage site in 1990 and is protected by Heritage Designation Bylaw 5585. Under the City's Heritage Procedures Bylaw 8400, any alterations to a heritage designated site are subject to a Heritage Alteration Permit (HAP). Issuance of a HAP is subject to Council authorization.

This HAP application (HA 22-026415) is in addition to a previous HAP (HA 22-009920), that includes like-for-like roof replacements for Murakami Boatworks, Murakami House, Manager's House, Point House, Men's Bunkhouse, Winch Shed and Chinese Bunkhouse. The previous HAP (HA 22-009920) was issued on April 13, 2022 by staff through delegated authority.

The City of Richmond is applying for a HAP (HA 22-026415) to undertake multiple envelope repairs, including some roof systems, of landside buildings on the Site, electrical, mechanical, envelope and equipment renewals of the Richmond Boat Builders Building and ground water mitigation improvements to the stilt house crawl spaces. These repairs are needed to preserve the buildings and maintain structural integrity. The current HAP requires Council's approval as it involves alterations that cannot be considered by staff through delegated authority.

The purpose of this report is to provide an overview of the proposed alterations, applicable policies and plans and recommend that Council authorize the issuance of a Heritage Alteration Permit.

Related Policies and Plans

Britannia Shipyards National Historic Site Strategic Development Plan

The proposed alterations support the goals of the *Britannia Shipyards National Historic Site Strategic Development Plan* (Plan) endorsed by Council on July 23, 2018. The proposed alterations are also in keeping with the Site's mission, articulated in the Plan, "to preserve west coast maritime heritage with an emphasis on local wooden boat building traditions and the cultural mosaic and living conditions of the people who worked on the Steveston waterfront". The proposed work will also advance the overarching goals identified in this Plan to complete heritage restoration and interpretation and enhance the general quality of the visitor experience.

Steveston Area Plan

Under the Official Community Plan 2041, the Site falls within the Steveston Area Plan (Area Plan), which seeks to “conserve significant heritage resources throughout the Steveston Area.” Section 4.1 (h) of the Area Plan requires that the *Standards and Guidelines for the Conservation of Historic Places in Canada*, prepared by Parks Canada, be used to guide the management of heritage resources.

The proposed alterations identified in this HAP were informed by the Outline Conservation Strategy prepared by Don Luxton and Associates (Attachment 2). This Strategy follows the guidance provided in the *Standards and Guidelines for the Conservation of Historic Places in Canada* and describes the heritage value of the site and each building along with the appropriate approach to alterations. As indicated in this Strategy, repair and preservation of original fabric will always be preferred over replacement in any work undertaken as part of this project.

Stakeholder Consultation

The proposed alterations were reviewed by the Richmond Heritage Commission (Commission) at their regular meeting on December 7, 2022. An excerpt from the Richmond Heritage Commission meeting is attached (Attachment 3). The Commission supported most of the proposed alterations but expressed concerns regarding the proposed synthetic roofing material for the modern low slope roof adjacent to the Murakami House. The Commission noted either the original material should be used or a more contrasting material can be used if the objective is to differentiate the non-heritage addition from the historic Murakami House. Staff have considered the members’ comments and will revert back to a like-for-like roof replacement on the low sloped roofs adjacent to the Murakami House. The Britannia Shipyards National Historic Site Society have been informed of the upcoming work and are supportive of the proposed changes.

A HAP notification sign outlining the proposed alterations has been installed on the subject property. Once construction is underway, signage will be installed to inform public about the work and the associated building closures.

Proposed Scope of Work

Envelope Repairs

A number of building envelope repairs are needed to address building deterioration. This application includes repairs and alterations for the following heritage buildings:

Richmond Boat Builders, Murakami Boatworks, Murakami House, Manager’s House, Point House, Men’s Bunkhouse, Winch Shed, Chinese Bunkhouse, Visitor’s Centre, and the modern Information Technology and mechanical buildings adjacent to the Murakami House.

The proposed alterations include:

- Wood siding, fascia, and exterior trim boards: repairs or like-for-like replacement as required on Richmond Boat Builders, Murakami Boatworks, Murakami House, Winch Shed, Chinese Bunkhouse, Manager's House, Point House, Men's Bunkhouse, and Visitor's Centre;
- Gutters and down spouts (wood and metal): repairs or like-for-like replacement as required on Richmond Boat Builders, Murakami Boatworks, Murakami House, Chinese Bunkhouse, Manager's House, Point House, Men's Bunkhouse, and Visitor's Centre;
- Exterior doors and windows:
 - Repairs or like-for-like replacements as required on Richmond Boat Builders and Winch Shed;
 - Replace exterior fibreboard doors on north and east side of Chinese Bunkhouse with solid wood doors in keeping with original character and as undertaken with the south side doors in 2021 (HA 21-939633); and
- Roof systems:
 - Replace metal roofing with cedar shingle and fill-in abandoned skylights on Richmond Boat Builders in keeping with the original heritage character of building.

Richmond Boat Builders Fit Out

Upon completion of the envelope repairs to the building, the Richmond Boat Builders will be fit out with mechanical systems and equipment to support future wooden boat building programming. Upgrades to the building include a renewed exterior dust extraction system and renewed electrical and mechanical systems on the interior. The improvements may impact the building's exterior as systems may require penetrating the building envelope. Details will be reviewed and discussed with the heritage consultant to minimize the impact and ensure that the heritage value is not negatively impacted. Once complete, the facility will be ready to host boat building programming for the public.

Improvements to Stilt House Crawl Spaces

Due to on-going issues with water seepage and mould, as part of this project, mechanical ventilation and sump pumps will be installed in the crawl spaces of the Chinese Bunkhouse, Point House, Men's Bunkhouse, Manager's House and Visitors' Centre. The improvements may impact the building's exterior as systems may require penetrating the building envelope. Details will be reviewed and discussed with the heritage consultant to minimize the impact and ensure that the heritage value is not negatively impacted.

Financial Impact

None.

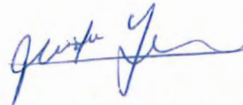
Conclusion

The proposed repairs to the envelopes of landside buildings at the Site, fit out of the Richmond Boat Builders, and improvements to the stilt house crawl spaces as described in this Heritage Alteration Permit application (HA 22-026415) are required to maintain the heritage value and structural integrity of these buildings. The materials and approach of the proposed alterations are in keeping with the *Standards and Guidelines for the Conservation of Historic Places in Canada*.

It is recommended that the subject Heritage Alteration Permit for the Site be authorized.



Rebecca Clarke
Manager, Museum and Heritage Services
(604-841-2608)



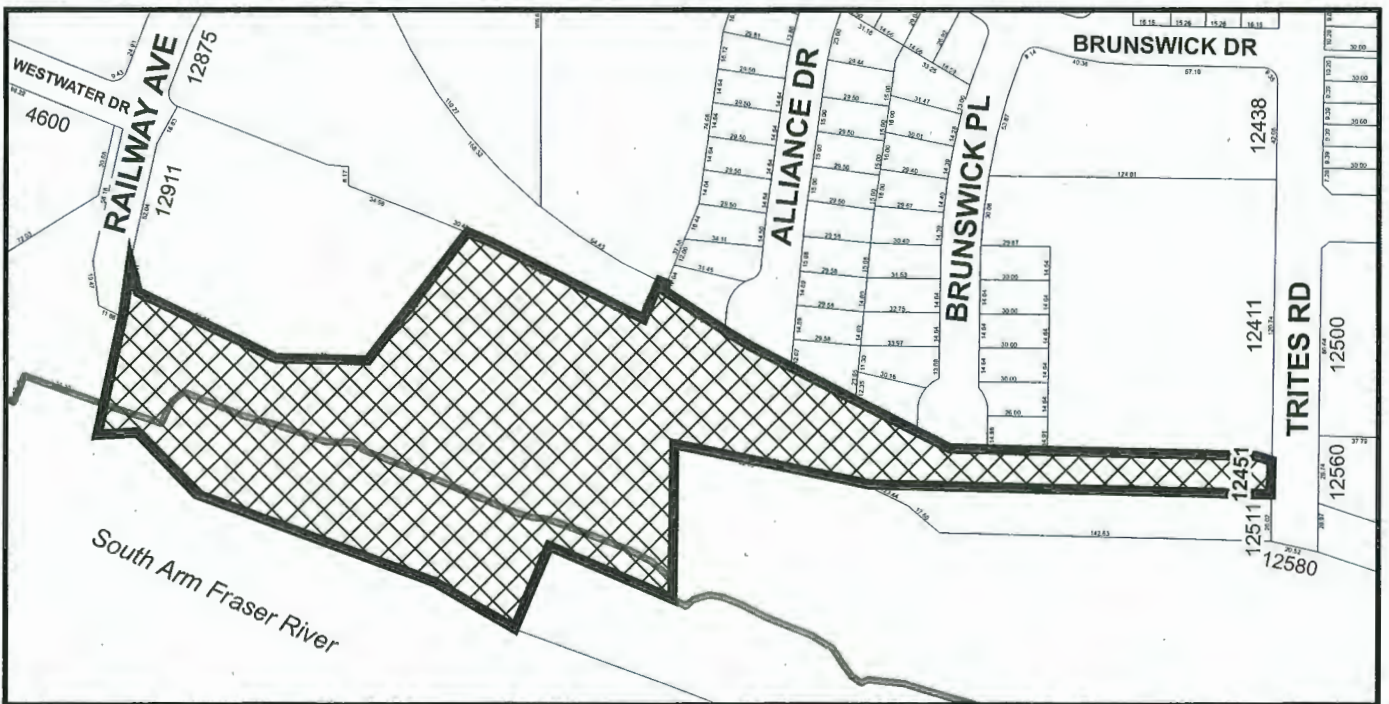
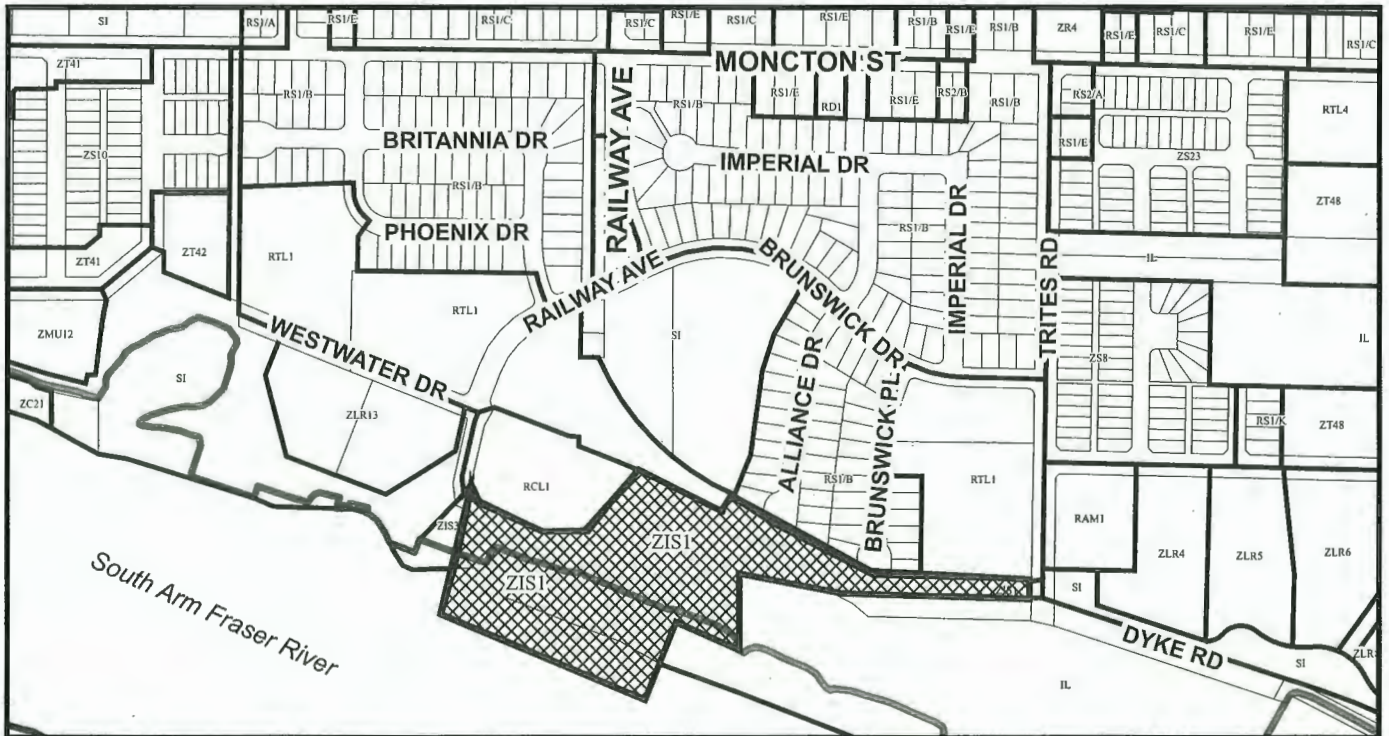
Martin Younis, B. Eng., M. Eng.
Manager, Capital Buildings Project Development
(604-204-8501)

- Att. 1: Location Map
2: Outline Conservation Strategy
3: December 7, 2022, Richmond Heritage Commission draft meeting minutes



City of Richmond

Britannia Location Map



HA 22-026415

Original Date: 11/28/22

Revision Date:

Note: Dimensions are in METRES



BRITANNIA SHIPYARDS

5180 WESTWATER DRIVE, RICHMOND, BC

OUTLINE CONSERVATION STRATEGY

NOVEMBER 2022

DONALD LUXTON 
AND ASSOCIATES INC

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INTRODUCTION

This Outline Conservation Strategy contains Conservation Treatments and Recommendations for the Britannia Heritage Shipyard National Historic Site. This is meant to act as an Action Plan for any person/organization conducting work on the historic site in the future. This will be further enhanced (and clarified) by the Historic Context, Statement of Significance, Policy Framework, and Conservation Recommendations from the *Standards and Guidelines for the Conservation of Historic Places in Canada* sections that make up the remainder of the Conservation Site Review document.

The City of Richmond Heritage Planner and a qualified Heritage Consultant should be consulted prior to the beginning of any work on this historic resource, and a work plan should be defined. If, during the conservation work process, there is any doubt or confusion regarding any of the conservation recommendations contained within this report (or anything agreed upon in the work plan), the City of Richmond Heritage Planner and/or the qualified Heritage Consultant should be consulted.



Britannia Heritage Shipyard, August 2022

1.0 STEVESTON HISTORIC CONTEXT

In 1880, William Herbert Steves, the son of Manoah Steves, the first settler in what would become Steveston, bought land and began to develop a townsite that would rival that developing in Vancouver. He enlisted aid from the British Army Engineers to lay out the townsite and by 1890, the area was known as Steveston. Early Steveston boasted a variety of amenities including, an opera house, church, several hotels, retail stores, a wharf to accommodate steamboats and Lulu Island's first newspaper and hospital.

Originally a farming community, it wasn't long before commercial fishing was firmly established as the economic engine that would power Steveston for the next century, commencing with the opening of the first cannery on the waterfront in 1882. By 1890, Steveston was a full-blown boom town, with canneries lining its waterfront and record catches of salmon, herring and other species. Steveston canneries were shipping salmon overseas, setting a record of more than 7.2 million kilograms in 1901. Steveston became known as the largest commercial fishing and cannery centre in Canada. This natural bounty supported many hotels and entertainment venues, including an opera house, saloons and bawdy houses, as well as gambling tables and opium dens to serve the fishing season population of 10,000. In the 1880s, fish processing technology changed as salting gave way to canning—and this technology benefited greatly from the catch being as fresh as possible. Accordingly, new processing and canning plants located in Steveston were close to the fishing grounds. However, by 1912, the fish processing lines had become automated, reducing the town's population by nearly half. In 1917, the annual salmon run failed due to blasting operations three years earlier at Hell's Gate in the Fraser Canyon, during the construction of the Canadian National Railway. Debris blocked the river to returning salmon. This disruption was complicated by several disastrous fires in 1918 (one of which resulted in the destruction of the Chinese and Japanese sections of Steveston Village), resulting in the closing, merging, or conversion of several canneries.



Looking down Second Avenue in Steveston, 1898, City of Richmond Archives (CRA) 1984-0017-00075

BRITANNIA SHIPYARDS
5180 WESTWATER DRIVE, RICHMOND BC

On January 14, 1942, the federal government ordered the evacuation of all males of Japanese descent over the age of 18 from British Columbia's coast. On February 26, 1942, this order was expanded to include women and children. By October 21, 460 Japanese Canadians, including 2,600 from Steveston, had been moved by train to British Columbia's interior, many to ghost towns like Kaslo and New Denver, where they were often relegated to makeshift houses without electricity or running water. Some families went even further, in order to work on sugar beet farms in Alberta and Manitoba. The war ended in September 1945 but Japanese Canadians were not allowed to return to the coast until May 1949.

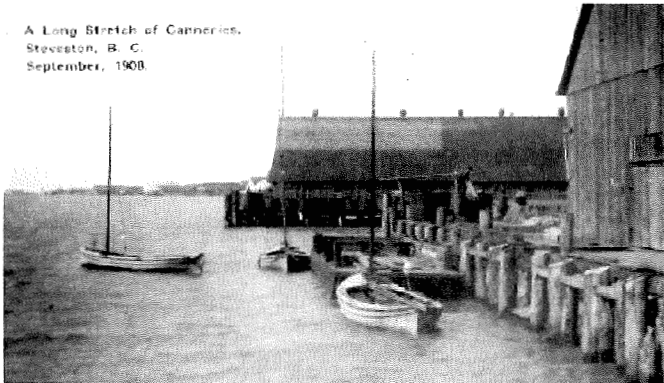
Following the war, Steveston returned to its peacetime state, with fishers fishing and shops catering to their needs and those of surrounding residents. Celebrating Steveston's commercial fishing legacy, the first Steveston Salmon Festival was launched in 1946, and continues today as an annual event. On February 28, 1958, the famed Interurban tramlines, which had provided a vital transportation link to Vancouver, had their final run on the Marpole-Steveston run, the region's last remaining route. In 1972, the first purpose-built Martial Arts Centre, or dojo, outside of Japan opened in Steveston, reinforcing the Japanese Canadian heritage of the area. In 1979, the Steveston Museum opened in a building dating from 1905, which had been Steveston's first bank, then a doctor's office.

Today, Steveston retains its fishing village character and remains home to Canada's largest fishing fleet, consisting of over 600 vessels. Steveston is also home to two National Historic Sites of Canada, including the Gulf of Georgia Cannery, once nicknamed the "Monster Cannery", and Britannia Shipyards. These sites help contribute to Steveston's increasing tourism trade.



Two female cannery workers holding a sockeye salmon on a Steveston dock ca. 1942, CRA 1985-4-1759

A Long Stretch of Canneries, Steveston, B. C. September, 1908.

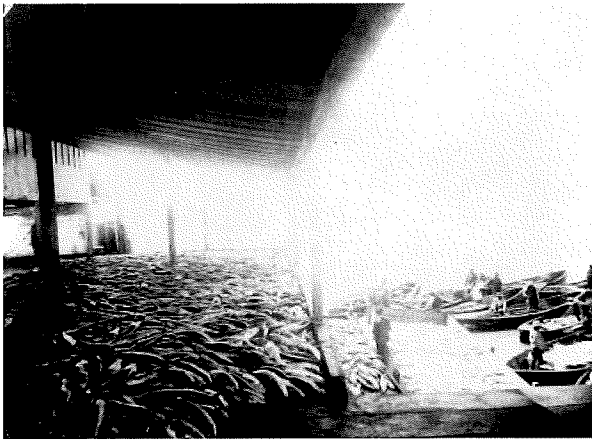


A Long Stretch of Canneries, Steveston, September 1908, CRA 1984-0017-00009



Schooners at Steveston Canneries loading canned salmon destined for Cape Horn and England, 1899, CRA 1985-4-7

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5180 WESTWATER DRIVE, RICHMOND BC



Anglo-B.C. Packing Co., Phoenix Cannery, 1890, City of Vancouver Archives (CVA) Indust P3.1



CVA Indust P5



Anglo-B.C. Packing Co. Receiving Salmon: Salmon being moved from flat bottom double ended skiffs onto a receiving scow, Garry Point Cannery, 1891, CVA Indust P4

2.0 HISTORY OF BRITANNIA HERITAGE SHIPYARD

The British Columbia salmon canning industry began in the 1870s, and by 1890, the year the Britannia plant opened for business, there were already two salmon canneries operating at Steveston, and over thirty operating in British Columbia. The 3.3-hectare Britannia Shipyards property is located on the south side of Lulu Island, 15 kilometres south of Vancouver, and is designated as a National Historic Site. In 1890, the Britannia Shipyards Property was constructed as a cannery, and retained this function until 1910, when it was adapted for use as a boat repair yard. Cantilevering over the water, the shipyard overlooks Steveston Channel at the mouth of the Fraser River. The Shipyards is part of three-kilometre stretch of shoreline known collectively as Cannery Channel, extending from Garry Point and the Gulf of Georgia Cannery on the west end, to London Farm in the east. Many tall ships moored in Steveston every week during canning season to export canned salmon to world markets.

The Britannia Shipyards is the oldest surviving structure on the Steveston waterfront, and the oldest shipyard building in British Columbia. The Cannery was built in the distinctive L-shaped plan that characterized most early canneries. The long wing of the 'L' was built perpendicular to the riverbank, with the short wing built over the water and parallel to the shore. Fish cutting was typically done in the short wing, and the rest of the canning operation took place in the long wing of the building. The proximity to the water made it easy for the fish to be unloaded onto the wharf and into the cannery. High lofts in the building were used for storing empty cans and nets.

By 1900, seventeen canneries were operating along Cannery Channel. In addition, hundreds of industrial structures associated with both canning and fishing lined the shore. Mergers between firms began to take place, and one of the first examples was the formation of the Anglo-British Columbia Packing Company Ltd (ABC) in 1891. This merger, which sought

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5180 WESTWATER DRIVE, RICHMOND BC

to increase efficiency and profits, brought together nine salmon canneries, including two at Steveston: the Phoenix and the Britannia. Henry O. Bell-Irving founded ABC, and the company quickly grew to account for more than one quarter of British Columbia's total salmon pack. ABC sold huge quantities of canned salmon to the US government during the Spanish-American war in 1898, and initiated the shipping of salted, dried fish to Japan in December 1900. The company remained in the Bell-Irving family for three generations.

Technological advances provided investors with means to improve production. For example, the advent of gasoline motors in the first decade of the twentieth century allowed for more efficient fishing methods, and made the use of larger boats possible. These boats could travel to more distant fishing grounds in the Strait of Juan de Fuca, which was becoming increasingly important as American fishermen were catching larger quantities of Fraser River salmon and carrying them to new canneries on Puget Sound in the state of Washington. Mechanization was bringing great efficiencies to the canning industry, and in the decade before World War I, it became possible for machinery to perform tasks such as washing, butchering, salting and weighing the fish, and putting it in cans; both reducing waste and the number of workers needed.

At the turn of the twentieth century, cannery work had been very labour intensive, with workers using hand-soldering devices. The labour force employed in the fishing and canning industries was ethnically diverse, with different groups often working and living separately. The Britannia cannery workforce included European, Japanese, Chinese and First Nations workers, many of whom were housed on the site. In the early days of the Britannia Shipyard, there were about 1,000 Chinese immigrants in the local area working in the canneries. Most foremen, mechanics and bookkeepers were European, while First Nations, Chinese and Japanese employees worked on the processing lines. Many residents lived beyond a dyke, along which ran pathways and boardwalks that served as a main street for the Steveston waterfront. Workers, cyclists, school children, and supply carts shared this narrow boardwalk built on piles above the marsh. During winter months, the boardwalk was often drenched by high tides.

The current buildings that compose the Britannia Shipyard property tell the stories of these diverse residents and workers. Originally a complex of over 90 structures, the site now illustrates the industrial activities and living arrangements of a typical Steveston cannery and shipyard of the early 1900s. Often each cannery supplied housing for individual ethnic groups in its workforce, with structures built on pilings to raise them above the level of the mud flats. An interesting example is the Chinese Bunkhouse, which is the last surviving Chinese Bunkhouse on the west coast. The building was originally located in Knight Inlet, and was relocated to its current location in the early 1950s. This bunkhouse was home to 75-100 Chinese cannery workers who were employed through Chinese contractors to work on the canning line. Accommodations were bare and extremely cramped. The Japanese Duplex building was once part of a complex of 16 buildings used by Japanese workers at the Phoenix Cannery. The two-storey structure originally served as housing. Constructed in the 1890s, it is the last building of its kind on the Steveston waterfront.

The land on which the Britannia Shipyard sits is the traditional territory of the Musqueam, a Coast Salish First Nation. While First Nations men fished for the canneries, the women were employed as workers on its processing lines. Built in the late 1880s to house native cannery workers, the First Nations Bunkhouse is reminiscent of traditional nineteenth century Coast Salish Longhouses. The board and batten fir siding is fastened with handmade nails.

Other significant buildings on the site include four stilt houses, which were built in the late 1800s as fisherman's dwellings. John Murchison, Steveston's first police chief and customs officer, purchased the Murchison Houses in 1895. Today, these stilt homes are open to visitors as the Visitor Centre, the Manager's House, the Men's Bunkhouse and the Point House.

After 1901, the salmon output of canneries located along the Fraser River district went into a slow decline. The decrease was due to both overfishing and greater competition from canneries based in the state of Washington. As stated previously, in 1917 the annual salmon run failed due to blasting operations four years earlier at Hell's Gate in the Fraser Canyon. British Columbia investors lost confidence in the canning industry after this disastrous season. Many canneries closed or were converted to other uses, with some buildings converted to auxiliary functions such as warehouses, salteries and net lofts. 1917 was the last year for which the Anglo-British Columbia Packing Co. purchased a canning licence for the Britannia.

However, the Anglo-British Columbia Packing Co. continued to operate a number of canneries in British Columbia, including the Phoenix, located next door to its Britannia plant. In 1918-1919 the Britannia site became a conveniently located shipyard and general maritime repair facility to fix the company's fleet of fishing boats. Conversion to this new



Worker using an "Iron Chink" to clean salmon, 1941, CVA 586-701

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5180 WESTWATER DRIVE, RICHMOND BC

use required some alterations to the exterior of the Britannia structure; a large opening for a boat slip was made, allowing vessels to be hauled directly from the water into the building, and the wharf was widened.

During the 1930s and 1940s, the Murakami Boatworks was in operation, built by Mr. Murakami on property rented from the Phoenix Cannery. One or two gillnet fishing boats were constructed each winter and the Murakami family fished in the summer. At launching time, temporary tracks were placed over the boardwalk to roll the boat out. At one point a steam-box extended through the east side of the back wall, and was used to soften the wood used in boat building so it could easily be bent. Murakami House, next to the boatworks, was built in 1885 on piles over the marsh. The Murakami family, consisting of ten children and their mother and father, lived in the residence from early 1929 to 1942. After the family's evacuation in 1942 to a sugar beet farm in Manitoba, the building was used to store lumber for the Britannia Shipyard and has since been restored.

Saeji Kishi and his employees constructed the Richmond Boatbuilders facility on piles above the marsh in the early 1930s. The facility was designed to accommodate up to four 30-foot fishing boats at one time. Gillnet fishing boats, 24' and 26' in length, with drums and Easthope engines, were the main product of the shop. The Kishis lost their boat works in the World War II internment of Japanese Canadians.

The surrounding environment of the Britannia Shipyard site was originally a treeless marsh. However, the vegetation changed significantly in the 1950s when the marsh was filled with sand dredged from the Steveston Channel. Now, the inter-tidal zone marsh is an important fish habitat and is a protected area for migratory birds and a family of swans. Shady Island, across the channel, was once a small sandbar that provided only minimal protection from storms. A wooden bulkhead was built in the 1930s to protect the dyke from storm wave erosion. Part of the original dyke can be seen in front of the Britannia Shipyard building and large stones can be seen in the marshes. Some of these ballast stones are from early schooners and clippers.

In the late 1960s, the Canadian Fishing Company purchased the Britannia Shipyard, and continued to use the facility into the 1970s, vacating it in 1980. In 1990, the site was donated to the City of Richmond by the Triple "R" Lands Corporation, and the property was designated as a National Historic Site in 1991. By 1994, the Britannia Heritage Shipyard Society had received grants and other donations totalling over \$1,000,000 to restore and upgrade buildings, repair wooden boats, and reconstruct the wooden bulkhead beside the dyke. Today, the Britannia Heritage Shipyard National Historic Site continues to represent an important cultural landscape for both Steveston and the City of Richmond as a whole.



Murakami home in state of disrepair, before restoration, 1984, CRA 1984-4-56

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3.0 STATEMENT OF SIGNIFICANCE

BUILDING NAME: Britannia Heritage Shipyard National Historic Site
CIVIC ADDRESS: 5180 Westwater Drive, Richmond, BC

Description of the Historic Place

Britannia Heritage Shipyard is a 3.2 hectare historic cannery and shipyard site, and public park located on the south side of Lulu Island near Steveston BC and the mouth of the Fraser River. The Shipyard is part of three-kilometre stretch of shoreline known collectively as Cannery Channel which was once the most prolific salmon canning centre in British Columbia.

The site is bounded by the South Arm and Steveston Channel to the south, Westwater Drive and residential development to the north and west, and the Steveston Harbour Authority to the east.

The site consists of a collection of wooden buildings related to early canning, fishing and shipbuilding operations arranged along a wooden boardwalk, dyke and bulkhead. The buildings reflect both the original Britannia operation and others not originally on the site relocated for interpretive purposes. The foreshore of the Fraser River contains important ecological and wildlife habitat features.

The site was declared a National Historic Site in 1991 and opened as a city park in 1995.

Heritage Value of the Historic Place

The Britannia Heritage Shipyard is important for its historical, aesthetic, scientific, cultural, social and ecological values. A civic public park and natural historic site, it contains an integral concentration of buildings and landscape features that collectively tell the story of life and work in the fish camps, canneries and shipyards of Steveston and Richmond.

Located on Steveston's Cannery Channel at the mouth of the Fraser River for close access to the fishing grounds, the Britannia Shipyard is significant for its role as one of the earliest still-surviving canneries in British Columbia, and as one which has adapted to many changes over its lifetime. Britannia Shipyard is significant for its geographical location on the South Arm, near the mouth of the Fraser River where it enters the Strait of Georgia. As part of the Fraser River estuary, the area is recognized as an important regional and local ecological resource, particularly the intertidal and tidal marshes where rushes and reeds play an important role in salmon reproduction. The marshes also attract shorebirds.

Constructed in 1890 by Duncan Batchelor and partners, Britannia Shipyard is valued for its historical association with the expansion of fishing and canning in Richmond and along the BC coast beginning in the late 1870s. Illustrating the liquidity of the industry, the cannery was purchased by Henry O. Bell-Irving's ABC Canning Company in 1891, the same year ABC absorbed the adjacent Phoenix Cannery and the Garry Point Cannery.

The Britannia cannery adapted to changes in technology, particularly mechanization, in the first decades of the twentieth century, including electricity, the sanitary canning system and the Smith butchering machine. Gasoline motors on gillnet boats allowed a wider fishing area, and facilitated the greater use of purse seines, powering net winches and propelling larger boats. After the decline in fish after 1913 and the Hell's Gate slide, Bell-Irving supervised the adaption from a cannery to a thriving shipyard to construct boats and service Steveston's fishing fleet.

The Britannia site is important for its still-evident features and their materials in the landscape that are indicators of the development and evolution of the cannery and shipyard. The physical location of the original buildings show the layout of the cannery and shipyard. The wooden boardwalk indicates the connection to the commercial area of Steveston, serving as a transportation route and main street for the community. The bulkhead is the result of the necessity of shoring up the land from inundation by the Fraser River. Pilings in the water reflect the location of wharves. Re-established gardens, such as the Murakami garden, and orchard planting reflect domestic aspects of the original landscape.

The Shipyard is important for its collection of buildings, including original cannery and shipyard buildings, and relocated structures from both its early history, for example, the Chinese Bunkhouse, and recent years. The collection of industrial and residential buildings is indicative of the diversity of Britannia's once-thriving, self-sufficient community of canneries, boatyards, residences and stores. The re-purposing of buildings for new uses was common throughout the canneries and in part allowed the Britannia Shipyard to remain viable for boat building and repair, equipment storage, and other maritime uses until the 1970s.

The building collection is important for its variety of scales corresponding to an individual building's original use, and for their physical materials, particularly wood and metal.

Collectively, the remaining original buildings and those moved to the site are important for the breadth of the interpretive programming which tells the full story of life in a cannery and shipyard setting over nearly a century. The site's ability to present information about the economic and social hierarchy that existed in the canneries and shipyards of the time, and of the ethnic diversity of its workers, is an important aspect of the place.

The workforce, both men and women, were of diverse cultural origins and most lived and worked on the site. The cannery and shipyard was supported by this hierarchy of workers which at first included managers, fishermen, cannery workers and cooks. After the transition to a shipyard, the workforce expanded to include fishermen, shipwrights, skilled craftsmen, machinists, engineers, cooks and others in support of the fishing fleet.

Racial divisions were part of life in the canneries, and this is reflected at Britannia. The canneries had separate living quarters for Europeans, Japanese, Chinese and First Nations. Housing types included Chinese and Japanese bunkhouses, First Nations huts, family housing and European houses.

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5180 WESTWATER DRIVE, RICHMOND BC

As elsewhere, discrimination existed towards Japanese, Chinese and First Nations workers. The relocation of the Japanese in 1942 relates directly to the cannery's workforce and the Japanese Duplex, but also to the two Stilt Piling houses (Men's Bunkhouse and Point House) as they were houses confiscated from their Japanese owners during the relocation.

Britannia has for many years been of value to the community as an important historical and recreational site. Past employees and residents of the Shipyard have contributed oral histories that bring the site to life. Its collection of buildings and landscape features is considered to have national value and was designated a National Historic Site in 1992 by the National Historic Sites and Monuments Board of Canada. It opened as a public city park in 1995.

The decision to make the site a park with full public access rather than a gated heritage attraction is important for the integration of the site into the community and to allow casual visitors to use and experience the place at all hours.

The place maintains significant social value and a link to its history through its many regular and seasonal activities supported by volunteers. Such programs and events include ecological education, interpretive tours, cultural and musical celebrations, community uses such as weddings, children's events, the annual Maritime Festival and ongoing active use of the Shipyard and the Richmond Boat Builders facility for boat building and boat repair.

Character-Defining Elements

Site and Setting:

- Significant geographical location on Cannery Row adjacent to Steveston Channel
- Ecologically important features such as the Fraser River foreshore habitat and re-established native plant material
- Relationship of site to adjacent residential development
- Site as open space with full public access

Archeological features:

- Evidence of shell midden on Lot 6
- Intangible connection to the land through millennia of use by First Nations

Cultural landscape features:

- Boardwalk and bulkhead
- Wooden pilings along the foreshore
- Views of the foreshore, Steveston Channel and Shady Island
- Vegetation features such as:
 - Re-establishing native plant material
 - Riparian vegetation on foreshore and constructed ponds
 - Existing trees
 - Re-created gardens
 - Re-established orchard

Building and structures:

- Remnants of original building cluster pattern
- Buildings associated with the Britannia cannery and shipyard, including:
 - Shipyard and Cannery Complex
 - Richmond Boat Builders
 - Murakami Residence
 - Murakami Boatworks
 - Chinese Bunkhouse
 - Japanese Duplex
 - First People's House
 - Cannery Office (Winch Shed)
- Buildings associated with the Phoenix Cannery, including:
 - Phoenix Seine Net Loft
- Buildings associated with the interpretation of the site, including:

- Murchison House #1 (Visitor Centre)
- Murchison House #2 (Manager's House)
- Stilt Piling House #1, 12080 7th Avenue (Men's Bunkhouse)
- Stilt Piling House #2, 12100 7th Avenue (Point House)
- Outhouse
- Chicken Coop

Intangible cultural features:

- Continued use for boat building and repair
- Oral histories
- Community uses such as interpretive tours, festivals, events and park use

4.0 CONSERVATION RECOMMENDATIONS:

4.1 SITE

RELEVANT POLICIES (FROM OCP):

- Enhance, preserve and celebrate the built, natural and cultural heritage of Richmond and ensure it is visible and accessible;
- Encourage the preservation and celebration of community heritage;
- Where possible, encourage the adaptive reuse of heritage buildings to maintain them for the future;
- Continue to engage the private and volunteer sectors and take advantage of partnership opportunities with senior levels of government to preserve and rehabilitate heritage assets;
- Integrate a broad interpretation of heritage into festivals and celebrations unique to Richmond.

RELEVANT POLICIES (FROM STEVESTON AREA PLAN):


- Continue the City's commitment to Steveston's existing City owned heritage resources and encourage them to be operated in an economically viable manner using a variety of methods;
- To assist in managing heritage resources apply the "Standards and Guidelines for the Conservation of Historic Places in Canada", Parks Canada, as a guideline;
- Promote the integration of the trail system with cycling routes, greenways, walkways, and existing park pathways;
- Provide opportunities along the trails and greenway system for interpretation and educational information about Steveston's natural and historical features.

BUILDING CODE AND LIFE AND SAFETY CONSIDERATIONS



Building Code upgrading is the most important aspect of heritage building rehabilitation, as it ensures life safety as well as long-term protection for the resource. It is essential to consider heritage buildings on a case-by-case basis, as the blanket application of Code requirements does not recognize the individual requirements and inherent strengths of each building. Over the past few years, a number of Code equivalencies have been added to the British Columbia Building Code, which facilitate heritage building upgrades. For example, the use of sprinklers in a heritage structure helps to satisfy fire separation and exiting requirements.

Please note that under the current Code, equivalencies are offered for interior rehabilitation. The one exception is for windows; the wording of the code requires "two sheets of glass" rather than double-glazing (as it is usually interpreted) and therefore Code requirements can be met through



CONSERVATION RECOMMENDATIONS

#	CHARACTER- DEFINING ELEMENTS	HERITAGE VALUE	CONSERVATION TREATMENT AND RECOMMENDATIONS	IMAGES
4.1	<p>Site and Settings</p> <ul style="list-style-type: none"> • Significant geographical location on Cannery Row adjacent to Steveston Channel • Ecologically important features such as the Fraser River foreshore habitat and re-established native plant material • Relationship of site to adjacent residential development • Site as open space with full public access 	<ul style="list-style-type: none"> • Retains the connection between Richmond and its maritime history. 	<p>Britannia Shipyard and the surrounding grounds collectively known as the Britannia Heritage Shipyard National Historic Site trace their origins to 1890. The site, its buildings and intangible features should remain in this location, as its proximity to Cannery Row adjacent to Steveston Channel is one of its most distinguishing character-defining elements and adds significantly to its heritage value.</p> <p>Every effort should be made, when possible, to retain heritage resources in situ. Relocation should only be considered when a resource has already been relocated, as an alternative to demolition, or for functional, rehabilitation requirements.</p>	
4.2	<p>Archaeological Features:</p> <ul style="list-style-type: none"> • Evidence of shell midden on Lot 6 • Intangible connection to the land through millennia of use by the First Nations 	<ul style="list-style-type: none"> • Maintains the connection between the site and its long legacy of use. 	<p>Archaeological features of the Britannia Heritage Shipyard National Historic Site should be carefully protected and preserved, under the direction of a qualified archaeologist(s).</p>	


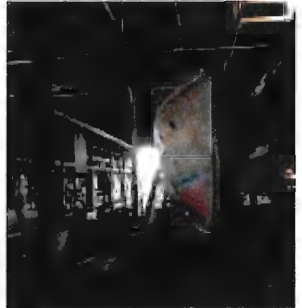
CONSERVATION RECOMMENDATIONS

#	CHARACTER- DEFINING ELEMENTS	HERITAGE VALUE	CONSERVATION TREATMENT AND RECOMMENDATIONS	IMAGES
4.3	<p>Cultural Landscape Features:</p> <ul style="list-style-type: none"> Boardwalk and bulkhead Wooden pilings along the foreshore Views of the foreshore, Steveston Channel and Shady Island 	<ul style="list-style-type: none"> Physical materials tie the site together and provide the public with an opportunity to interact with the entire site. 	<p>The Character-Defining Elements of the cultural landscape of the Britannia Heritage Shipyards National Historic Site add significantly to its heritage value; conserve and maintain these Character-Defining Elements. The following conservation recommendations should be kept in mind whenever any conservation work is required on the buildings and structures of the Britannia Heritage Shipyards National Historic Site in the future:</p> <ul style="list-style-type: none"> Preserve all original elements, features, and materials of the buildings and structures as defined in the character-defining elements section of the Statement of Significance. Repair is preferred over replacement. Original wood elements should be considered for restoration before replication is considered. Substitute materials, such as Hardie Board or combed or textured lumber, are not acceptable for replacement of any woodwork on the historic buildings and structures. Substitute materials, such as asphalt shingles, are not acceptable for replacement of the roofing material on the historic buildings and structures. 	
4.4	<p>Vegetation Features such as:</p> <ul style="list-style-type: none"> Re-establishing native plant material Riparian vegetation on foreshore and constructed ponds Existing trees Re-creating gardens Re-established orchard 	<p>Provides the public with an opportunity to learn about and interact with the re-established and re-created natural habitat of the site</p>	<p>Conserve and maintain the re-established native plant material, riparian vegetation on foreshore and constructed ponds, existing trees, re-created gardens, and re-established orchard. The vegetation features of the Britannia Heritage Shipyards National Historic Site are living organisms with life spans, and may require re-planting in the future.</p> <p>Should major interventions be required on the vegetation features of the Britannia Heritage Shipyards National Historic Site, a certified Landscape Architect should be consulted. Proper maintenance should be undertaken on a daily, monthly, annual, and periodic cycle.</p>	

CONSERVATION RECOMMENDATIONS

#	CHARACTER-DEFINING ELEMENTS	HERITAGE VALUE	CONSERVATION TREATMENT AND RECOMMENDATIONS	IMAGES
4.5	<p>Building and Structures:</p> <ul style="list-style-type: none"> Remnants of original building cluster plan Buildings associated with the Britannia Cannery and Shipyards, including: Shipyards and Cannery Complex; Richmond Boat Builders; Murakami House; Murakami Boatworks; Chinese Bunkhouse; Japanese Duplex; Winch 	<ul style="list-style-type: none"> Provides the public with an opportunity to see and explore the buildings that originally composed the cannery complex 	<p>The Character-Defining Elements of the cultural landscape of the Britannia Heritage Shipyards National Historic Site add significantly to its heritage value; conserve and maintain these Character-Defining Elements. The following conservation recommendations should be kept in mind whenever any conservation work is required on the buildings and structures of the Britannia Heritage Shipyards National Historic Site in the future:</p> <ul style="list-style-type: none"> Preserve all original elements, features, and materials of the buildings and structures as defined in the character-defining elements section of the Statement of Significance. Repair is preferred over replacement. Original wood elements should be considered for restoration before replication is considered. Substitute materials, such as Hardie Board or combed or textured lumber, are not acceptable for replacement of any woodwork on the historic buildings and structures. Substitute materials, such as asphalt shingles, are not acceptable for replacement of the roofing material on the historic buildings and structures. 	
4.6	<ul style="list-style-type: none"> Buildings associated with the Phoenix Cannery, including the Seine Net Loft and Phoenix Gill Net Loft 	<ul style="list-style-type: none"> Provides the public with an opportunity to see and explore the buildings that originally composed the cannery complex 	<p>The Character-Defining Elements of the cultural landscape of the Britannia Heritage Shipyards National Historic Site add significantly to its heritage value; conserve and maintain these Character-Defining Elements. The following conservation recommendations should be kept in mind whenever any conservation work is required on the buildings and structures of the Britannia Heritage Shipyards National Historic Site in the future:</p> <ul style="list-style-type: none"> Preserve all original elements, features, and materials of the buildings and structures as defined in the character-defining elements section of the Statement of Significance. Repair is preferred over replacement. Original wood elements should be considered for restoration before replication is considered. Substitute materials, such as Hardie Board or combed or textured lumber, are not acceptable for replacement of any woodwork on the historic buildings and structures. Substitute materials, such as asphalt shingles, are not acceptable for replacement of the roofing material on the historic buildings and structures. 	

CONSERVATION RECOMMENDATIONS

#	CHARACTER-DEFINING ELEMENTS	HERITAGE VALUE	CONSERVATION TREATMENT AND RECOMMENDATIONS	IMAGES
4.7	<ul style="list-style-type: none"> Buildings associated with the interpretation of the site, including: Murchison House No. 1 (Visitor Centre); Murchison House No. 2 (Manager's House); Silt Piling House No. 1 (Men's Bunkhouse); and Silt Piling House No. 2 (Point House) 	<ul style="list-style-type: none"> Provides interpretive and educational points of interest for the public. 	<p>The Character-Defining Elements of the cultural landscape of the Britannia Heritage Shipyards National Historic Site add significantly to its heritage value; conserve and maintain these Character-Defining Elements. The following conservation recommendations should be kept in mind whenever any conservation work is required on the buildings and structures of the Britannia Heritage Shipyards National Historic Site in the future:</p> <ul style="list-style-type: none"> Preserve all original elements, features, and materials of the buildings and structures as defined in the character-defining elements section of the Statement of Significance. Repair is preferred over replacement. Original wood elements should be considered for restoration before replication is considered. Substitute materials, such as Hardie Board or combed or textured lumber, are not acceptable for replacement of any woodwork on the historic buildings and structures. Substitute materials, such as asphalt shingles, are not acceptable for replacement of the roofing material on the historic buildings and structures. 	
4.8	<p>Intangible Cultural Features:</p> <ul style="list-style-type: none"> Continued use for boat building and repair Oral histories Community uses such as interpretive tours, festivals, events and park use 	<ul style="list-style-type: none"> Provides an enhanced level of cultural history awareness for the overall site. 	<p>Maintain the use of Richmond Boat Builders as a boat building/repairing and community space for the education and interpretation of past and current boat building and boat repair practices. Should this use prove to be economically unviable, a historically compatible use should be identified.</p> <p>Maintain community uses such as interpretive tours, festivals, events and park use.</p> <p>Maintain the role of the buildings and structures of the Britannia Heritage Shipyards National Historic Site as currently used as educational and interpretive centres.</p>	

**5.0 OUTLINE CONSERVATION STRATEGY:
5.1 CHINESE BUNKHOUSE
(UPDATED REVIEW AUGUST 2022)**

RELEVANT POLICIES (FROM OCP):

- Enhance, preserve and celebrate the built, natural and cultural heritage of Richmond and ensure it is visible and accessible;
- Encourage the preservation and celebration of community heritage;
- Where possible, encourage the adaptive reuse of heritage buildings to maintain them for the future;
- Continue to engage the private and volunteer sectors and take advantage of partnership opportunities with senior levels of government to preserve and rehabilitate heritage assets;
- Integrate a broad interpretation of heritage into festivals and celebrations unique to Richmond.

RELEVANT POLICIES (FROM STEVESTON AREA PLAN):


- Continue the City's commitment to Steveston's existing City owned heritage resources and encourage them to be operated in an economically viable manner using a variety of methods;
- To assist in managing heritage resources apply the "Standards and Guidelines for the Conservation of Historic Places in Canada", Parks Canada, as a guideline;
- Promote the integration of the trail system with cycling routes, greenways, walkways, and existing park pathways;
- Provide opportunities along the trails and greenway system for interpretation and educational information about Steveston's natural and historical features.

BUILDING CODE AND LIFE AND SAFETY CONSIDERATIONS




Building Code upgrading is the most important aspect of heritage building rehabilitation, as it ensures life safety as well as long-term protection for the resource. It is essential to consider heritage buildings on a case-by-case basis, as the blanket application of Code requirements does not recognize the individual requirements and inherent strengths of each building. Over the past few years, a number of Code equivalencies have been added to the British Columbia Building Code, which facilitate heritage building upgrades. For example, the use of sprinklers in a heritage structure helps to satisfy fire separation and exiting requirements.

Please note that under the current Code, equivalencies are offered for interior rehabilitation. The one exception is for windows; the wording of the code requires "two sheets of glass" rather than double-glazing (as it is usually interpreted) and therefore Code requirements can be met through the use of interior or exterior storm windows, or exempted under the heritage definitions of the Energy Efficiency Act.



CONSERVATION RECOMMENDATIONS

#	CHARACTER- DEFINING ELEMENTS	HERITAGE VALUE	CONSERVATION TREATMENT AND RECOMMENDATIONS	IMAGES
4.1	<p>Site and setting:</p> <ul style="list-style-type: none"> • Landmark on the Steveston waterfront • Wharf and boardwalk associated with the building • Relationship to other buildings in the complex • Views of the Fraser River and foreshore • Chicken coop 	<p>Retains the connection to the early maritime history of British Columbia.</p>	<p>The Chinese Bunkhouse was constructed circa 1915 and has been situated in this location since its relocation to the site in 1951. The building should remain in this location, as its proximity to the Britannia Shipyard recreates a historical building cluster typical of the era, and is now one of its most distinguishing character-defining elements and adds significantly to its heritage value.</p> <p>Every effort should be made, when possible, to retain heritage resources in situ. Relocation should only be considered when a resource has already been relocated, as an alternative to demolition, or for functional, rehabilitation requirements.</p> <p>As per <i>Standard and Guidelines for the Conservation of Historic Places in Canada</i>, page 22, #1 Conserve the heritage value of an historic place. Do not remove, replace or substantially alter its intact or repairable character defining elements. Do not move a part of an historic place if its current location is a character-defining element.</p>	


CONSERVATION RECOMMENDATIONS

#	CHARACTER- DEFINING ELEMENTS	HERITAGE VALUE	CONSERVATION TREATMENT AND RECOMMENDATIONS	IMAGES
4.2	<p>Building:</p> <ul style="list-style-type: none"> Industrial accommodation form, scale and massing as represented by its two-storey height, symmetrical, rectangular massing and large-scale floor plan Wood frame heavy timber construction Utilitarian style as expressed by its shallow gabled hip roof with corrugated metal cladding and exposed timber rafter ends, and its board and batten exterior cladding 	<p>The wooden materials used in the construction of the Chinese Bunkhouse reflect the traditional building elements employed during the early twentieth century. The building is the last remaining bunkhouse of its type on the west coast.</p> <p>The gabled roof and wooden elements of the Richmond Boat Builders facility reflect the traditional building style and materials utilized through the interwar period of the twentieth century.</p>	<p>An August 2022 site visit into the existing conditions of the materials of the roofing and wood cladding revealed these Character-Defining Elements to be in fair to good condition in need of minor repairs and maintenance.</p> <p>A review of the existing foundation / crawlspace damp proofing showed no evidence of deterioration in need of repair. Further review by a licensed engineer is recommended to determine if repairs / maintenance is required at this time.</p> <p>As per <i>Standard and Guidelines for the Conservation of Historic Places in Canada</i>, page 23, #10. Repair rather than replace character-defining elements. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the historic place.</p> <p>The Character-Defining Elements of the Chinese Bunkhouse building add significantly to its heritage value; conserve and maintain these Character-Defining Elements. The following conservation recommendations should be kept in mind whenever any conservation work is required on the Chinese Bunkhouse in the future:</p> <ul style="list-style-type: none"> Preserve all original elements, features, and materials of the building as defined in the character-defining elements section of the Statement of Significance. Repair is preferred over replacement. Original wood elements should be considered for restoration before replication is considered. Substitute materials, such as Hardie Board or combed or textured lumber, are not acceptable for replacement of any woodwork on the historic building. Replace existing cedar wood shingle roofing with like for like. Substitute materials, such as asphalt shingles, are not acceptable for replacement of the roofing material on the historic building. 	  

CONSERVATION RECOMMENDATIONS

#	CHARACTER-DEFINING ELEMENTS	HERITAGE VALUE	CONSERVATION TREATMENT AND RECOMMENDATIONS	IMAGES
4.3	<p>Windows:</p> <ul style="list-style-type: none"> Regular window fenestration in a single row on the upper floor A single window on each of the short facades Irregular fenestration on the lower floor Variety of multi-paned wood windows with wood trim 	<p>The materials used in the construction of the Chinese Bunkhouse reflect the traditional building elements employed during the early twentieth century.</p>	<p>The Character-Defining Elements of the Chinese Bunkhouse building add significantly to its heritage value; conserve and maintain these Character-Defining Elements. The following conservation recommendations should be kept in mind whenever any conservation work is required on the Chinese Bunkhouse in the future:</p> <ul style="list-style-type: none"> Preserve all original elements, features, and materials of the building as defined in the character-defining elements section of the Statement of Significance. Repair is preferred over replacement. Original wood elements should be considered for restoration before replication is considered. Substitute materials, such as Hardie Board or combed or textured lumber, are not acceptable for replacement of any woodwork on the historic building. Substitute materials, such as asphalt shingles, are not acceptable for replacement of the roofing material on the historic building. 	
4.4	<p>Interior Features and Details:</p> <ul style="list-style-type: none"> Interior layout on two floors with rectangular spaces running the length of the building Wood posts and beams Wood floor Narrow wood staircase Horizontal board walls Wood ceiling on the upper floor Exhibits, installation and interpretation 	<p>Provides the community with an opportunity to explore the interior structure and interact with the original bunkhouse function.</p>	<p>Conserve and maintain the wood floors, painted board ceilings, vertical wide-planked painted wood walls, trims including wood trim around windows, and interpretive installations, materials and details.</p> <p>The following conservation recommendations should be kept in mind whenever any conservation work is required on the Chinese Bunkhouse in the future:</p> <ul style="list-style-type: none"> Preserve all original elements, features, and materials of the building as defined in the character-defining elements section of the Statement of Significance. Repair is preferred over replacement. Original wood elements should be considered for restoration before replication is considered. Substitute materials, such as Hardie Board or combed or textured lumber, are not acceptable for replacement of any woodwork on the historic building. 	

CONSERVATION RECOMMENDATIONS

#	CHARACTER- DEFINING ELEMENTS	HERITAGE VALUE	CONSERVATION TREATMENT AND RECOMMENDATIONS	IMAGES
4.5	<p>Intangible Cultural Features:</p> <ul style="list-style-type: none"> • Oral histories and photographs • Community uses such as interpretive tours, festivals and events 	<p>Provides the public with educational and interpretive opportunities.</p>	<p>Conserve and maintain the interpretive and educational aspects of the Chinese Bunkhouse, as it fulfills an important community awareness function at the Britannia Heritage Shipyard National Historic Site.</p>	

**5.0 OUTLINE CONSERVATION STRATEGY:
5.2 MURCHISON HOUSE 1, VISITOR CENTRE
(UPDATED REVIEW AUGUST 2022)**

RELEVANT POLICIES (FROM OCP):

- Enhance, preserve and celebrate the built, natural and cultural heritage of Richmond and ensure it is visible and accessible;
- Encourage the preservation and celebration of community heritage;
- Where possible, encourage the adaptive reuse of heritage buildings to maintain them for the future;
- Continue to engage the private and volunteer sectors and take advantage of partnership opportunities with senior levels of government to preserve and rehabilitate heritage assets;
- Integrate a broad interpretation of heritage into festivals and celebrations unique to Richmond.

RELEVANT POLICIES (FROM STEVESTON AREA PLAN):


- Continue the City's commitment to Steveston's existing City owned heritage resources and encourage them to be operated in an economically viable manner using a variety of methods;
- To assist in managing heritage resources apply the "Standards and Guidelines for the Conservation of Historic Places in Canada", Parks Canada, as a guideline;
- Promote the integration of the trail system with cycling routes, greenways, walkways, and existing park pathways;
- Provide opportunities along the trails and greenway system for interpretation and educational information about Steveston's natural and historical features.

BUILDING CODE AND LIFE AND SAFETY CONSIDERATIONS



Building Code upgrading is the most important aspect of heritage building rehabilitation, as it ensures life safety as well as long-term protection for the resource. It is essential to consider heritage buildings on a case-by-case basis, as the blanket application of Code requirements does not recognize the individual requirements and inherent strengths of each building. Over the past few years, a number of Code equivalencies have been added to the British Columbia Building Code, which facilitate heritage building upgrades. For example, the use of sprinklers in a heritage structure helps to satisfy fire separation and exiting requirements.

Please note that under the current Code, equivalencies are offered for interior rehabilitation. The one exception is for windows; the wording of the code requires "two sheets of glass" rather than double-glazing (as it is usually interpreted) and therefore Code requirements can be met through the use of interior or exterior storm windows, or exempted under the heritage definitions of the Energy Efficiency Act.


CONSERVATION RECOMMENDATIONS

#	CHARACTER- DEFINING ELEMENTS	HERITAGE VALUE	CONSERVATION TREATMENT AND RECOMMENDATIONS	IMAGES
4.1	<p>Site and setting:</p> <ul style="list-style-type: none"> • Location at Britannia Heritage Shipyards • Part of a reconstructed building cluster plan • Pond and Boardwalk 	<p>Retains the connection to the early maritime history of the area.</p>	<p>The Murchison House No. 1 was constructed circa 1889 and has been situated at the Britannia Heritage Shipyards National Historic Site since 1993. The building should remain in this location, as its proximity to the Britannia Shipyards recreates a historical building cluster typical of the era, and is now one of its most distinguishing character-defining elements and adds significantly to its heritage value.</p> <p>The reconstructed boardwalk and pond, which references the original salt marsh which existed in the early days of Britannia Shipyards, should also be preserved as part of the Murchison House No. 1 site.</p> <p>Every effort should be made, when possible, to retain heritage resources in situ. Relocation should only be considered when a resource has already been relocated, as an alternative to demolition, or for functional, rehabilitation requirements.</p> <p>As per <i>Standard and Guidelines for the Conservation of Historic Places in Canada</i>, page 22, #1 Conserve the heritage value of an historic place. Do not remove, replace or substantially alter its intact or repairable character defining elements. Do not move a part of an historic place if its current location is a character-defining element.</p>	

CONSERVATION RECOMMENDATIONS

#	CHARACTER-DEFINING ELEMENTS	HERITAGE VALUE	CONSERVATION TREATMENT AND RECOMMENDATIONS	IMAGES
4.2	<p>Building:</p> <ul style="list-style-type: none"> Form, scale and massing as expressed by its one-storey height with side-gabled roof and shed roof extension, and its horizontal massing Wooden construction featuring balloon framing and a prefabricated structure Vernacular design features including beveled wood siding, open porch with square posts, and wooden cornerboards Double hung wooden sash windows with upper sash horns Wood doors 	<p>The elements used in the construction of the Murchison House No. 1 reflect the traditional building techniques employed during the late nineteenth century.</p>	<p>The Character-Defining Elements of the Murchison House No. 1 building add significantly to its heritage value; conserve and maintain these Character-Defining Elements. The following conservation recommendations should be kept in mind whenever any conservation work is required on the Murchison House No. 1 in the future:</p> <ul style="list-style-type: none"> Preserve all original elements, features, and materials of the building as defined in the character-defining elements section of the Statement of Significance. Repair is preferred over replacement. Original wood elements should be considered for restoration before replication is considered. Substitute materials, such as Hardie Board or combed or textured lumber, are not acceptable for replacement of any woodwork on the historic building. Substitute materials, such as asphalt shingles, are not acceptable for replacement of the roofing material on the historic building. Further investigation to determine the actual heritage colours of the windows, exterior trims and sills, and sidings should be undertaken when future work and maintenance is planned. 	
4.3	<p>Interior:</p> <ul style="list-style-type: none"> Wood floors Painted board ceilings Vertical wide-planked painted wood walls Trims including wood trim around windows Interpretive installations, materials and details 	<p>Extensive wooden elements throughout the interior reflect typical finishes of the late nineteenth century.</p>	<p>Conserve and maintain the wood floors, painted board ceilings, vertical wide-planked painted wood walls, trims including wood trim around windows, and interpretive installations, materials and details.</p> <p>The following conservation recommendations should be kept in mind whenever any conservation work is required on the Murchison House No. 1 in the future:</p> <ul style="list-style-type: none"> Preserve all original elements, features, and materials of the building as defined in the character-defining elements section of the Statement of Significance. Repair is preferred over replacement. Original wood elements should be considered for restoration before replication is considered. Substitute materials, such as Hardie Board or combed or textured lumber, are not acceptable for replacement of any woodwork on the historic house. 	

CONSERVATION RECOMMENDATIONS

#	CHARACTER-DEFINING ELEMENTS	HERITAGE VALUE	CONSERVATION TREATMENT AND RECOMMENDATIONS	IMAGES
4.3	<p>Intangible Cultural Features:</p> <ul style="list-style-type: none"> • Oral histories associated with the building and interpretation • Interpretive and educational tours 	<p>The building serves as the Visitor Centre for the Britannia Heritage Shipyard National Historic Site.</p>	<p>Conserve and maintain the interpretive and educational aspects of Murchison House No. 1. Should the primary use of the building change, its interpretive and educational role, as part of the Britannia Shipyard National Historic Site, should continue.</p>	

**5.0 OUTLINE CONSERVATION STRATEGY:
5.3 MURCHISON HOUSE No. 2, MANAGER'S HOUSE
(UPDATED REVIEW AUGUST 2022)**

RELEVANT POLICIES (FROM OCP):

- Enhance, preserve and celebrate the built, natural and cultural heritage of Richmond and ensure it is visible and accessible;
- Encourage the preservation and celebration of community heritage;
- Where possible, encourage the adaptive reuse of heritage buildings to maintain them for the future;
- Continue to engage the private and volunteer sectors and take advantage of partnership opportunities with senior levels of government to preserve and rehabilitate heritage assets;
- Integrate a broad interpretation of heritage into festivals and celebrations unique to Richmond.

RELEVANT POLICIES (FROM STEVESTON AREA PLAN):


- Continue the City's commitment to Steveston's existing City owned heritage resources and encourage them to be operated in an economically viable manner using a variety of methods;
- To assist in managing heritage resources apply the "Standards and Guidelines for the Conservation of Historic Places in Canada", Parks Canada, as a guideline;
- Promote the integration of the trail system with cycling routes, greenways, walkways, and existing park pathways;
- Provide opportunities along the trails and greenway system for interpretation and educational information about Steveston's natural and historical features.

BUILDING CODE AND LIFE AND SAFETY CONSIDERATIONS


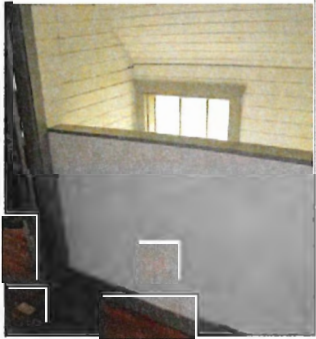
Building Code upgrading is the most important aspect of heritage building rehabilitation, as it ensures life safety as well as long-term protection for the resource. It is essential to consider heritage buildings on a case-by-case basis, as the blanket application of Code requirements does not recognize the individual requirements and inherent strengths of each building. Over the past few years, a number of Code equivalencies have been added to the British Columbia Building Code, which facilitate heritage building upgrades. For example, the use of sprinklers in a heritage structure helps to satisfy fire separation and exiting requirements.

Please note that under the current Code, equivalencies are offered for interior rehabilitation. The one exception is for windows; the wording of the code requires "two sheets of glass" rather than double-glazing (as it is usually interpreted) and therefore Code requirements can be met through the use of interior or exterior storm windows, or exempted under the heritage definitions of the Energy Efficiency Act.

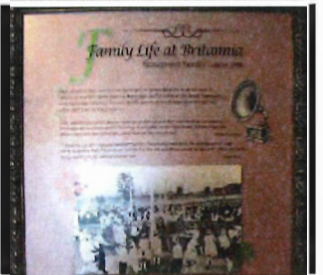
CONSERVATION RECOMMENDATIONS

#	CHARACTER-DEFINING ELEMENTS	HERITAGE VALUE	CONSERVATION TREATMENT AND RECOMMENDATIONS	IMAGES
4.1	<p>Site and setting:</p> <ul style="list-style-type: none"> • Location at Britannia Heritage Shipyard • Part of a reconstructed building cluster plan • Pond and Boardwalk 	<p>Retains the connection to the early maritime history of the area.</p>	<p>The Murchison House No. 1 was constructed circa 1889 and has been situated at the Britannia Heritage Shipyard National Historic Site since 1993. The building should remain in this location, as its proximity to the Britannia Shipyard recreates a historical building cluster typical of the era, and is now one of its most distinguishing character-defining elements and adds significantly to its heritage value.</p> <p>The reconstructed boardwalk and pond, which references the original salt marsh which existed in the early days of Britannia Shipyard, should also be preserved as part of the Murchison House No. 1 site.</p> <p>Every effort should be made, when possible, to retain heritage resources in situ. Relocation should only be considered when a resource has already been relocated, as an alternative to demolition, or for functional, rehabilitation requirements.</p> <p>As per <i>Standard and Guidelines for the Conservation of Historic Places in Canada</i>, page 22, #1 Conserve the heritage value of an historic place. Do not remove, replace or substantially alter its intact or repairable character defining elements. Do not move a part of an historic place if its current location is a character-defining element.</p>	

CONSERVATION RECOMMENDATIONS

#	CHARACTER- DEFINING ELEMENTS	HERITAGE VALUE	CONSERVATION TREATMENT AND RECOMMENDATIONS	IMAGES
4.2	<p>Building:</p> <ul style="list-style-type: none"> Residential form, scale and massing including its: one and one-half storey height with front-gabled roof and vertical massing Construction: balloon framed, prefabricated construction Wooden construction materials including cedar roof shingles, and exterior horizontal bevelled siding with cornerboards Double hung sash windows with upper sash horns 	<p>The elements used in the construction of the Murchison House No. 2 reflect the traditional building techniques employed during the late nineteenth century.</p>	<p>The Character-Defining Elements of the Murchison House No. 2 building add significantly to its heritage value; conserve and maintain these Character-Defining Elements. The following conservation recommendations should be kept in mind whenever any conservation work is required on the Murchison House No. 2 in the future:</p> <ul style="list-style-type: none"> Preserve all original elements, features, and materials of the building as defined in the character-defining elements section of the Statement of Significance. Repair is preferred over replacement. Original wood elements should be considered for restoration before replication is considered. Substitute materials, such as Hardie Board or combed or textured lumber, are not acceptable for replacement of any woodwork on the historic building. Substitute materials, such as asphalt shingles, are not acceptable for replacement of the roofing material on the historic building. Further investigation to determine the actual heritage colours of the windows, exterior trims and sills, and sidings should be undertaken when future work and maintenance is planned. 	
4.3	<p>Interior:</p> <ul style="list-style-type: none"> Wood floors Painted narrow board wood ceilings and horizontal wood walls Trims including wood trim around windows and wainscoting Wood staircase to upper floor Angled ceiling on the upper floor Interpretive installations, materials and details 	<p>The building's interpretive and educational displays illustrate early living situations at the Britannia Heritage Shipyard National Historic Site.</p>	<p>Conserve and maintain the interpretive and educational aspects of Murchison House No. 2. Should the primary use of the building change, its interpretive and educational role, as part of the Britannia Shipyard National Historic Site, should continue.</p>	

CONSERVATION RECOMMENDATIONS

#	CHARACTER-DEFINING ELEMENTS	HERITAGE VALUE	CONSERVATION TREATMENT AND RECOMMENDATIONS	IMAGES
4.3.	<p>Intangible Cultural Features:</p> <ul style="list-style-type: none"> • Oral histories associated with the building and interpretation • Interpretive and educational tours 	<p>The building's interpretive and educational displays illustrate early living situations at the Britannia Heritage Shipyard National Historic Site.</p>	<p>Conserve and maintain the interpretive and educational aspects of Murchison House No. 2. Should the primary use of the building change, its interpretive and educational role, as part of the Britannia Shipyard National Historic Site, should continue.</p>	

5.0 OUTLINE CONSERVATION STRATEGY:
5.4 STILT PILING HOUSE No. 1: MEN'S BUNKHOUSE
(UPDATED REVIEW AUGUST 2022)

RELEVANT POLICIES (FROM OCP):

- Enhance, preserve and celebrate the built, natural and cultural heritage of Richmond and ensure it is visible and accessible;
- Encourage the preservation and celebration of community heritage;
- Where possible, encourage the adaptive reuse of heritage buildings to maintain them for the future;
- Continue to engage the private and volunteer sectors and take advantage of partnership opportunities with senior levels of government to preserve and rehabilitate heritage assets;
- Integrate a broad interpretation of heritage into festivals and celebrations unique to Richmond.

RELEVANT POLICIES (FROM STEVESTON AREA PLAN):


- Continue the City's commitment to Steveston's existing City owned heritage resources and encourage them to be operated in an economically viable manner using a variety of methods;
- To assist in managing heritage resources apply the "Standards and Guidelines for the Conservation of Historic Places in Canada", Parks Canada, as a guideline;
- Promote the integration of the trail system with cycling routes, greenways, walkways, and existing park pathways;
- Provide opportunities along the trails and greenway system for interpretation and educational information about Steveston's natural and historical features.

BUILDING CODE AND LIFE AND SAFETY CONSIDERATIONS



Building Code upgrading is the most important aspect of heritage building rehabilitation, as it ensures life safety as well as long-term protection for the resource. It is essential to consider heritage buildings on a case-by-case basis, as the blanket application of Code requirements does not recognize the individual requirements and inherent strengths of each building. Over the past few years, a number of Code equivalencies have been added to the British Columbia Building Code, which facilitate heritage building upgrades. For example, the use of sprinklers in a heritage structure helps to satisfy fire separation and exiting requirements.

Please note that under the current Code, equivalencies are offered for interior rehabilitation. The one exception is for windows; the wording of the code requires "two sheets of glass" rather than double-glazing (as it is usually interpreted) and therefore Code requirements can be met through the use of interior or exterior storm windows, or exempted under the heritage definitions of the Energy Efficiency Act.

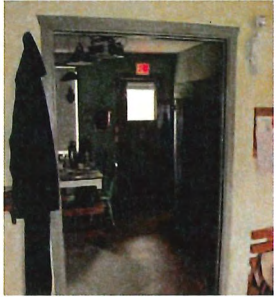

CONSERVATION RECOMMENDATIONS

#	CHARACTER- DEFINING ELEMENTS	HERITAGE VALUE	CONSERVATION TREATMENT AND RECOMMENDATIONS	IMAGES
4.1	<p>Site and setting:</p> <ul style="list-style-type: none"> • Location at Britannia Heritage Shipyards • Part of a reconstructed building cluster plan • Pond and boardwalk 	Retains the connection to the early maritime history of the area.	<p>The Men's Bunkhouse dates to the 1890s and has been relocated to its current site as part of the recreated Historic Zone at Britannia Shipyards. The building should remain in this location, as its proximity to the Britannia Shipyards is one of its most distinguishing character-defining elements and adds significantly to its heritage value.</p> <p>Every effort should be made, when possible, to retain heritage resources in situ. Relocation should only be considered when a resource has already been relocated, as an alternative to demolition, or for functional, rehabilitation requirements.</p> <p>As per <i>Standard and Guidelines for the Conservation of Historic Places in Canada</i>, page 22, #1 Conserve the heritage value of an historic place. Do not remove, replace or substantially alter its intact or repairable character defining elements. Do not move a part of an historic place if its current location is a character-defining element.</p>	

CONSERVATION RECOMMENDATIONS

#	CHARACTER- DEFINING ELEMENTS	HERITAGE VALUE	CONSERVATION TREATMENT AND RECOMMENDATIONS	IMAGES
4.2	<p>Building:</p> <ul style="list-style-type: none"> • Wood frame construction on wood pilings • Residential form, scale and massing including: one-storey height, rectangular footprint, front-gabled roof with front-gabled porch • Vernacular design features including wooden fascias, horizontal beveled wooden siding, cedar roof shingles, and corner boards • Double hung wooden sash windows 	<p>The elements used in the construction of the Men's Bunkhouse reflect the traditional building techniques employed during the late nineteenth century.</p>	<p>The Character-Defining Elements of the building of the Men's Bunkhouse add significantly to its heritage value; conserve and maintain these Character-Defining Elements. The following conservation recommendations should be kept in mind whenever any conservation work is required on the Men's Bunkhouse in the future:</p> <ul style="list-style-type: none"> • Preserve all original elements, features, and materials of the bunkhouse as defined in the character-defining elements section of the Statement of Significance. • Repair is preferred over replacement. Original wood elements should be considered for restoration before replication is considered. • Substitute materials, such as Hardie Board or combed or textured lumber, are not acceptable for replacement of any woodwork on the historic building. • Substitute materials, such as asphalt shingles, are not acceptable for replacement of the roofing material on the historic building. • Further investigation to determine the actual heritage colours of the windows, exterior trims and sills, and sidings should be undertaken when future work and maintenance is planned. 	
4.3	<p>Interior:</p> <ul style="list-style-type: none"> • Wood floors • Trims including wood trim around windows and doors • Furnishings, artifacts and interpretive material relating to life in a typical men's bunkhouse at Britannia Cannery and Shipyards 	<p>The caretaker suite also includes exhibit space for the public.</p>	<p>Conserve and maintain the interior Character-Defining Elements of the Men's Bunkhouse. Conserve the furnishings, artifacts and interpretive material relating to life in a typical men's bunkhouse at Britannia Cannery and Shipyards; furnishings, and artifacts should be maintained in the Men's Bunkhouse collection and preserved in an appropriate manner.</p> <p>The following conservation recommendations should be kept in mind whenever any conservation work is required on the Men's Bunkhouse in the future:</p> <ul style="list-style-type: none"> • Preserve all original elements, features, and materials of the bunkhouse as defined in the character-defining elements section of the Statement of Significance. • Repair is preferred over replacement. Original wood elements should be considered for restoration before replication is considered. • Substitute materials, such as Hardie Board or combed or textured lumber, are not acceptable for replacement of any woodwork on the historic building. 	

CONSERVATION RECOMMENDATIONS

#	CHARACTER- DEFINING ELEMENTS	HERITAGE VALUE	CONSERVATION TREATMENT AND RECOMMENDATIONS	IMAGES
4.3	Continuation of Interior	The caretaker suite also includes exhibit space for the public.	<p>The conservation of any furnishings or artifacts should be based on 'Preventative Conservation', which emphasizes non-interventive actions to prevent damage to and minimize deterioration of artifacts in a collection. Such actions include:</p> <ul style="list-style-type: none"> Monitoring and recording levels of environmental agents (e.g., light, relative humidity, temperature); Inspecting and recording the condition of objects; Controlling environmental agents; Establishing a pest management system; Practicing proper handling, storage, exhibit, and housekeeping techniques; Incorporating needed information and procedures regarding the collection in emergency management plans. 	
4.3	<p>Intangible Features:</p> <ul style="list-style-type: none"> Oral histories associated with the building and interpretation Interpretive and educational tours 	The building is a representation of early life at the cannery site.	Conserve and maintain the interpretive and educational aspects of the Men's Bunkhouse. Should the primary use of the building change, its interpretive and educational role, as part of the Britannia Shipyard National Historic Site should continue.	

5.0 OUTLINE CONSERVATION STRATEGY:
5.5 MURAKAMI BOATWORKS
(UPDATED REVIEW AUGUST 2022)

RELEVANT POLICIES (FROM OCP):

- Enhance, preserve and celebrate the built, natural and cultural heritage of Richmond and ensure it is visible and accessible;
- Encourage the preservation and celebration of community heritage;
- Where possible, encourage the adaptive reuse of heritage buildings to maintain them for the future;
- Continue to engage the private and volunteer sectors and take advantage of partnership opportunities with senior levels of government to preserve and rehabilitate heritage assets;
- Integrate a broad interpretation of heritage into festivals and celebrations unique to Richmond.

RELEVANT POLICIES (FROM STEVESTON AREA PLAN):


- Continue the City's commitment to Steveston's existing City owned heritage resources and encourage them to be operated in an economically viable manner using a variety of methods;
- To assist in managing heritage resources apply the "Standards and Guidelines for the Conservation of Historic Places in Canada", Parks Canada, as a guideline;
- Promote the integration of the trail system with cycling routes, greenways, walkways, and existing park pathways;
- Provide opportunities along the trails and greenway system for interpretation and educational information about Steveston's natural and historical features.

BUILDING CODE AND LIFE AND SAFETY CONSIDERATIONS




Building Code upgrading is the most important aspect of heritage building rehabilitation, as it ensures life safety as well as long-term protection for the resource. It is essential to consider heritage buildings on a case-by-case basis, as the blanket application of Code requirements does not recognize the individual requirements and inherent strengths of each building. Over the past few years, a number of Code equivalencies have been added to the British Columbia Building Code, which facilitate heritage building upgrades. For example, the use of sprinklers in a heritage structure helps to satisfy fire separation and exiting requirements.

Please note that under the current Code, equivalencies are offered for interior rehabilitation. The one exception is for windows; the wording of the code requires "two sheets of glass" rather than double-glazing (as it is usually interpreted) and therefore Code requirements can be met through the use of interior or exterior storm windows, or exempted under the heritage definitions of the Energy Efficiency Act.



CONSERVATION RECOMMENDATIONS

#	CHARACTER- DEFINING ELEMENTS	HERITAGE VALUE	CONSERVATION TREATMENT AND RECOMMENDATIONS	IMAGES
4.1	<p>Site and setting:</p> <ul style="list-style-type: none"> • Location as part of the original Phoenix Cannery/Britannia Shipyard cluster of structures around and along the historical boardwalk. • Spatial connection to the adjacent Murakami House • Views of the Fraser River 	Retains the connection to the early maritime history of the area.	<p>The Murakami Boatworks has been situated in this location since its construction in 1929. The building should remain in this location, as its proximity to the Phoenix Cannery, as well as the Murakami House is one of its most distinguishing character-defining elements and adds significantly to its heritage value.</p> <p>Every effort should be made, when possible, to retain heritage resources in situ. Relocation should only be considered when a resource has already been relocated, as an alternative to demolition, or for functional, rehabilitation requirements.</p> <p>As per <i>Standard and Guidelines for the Conservation of Historic Places in Canada</i>, page 22, #1 Conserve the heritage value of an historic place. Do not remove, replace or substantially alter its intact or repairable character defining elements. Do not move a part of an historic place if its current location is a character-defining element.</p>	

CONSERVATION RECOMMENDATIONS

#	CHARACTER- DEFINING ELEMENTS	HERITAGE VALUE	CONSERVATION TREATMENT AND RECOMMENDATIONS	IMAGES
4.2	<p>Building:</p> <ul style="list-style-type: none"> Simple rectangular building form and horizontal massing Gable roof with wood shingle and exposed rafter ends Weathered vertical board and batten siding on the exterior Large double door at the south end with hinged upper portion to enlarge the door for the passage of boats Multi-paned wood windows with wood trim 	<p>The wooden materials used in the construction of the Murakami Boatworks facility reflect the traditional building elements employed during the interwar period of the twentieth century.</p>	<p>An August 2022 visual investigation into the existing conditions of the materials of the roofing revealed these Character-Defining Element to be in a state of deterioration with biological growth over the wood shingle and in need of replacement.</p> <p>The Character-Defining Elements of the Murakami Boatworks building add significantly to its heritage value; conserve and maintain these Character-Defining Elements. The following conservation recommendations should be kept in mind whenever any conservation work is required on the Murakami Boatworks in the future:</p> <ul style="list-style-type: none"> Preserve all original elements, features, and materials of the building as defined in the character-defining elements section of the Statement of Significance. Preserve existing later-added skylights Code compliant safety glass is to be utilized for skylights Repair is preferred over replacement. Original wood elements should be considered for restoration before replication is considered. Existing wood siding to be repaired or replaced in kind (e.g. dutchman repair). Substitute materials, such as Hardie Board or combed or textured lumber, are not acceptable for replacement of any woodwork on the historic building. Replace existing wood shingle roofing with like for like. Substitute materials, such as asphalt shingles, are not acceptable for replacement of the roofing material on the historic building. Restore wood gutters to original profile per archival images and on-site surviving elements. Further investigation to determine the actual heritage colours of the windows, exterior trims and sills, and sidings should be undertaken when future work and maintenance is planned. 	  

CONSERVATION RECOMMENDATIONS

#	CHARACTER- DEFINING ELEMENTS	HERITAGE VALUE	CONSERVATION TREATMENT AND RECOMMENDATIONS	IMAGES
4.3	<p>Interior Features:</p> <ul style="list-style-type: none"> • Undivided interior open space • Wood floor • Wood ceiling, beams and rafters • Vertical wood board interior walls • Large wood door with diagonal bracing • Re-created interior space based on oral histories and including workbenches, lockers, drying racks and storage bins 	<p>Provides the community with a chance to interact with the historic usage of the building.</p>	<p>Conserve and maintain the interior Character Defining Elements of the Murakami Boatworks.</p> <p>The following conservation recommendations should be kept in mind whenever any conservation work is required on the Murakami Boatworks in the future:</p> <ul style="list-style-type: none"> • Preserve all original elements, features, and materials of the building as defined in the character-defining elements section of the Statement of Significance. • Repair is preferred over replacement. Original wood elements should be considered for restoration before replication is considered. • Substitute materials, such as Hardie Board or combed or textured lumber, are not acceptable for replacement of any woodwork on the historic building. 	
4.4	<p>Intangible Cultural Features:</p> <ul style="list-style-type: none"> • Oral histories and photographs • Community uses such as interpretive tours, festivals and events 	<p>Provides the public with educational and interpretive opportunities.</p>	<p>Conserve and maintain the use of the Murakami Boatworks as an educational and interpretive resource for the community.</p>	

5.0 OUTLINE CONSERVATION STRATEGY:
5.6 MURAKAMI HOUSE
(UPDATED REVIEW AUGUST 2022)

RELEVANT POLICIES (FROM OCP):

- Enhance, preserve and celebrate the built, natural and cultural heritage of Richmond and ensure it is visible and accessible;
- Encourage the preservation and celebration of community heritage;
- Where possible, encourage the adaptive reuse of heritage buildings to maintain them for the future;
- Continue to engage the private and volunteer sectors and take advantage of partnership opportunities with senior levels of government to preserve and rehabilitate heritage assets;
- Integrate a broad interpretation of heritage into festivals and celebrations unique to Richmond.

RELEVANT POLICIES (FROM STEVESTON AREA PLAN):


- Continue the City's commitment to Steveston's existing City owned heritage resources and encourage them to be operated in an economically viable manner using a variety of methods;
- To assist in managing heritage resources apply the "Standards and Guidelines for the Conservation of Historic Places in Canada", Parks Canada, as a guideline;
- Promote the integration of the trail system with cycling routes, greenways, walkways, and existing park pathways;
- Provide opportunities along the trails and greenway system for interpretation and educational information about Steveston's natural and historical features.

BUILDING CODE AND LIFE AND SAFETY CONSIDERATIONS


Building Code upgrading is the most important aspect of heritage building rehabilitation, as it ensures life safety as well as long-term protection for the resource. It is essential to consider heritage buildings on a case-by-case basis, as the blanket application of Code requirements does not recognize the individual requirements and inherent strengths of each building. Over the past few years, a number of Code equivalencies have been added to the British Columbia Building Code, which facilitate heritage building upgrades. For example, the use of sprinklers in a heritage structure helps to satisfy fire separation and exiting requirements.

Please note that under the current Code, equivalencies are offered for interior rehabilitation. The one exception is for windows; the wording of the code requires "two sheets of glass" rather than double-glazing (as it is usually interpreted) and therefore Code requirements can be met through the use of interior or exterior storm windows, or exempted under the heritage definitions of the Energy Efficiency Act.



CONSERVATION RECOMMENDATIONS

#	CHARACTER- DEFINING ELEMENTS	HERITAGE VALUE	CONSERVATION TREATMENT AND RECOMMENDATIONS	IMAGES
4.1	<p>Site and setting:</p> <ul style="list-style-type: none"> • Location as part of the original Phoenix Cannery/Britannia Shipyard cluster of structures near the historical boardwalk • Spatial connection to the adjacent Murakami Boatworks • Views of the Fraser River • Re-established garden with picket fence 	<p>Retains the connection to the early maritime history of the area.</p>	<p>The Murakami House has been situated in this location since its construction circa 1885. The building should remain in this location, as its proximity to the Phoenix Cannery, as well as the Murakami Boatworks is one of its most distinguishing character-defining elements and adds significantly to its heritage value.</p> <p>Every effort should be made, when possible, to retain heritage resources in situ. Relocation should only be considered when a resource has already been relocated, as an alternative to demolition, or for functional, rehabilitation requirements.</p> <p><i>As per Standard and Guidelines for the Conservation of Historic Places in Canada, page 22, #1 Conserve the heritage value of an historic place. Do not remove, replace or substantially alter its intact or repairable character defining elements. Do not move a part of an historic place if its current location is a character-defining element.</i></p>	

CONSERVATION RECOMMENDATIONS

#	CHARACTER- DEFINING ELEMENTS	HERITAGE VALUE	CONSERVATION TREATMENT AND RECOMMENDATIONS	IMAGES
4.2	<p>Building:</p> <ul style="list-style-type: none"> • Remnants of original building cluster pattern • Simple rectangular building form and horizontal massing • Gable roof with wood shingle and exposed rafter ends • Weathered vertical board and batten siding on the exterior • Multi-paned wood windows with wood trim 	<p>The wooden materials used in the construction of the Murakami House reflect the traditional building elements employed during the late nineteenth century.</p>	<p>An August 2022 visual investigation into the existing conditions of the materials of the roofing revealed these Character-Defining Element to be in a state of deterioration with biological growth over the wood shingle and in need of replacement.</p> <p>The Character-Defining Elements of the Murakami House building add significantly to its heritage value; conserve and maintain these Character-Defining Elements. The following conservation recommendations should be kept in mind whenever any conservation work is required on the Murakami House in the future:</p> <ul style="list-style-type: none"> • Preserve all original elements, features, and materials of the building as defined in the character-defining elements section of the Statement of Significance. • Repair is preferred over replacement. Original wood elements should be considered for restoration before replication is considered. • Substitute materials, such as Hardie Board or combed or textured lumber, are not acceptable for replacement of any woodwork on the historic building. • Replace existing wood shingle roofing with like for like. Substitute materials, such as asphalt shingles, are not acceptable for replacement of the roofing material on the historic building. • Replace existing wood siding where damaged and deteriorated. • Restore wood gutters archival evidence exists to support its replication. • Further investigation to determine the actual heritage colours of the windows, exterior trims and sills, and sidings should be undertaken when future work and maintenance is planned. 	

CONSERVATION RECOMMENDATIONS

#	CHARACTER- DEFINING ELEMENTS	HERITAGE VALUE	CONSERVATION TREATMENT AND RECOMMENDATIONS	IMAGES
4.3	<p>Interior Features:</p> <ul style="list-style-type: none"> • Horizontal board interior walls • Open and transparent wood dividers between rooms • Reconstructed traditional Japanese cedar bath • Re-created interior space based on oral histories and furnishings, artifacts and items that illustrate the functions of the various rooms 	<p>Provides the public with an opportunity to interact with the building's historic layout and features.</p>	<p>Conserve and maintain the interior Character Defining Elements of the Murakami House.</p> <p>The following conservation recommendations should be kept in mind whenever any conservation work is required on the Murakami House in the future:</p> <ul style="list-style-type: none"> • Preserve all original elements, features, and materials of the building as defined in the character-defining elements section of the Statement of Significance. • Repair is preferred over replacement. Original wood elements should be considered for restoration before replication is considered. • Substitute materials, such as Hardie Board or combed or textured lumber, are not acceptable for replacement of any woodwork on the historic house. 	
4.4	<p>Intangible Cultural Features:</p> <ul style="list-style-type: none"> • Oral histories and photographs • Community uses such as interpretive tours, festivals and events 	<p>Provides the public with educational and interpretive opportunities.</p>	<p>Conserve and maintain the use of the Murakami House as an educational and interpretive resource for the community.</p>	

5.0 OUTLINE CONSERVATION STRATEGY:
5.7 STILT PILING HOUSE No. 2: POINT HOUSE
(UPDATED REVIEW AUGUST 2022)

RELEVANT POLICIES (FROM OCP):

- Enhance, preserve and celebrate the built, natural and cultural heritage of Richmond and ensure it is visible and accessible;
- Encourage the preservation and celebration of community heritage;
- Where possible, encourage the adaptive reuse of heritage buildings to maintain them for the future;
- Continue to engage the private and volunteer sectors and take advantage of partnership opportunities with senior levels of government to preserve and rehabilitate heritage assets;
- Integrate a broad interpretation of heritage into festivals and celebrations unique to Richmond.

RELEVANT POLICIES (FROM STEVESTON AREA PLAN):


- Continue the City's commitment to Steveston's existing City owned heritage resources and encourage them to be operated in an economically viable manner using a variety of methods;
- To assist in managing heritage resources apply the "Standards and Guidelines for the Conservation of Historic Places in Canada", Parks Canada, as a guideline;
- Promote the integration of the trail system with cycling routes, greenways, walkways, and existing park pathways;
- Provide opportunities along the trails and greenway system for interpretation and educational information about Steveston's natural and historical features.

BUILDING CODE AND LIFE AND SAFETY CONSIDERATIONS


Building Code upgrading is the most important aspect of heritage building rehabilitation, as it ensures life safety as well as long-term protection for the resource. It is essential to consider heritage buildings on a case-by-case basis, as the blanket application of Code requirements does not recognize the individual requirements and inherent strengths of each building. Over the past few years, a number of Code equivalencies have been added to the British Columbia Building Code, which facilitate heritage building upgrades. For example, the use of sprinklers in a heritage structure helps to satisfy fire separation and exiting requirements.

Please note that under the current Code, equivalencies are offered for interior rehabilitation. The one exception is for windows; the wording of the code requires "two sheets of glass" rather than double-glazing (as it is usually interpreted) and therefore Code requirements can be met through the use of interior or exterior storm windows, or exempted under the heritage definitions of the Energy Efficiency Act.



CONSERVATION RECOMMENDATIONS

#	CHARACTER- DEFINING ELEMENTS	HERITAGE VALUE	CONSERVATION TREATMENT AND RECOMMENDATIONS	IMAGES
4.1	<p>Site and setting:</p> <ul style="list-style-type: none"> • Location at Britannia Heritage Shipyards • Part of a reconstructed building cluster plan • Pond and boardwalk 	<p>Retains the connection to the early maritime history of the area.</p>	<p>The Point House dates to the 1890s and has been relocated to its current site as part of the recreated Historic Zone at Britannia Shipyards. The building should remain in this location, as its proximity to the Britannia Shipyards is one of its most distinguishing character-defining elements and adds significantly to its heritage value.</p> <p>Every effort should be made, when possible, to retain heritage resources in situ. Relocation should only be considered when a resource has already been relocated, as an alternative to demolition, or for functional, rehabilitation requirements.</p> <p>As per <i>Standard and Guidelines for the Conservation of Historic Places in Canada</i>, page 22, #1 Conserve the heritage value of an historic place. Do not remove, replace or substantially alter its intact or repairable character defining elements. Do not move a part of an historic place if its current location is a character-defining element.</p>	

CONSERVATION RECOMMENDATIONS

#	CHARACTER-DEFINING ELEMENTS	HERITAGE VALUE	CONSERVATION TREATMENT AND RECOMMENDATIONS	IMAGES
4.2	<p>Building:</p> <ul style="list-style-type: none"> • Wood frame construction on wood pilings • One-storey height and rectangular massing • Side gable roof with shingle cladding, shed roof extension and wooden fascias • Exterior cedar shingle siding with cornerboards • Double hung wooden sash windows, single and multi-paned 	<p>The elements used in the construction of the Point House reflect the traditional building techniques employed during the late nineteenth century.</p>	<p>An August 2022 visual investigation into the existing conditions of the materials of the roofing revealed these Character-Defining Element to be in a state of deterioration with biological growth and in need of repair and maintenance.</p> <p>The Character-Defining Elements of the building of the Point House add significantly to its heritage value; conserve and maintain these Character-Defining Elements. The following conservation recommendations should be kept in mind whenever any conservation work is required on the Point House in the future:</p> <ul style="list-style-type: none"> • Preserve all original elements, features, and materials of the house as defined in the character-defining elements section of the Statement of Significance. • Repair is preferred over replacement. Original wood elements should be considered for restoration before replication is considered. • Substitute materials, such as Hardie Board or combed or textured lumber, are not acceptable for replacement of any woodwork on the historic building. • Substitute materials, such as asphalt shingles, are not acceptable for replacement of the roofing material on the historic building. • Further investigation to determine the actual colours of the windows, exterior trims and sills, and sidings should be undertaken when future work and maintenance is planned. • Structural review of existing wood piles to determine extent of repairs and replacements. Replacement wood piles to be coated with environmentally appropriate coating. Provide product specifications prior for heritage and architectural review prior to application. 	

CONSERVATION RECOMMENDATIONS

#	CHARACTER- DEFINING ELEMENTS	HERITAGE VALUE	CONSERVATION TREATMENT AND RECOMMENDATIONS	IMAGES
4.3	<p>Interior:</p> <ul style="list-style-type: none"> • Wood floors • Painted narrow board wood ceilings and horizontal wood walls • Trims including wood trim around windows and doors • Vertical board wainscoting 	<p>The interior features reflect the historic residential usage of the building.</p>	<p>Conserve and maintain the interior Character-Defining Elements of the Point House.</p> <p>The following conservation recommendations should be kept in mind whenever any conservation work is required on the Point House in the future:</p> <ul style="list-style-type: none"> • Preserve all original elements, features, and materials of the house as defined in the character-defining elements section of the Statement of Significance. • Repair is preferred over replacement. Original wood elements should be considered for restoration before replication is considered. • Substitute materials, such as Hardie Board or combed or textured lumber, are not acceptable for replacement of any woodwork on the historic house. 	
4.4	<p>Intangible Features:</p> <ul style="list-style-type: none"> • Oral histories associated with the building and Interpretation • Interpretive and educational tours • Interpretive installations and artifacts relating to housing at Britannia Cannery and Shipyard 	<p>The building is a representation of early life at the cannery site.</p>	<p>Conserve and maintain the interpretive and educational aspects of the Point House. Should the use of the building change, its role as an interpretive and educational part of the Britannia Shipyards National Historic Site should continue. Conserve the artifacts relating to housing at Britannia Cannery and Shipyard; artifacts should be maintained in the Point House collection and preserved in an appropriate manner.</p> <p>The conservation of any artifacts should be based on 'Preventative Conservation', which emphasizes non-interventive actions to prevent damage to and minimize deterioration of artifacts in a collection. Such actions include:</p> <ul style="list-style-type: none"> • Monitoring and recording levels of environmental agents (e.g., light, relative humidity, temperature); • Inspecting and recording the condition of objects; • Controlling environmental agents; • Establishing a pest management system; • Practicing proper handling, storage, exhibit, and housekeeping techniques; • Incorporating needed information and procedures regarding the collection in emergency management plans. 	

5.0 OUTLINE CONSERVATION STRATEGY
5.8 RICHMOND BOAT BUILDERS
(UPDATED SEPTEMBER 2022)

RELEVANT POLICIES (FROM OCP):

- Enhance, preserve and celebrate the built, natural and cultural heritage of Richmond and ensure it is visible and accessible;
- Encourage the preservation and celebration of community heritage;
- Where possible, encourage the adaptive reuse of heritage buildings to maintain them for the future;
- Continue to engage the private and volunteer sectors and take advantage of partnership opportunities with senior levels of government to preserve and rehabilitate heritage assets;
- Integrate a broad interpretation of heritage into festivals and celebrations unique to Richmond.

RELEVANT POLICIES (FROM STEVESTON AREA PLAN):



- Continue the City's commitment to Steveston's existing City owned heritage resources and encourage them to be operated in an economically viable manner using a variety of methods;
- To assist in managing heritage resources apply the "Standards and Guidelines for the Conservation of Historic Places in Canada", Parks Canada, as a guideline;
- Promote the integration of the trail system with cycling routes, greenways, walkways, and existing park pathways;
- Provide opportunities along the trails and greenway system for interpretation and educational information about Steveston's natural and historical features.

BUILDING CODE AND LIFE AND SAFETY CONSIDERATIONS


Building Code upgrading is the most important aspect of heritage building rehabilitation, as it ensures life safety as well as long-term protection for the resource. It is essential to consider heritage buildings on a case-by-case basis, as the blanket application of Code requirements does not recognize the individual requirements and inherent strengths of each building. Over the past few years, a number of Code equivalencies have been added to the British Columbia Building Code, which facilitate heritage building upgrades. For example, the use of sprinklers in a heritage structure helps to satisfy fire separation and exiting requirements.

Please note that under the current Code, equivalencies are offered for interior rehabilitation. The one exception is for windows; the wording of the code requires "two sheets of glass" rather than double-glazing (as it is usually interpreted) and therefore Code requirements can be met through the use of interior or exterior storm windows, or exempted under the heritage definitions of the Energy Efficiency Act.

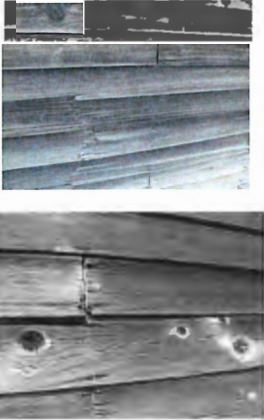

CONSERVATION RECOMMENDATIONS

#	CHARACTER-DEFINING ELEMENTS	HERITAGE VALUE	CONSERVATION TREATMENT AND RECOMMENDATIONS	IMAGES
4.1	<p>Site and Settings</p> <ul style="list-style-type: none"> • Original location as part of the Britannia Shipyards site • Relationship of the building to the Fraser River • Remains of the marine ways that allowed boats to be transported to the river • Boats, equipment, wheeled barrows, supplies and other items related to boat building near and around the boat builders structure • Continuous use for boat building and repair 	Retains the connection to the early maritime history of the area.	<p>The Richmond Boat Builders building has been situated in this location since its construction circa 1932. The building should remain in this location, as its proximity to the Britannia Shipyards is one of its most distinguishing character-defining elements and adds significantly to its heritage value.</p> <p>Every effort should be made, when possible, to retain heritage resources in situ. Relocation should only be considered when a resource has already been relocated, as an alternative to demolition, or for functional, rehabilitation requirements.</p>	
4.2	<p>Building:</p> <ul style="list-style-type: none"> • Industrial form, scale and massing including its front-gabled square plan section fronting a lower, front-gabled rectangular plan warehouse • Wooden construction including cedar cladding, cedar roof shingles, exposed rafter tails, and wooden trim • Large front door opening with doors of diagonal cedar cladding, and smaller man-door • Arrangement of six-paned wooden windows on the east and west facades 	The gabled roof and wooden elements of the Richmond Boat Builders facility reflect the traditional building style and materials utilized through the interwar period of the twentieth century.	<p>An August 2022 visual investigation into the existing conditions of the roof; exterior wood sidings; barn doors and windows; were listed as part of the proposed maintenance repairs to the historic structure. The list are as follows:</p> <ul style="list-style-type: none"> • Reported vermin and pest infestation (carpenter ants in particular) have access through the gaps between the sliding mechanism of the barn doors and building frame need to be addressed. • Existing review of the exterior drop wood siding reveal numerous varying sizes of holes, gaps where light, outside air in need of patching / sealing. Existing tarp paper is in deteriorated condition throughout and is also in need of replacement. 	

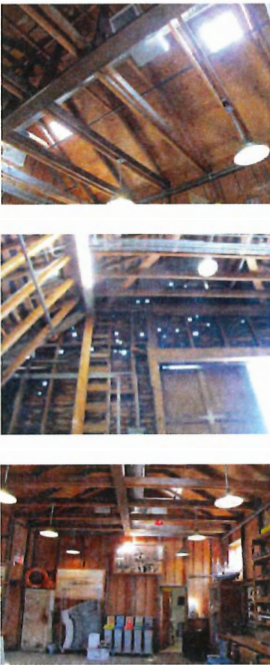
CONSERVATION RECOMMENDATIONS

#	CHARACTER- DEFINING ELEMENTS	HERITAGE VALUE	CONSERVATION TREATMENT AND RECOMMENDATIONS	IMAGES
	<p>Continuation of Building:</p> <p>Archival Images: Close-up of Boat Works Building. 1971, Yesaki, Mitsuo, Britannia Boat Works [Nikkei National Museum 2012-16-2-33 (B)].tif</p>			

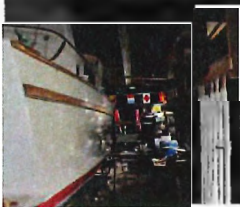
CONSERVATION RECOMMENDATIONS

#	CHARACTER- DEFINING ELEMENTS	HERITAGE VALUE	CONSERVATION TREATMENT AND RECOMMENDATIONS	IMAGES
	<p>Continuation of Building:</p>	<p>The gabled roof and wooden elements of the Richmond Boat Builders facility reflect the traditional building style and materials utilized through the interwar period of the twentieth century.</p>	<p>The Character-Defining Elements of the building of the Richmond Boat Builders add significantly to its heritage value; conserve and maintain these Character-Defining Elements. The following conservation recommendations should be kept in mind whenever any conservation work is required on the Richmond Boat Builders in the future:</p> <ul style="list-style-type: none"> • Preserve all original elements, features, and materials of the building as defined in the character-defining elements section of the Statement of Significance. • Replacement of existing deteriorated galvanized roofing with original cedar shingles over the main building to be undertaken as part of the conservation. • All existing additions to the main building where existing metal roofing is in deteriorated condition are to be replaced with new galvanized roofing. • Repair is preferred over replacement. Extensive repairs of the original wood elements to be undertaken for restoration before replication is considered. Localized repairs to the existing wood siding and replacement in-kind (e.g. dutchman repair) is the preferred approach to restoration and preservation. Substitute materials, such as Hardie Board or combed or textured lumber, are not acceptable for replacement of any woodwork on the historic building. • Substitute materials, such as asphalt shingles, are not acceptable for replacement of the roofing material on the historic building. 	
4.3	<p>Interior of Building:</p> <ul style="list-style-type: none"> • Open truss roof construction and exposed wood construction and finishes in the interior • Intact furnishings, tools, machinery, equipment and supplies associated with the boatworks 	<p>Provides the public with an opportunity to observe the inner workings of a boat building and repair facility.</p>	<p>Conserve and maintain the open truss roof, exposed wood construction and finishes in the interior. Conserve the intact furnishings, tools, machinery, equipment and supplies associated with the boatworks; should functioning furnishings, tools, machinery, equipment or supplies associated with the boatworks be rendered useless beyond repair, they should be maintained as artefacts in the Richmond Boat Builders' collection and preserved in an appropriate manner.</p> <p>The following conservation recommendations should be kept in mind whenever any conservation work is required on the Richmond Boat Builders in the future:</p> <ul style="list-style-type: none"> • Preserve all original elements, features, and materials of the building as defined in the character-defining elements section of the Statement of Significance. 	

CONSERVATION RECOMMENDATIONS

#	CHARACTER- DEFINING ELEMENTS	HERITAGE VALUE	CONSERVATION TREATMENT AND RECOMMENDATIONS	IMAGES
	<p>Continuation of Interior of Building:</p> <ul style="list-style-type: none"> Open truss roof construction and exposed wood construction and finishes in the interior Intact furnishings, tools, machinery, equipment and supplies associated with the boatworks 	<p>Provides the public with an opportunity to observe the inner workings of a boat building and repair facility.</p>	<ul style="list-style-type: none"> Repair is preferred over replacement. Original wood elements should be considered for restoration before replication is considered. Deteriorated wood cladding to be replaced with new appropriate material. Keep sample of original material for replication. Substitute materials, such as Hardie Board or combed or textured lumber, are not acceptable for replacement of any woodwork on the historic building Further investigation to determine the actual colours of the windows, exterior trims and sills, and sidings should be undertaken when future work and maintenance is planned. <p>As per Standards and Guidelines for the Conservation of Historic Places in Canada, pg. 23, #10 Repair rather than replace character-defining elements. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the historic place.</p> <p>The conservation of any furnishings, tools, machinery, equipment or supplies associated with the boatworks rendered useless beyond repair should be based on 'Preventative Conservation', which emphasizes non-interventive actions to prevent damage to and minimize deterioration of artifacts in a collection. Such actions include:</p> <ul style="list-style-type: none"> Monitoring and recording levels of environmental agents (e.g., light, relative humidity, temperature); Inspecting and recording the condition of objects; Controlling environmental agents; Establishing a pest management system; Prevent entry of pests at sliding entry door and openings with gaskets sealers; Practicing proper handling, storage, exhibit, and housekeeping techniques; Incorporating needed information and procedures regarding the collection in emergency management plans. 	

CONSERVATION RECOMMENDATIONS

#	CHARACTER- DEFINING ELEMENTS	HERITAGE VALUE	CONSERVATION TREATMENT AND RECOMMENDATIONS	IMAGES
4.4	<p>Intangible Features:</p> <ul style="list-style-type: none"> Community use for educational programming and the interpretation of past and current boat building and boat repair practices 	<p>Provides educational and interpretive opportunities for the community.</p>	<p>Conserve and maintain the use of Richmond Boat Builders as a boat building/repairing and community space for the education and interpretation of past and current boat building and boat repair practices. Should this use prove to be economically unviable, a historically compatible use should be maintained.</p>	

**5.0 OUTLINE CONSERVATION STRATEGY:
5.9 WINCH SHED (UPDATED REVIEW AUGUST 2022)**

RELEVANT POLICIES (FROM OCP):

- Enhance, preserve and celebrate the built, natural and cultural heritage of Richmond and ensure it is visible and accessible;
- Encourage the preservation and celebration of community heritage;
- Where possible, encourage the adaptive reuse of heritage buildings to maintain them for the future;
- Continue to engage the private and volunteer sectors and take advantage of partnership opportunities with senior levels of government to preserve and rehabilitate heritage assets;
- Integrate a broad interpretation of heritage into festivals and celebrations unique to Richmond.

RELEVANT POLICIES (FROM STEVESTON AREA PLAN):


- Continue the City's commitment to Steveston's existing City owned heritage resources and encourage them to be operated in an economically viable manner using a variety of methods;
- To assist in managing heritage resources apply the "Standards and Guidelines for the Conservation of Historic Places in Canada", Parks Canada, as a guideline;
- Promote the integration of the trail system with cycling routes, greenways, walkways, and existing park pathways;
- Provide opportunities along the trails and greenway system for interpretation and educational information about Steveston's natural and historical features.

BUILDING CODE AND LIFE AND SAFETY CONSIDERATIONS

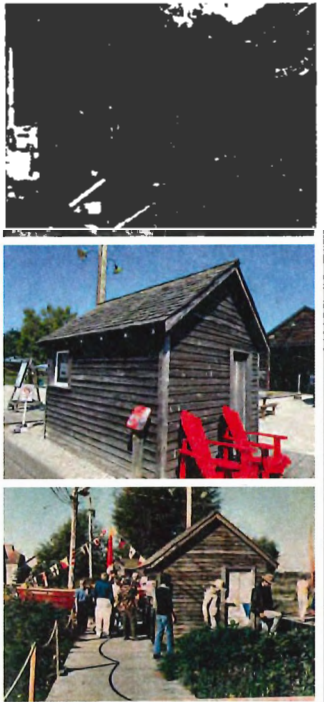
Building Code upgrading is the most important aspect of heritage building rehabilitation, as it ensures life safety as well as long-term protection for the resource. It is essential to consider heritage buildings on a case-by-case basis, as the blanket application of Code requirements does not recognize the individual requirements and inherent strengths of each building. Over the past few years, a number of Code equivalencies have been added to the British Columbia Building Code, which facilitate heritage building upgrades. For example, the use of sprinklers in a heritage structure helps to satisfy fire separation and exiting requirements.

Please note that under the current Code, equivalencies are offered for interior rehabilitation. The one exception is for windows; the wording of the code requires "two sheets of glass" rather than double-glazing (as it is usually interpreted) and therefore Code requirements can be met through the use of interior or exterior storm windows, or exempted under the heritage definitions of the Energy Efficiency Act.



CONSERVATION RECOMMENDATIONS

#	CHARACTER- DEFINING ELEMENTS	HERITAGE VALUE	CONSERVATION TREATMENT AND RECOMMENDATIONS	IMAGES
4.1	<p>Site and setting:</p> <ul style="list-style-type: none"> • Location on the boardwalk near the Richmond Boatbuilders structure, marine ways and riverfront 	Retains the connection between Richmond as a modern city and the early maritime history of the area.	<p>The Winch Shed building has been located on its site since its construction in the 1950s. The building should remain in this location, as its proximity to the Richmond Boat builders building is one of its most distinguishing character-defining elements and adds significantly to its heritage value.</p> <p>Every effort should be made, when possible, to retain heritage resources in situ. Relocation should only be considered when a resource has already been relocated, as an alternative to demolition, or for functional, rehabilitation requirements.</p>	


CONSERVATION RECOMMENDATIONS

#	CHARACTER- DEFINING ELEMENTS	HERITAGE VALUE	CONSERVATION TREATMENT AND RECOMMENDATIONS	IMAGES
4.2	<p>Building:</p> <ul style="list-style-type: none"> Industrial form such as small functional layout, square footprint, and gable roof Materials such as: cedar roof shingles, horizontal lapped wood siding with cornerboards dimensional wood trim and wooden fascias Vertical wood paneled door Wood-frame casement windows 	<p>The traditional building style and materials used in the construction of the Winch Shed connect it to the past traditions of the area and separate it from the contemporary structures of the surrounding neighbourhood.</p>	<p>The Character-Defining Elements of the building of the Winch Shed add significantly to its heritage value; conserve and maintain these Character-Defining Elements. The following conservation recommendations should be kept in mind whenever any conservation work is required on the Winch Shed in the future:</p> <ul style="list-style-type: none"> Preserve all original elements, features, and materials of the shed as defined in the character-defining elements section of the Statement of Significance. Restore all existing wood window sashes to match archival image. Six-paned, fixed sash, painted windows and panelled wooden door. Repair is preferred over replacement. Original wood elements should be considered for restoration before replication is considered. Substitute materials, such as Hardie Board or combed or textured lumber, are not acceptable for replacement of any woodwork on the historic building. Substitute materials, such as asphalt shingles, are not acceptable for replacement of the roofing material on the historic building. Further investigation to determine the actual colours of the windows, exterior trims and sills, and sidings should be undertaken when future work and maintenance is planned. 	

CONSERVATION RECOMMENDATIONS

#	CHARACTER-DEFINING ELEMENTS	HERITAGE VALUE	CONSERVATION TREATMENT AND RECOMMENDATIONS	IMAGES
4.2	Archival Image			
			Archival image above shows original six-paned, fixed sash, unpainted finish.	<i>Close-up of Winch Shed, 1971. Yesaki, Aituo. Britannia Boat Works (Nikkei National Museum 2012-16-2-33 (B)).tif</i>
4.3	<p>Interior:</p> <ul style="list-style-type: none"> Winch machinery and cables Horizontal board interior walls Wood floor Visible roof rafters and purlins Electrical works, cables and other infrastructure related to the operation of the winch Equipment such as ropes, ladders and dollies related to the use of the Winch Shed 	Provides the public an opportunity to see and interact with an historic building.	<p>Conserve and maintain the interior Character-Defining Elements of the Winch Shed. Conserve the equipment such as ropes, ladders and dollies related to the use of the Winch Shed; should the equipment such as ropes, ladders and dollies related to the use of the Winch Shed be rendered useless beyond repair, they should be maintained as artefacts in the Winch Shed collection and preserved in an appropriate manner.</p> <p>The following conservation recommendations should be kept in mind whenever any conservation work is required on the Winch Shed in the future:</p> <ul style="list-style-type: none"> Preserve all original elements, features, and materials of the shed as defined in the character-defining elements section of the Statement of Significance. Repair is preferred over replacement. Original wood elements should be considered for restoration before replication is considered. Substitute materials, such as Hardie Board or combed or textured lumber, are not acceptable for replacement of any woodwork on the historic house. 	

CONSERVATION RECOMMENDATIONS

#	CHARACTER- DEFINING ELEMENTS	HERITAGE VALUE	CONSERVATION TREATMENT AND RECOMMENDATIONS	IMAGES
	Continuation of Interior:	Provides the public an opportunity to see and interact with an historic building.	The conservation of any artifacts should be based on 'Preventative Conservation', which emphasizes non-interventive actions to prevent damage to and minimize deterioration of artifacts in a collection. Such actions include: <ul style="list-style-type: none"> Monitoring and recording levels of environmental agents (e.g., light, relative humidity, temperature); Inspecting and recording the condition of objects; Controlling environmental agents; Establishing a pest management system; Practicing proper handling, storage, exhibit, and housekeeping techniques; Incorporating needed information and procedures regarding the collection in emergency management plans. 	
4.4	Intangible Features: <ul style="list-style-type: none"> Rehabilitation and ongoing use of winch and marine ways as part of boat construction and repair 	Provides the public an opportunity to see and interact with an historic building.	Conserve and maintain the ongoing use of the winch and marine ways as part of boat construction and repair. Should this ongoing use prove unviable, a historically appropriate use for the building should be maintained.	

5.0 OUTLINE CONSERVATION STRATEGY:
5.10 BRITANNIA SHIPYARD
(UPDATED REVIEW AUGUST 2022)

RELEVANT POLICIES (FROM OCP):

- Enhance, preserve and celebrate the built, natural and cultural heritage of Richmond and ensure it is visible and accessible;
- Encourage the preservation and celebration of community heritage;
- Where possible, encourage the adaptive reuse of heritage buildings to maintain them for the future;
- Continue to engage the private and volunteer sectors and take advantage of partnership opportunities with senior levels of government to preserve and rehabilitate heritage assets;
- Integrate a broad interpretation of heritage into festivals and celebrations unique to Richmond.

RELEVANT POLICIES (FROM STEVESTON AREA PLAN):


- Continue the City's commitment to Steveston's existing City owned heritage resources and encourage them to be operated in an economically viable manner using a variety of methods;
- To assist in managing heritage resources apply the "Standards and Guidelines for the Conservation of Historic Places in Canada", Parks Canada, as a guideline;
- Promote the integration of the trail system with cycling routes, greenways, walkways, and existing park pathways;
- Provide opportunities along the trails and greenway system for interpretation and educational information about Steveston's natural and historical features.

BUILDING CODE AND LIFE AND SAFETY CONSIDERATIONS




Building Code upgrading is the most important aspect of heritage building rehabilitation, as it ensures life safety as well as long-term protection for the resource. It is essential to consider heritage buildings on a case-by-case basis, as the blanket application of Code requirements does not recognize the individual requirements and inherent strengths of each building. Over the past few years, a number of Code equivalencies have been added to the British Columbia Building Code, which facilitate heritage building upgrades. For example, the use of sprinklers in a heritage structure helps to satisfy fire separation and exiting requirements.

Please note that under the current Code, equivalencies are offered for interior rehabilitation. The one exception is for windows; the wording of the code requires "two sheets of glass" rather than double-glazing (as it is usually interpreted) and therefore Code requirements can be met through the use of interior or exterior storm windows, or exempted under the heritage definitions of the Energy Efficiency Act.

CONSERVATION RECOMMENDATIONS

#	CHARACTER-DEFINING ELEMENTS	HERITAGE VALUE	CONSERVATION TREATMENT AND RECOMMENDATIONS	IMAGES
4.1	<p>Site and settings:</p> <ul style="list-style-type: none"> • Location on pilings extending into the Fraser River • Landmark on the Steveston waterfront • Surrounding Fraser River foreshore environment • Relationship and bridge connection to boardwalk and bulkhead • Still-existing wooden pilings adjacent to the cannery building • Wharves, docks and walkways associated to the cannery building • Views of the Fraser River and foreshore 	<p>Retains the connection between Richmond as a modern city and the early maritime history of the area.</p>	<p>The Britannia Shipyards building has been situated in this location since its construction in 1890. The building should remain in this location, as its proximity to the Fraser River at the historic Steveston townsite is one of its most distinguishing character-defining elements and adds significantly to its heritage value.</p> <p>Every effort should be made, when possible, to retain heritage resources in situ. Relocation should only be considered when a resource has already been relocated, as an alternative to demolition, or for functional, rehabilitation requirements.</p> <p><i>As per Standard and Guidelines for the Conservation of Historic Places in Canada, page 22, #1 Conserve the heritage value of an historic place. Do not remove, replace or substantially alter its intact or repairable character defining elements. Do not move a part of an historic place if its current location is a character-defining element.</i></p>	

CONSERVATION RECOMMENDATIONS

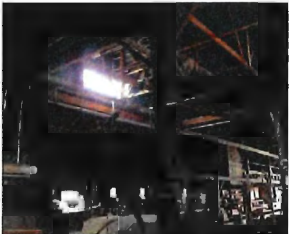


#	CHARACTER- DEFINING ELEMENTS	HERITAGE VALUE	CONSERVATION TREATMENT AND RECOMMENDATIONS	IMAGES
4.2	<p>Building:</p> <ul style="list-style-type: none"> Part of original cannery / shipyard building cluster pattern Wood building construction on wooden piling foundation L-shaped plan and prominent massing Opening on the south facade to allow the passage of boats Gable roof including a cross-gable portion at the north side of the building and modified gable roof at the south side Board and batten exterior siding Multi-paned wood windows Large wooden entry doors Winch, cables and ways installed when the building was converted to a shipyard 	<p>The traditional building style and materials used in the construction of the Britannia Shipyards connect it to the past traditions of the area and separate it from the contemporary structures of the surrounding neighbourhood.</p>	<p>The Character-Defining Elements of the building of the Britannia Shipyards add significantly to its heritage value; conserve and maintain these Character-Defining Elements. The following conservation recommendations should be kept in mind whenever any conservation work is required on the Britannia Shipyards in the future:</p> <ul style="list-style-type: none"> Preserve all original elements, features, and materials of the building as defined in the character-defining elements section of the Statement of Significance. Repair is preferred over replacement. Original wood elements should be considered for restoration before replication is considered. Substitute materials, such as Hardie Board or combed or textured lumber, are not acceptable for replacement of any woodwork on the historic building. Substitute materials, such as asphalt shingles, are not acceptable for replacement of the roofing material on the historic building. <p>As per Standards and Guidelines for the Conservation of Historic Places in Canada, pg. 23, #10 Repair rather than replace character-defining elements. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the historic place.</p> <ul style="list-style-type: none"> Replace all existing G.I. roofing and its components (i.e. roof anchors, gutters) Review of existing exterior siding reveal some level of deterioration due to exposure to the elements has occurred over time and is in need of rehabilitation. West Elevation: Replace all existing horizontal siding to match archival images. Repair in situ and restore vertical wood sidings to match in dimension and thickness, original configuration. Rehabilitate and restore windows as per proposed Window Schedule 	  

BRITANNIA SHIPYARDS
5180 WESTWATER DRIVE, RICHMOND BC

CONSERVATION RECOMMENDATIONS

#	ARCHIVAL IMAGES
4.2 Archival	 A grid of six archival black and white photographs showing various views of the Britannia Shipyards buildings. The top-left image shows a close-up of a long wooden structure with vertical siding and a gabled roof. The top-right image shows a long wooden building with a gabled roof and a series of columns. The middle-left image shows a building with a gabled roof and a wooden deck in the foreground. The middle-center image shows a dark wooden building with a gabled roof and a wooden deck. The middle-right image shows a building with a gabled roof and a wooden deck. The bottom-right image shows a building with a gabled roof and a wooden deck.

CONSERVATION RECOMMENDATIONS

#	CHARACTER-DEFINING ELEMENTS	HERITAGE VALUE	CONSERVATION TREATMENT AND RECOMMENDATIONS	IMAGES
4.3.	<p>Interior:</p> <ul style="list-style-type: none"> • Complex floor plan • Complex wood framed roof structure • Heavy square wooden posts with angled roof supports • Wood floors and ceilings • Internal wood doors • Multi-paned wood windows • Horizontal wood planked walls • Interior details such as benches, furnishings, brick chimney, hoists, cables and machinery • Tools and marine vessels • Exhibits and demonstrations, such as interpretive panels, tools and boat building displays 	<p>Provides the public an opportunity to see and interact with an historic building.</p>	<p>Conserve and maintain the interior character defining elements of the Britannia Shipyards. Conserve the artifacts associated with the Britannia Shipyards.</p> <p>The following conservation recommendations should be kept in mind whenever any conservation work is required on the Britannia Shipyards in the future:</p> <ul style="list-style-type: none"> • Preserve all original elements, features, and materials of the building as defined in the character-defining elements section of the Statement of Significance. • Repair is preferred over replacement: Original wood elements should be considered for restoration before replication is considered. • Substitute materials, such as Hardie Board or combed or textured lumber, are not acceptable for replacement of any woodwork on the historic house. <p>The conservation of any artifacts should be based on 'Preventative Conservation', which emphasizes non-interventive actions to prevent damage to and minimize deterioration of artifacts in a collection. Such actions include:</p> <ul style="list-style-type: none"> • Monitoring and recording levels of environmental agents (e.g., light, relative humidity, temperature); • Inspecting and recording the condition of objects; • Controlling environmental agents; • Establishing a pest management system; • Practicing proper handling, storage, exhibit, and housekeeping techniques; • Incorporating needed information and procedures regarding the collection in emergency management plans. 	 
4.4	<p>Intangible Cultural Features:</p> <ul style="list-style-type: none"> • Continued use for boat building and repair • Oral histories • Community uses such as interpretive tours, festivals, events and park use 	<p>Provides the public an opportunity to see and interact with an historic building.</p>	<p>Conserve and maintain the use of Britannia Shipyards as an educational resource for the community. Should this use prove to be economically unviable, a historically compatible use should be maintained.</p>	

5.0 OUTLINE CONSERVATION STRATEGY:
5.11 SEINE NET LOFT (UPDATED REVIEW AUGUST 2022)

RELEVANT POLICIES (FROM OCP):

- Enhance, preserve and celebrate the built, natural and cultural heritage of Richmond and ensure it is visible and accessible;
- Encourage the preservation and celebration of community heritage;
- Where possible, encourage the adaptive reuse of heritage buildings to maintain them for the future;
- Continue to engage the private and volunteer sectors and take advantage of partnership opportunities with senior levels of government to preserve and rehabilitate heritage assets;
- Integrate a broad interpretation of heritage into festivals and celebrations unique to Richmond.

RELEVANT POLICIES (FROM STEVESTON AREA PLAN):


- Continue the City's commitment to Steveston's existing City owned heritage resources and encourage them to be operated in an economically viable manner using a variety of methods;
- To assist in managing heritage resources apply the "Standards and Guidelines for the Conservation of Historic Places in Canada", Parks Canada, as a guideline;
- Promote the integration of the trail system with cycling routes, greenways, walkways, and existing park pathways;
- Provide opportunities along the trails and greenway system for interpretation and educational information about Steveston's natural and historical features.

BUILDING CODE AND LIFE AND SAFETY CONSIDERATIONS


Building Code upgrading is the most important aspect of heritage building rehabilitation, as it ensures life safety as well as long-term protection for the resource. It is essential to consider heritage buildings on a case-by-case basis, as the blanket application of Code requirements does not recognize the individual requirements and inherent strengths of each building. Over the past few years, a number of Code equivalencies have been added to the British Columbia Building Code, which facilitate heritage building upgrades. For example, the use of sprinklers in a heritage structure helps to satisfy fire separation and exiting requirements.

Please note that under the current Code, equivalencies are offered for interior rehabilitation. The one exception is for windows; the wording of the code requires "two sheets of glass" rather than double-glazing (as it is usually interpreted) and therefore Code requirements can be met through the use of interior or exterior storm windows, or exempted under the heritage definitions of the Energy Efficiency Act.




CONSERVATION RECOMMENDATIONS

#	CHARACTER- DEFINING ELEMENTS	HERITAGE VALUE	CONSERVATION TREATMENT AND RECOMMENDATIONS	IMAGES
4.1	<p>Site and setting:</p> <ul style="list-style-type: none"> • Location on pilings extending into the Fraser River • Landmark on the Steveston waterfront • Surrounding Fraser River foreshore • Wooden walkway connection to boardwalk • Remains of wood pilings to the east and west • Wharves on the west and south of the building 	Retains the connection between Richmond as a modern city and the early maritime history of the area.	<p>The Seine Net Loft building has been situated in this location since its construction in 1955. The building should remain in this location, as its proximity to the Phoenix Cannery at the Britannia Heritage Shipyard National Historic Site is one of its most distinguishing character-defining elements and adds significantly to its heritage value.</p> <p>Every effort should be made, when possible, to retain heritage resources in situ. Relocation should only be considered when a resource has already been relocated, as an alternative to demolition, or for functional, rehabilitation requirements.</p> <p>As per <i>Standard and Guidelines for the Conservation of Historic Places in Canada</i>, page 22, #1 Conserve the heritage value of an historic place. Do not remove, replace or substantially alter its intact or repairable character defining elements. Do not move a part of an historic place if its current location is a character-defining element.</p>	

CONSERVATION RECOMMENDATIONS

#	CHARACTER-DEFINING ELEMENTS	HERITAGE VALUE	CONSERVATION TREATMENT AND RECOMMENDATIONS	IMAGES
4.2	<p>Building:</p> <ul style="list-style-type: none"> • Large rectangular massing • Heavy timber construction • Gabled hip roof with asbestos cladding • Regularly spaced, 4-paned square windows • Wooden door • Exterior encapsulated asbestos siding 	<p>The traditional building style and materials used in the construction of the Seine Net Loft connect it to the past traditions of the area and separate it from the contemporary structures of the surrounding neighbourhood.</p> <p>The Seine Net Loft reflects the cannery function of the facility, which dates to 1955, as part of the Phoenix Cannery.</p>	<p>The Character-Defining Elements of the building of the Seine Net Loft add significantly to its heritage value; conserve and maintain these Character-Defining Elements. The following conservation recommendations should be kept in mind whenever any conservation work is required on the Seine Net Loft in the future:</p> <ul style="list-style-type: none"> • Preserve all original elements, features, and materials of the building as defined in the character-defining elements section of the Statement of Significance. • Repair is preferred over replacement. Original wood elements should be considered for restoration before replication is considered. • Substitute materials, such as Hardie Board or combed or textured lumber, are not acceptable for replacement of any woodwork on the historic building. • Substitute materials, such as asphalt shingles, are not acceptable for replacement of the roofing material on the historic building. <p>Rehabilitation of Seine Net Loft's exterior wall and roofing cladding requires removal of all existing asbestos panels in its entirety. This intervention is consistent to <i>Standard and Guidelines for the Conservation of Historic Places in Canada</i>, pg. 247, "...Other natural and synthetic materials historically used in construction have since been found to be toxic and can pose health risks...".</p> <p>All new metal panels replacements to utilize saved asbestos sample panel for replication in size, shape and form. Provide sample for heritage review.</p> <p>Structural review of existing wood piles to determine extent of repairs and replacements. Replacement wood piles to be coated with environmentally appropriate coating. Provide product specifications prior for heritage and architectural review prior to application.</p>	

CONSERVATION RECOMMENDATIONS

#	CHARACTER-DEFINING ELEMENTS	HERITAGEVALUE	CONSERVATION TREATMENT AND RECOMMENDATIONS	IMAGES
4.3	<p>Interior:</p> <ul style="list-style-type: none"> • Massive interior volume • Wood floor • Wood posts with angled roof supports • Wood beams, rafters and ceiling • Wood staircase and mezzanine • Artifacts and exhibits 	<p>Provides the community with an opportunity to explore the actual structure of a net loft.</p>	<p>Conserve and maintain the interior character defining elements of the Seine Net Loft. Conserve the artifacts associated with the Seine Net Loft.</p> <p>The following conservation recommendations should be kept in mind whenever any conservation work is required on the Seine Net Loft in the future:</p> <ul style="list-style-type: none"> • Preserve all original elements, features, and materials of the building as defined in the character-defining elements section of the Statement of Significance. • Repair is preferred over replacement. Original wood elements should be considered for restoration before replication is considered. • Substitute materials, such as Hardie Board or combed or textured lumber, are not acceptable for replacement of any woodwork on the historic house. <p>The conservation of the artifacts associated with the Seine Net Loft should be based on 'Preventative Conservation', which emphasizes non-interventive actions to prevent damage to and minimize deterioration of artifacts in a collection. Such actions include:</p> <ul style="list-style-type: none"> • Monitoring and recording levels of environmental agents (e.g., light, relative humidity, temperature); • Inspecting and recording the condition of objects; • Controlling environmental agents; • Establishing a pest management system; • Practicing proper handling, storage, exhibit and housekeeping techniques; • Incorporating needed information and procedures regarding the collection in emergency management plans. 	 
4.4	<p>Intangible Cultural Features:</p> <ul style="list-style-type: none"> • Continued use for boat building and repair, • Oral histories • Community uses such as interpretive tours, festivals, events and park use 	<p>Provides the public with educational and interpretive opportunities.</p>	<p>Conserve and maintain the use of Seine Net Loft as a community space. Should this use prove to be economically unviable, a historically compatible use should be identified.</p>	

**Excerpt from the Minutes of
The Richmond Heritage Commission Meeting**

**Wednesday, December 7, 2022 – 7:00 p.m.
Webex meeting**

b) Heritage Alteration Permit Application for 5180 Westwater Drive (HA22-026415)

Rebecca Clarke, Manager of Museum and Heritage Services, provided an overview of the Heritage Alteration Permit application to repair and replace various elements of the envelopes of the buildings located at the Britannia Shipyards National Historic Site with the aid of photo slides. Ms. Clarke highlighted the following information:

- Most of the proposed changes are repairs or like-for-like replacements.
- A synthetic roofing material that resembles the appearance of cedar roof is proposed for the modern addition attached to the Murakami House.
- The Richmond Boat Builders building will receive significant upgrades, including siding replacement, window repairs and upgrades to the mechanical system on a like-for-like basis.
- The mechanical ventilation system of all the stilt buildings will be upgraded to address water issues in the crawl space, and some changes may be visible on the exterior.
- A Heritage Alteration Permit was issued in 2021 to replace the exterior door on the south side of the Chinese Bunkhouse. Doors on the north and east sides will also be replaced to match the new door which is more in keeping with the heritage character of the building.

The Commission expressed concerns regarding the proposed synthetic roofing material for the addition of the Murakami House, noting that cedar roof can last long even on a low pitched roof, if installed properly. The Commission also noted that a synthetic material would be more noticeable if it is installed immediately adjacent to cedar roof.

In response to the Commissions' questions, staff provided the following information.

- A synthetic material is selected since the addition has no heritage value and using the same material (i.e., cedar) can be misleading and can create "false" heritage.
- Cost is not an overriding factor in the decision to use the synthetic roofing material.

Discussion ensued regarding the roofing material. The Commission noted that, if the objective is to differentiate the non-heritage addition from the historic Murakami House, it can be better achieved by using a more contrasting material such as metal, and this approach would be consistent with the approach used for the Richmond Boat Builders Building.

The Commission appreciated the comprehensiveness of the presentation and well thought-out details of the proposed work, particularly to the Richmond Boat Builders Building. The Commission requested that the comments regarding the synthetic roofing material be considered and discussed with the heritage professionals involved in the project.

It was moved and seconded:

That the Heritage Alteration Permit application (HA 22-026415) be supported subject to consideration of the comments regarding the proposed roofing material for the Murakami House addition made by the Richmond Heritage Commission.

CARRIED



File No.: HA 22-026415

To the Holder: City of Richmond (c/o Abbas Stancioff Clayton)
Property Address: 5180 Westwater Drive & 12451 Trites Road (Britannia Shipyards)
Legal Description: LOT 1 EXCEPT: FIRSTLY; PART SUBDIVIDED BY PLAN 72772, SECONDLY;
PART SUBDIVIDED BY PLAN 77126, THIRDLY; PART SUBDIVIDED BY PLAN
NWP87861, SECTION 11 AND 12 BLOCK 3 NORTH RANGE 7 WEST NEW
WESTMINSTER DISTRICT PLAN 70037

(s.617, *Local Government Act*)

1. (Reason for Permit)
 - Designated Heritage Property (s.611)
 - Property Subject to Temporary Protection (s.609)
 - Property Subject to Heritage Revitalization Agreement (s.610)
 - Property in Heritage Conservation Area (s.615)
 - Property Subject to s.219 Heritage Covenant (Land Titles Act)
2. This Heritage Alteration Permit applies to and only to those lands shown cross-hatched in Schedule A.
3. This Heritage Alteration Permit is issued to authorize the following work to the buildings at 5180 Westwater Drive and 12451 Trites Road as identified in the attached Plans #1 to #24.
 - Wood siding, fascia, and exterior trim boards: repairs or like-for-like replacement as required on Richmond Boat Builders, Murakami Boatworks, Murakami House, Winch Shed, Chinese Bunkhouse, Manager's House, Point House, Men's Bunkhouse, and Visitor's Centre;
 - Gutters and down spouts (wood and metal): repairs or like-for-like replacement as required on Richmond Boat Builders, Murakami Boatworks, Murakami House, Chinese Bunkhouse Manager's House, Point House, Men's Bunkhouse, and Visitor's Centre;
 - Exterior doors and windows:
 - Repair or like-for-like replacement as required on Richmond Boat Builders and Winch Shed; and
 - Replace exterior fiberboard doors on north and east side of Chinese Bunkhouse with solid wood doors in keeping with original character and as undertaken with the south side doors in 2021 (HA 21-939633);
 - Roof systems:
 - Replace metal roofing with cedar shingle and reinstate abandoned skylights on Richmond Boat Builders to be in keeping with original heritage character of building.
4. This Heritage Alteration Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
5. If the alterations authorized by this Heritage Alteration Permit are not completed within 24 months of the date of this Permit, this Permit lapses.
6. This is not a Building Permit.

AUTHORIZING RESOLUTION NO. <Resolution No.> ISSUED BY THE COUNCIL THE DAY OF
<Date>

DELIVERED THIS <Day> DAY OF <Month>, <Year>

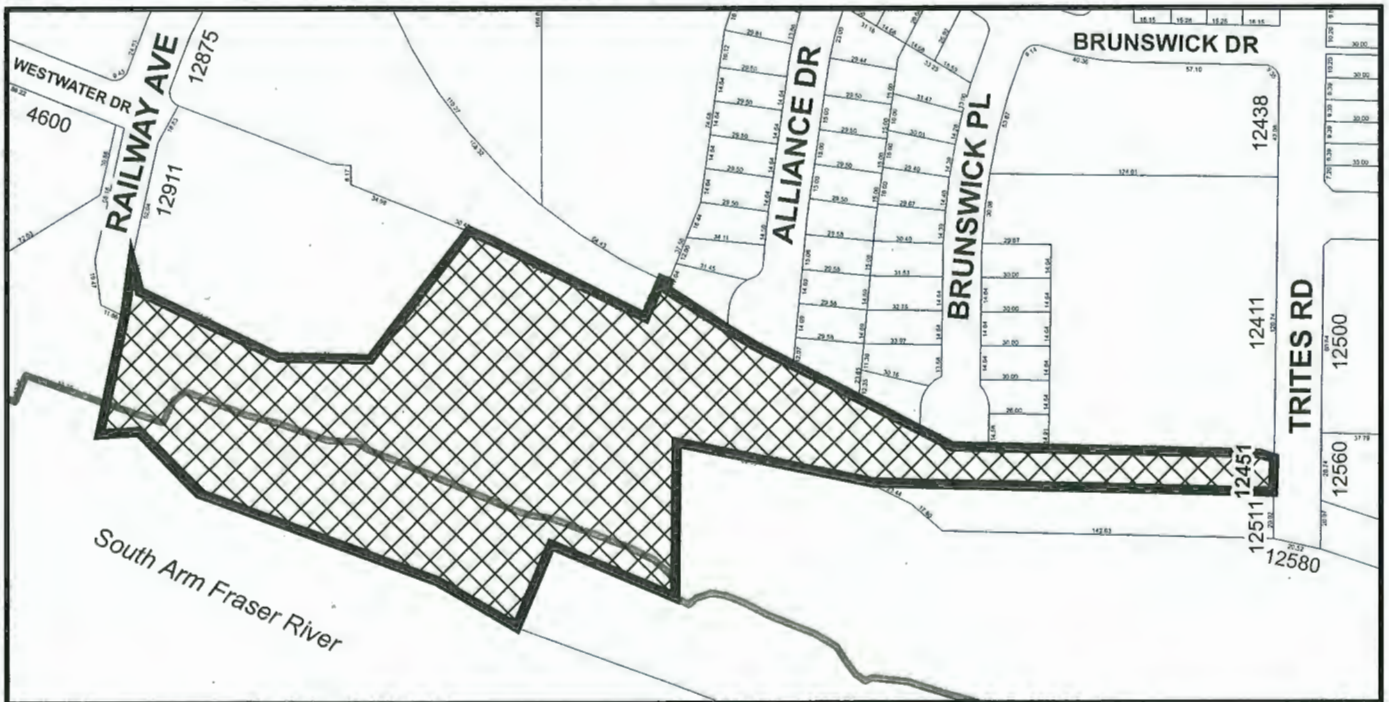
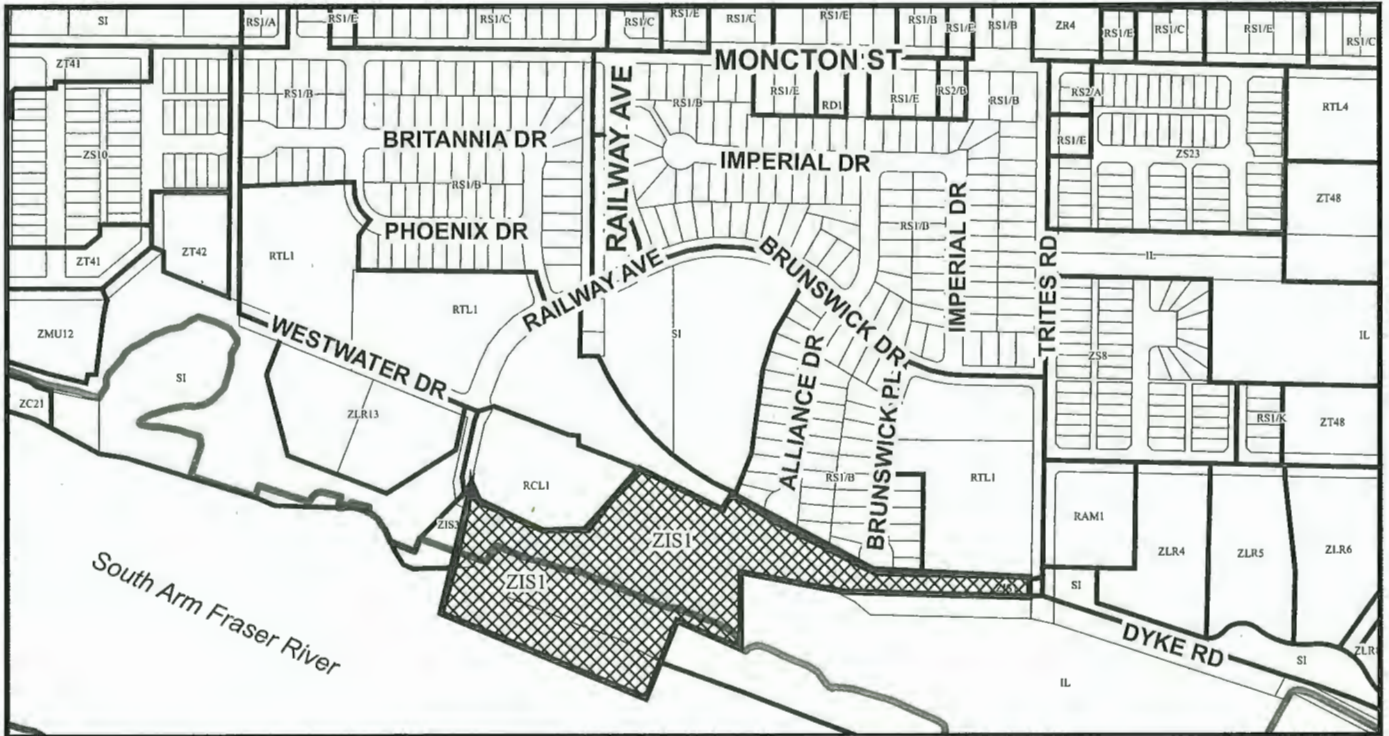
MAYOR

CORPORATE OFFICER

IT IS AN OFFENCE UNDER THE *LOCAL GOVERNMENT ACT*, PUNISHABLE BY A FINE OF UP TO \$50,000 IN THE CASE OF AN INDIVIDUAL AND \$1,000,000 IN THE CASE OF A CORPORATION, FOR THE HOLDER OF THIS PERMIT TO FAIL TO COMPLY WITH THE REQUIREMENTS AND CONDITIONS OF THE PERMIT.



City of Richmond



	<h2>HA 22-026415</h2> <h1>SCHEDULE "A"</h1>	<p>Original Date: 11/28/22</p> <p>Revision Date:</p> <p>Note: Dimensions are in METRES</p>
--	---	--

BRITANNIA ENVELOPE AND MECHANICAL RENEWALS - 5180 WESTWATER DR, RICHMOND

CLIENT CONSULTANT TEAM

CITY OF RICHMOND
 4th Floor, 6500 Miexon Blvd
 Richmond, BC V6Y 1Y3
 t: 604.204.8519
 c: 604.462.021

Contact: Abbas Steneloff Clayton,
 Project Manager
 Email: asteneloff@richmond.ca

Architect/ Building Envelope - Prime Consultant
Elemental Architecture and Interiors Inc.
 ARCHITECTURAL AND BUILDING SCIENCE SOLUTIONS
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 Burnaby, BC V5C 6P8
 t: 604.668.6980
 f: 604.668.3387
 Contact: Teru Shimabashi, Architect ABC,
 Email: tshimabashi@elemental.ca

Structural Consultant
CVMM Consulting Engineers Ltd.
 2nd Floor, 1412 West 7th Avenue
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 TEL: 604.731.6584 ext 150
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Heritage Consultant
Donald Luxton & Associates Inc.
 #1030 - 470 Connaught St
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 Contact: Donald Luxton, FRAC,
 Email: donald@donaldluxton.com

MECHANICAL
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 604.897.1800x2112
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 Email: paulrichards@integralgroup.com

ELECTRICAL
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 Principal
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QUANTITY SURVEYOR
James Bush & Associates
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 Suite 3722 197th St
 Langley, BC V2A 1B3
 TEL: 604.533.8004
 Contact: Jim Bush
 Email: jimbush@jbsa.ca

LEGAL DESCRIPTION

#	SUBDIVISION	PROVISION	DATE
1	MAIN	CONVEYANCE	2002.05.03
2	REVISION	FOR CLARITY	2022.11.17
3	REVISION	FOR CLARITY	2022.11.17
4	REVISION	FOR TYPING	2022.11.14

ABBREVIATIONS

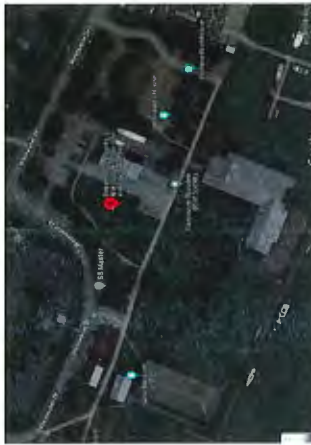
AB	AIR BARRIER	SS	STAINLESS STEEL
ARCH	ARCHITECTURAL	TOP OF	TOP OF FLOOR
BLDG.	BUILDING	UPPER SIDE	UPPER SIDE
CONC.	CONCRETE	VAPOUR BARRIER	VAPOUR BARRIER
CONT.	CONTINUOUS	WATER RESISTIVE BARRIER	WATER RESISTIVE BARRIER
CT	CERAMIC TILE	WELDED WIRE MESH	WELDED WIRE MESH
CMU	COMPLETE WITH		
CS	COMPLETE WITH		
DB	DOWNSPOUT		
DWG	DRAWING		
ELL	ELEVATION		
FC	FLOOR FINISH		
FCD	FIBRE CEMENT BOARD		
FD	FLOOR DRAIN		
FG	FIXED GLASS		
GLV	GALVANIZED		
GNB	GYPSUM WALL BOARD		
HB	HOSE BIB		
INSUL	INSULATION		
INTACT	INTACT		
MCH	MECHANICAL		
MECH.	MECHANICAL		
NOT TO SCALE	NOT TO SCALE		
O/C	ON CENTRE		
P	PERMANENT		
POLY	POLYURETHANE		
PVC	POLYVINYL CHLORIDE		
RD	ROOF DRAIN		
ROOF	ROOF		
SA	SELF ADHERED		
SEB	SELF ADHERED BUTA-DIENE STYRENE		
SS	STAINLESS STEEL		
TP	TOP OF		
U/S	UNDER SIDE		
VB	VAPOUR BARRIER		
WATER RESISTIVE BARRIER	WATER RESISTIVE BARRIER		
WWS	WATER RESISTIVE BARRIER		
WWM	WELDED WIRE MESH		

GENERAL NOTES:

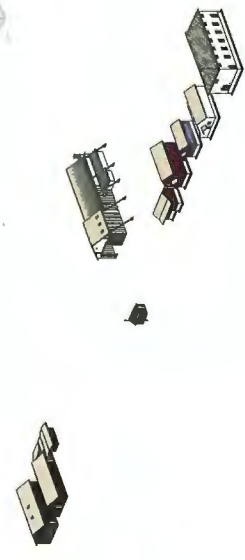
- 1.0 THE FOLLOWING GENERAL CONDITIONS ARE TO BE USED EXCLUSIVELY FOR BRITANNIA SHIPYARDS. PUBLICATION OF THESE NOTES IN PART, OR IN WHOLE, IS NOT PERMITTED WITHOUT WRITTEN APPROVAL FROM ELEMENTAL ARCHITECTURAL AND BUILDING SCIENCE SOLUTIONS.
- 2.0 THE DRAWINGS WERE PREPARED FROM POINT CLOUD SCAN.
- 3.0 THE CONTRACTOR SHOULD VERIFY ALL DIMENSIONS ON SITE PRIOR TO PROCEEDING WITH THE WORK.
- 4.0 THESE NOTES ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL DETAILS AND SPECIFICATIONS. IF THERE IS A CONTRADICTION BETWEEN THE NOTES AND THE ARCHITECTURAL REQUIREMENTS OR SPECIFICATIONS, PLEASE NOTIFY THE ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH WORK.
- 5.0 ALL WORK REPLACING EXISTING WORK IS TO BE COMPLETED AS PER BCBC 2018
- 6.0 PROTECT ALL LANDSCAPING AND ROADWORK DURING CONSTRUCTION. PROTECT NATURAL HABITAT AND PREVENT EROSION OF SOILS DUE TO RUN OFF.
- 7.0 WHERE APPLICABLE, THE MANUFACTURER'S WRITTEN PRODUCT RECOMMENDATIONS SHALL TAKE PRECEDENCE OVER THESE WRITTEN RECOMMENDATIONS.
8. THESE NOTES ARE NOT INTENDED TO ADDRESS OR CONFLICT WITH ANY OTHER NOTES OR SPECIFICATIONS INCLUDING ELECTRICAL, ACUSTIC, AND ANY OTHERS.
9. TEMPORARY MEASURES, SITE SAFETY, MEANS, SEQUENCE AND OVERALL PROJECT CO-ORDINATION REMAINS THE RESPONSIBILITY OF THE CONTRACTOR.

DRAWING LIST:

- A5.0 COVER PAGE & DRAWING LIST
- A1.0 SITE PLAN
- A1.1 CHINESE BUNK-HOUSE- EXISTING AND DEMOLITION
- A1.8 BOAT BUILDERS BUILDING- EXISTING AND DEMOLITION
- A1.7 POINT HOUSE CARE TAKER - EXISTING AND DEMOLITION
- A1.5 MURAKAMI BOAT WORKS - EXISTING AND DEMOLITION
- 1
- A1.6 MURAKAMI HOUSE- PLANS
- A1.3 MANAGER'S HOUSE- EXISTING AND DEMOLITION
- A1.9 WING HOUSE- EXISTING AND DEMOLITION
- A1.2 SHIP- EXISTING AND DEMOLITION
- A0.1 SCHEDULES
- 2
- A1.8_Bg_Building Sections
- A1.1 CHINESE BUNK-HOUSE BUILDING SECTIONS
- 2
- A1.1 CHINESE BUNKHOUSE ELEVATIONS
- A1.8 ROOF PLAN
- 1
- A1.8_3D IMAGES
- A2.1 ROOFING DETAILS
- B
- A1.8 ELEVATIONS AND SECTIONS
- B
- A1.9 ROOFING AND WINDOW DETAILS
- 4
- A1.8 BOAT BUILDERS BUILDING DETAILS
- A1.9 ROOF PLAN
- A1.8 EAST ELEVATIONS
- 2B



SITE LOCATION



RENDER

LINE TYPE LEGEND

---	BUILDING PAPER
---	FLASHING IMPERMEABLE (S.A.M)
---	UNDERLAYMENT
---	POUR AIR BARRIER
---	ROOFING 2 PLY SBS
---	METAL FLASHING (THICK)
---	METAL FLASHING (THIN)
---	ROOT BARRIER
---	FILTER FABRIC
---	DRAINAGE MAT
---	PROPERTY LINE
---	PVC MEMBRANE

HATCH LEGEND

	BATT INSULATION
	EARTH
	CEMENT BOARD
	CONCRETE
	CONCRETE BLOCK
	GRAVEL
	GYPSUM WALL BOARD
	PLYWOOD
	RIGID INSULATION
	EXPANDED EPS TYPE 2 INSULATION
	EXPANDED EPS TYPE 4 INSULATION
	SEMI RIGID MINERAL WOOL INSULATION
	POLYURETHANE INSULATION

The following schedule assemblies are shown with the appropriate details of construction and materials. The contractor shall verify the details and materials are appropriate for the project and shall be responsible for providing all materials and labor for the construction of the assemblies. The contractor shall verify the details and materials are appropriate for the project and shall be responsible for providing all materials and labor for the construction of the assemblies.

#	DESCRIPTION	REVISION	DATE
1	BASE DRAWING		2022.02.03
2	REVISION FOR CLIENT		2022.11.17
3	REVISION FOR CLIENT		2023.01.17
4	LIMITED FOR TENDER		2023.01.14

elemental
 ARCHITECTURE AND INTERIORS INC.
 1000 WESTWATER DR
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 TEL: 604.273.8899
 FAX: 604.273.8898

**BRIANNIA
 ENVELOPE AND
 MECH.
 RENEWALS
 PROJECT - 1**

5180 WESTWATER DR
 RICHMOND
 V6V 1P6

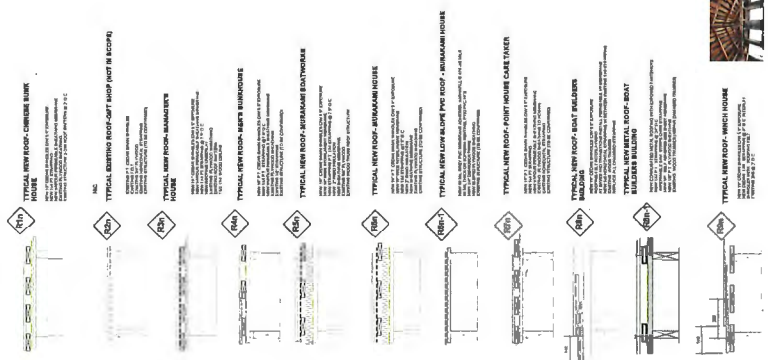
SCALE	AS SHOWN
PROJECT NUMBER	2022
DRAWN BY	TA
DATE	2023.02.01
BASE DRAWING	
CHECKED BY	TRU

SCHEDULES
 DRAWING #
A0.1

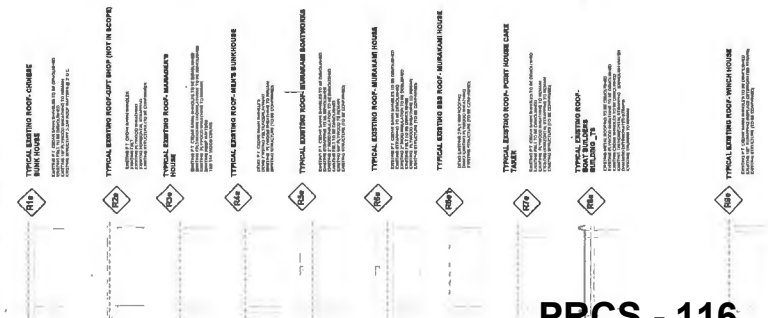
TYPE	TYPE MARK	DESCRIPTION
	1	BBB W1
	2	BBB W2
	3	WH W1

WINDOW SCHEDULE
 1:30

PROPOSED ROOF ASSEMBLIES

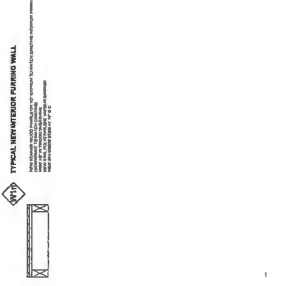


EXISTING ROOF ASSEMBLIES TO BE DEMOLISHED

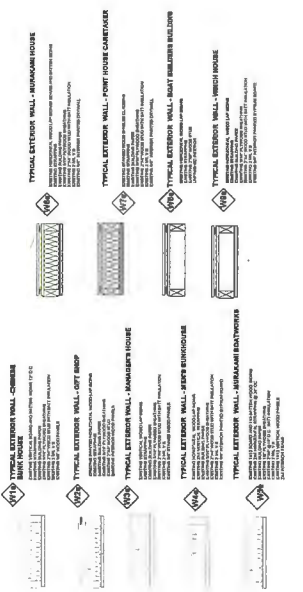


PRCS - 116

NEW WALL ASSEMBLIES



EXISTING WALL ASSEMBLIES



WALL SCHEDULE
 1:12

The Project is subject to the following conditions:
 1. The Project is subject to the following conditions:
 2. The Project is subject to the following conditions:
 3. The Project is subject to the following conditions:
 4. The Project is subject to the following conditions:
 5. The Project is subject to the following conditions:
 6. The Project is subject to the following conditions:
 7. The Project is subject to the following conditions:
 8. The Project is subject to the following conditions:
 9. The Project is subject to the following conditions:
 10. The Project is subject to the following conditions:

#	REVISION/REMARKS	DATE
1	BASE CHANGES	2023.03.15
2	REVISIONS FOR COMMENTS	2023.03.17
3	REVISIONS FOR COMMENTS	2023.03.17
4	REVISIONS FOR COMMENTS	2023.03.17

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**BRITANNIA
 ENVELOPE AND
 MECH.
 RENEWALS
 PROJECT -1**

8148 WESTWATER DR
 RICHMOND
 BC
 V6X 3E9

SCALE: 1:100

PROJECT NUMBER: 2202

DRAWN BY: J.A.

DATE: 2023.03.15

BASE CHANGES

CHECKED BY: TEG

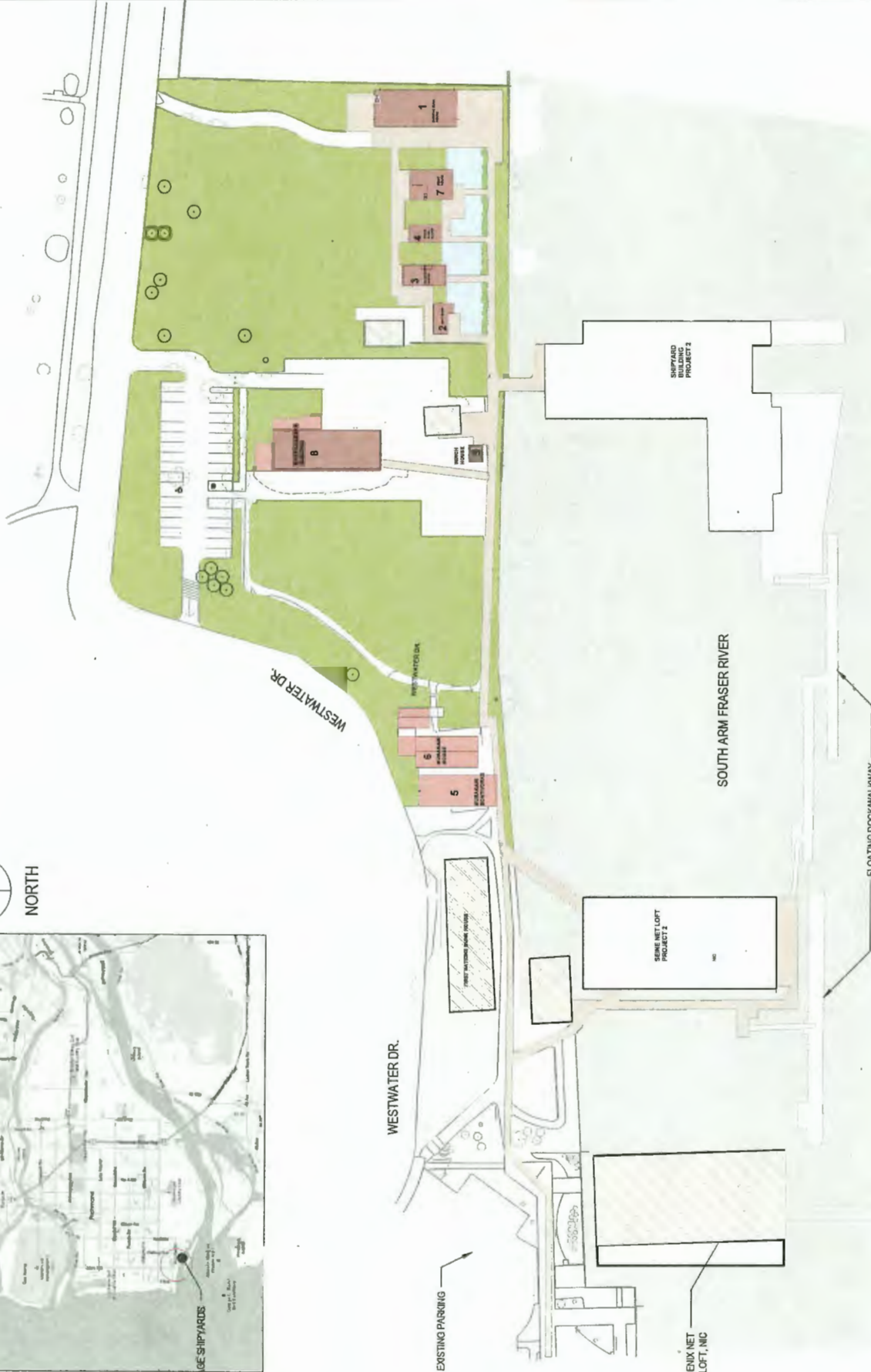
SITE PLAN

DRAWING #: A1.0



BRITANNIA HERITAGE SHIPYARDS

PRCS - 117



① SITE PLAN NEW
 1:100

The drawings are prepared by the Architectural Firm for the use of the Client. The Client is responsible for the accuracy of the information provided. The Architectural Firm is not responsible for the accuracy of the information provided by the Client. The Architectural Firm is not responsible for the accuracy of the information provided by the Client.

#	DESCRIPTION	DATE
1.	BASE DRAWINGS	2022.02.03
2.	REVISED FOR PERMITS	2022.03.17
3.	REVISED FOR PERMITS	2022.03.17
4.	REVISED FOR PERMITS	2022.03.04

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BRITANNIA
ENVELOPE AND
MECH.
RENEWALS
PROJECT -1

6155 WESTWATER DR
BC
RICHMOND
V6V 4P4

SCALE: 1:200

PROJECT NUMBER: 2002

DRAWN BY: JN

DATE: 2022.03.03

DATE CHANGED:

CHECKED BY: JN

ROOF PLAN

DRAWING #:

A1.0-1

- PROJECT 1 - NEW CLIMB ROOF
- PROJECT 1 - NEW METAL ROOF
- PROJECT 1 - NEW TRANSPARENT ROOF
- PROJECT 1 - EXISTING ROOF
- NOT IN SCOPE OF WORK



BRITANNIA HERITAGE SHIPYARDS

WESTWATER DR.

EXISTING PARKING

PHOENIX NET
LOFT, NIC

SOUTH ARM FRASER RIVER

FLOATING DOCK/WALKWAY

1. BRIDGE PLACEMENT
1:1000

The information contained herein is for the use of the recipient only. It is not to be distributed, copied, or otherwise used for any other project without the express written consent of the architect. The architect shall not be responsible for any errors or omissions in this document, or for any consequences arising from the use of the information herein.

REVISIONS REVISION DATE
 1. BASIC DRAWING 02/22/2010
 2. REDESIGN FOR CLIENT 02/22/11
 3. REDESIGN FOR CLIENT 02/22/11
 4. DESIGNED FOR TENDER 02/22/11

REPAIRING EXISTING BRICK
 ROOF REPLACEMENT
 MECH. RENOVATIONS
 ROOFING/MECHANICAL DUCT
 REPAIRING

elemental
 ARCHITECTURE AND INTERIORS INC.
 1000 W. 10TH AVE. SUITE 100
 DENVER, CO 80202
 T: 303.733.8888
 F: 303.733.8227

**BRTIANNIA
 ENVELOPE AND
 MECH.
 RENEWALS
 PROJECT - 1**

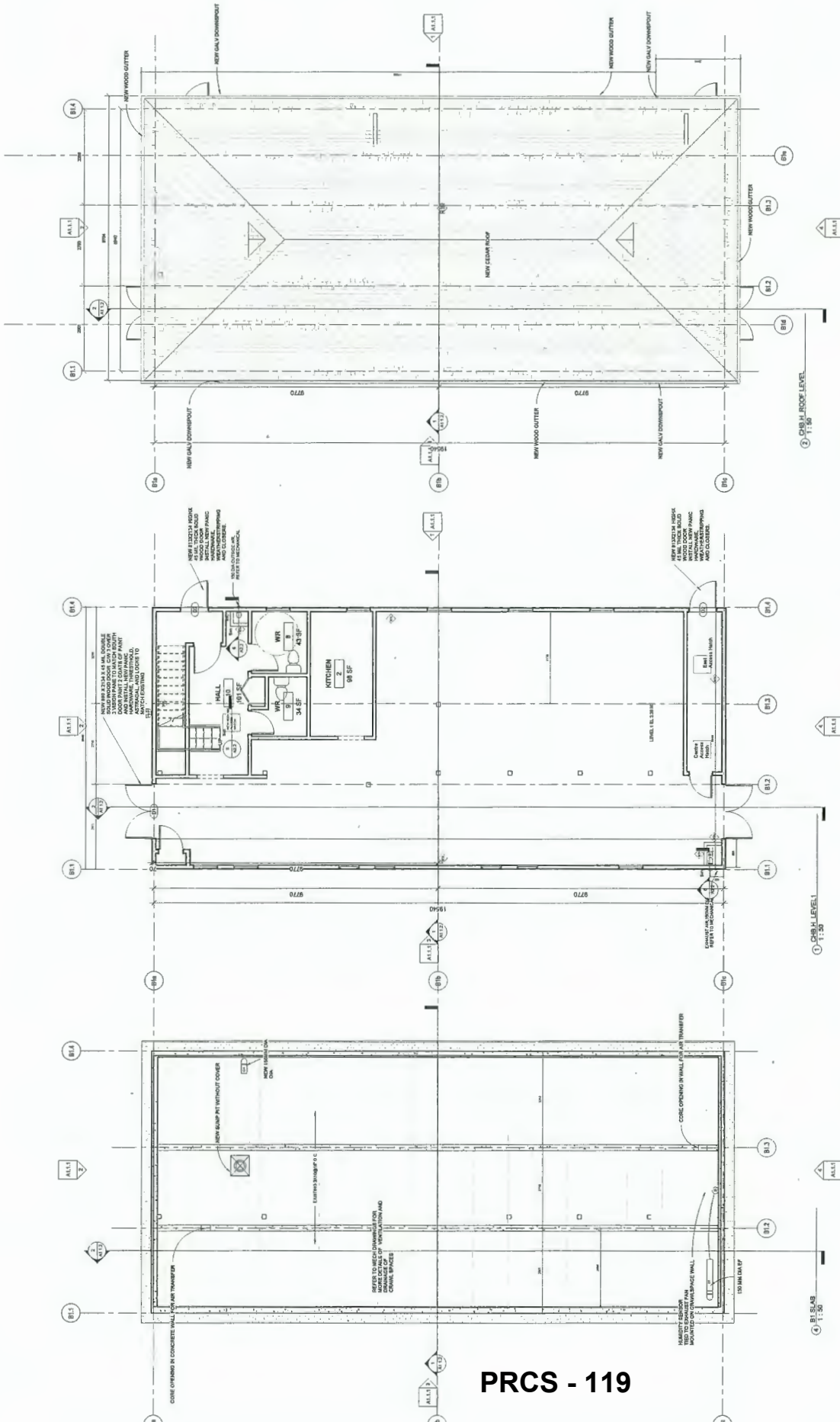
5100 WESTWATER DR
 RICHMOND
 VTE 8P3

SCALE 1:80

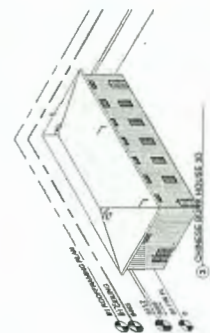
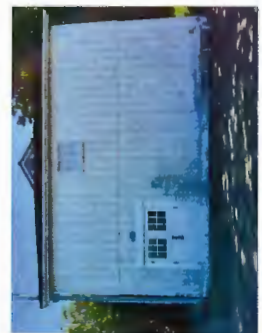
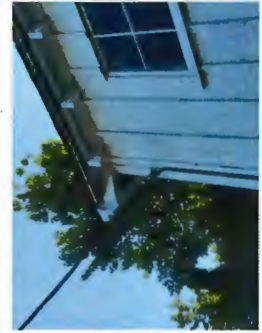
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 DRAWN BY: SA
 DATE: 2010-02-23
 NAME: DRAWING
 CHECKED BY: TRUJ

**CHINESE BUNK
 HOUSE-
 EXISTING AND
 DEMOLITION**
 DRAWING #

A1.1



PRCS - 119



The following schedule is intended to provide a general overview of the project. It is not intended to be a contract document. The schedule is subject to change without notice. The schedule is not intended to be a contract document. The schedule is subject to change without notice.

DESCRIPTION	DATE
1. BASE DRAWING	02/28/23
2. REVISIONS	03/01/23
3. REVISED FOR CLARITY	03/11/23
4. REVISED FOR TENDER	03/21/23

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**BRIANNIA
ENVELOPE AND
MECH.
RENEWALS
PROJECT -1**

8100 WESTWATER DR
RICHMOND
VA 23133

SCALE: 1:20

PROJECT NUMBER: 002

DRAWN BY: SA

DATE: 03/01/23

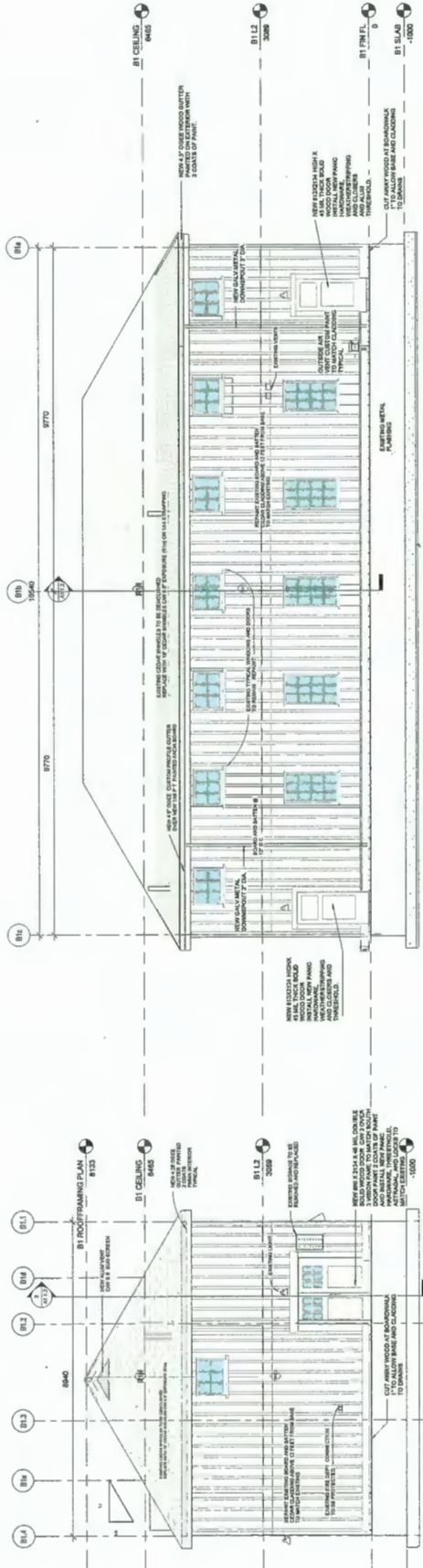
BASE DRAWING:

CHECKED BY: TGL

DATE:

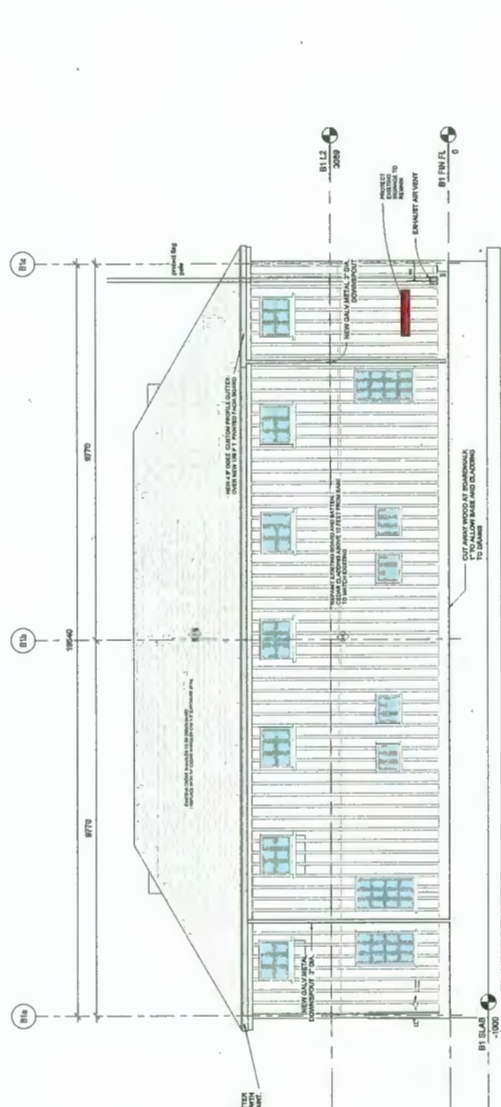
CHINESE
BUNKHOUSE
ELEVATIONS

DRAWING #: A1.1.1



1. B1 WEST ELEVATION
1:20

2. B1 SOUTH ELEVATION
1:20



3. B1 WEST ELEVATION
1:20

4. B1 SOUTH ELEVATION
1:20

NOTE: ANY PROPOSED MECHANICAL INTERFERENCES THAT WILL AFFECT MECHANICAL ROOMS SHALL BE IDENTIFIED AND RESOLVED PRIOR TO FABRICATION AND INSTALLATION.



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#	REVISION/NOTATION	DATE
1.	BASE DRAWINGS	2022.02.15
2.	REVISION FOR PERMITS	2022.02.17
3.	REVISION FOR PERMITS	2022.02.17
4.	REVISION FOR TENDER	2022.02.18

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 1000 WEST WATSON DRIVE
 RICHMOND, BC V6X 3A7
 TEL: 604.273.8888
 FAX: 604.273.8887

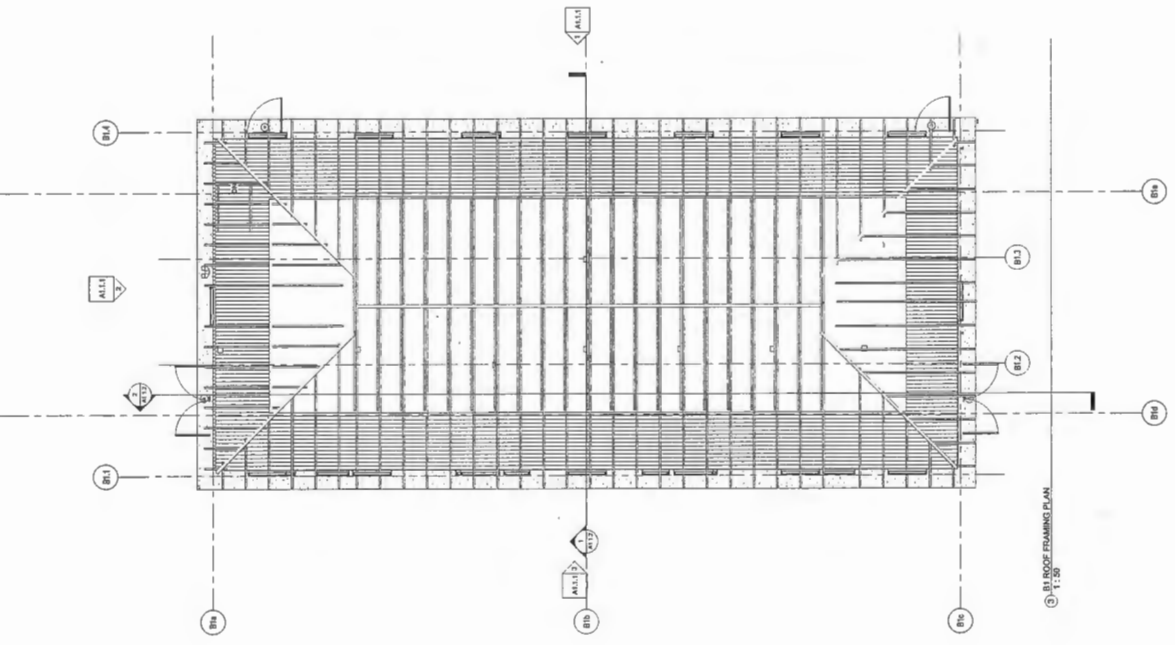
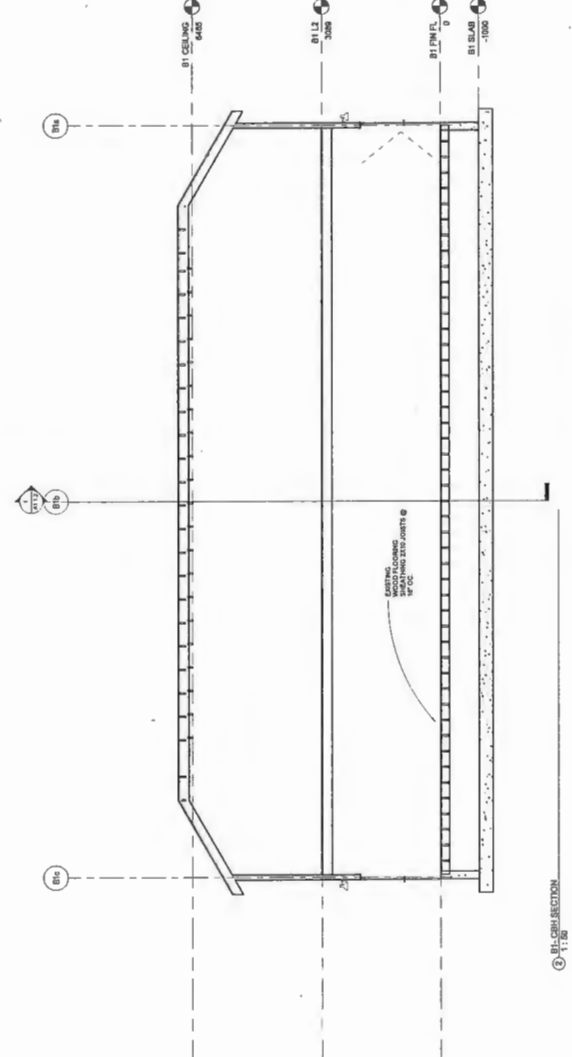
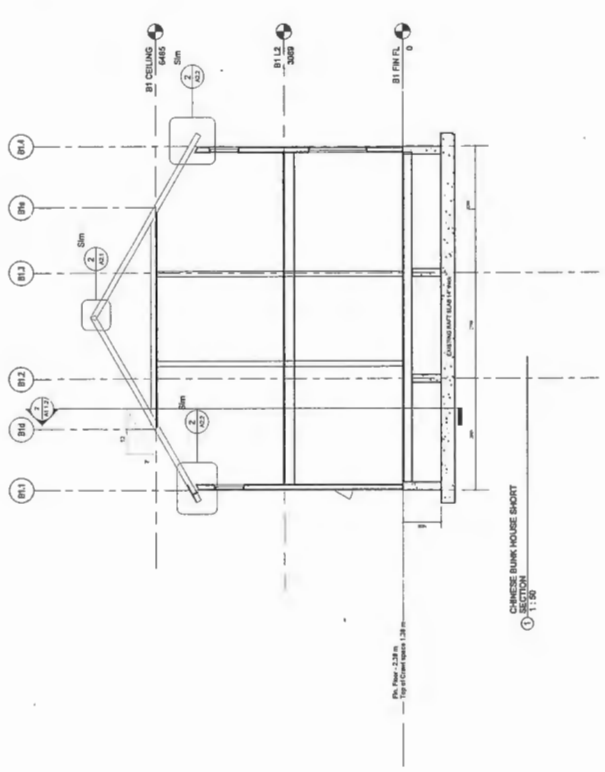
**BRITANNIA
 ENVELOPE AND
 MECH.
 RENEWALS
 PROJECT -1**

2100 WEST WATSON DR
 RICHMOND
 V6X 3A7
 VTE B/C

SCALE:	1:20
PROJECT NUMBER:	2022
DRAWN BY:	RA
DATE:	2022.02.15
MARK DRAWN BY:	
CHECKED BY:	TRAL

**CHINESE BUNK
 HOUSE BUILDING
 SECTIONS**

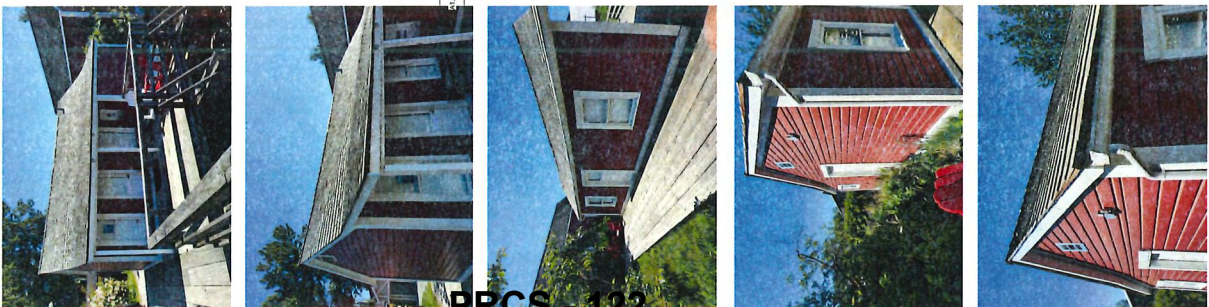
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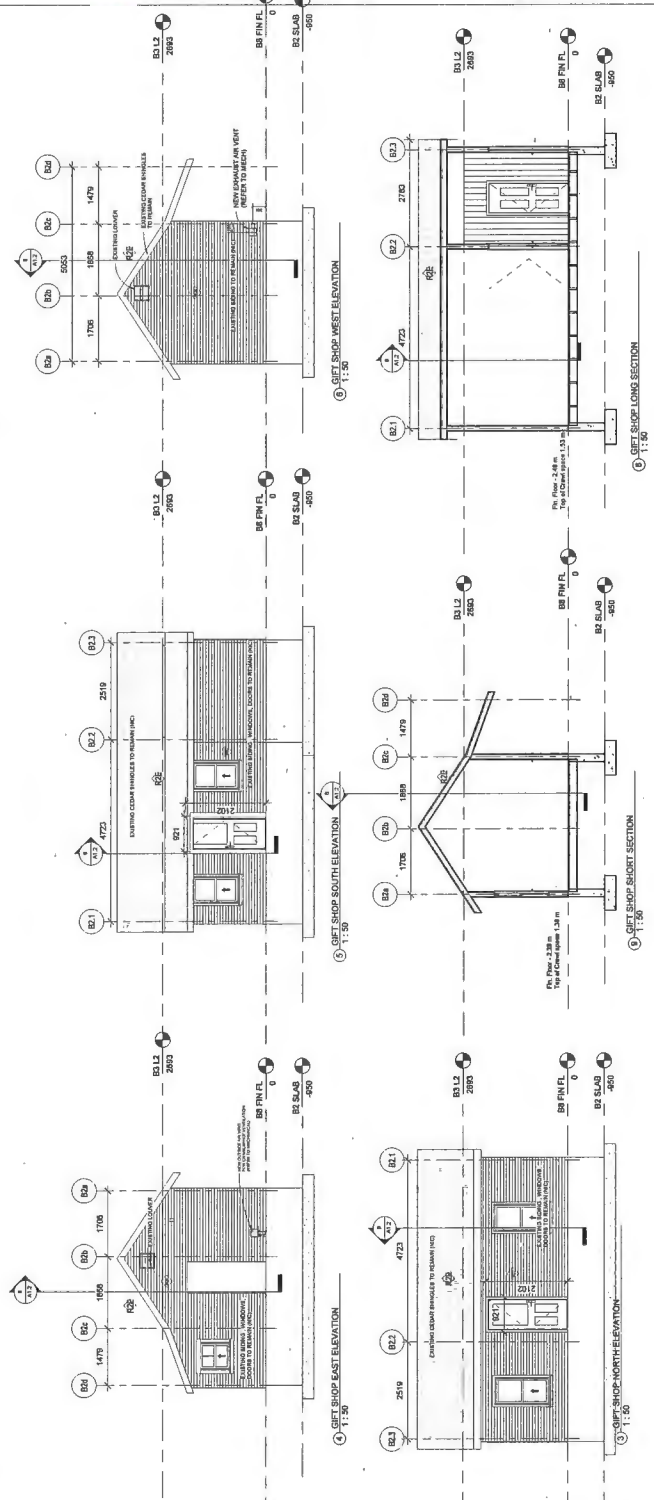
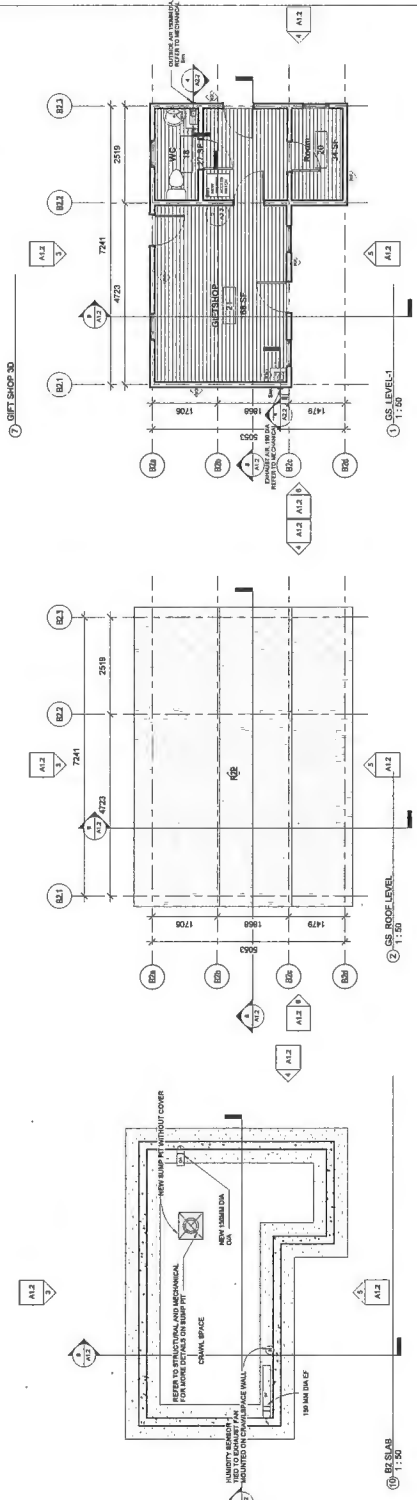
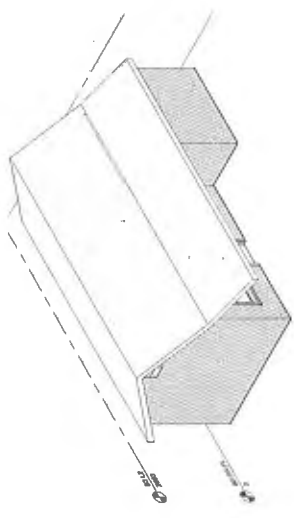
1. BASE DRAWING: 2022.03.03
 2. REVISED FOR CLARITY: 2022.03.17
 3. REVISED FOR CLARITY: 2022.03.17
 4. UNRECORDED FOR TOWER: 2022.03.14

NOTES: 1. ALL DIMENSIONS ARE IN FEET AND INCHES. 2. ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR. 3. ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR. 4. ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR.

BUILDING - 2 GIFT SHOP - SCOPE OF WORK:
 FOUNDATION/CRAWLSPACE VENTILATION AND DRAINAGE WITH SUMP PUMP



FRCS 122



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 ARCHITECTURE AND INTERIORS INC.
 1000 WESTWATER DR
 RICHMOND, VA 23260
 TEL: 804-348-8800
 FAX: 804-348-8801

**BRIANNIA
 ENVELOPE AND
 MECH.
 RENEWALS
 PROJECT - 1**

1000 WESTWATER DR
 RICHMOND
 VTE 8P3

SCALE: 1:30
 PROJECT NUMBER: 2002
 DRAWN BY: MA
 DATE: 2022.03.03
 DATE DRAUGHT: 2022.03.17
 BASE DRAINAGE:
 CHECKED BY: TAPU

**GIFT SHOP -
 EXISTING AND
 DEMOLITION**
 DRAWING #:
A1.2

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REVISION NUMBER	DATE
1	2023.08.24
2	2023.08.24
3	2023.08.24
4	2023.08.24

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1000 WESTWATER DR
RICHMOND, VA 23227
TEL: 804.998.8899
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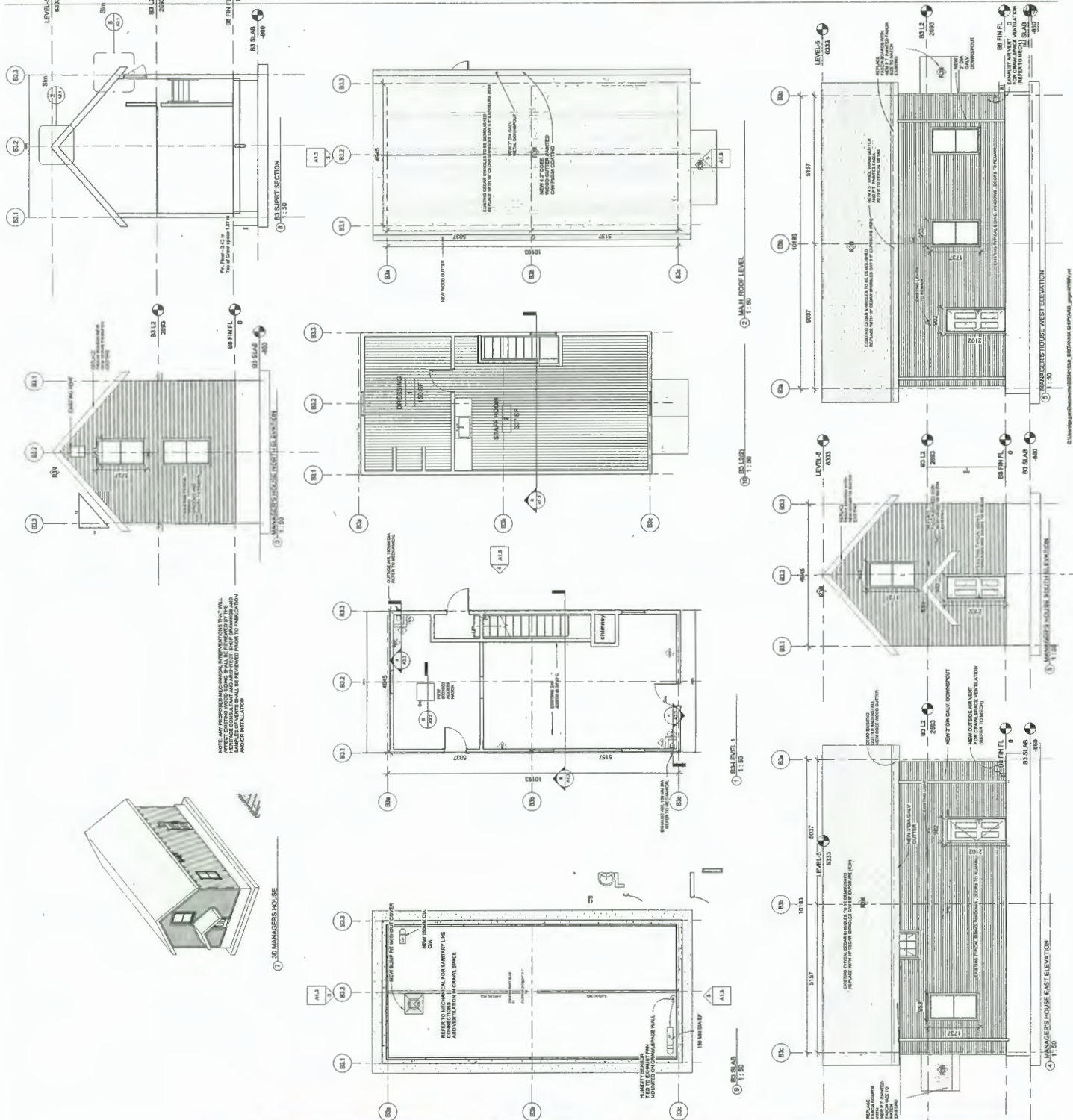
**BRITANNIA
ENVELOPE AND
MECH.
RENEWALS
PROJECT -1**

5100 WESTWATER DR
RICHMOND
VA 23227

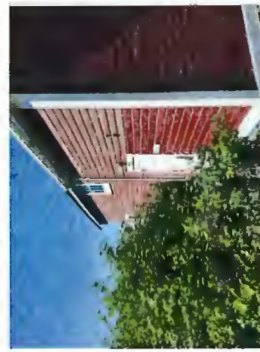
SCALE	1:30
PROJECT NUMBER	2023
DRAWING DATE	2023.08.24
DATE PLOTTED	2023.08.24
CHECKED BY	TRELL

**MANAGER'S
HOUSE
EXISTING AND
DEMOLITION**

DRAWING #:
A1.3

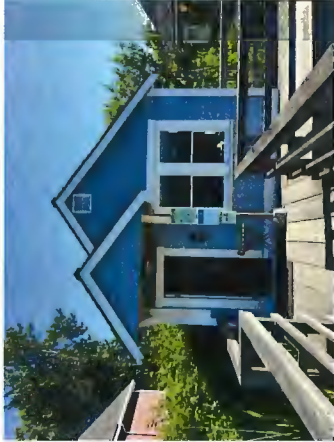


**BUILDING -3 MANAGER'S HOUSE-
SCOPE OF WORK:**
ROOF REPLACEMENT
UPPER FLOOR REPAIRS (NIC)
STRUCTURAL REPAIRS
FOUNDATION/CRAWLSPACE



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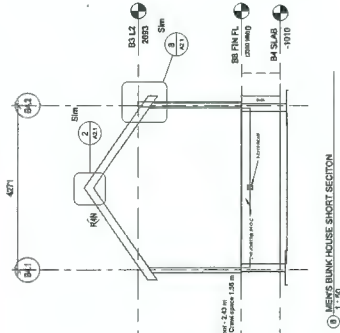
#	REVISIONS	DATE
1.	BASE DRAWINGS	2023.03.29
2.	REVISED FOR PERMITS	2023.11.17
3.	REVISED FOR CLARITY	2023.11.17
4.	REVISED FOR TENDER	2023.11.14



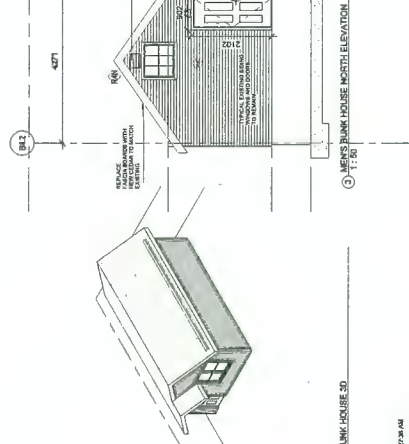
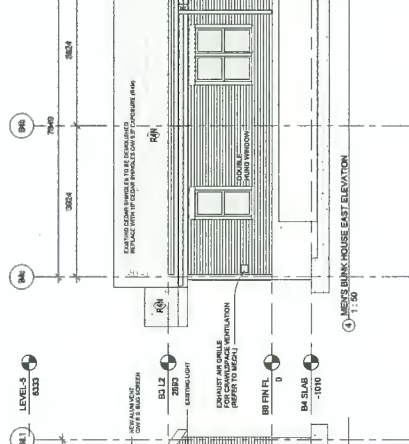
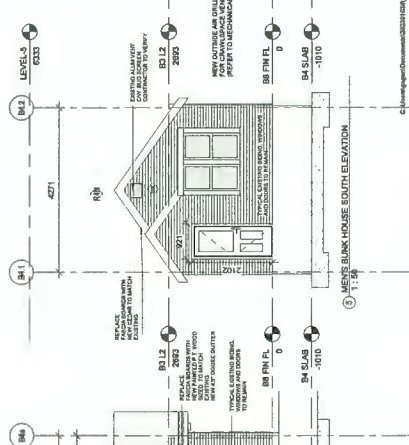
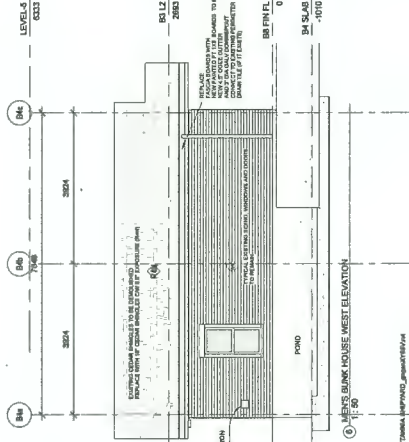
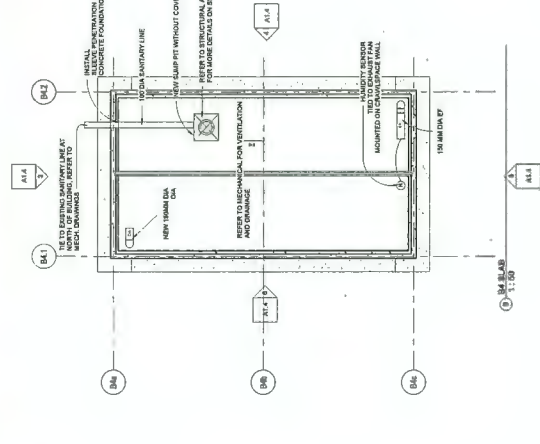
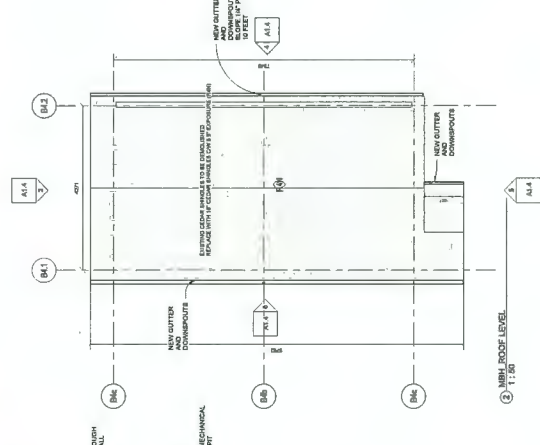
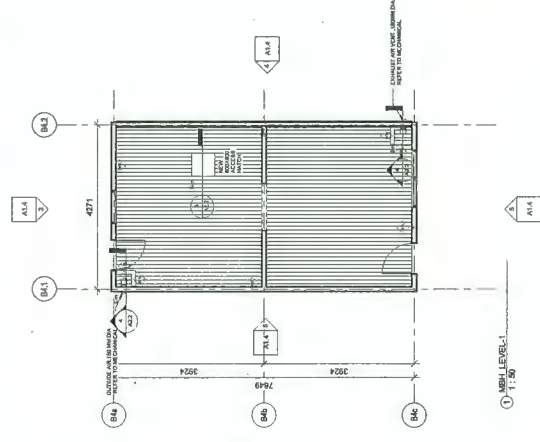
BUILDING -4 MEN'S BUNKHOUSE-SCOPE OF WORK:

FOUNDATION/CRAWLSPACE

NOTE: ALL FOUNDATIONAL/MECHANICAL INTERFERENCES THAT WILL AFFECT EXISTING WORK SHOULD BE RECORDED BY THE CONTRACTOR. ALL WORK SHALL BE RECORDED PRIOR TO DEMOLITION. ALL MATERIALS SHALL BE RECORDED PRIOR TO DEMOLITION.



PRCS - 124



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ARCHITECTURE AND INTERIORS INC.
1000 WESTWATER DR
RICHMOND
VIRGINIA 23134

**BRIANNA
ENVELOPE AND
MECH.
RENEWALS
PROJECT -1**

1000 WESTWATER DR
RICHMOND
VIRGINIA 23134

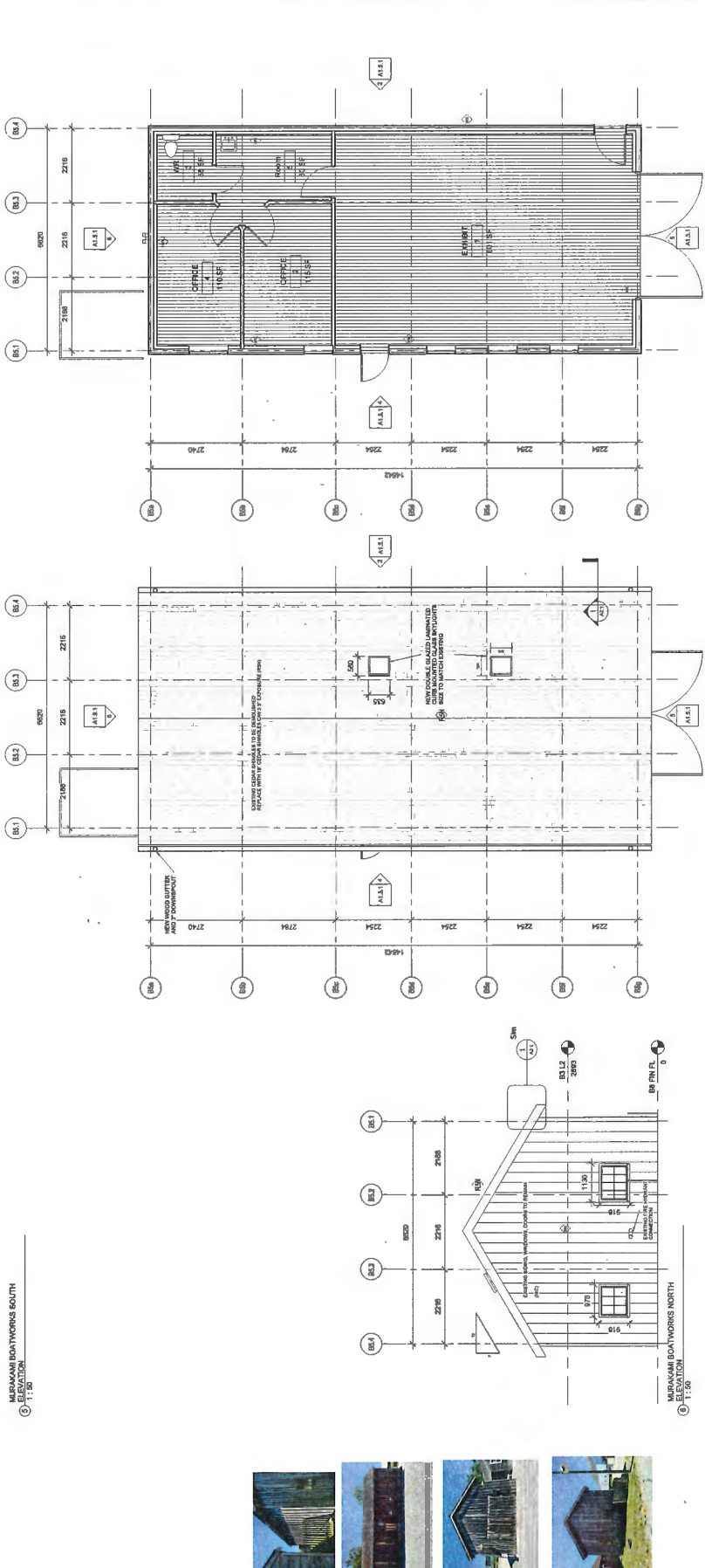
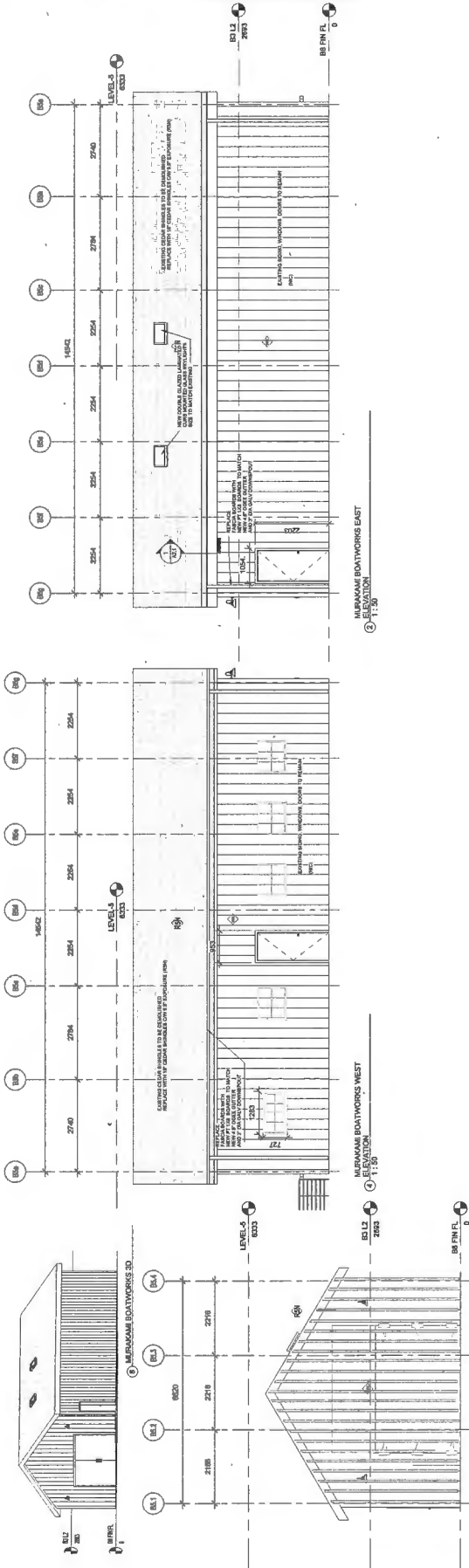
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PROJECT NUMBER: 2023
DRAWN BY: JH
DATE: 2023-03-29
BASE DRAWING:
CHECKED BY: TGL

**MEN'S BUNK
HOUSE -
EXISTING AND
DEMOLITION**

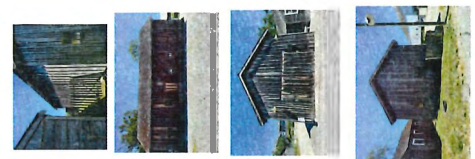
DRAWING #:
A1.4

The drawings shall be read in accordance with the project manual and specifications. It is the contractor's responsibility to verify all dimensions and conditions in the field before construction. The contractor shall be responsible for all construction details not shown on these drawings.

#	REVISION	DATE
1.	BASE DRAWING	2022.03.13
2.	REVISED FOR PERMITS	2022.11.17
3.	REVISED FOR PERMITS	2023.01.17
4.	REVISED FOR PERMITS	2023.01.14



PRCS - 125



BUILDING - 5 MURAKAMI-
 WORKSCOPE OF
 WORK:
 ROOF REPLACEMENT
 NEW CURB MOUNTED
 SKYLIGHT

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 ARCHITECTURE AND INTERIORS INC.
 1000 WESTWATER DR
 SUITE 100
 RICHMOND, VA 23260
 T: 800.508.8893
 F: 804.280.2328

BRTIANNIA
 ENVELOPE AND
 MECH.
 RENEWALS
 PROJECT -1

5180 WESTWATER DR
 RICHMOND
 VA 23260

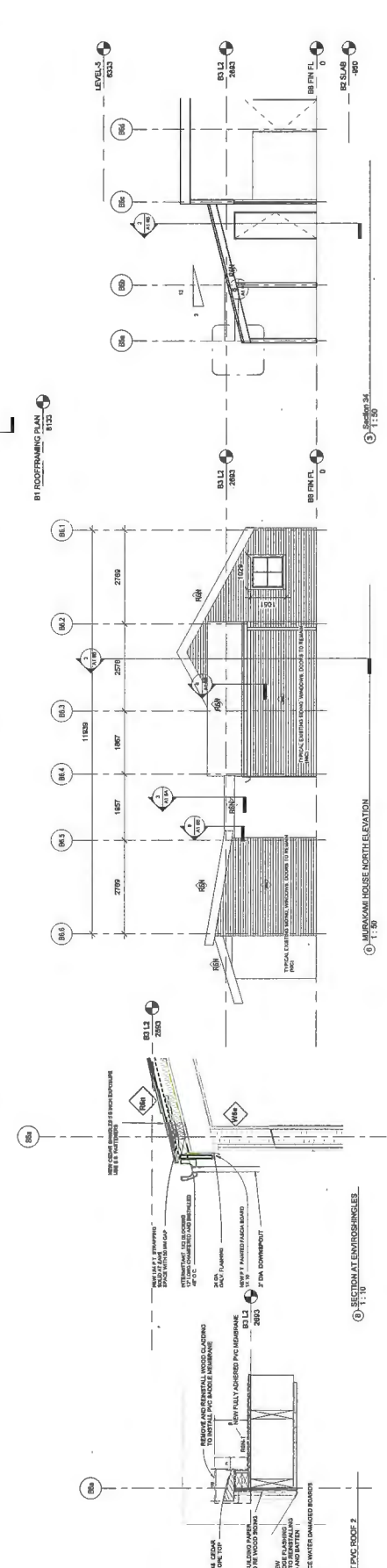
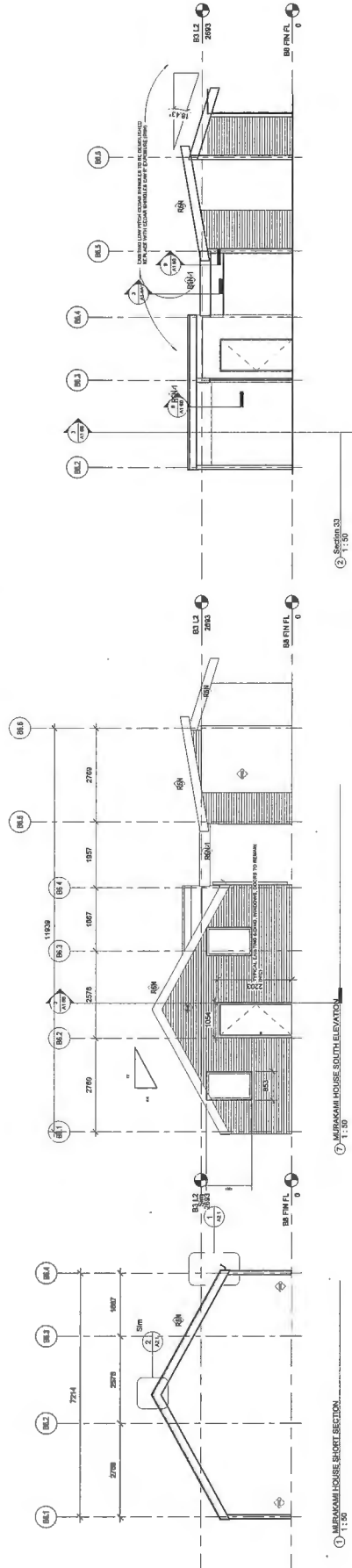
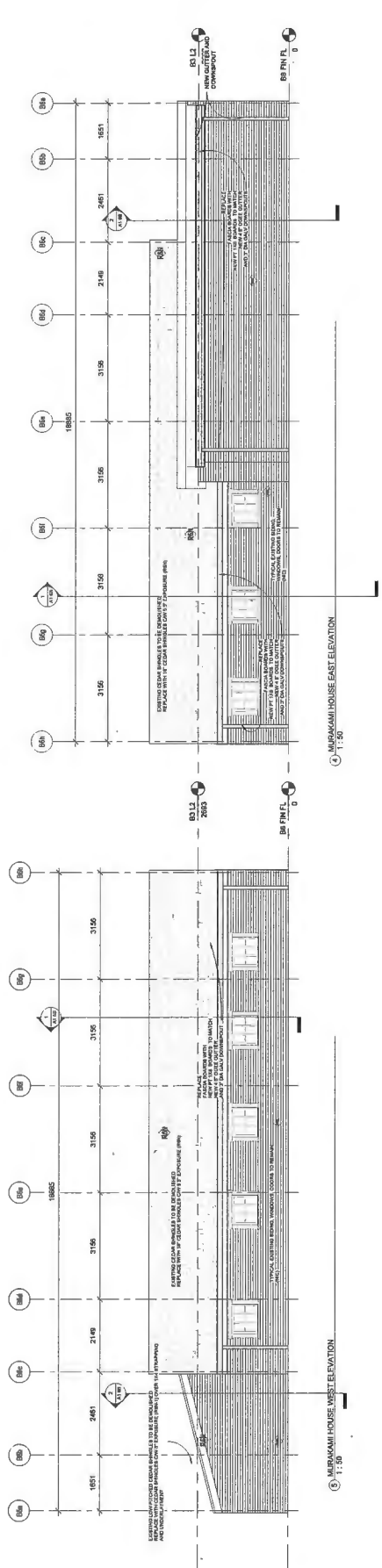
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PROJECT NUMBER	2202
DRAWN BY	DA
DATE	2022.03.13
BASE DRAWING	
CHECKED BY	TBLU

MURAKAMI BOAT
 WORKS -
 EXISTING AND
 DEMOLITION
 DRAWING #

A1.5.1

The Project Architect warrants that the drawings are prepared in accordance with the provisions of the Professional Code of Ethics and the provisions of the Professional Code of Ethics and the provisions of the Professional Code of Ethics.

#	SUBMISSION REVISION	DATE
1.	BASE DRAWINGS	2022.03.13
2.	REVISION FOR CLARITY	2022.11.17
3.	REVISION FOR TRACKER	2023.01.14



PRCS - 127

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BRIANNIA
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MECH.
RENEWALS
PROJECT - 1

1100 WESTWATER DR.
RICHMOND
VA 23134

SCALE:	AS SHOWN
PROJECT NUMBER:	2022-01-01
DRAWN BY:	JA
DATE:	2022-03-13
BASE DRAWING:	
CHECKED BY:	TR

ELEVATIONS AND
SECTIONS
DRAWING #
A1.6B

The following information is provided for the convenience of the client and is not intended to constitute a contract. It is subject to the terms and conditions of the contract documents. The client is advised that the information is provided for informational purposes only and is not intended to constitute a contract. The client is advised that the information is provided for informational purposes only and is not intended to constitute a contract.

#	REVISION	DATE
1	ISSUE FOR PERMITS	02/22/24
2	ISSUE FOR PERMITS	02/22/24
3	ISSUE FOR PERMITS	02/22/24
4	ISSUE FOR PERMITS	02/22/24

BUILDING OF POINT CARE TAKER - ROOF REPLACEMENT
SCOPE OF WORK:
 ROOF REPLACEMENT
 FOUNDATION/CONCRETE
 ACE

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 1100 WESTWATER DR
 RICHMOND, VA 23261
 TEL: 804.771.1111
 FAX: 804.771.1112

BRIANNIA ENVELOPE AND MECH. RENEWALS PROJECT - 1

5180 WESTWATER DR
 RICHMOND, VA 23261
 VTE #13

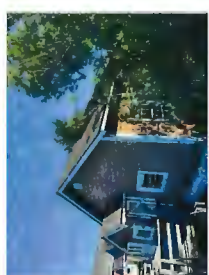
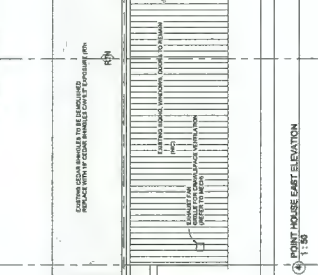
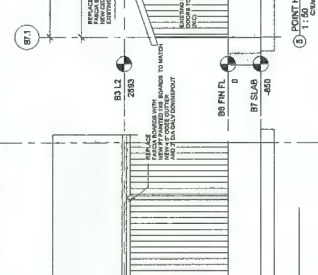
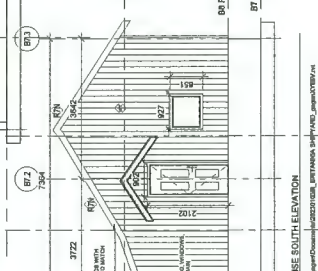
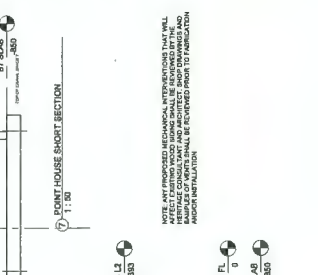
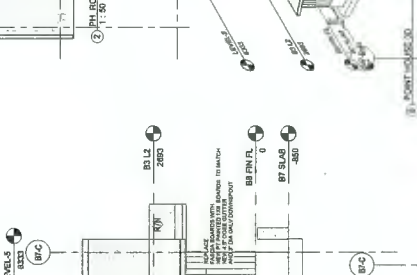
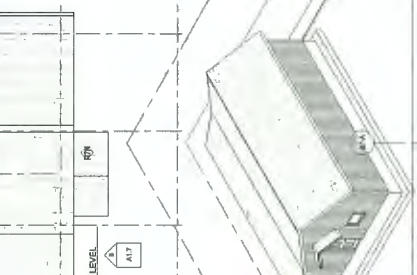
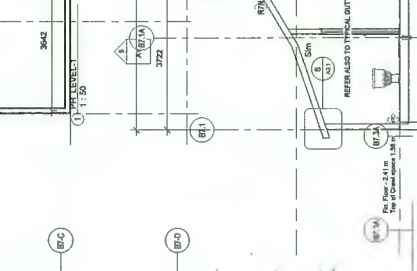
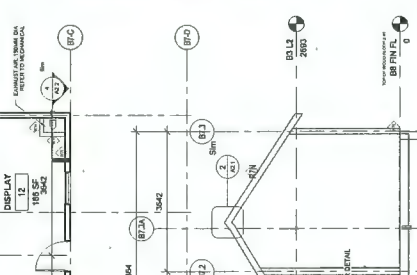
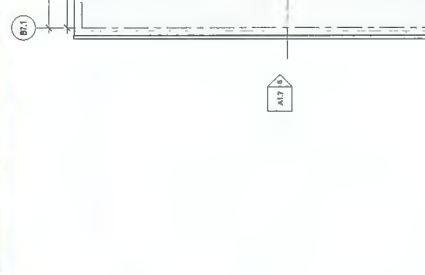
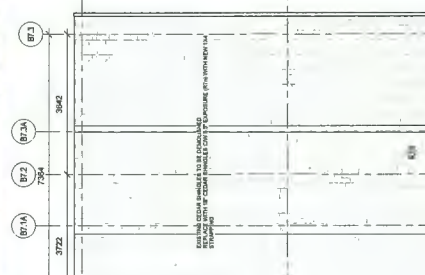
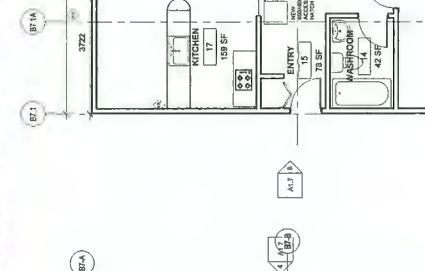
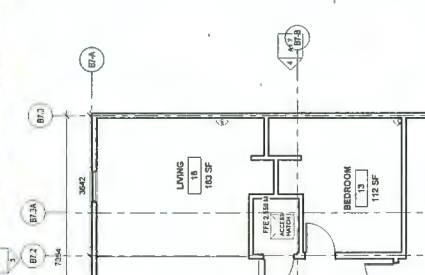
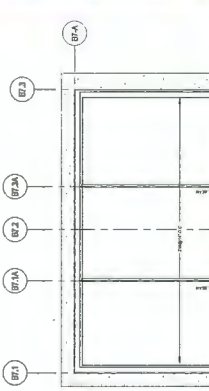
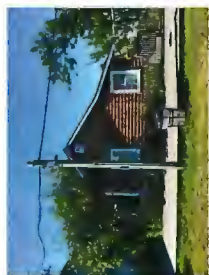
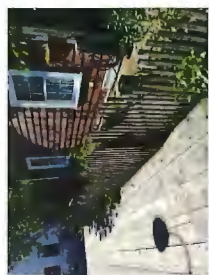
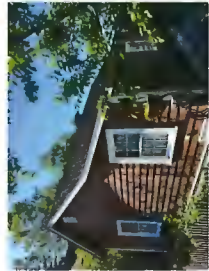
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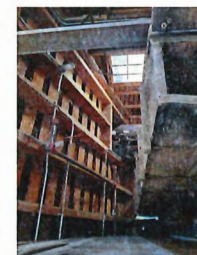
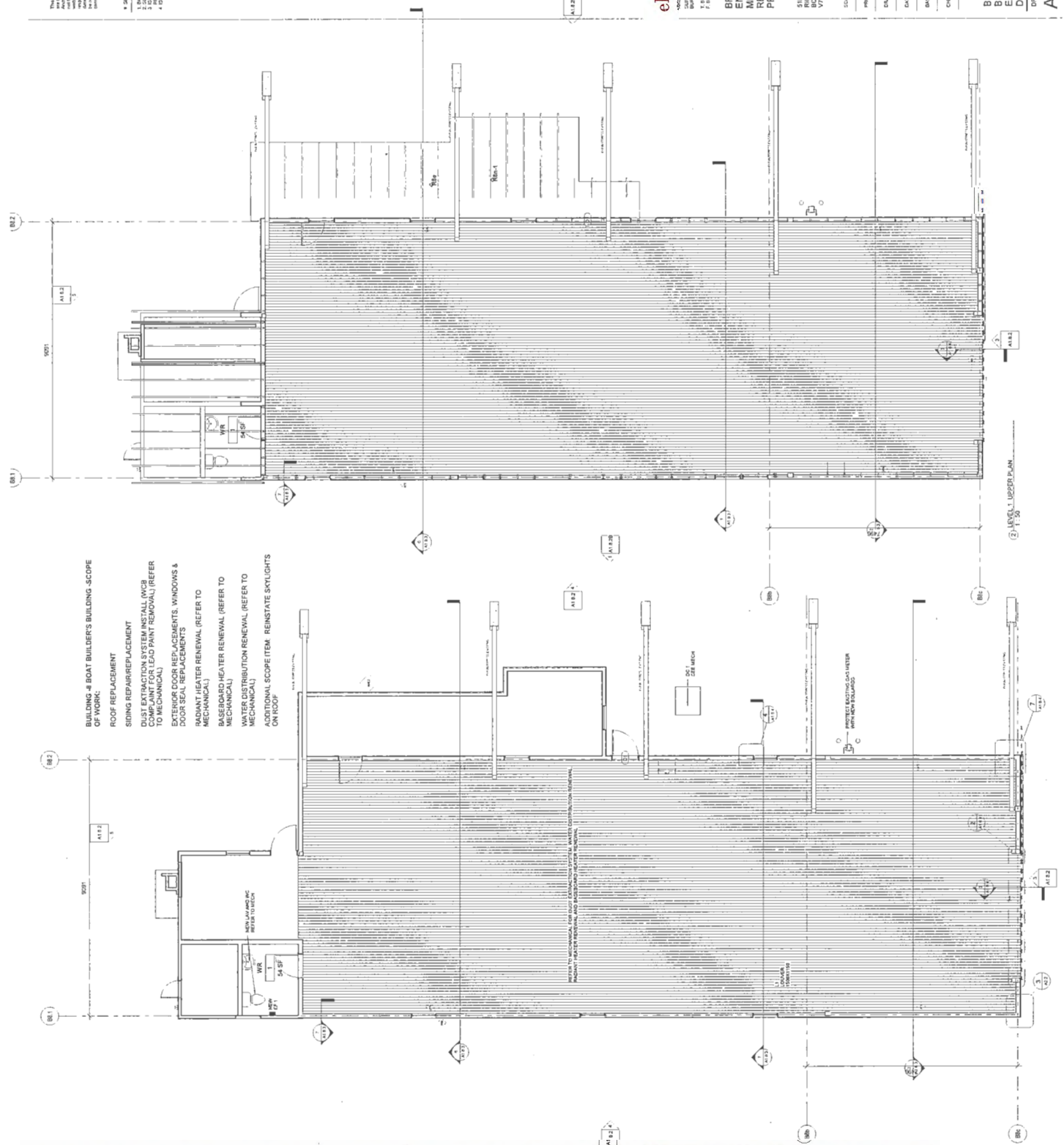
DRAWN BY: N/A
 DATE: 02/22/24
 MADE DIMENSIONS

CHECKED BY: TBA

POINT HOUSE - CARE TAKER - EXISTING AND DEMOLITION
 DRAWING #

A1.7





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4. SUBMISSION REVISION	DATE
1. DATE DRAWINGS	2022-03-09
2. DATE FOR CLIENT	2022-03-17
3. DATE FOR PERMIT	2022-03-17
4. ISSUED FOR TENDER	2022-03-04

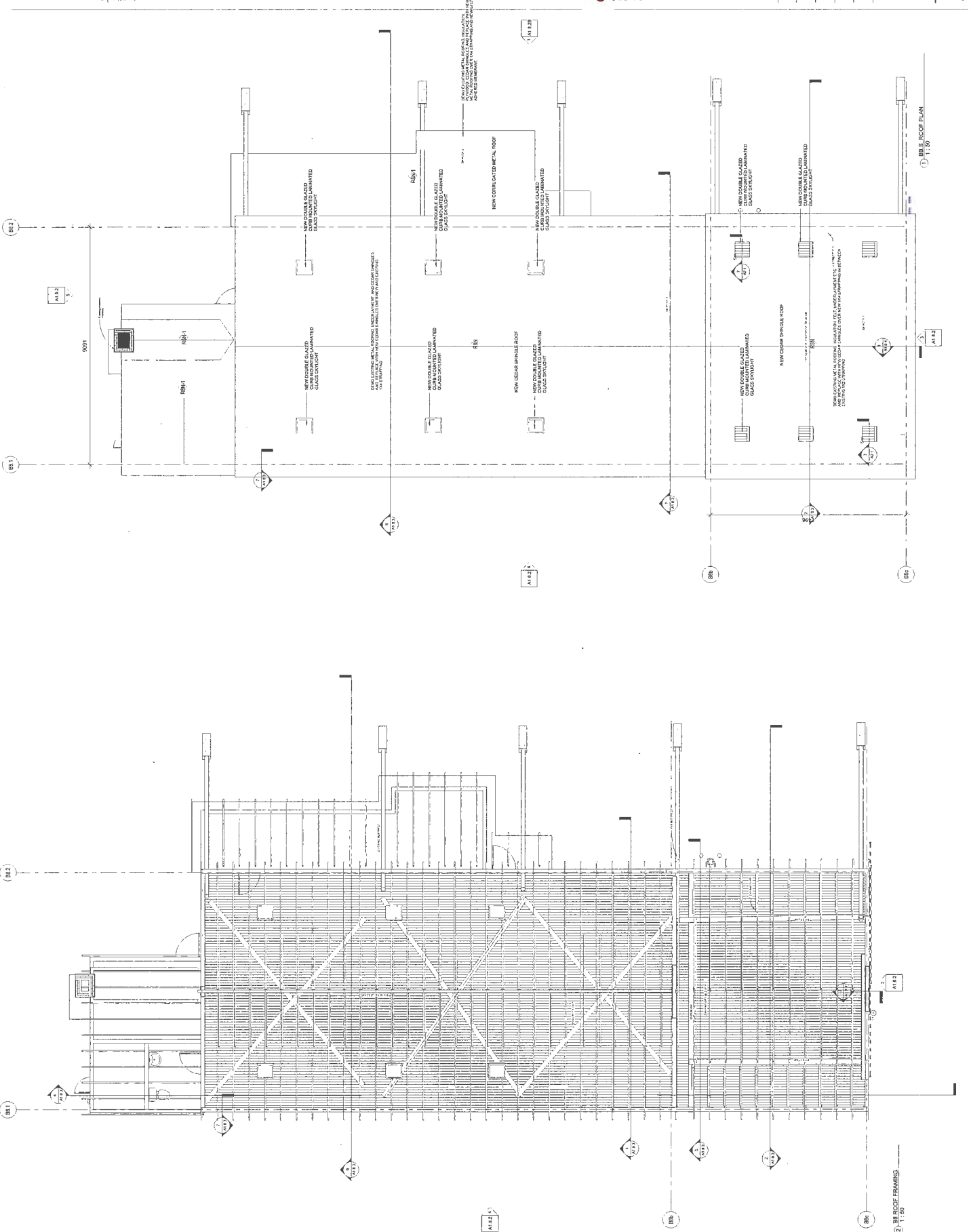
elemental
 ARCHITECTURE AND ENGINEERING INC.
 1000 WESTWATER DRIVE
 RICHMOND, B.C. V6X 3R9
 TEL: 604-273-8800
 FAX: 604-273-8801

**BRTIANNIA
 ENVELOPE AND
 MECH.
 RENEWALS
 PROJECT -1**

5100 WESTWATER DR
 RICHMOND
 V6X 3R9

SCALE	1:30
PROJECT NUMBER	2022
DRAWN BY	DA
DATE 2022-03-09	
DATE DRAWING	
CHECKED BY	TEGU

ROOF PLAN
 DRAWING #: **A1.8.1**



PRCS - 130

Plan #17

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#	SUBMISSION REVISION	DATE
1.	BASE DRAWINGS	2022.05.12
2.	REVISIONS FOR CLIENT	2022.11.17
3.	REVISIONS FOR PERMIT	2023.01.14
4.	REVISED FOR TENDER	2023.01.14

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1000 WESTWATER DR
RICHMOND, VA 23134

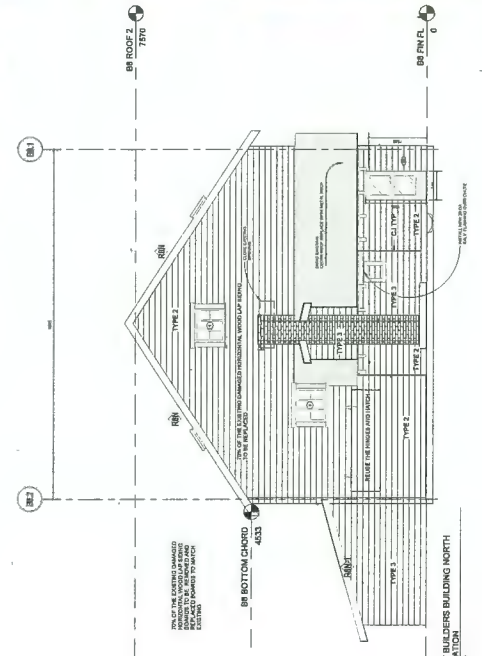
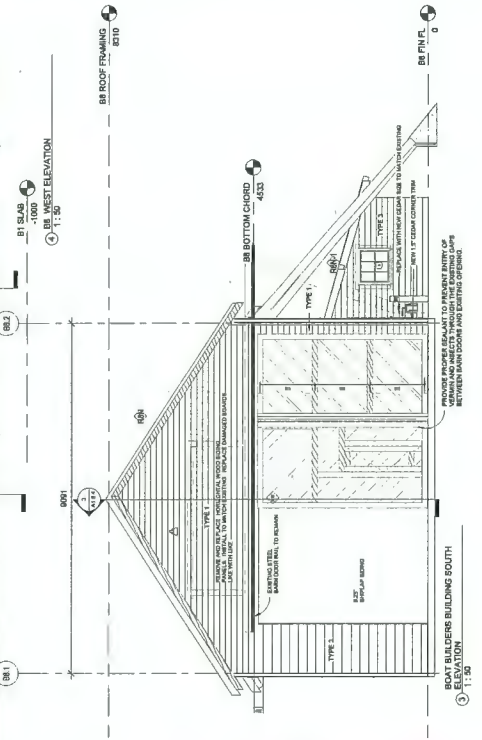
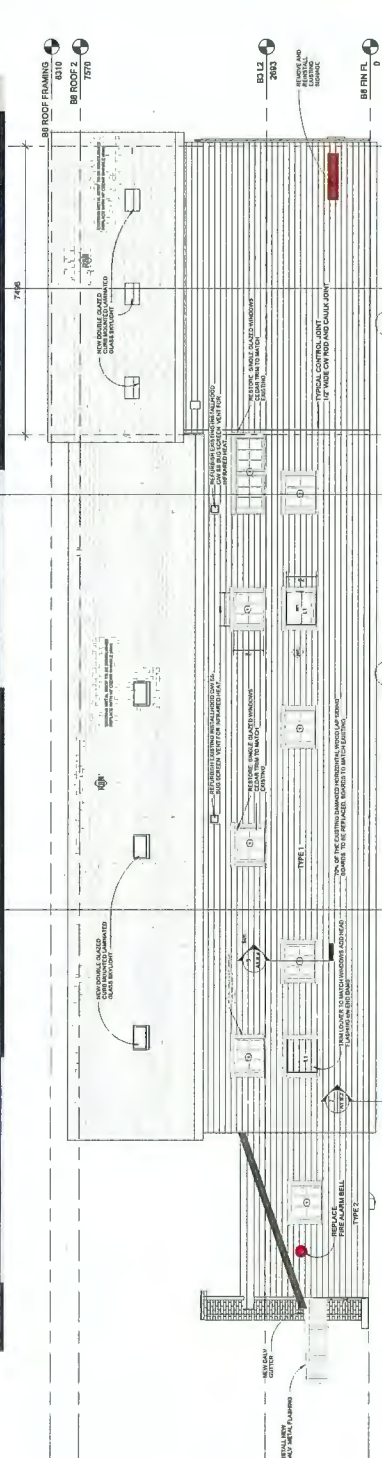
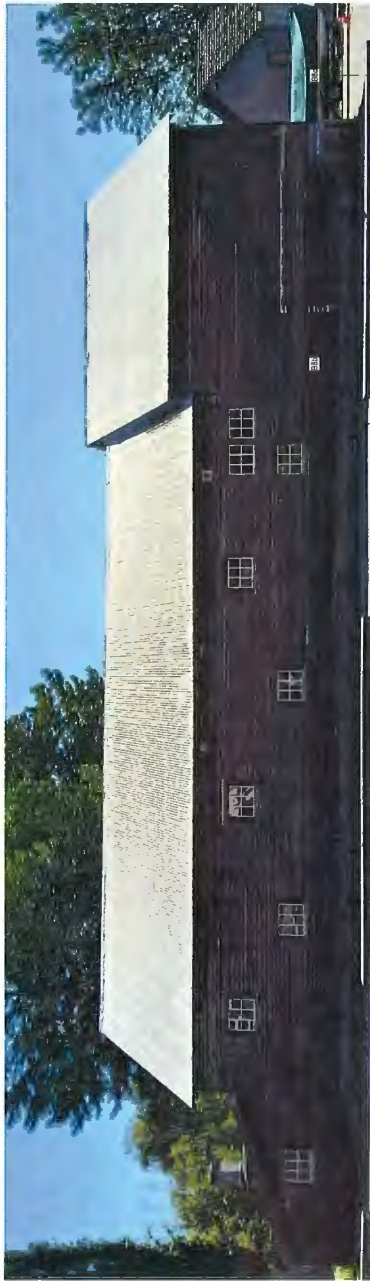
**BRTIANNIA
ENVELOPE AND
MECH.
RENEWALS
PROJECT - 1**

5180 WESTWATER DR
RICHMOND
VA 23134

SCALE	1:50
PROJECT NUMBER	2022
DRAWN BY	RA
DATE	2022.05.12
BASE DRAWINGS	
CHECKED BY	TCGL

**Boat Builders
Building Elevations**
DRAWING #

A1.8.2



NOTE: CLADDING SIZES VARY IN SIZES
TYPE 1 - 25 X 6.5" KILN DRIED (A19 - EXPOSURE)
TYPE 2 - 25 X 6.5" KILN DRIED (A19 - EXPOSURE)
TYPE 3 - 25 X 6.5" KILN DRIED (A19 - EXPOSURE)
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TYPE 99 - 25 X 6.5" KILN DRIED (A19 - EXPOSURE)
TYPE 100 - 25 X 6.5" KILN DRIED (A19 - EXPOSURE)

Plan #18

The drawings are to be read in conjunction with the contract documents. It is the responsibility of the contractor to verify all dimensions and conditions before construction. The contractor shall be responsible for obtaining all necessary permits and approvals for the work shown on these drawings. The contractor shall be responsible for the accuracy of the information provided on these drawings. The contractor shall be responsible for the accuracy of the information provided on these drawings.

#	REVISION	DATE
1.	DATE CHANGES	2022.02.03
2.	REVISED FOR PERMIT	2022.01.17
3.	REVISED FOR TENDER	2022.01.17
4.	REVISED FOR TENDER	2022.01.14



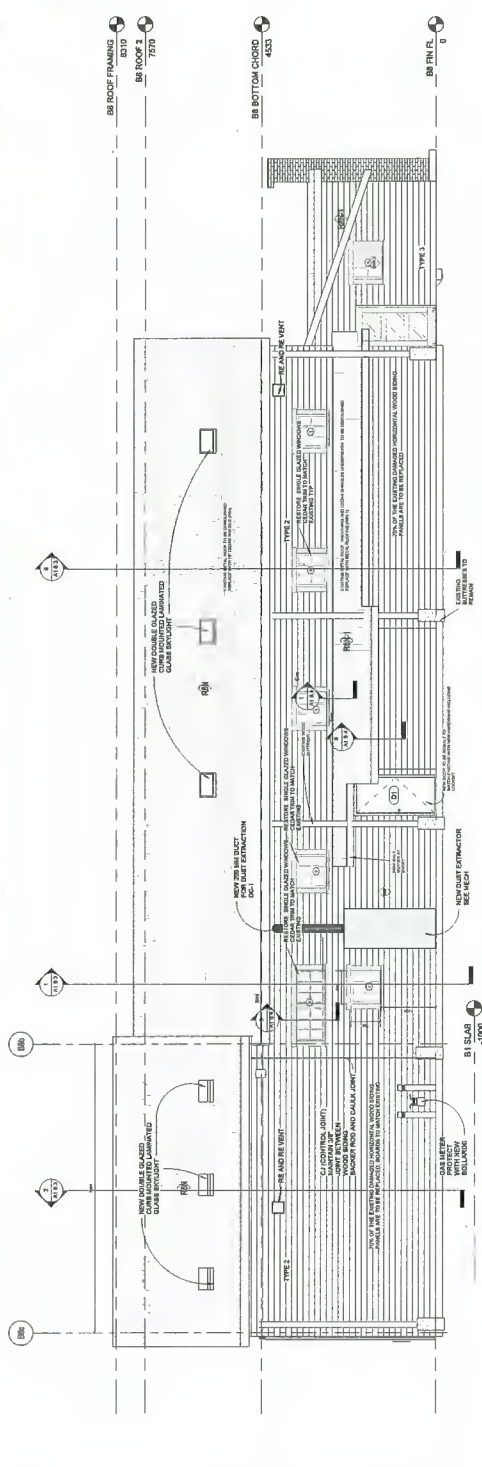
elemental
ARCHITECTURE AND INTERIORS INC.
1000 WESTWATER DR
RICHMOND BC V6V 1K9
TEL: 604.273.8800
F: 604.273.8801

**BRITANNIA
ENVELOPE AND
MECH.
RENEWALS
PROJECT - 1**

5180 WESTWATER DR
RICHMOND
BC V6V 1K9

SCALE:	1:50
PROJECT NUMBER:	2022-001
DRAWN BY:	TR
DATE:	2022.02.03
DATE:	2022.02.03
CHECKED BY:	TR

EAST
ELEVATIONS
DRAWING #
A1.8.2B



BOY BUILDERS BUILDING EAST
ELEVATION
1:50

C:\Users\james\Documents\2022\18181\18181_Britannia_Envelope_Mech_1.dwg

The drawings are prepared in accordance with the scope of services of the contract. The drawings are not to be used for any other purpose without the written consent of the architect. The drawings are the property of the architect and shall remain confidential. The drawings are not to be used for any other purpose without the written consent of the architect. The drawings are the property of the architect and shall remain confidential.

- 1. SUBMITTAL SCHEDULE DATE
- 2. DATE DRAWING 2022.05.13
- 3. DRAWN BY: J. L. WOOD
- 4. CHECKED BY: T. G. WOOD

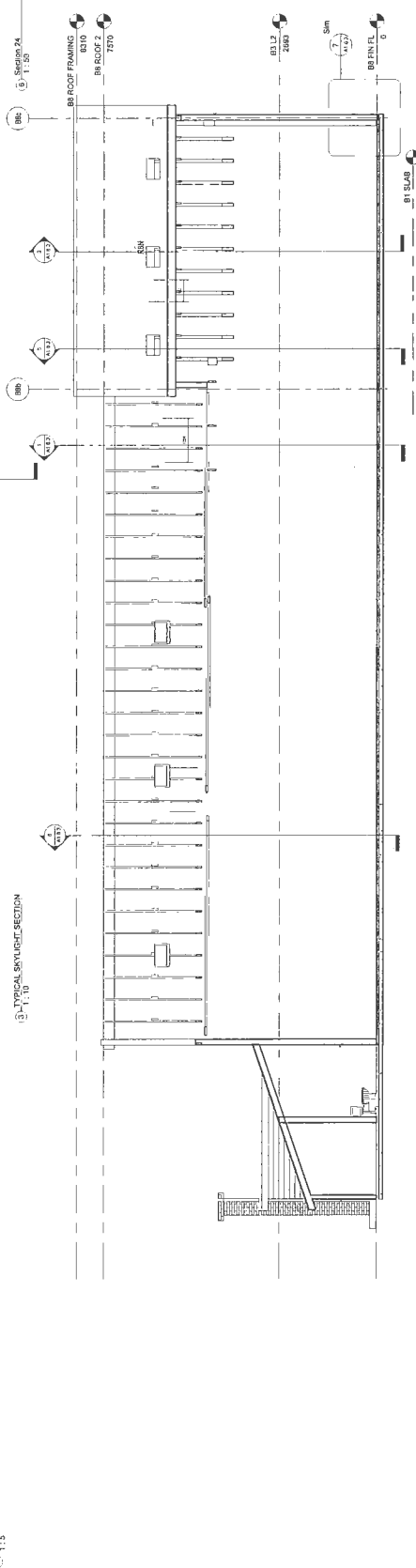
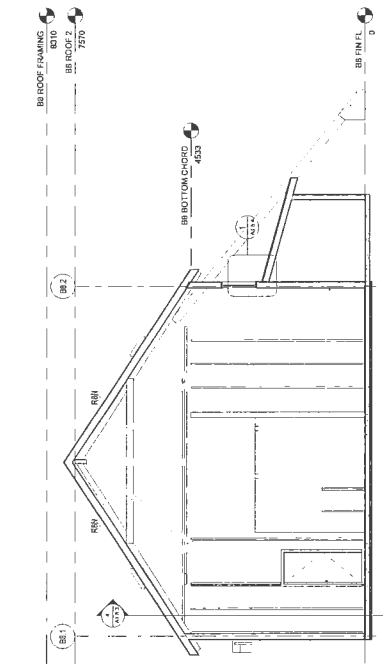
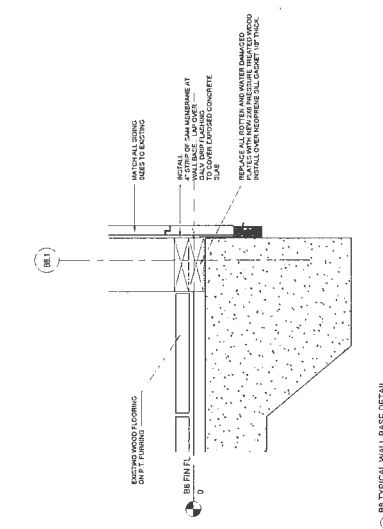
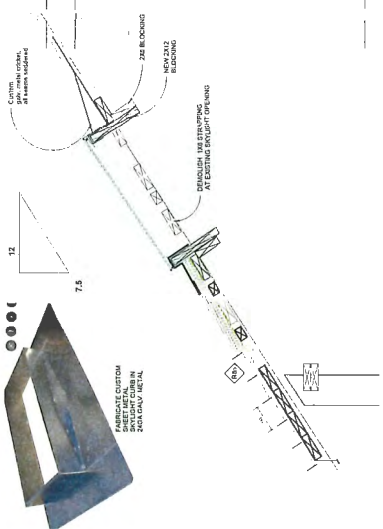
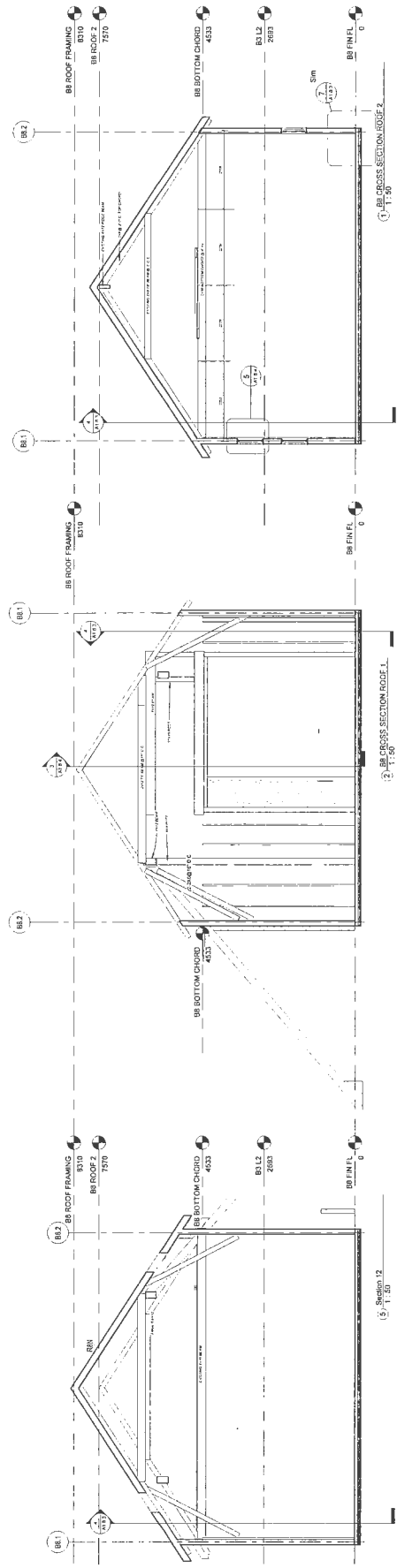
elemental
ARCHITECTURE, INTERIORS AND
CONSTRUCTION
1000 WEST WYOMING AVENUE
RICHMOND, VA 23220
TEL: 804.352.8200
WWW.ELEMENTALVA.COM

**BRTIANNIA
ENVELOPE AND
MECH.
RENEWALS
PROJECT - 1**

5180 WESTWATER DR
RICHMOND
VA 23220

SCALE	AS SHOWN
PROJECT NUMBER	2022
DRAWN BY	DA
DATE	2022.05.13
WALL DRAWING	
CHECKED BY	TG/W

B8_Building
Sections
DRAWING #
A1.8.3



The drawings and related information are the property of the Architect and shall not be used for any other project without the written consent of the Architect. The Architect shall not be responsible for any errors or omissions in the drawings or for any consequences arising therefrom. The Architect shall not be responsible for any delays or interruptions in the construction of the project.

REVISION NUMBER	DATE
1. ISSUE FOR PERMIT	2023.03.29
2. ISSUE FOR CONSTRUCTION	2023.03.29
3. ISSUE FOR TENDER	2023.03.29
4. ISSUED FOR TENDER	2023.03.29

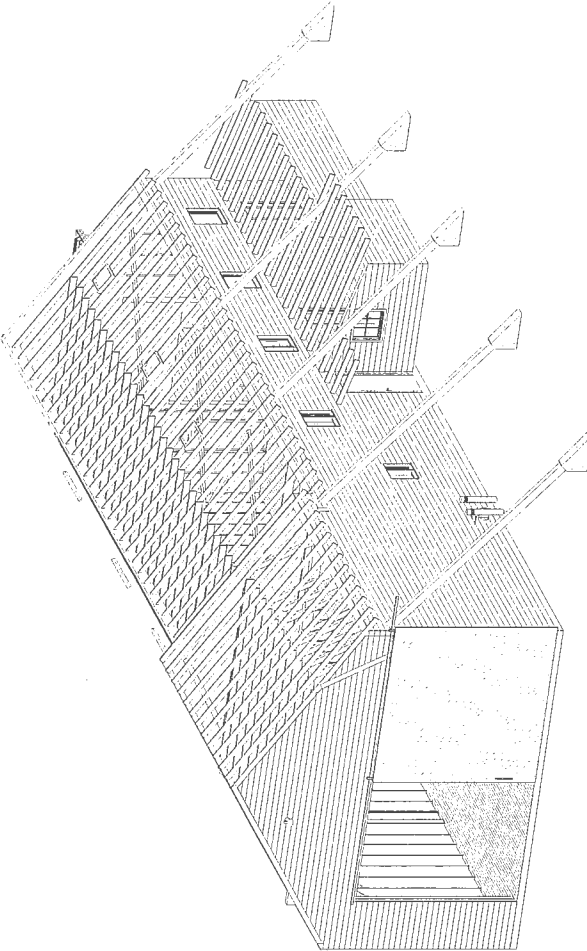
elemental
 ARCHITECTURAL AND INTERIOR DESIGN
 1000 WESTWATER DR
 RICHMOND, VA 23134
 TEL: 804.281.8300
 FAX: 804.281.8301

**BRIANNIA
 ENVELOPE AND
 MECH.
 RENEWALS
 PROJECT -1**

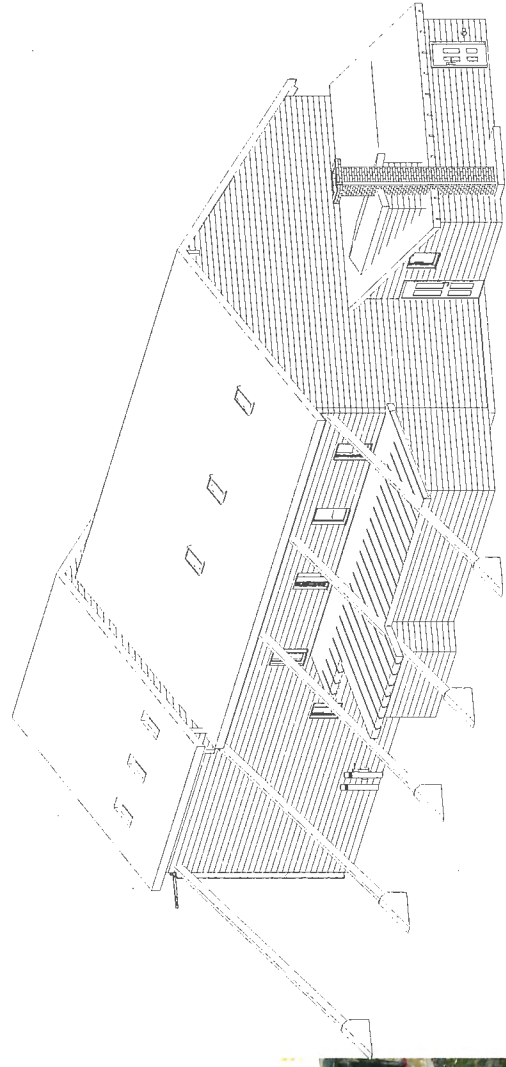
8100 WESTWATER DR
 RICHMOND
 VA 23134

PROJECT NUMBER	2023.03.29
DATE	2023.03.29
DRAWN BY	RA
CHECKED BY	RA
DATE	2023.03.29
SCALE	1/8" = 1'-0"

3D IMAGES
 DRAWING #:
A1.8.5



1. BOAT BUILDERS BUILDING - 3D Elev. L

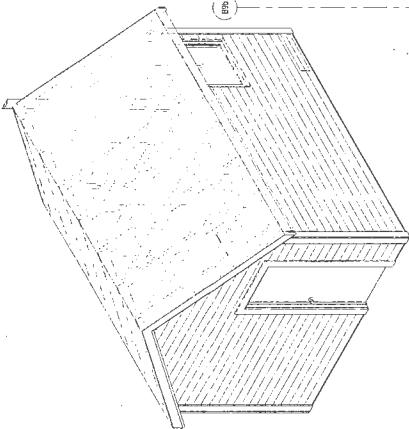


2. BOAT BUILDERS BUILDING - 3D

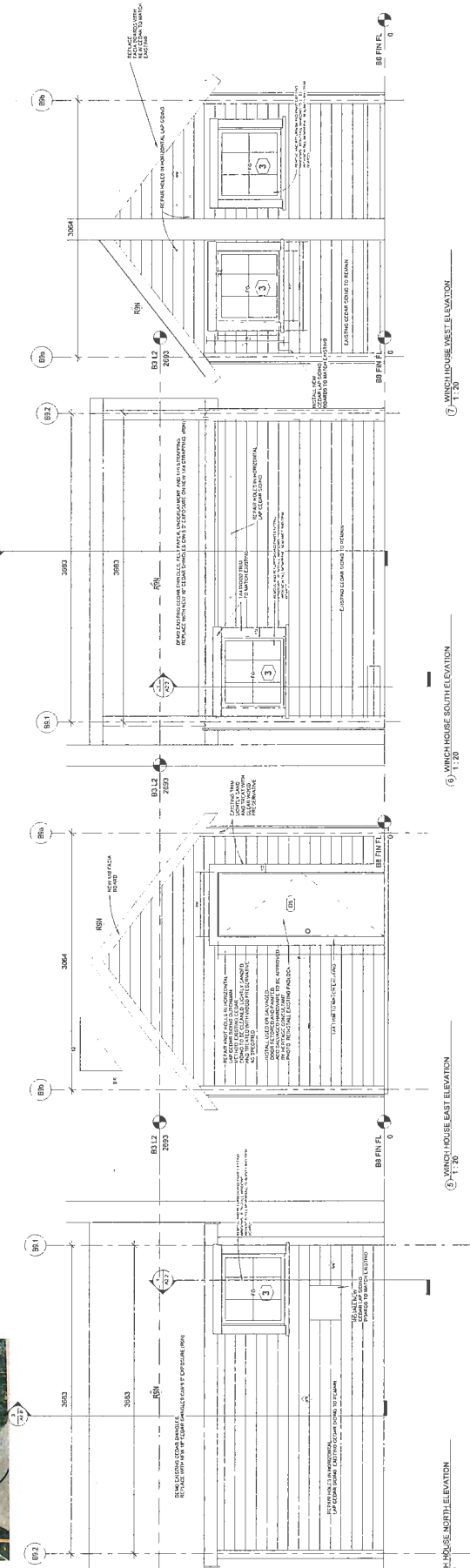
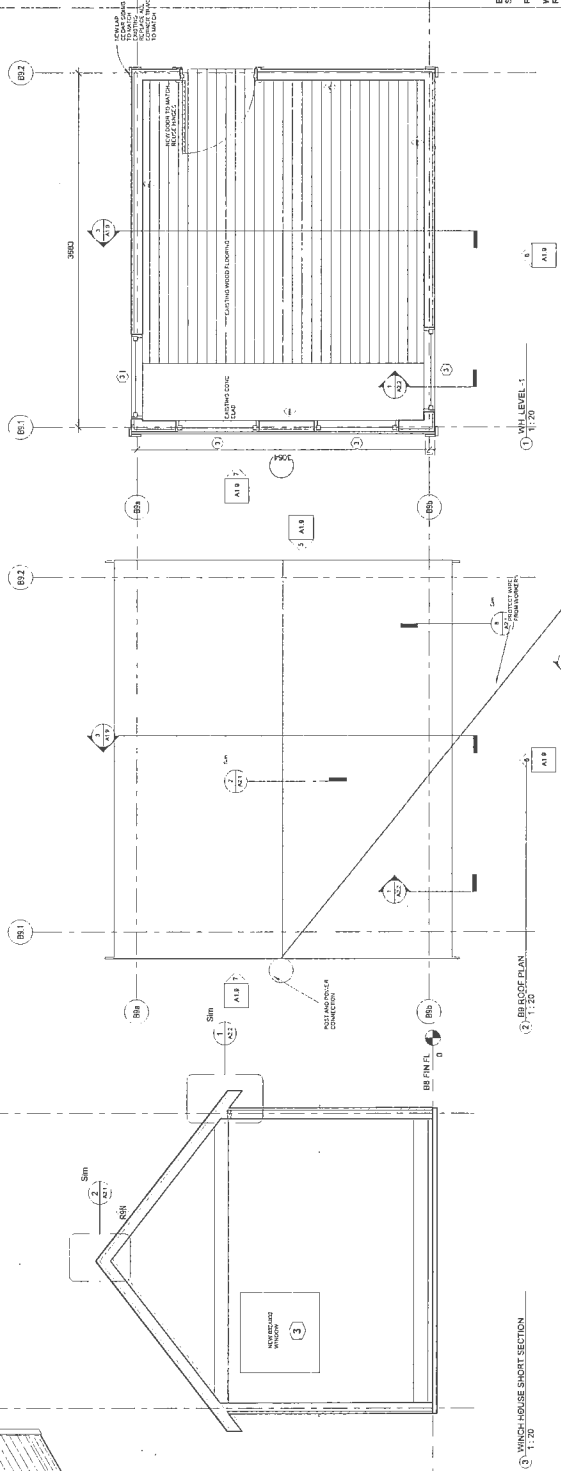


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DATE: 2022.05.24
 DATE: 2022.05.24
 DATE: 2022.05.24
 DATE: 2022.05.24
 DATE: 2022.05.24



1 WINCH HOUSE 3D



BUILDING: 9 WINCH HOUSE
 SCOPE OF WORK:
 ROOF REPLACEMENT
 WINDOW & DOOR
 REPLACEMENT + SEALS

elemental
 ARCHITECTURE
 2180 WESTWATER DR
 RICHMOND, VA 23260
 TEL: 804.398.8888
 WWW.ELEMENTALVA.COM

BRIANNIA
 ENVELOPE AND
 MECH.
 RENEWALS
 PROJECT -1

2180 WESTWATER DR
 RICHMOND, VA 23260
 VTE: B13

SCALE: 1:20
 PROJECT NUMBER: 2022
 DRAWN BY: SM
 DATE: 2022.05.24
 ARCHITECT: ELEMENTAL
 CHECKED BY: TGM

WINCH HOUSE -
 EXISTING AND
 DEMOLITION
 DRAWING #: A1.9

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#	REVISION	DATE
1	BASE DRAWING	2022.02.03
2	REVISED FOR CLARITY	2022.11.17
3	REVISED FOR CLARITY	2022.11.17
4	REVISED FOR TENDER	2023.01.04

elemental
 ARCHITECTURE AND INTERIORS INC.
 1000 WESTWATER DRIVE
 SUITE 100
 BIRMINGHAM, AL 35209
 P: 205.988.8888
 F: 205.988.8887
 WWW.ELEMENTALARCHITECTURE.COM

BRITANNIA ENVELOPE AND MECH. RENEWALS PROJECT -1

500 WESTWATER DRIVE
 BIRMINGHAM, AL 35209
 VTE: BPC

SCALE: As Indicated

PROJECT NUMBER: 2022

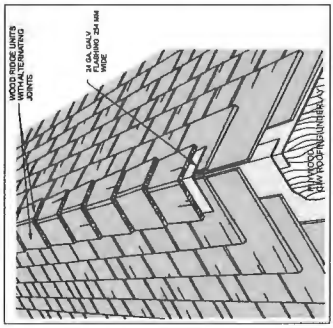
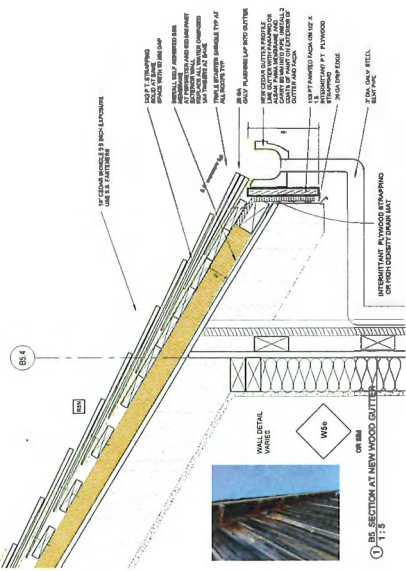
DRAWN BY: MA

DATE: 2023.01.03

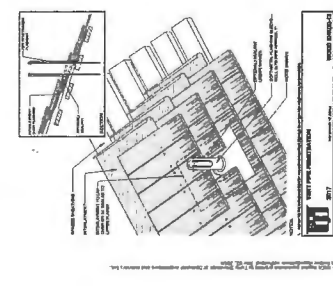
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CHECKED BY: TLOU

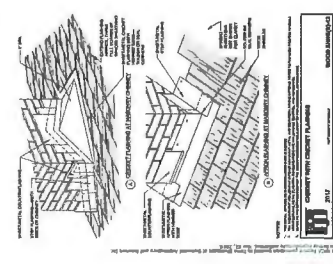
ROOFING DETAILS
 DRAWING #:
A2.1



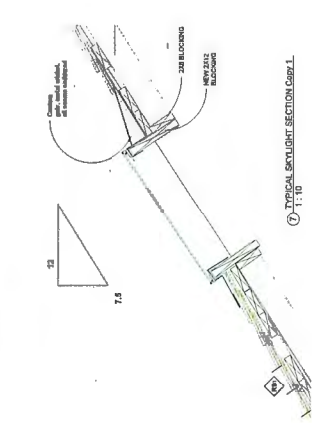
② TYPICAL CEDAR RIDGE DETAIL
 1:10



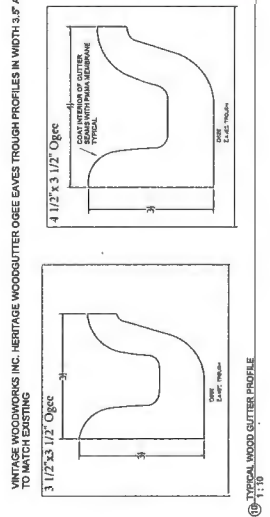
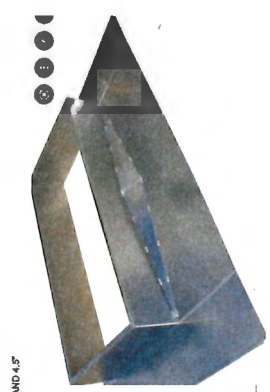
③ PLUMBING VENT PIPE DETAIL
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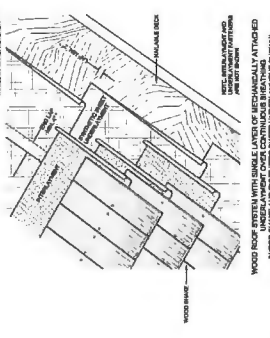
④ CHIMNEY DETAIL AT CHIMNEY
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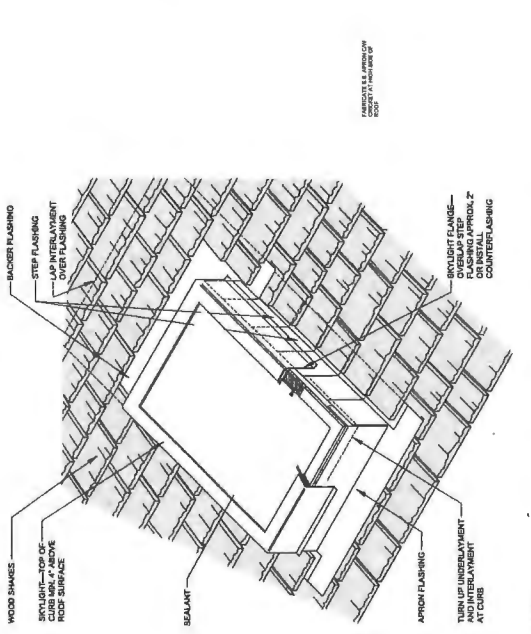
⑦ TYPICAL SKYLIGHT SECTION (CONT.)
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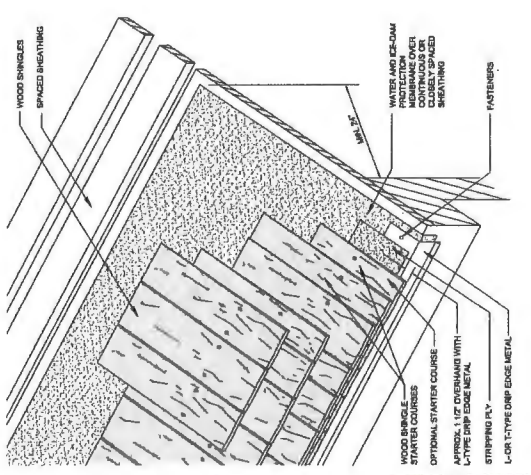
⑥ TYPICAL WOOD GUTTER PROFILE
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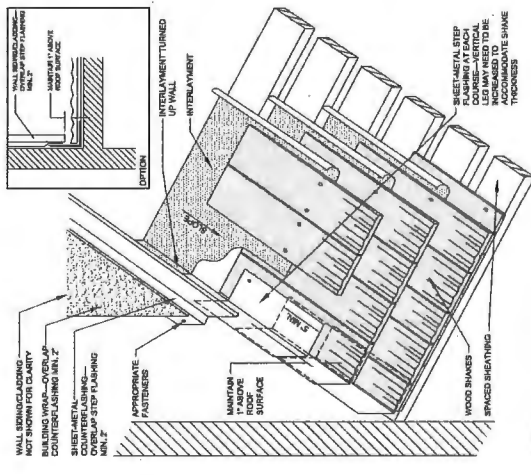
⑤ ROOF DETAIL WITH INTERLAPMENT
 1:20



⑧ CORNER DETAIL
 1:20



⑨ EAVE WITH WATER AND ICE-DAM PROTECTION MEMBRANE
 1:20



⑩ SIDEWALL FLASHING WITH ONE-PIECE COUNTERFLASHING
 1:20

WOOD SHINGLES
 2017
 NOT DRAWN TO SCALE

WOOD SHINGLES-2
 2017
 NOT DRAWN TO SCALE

WOOD SHINGLES-10A
 2017
 NOT DRAWN TO SCALE

NOTES:
 1. VERIFY THE MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR THE SPECIFIC SHINGLE TYPE.
 2. VERIFY THE MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR THE SPECIFIC SHINGLE TYPE.
 3. VERIFY THE MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR THE SPECIFIC SHINGLE TYPE.

NOTES:
 1. VERIFY THE MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR THE SPECIFIC SHINGLE TYPE.
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 3. VERIFY THE MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR THE SPECIFIC SHINGLE TYPE.

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 3. VERIFY THE MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR THE SPECIFIC SHINGLE TYPE.

