



# City of Richmond

## Report to Committee Planning and Development Division

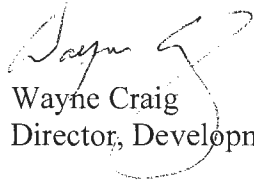
**To:** Planning Committee  
**From:** Wayne Craig  
Director, Development

**Date:** August 25, 2017  
**File:** RZ 15-716773

**Re:** Application by Jhujar Construction Ltd. for Rezoning at 9291 and 9311/9331 No. 2 Road from "Single Detached (RS1/E)" and "Two-Unit Dwellings (RD1)" to "Low Density Townhouses (RTL4)"

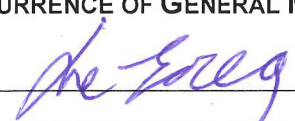
### Staff Recommendation

That Richmond Zoning Bylaw 8500, Amendment Bylaw 9749, for the rezoning of 9291 and 9311/9331 No. 2 Road from "Single Detached (RS1/E)" and "Two-Unit Dwellings (RD1)" zones to "Low Density Townhouses (RTL4)" zone, be introduced and given first reading.



Wayne Craig  
Director, Development

EL:rg  
Att. 5

REPORT CONCURRENCE		
ROUTED TO:	CONCURRENCE	CONCURRENCE OF GENERAL MANAGER
Affordable Housing	<input checked="" type="checkbox"/>	

## Staff Report

### Origin

Jhujar Construction Ltd. has applied to the City of Richmond for permission to rezone 9291 and 9311/9331 No. 2 Road (Attachment 1) from “Single Detached (RS1/E)” and “Two-Unit Dwellings (RD1)” zones to “Low Density Townhouses (RTL4)” zone in order to permit the development of 12 townhouse units with vehicle access from 9211 No. 2 Road via a SRW registered on title of 9211 No. 2 Road. The townhouse development at 9211 No. 2 Road is currently under construction and the applicant has discussed use of the SRW with the adjacent developer.

### Project Description

The two properties under this application have a total combined frontage of 50.2 m, and are proposed to be consolidated into one development parcel. The proposed density is 0.6 FAR. The site layout includes six two-storey units and six three-storey units in four townhouse clusters. One secondary suite is included in this development proposal. A preliminary site plan, building elevations, and landscape plan are contained in Attachment 2. The site currently contains one single family home and one duplex, which will be demolished.

### Findings of Fact

A Development Application Data Sheet providing details about the development proposal is attached (Attachment 3).

### Surrounding Development

To the North: A recently approved ten unit townhouse complex (RZ 12-620563 & DP 14-674133) on a lot zoned “Low Density Townhouses (RTL4)”. This townhouse development at 9211 No. 2 Road is currently under construction.

To the South: Existing single family homes on lots zoned “Single Detached (RS1/E), which are identified for townhouse development under the Arterial Road Land Use Policy.

To the East: Across No. 2 Road, a four-storey senior’s apartment building (three-storeys over parking) on a lot zoned “Medium Density Low Rise Apartments (RAM1)” and a church on a lot zoned “Assembly (ASY)”.

To the West: Existing single family dwellings on lots zoned “Single-Detached (RS1/B)”.

### Related Policies & Studies

#### Official Community Plan

The 2041 Official Community Plan (OCP) Land Use Map designation for the subject site is “Neighbourhood Residential”. This redevelopment proposal is consistent with this designation.

### **Arterial Road Policy**

The Arterial Road Land Use Policy in the City's 2041 OCP (Bylaw 9000), directs appropriate townhouse development onto certain arterial roads outside the City Centre. The subject site is identified for "Arterial Road Townhouse" on the Arterial Road Housing Development Map and the proposal is in compliance with the Townhouse Development Requirements under the Arterial Road Policy.

### **Floodplain Management Implementation Strategy**

The proposed redevelopment must meet the requirements of the Richmond Flood Plain Designation and Protection Bylaw 8204. Registration of a flood indemnity covenant on Title is required prior to final adoption of the rezoning bylaw.

### **Public Art**

In response to the City's Public Art Program (Policy 8703), the applicant will provide a voluntary contribution at a rate of \$0.79 per buildable square foot (2015 rate) to the City's Public Art Reserve fund; for a total contribution in the amount of \$12,662.91.

### **Public Consultation**

A rezoning sign has been installed on the subject property. Staff have not received any written comments from the public about the rezoning application in response to the placement of the rezoning sign on the property.

Should the Planning Committee endorse this application and Council grant first reading to the rezoning bylaw, the bylaw will be forwarded to a Public Hearing; where any area resident or interested party will have an opportunity to comment.

Public notification for the Public Hearing will be provided as per the *Local Government Act*.

### **Analysis**

#### **Built Form and Architectural Character**

The applicant proposes to consolidate the two properties into one development parcel with a total area of 2,482 m<sup>2</sup>, and construct 12 townhouse units. The layout of the townhouse units is oriented around a single driveway, with access provided to the site from the adjacent townhouse development to the north at 9211 No. 2 Road. A north-south internal manoeuvring aisle providing access to the unit garages is proposed. The amenity area will be situated in a central open courtyard at the rear of the site.

One ground level secondary suite is included in this proposal. The secondary suite will be contained in the townhouse unit located at the southwest corner of the site (Unit A2) (see Attachment 2). The total floor area of this A2 unit is approximately 162 m<sup>2</sup> (1,751 ft<sup>2</sup>) and the size of the secondary suite is approximately 42 m<sup>2</sup> (460 ft<sup>2</sup>). A surface parking stall will be provided for the secondary suite.

To ensure that the secondary suite will be built, registration of a legal agreement on Title, stating that no final Building Permit inspection will be granted until the secondary suite is constructed to the satisfaction of the City in accordance with the BC Building Code and the City's Zoning Bylaw, is required prior to final adoption of the rezoning bylaw.

To ensure that the parking stall assigned to the secondary suite is for the sole use of the secondary suite, registration of a legal agreement on Title, or other measures, as determined to the satisfaction of the Director of Development, is required prior to final adoption of the rezoning bylaw.

A Development Permit processed to a satisfactory level is a requirement of zoning approval. Through the Development Permit, the following issues are to be further examined:

- Compliance with Development Permit Guidelines for multiple-family projects in the 2041 Official Community Plan.
- Refinement of the proposed building form to achieve sufficient variety in design to create a desirable and interesting streetscape along No. 2 Road and along the internal drive aisles, to reduce visual massing of the three-storey units along No. 2 Road, and to address potential adjacency issues with adjacent single family homes.
- Refinement of the proposed site grading to ensure survival of all proposed protected trees and appropriate transition between the proposed development to the public sidewalk on No. 2 Road, and to the adjacent existing developments.
- Refinement of the outdoor amenity area design, including the choice of play equipment, to create a safe and vibrant environment for children's play and social interaction.
- Opportunities to maximize planting areas along internal drive aisles, to maximize permeable surface areas, and to better articulate hard surface treatments on site.
- Review of aging-in-place features in all units and the provision of convertible units.
- Review of a sustainability strategy for the development proposal, including measures to achieve an EnerGuide Rating System (ERS) score of 82.

Additional issues may be identified as part of the Development Permit application review process.

### **Existing Legal Encumbrances**

There is an existing 3.0 m wide utility right-of-way along the west property line of 9291 No. 2 Road for the existing sanitary sewer. There is also an existing 1.2 m wide utility right-of-way along the west property line of 9311/9331 No. 2 Road for the existing storm sewer. The developer is aware that no construction can take place there.

There is currently a covenant registered on the Title of 9311/9331 No. 2 Road, restricting the use of the site to a two-family dwelling only (Registration No. AE16486). Prior to final adoption of the rezoning bylaw, the applicant must discharge the covenant from title.

### **Transportation and Site Access**

Direct vehicular access to/from No. 2 Road along the subject site's No. 2 Road frontage is not permitted. Vehicular access to the subject site is to be provided via the driveway crossing and internal drive-aisles at 9211 No. 2 Road by means of a Statutory Rights of Way (CA5001624, EPP 51370) registered at 9211 No. 2 Road. This access arrangement was envisioned when the original Rezoning and Development Permit applications for the adjacent townhouse development at 9211 No. 2 Road were approved by Council in 2016. Registration of a legal agreement on Title prohibiting direct vehicle access to No. 2 Road, and limiting access to the SRW on the driveway at 9211 No. 2 Road will be required prior to final adoption of the rezoning bylaw. This agreement must include language indemnifying and releasing the City from any issues arising from such reliance.

Prior to final adoption of the rezoning bylaw, registration of a Statutory Rights of Way is also required to provide legal means of public/vehicular access to future developments located south of the subject site as well as the existing and future developments to the north of the site. The SRW is to cover the entire width and length of the north-south drive aisle on the subject development.

### **Tandem Parking**

The proposal will feature four units with a total of eight spaces in a tandem arrangement (32% of total required residential parking spaces), which is consistent with the maximum 50% of tandem parking provision of Richmond Zoning Bylaw 8500. A restrictive covenant to prohibit the conversion of the tandem garage area into habitable space is required prior to final adoption.

### **Tree Retention and Replacement**

The applicant has submitted a Certified Arborist's Report, which assesses the structure and condition of on-site tree species, and provides recommendations on tree retention and removal. The Report assesses nine bylaw-sized trees and three hedgerows on the subject site, as well as two trees on neighbouring properties. The City's Tree Preservation Coordinator has reviewed the Arborist's Report and accepted the proposed tree retention scheme (Attachment 4) with the following comments:

- One 40 cm calliper English Oak tree (Tag# 681) is in good condition and is recommended for retention.
- Eight trees on site will be removed due to poor condition; 16 replacement trees are required. According to the Preliminary Landscape Plan (Attachment 2), the developer is proposing to plant 20 new trees on site. The size and species of replacement trees will be reviewed in detail through the Development Permit and overall landscape design.
- Two hedgerows on site will be removed due to poor condition.
- One hedgerow identified as (tag# 687) located on the development site is recommended for retention.

- Two trees (tag# A & B) located on neighbouring properties to be protected as per Arborist report recommendation.
- Prior to final adoption of the rezoning bylaw, submission to the City of a contract with a Certified Arborist for the supervision of all works conducted within or in close proximity to tree protection zones is required.
- Prior to Development Permit Issuance, submission to the City of a Tree Survival Security as part of the Landscape Letter of Credit. No Landscape Letter of Credit will be returned until the post-construction assessment report, prepared by the Arborist, confirming the protected trees survived the construction, is reviewed by staff.

### **Affordable Housing Strategy**

The applicant proposes to make a cash contribution to the affordable housing reserve fund in accordance to the City's Affordable Housing Strategy. As the proposal is for townhouses, the applicant will make a cash contribution of \$4.00 per buildable square foot as per the Strategy, for a contribution of \$64,116.00.

### **Townhouse Energy Efficiency and Renewable Energy**

The applicant has committed to achieving an EnerGuide Rating System (ERS) score of 82 and all units will be pre-ducted for solar hot water for the proposed development. A Restrictive Covenant to ensure that all units are built and maintained to this commitment is required prior to rezoning bylaw adoption. As part of the Development Permit Application review process, the developer will be required to retain a certified energy advisor (CEA) to complete an Evaluation Report to confirm details of construction requirements needed to achieve the rating.

### **Amenity Space**

The applicant is proposing a cash contribution in-lieu of providing the required indoor amenity space on site. Council's Policy 5041 (Cash in Lieu of Indoor Amenity Space) requires that a cash contribution of \$1,000 per unit for developments up to 19 units. The total cash contribution required for this 12 unit townhouse development is \$12,000.00.

Outdoor amenity space will be provided on site. Based on the preliminary design, the size of the proposed outdoor amenity space complies with the Official Community Plan (OCP) requirements of 6 m<sup>2</sup> per unit. Staff will work with the applicant at the Development Permit stage to ensure the configuration and design of the outdoor amenity space meets the Development Permit Guidelines in the OCP.

### **Site Servicing and Frontage Improvements**

Prior to issuance of the Building Permit, the client is required to enter into the City's standard Servicing Agreement to design and construct frontage beautification along the site frontage, as well as service connections (see Attachment 5 for details). All works are at the client's sole cost (i.e., no credits apply). The developer is also required to pay DCC's (City & GVS & DD), School Site Acquisition Charge and Address Assignment Fee.

**Financial Impact or Economic Impact**

The rezoning application results in an insignificant Operational Budget Impact (OBI) for off-site City infrastructure (such as roadworks, waterworks, storm sewers, sanitary sewers, street lights, street trees and traffic signals).

**Conclusion**

The proposed 12-unit townhouse development is consistent with the Official Community Plan (OCP) and the Arterial Road Policy in the OCP. Further review of the project design is required to ensure a high quality project and design consistency with the existing neighbourhood context, which will be completed as part of the Development Permit application review process. The list of rezoning considerations is included as Attachment 5, which has been agreed to by the applicants (signed concurrence on file). On this basis, staff recommend support of the application.

It is recommended that Zoning Bylaw 8500, Amendment Bylaw 9749 be introduced and given first reading.



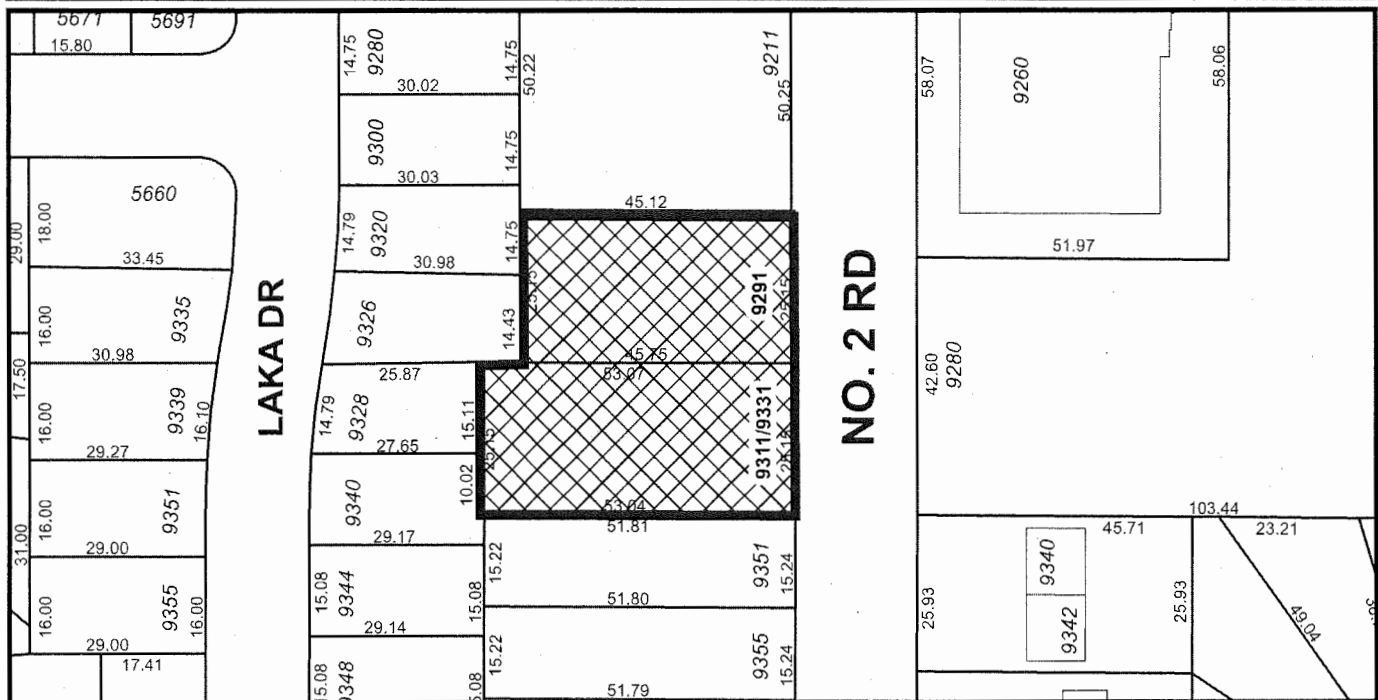
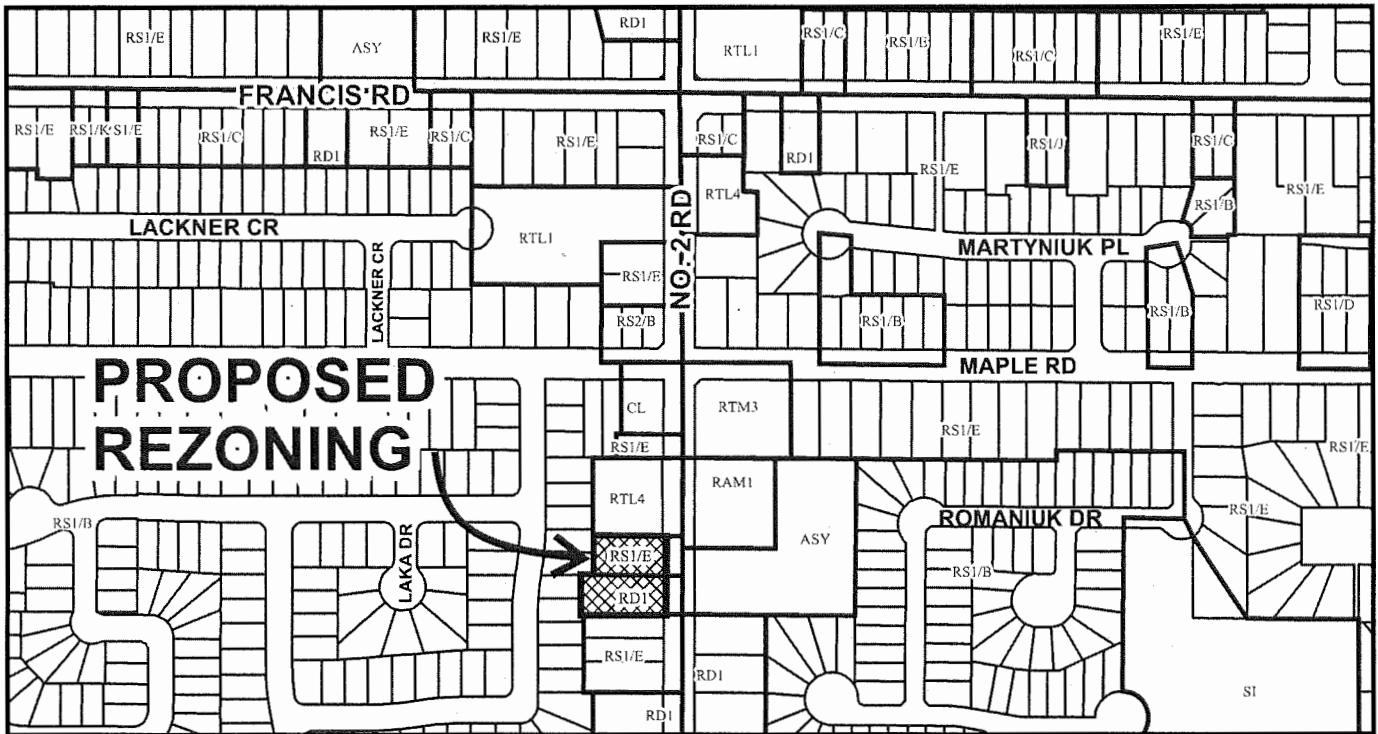
Edwin Lee  
Planner 1  
(604-276-4121)

EL:rg

- Attachment 1: Location Map
- Attachment 2: Conceptual Development Plans
- Attachment 3: Development Application Data Sheet
- Attachment 4: Tree Management Plan
- Attachment 5: Rezoning Considerations



City of  
Richmond



RZ 15-716773

Original Date: 01/18/16

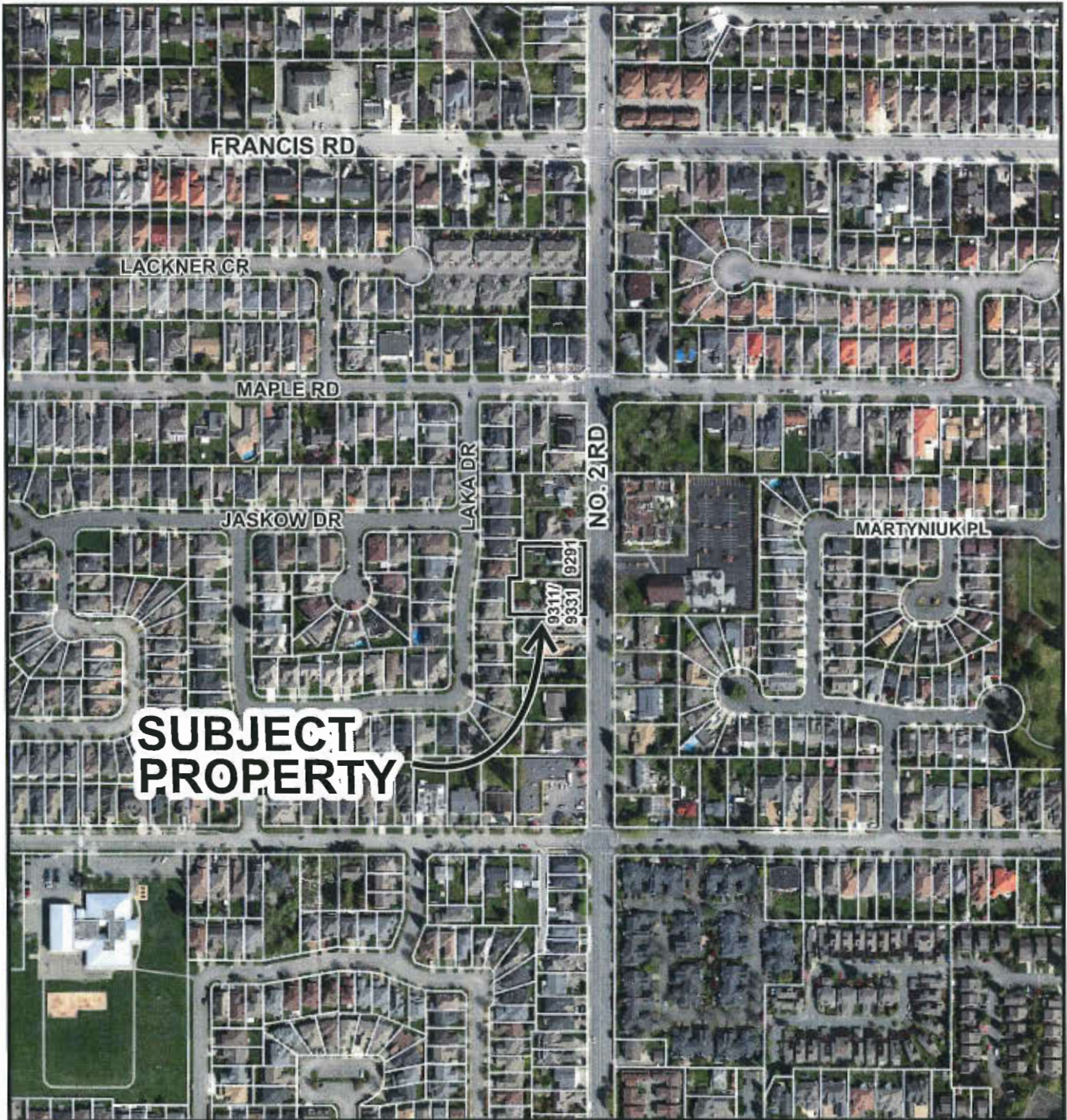
Revision Date: 08/04/17

Note: Dimensions are in METRES





# City of Richmond



RZ 15-716773

Original Date: 01/18/16

Revision Date: 08/04/17

Note: Dimensions are in METRES

REV#	DATE	BY	CHKD	DESC

DATE	DESCRIPTION

CLIENT: SATNAM JYAL  
 PROJECT: TOWNHOUSE DEVELOPMENT  
 SHEET: CONCEPTUAL SITE PLAN #1  
 SHEET COMMENTS: DEVELOPMENT DATA

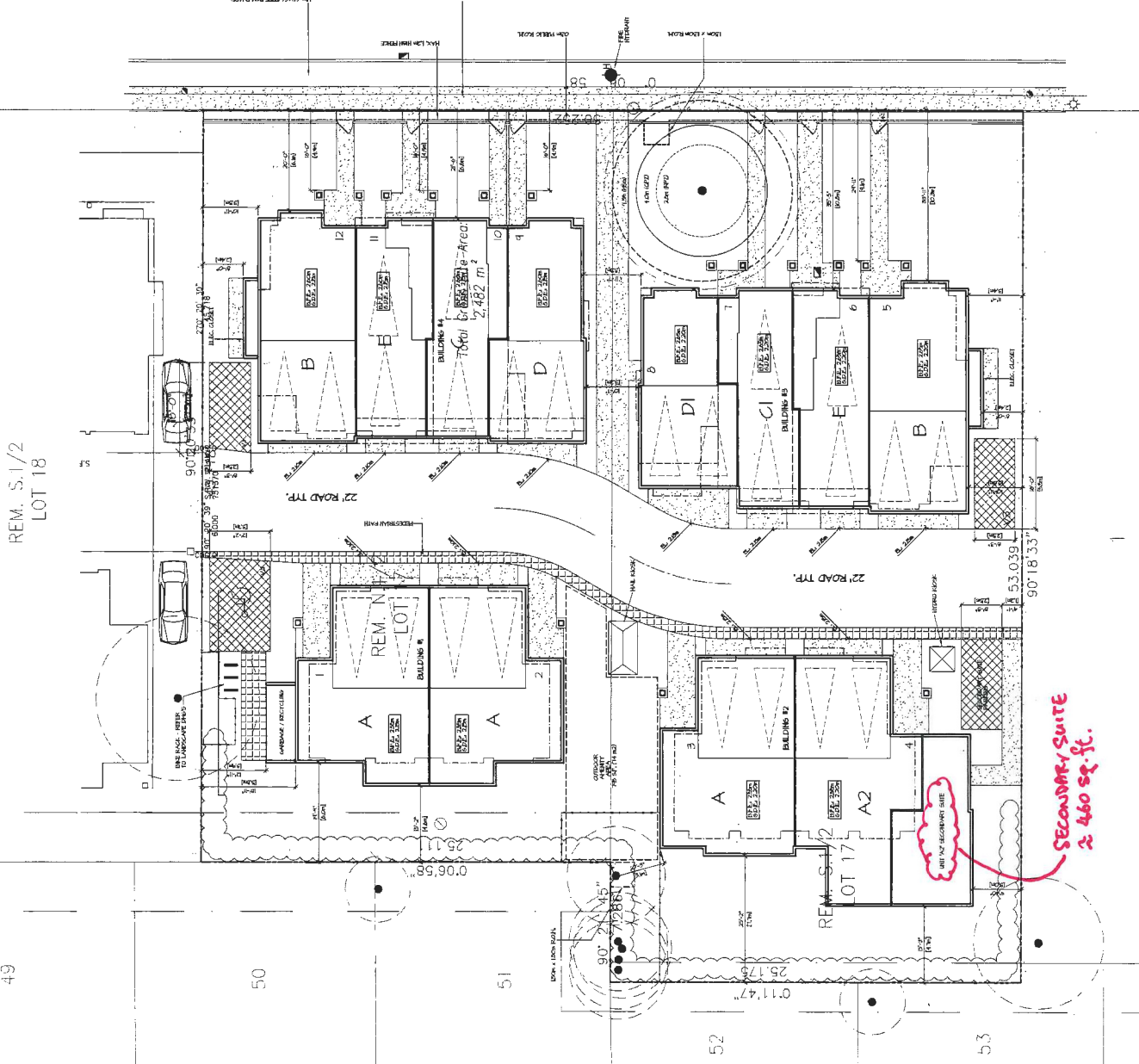
**barnett dembek**  
 ARCHITECTS & PLANNERS P.C.  
 9911 48th Street, Vancouver, BC  
 PHONE: (604) 977-7100  
 FAX: (604) 977-2089  
 EMAIL: info@barnettdembek.com

### DEVELOPMENT DATA

**ZONING:** RTLS  
**GROSS AREA:** 26,715 SF, 2,482 m<sup>2</sup>  
**DEDICATION:** 0 SF, 0 m<sup>2</sup>  
**NET:** 26,715 SF, 2,482 m<sup>2</sup>  
**DENSITY:** 14.6 UPA, 48.4 UPA (12 UNITS)  
**SITE COVERAGE:** 40% (10,161 SF, 1,000 m<sup>2</sup>)  
**F.A.R.:** 0.51 (15,249 SF, 1,421 m<sup>2</sup>)  
**AMENITY SPACE:**  
 INDOOR: PROVIDED, 0 SF, (0 m<sup>2</sup>)  
 OUTDOOR: PROVIDED, 745 SF, (74 m<sup>2</sup>)  
**PARKING:**  
 REQUIRED: RESIDENTIAL: 2 X (12 UNITS) = 24 SPACES  
 VISITOR: 0.2 X (12 UNITS) = 2.4 SPACES  
**TOTAL: 26.4 SPACES**  
 PROVIDED: RESIDENTIAL: 25 SPACES  
 VISITOR: 3 SPACES  
**TOTAL: 28 SPACES**

NOTE: ALL SPACES LISTED ARE AS PROVIDED FOR UNIT NO. 30-00001 UNIT #1

UNIT TYPE	# OF BEDROOMS	SQ. FT.	# OF UNITS	TOTAL AREA
UNIT A1	3	1,892 SF	1	1,892 SF
UNIT A2	3	1,892 SF	1	1,892 SF
UNIT B1	3	2,484 SF	1	2,484 SF
UNIT B2	3	2,484 SF	1	2,484 SF
UNIT C1	3	2,484 SF	1	2,484 SF
UNIT C2	3	2,484 SF	1	2,484 SF
UNIT D1	3	1,892 SF	1	1,892 SF
UNIT D2	3	1,892 SF	1	1,892 SF
UNIT E	2	1,498 SF	2	2,996 SF
UNIT F	2	1,498 SF	2	2,996 SF
TOTAL				



REM. S.1/2  
LOT 18

49

50

51

52

53

CONCEPTUAL SITE PLAN  
 SCALE: 3/32" = 1'-0"  
 NORTH

REVISION	DATE	BY	ISSUE

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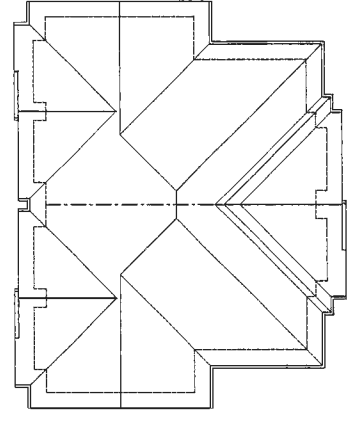
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DESIGN :	
DRAWN :	
DATE :	14/11/11
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PROJECT : TOWNHOUSE DEVELOPMENT	
9291 & 9291B NO. 2 ROAD, RICHMOND B.C.	
SHEET CONTENTS :	
BUILDING PLAN	
BUILDING 2	

**barnett dembek**

UNIT 135,  
7236 130 STREET  
VANCOUVER, B.C.  
V6N 1Y8

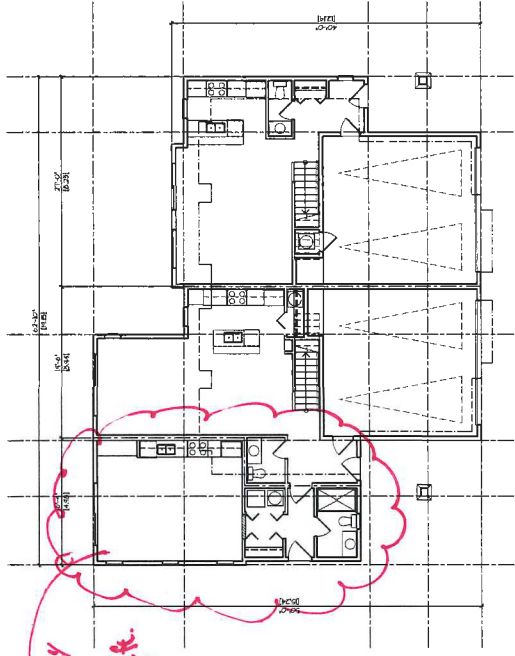
PHONE: (604) 837-7100  
FAX: (604) 837-2099  
EMAIL: md@barnettdembek.com

SHEET NO.	AC-32
PROJECT NO.	15044
REV. NO.	



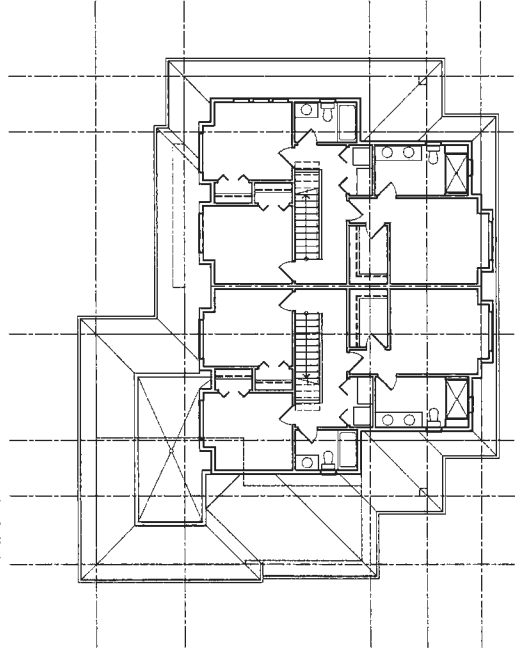
← UNIT A ——— UNIT A →

**ROOF PLAN**  
SCALE: 1/8" = 1'-0"



← UNIT A2 ——— UNIT A2 →

**MAIN FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



← UNIT A2 ——— UNIT A2 →

**UPPER FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

Secondary  
SUITE  
± 460 sq. ft.

REV#	DATE	BY	CHKD	APP#

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SHEET NO. 4  
PROJECT: TOMMORROW DEVELOPMENT  
4291 & 4911 NO. 2 ROAD, RICHMOND BC.  
DATE: 04/20/14  
DRAWN BY: M. J. GIBSON  
CHECKED BY: M. J. GIBSON

CLIENT: SATNAM JOHAL  
DESIGN: BARNETT ARCHITECTURE  
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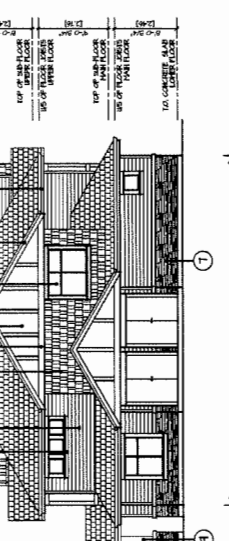
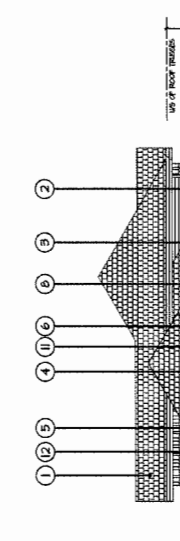
SHEET CONTENTS:  
ELEVATIONS

UNIT 135  
7535 130 STREET  
VANCOUVER BC  
V6P 4R6  
PHONE: (604) 997-7775  
FAX: (604) 997-7888  
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barnett dembek  
ARCHITECTS  
1070 WEST 10TH AVENUE  
VANCOUVER BC V6H 2G6

CLIENT NO. AC-14  
PROJECT NO. B044  
SHEET NO. 4

SCALE: 1/8" = 1'-0"



### SCHEDULE OF FINISHES

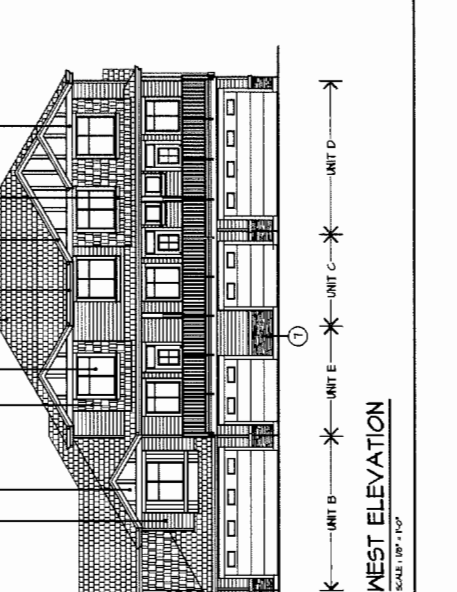
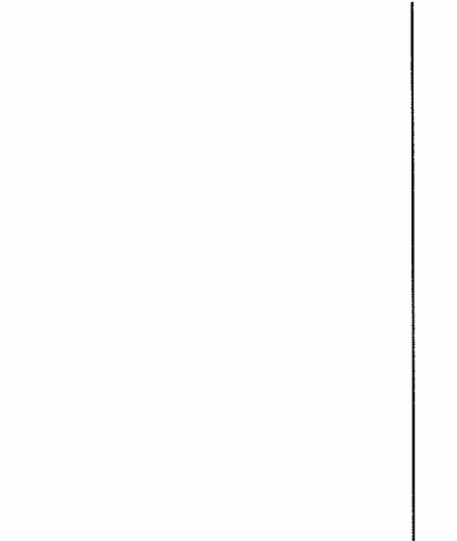
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2	PREFINISHED ALUMINUM GUTTER ON 2x4 WOOD FASCIA
3	1x4 WOOD TRIM ON 2x4 WOOD FASCIA
4	HARDIE-SINGLE SIDING
5	HARDIE-FLANK LAP SIDING (6" PROFILE)
6	HARDIE-PANEL SIDING WITH BATTERS
7	CATURD LEDGESTONE VENEER
8	VINYL FRAMED WINDOW WITH 2x6 TRIM
9	12x12 BUILT-UP COLUMN BY HARDIE PANEL SIDING
10	24x24 COLUMN BASE BY CATURD LEDGESTONE VENEER
11	2x4 WOOD TRIM
12	RANDOM SILL - 2x4 CAP ON 2x4 WOOD TRIM
13	3'-6" HIGH ALUMINUM PICKET GUARDRAIL

**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"

**SOUTH ELEVATION**  
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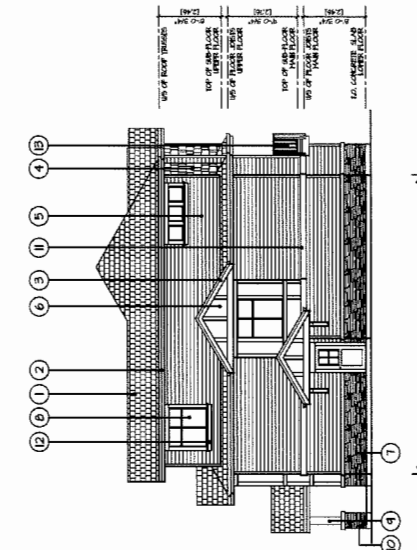
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**WEST ELEVATION**  
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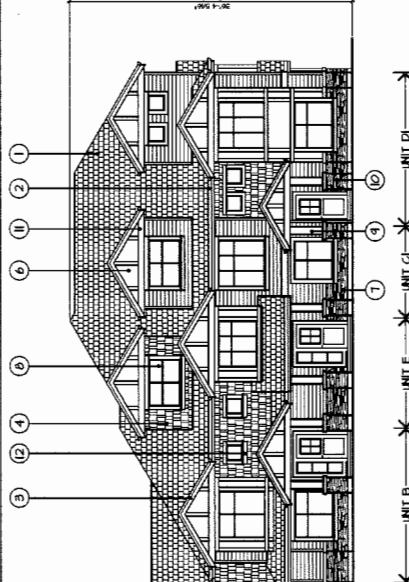


REV#	DATE	BY	CHKD	REASON

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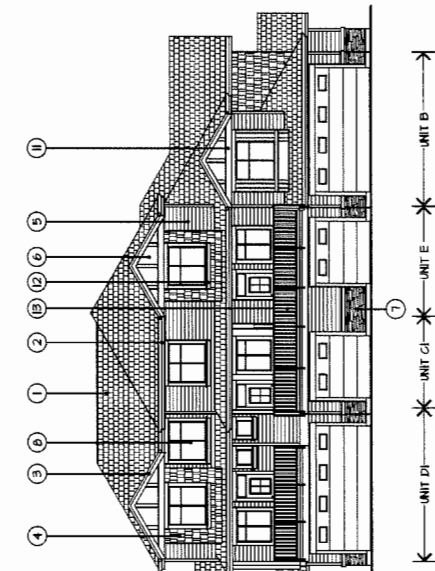


**NORTH ELEVATION**  
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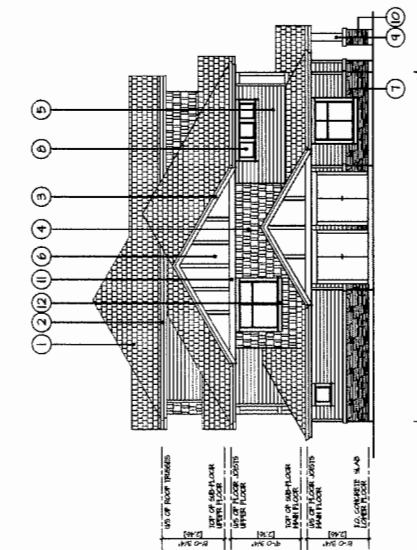


**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"

- SCHEDULE OF FINISHES**
- 1 ASPHALT SHINGLE ROOFING
  - 2 PREFINISHED ALUMINUM GUTTER ON 2x4x6 WOOD FASCIA
  - 3 1x4 WOOD TRIM ON 2x4x6 WOOD FASCIA
  - 4 HARDIE-SHINGLE SIDING
  - 5 HARDIE-PLANK LAP SIDING (6" PROFILE)
  - 6 HARDIE-PANEL SIDING WITH BATTERS
  - 7 CULTURED LEDGESTONE VENEER
  - 8 VINYL FRAMED WINDOWS WITH 2x6 TRIM
  - 9 12x12 BUILT-UP COLUMN IN HARDIE PANEL SIDING
  - 10 2x4x24 COLUMN BASE IN CULTURED LEDGESTONE VENEER
  - 11 2x4x6 WOOD TRIM
  - 12 WINDOW SILL - 2x4x6 CAP ON 2x4x6 WOOD TRIM
  - 13 3'-6" HIGH ALUMINUM PICKET GUARDRAIL



**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"

UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS AND FINISHES ARE TO BE THE STANDARD FINISHES AND MATERIALS AS SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

REV	DATE	BY	REASON

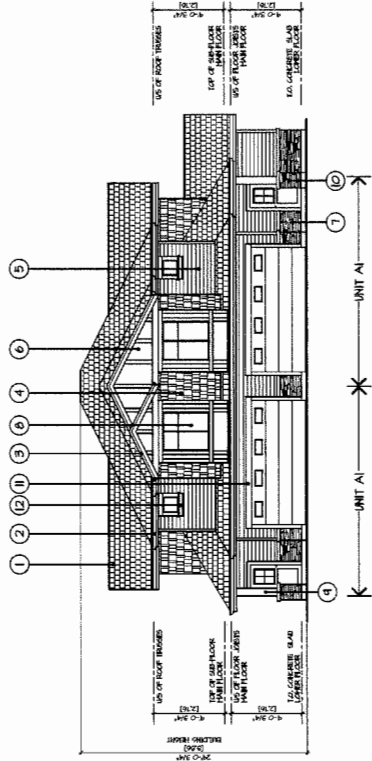


OWNER: SATNAH JOHAL  
 PROJECT: TOWNHOUSE DEVELOPMENT  
 4281 & 4911 NO. 2 ROAD, RICHMOND B.C.  
 SHEET CONTENTS  
 ELEVATIONS  
 BUILDING  
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 CHECKED BY: [Redacted]

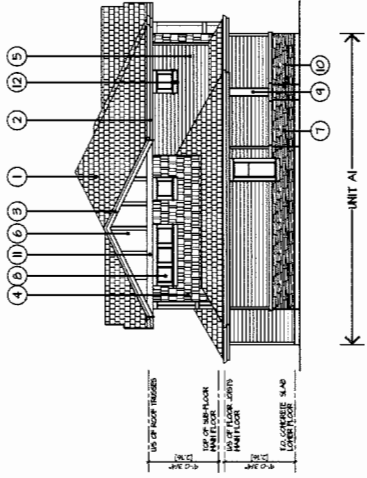
barnett dembek  
 ARCHITECTS  
 UNIT 105  
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 SURREY, B.C.  
 V3N 1N6  
 PHONE: (604) 597-7100  
 FAX: (604) 597-7101  
 EMAIL: info@barnett.com

SHEET NO. AC-4-1  
 PROJECT NO. 15044

QTY	PH	SHEET NO.	REV. NO.
		AC-4-1	
		15044	



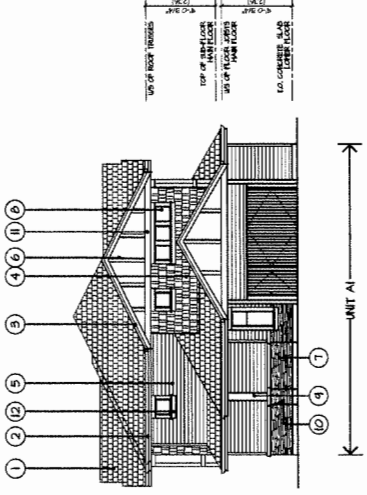
**EAST ELEVATION**  
 SCALE: 1/8" = 1'-0"



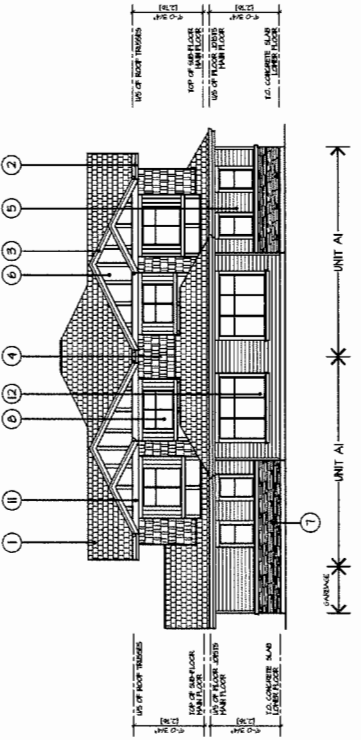
**SOUTH ELEVATION**  
 SCALE: 1/8" = 1'-0"

**SCHEDULE OF FINISHES**

- 1 ASPHALT SHINGLE ROOFING
- 2 PREFINISHED ALUMINUM GUTTER ON 2X6 MOOD FASCIA
- 3 1/4" MOOD TRIM ON 2X4 MOOD FASCIA
- 4 HARDIE-SHINGLE SIDING
- 5 HARDIE-PLANK LAF SIDING (6" PROFILE)
- 6 HARDIE-PANEL SIDING WITH BATTERS
- 7 CULTURED LEDGESTONE VENEER
- 8 VINYL FRAMED WINDOWS WITH 2x4 TRIM
- 9 12x12 BUILT-UP COLUMN W/ HARDIE PANEL SIDING
- 10 24x24 COLUMN BASE W/ CULTURED LEDGESTONE VENEER
- 11 2X4 MOOD TRIM
- 12 WINDOW SILL - 2X4 GAP ON 2X6 MOOD TRIM
- 13 3'-6" HIGH ALUMINUM PICKET GUARDRAIL



**NORTH ELEVATION**  
 SCALE: 1/8" = 1'-0"



**WEST ELEVATION**  
 SCALE: 1/8" = 1'-0"

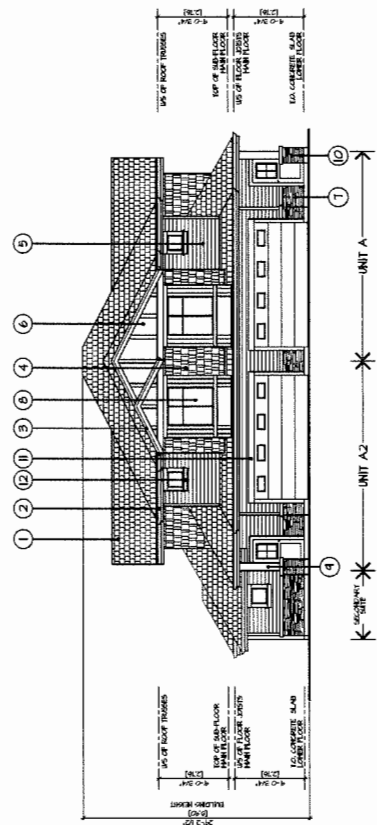
UNLESS NOTED OTHERWISE, ALL DIMENSIONS AND MATERIALS SHALL BE AS SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

REV	DATE	BY	REASON

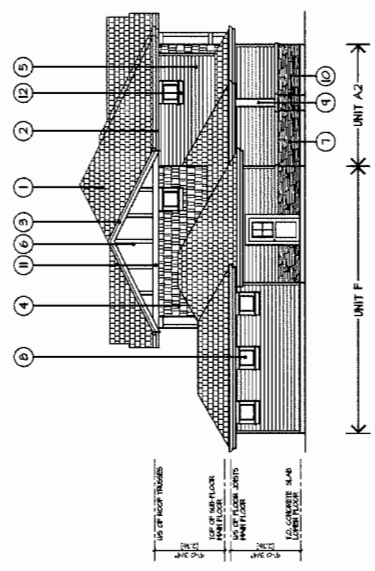
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PROJECT: TOWNHOUSE DEVELOPMENT  
SHEET COMMENTS: ELEVATIONS  
BUILDING 2  
SCALE: 1/8" = 1'-0"  
DATE: 11/11/10  
DRAWN BY: [REDACTED]

UNIT 135  
7236 130 STREET  
SURREY, B.C.  
PHONE: (604) 597-1100  
FAX: (604) 597-2000  
EMAIL: info@barnett-dembak.com

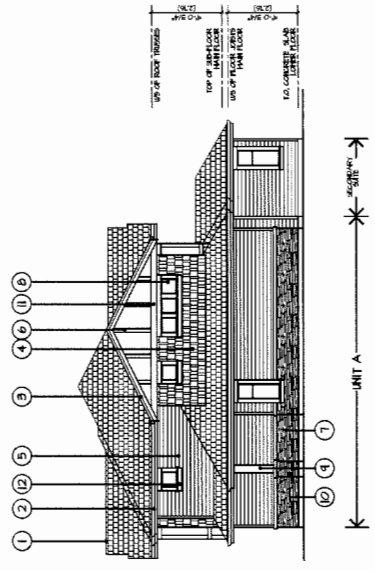
CLIENT NO. AC-412  
PROJECT NO. 15044



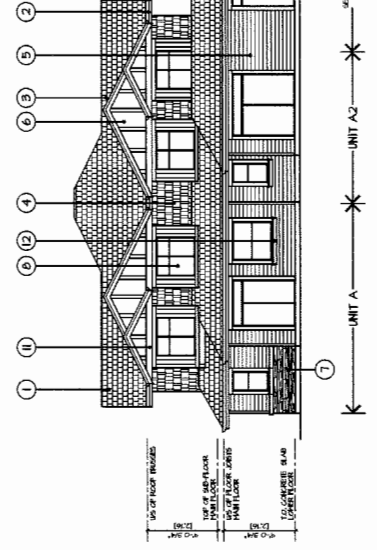
**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

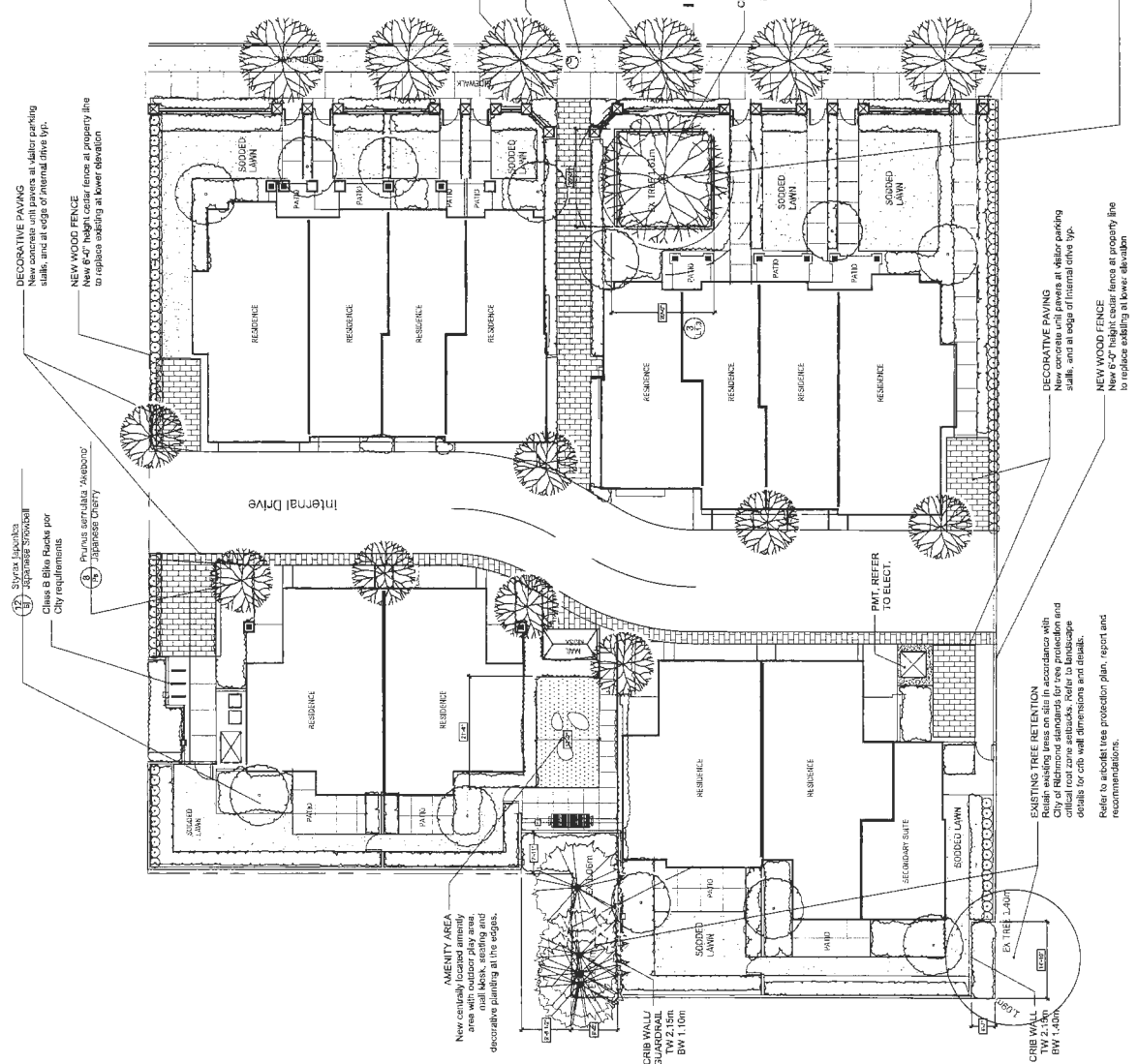
- SCHEDULE OF FINISHES**
- 1 ASPHALT SHINGLE ROOFING
  - 2 PREFINISHED ALUMINUM GUTTER ON 2x4 WOOD FASCIA
  - 3 1/4" WOOD TRIM ON 2x4 WOOD FASCIA
  - 4 HARDIE-SHINGLE SIDING
  - 5 HARDIE-PLANK LAF SIDING (6" PROFILE)
  - 6 HARDIE-PANEL SIDING WITH BATTERS
  - 7 CULTURED LEDGESTONE VENEER
  - 8 VIKRIL FRAMED MIRRORS WITH 2x4 TRIM
  - 9 12x12 BUILT-UP COLUMN w/ HARDIE PANEL SIDING
  - 10 24x24 COLUMN BASE w/ CULTURED LEDGESTONE VENEER
  - 11 2x4 WOOD TRIM
  - 12 WINDOW SILL - 2x4 CAP ON 2x8 WOOD TRIM
  - 13 3'-6" HIGH ALUMINUM PICKET GUARDRAIL

### Plant Schedule

SYM	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE	COMMENTS
P8	6	<i>Prunus serrulata</i> 'Amanogawa'	Japanese Cherry	8.0 cm Cal, B&B	Full, well branched
SJ	12	<i>Syrax japonicus</i>	Japanese Snowbell	2.5 m, B&B	Full, Uniform branching
B8	---	<i>Buxus microphylla</i> 'Winter Gem'	Korean Boxwood	#3 Gal. Pot, 30" o.c.	Full
Cm	---	<i>Carex morrowii</i> 'Ice Dance'	Evergreen Sedge	#1 Gal. Pot, 24" o.c.	Full
Cc	---	<i>Crobyla lilmata</i>	Mexican Orange	#3 Pot, 36" o.c.	Full
D8	---	<i>Daphne odora</i>	Fragrant Daphne	#3 Gal. Pot, 18" o.c.	Full
Hm	---	<i>Hemerocallis</i> 'Was the Kellig'	Red Daylily	#1 Gal. Pot, 18" o.c.	Full
Hc	---	<i>Hydrangea macrophylla</i>	Hydrangea	#1 Gal. Pot, 12" o.c.	Full
Ms	---	<i>Miscanthus sinensis</i>	Maiden Grass	#2 Pot, 24" o.c.	Full
N2	---	<i>Nandina domestica</i>	Heavenly Bamboo	#2 Pot, 24" o.c.	Full
OJ	---	<i>Oenothera japonicus</i>	Morito Grass	#1 Gal. Pot, 18" o.c.	Full
Pa	---				
St	---				
Tm	---	<i>Taxus x media</i> 'Hickdall'	Hick's Yew	1.2 m Ht., 24" o.c.	Full, maintained at 1.2m
Vm	---	<i>Vincetoxicum</i>	Vincetoxicum	#1 Pot, 24" o.c.	Full

### Notes

- Provide all plant material meeting BCSA/BCMA Standard, latest edition.
- All street trees are to be planted in accordance with City of Richmond requirements for species, soil volume and installation. Confirm with Richmond Parks for species and selection.
- Plant area on site to be installed in accordance with landscape architect and landscape architect's specifications of etc.
- No substitutions or adjustments without written approval by the landscape architect.



NOT FOR CONSTRUCTION		
3	Review for Planning	July 27 2015
2	Review for Planning	June 10 2015
1	Issue for Review	May 12 2015
1	Issue for Review	May 17 2015
4	Design	---

Multifamily Development  
 9291 & 9311 No 2 Rd  
 Richmond BC

### Landscape Concept Plan

Integrate Amenities into One Space  
 The Amenity Space is an integrated experience featuring a multi-use area with lounge seating and all opportunities for social interaction. The use of hedges and planting strips create a buffer between the road and the amenity space.

Define Public and Private  
 Street trees, planting and hedges along No. 2 Road contribute to the pedestrian scale and texture, delineate the transition between public and private space. The use of ornamental planting and a small patio trees that anchor the sidewalk residential units. Planting public and private space. Planting trees and grasses between the edges of the private road, but also delineate the space between public road and encourages traffic to skew road more pedestrian oriented.

Landscaping Rationale  
 Animate No. 2 Road  
 Provide landscape features on the No. 2 Road frontage that create a pedestrian scale and texture, ornamental planting and a small patio trees that anchor the sidewalk residential units. Planting public and private space. Planting trees and grasses between the edges of the private road, but also delineate the space between public road and encourages traffic to skew road more pedestrian oriented.

Decorative Fencing  
 New brick, aluminum and aluminum picket fencing at street edge, etc.

Existing Tree Retention  
 Retain existing oak tree on site in accordance with City of Richmond standards for tree protection and installation. Refer to landscape architect's specifications and details for crib wall dimensions and details.

Refer to amenity tree protection plan, report and recommendations.

Refer to amenity tree protection plan, report and recommendations.

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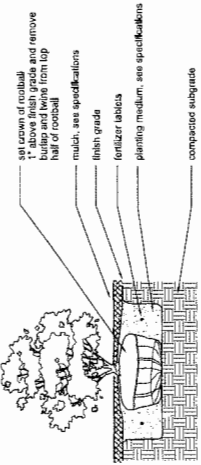
Refer to amenity tree protection plan, report and recommendations.

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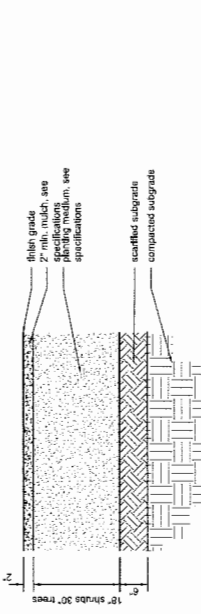
Refer to amenity tree protection plan, report and recommendations.

Refer to amenity tree protection plan, report and recommendations.

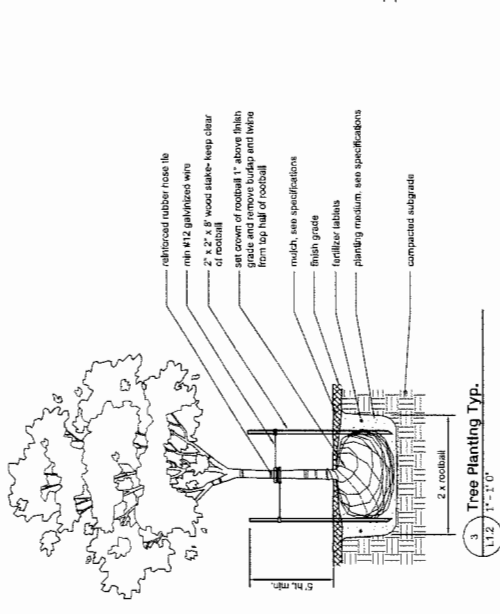




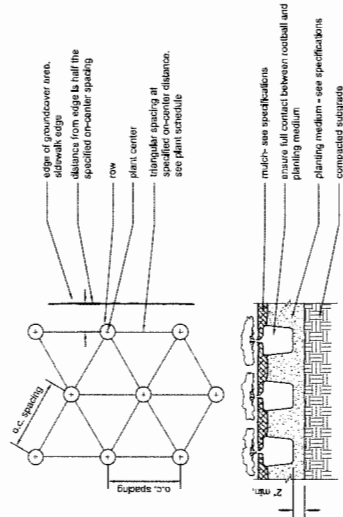
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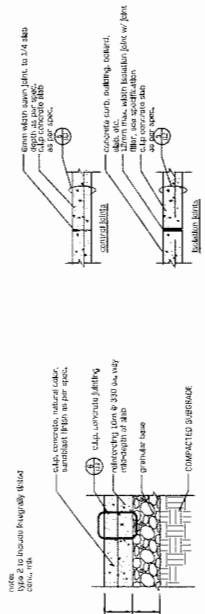
2 Shrub Planting Typ.  
 L1.2 1'-1'0"



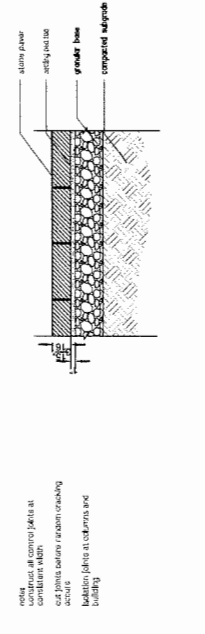
3 Tree Planting Typ.  
 L1.2 1'-1'0"



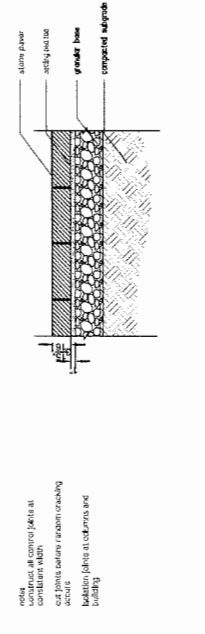
4 Groundcover Spacing Typ.  
 L1.2 1'-1'0"



5 C.I.P. Concrete Typ.  
 L1.2 1'-1'0"



6 Control Joints Typ.  
 L1.2 1'-1'0"



7 Stone Pavers  
 L1.2 1'-1'0"

**NOT FOR CONSTRUCTION**

3. Issue for Review - 11/13/2017  
 2. Issue for Review - 10/13/2017  
 1. Issue for Review - 10/17/2016

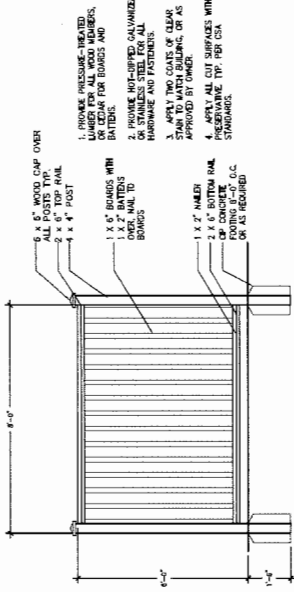
4. Description Date

**Multiunit Development**  
 9291 & 9311 No 2 Road  
 Richmond BC

**Landscape Details**

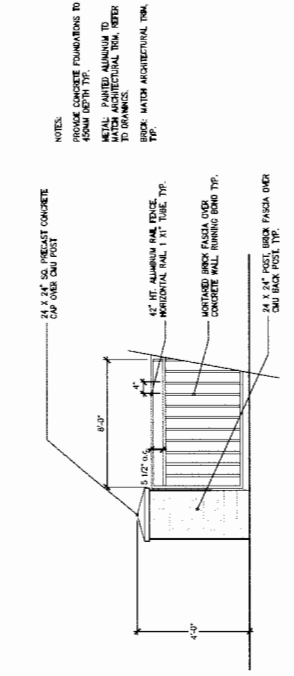
Date: Nov 13, 2017  
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 Scale: 1/8"=1'-0"  
 Drawing No: L1.2

Special thanks to the University of British Columbia for their assistance in the development of this drawing. All rights reserved. This drawing is the property of HAPA Landscape Architecture.



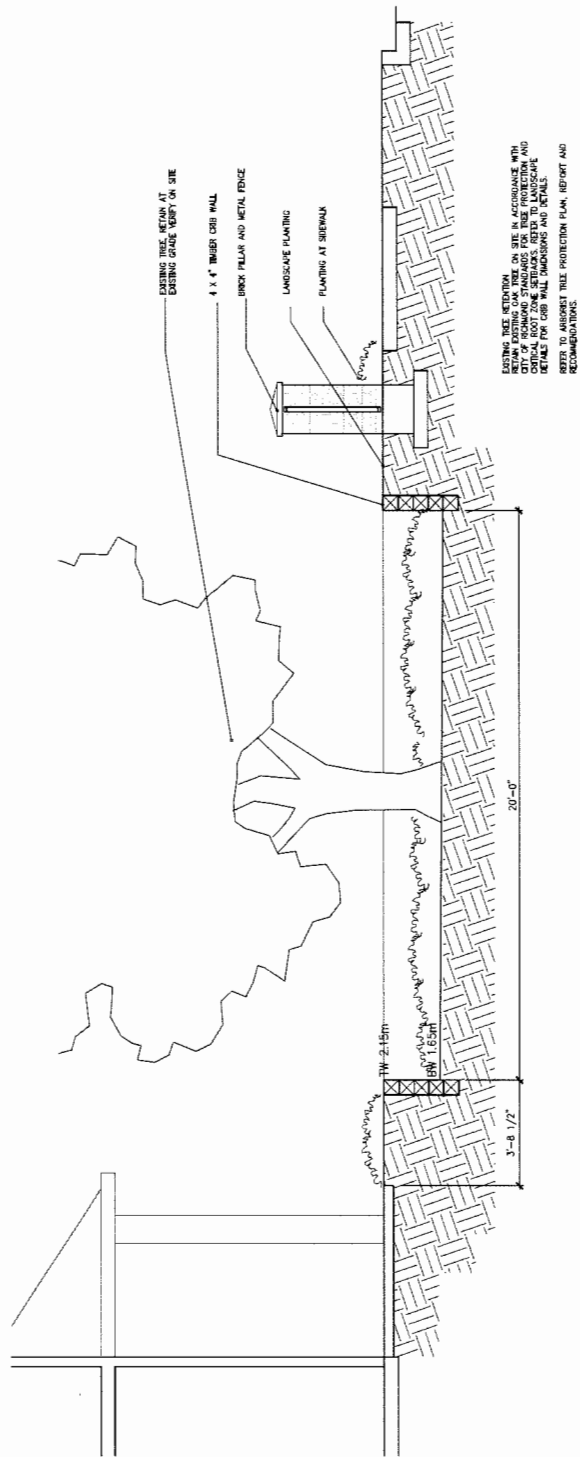
1. PROVIDE PRESSURE-TREATED LUMBER FOR ALL WOOD MEMBERS, EXCEPT FOR BATTERS AND BATTERS.
2. PROVIDE WELDED GALVANIZED OR STAINLESS STEEL FOR ALL HARDWARE AND FASTENERS.
3. APPLY TWO COATS OF CLEAR PENETRATING OIL FINISH, OR AS APPROVED BY OWNER.
4. APPLY ALL CUT SURFACES WITH PRESERVATIVE. TYP. PER CSA STANDARDS.

2 Wood Fence Typ.  
 L1.3 / 1/2" = 1'-0"



- NOTES:
- PROVIDE CONCRETE FOUNDATIONS TO 450MM DEPTH TYP.
  - METAL PAINTED ALUMINUM TO MATCH PROFESSIONAL TON, REFER TO DRAWINGS.
  - EDGE MATCH ARCHITECTURAL TON. TYP.

1 Stone Plaster Metal Fence Typ.  
 L1.3 / 1/2" = 1'-0"



EXISTING TREE RETENTION ON SITE IS ACCORDANCE WITH CITY OF RICHMOND STANDARDS FOR TREE PROTECTION AND OFFICIAL 1007 ZONE. ALL TREE PROTECTION AND LANDSCAPE DETAILS TO BE SHOWN IN TREE PROTECTION PLAN, REPORT AND RECOMMENDATIONS.

3 Tree Protection  
 L1.3 / 1/2" = 1'-0"

**NOT FOR CONSTRUCTION**  
 3. 08/04/2017 - 08/16/2017  
 2. 08/04/2017 - 08/16/2017  
 1. 08/04/2017 - 08/16/2017  
 4. 08/04/2017 - 08/16/2017

Multifit Development  
 9291 & 9311 No 2 Road  
 Richmond BC

Landscape  
 Concept Plan

Date: 08/13/2017  
 Author: L1.3  
 Scale: 1/2" = 1'-0"  
 User: Project Manager



**RZ 15-716773**

**Attachment 3**

Address: 9291 and 9311/9331 No. 2 Road

Applicant: Jhujar Construction Ltd.

Planning Area(s): Blundell

	Existing	Proposed
<b>Owner:</b>	Jhujar Construction Ltd.	No Change
<b>Site Size (m<sup>2</sup>):</b>	2,482 m <sup>2</sup>	No Change
<b>Land Uses:</b>	Single-Family Residential / Two-Family Residential	Multiple-Family Residential
<b>OCP Designation:</b>	Low-Density Residential	No Change
<b>Area Plan Designation:</b>	N/A	No Change
<b>702 Policy Designation:</b>	N/A	No Change
<b>Zoning:</b>	Single Detached (RS1/E) and Two-Unit Dwellings (RD1)	Low Density Townhouses (RTL4)
<b>Number of Units:</b>	3	12
<b>Other Designations:</b>	N/A	No Change

On Future Subdivided Lots	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.60	0.60 Max.	none permitted
Lot Coverage – Building:	Max. 40%	40% Max.	none
Lot Coverage – Non-porous Surfaces:	Max. 65%	65% Max.	none
Lot Coverage – Landscaping:	Min. 25%	25% Min.	none
Setback – Front Yard (m):	Min. 6.0 m	6.1 m	none
Setback – North Side Yard (m):	Min. 3.0 m	3.0 m Min.	none
Setback – South Side Yard (m):	Min. 3.0 m	3.0 m Min.	none
Setback – Rear Yard (m):	Min. 3.0 m	4.6 m	none
Height (m):	Max. 12.0 m (3 storeys)	<ul style="list-style-type: none"> <li>• 12.0 m (3 storeys) Max. along No. 2 Road</li> <li>• 9.0 m (2 storeys) Max. along west property line</li> </ul>	none
Lot Width:	Min. 50.0 m	50.25 m	none
Lot Depth:	Min. 35.0 m	45.12 m Min.	none

<b>On Future Subdivided Lots</b>	<b>Bylaw Requirement</b>	<b>Proposed</b>	<b>Variance</b>
Off-street Parking Spaces – Regular (R) / Visitor (V):	2 (R) and 0.2 (V) per unit + 1 (R) per secondary suite	2 (R) and 0.251 (V) per unit + 1 (R) per secondary suite	none
Off-street Parking Spaces – Total:	25 (R) and 3 (V)	25 (R) and 3 (V)	none
Tandem Parking Spaces:	Max. 50% of proposed residential spaces in enclosed garages (24 x Max. 50% = 12)	8	none
Small Car Parking Spaces	None when fewer than 31 spaces are provided on site	0	none
Handicap Parking Spaces:	Min. 2% of parking stalls required when 3 or more visitor stalls are required (28 x 2% = 1 space)	1	none
Bicycle Parking Spaces – Class 1 / Class 2:	1.25 (Class 1) and 0.2 (Class 2) per unit	1.25 (Class 1) and 0.25 (Class 2) per unit	none
Off-street Parking Spaces – Total:	15 (Class 1) and 3 (Class 2)	15 (Class 1) and 3 (Class 2)	none
Amenity Space – Indoor:	Min. 70 m <sup>2</sup> or Cash-in-lieu	Cash-in-lieu	none
Amenity Space – Outdoor:	Min. 6 m <sup>2</sup> x 12 units = 72 m <sup>2</sup>	74 m <sup>2</sup>	none

Other: Tree replacement compensation required for removal of bylaw-sized trees.

**TREE PROTECTION GUIDELINES:**

- TREE PROTECTION ZONE (TPZ) STAKES:**  
The Tree Protection Zone (TPZ) is established as defined by this office to provide a suitable setback to ensure adequate root protection to maintain tree health and tree stability. These alignments are based on site and tree conditions as determined by the contractor. The TPZ shall be established prior to any site preparation or construction activity. The TPZ shall be established with suitable stakes and may be conditioned to certain mitigation measures being undertaken (i.e. root pruning, compaction treatment to remaining root zone). The tree protection guidelines also apply to the overhead portions of the tree (limbs, branches and foliage).
- TREE PROTECTION FENCES (BARBERS):**  
Barbers must be erected at the specified alignments and setbacks, maintained in good condition until the project receives substantial completion, and thereafter removed. Barbers may be made of any material, but must be constructed of material with a minimum height of 1.8m (6 feet) and a maximum height of 2.4m (8 feet). Barbers must be spaced at a maximum frequency of the width of the trunk. Barbers shall be constructed of material suitable for construction of a fence and must be able to be removed and re-installed as needed. Barbers must be constructed of material that will not be damaged by construction equipment. Barbers shall be constructed of material that will not be damaged by construction equipment. Barbers shall be constructed of material that will not be damaged by construction equipment.
- TPZ FENCES:**  
If any tree protection fence is damaged within close proximity to a residential, commercial, property line, or other environmentally sensitive or protected area, the contractor must undergo a survey of the location of those property lines such that the fence is replaced or repaired. The contractor must ensure that the fence is replaced or repaired within 30 days of discovery.
- TPZ FENCES AND LAND CLEARING OPERATIONS:**  
Large scale land clearing areas contain a TPZ and/or trees that require treatment in areas where the TPZ fence intersects along the project boundary. The contractor must ensure that the TPZ fence is maintained throughout the project. The contractor must ensure that the TPZ fence is maintained throughout the project. The contractor must ensure that the TPZ fence is maintained throughout the project.

**TREE INVENTORY AND ASSESSMENT LIST:**

Tag # denotes the tag affixed to the tree for reference in report and on drawings.

C denotes crown condition. C=Good, F=Fair, P=Poor, D=Dead.

R denotes root condition. R=Good, F=Fair, P=Poor, D=Dead.

S denotes stem condition. S=Good, F=Fair, P=Poor, D=Dead.

A denotes action to be taken. A=Retain, R=Remove, P=Protect.

U denotes uncertain.

1 denotes low canopy tree.

2 denotes medium canopy tree.

3 denotes high canopy tree.

4 denotes tree to be removed.

5 denotes tree to be protected.

6 denotes tree to be retained.

7 denotes tree to be pruned.

8 denotes tree to be topped.

9 denotes tree to be removed and replaced.

10 denotes tree to be removed and replaced with a weevil structural form.

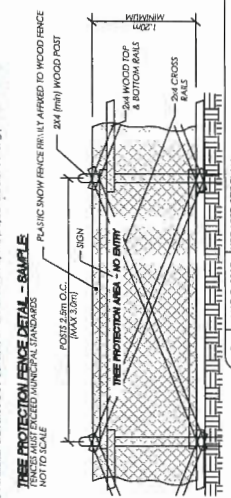
11 denotes tree to be removed and replaced with a weevil structural form.

12 denotes tree to be removed and replaced with a weevil structural form.

13 denotes tree to be removed and replaced with a weevil structural form.

14 denotes tree to be removed and replaced with a weevil structural form.

15 denotes tree to be removed and replaced with a weevil structural form.



**SEE SHEET 2 FOR DRAWING DETAILS**

**ARBORTECH CONSULTING**

SUITE 145 - 12051 HORSESHOE WAY, RICHMOND, BC V7A 4V4 P. 604.275.3484

REV #	DATE	COMMENTS
3	AUG 2, 2017	UPDATED SITE PLAN
0	AUG 17, 2015	INITIAL SUBMISSION

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**TREE MANAGEMENT DRAWING**

**PROJECT: PROPOSED TOWNHOUSE DEVELOPMENT**

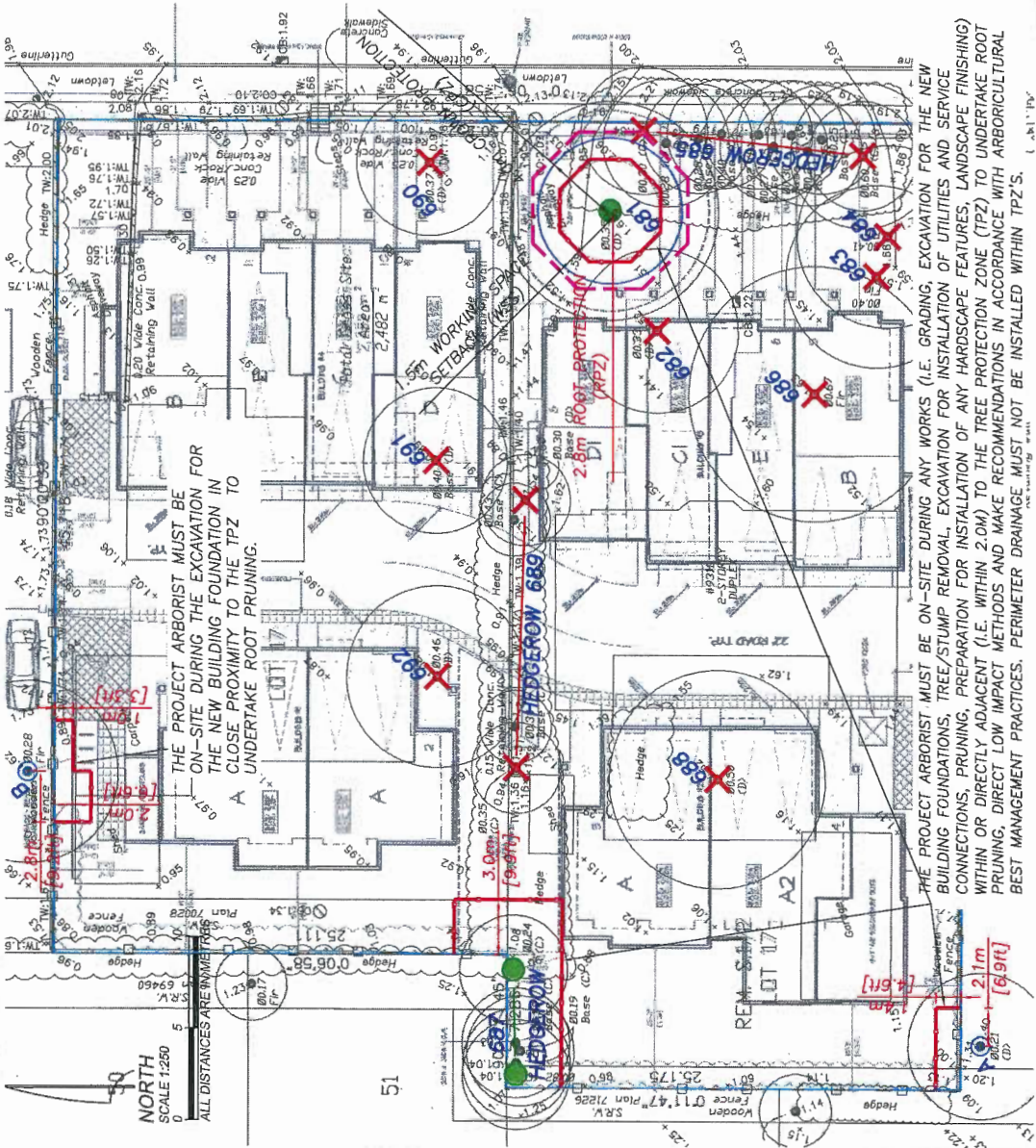
**ADDRESS: 9311 & 9291 No. 2 ROAD, RICHMOND**

**CLIENT: JHUJAR CONSTRUCTION**

**ACL FILE: 15241**

**SHEET: 1 OF 2**

- UNBRACING:**  
The bracing process is when a retained tree can be severely damaged. The placement of bracing is critical and should be performed by a professional. The bracing should be installed in a way that does not interfere with the tree's natural growth and should be installed in a way that does not interfere with the tree's natural growth. The bracing should be installed in a way that does not interfere with the tree's natural growth. The bracing should be installed in a way that does not interfere with the tree's natural growth.



**SUGGESTED PLANT LIST: REPLACEMENT TREES**  
 Please use botanical name when ordering.  
 Size: H denotes height and C denotes calliper.  
 Current arboricultural best management practices and BCSEA/BCMA standards apply to: quality, root ball, health, form, handling, planting, staking and establishment care.  
 Scale: Heights and Spread (metres) are approximate mature sizes considering landscape planting in a "Southern Coastal BC" growing environment - actual dimensions will vary.

CODE	CITY	Site	BOTANICAL NAME	COMMON NAME
<b>BROADLEAF - SMALL TO MEDIUM SCALE:</b>				
AG		6m C	Acer griseum	Paperbark maple
FD		6m C	Fagus sylvatica 'Dawyck'	Dawyck beech
SP		6m C	Stewartia pseudocamellia	Japanese Stewartia
AU		6m C	Arbutus menziesii	Strawberry tree
CC		3.5m H	Cercis canadensis	Redbud
SR		6m c	Syringa reticulata	Lilac
<b>EVERGREEN - SMALL SCALE:</b>				
APC		3.5m H	Abies procera 'Glauca'	Noble fir
PO		3.5m H	Pricea omoides	Serbian spruce

- LEGEND:**
- X # denotes TAG NUMBER or ID REFERENCE.
  - # denotes PRIORITY RANKING for treatment planning consideration.
  - denotes DRIPLINE (spread of the branches and foliage) of the tree.
  - denotes RETENTION tree (proposed).
  - ⊗ denotes REMOVAL tree (proposed).
  - ⊕ denotes HIGH RISK REMOVAL tree (proposed).
  - ⊖ denotes OFF-SITE tree (to be protected and/or owner contacted as noted).
  - ⊕ denotes NON-BYLAW undersize tree (as measured by project arborist).
  - ⊖ denotes SITE or STUDY AREA BOUNDARY.
  - ⊕ denotes TREE PROTECTION ZONE (TPZ) setback alignment as specified by project arborist.
  - ⊖ denotes REPLACEMENT TREE proposed (conceptual location - see plant list for details).

REV #	DATE	INITIALS	COMMENTS
3	AUG 2, 2017	UPDATED SITE PLAN	
0	AUG 17, 2015	INITIAL SUBMISSION	

**ARBORTECH CONSULTING**  
 SUITE 145 - 12051 HORSESHOE WAY, RICHMOND, BC V7A 4V4  
 TEL: 604.275.3484

**TREE MANAGEMENT DRAWING**  
 PROJECT: PROPOSED TOWNHOUSE DEVELOPMENT  
 ADDRESS: 9311 & 9291 NO.2 ROAD, RICHMOND  
 CLIENT: JHUJAR CONSTRUCTION  
 ACL FILE: 15241

SEE SHEET 1 FOR TREE DATA AND SPECIFICATIONS



City of  
Richmond

**Rezoning Considerations**  
Development Applications Department  
6911 No. 3 Road, Richmond, BC V6Y 2C1

**Address:** 9291 and 9311/9331 No. 2 Road

**File No.:** RZ 15-716773

**Prior to final adoption of Richmond Zoning Bylaw 8500, Amendment Bylaw 9749, the developer is required to complete the following:**

1. Consolidation of all the lots into one development parcel (which will require the demolition of all existing dwellings).
2. Registration of a flood indemnity covenant on Title.
3. Registration of a legal agreement on Title to ensure that no final Building Permit inspection is granted until one secondary suite is constructed on site, to the satisfaction of the City in accordance with the BC Building Code and the City's Zoning Bylaw.
4. Registration of a legal agreements on Title or other measures, as determined to the satisfaction of the Director of Development, to ensure a surface parking stall is assigned to the unit with a secondary suite, and that the parking stall will be for the sole use of the secondary suite.
5. Registration of a legal agreement or measures, as determined to the satisfaction of the Director of Development, ensuring that the only means of vehicle access to and from 9291 and 9311/9331 No. 2 Road is from the Public Rights of Passage (PROP) statutory rights-of-way (SRW) (registered under CA5001624, EPP 51370) burdening the adjacent property to the north at 9211 No. 2 Road; and that there be no direct vehicle access to or from No. 2 Road.
6. Registration of a cross-access easement, statutory right-of-way (SRW), and/or other legal agreements or measures, as determined to the satisfaction of the Director of Development, over the full width and extent of the north-south internal drive aisle on site in favour of the existing and future residential development to the north, as well as the future residential developments to the south. Language should be included in the SRW document that the City will not be responsible for maintenance or liability within the SRW and that no permanent structures, including concrete curbs, are to be constructed at the north and south ends of the on-site north-south drive aisle.
7. Registration of a legal agreement on Title, prohibiting the conversion of the tandem parking area into habitable space.
8. Registration of a legal agreement on Title, identifying that the proposed development must be designed and constructed to meet or exceed EnerGuide 82 criteria for energy efficiency and that all dwellings are pre-ducted for solar hot water heating.
9. Discharge of existing covenant AE16486 registered on title, which restricts the use of the property to a duplex.
10. Submission of a Contract entered into between the applicant and a Certified Arborist for supervision of any on-site works conducted within the tree protection zone of the trees to be retained on site and on adjacent properties. The Contract should include the scope of work to be undertaken, including: the proposed number of site monitoring inspections, and a provision for the Arborist to submit a post-construction assessment report to the City for review.
11. City acceptance of the developer's offer to voluntarily contribute \$0.79 per buildable square foot (e.g. \$12,662.91) to the City's Public Art fund.
12. City acceptance of the developer's offer to voluntarily contribute \$4.00 per buildable square foot (e.g. \$64,116.00) to the City's affordable housing fund.
13. Contribution of \$12,000.00 in-lieu of on-site indoor amenity space.
14. The submission and processing of a Development Permit\* completed to a level deemed acceptable by the Director of Development.

**Prior to a Development Permit\* being forwarded to the Development Permit Panel for consideration, the developer is required to:**

1. Complete a proposed townhouse energy efficiency report and recommendations prepared by a Certified Energy Advisor which demonstrates how the proposed construction will meet or exceed the required townhouse energy efficiency standards (EnerGuide 82 or better), in compliance with the City's Official Community Plan.

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**Prior to a Development Permit\* issuance, the developer is required to complete the following:**

1. Submission of a Landscaping Security based on 100% of the cost estimate provided by the landscape architect.
2. Submission of a Tree Survival Security to the City as part of the Landscape Letter of Credit to ensure that all trees identified for retention will be protected. No Landscape Letter of Credit will be returned until the post-construction assessment report, confirming the protected trees survived the construction, prepared by the Arborist, is reviewed by staff.

**Prior to Building Permit Issuance, the developer must complete the following requirements:**

1. Enter into a Servicing Agreement\* for the design and construction of engineering infrastructure improvements. Works include, but may not be limited to:

Water Works

- a. Using the OCP Model, there is 442 L/s of water available at a 20 psi residual at the hydrant at 9260 No.2 Rd. Based on your proposed development, your site requires a minimum fire flow of 220 L/s.
- b. The Developer is required to:
  - Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm the development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage and Building designs.
  - Install a fire hydrant at No.2 Road frontage to service the proposed townhouse development. Coordination with the City's Fire Department to confirm the location of the proposed hydrant is required.
- c. At Developers cost, the City is to:
  - Cut and cap at main, the existing water service connections to both 9291 and 9311 No.2 Rd.
  - Install 1 new water service connection off of the 200mm PVC watermain along No.2 Rd.

Storm Sewer Works

- a. At Developer's cost, the City is to:
  - Check the size and condition of the existing storm service connection on lot 9291's frontage. Upgrade to the service connection pipe may be required if it is inadequately sized or in poor condition.
  - Cut, cap, and abandon the existing storm service connection lead and dispose existing inspection chamber at the northeast corner of Lot 9311.
  - Install a new Type III inspection chamber and remove the existing storm inspection chamber STIC51279.

Sanitary Sewer Works

- a. At Developers cost, the City is to:
  - Remove the existing IC and sanitary lead that services Lot 9291.
  - Install a 150mm service connection complete with an inspection chamber and tie-in to existing manhole SMH3304 located at the northwest corner of 9311 No 2 Road. Connection shall utilize the existing opening at the southeast face of SMH3304.
- b. The Developer is required to:
  - Not start building construction until the rear yard sanitary connection is completed by city crews.

Frontage Improvements

- a. The Developer is required to:
  - Construct a new 1.5 m wide concrete sidewalk immediately along the east property line of the site. The new sidewalk is to connect to the existing sidewalk north and south of the subject site. The alignment of the sidewalk may be changed for tree protection purposes.
  - Remove the existing sidewalk next to the curb and backfill the area to provide a grass/tree boulevard between the new sidewalk and the existing curb.

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- The existing driveways to provide access to the subject site from No. 2 Road are to be closed permanently. Remove the existing driveway crossings and replace with barrier curb/gutter, boulevard and sidewalk per standards described above. The developer of this site is responsible for the design and construction of curb/gutter, sidewalk and boulevard as part of the driveway closure works in addition to other required frontage improvements.
- Coordinate with BC Hydro, Telus and other private communication service providers when:
  - i. Undergrounding Hydro service lines.
  - ii. Relocating/modifying any of the existing power poles and/or guy wires within the property frontages.
  - iii. Determine if above ground structures are required and coordinate their locations on-site with the architect and private utility companies (e.g. PMT, LPT, Shaw cabinets, Telus, Kiosks, etc).

General Items

- a. The Developer is required to:
  - Provide additional ROW to accommodate the proposed service connections. Details to be determined during the SA process.
  - Enter into, if required, additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
  - Provide a pre-load plan and geotechnical assessment of impact to existing surrounding utilities and recommendations to mitigate the impact.
2. Installation of appropriate tree protection fencing around all trees and hedges to be retained as part of the development prior to any construction activities, including building demolition, occurring on-site.  
Should the applicant wish to begin site preparation work after third reading of the rezoning bylaw, but prior to final adoption of the rezoning bylaw and issuance of the Development Permit, the applicant will be required to obtain a Tree Permit and submit landscaping security (i.e. \$18,000 in total) to ensure the replacement planting will be provided.
3. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
4. Incorporation of energy efficiency, CPTED, sustainability, and accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
5. If applicable, payment of latecomer agreement charges associated with eligible latecomer works.
6. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

**Note:**

- \* This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

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The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

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Signed

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Date



Richmond Zoning Bylaw 8500
Amendment Bylaw 9749 (RZ 15-716773)
9291 and 9311/9331 No. 2 Road

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

- 1. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, is amended by repealing the existing zoning designation of the following area and by designating it "LOW DENSITY TOWNHOUSES (RTL4)".

P.I.D. 004-014-758

North Half Lot 17 Except: Part Subdivided by Plan 60236, Block "B" Section 25 Block 4 North Range 7 West New Westminster District Plan 1353

and

P.I.D. 002-821-991

The South Half of Lot 17 Except: Part Subdivided by Plan 70853; Block "B" Section 25 Block 4 North Range 7 West New Westminster District Plan 1353

- 2. This Bylaw may be cited as "Richmond Zoning Bylaw 8500, Amendment Bylaw 9749".

FIRST READING

A PUBLIC HEARING WAS HELD ON

SECOND READING

THIRD READING

OTHER CONDITIONS SATISFIED

ADOPTED

SEP 11 2017

Approval stamp: CITY OF RICHMOND, APPROVED by EL, APPROVED by Director or Solicitor BK

MAYOR

CORPORATE OFFICER