



City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: March 8, 2017

From: Wayne Craig
Director of Development

File: DP 16-745853

Re: Application by YuanHeng Seaside Developments Ltd. for a Development Permit
at 3031, 3211, 3231, 3291, 3311, 3331 and 3351 No. 3 Road and 8151 Capstan Way

Staff Recommendation

That a Development Permit be issued which would permit the construction of the first phase of a three-phase, high-rise, mixed use development comprised of 535 dwellings (including 41 affordable housing units) and street-oriented commercial uses at 3031, 3211, 3231, 3291, 3311, 3331 and 3351 No. 3 Road and 8151 Capstan Way on a site zoned "Residential / Limited Commercial and Community Amenity (ZMU30) – Capstan Village (City Centre)".

Wayne Craig
Director of Development

WC:seh
Att.

Staff Report

Origin

YuanHeng Seaside Developments Ltd. has applied to the City of Richmond for permission to construct “Seaside South”, the first phase of a three-phase, 113,132 m² (1,217,741 ft²), high-rise, mixed use development, including a community centre (Phase 2 “Seaside North”) and City park, in Capstan Village near the designated future location of the Capstan Canada Line Station (Attachments 1 & 2). Each phase will be the subject of a separate Development Permit application. The subject Phase 1 Development Permit (DP) application, which encompasses most of a city block at the northwest corner of No. 3 Road and Capstan Way, is a 57,106 m² (614,686 ft²) mixed use development comprised of 535 dwellings (including 41 affordable housing units) and 2,129 m² (22,912 ft²) of street-oriented commercial uses.

The site is being rezoned for the purposes of this project from “Auto-Oriented Commercial (CA)”, “Marina (MA2)”, and “Hotel Commercial (ZC160 – Capstan Village (City Centre))” to “Residential / Limited Commercial and Community Amenity (ZMU30) – Capstan Village (City Centre)” and “School and Institutional Use (SI)” under Zoning Amendment Bylaw 9594 (RZ 12-603040). The rezoning bylaw received third reading on October 17, 2016.

All Engineering, Transportation, and Parks off-site requirements in respect to the proposed three-phase development have been resolved and agreed to by the developer through the rezoning. As per legal agreements registered on title, the developer is responsible for the design and construction, at the developer’s sole cost, of upgrades across the subject site’s street frontages, together with various other road, utility, and park-related works. These off-site works will be managed in three stages, on a lot-by-lot (phase-by-phase) basis, through three Servicing Agreements. The developer will enter into the first Servicing Agreement (SA 16-748500) prior to rezoning adoption and complete the required works prior to occupancy of Phase 1. Works required as part of SA 16-748500 include, among other things, road widening along No. 3 Road, Capstan Way, and Corvette Way, improved vehicle access to/from Sea Island Way at Corvette Way, a new east-west street along the north side of the subject Phase 1 site, water, storm, and sanitary service upgrades (including pump station improvements), and related works. No additional Servicing Agreement works are required in respect to the subject Development Permit application for Phase 1.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

To the North: A new street linking No. 3 Road and Corvette Way, to be constructed by the developer concurrently with the subject phase, and beyond that, “Seaside North”, the development’s second phase. The latter will be comprised of an office tower near Sea Island Way and, along the new street, two residential towers and a 3,107 m² (33,439 ft²) City-owned community centre (the latter of which shall be

constructed with parking and ancillary uses to a turnkey level of finish at the developer's sole cost).

To the East: No. 3 Road, beyond which is the proposed location of the future Capstan Canada Line station, a new neighbourhood park (under construction), and the recently completed first phase of a five-phase, high density, high-rise, mixed use development (RZ 10-544729 and RZ 12-610011 / Pinnacle International).

To the South: Capstan Way, beyond which are low density, commercial properties and marinas zoned "Auto-Oriented Commercial (CA)" and "Marina (MA2)" and designated under the CCAP for medium and high density, mid- and high-rise, residential and mixed use development, park, and marina.

To the West: 8091 Capstan Way, a vacant lot that is currently the subject of a rezoning application (RZ 15-699647 / GBL Architects) to permit a two-tower, mixed hotel/residential development, in compliance with City Centre Area Plan (CCAP) policy (i.e. 3.5 FAR and 45 m / 148 ft. maximum height).

Also to the west, across Corvette Way, is an existing three-tower, mixed hotel/residential development at 3099, 3111, and 3333 Corvette Way (Wall Centre) zoned "Residential/Hotel (ZMU5) – Capstan Village (City Centre)", which is similar in height and density to those proposed for 8091 Capstan Way.

Rezoning and Public Hearing Results

The developer's proposed form of development, which is a combination of articulated streetwall buildings and towers, generally conforms to the CCAP and its Development Permit Guidelines and is well-suited to the demands and opportunities of the site. Issues identified through the rezoning for design development at Development Permit stage for Phase 1 generally included:

- 1) The subject development will be prominently located on No. 3 Road, at a key Capstan Village crossroads, near the future Capstan Canada Line Station.
 - ***Distinctive No. 3 Road towers and an articulated, mid-rise streetwall building will give definition to the street edge and provide visual landmarks that enhance local identity and the public realm.***
- 2) The CCAP encourages small tower floorplates, together with varied heights and forms. Through the rezoning, it was agreed that larger floorplates and minimal changes in height could be supported, provided that the form is varied and visually interesting.
 - ***Variations in the shape and articulation of the proposed towers, balcony and cornice treatments, cladding, and fenestration provide for visual interest, while special tower designs along the No. 3 Road frontage introduce variety and contribute towards a distinctive overall form and character.***
- 3) Potential livability impacts (e.g., view blockage and noise from commercial uses) arising as a result of adjacent, on- and off-site development must be addressed.
 - ***Steps have been taken to minimize overlook between the subject development's proposed towers and their neighbours through building siting, unit orientation, and the distribution of open space areas. In addition, prior to rezoning adoption, a covenant***

will be registered on title to notify future residents of potential view and other impacts that may occur as a result of on- and/or off-site development.

The Public Hearing for the rezoning of this site was held on October 17, 2016. At the Public Hearing, concerns were expressed regarding traffic, as proximity to major arterial roads and the lack of a well-connected secondary road network can make access to existing neighbouring development difficult. Staff worked with the applicant to address these concerns in the following ways:

- ***A traffic study has been completed and recommendations have been incorporated into Phase 1's on- and off-site designs. Approved works along Corvette Way, Capstan Way, and Sea Island Way, together with the establishment of a new street along Phase 1's north side, will improve access for existing and future residents and businesses alike.***
- ***Prior to Building Permit issuance, the developer must submit a Construction Parking and Traffic Management Plan that, among other things, must demonstrate to the satisfaction of the Director of Transportation that the access/egress requirements of existing residents/businesses will not be compromised during construction.***

Staff Comments

The proposed design scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and City Centre Area Plan (CCAP), and is in compliance with the proposed "Residential / Limited Commercial and Community Amenity (ZMU30) – Capstan Village (City Centre)" zone (No zoning variances are requested).

Prior to rezoning adoption, the developer is required to register various legal agreements on title, some of which require that specific conditions are satisfied prior to Development Permit issuance for Phase 1. The subject development addresses these requirements, generally as follows:

1) Capstan Station Bonus (CSB):

- Prior to Building Permit issuance, the developer shall submit a voluntary contribution, estimated at \$4,490,073, for the funding of station construction (i.e. based on 535 units and the 2016/17 Council-approved contribution rate of \$8,392.66 per unit).
- All public open space required with respect to the CSB open space policy (i.e. 5 m² / 54 ft² per unit) was secured via dedications, land transfers, and Statutory Right-of-Ways through the rezoning and includes, within the subject Phase 1 site, plazas along the Capstan Way frontage and at the corner of No. 3 Road and the new street. As part of the Phase 1 DP, the latter has been increased in size to accommodate outdoor dining associated with fronting commercial units in addition to general open space public uses.

2) Affordable Housing: Through the rezoning it was agreed that the developer would construct, at the developer's sole cost, 4,442 m² (47,811 ft²) of clustered affordable (low-end market rental) housing units to a turnkey level of finish and, as per the site's ZMU30 zone, at least 25% of this would be provided in the development's first phase. Through the subsequent DP process, the developer proposed to:

- Increase Phase 1's share of the development's total affordable housing contribution from 25% to 70%, from 1,111 m² to 3,096 m² (11,953 ft² to 33,319 ft²);
- Increase the number of affordable housing units in Phase 1 from 15 to 41; and
- Complete the construction of Phase 1 in three stages, such that the first stage of affordable housing will exceed the minimum habitable floor area requirement under the ZMU30 zone.

STAGE	AFFORDABLE HOUSING HABITABLE FLOOR AREA	# OF PHASE 1 AFFORDABLE HOUSING UNITS					
		CLUSTERS	TOTAL	BACH.	1 BR	2 BR	3 BR
1	1,404.0 m ² (15,112.0 ft ²)	Tower B = 9 units Tower C = 12 units	21	5	5	9	2
2	595.5 m ² (6,409.9 ft ²)	Tower A = 7 units	7	NIL	1	5	1
3	1,100.6 m ² (11,846.8 ft ²)	Tower D = 8 units Tower E = 5 units	13	NIL	2	8	3
TOTAL	3,100.1 m ² (33,368.7 ft ²)	5 to 12 units per tower cluster	41 (100%)	5 (12%)	8 (19%)	22 (54%)	6 (15%)

Staff are supportive of the developer's proposal on the basis that it:

- Accelerates the development's delivery of affordable housing units;
 - Satisfies all applicable Zoning Bylaw requirements;
 - Includes 71% family-type units (i.e. with 2 and 3 bedrooms);
 - Includes 100% Basic Universal Housing (BUH) units;
 - Creates five dispersed, independent clusters of affordable housing units, comprising 5 to 12 units each (i.e. each cluster shares lobby/circulation space with the market residents in its tower, but not with the affordable housing or market residents in any other tower);
 - Provides unrestricted access to Phase 1's indoor and outdoor amenities for all occupants of the proposed affordable housing units; and
 - Provides the affordable housing occupants with parking, Class 1 bike storage, electric vehicle charging facilities, and use of indoor and outdoor amenity spaces at no additional cost (i.e. not in excess of the City's Council-approved affordable housing unit rents).
- 3) Transitional Parking Strategy & Transportation Demand Management (TDM): Richmond Zoning Bylaw 8500 permits parking reductions in Capstan Village for projects that incorporate TDM measures (i.e. up to 10%) and are able to meet the area's parking demands today and after the Capstan Canada Line station is operational (i.e. by accommodating a transition from Zone 1A rates to lower Zone 1 rates). In light of this, through the rezoning various road network improvements, TDM measures, and related features were secured, all of which will be implemented at the developer's sole cost. Based on this, staff are supportive of the developer's proposed comprehensive parking plan for Phase 1, key features of which will be secured via legal agreements registered on title and include, among other things:
- 140 commercial parking spaces, which shall be located on the parkade's street/entry level and operated, as determined through the rezoning, as 50% "Public" (70 spaces) for short-term use by the general public and 50% "Assignable" (70 spaces) for the exclusive use of specific persons or businesses (i.e. leased, sold, or otherwise assigned);

- End-of-trip cycling facilities (i.e. showers, lockers, grooming stations, and washrooms) for the use of commercial tenants, co-located with the project's Class 1 commercial bike storage and conveniently situated near the parkade's street/entry level; and
 - Electric vehicle charging equipment provided at rates greater than OCP standards, including:
 - i. 240V quick-charge service versus the slower 120V service required;
 - ii. Charging stations for 25% of residential parking spaces versus 20% required; and
 - iii. Chargers (3) and charging stations (16) for commercial parking versus none required.
- 4) Public Art: Prior to rezoning, legal agreements will be registered on title requiring that, among other things, prior to completion of the subject Phase 1 development, the developer shall implement the first phase of its Public Art Plan. The Plan has a total estimated value of \$833,887 (which will be updated phase-by-phase based on the Council-approved rates in effect at the time of Development Permit approval for the development's future two phases). The Plan's first phase contribution is valued at \$462,213, comprised of \$439,102 (95%) for one artwork near the corner of No. 3 Road and Capstan Way (to be secured with a Letter of Credit prior to DP issuance) and \$23,111 (5%) in cash to the Public Art Operating Provision, as per standard City policy. The Richmond Public Art Advisory Committee received and endorsed the development's site-wide, 3-phase, public art master plan on December 20, 2016 and its detailed plan for Phase 1 on February 22, 2017. Implementation of the Phase 1 plan will be presented for Council consideration, as required, under a separate report.
- 5) District Energy Utility (DEU): All Capstan Village developments, including the subject Phase 1 development, must be designed and constructed to facilitate their connection to a future City DEU system. Prior to rezoning, legal agreements will be registered on title requiring that, among other things, the developer submits an energy modelling report prepared by an accredited professional to the satisfaction of the City prior to Building Permit approval and enters into a Service Provider Agreement prior to occupancy.
- 6) Transport Canada Height Regulations: The developer has submitted a signed/sealed letter prepared by a surveyor confirming that the height of the proposed Phase 1 development, 47 m (154 ft.) GSC, is in compliance with Transport Canada regulations.
- 7) Skyline Pump Station Equipment Enclosure: Through the rezoning, it was determined that above-grade equipment required for the operation of the Skyline (sanitary) Pump Station would be relocated, at the developer's sole cost, from the City boulevard to an on-site enclosure within the south face of the Phase 1 building. The enclosure and related access shall be owned and maintained by the developer and secured for the use of the City with a Statutory Right-of-Way (SRW). To ensure the coordination of the City- and developer-owned works, a preliminary design review was undertaken through the subject DP process and first submission of the developer's initial Servicing Agreement (SA 16-748500). (This resulted in a reduction in the required size of the SRW.) A detailed review of the pump station equipment and enclosure (including gates or doors and their operation, lighting, and related features) will be undertaken via future submissions of SA 16-748500 and the approved design shall subsequently be included for construction purposes in the developer's Phase 1 Building Permit. Construction of the pump station equipment, enclosure, and access shall be complete prior to first occupancy of Phase 1.

In addition to the above, the developer will be required to enter into new agreements, including:

- 1) Occupancy Staging Plan: Due to Phase 1's large size, the developer has requested that its occupancy is permitted to proceed in three stages. To facilitate this, prior to DP issuance, the developer shall enter into the Phase 1/Lot A Occupancy Staging Agreement, details of which are included in the attached Development Permit Considerations (Attachment 6). The purpose of this agreement is to ensure that the gradual completion and occupancy of Phase 1 will not compromise City objectives with respect to the delivery of affordable housing, residential amenities, or any other features. More specifically:
 - The staging agreement will permit occupancy to proceed in a maximum of three sequential stages, each of which shall be comprised of two residential or mixed use towers, together with specified amounts of market and affordable housing, commercial uses, and related features, as specified in Attachment 6 (Schedule A);
 - Affordable housing (including required parking, bike storage, and electric vehicle charging facilities) will be delivered in all three stages, the first of which will exceed the ZMU30 zone's minimum requirement for the entirety of Phase 1;
 - Commercial uses and related parking and electric vehicle charging facilities will be delivered in the project's first two stages, including all required "Public" short-term parking (70 spaces) in the first stage and all required "Assignable" parking (70 spaces) designated for specific persons and/or businesses in the second;
 - End-of-trip cycling facilities, Class 1 bike storage, and related electric bike charging facilities for the use of commercial tenants will be completed in Phase 1's first stage;
 - Shared indoor and outdoor amenity spaces for the use of market and affordable housing occupants will be delivered in all three stages, the size of which shall meet or exceed the applicable OCP and CCAP rates at each stage;
 - 100% of required loading facilities will be completed in Phase 1's first stage, while its residential and commercial garbage and recycling rooms will be completed in three stages in coordination with the waste management needs of each stage; and
 - As per legal agreements to be registered on title prior to rezoning, off-site works required with respect to Phase 1 and subject to a Servicing Agreement (SA 16-748500) will be completed to the City's satisfaction prior to occupancy of Phase 1. The design of the required works shall include "interim" and "ultimate" designs for sidewalks and boulevards (e.g., surface treatments, landscaping, and furnishings) in locations where the fronting building will not be occupied until Phase 1's second or third stage.
- 2) Shared Amenity Space for Phases 1 and 2: The CCAP encourages developers of large residential projects to consolidate indoor amenity space where this helps provide for special shared amenities. The subject developer proposes to apply this approach by, in Phase 1, over-supplying indoor amenity space by 263 m² (2,831 ft²) and providing an indoor pool facility, at least 650 m² (7,000 ft²) in size, for shared use with the residents of future Phase 2. (Phase 3's amenity space requirements will be fully satisfied on its own site and Phase 3 residents will not have shared use of the Phase 1 pool facility.) To facilitate the developer's proposal:
 - Prior to DP issuance, the developer shall enter into a shared amenity space agreement for Phases 1 and 2, as described in the Development Permit Considerations (Attachment 6);

- Phase 1 shall include an elevator/stair tower on the building's north side, providing access to its pool facility and related spaces for the use of future Phase 2 residents; and
 - In addition to the pool facility, both Phase 1 and Phase 2 will provide various smaller social and recreation for the independent use of the residents of each phase.
- 3) Canopy Encroachments: The subject development includes glass and metal canopies along its retail and residential lobby frontages. In some locations, the proposed canopies extend across the property line and overhang the City-owned sidewalk (e.g., No. 3 Road). Staff are supportive of the developer's proposal because the weather protection will enhance the appearance and amenity of the streetscape for pedestrians. Moreover, the canopies will not include signage or conflict with street trees and will be demountable to facilitate access to City infrastructure. Prior to Building Permit issuance, the developer shall be required to enter into encroachment agreement(s) with the City to permit the proposed canopies. (Fees will apply.)

Advisory Design Panel Comments

The Advisory Design Panel (ADP) reviewed the subject development (no vote was held due to the lack of a quorum). Panel members were generally supportive of the proposal and provided feedback for consideration by the applicant. A copy of the relevant excerpt from the Advisory Design Panel minutes of December 7, 2016 is attached for reference (Attachment 4). The design responses from the applicant have been included immediately following the related Panel comments and are identified in "***bold italics***".

Zoning Compliance/Variances

No zoning variances are requested.

Analysis

The developer proposes to construct Phase 1 – a high-rise, high density, mixed use development at the prominent No. 3 Road/Capstan Way corner – as the first phase of a three-phase development in the heart of Capstan Village. Key features in the vicinity of Phase 1 will include the future (Phase 2) community centre to its north, No. 3 Road and the future Capstan Canada Line Station to its east, and the Village's Capstan Way greenway connection with the riverfront along its south frontage. The establishment of a new street along the north edge of Phase 1 will contribute to a network of smaller, better connected blocks that are more appropriately scaled and configured for pedestrian- and transit-oriented urban development. Likewise, the developer's proposed form of development, which is a combination of articulated streetwall buildings and towers, generally conforms to the CCAP and its Development Permit (DP) Guidelines and is well-suited to the demands and opportunities of the site. In particular, the development has successfully demonstrated:

- 1) A strong urban concept providing for a high-density, pedestrian-friendly environment;
- 2) Variations in building massing that contribute towards local identity, visual interest, solar access, usable rooftops, and upper- and mid-level views across the site for residents and neighbours;
- 3) A mid-rise building typology that aims to break the streetwall into a series of coordinated, yet distinct, buildings, providing for visually engaging streetscapes, a human scale, and opportunities for interesting retail environments at grade; and
- 4) Strong public open space and on-site landscape strategies.

Conditions of Adjacency

The subject site is located in Capstan Village, an emerging, high-rise, mixed use area affected by aircraft noise. The developer has reviewed the potential development impacts that residents of Phase 1 may experience with the aim of mitigating them to the extent possible and helping potential purchasers make informed decisions (which shall include the registration of legal agreements on title prior to rezoning adoption). Overall, it has been demonstrated that the design of the subject development is sensitive to its emerging urban context and has reasonably addressed on- and off-site conditions of adjacency. In summary:

- 1) **View Blockage**: This issue is largely a function of tower spacing. Phase 1's towers will generally be separated by a distance of at least 24 m (79 ft.), as per the recommended CCAP minimum, and will be separated from existing and future towers on surrounding properties by similar or greater distances. In addition, the site configuration will provide for attractive street-end views from Phase 1 to the riverfront along the east-west leg of Corvette Way and from the neighbouring (existing) Wall Centre development along the new east-west street to the Canada Line and neighbourhood park (under construction) on the east side of No. 3 Road.
- 2) **Overlook**: This potential issue is largely mitigated via the development's tower spacing and orientation. In addition, at the north end of the site where three towers are arranged in parallel and their mid-levels (i.e. 5th, 6th, and 7th floors) face one another (without benefit of trees or other screening), the façades of the middle tower have been articulated with bay window-like features to redirect views away from facing units.
- 3) **Sun and Shading**: The development's proposed tower spacing, orientation, and massing will help to maximize sun to residential units (i.e. less than 10% are north-facing) and ensure that outdoor amenity spaces on the podium and mid-rise rooftops receive adequate sunlight.
- 4) **Aircraft & Ambient Noise**: An acoustic study was undertaken by a registered professional on behalf of the developer regarding potential noise impacts on residential uses arising from aircraft and ambient sources (e.g., traffic and existing industrial and commercial), taking into account OCP Aircraft Noise Sensitive Development policy requirements (e.g., air conditioning). The developer has agreed to fully incorporate all recommendations into the development.
- 5) **Ambient Night-Time Light**: As areas urbanize, ambient night-time light increases, which can be a nuisance if not mitigated. To address this, the developer proposes to (i) provide electrical outlets in place of balcony soffit lighting so that residential tenants have direct control over their outdoor lighting, and (ii) install window blinds (e.g., horizontal louver or roller) in all units.

Urban Design and Site Planning

The proposed form of development is consistent with CCAP objectives and will contribute towards an attractive, pedestrian-friendly, high-density urban environment. More specifically:

- 1) The overall development is designed to take advantage of the site's irregular shape and northeast-southwest axis, which shift the relationships between towers and, as a result, provides for more dynamic on-site spaces, opens up views across the site, and strengthens the importance of the No. 3 Road/Capstan Way corner as a landmark location;
- 2) Streetscapes provide for a visually engaging, pedestrian-scale, urban setting, including:
 - Along the No. 3 Road "high street" and Capstan Way greenway, varied setbacks, heights, articulations, weather protection, and materials that are designed to energize the

streetscape and break up the massing, complemented by special landscape treatments that create opportunities to shop and linger; and

- Along Corvette Way and a portion of the new street, a row of 2-storey townhouses with raised patios, landscaping, and entry features that complement the street design begun with the existing Wall Centre development and coordinate with the anticipated Phase 2 development north of the new street (e.g., community centre plaza);
- 3) Towers are designed and located to anchor key corners, enhance views and sun exposure, and, in the case of the No. 3 Road towers, provide for landmark features that visually strengthen the site's position at the emerging heart of Capstan Village;
 - 4) Lower-level rooftops are landscaped to provide for recreation spaces and enhance upper-level views from on-site and neighbouring development;
 - 5) All parking, loading, and waste handling activities are concealed within the building;
 - 6) Vehicle access is limited to two driveways to minimize streetscape and traffic impacts (taking into account existing neighbouring residents), which driveways will provide for:
 - At Corvette Way, access to 57% of Phase 1's residential parking (354 spaces); and
 - At the new street along the site's north side, access to the balance of the development's residential parking (325 spaces) and the entirety of its commercial parking (140 spaces);
 - 7) The maximum proposed building height, 47 m (154 ft.) GSC, complies with Transport Canada regulations (as confirmed by a surveyor); and
 - 8) The development complies with the City's flood construction level requirements including, for commercial spaces and lobbies, a minimum elevation of 0.3 m (1 ft.) above the crown of the fronting street, and, for residential units, a minimum elevation of 2.9 m GSC (the City's standard flood construction covenant will be registered on title prior to rezoning adoption).

Architectural Form and Character

The CCAP encourages the development of a mosaic of distinctive, yet cohesive, urban villages. The subject development aims to satisfy this objective by building on the strong streetwall vocabulary established elsewhere in Capstan Village, while proposing distinct tower, mid-rise, and retail treatments. In brief, features include:

- 1) Strong mid-rise streetwall elements, articulated with a varied grid of windows and balconies, solids and voids, set within bold horizontal frames that "float" over the development's lower floors, and together provide visual interest and a human scale;
- 2) Tower treatments that vary in response to their locations, including:
 - On the western part of the site, a residential character, achieved through the use of materials, colours, and elements found in the mid-rise "grids" and generally capped with lighter, 2-storey penthouse floors designed to help conceal the elevator overrun and provide a skyline feature;
 - At Capstan Way, a "landmark" tower with a bold, curved façade that commands the No. 3 Road corner, visually complementing its role as part of the City Centre's key commercial spine and marking the important Capstan greenway crossroads;

- At the new street, a slim tower articulated with frames, projecting slabs and a colourful grid, designed to enhance the approach to the future community centre (Phase 2) and its relationship with the future transit station and park on No. 3 Road's east side; and
 - At the rooftop mechanical equipment (on the mid-block tower fronting the new street along the site's north side), a perforated aluminum enclosure imprinted with decorative images of clouds and illuminated at night, designed to provide skyline interest and an attractive feature when viewed from fronting residential units;
- 3) At the ground floor, retail uses extend along most of the site's No. 3 Road and Capstan Way frontages, incorporating façade/frontage treatments that will contribute towards the growth of this area as a distinct, high amenity, pedestrian-oriented retail environment, including:
- Along No. 3 Road, a clean-lined, cohesive retail streetscape is defined by a bold horizontal frame that sets it apart from the residential uses above and will enhance its visibility from the street and Canada Line; and
 - Along Capstan Way, a south-facing restaurant-street is characterized by smaller commercial units with retractable front window walls, weather protection, and space for outdoor dining fronting onto a tree-lined greenway and riverine landscape features leading pedestrians and cyclists to the river; and
- 4) A well-considered signage concept providing for residential and commercial signs that coordinate with and complement the proposed architectural character (signs must comply with Sign Bylaw No. 5560 and, as applicable, will be subject to separate permit processes).

Shared Indoor Amenity Space

The CCAP requires that multi-family developments comprising more than 200 units provide indoor amenity space at a rate of at least 2 m² (22 ft²) per unit and that consideration is given to grouping indoor amenity spaces to provide for special uses. The subject Phase 1 development contains 1,333 m² (14,351 ft²) of indoor amenity space, which exceeds the CCAP minimum requirement of 1,070 m² (11,517 ft²), and provides for an attractive range of amenity features, including a large, multi-use facility and indoor pool at the podium rooftop level and various, smaller, use-specific spaces dispersed among the towers (e.g., fitness room, meeting room, music room, lounge), all of which will be available on an unrestricted basis to all of Phase 1's market and affordable housing residents.

As with other features of Phase 1, the developer proposes to complete the delivery of the indoor amenity spaces in three stages, generally including multiple, small spaces in Stages 1 and 2 and a large space (e.g., indoor pool) in Stage 3. This distribution provides for an attractive range of amenities, but provides for a disproportionately small amount of amenity space in Stage 1 and large amount in Stage 3 (relative to the number of units in each stage). To rectify this situation, the developer proposes to augment Stage 1's permanent amenity space with temporary indoor amenity space and adjacent outdoor space at the building's mid-rise rooftop level. That temporary space will be maintained for the enjoyment of residents until Stage 3's amenity space is complete and it is no longer needed, at which time it will be converted to residential units (which units are included in the project's total proposed 535 units).

The developer's proposal is illustrated in Plan #12 of the attached Permit drawings. Staging of the indoor amenity space will be controlled by the Phase 1/Lot A Occupancy Staging Agreement, details of which are included in the attached Development Permit Considerations (Attachment 7).

Landscape Design and Open Space Design

The CCAP encourages the development of Capstan Village with a network of small- and medium-size neighbourhood parks linked by greenways, bikeways, mid-block walkways, and other landscape features. In addition, Zoning Bylaw requirements in respect to the Capstan Station Bonus require that benefitting developments (including the subject development) provide on-site publicly-accessible open space over and above basic CCAP park standards. The concept for the developer's three-phase development locates most of its permanent public open space along the riverfront (to be constructed in Phase 3) and a plaza associated with the future community centre (Phase 2). In addition, Phase 1 will provide for the following:

- 1) On-site, publicly-accessible open space features, including:
 - Plaza space designed as a seamless extension of the Capstan Way greenway (i.e. a tree-lined, off-street bike path and pedestrian walkway) along the site's south side, including water features, planting, decorative paving, and features intended to support its use for outdoor restaurant dining, to be used in coordination with the fronting, south-facing commercial units; and
 - A small plaza at the corner of No. 3 Road and the new street, across from the future community centre (Phase 2), including planting, trees, decorative paving, seating, and an area for outdoor dining, to be used in coordination with the adjacent commercial unit and the community centre;
- 2) 5,718 m² (61,550 ft²) of shared rooftop amenity space, the size of which exceeds the minimum OCP requirement by 78% and includes:
 - At the podium rooftop level:
 - i. A large, multi-use, landscaped outdoor space, co-located with the development's indoor pool facility and designed to provide a network of outdoor "rooms" and viewpoints, connected by tree-lined pathways, for relaxing, socializing, and dining;
 - ii. A 717 m² (7,719 ft²) children's play area incorporating hard and soft play areas and a variety of play equipment; and
 - iii. A large community garden area on the south side of the development, including raised garden plots, shelter, seating, tool storage, hose bibs, and related features; and
 - At the development's mid-rise rooftop levels, smaller outdoor spaces providing places to relax, BBQ, and enjoy views to the river on the west and No. 3 Road on the east (including views to a future neighbourhood park, child care, and Canada Line station);
- 3) Green roofs (inaccessible) on the rooftops of the indoor pool facility, the north mid-block tower, and small areas on various mid-rise portions of the building;
- 4) Street front landscaping, including water features, trees, planting, terraced grade changes, street furnishing, and related features; and
- 5) Private outdoor amenity space for each residential unit in the form of a balcony, patio, or terrace.

Tree Management

- 1) On-Site Tree Replacement: The nature of the subject development prevents the developer from retaining existing on-site trees. Thirty-three trees will be removed, including 30 that were removed in August 2016 to facilitate soil remediation (Tree Removal Permit 16-741470)

and 159 replacement-size trees will be planted. The developer's proposal exceeds the City's minimum 2:1 tree replacement ratio. Replacement trees will be secured with the developer's required DP landscape Letter of Credit (upon receipt of which, the \$30,000 tree replacement security submitted by the developer for Tree Removal Permit 16-741470 shall be released).

- 2) Off-Site Tree Relocation: Through the Servicing Agreement review process (SA 16-748500), it has been determined that road improvements required along No. 3 Road will impact 15 existing City street trees. The City Arborist has recommended that the affected trees are relocated elsewhere in Richmond. Both the recommended tree relocation and the planting of new street trees along No. 3 Road will be undertaken by the developer, at the developer's sole cost and to the City's satisfaction, via SA 16-0748500.

Crime Prevention through Environmental Design (CPTED)

Measures are proposed to enhance safety and personal security including, but not limited to:

- 1) The market residential lobbies will have clear sightlines to fronting sidewalks and public pedestrians areas;
- 2) Outdoor amenity spaces will be visually open and well-lit, offer multiple access options, and be separated from public areas;
- 3) The building design provides for passive surveillance of fronting streets;
- 4) The ground floor pedestrian access routes to/from the parkade will be well marked, co-located with parking pay stations and EV charging stations, and closed outside of normal business hours with security grills; and
- 5) End-of-trip bike facilities for commercial tenants are co-located with the commercial Class 1 bike storage at the parkade's street-level.

Accessible Housing

Richmond's OCP seeks to meet the needs of the city's aging population and people facing mobility challenges by encouraging the development of accessible housing that can be approached, entered, used, and occupied by persons with physical or sensory disabilities. To address the City's policy, the developer proposes to provide:

- 1) Barrier-free access to all building lobbies and indoor and outdoor amenity spaces;
- 2) Aging in place features in all dwellings, including:
 - Stairwell hand rails;
 - Lever-type handles for plumbing fixtures and door handles; and
 - Solid blocking in washroom walls to facilitate future grab bar installation (by others) beside toilets, bathtubs, and showers; and
- 3) 108 Basic Universal Housing (BUH) units (i.e. 20% of total Phase 1 units), including all 41 affordable housing units (100%) and 67 market housing units (14%), incorporating all the accessibility provisions listed in the BUH section of the City's Zoning Bylaw so that they may be easily renovated to accommodate wheelchair use. (Note: The developer proposes to use the Zoning Bylaw density exclusion of 1.86 m² (20 ft²) for each BUH unit provided.)

Sustainability Measures – LEED “Silver” Equivalent

The project’s sustainability goal is to provide a cost-effective, high-value development that meets or exceeds City standards (i.e. LEED “Silver” equivalent). The development proposal targets 54 LEED points and responds to City objectives for enhanced long-term environmental, fiscal, and social sustainability as per the attached LEED Checklist (Attachment 5). In brief, among other things the development will include:

- 1) Green roofs and vegetated outdoor areas, the designs of which incorporate drought tolerant plants to reduce reliance on irrigation;
- 2) Low flow/flush plumbing fixtures (e.g., toilets, showers, and faucets) and a high efficiency irrigation system to reduce water usage;
- 3) A full building energy simulation to optimize energy efficiency measures and an enhanced commissioning process to ensure that the building’s energy related systems are operating efficiently and as designed;
- 4) District Energy Utility (DEU) compatible building and mechanical system designs;
- 5) Electric vehicle (EV) charging equipment in excess of current OCP standards;
- 6) End-of-trip cycling facilities;
- 7) Locally sourced building materials, materials with recycled content, and/or materials selected to reduce greenhouse gases (e.g., cement substitutes such as fly ash); and
- 8) Best practices to optimize air quality and provide a clean and healthy building for occupants.

Conclusions

The proposed development is consistent with Richmond’s objectives for the subject property and Capstan Village as set out in the OCP, City Centre Area Plan (CCAP), and Zoning Bylaw. The project’s distinctive form, pedestrian-oriented streetscapes and open spaces, affordable and accessible housing, public art, and sustainable development measures, together with the developer’s concurrent construction of off-site improvements secured through rezoning, will enhance the establishment of Capstan Village as a high-amenity, transit-oriented, urban community. On this basis, staff recommend that the Development Permit is endorsed and issuance by Council is recommended.



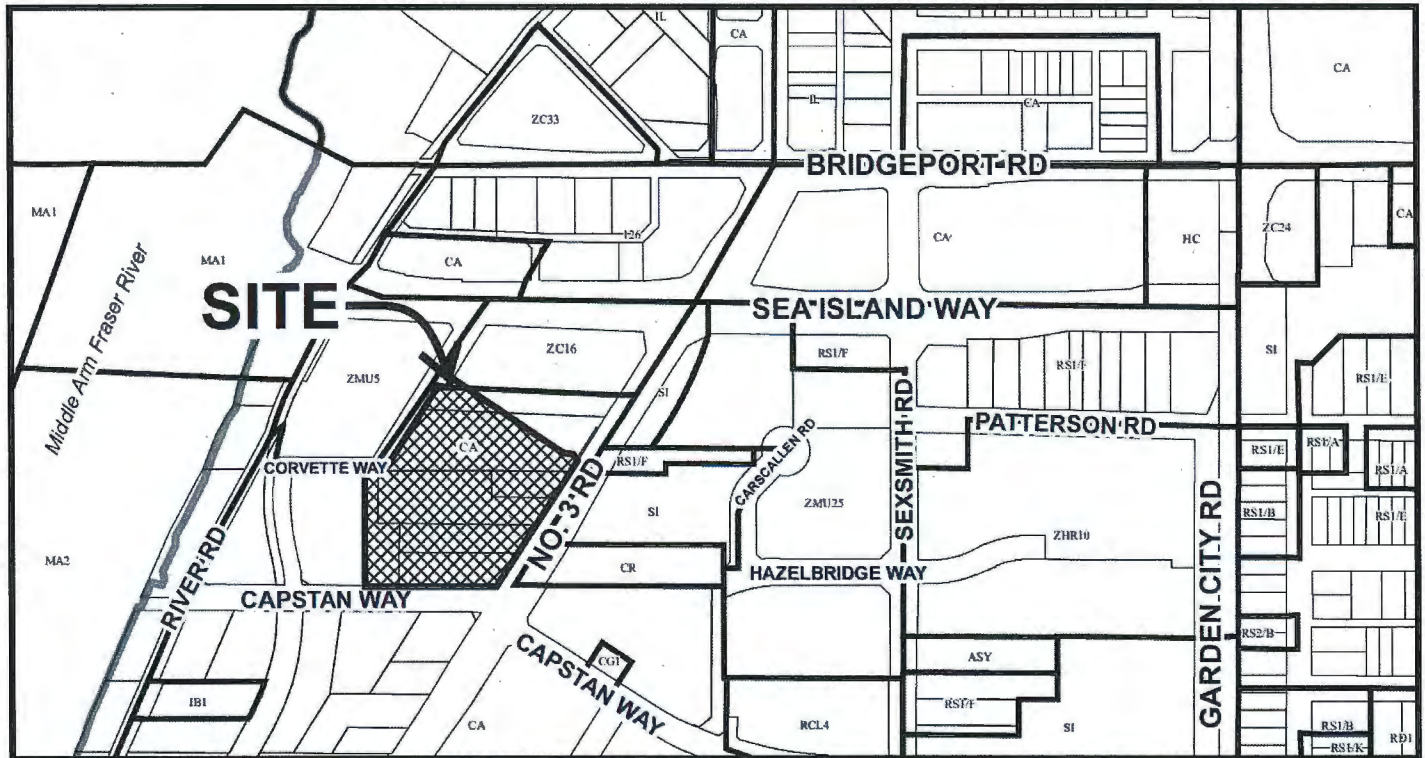
Suzanne Carter-Huffman
Senior Planner/Urban Design

SCH:cas

Attachments:

1. Location Map
2. Phasing Key Plan
3. Development Application Data Sheet
4. Advisory Design Panel – Excerpt of Meeting Minutes of December 7, 2016
5. LEED Checklist
6. Development Permit Considerations (Schedule A – Phase 1/Lot A Occupancy Staging Plan)

ATTACHMENT 1
Location Map



DP 16-745853

Original Date: 10/06/16

Revision Date: 12/16/16

Note: Dimensions are in METRES





DP 16-745853

ATTACHMENT 3

Address: 8151 Capstan Way and 3031, 3211, 3231, 3291, 3311, 3331, and 3351 No 3 Road

Applicant: YuanHeng Seaside Developments Ltd Owner: YuanHeng Seaside Developments

Planning Area(s): City Centre (Capstan Village)

Floor Area: Gross: 61,602.9 m2 (663,087.6 ft2) Net: 57,106.2 m2 (614,685.8 ft2)

	Existing	Proposed
Site Area	▪ 13,202.0 m2 (142,105.1 ft2)	▪ 13,202.0 m2 (142,105.1 ft2)
Land Uses	▪ Vacant	▪ 6 residential towers ▪ 13 townhouses along Corvette Way & the new street ▪ Ground floor retail along No 3 Road & Capstan Way
OCP Designation	▪ Mixed Use	▪ No change
Zoning:	▪ Residential / Limited Commercial and Community Amenity (ZMU30) – Capstan Village (City Centre)	▪ No change
Total Dwellings & BUH Units (1)	▪ Nil	▪ Market units: 494, including 67 BUH units (14%) ▪ Affordable housing: 41, including 41 BUH units (100%) ▪ TOTAL: 535, including 108 BUH units (20%)

(1) BUH units are units designed to comply with Richmond Zoning Bylaw standards for Basic Universal Housing.

	Bylaw (ZMU30) Requirement	Proposed	Variance
Buildable Floor Area (max)	<ul style="list-style-type: none"> Residential: 54,977.8 m2 (591,776.1 ft2) a) Market housing: Max. 53,867.3 m2 (579,822.8 ft2) b) Affordable housing: Min. 1,110.5 m2 (11,953.3 ft2) Commercial: 2,131.0 m2 (22,937.9 ft2) TOTAL: 57,108.8 m2 (614,714.0 ft2) 	<ul style="list-style-type: none"> Residential: 54,977.6 m2 (591,774.3 ft2) a) Market housing: 51,882.1 m2 (558,454.9 ft2) b) Affordable housing: 3,095.5 m2 (33,319.4 ft2) Commercial: 2,128.6 m2 (22,911.5 ft2) TOTAL: 57,106.2 m2 (614,685.8 ft2) 	▪ None permitted
Lot Coverage (max)	▪ 90%	▪ 90%	▪ None
Lot Size (min)	▪ 13,000.0 m2 (139,930.8 ft2)	▪ 13,202.0 m2 (142,105.1 ft2)	▪ None
Setback: Road (min)	▪ 3.0 m (9.8 ft.) to lot line or SRW secured for public access, BUT may be reduced if proper interfaces are provided	<ul style="list-style-type: none"> No. 3 Road: 0.12 m (0.4 ft.) min Capstan Way: 3.8 m (1.3 ft.) min Corvette Way: 1.6 m (5.2 ft.) min East-West Street: 0.3 m (0.9 ft.) min 	▪ None
Setback: Interior Side Yard (min)	▪ 0.0 m	▪ 0.0 m	▪ None
Setback: Below Grade (min)	▪ 0.0 m	▪ 0.0 m (Parking structure)	▪ None
Height (max)	▪ 47.0 m (154.2 ft.)	▪ 47.0 m (154.2 ft.)	▪ None
Parking: TOTAL	<ul style="list-style-type: none"> TOTAL: 620 spaces min, including: a) Residential: 528 min b) Non-Residential: 92 min <p><i>The minimum ZMU30 rates assume that Transportation Demand Management (TDM) measures are secured via RZ 12-603040.</i></p>	<ul style="list-style-type: none"> TOTAL: 819 spaces, including: a) Residential: 679 b) Non-Residential: 140 	▪ None
Parking: Residential	<ul style="list-style-type: none"> 528 spaces min, including: a) Market Housing: 494 b) Affordable Housing: 34 	<ul style="list-style-type: none"> 679 spaces min, including: a) Market Housing: 645 b) Affordable Housing: 34 	▪ None

	Bylaw (ZMU30) Requirement	Proposed	Variance
Parking: Non-Residential	<ul style="list-style-type: none"> 92 spaces min, including: <ul style="list-style-type: none"> a) Commercial: 63 min b) Residential Visitors: 29 min, operated as part of the commercial parking 	<ul style="list-style-type: none"> 140 spaces, including: <ul style="list-style-type: none"> a) 50% "Public" spaces = 705 b) 50% "Assignable" spaces = 70 	<ul style="list-style-type: none"> None
Parking: Accessible	<ul style="list-style-type: none"> 17 spaces (i.e. 2% of proposed parking), including: <ul style="list-style-type: none"> a) Market Residential: 13 b) Affordable Housing: 1 c) Non-Residential: 3 	<ul style="list-style-type: none"> 21 spaces, including: <ul style="list-style-type: none"> a) Market Residential: 16 b) Affordable Housing: 1 c) Non-Residential: 4 	<ul style="list-style-type: none"> None
Parking: Small Cars	<ul style="list-style-type: none"> 50% max. 	<ul style="list-style-type: none"> 17 	<ul style="list-style-type: none"> None
Parking: Tandem (Market Housing only)	<ul style="list-style-type: none"> Permitted only where 2 spaces are assigned to 1 Market dwelling unit & the second space is excess to the Bylaw 	<ul style="list-style-type: none"> 117 proposed tandem pairs 	<ul style="list-style-type: none"> None
Loading	<ul style="list-style-type: none"> Residential: 3 medium trucks Commercial: 1 medium truck 	<ul style="list-style-type: none"> Residential: 3 medium trucks Commercial: 1 medium truck 	<ul style="list-style-type: none"> None
Class 1 Bike Storage:	<ul style="list-style-type: none"> 675 bikes min, including: <ul style="list-style-type: none"> a) Market Housing: 618 b) Affordable Housing: 52 c) Commercial: 5 	<ul style="list-style-type: none"> 675 bikes min, including: <ul style="list-style-type: none"> a) Market Housing: 618 b) Affordable Housing: 52 c) Commercial: 5 	<ul style="list-style-type: none"> None
End-of-Trip (Bike) Facilities	<p>As per RZ 12-603040:</p> <ul style="list-style-type: none"> Showers, change rooms, washrooms & lockers for commercial tenants must be next to Class 1 commercial bike storage 	<ul style="list-style-type: none"> As required 	<ul style="list-style-type: none"> None
Class 2 Bike Storage	<ul style="list-style-type: none"> 117 bikes min, including: <ul style="list-style-type: none"> a) Residential: 107 b) Commercial: 10 	<ul style="list-style-type: none"> 117 bikes, including: <ul style="list-style-type: none"> a) Indoors @ 1st floor parkade: 27 b) Outdoors (on-site): 90 	<ul style="list-style-type: none"> None
EV Charging Equipment: Vehicles	<ul style="list-style-type: none"> Residential equipment only, including: <ul style="list-style-type: none"> a) 136 @ 120V charging stations b) 170 pre-ducted spaces 	<ul style="list-style-type: none"> Residential, including: <ul style="list-style-type: none"> a) 171 @ 240V charging stations b) 171 pre-ducted spaces Commercial, including: <ul style="list-style-type: none"> a) 3 @ 240V chargers b) 16 @ 240V charging stations 	<ul style="list-style-type: none"> None
EV Charging Equipment: Bikes	<ul style="list-style-type: none"> 68 for Class 1 bikes: <ul style="list-style-type: none"> a) Residential: 67 b) Commercial: 1 	<ul style="list-style-type: none"> 96 for Class 1 bikes: <ul style="list-style-type: none"> a) Residential: 95 b) Commercial: 1 	<ul style="list-style-type: none"> None
Amenity Space: Indoor	<ul style="list-style-type: none"> 1,070.0 m2 (11,517.4 ft2) min, based on 535 units @ 2.0 m2 / unit 	<ul style="list-style-type: none"> 1,333.2 m2 (14,350.6 ft2) 	<ul style="list-style-type: none"> None
Amenity Space: Outdoor	<ul style="list-style-type: none"> TOTAL: 4,530.2 m2 (48,762.7 ft2) min., including: <ul style="list-style-type: none"> a) Recreation (OCP): 3,210.0 m2 (34,552.1 ft2) b) Other landscape (CCAP): 1,320.2 m2 (14,210.5 ft2) 	<ul style="list-style-type: none"> TOTAL: 5,894.2 m2 (63,444.9 ft2) min., including: <ul style="list-style-type: none"> a) Recreation (OCP): 5,718.2 m2 (61,550.4 ft2) b) Other landscape (CCAP): 176.0 m2 (1,894.5 ft2) 	<ul style="list-style-type: none"> None

Tree Replacement: 33 bylaw-size trees will be removed to facilitate the subject development & 159 replacement trees will be planted on site. In addition, 15 existing City street trees will be relocated at the developer's sole cost via SA 16-748500.

**Excerpt from the Meeting Minutes of the
Advisory Design Panel**

Wednesday, December 7, 2016 / Rm. M.1.003 / Richmond City Hall

4. DP 16-745853 – FIRST PHASE OF 3-PHASE HIGH-RISE MIXED USE DEVELOPMENT, COMPRISED OF 6 TOWERS, TOWNHOUSES AND GROUND FLOOR RETAIL

ARCHITECT: W. T. Leung Architects

PROPERTY LOCATION: 3031, 3211, 3231, 3291, 3311, 3331, and 3351 No. 3 Road and 8151 Capstan Way

Applicant's Presentation

Architect W.T. Leung, W.T. Leung Architects Inc., Stefan Vogelfaenger, W.T. Leung Architects Inc., and Landscape Architect Daryl Tyacke, ETA Landscape Architecture, presented the project and answered queries from the Panel.

Panel Discussion

Comments from the Panel were as follows:

- consider extending the weather protection structures over the food-oriented commercial spaces proposed for the Capstan Way frontage to facilitate the placement of outdoor tables;
Weather protection has been added in this location.
- review unit layouts that have bathrooms located far from the bedrooms;
Unit layouts have been updated and will continue to be refined at Building Permit stage.
- No. 3 Road elevation is very “looming”; Capstan Way elevation also appears huge due to the two towers of the same height;
While the two towers remain the same height, the design of each has been refined to make them more distinct and the bulkiness of the mid-rise and south tower have been broken up through greater articulation and changes in colour and materials.
- lobbies for the individual buildings could be expressed as more distinct elements that could contribute to the public realm; could also assist in wayfinding and visually break up the language that goes all the way around the building; exit corridors not distinguished from lobby entrances; also consider creating more interest to the public realm, e.g. introducing canopies and seating;
Canopies, planting, seating, and related features have been added to enhance the identity and amenity of the residential entrances.
- appreciate the idea of a food-oriented commercial spaces along the Capstan Way frontage; sliding doors would facilitate the location of food outlets in the development;
Folding glass doors have been added to enhance restaurant use along this frontage.
- the building corner at No.3 Road and Capstan Way is a focal point of the pedestrian realm; however, the base of the building does not address this (e.g., blank wall and projecting residential lobby interrupt retail continuity and reduce the available pedestrian space); consider further design development to provide interest to pedestrians;
The residential entrance has been recessed and plaza has been opened up to enhance retail and pedestrian open space continuity.

- the scale of the project is big for one architect to work on; large projects such as the subject development could benefit from more architects who could provide different ideas;

The proposed design is functionally integrated, yet exhibits variations in character along its frontages that complement its various uses, provide visual interest, and contribute to local character.

- overall, appreciate the proposed scheme for the project; siting of the towers in relationship to the proposed density is appropriate; spacing between towers is appropriate;
- package materials circulated to the Panel are very architectural and more helpful to construction than reviewing and understanding the project; package materials should have included shadow studies, view analysis and streetscape analysis in view of the scale of the project; design rationale submitted by the applicant should have been complemented with graphics;

Additional materials have been submitted for review by City staff.

- at No. 3 Road and Capstan Way, consider introducing a differentiating treatment at the base of the corner element to provide pedestrian interest;

The design has been refined to enhance pedestrian interest.

- appreciate that food-oriented commercial uses screen the parking podium at the south elevation; however, consideration should be given to pushing back the Capstan Way facade to allow more space for public repose and outdoor dining; a recessed courtyard framed by commercial units would be more animated; the proposed public space will provide pedestrian interest along the Capstan Way elevation; give visual cues linking the private podium level with the public street/courtyard;

Without a larger, anchor-type commercial unit (which the development does not have space to include), it could be difficult to animate a recessed courtyard. Instead, the design has been refined to enhance the visibility and amenity of Capstan Way as a linear pedestrian- and bike-friendly commercial space with weather protection, folding glass doors, special signage, trees, and space for outdoor dining.

- architectural feature at the corner of No. 3 Road and Capstan Way needs to read stronger; applicant needs to provide a rationale for the design of the corner feature that considers urban design factors, e.g. solar shading;

The tower design has been refined to enhance visual interest and livability for residents.

- glass to wall ratio is similar throughout the proposed development; consider more artful facades along No. 3 Road and Capstan Way and more subdued facades along Corvette Way and New East-West Road;

The articulation of the facades has been refined to enhance the distinction between the west side's residential character and No. 3 Road's mixed use character.

- appreciate the use and distribution of density in the proposed development;
- consider staggering some of the floors on Building J to mitigate adjacency impacts to neighbouring towers;

To address adjacency/overlook issues, the east and west sides of Tower J have been articulated with a varied pattern of recessed balconies that help to break up sight lines and redirect views.

- consider design development to the parkade entrance along the proposed New East-West Road to make it more welcoming;

A pedestrian walkway, signage, and planting have been added to the parkade entrance.

- consider design development to the long commercial space façade along No. 3 Road; consider further articulation and “movement” along the façade other than a glazed wall to better address the expected heavy pedestrian traffic;

Frames around the doors of proposed commercial units, weather protection, special signage, and setback variations at residential entrances are used to articulate the development’s retail frontages and provide visual interest.

- regarding landscaped areas on the podium level, consider integrating pockets or rooms to serve as gathering areas;

Seating, garden plots, weather protection, and other features have been used to give greater definition to the various outdoor spaces and amenity uses on the podium rooftop.

- consider dispersing the affordable housing units to other floors to promote better interaction among residents and enhance the livability in all floors;

The rezoning allows for the affordable housing to be clustered together.

- appreciate the green roofs;
- appreciate the architectural treatment at the corner of No. 3 Road and Capstan Way; consider introducing a similar approach to the other corners in the proposed development; a unifying language is needed to unify the whole development;

The tower proposed for the No. 3 Road and Capstan Way corner is intended to be a local landmark that intentionally contrasts with the cohesive character of the overall development to provide visual interest and identity.

- consider variations in colours for the buildings in the proposed development to assist in wayfinding and provide a greater sense of identity for residents; and

Subtle colour and material variations are proposed.

- provide more welcoming pedestrian arrival spaces/features at the north and south ends of the proposed development’s No. 3 Road frontage, especially for Skytrain commuters.

Larger plazas with enhanced landscaping and retail frontages are proposed at these key locations.

(The following additional comments to Item No. 4 were submitted by Grant Brumpton and read by Winston Chong during the meeting)

- The patio adjacent the retail on the northeast corner of the site may be very challenging to animate because it has no direct sun access and is exposed to the traffic noise from No. 3 Road and the Skytrain. What has been provided is adequate. Adding significant landscape features in this area will make the retail more successful. Support focusing project resources on the south edge public realm. The water features and elements that have been provided in that area make sense.

Additional landscape has been provided at the northeast plaza.

- Agree with staff comments that design development is required on the level 4 landscape. The large contiguous landscape area is a great opportunity to provide a broader range of program elements to improve livability. Opportunities of residents to grow food in urban agriculture plots and prepare food and eat outdoors may add value to the project. The landscaped area should allow for multiple groups to comfortably use different outdoor spaces at the same time without disturbing adjacent residents.

Garden plots, BBQ, and other features have been added to increase the range of activities and number of groups potentially supported by the podium rooftop outdoor amenity space.

- Agree with staff comments that more attention should be given to the definition provided between private and public spaces on the level 4 deck.

Design refinement has been undertaken, including the addition of privacy screens between units.

- The circulation in the upper deck areas needs more consideration. There are a couple of places where they may be shortcutting and paths cut into the landscape.

Design refinement has been undertaken, including additional access points.

- Agree with staff comments that all roofs should be considered for outdoor living in projects like this with a large number of homes.
- The play area should be relocated to a place with better sun access in the winter months.

While the towers shade the podium rooftop, the proposed play area is large and allows reasonable solar access.

- Incorporating viewpoints is positive; however, the scale of these spaces is very large and they may end up being windswept and uncomfortable. Agree that the detail related to the canopies require design development.

Design refinement has been undertaken regarding the canopy designs, together with the addition of seating, BBQs, and other features supporting the use of these areas for outdoor dining, recreation, and socializing.

Yuanheng Seaside Development Lot A

Sustainability Progress Report

Last update: Dec 19, 2016



KANE CONSULTING

Total Project Score & Rating										SILVER										Possible Points 110									
Certified 40 to 49 points Silver 50 to 59 points Gold 60 to 79 points Platinum 80 or more points										Possible Points 26										Possible Points 14									
54	3	9	44	20	4	2	Y	Y	N	4	2	Y	Y	N	4	2	Y	Y	N	4	2	Y	Y	N	4	2	Y	Y	N
Sustainable Sites										Materials and Resources										Indoor Environmental Quality									
Construction Activity Pollution Prevention										Storage and Collection of Recyclables										Building Reuse, Maintain Existing Walls, Floor and Roof									
Site Selection										Building Reuse, Maintain Existing Walls, Floor and Roof										Construction Waste Management, Over 50%, 75%									
Development Density and Community Connectivity										Materials Reuse, 5%, 10%										Recycled Content, 10%, 20%									
Brownfield Redevelopment										Regional Materials, 20%, 30%										Rapidly Renewable Materials									
Alternative Transportation, Public Transportation Access										Certified Wood										Minimum IAQ Performance									
Alternative Transportation, Bicycle Storage & Changing Rooms										Environmental Tobacco Smoke (ETS) Control										Outdoor Air Delivery Monitoring									
Alternative Transportation, Low-Emitting and Fuel-Efficient Vehicles										Increased Ventilation										Construction IAQ Management Plan, During Construction									
Alternative Transportation, Biking Capacity										Construction IAQ Management Plan, Before Occupancy										Low-Emitting Materials, Adhesives & Sealants									
Site Development, Protect and Restore Habitat										Low-Emitting Materials, Paints and Coatings										Low-Emitting Materials, Flooring Systems									
Site Development, Maximize Open Space										Low-Emitting Materials, Composite Wood and AgriFiber										Indoor Chemical & Pollutant Source Control									
Site Development, Minimize Open Space										Controlability of Systems, Lighting										Thermal Comfort, Design									
Stormwater Design, Quality Control										Thermal Comfort, Verification										Daylight & Views, Daylight 75% of Spaces									
Heat Island Effect, Non-reflect										Daylight & Views, Views for 90% of Spaces										Innovation & Design Process									
Heat Island Effect, Roof										Innovation in Design: Exempt SSc2.1 - 100% U/G Parking										Innovation in Design: Exempt SSc4.1 - Public Transportation									
Light Pollution Reduction										Innovation in Design: Low Mercury Lighting										Innovation in Design: Exempt EAc6 - Green Power									
Water Efficiency										Innovation in Design: TBD										LEED™ Accredited Professional									
Water Use Reduction										Regional Priority										Durable Building									
Water Efficient Landscaping, Reduce by 30%, No Potable Water Use										Regional Priority SSc2										Regional Priority WEC2									
Innovative Waterwater Technologies										Regional Priority WEC3										Regional Priority MRc2									
Water Use Reduction, 30%, 35%, 40% Reduction										Regional Priority MRc2																			
Energy and Atmosphere																													
Fundamental Commissioning of Building Energy Systems																													
Minimum Energy Performance																													
Fundamental Refrigerant Management																													
Optimize Energy Performance																													
On-site Renewable Energy																													
Enhanced Commissioning																													
Enhanced Refrigerant Management																													
Measurement & Verification																													
Green Power																													
Legend																													
Credit Complete																													
Credit Incomplete																													
Not Attempting																													
Prerequisite (Must Achieve)																													



Address: 8151 Capstan Way & 3031/3211/3231/3291/3311/3331/3351 No. 3 Road

File No.: DP 16-745853

Prior to approval of the Development Permit, the developer is required to complete the following:

1. OCP Bylaw: Final adoption of OCP Amendment Bylaw 9593.
2. Zoning Bylaw: Final adoption of Zoning Amendment Bylaw 9594.
3. Rezoning Legal Agreements: Satisfy the terms of legal agreements registered on title prior to rezoning adoption (RZ 12-603040) with respect to the subject Lot A (Seaside South) development, taking into account additional requirements identified, to the City's satisfaction, via the Development Permit (DP 16-745853) review processes including, but not limited to:
 - 3.1. Community Centre Plaza South Statutory Right-of-Way (SRW): To facilitate enhanced public access to and use of the SRW area approved via RZ 12-603040:
 - 3.1.1. Double the minimum size of the SRW area from 58.0 m² (624.3 ft²) to 116.0 m² (1,248.6 ft²);
 - 3.1.2. Require that maintenance shall be the sole responsibility of the Owner (because through the subject Development Permit it has been determined to the City's satisfaction that no City sidewalk, utilities, streetlights, street trees, or permanent furnishings shall be located within the SRW area); and
 - 3.1.3. With prior written permission of the City, which permission may be conditional on the Owner satisfying various design, permitting, or other requirements (which may include, but may not be limited to, restricting the installation of fences, roofs, or similar structures), allow the Owner to close up to a maximum of 50% of the SRW area to public access to facilitate use of the closed portion for temporary outdoor dining and restaurant seating conducted by the operator(s) of the development's contiguous ground floor commercial unit(s).
 - 3.2. Skyline Pump Station Equipment Statutory Right-of-Way (SRW): To accommodate design directions identified through the coordinated review of Servicing Agreement #1 (SA 16-748500) and the subject Phase 1 Development Permit (DP 16-745853):
 - 3.2.1. Reduce the SRW area behind the building face from 4.0 m by 15.0 m (13.1 ft. by 49.2 ft.) SRW area to 6.25 m by 12.67 m (20.5 ft. by 41.6 ft.); and
 - 3.2.2. Reduce the width of the SRW area extending from the building face to the property line from 15.0 m (49.2 ft.) to 12.67 m (41.6 ft.).
 - 3.3. Affordable Housing: To accurately reflect the specifics of the affordable housing units and ancillary spaces and uses to be constructed on Lot A (Seaside South), as determined to the satisfaction of the City via the subject Development Permit (DP 16-745853), the Housing Covenant registered on title shall require that:
 - 3.3.1. The Lot A development includes, among other things, 41 units (i.e. 5 bachelor, 7 one-bedroom, 25 two-bedroom, and 4 three-bedroom), comprising a combined total habitable area of at least 3,095.5 m² (33,319.4 ft²), together with 34 parking spaces (including 9 electric vehicle 240V stations and 9 240V Pre-ducted Spaces for future electric vehicle stations) and 52 "Class 1" bike storage spaces (including 6 120V duplex outlets for charging electric bikes) for the exclusive use of the affordable housing unit occupants; and
 - 3.3.2. No Building Permit* shall be issued for a building on Lot A, until the developer, if so determined at the sole discretion of the City, registers a replacement covenant for the purpose of replacing the floor plans and/or summary tables and related information in the covenant in order

that the information contained in the covenant accurately reflects the approved building design at the time of Building Permit* issuance. For clarity, affordable housing features that shall NOT be changed via the Lot A replacement covenant shall include the:

- Total habitable floor area of affordable housing on Lot A (i.e. 3,095.5 m² / 33,319.4 ft²) and the minimum habitable floor area of affordable housing in Stage 1, as required to satisfy the ZMU30 zone and set out in the Phase 1/Lot A Occupancy Staging Agreement (i.e. at least 1,110.5 m² / 11,953.3 ft²);
- Total number of affordable housing units on Lot A (i.e. 41 units) and the number of affordable housing units in each occupancy stage, as set out in the Phase 1/Lot A Occupancy Staging Agreement (i.e. 21 in Stage 1; 7 in Stage 2; 13 in Stage 3);
- Affordable housing unit mix on Lot A (i.e. 5 bachelor, 7 one-bedroom, 25 two-bedroom, and 4 three-bedroom); and
- Minimum permitted affordable housing unit sizes as approved by Council and set out in the City's Affordable Housing Strategy.

3.3.3. "No occupancy" shall be permitted for the first building on Lot A (Seaside South), restricting final Building Permit* inspection granting occupancy for Lot A, in whole or in part, until the affordable housing and ancillary spaces and uses on Lot A have received final Building Permit* inspection granting occupancy, EXCEPT as expressly provided for in the Phase 1/Lot A Occupancy Staging Agreement.

3.4. Public Art: Deliver to the City:

3.4.1. The Detailed Public Art Plan for Seaside South (Phase 1 / Lot A), which Plan must be attached to the Public Art agreement registered on title for Lot A to satisfy the rezoning; and

3.4.2. As security for the performance of the developer's obligations in the Public Art Agreement (registered on title prior to rezoning adoption) with respect to Phase 1 and the Detailed Public Art Plan for Seaside South (Phase 1 / Lot A), a voluntary developer contribution in the amount of \$462,213 (based on the table below), including:

- \$439,102 (95%) in the form of a Letter of Credit to secure the developer's implementation of public art in coordination with the design and construction of Phase 1; and
- \$23,111 (5%) in the form of a cash contribution to the Public Art Operating Provision to support and sustain the management, administration, and promotion of the Public Art Program, as per standard City policy.

Phase	Maximum Permitted Floor Area as per ZMU30 Zone	Public Art Floor Area Exemptions (1)	Minimum Developer Contribution Rate	Min. Voluntary Developer Contributions (2)
1	(R) 54,977.8 m ² (591,776.1 ft ²) (NR) 2,131.0 m ² (22,937.9 ft ²)	(R) 3,095.5 m ² (33,319.4 ft ²)	(R) \$0.81/ft ² (NR) \$0.43/ft ²	\$462,213
2	(R) 21,015.0 m ² (226,203.6 ft ²) (NR) 22,164.8 m ² (238,580.1 ft ²)	(R) 1,346.3 m ² (14,491.7 ft ²) (NR) 3,106.6 m ² (33,439.0 ft ²)	The greater of the Phase 1 rate or the City rate in effect at Development Permit Approval	\$259,697(3)
3	(R) 12,843.2 (138,243.2 ft ²) (NR) Nil	Nil		\$111,977(5)
TOTAL	(R) 88,836.0 m ² (956,222.4 ft ²) (NR) 24,295.8 m ² (261,518.4 ft ²)	(R) 4,441.8 m ² (47,811.1 ft ²) (NR) 3,106.6 m ² (33,439.0 ft ²)	Varies	\$833,887

NOTE: (R) means residential and (NR) means non-residential.

- (1) Rates do not apply to affordable housing (Phases 1 & 2) or Community Centre (Phase 2) uses.
- (2) Estimated minimum contributions are based on the maximum permitted floor area under the ZMU30 zone, adjusted for the approved distribution of Affordable Housing determined through the Phase 1 Development Permit, and the contribution rates in effect at the time of Rezoning. Actual contributions may be greater, as determined based on the rates in effect prior to Development Permit issuance on a phase-by-phase basis.
- (3) As per RZ 12-603040 & the Master Plan, the developer shall allocate a portion of the public art budget, equal to at least 1% of the Community Centre construction budget on Lot B (i.e. \$217,000 estimated public art value, to be adjusted based on actual construction costs), towards public art that shall be designed and implemented in coordination with the Community Centre, all to the satisfaction of the City.

Initial: _____

3.5. Servicing Agreement #1 (SA 16-748500): To address issues arising through the first submission of SA #1 and facilitate the coordination of the design and construction of on- and off-site works, SA #1 shall include, among other things, the following requirement, as determined to the sole satisfaction of the City:

3.5.1. Staged Occupancy: Both interim and ultimate designs for sidewalks and landscaped areas behind the curb (excluding streetlights) along those portions of Lot A's frontages that are identified as "Stage 2" or "Stage 3" in the City-approved "Lot A Occupancy Staging Agreement" (the registration of which agreement is a DP Consideration with respect to the subject Lot A Development Permit);

3.5.2. Signal Upgrade: A change to Rezoning Consideration 25.2.6(a) (RZ 12-603040), such that the pedestrian traffic signal required to be installed at the intersection of No. 3 Road and the new east-west street shall be upgraded as a full 2-phase traffic signal that can be triggered by both pedestrians and vehicles (and the incremental increase in cost arising from the upgrade shall be treated as an eligible item for Roads Development Cost Charge credit purposes); and

3.5.3. Pump Station Equipment Enclosure: The detailed design review and approval process for the Skyline Pump Station equipment enclosure and related features, which improvements shall (as agreed through the rezoning) be owned and maintained at the sole cost of the developer/owner and secured for the unrestricted use of the City via a Statutory Right-of-Way.

More specifically, prior to Building Permit* issuance for Phase 1, in whole or in part, the detailed design, configuration, and location of on-site features required to satisfy the rezoning (RZ 12-603040) with respect to improvements to and the operation of the Skyline Pump Station (including without limitation the pump station equipment, equipment enclosure, service vehicle access, and treatment of the area between the enclosure and the existing and ultimate pump stations), together with related building and landscape features, shall be subject to the review and approval of the Director of Engineering, Director of Development, Director of Transportation, and Senior Manager, Parks through the Phase 1 Servicing Agreement process (SA #1).

The approved design of the equipment enclosure and service access shall be included for construction purposes in the developer's Lot A (Seaside South) Building Permit* (i.e. not in SA #1 and not secured via the SA #1 Letter of Credit).

NOTE: The pump station equipment enclosure must be designed and constructed to:

- Be attractive and complement the quality and character of the streetscape;
- Exhaust the generator;
- Not obstruct any equipment access doors (e.g., doors on all sides of the kiosk);
- Exclude fixed structures (i.e. walls, columns, etc.);
- Enable a single operator to easily access and use all the equipment within the enclosure under all conditions (including during power outages);
- Enable an equipment operator to maintain a line of sight with the pump station from every portion of the pump station equipment;
- Be durable and low-maintenance; and
- Provide for the convenient, cost-effective removal, repair, replacement, and installation of equipment (e.g., PMT, generator, and kiosk) and related features within the enclosure.

3.5.4. Street Tree Relocation: City-owned street trees impacted by road improvements required along No. 3 Road (as per RZ 12-603040) shall be relocated by the developer, at the developer's sole cost, to locations elsewhere in Richmond, to the City's specifications and satisfaction.

NOTE: The required tree relocation will be undertaken by the developer, at the developer's sole cost, in addition to the developer's planting of new street trees within the No. 3 Road road improvement area, also at the developer's sole cost.

4. Landscape Security: Submission of a Letter of Credit for landscaping in the amount of \$2,913,021.93, based on the cost estimate provided by a CSLA registered landscape Architect, including 10% contingency (REDMS #5278600, updated as per REDMS #5335781).

NOTE: A Tree Removal Permit (Rezoning in Process – T3) was issued on August 12, 2016, for the removal of 30 trees from the subject site to facilitate soil contaminant removal (Permit 16-741470). Tree replacement security in the amount of \$30,000 held by the City with respect to this permit shall be released to the developer upon the City's receipt of the landscape Letter of Credit for DP 16-745853.

5. Phase 1/Lot A Occupancy Staging Agreement: Registration of a restrictive covenant and/or alternative legal agreement on title to Lot A (Seaside South), to the satisfaction of the City, ensuring that:
- 5.1. The Lot A (Seaside South) development subject to DP 16-745853 shall be comprised of a maximum of three stages, as generally described in the Phase 1/Lot A Occupancy Staging Plan (**SCHEDULE A**), the construction of which shall proceed in order from Stage 1 through Stage 2 to Stage 3;
 - 5.2. Final Building Permit* inspection granting occupancy of sequential phases (e.g., Stages 1 and 2) may proceed concurrently, but a later stage may not advance, in whole or in part, ahead of an earlier stage (e.g., Stage 2 shall not receive final Building Permit* inspection granting occupancy ahead of Stage 1); and
 - 5.3. As per legal agreement(s) registered on title prior to rezoning adoption, all off-site works required with respect to Lot A (Seaside South) shall be addressed by one Servicing Agreement (SA 16-748500), which the developer must enter into prior to rezoning adoption, and which works shall be complete to the City's satisfaction prior to final Building Permit* inspection granting occupancy for Lot A (Seaside South), in whole or in part. To facilitate the staging of building occupancy, the SA shall include "interim" and "ultimate" designs for works behind the curb and streetlights in areas that will not be occupied until Stages 2 and 3, which works may include, but may not be limited to, temporary sidewalks and/or boulevard treatments, as determined to the City's satisfaction.
6. Shared Residential Amenity Space for Lot A & Lot B: Registration of a restrictive covenant(s) and/or alternative legal agreement(s) on title to Lot A (Seaside South) and Lot B (Seaside North), to the satisfaction of the City, specifying the amount and distribution of common indoor and outdoor amenity space on Lots A and B, and ensuring that a portion of the residential indoor and outdoor amenity space constructed on Lot A, as specified in the subject Development Permit, is secured, together with related access, spaces, and uses, for the unrestricted future use of the residents of Lot B (including the Affordable Housing occupants of Lot B, which occupants shall have use of the applicable portion of the Lot A amenities on the same terms that apply to their use of Lot B amenities). More specifically:
- 6.1. Residents of Lot B shall have unrestricted:
 - 6.1.1. Shared use, with the residents of Lot A, of common indoor and outdoor amenity spaces in the Lot A building, including:
 - One outdoor space, comprising 100% of the common outdoor amenity space located at the podium roof level as per the Development Permit; and
 - One indoor space, at least 650.3 m² (7,000.0 ft²) in size, contiguous with and directly accessible from the common outdoor space, which indoor space shall be located on one level and include an indoor pool and related amenities;
 - 6.1.2. Exclusive use of weather protected vertical circulation providing secure access for the Lot B residents between ground level along the Lot A frontage of the proposed east-west street and Lot A's podium roof level via elevator and stair; EXCEPT that the stair may be used by the occupants of Lot A for emergency exiting purposes from Lot A's podium roof level. (NOTE: Vertical circulation shall not be considered to be amenity space for the purpose of floor area ratio calculations.)
 - 6.2. On the basis that the residents of Lot B have use of Lot A's amenity spaces and related features as described above, the required amount and distribution of residential common outdoor and indoor amenity space on Lots A and B shall be as follows:

Initial: _____

- 6.2.1. For common outdoor amenity space, the space provided shall meet or exceed the Richmond Official Community Plan (OCP) rates in effect at the time of Development Permit issuance on a lot-by-lot basis; and
- 6.2.2. For common indoor amenity space, the combined total floor area of common indoor amenity space on Lots A and B shall not exceed 0.1 floor area ratio, as permitted under the ZMU30 zone, based on the combined total lot area of Lots A and B, and the required common indoor amenity space shall be distributed such that the developer shall provide at least:
 - 1,333.2 m² (14,350.6 ft²) on Lot A; and
 - 246.8 m² (2,656.5 ft²) on Lot B.

NOTE: With respect to the rezoning, the developer shall be required to register a "Unit Allocation Covenant" on Lots A, B, and C, which covenant shall restrict the maximum permitted number of units on Lot A to 535 (as per DP 16-745853) and on Lot B to 255. Based on this and the OCP minimum common indoor amenity space rate of 2.0 m² (21.5 ft²) per dwelling, the minimum common indoor amenity space requirement for Lot A would be 1,070.0 m² (11,517.4 ft²) and for Lot B would be 510.0 m² (5,489.7 ft²). Under the subject "Shared Residential Amenity Space for Lot A & Lot B" agreement, the developer's proposed over-building of amenity space on Lot A shall allow for a reduction in the future amount of common indoor amenity space provided on Lot B; HOWEVER, regardless for the actual floor area of common indoor amenity space overbuilt on Lot A, the developer shall be required to construct at least 246.8 m² (2,656.5 ft²) of common indoor amenity space on Lot B.

- 6.3. "No development" shall be permitted for residential uses on Lot A or Lot B, restricting Development Permit issuance with respect to residential uses, until, on a lot-by-lot basis, the developer provides for the required common indoor and outdoor amenity spaces and related access, spaces, and uses to the satisfaction of the City.
- 6.4. No Building Permit* shall be issued for residential uses on Lot A or Lot B, until, on a lot-by-lot basis, the developer provides for the required common indoor and outdoor amenity spaces and related access, spaces, and uses to the satisfaction of the City and a letter of assurance is submitted by the architect confirming that the facilities satisfy the City's objectives.
- 6.5. "No occupancy" shall be permitted for residential uses on Lot A or Lot B, restricting final Building Permit* inspection granting occupancy, until:
 - 6.5.1. For Lot A, the required common indoor and outdoor amenity spaces and related access, spaces, and uses are completed to the satisfaction of the City and have received final Building Permit* inspection granting occupancy in accordance with the Phase 1/Lot A Occupancy Staging Agreement; and
 - 6.5.2. For Lot B, the required common indoor and outdoor amenity spaces and related access, spaces, and uses:
 - On Lot A are 100% completed to the satisfaction of the City and have received final Building Permit* inspection granting occupancy; and
 - On Lot B are completed as determined to the sole satisfaction of the City (e.g., staged) via an approved Development Permit for Lot B.

Prior to Building Permit* Issuance, the developer must complete various requirements that shall include, but shall not be limited to, the following:

1. Encroachment Agreement(s): Any and all pedestrian weather protection features extending beyond the property line into a City-owned road right-of-way (i.e. overhanging the City sidewalk) shall be subject to an encroachment agreement, to the satisfaction of the City. The affected weather protection shall not include signage and will take the form of demountable, glass and metal canopies supported by the building (i.e. no columns) and designed to minimize potential conflicts with City street trees, infrastructure, and related operations, to the satisfaction of the Director of Development, Director of Engineering, Senior Manager, Parks, and Manager, Transportation. (Fees shall apply.)

Initial: _____

2. Legal Agreements: Satisfy all legal agreements registered on title prior to rezoning adoption (RZ 12-603040) and/or Development Permit (DP 16-745853) issuance with respect to Lot A (Seaside South), including, but not limited to:
 - 2.1. Capstan Station Reserve: Submission of the voluntary developer contribution needed to satisfy Zoning Bylaw requirements, based on the actual number of dwelling units in the phase and the City-approved Capstan Station Reserve Voluntary Contribution rate in effect at the date of Building Permit* approval; and
 - 2.2. District Energy Utility (DEU): Submission of an energy modelling report for Lot A (Seaside South) and design the subject site with the capability to connect to and be serviced by a DEU, to the satisfaction of the Director of Engineering.
3. Construction Traffic Management Plan: Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
4. Accessibility: Incorporation of accessibility measures in Building Permit* (BP) plans as determined via the Rezoning and/or Development Permit processes.
5. Construction Hoarding: Obtain a Building Permit* (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit*. For additional information, contact the Building Approvals Department at 604-276-4285.

NOTE:

- Items marked with an asterisk (*) require a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act. All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.
The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.
- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial Wildlife Act and Federal Migratory Birds Convention Act, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

SIGNED COPY ON FILE (REDMS #5337281)

Signed _____

Date _____

STAGED FEATURES	STAGE 1 Buildings B & C	STAGE 2 (1) Buildings A & J	STAGE 3 (2) Buildings D & E	TOTAL Buildings A, B, C, D, E & J
1. Commercial	<ul style="list-style-type: none"> Entire No. 3 Road frontage 	<ul style="list-style-type: none"> None required 	<ul style="list-style-type: none"> Entire Capstan Way frontage 	<ul style="list-style-type: none"> Max. 2,128.6 m² (22,911.5 ft²)
2. Market Housing	<ul style="list-style-type: none"> Max. 169 units 	<ul style="list-style-type: none"> Max. 161 units 	<ul style="list-style-type: none"> Max. 164 units 	<ul style="list-style-type: none"> Max. 51,882.1 m² (558,454.9 ft²) Max. 494 units
3. Affordable Housing	<ul style="list-style-type: none"> Min. 1,110.5 m² (11,953.3 ft²) 21 units 	<ul style="list-style-type: none"> 7 units 	<ul style="list-style-type: none"> 13 units 	<ul style="list-style-type: none"> 3,095.5 m² (33,319.4 ft²) 41 units, including: <ul style="list-style-type: none"> 5 bachelor units 7 one-bedroom units 25 two-bedroom units 4 three-bedroom units
4. Basic Universal Housing (BUH) Units	<ul style="list-style-type: none"> No. of Market Housing units may vary 21 Affordable Housing units 	<ul style="list-style-type: none"> No. of Market Housing units may vary 7 Affordable Housing units 	<ul style="list-style-type: none"> Additional Market Housing units as required to achieve a total of 67 13 Affordable Housing units 	<ul style="list-style-type: none"> 67 Market Housing units 41 Affordable Housing units
5. OCP Outdoor Amenity Space – For Shared Market & Affordable Housing Occupant Use	<ul style="list-style-type: none"> Min. 1,014.0 m² (10,914.6 ft²) of rooftop outdoor recreation space 	<ul style="list-style-type: none"> Min. 966.0 m² (10,397.9 ft²) of rooftop outdoor recreation space 	<ul style="list-style-type: none"> Additional rooftop outdoor recreation space as required to achieve a total of 5,718.2 m² (61,550.4 ft²) on Lot A 176.0 m² (1,894.5 ft²) of planted area at/near ground level 100% of features required for future shared use with residents of Phase 2 & to satisfy the terms of the Shared Residential Amenity Space for Lot A & Lot B agreement 	<ul style="list-style-type: none"> 5,718.2 m² (61,550.4 ft²) of rooftop outdoor recreation space 176.0 m² (1,894.5 ft²) of planted area at/near ground level 100% of features required for future shared use with residents of Phase 2 & to satisfy the terms of the Shared Residential Amenity Space for Lot A & Lot B agreement
6. OCP Indoor Amenity Space – For Shared Market & Affordable Housing Occupant Use	<ul style="list-style-type: none"> At least 338.0 m² (3,638.2 ft²), which may include Temporary Amenity Space 	<ul style="list-style-type: none"> At least 322.0 m² (3,466.0 ft²), which may include Temporary Amenity Space 	<ul style="list-style-type: none"> Removal of any and all Temporary Amenity Space constructed in Stage 1 and/or Stage 2 Additional permanent amenity space as required to achieve a total of 1,333.2 m² (14,350.6 ft²) on Lot A 100% of features required for future shared use with residents of Phase 2 & to satisfy the terms of the Shared Residential Amenity Space for Lot A & Lot B agreement 	<ul style="list-style-type: none"> 1,333.2 m² (14,350.6 ft²), including an indoor pool facility at least 650.3 m² (7,000.0 ft²) in size, BUT excluding any Temporary Amenity Space required to be removed in Stage 3 100% of features required for future shared use with residents of Phase 2 & to satisfy the terms of the Shared Residential Amenity Space for Lot A & Lot B agreement
7. Parking – Commercial "Public" Spaces	<ul style="list-style-type: none"> 70 spaces 3 EV 240V Chargers 	<ul style="list-style-type: none"> None required 	<ul style="list-style-type: none"> None required 	<ul style="list-style-type: none"> 70 spaces 3 EV 240V Chargers
8. Parking – Commercial "Assignable" Spaces	<ul style="list-style-type: none"> None required 	<ul style="list-style-type: none"> 70 spaces 16 EV Charging 240V Stations 	<ul style="list-style-type: none"> None required 	<ul style="list-style-type: none"> 70 spaces 16 EV Charging 240V Stations

STAGED FEATURES		STAGE 1 Buildings B & C		STAGE 2 (1) Buildings A & J		STAGE 3 (2) Buildings D & E		TOTAL Buildings A, B, C, D, E & J	
9.	Parking – For Market Housing Resident Use	<ul style="list-style-type: none"> 202 spaces, excluding tandem spaces Additional spaces at the developer's discretion, which may include tandem spaces <p>Based on total parking provided:</p> <ul style="list-style-type: none"> 25% EV Charging 240V Stations 25% EV 240V Pre-ducted Spaces 	<ul style="list-style-type: none"> 19 spaces 5 EV Charging 240V Stations 5 EV 240V Pre-ducted Spaces 	<ul style="list-style-type: none"> 194 spaces, excluding tandem spaces Additional spaces at the developer's discretion, which may include tandem spaces <p>Based on total parking provided:</p> <ul style="list-style-type: none"> 25% EV Charging 240V Stations 25% EV 240V Pre-ducted Spaces 	<ul style="list-style-type: none"> 98 spaces, excluding tandem spaces Additional spaces at the developer's discretion, which may include tandem spaces <p>Based on total parking provided:</p> <ul style="list-style-type: none"> 25% EV Charging 240V Stations 25% EV 240V Pre-ducted Spaces 	<ul style="list-style-type: none"> Approximately 645 spaces, including: 494 spaces, excluding tandem spaces Additional spaces at the developer's discretion, which may include tandem spaces <p>Based on total parking provided:</p> <ul style="list-style-type: none"> 25% EV Charging 240V Stations (i.e. 162 based on 645 spaces) 25% EV 240V Pre-ducted Spaces (i.e. 162 based on 645 spaces) 	<ul style="list-style-type: none"> 34 spaces 9 EV Charging 240V Stations 9 EV 240V Pre-ducted Spaces 		
10.	Parking – For Exclusive Affordable Housing Resident Use	<ul style="list-style-type: none"> 19 spaces 5 EV Charging 240V Stations 5 EV 240V Pre-ducted Spaces 		<ul style="list-style-type: none"> 7 spaces 2 EV Charging 240V Stations 2 EV 240V Pre-ducted Spaces 	<ul style="list-style-type: none"> 8 spaces 2 EV Charging 240V Stations 2 EV 240V Pre-ducted Spaces 	<ul style="list-style-type: none"> 34 spaces 9 EV Charging 240V Stations 9 EV 240V Pre-ducted Spaces 			
11.	Class 1 Bike Storage – For Commercial Use	<ul style="list-style-type: none"> 5 spaces 1 Electric Bike Charging Station 		<ul style="list-style-type: none"> None required 	<ul style="list-style-type: none"> None required 	<ul style="list-style-type: none"> 5 spaces 1 Electric Bike Charging Station 			
12.	End-of-Trip Facilities – For Non-Residential Tenant Use	<ul style="list-style-type: none"> 100% of the required facilities (must be co-located with the required Class 1 Bike Storage for Commercial Use) 		<ul style="list-style-type: none"> None required 	<ul style="list-style-type: none"> None required 	<ul style="list-style-type: none"> 100% of the required facilities (must be co-located with the required Class 1 Bike Storage for Commercial Use) 			
13.	Class 1 Bike Storage – For Market Housing Resident Use	<ul style="list-style-type: none"> 212 spaces Greater of 22 Electric Bike Charging Stations or as required to provide 1 per 10 or less bikes in each bike storage room 		<ul style="list-style-type: none"> 202 spaces Greater of 21 Electric Bike Charging Stations or as required to provide 1 per 10 or less bikes in each bike storage room 	<ul style="list-style-type: none"> 204 spaces Greater of 21 Electric Bike Charging Stations or as required to provide 1 per 10 or less bikes in each bike storage room 	<ul style="list-style-type: none"> 618 spaces Greater of 64 Electric Bike Charging Stations or as required to provide 1 per 10 or less bikes in each bike storage room 			
14.	Class 1 Bike Storage – For Exclusive Affordable Housing Resident Use	<ul style="list-style-type: none"> 27 spaces Greater of 3 Electric Bike Charging Stations or as required to provide 1 per 10 or less bikes in each bike storage room 		<ul style="list-style-type: none"> 9 spaces Greater of 1 Electric Bike Charging Station s or as required to provide 1 per 10 or less bikes in each bike storage room 	<ul style="list-style-type: none"> 16 spaces Greater of 2 Electric Bike Charging Station s or as required to provide 1 per 10 or less bikes in each bike storage room 	<ul style="list-style-type: none"> 52 spaces Greater of 6 Electric Bike Charging Station s or as required to provide 1 per 10 or less bikes in each bike storage room 			
15.	Class 2 Bike Storage – For Public Use	<ul style="list-style-type: none"> 27 spaces clustered indoors at the parkade street level 12 spaces dispersed outdoors 		<ul style="list-style-type: none"> 39 spaces dispersed outdoors 	<ul style="list-style-type: none"> 39 spaces dispersed outdoors 	<ul style="list-style-type: none"> 27 spaces clustered indoors at the parkade street level 90 spaces dispersed outdoors 			
16.	Servicing Agreement Works (SA 16-748500)	<ul style="list-style-type: none"> 100% of required works, EXCEPT that interim frontage treatments (approved via SA 16-745853) may be installed along: New street west of parkade entrance Corvette Way Capstan Way west of the corner, including the interim treatment of the access to the pump station equipment enclosure 	<ul style="list-style-type: none"> Removal & replacement of interim frontage works with ultimate frontage works, including: Completion of the new street Corvette Way parkade/driveway to the new street 	<ul style="list-style-type: none"> Removal & replacement of interim frontage works with ultimate frontage works, including: Completion of Corvette Way Completion of Capstan Way, including the ultimate treatment of the access to the pump station equipment enclosure 	<ul style="list-style-type: none"> Removal & replacement of interim frontage works with ultimate frontage works, including: Completion of Corvette Way Completion of Capstan Way, including the ultimate treatment of the access to the pump station equipment enclosure 	<ul style="list-style-type: none"> 100% of required Servicing Agreement works, including the replacement of all interim frontage works with ultimate frontage works (as approved via SA 16-745853) 			
17.	Pump Station Enclosure	<ul style="list-style-type: none"> 100% of required facilities 		<ul style="list-style-type: none"> None required 	<ul style="list-style-type: none"> None required 	<ul style="list-style-type: none"> 100% of required facilities 			

Initial: _____

STAGED FEATURES	STAGE 1 Buildings B & C	STAGE 2 (1) Buildings A & J	STAGE 3 (2) Buildings D & E	TOTAL Buildings A, B, C, D, E & J
18. Public Art	<ul style="list-style-type: none"> None required 	<ul style="list-style-type: none"> None required 	<ul style="list-style-type: none"> 100% of artwork(s) & related requirements 	<ul style="list-style-type: none"> 100% of artwork(s) & related requirements
19. Loading & Waste Management	<ul style="list-style-type: none"> 100% of required loading facilities 100% of garbage & recycling facilities required for residential uses in Buildings B & C 100% of garbage & recycling facilities required for No. 3 Road commercial uses 	<ul style="list-style-type: none"> 100% of garbage & recycling facilities required for residential uses in Buildings A & J 	<ul style="list-style-type: none"> 100% of garbage & recycling facilities required for residential uses in Buildings D & E 100% of garbage & recycling facilities required for Capstan Way commercial uses 	<ul style="list-style-type: none"> 100% of required loading facilities 100% of garbage & recycling facilities required for all residential uses 100% of garbage & recycling facilities required for all commercial uses
20. District Energy Utility (DEU)	<p>If DEU is available for Buildings B & C:</p> <ul style="list-style-type: none"> Building is connected DEU Agreements & related requirements satisfied <p>If no DEU available for Buildings B & C:</p> <ul style="list-style-type: none"> Engineer's certification, DEU Agreements, Letter of Credit & related requirements satisfied to facilitate future service hook-up 	<p>If DEU is available for Buildings A & J:</p> <ul style="list-style-type: none"> Building is connected DEU Agreements & related requirements satisfied <p>If no DEU available for Buildings A & J:</p> <ul style="list-style-type: none"> Engineer's certification, DEU Agreements, Letter of Credit & related requirements satisfied to facilitate future service hook-up 	<p>If DEU is available for Buildings D & E:</p> <ul style="list-style-type: none"> Building is connected DEU Agreements & related requirements satisfied <p>If no DEU available for Buildings D & E:</p> <ul style="list-style-type: none"> Engineer's certification, DEU Agreements, Letter of Credit & related requirements satisfied to facilitate future service hook-up 	<ul style="list-style-type: none"> 100% of DEU requirements satisfied, as applicable

(1) Development required over and above that of Stage 1 (2) Development required over and above that of Stages 1 and 2 to complete the entirety of the permitted development (as indicated in the "Total" column)

Initial: _____



City of Richmond

Development Permit

No. DP 16-745853

To the Holder: YuanHeng Seaside Developments Ltd.

Property Address: 3031, 3211, 3231, 3291, 3311, 3331 and 3351 No. 3 Road and
8151 Capstan Way

Address: #2F – 1236 West Broadway, Vancouver, BC V6H 1G6

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #14 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$2,913,021.93 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 16-745853

To the Holder: YuanHeng Seaside Developments Ltd.

Property Address: 3031, 3211, 3231, 3291, 3311, 3331 and 3351 No. 3 Road and
8151 Capstan Way

Address: #2F – 1236 West Broadway, Vancouver, BC V6H 1G6

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

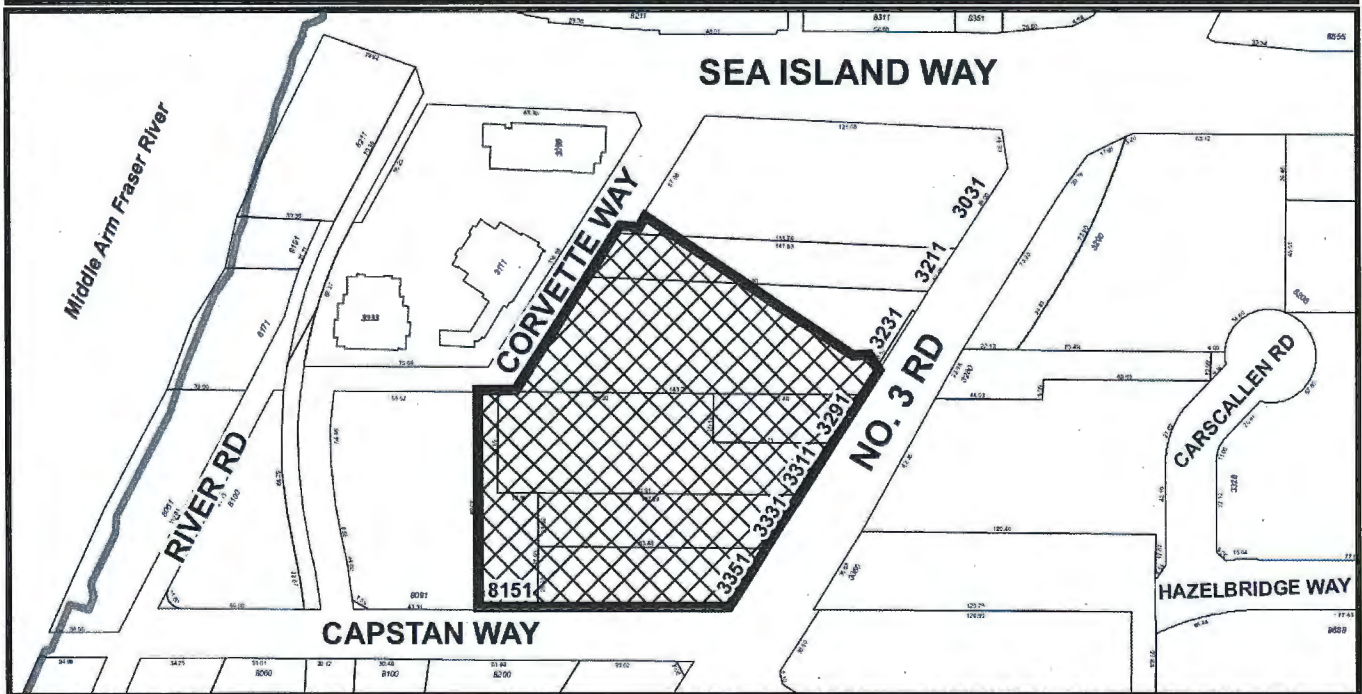
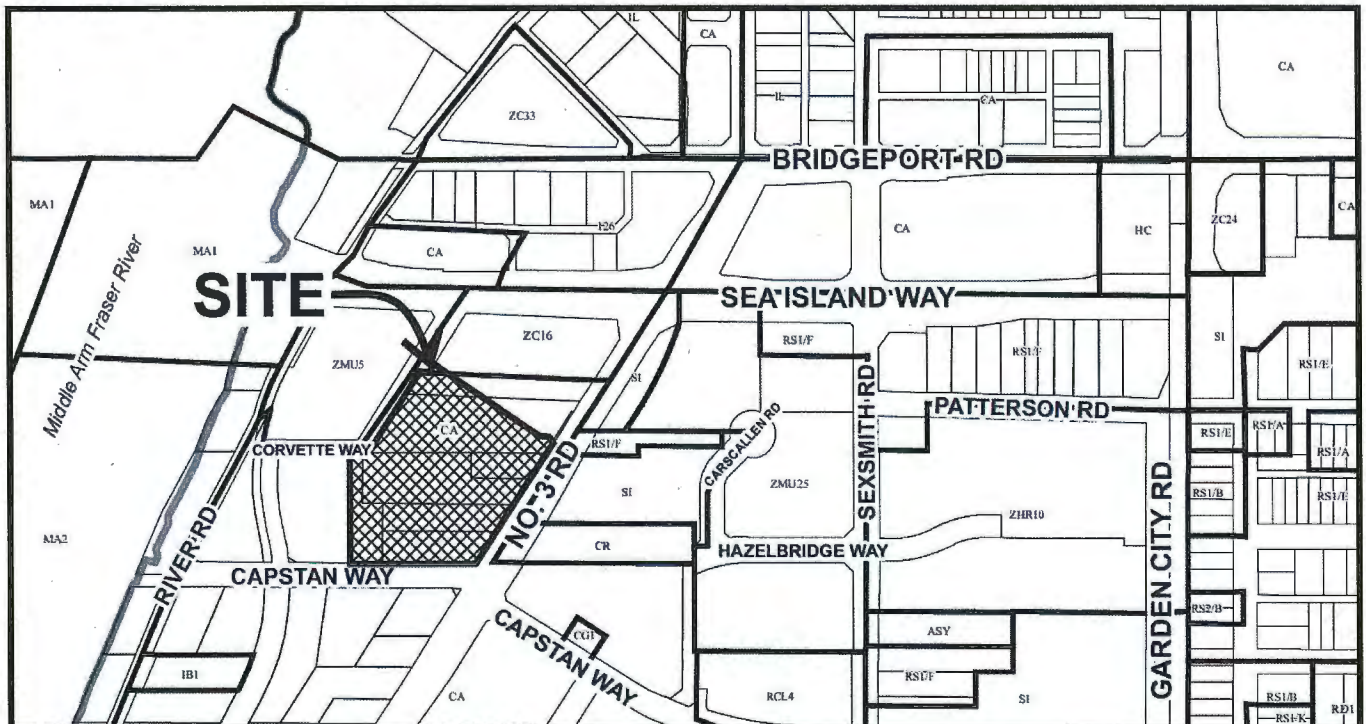
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond



DP 16-745853
SCHEDULE "A"

Original Date: 10/06/16

Revision Date: 12/16/16

Note: Dimensions are in METRES

MAR 10 2017

W. T. LEUNG
ARCHITECTS
INC.

Suite 300, 973 West Broadway,
Vancouver, British Columbia • Canada V6Z 1K9
Telephone 604 736-9711, Fax 604 736-9797

REVISION		DATE
C	10-14-16	ISSUED FOR RZ
D	10-14-16	ISSUED FOR RZ
E	10-14-16	ISSUED FOR RZ
F	10-14-16	ISSUED FOR RZ
G	10-14-16	ISSUED FOR RZ
H	10-14-16	ISSUED FOR RZ

PROJECT
**Yuanheng Seaside
Development**
LOT A
3031 - 3351 No. 3 Road
8151 Capstan Way

DP 16-745853
Building Areas

JOB NO.	11-03
DRAWN	LLR/BSV
DATE	May 28, 2015
SCALE	N.T.S.
CHECKED	WTL
DESIGNED BY: W. T. Leung Checked by: W. T. Leung Drawn by: L. Leung Scale: N.T.S. Project: DP 16-745853 Sheet: 1 of 1	

PLAN #1a

DP 16-745853

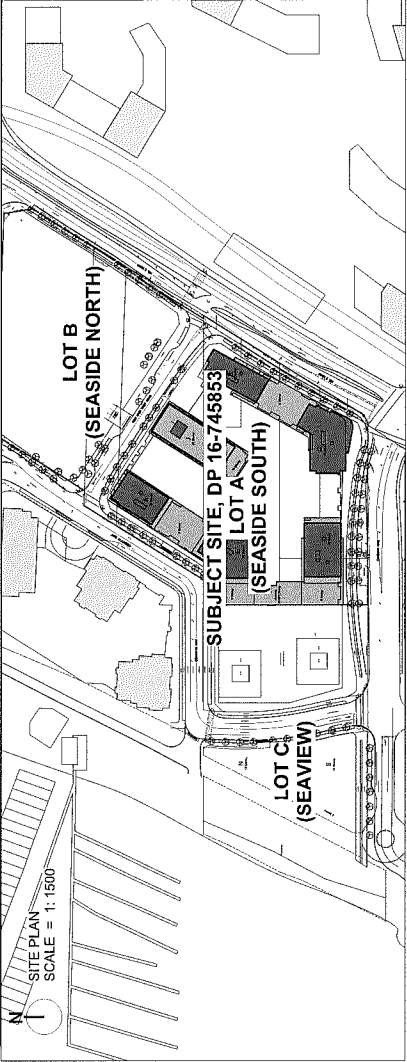
NOTES:

- Variances: None.
- Canopy Encroachments: All pedestrian weather protection features extending beyond the property line into a City-owned road right-of-way (i.e. overhanging the City sidewalk), in whole or in part, shall be subject to an encroachment agreement, to the satisfaction of the City. The affected weather protection shall NOT include signage and will take the form of demountable, glass and metal canopies supported by the building (i.e. no columns) and be designed to minimize potential conflicts with City street trees, infrastructure, and related operations, to the satisfaction of the Director of Development, Director of Engineering, Senior Manager, Parks, and Manager, Transportation. (Fees shall apply.)
- Statutory Right-of-Ways (SRWs):** Shown on the Site Plan. (PLAN #2a)
- Occupancy Staging:** Prior to DP issuance, legal agreements will be registered on title to permit occupancy to proceed in a maximum of three sequential Stages, generally as per the Occupancy Staging Plan. (PLAN #3)
- Affordable Housing:**
 - Prior to RZ adoption, a Housing Agreement and Covenant will be registered on title.
 - Prior to Building Permit issuance, a Replacement Covenant shall be registered for the purpose of replacing the floor plans and/or summary tables and related information so that the information in the Covenant accurately reflects the approved building design.
 - Affordable housing units are located on the 3' and 4' floors only and are identified on the floor plans.
 - 100% of affordable units are intended to be Basic Universal Housing (BUH) units and must satisfy Zoning Bylaw requirements.
 - For more information, see the Affordable Housing Plan. (PLAN #10)
- Accessibility:**
 - 100% of units are equipped with Aging-in-Place features, as per **PLAN #11**.
 - Basic Universal Housing (BUH) affordable housing and market units are marked on the floor plans and the number of BUH units is on **PLAN #1a**.
 - BUH units must satisfy Zoning Bylaw requirements, as per **PLAN #11**, and the BUH Zoning Bylaw floor area exemption is applied as per the Residential Summary table on **PLAN #1b**.
 - For more information, see the BUH Housing and Aging-in-Place Plan. (PLAN #11)
- Shared Outdoor Amenity Space for Residents:**
 - 100% of spaces shall be for the shared use of market and affordable housing residents.
 - Spaces and features (e.g., BBQ, shelters) are marked on the plans at the podium roof and two mid-rise roofs (on the site's east and west sides) and will be constructed in three Stages. (See **PLAN #3**)
 - Children's Play Space: This is located entirely on the podium roof and will be constructed in three Stages.
 - Garden Plots: Raised garden plots, together with potting benches, harvest table, hose bibs, tool shed, and compost storage, are located on the south side of the podium roof and will be constructed in Stages 1 and 3.
- Shared Indoor Amenity Space for Residents:**
 - Amenity space permitted with respect to ZMU30 (0.1 FAR) shall be distributed across the subject site and the zone's other two lots as per the maximum amenity space floor areas permitted by covenant(s) registered on title prior to Phase 1 DP issuance. The require floor area of Indoor amenity space on the subject Phase 1 site shall be as indicated in the summary table on **PLAN #12**.
 - 100% of amenity spaces shall be for the shared use of market and affordable housing residents.
 - Amenity spaces are marked on the plans and indicated on the Indoor Amenity Space Plan. (PLAN #12)
 - Amenity spaces shall be constructed in three Stages. (See **PLAN #3**)
 - Temporary Indoor Space:** The Occupancy Staging Plan (PLAN #3) and Indoor Amenity Space Plan (PLAN #12) require that the developer provides residents until 100% of the permanent Stage 1, 2 and 3 indoor amenity spaces have received final Building Permit inspection granting occupancy. Once the Temporary Amenity space is no longer required, the developer is permitted to remove and replace it with market residential units (which market units are included in the subject Development Permit's proposed total dwelling unit count indicated on **PLAN #1a**).
- Shared Lot A & Lot B Indoor/Outdoor Amenity Spaces for Residents:** Amenity spaces intended for the shared use of Lot A and future Lot B residents (as per legal agreements registered on title prior to DP issuance) shall include 698.4 m² (7,517.0 ft²) of indoor space on Level 9 (podium roof) between Buildings D and E (i.e. pool, steam, sauna and change rooms) and the entirety of the common outdoor amenity space at the same level. Future Lot B residents shall access these shared amenity spaces ONLY via the elevator/stair on the north side of Lot A (i.e. NOT via any Lot A residential tower lobbies/core).
- Parking & Bike Storage:**
 - Commercial Parking: As per legal agreements registered on title prior to rezoning adoption, 140 spaces shall be located in the parkade at street level, including 70 "Public" spaces (e.g., short-term pay parking) to be constructed in Stage 1 and 70 "Assignable" spaces (e.g., leased to specific businesses or persons) to be constructed in Stage 2.
 - Visitor Parking: Not required. (At the discretion of the developer, some "Assignable" commercial spaces may be assigned for visitors.)
 - Commercial Bike Storage and End-of-Trip Facilities: Class 1 bike storage and end-of-trip facilities (e.g., change rooms) are consolidated in one location near the parkade's street level entrance and are marked on the floor plans and secured via a legal agreement.
 - Affordable Housing: Parking and Class 1 bike storage spaces are required for the exclusive use of the affordable unit occupants. Parking spaces and bike storage may be grouped and/or dispersed among the market residential parking and bike storage spaces.
 - Tandem Parking: Only permitted for market residential parking and must be provided in excess of the minimum bylaw requirement (as indicated in the Parking Spaces summary table on **PLAN #1b**).
 - Class 2 Bike Storage: Bike rack locations are shown on the plans, including one indoor location near the parkade's street level entrance and multiple outdoor (on-site) locations around the perimeter of the development.
- Electric Vehicle (EV) Charging Equipment for Vehicles and Class 1 Bike Storage (Residential & Commercial):**
 - Required equipment is marked on the floor plans and summarized in the EV Charging Equipment Table on **PLAN #1b**.
 - As per legal agreements, the final locations of all charging equipment must be confirmed prior to Building Permit issuance.
- Loading:** Indicated on plans at the street-level of the parkade.
- Waste Management:** Requirements are indicated on the plans, including, among other things, the extent of over-height space required for truck operations (i.e. clear of ALL structures, equipment and projections), the clear height of the parkade vehicle gate, and the maximum slope for ramps used for moving carts (i.e. 5% max.). For more information, see the Waste Management Plan. (PLAN #13)
- Heat Pump FAR Exemption:** Prior to Building Permit issuance, based on detailed design, if the developer wishes to pursue any floor area exemption over and above the standard exemption permitted under the Zoning Bylaw, a report must be submitted by an accredited mechanical engineer, demonstrating and certifying to the satisfaction of the Director of Engineering, that a larger floor area exemption is warranted to facilitate green infrastructure.
- District Energy Utility (DEU):** DEU Agreements must be entered into and related requirements must be satisfied prior to occupancy of each of the three (3) occupancy Stages provided for by the Occupancy Staging Plan (PLAN #3).
- Daylight/Nightlight Control:** To address potential light pollution issues, the developer will:
 - Provide electrical outlets in place of soffit lighting on the building's balconies; and
 - Install window coverings (e.g., horizontal louver window blinds and/or roller blinds) in all market and affordable housing units.
- Capstan Station Bonus:** Prior to Building Permit issuance, the developer must submit a cash contribution to the Capstan Station Reserve, as per Zoning Bylaw amenity bonus requirements and the maximum number of units approved at Building Permit issuance (to a maximum of 535, as per a legal agreement registered on title prior to DP issuance).
- Skyline Pump Station:** Prior to Building Permit issuance for Phase 1, in whole or in part, the detailed design, configuration, and location of on-site features required to satisfy the rezoning (RZ 12-603040) with respect to improvements to and the operation of the Skyline Pump Station (including without limitation the pump station equipment, equipment enclosure, service vehicle access, and treatment of the area between the enclosure and the existing and ultimate pump stations), together with related building and landscape features, shall be subject to the review and approval of the Director of Engineering, Director of Development, Director of Transportation, and Senior Manager, Parks through the Phase 1 Servicing Agreement process (SA 16-745853).

YUANHENG Seaside South / Phase 1 (Lot A): Development
Summary

	PERMITTED / REQUIRED	PROPOSED
Net Site Area	■ Min. 13,000.0 m ²	■ 13,202.0 m ² (142,105.1 ft ²)
Gross Floor Area	■ Not defined	■ Total: 61,602.9 m ² (662,525.5 ft ²) ■ Residential: 59,474.3 m ² (639,614.0 ft ²) ■ Commercial: 2,128.5 m ² (22,911.5 ft ²)
Net Floor Area - Total	■ 57,108.8 m ² (614,714.0 ft ²)	■ 57,106.2 m ² (614,685.8 ft ²)
■ Residential	■ Total: 54,977.8 m ² (591,776.1 ft ²) ■ Affordable Hsg.: Min. 1,110.5 m ² (11,953.3 ft ²) ■ Market Hsg.: Max. 53,867.3 m ² (579,822.8 ft ²)	■ Total: 54,959.0 m ² (591,574.2 ft ²) ■ Affordable Housing: 3,095.5 m ² (33,319.4 ft ²) ■ Market Housing: 51,863.6 m ² (558,254.8 ft ²)
■ Commercial	■ 2,131.0 m ² (22,937.9 ft ²)	■ 2,128.6 m ² (22,911.5 ft ²)
Lot Coverage	■ Max. 90%	■ 90%
Dwelling Units	■ Affordable Housing: Min. 15 ■ Market Housing: Not defined	■ Total: 535 ■ Affordable Housing: 41 ■ Market Housing: 494
Basic Universal Housing (BUH)	■ Not defined	■ Market units: 67 ■ Affordable Housing units: 41 ■ Total: 108
Amenity Space - Indoor	■ 535 units @ 2.0 m ² (21.5 ft ²) / unit (min) ■ Min. 1,070.0 m ² (11,517.4 ft ²)	■ 1,333.2 m ² (14,350.6 ft ²)
Amenity Space – Outdoor (OCP)	■ Total: 4,530.2 m ² (48,762.7 ft ²) ■ OCP: Min. 3,210.0 m ² (34,552.1 ft ²), including at least 600.0 m ² (6,459.0 ft ²) of play space based on 535 units @ 6.0 m ² (64.6 ft ²) / unit ■ CCAP: Min. 1,320.2 m ² (14,210.5 ft ²) based on 10% Net Site Area	■ Total: 5,894.2 m ² (63,444.9 ft ²) ■ Recreation Space: 5,718.2 m ² (61,550.4 ft ²), including 717.1 m ² (7,718.7 ft ²) of play space ■ Additional landscaped space: 176 m ² (1,894.5 ft ²)
Setback: Road	■ Min. 3.0 m (9.8 ft.) to lot line or SRW secured for public access, BUT may be reduced if proper interfaces are provided	■ No. 3 Road: 0.12 m (0.40 ft) min ■ Capstan Way: 0.38 m (1.26 ft) min ■ Corvete Way: 1.59 m (5.23 ft) min ■ East-West Street: 0.27 m (0.90 ft) min
Setback: Interior & Below Grade	■ 0.0 m	■ 0.0 m
Height	■ Max. 47.0 m (154.2 ft.)	■ 47.0 m (154.2 ft.)
Loading	■ Min. 4 medium trucks	■ Min. 4 medium trucks

KEY PLAN





REVISION	REVISION
A	ISSUED FOR D.P.
B	ISSUED FOR D.P.
C	ISSUED FOR D.P.
D	ISSUED FOR D.P.
E	ISSUED FOR D.P.
F	ISSUED FOR D.P.
G	ISSUED FOR D.P.
H	ISSUED FOR D.P.

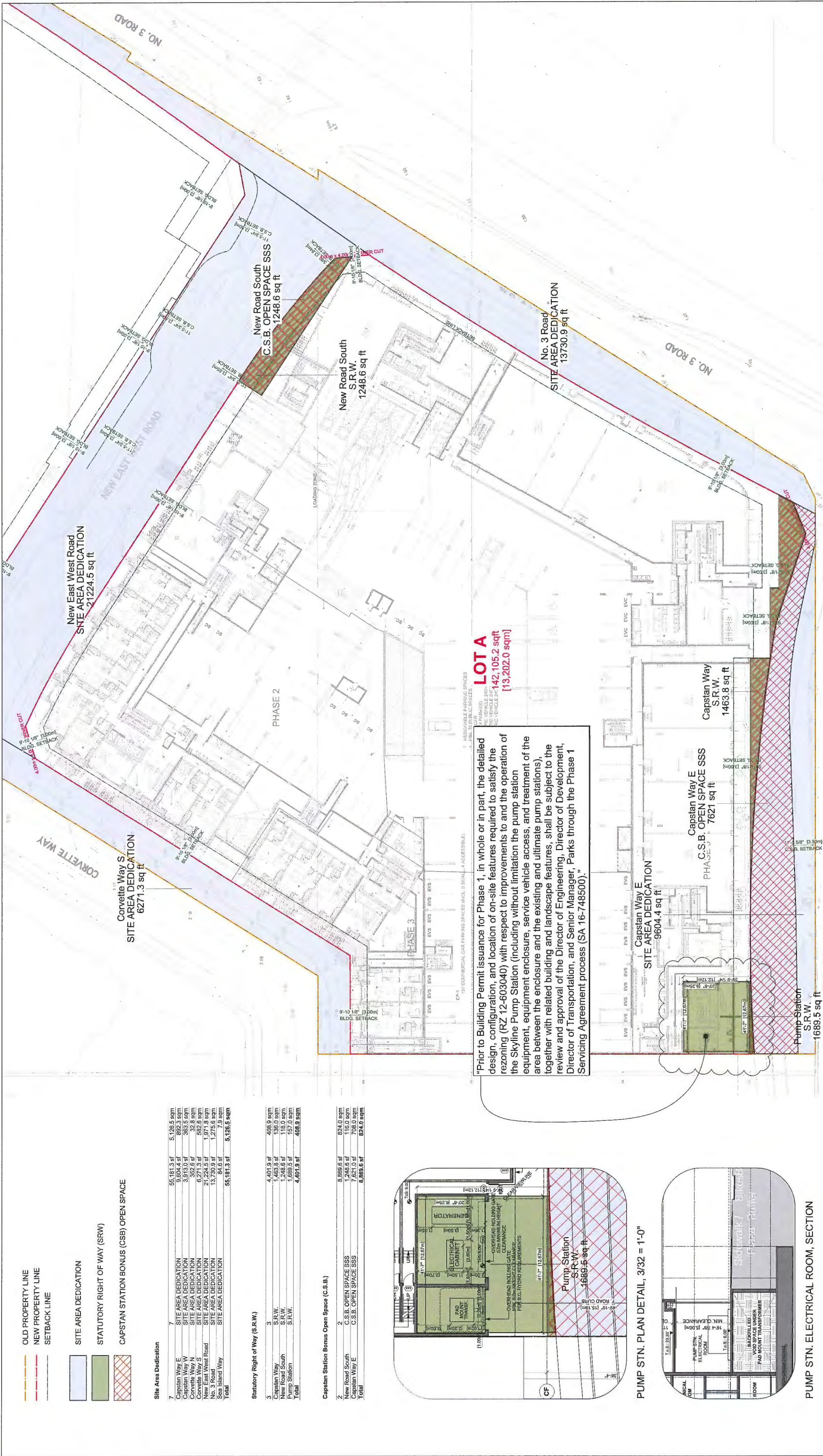
PROJECT
Yuanheng Seaside
Development
LOT A
3031 - 3351 No. 3 Road
8151 Capstan Way

Site Areas /
1st Floor

JOB NO.	11-03
DESIGN	SV
DATE	May 28, 2015
SCALE	1:250
DESIGNED BY	WTL

THIS DRAWING IS THE PROPERTY OF W. T. LEUNG ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF W. T. LEUNG ARCHITECTS INC.

PLAN #2a



LOT A
142,105.2 sqft
113,202.0 sqm

"Prior to Building Permit issuance for Phase 1, in whole or in part, the detailed design, configuration, and location of on-site features required to satisfy the rezoning (RZ 12-603040) with respect to improvements to and the operation of the Skyline Pump Station (including without limitation the pump station equipment, equipment enclosure, service vehicle access, and treatment of the area between the enclosure and the existing and ultimate pump stations), together with related building and landscape features, shall be subject to the review and approval of the Director of Engineering, Director of Development, Director of Transportation, and Senior Manager, Parks through the Phase 1 Servicing Agreement process (SA 16-748500)."

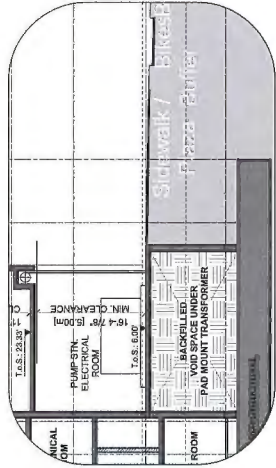
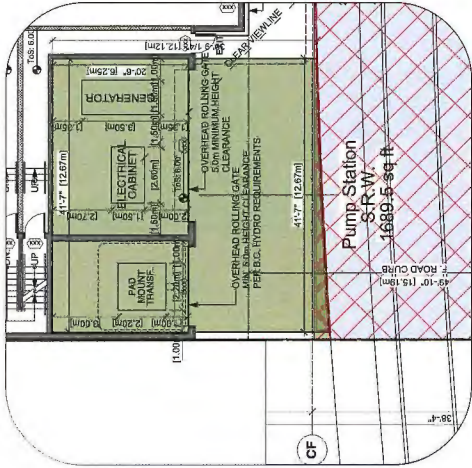
OLD PROPERTY LINE
NEW PROPERTY LINE
SETBACK LINE

SITE AREA DEDICATION
STATUTORY RIGHT OF WAY (SRW)
CAPSTAN STATION BONUS (CSB) OPEN SPACE

Site Area Dedication		
Capstan Way E	55,181.3 sf	5,126.5 sqm
Capstan Way S	3,034.4 sf	282.3 sqm
Capstan Way N	3,034.4 sf	282.3 sqm
Corvette Way S	352.8 sf	32.8 sqm
Corvette Way N	6,271.3 sf	582.6 sqm
New East West Road	21,224.5 sf	1,971.8 sqm
No. 3 Road	13,730.9 sf	1,275.6 sqm
Capstan Way E	84.9 sf	7.8 sqm
Total	55,181.3 sf	5,126.5 sqm

Statutory Right of Way (S.R.W.)		
Capstan Way	4,401.9 sf	408.9 sqm
New Road South	1,463.8 sf	136.0 sqm
New Road South	1,248.6 sf	116.0 sqm
Pump Station	1,689.5 sf	157.0 sqm
Total	4,401.9 sf	408.9 sqm

Capstan Station Bonus Open Space (C.S.B.)		
New Road South	8,869.6 sf	824.0 sqm
C.S.B. OPEN SPACE SSS	1,248.6 sf	116.0 sqm
C.S.B. OPEN SPACE SSS	1,689.5 sf	157.0 sqm
Total	8,869.6 sf	824.0 sqm



MAR 10 2017

W. T. LEUNG
ARCHITECTS
INC.

Suite 301, 973 West Broadway,
Vancouver, British Columbia • Canada V6Z 1K3
Telephone 604 735-9711, Facsimile 604 735-7981



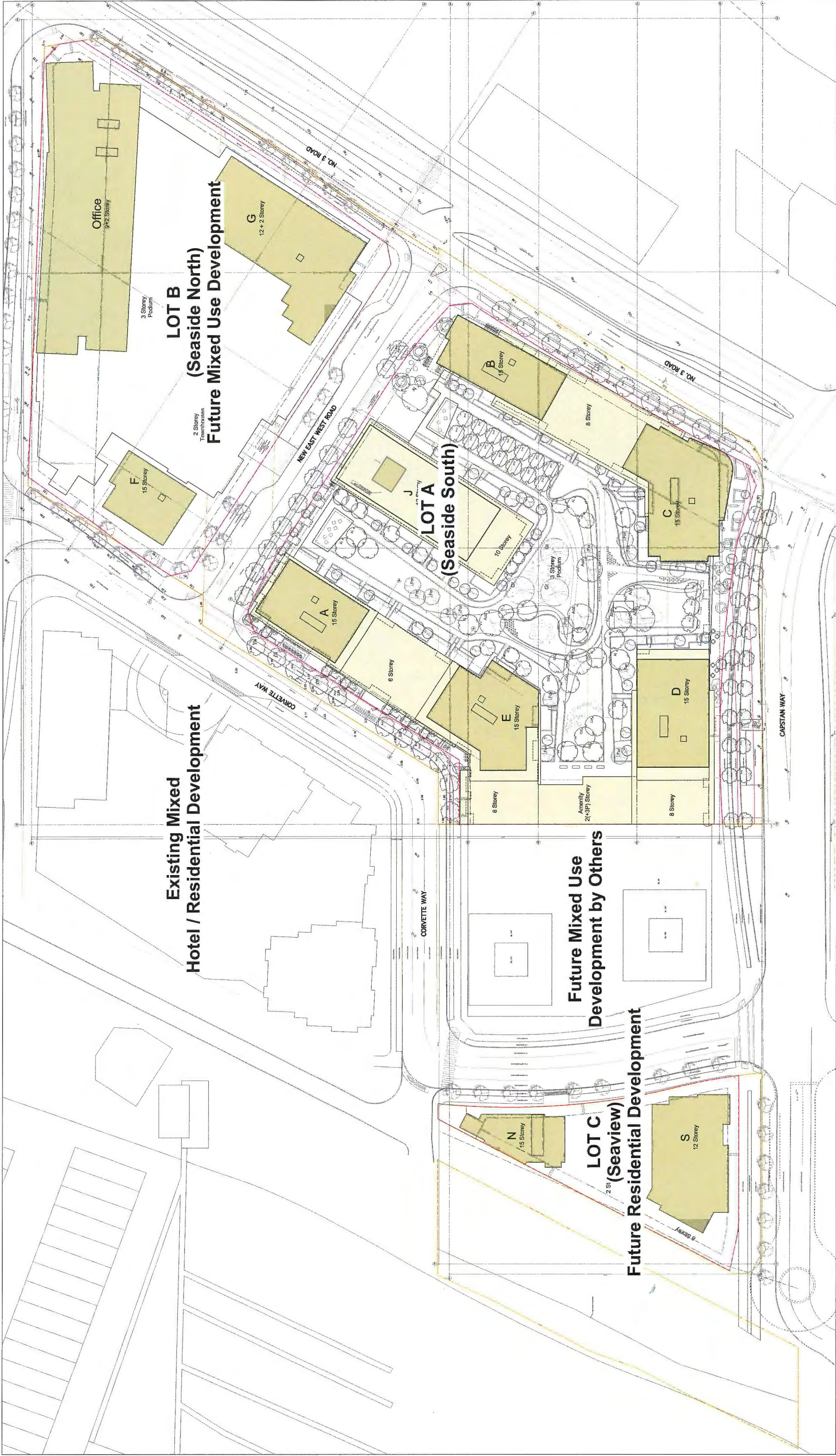
REVISIONS	
NO.	DESCRIPTION
A	PRELIMINARY
B	REVISED FOR PERMIT
C	REVISED FOR PERMIT
D	REVISED FOR PERMIT
E	REVISED FOR PERMIT
F	REVISED FOR PERMIT
G	REVISED FOR PERMIT
H	REVISED FOR PERMIT

Yuanheng Seaside
Development
LOT A
3031 - 3351 No. 3 Road
8151 Capstan Way

Site Plan
w. Landscape

JOB NO.	11-03
DESIGNER	LURBSIV
DATE	May 28, 2015
SCALE	1/32" = 1'-0"
CHECKED	WTL
DRAWING NO.	

PLAN #2b



DP 16-745853

MAR 10 2017

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ARCHITECTS
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Vancouver, British Columbia • Canada V6Z 1K3
Telephone: 604.726-9711 Fax: 604.726-9795

YUANHENG Phase 1/Lot A Occupancy Staging Plan

STAGED FEATURES		STAGE 1 Buildings B & C		STAGE 2 (1) Buildings A & J		STAGE 3 (2) Buildings D & E		TOTAL Buildings A, B, C, D, E & J	
1.	Commercial	▪ Entire No. 3 Road frontage	▪ None required	▪ None required	▪ Entire Capstan Way frontage	▪ Max. 164 units	▪ Max. 2,128.6 m2 (22,911.5 ft2)	▪ Max. 51,882.1 m2 (558,454.9 ft2)	▪ Max. 494 units
2.	Market Housing	▪ Max. 169 units	▪ Max. 161 units	▪ Max. 161 units	▪ Max. 164 units				
3.	Affordable Housing	▪ Min. 1,110.5 m2 (11,953.3 ft2) ▪ 21 units	▪ 7 units	▪ 7 units	▪ 13 units		▪ 3,095.5 m2 (33,319.4 ft2) ▪ 41 units, including: - 5 bachelor units - 7 one-bedroom units - 25 two-bedroom units - 4 three-bedroom units		
4.	Basic Universal Housing (BUH) Units	▪ No. of Market Housing units may vary ▪ 21 Affordable Housing units	▪ No. of Market Housing units may vary ▪ 7 Affordable Housing units	▪ No. of Market Housing units may vary ▪ 7 Affordable Housing units	▪ Additional Market Housing units as required to achieve a total of 67 ▪ 13 Affordable Housing units		▪ 67 Market Housing units ▪ 41 Affordable Housing units		
5.	OCP Outdoor Amenity Space – For Shared Market & Affordable Housing Occupant Use	▪ Min. 1,014.0 m2 (10,914.6 ft2) of rooftop outdoor recreation space	▪ Min. 966.0 m2 (10,397.9 ft2) of rooftop outdoor recreation space	▪ Additional rooftop outdoor recreation space as required to achieve a total of 5,718.2 m2 (61,550.4 ft2) on Lot A ▪ 176.0 m2 (1,894.5 ft2) of planted area at/hear ground level ▪ 100% of features required for future shared use with residents of Phase 2 & to satisfy the terms of the Shared Residential Amenity Space for Lot A & Lot B agreement	▪ 5,718.2 m2 (61,550.4 ft2) of rooftop outdoor recreation space ▪ 176.0 m2 (1,894.5 ft2) of planted area at/hear ground level ▪ 100% of features required for future shared use with residents of Phase 2 & to satisfy the terms of the Shared Residential Amenity Space for Lot A & Lot B agreement				
6.	OCP Indoor Amenity Space – For Shared Market & Affordable Housing Occupant Use	▪ At least 338.0 m2 (3,638.2 ft2), which may include Temporary Amenity Space	▪ At least 322.0 m2 (3,466.0 ft2), which may include Temporary Amenity Space	▪ Removal of any and all Temporary Amenity Space constructed in Stage 1 and/or Stage 2 ▪ Additional permanent amenity space as required to achieve a total of 1,333.2 m2 (14,350.6 ft2) on Lot A ▪ 100% of features required for future shared use with residents of Phase 2 & to satisfy the terms of the Shared Residential Amenity Space for Lot A & Lot B agreement	▪ 1,333.2 m2 (14,350.6 ft2), including an indoor pool facility at least 650.3 m2 (7,000.0ft2) in size, BUT excluding any Temporary Amenity Space required to be removed in Stage 3 ▪ 100% of features required for future shared use with residents of Phase 2 & to satisfy the terms of the Shared Residential Amenity Space for Lot A & Lot B agreement				
7.	Parking – Commercial “Public” Spaces	▪ 70 spaces ▪ 3 EV 240V Chargers	▪ None required	▪ None required	▪ None required	▪ None required	▪ 70 spaces ▪ 3 EV 240V Chargers		
8.	Parking – Commercial “Assignable” Spaces	▪ None required	▪ 70 spaces ▪ 16 EV Charging 240V Stations	▪ None required	▪ None required	▪ None required	▪ 70 spaces ▪ 16 EV Charging 240V Stations		

Approved for Construction by the City of Vancouver on 11/25/2016
Approved for Construction by the City of Vancouver on 11/25/2016
Approved for Construction by the City of Vancouver on 11/25/2016
Approved for Construction by the City of Vancouver on 11/25/2016

PLAN #3a

DP 16-745853

YUANHENG Phase 1/Lot A Occupancy Staging Plan (FINAL March 3, 2017)

OCCUPANCY
STAGING PLAN

STAGED FEATURES		STAGE 1 Buildings B & C	STAGE 2 (1) Buildings A & J	STAGE 3 (2) Buildings D & E	TOTAL Buildings A, B, C, D, E & J
9.	Parking – For Market Housing Resident Use	<ul style="list-style-type: none">▪ 202 spaces, excluding tandem spaces▪ Additional spaces at the developer's discretion, which may include tandem spaces Based on total parking provided: <ul style="list-style-type: none">▪ 25% EV Charging 240V Stations▪ 25% EV 240V Pre-ducted Spaces	<ul style="list-style-type: none">▪ 194 spaces, excluding tandem spaces▪ Additional spaces at the developer's discretion, which may include tandem spaces Based on total parking provided: <ul style="list-style-type: none">▪ 25% EV Charging 240V Stations▪ 25% EV 240V Pre-ducted Spaces	<ul style="list-style-type: none">▪ 98 spaces, excluding tandem spaces▪ Additional spaces at the developer's discretion, which may include tandem spaces Based on total parking provided: <ul style="list-style-type: none">▪ 25% EV Charging 240V Stations▪ 25% EV 240V Pre-ducted Spaces	Approximately 645 spaces, including: <ul style="list-style-type: none">▪ 494 spaces, excluding tandem spaces▪ Additional spaces at the developer's discretion, which may include tandem spaces Based on total parking provided: <ul style="list-style-type: none">▪ 25% EV Charging 240V Stations (i.e. 162 based on 645 spaces)▪ 25% EV 240V Pre-ducted Spaces (i.e. 162 based on 645 spaces)
10.	Parking – For Exclusive Affordable Housing Resident Use	<ul style="list-style-type: none">▪ 19 spaces▪ 5 EV Charging 240V Stations▪ 5 EV 240V Pre-ducted Spaces	<ul style="list-style-type: none">▪ 7 spaces▪ 2 EV Charging 240V Stations▪ 2 EV 240V Pre-ducted Spaces	<ul style="list-style-type: none">▪ 8 spaces▪ 2 EV Charging 240V Stations▪ 2 EV 240V Pre-ducted Spaces	<ul style="list-style-type: none">▪ 34 spaces▪ 9 EV Charging 240V Stations▪ 9 EV 240V Pre-ducted Spaces
11.	Class 1 Bike Storage – For Commercial Use	<ul style="list-style-type: none">▪ 5 spaces▪ 1 Electric Bike Charging Station	<ul style="list-style-type: none">▪ None required	<ul style="list-style-type: none">▪ None required	<ul style="list-style-type: none">▪ 5 spaces▪ 1 Electric Bike Charging Station
12.	End-of-Trip Facilities – For Non-Residential Tenant Use	<ul style="list-style-type: none">▪ 100% of the required facilities (must be co-located with the required Class 1 Bike Storage for Commercial Use)	<ul style="list-style-type: none">▪ None required	<ul style="list-style-type: none">▪ None required	<ul style="list-style-type: none">▪ 100% of the required facilities (must be co-located with the required Class 1 Bike Storage for Commercial Use)
13.	Class 1 Bike Storage – For Market Housing Resident Use	<ul style="list-style-type: none">▪ 212 spaces▪ Greater of 22 Electric Bike Charging Stations or as required to provide 1 per 10 or less bikes in each bike storage room	<ul style="list-style-type: none">▪ 202 spaces▪ Greater of 21 Electric Bike Charging Stations or as required to provide 1 per 10 or less bikes in each bike storage room	<ul style="list-style-type: none">▪ 204 spaces▪ Greater of 21 Electric Bike Charging Stations or as required to provide 1 per 10 or less bikes in each bike storage room	<ul style="list-style-type: none">▪ 618 spaces▪ Greater of 64 Electric Bike Charging Stations or as required to provide 1 per 10 or less bikes in each bike storage room
14.	Class 1 Bike Storage – For Exclusive Affordable Housing Resident Use	<ul style="list-style-type: none">▪ 27 spaces▪ Greater of 3 Electric Bike Charging Stations or as required to provide 1 per 10 or less bikes in each bike storage room	<ul style="list-style-type: none">▪ 9 spaces▪ Greater of 1 Electric Bike Charging Station s or as required to provide 1 per 10 or less bikes in each bike storage room	<ul style="list-style-type: none">▪ 16 spaces▪ Greater of 2 Electric Bike Charging Station s or as required to provide 1 per 10 or less bikes in each bike storage room	<ul style="list-style-type: none">▪ 52 spaces▪ Greater of 6 Electric Bike Charging Station s or as required to provide 1 per 10 or less bikes in each bike storage room
15.	Class 2 Bike Storage – For Public Use	<ul style="list-style-type: none">▪ 27 spaces clustered indoors at the parkade street level▪ 12 spaces dispersed outdoors	<ul style="list-style-type: none">▪ 39 spaces dispersed outdoors	<ul style="list-style-type: none">▪ 39 spaces dispersed outdoors	<ul style="list-style-type: none">▪ 27 spaces clustered indoors at the parkade street level▪ 90 spaces dispersed outdoors
16.	Servicing Agreement Works (SA 16-748500)	100% of required works, EXCEPT that interim frontage treatments (approved via SA 16-745853) may be installed along: <ul style="list-style-type: none">▪ New street west of parkade entrance▪ Corvette Way▪ Capstan Way west of the corner, including the interim treatment of the access to the pump station equipment enclosure	Removal & replacement of interim frontage works with ultimate frontage works, including: <ul style="list-style-type: none">▪ Completion of the new street▪ Corvette Way parkade/driveway to the new street	Removal & replacement of interim frontage works with ultimate frontage works, including: <ul style="list-style-type: none">▪ Completion of Corvette Way▪ Completion of Capstan Way, including the ultimate treatment of the access to the pump station equipment enclosure	<ul style="list-style-type: none">▪ 100% of required Servicing Agreement works, including the replacement of all interim frontage works with ultimate frontage works (as approved via SA 16-745853)
17.	Pump Station Enclosure	<ul style="list-style-type: none">▪ 100% of required facilities	<ul style="list-style-type: none">▪ None required	<ul style="list-style-type: none">▪ None required	<ul style="list-style-type: none">▪ 100% of required facilities

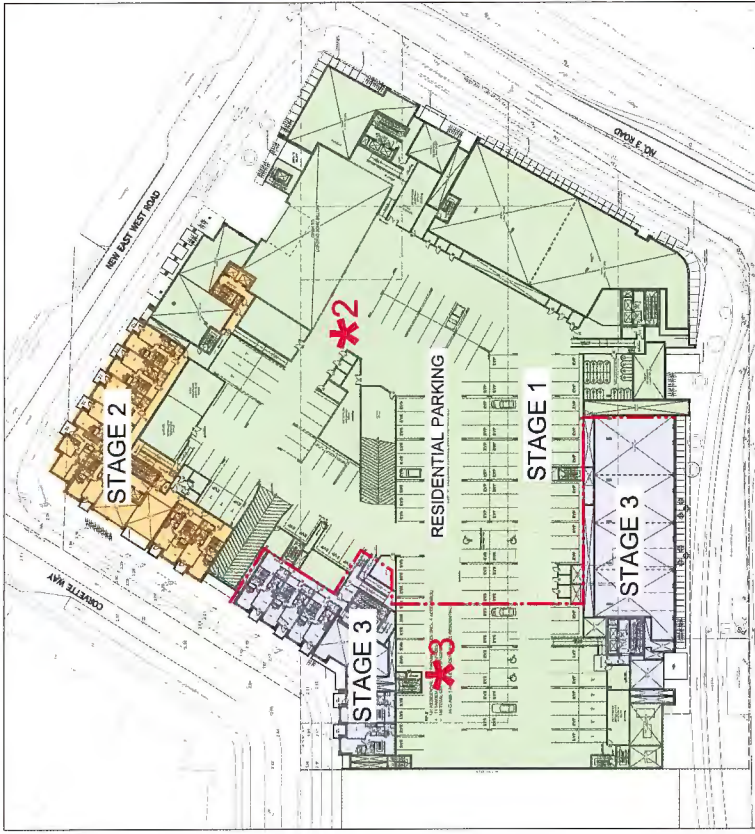
MAR 10 2017

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ARCHITECTS
INC.

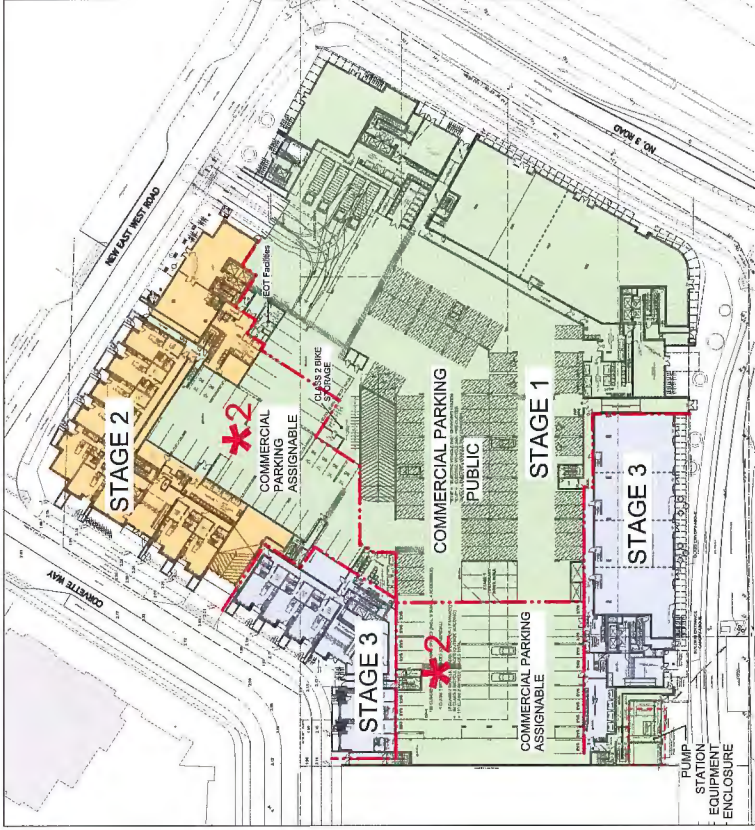
Site: 301, 973 West Broadway,
Vancouver, British Columbia • Canada V6Z 1K3
Telephone: 604 736-5711, Fax: 604 736-5791



DESCRIPTION: RESIDENTIAL PARKING
DATE: 11/20/2016
DRAWN BY: WTL



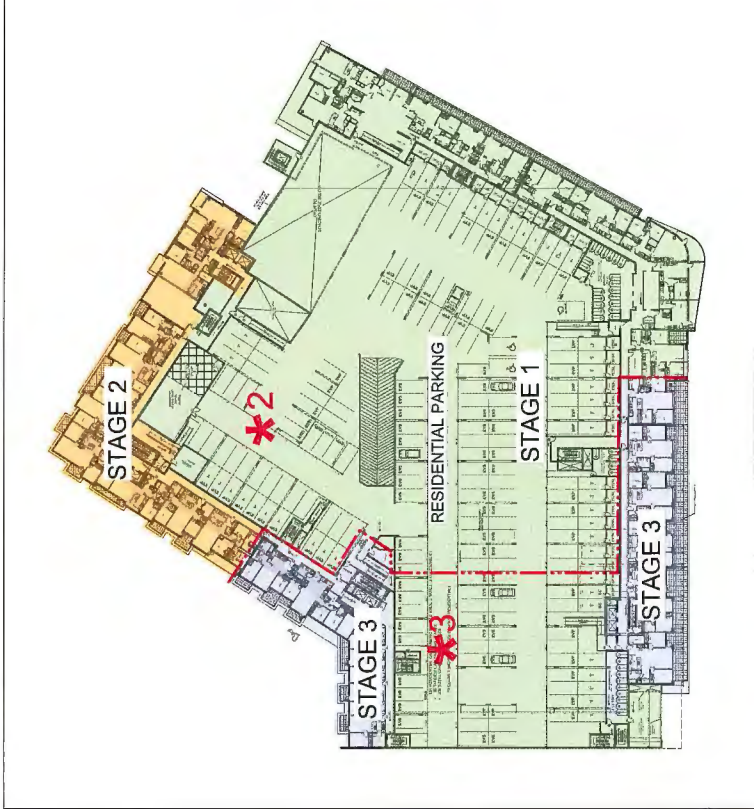
3 2nd Floor Plan, Residential Parking RP-2



2 1st Floor Plan, Commercial Parking CP-1



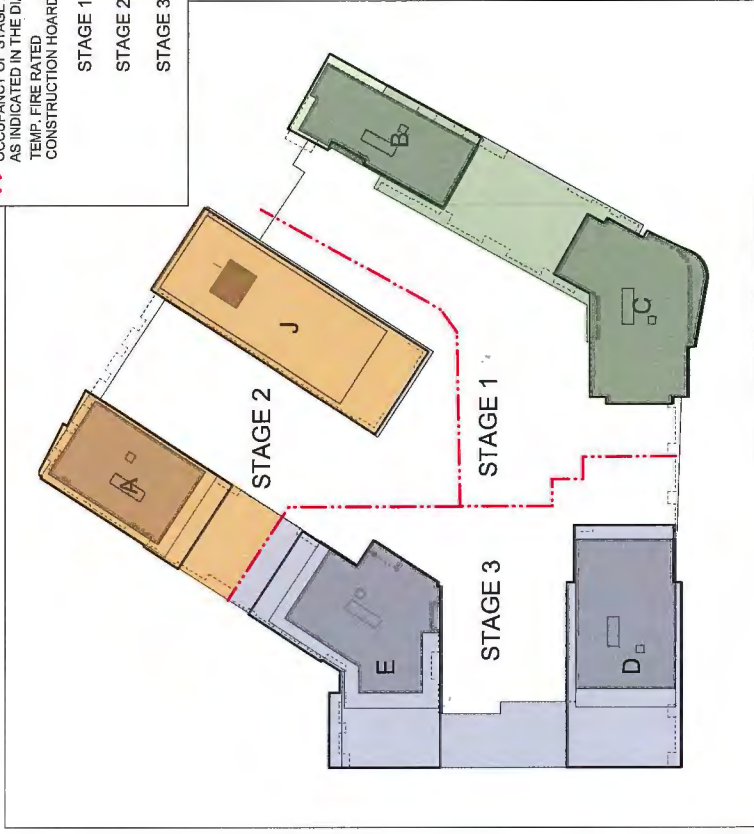
1 Parking Plan, Residential Parking RP-1



4 3rd Floor Plan, Residential Parking RP-3



5 4th Floor Plan, Courtyard Level



6 Roof Plan

PARKADE AREAS INCLUDED IN STAGE 1, BUT NOT OPEN TO THE PUBLIC UNTIL OCCUPANCY OF STAGE 2 OR STAGE 3, AS INDICATED IN THE DIAGRAMS

TEMP. FIRE RATED CONSTRUCTION HOARDING

STAGE 1
STAGE 2
STAGE 3

Yuanheng Seaside
Development
LOT A
3031 - 3351 No. 3 Road
8151 Captain Way

STAGING
CONCEPTUAL
DIAGRAMS

JOB NO.	11-03
DRAWN	SV
DATE	JAN 25, 2016
SCALE	NTS
CHECKED	WTL
DRAWING NO.	

PLAN #3d

DP 16-745853

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BRIEF DESCRIPTION	
A	4/22/16 INFLUEN BUDGET ISSUED FOR R.Z.
C	16-8-16 ISSUED FOR D.P.
E	16-11-26 ISSUED FOR BUDGET PRICING
F	16-11-26 ISSUED FOR A.D.P.
G	17-08-26 RE-ISSUED FOR D.P.

PROJECT

**Yuanheng Seaside
Development
LOT A**

3031 - 3351 No. 3 Road
8151 Capstan Way

Residential
Parking Level P-L

JOB NO.	11-03
DRAWN	LURB/SV
DATE	May 28, 2015
SCALE	1 : 250

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DECLASSING NO. :

PLAN #4a

Tower B

STAGE 1

Tower C

Tower D.

Tower E

STAGE 3

"Prior to Building Permit issuance for Phase 1, in whole or in part, the detailed design, configuration, and location of on-site features required to satisfy the rezoning (RZ 12-930340) with respect to improvements to and the operation of the Skyline Pump Station (including without limitation the pump station equipment, equipment enclosure, service vehicle access, and treatment of the area between the enclosure and the existing and proposed features, shall be subject to the review and approval of the Director of Engineering, Director of Development, Director of Transportation, and Senior Manager, Parks through the Phase 1 Servicing Agreement process (SA 16-749500)."



REVISION	DATE	BY	CHKD
A	15-11-16	WTL	WTL
B	15-11-16	WTL	WTL
C	15-11-16	WTL	WTL
D	15-11-16	WTL	WTL
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G	15-11-16	WTL	WTL

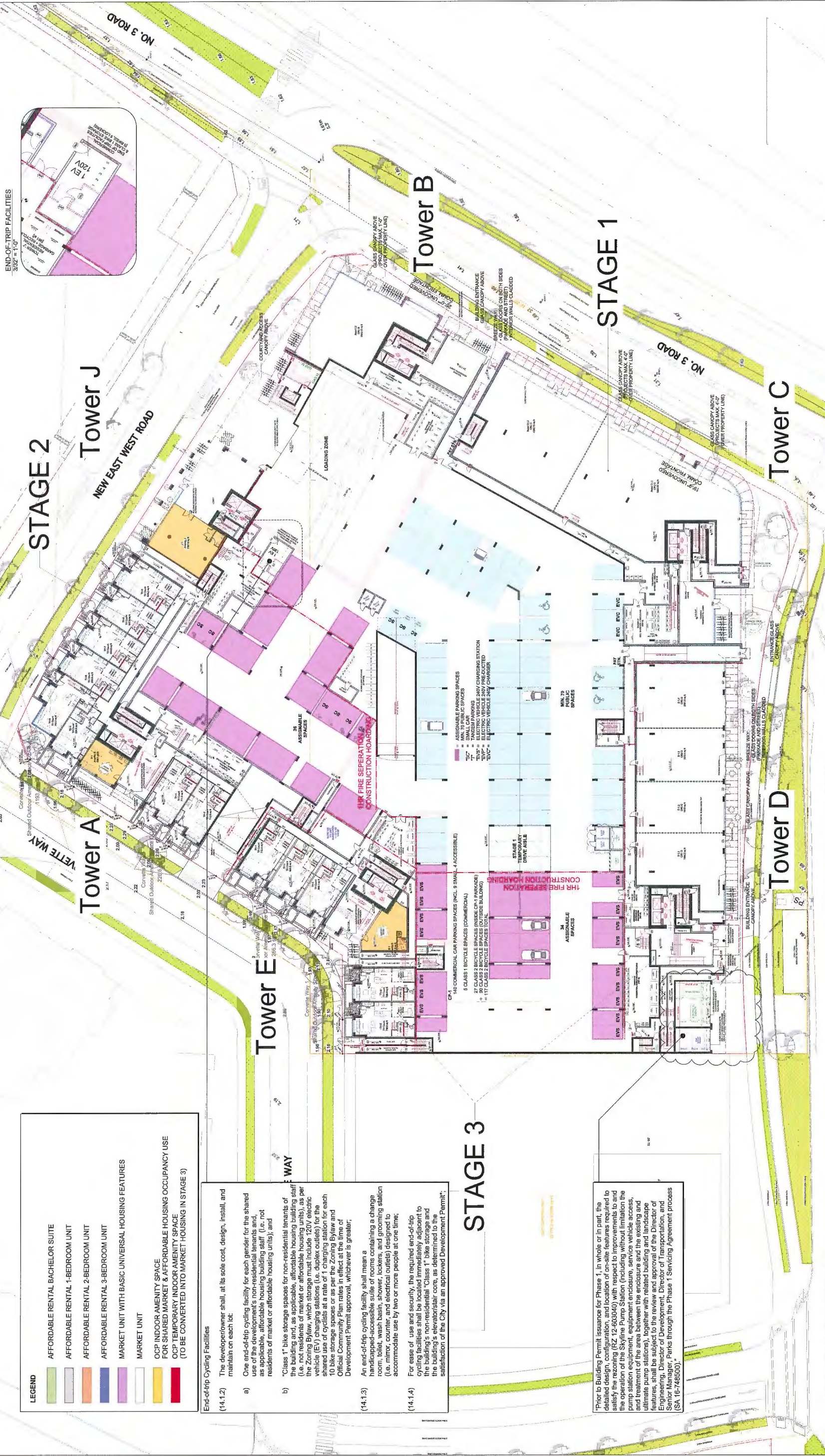
Yuanheng Seaside
Development
LOT A

3031 - 3351 No. 3 Road
8151 Capstan Way

1st Floor Plan /
Commercial P-1

DATE	11-03
DESIGN	LURBISV
DATE	May 28, 2015
SCALE	1:250
PROJECT	WTL

PLAN #4b



MAR 10 2017

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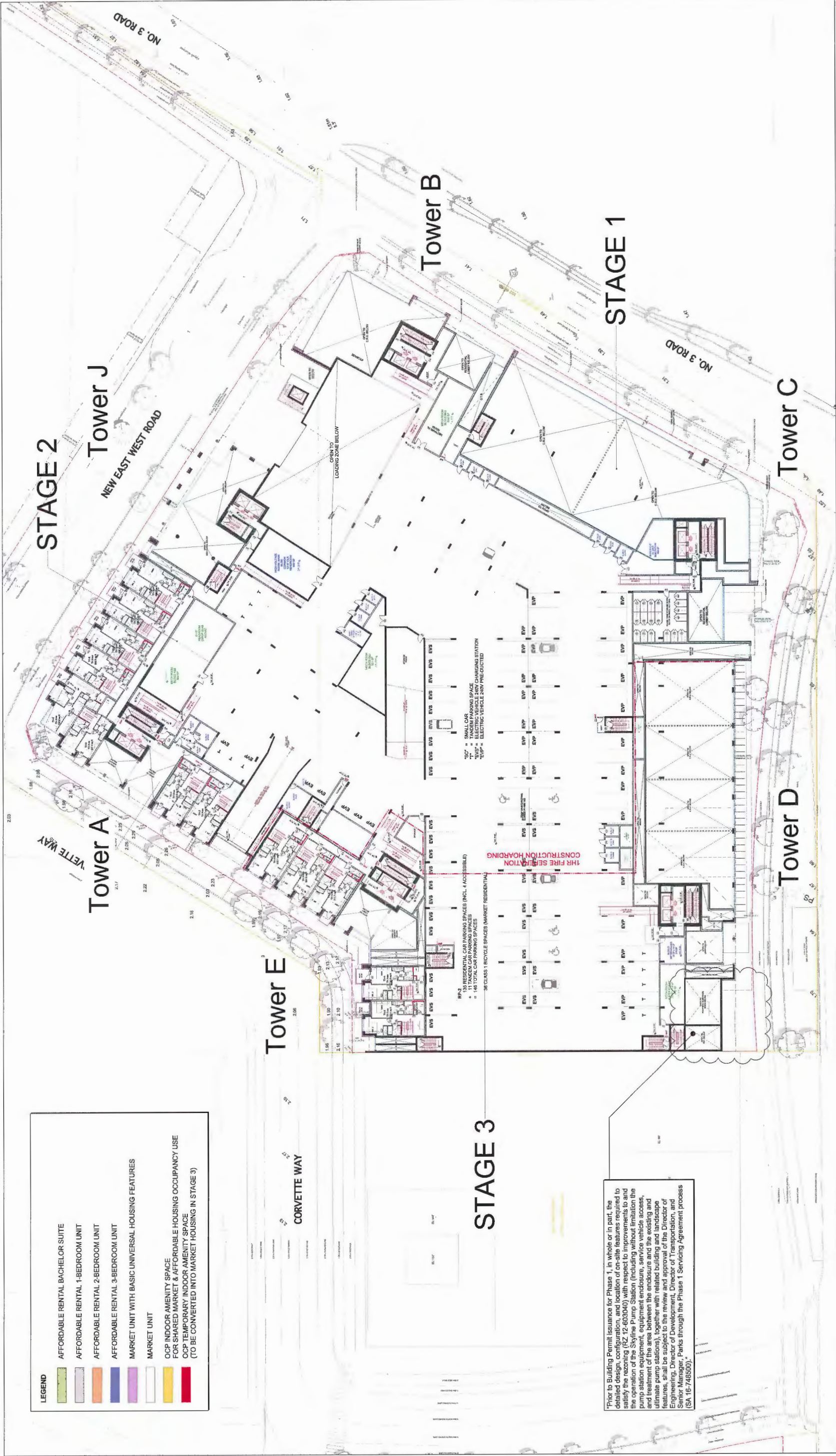
REVISION	REVISION
A	ISSUED FOR P.D.
B	ISSUED FOR P.D.
C	ISSUED FOR P.D.
D	ISSUED FOR P.D.
E	ISSUED FOR P.D.
F	ISSUED FOR P.D.
G	ISSUED FOR P.D.

Yuanheng Seaside
Development
LOT A
3031 - 3351 No. 3 Road
8151 Capstan Way

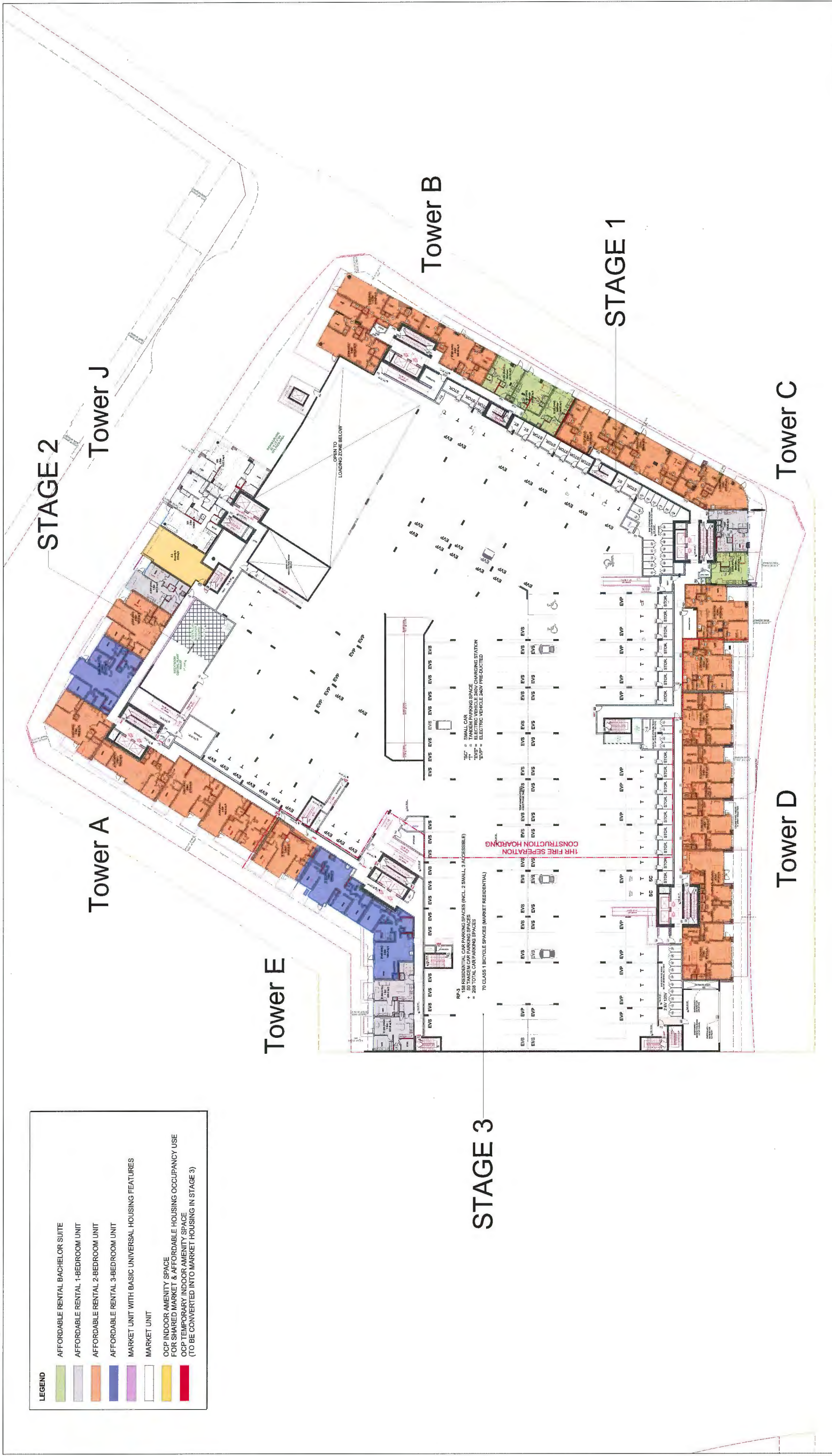
2nd Floor Plan /
Residential P-2

DATE	11-03
DRAWN	LURBSY
DATE	May 28, 2015
SCALE	1:250
DESIGNED	WTL

PLAN #4c



DP 16-745853



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REVISIONS	
A	ISSUED FOR PERMIT
B	ISSUED FOR PERMIT
C	ISSUED FOR PERMIT
D	ISSUED FOR PERMIT
E	ISSUED FOR PERMIT
F	ISSUED FOR PERMIT
G	ISSUED FOR PERMIT



LEGEND

AFFORDABLE RENTAL BACHELOR SUITE

AFFORDABLE RENTAL 1-BEDROOM UNIT

AFFORDABLE RENTAL 2-BEDROOM UNIT

AFFORDABLE RENTAL 3-BEDROOM UNIT

MARKET UNIT WITH BASIC UNIVERSAL HOUSING FEATURES

MARKET UNIT

OCP INDOOR AMENITY SPACE

OCP FOR SHARED MARKET & AFFORDABLE HOUSING OCCUPANCY USE

OCP TEMPORARY INDOOR AMENITY SPACE
(TO BE CONVERTED INTO MARKET HOUSING IN STAGE 3)

FOR MORE DETAILS ON COURTYARD,
PLEASE REFER TO LANDSCAPE DRAWINGS (PLAN #5).

Yuanheng Seaside
Development
LOT A

3031 - 3351 No. 3 Road
8151 Capstan Way

4th Floor Plan
(Lot A Courtyard)

JOB NO. 11-03

DRAWN LURBSV

DATE May 28, 2015

SCALE 1:250

CHECKED WTL

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STAMPING INC.

PLAN #4e

DP 16-745853

MAR 10 2017

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SUBMISSION	
A	PRELIMINARY
B	10-1-10
C	10-1-10
D	10-1-10
E	10-1-10
F	10-1-10
G	10-1-10

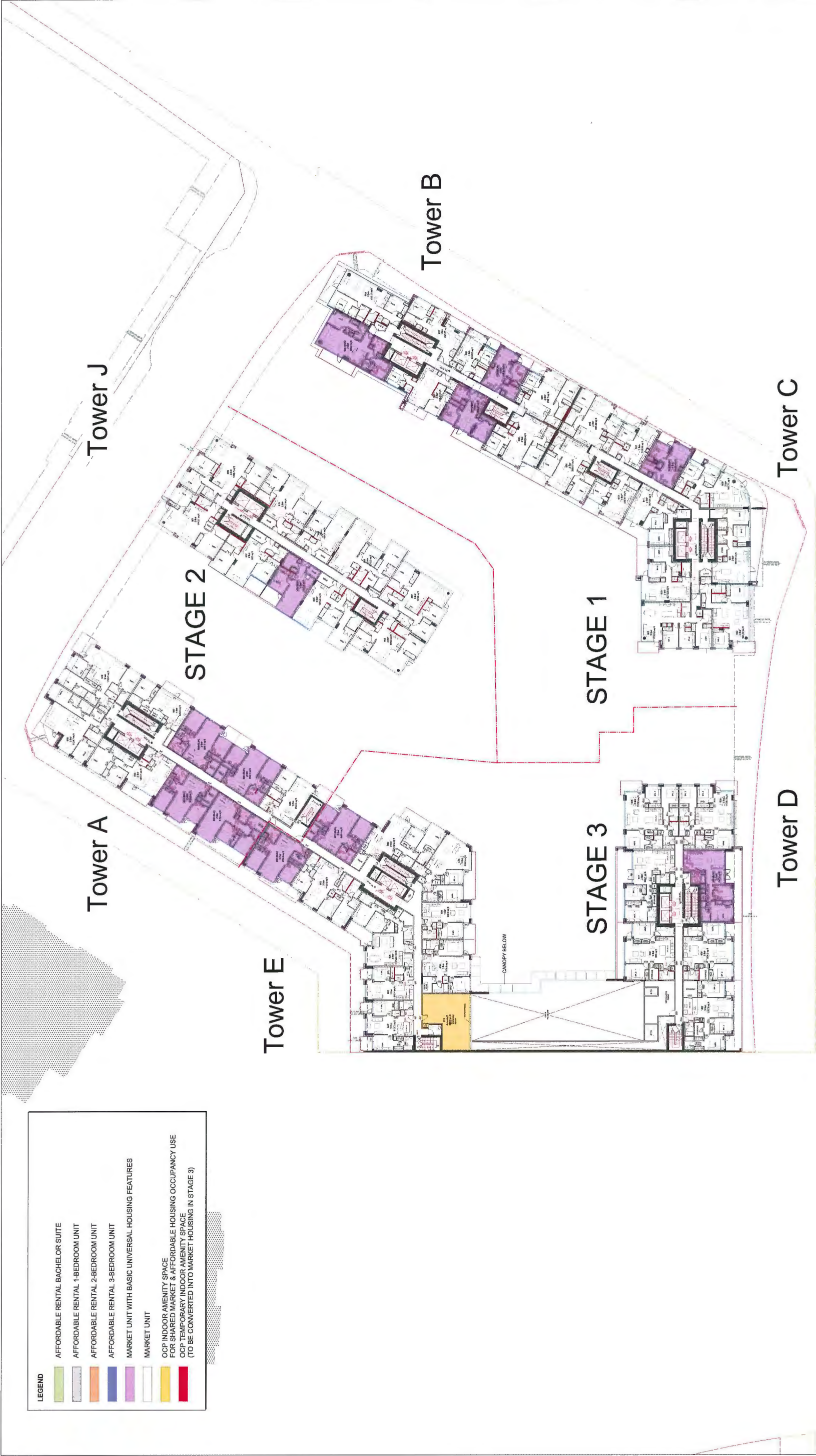
PROJECT
Yuanheng Seaside
Development
LOT A
3031 - 3351 No. 3 Road
8151 Capstan Way

5th Floor Plan

JOB NO.	11-03
DESIGN	LURBISV
DATE	May 28, 2015
SCALE	1 : 250
DESIGNED BY	WTL

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PLAN #4f



DP 16-745853

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REVISIONS		PREPARED BY
A	10/11/15	WTL
B	10/11/15	WTL
C	10/11/15	WTL
D	10/11/15	WTL
E	10/11/15	WTL
F	10/11/15	WTL
G	10/11/15	WTL
H	10/11/15	WTL

PROJECT
Yuanheng Seaside
Development
LOT A
3031 - 3351 No. 3 Road
8151 Capstan Way

6th Floor Plan

JOB NO.	11-03
DESIGN	LURBISV
DATE	May 28, 2015
SCALE	1:250
DESIGNED BY	WTL
NOTES: 1. This drawing is for the 6th floor plan only. It is not to be used for construction without the approval of the architect. 2. All dimensions are in feet and inches, unless otherwise noted. 3. All areas are in square feet, unless otherwise noted.	

PLAN #4g



DP 16-745853

MAR 10 2017

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REVISION	DATE	BY	DESCRIPTION
A	10-10-15	WTL	ISSUED FOR RFP
B	10-10-15	WTL	ISSUED FOR RFP
C	10-10-15	WTL	ISSUED FOR RFP
D	10-10-15	WTL	ISSUED FOR RFP
E	10-10-15	WTL	ISSUED FOR RFP
F	10-10-15	WTL	ISSUED FOR RFP
G	10-10-15	WTL	ISSUED FOR RFP

PROJECT
Yuanheng Seaside
Development
LOT A

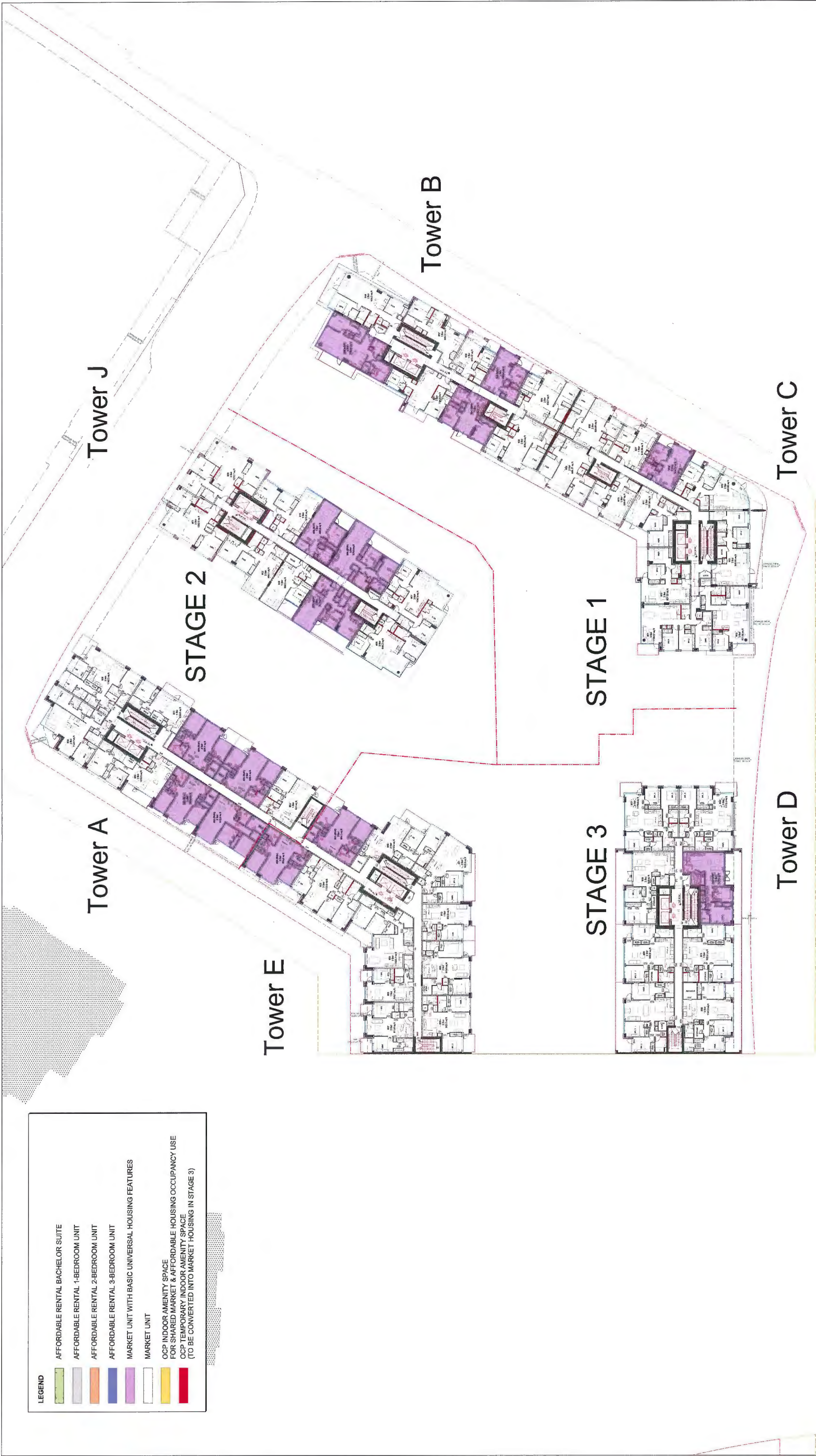
3031 - 3351 No. 3 Road
8151 Capstan Way

7th Floor Plan

JOB NO.	11-03
DRAWN	LURBSV
DATE	May 28, 2015
SCALE	1:250
DESIGNED	WTL

NOTES:
1. THIS PLAN IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION.
2. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
3. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
4. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE BUILDING.
5. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE BUILDING.

PLAN #4h



DP 16-745853

MAR 10 2017

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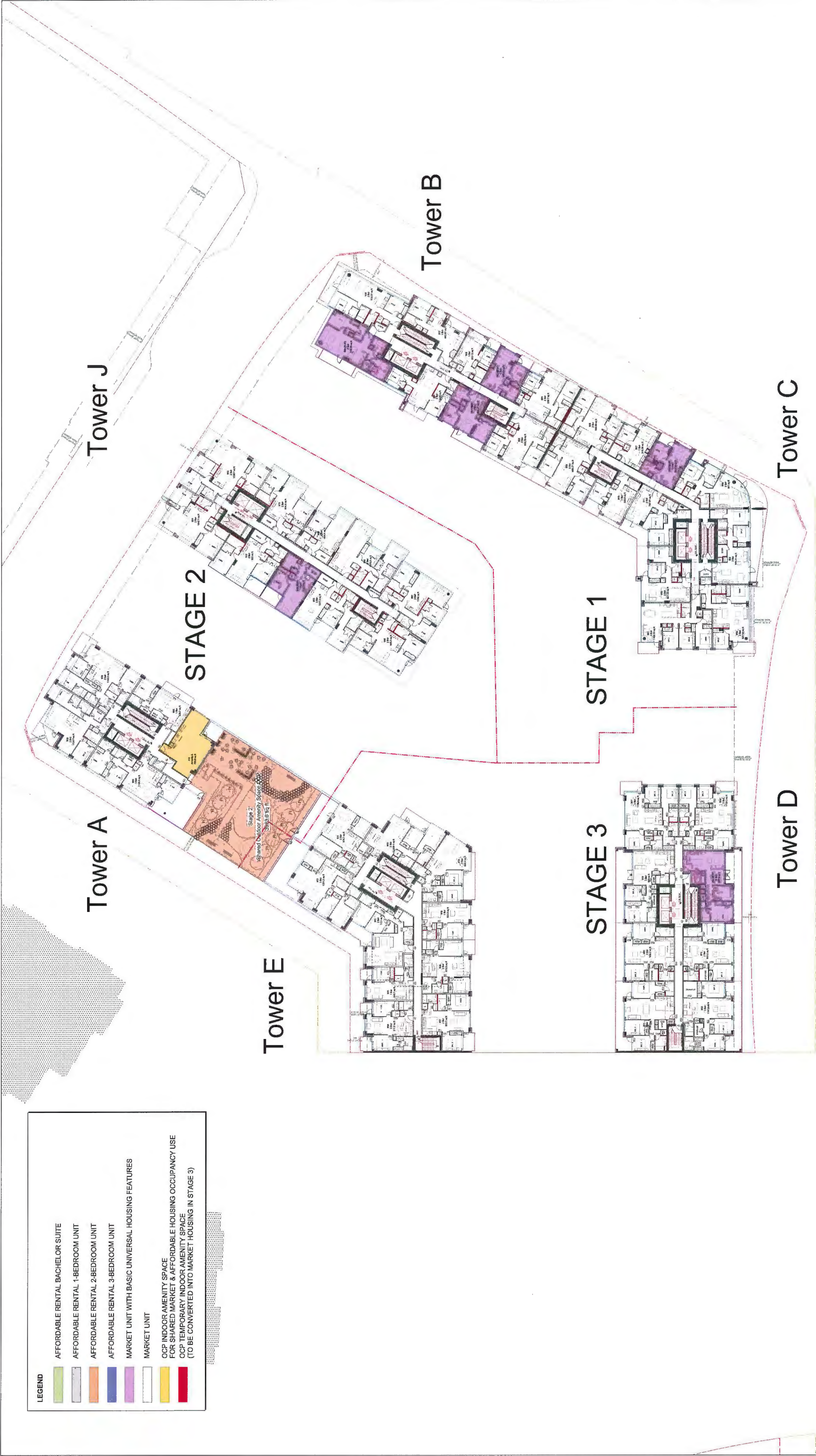
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B	10-03	WTL	REVISED FOR C.D.
C	10-03	WTL	REVISED FOR C.D.
D	10-03	WTL	REVISED FOR C.D.
E	10-11-08	WTL	REVISED FOR BUDGET PRICING
F	10-11-08	WTL	REVISED FOR A.D.P.
G	10-20-08	WTL	REVISED FOR D.P.

PROJECT
Yuanheng Seaside
Development
LOT A
3031 - 3351 No. 3 Road
8151 Capetan Way

8th Floor Plan

JOB NO.	11-03
DESIGN	LLRB/SV
DATE	May 28, 2015
SCALE	1:250
DESIGNED	WTL
NOTES: 1. All dimensions are in feet and inches unless otherwise specified. 2. All dimensions are to the centerline of the wall unless otherwise specified. 3. All dimensions are to the centerline of the wall unless otherwise specified. 4. All dimensions are to the centerline of the wall unless otherwise specified. 5. All dimensions are to the centerline of the wall unless otherwise specified.	

PLAN #4i



DP 16-745853

MAR 10 2017

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REVISION	DATE	BY	DESCRIPTION
A	15-01-15	WTL	ISSUED FOR RFP
B	15-01-15	WTL	ISSUED FOR RFP
C	15-01-15	WTL	ISSUED FOR RFP
D	15-01-15	WTL	ISSUED FOR RFP
E	15-01-15	WTL	ISSUED FOR RFP
F	15-01-15	WTL	ISSUED FOR RFP
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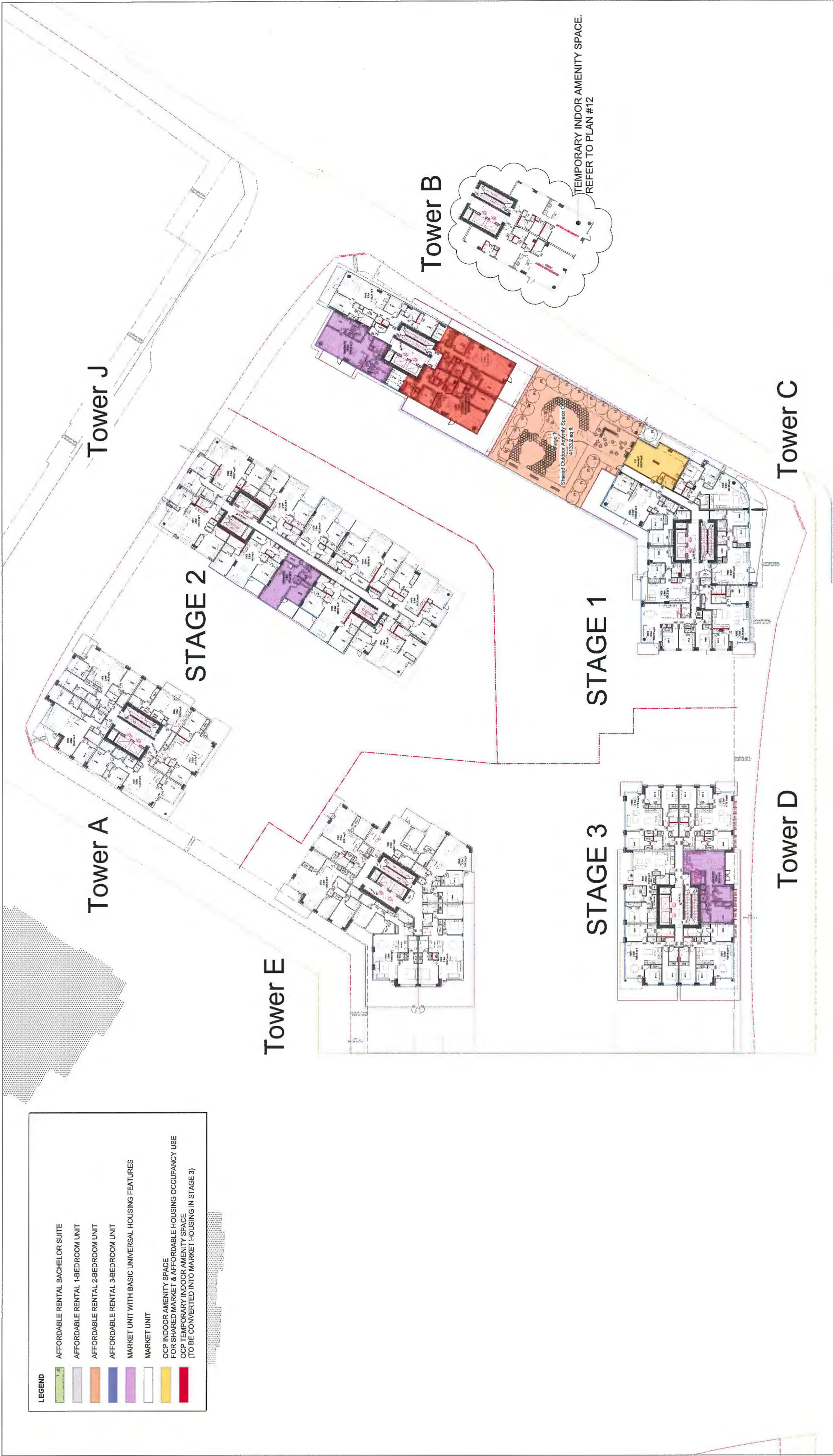
PROJECT
Yuanheng Seaside
Development
LOT A
3031 - 3351 No. 3 Road
8151 Capstan Way

9th Floor Plan

JOB NO.	11-03
DRAWN	LLR/BSV
DATE	May 28, 2015
SCALE	1:250
DESIGNED	WTL

NOTES:
1. THIS PLAN IS A PART OF THE PROJECT AND SHOULD NOT BE USED SEPARATELY.
2. ANY CHANGES TO THIS PLAN MUST BE APPROVED BY THE ARCHITECT.
3. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER SOURCES.

PLAN #4j



DP 16-745853

MAR 10 2017

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REVISION	DATE	BY	DESCRIPTION
A	10/11/15	WTL	ISSUED FOR D.P.
B	10/11/15	WTL	ISSUED FOR D.P.
C	10/11/15	WTL	ISSUED FOR D.P.
D	10/11/15	WTL	ISSUED FOR D.P.
E	10/11/15	WTL	ISSUED FOR BUDGET PRICING
F	10/11/15	WTL	ISSUED FOR A.D.P.
G	10/28/16	WTL	REVISION FOR D.P.

PROJECT
Yuanheng Seaside
Development
LOT A
3031 - 3351 No. 3 Road
8151 Capstan Way

10th Floor Plan

JOB NO.	11-03
DESIGN	LURBSIV
DATE	May 28, 2015
SCALE	1 : 250
DESIGNED	WTL
NOTES: 1. This drawing is for the 10th floor of the building. 2. All dimensions are in feet and inches. 3. All areas are in square feet. 4. All areas are to be verified by the owner. 5. All areas are to be verified by the architect.	
DRAWING NO. 11-03-10	

PLAN #4k



DP 16-745853

MAR 10 2017

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REVISION	DATE	BY	DESCRIPTION
A	10-10-15	WTL	PRELIMINARY
B	10-10-15	WTL	REVISED FOR ST. 2
C	10-10-15	WTL	REVISED FOR ST. 2
D	10-10-15	WTL	REVISED FOR ST. 2
E	10-10-15	WTL	REVISED FOR BUDGET PRICING
F	10-10-15	WTL	REVISED FOR BUDGET PRICING
G	10-10-15	WTL	REVISED FOR BUDGET PRICING

PROJECT
Yuanheng Seaside
Development
LOT A
3031 - 3351 No. 3 Road
8151 Capstan Way

11th Floor Plan

JOB NO.	11403
DRAWN	LURBISV
DATE	May 28, 2015
SCALE	1:250
DESIGNER	WTL

NOTES:
1. THIS PLAN IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

PLAN #41



DP 16-745853

MAR 10 2017

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Vancouver, British Columbia • Canada V6Z 1K3
Telephone: 604 735-5711, Facsimile: 604 735-7951



REVISION	DATE	DESCRIPTION
A	02/01/16	FINAL DESIGN
B	02/01/16	FINAL DESIGN
C	02/01/16	FINAL DESIGN
D	02/01/16	FINAL DESIGN
E	02/01/16	FINAL DESIGN
F	02/01/16	FINAL DESIGN
G	02/01/16	FINAL DESIGN

PROJECT
Yuanheng Seaside
Development
LOT A
3031 - 3351 No. 3 Road
8151 Capstan Way

12th Floor Plan

JOB NO.	11-43
DRAWN	LURBISV
CHECKED	May 28, 2015
SCALE	1 : 250
DATE	WTL

PLAN #4m



DP 16-745853

MAR 10 2017

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INC.

Site: 300, 673 West Broadway,
Vancouver, British Columbia • Canada V6Z 1G3
Telephone: 604-255-5111, Fax: 604-255-5111



DESCRIPTION	DATE	BY	FOR
A	18-08-15	WTL	FOR I.D.P.
B	18-08-15	WTL	FOR I.D.P.
C	18-08-15	WTL	FOR I.D.P.
D	18-08-15	WTL	FOR I.D.P.
E	18-08-15	WTL	FOR I.D.P.
F	18-08-15	WTL	FOR I.D.P.
G	18-08-15	WTL	FOR I.D.P.

PROJECT
Yuanheng Seaside
Development
LOT A
3031 - 3351 No. 3 Road
8151 Capstan Way

13th Floor Plan

JOB NO.	11403
DRAWN	LURBISV
DATE	May 28, 2015
SCALE	1:250
CHECKED	WTL

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PLAN #4n



DP 16-745853

MAR 10 2017

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REVISION	DATE	DESCRIPTION
A	10-10-15	PRELIMINARY
B	10-10-15	REVISION FOR RZ
C	10-10-15	REVISION FOR RZ
D	10-10-15	REVISION FOR RZ
E	10-10-15	REVISION FOR RZ
F	10-10-15	REVISION FOR RZ
G	10-10-15	REVISION FOR RZ

PROJECT
Yuanheng Seaside
Development
LOT A
3031 - 3351 No. 3 Road
8151 Capstan Way

14th Floor Plan

JOB NO.	11-03
DRAWN	LURBSV
DATE	May 28, 2015
SCALE	1 : 250
DESIGNED	WTL

PLAN #40



DP 16-745853



ISSUE/REVISION		
A	4/22/96	PRELIM BUDGET
C	10-9-96	ISSUED FOR R.Z.
D	10-4-96	ISSUED FOR D.P.
E	10-11-96	ISSUED FOR BUDGET PRICING
F	10-11-96	ISSUED FOR A.D.P.
G	12-22-96	RE-ISSUED FOR D.P.

PROJECT

**Yuanheng Seaside
Development
LOT A**

3031 - 3351 No. 3 Road
8151 Capstan Way

15th Floor Plan

JOB NO.	11-03
DRWING	LL/RB/IV
DATE	May 28, 2015
SCALE	1 : 250
CHECKED	WTL

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DRAWING NO.:

PLAN #4p





ISSUE DESCRIPTION	
A	4/22/15 PAID IN FULL
C	16-9-16 ISSUED FOR R.Z.
D	16-8-28 ISSUED FOR D.P.
E	16-11-08 ISSUED FOR BUDGET PRICING
F	16-11-26 ISSUED FOR A.D.P.
G	17-02-06 RE-ISSUED FOR D.P.

PROJECT

**Yuanheng Seaside
Development**

LOT A

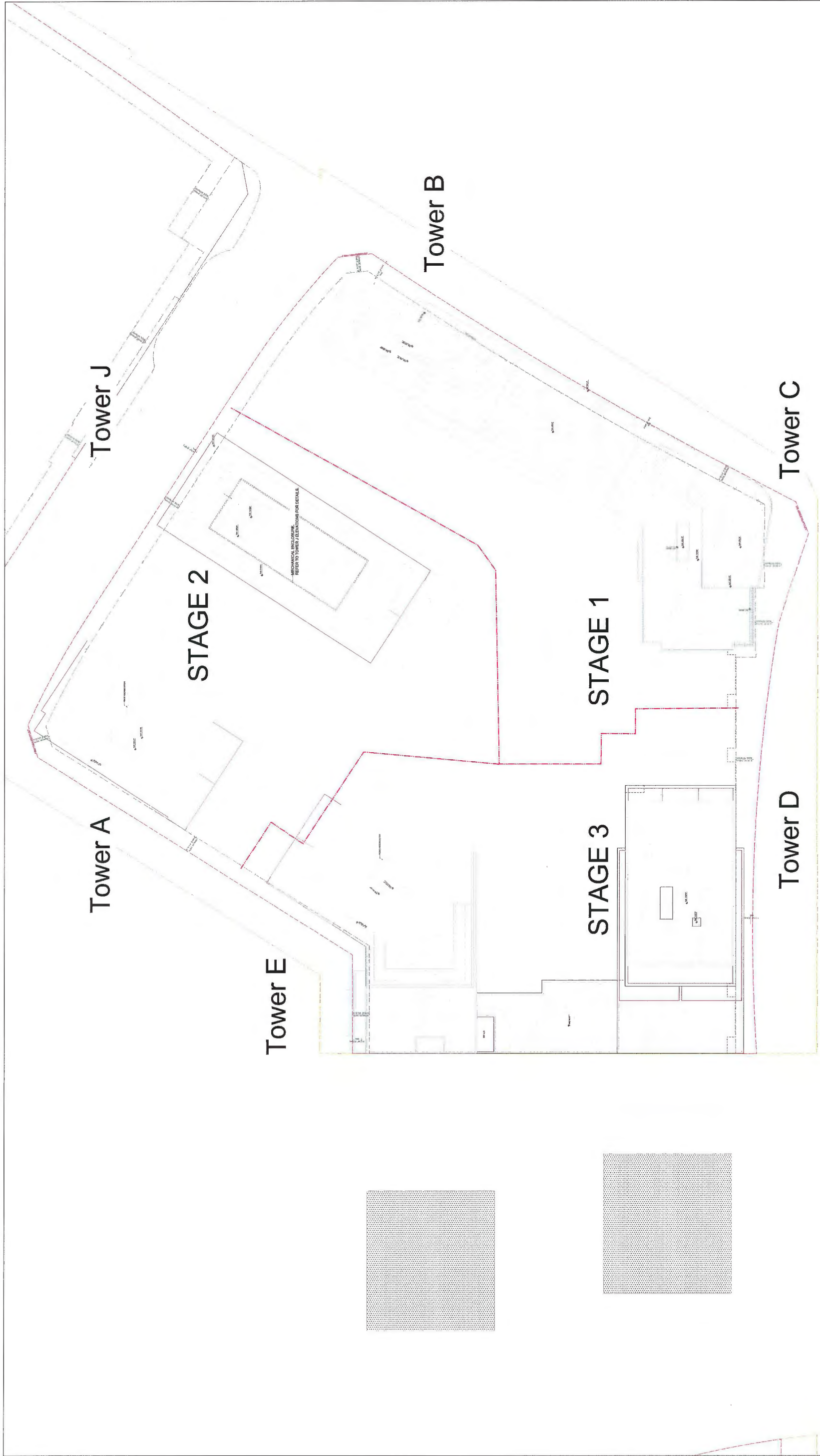
**3031 - 3351 No. 3 Road
8151 Capstan Way**

(16th Floor)
Roof Plan

JOB NO.	11-03
DESIGN	LLRB/ISV
DATE	May 26, 2015
SCALE	1 : 250
CHECKED	WTL

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PLAN #4q



Revision	No.	Date	Revision Notes
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MAR 10 2017

Issue No.	Date	Issue Notes
A	16-8-31	ISSUED FOR DISCUSSION
B	16-9-7	ISSUED FOR DISCUSSION
C	16-9-16	ISSUED FOR REZONING
D	16-9-22	ISSUED FOR DP
E	16-11-28	ISSUED FOR ADP
F	17-02-07	ISSUED FOR REP PER CITY COMMENTS

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Project
Yuanheng Seaside
Development Lot A

3031 - 3351 No. 3 Road,
8151 Capstan Way, Richmond, BC

Drawing Title

Level 4

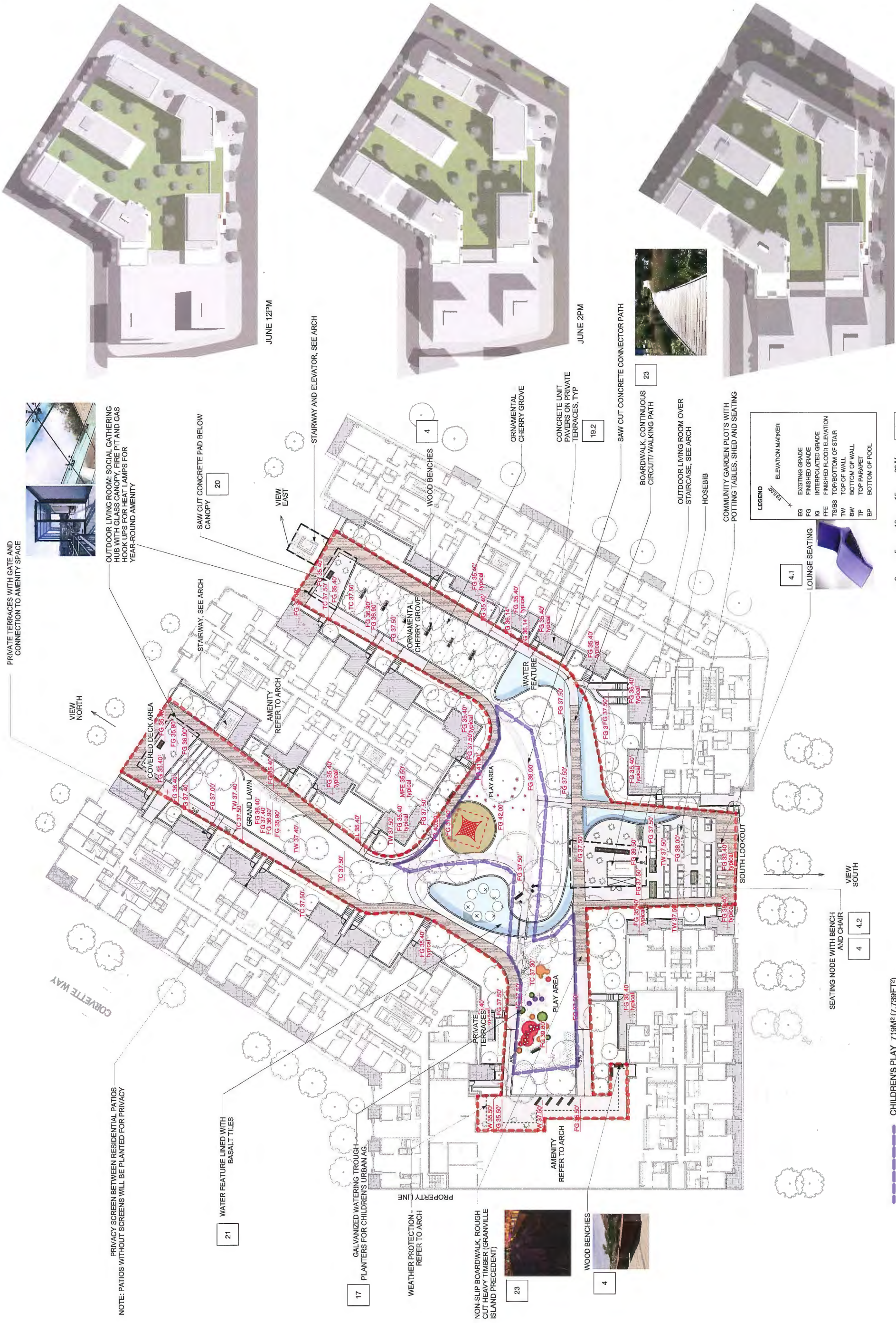
Landscape Plan

Legal

Project Manager	Project ID	5b
GD	21609	
Currently	Books	
GD	1:300	
Revised On	Drawing No.	
DT		
Date		
00/00/00		

Plot Date:

Plot Date: 7/19/10
2100 Capistrano Malibu 1702 E. Ventura Blvd





UPLIGHTS

Issue No.	Date	Issue Notes
A	18-9-31	ISSUED FOR DISCUSSION
B	18-9-7	ISSUED FOR DISCUSSION
C	18-9-16	ISSUED FOR RECKONING
D	18-9-22	ISSUED FOR DP
E	18-11-28	ISSUED FOR ADP
F	17-02-07	ISSUED FOR REC-OP PER CITY COMMENTS



STEP LIGHTS



ADDRESS LIGHTS

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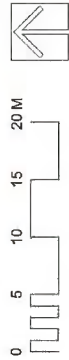
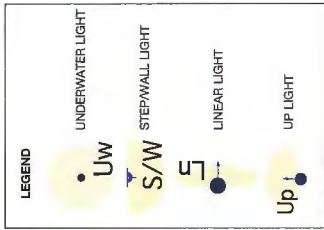
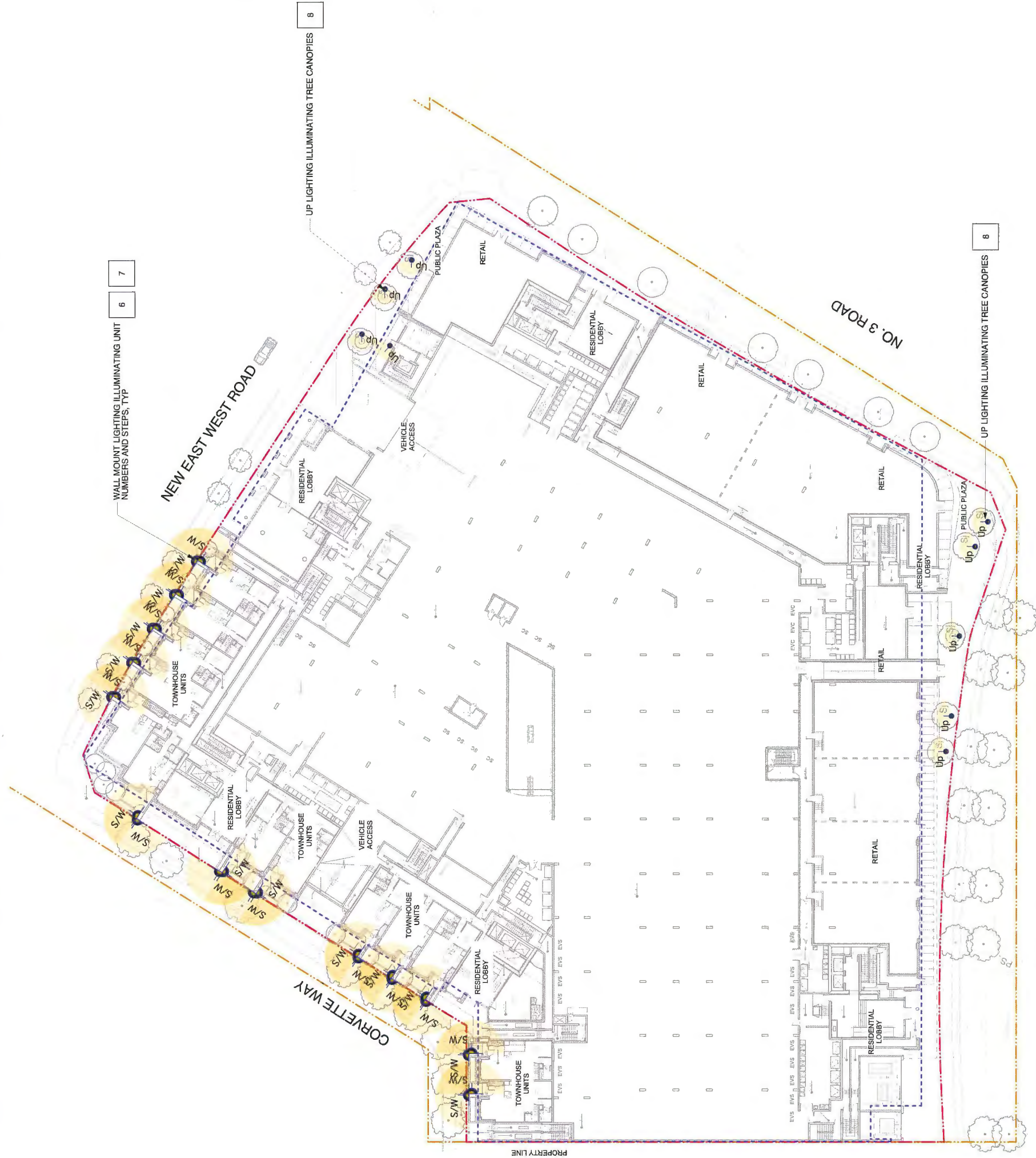
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Project
Yuanheng Seaside
Development Lot A
3031 - 3351 No. 3 Road,
8151 Capstan Way, Richmond, BC

Drawing Title
Ground Floor
Lighting Plan

Legal

Project Manager	Project ID	Scale
GD	21609	1:300
GD	1:300	DT
DT	00.0000	5C



MAR 10 2017

Issue No.	Date	Issue Notes
A	16-8-31	ISSUED FOR DISCUSSION
B	16-9-7	ISSUED FOR DISCUSSION
C	16-9-16	ISSUED FOR REZONING
D	16-9-22	ISSUED FOR DP
E	16-11-28	ISSUED FOR ADP
F	17-02-07	ISSUED FOR RE-UP PER CITY COMMENTS

Professional Seal

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Project
Yuanheng Seaside
Development Lot A
3031 - 3351 No. 3 Road,
8151 Capstan Way, Richmond, BC

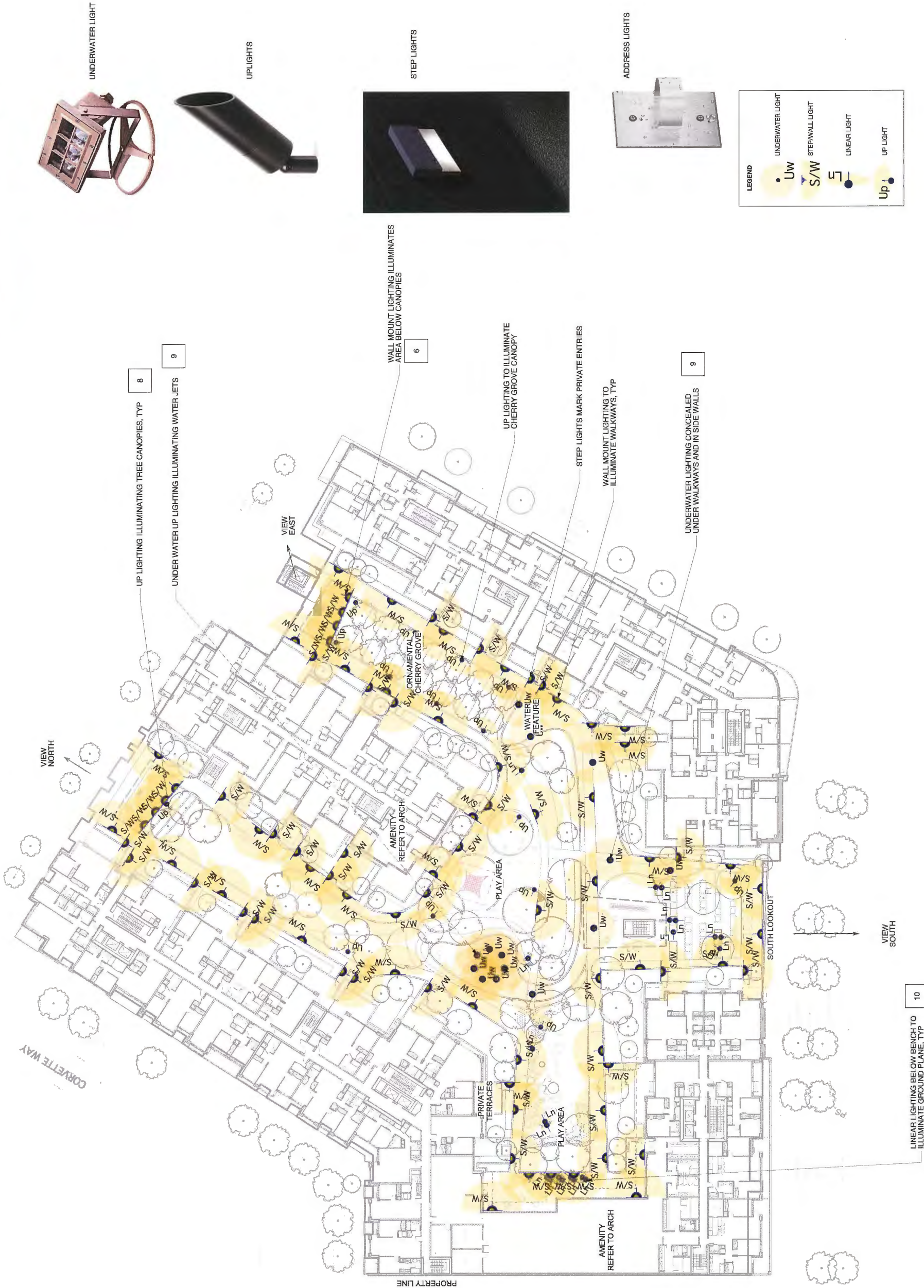
Drawing Title
Level 4
Lighting Plan

Legal

Project Manager	Project ID
GD	21609
Drawn By	Scale
GD	1:300
Reviewed By	Drawing No.
DT	5d
Client	0000000



DP 16-745853



UNDERWATER LIGHT



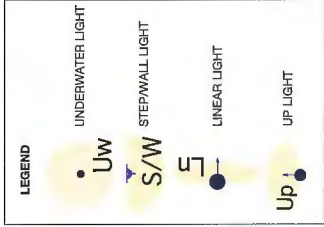
UPLIGHTS



STEP LIGHTS



ADDRESS LIGHTS



NOTE:
HIGH EFFICIENCY DRIP IRRIGATION TO BE PROVIDED FOR ALL PLANTED AREAS
MINIMUM SOIL VOLUMES AS FOLLOWS:
TREES - 36"
SHRUBS - 24"
LAWN - 9"

Revision No.	Date	Revision Notes
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MAR 10 2017

Issue No.	Date	Issue Notes
A	16-8-31	ISSUED FOR DISCUSSION
B	16-9-7	ISSUED FOR DISCUSSION
C	16-9-16	ISSUED FOR REZONING
D	16-9-22	ISSUED FOR DP
E	16-11-28	ISSUED FOR ADP
F	17-02-07	ISSUED FOR RE-OP PER CITY COMMENTS

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Project
Yuanheng Seaside
Development Lot A
3031 - 3351 No. 3 Road,
8151 Capstan Way, Richmond, BC

Drawing Title
Level 4
Planting Plan

Legend

Project Manager	Project ID
GD	21009
Drawn By	Scale
GD	1:300
Reviewed By	Drawing No.
DT	5f
Date	00/00/00

19

DP 16-745853

CHERRY TREES IN ORNAMENTAL GRASS BEDS



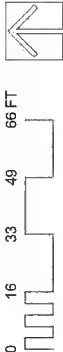
ALTERNATING STRIPS OF LAWN, FLUSH WITH PATH

GRASS MOUNDS WITH TREE PLANTINGS



PLANT LIST - PODIUM LEVEL			COMMON NAME	SCHEDULED SIZE	NOTES
ID	QTY	LATIN NAME			
Trees					
Ac	35	Acer circinatum	vine maple	3m ht.	full, bushy plants
Ac	4	Acer davidii	David maple	6cm cal/ B&B	2m standard/ full crown
Aj	17	Albizia julibrissin	silk tree	6cm cal	staked plants
Bn	18	Betula nigra	river birch	3-4m specimen/ B&B	low branching/ vary heights
Ccf	30	Cercis canadensis forest pansy	Eastern redbud	6cm cal/ B&B	2m standard/ full crown
Ck	6	Cornus kousa	kousa dogwood	6cm cal/ B&B	2m standard/ full crown
Fca	3	Ficus carica	Fig	5cm cal/B&B	Full bushy plants
Ft	4	Fruit tree	Fruit tree	3cm	«comments»
Gt	3	Gleditsia triacanthos	honey locust	7cmh&b	full, bushy plants
Pxy	14	Prunus x yedoensis 'Akebono'	Akebono Yoshino Cherry	6cm cal.	full, bushy plants
Shrubs and Groundcovers					
Ae	3306	Asarum europaeum	European Wild Ginger	#1 cont.	full, bushy plants
Alp	92	Azalea japonica 'purple splendor'	evergreen azalea	#2 cont.	full/ bushy plants
auc	70	Arbutus unedo compacta	strawberry madrone	#10 cont.	full/ bushy plants
Bim	652	Berberis thunbergii 'Monomb'	cherry bomb Japanese barberry	#5 cont.	Full, bushy plants
Co	8	Carex obnupta	slough sedge	50P plug	.3m o.c.
Cs	8	Carex sitchensis	Sitka sedge	50P plug	.3m o.c.
Ct	117	Choisya ternata	Mexican mock orange	#3 cont.	full/ bushy plants
Fa	171	Fragaria x ananassa	strawberry	SP4	full/ bushy plants
Haa	83	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	#3 cont.	full/ bushy plants
Hm	370	Hakonechloa macra	Japanese forest grass	#1 cont.	full/ bushy plants
It	80	Iris tenax	western blue iris	#1 cont.	intermixed in groups
Jue	58	Juncus effusus	common rush	#1 cont.	.3m o.c.
La	83	Lavendula angustifolia	English Lavander	#2 cont.	full/ bushy plants
Maa-1	107	Nymphaea	Water Lily	#3 cont.	full/ bushy plants
Mis	40	Miscanthus sinensis 'Morning Light'	morning light maiden grass	#3 cont.	full/ bushy plants
Pm	38	Polystichum munlopianum	Sword Fern	#3 cont.	full bushy plants
Pp	721	Polystichum polyblepharum	Tassel Fern	#3 cont.	full bushy plants
Sg	182	Sagittaria latifolia	broad leaf arrowhead	#1 cont.	intermixed in groups
Sp	99	Salix purpurea 'Nana'	Dwarf Arctic Blue Leaf Willow	#5 cont.	full/ bushy plants
Sr	143	Sarcococca tuckermiana	fragrant sarcococca	#3 cont.	full, bushy plants
Tmh	644	Taxus media 'Hicksii'	Angligiap Yew	1.2m h&b	full bushy plants
Ts	3804	Thymus serpyllum	Creeping Thyme	SP-#4	full bushy plants
Tyl	56	Typha latifolia	cattail	#1 cont.	full/ bushy plants
Vc	32	Vaccinium corymbosum	blueberry	#5 cont.	full/ bushy plants
LAWN					
			Non-Netted (including biodegradable), grown on sand		

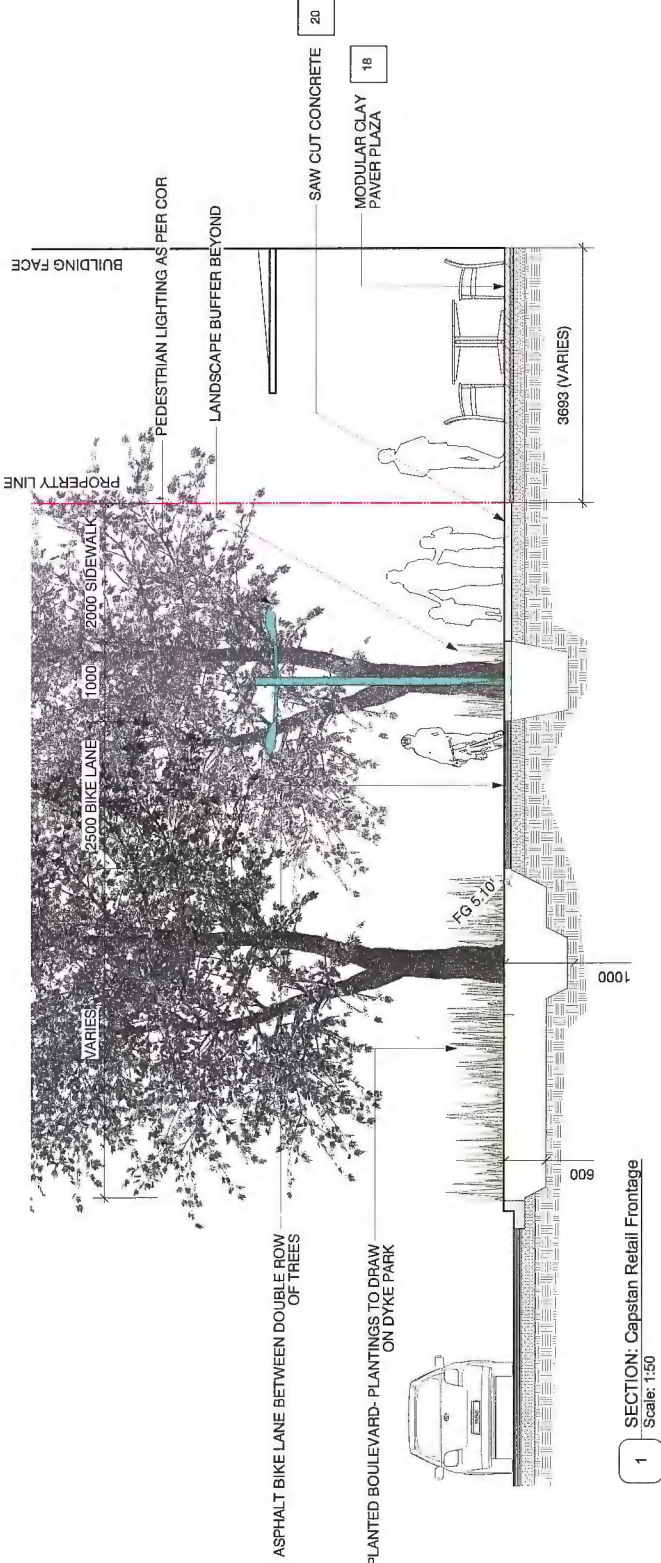
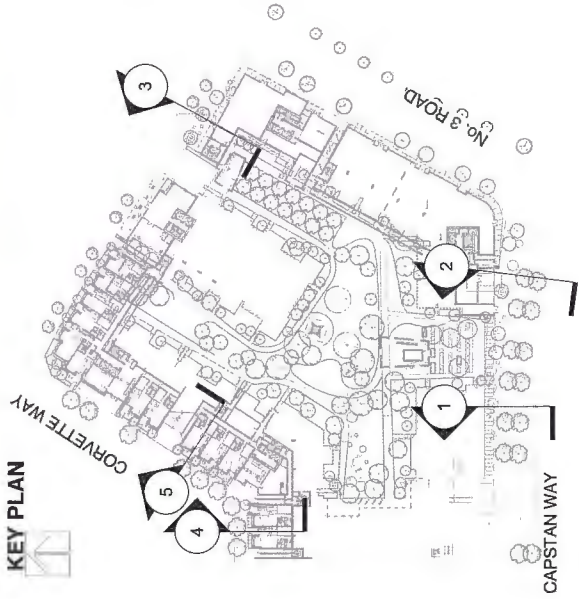
NOTE: ALL LANDSCAPE TO CONFORM TO THE CURRENT EDITION OF THE BC LANDSCAPE STANDARDS FOR LEVEL 2 'GROOMED' LANDSCAPE TREATMENT IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANT LIST AND THE PLANTING PLAN, THE PLANTING PLAN TAKES PRECEDENCE.



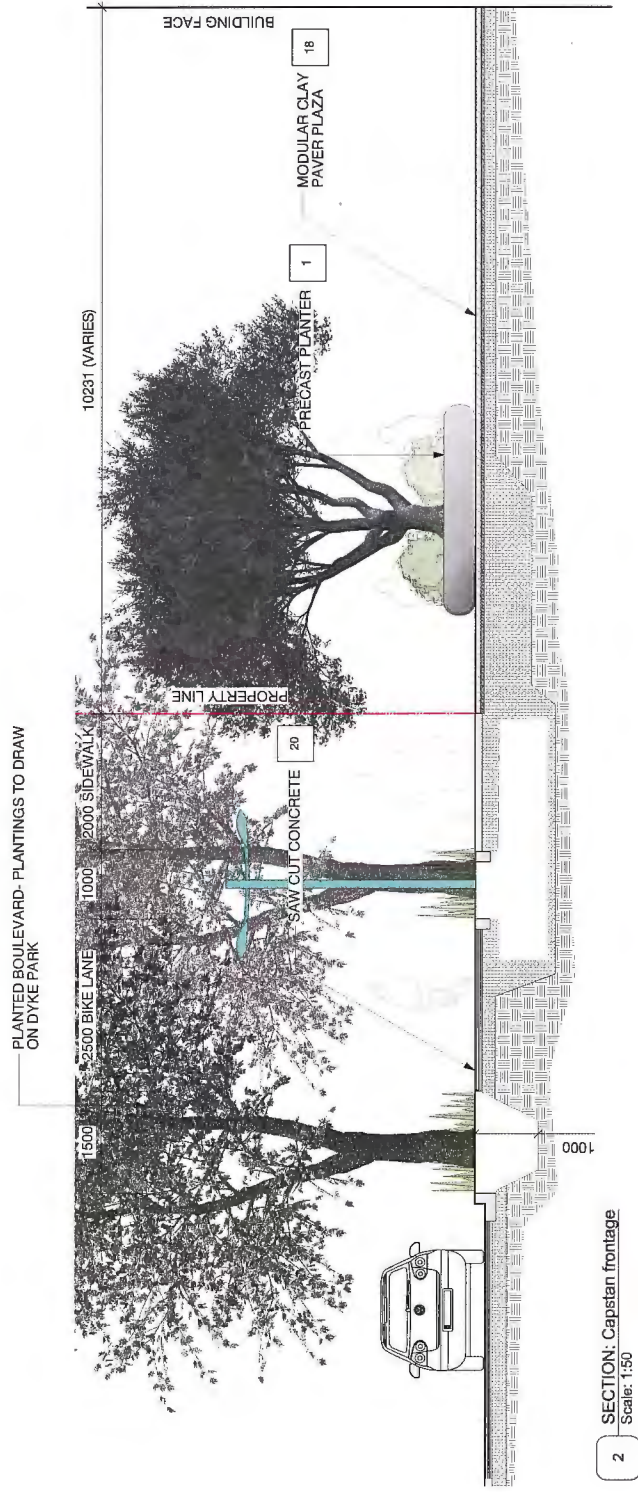
Revision No.	Date	Revision Notes
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MAR 10 2017

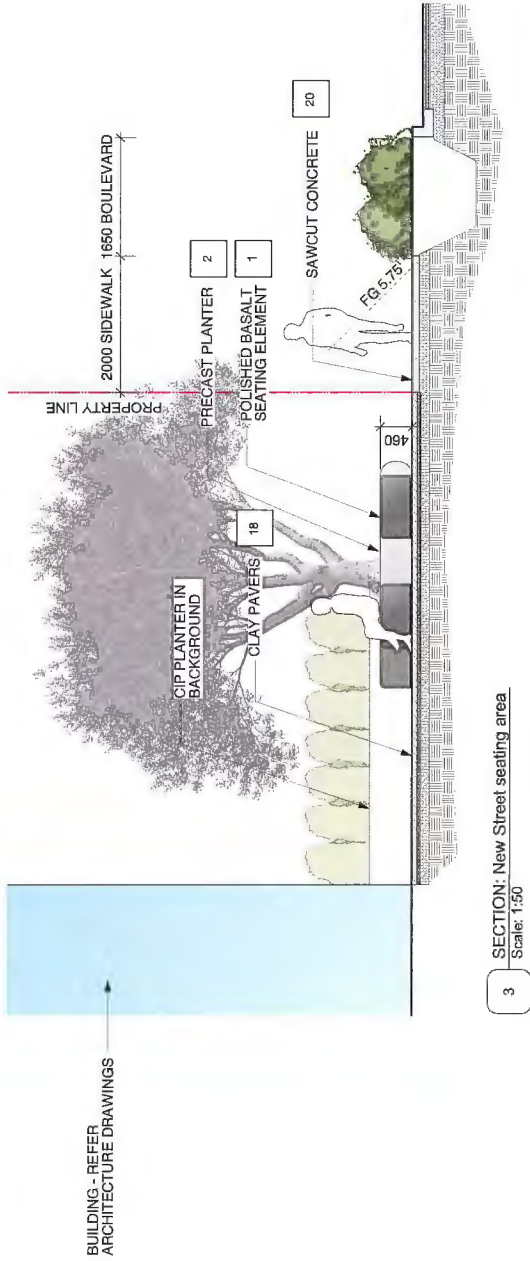
Issue No.	Date	Issue Notes
A	16-8-31	ISSUED FOR DISCUSSION
B	16-9-7	ISSUED FOR DISCUSSION
C	16-9-16	ISSUED FOR REZONING
D	16-9-22	ISSUED FOR DP
E	16-11-28	ISSUED FOR ADP
F	17-02-07	ISSUED FOR HEOP PER CITY COMMENTS



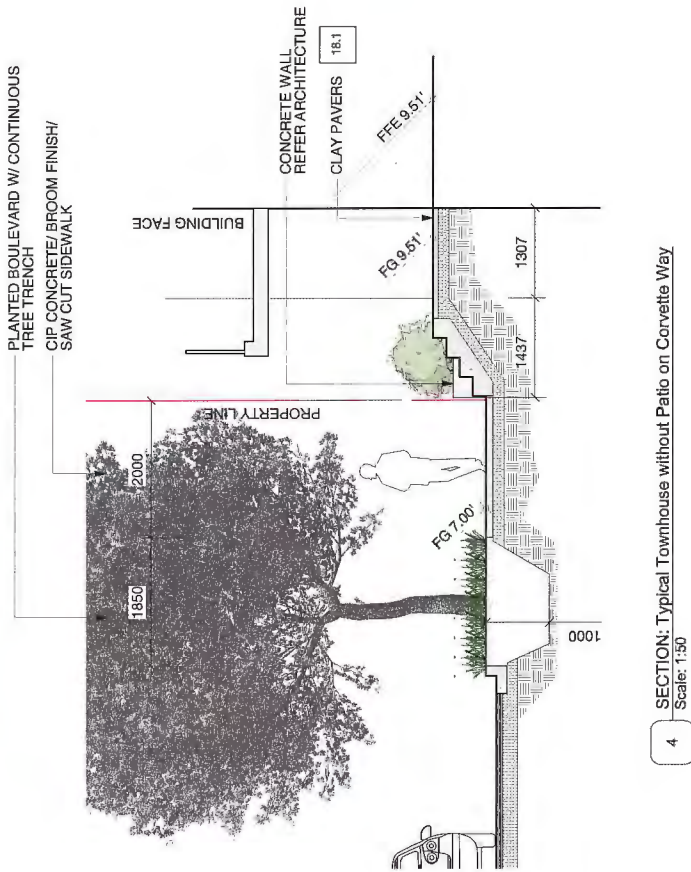
1 SECTION: Capstan Retail Frontage
Scale: 1:50



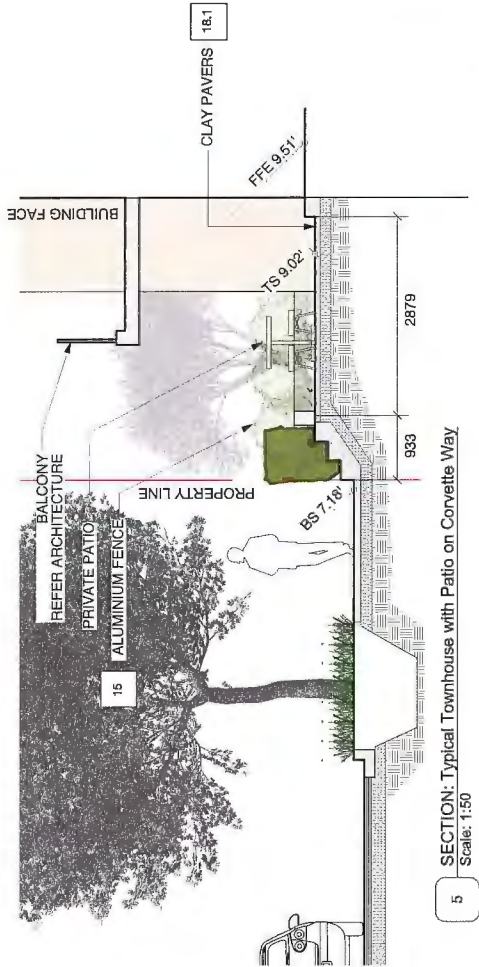
2 SECTION: Capstan frontage
Scale: 1:50



3 SECTION: New Street seating area
Scale: 1:50



4 SECTION: Typical Townhouse without Patio on Corvette Way
Scale: 1:50



5 SECTION: Typical Townhouse with Patio on Corvette Way
Scale: 1:50

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Project
**Yuanheng Seaside
Development Lot A**
3031 - 3351 No. 3 Road,
8151 Capstan Way, Richmond, BC

Drawing Title
Landscape Sections

Project Manager	Project ID
GD	2110169
Drawn By	Scale
GD	1:50
Reviewed By	Drawing No.
DT	5h
00.00000	4
19	

DP 16-745853

MAR 10 2017

Issue No.	Date	Issue Notes
A	10-9-31	ISSUED FOR DISCUSSION
B	10-9-7	ISSUED FOR DISCUSSION
C	10-9-16	ISSUED FOR REZONING
D	10-9-22	ISSUED FOR DP
E	10-11-28	ISSUED FOR ADP
F	17-02-07	ISSUED FOR REP PER CITY COMMENTS

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Yuanheng Seaside
Development Lot A

Drawing Title

Legal

Project Manager	President ID	5i
GD	21609	
Season By	Scale	
GD	1:50	
Revised By	Drawing No.	
DT		
Date		
00/00/00		

Plot Date: 11/3/10
2009 Cap MASTER 17 of 07_vessgoldinc.nw

[illegible]

1 SECTION: Glass Canopy Level 4
Scale: 1:50

BUILDING IN BACKGROUND

EVERGREEN HEDGE FOR PRIVACY

ALUMINIUM GATE

PRIVATE TERRACES CONCRETE UNIT PAVERS

LAWN AND MIXED TREE PLANTINGS

CIP CONCRETE STEPS

CIP CONCRETE PLANTER

BOARDWALK BOARDWALK BEYOND

PRIVATE TERRACE

AMENITY SPACE

PRIVATE TERRACE

FG 35.50

FG 37.50

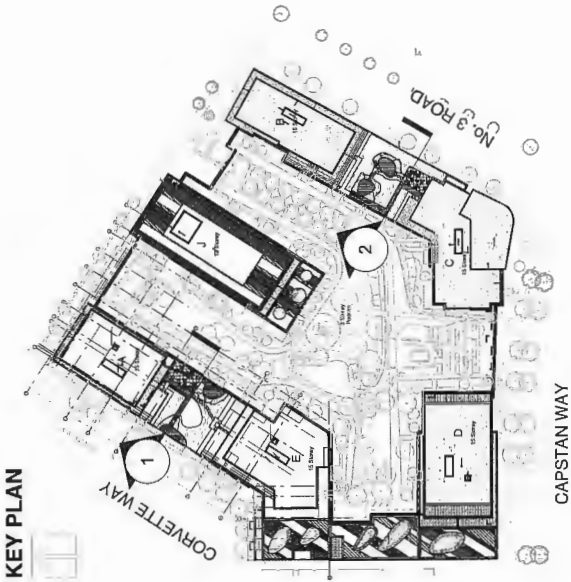
FFE 35.67

10m 5m

[illegible]

Revision No.	Date	Revision Notes
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MAR 10 2017



Issue No.	Date	Issue Notes
A	16-9-31	ISSUED FOR DISCUSSION
B	16-9-7	ISSUED FOR DISCUSSION
C	16-9-16	ISSUED FOR REZONING
D	16-9-22	ISSUED FOR DP
E	16-11-28	ISSUED FOR ADP
F	17-02-07	ISSUED FOR PERMIT APPLICATION
		COMMENTS

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Project
Yuanheng Seaside
Development Lot A

3031 - 3351 No. 3 Road,
8151 Capstan Way, Richmond, BC

Drawing Title
Landscape Sections
Levels 8 + 9

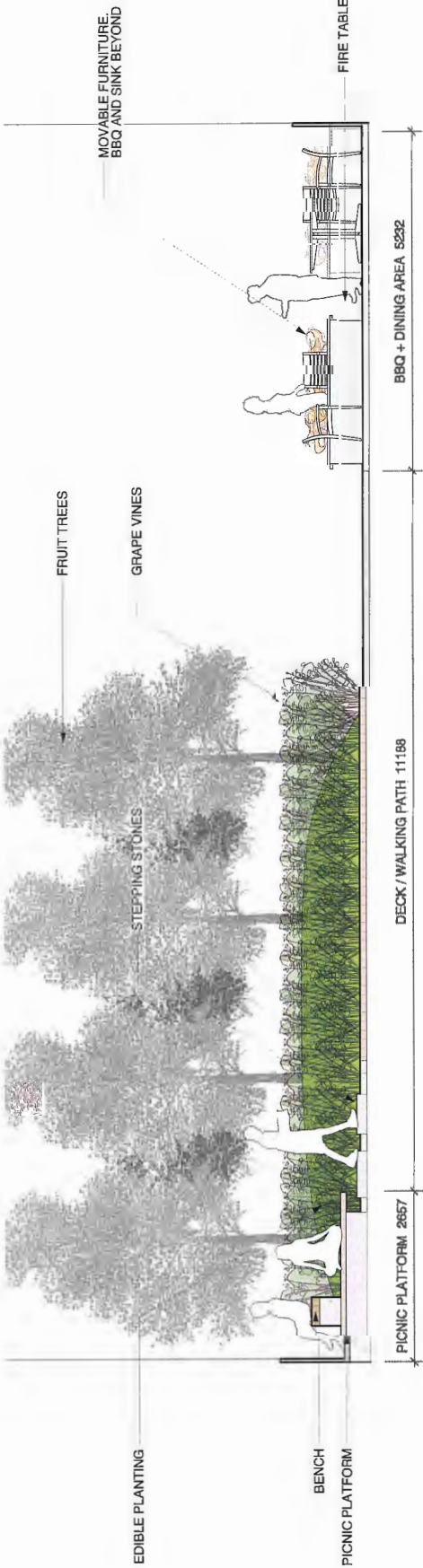
Legal

Project Manager	Project ID
700	214500
Client	Scale
GD	1:50
Drawn By	Drawn Date
DT	5/
Date	00/00/00

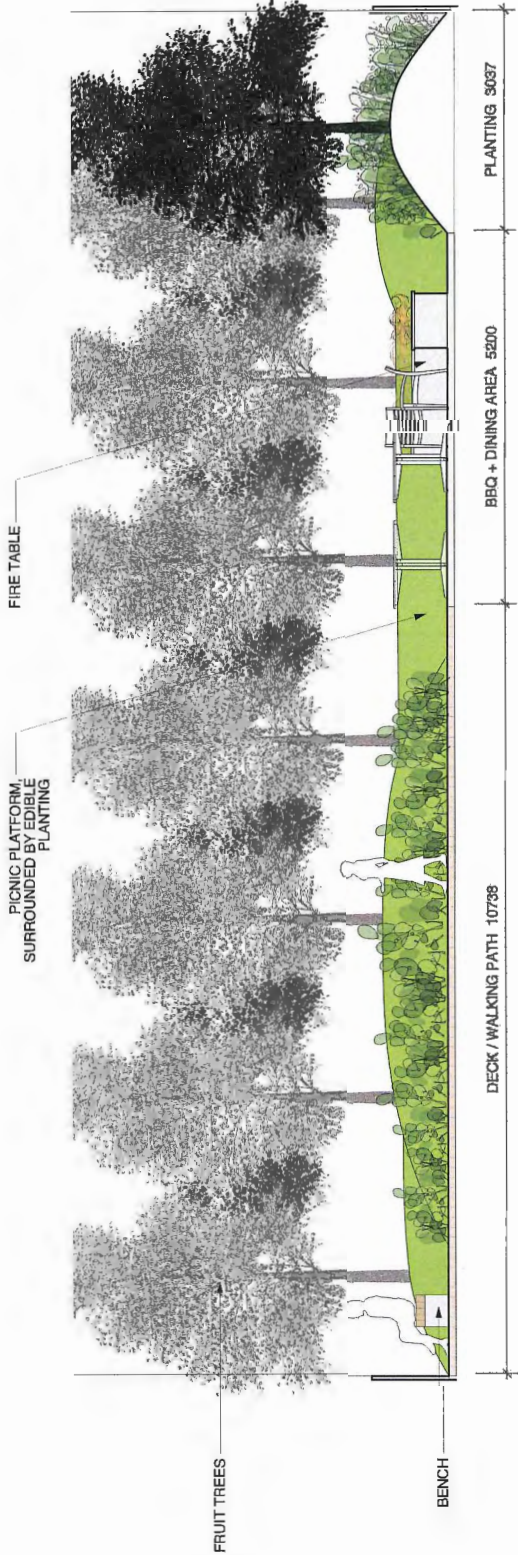
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DP 16-745853

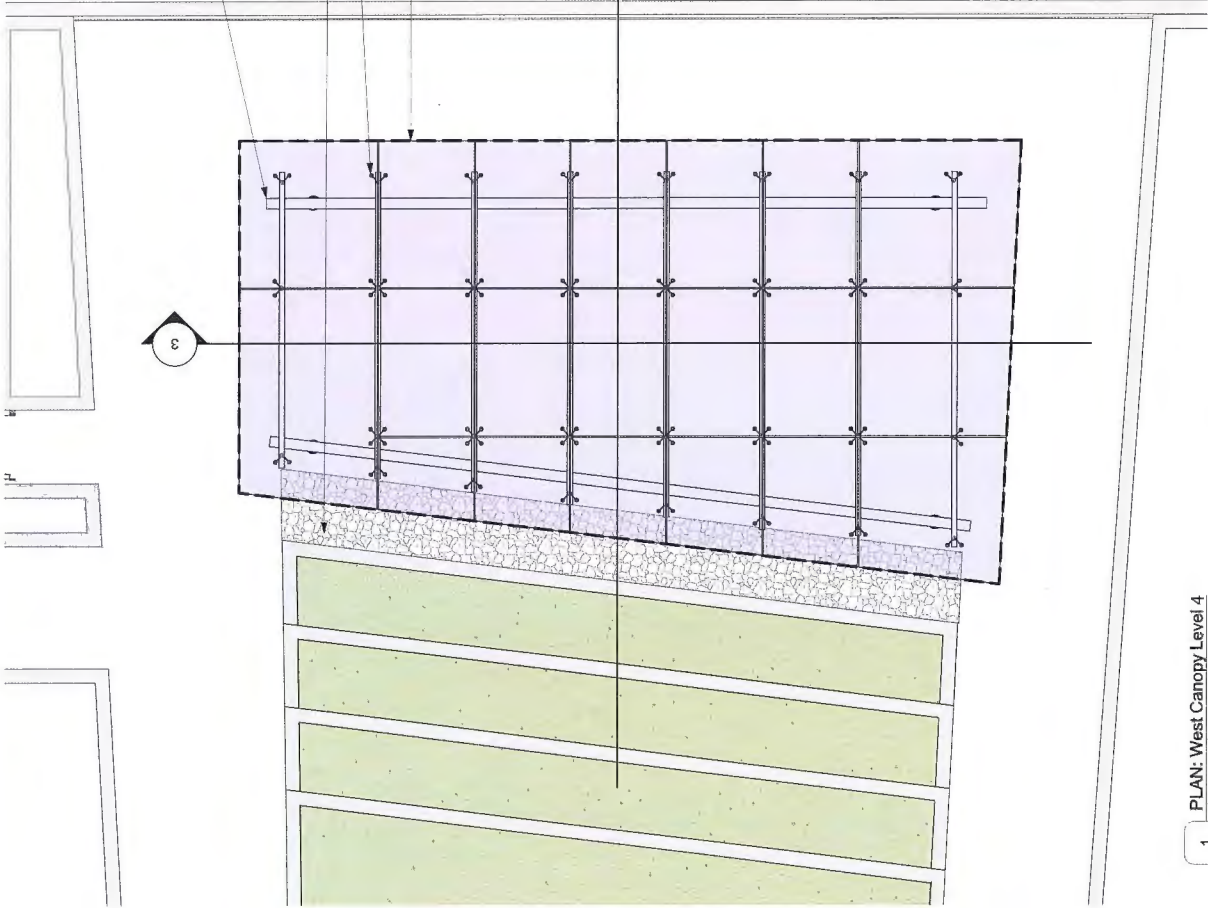
KEY PLAN



1 SECTION: Level 8 Amenity
Scale: 1:48



2 SECTION: Level 9 Amenity
Scale: 1:48



1 PLAN: West Canopy Level 4
Scale: 1:50

Programming
Three glass canopies are provided on Level 4 to serve as outdoor living rooms. These rooms are for residents to gather and socializes with one-another, while enjoying their beautiful views and the environment. The shelters can be used year-round as the canopy provides protection from weather. Fire-pits and heat lamps are provided to keep residents warm during summer nights and winter days. Like most living rooms, these areas are flexible and can be transformed and used in many ways to meet the needs of the occupants. The canopies not only bring together the community but also the architecture. The West Canopy connects Towers A and J, and the East Canopy connects Tower J, Tower B and the elevator and stair access to Lot B. The South Canopy connect Towers C and D and provides shelter over the central staircase.



NOTE: WEST CANOPY STRUCTURE SHOWN BELOW, EAST CANOPY SIM.

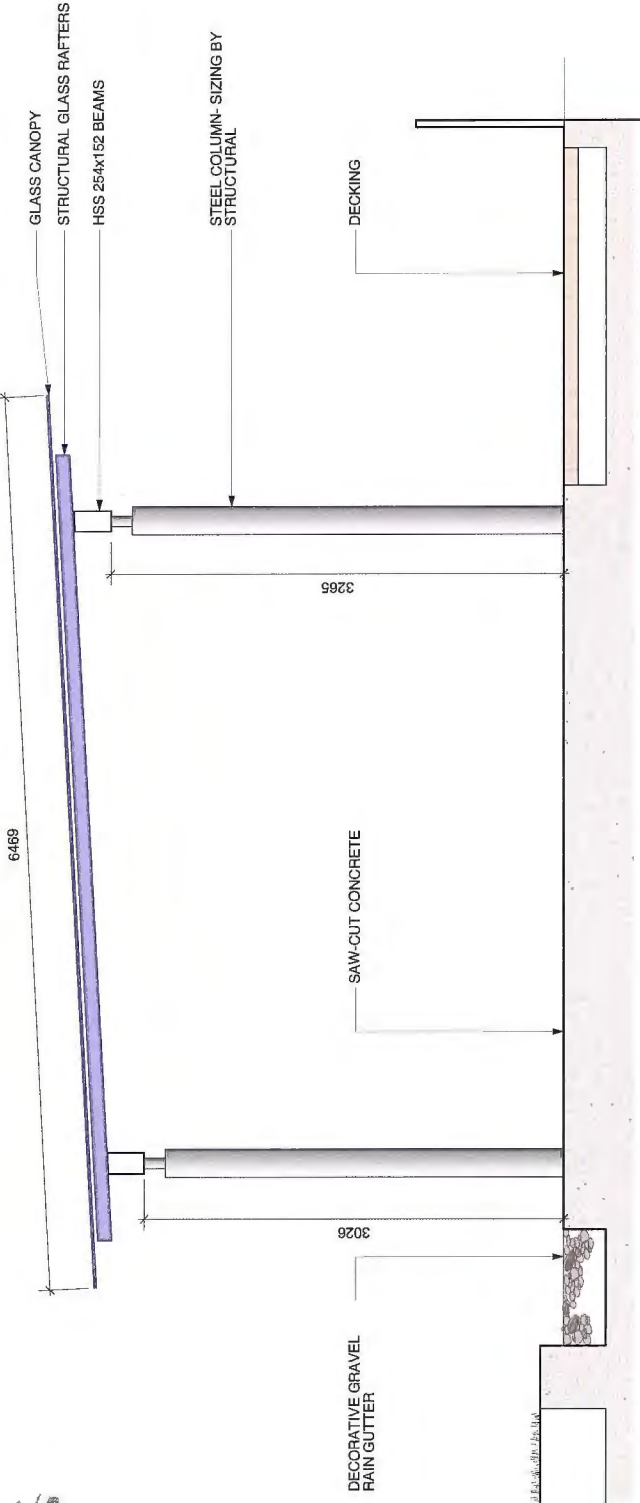
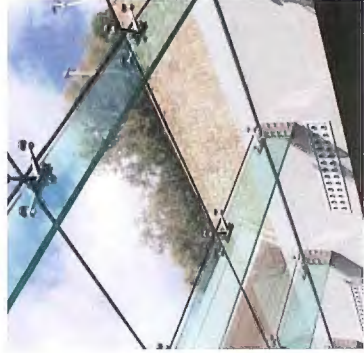
LAYOUT OF GLASS PANELS AND ATTACHMENTS BY STRUCTURAL

HSS SUPPORT MEMBERS

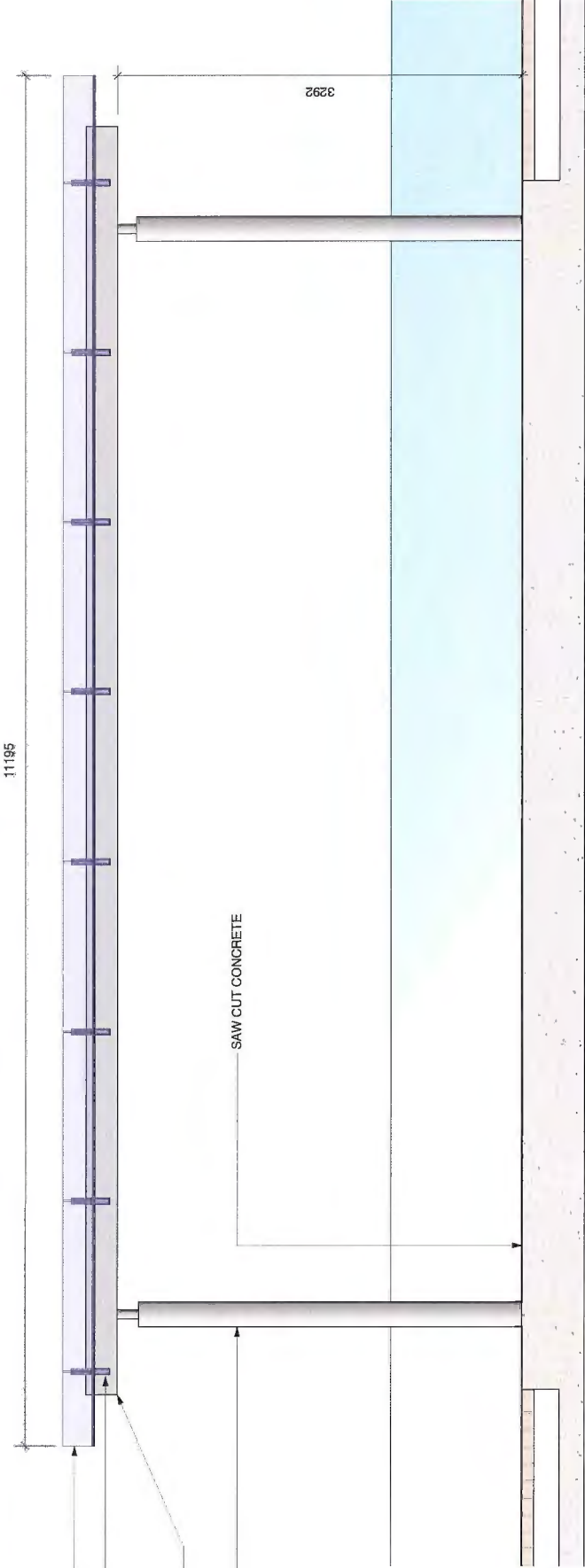
DECORATIVE GRAVEL RAIN GUTTER
SPIDER FITTINGS

EXTENT OF GLASS PANELING

PROPOSED GLASS SPIDER ATTACHMENT TO STRUCTURE



2 SECTION: West Canopy Level 4
Scale: 1:25



3 SECTION: West Canopy Level 4
Scale: 1:25

Revision
No.

Date

Revision Notes

MAR 10 2017

Issue No.	Date	Issue Notes
A	16-9-31	ISSUED FOR DISCUSSION
B	16-9-7	ISSUED FOR DISCUSSION
C	16-9-16	ISSUED FOR REZONING
D	16-9-22	ISSUED FOR DP
E	16-11-28	ISSUED FOR REP OF CITY
F	17-02-07	COMMENTS

Professional Seal

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Project
Yuanheng Seaside
Development Lot A

3031 - 3351 No. 3 Road,
8151 Capstan Way, Richmond, BC

Drawing Title

Landscape Details
Level 4 Canopies

Legal

Project Manager	Project ID
GD	21609
Drawn By	Scale
GD	1:50
Reviewed By	Drawing No.
DT	5k
Issue No.	19
00/00/00	

DP 16-745853

MAR 10 2017

Issue No.	Date	Issue Notes
A	16-8-31	ISSUED FOR DISCUSSION
B	16-9-7	ISSUED FOR DISCUSSION
C	16-9-16	ISSUED FOR REZONING
D	16-9-22	ISSUED FOR DP
E	16-11-28	ISSUED FOR ADP
F	17-02-07	ISSUED FOR RE-DP PER CITY COMMENTS

Professional Seat



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Project
Yuanheng Seaside
Development Lot A

3031 - 3351 No. 3 Road,
8151 Capstan Way, Richmond, BC

Drawing Title

Landscape Details

Level 4 Play Area

Legal

Project Manager	Project ID	216019	Sheet	150	51	— of —
GD	GD	GD	GD	GD	DT	00/00/00
Reviewed By	Drawn	Checked	Drawn	Drawn	Drawn	Drawn

Plot Date: 4-3-17
1609 Eastman Highway
1702 Jameson Rd, Waco, TX 76798



CHILDREN'S PLAY TOTAL AREA = 719M² (7,739FT²)



3 MAGIS SPUN CHAIRS ON CONCRETE PAD 5



LAWN MOUNDS

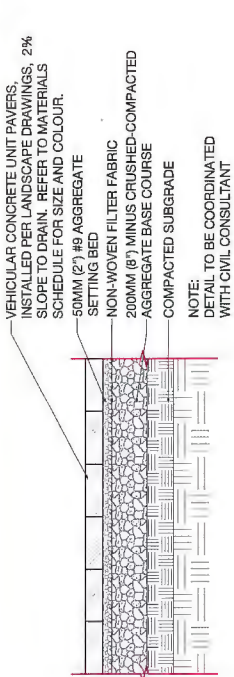


AGILITY POLES

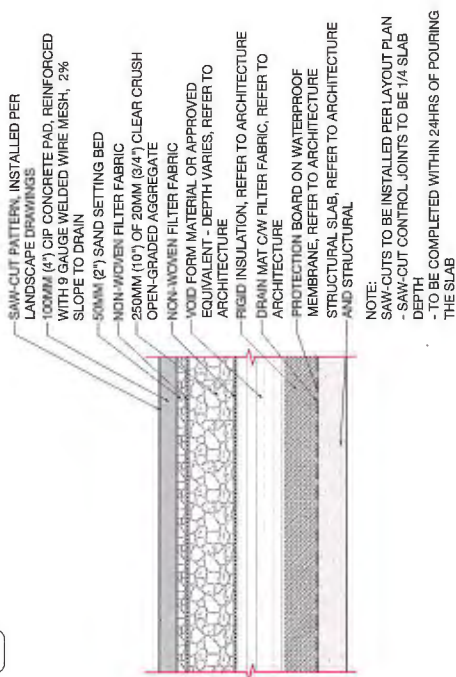
Revision No.	Date	Revision Notes

MAR 10 2017

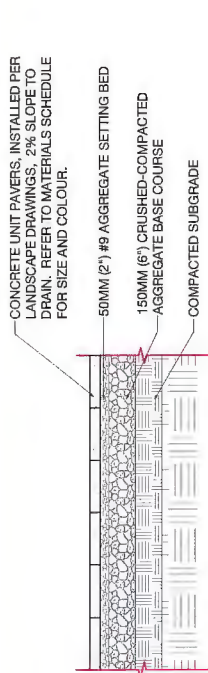
Issue No.	Date	Issue Notes
A	16-9-31	ISSUED FOR DISCUSSION
B	16-9-7	ISSUED FOR DISCUSSION
C	16-9-16	ISSUED FOR REZONING
D	16-9-22	ISSUED FOR DP
E	16-11-28	ISSUED FOR RECIP ADP
F	17-02-07	COMMENTS



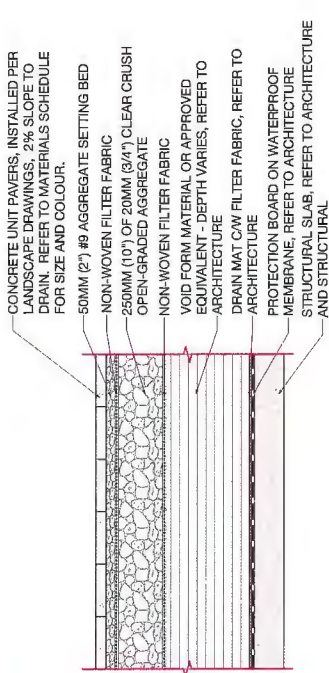
3 Detail: Vehicular Concrete Unit Pavers at Grade
Scale: 1:20



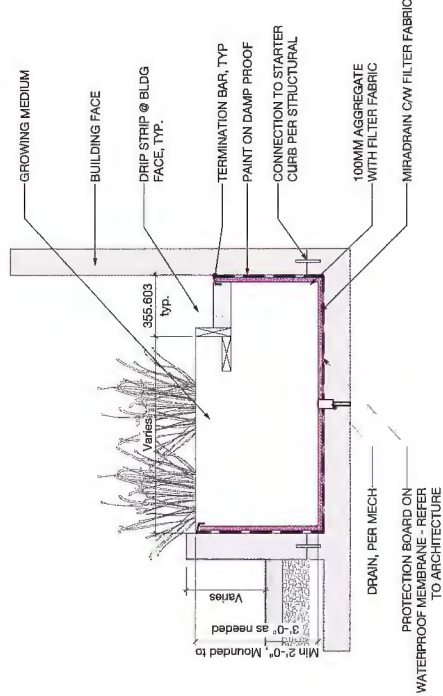
6 Detail: Pedestrian Concrete On-Slab On Insulation
Scale: 1:20



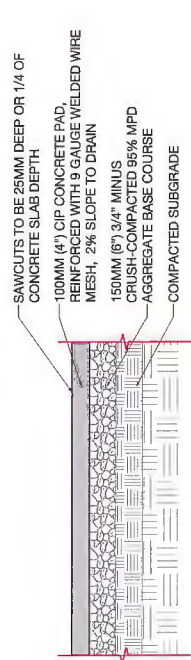
2 Detail: Pedestrian Concrete Unit Pavers at Grade
Scale: 1:20



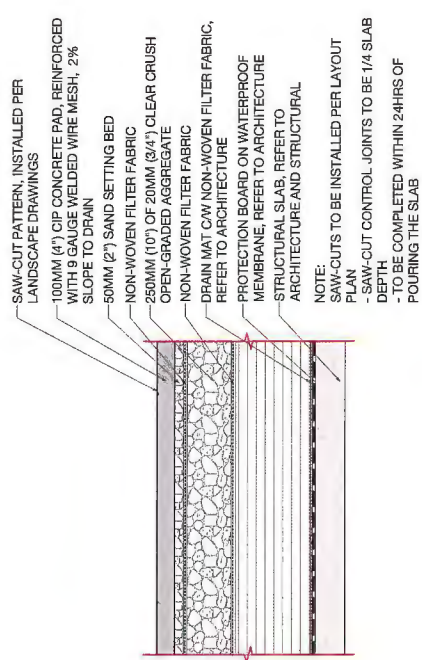
5 Detail: Pedestrian Concrete Unit Pavers On-Slab No Insulation
Scale: 1:20



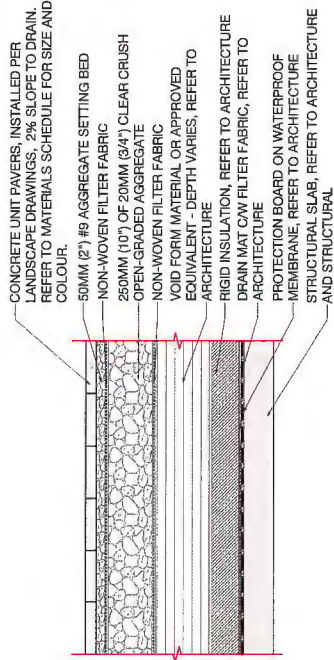
8 Detail: CJP Concrete Planter at Building Face
Scale: 1:20



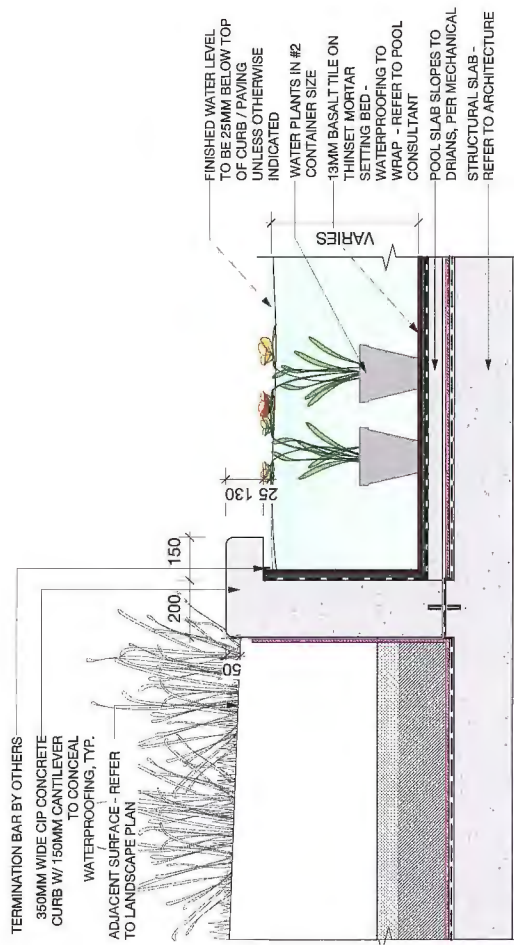
1 Detail: Pedestrian Concrete at Grade
Scale: 1:20



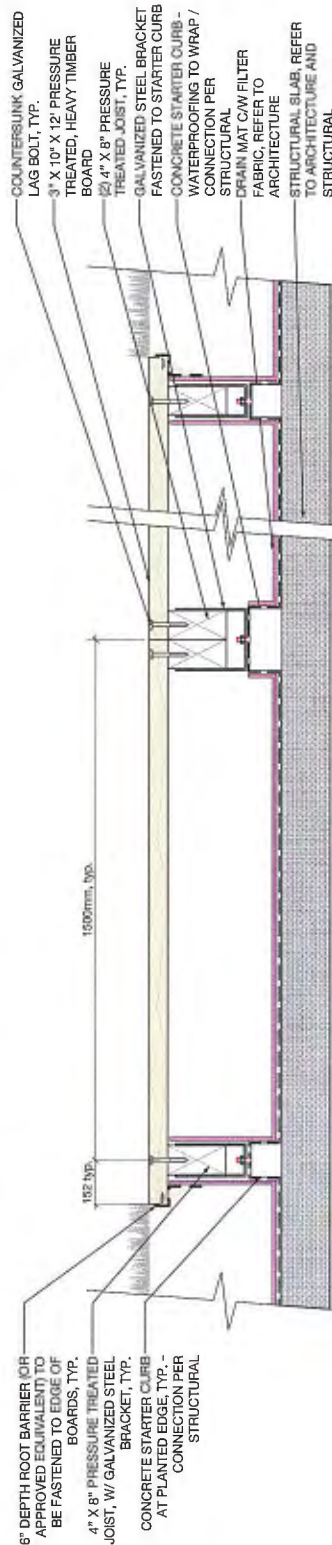
4 Detail: Pedestrian Concrete On-Slab No Insulation
Scale: 1:20



7 Detail: Pedestrian Concrete Unit Pavers On-Slab On Insulation
Scale: 1:20



9 Detail: Podium Level Water Feature Detail
Scale: 1:12



11 Detail: Timber Boardwalk
Scale: 1:12

eta landscape architecture

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1 604.551.1455
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Project
**Yuanheng Seaside
Development Lot A**
3031 - 3351 No. 3 Road,
8151 Capstan Way, Richmond, BC

Drawing Title
Landscape Details

Project Manager	Project ID
GD	2/1609
GD	BS shown
DT	Drawing No.
00000003	5m
19	

DP 16-745853

MAR 10 2017

LEGEND	
ELEVATION MARKER	
EG	EXISTING GRADE
FG	FINISHED GRADE
IG	INTERPOLATED GRADE
FIE	FINISHED FLOOR ELEVATION
TS/BJS	TOP/BOTTOM OF STAIR
TW	TOP OF WALL
BW	BOTTOM OF WALL
TP	TOP PARAPET
BP	BOTTOM OF POOL

LEGEND	
Uw	UNDERWATER LIGHT
S/W	STEP/WALL LIGHT
L	LINEAR LIGHT
Up	UP LIGHT

Issue No.	Date	Issue Notes
A	18-8-31	ISSUED FOR DISCUSSION
B	16-9-7	ISSUED FOR DISCUSSION
C	16-9-16	ISSUED FOR REDZINING
D	16-9-22	ISSUED FOR DP
E	18-11-28	ISSUED FOR ADP
F	17-02-07	ISSUED FOR RECIP PER CITY COMMENTS

Professional Seal



LAWN MOUNDS



MODULAR UNIT PAVING



VARIABLE TEXTURE PAVING



PERMEABLE PAVING

Revision No.	Date	Revision Notes
--------------	------	----------------

MAR 10 2017

Issue No.	Date	Issue Notes
A	16-8-31	ISSUED FOR DISCUSSION
B	16-9-7	ISSUED FOR DISCUSSION
C	16-9-16	ISSUED FOR REZONING
D	16-9-22	ISSUED FOR DP
E	16-11-28	ISSUED FOR ADP
F	17-02-07	ISSUED FOR RE-OP PER CITY COMMENTS

Professional Seal



CHILDREN'S PLAY



POND CHARACTER



WATER FEATURE



SNOWBALL JETS



GLASS CANOPY



STAIRWAY PAVILION



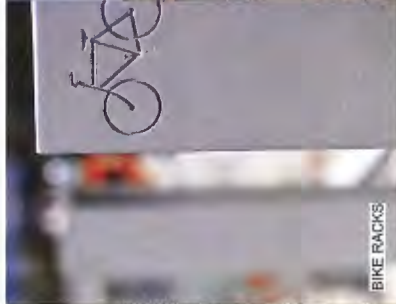
PLANTER SEATING ELEMENTS



CONCRETE SEATING ELEMENTS



MOVABLE SEATING



BIKE RACKS



BENCHES



LOUNGER

eta landscape architecture
1680 West 2nd Avenue
Vancouver, BC, Canada V6L 1H3
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f | 604.983.1459
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Project
**Yuanheng Seaside
Development Lot A**
3031 - 3351 No. 3 Road,
8151 Capstan Way, Richmond, BC

Drawing Title
Precedent Images

Layout

Project Manager	Project ID
GD	21009
Drawn By	Scale
GD	AS SHOWN
Reviewed By	Drawing No.
DT	5q
Issue	at
0000000	19

DP 16-745853

MAR 10 2017

Issue No.	Date	Issue Notes
A	16-8-31	ISSUED FOR DISCUSSION
B	16-9-7	ISSUED FOR DISCUSSION
C	16-9-16	ISSUED FOR REZONING
D	16-9-22	ISSUED FOR DP
E	16-11-28	ISSUED FOR ADP
F	17-02-07	ISSUED FOR RE-UP PER CITY COMMENTS

Professional Seal

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landscaps architecture

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Project

Yuanheng Seaside
Development Lot A
3031 - 3351 No. 3 Road,
8151 Capstan Way, Richmond, BC

Drawing Title

Shadow Studies

Legal

Project Manager	Project ID
GD	21609
Drawn By	Issue
GD	as shown
Reviewed By	Drawing No.
DT	5S
0010000	19

DT Date:
2016-10-10
21609 Capstan Way, Richmond, BC, Canada V6V 1G1

2pm



12pm



10am



December 20



March 20

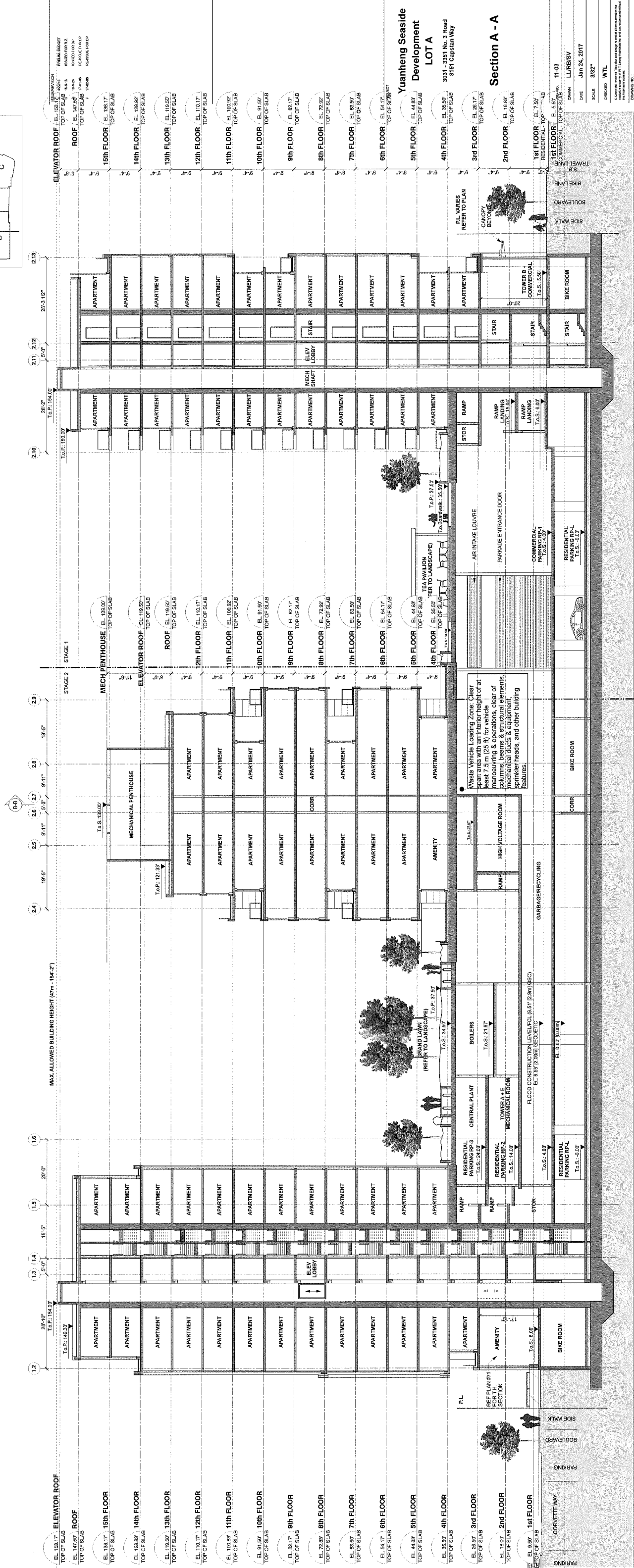
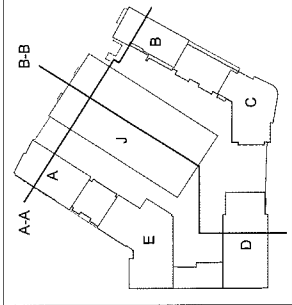


June 20



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Telephone 604 736-9711, Facsimile 604 736-7999

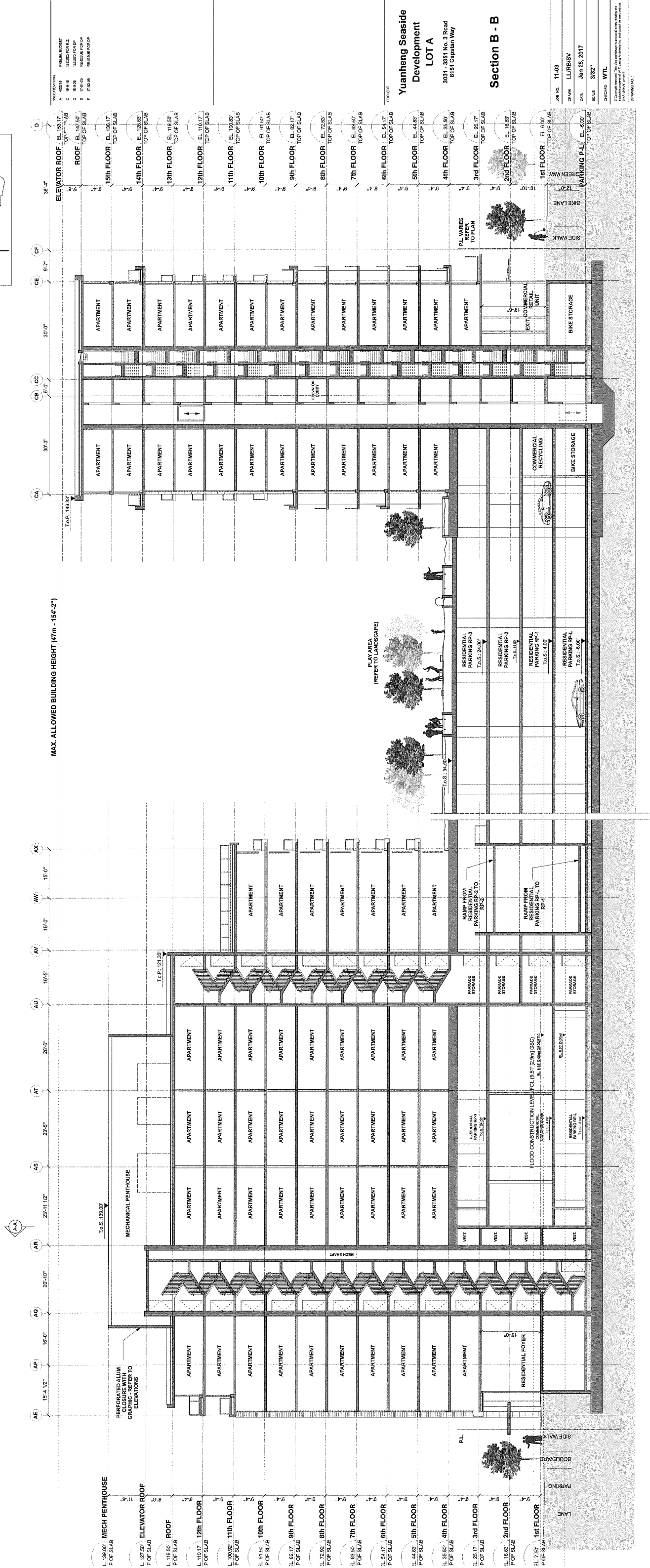
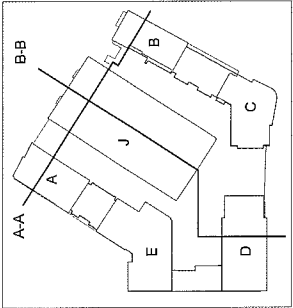


PLAN #6a

DP 16-745853

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PLAN #6b

OP 16-745853

MAR 10 2017

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Vancouver, British Columbia • Canada V6Z 1K3
Telephone: 604.752.9711 Fax: 604.752.9721



REVISION	DESCRIPTION
1	ISSUED FOR R.F.D.
2	ISSUED FOR R.F.D.
3	ISSUED FOR R.F.D.
4	ISSUED FOR R.F.D.
5	ISSUED FOR R.F.D.
6	ISSUED FOR R.F.D.
7	ISSUED FOR R.F.D.
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9	ISSUED FOR R.F.D.
10	ISSUED FOR R.F.D.



FINISH MATERIAL LEGEND
1. CONCRETE PAINTED - WHITE
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3. CONCRETE PAINTED - TRAFFIC MEMBRANE
4. ARCHITECTURAL CONCRETE SEALED
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Yuanheng Seaside
Development
LOT A
3031 - 3361 No. 3 Road
8151 Capstan Way

Streetscape
• Corvette Way

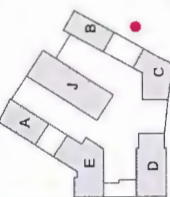
JOB NO.	11-03
DESIGN	RB
DATE	JAN 19, 2017
SCALE	1/8" = 1'-0"
DRAWN	WTL

PLAN #7a

New East West Road
Residential
Lobby
Residential
Parkade
Residential
Lobby
Residential
Residential

CORVETTE WAY STREETSCAPE

DP 16-745853



- FILE REVISIONS
- | | |
|---|-------------------|
| A | ISSUED FOR PERMIT |
| B | ISSUED FOR PERMIT |
| C | ISSUED FOR PERMIT |
| D | ISSUED FOR PERMIT |
| E | ISSUED FOR PERMIT |
| F | ISSUED FOR PERMIT |
| G | ISSUED FOR PERMIT |

- FINISH MATERIAL LEGEND
- 1A CONCRETE PAINTED - WHITE
 - 1B CONCRETE PAINTED - GREY
 - 1C CONCRETE PAINTED - TRAFFIC MEMBRANE
 - 2 ARCHITECTURAL CONCRETE SEALED
 - 3A WALL PANELS - "DARK RED" TOWERS B + C
 - 3B WALL PANELS - "FLINT GREY" TOWERS D + J
 - 3C WALL PANELS - "BEIGE" TOWERS A + E
 - 4A GLAZED ALUMINUM CURTAIN WALL - CLEAR ANODIZED - SILVER
 - 4B GLAZED ALUMINUM CURTAIN WALL - POWDER COATED - POWDER COATED -
 - 5A GLAZED ALUMINUM WINDOW WALLS - POWDER COATED - "GRAY VELVET"
 - 5B GLAZED ALUMINUM WINDOW WALLS - POWDER COATED - "CHARCOAL"
 - 6A SPANDREL GLASS - OPAQUE BACK PAINTED - DARK BLUE GRAY
 - 6B SPANDREL GLASS - OPAQUE BACK PAINTED - BLACK
 - 7A TRANSPARENT GLASS - PRIVACY SCREEN, CANOPIES, GUARDS
 - 7B TRANSPARENT GLASS - WINDOWS
 - 8A FIBRE CEMENT PANEL - WHITE
 - 8B FIBRE CEMENT PANEL - CHARCOAL
 - 8C FIBRE CEMENT PANEL - RED
 - 9A STEEL OR ALUMINUM GUARDRAILS, BALUSTRADES - CHARCOAL
 - 9B ALUMINUM PANEL SYSTEM - GREEN
 - 10A ALUMINUM PANEL SYSTEM - CHAMPAGNE METALLIC
 - 11A ALUMINUM SUN SCREEN - CHARCOAL
 - 12A ALUMINUM SUN SCREEN - CHARCOAL



Commercial

Residential Lobby

Commercial

Yuanheng Seaside
Development
LOT A

3031 - 3351 No. 3 Road
8151 Captain Way

Streetscape
• No. 3 Road

JOB NO.	11-03
DRAWN	RB
CHECKED	JAN 18, 2017
SCALE	1/8" = 1'-0"
DESIGNED	WTL

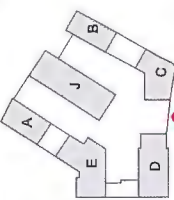
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DRAWING NO. 11-03

MAR 10 2017

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Vancouver, British Columbia • Canada V6Z 1K3
Tel: 604.681.1111 Fax: 604.681.1112
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REVISION	DATE	BY	DESCRIPTION
A	10/10/16	WTL	FINAL DESIGN
B	10/10/16	WTL	FINAL DESIGN
C	10/10/16	WTL	FINAL DESIGN
D	10/10/16	WTL	FINAL DESIGN
E	10/10/16	WTL	FINAL DESIGN
F	10/10/16	WTL	FINAL DESIGN
G	10/10/16	WTL	FINAL DESIGN

FINISH MATERIAL LEGEND	
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4	ARCHITECTURAL CONCRETE SEALED
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PROJECT
Yuanheng Seaside
Development
LOT A
3031 - 3351 No. 3 Road
8151 Capstan Way

Streetscape
• Capstan Way

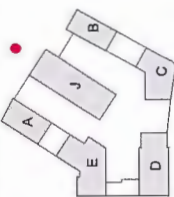
JOB NO.	11-03
DESIGN	RB
DATE	JAN 18, 2017
SCALE	3/32" = 1'-0"
DRAWN	WTL
CHECKED	WTL
APPROVED	WTL

DP 16-745853

MAR 10 2017

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Vancouver, British Columbia V6C 3R8
Tel: 604.681.7888 Fax: 604.681.7889
www.wtleung.com



NO.	DESCRIPTION
A	100% FINISH
B	100% FINISH
C	100% FINISH
D	100% FINISH
E	100% FINISH
F	100% FINISH
G	100% FINISH

FINISH MATERIAL LEGEND

- 1/4a CONCRETE PAINTED - WHITE
- 1/4b CONCRETE PAINTED - GREY
- 1/4c CONCRETE PAINTED - TRAFFIC MEMBRANE
- 1/4d ARCHITECTURAL CONCRETE SEALED
- 1/4e WALL PANELS - "DARK RED" TOWERS B + C
- 1/4f WALL PANELS - "FLINT GREY" TOWERS D + J
- 1/4g WALL PANELS - "DARK RED" TOWERS A + E
- 1/4h GLAZED ALUMINUM CURTAIN WALL - CLEAR ANODIZED - SILVER
- 1/4i GLAZED ALUMINUM CURTAIN WALL - POWDER COATED - POWDER COATED - "GRAY VELVET"
- 1/4j GLAZED ALUMINUM WINDOW WALLS - POWDER COATED - "GRAY VELVET"
- 1/4k GLAZED ALUMINUM WINDOW WALLS - POWDER COATED - "CHARCOAL"
- 1/4l SPANDREL GLASS - OPAQUE BACK PAINTED - DARK BLUE GRAY
- 1/4m SPANDREL GLASS - OPAQUE BACK PAINTED - BLACK
- 1/4n TRANSPARENT GLASS - PRIVACY SCREEN CANPIES GUARDS
- 1/4o TRANSPARENT GLASS - WINDOWS
- 1/4p FIBRE CEMENT PANEL - WHITE
- 1/4q FIBRE CEMENT PANEL - CHARCOAL
- 1/4r FIBRE CEMENT PANEL - RED
- 1/4s STEEL OR ALUMINUM GUARDRAILS, BALUSTRADES - CHARCOAL
- 1/4t ALUMINUM PANEL SYSTEM - GREEN
- 1/4u ALUMINUM PANEL SYSTEM - CHAMPAGNE METALLIC
- 1/4v ALUMINUM SUN SCREEN CHARCOAL



Corvette Way

Residential

Lobby

Parkade

Commercial

No. 3 Road

Tower A

Tower J

Tower B

PLAN #7d

1 NEW EAST WEST ROAD STREETSCAPE

DP 16-745853

W. T. LEUNG
ARCHITECTS
INC.

ISSUE/REVISION		PRELIM. BUDGET	ISSUED FOR R.F.	ISSUED FOR A.C.P.	FOR ISSUE FOR D.P.	FOR ISSUE FOR D.P.
A	4/22/10					
C	10-14					
E	15-11-28					
F	17-02-09					
G	17-03-06					

3031 - 3351 No. 3 Road
8151 Capstan Way

Tower 'J' Elevations

JOB NO.	11-03
DRAWN	RB
DATE	JAN 18, 2017
SCALE	1/8" = 1'-0"
CHECKED	WTL
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DRAWINGS INC.	

PLAN #7e

OP 16-745853



2 TOWER 'J' EAST ELEVATION



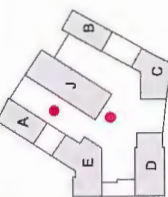
Lobby

Parkade

MAR 10 2017

W. T. LEUNG
ARCHITECTS
INC.

Suite 300, 973 West Broadway,
Vancouver, British Columbia • Canada V6Z 1K0
Tel: 604.681.1521 • Fax: 604.681.1522



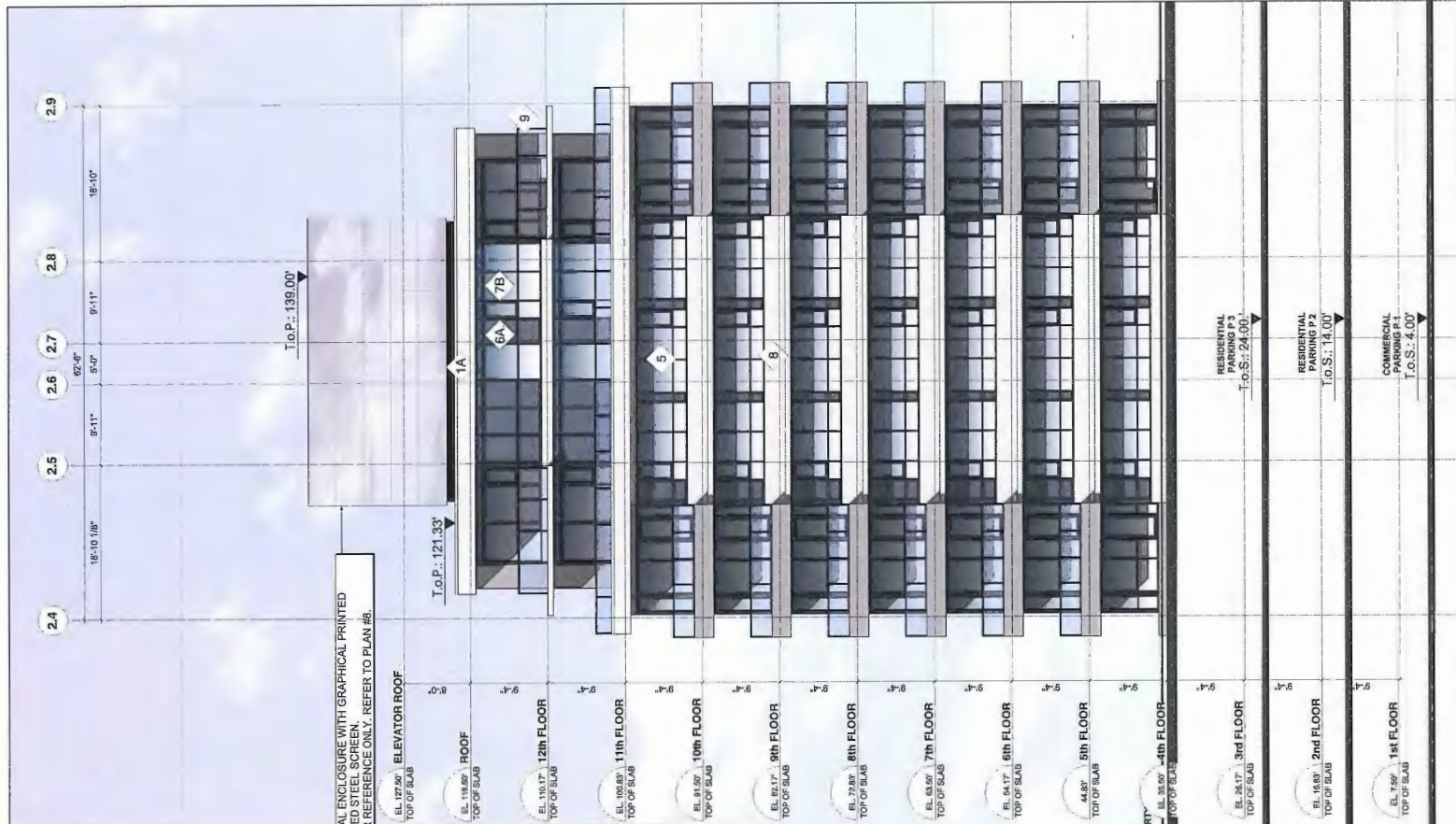
- REVISIONS
- | | | |
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| B | 10/24/16 | 10/24/16 FOR IZ |
| C | 10/24/16 | 10/24/16 FOR IZ |
| D | 10/24/16 | 10/24/16 FOR IZ |
| E | 10/24/16 | 10/24/16 FOR IZ |
| F | 10/24/16 | 10/24/16 FOR IZ |
| G | 10/24/16 | 10/24/16 FOR IZ |



1 TOWER 'J' WEST ELEVATION

FINISH MATERIAL LEGEND

- 1A CONCRETE PAINTED - WHITE
- 1B CONCRETE PAINTED - GREY
- 1C CONCRETE PAINTED - TRAFFIC MEMBRANE
- 1D ARCHITECTURAL CONCRETE SEALED
- 1E WALL PANELS -
- 1F "DARK RED" TOWERS B + C
- 1G "FLINT GREY" TOWERS D + J
- 1H "BEIGE" TOWERS A + E
- 1I GLAZED ALUMINUM CURTAIN WALL - CLEAR ANODIZED - SILVER
- 1J GLAZED ALUMINUM CURTAIN WALL - POWDER COATED - POWDER COATED - GRAY VELVET
- 1K GLAZED ALUMINUM WINDOW WALLS - POWDER COATED - GRAY VELVET
- 1L POWDER COATED - "CHARCOAL"
- 1M SPANDREL GLASS - OPAQUE BACK PAINTED - DARK BLUE GRAY
- 1N SPANDREL GLASS - OPAQUE BACK PAINTED - BLACK
- 1O TRANSPARENT GLASS - PRIVACY SCREEN, CANOPIES, GUARDS
- 1P TRANSPARENT GLASS - WINDOWS
- 1Q FIBRE CEMENT PANEL - WHITE
- 1R FIBRE CEMENT PANEL - CHARCOAL
- 1S FIBRE CEMENT PANEL - RED
- 1T STEEL OR ALUMINUM GUARDRAILS, BALLUSTRADES - CHARCOAL
- 1U ALUMINUM PANEL SYSTEM - GREEN
- 1V ALUMINUM PANEL SYSTEM - CHAMPAGNE METALLIC
- 1W ALUMINUM CAP FLASHINGS
- 1X ALUMINUM SUN SCREEN
- 1Y CHARCOAL



2 TOWER 'J' SOUTH ELEVATION

Yuanheng Seaside
Development
LOT A

3031 - 3351 No. 3 Road
8151 Capstan Way

Tower 'J'
Elevations

DWG NO.	11-03
DATE	11-03
BY	RB
DATE	JAN 18, 2017
SCALE	1/8" = 1'-0"
CHECKED	WTL

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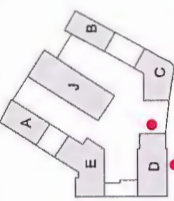
PLAN #7f

DP 16-745853

MAR 10 2017

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- REVISIONS
- | | |
|---|-------------------|
| A | ISSUED FOR A.D.P. |
| B | ISSUED FOR A.D.P. |
| C | ISSUED FOR A.D.P. |
| D | ISSUED FOR A.D.P. |
| E | ISSUED FOR A.D.P. |
| F | ISSUED FOR A.D.P. |
| G | ISSUED FOR A.D.P. |
| H | ISSUED FOR A.D.P. |
| I | ISSUED FOR A.D.P. |
| J | ISSUED FOR A.D.P. |



2 TOWER 'D' EAST ELEVATION

FINISH MATERIAL LEGEND

- 1A CONCRETE PAINTED - WHITE
- 1B CONCRETE PAINTED - GREY
- 1C CONCRETE PAINTED - TRAFFIC MEMBRANE
- 2 ARCHITECTURAL CONCRETE SEALED
- 3 WALL PANELS - "DARK RED" TOWERS B + C
- 4 WALL PANELS - "FLINT GREY" TOWERS D + J
- 5 WALL PANELS - "BEIGE" TOWERS A + E
- 6 GLAZED ALUMINUM CURTAIN WALL - CLEAR ANODIZED - SILVER
- 7 GLAZED ALUMINUM CURTAIN WALL - POWDER COATED - "GRAY VELVET"
- 8 GLAZED ALUMINUM WINDOW WALLS - POWDER COATED - "GRAY VELVET"
- 9 GLAZED ALUMINUM WINDOW WALLS - POWDER COATED - "CHARCOAL"
- 10 SPANDREL GLASS - OPAQUE BACK PAINTED - DARK BLUE GRAY
- 11 SPANDREL GLASS - OPAQUE BACK PAINTED - BLACK
- 12 TRANSPARENT GLASS - PRIVACY SCREEN, CANOPIES, GUARDS
- 13 TRANSPARENT GLASS - WINDOWS
- 14 FIBRE CEMENT PANEL - WHITE
- 15 FIBRE CEMENT PANEL - CHARCOAL
- 16 FIBRE CEMENT PANEL - RED
- 17 STEEL OR ALUMINUM GUARDRAILS, BALUSTRADES - CHARCOAL
- 18 ALUMINUM PANEL SYSTEM - GREEN
- 19 ALUMINUM PANEL SYSTEM - CHAMPAGNE METALLIC
- 20 ALUMINUM CAP FLASHINGS
- 21 ALUMINUM SUN SCREEN
- 22 CHARCOAL



1 TOWER 'D' SOUTH ELEVATION

Yuanheng Seaside
Development
LOT A
3031 - 3351 No. 3 Road
8151 Capstan Way

Tower 'D'
Elevations

JOB NO.	11-403
DESIGN	RB
DATE	JAN 18, 2017
SCALE	3/32" = 1'-0"
CHECKED	WTL
DRAWING NO.	

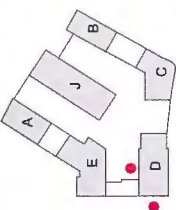
PLAN #7g

DP 16-745853

MAR 10 2017

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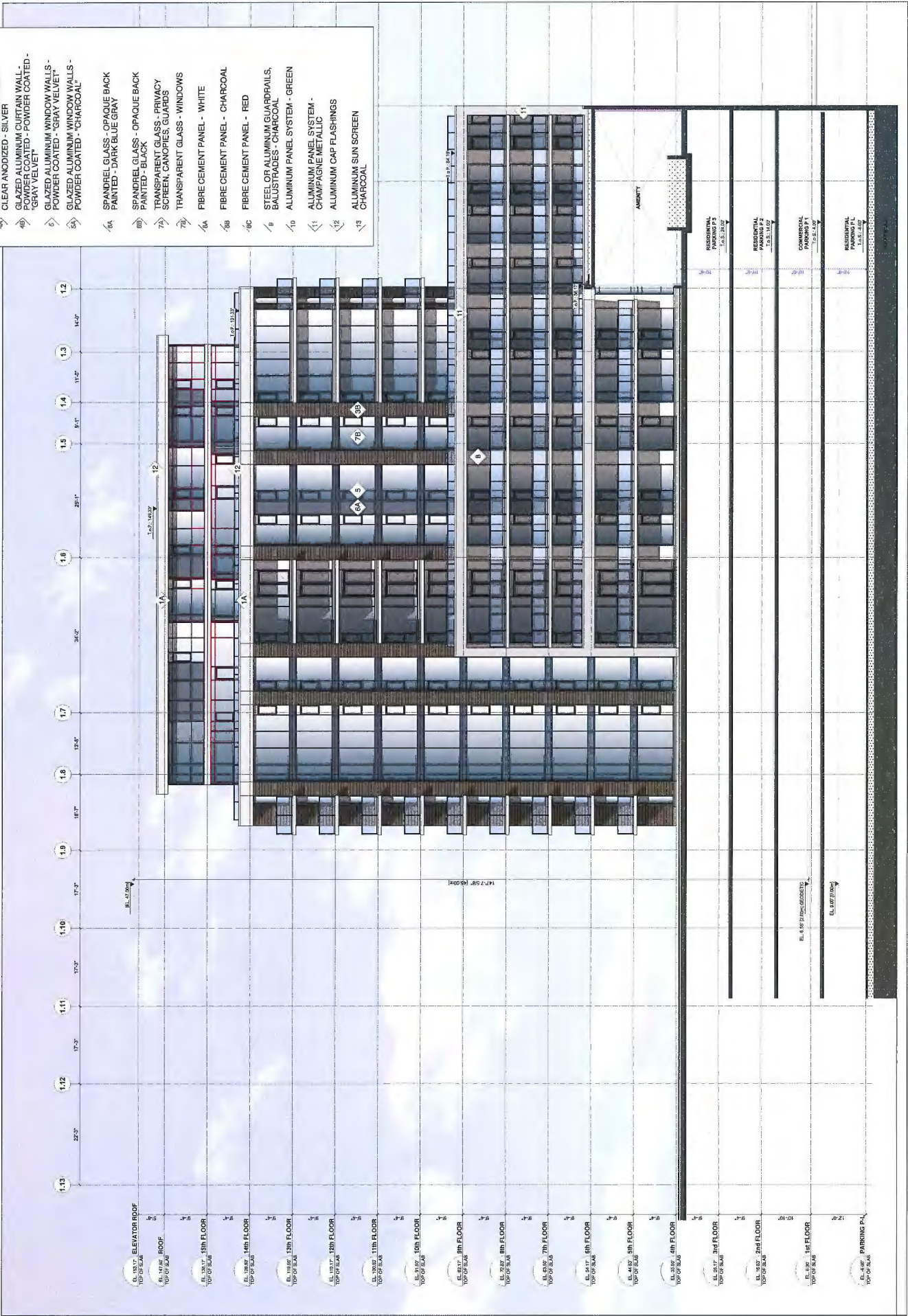
REVISION		REVISION
A	02/03/15	FINAL PROJECT
B	05/11/15	REVISION FOR A-02
C	05/11/15	REVISION FOR A-02
D	05/11/15	REVISION FOR A-02
E	05/11/15	REVISION FOR A-02
F	05/11/15	REVISION FOR A-02
G	05/11/15	REVISION FOR A-02



2 TOWER D' WEST ELEVATION

FINISH MATERIAL LEGEND

- 1A CONCRETE PAINTED - WHITE
- 1B CONCRETE PAINTED - GREY
- 1C CONCRETE PAINTED - TRAFFIC MEMBRANE
- 1D ARCHITECTURAL CONCRETE SEALED
- 1E WALL PANELS - "DARK RED" TOWERS B + C
- 1F WALL PANELS - "FLINT GREY" TOWERS D + J
- 1G WALL PANELS - "BEIGE" TOWERS A + E
- 1H GLAZED ALUMINUM CURTAIN WALL - CLEAR ANODIZED - SILVER
- 1I GLAZED ALUMINUM CURTAIN WALL - POWDER COATED - POWDER COATED - "GRAY VELVET"
- 1J GLAZED ALUMINUM WINDOW WALLS - POWDER COATED - "GRAY VELVET"
- 1K GLAZED ALUMINUM WINDOW WALLS - POWDER COATED - "CHARCOAL"
- 1L SPANDREL GLASS - OPAQUE BACK PAINTED - DARK BLUE GRAY
- 1M SPANDREL GLASS - OPAQUE BACK PAINTED - BLACK
- 1N TRANSPARENT GLASS - PRIVACY SCREEN, CANOPIES, SUITES
- 1O TRANSPARENT GLASS - WINDOWS
- 1P FIBRE CEMENT PANEL - WHITE
- 1Q FIBRE CEMENT PANEL - CHARCOAL
- 1R FIBRE CEMENT PANEL - RED
- 1S STEEL OR ALUMINUM GUARDRAILS, BALUSTRADES - CHARCOAL
- 1T ALUMINUM PANEL SYSTEM - GREEN
- 1U ALUMINUM PANEL SYSTEM - CHAMPAGNE METALLIC
- 1V ALUMINUM CAP FLASHINGS
- 1W ALUMINUM SUN SCREEN CHARCOAL



1 TOWER D' NORTH ELEVATION

Yuanheng Seaside
Development
LOT A

3031 - 3351 No. 3 Road
8151 Capstan Way

Tower 'D'
Elevations

JOB NO.	11-43
DESIGN	RB
DATE	JAN 18, 2017
SCALE	3/32" = 1'-0"
DRAWN BY	WTL

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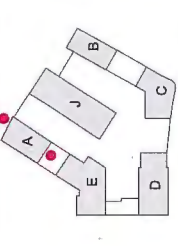
PLAN #7h

DP 16-745853

MAR 10 2017

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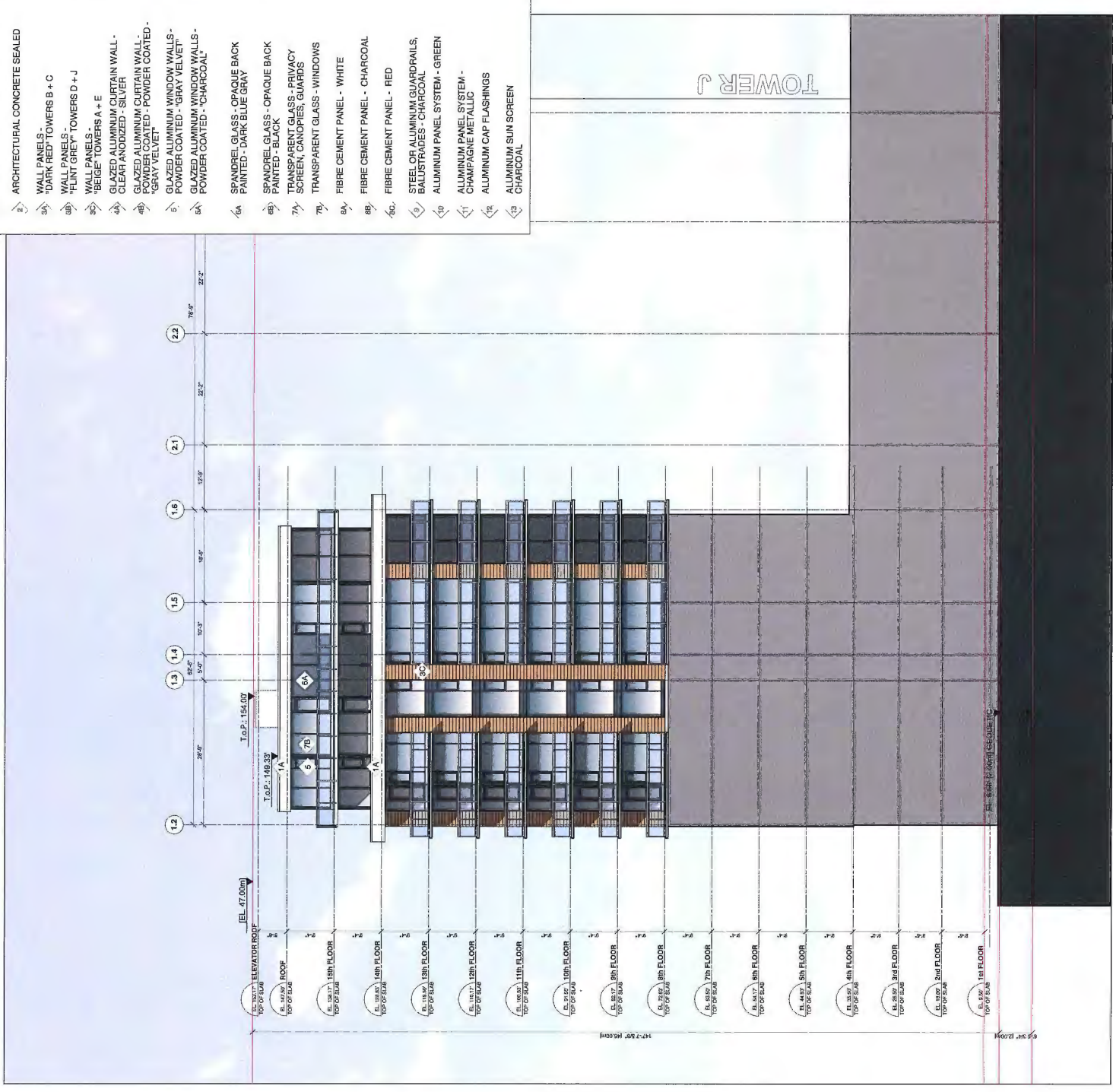
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ISSUE/REVISION	
A	4/22/15
C	16-9-14
E	16-11-20
F	17-02-08
G	17-03-06

FINISH MATERIAL LEGEND

- | | |
|----|---|
| 15 | CONCRETE PAINTED - WHITE |
| 16 | CONCRETE PAINTED - GREY |
| 17 | CONCRETE PAINTED - TRAFFIC MEMBRANE |
| 18 | ARCHITECTURAL CONCRETE SEALED |
| 19 | WALL PANELS -
"DARK RED" TOWERS B + C |
| 20 | WALL PANELS - TOWERS D + J |
| 21 | WALL PANELS - TOWERS E + F |
| 22 | "BEEF" TOWERS A + E |
| 23 | GLAZED ALUMINUM CURTAIN WALL -
CLEAR ANODIZED - SILVER |
| 24 | GLAZED ALUMINUM CURTAIN WALL -
POWDER COATED - PINK |
| 25 | GLAZED ALUMINUM CURTAIN WALL -
POWDER COATED - GRAY VELVET |
| 26 | GLAZED ALUMINUM WINDOW WALLS -
POWDER COATED - GRAY VELVET |
| 27 | GLAZED ALUMINUM WINDOW WALLS -
POWDER COATED - CHARCOAL |
| 28 | SPANDREL GLASS - OPAQUE BACK
PAINTED - DARK BLUE GRAY |
| 29 | SPANDREL GLASS - OPAQUE BACK
PAINTED - BLACK |
| 30 | TRANSPARENT GLASS - PRIVACY
SCREEN, CANOPIES, GUARDS |
| 31 | TRANSPARENT GLASS - WINDOWS |
| 32 | FIBRE CEMENT PANEL - WHITE |
| 33 | FIBRE CEMENT PANEL - CHARCOAL |
| 34 | FIBRE CEMENT PANEL - RED |
| 35 | STEEL OR ALUMINUM GUARDRAILS,
BALUSTRADES - CHARCOAL |
| 36 | ALUMINUM PANEL SYSTEM - GREEN |
| 37 | ALUMINUM PANEL SYSTEM -
CHAMPAGNE METALLIC |
| 38 | ALUMINUM CAP FLASHINGS |
| 39 | ALUMINUM SUN SCREEN |
| 40 | CHARCOAL |



TOWER 'A' SOUTH ELEVATION



TOWER 'A' NORTH ELEVATION

PRODUCT

**Yuanheng Seaside
Development
LOT A**

**3031 - 3351 No. 3 Road
8151 Capstan Way**

Tower 'A + E' Elevations

JOB NO.	11-03
DRAWN	RB
DATE	JAN 18, 2017
SCALE	3/32" = 1'-0"
CHECKED	WTL

PLAN #7j

DP 16-745853

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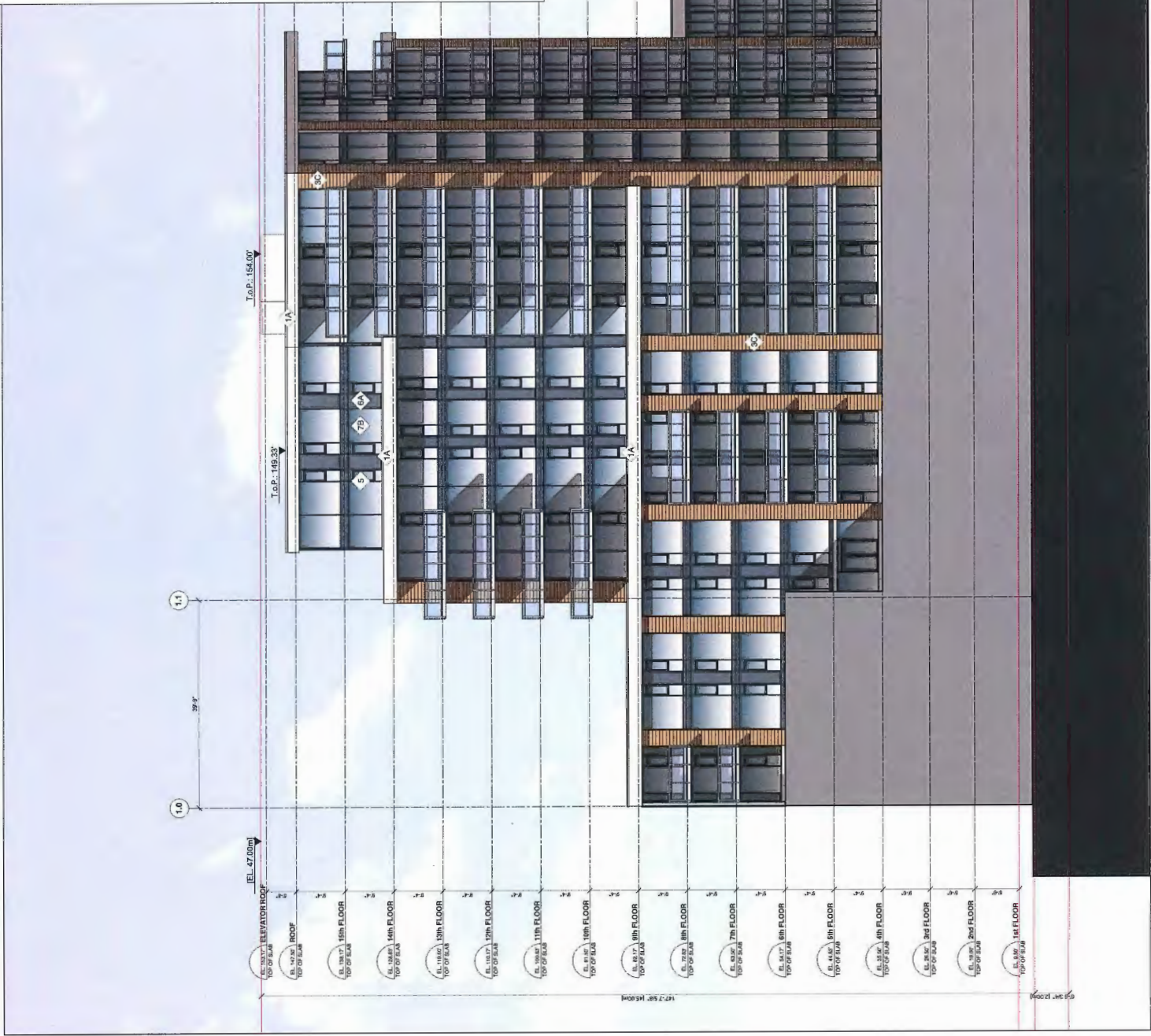
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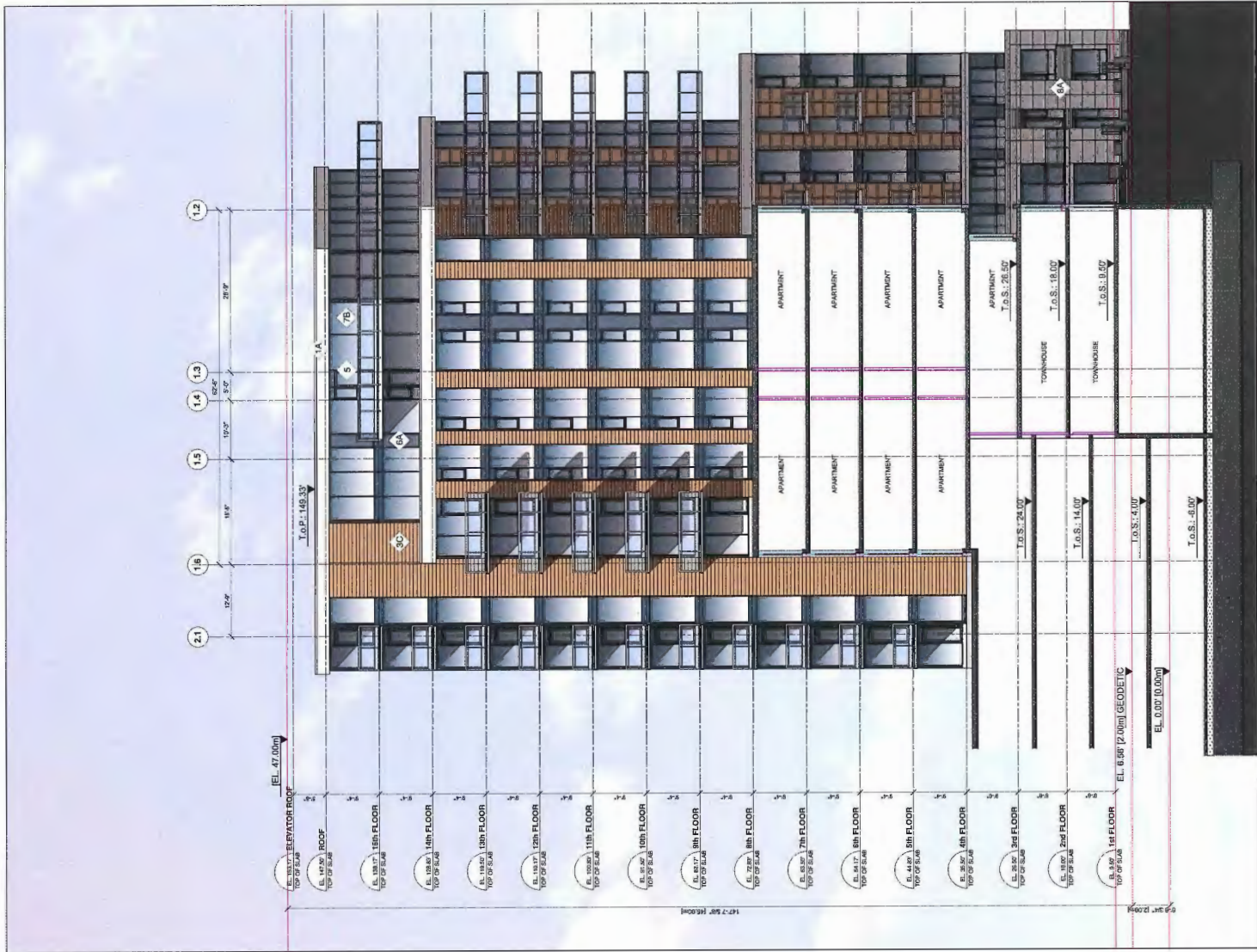
ISSUE/REVISION	
A	4/22/95
C	16-4-14
E	16-11-28
F	17-03-06
G	17-05-06

FINISH MATERIAL LEGEND

- | | |
|----|--|
| 1A | CONCRETE PAINTED - WHITE |
| 1B | CONCRETE PAINTED - GREY |
| 1C | CONCRETE PAINTED - TRAFFIC MEMBRANE |
| 2 | ARCHITECTURAL CONCRETE SEALED |
| 3A | WALL PANELS -
"DARK RED" TOWERS B + C |
| 3B | WALL PANELS -
"DARK RED" TOWERS D + J |
| 3C | WALL PANELS -
"BEIGE" TOWERS A + E |
| 4A | GLAZED ALUMINUM CURTAIN WALL -
CLEAR ANODIZED - SILVER |
| 4B | GLAZED ALUMINUM CURTAIN WALL -
POWDER COATED - POWDER COATED -
"GRAY VELVET" |
| 5 | GLAZED ALUMINUM WINDOW WALLS -
POWDER COATED - "GRAY VELVET" |
| 5A | POWDER COATED - "CHARCOAL" |
| 6A | SPANDREL GLASS - OPAQUE BACK
PAINTED - DARK BLUE GRAY |
| 6B | SPANDREL GLASS - OPAQUE BACK
PAINTED - BLACK |
| 7A | TRANSPARENT GLASS - PRIVACY
SCREEN, CANOPIES, GUARDS |
| 7B | TRANSPARENT GLASS - WINDOWS |
| 8 | FIBRE CEMENT PANEL - WHITE |
| 9A | FIBRE CEMENT PANEL - CHARCOAL |
| 9B | FIBRE CEMENT PANEL - RED |
| 9C | FIBRE CEMENT PANEL - STEEL OR ALUMINUM GUARDRAILS,
BALUSTRADES - CHARCOAL |
| 10 | ALUMINUM PANEL SYSTEM - GREEN
CHAMPAGNE METALLIC |
| 11 | ALUMINUM PANEL SYSTEM -
CHAMPAGNE METALLIC |
| 12 | ALUMINUM CAP FLASHINGS |
| 13 | ALUMINUM SUN SCREEN
CHARCOAL |



2 TOWER 'E' SOUTH ELEVATION



TOWER 'E' NORTH

PLAN #7k

**Yuanheng Seaside
Development
LOT A**

Tower 'A + E'

JOB NO.	11-03
DRAWN	RB
DATE	JAN 18, 2017
SCALE	3/32" = 1'-0"
CHECKED	WTL

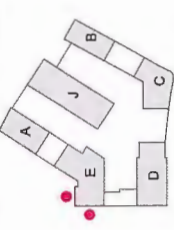
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DESIGNED BY: _____

DP 16-745853

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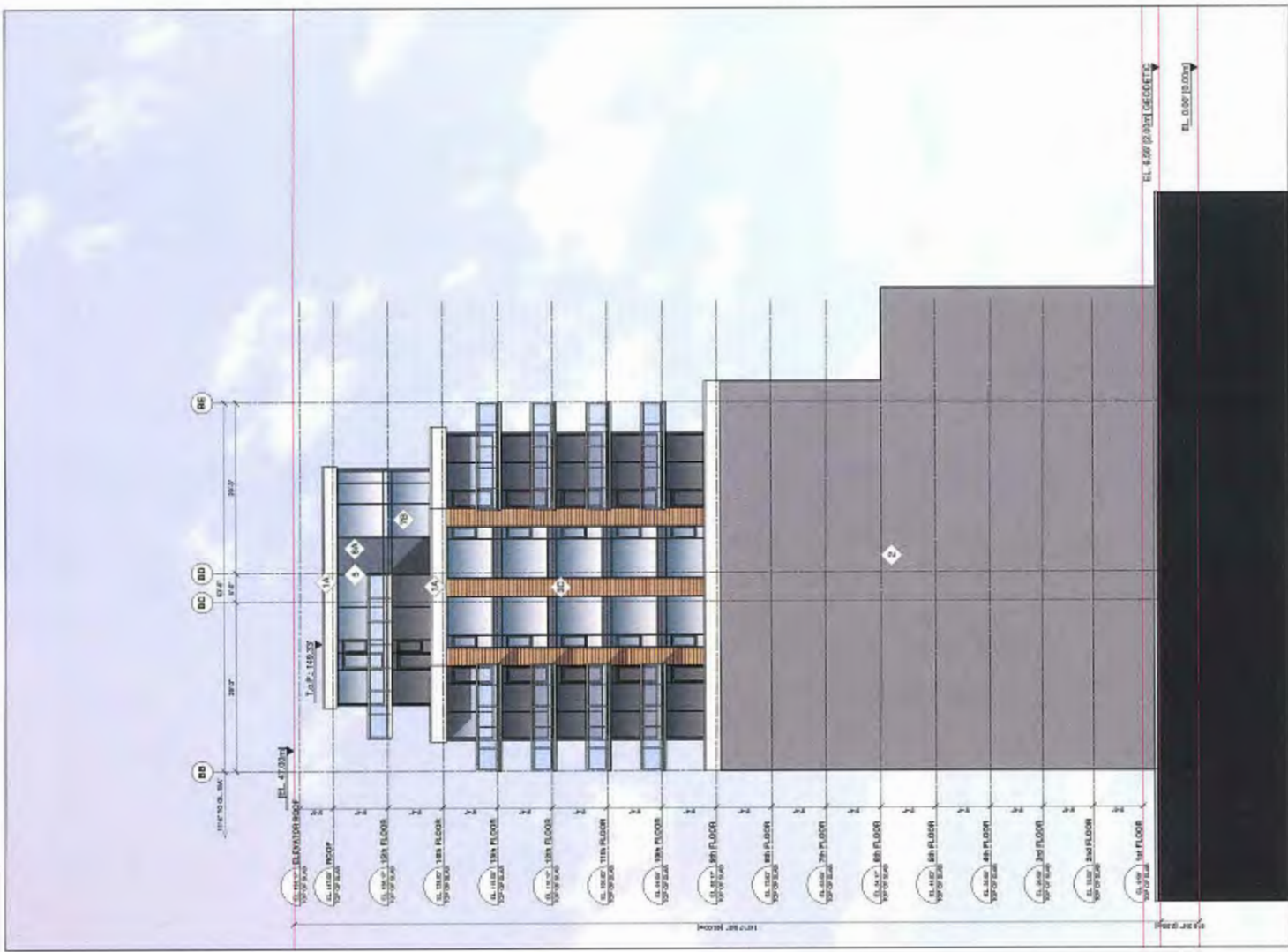
DISSEMINATION	
A	4/22/16
C	16-9-14
E	16-11-20
F	17-08-01
G	17-05-08

FINISH MATERIAL LEGEND

- | | |
|----|---|
| 1A | CONCRETE PAINTED - WHITE |
| 1B | CONCRETE PAINTED - GREY |
| 1C | CONCRETE PAINTED - TRAFFIC MEMBRANE |
| 2 | ARCHITECTURAL CONCRETE SEALED |
| 3A | WALL PANELS -
GLAZED ALUMINUM TOWERS B + C |
| 3B | WALL PANELS -
FLUNT GREY TOWERS D + J |
| 3C | WALL PANELS -
"BEIGE" TOWERS A + E |
| 4A | GLAZED ALUMINUM CURTAIN WALL -
CLEAR ANODIZED - SILVER |
| 4B | GLAZED ALUMINUM CURTAIN WALL -
"POWDER COATED - POWDER COATED -
"GRAY VELVET" |
| 5 | GLAZED ALUMINUM WINDOW WALLS -
POWDER COATED - "GRAY VELVET" |
| 6A | GLAZED ALUMINUM WINDOW WALLS -
POWDER COATED - "CHARCOAL" |
| 6A | SPANDREL GLASS - OPAQUE BACK
PAINTED - DARK BLUE GRAY |
| 6B | SPANDREL GLASS - OPAQUE BACK
PAINTED - BLACK |
| 7A | TRANSPARENT GLASS - PRIVACY
SCREEN, CANOPIES, GUARDS |
| 7B | TRANSPARENT GLASS - WINDOWS |
| 8 | FIBRE CEMENT PANEL - WHITE |
| 8B | FIBRE CEMENT PANEL - CHARCOAL |
| 9 | FIBRE CEMENT PANEL - RED |
| 9 | STEEL OR ALUMINUM GUARDRAILS,
BALUSTRADES - CHARCOAL |
| 10 | ALUMINUM PANEL SYSTEM - GREEN |
| 11 | ALUMINUM PANEL SYSTEM -
CHAMPAGNE METALLIC |
| 12 | ALUMINUM CAP FLASHINGS |
| 13 | ALUMINUM SUN SCREEN
CHARCOAL |



2 TOWER 'E' PARTIAL NORTH ELEVATION



TOWER 'E' WEST NORTH

PROJECT

**Yuanheng Seaside
Development**

LOT A

**3031 - 3351 No. 3 Road
8151 Capstan Way**

Tower 'A + E' Elevations

JOB NO.	11-03
DRAWN	RB
DATE	JAN 18, 2017
SCALE	3/32" = 1'-0"
BY	WTL

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DRAWING NO.

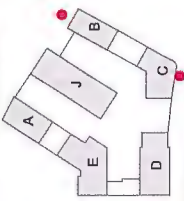
PLAN #7I

DP 16-745853

MAR 10 2017

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- REVISIONS
- | | |
|---|--------|
| A | ISSUED |
| B | ISSUED |
| C | ISSUED |
| D | ISSUED |
| E | ISSUED |
| F | ISSUED |
| G | ISSUED |



- FINISH MATERIAL LEGEND
- 1A. CONCRETE PAINTED - WHITE
 - 1B. CONCRETE PAINTED - GREY
 - 1C. CONCRETE PAINTED - TRAFFIC MEMBRANE
 - 1D. ARCHITECTURAL CONCRETE SEALED
 - 2A. WALL PANELS - "DARK RED" TOWERS B + C
 - 2B. WALL PANELS - "FLINT GREY" TOWERS D + J
 - 2C. WALL PANELS - "BEIGE" TOWERS A + E
 - 2D. GLAZED ALUMINUM CURTAIN WALL - CLEAR ANODIZED - SILVER
 - 2E. GLAZED ALUMINUM CURTAIN WALL - POWDER COATED - "GRAY VELVET"
 - 2F. GLAZED ALUMINUM WINDOW WALLS - "GRAY VELVET"
 - 2G. GLAZED ALUMINUM WINDOW WALLS - POWDER COATED - "CHARCOAL"
 - 2H. SPANDREL GLASS - OPAQUE BACK PAINTED - DARK BLUE GRAY
 - 2I. SPANDREL GLASS - OPAQUE BACK PAINTED - BLACK
 - 2J. TRANSPARENT GLASS - PRIVACY SCREEN CANOPIES GUARDS
 - 2K. TRANSPARENT GLASS - WINDOWS
 - 2L. FIBRE CEMENT PANEL - WHITE
 - 2M. FIBRE CEMENT PANEL - CHARCOAL
 - 2N. FIBRE CEMENT PANEL - RED
 - 2O. STEEL OR ALUMINUM GUARDRAILS, BALUSTRADES - CHARCOAL
 - 2P. ALUMINUM PANEL SYSTEM - GREEN
 - 2Q. ALUMINUM PANEL SYSTEM - CHAMPAGNE METALLIC
 - 2R. ALUMINUM CAP FLASHINGS
 - 2S. ALUMINUM SUN SCREEN
 - 2T. CHARCOAL

- 10th FLOOR (EL. 117.00) TOP OF SLAB
- 9th FLOOR (EL. 116.17) TOP OF SLAB
- 8th FLOOR (EL. 115.34) TOP OF SLAB
- 7th FLOOR (EL. 114.51) TOP OF SLAB
- 6th FLOOR (EL. 113.68) TOP OF SLAB
- 5th FLOOR (EL. 112.85) TOP OF SLAB
- 4th FLOOR (EL. 112.02) TOP OF SLAB
- 3rd FLOOR (EL. 111.19) TOP OF SLAB
- 2nd FLOOR (EL. 110.36) TOP OF SLAB
- 1st FLOOR (EL. 109.53) TOP OF SLAB
- 0th FLOOR (EL. 108.70) TOP OF SLAB

1 TOWER 'B' + 'C' SOUTH ELEVATION

2 TOWER 'B' NORTH ELEVATION

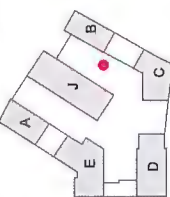
PLAN #7m

DP 16-745853

MAR 10 2017

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Telephone 604 738-9771, Facsimile 604 738-7951



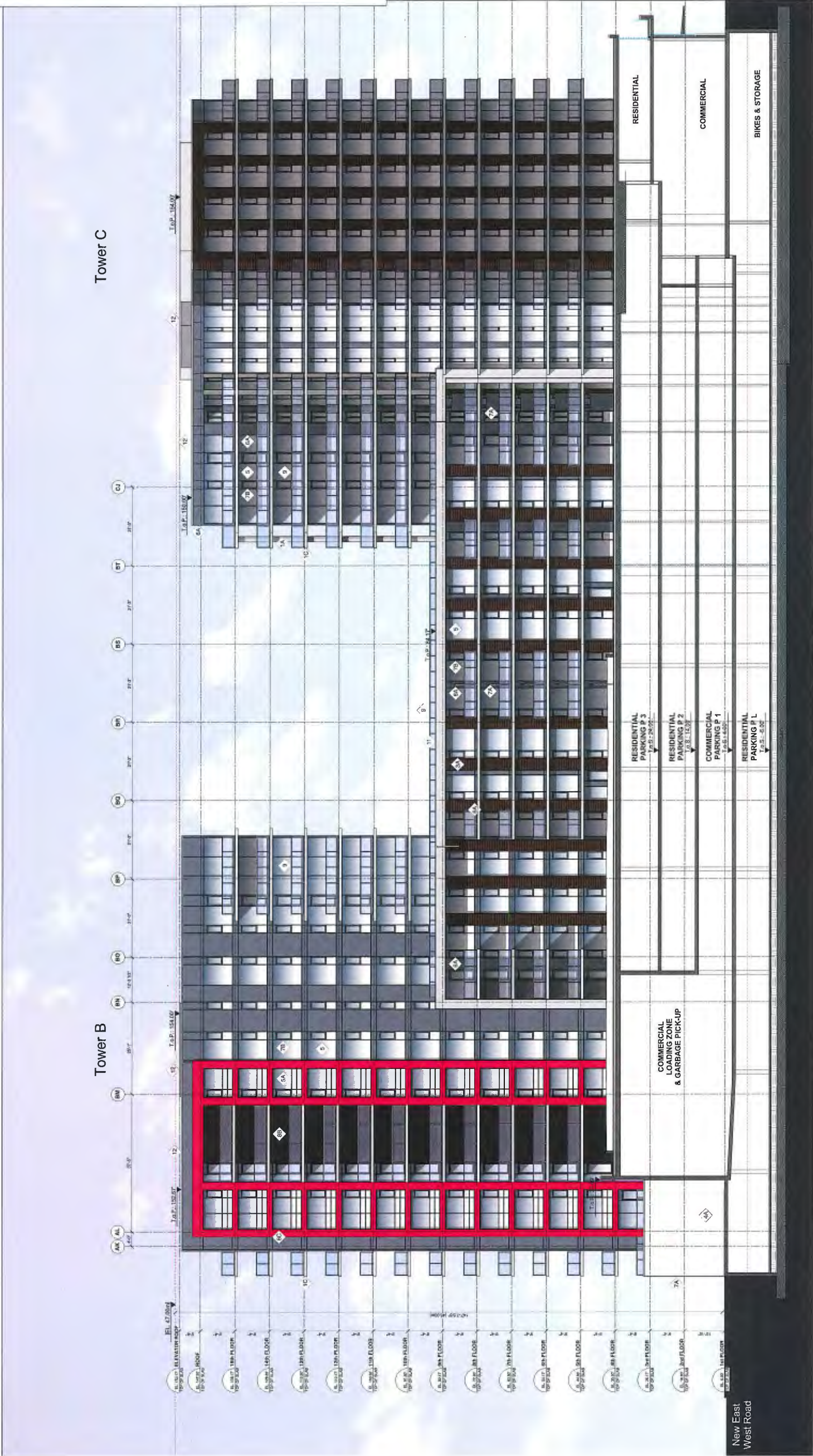
LEGEND	
A	CONCRETE PAINTED - WHITE
B	CONCRETE PAINTED - GREY
C	CONCRETE PAINTED - TRAFFIC MEMBRANE
D	ARCHITECTURAL CONCRETE SEALED
E	WALL PANELS - "DARK RED" TOWERS B + C
F	WALL PANELS - "FLINT GREY" TOWERS D + J
G	WALL PANELS - "BEIGE" TOWERS A + E
H	GLAZED ALUMINUM CURTAIN WALL - CLEAR ANODIZED - SILVER
I	GLAZED ALUMINUM CURTAIN WALL - TINTED - POWDER COATED - "GRAY VELVET"
J	GLAZED ALUMINUM WINDOW WALLS - POWDER COATED - "GRAY VELVET"
K	GLAZED ALUMINUM WINDOW WALLS - POWDER COATED - "CHARCOAL"
L	SPANDREL GLASS - OPAQUE BACK PAINTED - DARK BLUE GRAY
M	SPANDREL GLASS - OPAQUE BACK PAINTED - BLACK
N	TRANSPARENT GLASS - PRIVACY SCREEN, CANOPES, GUARDS
O	TRANSPARENT GLASS - WINDOWS
P	FIBRE CEMENT PANEL - WHITE
Q	FIBRE CEMENT PANEL - CHARCOAL
R	FIBRE CEMENT PANEL - RED
S	STEEL OR ALUMINUM GUARDRAILS, BALUSTRADES - CHARCOAL
T	ALUMINUM PANEL SYSTEM - GREEN
U	ALUMINUM PANEL SYSTEM - CHAMPAGNE METALLIC
V	ALUMINUM CAP FLASHINGS
W	ALUMINUM SUN SCREEN
X	CHARCOAL

FINISH MATERIAL LEGEND

- CONCRETE PAINTED - WHITE
- CONCRETE PAINTED - GREY
- CONCRETE PAINTED - TRAFFIC MEMBRANE
- ARCHITECTURAL CONCRETE SEALED
- WALL PANELS - "DARK RED" TOWERS B + C
- WALL PANELS - "FLINT GREY" TOWERS D + J
- WALL PANELS - "BEIGE" TOWERS A + E
- GLAZED ALUMINUM CURTAIN WALL - CLEAR ANODIZED - SILVER
- GLAZED ALUMINUM CURTAIN WALL - TINTED - POWDER COATED - "GRAY VELVET"
- GLAZED ALUMINUM WINDOW WALLS - POWDER COATED - "GRAY VELVET"
- GLAZED ALUMINUM WINDOW WALLS - POWDER COATED - "CHARCOAL"
- SPANDREL GLASS - OPAQUE BACK PAINTED - DARK BLUE GRAY
- SPANDREL GLASS - OPAQUE BACK PAINTED - BLACK
- TRANSPARENT GLASS - PRIVACY SCREEN, CANOPES, GUARDS
- TRANSPARENT GLASS - WINDOWS
- FIBRE CEMENT PANEL - WHITE
- FIBRE CEMENT PANEL - CHARCOAL
- FIBRE CEMENT PANEL - RED
- STEEL OR ALUMINUM GUARDRAILS, BALUSTRADES - CHARCOAL
- ALUMINUM PANEL SYSTEM - GREEN
- ALUMINUM PANEL SYSTEM - CHAMPAGNE METALLIC
- ALUMINUM CAP FLASHINGS
- ALUMINUM SUN SCREEN
- CHARCOAL

Tower B

Tower C



New East
West Road

Yuanheng Seaside
Development
LOT A

3024 - 3351 No. 3 Road
8151 Capstan Way

Tower 'B' + 'C'
Elevations

JOB NO.	11-03
DESIGN	RB
DATE	JAN 18, 2017
SCALE	3/32" = 1'-0"
DRAWN	WTL
CHECKED BY: W. T. Leung, Architect DATE: JAN 18, 2017 DRAWING NO.: 11-03-01	

PLAN #7n

DP 16-745853



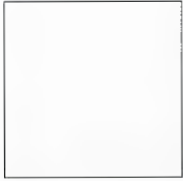
3A
WALL PANELS (CLAY TILE)
ENGINEERED ASSEMBLIES
TONALITY NUANCE
70006 DARK RED
TOWERS B + C



3B
WALL PANELS (CLAY TILE)
ENGINEERED ASSEMBLIES
TONALITY NATUR
70010 FLINT GREY
TOWERS D + J



3C
WALL PANELS (CLAY TILE)
ENGINEERED ASSEMBLIES
TONALITY NATUR
70002 BEIGE
TOWERS A + E



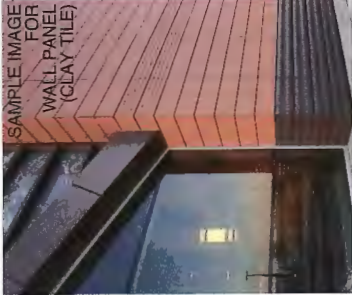
8
FIBRE CEMENT PANELS
ENGINEERED ASSEMBLIES
EQUITONE TECTIVA
TE90 (WHITE)



11
ALUMINUM PANEL CLADDING
ALUCOBOND
CHAMPAGNE METALLIC (PVDF-3
GLOSS LEVEL 30)



SAMPLE IMAGE FOR
WALL PANEL (CLAY TILE)



SAMPLE DETAIL
IMAGE FOR
WALL PANEL
(CLAY TILE)



SAMPLE IMAGE FOR
FIBRE CEMENT PANEL



SAMPLE IMAGE FOR
WALL PANEL (CLAY TILE)



1C
PAINTED CONCRETE
TRAFFIC MEMBRANE
BENJAMIN MOORE 2137-70



6A
SPANDREL GLASS (TOWERS)
OPAQUE BACK PAINTED
BENJAMIN MOORE 2062-20



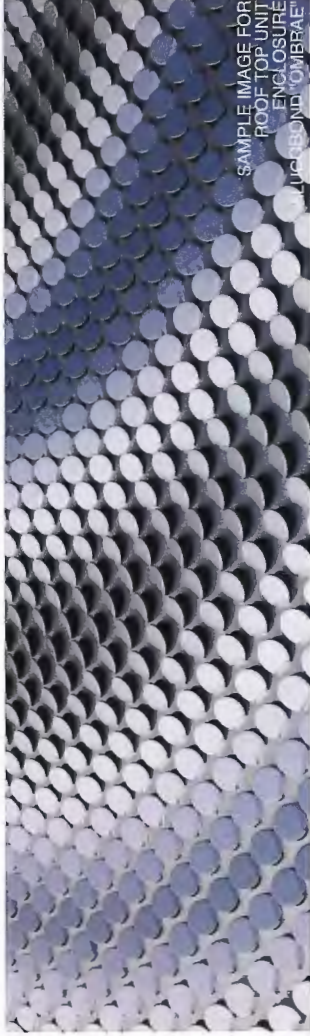
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STEEL OR ALUMINUM
GUARDRAILS, BALUSTRADES
BENJAMIN MOORE 2126-20



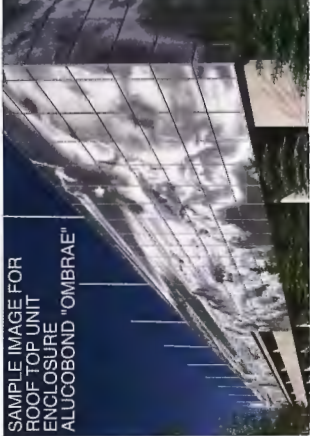
SAMPLE IMAGE FOR
FIBRE CEMENT PANEL



SAMPLE IMAGE FOR
ALUMINUM PANEL



SAMPLE IMAGE FOR
ROOF TOP UNIT
ENCLOSURE
ALUCOBOND "OMBRAE"



SAMPLE IMAGE FOR
ROOF TOP UNIT
ENCLOSURE
ALUCOBOND "OMBRAE"

Materials

JOB NO.	11-03
DRAWN	WTLA
DATE	January 25, 2017
SCALE	-
DESIGNED	SVWTL

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REVISIONS
0 1/24/08 RE-SUBMITTED FOR IAP

PROJECT
Yuanheng Seaside
Development
LOT A
3031 - 3351 No. 3 Road
8151 Capstan Way

Streetscape Details
No. 3 Road

DWG NO.	11-03
DRAWN	SV
DATE	JAN 25, 2017
SCALE	1/4" = 1'-0"
CHECKED	WTL

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PLAN #9b



Residential Foyer - Feature Canopy

Residential Foyer - Entrance Doors
(curtainwall system aluminum clear anodized)

Parkade Breeze-Way for Pedestrians
(curtainwall system aluminum clear anodized)

Metal Glass Canopy

C.R.U. Entry Portals:
• recessed entry doors
(aluminum clear anodized)
• metal cladding

No. 3 Road - Shopping Strip:
• Envisioned Use - Commercial Retail

MAR 10 2017



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REVISIONS
0 15-06-08 PREPARED FOR DP

PROJECT
Yuanheng Seaside
Development
LOT A
3031 - 3351 No. 3 Road
8751 Capstan Way

Streetscape Details
New East West Road

JOB NO. 11-03
DRAWN SV
DATE JAN 25, 2017
SCALE 1/4" = 1'-0"
DESIGNED WTL
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PLAN #9c



New East - West Road Plaza - Envisioned Use:
• Commercial Retail / Coffee Shop / Bistro

C.R.U. Entry Portals:
• entry doors (aluminum clear anodized)
• metal cladding

Metal Glass Canopy

Courtyard Access (curtainwall system aluminum clear anodized)

Parkade Entry Gate

Fibre Cement Cladding

Terracotta Panel

Residential Foyer Entrance Doors (aluminum curtain wall system clear anodized)

Residential Foyer Feature Canopy

Lobby

Parkade

DP 16-745853

AFFORDABLE RENTAL UNIT LEGEND

BACHELOR SUITE

1-BEDROOM UNIT

2-BEDROOM UNIT

3-BEDROOM UNIT

(NO HATCH = MARKET HOUSING UNIT)

MAR 10 2017

TOWER C

TOWER B

1

Key Plan Affordable Housing Units, 3rd Floor Plan / P-3 / Stage 1

TITLE Affordable Housing		SCALE 1/32" = 1'0"	DRAWN RB	JOB NO. 11-03		
DRAWING NUMBER PLAN #10b		DATE Jan 31, 2017				
REFERENCE DRAWING		W. T. LEUNG ARCHITECTS INC.				
PROJECT Yuanheng Seaside		© Copyright reserved. This plan and design is and at all times shall remain the property of W. T. Leung Architects Inc. and cannot be used without the Architects' consent.				

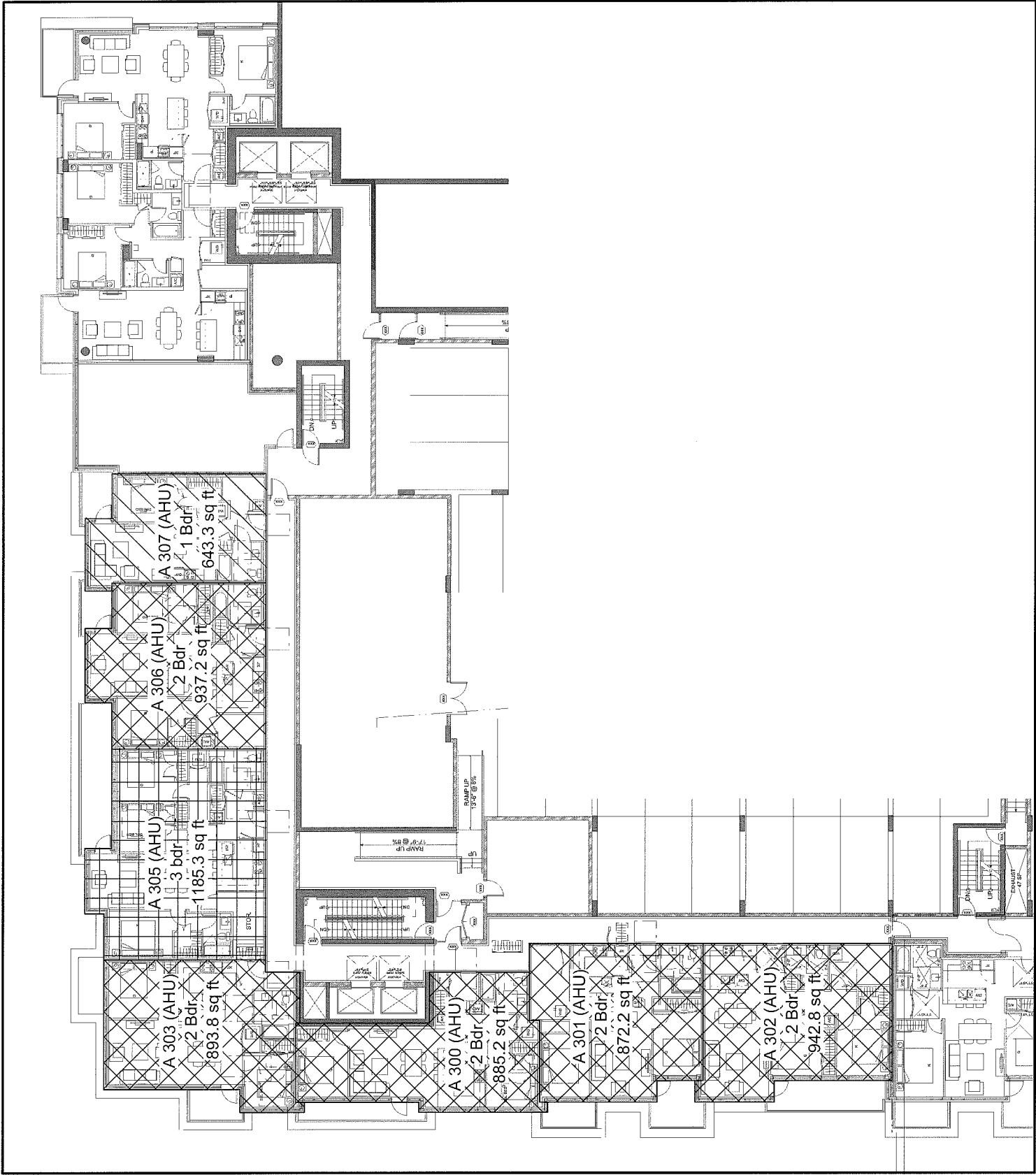
2017, March 6 10:43:39 PMTR PLAN #10 affordable housing.vwx

DP 16-745853

TOWER A

TOWER J

MAR 10 2017

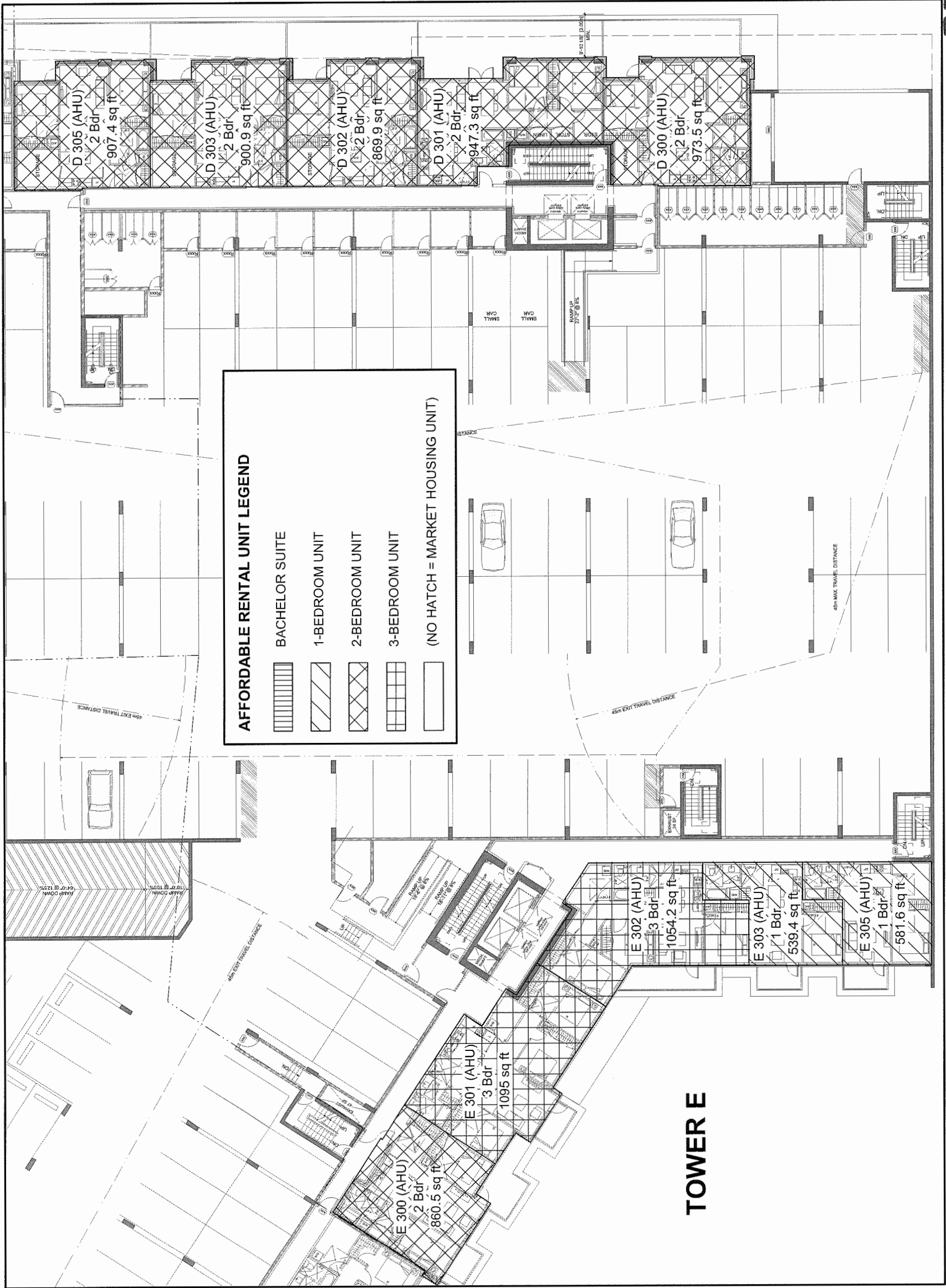


AFFORDABLE RENTAL UNIT LEGEND	
	BACHELOR SUITE
	1-BEDROOM UNIT
	2-BEDROOM UNIT
	3-BEDROOM UNIT
	(NO HATCH = MARKET HOUSING UNIT)

7, March 6 10:43:41 PMTR PLAN #10 affordable housing.vwx

DP 16-745853

TITLE Affordable Housing	SCALE 1/32" = 1'0"	DRAWN RB	JOB NO. 11-03
	DRAWING NUMBER PLAN #10c	DATE Jan 31, 2017	
	REFERENCE DRAWING	W. T. LEUNG ARCHITECTS INC. <small>© Copyright reserved. This plan and design is and of all times and in all jurisdictions the property of W. T. Leung Architects Inc. and cannot be used without the Architect's consent.</small>	
PROJECT Yuanheng Seaside			



TOWER D

TOWER E

2017, March 6 10:43:43 PMTR PLAN #10 affordable housing.vwx

DP 16-745853

TITLE Affordable Housing		SCALE 1/32" = 1'0"	DRAWN RB	JOB NO. 11-03
DRAWING NUMBER PLAN #10d		DATE Jan 31, 2017		
REFERENCE DRAWING		W. T. LEUNG ARCHITECTS INC.		
PROJECT Yuanheng Seaside				

AFFORDABLE RENTAL UNIT LEGEND

BACHELOR SUITE

1-BEDROOM UNIT

2-BEDROOM UNIT

3-BEDROOM UNIT

(NO HATCH = MARKET HOUSING UNIT)

MAR 10 2017

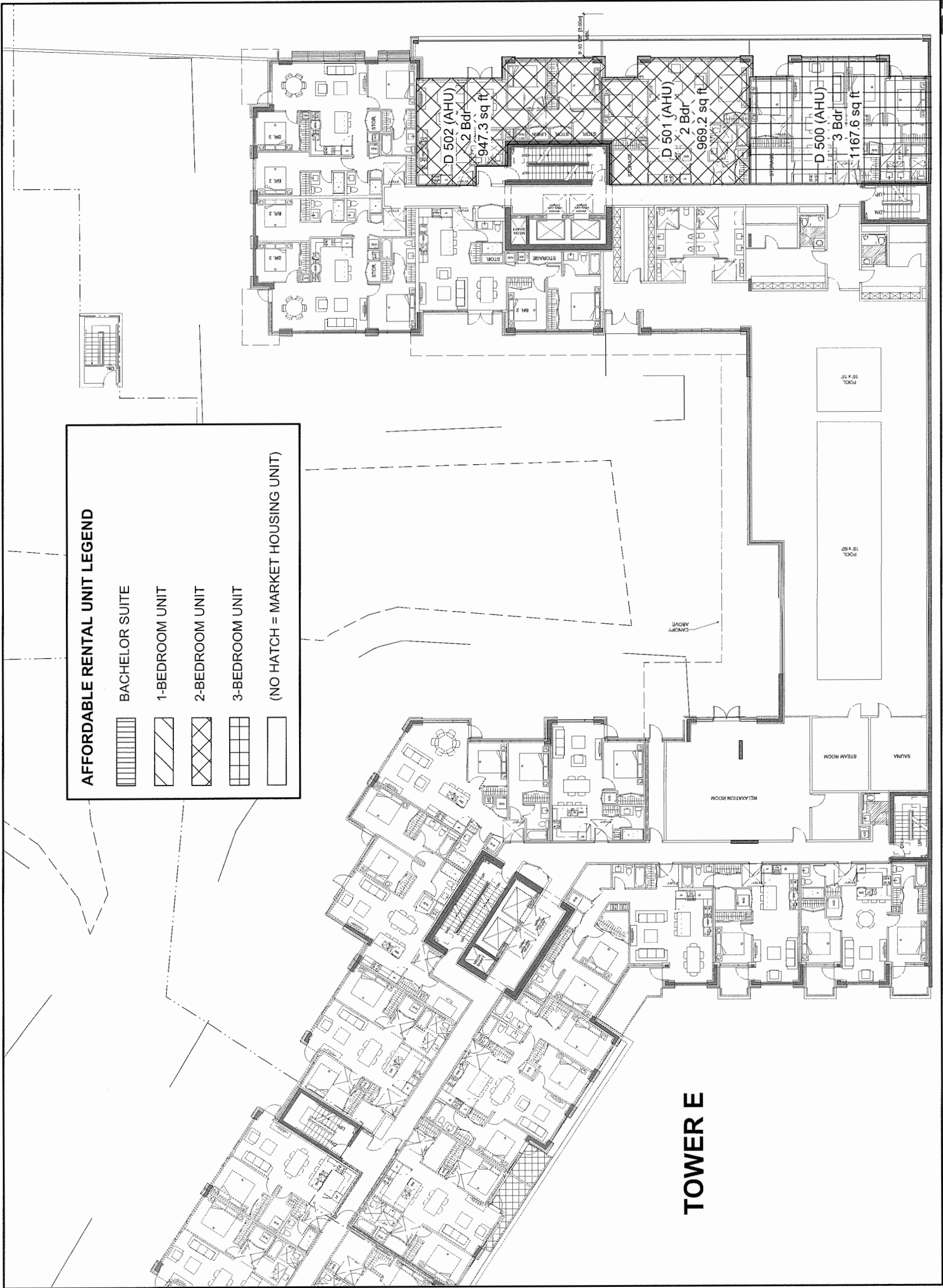
TOWER C

TOWER B

DP 16-745853

TITLE Affordable Housing		SCALE 1/32" = 1'0"	DRAWN RB	JOB NO. 11-03		
DRAWING NUMBER PLAN #10e		DATE Jan 31, 2017				
REFERENCE DRAWING		W. T. LEUNG ARCHITECTS INC.				
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1 Key Plan Affordable Housing Units, 4th Floor Plan / Courtyard / Stage 1



TOWER D

TOWER E

2017, March 6 10:43:48 PM TR PLAN #10 affordable housing.vwx

DP 16-745853

TITLE Affordable Housing		SCALE 1/32" = 1'0"	DRAWN RB	JOB NO. 11-03
DRAWING NUMBER PLAN #10f		DATE Jan 31, 2017		
REFERENCE DRAWING		W. T. LEUNG ARCHITECTS INC.		
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4.16 Basic Universal Housing Features (continued)
(as per Section 4: General Development Regulations)

Purpose

4.16.1 The basic universal housing features described in Section 4.16 are intended to facilitate ready access, use and occupancy of a dwelling unit by a person with a disability.

Building Access

4.16.2 Each dwelling unit and each type of amenity space shall be accessible to a person with a disability from a road and from an on-site parking area.

4.16.3 Access to the elevator shall be provided from both the road and the entry to the on-site parking area.

4.16.4 An automatic door opener shall be provided for the main entry.

Doors and Doorways

4.16.5 The minimum clear openings for all entry doors to every dwelling unit and doors in common areas shall be no less than 850.0 mm (which will be provided by a swing door). [Bylaw 8736, Sep 5/12]

4.16.6 The minimum clear opening for the interior doors to at least one bedroom, one accessible bathroom and to common living areas in every dwelling unit shall be no less than 800.0 mm (which will be provided by a swing door).

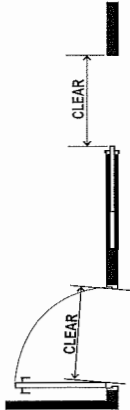
4.16.7 Doors in every dwelling unit and common areas shall be operable by devices that do not require tight grasping or twisting of wrist.

4.16.8 Flush thresholds throughout the building shall be a maximum of 13.0 mm in height.

4.16.9 The above-noted requirements for doors do not apply to mechanical rooms, service areas, closets, etc. where through access is not required and access to a person with a disability is not anticipated.

4.16.10 Clear openings shall be measured as illustrated in Figure 1 below.

Figure 1. Clear Opening Measurement For Doors

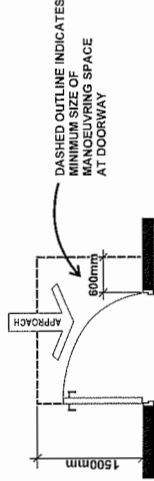


Manoeuvring Space at Doorways

4.16.11 Entry doors to every dwelling unit and door assemblies in common areas shall have a clear and level area which is not less than the following:

a) Where the door swings toward the area (pull door), 1500.0 mm long by the width of the door plus at least 600.0 mm clear space on the latch side, as illustrated in Figure 2 below. This requirement to apply to door assemblies to one bedroom and one bathroom in 2 bedroom and larger dwelling units. [Bylaw 8736, Sep 5/12]

Figure 2. Front Approach, Pull Side [Bylaw 8736, Sep 5/12]



b) Where the door swings away from the area (push door), 1220.0 mm long by the width of the door plus at least 300.0 mm clear space on the latch side, as illustrated in Figure 3 below. This requirement to apply to door assemblies to common living areas in every dwelling unit, and one bathroom and one bedroom in 2 bedroom and larger dwelling units. [Bylaw 8736, Sep 5/12]

4.16 Basic Universal Housing Features (continued)
(as per Section 4: General Development Regulations)

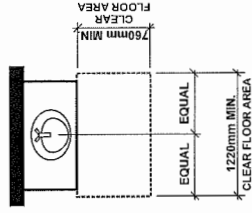
Bathrooms

4.16.23 At least one bathroom shall:

a) have a toilet positioned with the centre line of the toilet 420.0 mm to 480.0 mm from a side wall on which a grab bar can be installed and at least 510.0 mm from any obstruction on the non-grab bar side and at least 800.0 mm from any obstruction in front of the toilet; and [Bylaw 8736, Sep 5/12]

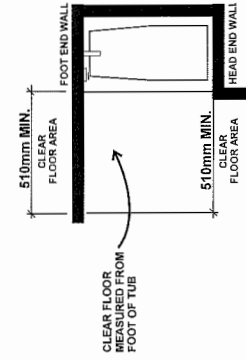
b) have a clear floor area at the sink of 760.0 mm by 1220.0 mm positioned for a parallel approach and centred on the sink, as illustrated in Figure 5 below.

Figure 5. Clear Floor Area at Sink



c) have a minimum clear area of 510.0 mm in depth along the full length of the bathtub, as illustrated in Figure 6 below. [Bylaw 8736, Sep 5/12]

Figure 6. Clear Floor Area at Tub [Bylaw 8736, Sep 5/12]



d) have structural reinforcement in walls behind and beside the toilet and the walls around the tub and/or shower to facilitate the installation of grab bars; and

e) include easy to grasp handles on faucets, e.g., lever-type faucets.

4.16.24 Where bathrooms are provided to serve a common amenity space, at least one shall be wheelchair accessible as described in the Building Code and the top of the rim of the toilet in that one bathroom shall be 480.0 mm above the floor.

Kitchens

4.16.25 The kitchen must have:

a) some usable counter space and cupboards that can be easily accessed by people with disabilities, including people with wheelchairs, e.g., continuous counter between the stove and sink; adjustable shelves in all cabinets; pull-out work boards at 810.0 mm height; and pull-out cabinet shelves;

b) easy to grasp handles on faucets, e.g., lever-type faucets;

c) easy to reach and grasp handles on cupboards, e.g., D or J type cabinet handles and grab edges under counters;

d) task lighting at sink, stove and key work areas; and

e) plumbing and utility pipes located to provide for a potential 810.0 mm wide under counter workspace so as not to prevent the easy future conversion of counter space and sinks to being universally accessible for knee space under the sink and where there is a counter top stove built in.

4.16 Basic Universal Housing Features (continued)
(as per Section 4: General Development Regulations)

Bedroom & Closet

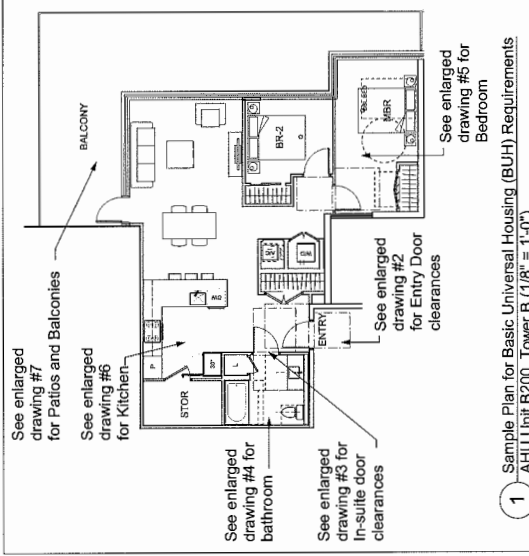
4.16.26 The space around a bed in a dwelling unit that consists of a bachelor suite and at least one bedroom in every other dwelling unit shall have sufficient space to provide a turning diameter of 1500.0 mm on one side of a double bed.

4.16.27 The clothes closet in a dwelling unit that consists of a bachelor suite and at least one bedroom in every other dwelling unit shall have a clear opening of at least 900.0 mm, clear floor space of at least 750.0 mm by 1200.0 mm and a clothes hanger rod that can be lowered to 1200.0 mm.

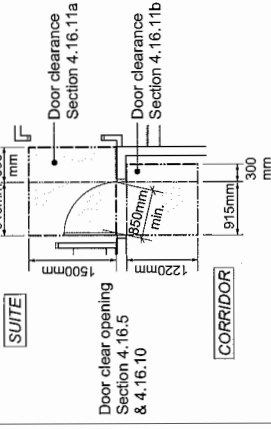
Patios and Balconies

4.16.28 Access doors shall have a minimum clear opening of 800.0 mm. [Bylaw 8736, Sep 5/12]

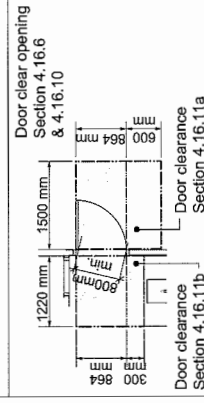
4.16.29 Minimum dimensions of any balcony or patio shall be 1500.0 mm by 1500.0 mm. This requirement does not apply to "Juliet" or "French" style of balcony or patio. [Bylaw 8736, Sep 5/12]



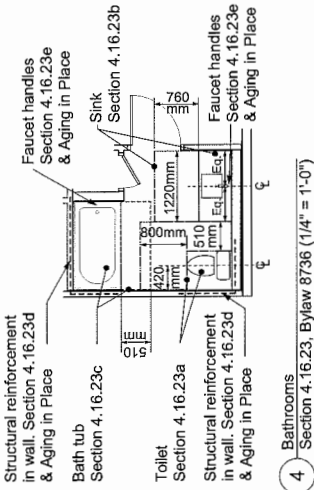
1 Sample Plan for Basic Universal Housing (BUH) Requirements
AHU Unit B200, Tower B (1/8" = 1'-0")



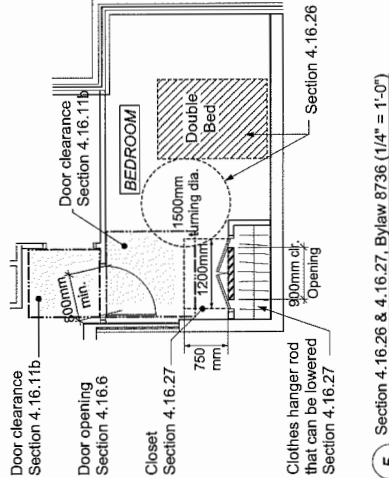
2 Suite Entry Door
Section 4.16.5, Bylaw 8736 (1/4" = 1'-0")



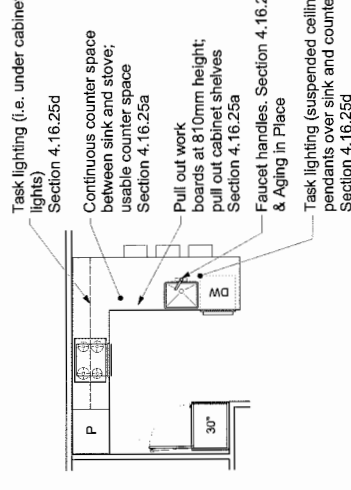
3 In-suite Door Clearances
Section 4.16.11, Bylaw 8736 (1/4" = 1'-0")



4 Bathrooms
Section 4.16.23, Bylaw 8736 (1/4" = 1'-0")



5 Bedroom & Closet
Section 4.16.26 & 4.16.27, Bylaw 8736 (1/4" = 1'-0")



6 Kitchens
Section 4.16.25, Bylaw 8736 (1/4" = 1'-0")

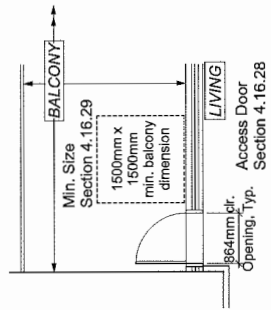
Aging in place is housing that is designed and built so that some accessibility features are provided now and so that others can be added more easily and inexpensively after construction.

Typical aging in place housing features include:

- stairwell handrails (as per BCBC)
- lever type handles for:
 - plumbing fixtures (see BUH Section 4.16.23e & 4.16.25b)
 - door handles (see BUH Section 4.16.7)
- solid blocking in washroom walls for future grab bars beside toilet, bathtub and shower. (See BUH Section 4.16.23c)

8 Aging in Place
Refer to page 3-17 of the OCP

7 Patios and Balconies
Section 4.16.28 & 4.16.29, Bylaw 8736 (1/4" = 1'-0")



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STAGE #	BTLAW SPACES (2.3m ² /unit)	INDOOR AMENITY SPACE			RESIDENT SPACES	
		BLOG	LEVEL	AREA	LOTA ONLY	LOTS A & B SHARED (T)
1	4,190.3 m ² (386.0 m ²)	B	4	547.3 m ²	✓	-
150 units		C	4	684.1 m ²	✓	-
		C	9	650.9 m ²	✓	-
		B	9	Temporary 2,226.0 m ²	✓	-
Sub- Total	4,980.3 m ² (335.0 m ²)			4103.3 m ²	4,103.3 m ²	NIL
2	3,616.7 m ² (338.0 m ²)	A	6	703.8 m ²	✓	-
168 units		A	1	494.1 m ²	✓	-
		A	3	719.0 m ²	✓	-
		J	4	897.7 m ²	✓	-
		J	1	1,077.1 m ²	✓	-
Sub- Total	3,616.7 m ² (335.0 m ²)			3,704.7 m ²	Added 3,750.7 m ²	NIL
3	3,810.4 m ² (344.9 m ²)	D & E	4	2,276.0 m ²	-	✓
177 units		E	5	630.5 m ²	✓	-
		E	1	611.5 m ²	✓	-
		B	9	Removed 2,226.0 m ²	Removed 2,226.0 m ²	-
Sub- Total	3,810.4 m ² (344.9 m ²)			6,491.0 m ²	2,226.0 m ² (2)	Added 2,226.0 m ² (2)
TOTAL 353 units	11,517.4 m ² (1,070.0 m ²)			PROPOSED 14,330.7 m ²	7,079.0 m ²	7,151.0 m ²

3) Amenity spaces shared by the residents of Lots A & B include 2/275.0 m² of indoor amenity space (i.e. pool, steam, sauna & hot tub) and 1/611.5 m² of outdoor amenity space (i.e. pool, steam, sauna & hot tub) and the entirety of the common outdoor amenity spaces (i.e. pool, steam, sauna & hot tub) and the entirety of the common outdoor amenity spaces (i.e. pool, steam, sauna & hot tub) on the north side of Lot A (i.e. NOT via Lot A tower lobbies/corrs).
 2) Temporary amenity space must be maintained by the developer for the use of residents until 100% of the proposed Stage 2, 3 & 4 indoor amenity spaces have received final Building Permit Issuance granting occupancy.

$$z -$$

ISSUE/REVISION									
A	4/22/76							PHEILM BUDGET ISSUED FOR R.Z.	
C	10-6-76							ISSUED FOR D.P.	
D	10-6-26							ISSUED FOR ADP.	
E	16-11-08							RE-ISSUED FOR D.P.	
F	16-11-08							RE-ISSUED FOR D.P.	
G	17-01-25								
H	17-02-06								

**Yuanheng Seaside
Development
LOT A**

**INDOOR
AMENITY
DIAGRAMS**

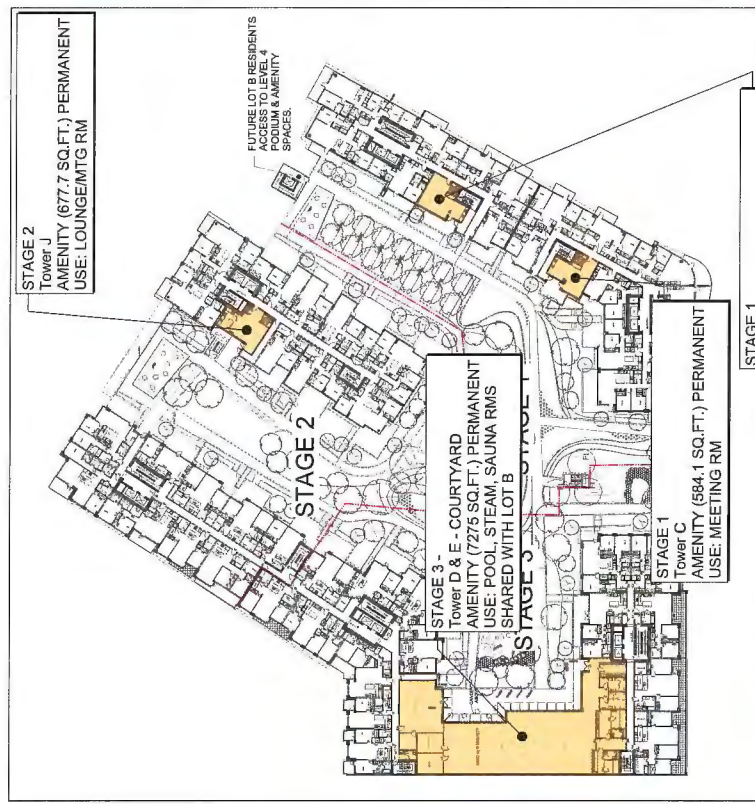
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DATE	FEB 20, 2016
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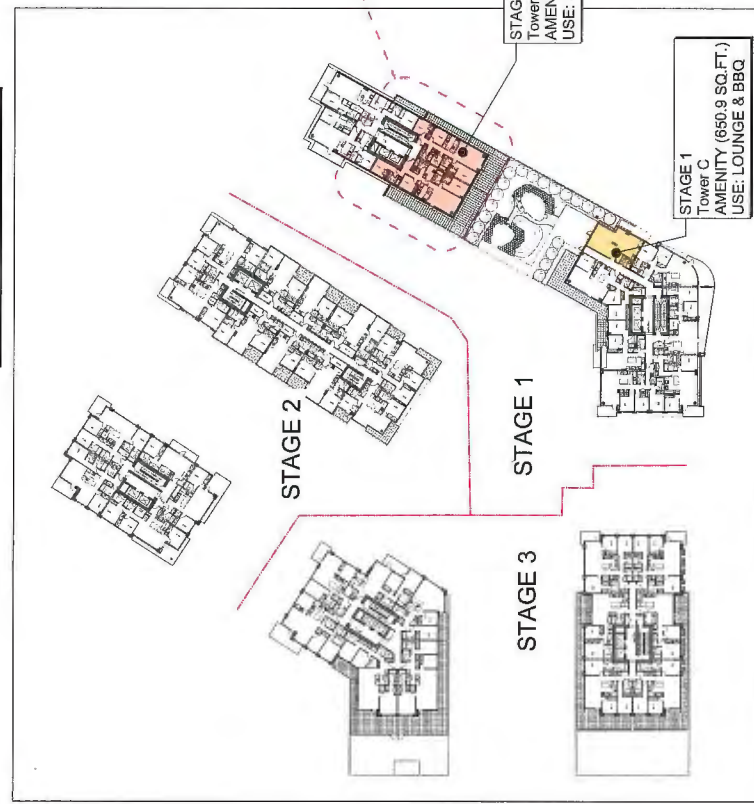
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PLAN #12

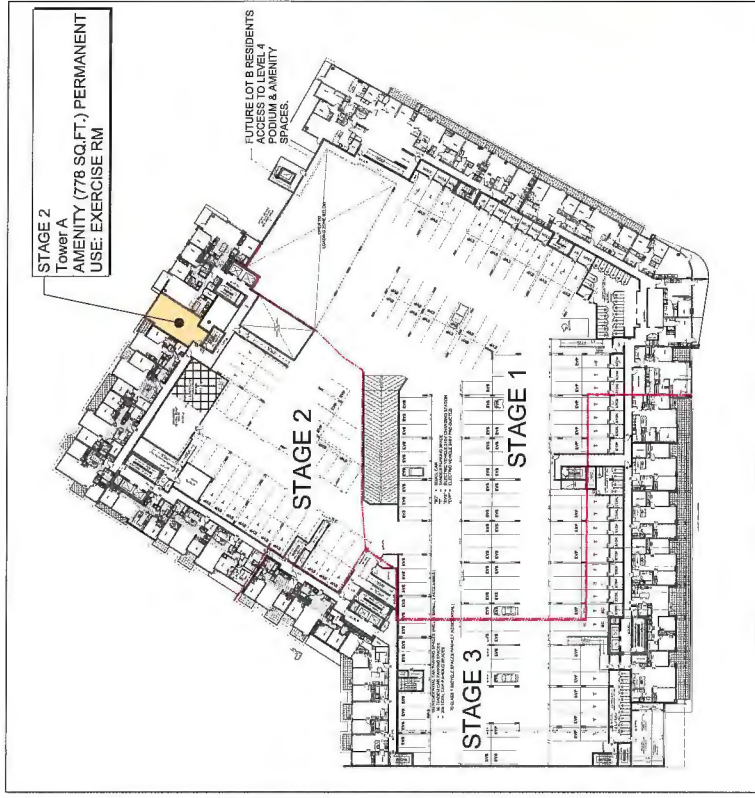
DP 16-745853



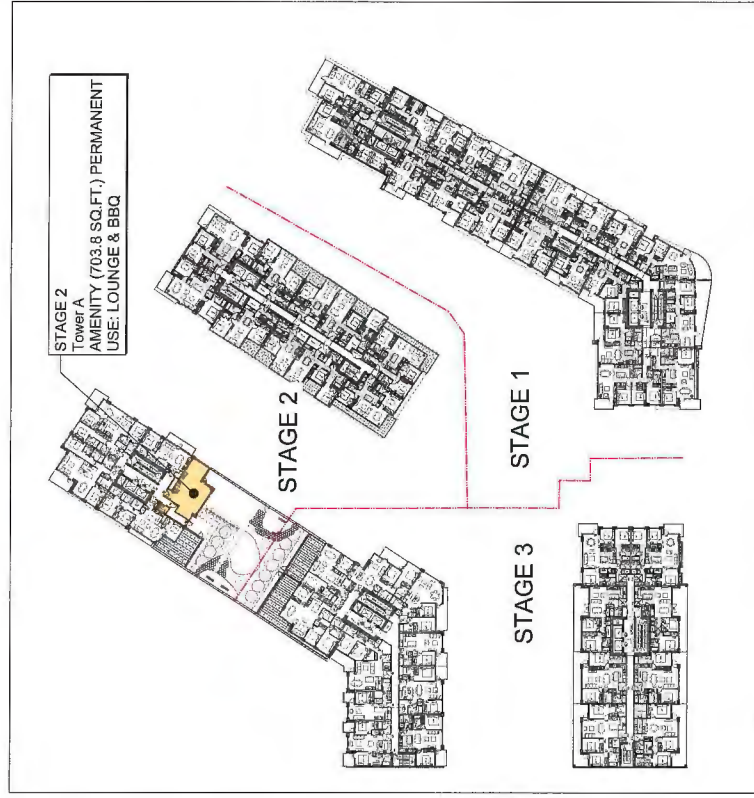
4th Floor Plan



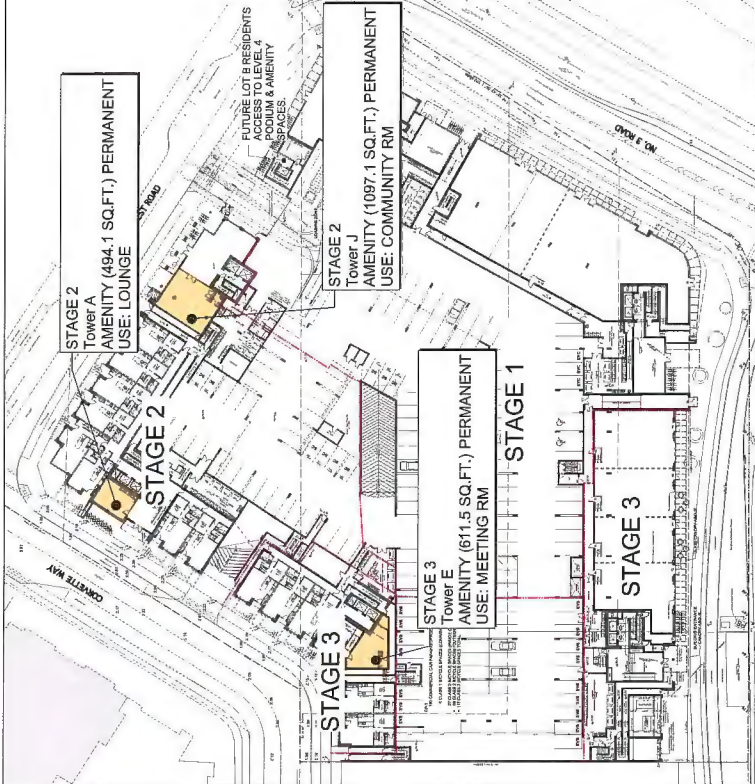
9th Floor Plan



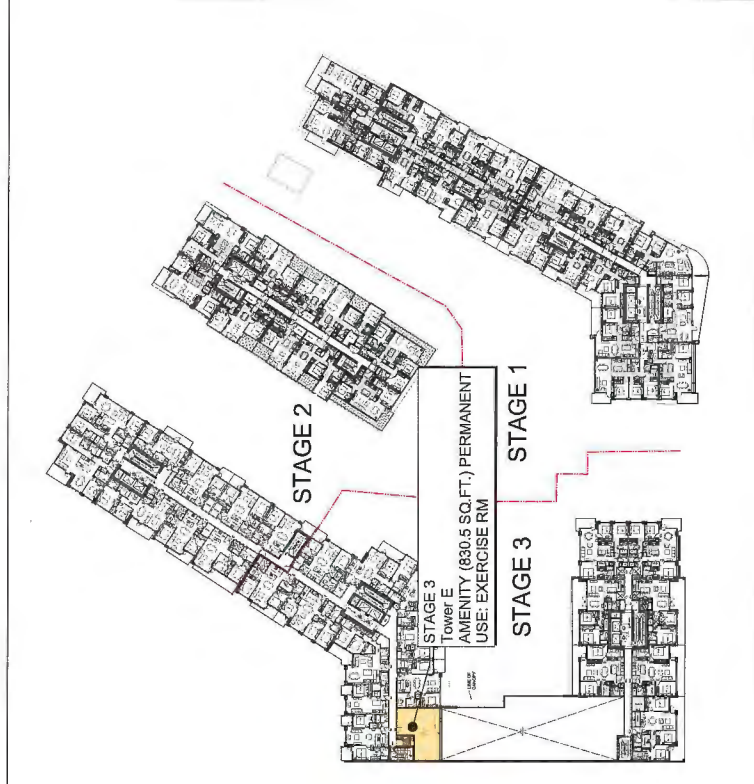
3rd Floor Plan



3th Floor Plan



1st Floor Plan



1st Floor Plan

MAR 10 2017

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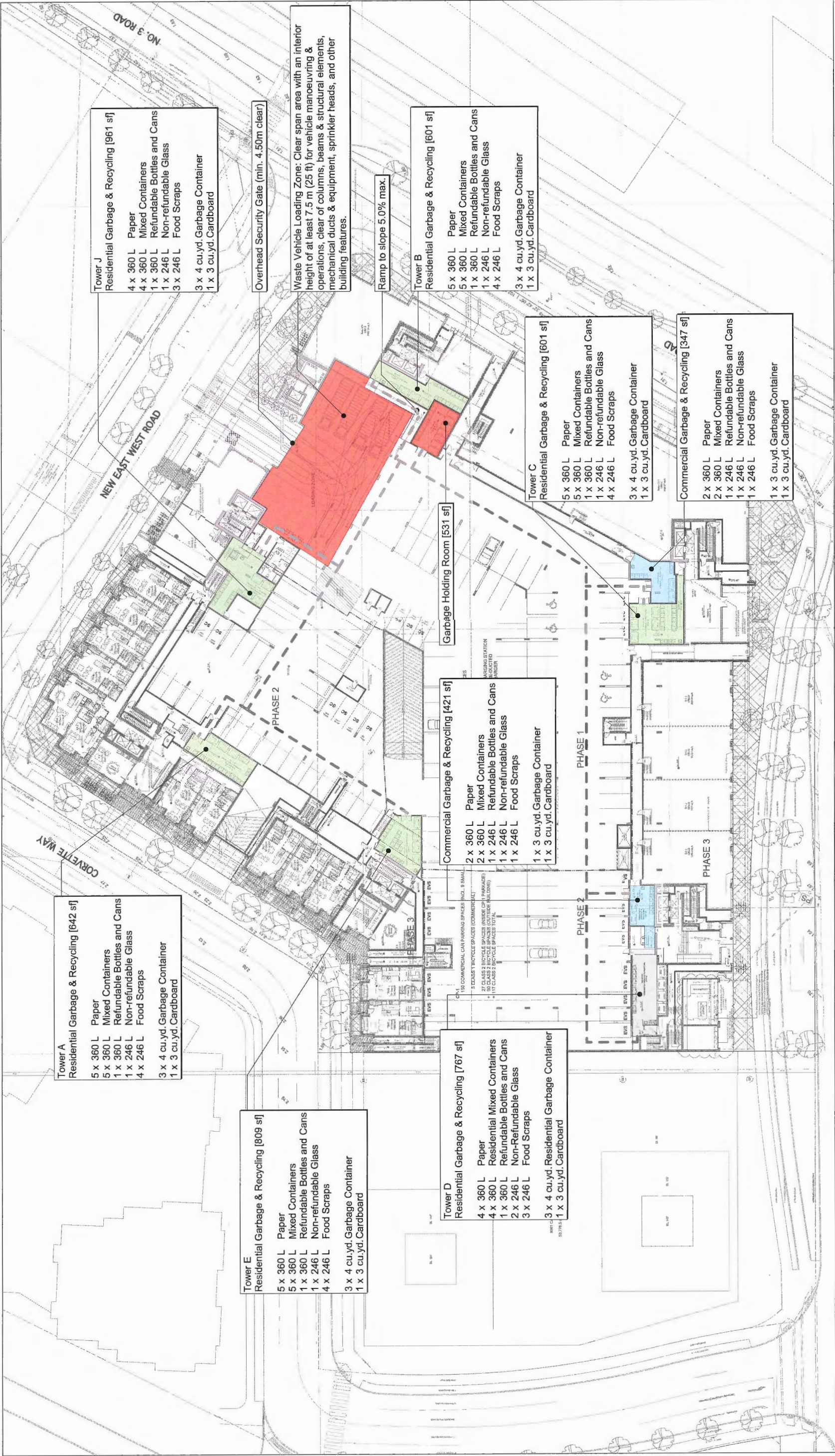
REVISIONS
A. 10/16/16
B. 10/16/16
C. 10/16/16
D. 10/16/16
E. 10/16/16
F. 10/16/16
G. 10/16/16
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T. 10/16/16
U. 10/16/16
V. 10/16/16
W. 10/16/16
X. 10/16/16
Y. 10/16/16
Z. 10/16/16

PROJECT
Yuanheng Seaside
Development
LOT A
3031 - 3351 No. 3 Road
8151 Capstan Way

Waste Management
Plan

JOB NO. 11-03
DRAWN LURBSV
DATE May 23, 2015
SCALE 1:250
CHECKED WTL
PROJECT NO. 11-03

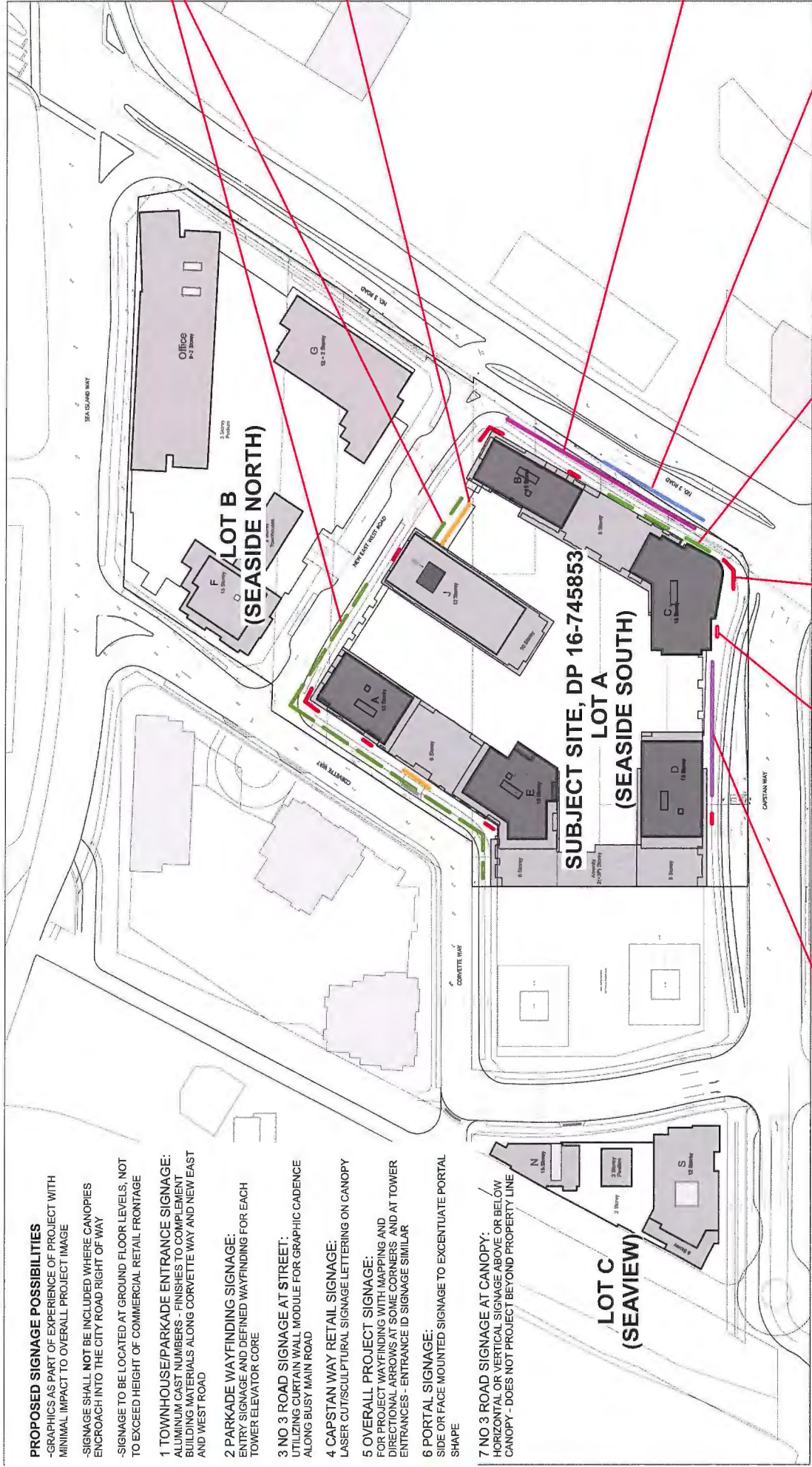
PLAN #13



DP 16-745853



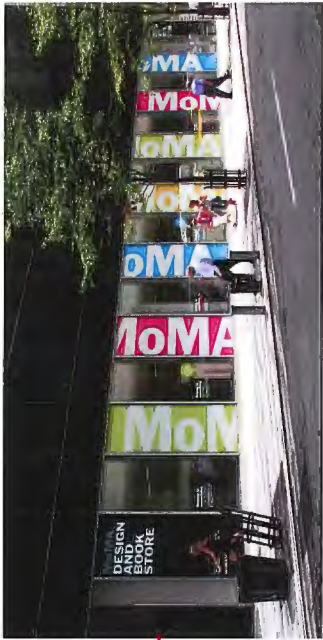
REVISIONS
G 12/25/06
REDESIGNED FOR CP



1 TOWNHOUSE ADDRESS/PARCADE SIGNAGE AS ALUMINUM CAST



2 PARKADE WAYFINDING



3 SIGNAGE WITHIN CURTAIN WALL MODULE ALONG NO 3 RD



4 ON OR ABOVE CANOPY AS SCULPTURAL OBJECT



5 PROJECT WAYFINDING WITH MAP/DIAGRAM OF SITE



6 ON PORTAL FACE OR SIDEWALLS



7 HORIZONTAL OR VERTICAL SIGNAGE ABOVE CANOPY

PROJECT
Yuanheng Seaside
Development
LOT A
3051 - 3351 No. 3 Road
8151 Capstan Way

SIGNAGE PLAN

DWG NO.	11-03
DRAWN	SV
DATE	JAN 25, 2016
SCALE	1:500
CHECKED	WTL

NOTES:
1. All signage shall be designed to be visible from the street and to be visible from the building entrance.
2. All signage shall be designed to be visible from the street and to be visible from the building entrance.
3. All signage shall be designed to be visible from the street and to be visible from the building entrance.

PLAN #14