



**City of
Richmond**

Report to Development Permit Panel

To: Development Permit Panel

Date: August 17, 2015

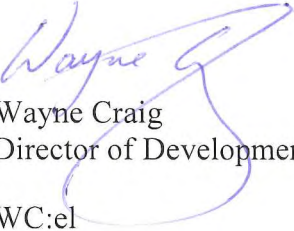
From: Wayne Craig
Director of Development

File: DP 14-674133

Re: Application by Western Verona Garden Holdings Ltd. for a Development Permit
at 9211 and 9231 No. 2 Road

Staff Recommendation

That a Development Permit be issued which would permit the construction of ten (10) townhouse units at 9211 and 9231 No. 2 Road on a site zoned "Low Density Townhouses (RTL4)".


Wayne Craig
Director of Development
WC:el

Staff Report

Origin

Western Verona Garden Holdings Ltd. has applied to the City of Richmond for permission to develop ten (10) townhouse units at 9211 and 9231 No. 2 Road. The site is being rezoned from “Single Detached (RS1/E)” to “Low Density Townhouses (RTL4)” for this project under Bylaw 9132 (RZ 12-620563), which received Third Reading following the Public Hearing on May 20, 2014. The site currently contains two (2) single-family homes (one on each lot), which will be demolished.

Frontage improvements were secured through the rezoning process and will be constructed through a separate Servicing Agreement (SA 15-695628), which must be entered into prior to final adoption of the rezoning bylaw. Works include, but are not limited to: removal of the existing sidewalk, construction of a new bus pad and a 1.5 m concrete sidewalk at the new property line as well as a 2.0 m grass and treed boulevard.

Development Information

Please refer to attached Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

To the north, a single-family home on a lot zoned “Single Detached (RS1/E)” and then a commercial building on a lot zoned “Local Commercial (CL)” located at the south-west corner of No. 2 Road and Maple Road;

To the east, across No. 2 Road, a four-storey senior’s apartment building (three-storeys over parking) on a lot zoned “Medium Density Low Rise Apartments (RAM1)” and the Christian Reformed Church of Richmond on a lot zoned “Assembly (ASY)”; and a 15-unit townhouse development (RZ 10-516267/DP 12-624891, under construction) at the south-east corner of No. 2 Road and Maple Road;

To the south, existing single-family dwellings on lots zoned “Single-Detached (RS1/E)”; and

To the west, existing single-family dwellings on lots zoned “Single-Detached (RS1/B)”.

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on May 20, 2014. The following concerns were expressed during the Public Hearing. The response to the concern is provided in *italics*.

1. This development will negatively impact the living conditions resulting from the blockage of airflows and privacy invasion.

Small cluster of buildings with adequate distance between them should not block air flow. The proposed finished site grade is approximately two (2) feet higher than neighbouring properties to the west. A six foot fence over an existing retaining wall and a ten (10) foot

tall cedar hedge along the west property line are proposed to address the privacy issues. In addition, a large hedgerow at the northwest corner of the site will be protected and retained as a privacy screen. Arbours at each end of the proposed internal road are also proposed to enhance privacy to the residential developments to the north and south.

2. The proposed townhouses will be built too close to the existing homes.

The proposed building setback to the west property line is 4.5 m and the proposed setbacks to the north and south property lines are a minimum of 3.0 m; these setbacks meet the zoning bylaw requirements and the Development Permit guidelines for arterial road townhouse developments.

3. Concern with the potential for public hygiene issues emanating from the centralized garbage area and noise issues.

The garbage, recycling and organic waste storage enclosures are integrated into the street fronting buildings, and located away from the property line.

4. The proposed development will have traffic impacts on Maple Road.

Vehicle access to the townhouses will be provided from No. 2 Road. Transportation Department staff has confirmed that the current traffic configuration can accommodate this small infill development, and have no concerns. In addition, the No. 2 Road / Maple Road intersection will be signalized as part of the development at the southeast corner of No. 2 Road and Maple Road (RZ 10-516267).

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is in compliance with the “Low Density Townhouses (RTL4)” zone.

Advisory Design Panel Comments

The Advisory Design Panel supported the design of the project and the Design Panel’s suggested design changes have been incorporated into the proposal. A copy of the relevant excerpt from the Advisory Design Panel Minutes from Thursday, April 16, 2015 is attached for reference (Attachment 2). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in ‘***bold italics***’.

Analysis

Conditions of Adjacency

- The proposed height, siting and orientation of the buildings generally address the massing of the surrounding residential developments and are consistent with other townhouse projects in the immediate surrounding area.
- Two (2) triplex buildings are proposed along No. 2 Road. The end units adjacent to the north and south side yards are stepped down from three (3) storeys to two (2) storeys to

compliment the adjacent single-family developments and balance the streetscape along No. 2 Road.

- Two-storey duplex units are proposed along the rear property line to address privacy and overlook concerns. The proposed roof line has been minimized to diminish the impact of shadowing and scale to the neighbours.
- The proposed rear yard setbacks of 4.5 m on the ground floor and 6.0 m on the second floor meet the minimum rear yard setback specified in the “Low Density Townhouses (RTL4)” zone and in the Arterial Road Guidelines for Townhouses in the OCP.

Urban Design and Site Planning

- The proposed site layout provides for an attractive pedestrian-oriented streetscape of townhouses fronting No. 2 Road, complete with a landscaped edge treatment, low metal fencing, and metal gates to individual townhouse unit front doors.
- The internal road layout is a T-shape with future connections to the neighbouring properties to the north and south, secured by Statutory Rights of Way, secured at Rezoning.
- All units have two (2) vehicle parking spaces. Tandem parking spaces are proposed in two (2) units. A Restrictive Covenant prohibiting the conversion of tandem parking area into habitable area has been secured at rezoning.
- A total of three (3) visitor parking spaces are proposed, which exceeds the minimum bylaw requirement. No accessible visitor parking space is required for this 10 unit townhouse development. Both residential and visitor bicycle parking are provided and are also in compliance with the zoning bylaw requirements.
- The required outdoor amenity area is proposed at the northeast corner of the site adjacent to the tree protection area. The size and location of the outdoor amenity space is appropriate in providing open landscape and amenity space convenient to all of the units.
- The required garbage, recycling and organic waste storage enclosures have been incorporated into the design of the townhouse clusters to minimize their visual impact.

Architectural Form and Character

- Each street facing building incorporates an asymmetrical arrangement that steps down from the center of the development to the exterior of the site. Within each building cluster, this asymmetry is supported by recesses, bays, porches and material in a manner that produces balance in the overall building.
- The exterior form and materials are reminiscent of heritage style architecture. The building character includes several elements common to a heritage design, including sloped roofs, bay windows, front porches and gable roofs.
- The impact of blank garage doors has been mitigated with panel patterned doors, transom windows and planting islands along the drive aisle.
- The proposed building materials (asphalt roof shingles, horizontal lap/vertical siding, hardi panel, wood fascia/trim/dentil/bracket, and stone) are generally consistent with the Official Community Plan (OCP) Guidelines and compatible with the existing single-family character of the neighbourhood.

Tree Preservation

- Tree preservation was reviewed at rezoning stage and endorsed by the City's Tree Preservation Coordinator. A hedgerow located along the north property line was identified for retention; 13 of the trees that form part of this hedgerow were to be retained and protected.
- The developer has proposed to remove four (4) additional trees from the hedgerow along the north property line (at the west end of the hedgerow) to allow for the internal drive aisle extension up to the north property line. This internal road is required to provide future access to the adjacent property to the north; and the construction of this internal road as part of this proposal will minimize the impact to the future residents at this development when the adjacent property to the north is being redeveloped. To compensate for the additional tree removal, the developer proposed to retain two (2) additional bylaw-sized trees (that are in fair condition but were identified for removal at the rezoning stage) as well as three (3) undersized trees (not shown on the previous tree retention plan) that form part of this hedgerow. The City's Tree Preservation Coordinator has reviewed the updated Arborist Report and has approved the proposed revision to the Tree Preservation Plan.
- Tree protection fencing is required to be installed as per the Arborist Report recommendations prior to any construction activities (including demolition) occurring on-site.
- A Tree Survival Security will be required as part of the Landscape Letter of Credit at Development Permit stage to ensure that the hedgerow will be protected. No Landscape Letter of Credit will be returned until the post-construction assessment report, prepared by the Arborist, confirming the protected hedge rows survived the construction, is reviewed by staff.
- A total of 21 bylaw-sized trees noted on-site are now identified for removal, due to general poor condition, proposed grade changes, and conflict with the building envelope and drive aisle location.
- 42 replacement trees are required based on the 2:1 tree replacement ratio goal stated in the Official Community Plan (OCP).
- Considering the effort made by the applicant to retain the hedgerow along the north property line, staff recommend eight (8) replacement trees be exempted from replacement.
- The applicant is proposing to plant 21 replacement trees on-site; a voluntary contribution of \$6,500 to the City's Tree Compensation Fund in lieu of planting the remaining 13 replacement trees has been secured at Rezoning.

Landscape Design and Open Space Design

- The proposed replacement trees include 10 conifers and 11 deciduous trees. Hedges, shrubs and ground covers, as well as perennials and grasses have been selected to ensure the landscape treatment remains interesting throughout the year.
- A pedestrian-oriented streetscape along No. 2 Road is proposed with a landscaped edge treatment, low metal fencing with brick clad columns, and gates to individual townhouse unit front doors.
- Each unit will have a private yard with landscaping and lawn area.

- Vines on wall trellises are proposed along the internal drive aisle to increase landscaping opportunity.
- The north and south end of the interior road will be treated with an arbour structure, vines and fence behind to screen views into the neighbouring properties.
- The entry driveway and portion of the internal drive aisle will be treated with permeable pavers for better water infiltration and variety in paving surfaces. Visitor parking stalls will be treated with grass pavers (GrassPave2) for additional storm water mitigation and added green space.
- The outdoor amenity area is proposed at the northwest corner of the site. Due to the conflicts between the needs of keeping the existing grade level for the retained trees and having to raise the interior road elevation, the outdoor amenity area will be divided into upper and lower levels. In addition to the ramp along the south edge of the outdoor amenity area, an embankment slide and slab steps will be provided to connect the two (2) levels of play areas.
- At the upper level of the outdoor amenity area, rubber surfacing will provide a safe surface for tots. On the lower level of the outdoor amenity area, the treed area and the proposed tunnel log together will provide a natural play area for children at various ages.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$183,918.00 in association with the Development Permit.
- Indoor amenity space is not proposed on-site. A \$10,000 cash-in-lieu contribution has been secured as a condition of rezoning approval, consistent with the OCP.

Crime Prevention Through Environmental Design

- The architect advised that the following CPTED design/features are incorporated into the proposal:
 - Clear site lines provide unobstructed views of surrounding area.
 - Plantings near residential entries are low to maximize views.
 - All entrances are visible and overlooked by pedestrians or by neighbour's windows.
 - The landscape design avoids hiding places that would conceal criminals.
 - Security lights including wall mounted lighting for drive aisles and lighting at entries to provide adequate outdoor security illumination.

Sustainability

- The applicant has committed to achieving an EnerGuide rating of 82 for the proposed town houses and to pre-ducting all units for solar hot water heating.
- A Certified Energy Advisor has confirmed that the proposed townhouse units will be designed to achieve an EnerGuide rating of 82. The report prepared by the Energy Advisor is on file and will be utilized through the Building Permit review process to ensure these measures are incorporated in the permit drawings.
- A legal agreement is required to be registered on-title prior to issuance of the Development Permit to ensure that all units are designed to achieve an EnerGuide rating of 82 (as detailed by the Certified Energy Advisor), and to include pre-ducting for solar hot water heating.

- The developer also advises that the following sustainability features will be incorporated into the development:
 - Sustainable site features include the use of drought tolerant or native dominant plantings, and the use of locally available materials where possible and permeable surfaces wherever possible.
 - Climate-based automatic irrigation controls will minimize the use of water on site.
 - Exterior building materials such as hardie siding, hardie shingle and stone require low maintenance and provide highly durable surfaces.
 - Low-emitting paint will be used for suite interiors.
 - The buildings are located and windows placed to maximize natural light and ventilation.
 - Building and site lighting will provide safe light levels while avoiding off-site light spillage and night-sky lighting.
 - Low energy appliances will be installed in all units (e.g., 'Energy Star' rated).
 - Each unit will have at least 6 CFL light bulbs.

Accessible Housing

- The proposed development includes one (1) convertible unit that is designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of these units will require installation of a chair lift (where the staircase has been dimensioned to accommodate this in unit 9B) in the future, if desired.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
 - stairwell hand rails;
 - lever-type handles for plumbing fixtures and door handles; and
 - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Conclusions

The applicant has satisfactorily addressed staff's comments regarding conditions of adjacency, site planning and urban design, architectural form and character, and landscape design. The applicant has presented a development that fits into the existing context. On this basis, staff recommend support of this Development Permit application.



Edwin Lee
Planner 1

EL:rg

Attachment 1: Development Application Data Sheet

Attachment 2: Excerpt from the Minutes of the Advisory Design Panel Meeting – April 16, 2015

The following are to be met prior to forwarding this application to Council for approval:

- Final adoption of the Zoning Amendment Bylaw 9132.
- Registration of a restrictive covenant and/or alternative legal agreement(s), to the satisfaction of the City, securing the owner's commitment to have the proposed development achieving Energuide 82 requirements and pre-ducted for solar hot water. This covenant and/or legal agreement(s) will include, at minimum, that no building permit will be issued for a building on the subject site unless the building is designed to achieve Energuide 82 requirements and pre-ducted for solar hot water; and that the owner has provided a professional report by a Certified Energy Advisor (CEA), to the satisfaction of the Director of Development.
- Receipt of a Letter-of-Credit for landscaping and hedge survival in the amount of \$183,918.00; Letter-of-Credit will not be released until the Letter of Assurance from the Landscape Architect confirming that landscaping are installed as per Development Permit, as well as the Post Construction Impact Assessment Report from the Arborist confirming that the protected hedgerow survived the construction, are reviewed by staff.
- Submission of a Contract entered into between the applicant and a Certified Arborist for supervision of any on-site works conducted near and within the tree protection zone of the trees to be retained. The Contract should include the scope of work to be undertaken, including: the proposed number of site monitoring inspections, and a provision for the Arborist to submit a post-construction assessment report to the City for review.

Prior to future Building Permit issuance, the developer is required to complete the following:

- Should the applicant wish to begin site preparation work after third reading of the rezoning bylaw, but prior to final adoption of the rezoning bylaw and issuance of the Development Permit, the applicant will be required to obtain a Tree Permit and submit landscaping security (i.e. \$33,000 in total) to ensure the replacement planting will be provided.
- Incorporation of energy efficiency, CPTED, sustainability, and accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
- Submission of fire flow calculations signed and sealed by a professional engineer, based on the Fire Underwriters Survey to confirm that there is adequate available water flow.
- Submission of DCC's (City & GVS&DD), School site acquisition charges, Address Assignment Fee, and servicing charges, etc.
- Obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Division at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Division (<http://www.richmond.ca/services/ttp/special.htm>).
- If applicable, payment of latecomer agreement charges associated with eligible latecomer works.



DP 14-674133

Attachment 1

Address: 9211 and 9231 No. 2 Road

Applicant: Western Verona Garden Holdings Ltd. Owner: Western Verona Garden Holdings Ltd.

Planning Area(s): Blundell

Floor Area Gross: 1,939.75 m² Floor Area Net: 1,500.15 m²

	Existing	Proposed
Site Area:	2,297 m ²	2,266.55 m ²
Land Uses:	Single-Family Residential	Multiple-Family Residential
OCP Designation:	Neighbourhood Residential	No Change
Zoning:	Single Detached (RS1/E)	Low Density Townhouses (RTL4)
Number of Units:	2	10

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.60	0.60	none permitted
Lot Coverage – Building:	Max. 40%	39.3%	none
Lot Coverage – Non-porous Surfaces:	Max. 65%	64.42%	none
Lot Coverage – Landscaping:	Min. 25%	26.16%	none
Setback – Front Yard (m):	Min. 6.0 m	6.02 m Min.	none
Setback – North Side Yard (m):	Min. 3.0 m	3.31 m Min.	none
Setback – South Side Yard (m):	Min. 3.0 m	3.3 m Min.	none
Setback – Rear Yard (m):	Min. 3.0 m	4.5 m Min.	none
Height (m):	Max. 12.0 m (3 storeys)	11.89 m Max.	none
Lot Width:	Min. 50.0 m	50.25 m	none
Off-street Parking Spaces – Regular (R) / Visitor (V):	2 (R) and 0.2 (V) per unit	2 (R) and 0.28 (V) per unit	none
Off-street Parking Spaces – Total:	22	23	none
Tandem Parking Spaces:	Max. 50% of proposed residential spaces (20 x Max. 50% = 10)	4	none

Small Car Parking Spaces	None when fewer than 31 spaces are provided on site	0	none
Handicap Parking Spaces:	None when fewer than 3 visitor parking spaces are required	0	none
Amenity Space – Indoor:	Min. 70 m ² or Cash-in-lieu	Cash-in-lieu	none
Amenity Space – Outdoor:	Min. 6 m ² x 10 units = 60 m ²	106.6 m ²	none

**Excerpt from the Minutes from
The Design Panel Meeting**

**Thursday, April 16, 2015 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall**

Panel Discussion

Comments from the Panel were as follows:

- well-handled project and responds well to its site context; well-resolved roof pitches;
No comment.
- proposed materials and colours are commonly used in similar developments; consider different materials and colours to provide identity to the project;
We have considered material and colour again and concluded the proposed colours are appropriate.
- appreciate the site lay-out and the spacious residential units;
No comment.
- appreciate the massing; looks top-heavy on the elevations but well-balanced on the oblique view;
No comment.
- back units respond to the neighbours' concern;
We revised the design and changed two windows in the middle to box-out windows to break up the row of the windows.
- agree with comment regarding the proposed materials for the project; consider replacing vinyl with hardie;
The vinyl has been replaced with Hardi lap siding.
- good building elevation proportions; appreciate the use of cultured stones;
No comment.
- appreciate the notion of snakes and ladders in the outdoor amenity area;
No comment.
- consider introducing built-up benches that can be used for seating and play purposes;
Benches are actually made of components of play structures left over from the manufacturing process of larger climbing apparatuses. The multicoloured graphic and unusual nature of the benches is intended to spark creative interest.

- agree with the suggestion to replace vinyl with hardie particularly at the street level to enhance the pedestrian experience in the proposed development;
The vinyl has been replaced with Hardi lap siding.
- appreciate the landscaping for the project, e.g. texture, paving and materiality;
No comment.
- the project is well-composed;
No comment.
- the two-storey rear buildings relate well vertically with the neighbouring single family homes; however, consider breaking up the volume by introducing elements and further architectural treatment, including breaking up the row of windows at the back of the rear buildings;
We revised the design and changed two windows in the middle to box-out windows to break up the row of the windows.
- consider introducing public art in the proposed development;
No comment.
- the project appears to meet Energuide 82 rating;
No comment.
- consider using more energy efficient windows in lieu of the currently proposed R2 windows;
Our windows will meet BCBC requirements or better and will help us achieve EnerGuide82.
- good massing for a small project; appropriate for the neighbourhood; rooflines of the rear buildings not an issue;
No comment.
- residential unit entries are a little tight; look at window placement to ensure that privacy issues are addressed;
Front yard porch revised to provide 5' x 5' landing area.
- the proposed location of double car garages in Units 1A and 10A at the entry drive aisle pose a safety issue; consider introducing traffic calming measures at the driveway entry to mitigate this safety concern;
We proposed a decorative paver at the site entry and at the "T" intersection to provide the sense of entering to different area to slow the drivers down.
- consider a pocket door in lieu of a swing door in the powder room of the convertible unit to create more manoeuvring space and usable floor area;
We considered the suggestion but there is not enough sidewall for pocket door.

- appreciate the lay-out of the outdoor amenity area; however, review the planting proposal to ensure good visibility of the area; and
Plant material is low or higher canopied. No CEPTD issues were brought up at ADP.
- review the landscaping proposal to ensure privacy of the front units in view of the future location of the bus shelter.
Hedging has been added to the back of the bus stop.



City of Richmond

Development Permit

No. DP 14-674133

To the Holder: WESTERN VERONA GARDEN HOLDINGS LTD.
Property Address: 9211 AND 9231 NO. 2 ROAD
Address: C/O WAYNE FOUGERE ARCHITECTURE INC.
202 – 2425 QUEBEC STREET
VANCOUVER, BC V5T 4L6

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #23 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$183,918.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 14-674133

To the Holder: WESTERN VERONA GARDEN HOLDINGS LTD.

Property Address: 9211 AND 9231 NO. 2 ROAD

Address: C/O WAYNE FOUGERE ARCHITECTURE INC.
202 – 2425 QUEBEC STREET
VANCOUVER, BC V5T 4L6

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF

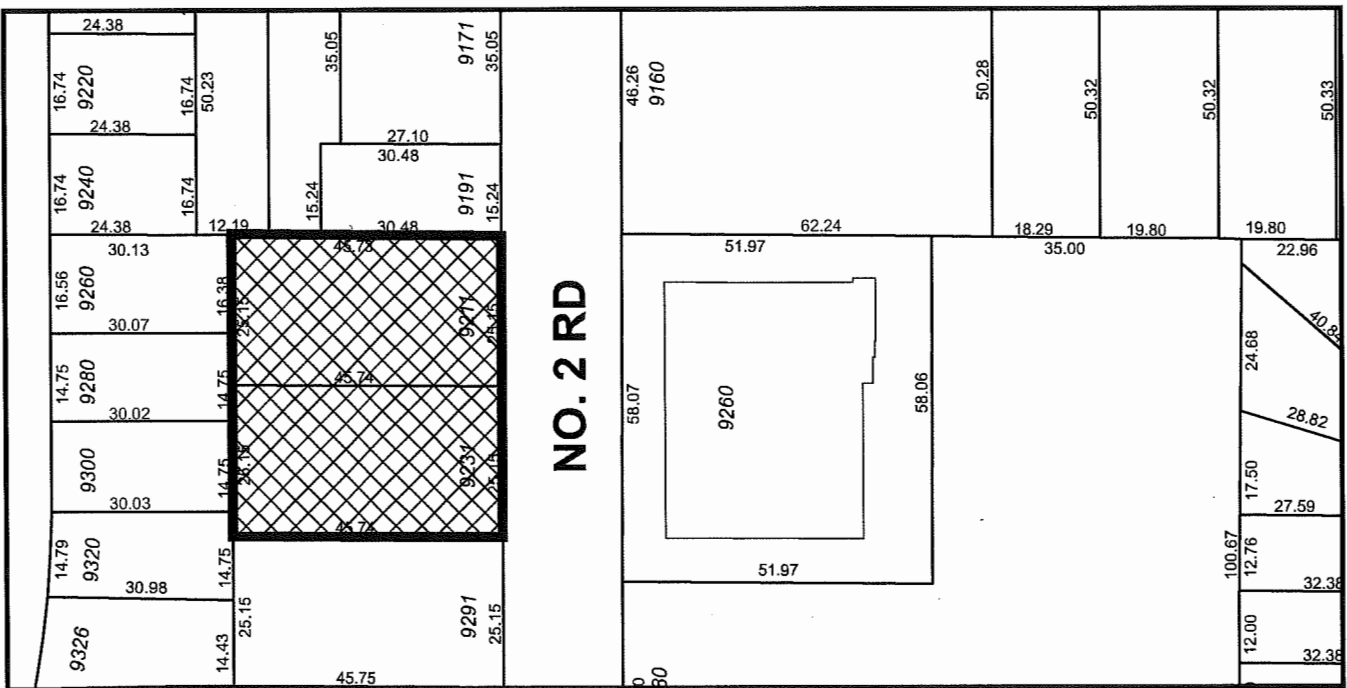
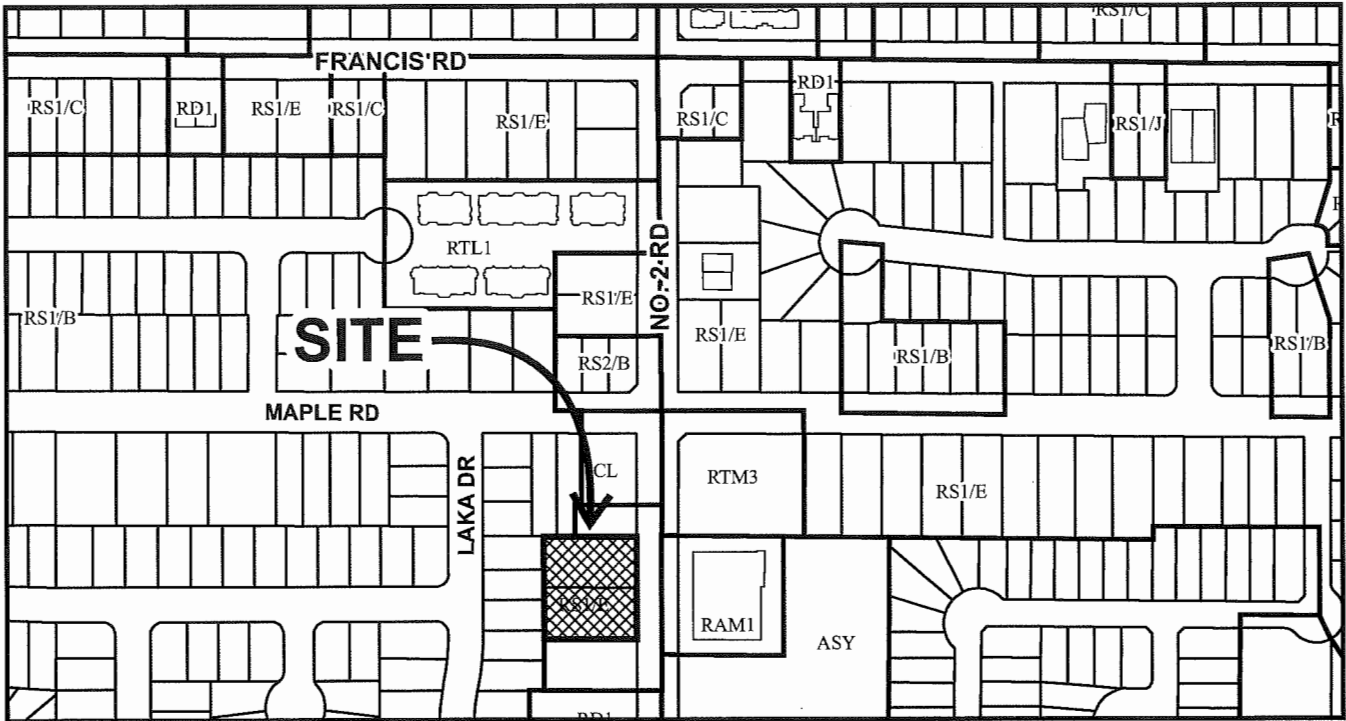
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

MAYOR



City of Richmond



DP 14-674133 SCHEDULE "A"

Original Date: 10/15/14

Revision Date:

Note: Dimensions are in METRES

ZONING ANALYSIS

RTL4 Zoning District	Zoning Requirement	Our Design
8.6.1 Purpose	Low Density Housing Single Detached Housing	complies
8.6.2 Permitted Uses	Housing, Town	complies
8.6.4.2, b) Permitted Density	0.60 FAR	complies
8.6.5, Lot Coverage	40% maximum	complies
1. buildings	65% maximum	complies
2. non-porous	25% minimum	complies
3. live plants		
8.6.6, Yards & Setbacks		
1. front yard	6.0 m	complies
2. interior side yard	3.0 m	complies
4. rear yard	3.0 m	complies
8.6.7.2 Permitted Height	12.0 m (3 storeys)	complies
8.6.8, Minimum Lot Size		
1. minimum lot width	50.0 m	complies
2. minimum lot depth	35.0 m	complies
8.6.10 On-Site Parking and Loading		
7.7.2.1 residential visitors	20 stalls (2 cars/unit) 2 stalls (0.2 cars/unit) no small car stalls	complies complies complies
7.5.13 small car		
7.14.5 On-site Bicycle Requirements	4 vertical stalls (33% of Class 1)	complies
7.14.10 Requirements		
Class 1	13 stalls (1.25 spaces/unit)	complies
Class 2	2 stalls (0.2 spaces/unit)	complies
8.6.11 Other Regulations		
4.4.1, density calculation exclusion	10% of floor area for covered area maximum of 50 sqm for garage exclusion of 10 sqm of stairs & entry	complies
4.9.4, bay window projection	front yard	complies
4.9.5, entry stairs projection	side or rear yard	complies
4.9.6, balconies & porches projection	no closer than 3.0 m	complies
4.12.3, cantilevered roofs, eaves & gutters into the yard	0.6 m maximum	complies
4.16, basic universal housing features	no closer than 1.5 m	complies
	1.5 m maximum	complies
	1.2 m maximum	complies

FLOOR AREA CALCULATION Proposed Zoning RTL4 Gross Site Area 24,724.7 sf (2297 sm) Net Site Area 24,396.9 sf (2266.55 sm)

Unit Count	Unit Type	First Floor Area			Unit Total	Total	Second Floor Area			Third Floor Area	Total Floor Area	Garage Area Exemption	Third Floor Staircase Exemption	Second Floor Staircase Exemption	First Floor Stair Exemption	Covered Area Exemption	Unit Net Floor Area	Total Net Area	Unit GFA	Total GFA
		Total	Exemption	Total			Exemption	Total	Exemption											
2	A	808	783	2,341	4,682	750	31	77	35	409	104	1,685	3,372	1,828	3,656	sf				
2	B	676	636	1,973	3,946	661	31	77	31	507	22	1,305	2,610	1,444	2,888	sf				
2	C	1,020	1,008	2,028	4,056	0	46	107	0	440	22	1,413	2,826	1,566	3,132	sf				
4	D	1,092	957	2,049	8,196	0	50	108	0	386	45	1,460	5,840	1,618	6,472	sf				
10					20,880								14,648		16,148	sf				

Maximum FAR	0.600
Proposed FAR	0.600

Unit Count	Unit Type	SITE COVERAGE CALC.		ACCESSORY CALC.		COVERED AREA CALC.	
		Foot Print	Total Area	Accessory Area	Total Accessory Area	Covered Area	Total Covered Area
2	A	808	1,616	409	818	104	208
2	B	676	1,352	507	1,014	22	44
2	C	1,020	2,040	440	880	22	44
4	D	1,092	4,368	386	1,544	45	180
2	Elec. Closet	43	86	43	86	0	0
2	Garbage & Recycling	65	130	65	130	0	0
14			9,592		4,472		476

Site Area	24,396.9 sf (0.56 acres)	Minimum Lot Coverage	40.0%	Maximum Accessory Area per unit	538 sf	Maximum Covered Area	10.0% of Net
Proposed Density	17.86 upa	Proposed Lot Coverage	39.3%	Proposed Average Accessory Area	447 sf	Proposed Covered Area	3.25 %

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VERONA GARDEN

9211 & 9231 No. 2 Road
for
Western Verona Garden
Holding Ltd.

DP 14-674133 - MAY 12, 2015



AUG 25 2015

SITE DATA

DP 14-674133
PLAN #1

PLAN#002

PROVISION OF ACCESSIBILITY FEATURES "AGING-IN-PLACE" REQUIREMENTS ON ALL UNITS:

- Entry doors minimum 865 mm clear opening (3'-0" swinging door spec.)
- Hallways minimum 900 mm width (swinging door spec.)
- Door from garage to living area minimum 2'-10" (swinging door spec.)
- Blocking to bathrooms for installation of grab-bars (toilet, tub and shower)
- Provision of lever door handles
- One window that can be opened with a single hand in the living room
- One window that can be opened with a single hand in one bedroom

Building Characteristic Summary:

- Exterior Walls - Z6 R19 Construction R value (15.8 Effective R value)
- Roof/Attic - R9.2 Construction R value
- Windows - Low E Argon 3 glaze U 2.0
- Space Condition - Electric Baseboard
- Ventilation - HRV
- Hot water Heating - Electric DHW
- Other Energy Impact Features - Drain water heat recovery

UNIT 9B IS A CONVERTIBLE UNIT THAT PROPOSED FOR THIS PROJECT.



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VERONA GARDEN
 9211 & 9231 No. 2 Road
 for
 Western Verona Garden Holding Ltd.

DP 14-674133 - MAY 12, 2015

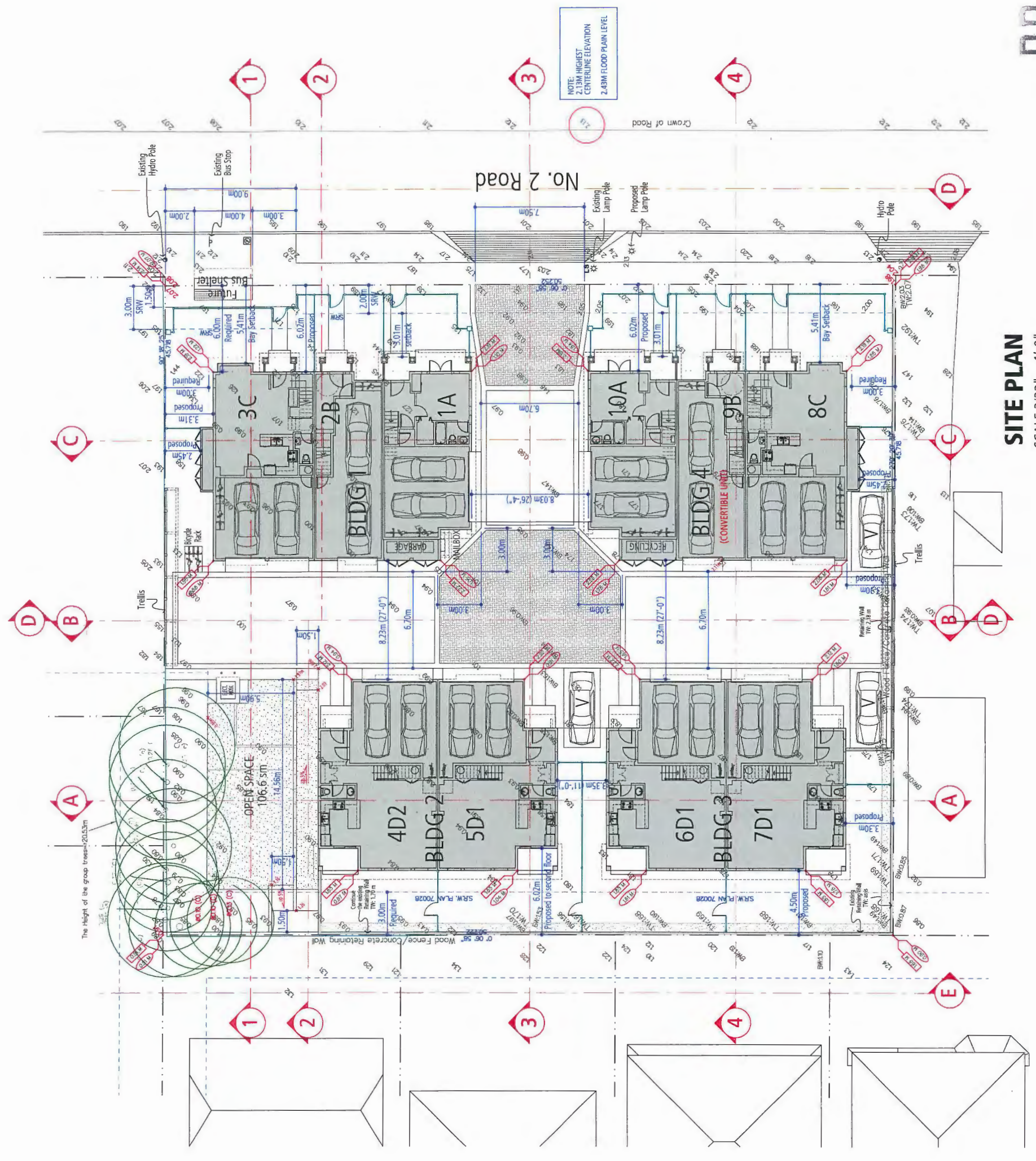
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SITE PLAN
 SCALE 3/32" = 1'-0"

DP 14-674133
 PLAN #2



The height of the group trees = 20.13m

NOTE:
 2.13M HIGHEST
 CENTERLINE ELEVATION
 2.43M FLOOD PLAIN LEVEL

**PROVISION OF ACCESSIBILITY FEATURES
"AGING-IN-PLACE" REQUIREMENTS
ON ALL UNITS:**

- Entry doors minimum 865 mm clear opening (3'-0" swinging door spec.)
- Hallways minimum 900 mm width
- Door from garage to living area minimum 2'-10" (swinging door spec.)
- Blocking to bathrooms for installation of grab-bars (toilet, tub and shower)
- Provision of lever door handles
- One window that can be opened with a single hand in the living room
- One window that can be opened with a single hand in one bedroom

Building Characteristic Summary:

- Exterior Walls - 2x6 R19 Construction R value (15.8 Effective R value)
- Roof/Attic - 39.2 Construction R value
- Windows - Low E Argon 3 glaze U 2.0
- Space Condition - Electric Baseboard
- Ventilation - HRV
- Hot water Heating - Electric DHW
- Other Energy Impact Features - Drain water heat recovery

PARKING & BICYCLE DATA

Residential 2 cars/unit	20
Visitor 0.2 cars/unit	2
Total Required	22
Parking Provided	20
Standard Stall	0
Small Stall	3
Visitor Provided	3
Total Provided	23

On-site Bicycle Parking Requirements	13
Class 1: 1.25 stalls/unit max. 33% Vertical Stalls	4
Class 2: 0.2 stall/unit	2
Total Class 1 Stalls Required	13
Total Class 1 Stalls Provided	14
Total Class 2 Stalls Required	2
Total Class 2 Stalls Provided	2

LEGEND

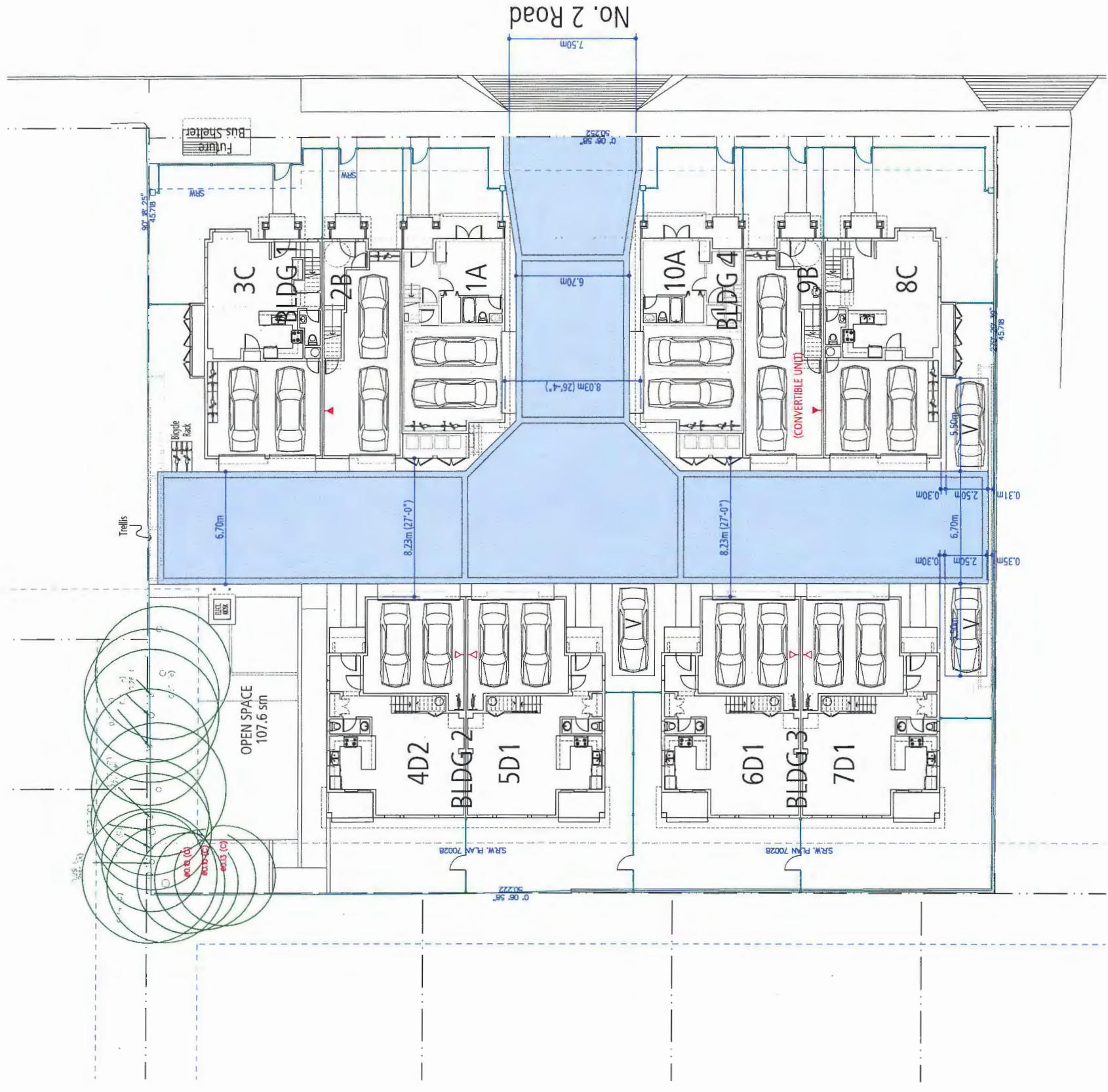
STANDARD CAR STALL
SIZE: 2.5m x 5.5m

CLASS 1 BIKE STALL
SIZE: 1.8m x 0.8m

CLASS 1 BIKE STALL (Vertical)
SIZE: 1.0m x 0.6m

Electric Vehicle Plug-in
Pre-Ducting for Future Wiring
6.7m Wide Driveway
with 4.4m Vertical Clearance

6.7m Road
(4.4m height clearance)



PARKING PLAN
SCALE 3/32" = 1'-0"



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**VERONA
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9211 & 9231 No. 2 Road
for
Western Verona Garden
Holding Ltd.

DP 14-674133 - MAY 12, 2015

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AUG 2 5 2015
DP 14-674133
PLAN # 3

**PROVISION OF ACCESSIBILITY FEATURES
"AGING-IN-PLACE" REQUIREMENTS
ON ALL UNITS:**

- Entry doors minimum 855 mm clear opening (3'-0" swinging door spec.)
- Hallways minimum 900 mm width
- Door from garage to living area minimum 2'-10" (swinging door spec.)
- Blocking to bathrooms for installation of grab-bars (toilet, tub and shower)
- Provision of lever door handles
- One window that can be opened with a single hand in the living room
- One window that can be opened with a single hand in one bedroom

Building Characteristic Summary:

- Exterior Walls - 2x6 R19 Construction R value (15.8 Effective R value)
- Roof/Attic - 39.2 Construction R value
- Windows - Low E Argon 3 glaze U 2.0
- Space Condition - Electric Baseboard
- Ventilation - HRV
- Hot water Heating - Electric DHW
- Other Energy Impact Features - Drain water heat recovery



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Holding Ltd.

DP 14-674133 - MAY 12, 2015

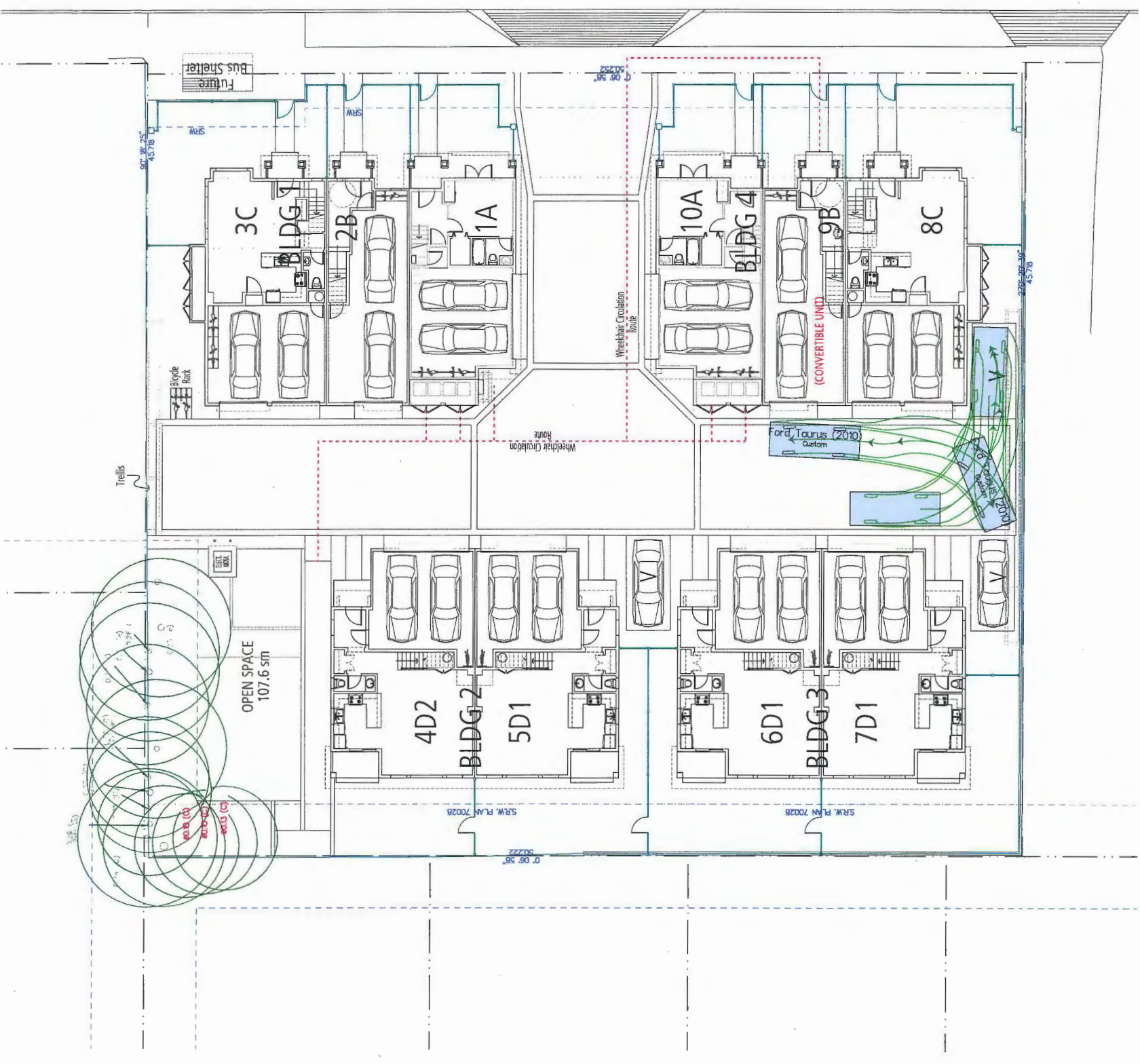
AUG 25 2015

DP 14-674133
PLAN #4

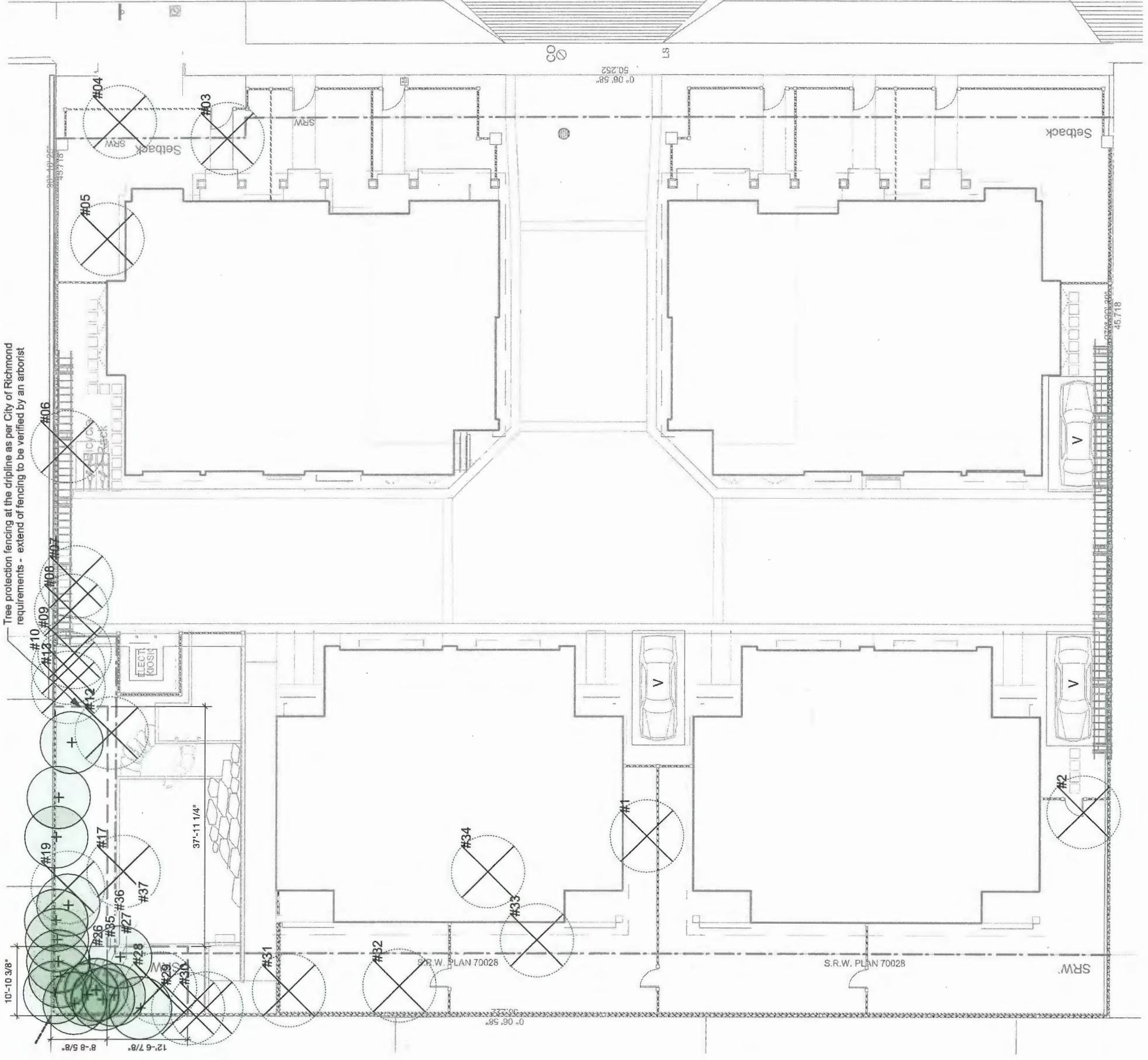
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MANEUVERING PLAN

SCALE 3/32" = 1'-0"

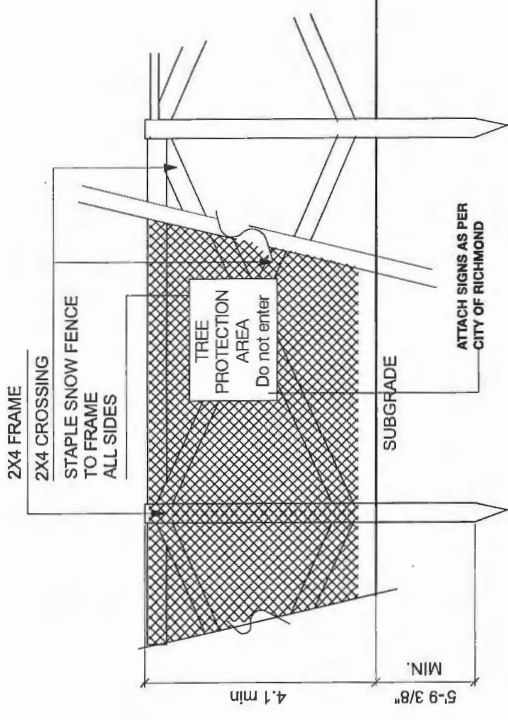


No. 2 Road



Tree protection fencing at the dripline as per City of Richmond requirements - extend of fencing to be verified by an arborist

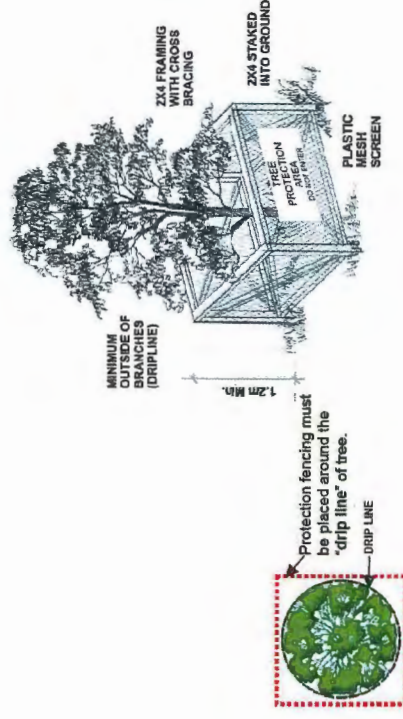
TREE PROTECTION FENCING



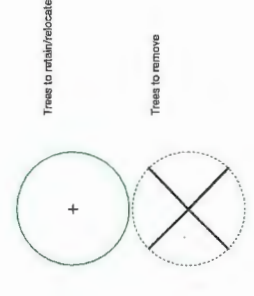
Tree Replacement Schedule:

- Proposed new trees on site: 14 trees

CITY OF RICHMOND TREE PROTECTION GUIDELINES

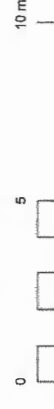


LEGEND



- Notes:**
1. Trees that cannot be replaced at the required 2:1 ratio will require a cash-in-lieu arrangement will need to be made between the city and developer
 2. Refer to arboricultural assessment report prepared by Michael Mills Consulting consulting, dated Aug 28th, 2014 for details, tree inventory and assessment.
 3. Root pruning by project arborist is required during site preparation.

Existing tree Plan
Scale: 1:100



AUG 25 2015

PLAN #5 DP 14-674133

Revision No.	Date	Revision Notes
A	02/05/14	Issue for DP
B	02/07/15	Revised for DP
C	02/07/15	Revised for DP
D	03/11/15	Issued for AEP
E	05/05/15	Finalized for DP Comments

Issue No.	Date	Issue Notes
A	02/05/14	Issue for DP
B	02/07/15	Revised for DP
C	02/07/15	Revised for DP
D	03/11/15	Issued for AEP
E	05/05/15	Finalized for DP Comments

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Project
Verona Garden

Drawing Title

Tree management

Logfile
 9811 No. 2 Road
 Richmond, BC

Project Manager	Project No.	Revision No.	Sheet No.
Z. H. S.	21443	11100	3.a
DT			12

Issue No.	Date	Issue Notes
A	03/27/14	Issue for DP
B	03/27/15	Revised for DP
C	03/27/15	Revised for DP
D	03/27/15	Revised for DP
E	03/27/15	Revised for DP

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Project
Verona Garden

Drawing Title

Tree management
Tree list

Legal
8211 No. 2 Road
Richmond, BC

Project Manager	21443
Drawn By	KB
Checked By	DT
Drawn Date	09/17/14
Drawn No.	3.a.1
Drawn of	12

Page No.
15-2-3
21443 Verona Garden Master/2015-1.wrk

33	.45 multistem	Fig	Poorly maintained fruit tree, extensive past pruning.	fair	Remove
34	0.21	Apple	Poorly maintained fruit tree, tree has fallen over and is in decline	poor	Remove
35	0.1	Cedar	Small tree, part of north west corner hedge row, good as part of the group.	fair	RETAIN
36	0.1	Cedar	Small tree, part of north west corner hedge row, good as part of the group.	fair	RETAIN
37	0.13	Cedar	Small tree, part of north west corner hedge row, good as part of the group.	fair	RETAIN

REPLACEMENT TREES

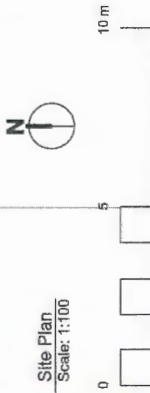
ID	PLANT LIST	QTY	LATIN NAME	COMMON NAME	SPACING	SCHEDULED SIZE	NOTES
Aa		3	Amelanchier x Diane	Diane Serviceberry	as shown	5cm cal/ B&B	full/ bushy plants/ 1.5m
Ac		6	Acer circinnatum	Vine Maple	as shown	15' full height/ B&B	full/ bushy plants/ mul
CK		3	Cornus kousa	Kousa Dogwood	as shown	8cm cal/ B&B	2m standard/ full crow
Fsd		4	Fagus sylvatica dawy	Purple Fagus/Beech	as shown	8 cm cal/ B&B	2m standard
IKK		1	Magnolia kobus	Kobus Magnolia	as shown	6cm cal/ B&B	2m standard/ full crow
Pfo		4	Picea omorika	Serbian Spruce	as shown	4m H/B&B	full/ bushy plants

Tree Replacement Schedule:
- Existing trees to be removed: 20 trees
- Proposed new trees on site : 19

TREE #	TRUNK DIA. (in metres from Survey)	CROWN RADIUS (measured off retained trees)	SPECIES (by Arborist)	SUMMARY FINDINGS	CONDITION RATING	RETENTION
1	0.27		Plum	Poor lower trunk & branch distribution, poorly maintained	poor	Remove
2	0.31	6.56m	Douglas Fir	Pruned back from existing house, some stubs, close to demolition zone.	good	Remove
3	0.37		Pear	Mature, poorly maintained, in overgrown area, low vigour, pear trellis rust throughout, extensive leaf drop, Very poor health.	poor	Remove
4	0.49		Cherry	Mature, poorly maintained, in overgrown area, very poor form for species, willing due to lack of moisture, stressed	poor	Remove
5	.55 2 trunks		Holly	Topped, pruned back north side etc., no real tree left	very poor	Remove
6	0.22		Holly	Extensively pruned back (poorly) on north side, poor species for retention. Low value	poor	Remove
7	.52 multistem		Cherry	Codominant with Cedars, poorly sited, poor form, north side pruned back poorly for clearance	fair	Remove
8	0.51	6-9 m	Cedar	Multi stem, never topped, some pruning north side for clearance, no apparent health or structural issues issues. Located within the future road.	good	Remove
9	0.25	6-9 m	Cedar	Multi stem, never topped, some pruning north side for clearance, no apparent health or structural issues issues. Located within the future road.	good	Remove
10	.24 2 trunks	6-9 m	Cedar	Multi stem, never topped, some pruning north side for clearance, no apparent health or structural issues issues. Located within the future road.	good	Remove
12	.31 2 trunks	6-9 m	Apple	Leaning (to light), splits, poor connections, poor branch attachments	poor	Remove
13	0.33	6-9 m	Cedar	Multi stem, never topped, some pruning north side for clearance, no apparent health or structural issues issues. Located within the future road.	good	Remove
14	not on Survey	6-9 m	Cedar	Multi stem, never topped, some pruning north side for clearance, no apparent health or structural issues issues. Added to the survey by arborist	good	RETAIN
15	0.26	6-9 m	Cedar	Multi stem, never topped, some pruning north side for clearance, no apparent health or structural issues issues	good	RETAIN
16	0.34	6-9 m	Cedar	Multi stem, never topped, some pruning north side for clearance, no apparent health or structural issues issues	good	RETAIN
17	0.20	6-9 m	Apple	Nearing maturity, poor form, poorly maintained	fair	Remove
18	0.32 2 trunks	6-9 m	Cedar	Never topped, some pruning north side for clearance, no apparent health or structural issues issues	good	RETAIN
19	.29 2 trunks	6-9 m	Cherry	Very poor form, included trunks, poorly maintained, should be removed to benefit Cedars	poor	Remove
21	.32 2 trunks	6-9 m	Cedar	Multi stem, never topped, some pruning north side for clearance, no apparent health issues. Good as part of group.	fair-good	RETAIN
22	.37 2 trunks	6-9 m	Cedar	Multi stem, never topped, some pruning north side for clearance, no apparent health issues, good as part of group.	fair-good	RETAIN
23	0.26	6-9 m	Cedar	Multi stem, never topped, some pruning north side for clearance, no apparent health or structural issues. Good only as part of row.	fair-good	RETAIN
24	.29 2 trunks	6-9 m	Cedar	Multi stem, never topped, some pruning north side for clearance, no apparent health issues, Good only as part of row.	fair-good	RETAIN
25	0.36	6-9 m	Cedar	Multi stem, never topped, some pruning north side for clearance, no apparent health or structural issues. Good only as part of group.	fair-good	RETAIN
26	.45 2 trunks		Cedar	Trunk damaged, overly limbed up west side, Retain only as part of hedge row.	fair	RETAIN
27	.34 2 trunks		Cedar	Trunk damaged, overly limbed up west side, Retain only as part of hedge row.	fair	RETAIN
28	.30 2 trunks		Apple	very poor form, in decline, poorly maintained	poor	Remove
29	0.34		Cedar	Trunk girdled, overly limbed up west side, affected by grading.	poor	Remove
30	0.42		Cedar	Trunk girdled, overly limbed up west side, affected by grading.	poor	Remove
31	.29 2 trunks		Apple	poor form, in decline, poorly maintained	poor	Remove
32	.54 4 trunks		Cherry	Almost dead.	dead	Remove

AUG 25 2015

PLAN # 6 DP 14-674133



Revision No.	Date	Revision Notes
A	02/01/14	Issue for DP
B	03/07/15	Re-issued for DP
C	05/07/15	Re-issued for DP
D	07/11/15	Re-issued for DP
E	05/08/15	Re-issued for DP - Comments

Issue No.	Date	Issue Notes
A	02/01/14	Issue for DP
B	03/07/15	Re-issued for DP
C	05/07/15	Re-issued for DP
D	07/11/15	Re-issued for DP
E	05/08/15	Re-issued for DP - Comments

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Project
Verona Garden

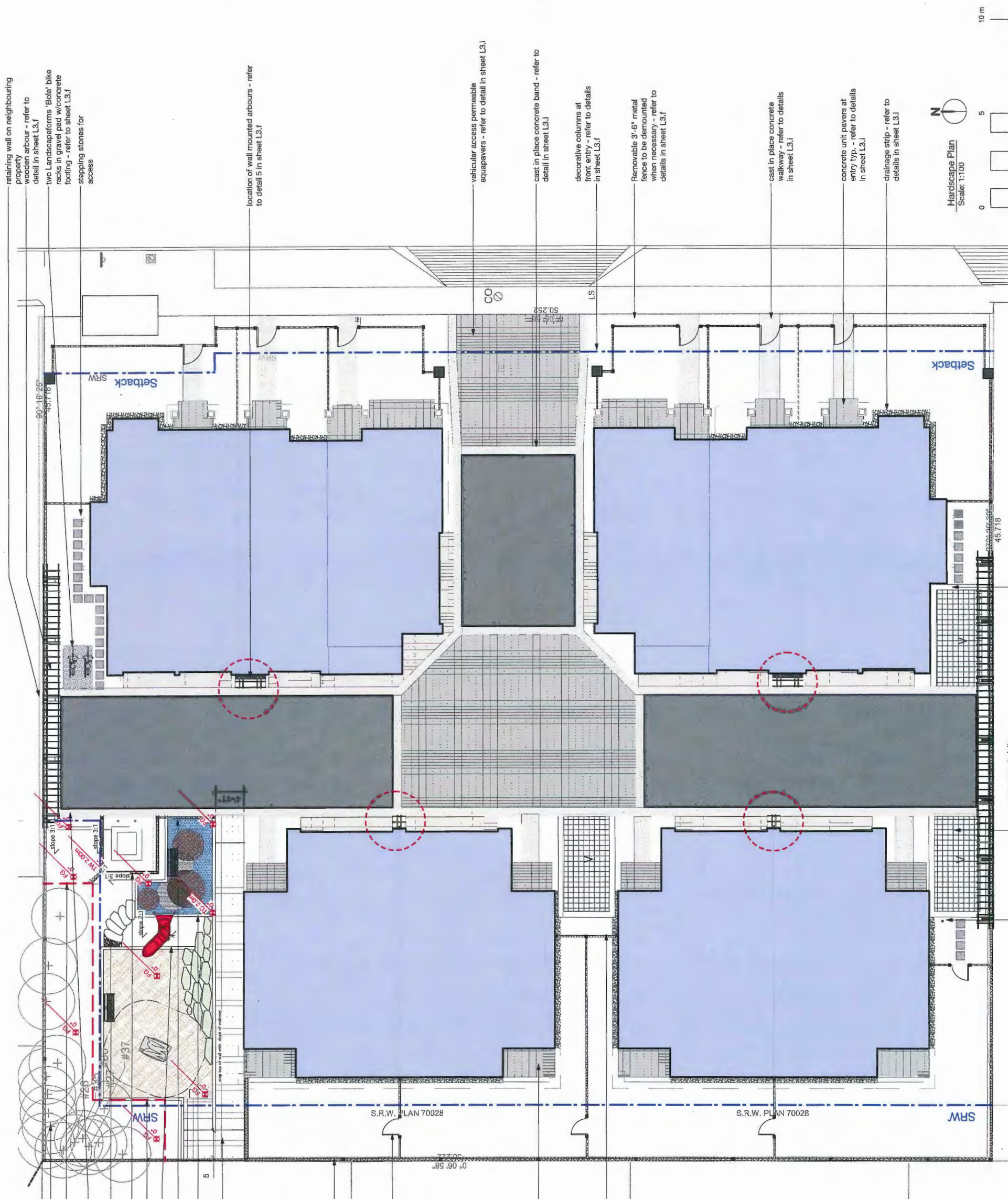
Drawing Title
Site Plan

Legal
5011 No. 2 Road
Richmond, BC

Project No.	Project Name	Project Date
21463	Verona Garden	21/08/2015
401	Verona Garden	09/17/14
DT	Verona Garden	09/17/14
3.b	Verona Garden	09/17/14
4	Verona Garden	09/17/14
12	Verona Garden	09/17/14

AUG 25 2015

DP 14-674133 PLAN #7



retaining wall on neighbouring property
wooden arbour - refer to detail in sheet L3.f
two Landscapforms 'Boia' bike racks in gravel pad w/concrete footing - refer to sheet L3.f
stepping stones for access

location of wall mounted arbours - refer to detail 5 in sheet L3.f

vehicular access permeable aquapavers - refer to detail in sheet L3.i
cast in place concrete band - refer to detail in sheet L3.i
decorative columns at front entry - refer to details in sheet L3.f
Removable 3'-6" metal fence to be demounted when necessary - refer to details in sheet L3.f
cast in place concrete walkway - refer to details in sheet L3.i
concrete unit pavers at entry typ. - refer to details in sheet L3.i
drainage strip - refer to details in sheet L3.i

grass pave at visitor parking - refer to detail in sheet L3.i
visitor parking sign on end of electrical closet
visitor parking sign on post at front of stall
visitor parking sign at front of stall on fence

Retained existing trees - refer to sheet L3.a
Tree protection zone - refer to sheet L3.a
Bollards to protect guardrail and kiosk from vehicular movement
stacked precast 'rock slab' steps to play area
gravel landing at base of stairs.
CIP Concrete retaining wall
timber retaining
rusted balak
barrier to prevent playground users from entering the roadway
timber edger
sloped walkway leading down to play area - timber walls w/concrete
12" x12" concrete unit pavers surfacing

6' solid fence - refer to detail in sheet L3.f
gates for maintenance access - refer to detail in sheet L3.f

concrete unit pavers in private patios typ. - refer to detail in sheet L3.i

visitor parking sign at front of stall on fence

Revision No.	Date	Revision Notes
A	3/25/14	Issue for DP
B	3/25/15	Re-issued for DP
C	3/24/15	re-issued for DP
D	3/24/15	Issued for ADP
E	03/03/15	Re-issued for DP w/Comments

Issue No.	Date	Issue Notes
A	3/25/14	Issue for DP
B	3/25/15	Re-issued for DP
C	3/24/15	re-issued for DP
D	3/24/15	Issued for ADP
E	03/03/15	Re-issued for DP w/Comments

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Project
Verona Garden

Drawing Title
Hardscape Plan

Legal
0211 No. 2 Road
Richmond, BC

Project ID	21443
Client	KB
Scale	1:100
Drawn By	DT
Checked By	CB/TT/14
Date	3.6.15
Sheet No.	12

Hardscape Plan
Scale: 1:100





Revision No.	Date	Revision Notes
A	9/26/14	Issue for DP
B	9/26/15	Re-issued for DP
C	9/24/15	Re-issued for DP
D	9/31/15	Issued for ADP
E	05/08/15	Re-issued for DP in Comments

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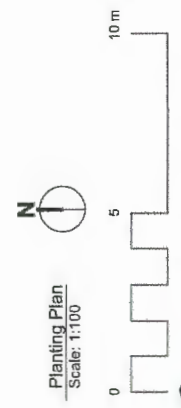
Project
Verona Garden

Drawing Title
Landscape Planting Plan

Legend
8211 No. 2 Road
Richmond, BC

Project Number	21443
Drawn By	AB
Scale	1:100
Revised By	
Drawing No.	3.C
Date	09/17/14
	4
	12

PGZ Date:
21443 Verona Garden Master 2015-1.yxd

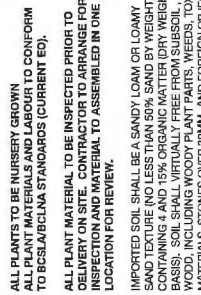
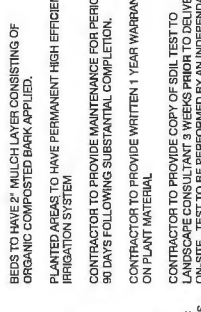
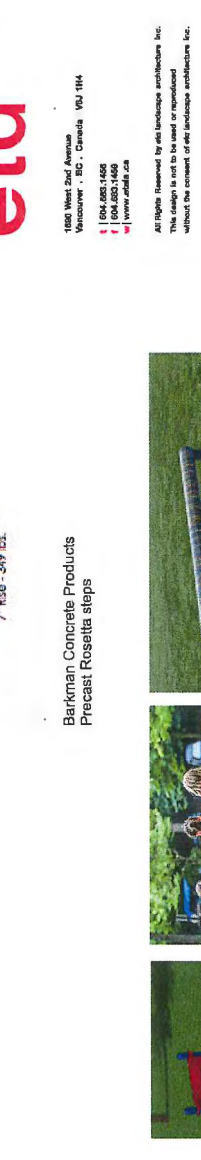
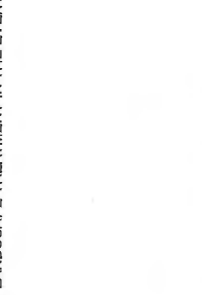
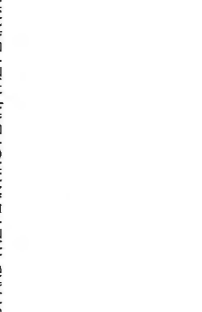
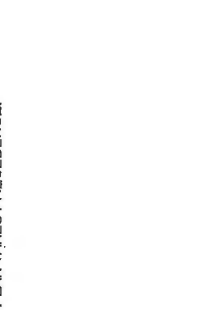


AUG 25 2015

PLAN #9 DP 14-674133

PLANT LIST 1	QTY	LATIN NAME	COMMON NAME	SPACING (ft o.c.)	SCHEDULED SIZE	NOTES	DESCRIPTION	SIZE	MODEL	MANUFACTURER	HIGHLIGHT	COLOUR	QTY
TREES - onsite	4	Fagus sylvatica 'Tricolor'	Tricolor European Beech	as shown	8cm cal	2m standard	BENCH	40" long	Kaleidoscope Model #186588	Landscape Structures	with back	Carbon	2
TREES - onsite	3	Amelanchier x Diane	Diane Serviceberry	as shown	5cm cal/ B&B	full/ bushy plants/ 1.5m standard	SLIDE	32" high	Poly Slide Sidelwinder 2	Landscape Structures	Embedded	Buttercup	1
Ac	6	Acer cicutatum	Kousa Dogwood	as shown	15' full height/ B&B	full, bushy plants/ multistemmed	BIKE RACK		BOLA	Landscape Structures		Black	2
Ck	3	Cornus kousa	Purple fasciata beech	as shown	8 cm cal/ B&B	2m standard/ full crown	LOG CRAWL- PLAYGROUND TUNNEL			Landscape Structures		Black	1
Fsd	4	Fagus sylvatica dawycok purple	Kobus Magnolia	as shown	6cm cal/ B&B	2m standard/ full crown/ matched	MATERIALS					Natural	5
Mk	1	Magnolia kobus	Serbian Spruce	as shown	4m ht/B&B	full/ bushy plants	VEHICULAR PAVERS			ABBOTSFORD CONCRETE		Natural	
Plo	4	Picea omaritika	Windflower	16"	#1 cont.	full/ bushy plants	PERMEABLE PAVERS			AQUAPAVE		Natural	
SHRUBS/ GROUNDCOVERS	26	Anemone x hybrida honorine jobert	Evergreen Azalea	20"	#2 cont.	full/ bushy plants/ heavy	PEDESTRIAN PAVERS			ABBOTSFORD CONCRETE		Natural	
An	8	Azalea japonica	White Heartleaf Bergenia	14"	#1 cont.	bushy plants	PAVERS IN SLOPED WALKWAY			ABBOTSFORD CONCRETE		Natural	
Bc	101	Bergenia cordifolia	Winged Burning Bush	40"	#7 cont.	full/ bushy plants/ heavy	VISITOR PARKING STALLS			ABBOTSFORD CONCRETE		Natural	
Eua	12	Euonymus alatus	Wild strawberry	10"	#4 cont.	full/ bushy plants	ENGINEERED WOOD PROTECTIVE SURFACE			ABBOTSFORD CONCRETE		BLACK	
Fv	20	Fragaria virginiana	Japanese woodland grass	12"	#2 cont.	full/ bushy plants	STEPS IN PLAY AREA			ABBOTSFORD CONCRETE		Natural	
Hm	172	Hakonechloa macra	blue oat grass	16"	#2 cont.	full/ bushy plants	6ft ht WOODEN FENCE			ABBOTSFORD CONCRETE		Natural	
Hs	118	Helictotrichon sempervirens	English Lavender	12"	#1 cont.	full/ bushy plants	3.5 ft ht METAL FENCE			ABBOTSFORD CONCRETE		Natural	
La	75	Lavandula angustifolia	Lilyturf	4 3/8"	#3 cont.	full/ bushy plants							
La-1	246	Liriodendron tulipifera	dull Oregon Grape	7"	#2 cont.	full/ bushy plants							
Mis	68	Miscanthus sinensis 'Morning Light'	dwarf fountain Grass	12"	#2 cont.	full/ bushy plants							
Mn	107	Mahonia nervosa	mujo pine	16"	#3 cont.	full/ bushy plants							
Pah	118	Panicum virgatum	Sword Fern	10"	#3 cont.	full/ bushy plants							
Pim	4	Pennisetum purpureum	Golden Coneflower	20"	#4 cont.	full/ bushy plants							
Pm	47	Polystichum munitum	fragrant Sarcococca	16"	#1 cont.	full/ bushy plants							
RNg	88	Rubus 'Goldsturm'	emerald cedar	20"	#3 cont.	full/ bushy plants							
Rng	20	Rubus 'Purple Emperor'	Purple Leaf Grape	20"	10' ht	full/ bushy plants							
Spe	154	Sarcococca ruscifolia	Non-Neitied, grown on sand	30"	#2 cont/ slaked	full/ bushy plants							
Sr	11	Thuja occidentalis smaragd		30"									
Tho	59	Thuja occidentalis smaragd		30"									
Vva	7	Vitis vinifera atropurpurea		0"									

NOTE: ALL LANDSCAPE TO CONFORM TO THE CURRENT EDITION OF THE BC LANDSCAPE STANDARDS FOR LEVEL 2 'GROOMED' LANDSCAPE TREATMENT LANDSCAPE TREATMENT IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANT LIST AND THE PLANTING PLAN, THE PLANTING PLAN TAKES PRECEDENCE.



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Project: Verona Garden

Drawing Title: Plant List & Notes

Legal: 8211 No. 2 Road
Richmond, BC

Project Manager: Peter Galt
21443
Drawn By: KB
Scale: 1:100
Reviewed By:
Date: 09/17/14
Drawing No.: 3.C.1
Sheet No.: 12

PLANT LIST 1

QTY

LATIN NAME

COMMON NAME

SPACING (ft o.c.)

SCHEDULED SIZE

NOTES

DESCRIPTION

SIZE

MODEL

MANUFACTURER

HIGHLIGHT

COLOUR

QTY

SHRUBS/ GROUNDCOVERS

An 8 Anemone x hybrida honorine jobert

Bc 101 Azalea japonica

Eua 12 Euonymus alatus

Fv 20 Fragaria virginiana

Hm 172 Hakonechloa macra

Hs 118 Helictotrichon sempervirens

La 75 Lavandula angustifolia

La-1 246 Liriodendron tulipifera

Mis 68 Miscanthus sinensis 'Morning Light'

Mn 107 Mahonia nervosa

Pah 118 Panicum virgatum

Pim 4 Pennisetum purpureum

Pm 47 Polystichum munitum

RNg 88 Rubus 'Goldsturm'

Rng 20 Rubus 'Purple Emperor'

Spe 154 Sarcococca ruscifolia

Sr 11 Thuja occidentalis smaragd

Tho 59 Thuja occidentalis smaragd

Vva 7 Vitis vinifera atropurpurea

LAWN

Non-Neitied, grown on sand

NOTE: ALL LANDSCAPE TO CONFORM TO THE CURRENT EDITION OF THE BC LANDSCAPE STANDARDS FOR LEVEL 2 'GROOMED' LANDSCAPE TREATMENT LANDSCAPE TREATMENT IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANT LIST AND THE PLANTING PLAN, THE PLANTING PLAN TAKES PRECEDENCE.

ALL PLANTS TO BE NURSERY GROWN
ALL PLANT MATERIALS AND LABOUR TO CONFORM TO ISOLANALVA STANDARDS (CURRENT EDITION).

ALL PLANT MATERIAL TO BE INSPECTED PRIOR TO DELIVERY ON SITE. CONTRACTOR TO ARRANGE FOR INSPECTION AND MATERIAL TO ASSEMBLED IN ONE LOCATION FOR REVIEW.

IMPORTED SOIL SHALL BE A SANDY LOAM OR LOAMY SAND TEXTURE (NO LESS THAN 80% SAND BY WEIGHT) CONTAINING 15% ORGANIC MATTER (AS MEASURED USING LOSS ON DRYING METHOD) AND BE FREE OF WEEDS, INCLUDING WOODY PLANT PARTS, WEEDS, TOXIC MATERIALS, STONES OVER 30MM, AND FOREIGN OBJECTS. SOIL SHALL BE FREE FROM COUCHGRASS, EQUSETUM, SARCOCCOCCAS AND OTHER NOXIOUS WEEDS OR SEEDS OR PARTS THEREOF.

IMPORTED TOPSOIL SHALL CONFORM TO AND BE TREATED AS PER SECTION 6.2.3 TO 6.2.7 OF THE CURRENT EDITION BC/LNA STANDARDS.

GROWING MEDIUM SHALL CONFORM TO LEVEL 1 LOW TRAFFIC LAWN AREAS; TREES AND LARGE PLANTS TO TABLE 6.5 OF THE CURRENT EDITION BC/LNA STANDARDS. IT SHALL POSSESS THE FOLLOWING QUALITIES:

TEXTURE GRAVEL LARGER THAN 25MM: 0-1%
"ALL GRAVEL LARGER THAN 2MM: 0-5%
"SAND (LARGER THAN 0.075MM AND SMALLER THAN 2MM): 50-70%
"CLAY (SMALLER THAN 0.075MM AND SMALLER THAN 0.0075MM): 10-20%
"CLAY (SMALLER THAN 0.0075MM AND 0-20%
"CLAY AND SILT COMBINED: MAXIMUM 25%
ORGANIC CONTENT: 3-10%
Acidity: 5.0-7.0

DRAINAGE: PERCOLATION SHALL BE SUCH THAT AFTER AT LEAST 10 MINUTES OF MODERATE TO HEAVY RAIN OR IRRIGATION,

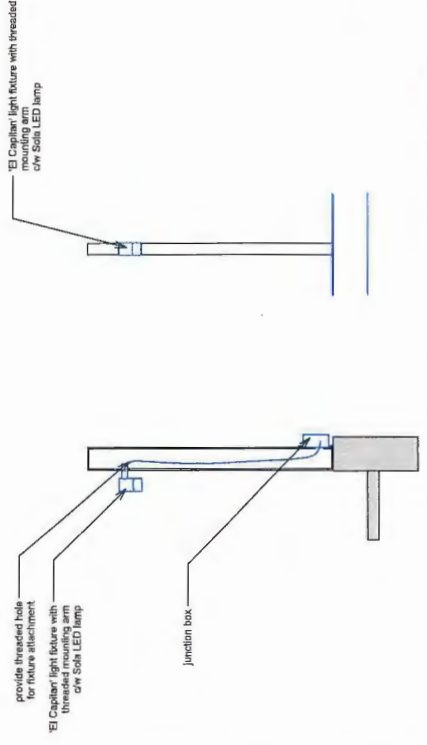
MINIMUM SOIL DEPTH TO BE AS PER TABLE 6.5 OF THE CURRENT EDITION BC/LNA STANDARDS:

Substrate	Over prepared	Over structure
TREES (10m ² PER TREE)	24"	30"
SHRUBS	8"	9"
GROUNDCOVERS	6"	6"
LAWN	6"	6"

SOIL DEPTHS WILL BE CHECKED AT TIME OF SUBSTANTIAL COMPLETION REVIEW

LIGHTING SCHEDULE

1	S/W	WALL MOUNTED FIXTURE- Hadco RSC2 Aluminum Steplite	
2	B	FREE STANDING ILLUMINATED BOLLARD - Hadco Aluminum Bollard (RFS) Black	
4	DL	DOWNLIGHT / SPOTS - Hadco Bullye (BL5016) Black	
5	P/L	PATHWAY LIGHTING - B-K Lighting 'EI Capitlan' (BKSSL)	



Revision No. Date Revision Notes

Issue No.	Date	Issue Notes
A	02/04/14	Issue for CP
B	03/07/15	Revised for CP
C	03/07/15	Revised for CP
D	03/11/15	Issue for ACP
E	03/08/16	Revised for CP - Comments

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Project
Verona Garden

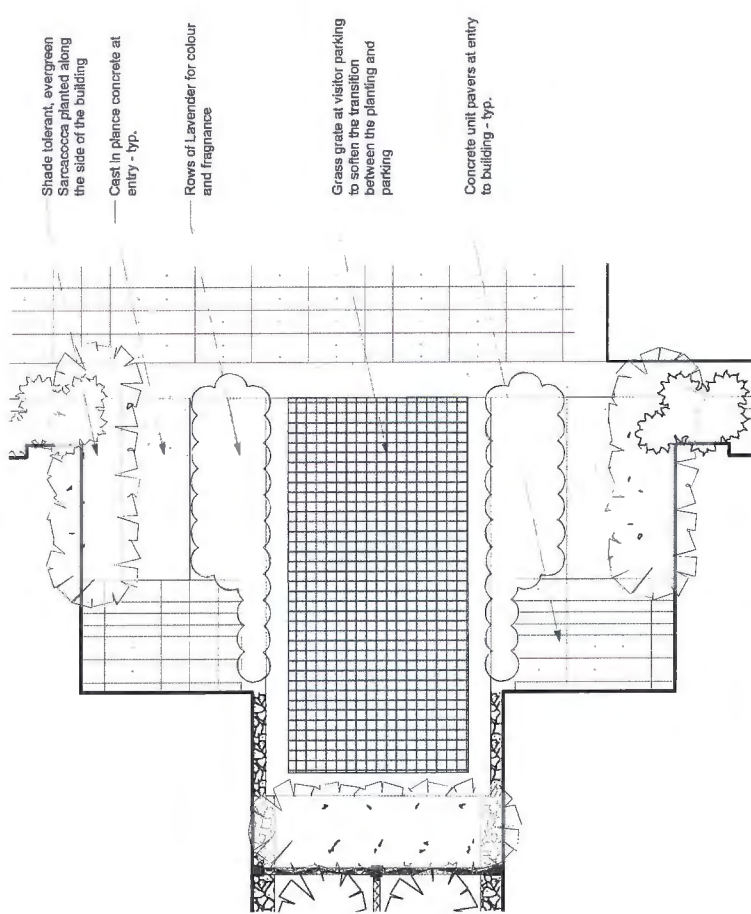
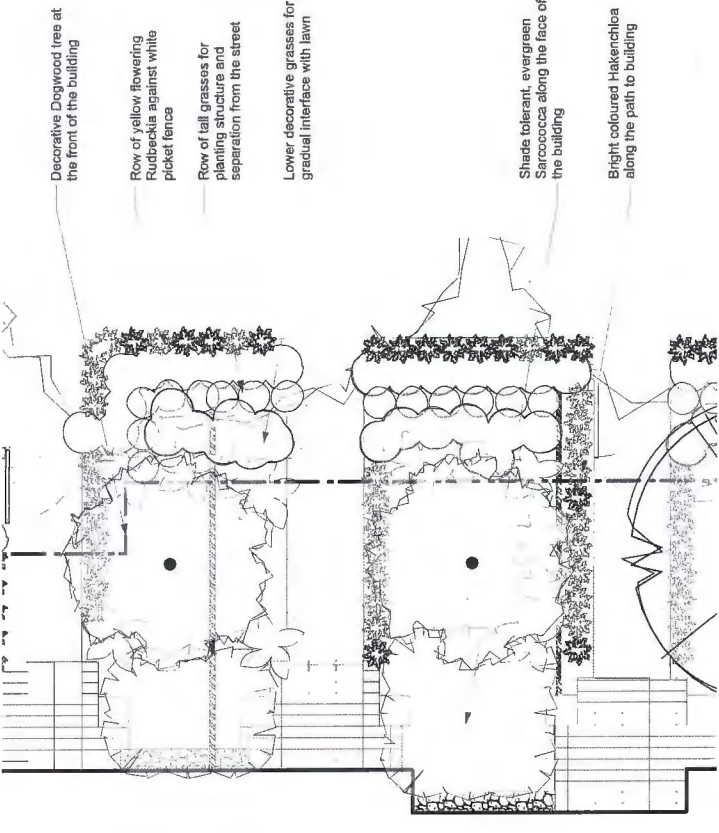
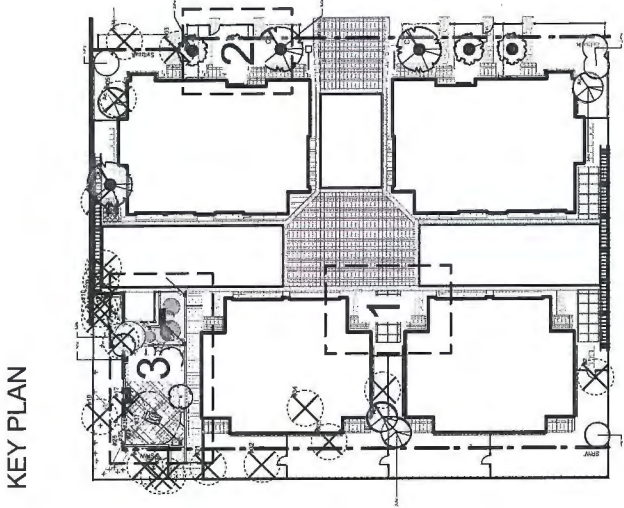
Legal
8211 No. 2 Road
Reframed, BC

Project Manager	Project ID	Scale
KB	Z11463	3.d
Drawn By	11100	12
Drawn Date	08/17/14	

AUG 25 2015

1 Section/ Front Elevation- proposed pathway lighting
Scale: 3/4" = 1'-0"

DP 14-674133 PLAN #11



KEY PLAN

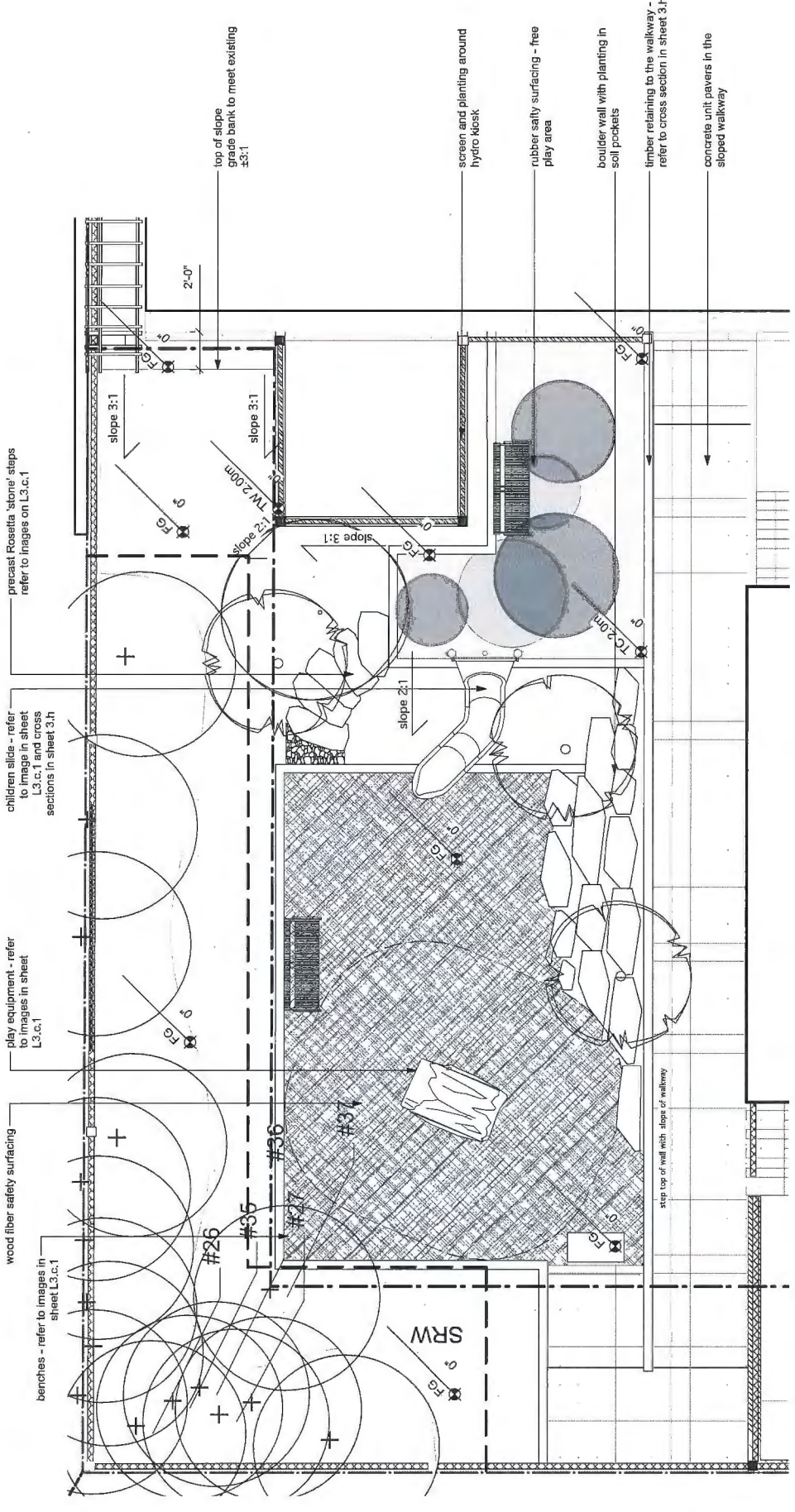
Revision No.	Date	Revision Notes

Issue No.	Date	Issue Notes
A	09/21/14	Issue for DP
B	03/01/15	Revised for DP
C	03/01/15	Revised for DP
D	03/01/15	Revised for ADP
E	03/01/15	Revised for DP w/Comments

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1 Unit Entries/Visitor parking stalls
Scale: 1/4" = 1'-0"

2 Unit Entries from street
Scale: 1:50



3 Play Area
Scale: 1/4" = 1'-0"



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Project
Verona Garden

Drawing Title
Detail Areas

Legal
0211 No. 2 Road
Richmond, BC

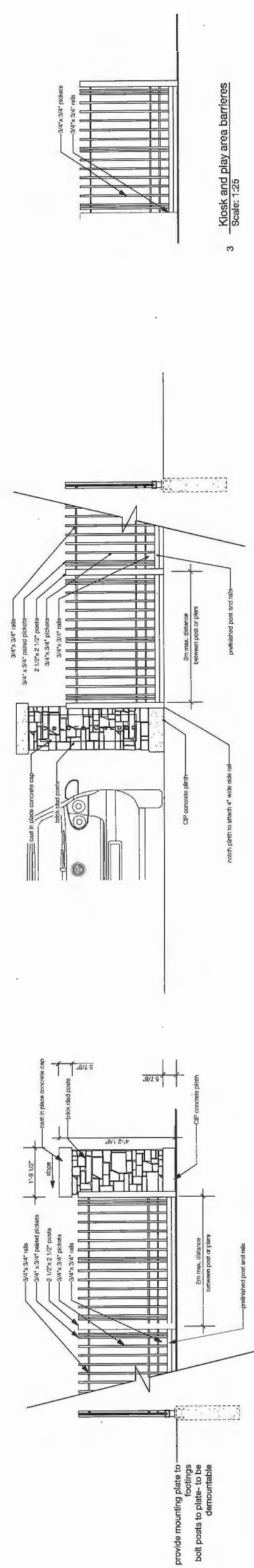
Project Name	Project ID
Verona Garden	21443
Client	Drawn By
KB	DT
Checked By	Date
	09/17/14
Scale	Sheet No.
3.0	12

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DP 14-674133

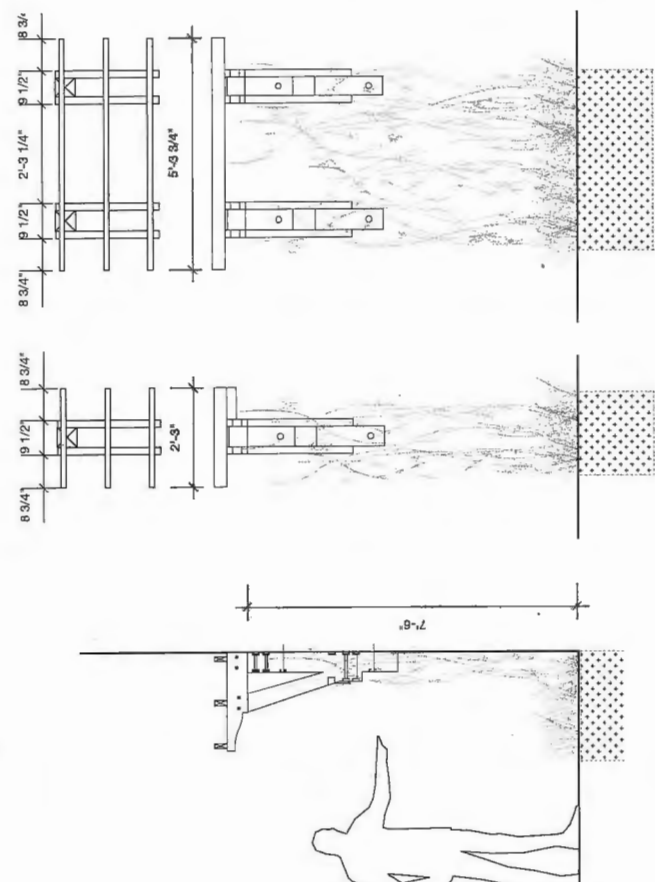
PLAN #12

Issue No.	Date	Issue Notes
A	9/29/14	Issue for DP
B	3/20/15	Re-issued for DP
C	3/20/15	Re-issued for DP
D	3/20/15	Re-issued for ADP
E	05/06/15	Re-issued for DP - Comments

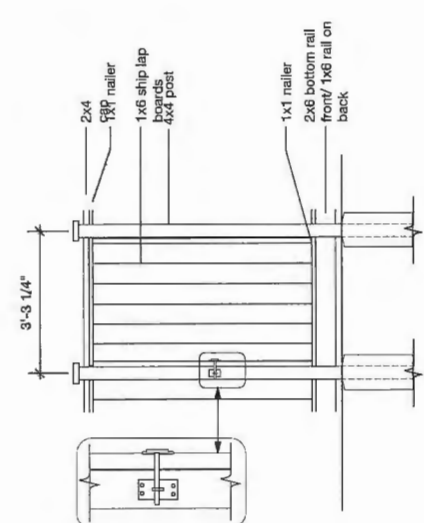
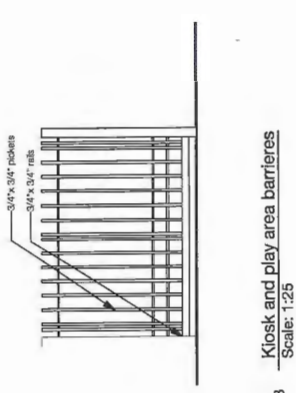


1 3.5' high demountable metal front fencing and accent post
Scale: 1:25

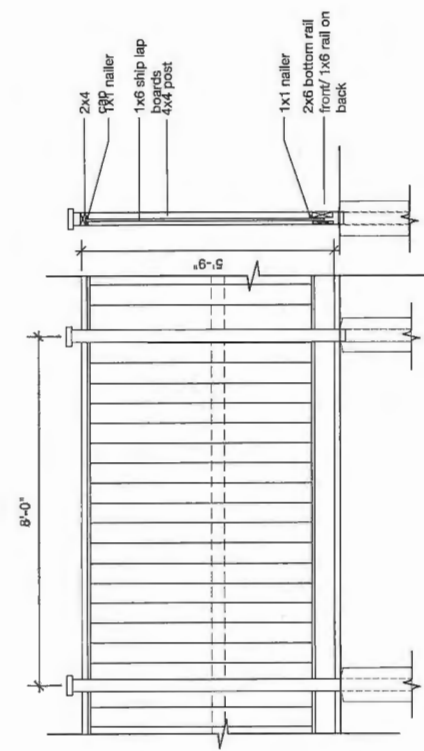
2 Demountable metal front fencing and entry signage
Scale: 1:25



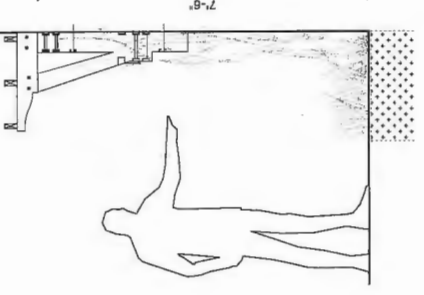
3 Kiosk and play area barriers
Scale: 1:25



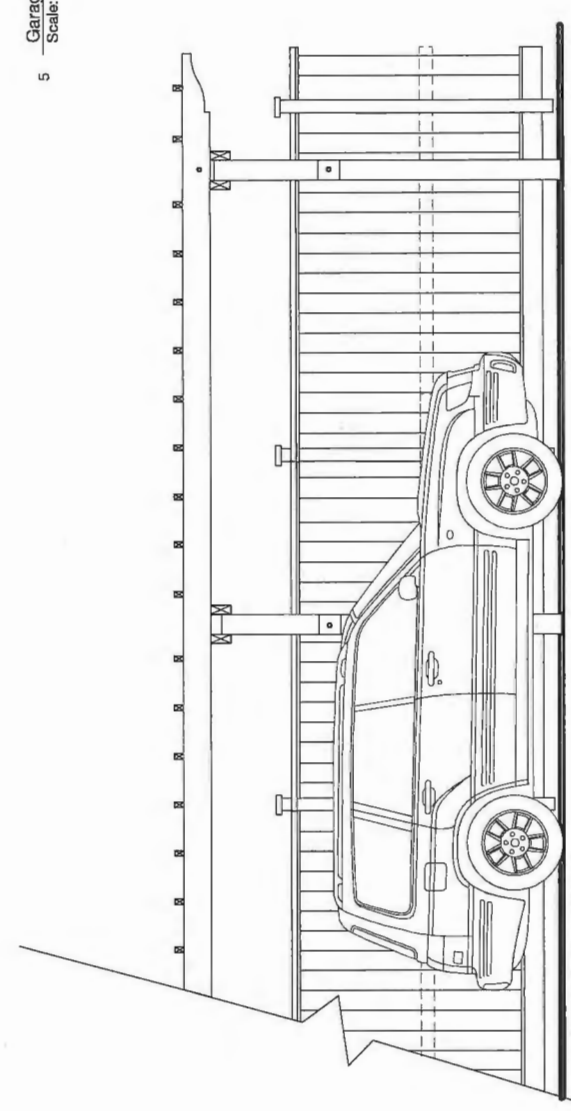
4 6' fencing and gates
Scale: 1:25



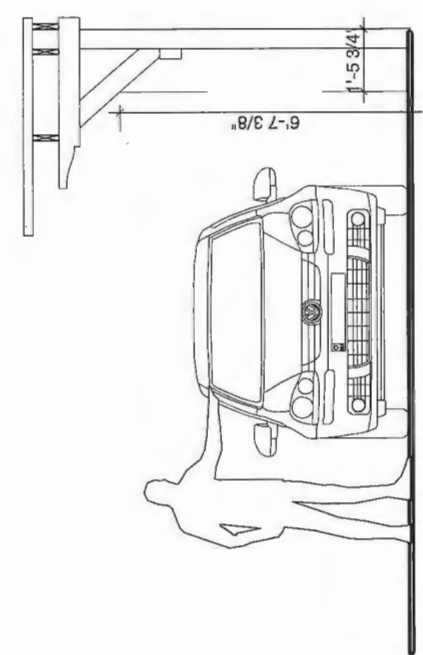
5 Garage wall mounted arbour accents - to have vines
Scale: 1:25



5a Detail elevation
Scale: 1:20



6 Arbours at ends of drive aisles
Scale: 1:25



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DP 14-674133

PLAN #13

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Project
Verona Garden

Drawing Title
Fencing and Arbour
Details

L104	Project ID	21443
02/11/14	Project No.	1-250
KB	Project Name	Verona Garden
DT	Project No.	3.1
09/15/14	Project No.	12

For Date:
2-14-13 Verona Garden Master 2015.vsw

Revision No.	Date	Revision Notes
A	9/20/14	Issue for DP
B	3/22/15	Re-issued for DP
C	3/24/15	Re-issued for DP
D	3/31/15	Issued for ADP
E	05/09/15	Re-issued for LP w/Comments

Issue No.	Date	Issue Notes
A	9/20/14	Issue for DP
B	3/22/15	Re-issued for DP
C	3/24/15	Re-issued for DP
D	3/31/15	Issued for ADP
E	05/09/15	Re-issued for LP w/Comments

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Project
Verona Garden

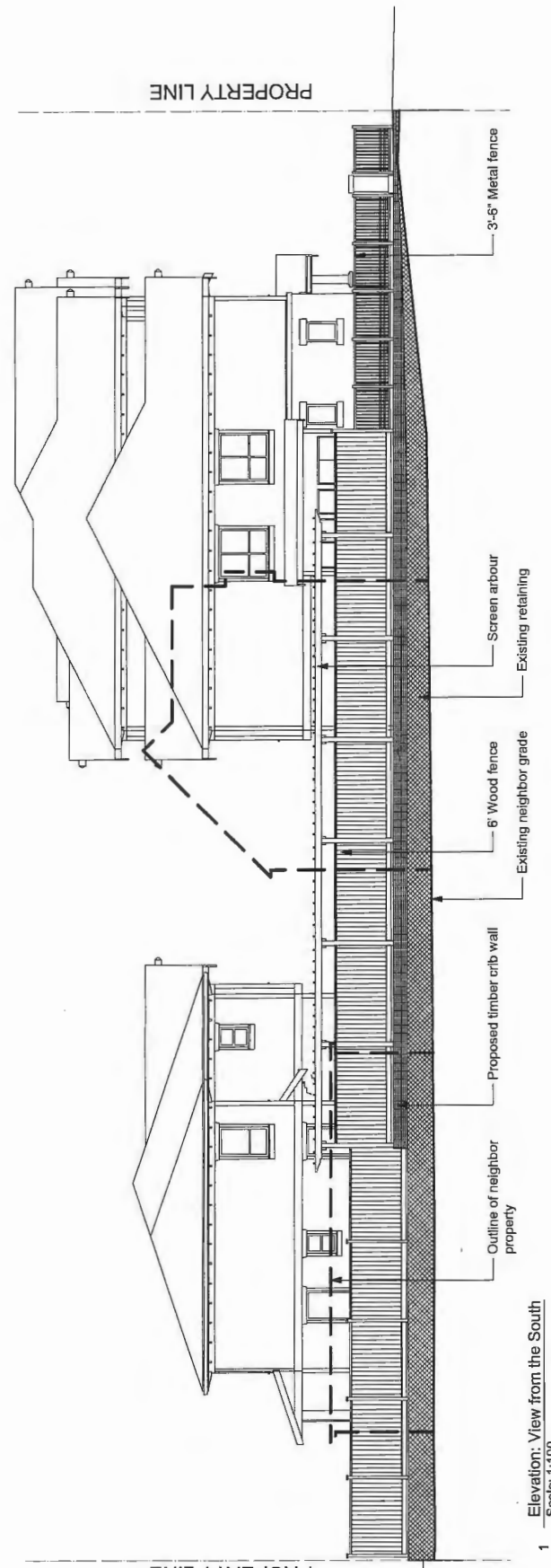
Drawing Title
Elevations

Legal
 8211 No. 2 Road
 Richmond, BC

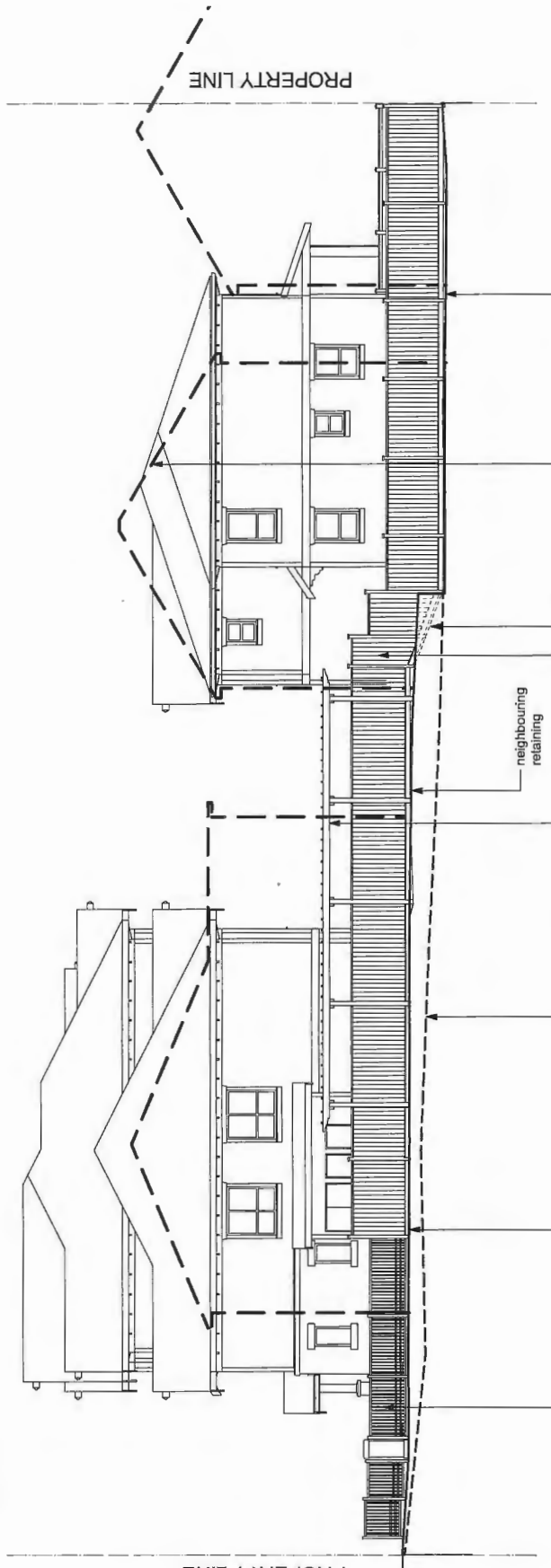
Project ID	21443
Drawn By	FB
Scale	1:50
Drawn On	DT
Drawn No.	3.9
Date	09/15/14
Sheet	12

Plot Date:
 15-5-15
 21443 Verona Garden Master 2015-1.yxd

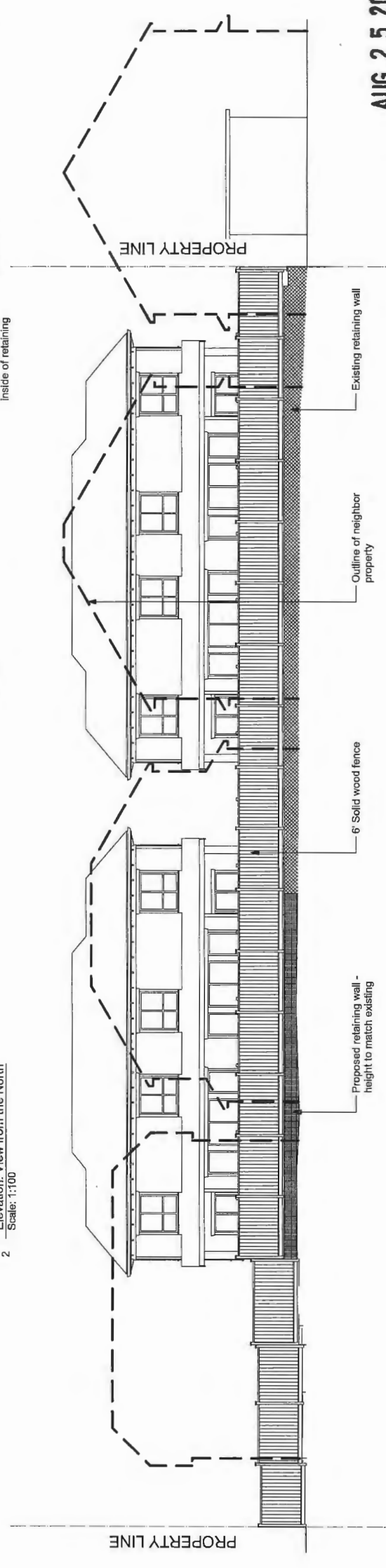
PLAN #14



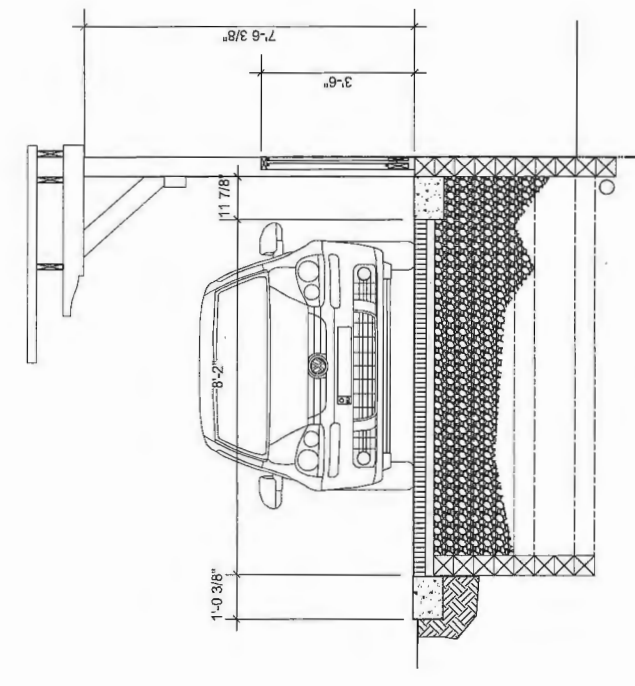
1 Elevation: View from the South
 Scale: 1:100



2 Elevation: View from the North
 Scale: 1:100



3 Elevation: View from the West
 Scale: 1:100



4 Arbor and Retaining Wall Detail
 Scale: 1:25

AUG 25 2015

DP-14-674133

Revision No.	Date	Revision Notes
A	03/05/14	Issue Notes
B	3/02/15	Issue for DP
C	3/04/15	Re-issued for DP
D	3/01/15	Issued for DP
E	05/09/15	Re-issued for DP - Comments

Issue No.	Date	Issue Notes
A	03/05/14	Issue for DP
B	3/02/15	Re-issued for DP
C	3/04/15	Issued for DP
D	3/01/15	Issued for DP
E	05/09/15	Re-issued for DP - Comments

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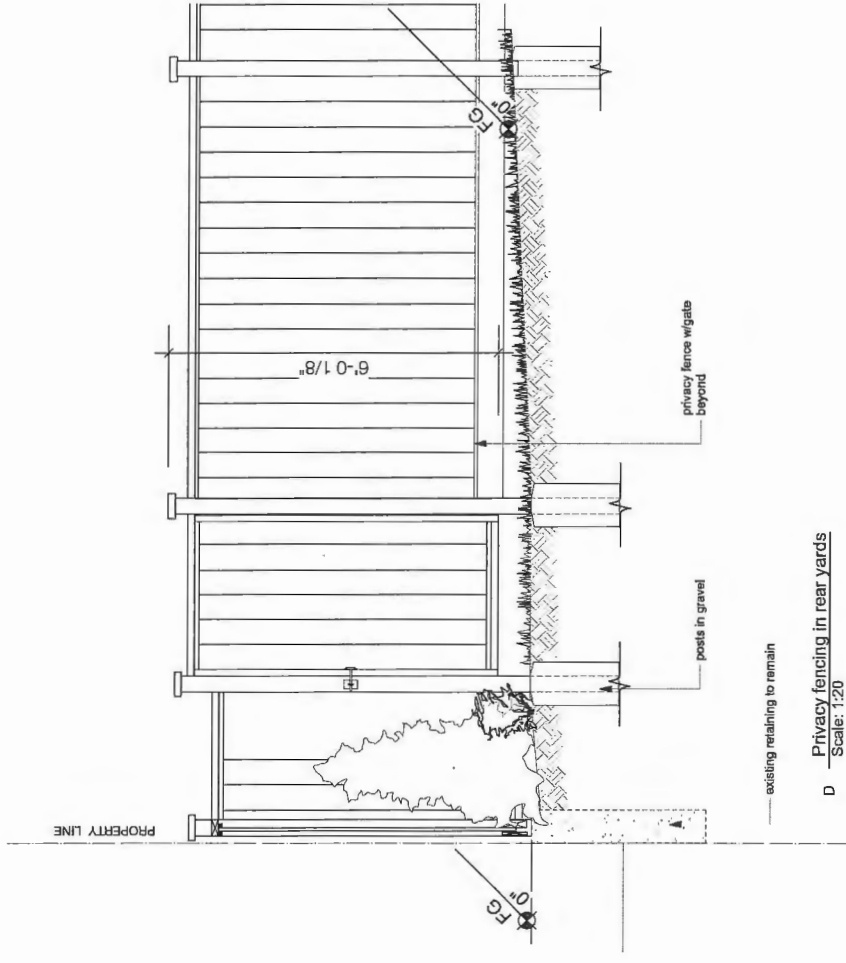
Project
Verona Garden

Drawing Title
Sections
Play Area and Rear Yards

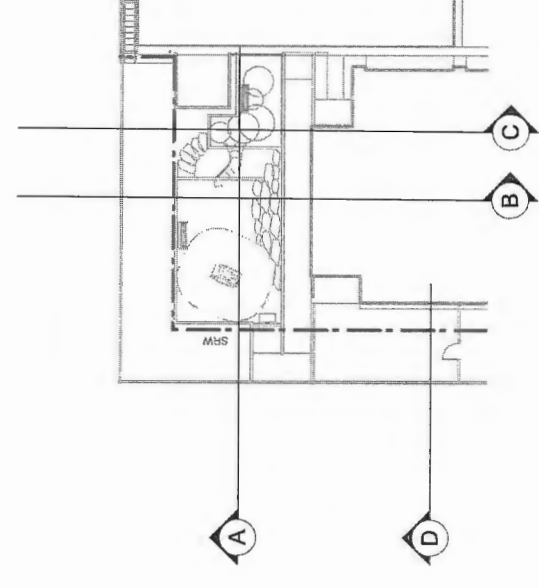
Light
2011 No. 2 (Revised)
Reference: BC

Project No.	21443
Site	Site 10/10/14
Community	3, h
Date	09/17/14
Sheet No.	12

PLN 015



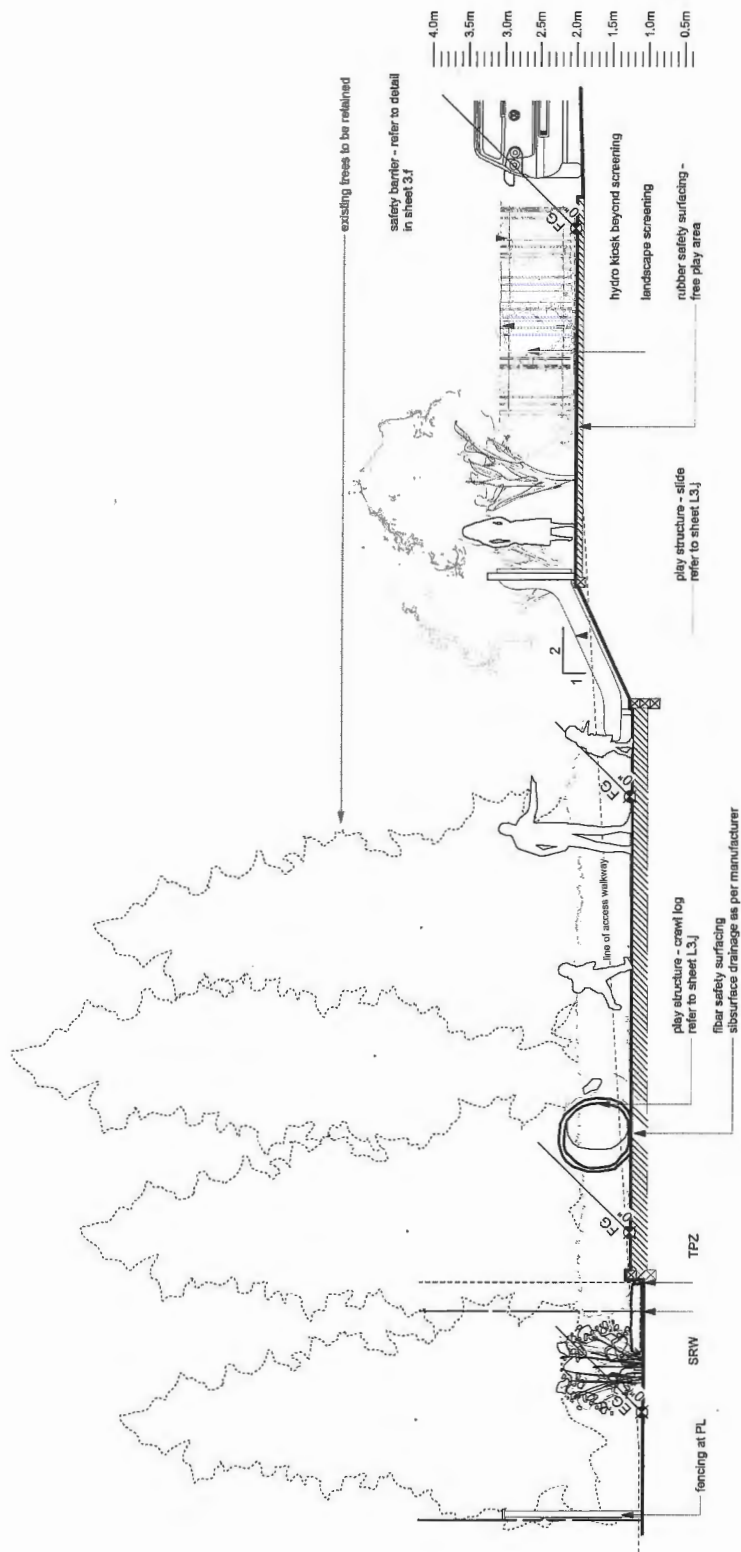
D Privacy fencing in rear yards
Scale: 1:20



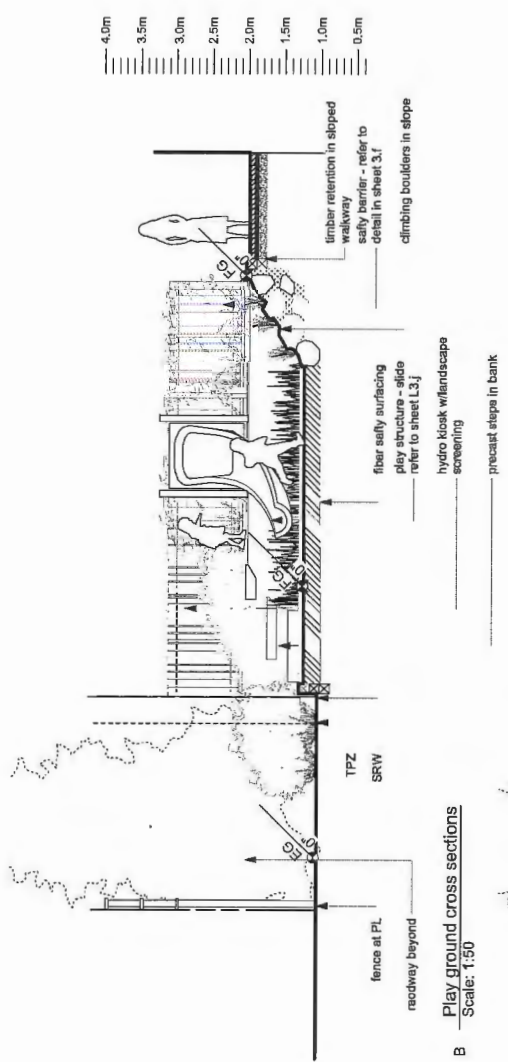
CROSS SECTION KEY PLAN
NTS

AUG 25 2015

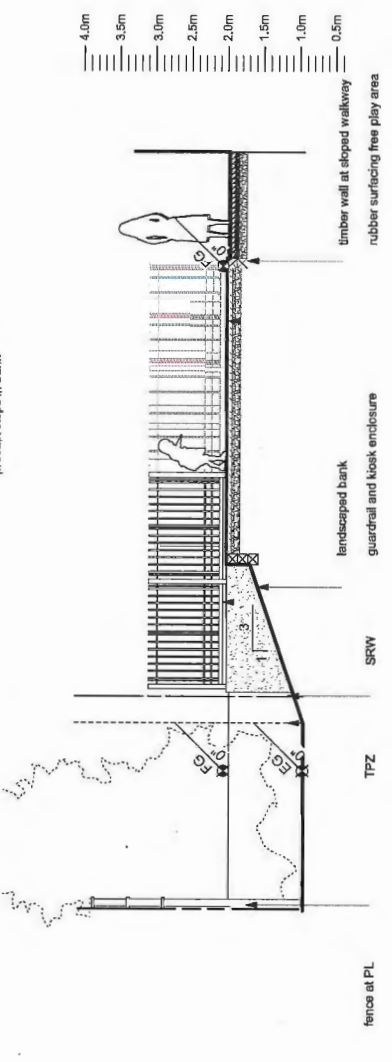
DP 14-674133



A Playground cross sections
Scale: 1:30



B Playground cross sections
Scale: 1:30



C Playground cross sections
Scale: 1:30

Issue No.	Date	Issue Notes
A	02/21/14	Issue for GP
B	03/25/15	Revised for GP
C	02/03/15	Revised for GP
D	02/10/15	Revised for GP
E	05/05/15	Revised for GP - Comments

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Project: Verona Garden

Drawing Title: Hardscape Details

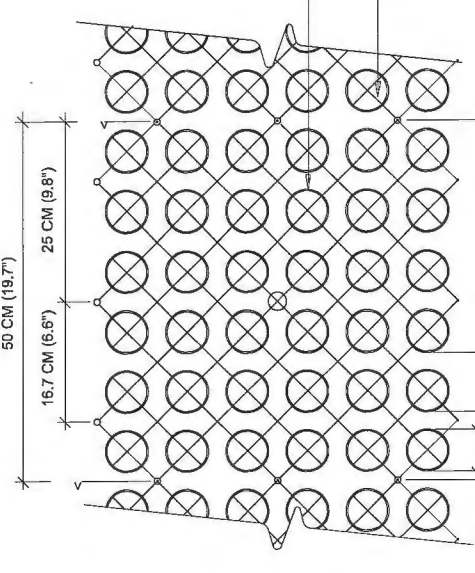
Legal: 9211 No. 2 Road Richmond, BC

Project Manager	Project ID	Revision	Drawing No.
KB	211443	3.1	12
Drawn By	Scale		
KB			
Reviewed By			
Date			
09/17/14			

File Path: 21443 Verona Garden Master 2015-1.dwg
21443 Verona Garden Master 2015-1.dwg

PLAN # 16

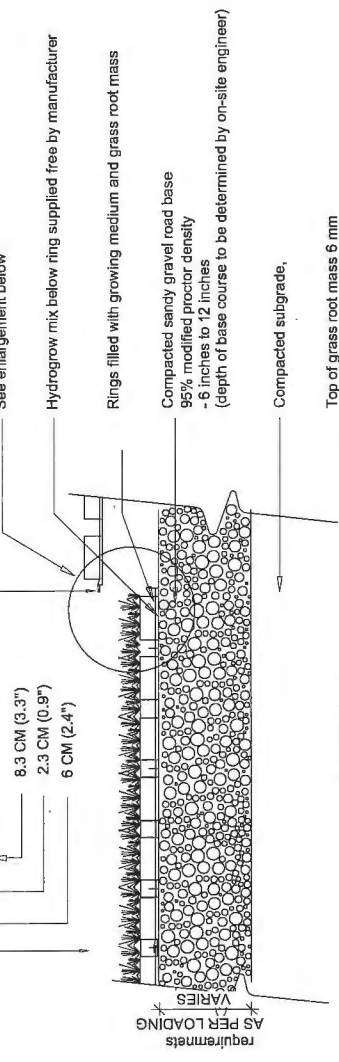
Specifications
Unit size - 60 cm x 50 cm x 2.5 cm (20" x 20" x 1")
Available in 9 standard roll sizes
Unit weight - 510 grams (18 oz.) or 2.0 kg (4.5 pounds)
Strength - 402 kg/cm (5720 psi)
Colour - black (standard)
Resin - hdpe (with some post-consumer recycled content)



Plan
Grasspave2 squares

Adjacent grasspave2 squares

Section
See enlargement below



Hydrogrow mix below ring supplied free by manufacturer

Rings filled with growing medium and grass root mass

Compacted sandy gravel road base 95% modified proctor density - 6 inches to 12 inches (depth of base course to be determined by on-site engineer)

Compacted subgrade

Top of grass root mass 6 mm (1/4") above top of ring

Grasspave2 attach with snap-fit fasteners

Root mass to fill grasspave2

Compacted sandy gravel base course

Enlargement

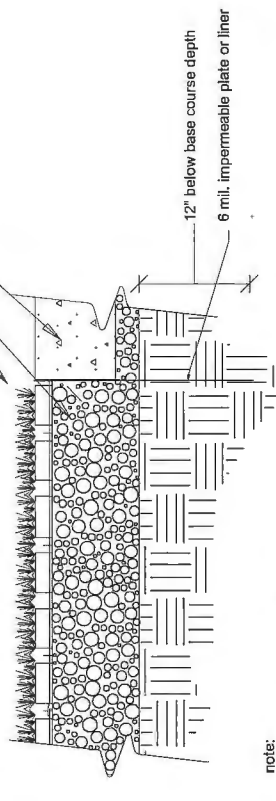
Note: grass/plant types and growing medium shall be specified by a landscape architect or landscape designer

6 Grass Pave Scale: 1:10

grass filled grasspave2 units

compacted sandy gravel road base

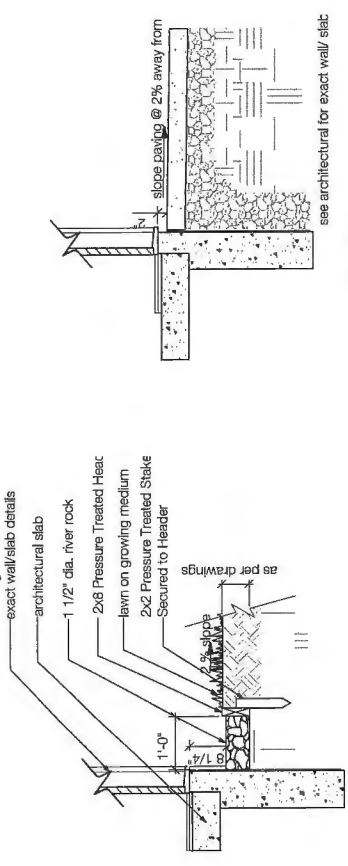
.3m wide flush concrete edge restraint/walking surface



note:

compacted subgrade, 95% modified proctor density grass/plant types shall be specified by a landscape architect or landscape designer

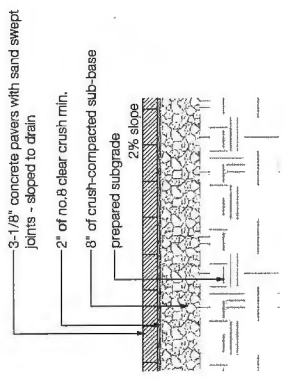
7 Grass Pave with concrete edging Scale: 1:10



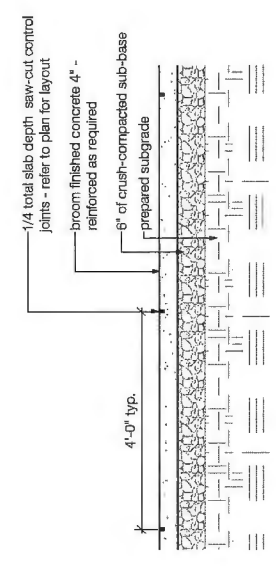
1 Drip strip Scale: 1:20

2 Threshold Scale: 1:20

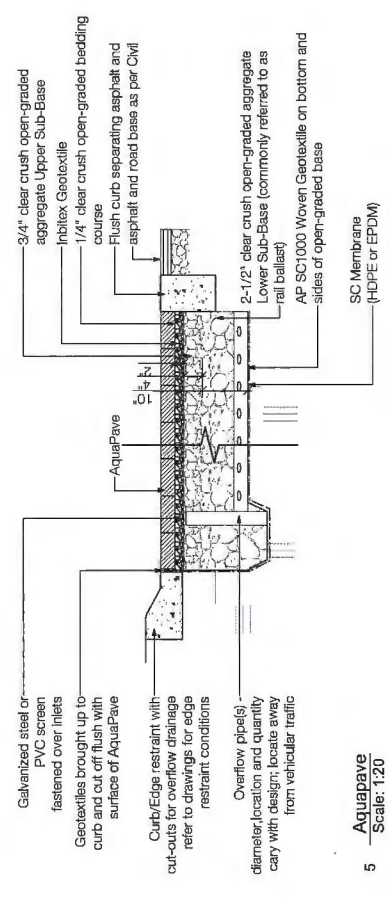
see architectural for exact wall/ slab



3 Vehicular Paving Scale: 1:20



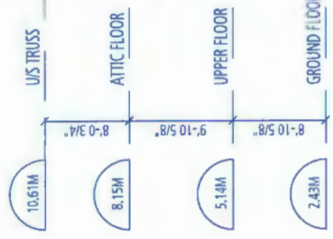
4 Broom finish concrete Scale: 1:20



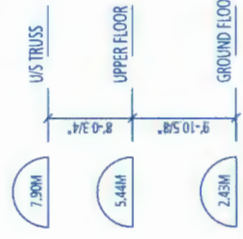
5 Aquapave Scale: 1:20

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DP 14-674133



STREETSCAPE



YARDSCAPE (WEST)



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VERONA GARDEN

9211 & 9231 No. 2 Road
for
Western Verona Garden
Holding Ltd.

DP 14-674133 - MAY 12, 2015



AUG 25 2015

PLAN 17 DP 14-674133

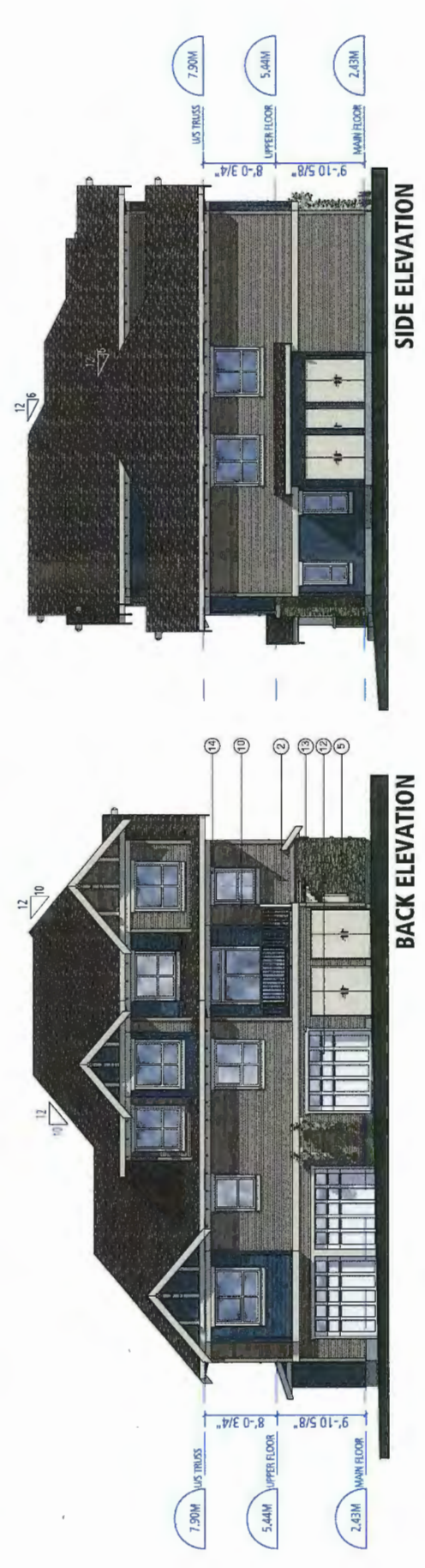
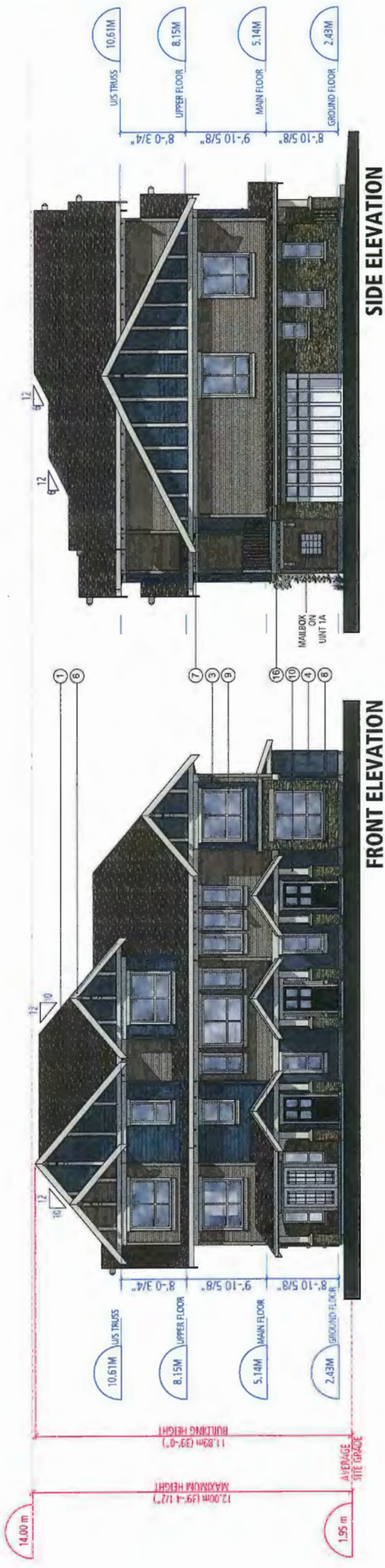


Building Characteristic Summary:

- Exterior Walls - 2x6 R19 Construction R value (15.8 Effective R value)
- Roof/Attic - 3x12 Construction R value
- Windows - Low E Argon 3 glaze U 2.0
- Space Condition - Electric Baseboard
- Ventilation - HRV
- Hot water Heating - Electric DHW
- Other Energy Impact Features - Drain water heat recovery

PROVISION OF ACCESSIBILITY FEATURES "AGING-IN-PLACE" REQUIREMENTS ON ALL UNITS:

- Entry doors minimum 855 mm clear opening (3'-0" swinging door spec.)
- Hallways minimum 900 mm width
- Door from garage to living area minimum 2'-10" (swinging door spec.)
- Blocking to bathrooms for installation of grab-bars (toilet, tub and shower)
- Provision of lever door handles
- One window that can be opened with a single hand in the living room
- One window that can be opened with a single hand in one bedroom



EXTERIOR FINISHES SCHEDULE	
1	ROOF - PABCO - Asphalt shingles - Weathered Wood
2	HARDIE PLANK LAP SIDING - JAMES HARDIE - Khaki Brown
3	HARDIE SHINGLE-Straight Edge Panel - JAMES HARDIE - Bootbay Blue
4	HARDIE PANEL VERTICAL SIDING - JAMES HARDIE - Bootbay Blue
5	STONE - CULTURED STONE - Pro-fit Ledgestone
6	FASCIA - SHERWIN WILLIAMS - SW 7542 Naturel
7	HORIZONTAL TRIM - SHERWIN WILLIAMS - SW 7542 Naturel
8	ENTRY DOOR (Exterior Only) - SHERWIN WILLIAMS - SW 6258 Tricorn Black
9	WINDOW FRAMES - White
10	WOOD COLUMNS - SHERWIN WILLIAMS - SW 7004 Snowbound
11	RAIL & PICKETS, RAFTERS - SHERWIN WILLIAMS - SW 6237 Dark Night
12	GARAGE DOOR - OVERHEAD DOOR Thermacore-Color White
13	GARAGE DOOR TRIM - SHERWIN WILLIAMS - SW 7542 Naturel
14	WINDOW & DOOR TRIM - SHERWIN WILLIAMS - SW 7542 Naturel
16	SOFFITS - VINYL Sand
17	GUTTERS/DOWNSPOUTS - GENTEK - Almond 532
18	ALL FLASHING - Match to Trim or GENTEK - Almond 532



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VERONA GARDEN
 9211 & 9231 No. 2 Road
 for
 Western Verona Garden Holding Ltd.

DP 14-674133 - MAY 12, 2015

AUG 25 2015

BUILDING 1 & 4 ELEVATIONS

SCALE 1/8" = 1'-0"

DP 14-674133

PLAN #18



PLAN#04

Building Characteristic Summary:

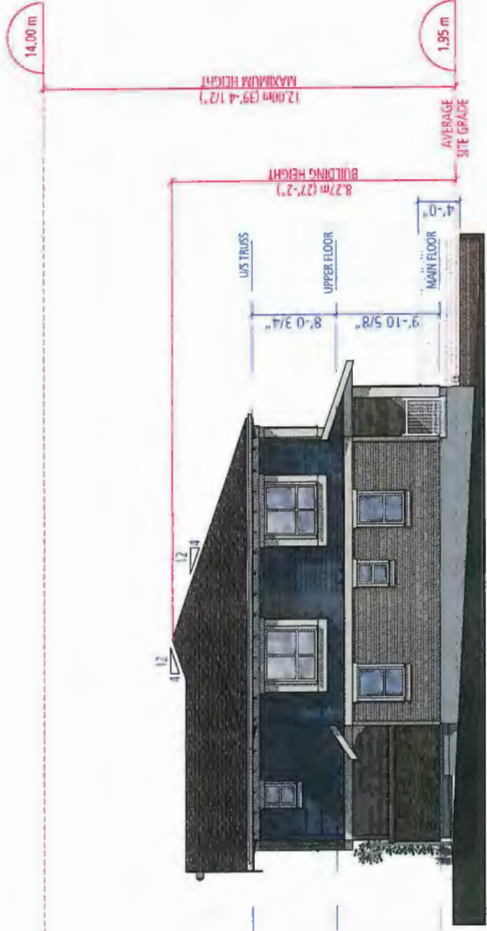
- Exterior Walls - 2x6 R19 Construction R value (15.8 Effective R value)
- Roof/Attic - 3x12 Construction R value
- Windows - Low E Argon 3 glaze U 2.0
- Space Condition - Electric Baseboard
- Ventilation - HRV
- Hot water Heating - Electric DHW
- Other Energy Impact Features - Drain water heat recovery

PROVISION OF ACCESSIBILITY FEATURES "AGING-IN-PLACE" REQUIREMENTS ON ALL UNITS:

- Entry doors minimum 855 mm clear opening (3'-0" swinging door spec.)
- Hallways minimum 900 mm width
- Door from garage to living area minimum 2'-10" (swinging door spec.)
- Blocking to bathrooms for installation of grab-bars (toilet, tub and shower)
- Provision of lever door handles
- One window that can be opened with a single hand in the living room
- One window that can be opened with a single hand in one bedroom

EXTERIOR FINISHES SCHEDULE

1	ROOF	PABCO - Asphalt shingles - Weathered Wood
2	HARDIE PLANK LAP SIDING	JAMES HARDIE - Khaki Brown
3	HARDIE SHINGLE-Straight Edge Panel	JAMES HARDIE - Boothbay Blue
4	HARDIE PANEL VERTICAL SIDING	JAMES HARDIE - Boothbay Blue
5	STONE	CULTURED STONE- Pro-fit Ledgestone
6	FASCIA	SHERWIN WILLIAMS - SW 7542 Naturel
7	HORIZONTAL TRIM	SHERWIN WILLIAMS - SW 7542 Naturel
8	ENTRY DOOR (Exterior Only)	SHERWIN WILLIAMS - SW 6258 Tricom Black
9	WINDOW FRAMES	White
10	WOOD COLUMNS	SHERWIN WILLIAMS - SW 7004 Snowbound
11	RAIL & PICKETS, RAFTERS	SHERWIN WILLIAMS - SW 6237 Dark Night
12	GARAGE DOOR	OVERHEAD DOOR Thermacore-Color White
13	GARAGE DOOR TRIM	SHERWIN WILLIAMS - SW 7542 Naturel
14	WINDOW & DOOR TRIM	SHERWIN WILLIAMS - SW 7542 Naturel
16	SOFFITS	VINYL Sand
17	GUTTERS/DOWNSPOUTS	GENTEK - Almond 53Z
18	ALL FLASHING	Match to Trim or GENTEK - Almond 53Z



FRONT ELEVATION
BUILDING 2



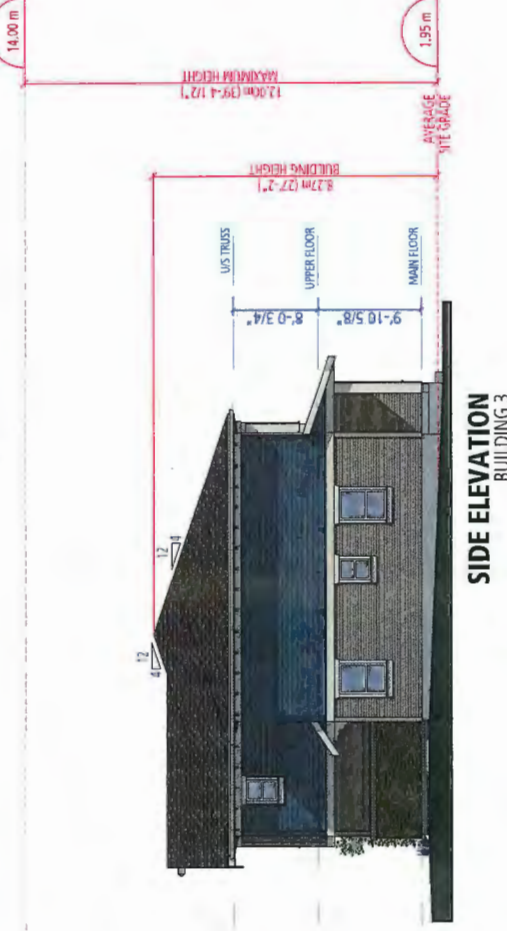
SIDE ELEVATION
BUILDING 2



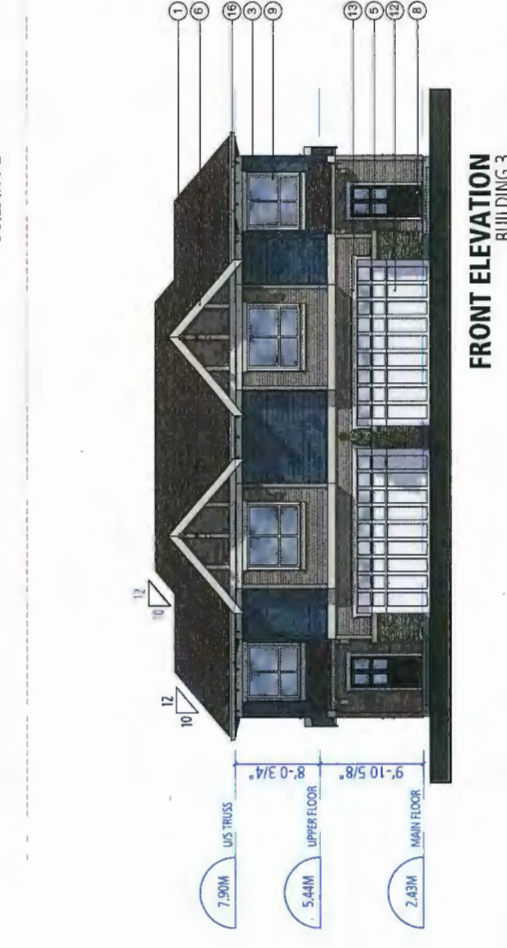
BACK ELEVATION
BUILDING 2



FRONT ELEVATION
BUILDING 3



SIDE ELEVATION
BUILDING 3



BACK ELEVATION
BUILDING 3



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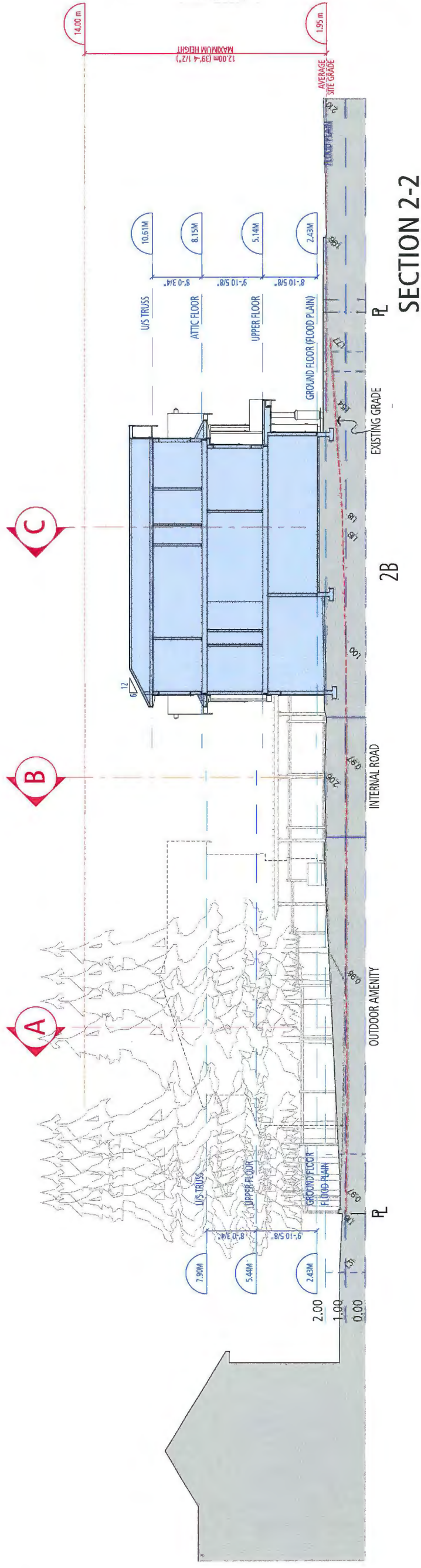
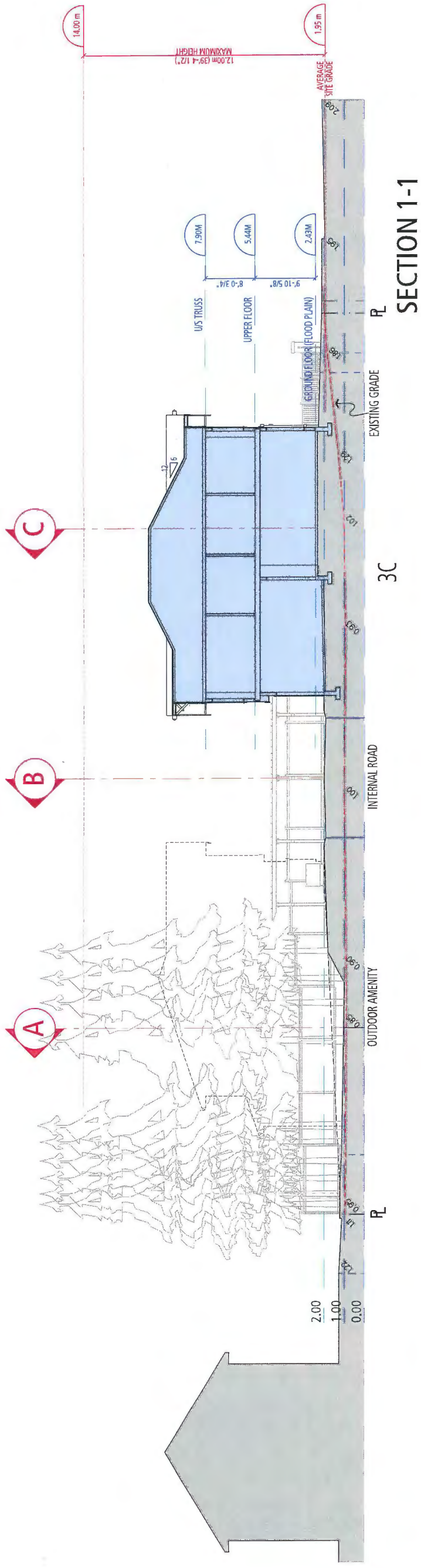


AUG 25 2015

DP 14-674133
PLAN #19

BUILDING 2 & 3 ELEVATIONS
SCALE 1/8" = 1'-0"

FEAT#105



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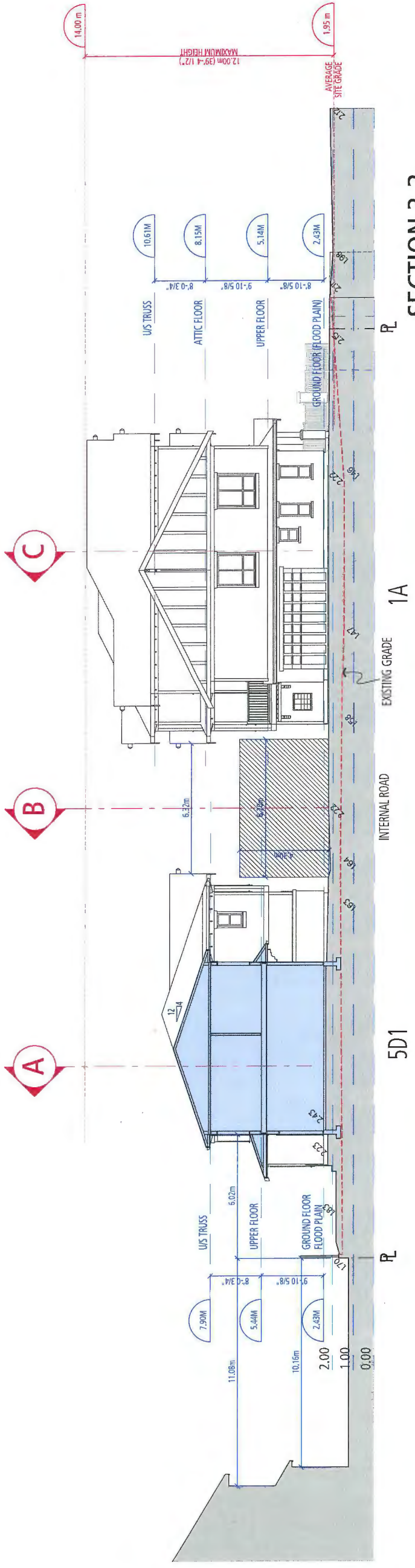
AUG 25 2015

DP 14-674133

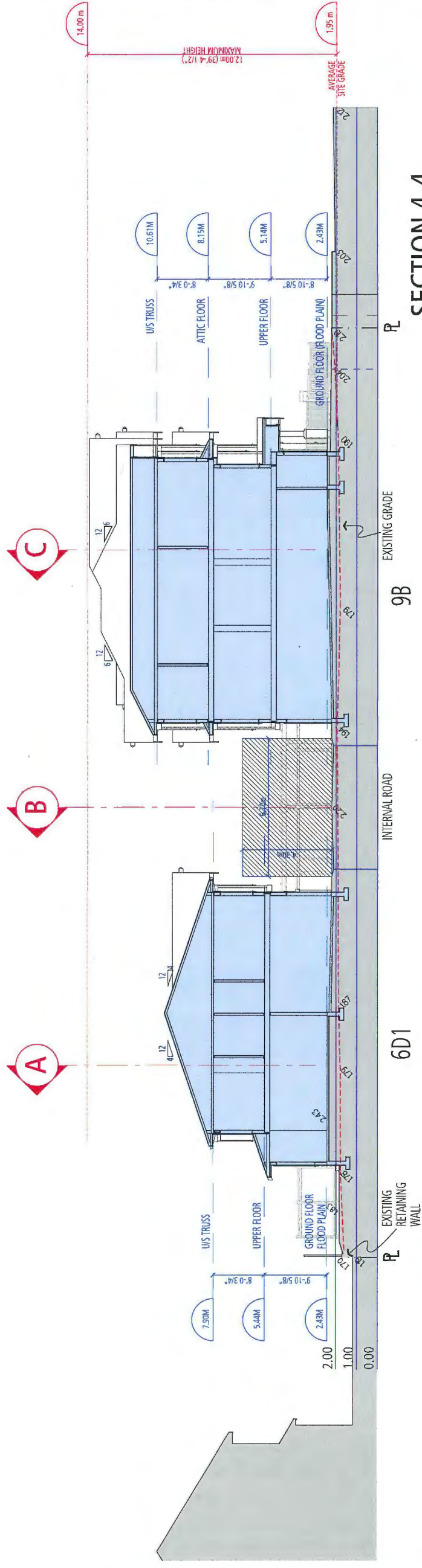
PLAN#06

Plan # 20

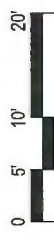
SITE SECTIONS
 SCALE 1/8" = 1'-0"



SECTION 3-3



SECTION 4-4



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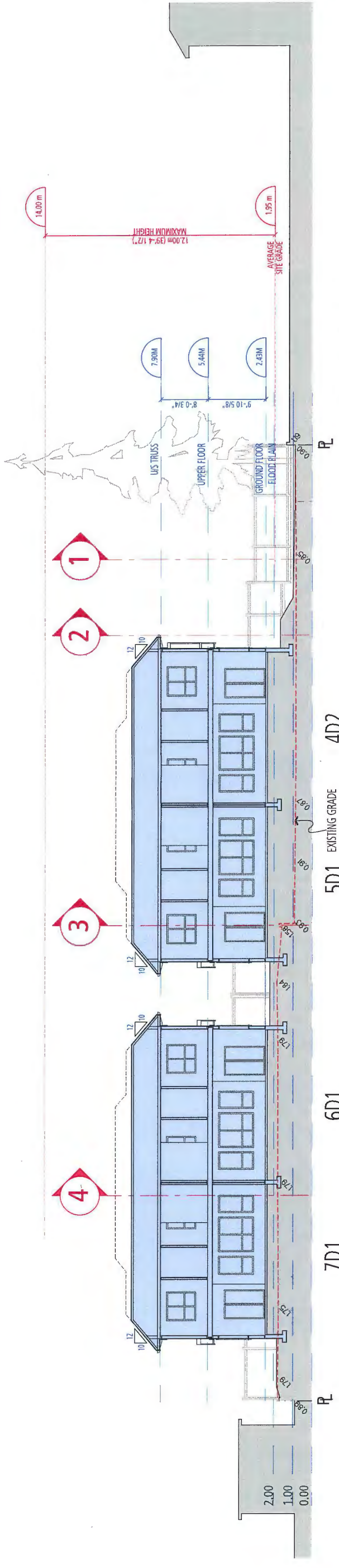
AUG 25 2015

SITE SECTIONS
SCALE 1/8" = 1'-0"

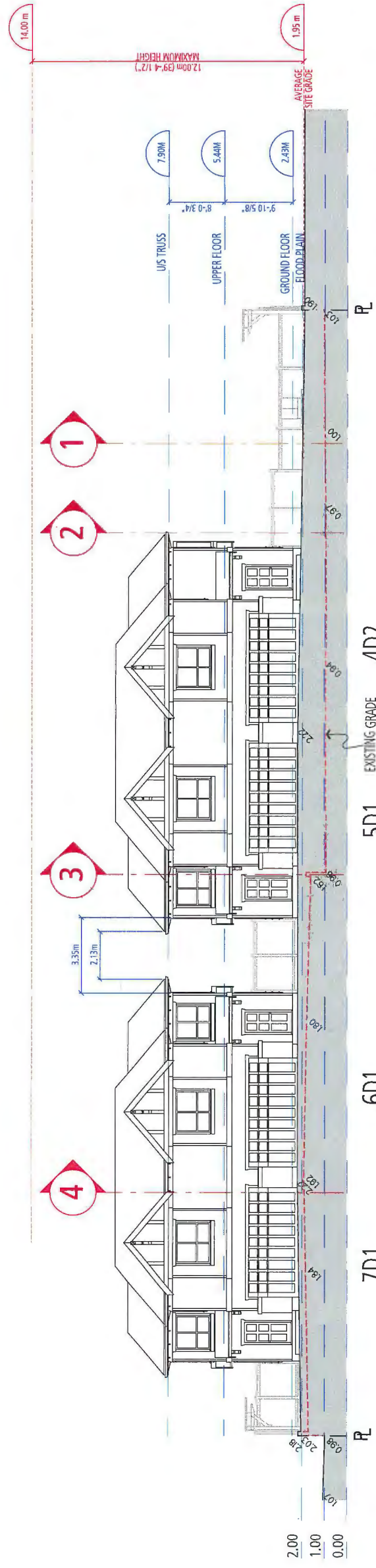
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PLAN # 21

PLAN # 07



SECTION A-A



SECTION B-B



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DP 14-674133 - MAY 12, 2015

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BRITISH COLUMBIA • ALBERTA • WASHINGTON
202-2495 Quebec Street • 604-873-2807
Vancouver, BC • V5T 4L6 • fougerearchitecture.ca

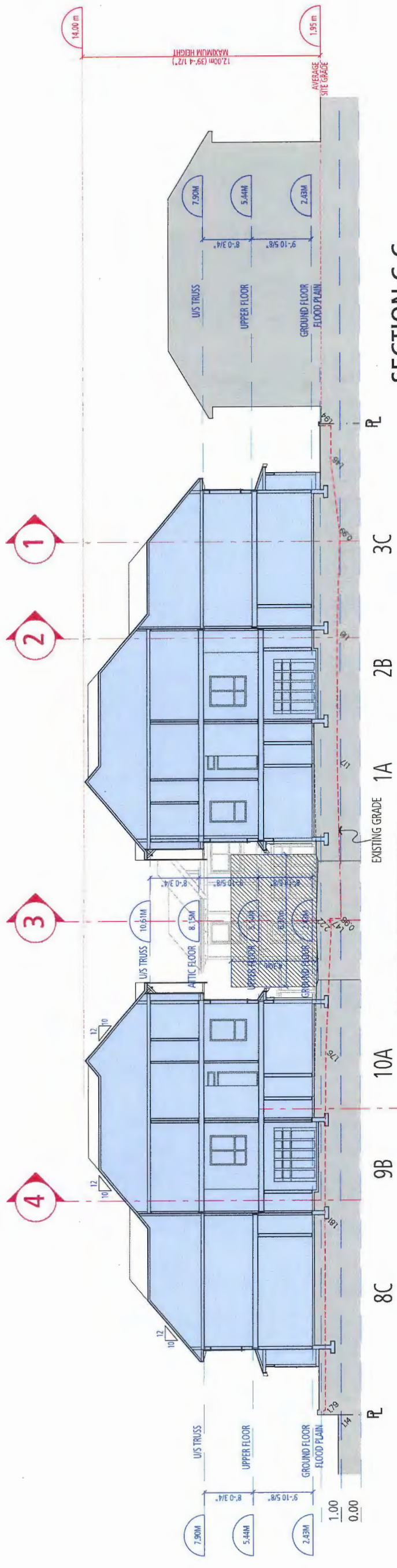
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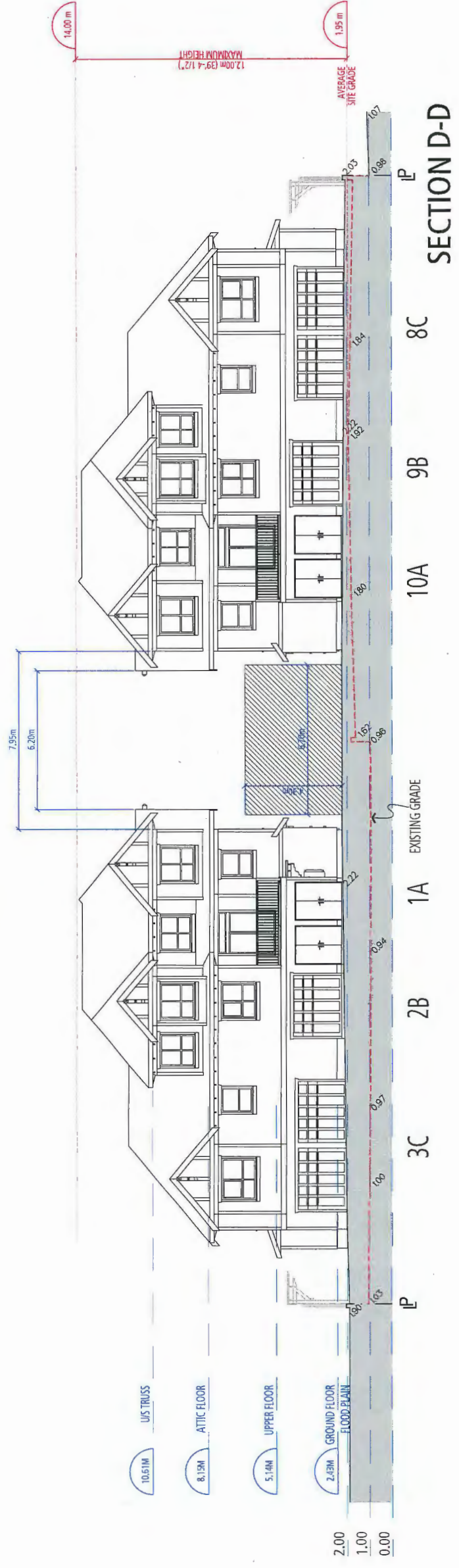
PLAN # 22

SITE SECTIONS

SCALE 1/8" = 1'-0"



SECTION C-C



SECTION D-D



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REGISTERED ARCHITECT • WESTWOOD HOUSE
MARK A. FOUGERE
July 12, 2015

VERONA GARDEN
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for
Western Verona Garden
Holding Ltd.

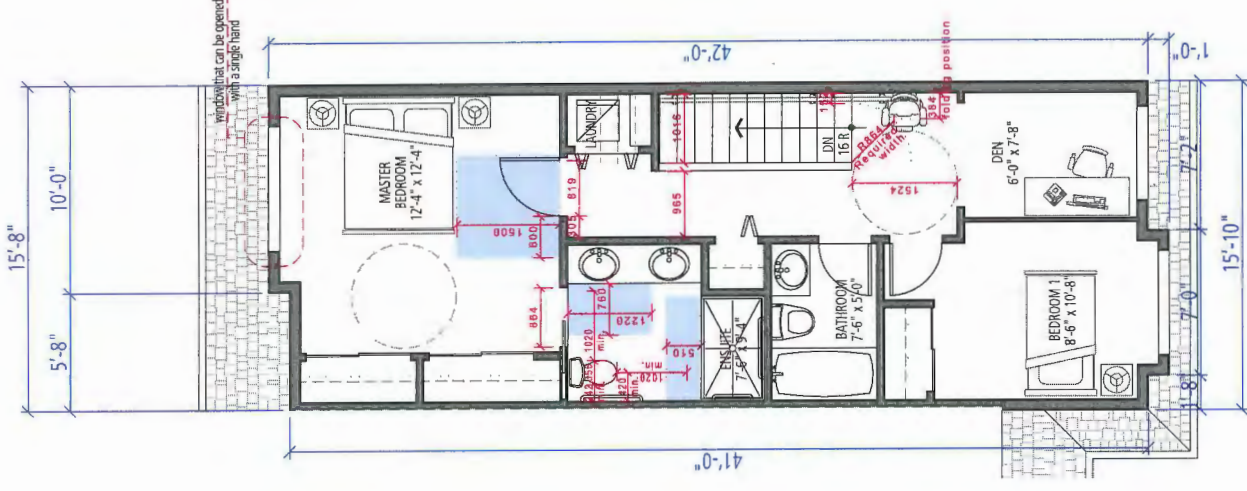
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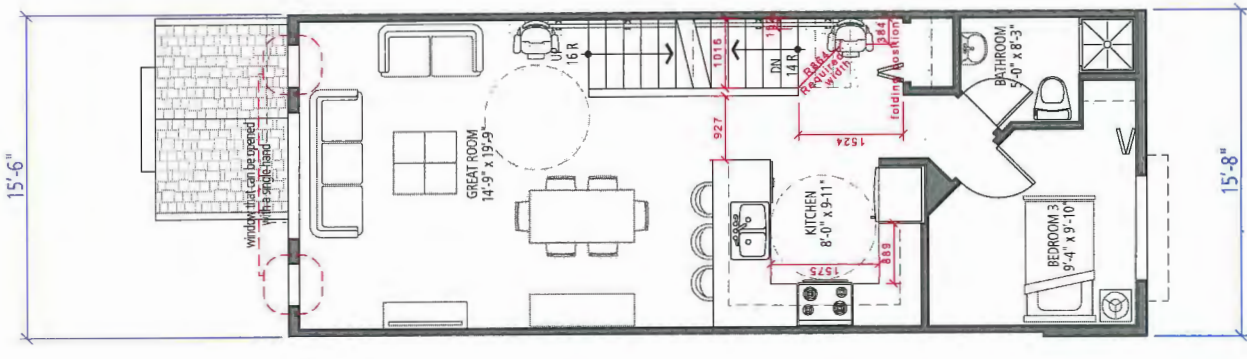
AUG 25 2015

DP 14-674133
PLAN #23

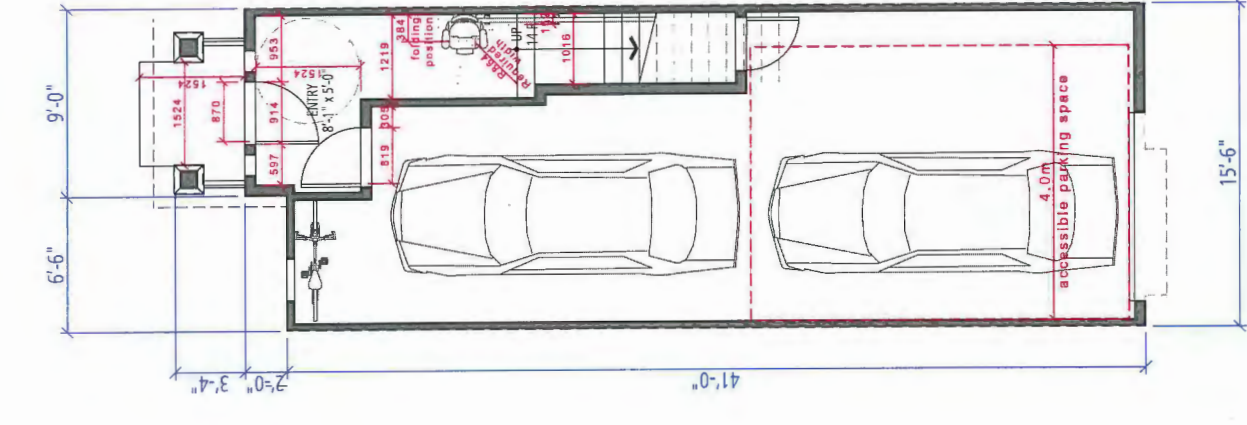
SITE SECTIONS
SCALE 1/8" = 1'-0"



UPPER FLOOR



MAIN FLOOR



GROUND FLOOR



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DP 14-674133 - MAY 12, 2015

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Vancouver, BC V5T 4L6 fougerearchitecture.ca

PLAN#10

Summary of the Convertible Unit Features Checklist as Submitted

- Toilet clear floor space min. 1020 mm at side and in front
- Interior Doors to main living areas, 1 bedroom and 1 bedroom min 800 mm clear opening with flush thresholds max. 13 mm height.
- Wall blocking for future installation of grab-bars (toilet, tub and shower)
- Clear area needed under future work space. Plumbing and gas pipes (in-wall and in-floor) located clear of under counter area of future work space (stove, sink & min. 810 mm wide counter)
- 1500 mm turning diameter or turning path diagram
- One window that can be opened with a single hand in the living room
- One window that can be opened with a single hand in one bedroom
- Entry doors minimum 863 mm clear opening, but ideally 914 mm.
- Entry door clear exterior floor space min. 1220 mm depth by door width plus 600 mm on latch side.
- Interior doors to entry & main living areas, min. 800 mm clear opening. (2'8" sliding or 2'10" swinging door spec.) with flush thresholds max. 13mm height.
- Stair lift as per manufacturer spec (Bruno, SRE-2010-Electra-Ride)
- Hallways minimum 900 mm width
- Door from garage to living area minimum 800 mm clear opening.
- Min. clear opening 860 mm clear opening to Patios and Balconies.

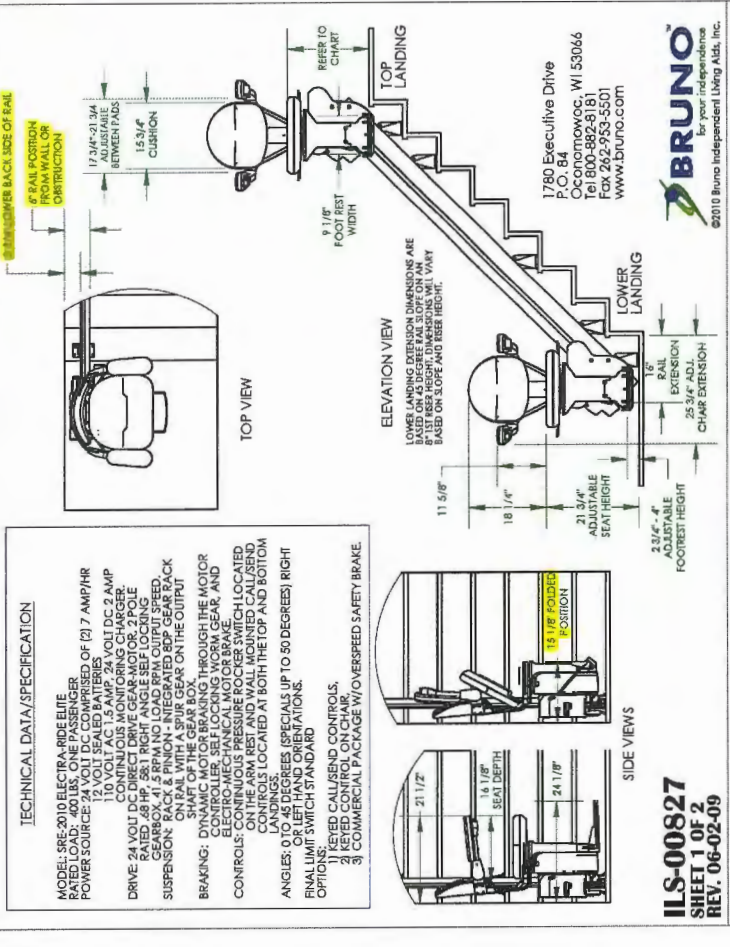
UNIT 9B (ACCESSIBLE)

SCALE 1/4" = 1'-0"

REFERENCE PLAN

AUG 25 2015

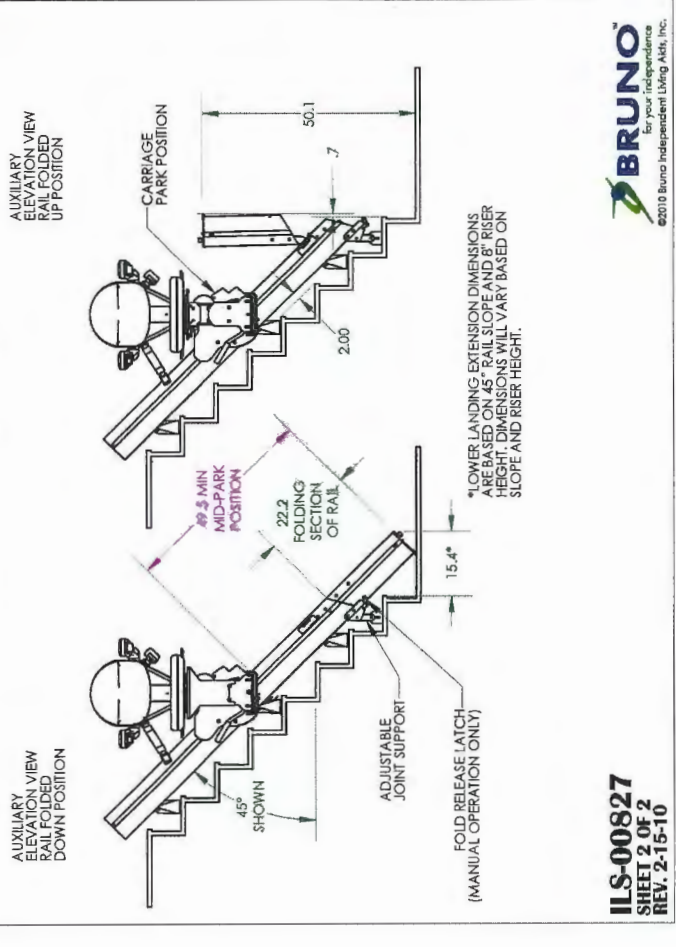
DP 14-674133



TECHNICAL DATA/SPECIFICATION
MODEL: SRE-2010 ELECTRA-RIDE ELITE
POWER SOURCE: 24 VOLT DC COMPRISED OF (2) 7 AMP/HR 12 VOLT SEALED BATTERIES
DRIVE: 24 VOLT DC DIRECT DRIVE GEAR MOTOR, 2 POLE
RAISED: 88 HP, 581 RIGHT ANGLE SET LOCKING
SUSPENSION: RACK & PINION - INTEGRATED 80P GEAR BACK ON RAIL WITH A SPIRE GEAR ON THE OUTPUT
BRAKING: DYNAMIC MOTOR BRAKING THROUGH THE MOTOR CONTROLLER, SELF LOCKING WORK GEAR, AND ELECTRO-MAGNETIC PRESSURE FOOT BRAKE
CONTROLS: ON THE ARM REST AND WALL MOUNTED CALL/SEND CONTROLS LOCATED AT BOTH THE TOP AND BOTTOM ANGLE, 0 TO 45 DEGREES (SPECIALS UP TO 30 DEGREES) RIGHT OR LEFT HAND ORIENTATIONS.
OPTIMUM SWITCH STANDARD:
1) KEYS CALL/SEND CONTROLS.
2) KEYS CONTROL ON CHAIR.
3) COMMERCIAL PACKAGE W/ OVERSPEED SAFETY BRAKE.

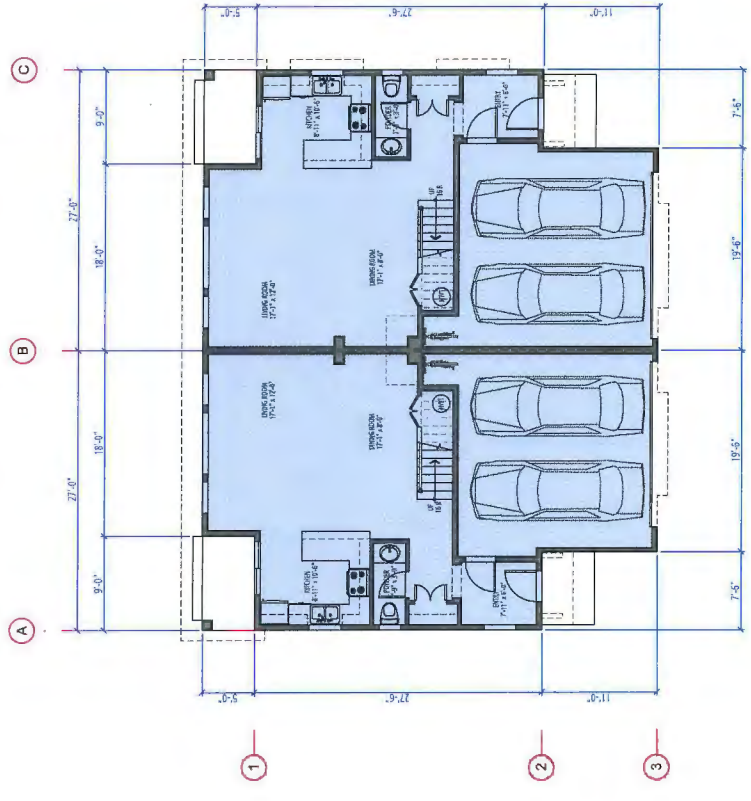
ILS-00827
SHEET 1 OF 2
REV. 06-02-09

SRE-2010 FOLDING RAIL
POWER & MANUAL FOLDING RAILS

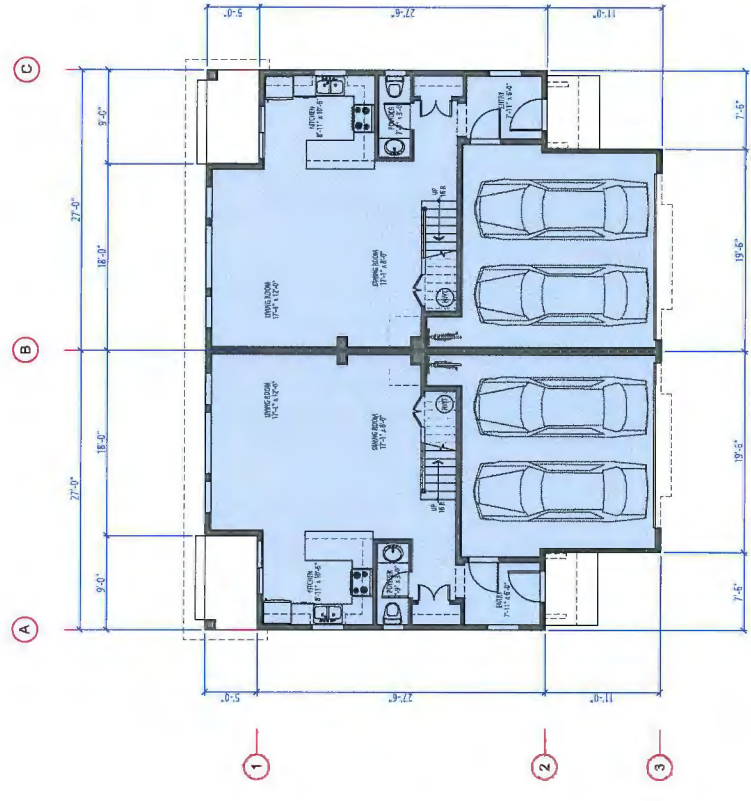


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SHEET 2 OF 2
REV. 2-15-10

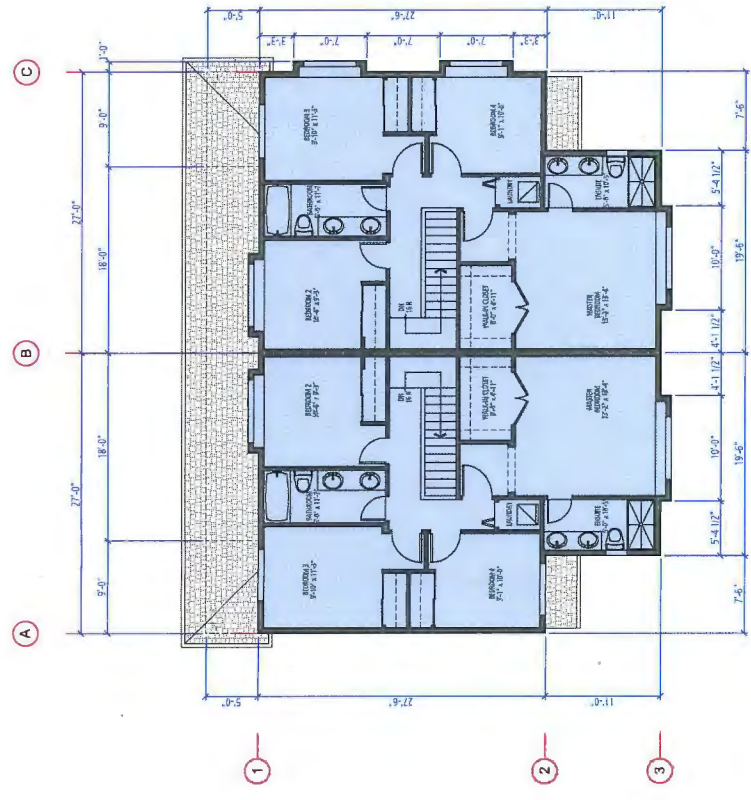
BRUNO
For your independence
©2010 Bruno Independent Living Aids, Inc.



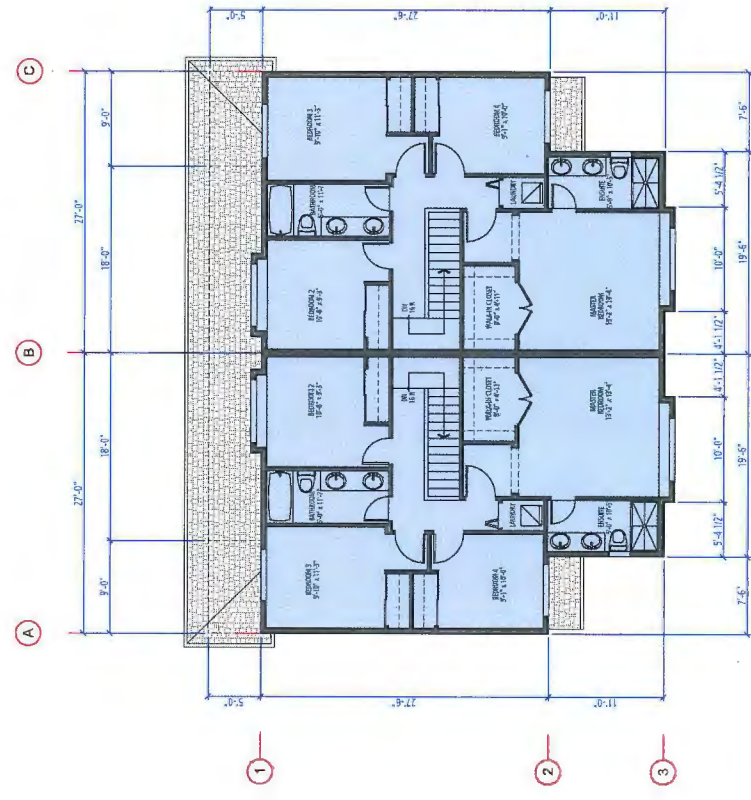
GROUND FLOOR
BUILDING 2



GROUND FLOOR
BUILDING 3



UPPER FLOOR
BUILDING 2



UPPER FLOOR
BUILDING 3

Building Characteristic Summary:

- Exterior Walls - 2x6 R19 Construction R value (15.8 Effective R value)
- Roof/Attic - 39.7 Construction R value
- Windows - Low E Argon 3 glaze U 2.0
- Space Condition - Electric Baseboard
- Ventilation - HRV
- Hot water Heating - Electric DRW
- Other Energy Impact Features - Drain water heat recovery

PROVISION OF ACCESSIBILITY FEATURES "AGING-IN-PLACE" REQUIREMENTS ON ALL UNITS:

- Entry doors minimum 855 mm clear opening (3'-0" swinging door spec.)
- Hallways minimum 900 mm width
- Door from garage to living area minimum 2'-10" (swinging door spec.)
- Blocking to bathrooms for installation of grab-bars (toilet, tub and shower)
- Provision of lever door handles
- One window that can be opened with a single hand in the living room
- One window that can be opened with a single hand in one bedroom



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VERONA GARDEN

9711 & 9231 No. 2 Road
for
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DP 14-674133 - MAY 12, 2015

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BRITISH COLUMBIA - ALBERTA - WASHINGTON
302-2405 Quebec Street 604.673.2367
Vancouver BC V5T 1A6 fougerearchitecture.ca

DP 14-674133

REFERENCE PLAN AUG 2 5 2015

BUILDING 2 & 3 BLOCK PLANS
SCALE 1/8" = 1'-0"

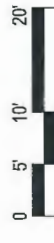
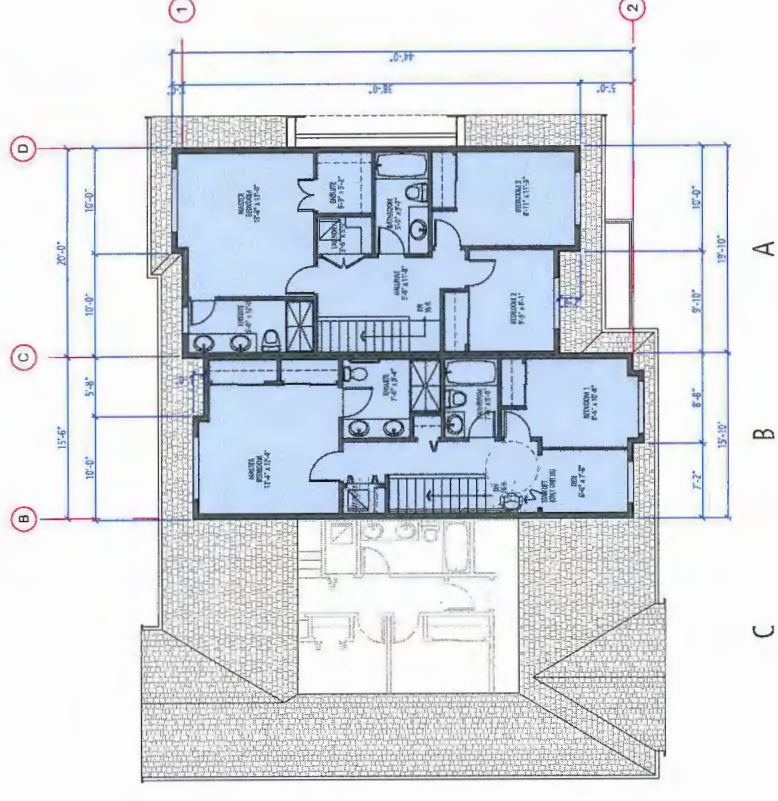
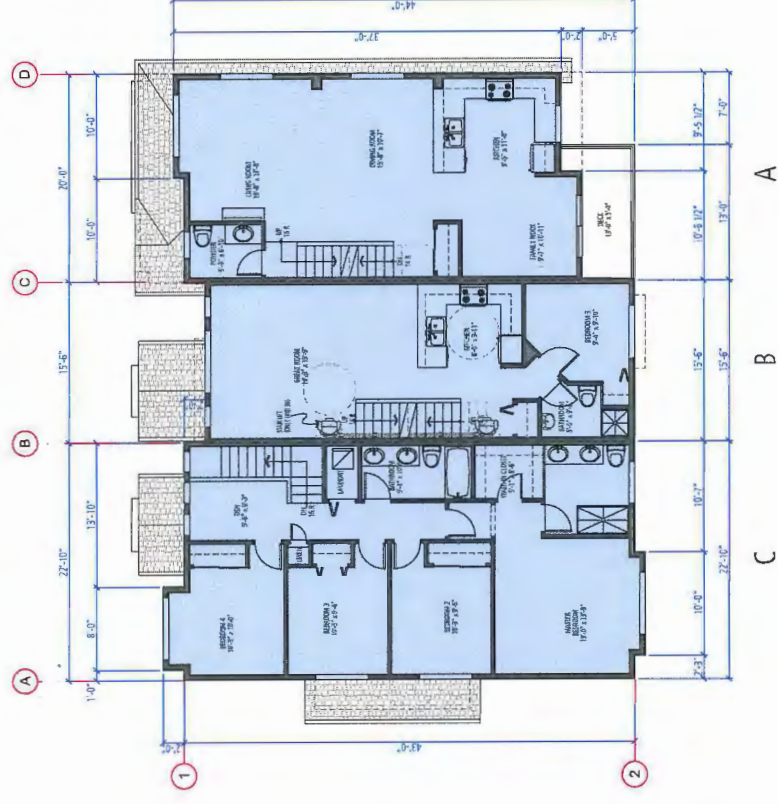
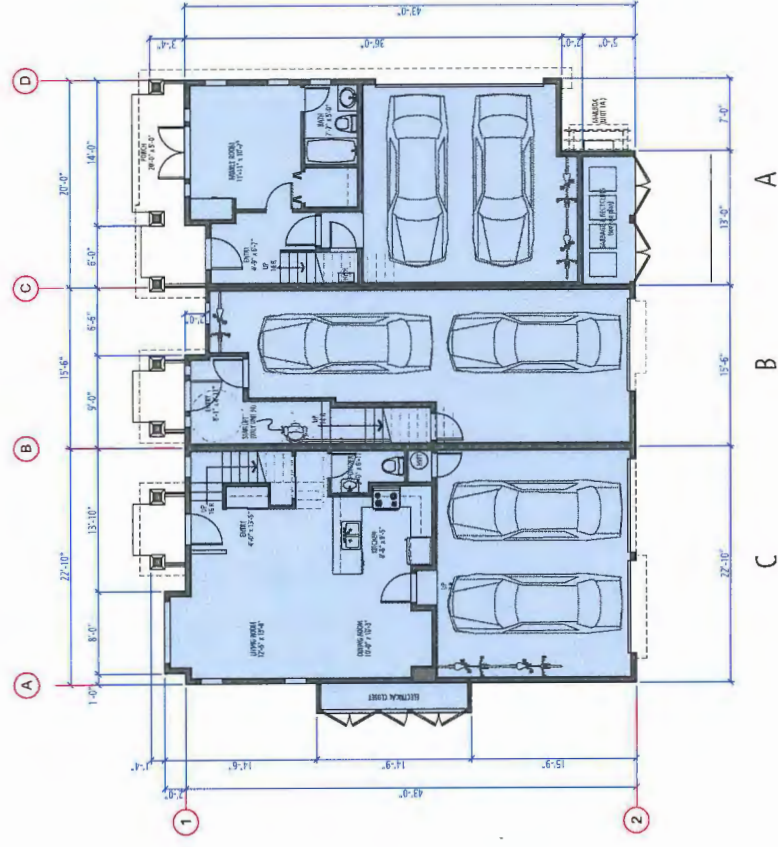
PLAN#05a

Building Characteristic Summary:

- Exterior Walls - 2x6 R19 Construction R value (15.8 Effective R value)
- Roof/Attic - 39.2 Construction R value
- Windows - Low E Argon 3 glaze U 2.0
- Space Condition - Electric Baseboard
- Ventilation - HRV
- Hot water Heating - Electric DHW
- Other Energy Impact Features - Drain water heat recovery

PROVISION OF ACCESSIBILITY FEATURES "AGING-IN-PLACE" REQUIREMENTS ON ALL UNITS:

- Entry doors minimum 685 mm clear opening (3'-0" swinging door spec.)
- Hallways minimum 900 mm width
- Door from garage to living area minimum 2'-10" (swinging door spec.)
- Blocking to bathrooms for installation of grab-bars (toilet, tub and shower)
- Provision of lever door handles
- One Window that can be opened with a single hand in the living room
- One Window that can be opened with a single hand in one bedroom



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DP 14-674133 - MAY 12, 2015



AUG 2 5 2015

PLAN#04a

REFERENCE PLAN

DP 14-674133

BUILDING 1 & 4 BLOCK PLANS

SCALE 1/8" = 1'-0"