City of Richmond

Report to Development Permit Panel

To:	Development Permit Panel	**Date:**	February 16, 2015
From:	Wayne Craig Director of Development	**File:**	DP 13-642725
Re:	**Application by Amela Brudar - GBL Architects for a General Compliance Ruling for "Phase 2" at 8888 Patterson Road and 3333 Hazelbridge Way**		

Staff Recommendation

That the attached plans involving changes to the design of the Phase 2 building at 8888 Patterson Road and 3333 Hazelbridge Way (addressed as 8988 Patterson Road) are considered to be in General Compliance with Development Permit (DP 13-642725).

Wayne Craig
Director of Development

WC:spc
Att.

Staff Report

Origin

Amela Brudar – GBL Architects, on behalf of Concord Pacific, has requested a General Compliance ruling regarding Development Permit DP 13-642725 for the proposed development of the "Concord Gardens" Phase 2 building at 8888 Patterson Road and 3333 Hazelbridge Way (Attachment 1), which was endorsed by the Development Permit Panel at its meeting on January 15, 2014 and approved by Council on January 27, 2014.

Drawings indicating the scope of the proposed changes (Attachment 2) and the proposed replacement Development Permit plans (Attachment 3) are attached to this report.

Finding of Facts

The "Concord Gardens" Phase 2 building is the second of three phases proposed for 8888 Patterson Road and 3333 Hazelbridge Way. Phase 1 is currently under construction (DP 12-611486 / BP 13-643300) and a Development Permit for the third phase is under review (DP 14-670686). The two final phases of "Concord Gardens" will be the subject of a future Development Permit application on an adjacent property south of the subject site (3340 Sexsmith Road).

The proposed changes to the approved Phase 2 Development Permit include the following:

1) Indoor Amenity Space Enhancements
   The approved Development Permit provides for a large, multi-level, indoor amenity facility at the lower levels of Phase 2 for the shared use of all five phases of "Concord Gardens", together with two smaller indoor amenity spaces at Levels 4 and 11 for the private use of Phase 2 residents. No change is proposed to the distribution or use of these indoor amenity spaces; however, the developer proposes changes to the larger facility to enhance its attractiveness and operation, including:
   - Addressing Vancouver Coastal Health requirements by rearranging the swimming pool area so that pool users enter via the change rooms, the spa is removed from the wet area, and the pool is divided into a larger pool for swimming and a smaller, gradual entry pool for children's play; and
   - Enhancing use of the gymnasium, especially for badminton and basketball, by increasing its clear height from 5.2 m to 7.6 m (17 ft to 25 ft) (without changing the approved building height) and adding windows to allow for day-lighting.

2) Structural and Mechanical Issues
   The approved Development Permit provides for mechanical and structural systems to support the approved building, but the proposed increase in gymnasium height, changes in the pool design, and District Energy Utility (DEU) detailed design requirements, among other things, necessitate changes to these systems that affect the approved design including:
   - Replacing the "V" shaped columns at the large amenity facility (due to structural issues that made them squat and bulky) with a simplified structural system integrated into the building facade and a lighter colonnade and sunshade;
   - Raising the finished floor elevation of the lowest dwelling level by 0.67 m (2.2 ft) due to structural issues affecting parkade headroom, together with related landscape changes along the Garden City Road townhouse frontage; and
   - Enlarging the mechanical rooms proposed for the Level 11(mid-rise) and tower rooftops, together with related minor landscape changes.

3) Design Development Issues
Technical issues arising through design development have prompted the developer to propose various changes to the approved design of Phase 2, including:
- Refinements to the privately-owned, publicly-accessible Neighbourhood Park to improve playground safety, enhance public access, and mitigate venting of the below-grade parkade;
- Landscape changes to mitigate potential streetscape impacts related to above-grade utilities;
- Window pattern changes to mitigate conflicts with columns and sheer walls; and
- The conversion of two standard units to Basic Universal Housing (BUH) units (increasing Phase 2's total from 48 to 50 BUH units) and the application of the standard Zoning Bylaw floor area exclusion of 1.86 m^2 (20 ft^2) per BUH unit (i.e. 93.0 m^2 (1,000 ft^2) in total).

Staff Comments

Building Design

Staff's review of the proposed changes to the approved building design determined the following:

1) At the large indoor/outdoor amenity facility:
   - Changes to the pool and gymnasium enhance the amenity of the facility and satisfy Vancouver Coastal Health requirements; and
   - The replacement of the approved design's bold V-shaped columns with a lighter, airier, colonnade and perforated sunshade complements the clean, modern lines of the overall development, enhances the relationship of the building's lower level with its upper floors (where the sunshade is part of the approved design), and provides visual interest and architectural features that are in scale with the character and quality of the on-site landscape, garden pavilion, and adjacent public Neighbourhood Park.

2) At the Garden City Road townhouses, the proposed increase in the grade change between the sidewalk and the units, from 1.78 m (5.8 ft) to 2.45 m (8.0 ft), has been handled sensitively. As per the approved design, the townhouses have direct access to the sidewalk and the frontage is landscaped with plants and trees; however, the type of plant material has been revised to include more climbing vines that will green the proposed terrace walls and complement the character of the adjacent parks, while the increased elevation of the townhouse patios will help buffer them from Garden City Road's traffic noise and related impacts.

3) At the Level 11 (mid-rise) rooftop, the proposed addition of a mechanical room at the west side of the approved indoor amenity/elevator penthouse building has negligible impact on the surrounding indoor/outdoor amenity area due to its small size, its integration into the design of the amenity/penthouse building, and its screening with a raised planter bed, tree, and built-in garden storage shed.

4) At the tower rooftop, the proposed expansion of the mechanical space has been designed to minimize impacts on the form and character of the approved design by breaking the mechanical enclosure into two parts, varying their heights and setbacks, and cladding them in materials like those used elsewhere on the building (i.e. a higher, cubic volume clad in solid, iridescent metal panels and a lower, rectangular volume screened with an open lattice). This, together with a band of perforated sunshades around the edge of the rooftop (which is part of the approved design), will help the mechanical enclosures to visually blend into the overall building design and significantly screen views from the Neighbourhood Park and public and amenity areas below.

5) At various locations across the building's facades, the developer proposed to vary the approved window pattern to screen structural elements. As the approved window pattern is a subtly random combination of vision glass and coloured spandrel panels, the proposed changes are expected to be undetectable.

6) The proposed increase in the number of BUH units is supportive of City policy and has no impact on the approved form or character of the approved development.

The proposed building changes enhance the amenity of the development and address technical issues, while respecting the overall form and character of the approved design. Staff support the developer's proposed changes.

Landscape Design

Landscape changes are proposed to the approved Development Permit in relation to the building changes described above and various technical issues. Staff's review of these proposed changes determined the following:

1) At the Neighbourhood Park, the proposed introduction of vents (for the below-grade parkade) is successfully mitigated by integrating them into walkways, signage, and a new play structure (the latter of which is designed to satisfy City playground safety standards).

2) At the building's lower levels:
   - Along Patterson Road, increased utility requirements have reduced the developer's ability to install soft landscaping between the tower lobby and loading area, but this is expected to have a negligible impact on the streetscape because the developer proposes to relocate some equipment into the parkade, enclose the above-grade utility box, and replace a gravel area (formerly for the relocated equipment) with an attractive metal grill set flush with the adjacent sidewalk and bike parking area; and
   - At the shared amenity space, the developer proposes to enlarge the outdoor pool/sunning deck and separate it from other deck areas, simplify the circulation, revise the design of the reflecting pond and planting areas to enhance privacy and visual interest, and refine the design of the garden pavilion to provide for an outdoor fireplace and a light, elegant structure in character with the building's proposed colonnade and perforated sunshade.

3) At Level 5, the proposed change to the gymnasium is screened by expanding the previously approved extensive green roof.

4) At the Level 11 (mid-rise) roof deck, the proposed mechanical room is screened with planting and a storage room that will enhance the use of the approved garden plots.

The proposed landscape changes do not reduce the overall size, function, or quality of the development's outdoor amenity spaces, and they provide for the integration of the indoor pool with adjacent outdoor spaces in a manner this is both attractive and satisfies Vancouver Coastal Health (pool) requirements. Staff support the developer's proposed changes.

Analysis

The proposed modifications to the design of the subject Phase 2 development satisfy Richmond's General Compliance Criteria as follows:

- No new or increased development variances are proposed;

- No increase in net density (i.e. after standard Zoning Bylaw exclusions) is proposed beyond what was specified in the approved Development Permit (i.e. 20,759.6 m^2 / 223,454 ft^2);
- No elements are altered that raised concern with the public, Advisory Design Panel, or Development Permit Panel during the original Development Permit process;
- No proposed changes detract from the quality, form, or character of the building;
- No change to the approved site coverage, siting, scale, spacing, or configuration of the building is proposed;
- No reduction in the overall size or quality of indoor or outdoor amenity space is proposed;
- No reduction in the Development Permit landscape value is proposed;
- No vehicle access, loading, or parking requirements are altered; and
- No features are inconsistent with the applicable Development Permit Guidelines.

Conclusions

Amela Brudar – GBL Architects, on behalf of Concord Pacific, has requested a General Compliance ruling with respect to proposed changes to the "Concord Gardens" Phase 2 building at 8888 Patterson Road and 3333 Hazelbridge Way. The subject changes are proposed to address amenity space enhancements, Basic Universal Housing, and structural and mechanical issues. The changes satisfy Richmond's General Compliance Criteria, enhance the project's amenity facilities, and are consistent with the quality and character of development established through the approved Development Permit. In light of this, staff recommend that the proposed changes are considered to be in General Compliance with the approved Development Permit (DP 13-642725).

Suzanne Carter-Huffman.

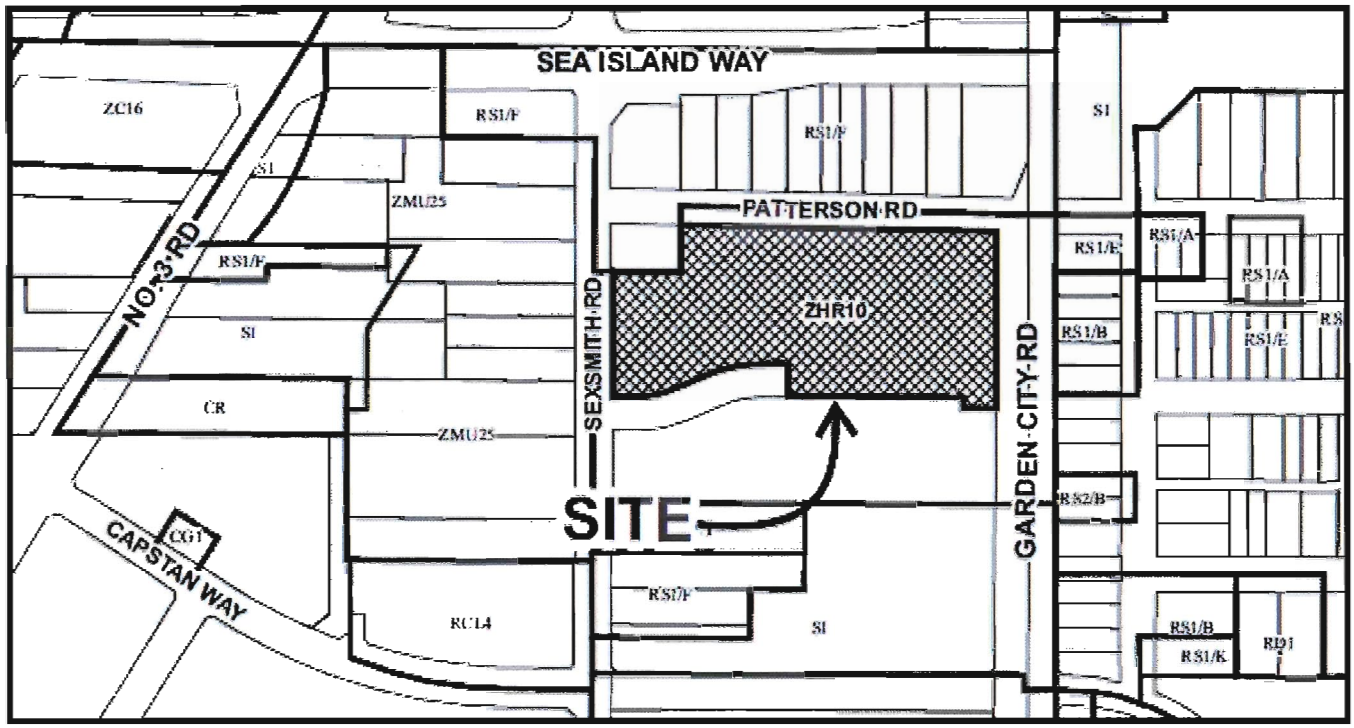
Suzanne Carter-Huffman
Senior Planner/Urban Design

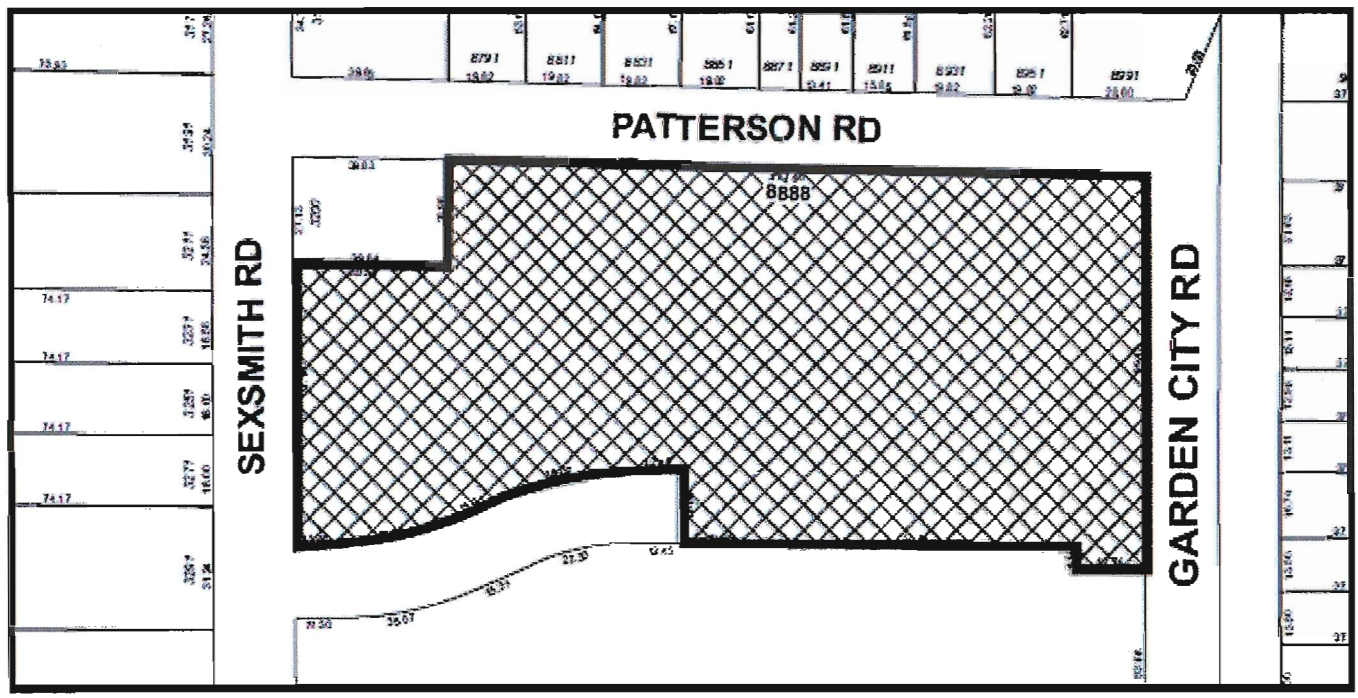
SPC:cas

Att. 1 Location Map
Att. 2 General Scope of Proposed Changes to the Approved Development Permit
Att. 3 Proposed Replacement Development Permit Plans

City of Richmond

ATTACHMENT 1
Location Map





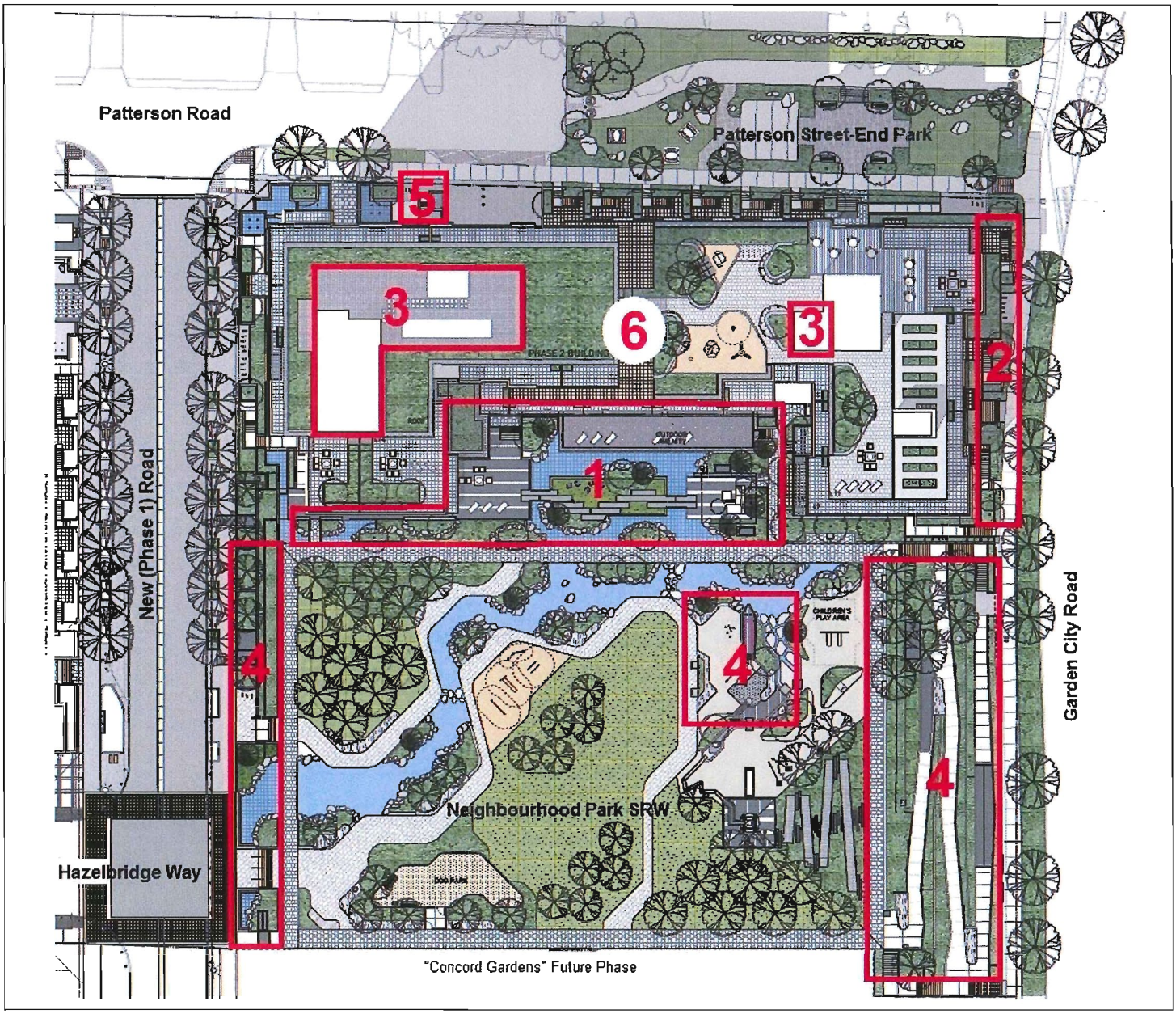
DP 13-642725

Original Date: 02/12/15

Revision Date:

Note: Dimensions are in METRES

4486028



General Scope of Proposed Changes to the Approved Development Permit: Site Plan

1 Improvements to lower-level indoor amenity facilities (e.g., pool, gym) and related landscaping in coordination with the replacement of exterior "V" columns with a lighter colonnade and sunshade

2 Landscape changes along the Garden City Road townhouse frontage to address a rise of 0.67 m (2.2 ft) in the residential floor elevation and provide for a pedestrian-friendly streetscape

3 Screening and landscape changes to address increased mechanical equipment requirements at the mid-rise and tower rooftop levels

4 Neighbourhood Park improvements provided to improve playground safety, enhance public access, and mitigate venting of the parkade structure beneath the park

5 Landscape changes to mitigate potential streetscape impacts related to above-grade utilities

6 Window pattern changes to mitigate conflicts with columns and sheer walls

7 Two (2) additional Basic Universal Housing (BUH) units

Proposed Change

1 Improvements to lower-level indoor amenity facilities (e.g., pool, gym) and related landscaping in coordination with the replacement of exterior structural columns with a lighter colonnade and sunshade

View as Approved

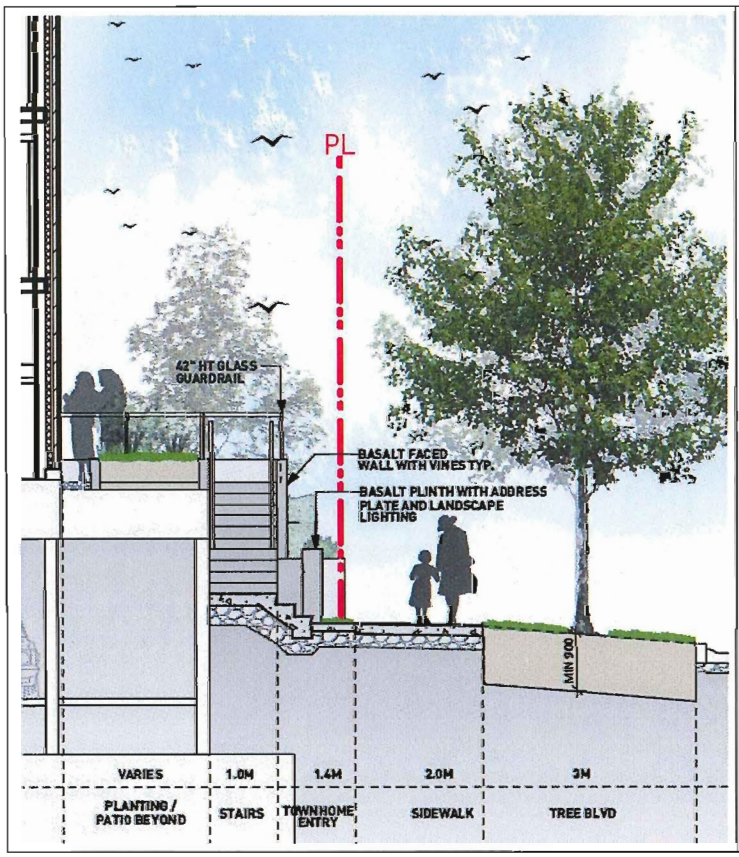
View as Proposed

Proposed Change

2 Landscape changes along the Garden City Road townhouse frontage to address a rise of 0.67 m (2.2 ft) in the residential floor elevation and provide for a pedestrian-friendly streetscape

View as Approved

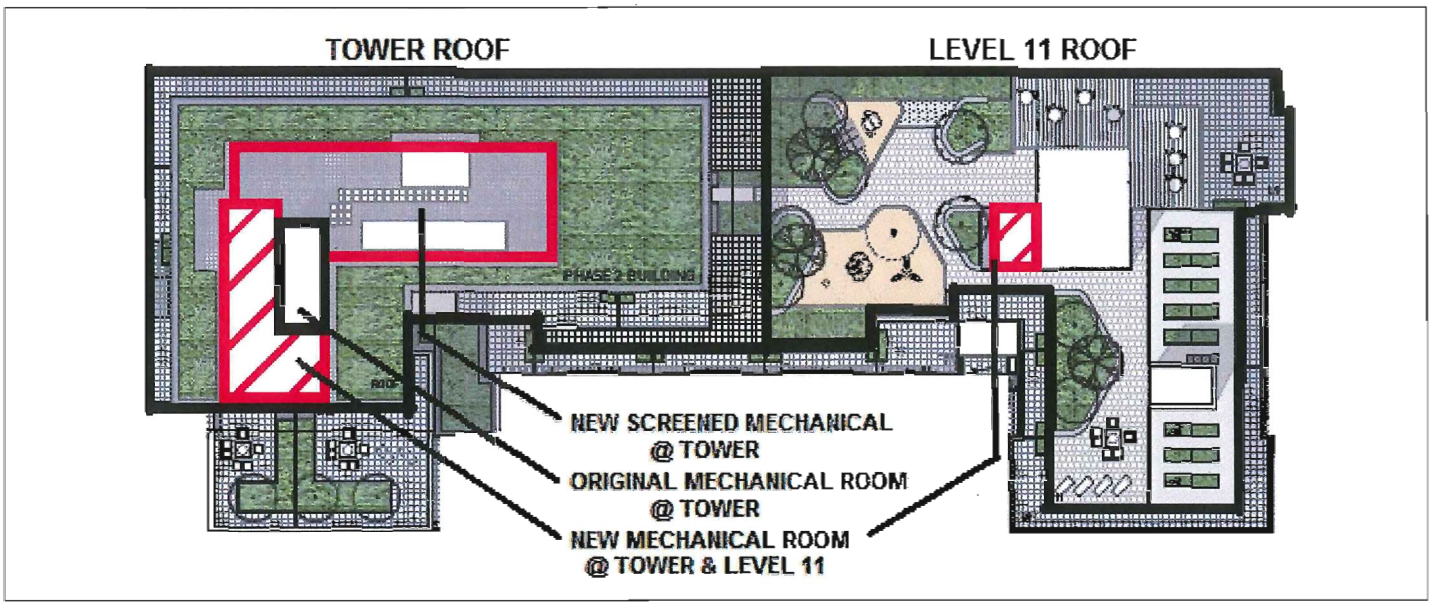
View as Proposed



Proposed Change

3 Screening and landscape changes to address increased mechanical equipment requirements at the mid-rise and tower rooftop levels

View showing the extent of Approved & Proposed Rooftop Mechanical

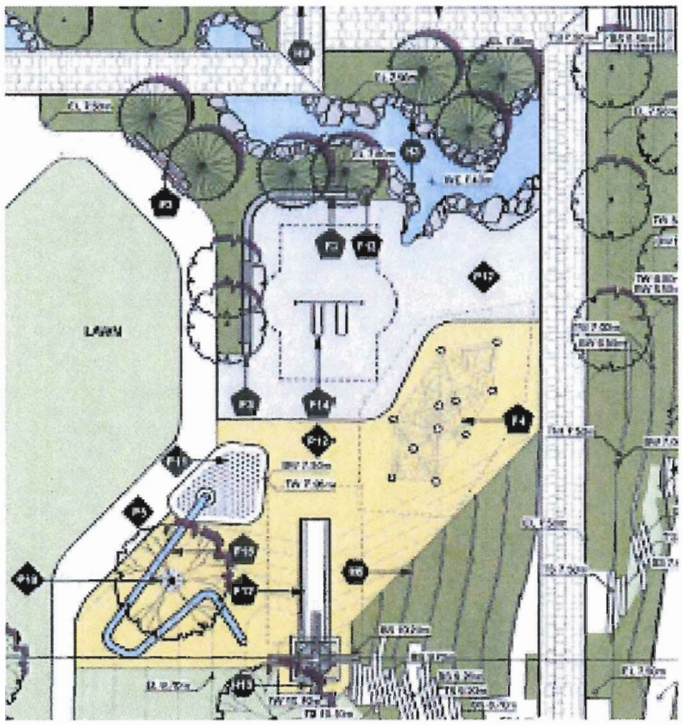


View as Proposed – Tower mechanical screened from view by perforated sunshades & special wall treatment

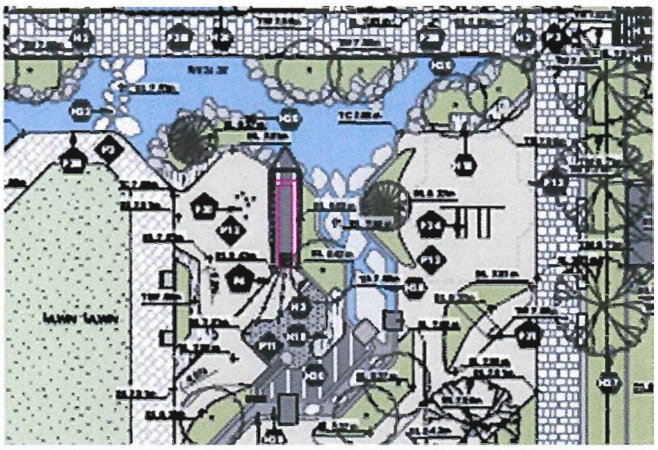
Proposed Change

4 Neighbourhood Park improvements provided to improve playground safety, enhance public access, and mitigate venting of the parkade structure beneath the park

Playground as Approved



Proposed with new play ship & expanded water play



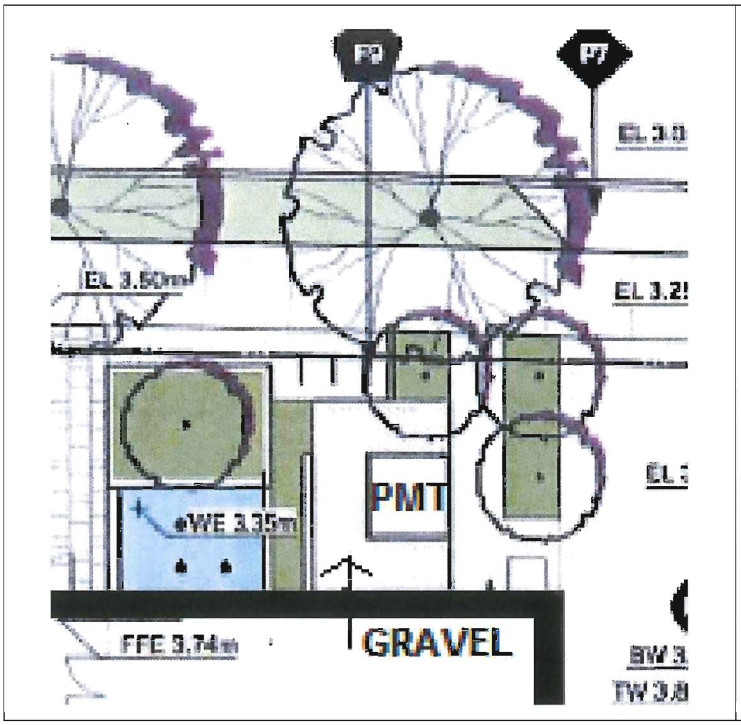
East pathway as Approved

Proposed with new seating, railings & concealed vents

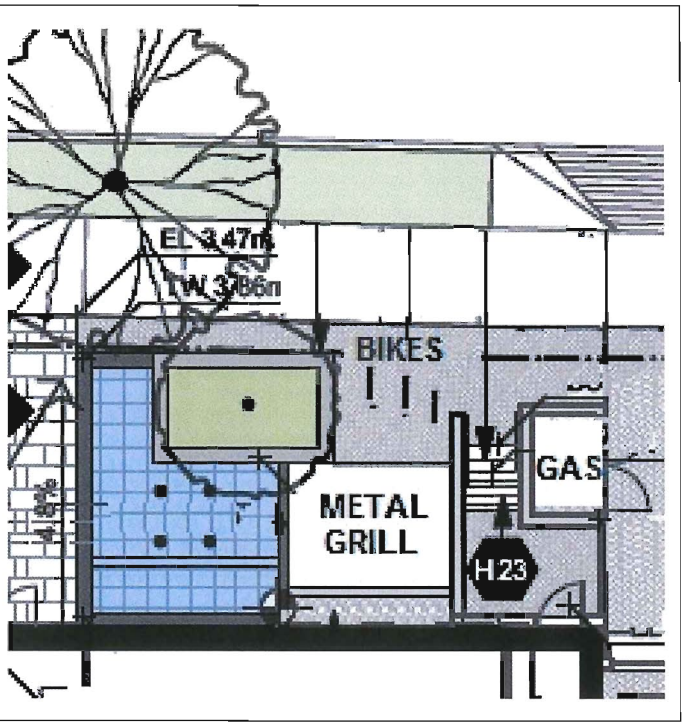
Proposed Change

5 Landscape changes to mitigate potential streetscape impacts of above-grade utility equipment

View as Approved



View as Proposed

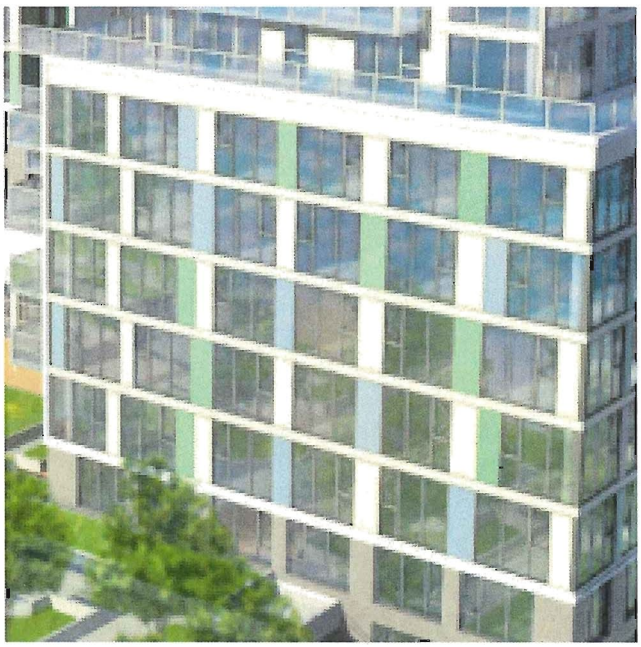


Proposed Change

6 Window pattern changes to mitigate conflicts with columns and sheer walls

Fenestration as Approved (Example)

Fenestration as Proposed (Example)



SEXSMITH RD AND PATTERSON RD PHASE 2

LEGAL DESCRIPTION:
LOT 1; SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6 WEST; NEW WESTMINSTER DISTRICT; Plan EPP27512

CIVIC ADDRESS:
8988 Patterson Rd, Richmond, BC

ZONING: CD
GUIDELINES: CCAP

HEIGHT:
91.8' (28m measured from CL of Garden City Rd.) for portions of a building located less than 164' (50m) from a lot line abbutting Garden City Road; and 154.2' (47m geodetic) elsewhere.

Accesory buildings: 16.4'
Accesory Structures: 39.4'

SET BACKS:
3.7m (12 ft)

MINIMUM HABITAL FLOOR ELEVATION:
2.9m geodetic

SITE AREA (B):	101,352 SF	9415.9 sq.m	
SITE AREA (LESS NEIGHBOURHOOD PARK):	44,390 SF	4123.9 sq.m	

PHASE 2	ALLOWED	PROPOSED
GROSS FLOOR		252,581
AMENITY		20,423
FAR AREA	224,965	223,454

FSR CALCULATIONS

LEVEL	A GROSS AREA	B INTERNAL CIRCULATION	C AMENITY	D=A-B-C-E SUITE AREA	E CORES	F BUH EXEMPTIONS	G=C+E+F TOTAL DEDUCTIONS	H=A-G FSR AREA
LEVEL 1	0	0		0			0	0
LEVEL 2	17054	3080	6672	6945	357	80	7109	9945
LEVEL 3	22216	584	12021	8849	762	60	12843	9373
LEVEL 4	15870	2193	1186	11832	658	40	1884	13985
LEVEL 5	24616	2217		21741	658	180	838	23778
LEVEL 6	24583	2217		21709	658	120	778	23805
LEVEL 7	24583	2217		21709	658	120	778	23805
LEVEL 8	24583	2217		21709	658	140	798	23785
LEVEL 9	22529	2103		19769	657	100	757	21771
LEVEL 10	22529	2103		19769	657	100	757	21771
LEVEL 11	12623	1089	543	10596	395	20	958	11665
LEVEL 12	12075	1089		11680	395	20	415	11660
LEVEL 13	12075	1089		10591	395	20	415	11660
LEVEL 14	8623	800		7425	399	0	399	8225
LEVEL 15	8623	800		7425	399	0	399	8225
TOTAL	252581	23795	20423	201748	7704	1000	29127	223454

MECHANICAL ROOM ON ROOF IS LESS THAN 100m2 THUS IS EXEMPT FROM FSR CALCULATIONS

UNIT MIX

MARKET HOUSING	10 - BUH													10 - BUH	1 - BUH	18 - BUH													AFFORDABLE HOUSING			14,652 SF		17 UNITS			TOTAL
TYPE	A1	A1a	A1b	A2	A3	A4	A5	A6	B1	B1-ALT	B2	B2-ALT	B3	B4	B5	B6	B7	B8	B11	B12	B13	C1	C2	C3	C5	C6	D2	H1	H2	H3	H4	H5	H6	H7	AH-TH1	AH-TH2	AH-TH3	AH-A (BUH)	AH-B (BUH)	AH-C1 (BUH)	AH-C2 (BUH)	AH-D (BUH)	
DESCRIPTION	1 BED & DEN	1 BED & DEN	1 BED & DEN	1 BED & DEN	1 BED & DEN	1 BED	1 BED, 1.5 BATH & DEN	1 BED	2 BED, 2 BATH & DEN	2 BED, 2 BATH & DEN	2 BED, 2 BATH	2 BED, 2 BATH	2 BED, 2 BATH	2 BED, 2 BATH	2 BED, 2 BATH & DEN	2 BED, 2 BATH	2 BED, 2.5 BATH & DEN	2 BED, 2 BATH & DEN	2 BED, 2 BATH	2 BED, 2 BATH	2 BED, 2 BATH & DEN	3 BED, 2 BATH	3 BED, 2 BATH & DEN	3 BED, 2 BATH	3 BED, 3 BATH & DEN	3 BED, 2 BATH	1 BED	2 BED, 2 BATH	4 BED, 4.5 BATH	3 BED, 2.5 BATH	3 BED, 2 BATH & DEN	3 BED, 3 BATH & DEN	2 BED, 2 BATH	5 BED, 4 BATH	2 BED, 2.5 BATH	2 BED, 2.5 BATH	2 BED, 2.5 BATH	1 BED & DEN	2 BED	3 BED, 2 BATH	3 BED, 2 BATH	STUDIO	
UNIT AREA-SF	535	589	569	651	547	565	641	522	998	975	870	844	762	849	804	770	1,001	884	757	881	983	1,048	1,139	1,135	1,397	1,124	460	859	2,362	1,247	1,322	1,543	948	2,276	1,104	1,285	1,202	553	845	967	1,094	471	
Level 1																																											0
Level 2																																		1	4	1		1	1	1	1	10
Level 3				1					1		1											1															2				1	7
Level 4	3	5	1	1					1	1				1	1							1					1										2					18
Level 5	6	4		1	1	1		1		1			1	1	2	1	3	1	1			1				1	1									2					30
Level 6-8 (no. per floor)	7	5		1	1	1		1		1			1	1	2	1	3	1	1			1				1	1														30
3	21	15		3	3	3		3		3			3	3	6	3	9	3	3			3				3	3														99
Level 9	5	5			1	1	1	1					1	1	1		3	1	1	1			1	1		1	1														27
Level 10	5	5			1	1	1	1					1	1	1		3	1	1	1			1	1		1	1														27
Level 11-13 (no. per fl)	4				1	1							1	1			3	1	1		1				1	1	1														54
3	12				3	3							3	3			3	3	3		3				3	3	3														42
Level 14																												1	1	1	1	1										5
Level 15																														1	1	1	1	1								5
TOTAL # UNITS	62	34	1	6	9	9	2	2	4	2	5	1	9	10	11	4	18	9	8	2	3	6	2	2	3	9	10	1	1	2	2	2	1	1	1	4	1	6	1	1	1	2	261
UNIT AREA SF	27,820	19,346	569	3,305	4,923	5,085	1,282	1,044	3,992	1,950	4,350	844	6,858	8,490	8,844	3,080	18,018	7,956	6,813	1,762	2,949	6,288	2,278	2,270	4,191	10,116	4,600	859	2,362	2,494	2,644	3,085	948	2,276	1,104	5,180	1,202	3,318	845	967	1,094	942	198,244

AFFORDABLE HOUSING

AFFORDABLE HOUSING FOR PHASE 2			
HOUSING UNIT COMPONENTS	MINIMUM HOUSING UNIT	MIN. REQ'D COMBINED FLOOR AREA	PROVIDED FLOOR AREA
DEFFERED AREA A (PHASE 1)	30% OF HOUSING UNITS (30% OF 11,705 SQ.FT.)	326.3 SQ.M. (3,512 SQ.FT)	
AREA B (PHASE 2)	5% OF TOTAL AREA - DEFFERED HOUSING UNITS FROM AREA A (PHASE 1) (5% * 222,097 SQ.FT. - 3,512 SQ.FT.)	1,015.3 SQ.M. (10,929 SQ.FT.)	-
TOTAL	6.5% OF TOTAL AREA B (PHASE 2)	1,341.6 SQ.M. (14,441 SQ.FT.)	1,361.2 SQ.M. (14,652 SQ.FT.)

UNIT DESIGN FEATURES

BASIC UNIVERSAL HOUSING (BUH) UNITS			
	Aging In Place	Basic Universal Housing (BUH) Units for Phase 2	NOTES
AFFORDABLE HOUSING	36%	64% (11 UNITS)	2 STOREY TOWN HOUSE UNITS WILL BE DESIGNED FOR AGING IN PLACE
MARKET HOUSING	85% UNITS	15% (39 UNITS)	SEE BUH LABEL ON UNIT MIX FOR UNIT TYPE
Note: Aging In Place features include stairwell handrails, lever type handles for plumbing features and door handles and solid blocking in washroom walls for future grab bars beside toilet, bathtub and shower.			
Note: BUH units conform to Richmond Zoning Bylaw requirements			

AMENITY, OCP & CCAP AREA

Amenity Space (261 Units)					
Indoor					
Rate	Required (sq.m.)	Provided (sq.m.)			
			Shared	Phase 2	Total
2.0sq.m/unit	522	Level 2	619.8	0	619.8
		Level 3	1116.8	0	1116.8
		Level 4	25.6	84.6	110.2
		Level 11	0.0	50.5	50.5
			1762.2	**135.0**	**1897.2**
Outdoor					
Rate	Required (sq.m.)	Provided (sq.m.)			
6.0sq.m/unit	1,566	Level 2/3	804.9		
		Level 4	13.9		
		Level 11	704.6		
			1523.4		
		Children's Play (up to 3.0sqm/unit = 783sqm)			
		Level 11	96.4		
Sub Total		**1,619.8**			
10% of Site	412.4	495.0			
Total	(sq.m.)	**2,114.8**			
	(sq.ft.)	**22,764**			

NOTES:

VARIANCES ARE INDICATED ON THE SITE PLAN.

AFFORDABLE HOUSING UNITS(SECURED VIA A HOUSING AGREEMENT ARE SHOWN ON LEVELS 2,3,4 & 5 FRONTING PATTERSON ROAD AND GARDEN CITY ROAD.

BASIC UNIVERSAL HOUSING (BUH) UNITS ARE LABELED ON THE PLANS AS "BUH"

ALL UNITS SHALL INCORPORATE AGING IN PLACE FEATURES INCLUDING BLOCKING IN BATHROOM WALLS FOR FUTURE GRAB BARS AND LEVER HANDLES ON ALL DOORS AND PLUMBING FIXTURES.

120V ELECTRIC VEHICLE (EV) PLUG-INS AND ROUGH INS FOR RESIDENTS VEHICLES AND CLASS 1 BIKE STORAGE ARE LABELED ON THE PARKING PLANS. IN ADDITION SIX 240V QUICK CHARGE PLUG-INS ARE GROUPED TOGETHER AS PART OF THE VISITOR PARKING.

THE STATUTORY RIGHT OF WAY PLAN IS INCLUDED IN THE REFERENCE PLANS

gbl
GBL ARCHITECTS INC.
320 EAST 8TH AVENUE
VANCOUVER, BC V5T 1S8
TEL 604.736.7156
FAX 604.736.5929

Legal Address: LOT 1; SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6 WEST; NEW WESTMINSTER DISTRICT PLAN EPP27512

Replacement Plan 1A
DP 13-642725 Feb 16/15

REVISIONS

NO.	DATE	DESCRIPTION
1.	14 MAR 2013	PROGRESS SET
2.	29 JULY 2013	DEVELOPMENT PERMIT APPLICATION
3.	15 OCT 2013	ADVISORY DESIGN PANEL SUBMISSION
4.	14 NOV 2013	CITY REVIEW - STAFF COMMENTS RESPONSE
5.	11 DEC 2013	CITY REVIEW
6.	14 DEC 2013	DP APPLICATION - PHASE 1/2
7.	20 MAY 2014	PROGRESS SET
8.	30 JUNE 2014	ISSUED FOR BUILDING PERMIT APPLICATION
9.	05 SEPT 2014	ISSUED FOR ENVELOPE REVIEW
10.	29 SEPT 2014	ISSUED FOR CITY REVIEW
11.	07 OCT 2014	REVISED PER DP COMMENTS & ISSUED FOR CCR REVIEW
12.	14 OCT 2014	ISSUED TO ADDRESS CCR DP COMMENTS
13.	17 OCT 2014	UPDATED SUITE PLANS ISSUED FOR REVIEW & COORDINATION
14.	04 NOV 2014	ISSUED FOR COASTAL HEALTH REVIEW
15.	07 NOV 2014	ISSUED FOR COORDINATION
16.	17 NOV 2014	ISSUED FOR CONSULTANT COORDINATION
17.	19 DEC 2014	PROJ. AREA REVISED FOR HCH FEEDBACK
18.	23 DEC 2014	REVISED & RE-ISSUED FOR COASTAL HEALTH REVIEW
19.	20 JAN 2015	REVISED FOR CITY GENERAL COMPLIANCE REVIEW
20.	23 JAN 2015	ISSUED FOR CONSULTANT COORDINATION
21.	03 FEB 2015	ISSUED FOR CONSULTANT COORDINATION
22.	13 FEB 2015	RE-ISSUED FOR DP GENERAL COMPLIANCE

CONCORD PACIFIC

CONCORD GARDENS
Phase 2
Richmond, BC
for Concord Pacific

STATISTICS

DATE	13/02/2015
DRAWN BY	JHL
CHECKED BY	DMK
SCALE	N/A
JOB NUMBER	1251

A-0.01

PARKING STATS

Concord @ Sexsmith and Patterson Rd
Transitional Parking Strategy for 8888 Patterson Rd, 8988 Patterson Rd and 3333 Hazelbridge Way
Phases 1, 2 & 5 (Lot 1: Area A, B & E)
DP 13-642725 (Phase 2) and BP 13-643300 (Phase 1) - Pending Applications
NOTE: MIN. PARKING REQUIRED/PROVIDED AS PER LEGAL AGREEMENT REGISTERED ON TITLE

Lot 1

		Parking	ZONE 2A			ZONE 1			Electric Vehicle (EV) Based on Total Provided in Zone 1 320/40				240V Quick Charge Located in the Visitor Parking of Phase 2	Bike Parking							
									30% 120V EV Parking Spaces		25% EV Rough-in for future 120V			Class 1 Based on total unit count			10% EV Bike Spaces @ 120V Based on Total Provided		Class 2 Based on total unit count		
			Rate	Required	Provided	Rate	Required	Provided	Rate	Required & Provided	Rate	Required & Provided		Rate	Required	Provided	Rate	Required	Rate	Required	Provided
Phase 1/ Area A		Residential Parking																			
ARTS	20	20	0.81	16	16	0.81	16	16	-	-	-	-		1.25	25	25					
Market	260	260	1.08	281	293	0.9	234	253	-	-	-	-		1.25	325	325					
Total	280	Sub-Total		297	309		250	269		-		-									
		Visitor Parking																			
		280	0.18	51	51	0.18	51	51	-	-	-	-									
		Total		348	**360**		302	**320**	0.30	**96**	0.25	**80**			350	350	0.10	35	0.20	56	56
		Phase 1 Transitional for future Phase 5						40	0.30	12	0.25	10				48	0.10	5			
Total					**360**			**360**		**108**		**90**			350	398		40			56
Phase 2/ Area B		Residential Parking																			
AH	17	17	0.81	14	14	0.81	14	14	-	-	-	-		1.25	22	22					
Market	244	246	1.08	266	380	0.9	222	237	-	-	-	-		1.25	298	308					
Total	261	Sub-Total		280	394		236	251		-		-									
		Visitor Parking																			
		263	0.18	48	48	0.18	48	48	-	-	-	-									
									-	-	-	-									
										-		-	6								
		Total		328	**442**		284	**299**	0.30	**90**	0.25	**75**	**6**		320	329	0.10	33	0.20	52	53
		Phase 1 Transitional for future Phase 5						143	0.30	43	0.25	36				117	0.10	12			
Total					**442**			**442**		**133**		**110**	**6**		320	446		45			53
Phase 5/ Area E		Residential Parking (estimate)																			
AH	est. 10	10				0.81	9		-	-	-	-		1.25	13	13					
Market	est. 122	122				0.9	110		-	-	-	-		1.25	153	153					
Total	est. 132	Sub-Total					119			-		-									
Note: Phase 5 unit count is an estimate only. Total parking provided is the total of Phase 1 & 2 transitional parking numbers above.		Visitor Parking (estimate)																			
		132				0.18	24		-	-	-	-									
									-	-	-	-									
										-		-									
		Total					143	**183**	0.30	**55**	0.25	**46**			165	165	0.10	17	0.20	27	27

Summary		Zone 2A			Zone 1			120V EV Stalls	Rough-in for future 120V EV Stalls	240V EV Quick Charge	Class 1 Bike Storage			Class 1 Bike 120V EV stalls	Class 2 Bike Storage		
			Req'd	Prov'd		Req'd	Prov'd					Req'd	Prov'd			Req'd	Prov'd
Phase 1/Area A 280 units	Residential		297	309		250	269				ARTS		25				
	Visitor		51	51		51	51	96	80	-	MARKET		325	35			
	Total		348	360		302	320					350	350			56	56
Phase 2/Area B 263 units	Residential		280	394		236	251				AH		22				
	Visitor		48	48		48	48	90	75	6	MARKET		307	33			
	Total		328	442		284	299					320	329			52	53
															SUB TOTAL	108	109
Phase 5/Area E est. 132 units	Residential					119					FROM PHASE 1		48				
	Visitor		N/A			24		55	46		FROM PHASE 2		117	17			
	Total					143	183					165	165				
															ESTIMATED	27	27
Lot 1 Total			676	802		728	802	241	201	6		835	844	85	ESTIMATED	135	136

gbl
GBL ARCHITECTS INC.
1199 EAST 8TH AVENUE TEL 604 734 1456
VANCOUVER, BC V2T 1H5 FAX 604 732 5519

Legal Address: LOT 1; SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6 WEST; NEW WESTMINSTER DISTRICT PLAN epp27512

Replacement Plan 1B
DP 13-642725 Feb 16/15

REVISIONS

NO.	DATE	DESCRIPTION
1.	16 MAR 2013	PROGRESS SET
2.	29 JULY 2013	DEVELOPMENT PERMIT APPLICATION
3.	15 OCT 2013	ADVISORY DESIGN PANEL SUBMISSION
4.	16 NOV 2013	CITY REVIEW - STAFF COMMENTS RESPONSE
5.	11 DEC 2013	CITY REVIEW
6.	16 DEC 2013	DP APPLICATION - PRICE TO
7.	30 MAY 2014	PROGRESS SET
8.	30 JUNE 2014	ISSUED FOR BUILDING PERMIT APPLICATION
9.	05 SEPT 2014	ISSUED FOR ENVELOPE REVIEW
10.	29 SEPT 2014	ISSUED FOR CITY REVIEW
11.	09 OCT 2014	REVISED PER BP COMMENTS & ISSUED FOR CCR REVIEW
12.	14 OCT 2014	ISSUED TO ADDRESS CCR CP COMMENTS
13.	17 OCT 2014	UPDATED SUITE PLANS ISSUED FOR REVIEW & COORDINATION
14.	03 NOV 2014	ISSUED FOR COASTAL HEALTH REVIEW
15.	19 NOV 2014	ISSUED FOR COORDINATION
16.	17 NOV 2014	ISSUED FOR CONSULTANT COORDINATION
17.	19 DEC 2014	PARK, AREA REVISED PER 4TH RESPONSE
18.	22 DEC 2014	REVISED & RE-ISSUED FOR COASTAL HEALTH REVIEW
19.	05 JAN 2015	ISSUED FOR CITY GENERAL COMPLIANCE REVIEW
20.	23 JAN 2015	ISSUED FOR CONSULTANT COORDINATION
21.	03 FEB 2015	ISSUED FOR CONSULTANT COORDINATION
22.	12 FEB 2015	ISSUED FOR DP GENERAL COMPLIANCE

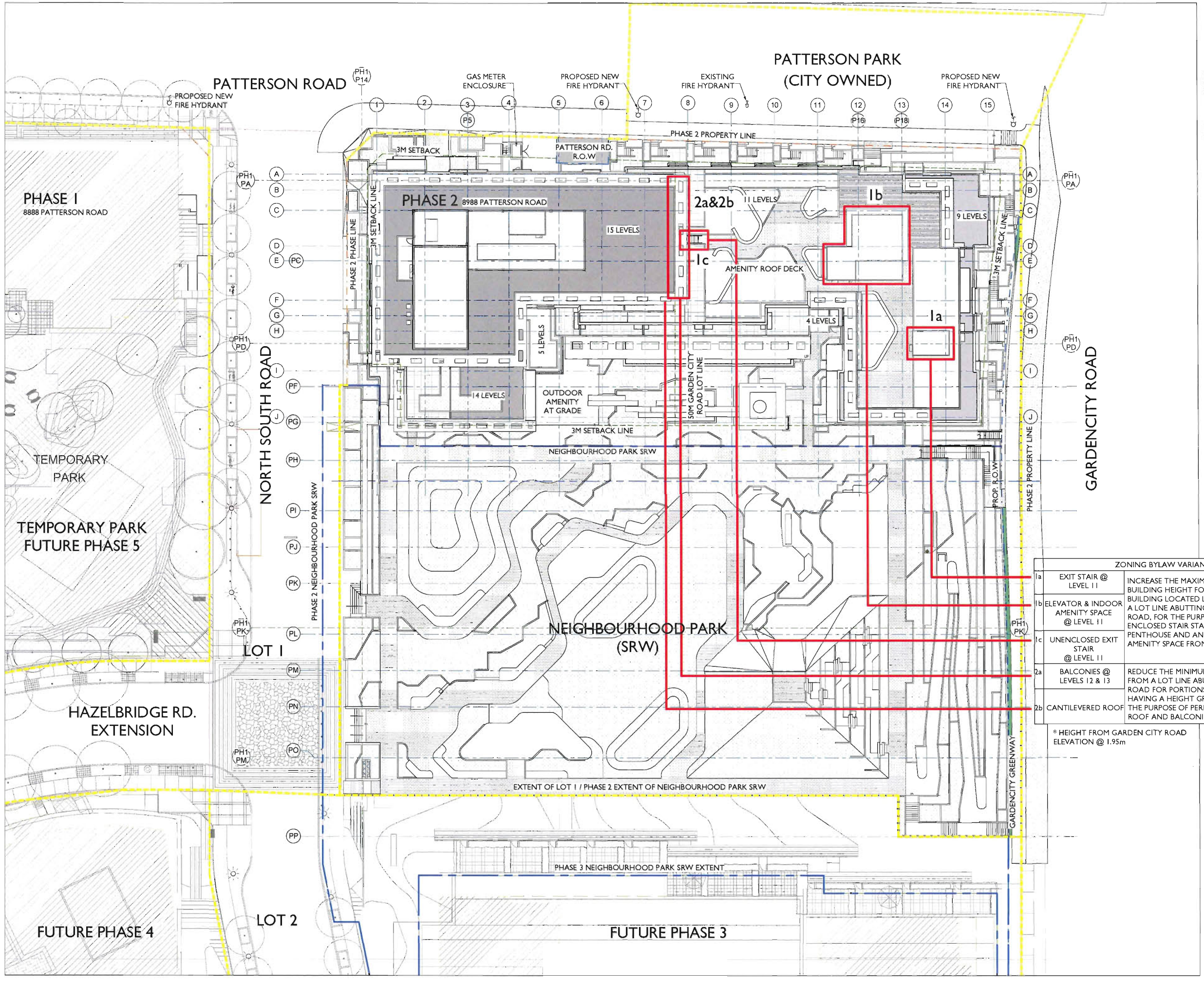
CONCORD PACIFIC

CONCORD GARDENS
Phase 2
Richmond, BC
for Concord Pacific

PARKING STATS

DATE	13/02/2015
DRAWN BY	JAL
CHECKED BY	D+K
SCALE	N.S.
JOB NUMBER	1251

A-0.01b



ZONING BYLAW VARIANCES		
1a	EXIT STAIR @ LEVEL 11	INCREASE THE MAXIMUM ALLOWABLE BUILDING HEIGHT FOR PORTIONS OF THE BUILDING LOCATED LESS THAN 50.0m FROM A LOT LINE ABUTTING GARDEN CITY ROAD, FOR THE PURPOSE OF PERMITTING ENCLOSED STAIR STAFFS, AN ELEVATOR PENTHOUSE AND AN INDOOR RESIDENTIAL AMENITY SPACE FROM 28.0m TO 33.4m*
1b	ELEVATOR & INDOOR AMENITY SPACE @ LEVEL 11	
1c	UNENCLOSED EXIT STAIR @ LEVEL 11	
2a	BALCONIES @ LEVELS 12 & 13	REDUCE THE MINIMUM ALLOWABLE SETBACK FROM A LOT LINE ABUTTING GARDEN CITY ROAD FOR PORTIONS OF THE BUILDING HAVING A HEIGHT GREATER THAN 28.0m, FOR THE PURPOSE OF PERMITTING A CANTILEVERED ROOF AND BALCONIES, FROM 50.0m TO 48.6m.
2b	CANTILEVERED ROOF	

* HEIGHT FROM GARDEN CITY ROAD ELEVATION @ 1.95m

gbl
GBL ARCHITECTS INC.
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VANCOUVER, BC CANADA V5T 1R6
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FAX 604 731 0279

Legal Address: LOT 1; SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6 WEST; NEW WESTMINSTER DISTRICT PLAN EPP27512

Replacement Plan 2A
DP 13-642725 Feb 16/15

REVISIONS

NO.	DATE	DESCRIPTION
1.	14 MAR 2013	PROGRESS SET
2.	29 JULY 2013	DEVELOPMENT PERMIT APPLICATION
3.	15 OCT 2013	ADVISORY DESIGN PANEL SUBMISSION
4.	14 NOV 2013	CITY REVIEW - STAFF COMMENTS RESPONSE
5.	11 DEC 2013	CITY REVIEW
6.	16 DEC 2013	DP APPLICATION - PHASE 1B
7.	28 MAY 2014	PROGRESS SET
8.	30 JUNE 2014	ISSUED FOR BUILDING PERMIT APPLICATION
9.	05 SEPT 2014	ISSUED FOR ENVELOPE REVIEW
10.	29 SEPT 2014	ISSUED FOR CITY REVIEW
11.	07 OCT 2014	REVISED PER BP COMMENTS & ISSUED FOR CDR REVIEW
12.	14 OCT 2014	ISSUED TO ADDRESS CDR DP COMMENTS
13.	17 OCT 2014	UPDATED SUITE PLANS
14.	06 NOV 2014	ISSUED FOR REVIEW & COORDINATION
15.	07 NOV 2014	ISSUED FOR COORDINATION
16.	13 NOV 2014	ISSUED FOR CONSULTANT COORDINATION
17.	19 DEC 2014	POOL AREA REVISED PER CITY FEEDBACK
18.	20 DEC 2014	REVISED & RE-ISSUED FOR COASTAL HEALTH REVIEW
19.	29 JAN 2015	ISSUED FOR CITY GENERAL COMPLIANCE REVIEW
20.	23 JAN 2015	ISSUED FOR CONSULTANT COORDINATION
21.	20 FEB 2015	ISSUED FOR CONSULTANT COORDINATION
22.	17 FEB 2015	ISSUED FOR DP GENERAL COMPLIANCE

CONCORD PACIFIC

CONCORD GARDENS
PHASE 2
8988 Patterson Rd,
Richmond, BC

SITE PLAN

DATE	2/16/2015 5:13:07 PM
DRAWN BY	JML / SR
CHECKED BY	MG
SCALE	1:75
JOB NUMBER	1251

A-1.01

LEGEND:

- CCAP (MIN. 10% OF SITE) 5,329 S.F. (495 S.M.)
- OCP AMENITY AREA 17,436 S.F. (1,619.8 S.M.)
- PATTERSON PARK - 1198.3 m2 SERVICING AGREEMENT TO BE FULLY CONSTRUCTED AS PART OF PHASE 2
- NEIGHBOURHOOD PARK SRW - 5144.9 m2 PUBLIC ACCESS FOR PARK USE
- GARDEN CITY GREEN WAY - 186.51 m2 SIDEWALK WIDENING SRW

PATTERSON ROAD

PATTERSON PARK (CITY OWNED)

NORTH-SOUTH ROAD

PHASE 2 PROPERTY LINE

3M SETBACK

PHASE 2 PHASE LINE

3M SETBACK LINE

PHASE 2

15 LEVELS

L11 AMENITY ROOF DECK

9 LEVELS

L11 = 8,622 SQ.FT. (801.0 SQ.M)
L4 = 150 SQ.FT. (13.9 SQ.M)

11 LEVELS

L4 AMENITY ROOF DECK

5 LEVELS

14 LEVELS

5.0M GARDEN CITY ROAD LOT LINE

OUTDOOR AMENITY AT GRADE = 8,664 SQ.FT. (804.9 SQ.M)

3M SETBACK LINE

NEIGHBOURHOOD PARK SRW BOUNDARY

PHASE 2 NEIGHBOURHOOD PARK SRW

PROP. R.O.W.

PHASE 2 PROPERTY LINE

GARDENCITY ROAD

NEIGHBOURHOOD PARK SRW

EXTENT OF LOT 1 / PHASE 2 EXTENT OF NEIGHBOURHOOD PARK SRW

gbl

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FAX 604 731 5279

Legal Address: LOT 1; SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6 WEST; NEW WESTMINSTER DISTRICT PLAN EPP27512

Replacement Plan 2B
DP 13-642725 Feb 16/15

REVISIONS

NO	DATE	DESCRIPTION
1.	14 MAR 2013	PROGRESS SET
2.	29 JULY 2013	DEVELOPMENT PERMIT APPLICATION
3.	15 OCT 2013	ADVISORY DESIGN PANEL SUBMISSION
4.	14 NOV 2013	CITY REVIEW - STAFF COMMENTS RESPONSE
5.	11 DEC 2013	CITY REVIEW
6.	16 DEC 2013	DP APPLICATION - PRIOR TO
7.	28 MAY 2014	PROGRESS SET
8.	26 JUNE 2014	ISSUED FOR BUILDING PERMIT APPLICATION
9.	05 SEPT 2014	ISSUED FOR ENVELOPE REVIEW
10.	29 SEPT 2014	ISSUED FOR CITY REVIEW
11.	07 OCT 2014	REVISED PER DP COMMENTS & ISSUED FOR CDR REVIEW
12.	14 OCT 2014	ISSUED TO ADDRESS CDR DP COMMENTS
13.	17 OCT 2014	UPDATED SUITE PLANS ISSUED FOR REVIEW & COORDINATION
14.	06 NOV 2014	ISSUED FOR COASTAL HEALTH REVIEW
15.	07 NOV 2014	ISSUED FOR COORDINATION
16.	17 NOV 2014	ISSUED FOR CONSULTANT COORDINATION
17.	19 DEC 2014	POOL AREA REVISED PER VCH FEEDBACK
18.	22 DEC 2014	REVISED & RE-ISSUED FOR COASTAL HEALTH REVIEW
19.	20 JAN 2015	ISSUED FOR CITY GENERAL COMPLIANCE REVIEW
20	21 JAN 2015	ISSUED FOR CONSULTANT COORDINATION
21	03 FEB 2015	ISSUED FOR CONSULTANT COORDINATION
22.	13 FEB 2015	REISSUED FOR DP GENERAL COMPLIANCE

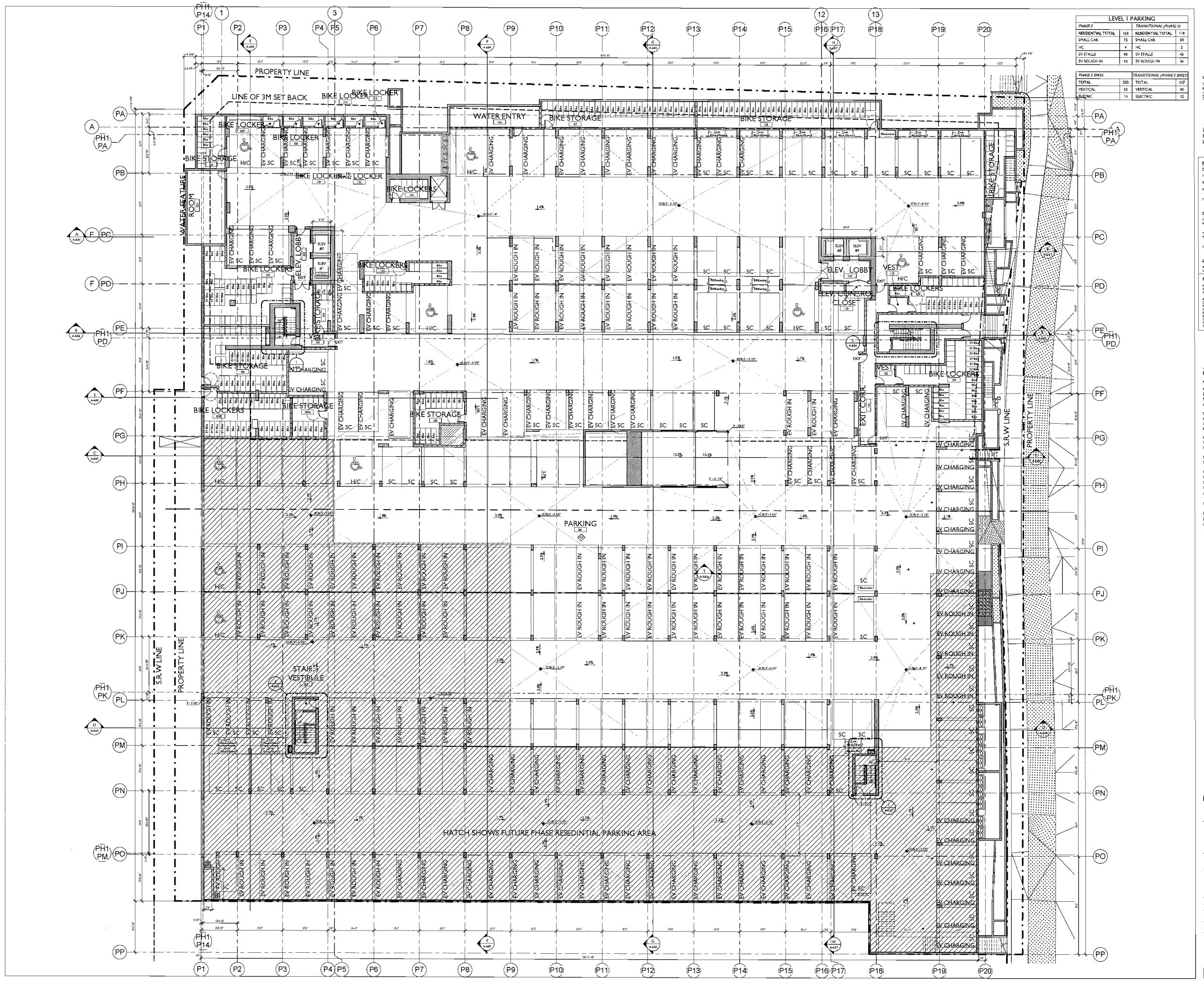
CONCORD PACIFIC

CONCORD GARDENS
PHASE 2
8988 Patterson Rd,
Richmond, BC

AREA PLAN
(CCAP & OCP)

DATE	13/02/2015 3:39:43 PM
DRAWN BY	SR
CHECKED BY	KH / MG
SCALE	1/32"
JOB NUMBER	1251

A-0.01a



LEVEL 1 PARKING			
PHASE 2		*TRANSITIONAL (PHASE 1)*	
RESIDENTIAL TOTAL	158	RESIDENTIAL TOTAL	119
SMALL CAR	72	SMALL CAR	50
HC	4	HC	3
EV STALLS	40	EV STALLS	43
EV ROUGH IN	42	EV ROUGH IN	36

PHASE 2 BIKES		*TRANSITIONAL (PHASE 1 BIKES)*	
TOTAL	222	TOTAL	117
VERTICAL	62	VERTICAL	40
ELECTRIC	14	ELECTRIC	12

gbl

GBL ARCHITECTS INC.
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TEL 604 736 1154
FAX 604 251 5979

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Legal Address: LOT 1; SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6 WEST; NEW WESTMINSTER DISTRICT PLAN EPP29512

PARKING LEGEND

TYP. PARKING SPACE SIZES

TYP. SMALL CAR SPACE: 2.5 (8') x 5.5 (18') x 2.7 (9') P.P.N. CLR. (0.65m x 1.65m x 2.7m)

SMALL CAR SPACE: 2.4 (8') x 5.5 (18') x 2.7 (9') P.P.N. CLR. (0.7m x 1.65m x 2.7m)

H.C. PARKING SPACE: 3.7 (12') x 5.5 (18') x 2.7 (9') P.P.N. CLR. H.C. (0.7m x 1.65m x 2.7m) P.P.N. CLR. (1.1m x 1.65m x 2.7m)

TYP. DRIVE AISLE: 7.0 (23') CL to CL WIDTH; 6.7 (22') CLEAR TO 1st H.C. PARKING SPACE; 6.0 (20') FOR DUAL AISLE

TYP. BICYCLE PARKING SIZES

TYP. CLASS 1 HORIZONTAL BICYCLE SPACE: 0.6 (2') x 1.8 (6') C (0.6m x 1.8m x 1.2m)

TYP. CLASS 1 VERTICAL BICYCLE SPACE: 0.6 (2') x 1.2 (4') C (0.6m x 1.2m x 1.2m)

STAIR/ELEVATOR ACCESS: 0.6 (2') x 1.8 (6') C (0.6m x 1.8m x 1.2m)

GROUND FACE FIRE

MED. UNITS: 8.4m x 2.4m (27.6' x 8') LIFE PAN CLR. H.C. (2.4m x 2.4m); LARGE UNIT: 9.6m x 2.4m (31.5' x 8') P.P.N. CLR. H.C. (2.4m x 2.4m)

ABBREVIATIONS

H/C	HANDICAP ACCESSIBLE CAR
SC	SMALL CAR
V	VISITOR
AD	AREA DRAIN
FD	FLOOR DRAIN
CB	FLOOR DRAIN
SI	MANHOLE CENTER/ELEVATION
RD	ROOF DRAIN
BPR	BARN PARTIALLY OPEN
TOC	TOP OF CURB
TOP	TOP OF PARAPET
TOW	TOP OF WALL

REVISIONS

NO.	DATE	DESCRIPTION
1.	14 MAR 2013	PROGRESS SET
2.	29 JULY 2013	DEVELOPMENT PERMIT APPLICATION
3.	15 OCT 2013	ADVISORY DESIGN PANEL SUBMISSION
4.	14 NOV 2013	CITY REVIEW - STAFF COMMENTS RESPONSE
5.	11 DEC 2013	CITY REVIEW
6.	16 DEC 2013	DP APPLICATION - PRIOR TO
7.	28 MAY 2014	PROGRESS SET
8.	20 JUNE 2014	ISSUED FOR BUILDING PERMIT APPLICATION
9.	05 SEPT 2014	ISSUED FOR ENVELOPE REVIEW
10.	09 SEPT 2014	ISSUED FOR CITY REVIEW
11.	07 OCT 2014	REVISED PER BP COMMENTS & ISSUED FOR COR REVIEW
12.	14 OCT 2014	ISSUED TO ADDRESS COR DP COMMENTS
13.	17 OCT 2014	UPDATED SUITE PLANS ISSUED FOR REVIEW & COORDINATION
14.	06 NOV 2014	ISSUED FOR COASTAL HEALTH REVIEW
15.	07 NOV 2014	ISSUED FOR COORDINATION
16.	17 NOV 2014	ISSUED FOR CONSULTANT COORDINATION
17.	19 DEC 2014	PDSD. AREA REVISED PER VCH FEEDBACK
18.	22 DEC 2014	REVISED & RE-ISSUED FOR COASTAL HEALTH REVIEW
19.	20 JAN 2015	ISSUED FOR CITY GENERAL COMPLIANCE REVIEW
20.	23 JAN 2015	ISSUED FOR CONSULTANT COORDINATION
21.	09 FEB 2015	ISSUED FOR CONSULTANT COORDINATION
22.	13 FEB 2015	REISSUED FOR GENERAL COMPLIANCE

Replacement Plan 3

DP 13-642725 Feb 16/15

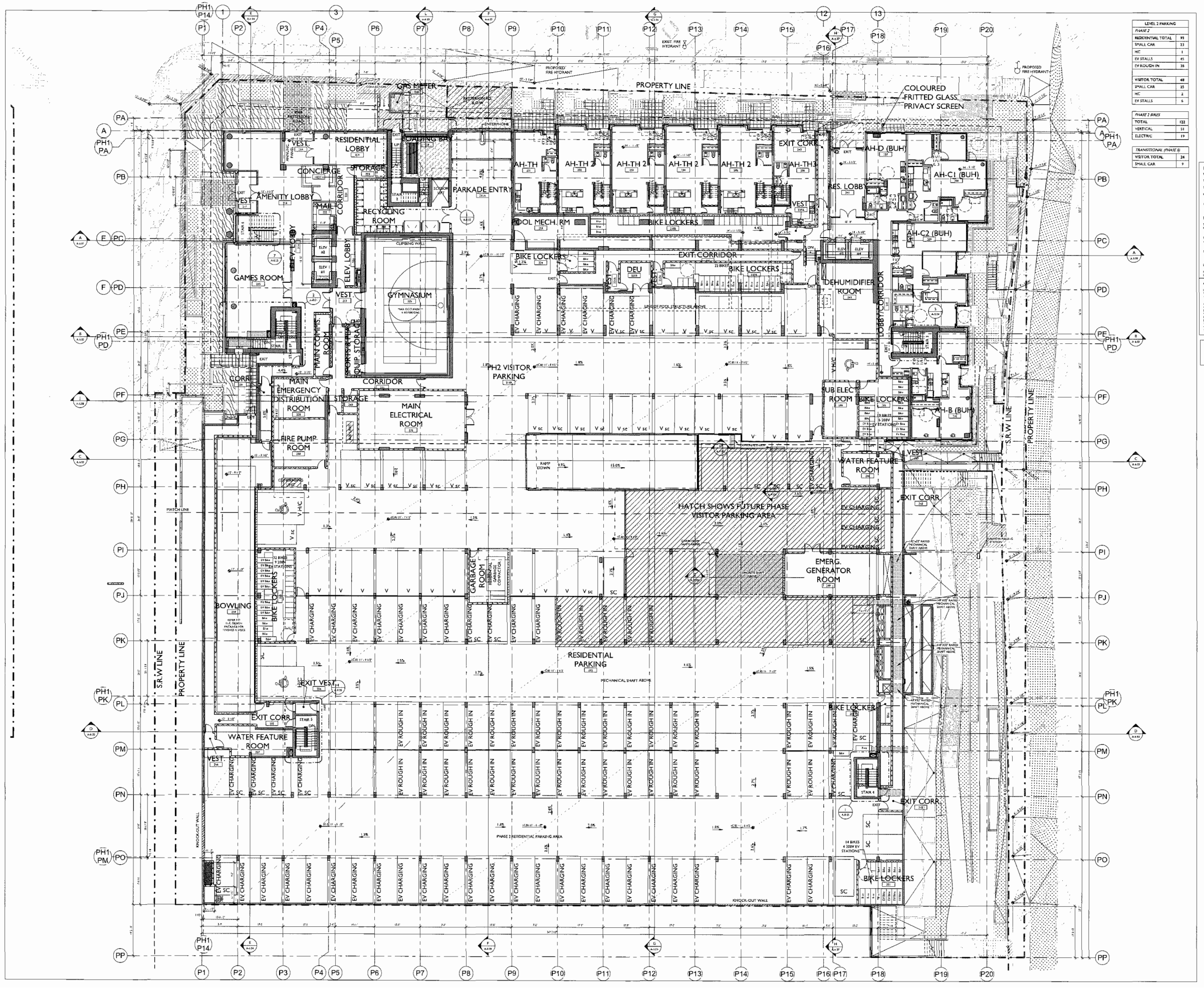
CONCORD PACIFIC

CONCORD GARDENS
PHASE 2
8988 Patterson Rd,
Richmond, BC

LEVEL 1

DATE	15/02/2015 5:06:01 PM
DRAWN BY	JM/GR
CHECKED BY	MG
SCALE	3/32" = 1'-0"
JOB NUMBER	1251

A-2.01



LEVEL 2 PARKING	
PHASE 2	
RESIDENTIAL TOTAL	93
SMALL CAR	33
HC	1
EV STALLS	45
EV ROUGH IN	36
VISITOR TOTAL	48
SMALL CAR	35
HC	2
EV STALLS	6

PHASE 2 BIKES	
TOTAL	122
VERTICAL	51
ELECTRIC	19

TRANSITIONAL (PHASE 1)	
VISITOR TOTAL	24
SMALL CAR	9

gbl

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VANCOUVER, BC CANADA V5T 1S8
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Legal Address: LOT 1; SECTIONS 27 AND 28, BLOCK 5, NORTH RANGE 6 WEST, NEW WESTMINSTER DISTRICT PLAN EPP27512

PARKING LEGEND

TYP. PARKING SPACE SIZE

TYP. PARKING SPACE: 2.5 m x 5.5 m = 13.7 m² (8'-2" x 18'-0" = 147.4 sq.ft.)

SMALL CAR SPACE: 2.4 m x 5.0 m = 12.0 m² (7'-10" x 16'-5" = 129.2 sq.ft.)

HC PARKING SPACE: 3.7 m x 5.5 m = 20.4 m² (12'-1" x 18'-0" = 219.6 sq.ft.) (3.4 m min. + 2.3 m access aisle)

TYP. VAN SPACE: 3.7 m x 5.5 m = 20.4 m² (12'-1" x 18'-0" = 219.6 sq.ft.) (3.4 m min. + 2.3 m access aisle)

TYP. BICYCLE SPACE SIZES

TYP. CLASS 1 HORIZONTAL BICYCLE SPACE: 0.6 m x 1.8 m = 1.1 m² (2'-0" x 6'-0" = 11.8 sq.ft.)

TYP. CLASS 1 VERTICAL BICYCLE SPACE: 0.6 m x 1.2 m = 0.7 m² (2'-0" x 4'-0" = 7.9 sq.ft.)

STRATA LOCKER DIMENSIONS: 1.8 m x 0.6 m x 1.2 m = 1.1 m³ (6'-0" x 2'-0" x 4'-0" = 39.5 cu.ft.)

LOADING SPACE SIZE

MEDIUM SIZE: 9.0 m x 3.4 m x 4.1 m = 37.0 m³ (29'-6" x 11'-2" x 13'-6" = 1,307.0 cu.ft.)

LARGE SIZE: 11.0 m x 3.8 m x 4.1 m = 42.7 m³ (36'-1" x 12'-6" x 13'-6" = 1,507.9 cu.ft.)

ABBREVIATIONS

HC	HANDICAPPED/WHEELCHAIR
SC	SPRINKLER
m	METER
HC	HEIGHT
LR	LIVING ROOM
DR	DINING ROOM
KI	KITCHEN
BR	BEDROOM
R.M.	RAIN WATER LEADER
TOS	TOP OF SLAB
TOF	TOP OF FINISH
TOW	TOP OF WALL

LEGEND:

SECTION THROUGH MATCH LINE/KEY PLAN (with numbered DIRECTION of VIEW and SHEET NUMBER where SECTION APPEARS)

REVISIONS

NO	DATE	DESCRIPTION
1	12 MAR 2013	PROGRESS SET
2	19 JULY 2013	DEVELOPMENT PERMIT APPLICATION
3	13 DEC 2013	ADVISORY DESIGN PANEL SUBMISSION
4	13 NOV 2013	CITY REVIEW - STAFF COMMENTS RESPONSE
5	17 DEC 2013	CITY REVIEW
6	16 DEC 2013	DP APPLICATION - PRIOR TO
7	28 MAR 2014	PROGRESS SET
8	30 JUNE 2014	ISSUED FOR BUILDING PERMIT APPLICATION
9	26 SEPT 2014	ISSUED FOR CHANGE OF OWNER
10	29 SEPT 2014	ISSUED FOR CITY REVIEW
11	07 OCT 2014	REVISED PER CITY COMMENTS & ISSUED FOR DP REVIEW
12	10 OCT 2014	ISSUED TO ARCHITECT FOR DP COMMENTS
13	17 OCT 2014	UPDATED SUITE PLANS ISSUED FOR REVIEW & COORDINATION
14	26 NOV 2014	ISSUED FOR COASTAL HEALTH REVIEW
15	27 NOV 2014	ISSUED FOR COORDINATION
16	17 NOV 2014	ISSUED FOR CONSULTANT COORDINATION
17	9 DEC 2014	POOL AREA REVISED PER ACH REVISIONS
18	22 DEC 2014	REVISIONS RE-ISSUED FOR COASTAL HEALTH REVIEW
19	20 JAN 2015	ISSUED FOR DP SUBMISSION COMPLIANCE REVIEW
20	23 JAN 2015	ISSUED FOR CONSULTANT COORDINATION
21	10 FEB 2015	ISSUED FOR CONSULTANT COORDINATION
22	13 FEB 2015	REISSUED FOR DP GENERAL COMPLIANCE

Replacement Plan 4
DP 13-642725 Feb 16/15

CONCORD PACIFIC

CONCORD GARDENS
PHASE 2
8988 Patterson Rd,
Richmond, BC

LEVEL 2

DATE	1/16/2015 1:12:28 PM
DRAWN BY	JM/SR
CHECKED BY	GBL
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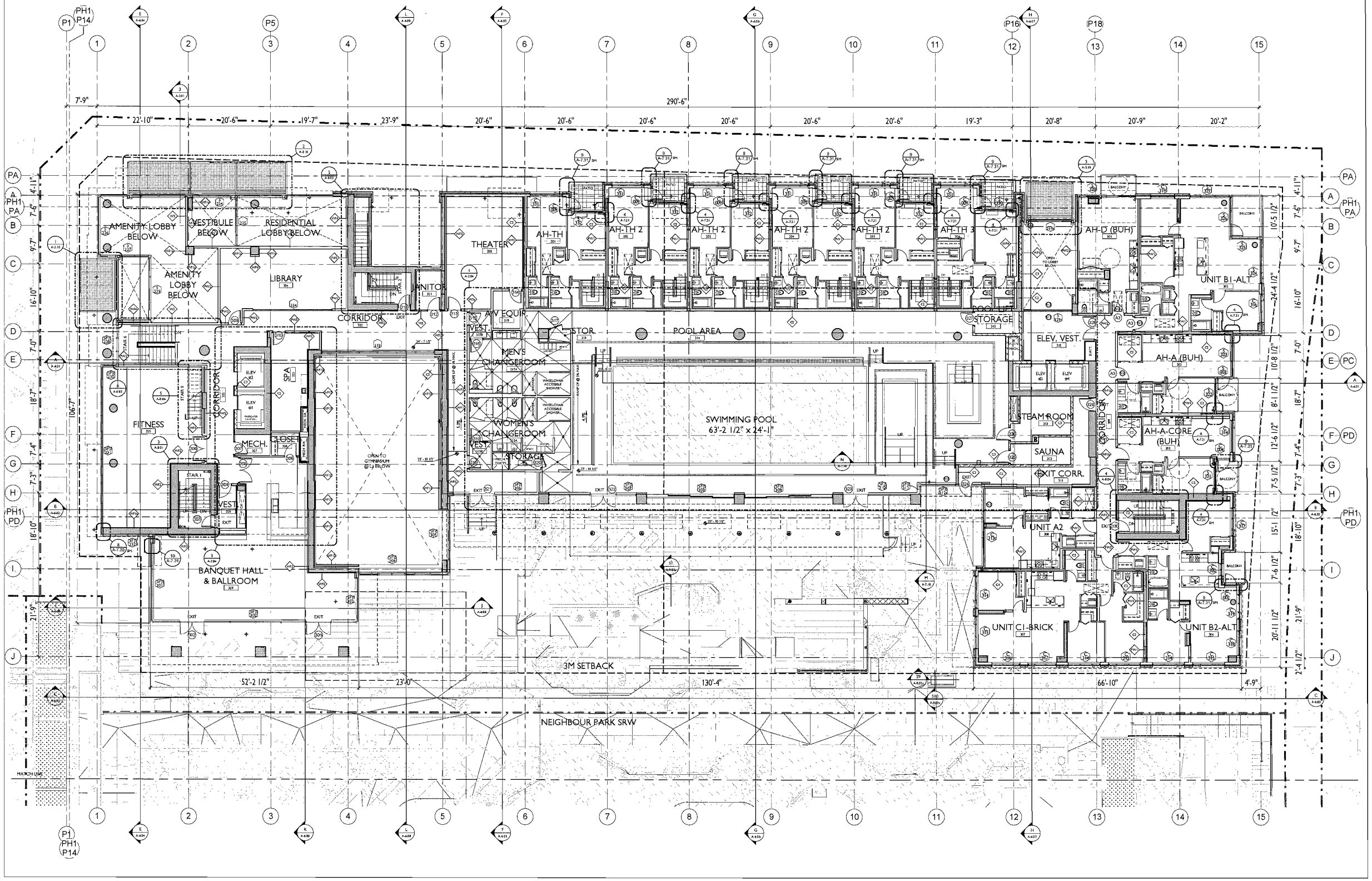

gbl

GBL ARCHITECTS INC.
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VANCOUVER, BC CANADA V5T 1R6
TEL 604 734 1134
FAX 604 731 5279

Legal Address: LOT 1; SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6 WEST; NEW WESTMINSTER DISTRICT PLAN EPP27512

LEGEND:

2 EXPOSED STEEL WATER FOUNTAIN AND PLANTER AS PER LANDSCAPE DRAWINGS

Replacement Plan 5

DP 13-642725 Feb 16/15

REVISIONS

NO	DATE	DESCRIPTION
1.	14 MAR 2013	PROGRESS SET
2.	29 JULY 2013	DEVELOPMENT PERMIT APPLICATION
3	16 OCT 2013	ADVISORY DESIGN PANEL SUBMISSION
4.	14 NOV 2013	CITY REVIEW - STAFF COMMENTS RESPONSE
5.	16 DEC 2013	CITY REVIEW
6.	16 DEC 2013	DP APPLICATION - PRIOR TO
7.	20 MAY 2014	PROGRESS SET
8.	30 JUNE 2014	ISSUED FOR BUILDING PERMIT APPLICATION
9.	05 SEPT 2014	ISSUED FOR ENVELOPE REVIEW
10.	29 SEPT 2014	ISSUED FOR CITY REVIEW
11.	07 OCT 2014	REVISED PER BP COMMENTS & ISSUED FOR CCM REVIEW
12.	14 OCT 2014	REVISED TO ADDRESS CCM DP COMMENTS
13.	17 OCT 2014	UPDATED SUITE PLANS ISSUED FOR REVIEW & COORDINATION
14.	04 NOV 2014	ISSUED FOR COASTAL HEALTH REVIEW
15.	07 NOV 2014	ISSUED FOR COORDINATION
16.	17 NOV 2014	ISSUED FOR CONSULTANT COORDINATION
17	19 DEC 2014	POOL AREA REVISED PER VCH- FEEDBACK
18.	22 DEC 2014	REVISED & RE-ISSUED FOR COASTAL HEALTH REVIEW
19	20 JAN 2015	ISSUED FOR CITY GENERAL COMPLIANCE REVIEW
20.	13 JAN 2015	ISSUED FOR CONSULTANT COORDINATION
21	05 FEB 2015	ISSUED FOR CONSULTANT COORDINATION
22	13 FEB 2015	REISSUED FOR DP GENERAL COMPLIANCE

CONCORD PACIFIC

CONCORD GARDENS
PHASE 2
8988 Patterson Rd,
Richmond, BC

LEVEL 3 NORTH

DATE	16/02/2015 9:11:3" AM
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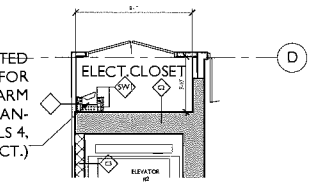
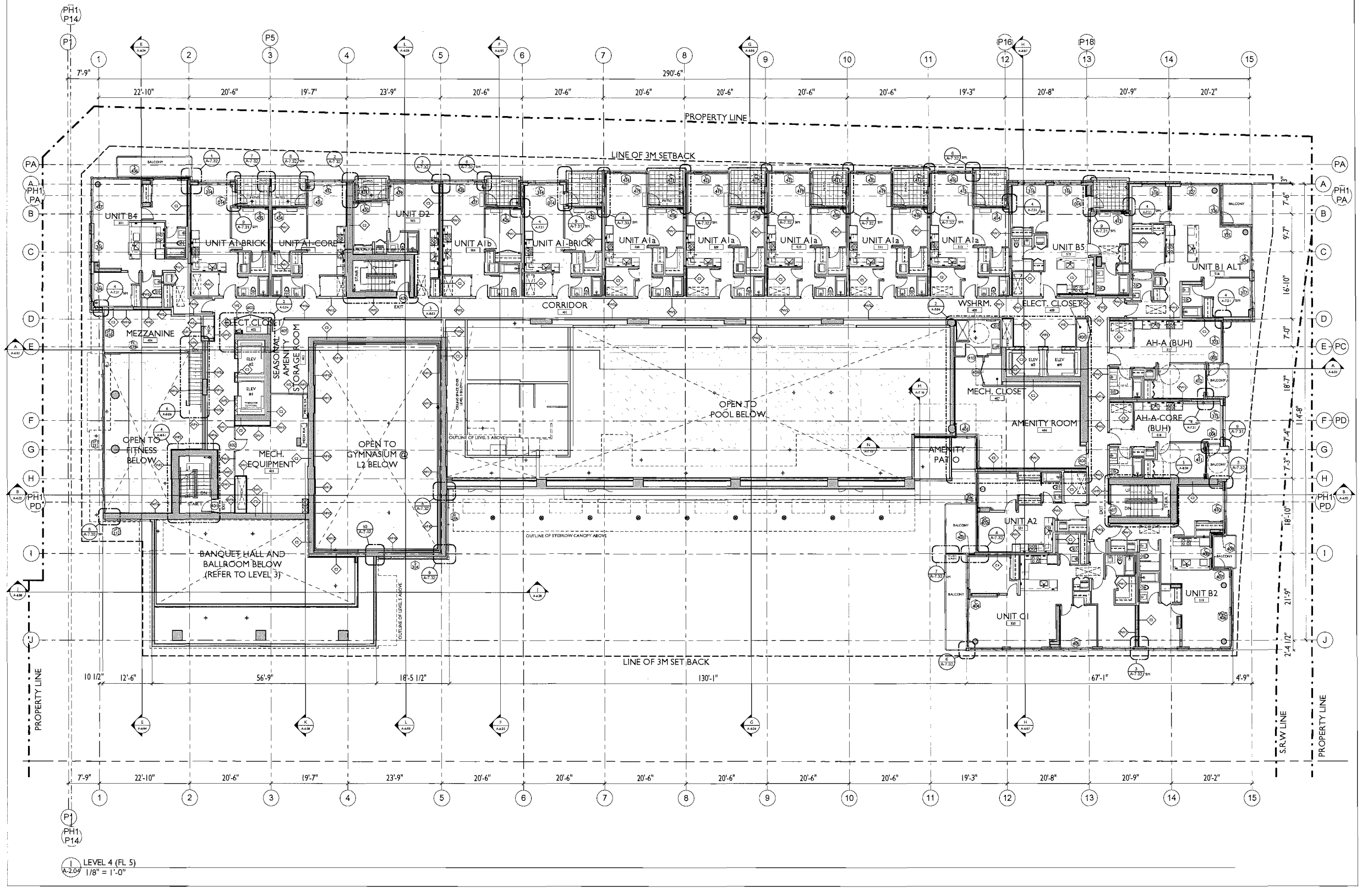
CHECKED BY	MG
SCALE	1/8" = 1'-0"
JOB NUMBER	1251

A-2.03a

CONTINUOUS 2 HOUR RATED SHAFT (LEVELS 4 THRU 17) FOR EMERGENCY & FIRE ALARM SERVICES c/w 2 HOUR RATED VAN-MET ACCESS DOOR AT LEVELS 4, 10 & 13 (REFER TO ELECT.)



2 / A-2.04 TYPICAL ELECTRICAL CLOSET @ ELEVATORS 1 & 2
1/4" = 1'-0"



LEVEL 4 (FL 5)
1/8" = 1'-0"

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Legal Address: LOT 1, SECTIONS 27 AND 28; BLOCK 5, NORTH RANGE 6 WEST, NEW WESTMINSTER DISTRICT PLAN EPP27512

LEGEND:
1 DENOTES 1ST DAY
HANDICAPPED PARKING
UNTENDED OPENING AT MINIMUM ELEVATION ABOVE FLOOD PROOF

Replacement Plan 6
DP 13-642725 Feb 16/15

REVISIONS

NO.	DATE	DESCRIPTION
1.	14 MAR 2013	PROGRESS SET
2.	29 JULY 2013	DEVELOPMENT PERMIT APPLICATION
3.	15 OCT 2013	ADVISORY DESIGN PANEL SUBMISSION
4.	14 NOV 2013	CITY REVIEW - STAFF COMMENTS RESPONSE
5.	11 DEC 2013	CITY REVIEW
6.	16 DEC 2013	DP APPLICATION - PRIOR TO
7.	28 MAY 2014	PROGRESS SET
8.	20 JUNE 2014	ISSUED FOR BUILDING PERMIT APPLICATION
9.	05 SEPT 2014	ISSUED FOR ENVELOPE REVIEW
10.	29 SEPT 2014	ISSUED FOR CITY REVIEW
11.	07 OCT 2014	REVISED PER RZ COMMENTS & ISSUED FOR CCN REVIEW
12.	14 OCT 2014	ISSUED TO ADDRESS CCN DP COMMENTS
13.	17 OCT 2014	UPDATED SUITE PLANS ISSUED FOR REVIEW & COORDINATION
14.	06 NOV 2014	ISSUED FOR COASTAL HEALTH REVIEW
15.	07 NOV 2014	ISSUED FOR COORDINATION
16.	17 NOV 2014	ISSUED FOR CONSULTANT COORDINATION
17.	19 DEC 2014	POOL AREA REVISED PER VCH FEEDBACK
18.	22 DEC 2014	REVISED & RE-ISSUED FOR COASTAL HEALTH REVIEW
19.	20 JAN 2015	ISSUED FOR CITY GENERAL COMPLIANCE REVIEW
20	23 JAN 2015	ISSUED FOR CONSULTANT COORDINATION
21.	03 FEB 2015	ISSUED FOR CONSULTANT COORDINATION
22	13 FEB 2015	REISSUED FOR DP GENERAL COMPLIANCE

CONCORD PACIFIC

CONCORD GARDENS
PHASE 2
8988 Patterson Rd,
Richmond, BC

LEVEL 4 (FLOOR 5)

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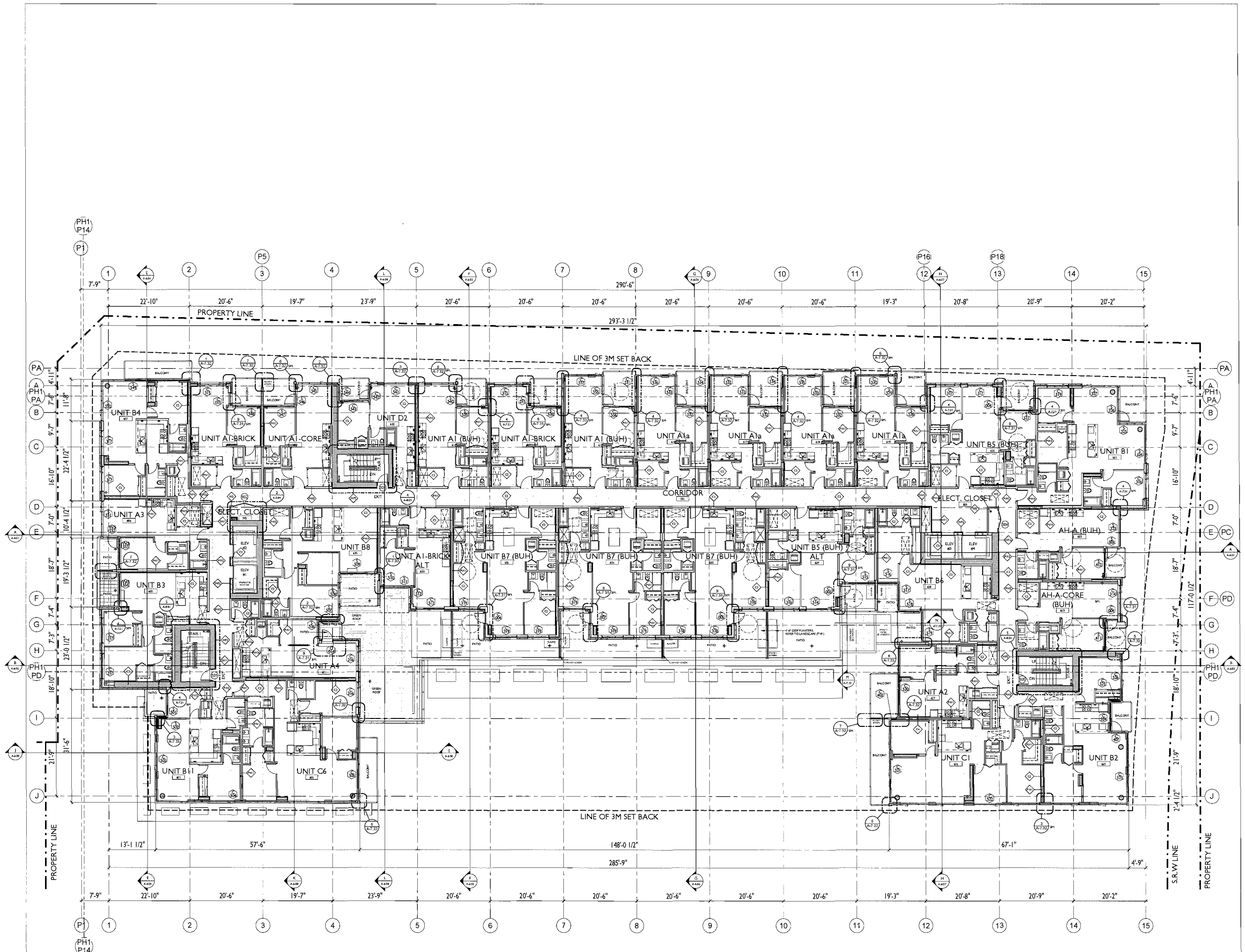
JOB NUMBER	1251

A-2.04



gbl

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Legal Address: LOT 1; SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6 WEST; NEW WESTMINSTER DISTRICT PLAN EPP27512

Replacement Plan 7

DP 13-642725 Feb 16/15

REVISIONS

NO	DATE	DESCRIPTION
1	14 MAR 2013	PROGRESS SET
2	29 JULY 2013	DEVELOPMENT PERMIT APPLICATION
3.	15 OCT 2013	ADVISORY DESIGN PANEL SUBMISSION
4.	14 NOV 2013	CITY REVIEW - STAFF COMMENTS RESPONSE
5.	11 DEC 2013	CITY REVIEW
6	16 DEC 2013	DP APPLICATION - PRIOR TO
7.	30 MAY 2014	PROGRESS SET
8	30 JUNE 2014	ISSUED FOR BUILDING PERMIT APPLICATION
9.	05 SEPT 2014	ISSUED FOR ENVELOPE REVIEW
10	29 SEPT 2014	ISSUED FOR CITY REVIEW
11	07 OCT 2014	REVISED PER BP COMMENTS & ISSUED FOR COR REVIEW
12	16 OCT 2014	ISSUED TO ADDRESS COR DP COMMENTS
13.	17 OCT 2014	UPDATE SITE PLANS
14.	04 NOV 2014	ISSUED FOR REVIEW & COORDINATION
15.	06 NOV 2014	ISSUED FOR COASTAL HEALTH REVIEW
16	07 NOV 2014	ISSUED FOR COORDINATION
16.	17 NOV 2014	ISSUED FOR CONSULTANT COORDINATION
17	19 DEC 2014	POOL AREA REVISED PER VDN FEEDBACK
18	20 DEC 2014	REVISED & RE-ISSUED FOR COASTAL HEALTH REVIEW
19	29 JAN 2015	ISSUED FOR CITY GENERAL COMPLIANCE REVIEW
20	23 JAN 2015	ISSUED FOR CONSULTANT COORDINATION
21	05 FEB 2015	ISSUED FOR CONSULTANT COORDINATION
22	13 FEB 2015	REISSUED FOR DP-GENERAL COMPLIANCE

CONCORD PACIFIC

CONCORD GARDENS
PHASE 2
8988 Patterson Rd,
Richmond, BC

LEVEL 5 (FLOOR 6)

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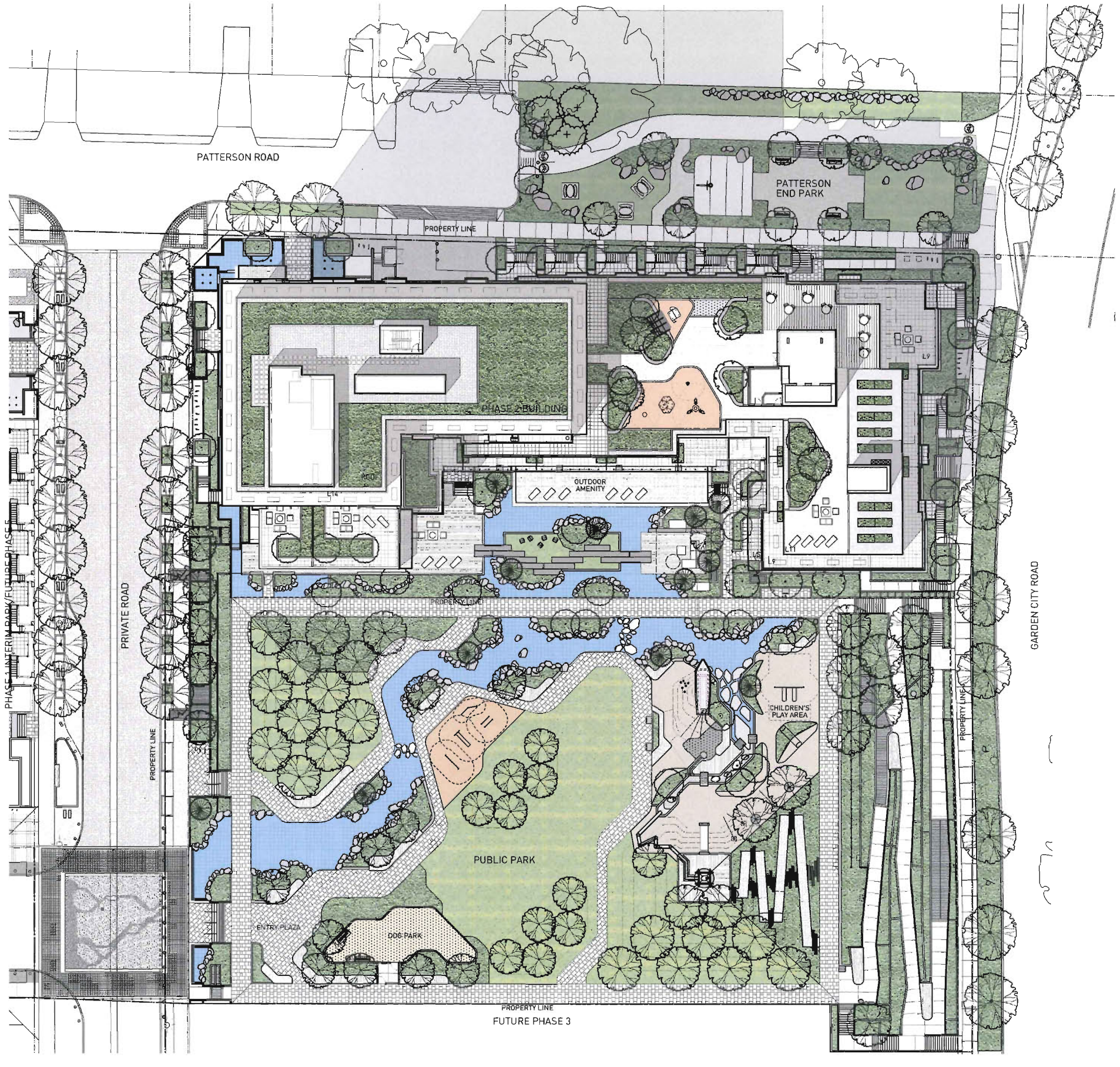

PWL partnership

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2013/11/13	Issued for DP
02	2013/11/18	Revised per City Comment
03	2013/12/16	Re-issued for DP
04	2015/02/16	Re-issued for general compliance

Replacement Plan 8A
DP 13-642725 Feb 16/15

CONCORD PACIFIC

PROJECT
CONCORD GARDENS
PHASE 2
RICHMOND, BC
FOR CONCORD PACIFIC

DRAWING TITLE
RENDERED PLAN

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NORTH | SCALE 1:250

PROJECT NO.	1286		
DATE	July 2013		
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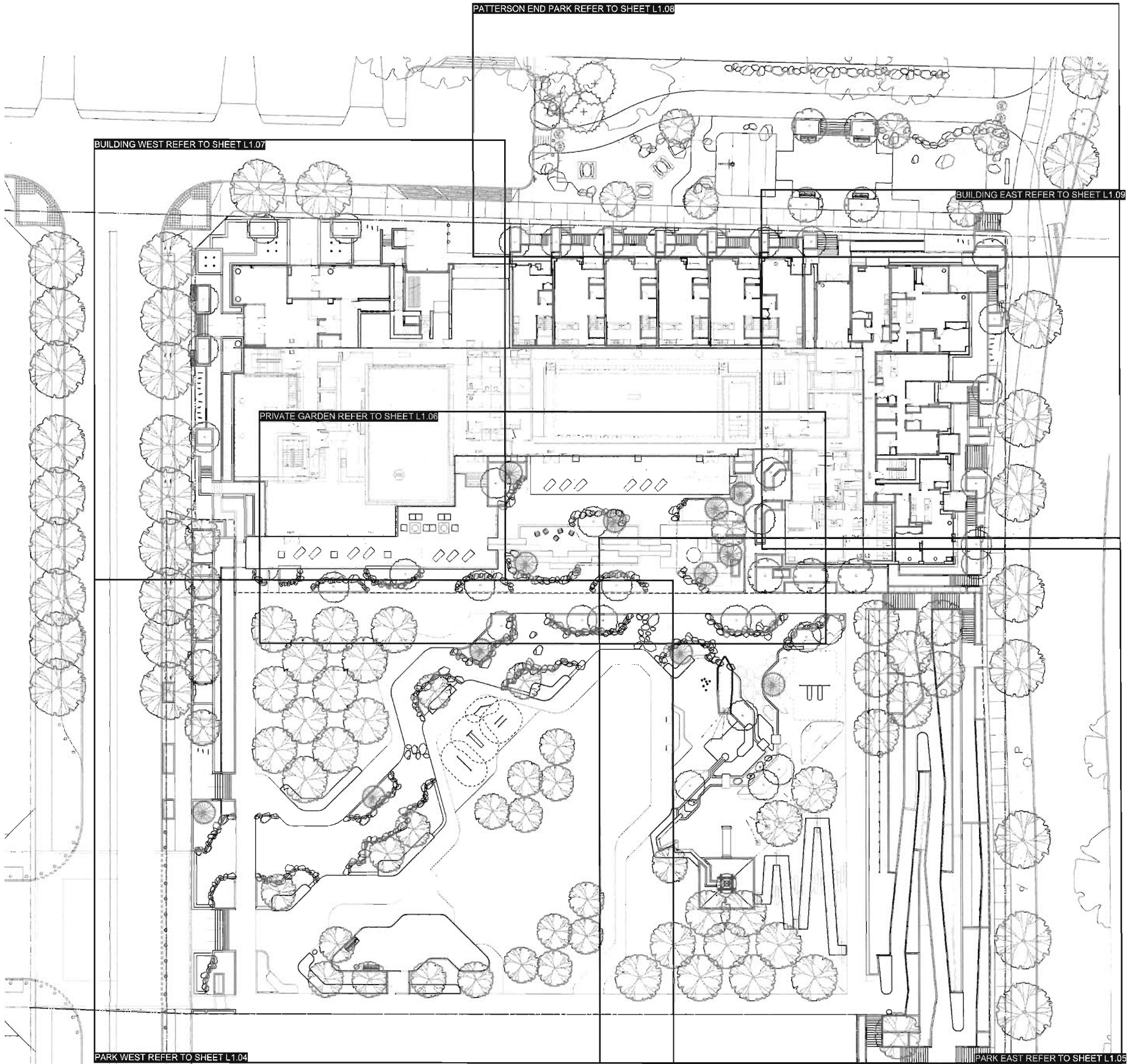

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2013/11/13	Issued for DP
02	2013/11/18	Revised per City Comment
03	2013/12/16	Re-Issued for DP
04	2016/02/16	Re-Issued for general compliance

Replacement Plan 8B
DP 13-642725 Feb 16/15

CONCORD PACIFIC

PROJECT
CONCORD GARDENS
PHASE 2
RICHMOND, BC
FOR CONCORD PACIFIC

DRAWING TITLE
KEY PLAN
GROUND FLOOR

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NORTH

SCALE 1:250

PROJECT NO.	1286
DATE	July 2013
FILE NAME	1286 Plan DP.vwx
PLOTTED	15-2-16 at 1:09:17 PM
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REVIEWED	DL/ GB

DRAWING
LDP 1.01

PAVING MATERIAL LEGEND

P1		**CAST IN PLACE CONCRETE PAVING** FINISH: LIGHT SANDBLAST COMMENT: SAW CUT 5' O.C., OR AS SHOWN ON PLAN
P2		**CAST IN PLACE CONCRETE PAVING** FINISH: BROOM FINISH COMMENT: SAW CUT 5' O.C., OR AS SHOWN ON PLAN
P1		**NATURAL GRANITE STONE PAVING** FINISH: SAWCUT RUNNING PATTERN. COMMENT: CHAMFER ON ALL EXPOSED SIDES
P4		**HYDRAPRESSED SLAB TYPE 1** FINISH: SLATE FINISH, COLOUR: CHARCOAL COMMENT: STACK BOND
P5		**HYDRAPRESSED SLAB TYPE 2** FINISH: LIGHT SANDBLASTED FINISH, COLOUR: GREY GRANITE COMMENT: RUNNING BOND
P6		**UNIT PAVER TYPE 1** COLOUR: SIERRA GREY COMMENT: RUNNING BOND
P2		**UNIT PAVER TYPE 2** COLOUR: SIERRA GREY COMMENT: HERRINGBONE
P4		**ASPHALT PAVING (REFER TO CIVIL)** FINISH: SAWCUT BOTTOM AND FLAME ALL EXPOSED FACES COMMENT:REFER TO PLAN FOR PATTERN
P3		**MAINTENANCE STRIP** SIZE: 19MM COMMENT: N/A
P10		**GRANULAR PAVING** SIZE: 3/4" DIAMETER COMMENT: N/A
P11	1 / L7.01	**PLAY SAND** DESCRIPTION WASHED PLAY SAND COMMENT: N/A
P12		**RESILIENT PLAY SURFACE** FINISH: 50% GREY AND 50% RED COMMMENT: CAST IN PLACE RESILIENT RUBBER

HARDSCAPE MATERIAL LEGEND

H1		**CONCRETE PLINTH** FINISH: LIGHT SANDBLASTED FINISH COMMENT: WITH ADDRESS SIGNAGE & LIGHTING
H2		**CONCRETE WALL** DESCRIPTION: CAST IN PLACE CONCRETE WALL FINISH: LIGHT SANDBLASTED FINISH
H3		**CONCRETE CURB** DESCRIPTION: CAST IN PLACE CONCRETE WALL, REFER TO PLAN AND DETAILS FINISH: LIGHT SANDBLASTED FINISH
H4		**CONCRETE FLUSH CURB OR BAND** DESCRIPTION: CAST IN PLACE CONCRETE WALL, REFER TO PLAN AND DETAILS FINISH: LIGHT SANDBLASTED FINISH
H5		**CONCRETE STAIRS** WITH METAL HANDRAILS SIZE: REFER TO PLAN, TO SLOPE 2%, ENGINEERED SHOP DRAWINGS REQUIRED FINISH: LIGHT SANDBLASTED FINISH
H6		**LANDSCAPE STONE WALL TYPE 1** DESCRIPTION: BASALT STONE WALL, 3/4" THICK BASALT VENEER FINISH: SPLIT FACE FINISH
H7		**LANDSCAPE STONE WALL TYPE 2** DESCRIPTION: BASALT STONE WALL, 3" THICK BASALT STONE WALL FINISH: FLAME FINISH
H8	4 / L7.02	**METAL GATE - FOR DOG PARK** DESCRIPTION: ALUMINUM, COMMENT: REFER TO PLAN AND DETAILS , MATCH ARCHITECTURAL GUARDRAIL -HANDRAIL FINISH
H9	2 / L7.01	**METAL GATE - FOR PATIO** DESCRIPTION: ALUMINUM, COMMENT: REFER TO PLAN AND DETAILS , MATCH ARCHITECTURAL GUARDRAIL -HANDRAIL FINISH
H10		**METAL GUARDRAIL** FINISH: MATCH ARCHITECTURAL GUARDRAIL AND HANDRAIL FINISH
H11		**LANDSCAPE GUARDRAIL** COMMENT: REFER TO PLAN AND DETAILS , MATCH ARCHITECTURAL GUARDRAIL AND HANDRAIL FINISH
H12		**METAL FENCE TYPE 1** FINISH: MATCH ARCHITECTURAL GUARDRAIL AND HANDRAIL FINISH
H13		**METAL FENCE TYPE 2** FINISH: MATCH ARCHITECTURAL GUARDRAIL AND HANDRAIL FINISH
H14		**METAL TRELLIS AND SEATING STRUCTURE** DESCRIPTION: HSS AND IPE FINISH: NATURAL
H15		**METAL GRATE** SIZE: REFER TO PLAN
H16	1 / L7.03	**LANTERN STRUCTURAL** DESCRIPTION: ON HILL. REFER TO PLAN AND DETAIL. SHOP DRAWINGS REQUIRED COMMENT: NATURAL
H17		**SEATING PLATFORM** FINISH: IPE SEATING PLATFORM COMMENT: NATURAL FINISH
H18		**WATER WALL** FINISH: BASALT FACED COMMENT: REFER TO PLAN AND DETAILS
H19	1 / L7.02	**GRANITE BOULDER TYPE 1** DESCRIPTION: NORTHWEST LANDSCAPE SUPPLY OR APPROVED EQUAL "GRIZZLY" BOULDER IN WATER FEATURE
H20		**GRANITE BOULDER TYPE 2** DESCRIPTION: NORTHWEST LANDSCAPE SUPPLY OR APPROVED EQUAL COMMENT: "GRIZZLY" STEPPING STONE IN LANDSCAPED AREA
H21		**GRANITE BOULDER TYPE 3 - STEPPING STONE** DESCRIPTION: NORTHWEST LANDSCAPE SUPPLY OR APPROVED EQUAL COMMENT: "GRIZZLY" STEPPING STONE IN WATER FEATURE
H22		**TACTILE WARNING STRIP TYPE 1** DESCRIPTION: COLOUR CONCRETE FINISH: LIGHT SANDBLASTED FINISH
H23		**CONCRETE RAMP** DESCRIPTION: WITH METAL HANDRAIL ON BOTH SIDE FINISH: LIGHT SANDBLASTED FINISH
H24		**BASALT SLAB STEPS** FINISH: FLAME FINISH
H25		**FEATURE POST** SIZE: REFER TO ARCHITECTURAL DRAWINGS COMMENT: REFER TO ARCHITECTURAL DRAWINGS
H26		**CONCRETE RUNNEL** DESCRIPTION: WATER RUNNEL FINISH: LIGHT SANDBLASTED FINISH
H27		**PUBLIC PARK SIGNAGE** DESCRIPTION: METAL SIGNAGE FINISH: LIGHT SANDBLASTED FINISH
H28		**DECKING** DESCRIPTION: RESYSTA DECKING FINISH: GLAZE FVG C24 WITH SEALENT RFS

SITE FURNITURE LEGEND

F1		**PICNIC TABLE** DESCRIPTION: LANDSCAPE FORMS OR APPROVED EQUAL FINISH: METALIC SILVER
F2		**BENCH TYPE 1** DESCRIPTION: "MAGGIE" LANDSCAPE FORMS OR APPROVED EQUAL FINISH: METALLIC SILVER
F3		**METAL BULLRAIL - WITH LIGHTING** DESCRIPTION: BY CONTRACTOR FINISH: ALUMINUM
F4		**METAL BULLRAIL - WITHOUT LIGHTING** DESCRIPTION: BY CONTRACTOR FINISH: ALUMINUM
F5		**MOUNTAINEER ROPE** DESCRIPTION: RECTEC INDUSTRIES FINISH: COROCORD CUSTOM DESIGN
F6		**LOUNGE CHAIR TYPE 1** DESCRIPTION: LANDSCAPE FORMS OR APPROVED EQUAL - CHILL LOUNGE CHAIR BY FROG FINISH: BLACK POLYETHYLENE
F2		**LOUNGE CHAIR TYPE 2** DESCRIPTION: BEDON 029028 FINISH: FIBER 066 BLEACH
F4		**FIRE BOWL** DESCRIPTION: SOLUS DECOR FINISH: ELEVATED HALO 48
F9		**BIKE RACK** DESCRIPTION: FORMS AND SURFACES - BIKE GARDEN FINISH: ALUMINUM TEXTURE PODWERCOATED
F10		**URBAN AGRICULTURAL PLANTER BOX** DESCRIPTION: BARKMAN CONCRETE LTD - CUBE PLANTER FINISH: SMOOTH FINISH, COLOUR: EBONY
F11		**URBAN AGRICULTURAL COMPOST** DESCRIPTION: BY CONTRACTOR, REFER TO PLAN AND DETAILS FINISH: NATURAL
F13		**TRASH RECEPTACLE** DESCRIPTION: LANDSCAPE FORMS OR APPROVED EQUAL, GRETCHEN FINISH: IPE AND PODWERCOATED BLACK
F14		**K &K RETAINING WEIR** DESCRIPTION: RECTECINDUSTRIES
F13	3 / L7.01	**WATER PLAY ELEMENT** DESCRIPTION: RECTEC INDUSTRIES WATER PUMP AND WATER TROUGH
F16		**BASKETBALL HOOP** DESCRIPTION: BISON INC. FINISH: PR70 PACKAGE ON BA777 POLE
F11		**BOLLARD** DESCRIPTION: STONE EVENT OR APPROVAL EQUAL -GLACIAL STONE BOLLARD FINISH: POLISHED SMOOTH
F18		**PLAY EQUIPMENT TYPE 1** DESCRIPTION: RECTEC INDUSTRIES FINISH: BLOOX1 (BLX4100)
F19		**PLAY EQUIPMENT TYPE 2** DESCRIPTION: RECTEC INDUSTRIES FINISH: PLAYHOUSE (M700070P)
F20		**PLAY EQUIPMENT TYPE 3** DESCRIPTION: RECTEC INDUSTRIES FINISH: SPINNER BOWL (ELE400024E)
F21		**PLAY EQUIPMENT TYPE 4** DESCRIPTION: RECTEC INDUSTRIES FINISH: SPICA3 (GXY8016XX)
F22		**PLAY EQUIPMENT TYPE 5** DESCRIPTION: RECTEC INDUSTRIES FINISH: SEESAW BLAZER (ELE400021)
F23		**CHILDREN'S SLIDE** DESCRIPTION: LANDSCAPE STRUCTURE INC FINISH: PLAY BOOSTER STAINLESS STEEL SLIDE
F24		**SWING ELEMENT** DESCRIPTION: LANDSCAPE STRUCTURE INC FINISH: SINGLE POST SWING 177332
F25		**OUTDOOR FUNITURE** DESCRIPTION: LANDSCAPE FORMS OR APPROVED EQUAL FINISH: CHIPMAN CHAIR WITH ARMS AND DINNING TABLE
F25		**OUTDOOR FITNESS EQUIPMENT TYPE 1** DESCRIPTION: RECTEC INDUSTRIES FINISH: PUSH-UP BARS ELE 5900109
F27		**OUTDOOR FITNESS EQUIPMENT TYPE 2** DESCRIPTION: RECTEC INDUSTRIES FINISH: SIT-UP BENCH LOW ELE 5900113
F28		**OUTDOOR FITNESS EQUIPMENT TYPE 3** DESCRIPTION: RECTEC INDUSTRIES FINISH: PARALLEL BARS ELE 5900106
F25		**OUTDOOR FITNESS EQUIPMENT TYPE 4** DESCRIPTION: RECTEC INDUSTRIES FINISH: AB STRETCHER ELE 5900105
F30		**HANDHOLDS** DESCRIPTION: RECTEC INDUSTRIES FINISH: BLOOX GRIPS
F11		**CRAWL TUNNEL (428000099)** DESCRIPTION: RECTEC INDUSTRIES FINISH: (428000099)

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2013/11/13	Issued for DP
02	2013/11/18	Revised per City Comment
03	2013/12/16	Re-Issued for DP
04	2015/02/16	Re-Issued for general compliance

Replacement Plan 8C
DP 13-642725 Feb 16/15

CONCORD PACIFIC

PROJECT
CONCORD GARDENS
PHASE 2
RICHMOND, BC
FOR CONCORD PACIFIC

DRAWING TITLE
LEGENDS

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SCALE

PROJECT NO.	1286
DATE	July 2013
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REVIEWED	GB

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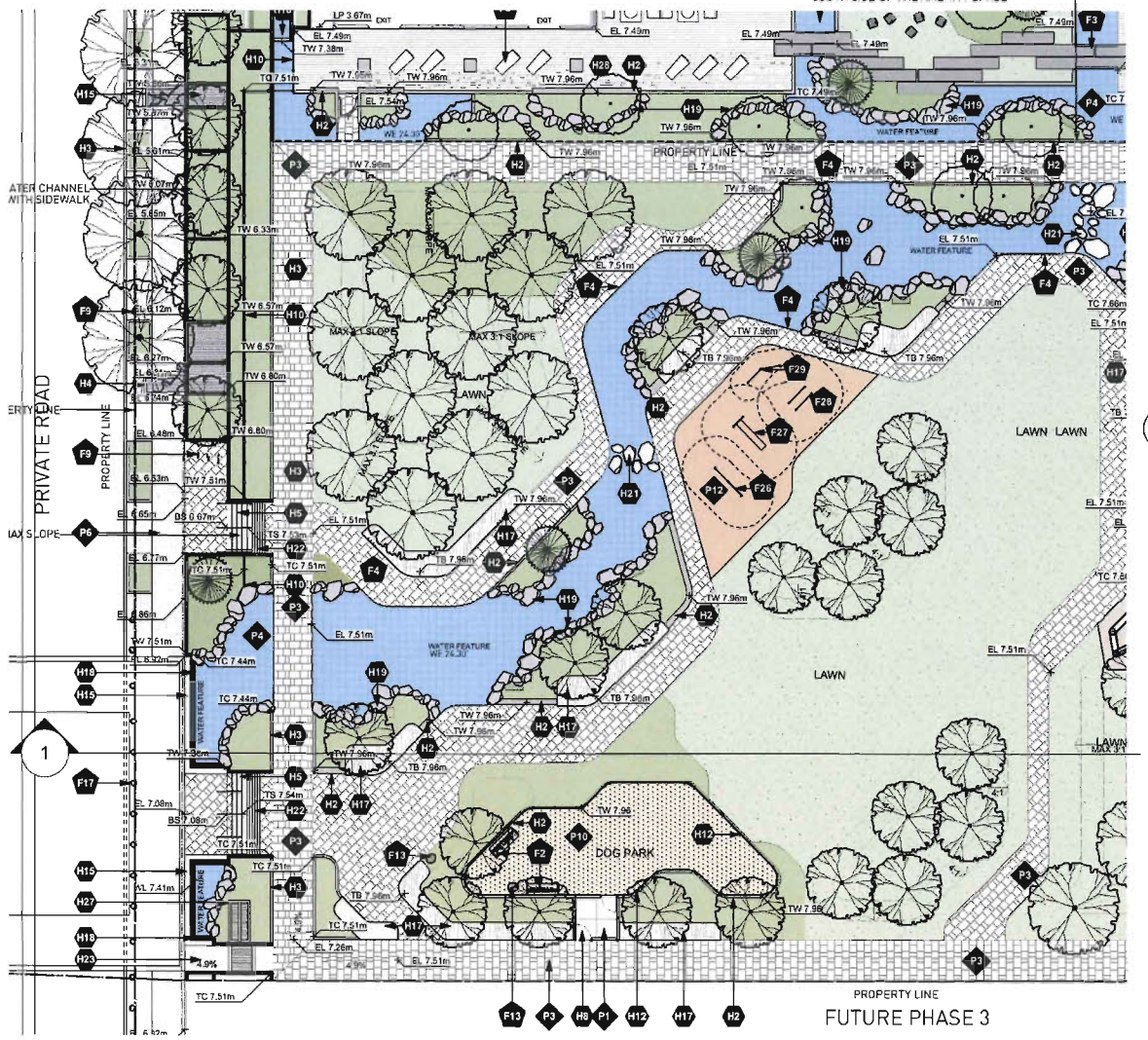
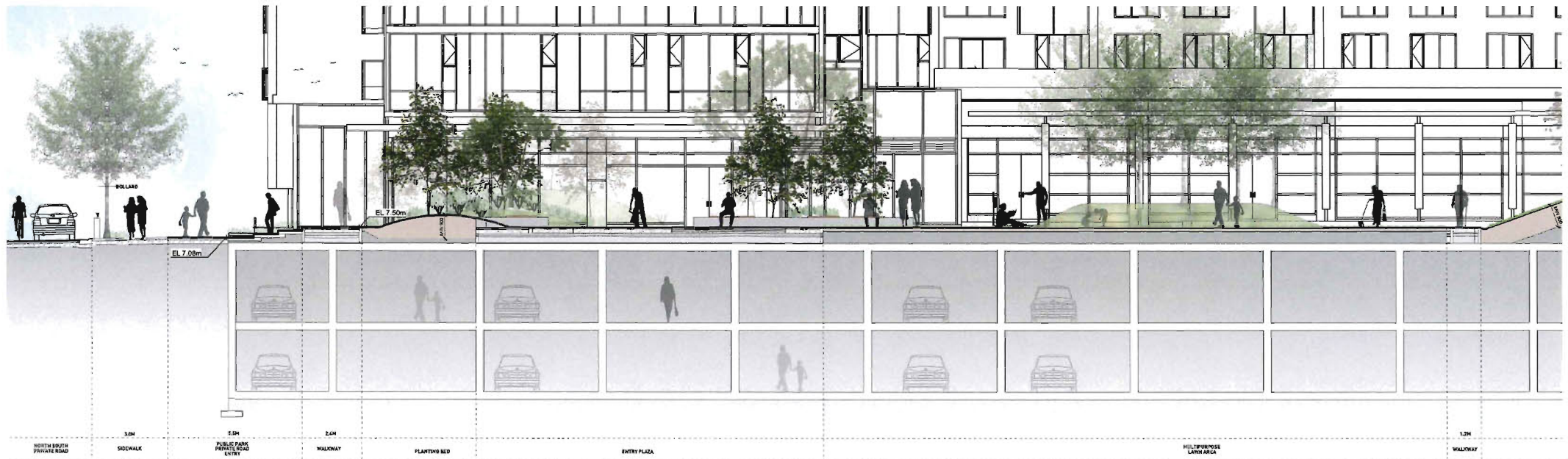


1 SCALE 1:200
PARK WEST PLAN

2 PERSPECTIVE

3 PERSPECTIVE



4 SECTION 1
SCALE 1:100

PAVING MATERIAL LEGEND

P1		CAST IN PLACE CONCRETE PAVING
P2		CAST IN PLACE CONCRETE PAVING
P3		CAST IN PLACE CONCRETE PAVING
P4		MATERIAL CHANGES STEEL PAVING
P5		MODUMPRESSED SLAB TYPE 1
P6		HYDRAPRESSED SLAB TYPE 2
P7		UNIT PAVER TYPE 1
P8		UNIT PAVER TYPE 2
P9		ASPHALT PAVING (EITHER TO COLD)
P10		MAINTENANCE STRIP
P11		DRAINPLUS PAVING
P12	1/L7.07	PLAY SAND
P13		RESILIENT PLAY SURFACE

HARDSCAPE MATERIAL LEGEND

H1		CONCRETE PLINTH
H2		CONCRETE WALL
H3		CONCRETE CURB
H4		CONCRETE FLUSH CURB OR BAND
H5		CONCRETE STAIRS WITH METAL HANDRAILS
H6		LANDSCAPE STONE WALL TYPE 1
H7		LANDSCAPE STONE WALL TYPE 2
H8	1/L7.07	METAL GATE - FOR DOG PARK
H9	2/L7.07	METAL GATE - FOR PATIO
H10		METAL GUARDRAIL
H11		LANDSCAPE GUARDRAIL
H12		METAL FENCE TYPE 1
H13		METAL FENCE TYPE 2
H14		METAL TRELLIS AND SEATING STRUCTURE
H15		METAL CRATE
H16	1/L7.08	LANTERN STRUCTURAL
H17		SEATING PLATFORM
H18		WATER WALL
H19	1/L7.06	GRANITE BOULDER TYPE 1
H20		GRANITE BOULDER TYPE 2
H21		GRANITE MULE BAR TYPE 2 - STEPPING STONE
H22		TACTILE WARNING STRIP TYPE 1
H23		CONCRETE RAMP
H24		BASALT SLAB STEPS
H25		FEATURE POST
H26		CONCRETE FINNISH
H27		PUBLIC PARK SIGNAGE
H28		DECKING
H29		NOSE BIB

SITE FURNITURE LEGEND

F1		PICNIC TABLE
F2		BENCH TYPE 1
F3		METAL BOLLARDS - WITH LIGHTING
F4		METAL BOLLARDS - WITHOUT LIGHTING
F5		MOUNTAINBIKER RIMPS
F6		LOUNGE CHAIR TYPE 1
F7		LOUNGE CHAIR TYPE 2
F8		FIRE DOMS
F9		BIKE RACK
F10		URBAN AGRICULTURAL PLANTER TYPE
F11		URBAN AGRICULTURAL ELEMENTS
F12		TRASH RECEPTACLE
F13		WALL RETAINING WEIR
F14	1/L7.07	WATER PLAY ELEMENT
F15		BASKETBALL HOOP
F16		BOLLARD
F17		PLAY EQUIPMENT TYPE 1
F18		PLAY EQUIPMENT TYPE 2
F19		PLAY EQUIPMENT TYPE 3
F20		PLAY EQUIPMENT TYPE 4
F21		PLAY EQUIPMENT TYPE 5
F22		CHILDREN'S SLIDE
F23		SWING ELEMENT
F24		OUTDOOR FURNITURE
F25		OUTDOOR FITNESS EQUIPMENT TYPE 1
F26		OUTDOOR FITNESS EQUIPMENT TYPE 2
F27		OUTDOOR FITNESS EQUIPMENT TYPE 3
F28		OUTDOOR FITNESS EQUIPMENT TYPE 4
F29		HAND HOLDS
F30		CRAWL TUNNEL (SUSPENDED)

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
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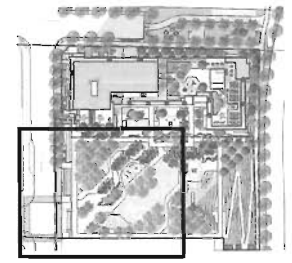

CONCORD PACIFIC

PROJECT
CONCORD GARDENS
PHASE 2
RICHMOND, BC
FOR CONCORD PACIFIC

DRAWING TITLE
LAYOUT AND MATERIALS PLAN PARK WEST

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NORTH
SCALE AS SHOWN

PROJECT NO.	1286
DATE	JULY 2013
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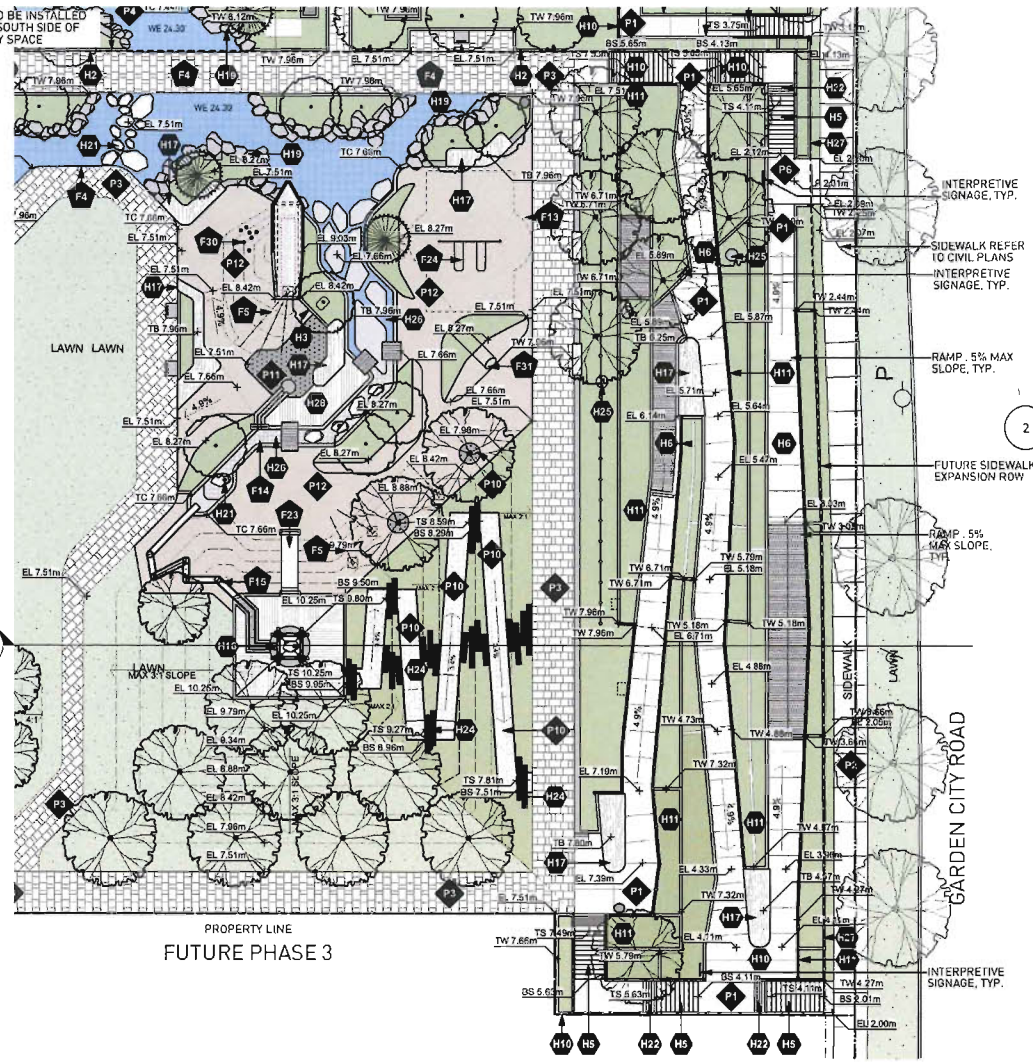
LDP 3.01

NO FENCE TO BE INSTALLED ALONG THE SOUTH SIDE OF THE AMENITY SPACE



1 PARK EAST PLAN
SCALE 1:200

2 PERSPECTIVE

3 PERSPECTIVE

4 SECTION 1
SCALE 1:200

PAVING MATERIAL LEGEND

P1		CAST IN PLACE CONCRETE PAVING
P2		CAST IN PLACE CONCRETE PAVING
P3		NATURAL GRANITE STONE PAVING
P4		HYDRAPRESSED SLAB TYPE 1
P5		HYDRAPRESSED SLAB TYPE 2
P6		UNIT PAVER TYPE 1
P7		UNIT PAVER TYPE 2
P8		ASPHALT PAVING (REFER TO CIVIL)
P9		MAINTENANCE STRIP
P10		GRANULAR PAVING
P11	1 / L7.01	PLAY SAND
P12		RESILIENT PLAY SURFACE

HARDSCAPE MATERIAL LEGEND

HA1		CONCRETE PLINTH
HA2		CONCRETE WALL
HA3		CONCRETE CURB
HA4		CONCRETE PLINTH CURB OR BAND
HA5		CONCRETE STAIRS WITH METAL HANDRAILS
HA6		LANDSCAPE STONE WALL TYPE 1
HA7		LANDSCAPE STONE WALL TYPE 2
HA8	1 / L7.01	METAL GATE - FOR BIKE PARK
HA9	2 / L7.01	MAIN GATE - FOR PATIO
HA10		METAL GUARDRAIL
HA11		LANDSCAPE GUARDRAIL
HA12		METAL FENCE TYPE 1
HA13		METAL FENCE TYPE 2
HA14		METAL TRELLIS AND SEATING STRUCTURE
HA15		METAL GRATE
HA16	1 / L7.01	LANTERN STRUCTURAL
HA17		SEATING PLATFORM
HA18		WATER WALL
HA19	2 / L7.01	GRANITE BOULDER TYPE 1
HA20		GRANITE BOULDER TYPE 2
HA21		GRANITE BOULDER TYPE 3 - STEPPING STONE
HA22		TACTILE WARNING STRIP TYPE 1
HA23		CONCRETE RAMP
HA24		BASALT SLAB STEPS
HA25		PLANTER POST
HA26		CONCRETE PLANTERS
HA27		PUBLIC ART SIGNAGE
HA28		DECKING
HA29		HOSE BIB

SITE FURNITURE LEGEND

F1		PICNIC TABLE
F2		BENCH TYPE 1
F3		METAL BOLLARD - WITH LIGHTING
F4		METAL BOLLARD - WITHOUT LIGHTING
F5		MOUNTAINEER RUNG
F6		LOUNGE CHAIR TYPE 1
F7		LOUNGE CHAIR TYPE 2
F8		BIKE RACK
F9		BIKE RACK
F10		URBAN AGRICULTURAL PLANTER BOX
F11		URBAN AGRICULTURAL COMPOST
F12		TRASH RECEPTACLE
F13		K&R RETAINING WALL
F14		WATER PLAY ELEMENT
F15		BASKETBALL HOOP
F16		BOLLARD
F17		PLAY EQUIPMENT TYPE 1
F18		PLAY EQUIPMENT TYPE 2
F19		PLAY EQUIPMENT TYPE 3
F20		PLAY EQUIPMENT TYPE 4
F21		PLAY EQUIPMENT TYPE 5
F22		CHILDREN'S SLIDE
F23		SWING ELEMENT
F24		OUTDOOR FURNITURE
F25		OUTDOOR FITNESS EQUIPMENT TYPE 1
F26		OUTDOOR FITNESS EQUIPMENT TYPE 2
F27		OUTDOOR FITNESS EQUIPMENT TYPE 3
F28		OUTDOOR FITNESS EQUIPMENT TYPE 4
F29		MANHOLES
F30		DRAIN, TUNNEL

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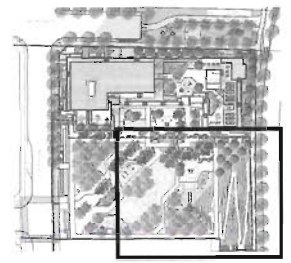

CONCORD PACIFIC

PROJECT
CONCORD GARDENS
PHASE 2
RICHMOND, BC
FOR CONCORD PACIFIC

DRAWING TITLE
LAYOUT AND MATERIALS PLAN PARK EAST

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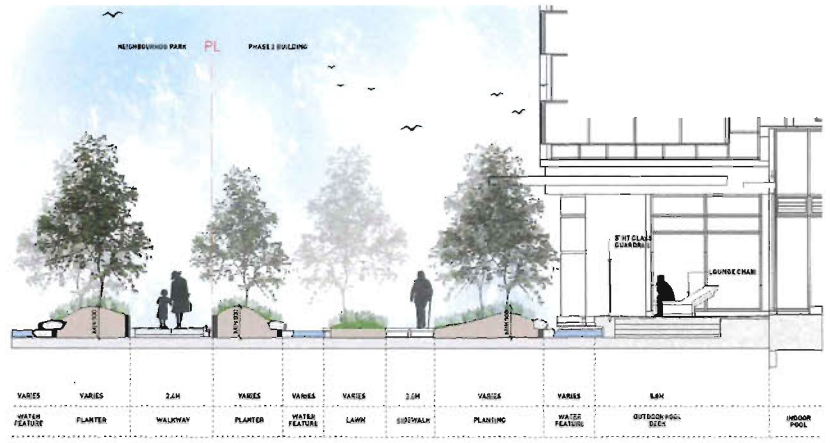

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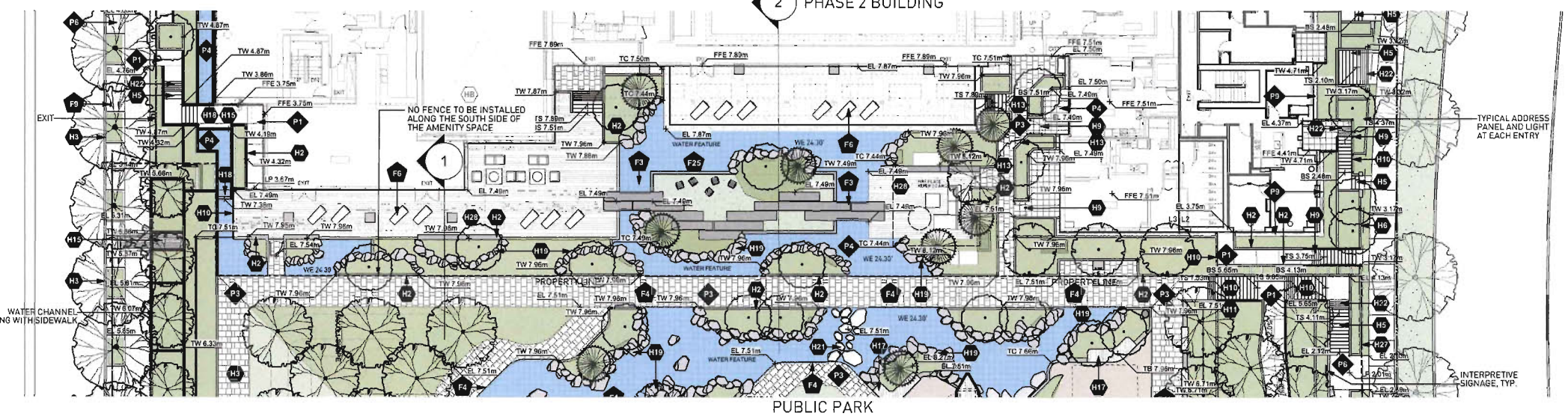

3 PRIVATE GARDEN PLAN
SCALE 1:200

4 PERSPECTIVE

PAVING MATERIAL LEGEND

P1		CAST IN PLACE CONCRETE PAVING
P2		CAST IN PLACE CONCRETE PAVING
P3		NATURAL GRANITE STONE PAVING
P4		HYDRAPRESSED SLAB TYPE 1
P5		HYDRAPRESSED SLAB TYPE 2
P6		UNIT PAVER TYPE 1
P7		UNIT PAVER TYPE 2
P8		ASPHALT PAVING (REFER TO CIVIL)
P9		MAINTENANCE STRIP
P10		BOULDER PAVING
P11	1 / L10	PLAY SAND
P12		RESILIENT PLAY SURFACE

HARDSCAPE MATERIAL LEGEND

H1		CONCRETE PLINTH
H2		CONCRETE WALL
H3		CONCRETE CURB
H4		CONCRETE FLUSH CURB OR BAND
H5		CONCRETE STEPS WITH METAL HANDRAILS
H6		LANDSCAPE STONE WALL TYPE 1
H7		LANDSCAPE STONE WALL TYPE 2
H8	2 / L10	METAL GATE - FOB DOD PARK
H9	2 / L10	METAL GATE - FOB PATIO
H10		METAL GUARDRAIL
H11		LANDSCAPE GUARDRAIL
H12		METAL FENCE TYPE 1
H13		METAL FENCE TYPE 2
H14		METAL TRELLIS AND SEATING STRUCTURE
H15		METAL GRATE
H16	1 / L10	LANTERN STRUCTURAL
H17		SEATING PLATFORM
H18		WATER WALL
H19	1 / L10	GRANITE BOULDER TYPE 1
H20		GRANITE BOULDER TYPE 2
H21		GRANITE BOULDER TYPE 3 - SEATING STONES
H22		TACTILE WARNING STRIP TYPE 1
H23		CONCRETE RAMP
H24		BASALT SLAB STEPS
H25		FEATURE POST
H26		CONCRETE PLINTH
H27		PUBLIC PARK SIGNAGE
H28		SCREEN
H29		NOSE BIB

SITE FURNITURE LEGEND

F1		PICNIC TABLE
F2		BENCH TYPE 1
F3		METAL BOLLARD - WITH LIGHTING
F4		METAL BOLLARD - WITHOUT LIGHTING
F5		MOUNTAINEER RAPS
F6		LOUNGE CHAIR TYPE 1
F7		LOUNGE CHAIR TYPE 2
F8		POLE BOOM
F9		BIKE RACK
F10		URBAN AGRICULTURAL PLANTER MIX
F11		URBAN AGRICULTURAL COMPOST
F12		TRASH RECEPTACLE
F13		1.5M RETAINING WEIR
F14	1 / L10	WATER PLAY ELEMENT
F15		BASKETBALL HOOP
F16		BOLLARD
F17		PLAY EQUIPMENT TYPE 1
F18		PLAY EQUIPMENT TYPE 2
F19		PLAY EQUIPMENT TYPE 3
F20		PLAY EQUIPMENT TYPE 4
F21		PLAY EQUIPMENT TYPE 5
F22		CHILDREN'S SLIDE
F23		SWING ELEMENT
F24		OUTDOOR PLYMETRICS
F25		OUTDOOR FITNESS EQUIPMENT TYPE 1
F26		OUTDOOR FITNESS EQUIPMENT TYPE 2
F27		OUTDOOR FITNESS EQUIPMENT TYPE 3
F28		OUTDOOR FITNESS EQUIPMENT TYPE 4
F29		HANDHOLDS
F30		CRAWL TUNNEL/LOOKOUT

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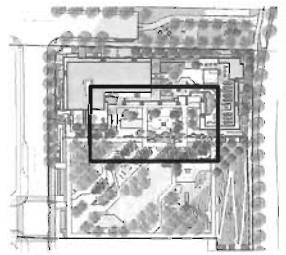

CONCORD PACIFIC

PROJECT
CONCORD GARDENS
PHASE 2
RICHMOND, BC
FOR CONCORD PACIFIC

DRAWING TITLE
LAYOUT AND MATERIALS PLAN PRIVATE GARDEN

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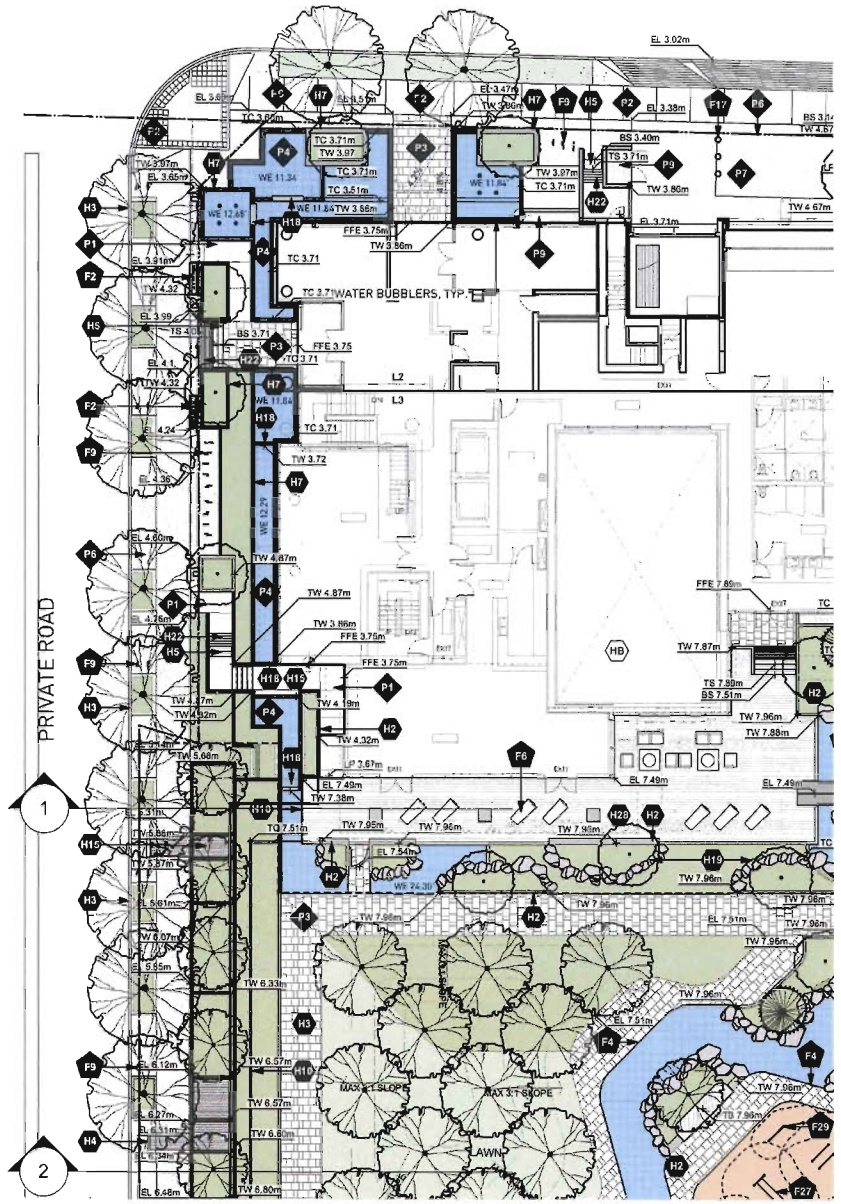
LDP 3.03


PRIVATE ROAD
WATER BUBBLERS, TYP.
MAX 6.1 SLOPE
MAX 6.1 SLOPE
LAWN
EL 3.02m
FFE 7.85m
FFE 3.75m
TW 7.87m
TW 7.96m
TW 7.88m
TW 7.98m
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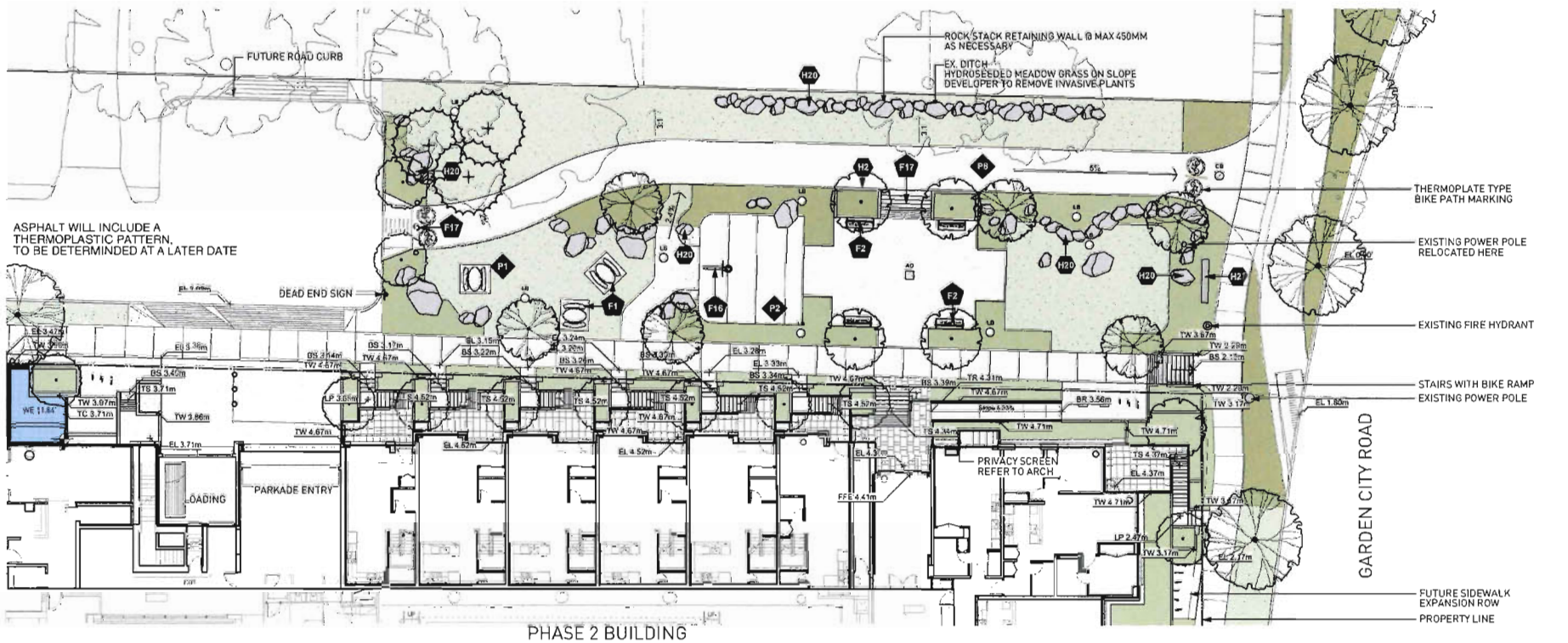
1 PERSPECTIVE



2 POCKET PARK PLAN
SCALE 1:200

PAVING MATERIAL LEGEND

P1		CAST IN PLACE CONCRETE PAVERS FINISH: LIGHT SANDBLAST COMMENTS: SAW CUT 3' SQ. ON AS ENTRY ON PLAN
P2		CAST IN PLACE CONCRETE PAVERS FINISH: BROOM FINISH COMMENTS: SAW CUT 3' SQ. ON AS ENTRY ON PLAN
P3		NATURAL GRANITE STONE PAVERS FINISH: FLAMED FINISH WITH BUSH HAMMERED BORDER COMMENTS: COORDINATE ON ALL ENTRIES
P4		HYDRAPRESSED GLASS TILE 1 FINISH: SLIP RESISTANT, COLOUR: CHARCOAL COMMENTS: DIAGONAL BOND
P5		HYDRAPRESSED GLASS TILE 2 FINISH: LIGHT CRACKLE FINISH 3" SQUARES, COLOUR: WHITE/CHARCOAL COMMENTS: RANDOM BOND
P6		UNIT PAVER TYPE 1 COLOUR: GRANITE GREY COMMENTS: RUNNING BOND
P7		UNIT PAVER TYPE 2 COLOUR: GRANITE GREY COMMENTS: HERRINGBONE
P8		ASPHALT PAVING TRUCK TO CURB FINISH: SMOOTH TROWELLED FINISH, ALL EXPOSED FACES COMMENTS: REFER TO LANDSCAPE MATERIALS
P9		MAINTENANCE STRIP SIZE: 750mm COMMENTS: N/A
P10		EDGE TILE INSERT SIZE: 150 mm TYP. COMMENTS: N/A
P11	3750	PLAY SAND DESCRIPTION: SAND AS PER ENGINEERED FALL HEIGHT COMMENTS: N/A
P12		RESILIENT PLAY SURFACE FINISH: 30% GREY AND WHITE EPDM COMMENTS: CAST IN PLACE RESILIENT RUBBER

HARDSCAPE MATERIAL LEGEND

H1		CONCRETE PLANTER FINISH: LIGHT SANDBLASTED FINISH COMMENT: AS PER ARCHITECTURAL DRAWINGS
H2		CONCRETE WALL DESCRIPTION: CAST IN PLACE CONCRETE WALL FINISH: LIGHT SANDBLASTED FINISH
H3		CONCRETE CURB DESCRIPTION: CAST IN PLACE CONCRETE WALL, REFER TO PLAN AND DETAILS FINISH: LIGHT SANDBLASTED FINISH
H4		CONCRETE FLUSH CURB ON SAND DESCRIPTION: CAST IN PLACE CONCRETE WALL, REFER TO PLAN AND DETAILS FINISH: LIGHT SANDBLASTED FINISH
H5		CONCRETE STAIRS WITH METAL HANDRAILS SIZE: PER TREAD 300 MM, 2 RISERS @ 150 MM, ENGINEERED SHOP DRAWINGS REQUIRED FINISH: LIGHT SANDBLASTED FINISH
H6		LANDSCAPE STONE WALL TYPE 1 DESCRIPTION: RANDOM STONE WALL, 2/3 SMOKEHOUSE STONE FINISH: SPLIT FACE FINISH
H7		LANDSCAPE STONE WALL TYPE 2 DESCRIPTION: RANDOM STONE WALL, 1/3 THERMAL BASALT STONE WALL FINISH: FLAMED FINISH
H8	3750	METAL GATE - FOR DOG PARK DESCRIPTION: AS MANUFACTURED COMMENT: REFER TO PLAN AND DETAILS - MATCH ARCHITECTURAL GUARDRAIL HANDRAIL FINISH
H9	3750	METAL GATE - FOR PATIO DESCRIPTION: AS MANUFACTURED COMMENT: REFER TO PLAN AND DETAILS - MATCH ARCHITECTURAL GUARDRAIL HANDRAIL FINISH
H10		METAL GUARDRAIL FINISH: MATCH ARCHITECTURE GUARDRAIL AND HANDRAIL FINISH
H11		LANDSCAPE GUARDRAIL COMMENT: REFER TO PLAN AND DETAILS - MATCH ARCHITECTURAL GUARDRAIL AND HANDRAIL FINISH
H12		METAL FENCE TYPE 1 FINISH: MATCH ARCHITECTURAL GUARDRAIL AND HANDRAIL FINISH
H13		METAL FENCE TYPE 2 FINISH: MATCH ARCHITECTURAL GUARDRAIL AND HANDRAIL FINISH
H14		METAL TRELLIS AND SEATING STRUCTURE DESCRIPTION: AS PER DRAWINGS FINISH: MATERIAL
H15		METAL GRATE SIZE: REFER TO PLAN
H16	3750	LANTERN STRUCTURAL DESCRIPTION: CONCRETE WALL, REFER TO PLAN AND DETAIL, SHOP DRAWINGS REQUIRED COMMENT: PLANTING
H17		SEATING PLATFORM FINISH: AS PER ENGINEERS DRAWING COMMENT: MATERIAL, FINISH
H18		WATER WELL FINISH: BASALT PAVERS COMMENT: REFER TO PLAN AND DETAILS
H19	3750	GRANITE BOULDER TYPE 1 DESCRIPTION: NORTHWEST LANDSCAPE SUPPLY OR APPROVED EQUAL SIZE: 1' BOULDER, 18 WATER FEATURE
H20		GRANITE BOULDER TYPE 2 DESCRIPTION: NORTHWEST LANDSCAPE SUPPLY OR APPROVED EQUAL COMMENT: SIZE: 1' STEPPING STONE AT LAWN, FIXED FINISH
H21		GRANITE BOULDER TYPE 3 - STEPPING STONE DESCRIPTION: NORTHWEST LANDSCAPE SUPPLY OR APPROVED EQUAL COMMENT: SIZE: 1' STEPPING STONE IN WATER FEATURE
H22		TACTILE WARNING STRIP TYPE 1 DESCRIPTION: COLOUR CONCRETE FINISH: LIGHT SANDBLASTED FINISH
H23		CONCRETE RAMP DESCRIPTION: WITH STEEL HANDRAIL ON SIDE FINISH: LIGHT SANDBLASTED FINISH
H24		BASALT SLAB STEPS FINISH: FLAMED FINISH
H25		FEATURE POST SIZE: REFER TO ARCHITECTURAL DRAWINGS COMMENT: REFER TO ARCHITECTURAL DRAWINGS
H26		CONCRETE RUNNEL DESCRIPTION: WATER RUNNEL FINISH: LIGHT SANDBLASTED FINISH
H27		PUBLIC ART SIGNAGE DESCRIPTION: METAL SIGNAGE FINISH: LIGHT SANDBLASTED FINISH
H28		SEATING DESCRIPTION: REFER TO ARCHITECT FINISH: SLATS PAINTED WITH GLIDDEN RPS
H29		NOSE BIB

SITE FURNITURE LEGEND

F1		PICNIC TABLE DESCRIPTION: LANDSCAPE FORMS OR APPROVED EQUAL FINISH: METAL SLATS
F2		BENCH TYPE 1 DESCRIPTION: LANDSCAPE FORMS OR APPROVED EQUAL FINISH: METAL SLATS
F3		METAL BOLLARD - WITH LIGHTING DESCRIPTION: AS CONTRACT FINISH: ALUMINUM
F4		METAL BOLLARD - WITHOUT LIGHTING DESCRIPTION: AS CONTRACT FINISH: ALUMINUM
F5		MONTMARTRE BIKE DESCRIPTION: METAL FABRICATION FINISH: POWDER COATED
F6		LOUNGE CHAIR TYPE 1 DESCRIPTION: LANDSCAPE FORMS OR APPROVED EQUAL - SKILL LOUNGE CHAIRS/ PADS FINISH: WEATHER RESISTANT
F7		LOUNGE CHAIR TYPE 2 DESCRIPTION: LANDSCAPE FORMS OR APPROVED EQUAL FINISH: WEATHER RESISTANT
F8		CIGARETTE BIN DESCRIPTION: AS PER CITY FINISH: AS PER CITY STD
F9		BIKE RACK DESCRIPTION: BIKERACK.COM SURFACE MOUNT - BIKE GARDEN FINISH: ALUMINUM TEXTURED POWDERCOATED
F10		ORNAMENTAL TUBAL PLANTER 36" DESCRIPTION: ALUMINUM CONCRETE TUBE - CLIENT PLANTER FINISH: SMOOTH FINISH COLOUR: EBONY
F11		ORNAMENTAL TUBAL COMPOST DESCRIPTION: AS CONTRACT, REFER TO ARCHITECTURAL FINISH: MATERIAL
F12		TRASH RECEPTACLE DESCRIPTION: LANDSCAPE FORMS OR APPROVED EQUAL, EMPTOMEN FINISH: POWDER COATED STEEL
F13		R.S.V. RETAINING WEIR DESCRIPTION: AS PER ENGINEERS
F14		WATER FLUME ELEMENT DESCRIPTION: AS PER ARCHITECTURE WATERFOUNTAIN ENGINEERS FINISH
F15		BASKETBALL HOOP DESCRIPTION: BASKET AND BACKBOARD FINISH: POWDERCOATED ON BATTY POLE
F16		BOLLARD DESCRIPTION: CAST IN PLACE CONCRETE BOLLARD FINISH: SANDBLASTED
F17		PLAY EQUIPMENT TYPE 1 DESCRIPTION: AS PER ENGINEERS DRAWINGS FINISH: AS PER ENGINEERS DRAWINGS
F18		PLAY EQUIPMENT TYPE 2 DESCRIPTION: AS PER ENGINEERS DRAWINGS FINISH: AS PER ENGINEERS DRAWINGS
F19		PLAY EQUIPMENT TYPE 3 DESCRIPTION: AS PER ENGINEERS DRAWINGS FINISH: AS PER ENGINEERS DRAWINGS
F20		PLAY EQUIPMENT TYPE 4 DESCRIPTION: AS PER ENGINEERS DRAWINGS FINISH: AS PER ENGINEERS DRAWINGS
F21		PLAY EQUIPMENT TYPE 5 DESCRIPTION: AS PER ENGINEERS DRAWINGS FINISH: AS PER ENGINEERS DRAWINGS
F22		CHILDREN'S SLIDE DESCRIPTION: LANDSCAPE STRUCTURE INC FINISH: PAINTED STEEL SLIDE STEEL SLIDE
F23		SWING ELEMENT DESCRIPTION: LANDSCAPE STRUCTURE INC FINISH: STEEL & PAINTED
F24		OUTDOOR FURNITURE DESCRIPTION: LANDSCAPE FORMS OR APPROVED EQUAL FINISH: CHARCOAL POWDERCOATED ALUMINUM, WOOD SLATS
F25		OUTDOOR FITNESS EQUIPMENT TYPE 1 DESCRIPTION: AS PER ENGINEERS DRAWINGS FINISH: AS PER ENGINEERS DRAWINGS
F26		OUTDOOR FITNESS EQUIPMENT TYPE 2 DESCRIPTION: AS PER ENGINEERS DRAWINGS FINISH: AS PER ENGINEERS DRAWINGS
F27		OUTDOOR FITNESS EQUIPMENT TYPE 3 DESCRIPTION: AS PER ENGINEERS DRAWINGS FINISH: AS PER ENGINEERS DRAWINGS
F28		OUTDOOR FITNESS EQUIPMENT TYPE 4 DESCRIPTION: AS PER ENGINEERS DRAWINGS FINISH: AS PER ENGINEERS DRAWINGS
F29		WHEELCHAIR DESCRIPTION: AS PER ENGINEERS DRAWINGS FINISH: AS PER ENGINEERS
F30		CHAIR, TERRACE FURNITURE DESCRIPTION: AS PER ENGINEERS DRAWINGS FINISH: ALUMINUM

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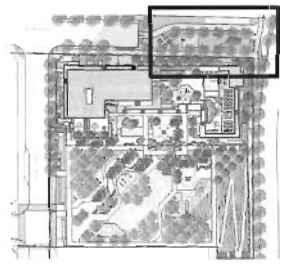

CONCORD PACIFIC

PROJECT
CONCORD GARDENS
PHASE 2
RICHMOND, BC
FOR CONCORD PACIFIC

DRAWING TITLE
LAYOUT AND MATERIALS PLAN POCKET PARK

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NORTH | SCALE: AS SHOWN

PROJECT NO.	1286
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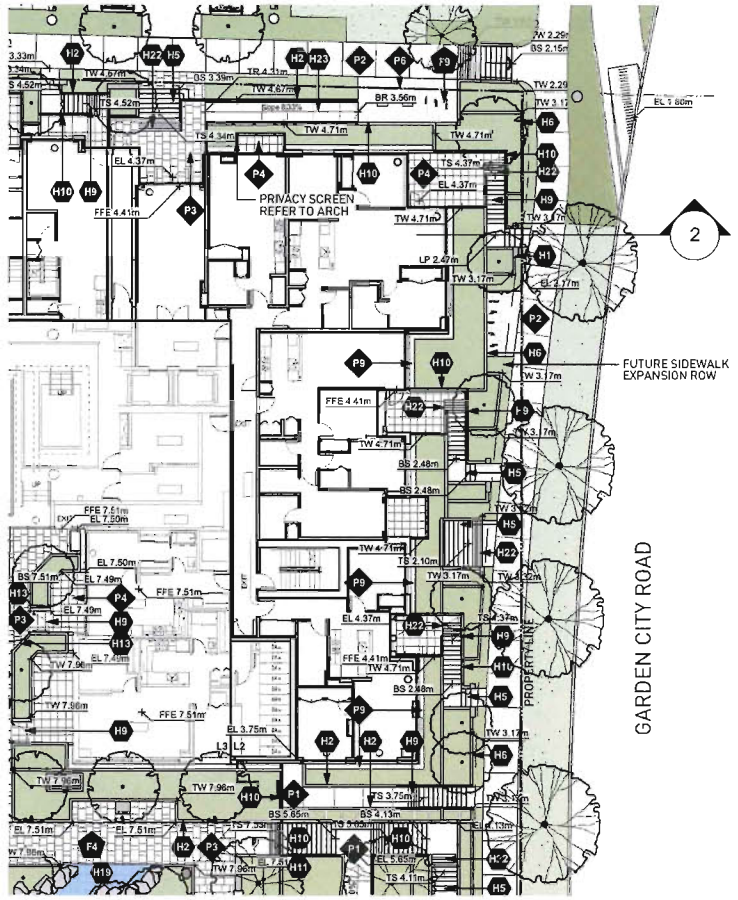
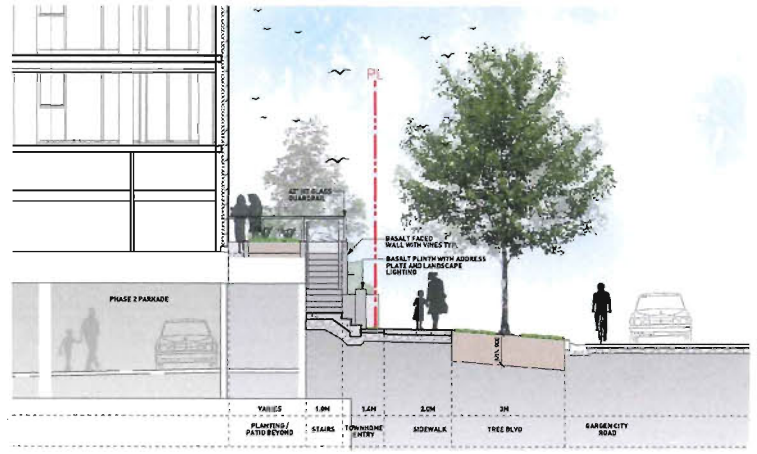


1 BUILDING EAST PLAN
SCALE 1:200



2 BUILDING EAST PLAN
SCALE 1:100

PAVING MATERIAL LEGEND

P1		CAST IN PLACE CONCRETE PAVING FINISH: LIGHT SANDBLAST COMMENT: SAW CUT 1' X 1', OR AS SHOWN ON PLAN
P2		CAST IN PLACE CONCRETE Paving FINISH: BROOMFINISH COMMENT: SAW CUT 1' X 1', OR AS SHOWN ON PLAN
P3		NATURAL GRANITE STONE PAVING FINISH: SMOOTH BUSHHAMMERED COMMENT: REFER TO DETAIL, EXPOSED SIDES
P4		HYDRAPRESSED SLAB TYPE 1 FINISH: SLATE FINISH, COLOUR: CHARCOAL COMMENT: STACK BOND
P5		HYDRAPRESSED SLAB TYPE 2 FINISH: LIGHT SANDBLASTED FINISH, COLOUR: GREY GRANITE COMMENT: RUNNING BOND
P6		UNIT PAVER TYPE 1 COLOUR: SIERRA GREY COMMENT: RUNNING BOND
P7		UNIT PAVER TYPE 2 COLOUR: SIERRA GREY COMMENT: HERRINGBONE
P8		ASPHALT PAVING (REFER TO CIVIL) FINISH: SMOOTH BOTTOM LIFT, COARSE TOP LIFT, EXPOSED AGGS. COMMENT: REFER TO PLANTING PLAN
P9		MAINTENANCE STRIP SIZE: 750mm COMMENT: TBD
P10		GRANULAR PAVING SIZE: 3/4" MINUS COMMENT: TBD
P11	L1 / 5100	PLAY SAND LOCATION: AROUND PLAYGROUND COMMENT: TBD
P12		RESILIENT PLAY SURFACE FINISH: TPV, GREY AND RED COMMENT: CAST IN PLACE RUBBER SURFACING

HARDSCAPE MATERIAL LEGEND

H1		CONCRETE PLINTH FINISH: LIGHT SANDBLASTED FINISH COMMENT: REFER TO DETAIL
H2		CONCRETE WALL DESCRIPTION: CAST IN PLACE CONCRETE WALL FINISH: LIGHT SANDBLASTED FINISH
H3		CONCRETE CURB DESCRIPTION: CAST IN PLACE CONCRETE WALL, REFER TO PLAN AND DETAILS FINISH: LIGHT SANDBLASTED FINISH
H4		CONCRETE FLUSH CURB OR BAND DESCRIPTION: CAST IN PLACE CONCRETE WALL, REFER TO PLAN AND DETAILS FINISH: LIGHT SANDBLASTED FINISH
H5		CONCRETE STAIRS WITH METAL NOSINGS SIZE: REFER TO PLAN TO SLOPE, PLATFORMED WITH SMOOTH BROOMED FINISH FINISH: LIGHT SANDBLASTED FINISH
H6		LANDSCAPE STONE WALL TYPE 1 DESCRIPTION: BASALT STONE WALL, DAY ENCHANTMENT VENEER FINISH: SPLIT FACE FINISH
H7		LANDSCAPE STONE WALL TYPE 2 DESCRIPTION: BASALT STONE WALL, 2' THICK BASALT STONE WALL FINISH: FLAME FINISH
H8	L1 / 5100	METAL GATE - FOR DOG PARK DESCRIPTION: ALUMINUM COMMENT: REFER TO PLAN AND DETAILS, MATCH ARCHITECTURAL GUARDRAIL MATERIAL FINISH
H9	L1 / 5100	METAL GATE - FOR PATIO DESCRIPTION: ALUMINUM COMMENT: REFER TO PLAN AND DETAILS, MATCH ARCHITECTURAL GUARDRAIL MATERIAL FINISH
H10		METAL GUARDRAIL FINISH: MATCH ARCHITECTURAL GUARDRAIL AND HANDRAIL FINISH
H11		LANDSCAPE GUARDRAIL COMMENT: REFER TO PLAN AND DETAILS, MATCH ARCHITECTURAL GUARDRAIL AND HANDRAIL FINISH
H12		METAL FENCE TYPE 1 FINISH: MATCH ARCHITECTURAL GUARDRAIL AND HANDRAIL FINISH
H13		METAL FENCE TYPE 2 FINISH: MATCH ARCHITECTURAL GUARDRAIL AND HANDRAIL FINISH
H14		METAL TRELLIS AND SEATING STRUCTURE DESCRIPTION: HSS, AND PIC FINISH: MATTE BLK
H15		METAL GRATE SIZE: REFER TO PLAN
H16	L1 / 5100	LANTERN STRUCTURAL DESCRIPTION: 200 MILL, REFER TO PLAN AND DETAIL, SHOP DRAWINGS REQUIRED COMMENT: MATTE BLK
H17		SEATING PLATFORM FINISH: BROOM FINISH
H18		WATER WALL FINISH: SLIGHTLY RAISED COMMENT: REFER TO PLAN AND DETAILS
H19	L1 / 5100	GRANITE BOULDER TYPE 1 DESCRIPTION: NORTHWEST LANDSCAPE SUPPLY OR APPROVED EQUAL SIZE: 1.0' X 1.0' MIN. AS SHOWN ON PLAN
H20		GRANITE BOULDER TYPE 2 DESCRIPTION: NORTHWEST LANDSCAPE SUPPLY OR APPROVED EQUAL SIZE: 2.0' X 2.0' MIN. AS SHOWN ON PLAN AND DETAIL
H21		GRANITE BOULDER TYPE 3 - STEPPING STONE DESCRIPTION: NORTHWEST LANDSCAPE SUPPLY OR APPROVED EQUAL COMMENT: SINGLE 3' DIAMETER STONE IN LANDSCAPE AREA
H22		TACTILE WARNING STRIP TYPE 1 DESCRIPTION: COLOUR: CHARCOAL FINISH: LIGHT SANDBLASTED FINISH
H23		CONCRETE RAMP DESCRIPTION: WITH METAL HANDRAIL ON BOTH SIDE FINISH: LIGHT SANDBLASTED FINISH
H24		BASALT SLAB STEPS FINISH: FLAME FINISH
H25		FEATHER POST SIZE: REFER TO ARCHITECTURAL DRAWINGS COMMENT: REFER TO ARCHITECTURAL DRAWINGS
H26		CONCRETE BUMPER DESCRIPTION: BOLLARD FINISH: LIGHT SANDBLASTED FINISH
H27		PUBLIC ART/PARK SIGNAGE DESCRIPTION: ART AL SIGNAGE FINISH: LIGHT SANDBLASTED FINISH
H28		BOOKING DESCRIPTION: BOOKING DRIVING FINISH: SLATE FINISH WITH SEALANT REQ.
H29		HOSE BIB

SITE FURNITURE LEGEND

SF1		PICNIC TABLE DESCRIPTION: LANDSCAPE FORMS OR APPROVED EQUAL FINISH: METAL SILVER
SF2		BENCH TYPE 1 DESCRIPTION: MAGGIE LANDSCAPE FORMS OR APPROVED EQUAL FINISH: METAL SILVER
SF3		METAL BOLLARD - WITH LIGHTING DESCRIPTION: BY CONTRACTOR FINISH: AS SHOWN
SF4		METAL BOLLARD - WITHOUT LIGHTING DESCRIPTION: BY CONTRACTOR FINISH: AS SHOWN
SF5		MOUNTAINEER ROPE DESCRIPTION: BY CONTRACTOR FINISH: CONCRETE ENCASEMENT
SF6		LOUNGE CHAIR TYPE 1 DESCRIPTION: LANDSCAPE FORMS OR APPROVED EQUAL - CHILL LOUNGE CHAIR IN GRASS FINISH: BLACK POLYETHYLENE
SF7		LOUNGE CHAIR TYPE 2 DESCRIPTION: TBD BY OWNER FINISH: TBD BY OWNER
SF8		FIRE BOWL DESCRIPTION: SIZE AS DETAIL FINISH: AS STATED IN PLAN
SF9		BIKE RACK DESCRIPTION: FORMS AND SURFACES - BIKE CHARGER FINISH: AS DETAILED ON LIGHTING DETAIL
SF10		URBAN AGRICULTURAL PLANTER BOX DESCRIPTION: BY CONTRACTOR, REFER TO PLAN AND DETAILS - CURB PLANTER FINISH: SMOOTH FINISH, COLOUR: TBD BY
SF11		URBAN AGRICULTURAL COMPOST DESCRIPTION: BY CONTRACTOR, REFER TO PLAN AND DETAILS FINISH: NATURAL
SF12		TRASH RECEPTACLE DESCRIPTION: LANDSCAPE FORMS OR APPROVED EQUAL, 32 GALLON FINISH: SPECIFIED POWDER COATED BLACK
SF13		K & R RETAINING WEIR DESCRIPTION: METSCH SYSTEMS
SF14	L1 / 5100	WATER PLAY ELEMENT DESCRIPTION: WHITES INDUSTRIES WATER PUMP AND MOTOR TO BE CONFIRMED
SF15		BASKETBALL HOOP DESCRIPTION: BROOKLINE FINISH: PERFORMANCE ON BATTI POLE
SF16		BOLLARD DESCRIPTION: SEE EVENT OR APPROVAL EQUAL - CLASSIC STEAM BOLLARD FINISH: AS SHOWN ON PLAN
SF17		PLAY EQUIPMENT TYPE 1 DESCRIPTION: WHITES INDUSTRIES FINISH: AS SHOWN
SF18		PLAY EQUIPMENT TYPE 2 DESCRIPTION: WHITES INDUSTRIES FINISH: PLAYSCAPE EXPRESS
SF19		PLAY EQUIPMENT TYPE 3 DESCRIPTION: WHITES INDUSTRIES FINISH: SPINNER BOWL OR EQUIVALENT
SF20		PLAY EQUIPMENT TYPE 4 DESCRIPTION: WHITES INDUSTRIES FINISH: APPEARANCE
SF21		PLAY EQUIPMENT TYPE 5 DESCRIPTION: WHITES INDUSTRIES FINISH: SPECIFIED ALLOY BELLAIRE
SF22		CHILDREN'S BUSH DESCRIPTION: LANDSCAPE STRUCTURES INC FINISH: PLAY BOOSTER 2 CHANNEL STEEL SLIDE
SF23		SWING ELEMENT DESCRIPTION: LANDSCAPE STRUCTURES INC FINISH: SINGLE AXIS SWING 5-7532
SF24		OUTDOOR FURNITURE DESCRIPTION: LANDSCAPE FORMS OR APPROVED EQUAL FINISH: CHATHAM CHAIR WITH ARMS, MATCHING TABLE
SF25		OUTDOOR FITNESS EQUIPMENT TYPE 1 DESCRIPTION: BY OTHERS FINISH: POWDER COATED STEEL
SF26		OUTDOOR FITNESS EQUIPMENT TYPE 2 DESCRIPTION: BY OTHERS FINISH: DIP BENCH 1 SM FLY 2500113
SF27		OUTDOOR FITNESS EQUIPMENT TYPE 3 DESCRIPTION: BY OTHERS FINISH: PARALLEL BARS FLY 2500
SF28		OUTDOOR FITNESS EQUIPMENT TYPE 4 DESCRIPTION: BY OTHERS FINISH: AB STAT CHAIR FLY 2500105
SF29		HANDRAILS DESCRIPTION: BY OTHERS FINISH: BY THE STAIRS
SF30		CRAWL TUNNEL (4265X991) DESCRIPTION: BY OTHERS FINISH: 1.2MX991

3 PERSPECTIVE

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01	2013/11/13	Issued for DP
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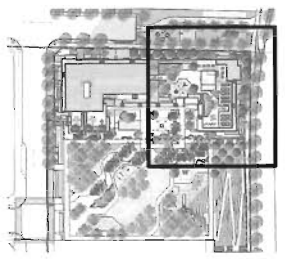
Replacement Plan 8I
DP 13-642725 Feb 16/15



CONCORD PACIFIC

PROJECT
CONCORD GARDENS
PHASE 2
RICHMOND, BC
FOR CONCORD PACIFIC

DRAWING TITLE
LAYOUT AND MATERIALS PLAN LEVEL 3

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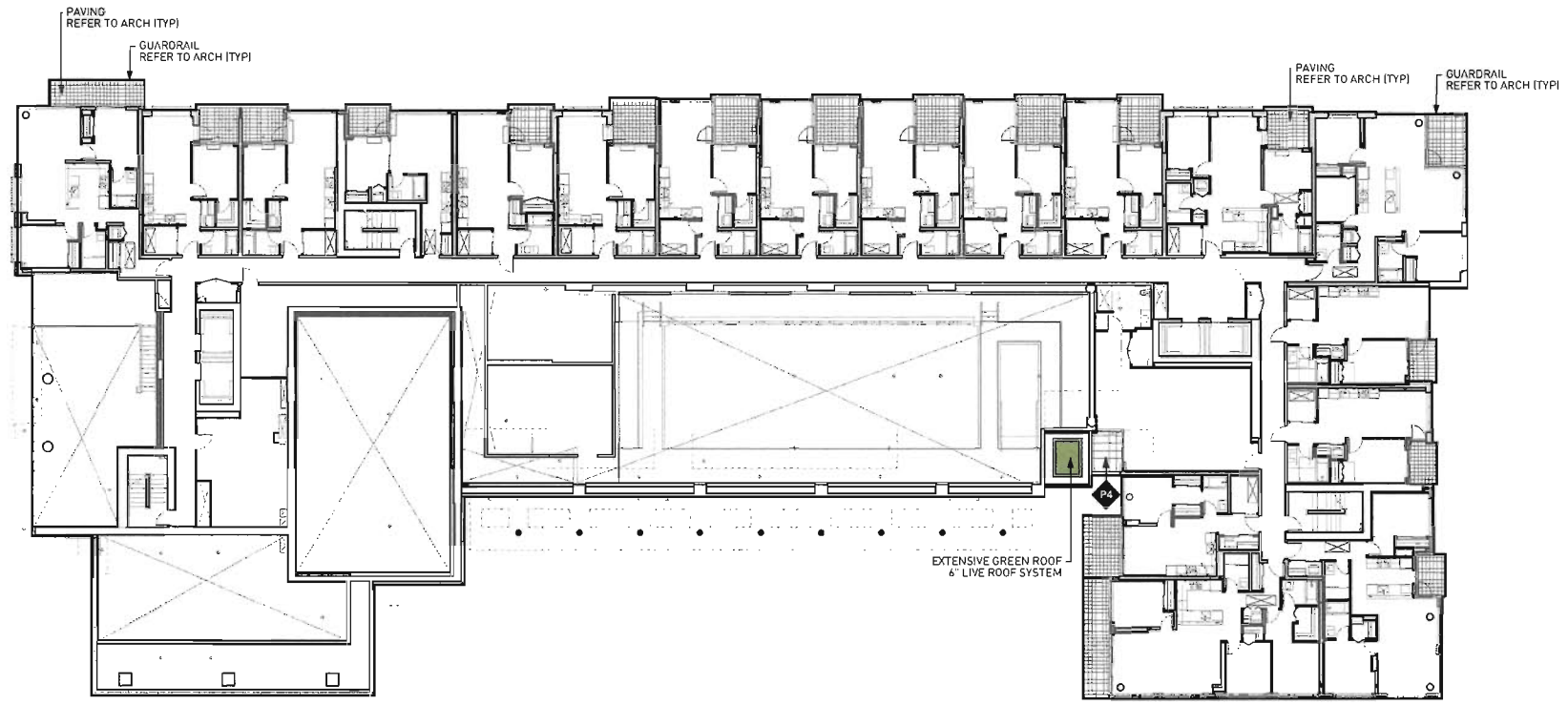

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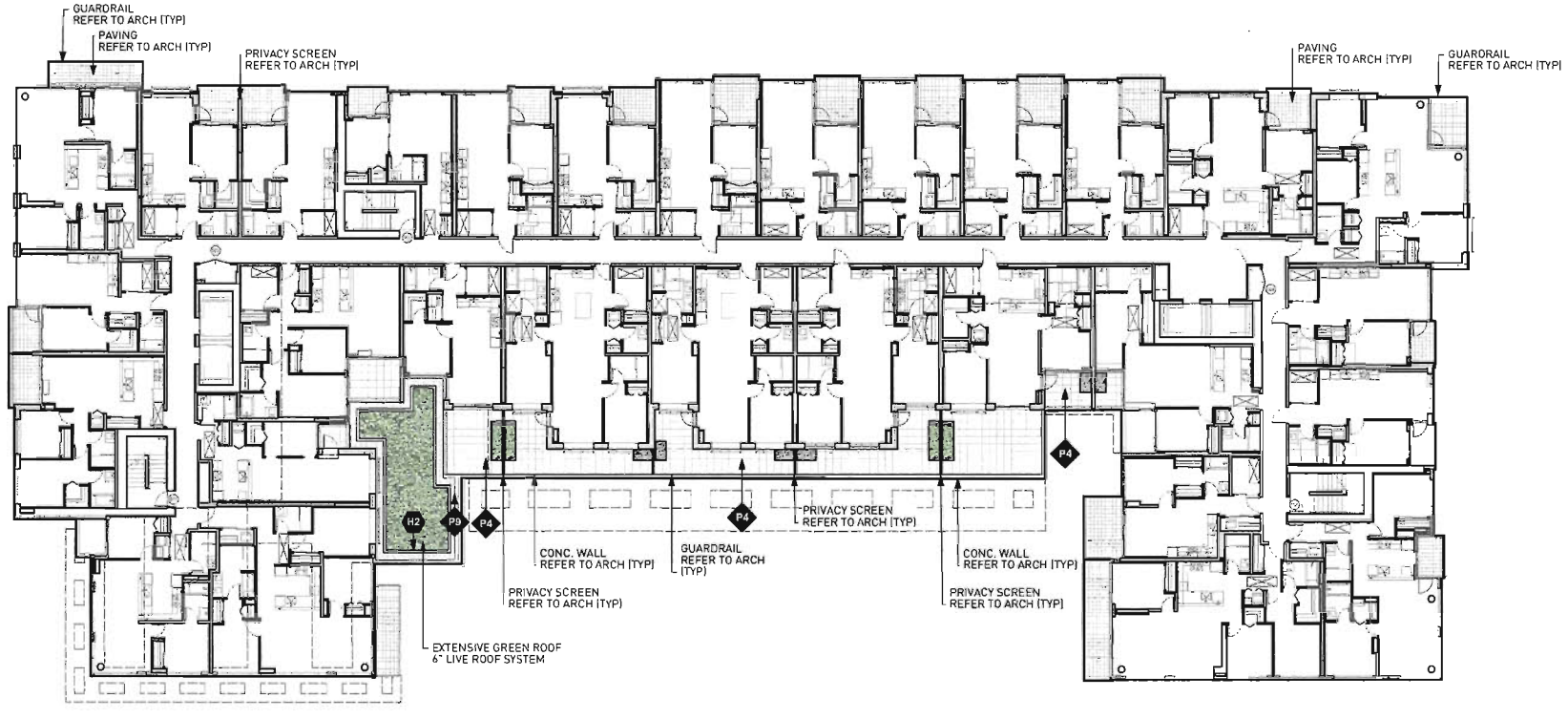

2 ROOF PLAN LEVEL 5

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REVISIONS AND ISSUES

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03	2013/12/16	Re-issued for DP
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Replacement Plan 8J
DP 13-642725 Feb 16/15

CONCORD PACIFIC

PROJECT
CONCORD GARDENS
PHASE 2
RICHMOND, BC
FOR CONCORD PACIFIC

DRAWING TITLE
LAYOUT AND
MATERIALS PLAN
ROOF PLAN LEVEL 4 AND 5

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NORTH

SCALE 1:200

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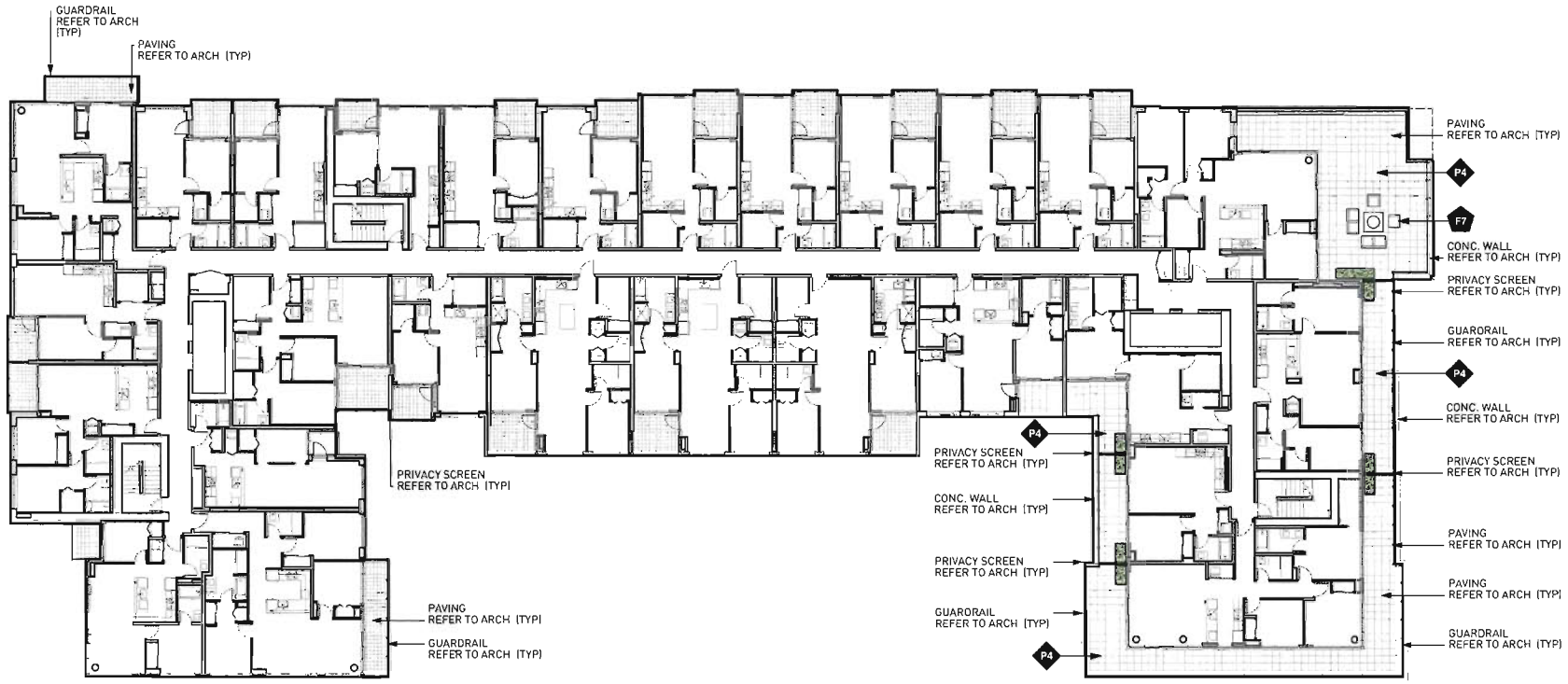

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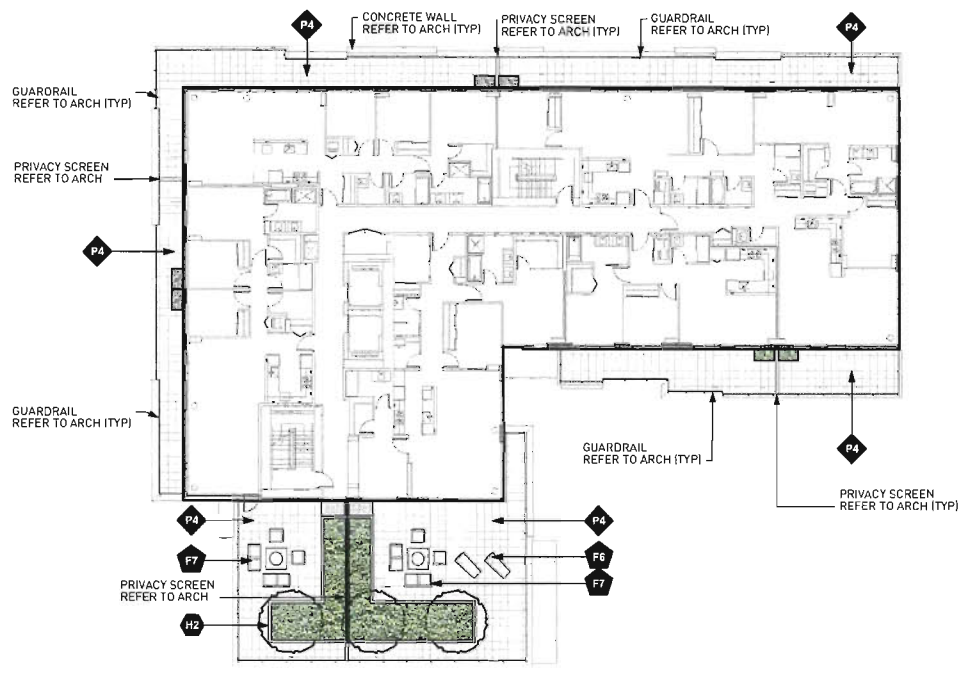

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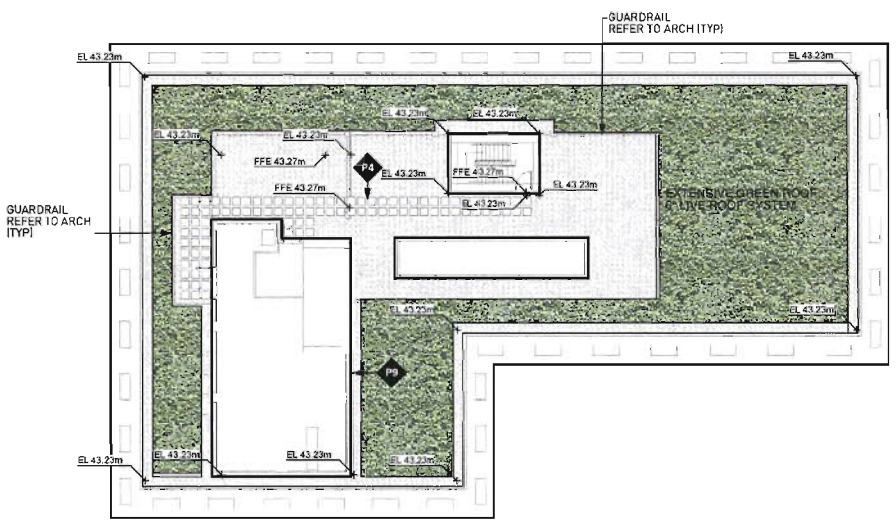

3 ROOF PLAN

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Replacement Plan 8K
DP 13-642725 Feb 16/15

CONCORD PACIFIC

PROJECT

CONCORD GARDENS
PHASE 2
RICHMOND, BC
FOR CONCORD PACIFIC

DRAWING TITLE

LAYOUT AND
MATERIALS PLAN
LEVEL 9, L14 AND ROOF

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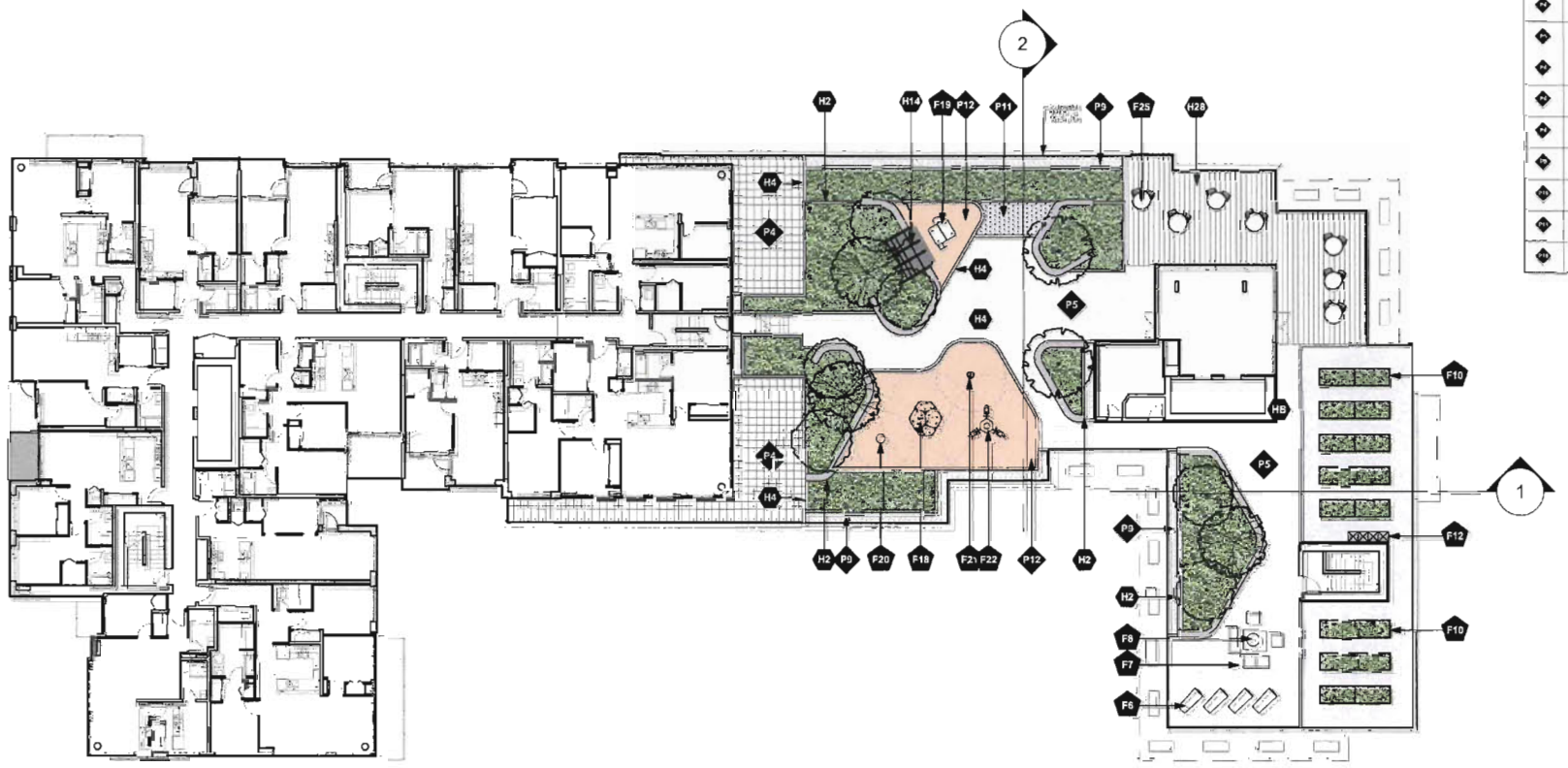

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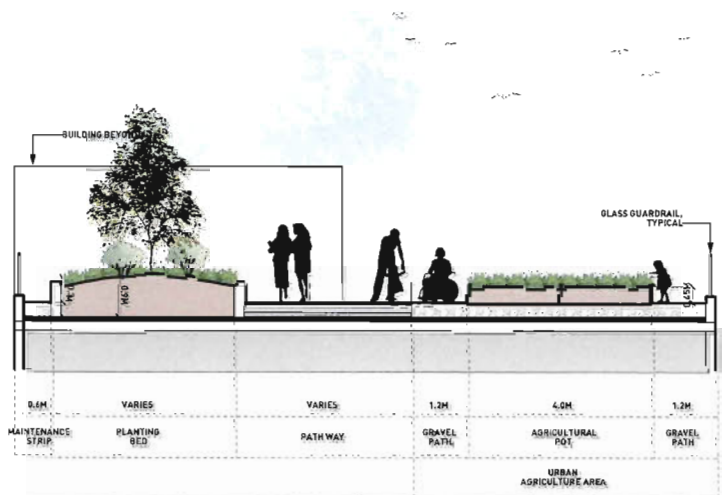
SCALE 1:200



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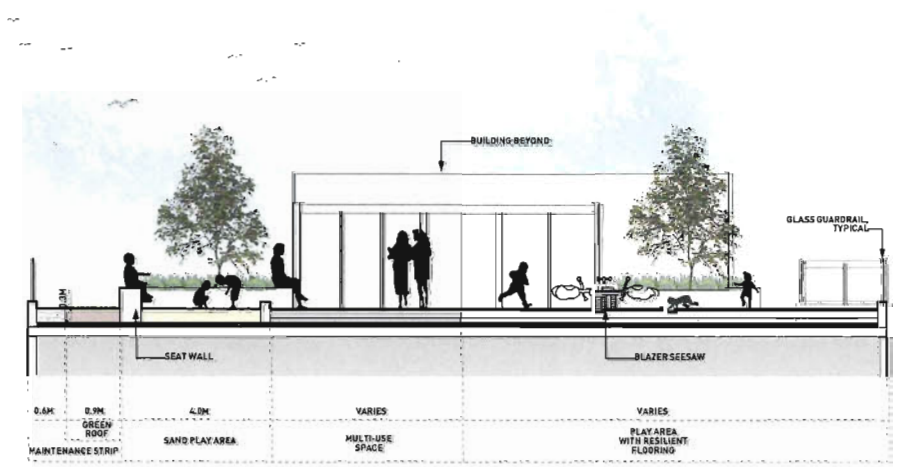

3 SECTION 2
SCALE 1:75

PAVING MATERIAL LEGEND

P1		CAST-IN-PLACE CONCRETE Paving1
P2		CAST-IN-PLACE CONCRETE Paving2
P3		NATURAL GRANITE STONE PAVING
P4		INTERLOCKING STONE PAVING
P5		HYDRAPRESSED SLAB TYPE 1
P6		HYDRAPRESSED SLAB TYPE 2
P7		UNIT PAVER TYPE 1
P8		UNIT PAVER TYPE 2
P9		ASPHALT PATH(S) REFER TO CIVIL
P10		MAINTENANCE STRIP
P11		GRANULAR PAVING
P12	SEE L2.01	PLAY SAND
P13		RESILIENT PLAY SURFACE

HARDSCAPE MATERIAL LEGEND

H1		CONCRETE PLANTER
H2		CONCRETE WALL
H3		CONCRETE CURB
H4		CONCRETE CURB OR BAND
H5		CONCRETE STAIRS WITH METAL HANDRAILS
H6		LANDSCAPE STONE WALL TYPE 1
H7		LANDSCAPE STONE WALL TYPE 2
H8	SEE L2.01	METAL GATE - FOR DOG PARK
H9	SEE L2.01	METAL GATE - FOR PATH
H10		METAL GUARDRAIL
H11		LANDSCAPE GUARDRAIL
H12		METAL FENCE TYPE 1
H13		METAL FENCE TYPE 2
H14		METAL TRELLIS AND SEATING STRUCTURE
H15		METAL GATE
H16	SEE L2.01	LANTERN STRUCTURAL
H17		SEATING PLATFORM
H18		WATER WALL
H19	SEE L2.01	GRANITE BOULDER TYPE 1
H20		GRANITE BOULDER TYPE 2
H21		BASALTIC BOULDER TYPE 3 - STEPPING STONE
H22		TACTILE WARNING STRIP TYPE 1
H23		CONCRETE RAMP
H24		BASALT SLAB STEPS
H25		FEATURE POST
H26		CONCRETE BUNKER
H27		PUBLIC ART SIGNAGE
H28		RAILING
H29		HOSE BIB

SITE FURNITURE LEGEND

F1		FENCE/GATE
F2		E.V. CHARGING STATION
F3		METAL BOLLARD - WITH LIGHTING
F4		METAL BOLLARD - WITH LIGHTING
F5		MAINTENANCE GATE
F6		LOUNGE CHAIR TYPE 1
F7		LOUNGE CHAIR TYPE 2
F8		TABLE
F9		BIKE RACK
F10		HYDRAPONIC PLANTER BOX
F11		URBAN AGRICULTURAL GARDENER
F12		TRASH RECEPTACLE
F13		KIWI RETAINING WALL
F14	SEE L2.01	TRASTER PLAY ELEMENT
F15		BASKETBALL HOOP
F16		BOLLARD
F17		PLAY EQUIPMENT TYPE 1
F18		PLAY EQUIPMENT TYPE 2
F19		PLAY EQUIPMENT TYPE 3
F20		PLAY EQUIPMENT TYPE 4
F21		PLAY EQUIPMENT TYPE 5
F22		PLAY EQUIPMENT TYPE 6
F23		CHILDREN'S SWING
F24		SWINGSET SEAT
F25		SLIDE/CLIMBING EQUIPMENT TYPE 1
F26		OUTDOOR FITNESS EQUIPMENT TYPE 1
F27		OUTDOOR FITNESS EQUIPMENT TYPE 2
F28		OUTDOOR FITNESS EQUIPMENT TYPE 3
F29		OUTDOOR FITNESS EQUIPMENT TYPE 4
F30		BASKETBALL
F31		CRANE TRANSLOCATION

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Replacement Plan 8L
DP 13-642725 Feb 16/15

CONCORD PACIFIC

PROJECT
CONCORD GARDENS
PHASE 2
RICHMOND, BC
FOR CONCORD PACIFIC

DRAWING TITLE
LAYOUT AND MATERIALS PLAN ROOF PLAN LEVEL 11

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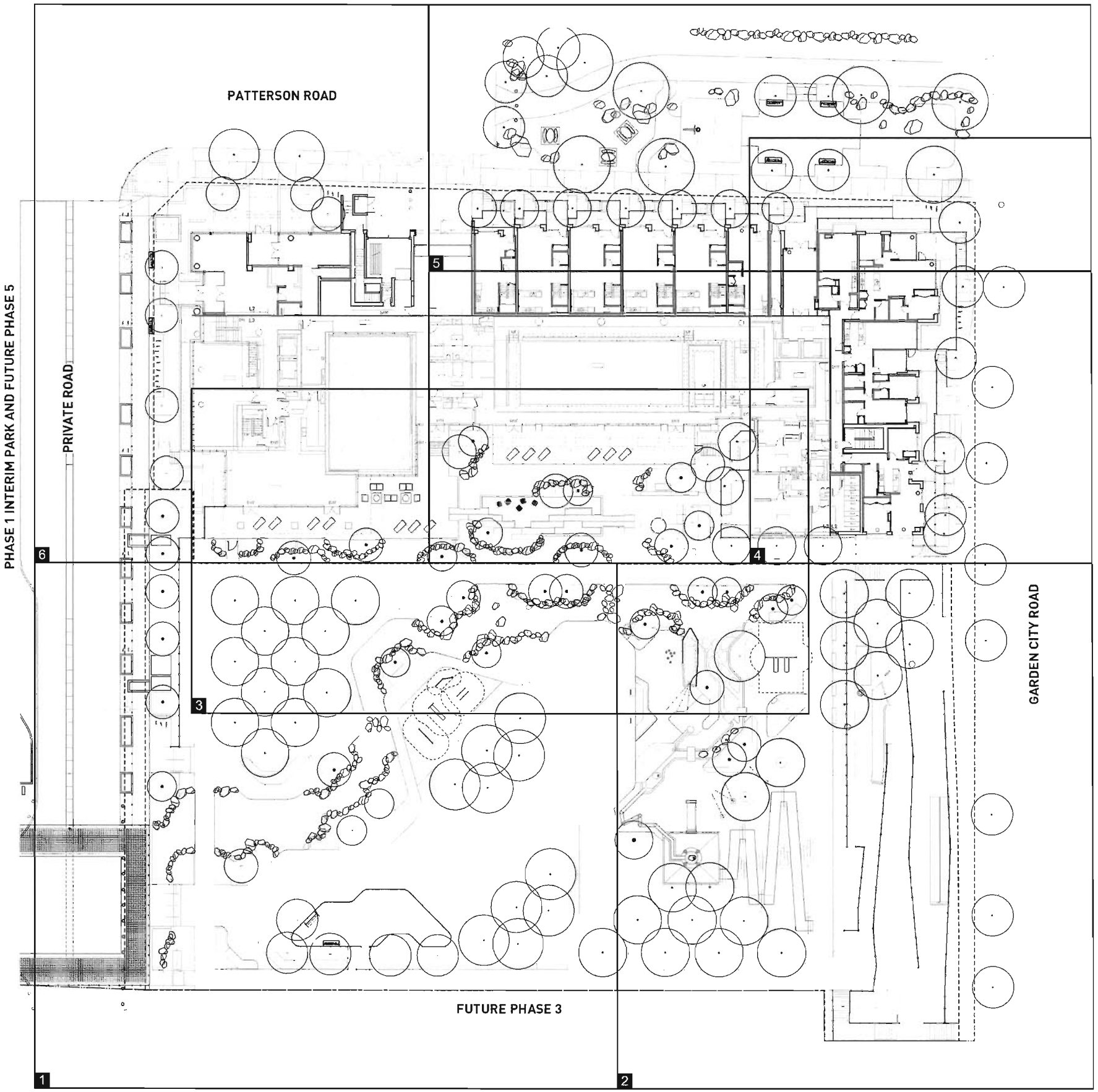

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07	2015/02/16	Re-issued for general compliance

Replacement Plan 8M
DP 13-642725 Feb 16/15

CONCORD PACIFIC

PROJECT
CONCORD GARDENS
PHASE 2
RICHMOND, BC
FOR CONCORD PACIFIC

DRAWING TITLE
PLANTING KEY PLAN
GROUND FLOOR

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NORTH

SCALE 1:250

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PRIVATE ROAD

PROPERTY LINE

EXIT

EXIT

PROPERTY LINE

LAWN

PROPERTY LINE

Replacement Plan 8N
DP 13-642725 Feb 16/15

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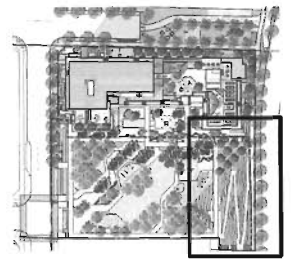

CONCORD PACIFIC

PROJECT
CONCORD GARDENS
PHASE 2
RICHMOND, BC
FOR CONCORD PACIFIC

DRAWING TITLE
PLANTING PLAN
PUBLIC PARK WEST

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SCALE 1:100

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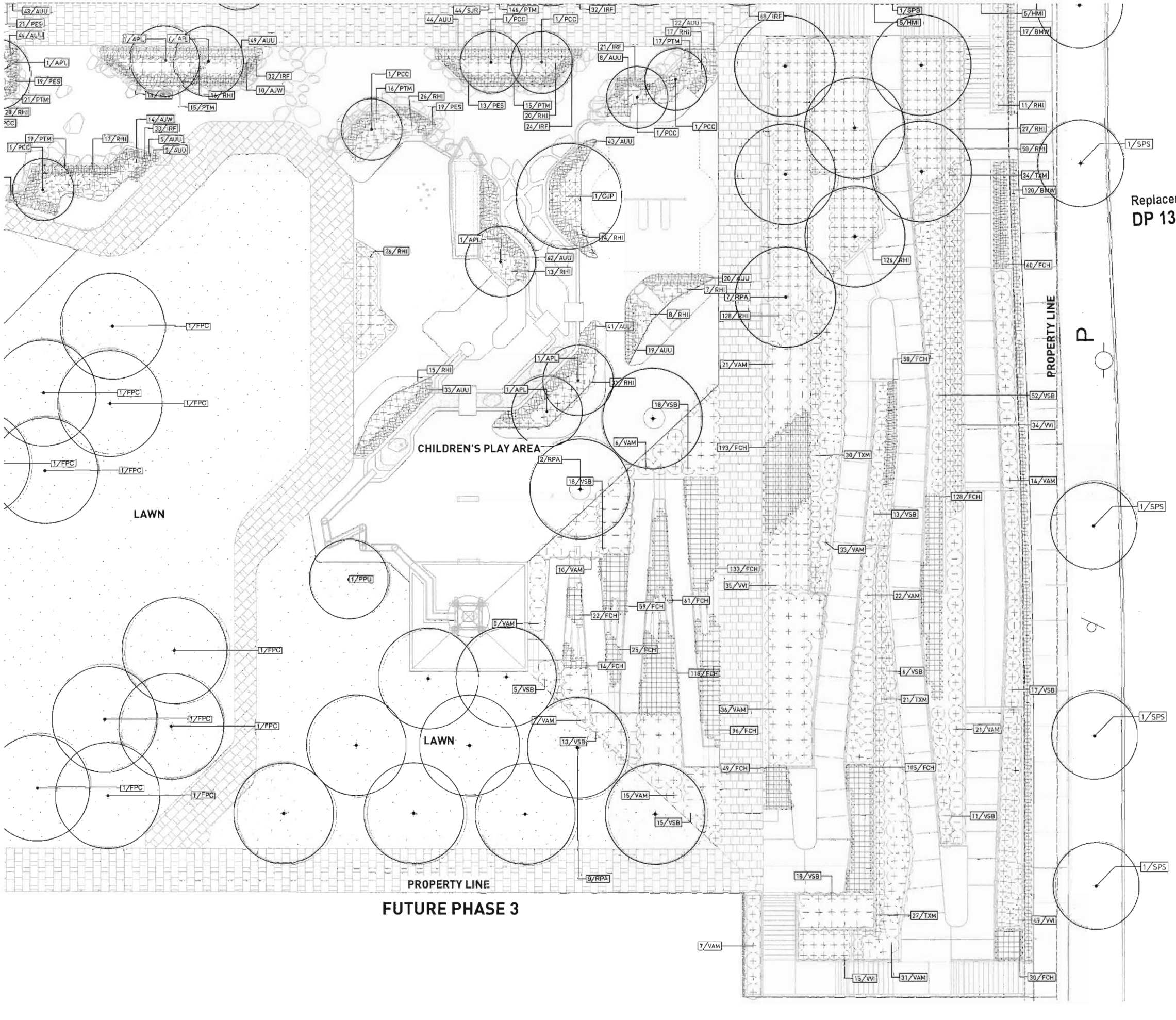

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05	2014/06/30	Issued for BP Application
06	2014/11/17	Issued for Pricing Coordination
07	2015/02/16	Re-issued for general compliance

CONCORD PACIFIC

PROJECT
CONCORD GARDENS
PHASE 2
RICHMOND, BC
FOR CONCORD PACIFIC

DRAWING TITLE
PLANTING PLAN
PUBLIC PARK EAST

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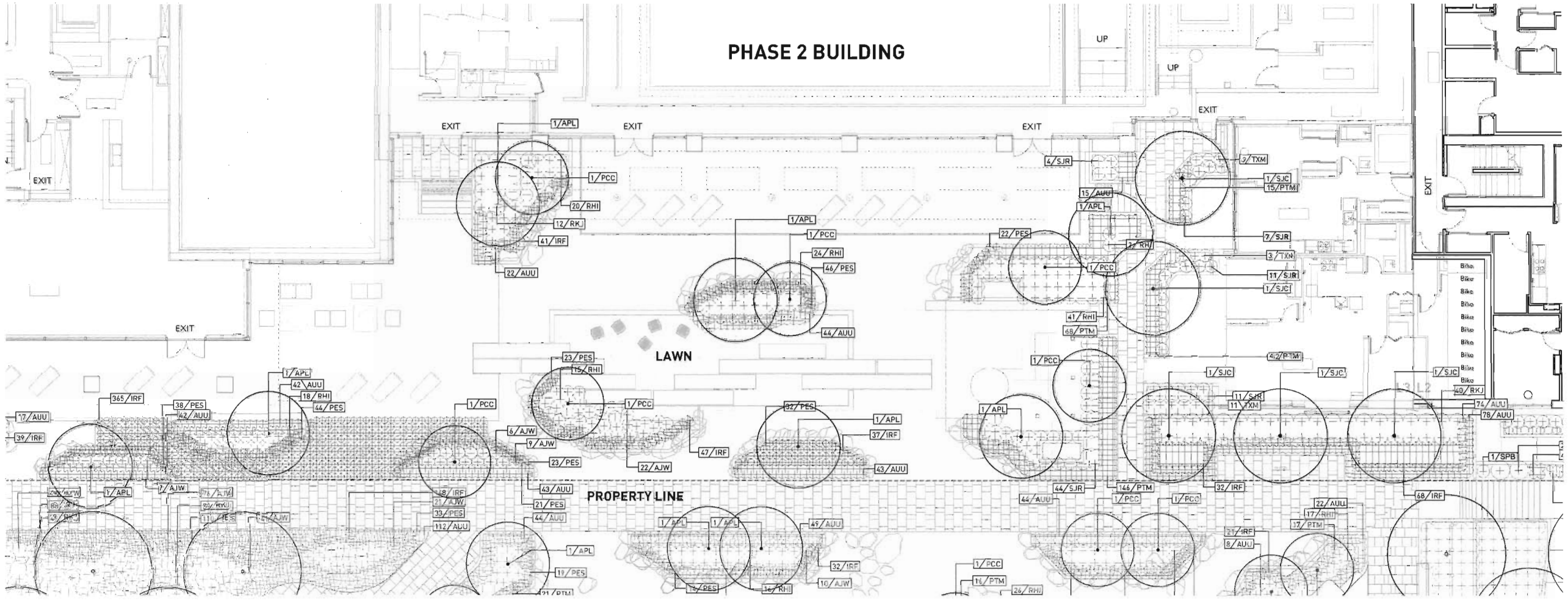
NORTH | SCALE 1:100

PROJECT NO.	1286
DATE	JULY 2013
FILE NAME	1286 PLANTING.vwx
PLOTTED	16-2-16 at 7:54:08 AM
DRAWN	JT/KE/MP/ZL REVIEWED

DRAWING
LDP 4.03

Replacement Plan 8P
DP 13-642725 Feb 16/15



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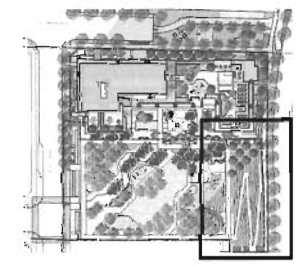

CONCORD PACIFIC

PROJECT
CONCORD GARDENS
PHASE 2
RICHMOND, BC
FOR CONCORD PACIFIC

DRAWING TITLE
PLANTING PLAN
BUILDING
AMENITY AREA

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PROJECT NO.	1286
DATE	JULY 2013
FILE NAME	1286 PLANTING.vwx
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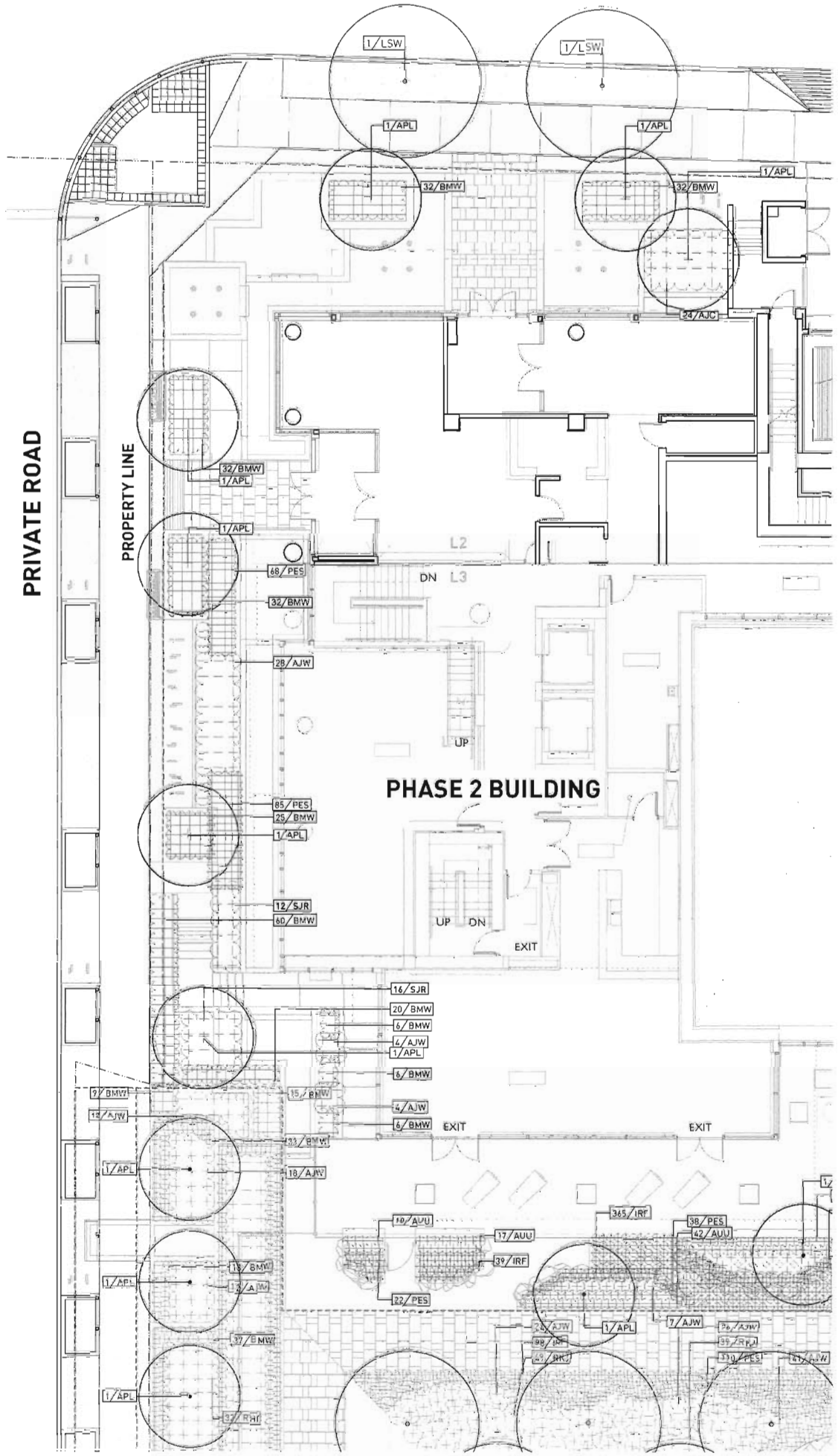

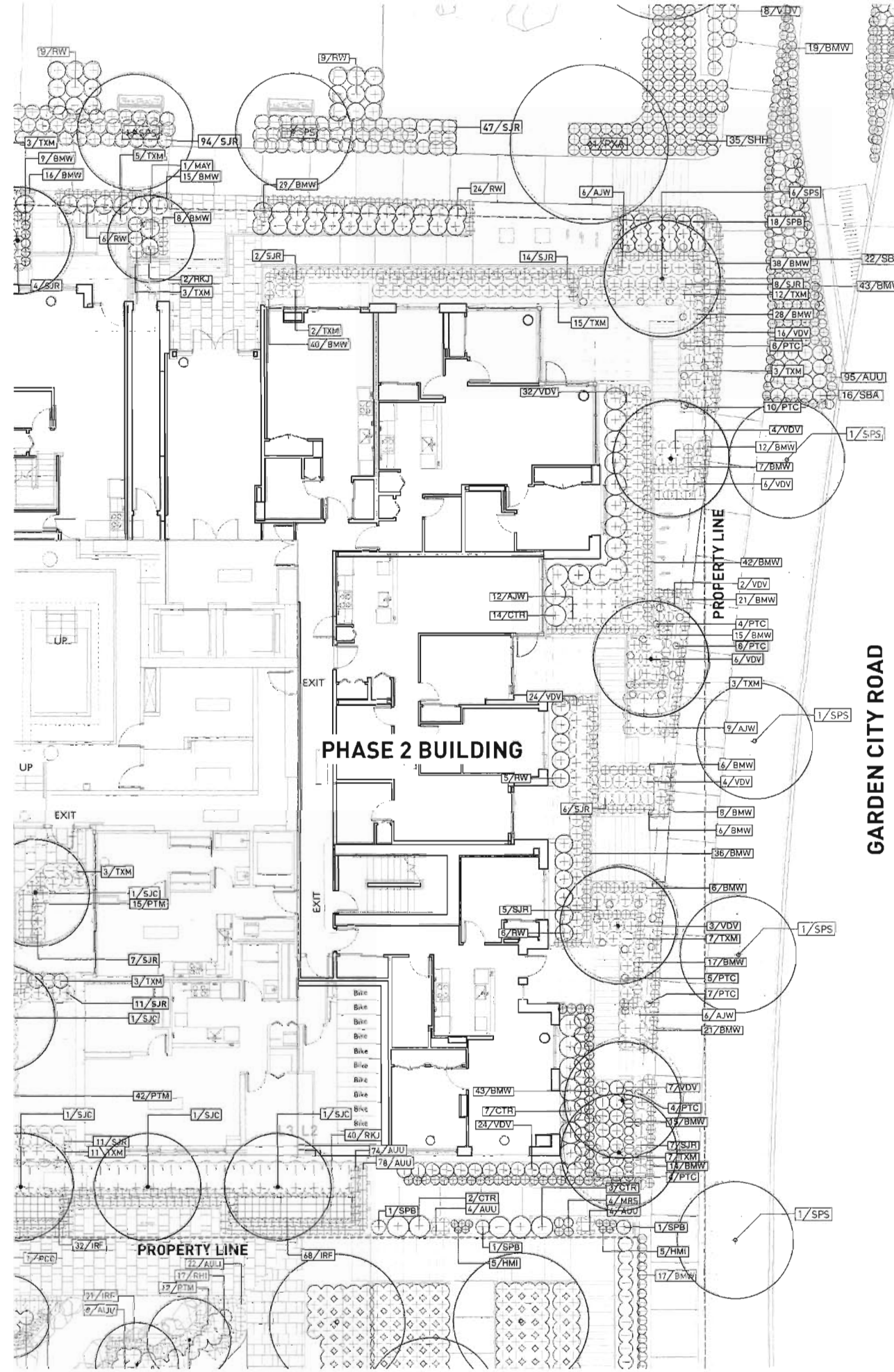

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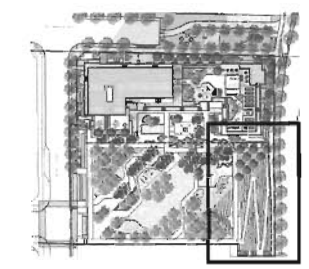

CONCORD PACIFIC

PROJECT
CONCORD GARDENS
PHASE 2
RICHMOND, BC
FOR CONCORD PACIFIC

DRAWING TITLE
PLANTING PLAN
BUILDING
AMENITY AREA

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PROJECT NO.	1286
DATE	JULY 2013
FILE NAME	1286 PLANTING.vwx
PLOTTED	15-2-16 at 7:55:21 AM
DRAWN	JT/KE/MP/ZL REVIEWED

DRAWING
LDP 4.05

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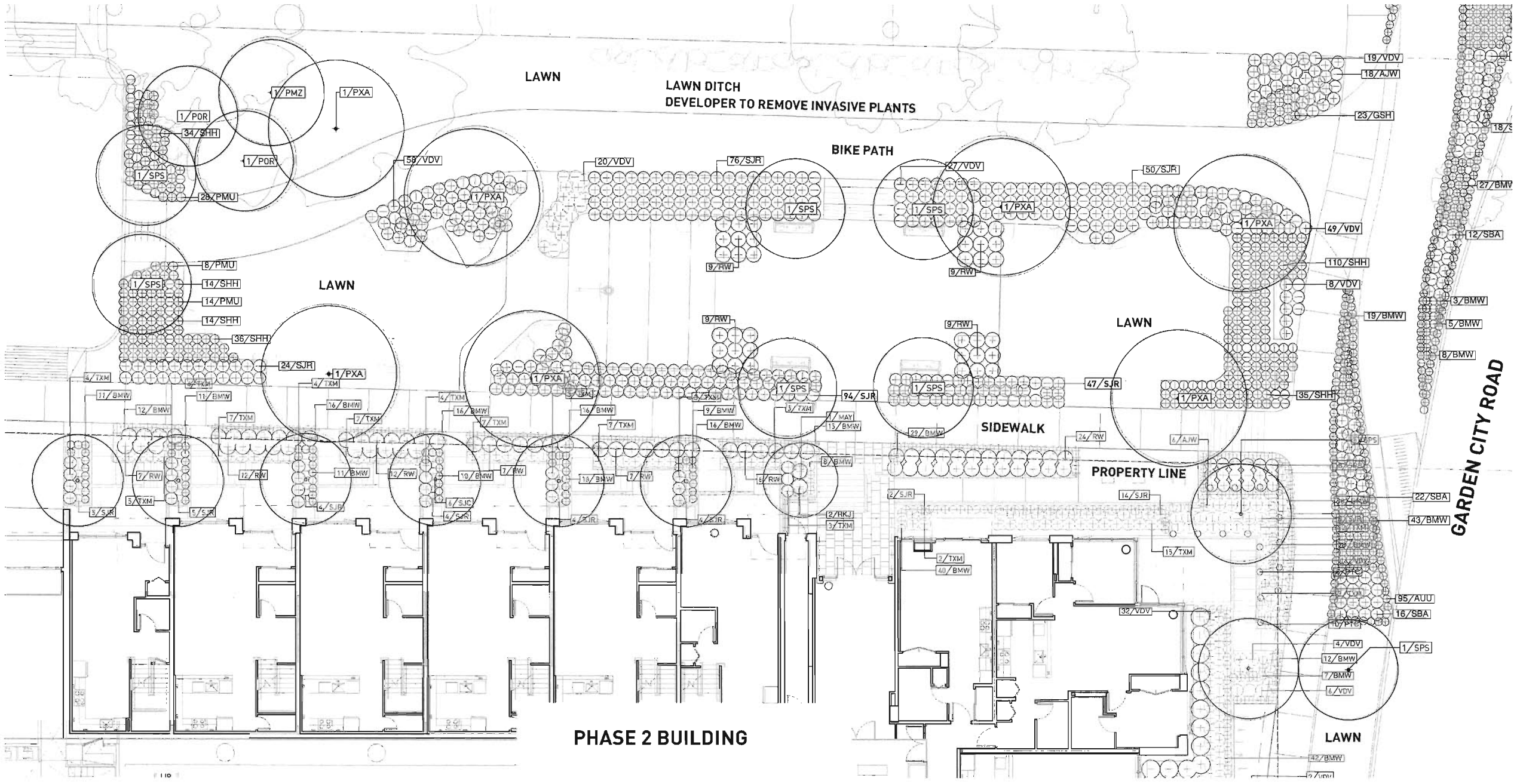

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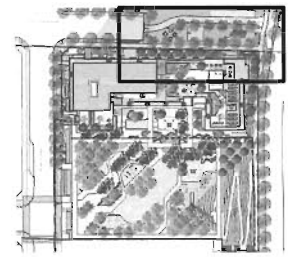

CONCORD PACIFIC

PROJECT
CONCORD GARDENS
PHASE 2
RICHMOND, BC
FOR CONCORD PACIFIC

DRAWING TITLE
PLANTING PLAN
PATTERNSON END PARK

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NORTH

SCALE 1:100

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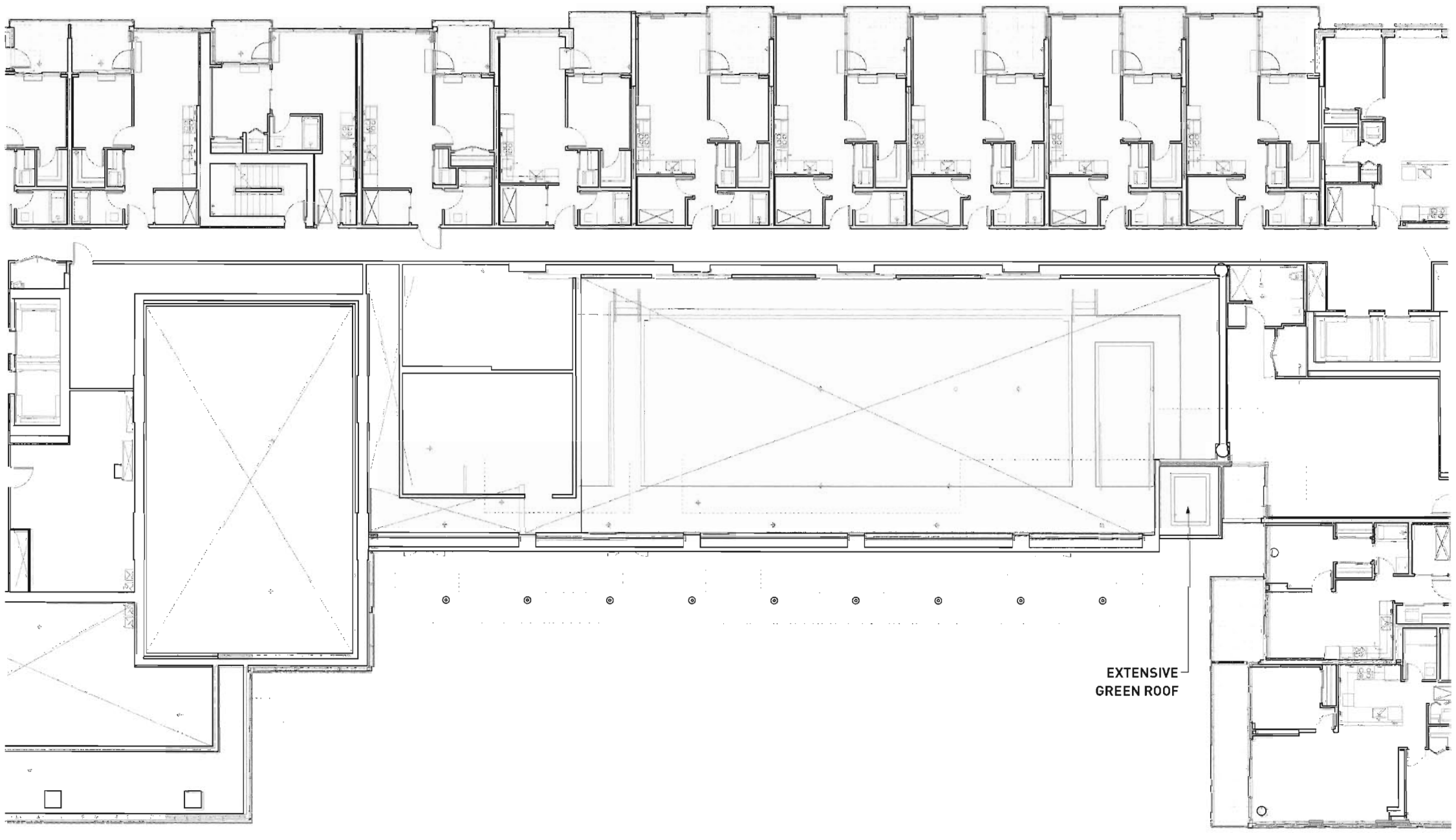
DATE	JULY 2013
FILE NAME	1286 PLANTING.vwx
PLOTTED	15-2-16 at 7:55:59 AM
DRAWN	JT/KE/PM/ZL REVIEWED

DRAWING

LDP 4.06



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Replacement Plan 8S
DP 13-642725 Feb 16/15

CONCORD
PACIFIC

PROJECT
CONCORD GARDENS
PHASE 2
RICHMOND, BC
FOR CONCORD PACIFIC

DRAWING TITLE
PLANTING PLAN
LEVEL 4

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SCALE
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PROJECT NO.	1286
DATE	JULY 2013
FILE NAME	1286 PLANTING.vwx
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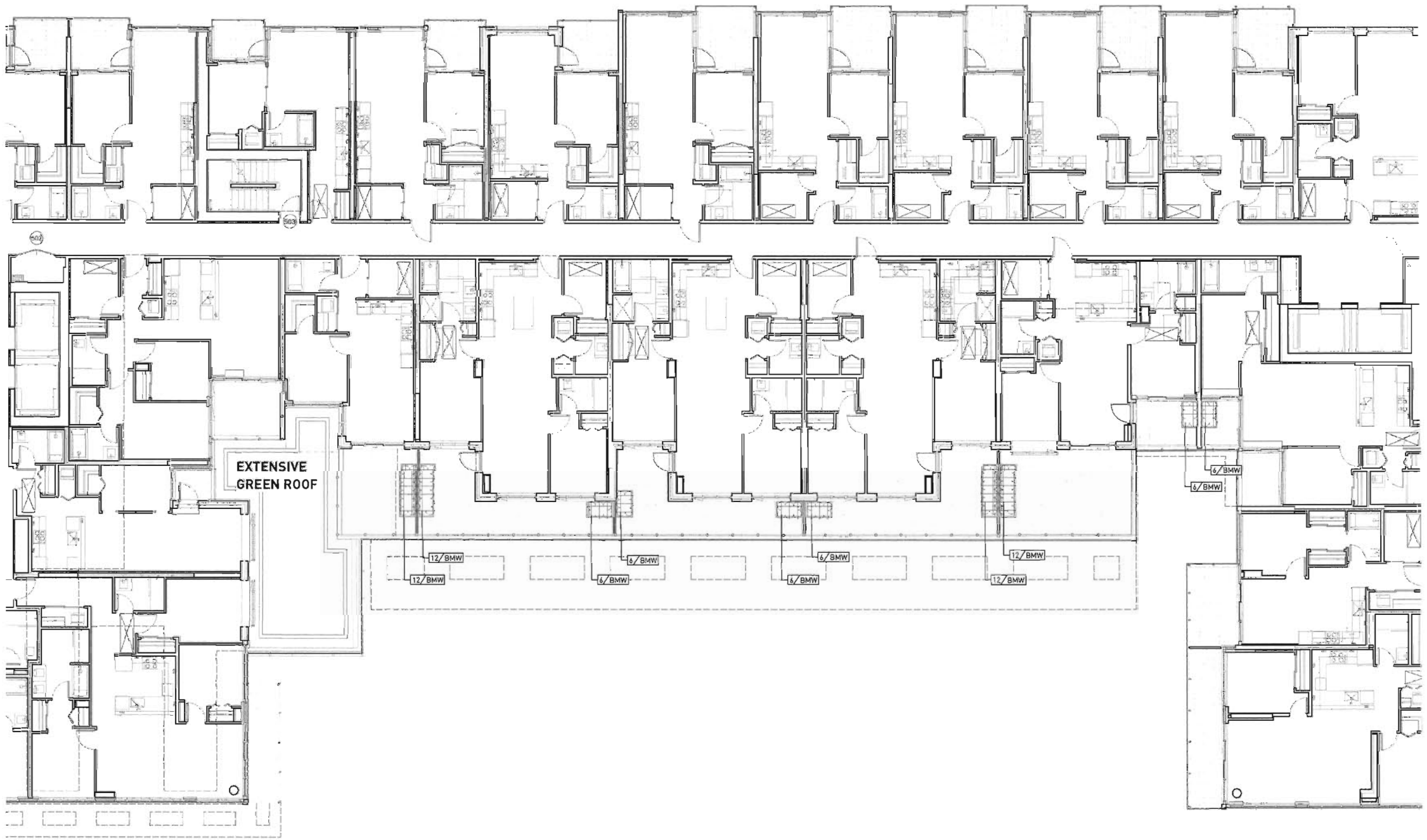
DRAWN	JT/KE/PM/ZL REVIEWED

DRAWING
LDP 4.07



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Replacement Plan 8T
DP 13-642725 Feb 16/15

CONCORD
PACIFIC

PROJECT
CONCORD GARDENS
PHASE 2
RICHMOND, BC
FOR CONCORD PACIFIC

DRAWING TITLE
PLANTING PLAN
LEVEL 5

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NORTH

SCALE
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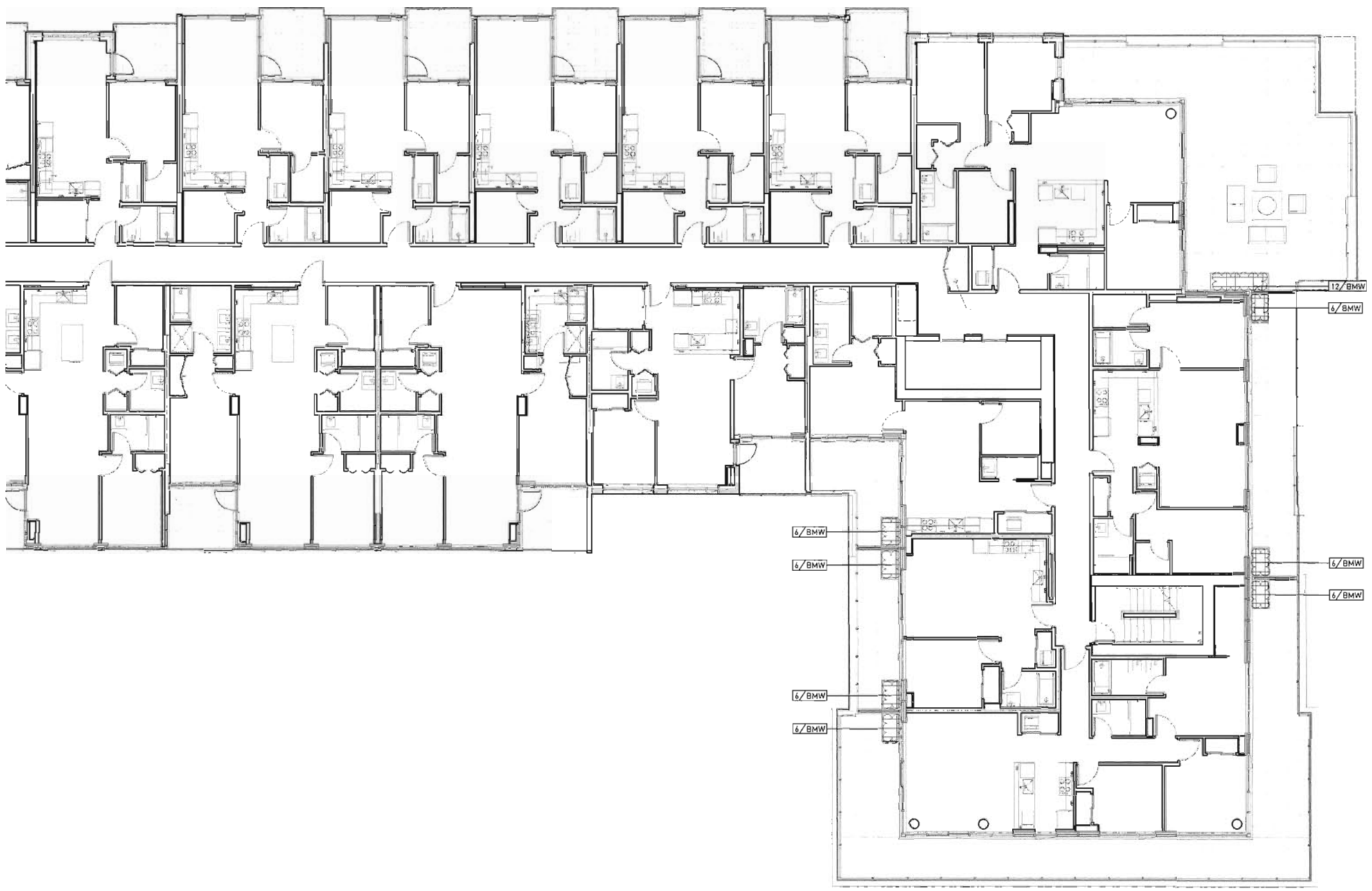
PROJECT NO.	1286
DATE	JULY 2013
FILE NAME	1286 PLANTING.vwx
PLOTTED	15-2-16 at 7:58:06 AM
DRAWN	JT/KE/PM/ZL REVIEWED

DRAWING

LDP 4.08



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Replacement Plan 8U
DP 13-642725 Feb 16/15

CONCORD PACIFIC

PROJECT
CONCORD GARDENS
PHASE 2
RICHMOND, BC
FOR CONCORD PACIFIC

DRAWING TITLE
PLANTING PLAN
LEVEL 9

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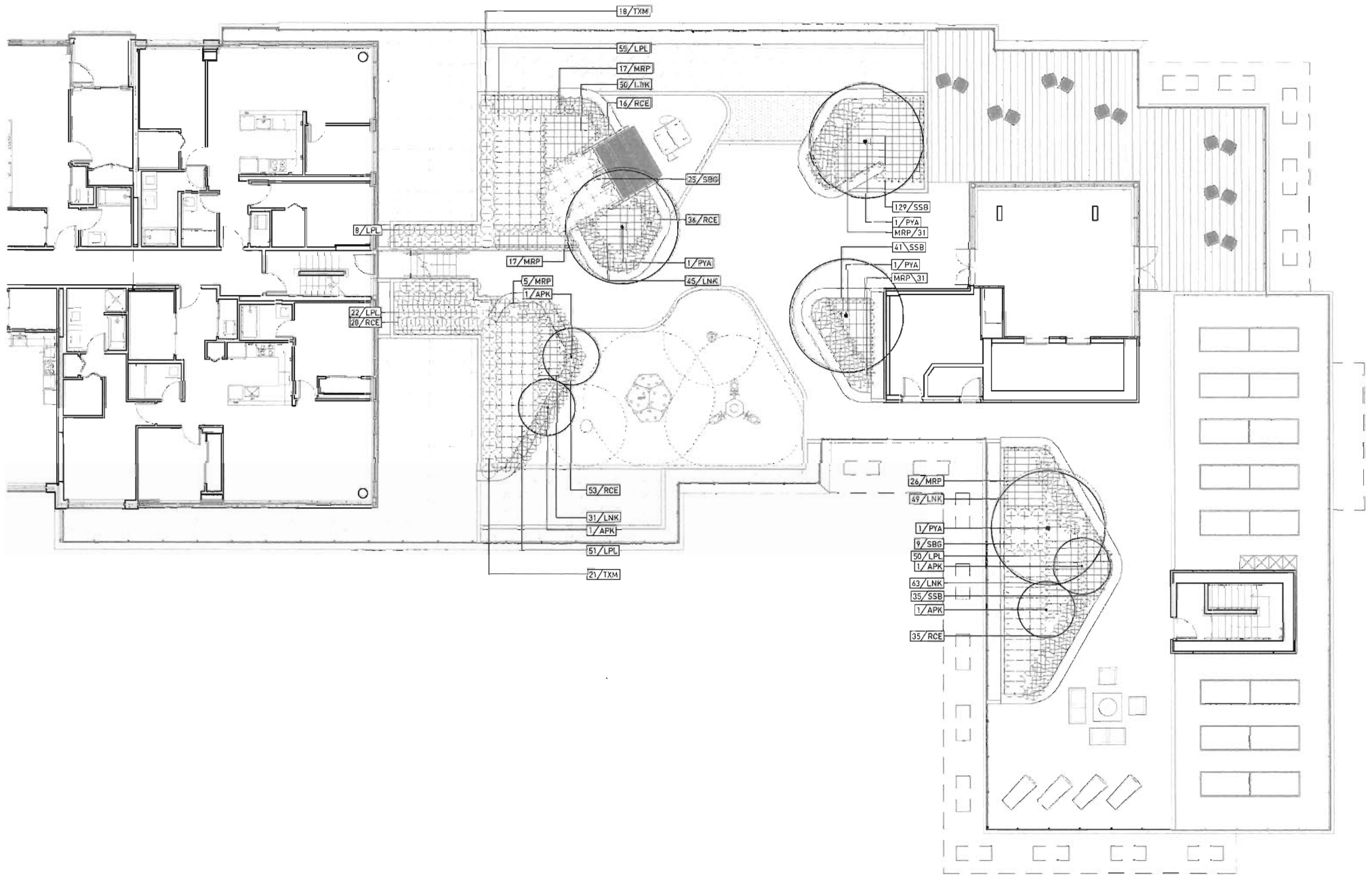
FILE NAME	1286 PLANTING.vwx
PLOTTED	15-2-16 at 7:58:22 AM
DRAWN	JT/KE/PM/ZL REVIEWED

DRAWING
LDP 4.09



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Replacement Plan 8V
DP 13-642725 Feb 16/15

CONCORD PACIFIC

PROJECT
CONCORD GARDENS
PHASE 2
RICHMOND, BC
FOR CONCORD PACIFIC

DRAWING TITLE
PLANTING PLAN
LEVEL 11

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PROJECT NO.	1286
DATE	JULY 2013
FILE NAME	1286 PLANTING.vwx
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DRAWN	JT/KE/PM/ZL REVIEWED

DRAWING:
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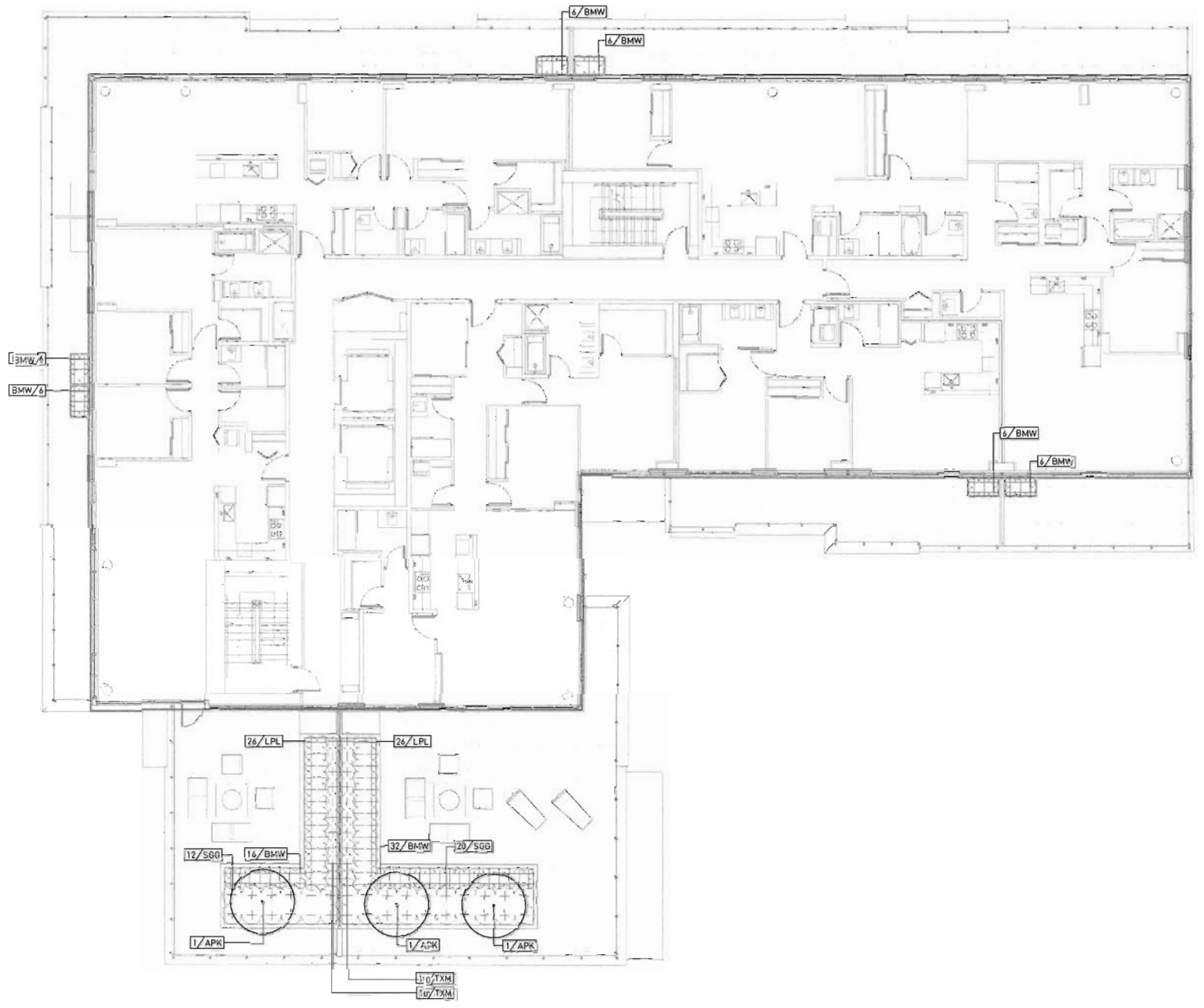

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Replacement Plan 8W
DP 13-642725 Feb 16/15

CONCORD PACIFIC

PROJECT
CONCORD GARDENS
PHASE 2
RICHMOND, BC
FOR CONCORD PACIFIC

DRAWING TITLE
PLANTING PLAN
LEVEL 14

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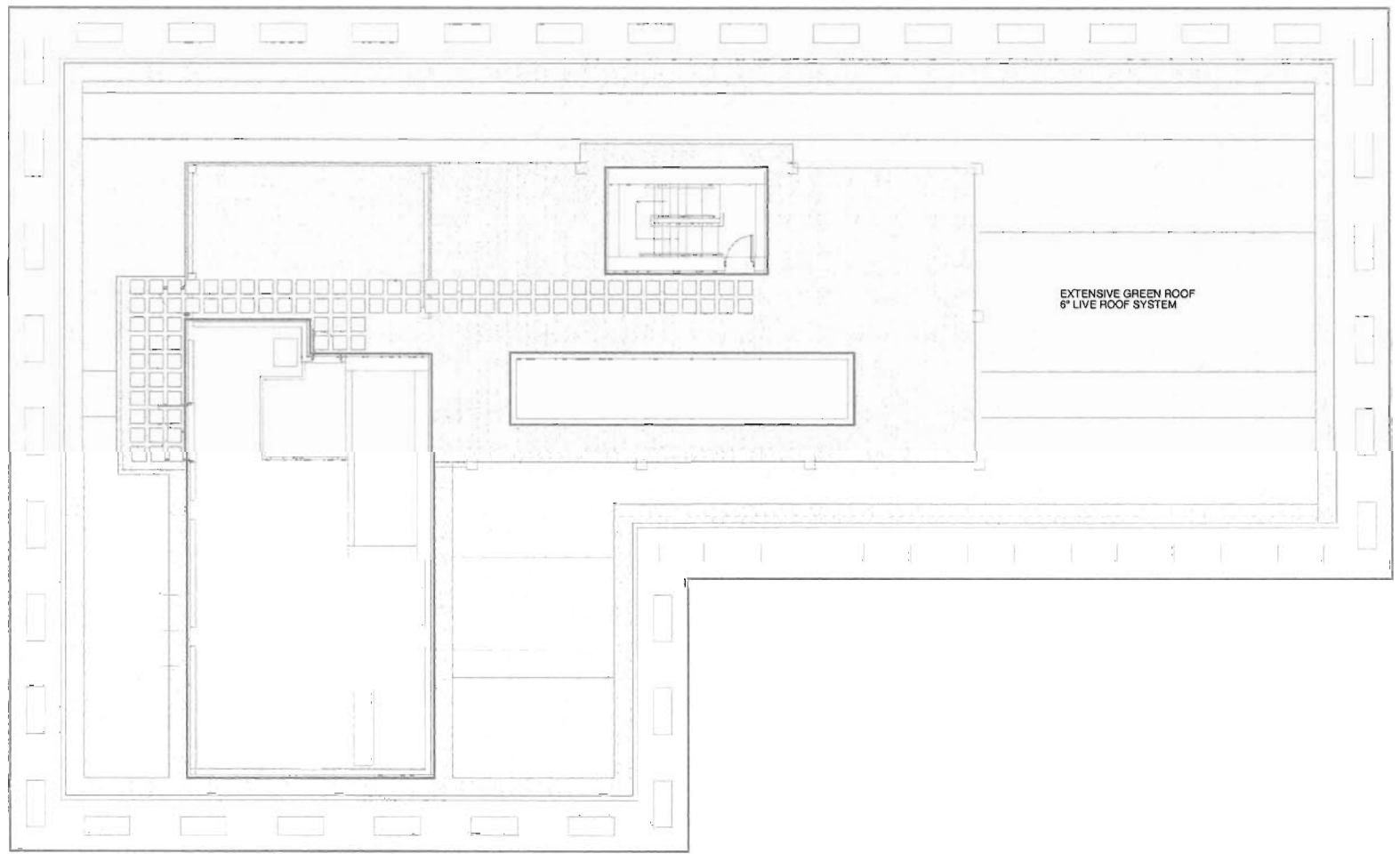
SCALE: 1:100

PROJECT NO.	1286
DATE	JULY 20 13
FILE NAME	1286 PLANTING.vwx
PLOTTED	15-2-16 at 7:58:13 AM
DRAWN	JT/KE/PM/ZL REVIEWED

DRAWING

LDP 4.11



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PHASE 2
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FOR CONCORD PACIFIC

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PLANTING PLAN
LEVEL ROOF

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PROJECT NO.	1286
DATE	JULY 2013
FILE NAME	1286 PLANTING.xwx
PLOTTED	15-2-16 at 2:03:28 PM
DRAWN	JT/KE/PM/ZL REVIEWED

DRAWING
LDP 4.12

Plant List
Public Park

ID	Qty	Botanical Name	Common Name	Scheduled Size	Spacing	Remarks
		Trees				
APL	13	Acer palmatum 'Green'	Green Japanese Maple	2.4 m ht. x 1.8 m w. (8'ht. x 6'w.)	As Shown	B&B, Specimen and densely branched, no included bark
CJP	1	Cercidiphyllum japonicum	Japanese Katsura Tree	8 cm cal. (3" cal.)	As Shown	B&B, Uniform branching, dense tree, 7' (2.1 m) std.
FPC	10	Fraxinus pennsylvanica 'Cimmzon'	Cimmzon Green Ash	8 cm cal. (3" cal.)	As Shown	B&B, Specimens
PPU	1	Parrotia persica - Upright form	Persian Ironwood	5 cm cal. (2" cal.)	As Shown	B&B, Straight trunk, uniform branching, 5' (1.5 m) std.
PCC	11	Pinus contorta var. contorta	Shore Pine	2.4m ht. (8'-0" ht.)	As Shown	B&B, Well branched, dense tree, nursery grown
RPA	30	Robinia pseudoacacia	Black Locust	8cm cal. (3" cal.)	As Shown	B&B, Well Branched, Dense tree,
SPS	5	Stewartia pseudocamellia	Japanese Stewartia	6 cm cal. (2 1/3" cal.)	As Shown	B&B, Well branched, dense tree
		Shrubs				
AJW	406	Azalea japonica 'Ward's Ruby'	Ward's Ruby Japanese Azalea	#3 pot	60cm (24")	Well established
BMW	324	Buxus microphylla 'Winter Gem'	Winter Gem Boxwood	#3 pot	38cm (15")	Well established
RKJ	88	Rhododendron 'Ken Jaweck'	Ken Jaweck Rhododendron	#3 pot	75cm (30")	Well established
RHI	928	Rhododendron impeditum	Cloud Land Rhododendron	#2 pot	60cm (24")	Well established
RW	60	Rhododendron williamsianum	Williams Rhododendron	#3 pot	80cm (32")	Well established
TXM	112	Taxus x media 'H.M.Eddie'	H.M.Eddie Yew	1.2m	60cm (24")	Well established, dense hedging plant / B & B
VSB	186	Vaccinium 'Sunshine Blue'		#1 pot	75cm (30")	Well established, to be maintained at 450mm ht.
VAM	228	Vaccinium macrocarpon	Cranberry	#1 pot	90cm (36")	Well established
VGT	12	Vaccinium ovatum 'Thunderbird'	Thunderbird Evergreen Huckleberry	#3 pot	75cm (30")	Well established, nursery grown
VVI	133	Vaccinium vitis-idaea 'Red Pearl'	Red Pearl Lingonberry	#1 pot	#1 pot	Well established
VDV	133	Viburnum davidii	David Viburnum	#3 pot	60cm (24")	Well established
		Ground Cover				
AUU	1250	Arctostaphylos uva-ursi	Kinnikinnick	#1 pot	38cm (15")	15cm (6") leads, Minimum 3 leads, nursery grown
FCH	1151	Fragaria chiloensis	Beach Strawberry	#1 pot	30cm (12")	10cm (4") height, Well estabiished, nursery grown
PTM	147	Pachysandra terminalis	Japanese Spurge	#1 pot	38cm (15")	10cm (4") height
PES	281	Petasites albus	White Butterbur	#1 pot	30cm (12")	Well established, nursery grown
		Perennials				
IRF	601	Iris foetidissima	Scarletberry Iris	#1 pot	30cm (12")	Well established
PTC	46	Parthenocissus tricuspidata	Boston Ivy	#2 pot	As Shown	Staked, full development

Plant List
Ph2 Building

ID	Qty	Botanical Name	Common Name	Scheduled Size	Spacing	Remarks
		Trees				
APL	14	Acer palmatum 'Green'	Green Japanese Maple	2.4 m ht. x 1.8 m w. (8'ht. x 6'w.)	As Shown	B&B, Specimen and densely branched, no included bark
MAY	1	Magnolia sieboldii	Oyama Magnolia	3m ht. (10'-0" ht.)	As Shown	B&B, Uniform branching, dense tree
PCC	6	Pinus contorta var. contorta	Shore Pine	2.4m ht. (8'-0" ht.)	As Shown	B&B, Well branched, dense tree, nursery grown
SPS	6	Stewartia pseudocamellia	Japanese Stewartia	6 cm cal. (2 1/3" cal.)	As Shown	B&B, Well branched, dense tree
SJC	11	Styrax japonica	Japanese Snowbell	6 cm cal. (2 1/3" cal.)	As Shown	B&B, Uniform branching, dense tree, 6' (1.8m) std.
		Shrubs				
AJC	24	Azalea japonica 'Hino Crimson'	Hino Crimson Japanese Azalea	#2 pot	60cm (24")	Well established
AJW	113	Azalea japonica 'Ward's Ruby'	Ward's Ruby Japanese Azalea	#3 pot	60cm (24")	Well established
BMW	816	Buxus microphylla 'Winter Gem'	Winter Gem Boxwood	#3 pot	38cm (15")	Well established
CTR	26	Choisya ternata	Mexican Orange Blossom	#3 pot	90cm (36")	Well established
RKJ	54	Rhododendron 'Ken Jaweck'	Ken Jaweck Rhododendron	#3 pot	75cm (30")	Well established
RHI	120	Rhododendron impeditum	Cloud Land Rhododendron	#2 pot	60cm (24")	Well established
RW	86	Rhododendron williamsianum	Williams Rhododendron	#3 pot	80cm (32")	Well established
SJR	173	Skimmia japonica 'Rubella'	Red Flowered Japanese Skimmia	#3 pot	60cm (24")	Well established
SPB	21	Spiraea betulifolia	Birch-leaf Spirea	#2 pot	90cm (36")	Well established
TXM	129	Taxus x media 'H.M.Eddie'	H.M.Eddie Yew	1.2m	60cm (24")	Well established, dense hedging plant / B & B
VDV	128	Viburnum davidii	David Viburnum	#3 pot	60cm (24")	Well established
		Ground Cover				
AUU	436	Arctostaphylos uva-ursi	Kinnikinnick	#1 pot	38cm (15")	15cm (6") leads, Minimum 3 leads, nursery grown
MRS	4	Mahonia repens	Creeping Barberry	#1 pot	40cm (16")	Well established, nursery grown
PTM	271	Pachysandra terminalis	Japanese Spurge	#1 pot	38cm (15")	10cm (4") height
PES	424	Petasites albus	White Butterbur	#1 pot	30cm (12")	Well established, nursery grown
		Perennials				
HMI	10	Heuchera micrantha	Alumroot	#1 pot	30 cm (12")	Well established, nursery grown
IRF	629	Iris foetidissima	Scarletberry Iris	#1 pot	30cm (12")	Well established
PTC	46	Parthenocissus tricuspidata	Boston Ivy	#2 pot	As Shown	Staked, full development

Plant List
ROOF TOP

ID	Qty	Botanical Name	Common Name	Scheduled Size	Spacing	Remarks
		Trees				
APK	7	Acer palmatum 'Kishuna'	Kiyohime Japanese Maple	2.4 m ht. x 1.8 m w. (8'ht. x 6'w.)	As Shown	B&B, Specimen and densely branched, no included bark
PYA	4	Prunus yedoensis 'Akebono'	Daybreak Flowering Cherry	8 cm cal. (3" cal.)	As Shown	B&B, Uniform branching, dense tree, 6' (1.8 m) std.
		Shrubs				
BMW	222	Buxus microphylla 'Winter Gem'	Winter Gem Boxwood	#3 pot	38cm (15")	Well established
SBG	34	Spiraea bumalda 'Goldflame'	Goldflame Spiraea	#2 pot	60cm (24")	Well established
TXM	59	Taxus x media 'H.M.Eddie'	H.M.Eddie Yew	1.2m	60cm (24")	Well established, dense hedging plant / B & B
		Ground Cover				
CPL	236	Lonicera pileata	Privet Honeysuckle	#1 pot	45 cm (18")	30 cm (12") spread
MRP	127	Mahonia nervosa	Dwarf Oregon Grape	#1 pot	40cm (16")	Well established, nursery grown
RCE	160	Rubus calycinoides 'Emerald Carpet'	Emerald Carpet Taiwan Creeping Rubus	#1 pot	38cm (15")	15cm (6") leads, Minimum 3 leads
		Perennials				
LNK	238	Lupinus nootkatensis	Nootka Lupine	#1 pot	30 cm (12")	Well established, nursery grown
SSB	205	Salvia superba	Perennial Salvia	10 cm pot	30 cm (12")	Well established

Plant List
5A

ID	Qty	Botanical Name	Common Name	Scheduled Size	Spacing	Remarks
		Trees				
LSW	2	Liquidambar styraciflua 'Worplesdon'	Worplesdon Sweetgum	8 cm cal. (3" cal.)	As Shown	B&B, Uniform branching, dense tree, 7' (2.1 m) std.
PQR	2	Picea omorika	Serbian Spruce	3.5 m ht. (11'-6" ht.)	As Shown	B&B, Well branched, dense tree
PXA	7	Platanus x acerifolia 'Bloodgood'	Bloodgood London Planetree	8 cm cal. (3" cal.)	As Shown	B&B, Uniform branching, dense tree, 7' (2.1 m) std.
PMZ	1	Pseudotsuga menziesii	Douglas Fir	5 m ht. (16'-6" ht.)	As Shown	B&B, Uniform, dense branching, nursery growth
SPS	1	Stewartia pseudocamellia	Japanese Stewartia	6 cm cal. (2 1/3" cal.)	As Shown	B&B, Well branched, dense tree
		Shrubs				
AJW	8	Azalea japonica 'Ward's Ruby'	Ward's Ruby Japanese Azalea	#3 pot	60cm (24")	Well established
BMW	489	Buxus microphylla 'Winter Gem'	Winter Gem Boxwood	#3 pot	38cm (15")	Well established
CTR	28	Choisya ternata	Mexican Orange Blossom	#3 pot	90cm (36")	Well established
GSH	23	Gaultheria shallon	Salal	#2 pot	45cm (18")	Well established, nursery grown
RW	36	Rhododendron williamsianum	Williams Rhododendron	#3 pot	80cm (32")	Well established
SHH	243	Sarcococca hookeriana humilis	Himalayan Sarcococca	#2 pot	45cm (18")	Well established
SJR	291	Skimmia japonica 'Rubella'	Red Flowered Japanese Skimmia	#3 pot	60cm (24")	Well established
SBA	134	Spiraea bumalda 'Anthony Waterer'	Anthony Waterer Spiraea	#2 pot	60cm (24")	Well established
VDV	212	Viburnum davidii	David Viburnum	#3 pot	60cm (24")	Well established
		Ground Cover				
AUU	30	Arctostaphylos uva-ursi	Kinnikinnick	#1 pot	38cm (15")	15cm (6") leads, Minimum 3 leads, nursery grown
		Perennials				
PTC	46	Parthenocissus tricuspidata	Boston Ivy	#2 pot	As Shown	Staked, full development
PML	50	Polystichum munitum	Western Sword Fern	#1 pot	45 cm (18")	Well established, nursery grown

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Replacement Plan 8Y
DP 13-642725 Feb 16/15

CONCORD PACIFIC

PROJECT
CONCORD GARDENS
PHASE 2
RICHMOND, BC
FOR CONCORD PACIFIC

DRAWING TITLE
PLANT LIST

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NORTH | SCALE: NTS

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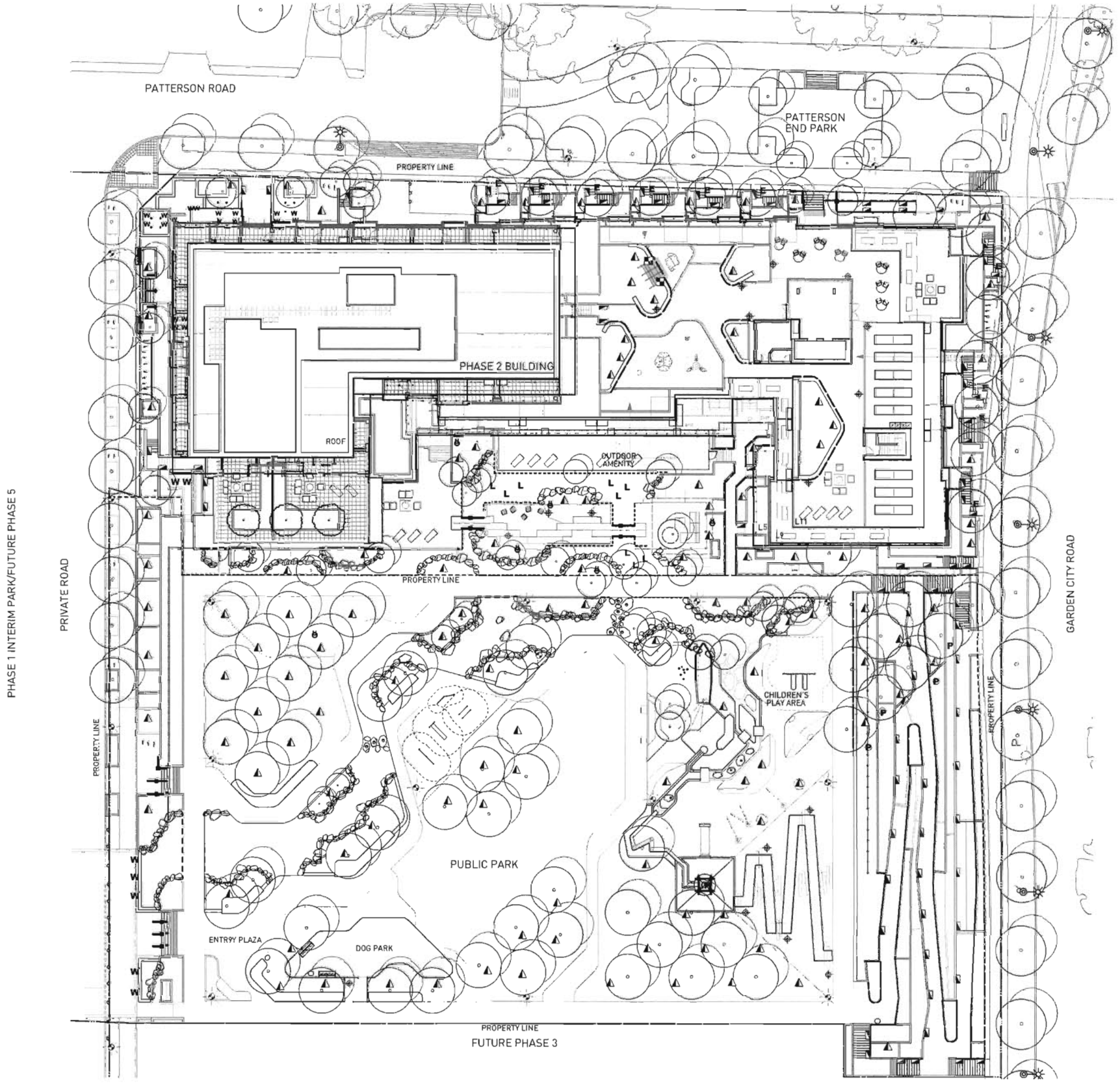
LDP 4.13



LIGHTING TYPES

LIGHTING LEGEND

REFER TO ELECTRICAL ENGINEERING DRAWINGS FOR FIXTURE TYPES AND LAYOUT, CONTRACTOR TO REPORT ANY DISCREPANCIES TO CONSULTANT FOR COMMENTS.

	TYPE 1 - STREET LIGHT WITH PEDESTRIAN LIGHT DESIGN REFERENCE: SCHREDER - FURYO 3		TYPE 10 - UNDERWATER LED STRIP
	TYPE 2 - PEDESTRIAN STREET LIGHT DESIGN REFERENCE: SCHREDER - ALTURA LED		TYPE 11 - LUMENRAIL LED
	TYPE 3 - STREET LIGHT DESIGN REFERENCE: SCHREDER - FURYO 3	W	TYPE 12 - SUBMERSIBLE ACCENT LIGHT
	TYPE 4 - TRAFFIC SIGNAL	L	TYPE 13 - LANDSCAPE LANTERN
	TYPE 5 - BOLLARD LIGHT	E	TYPE 14 - ENTRY LANTERN
	TYPE 6 - STEP LIGHT/WALL LIGHT	LH	TYPE 15 - LIGHT HOUSE LANTERN
	TYPE 7 - DOWN LIGHT AT STRUCTURES	P	TYPE 16 - LANDSCAPE POST
	TYPE 8 - UP LIGHT	•	TYPE 17 - FLUSH MOUNT ACCENT LIGHT
	TYPE 9 - LED ROPE LIGHT		OUTLET FOR SEASONAL LIGHTING

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NORTH

SCALE 1:250

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LDP 5.01

NOTE: REFER TO FURNITURE LEGEND FOR PRODUCT INFO

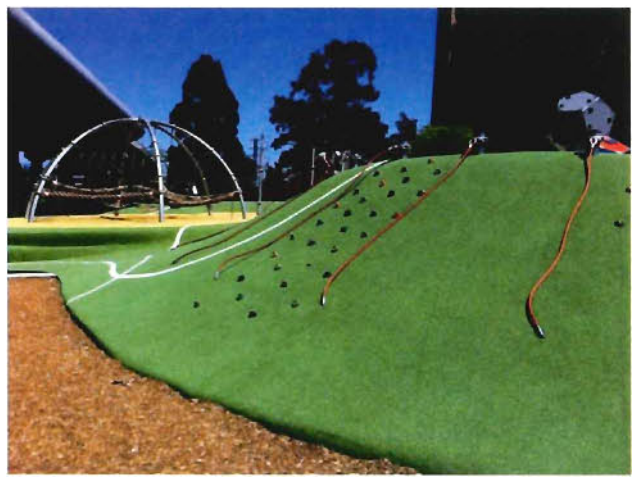
1 BIKE RACK

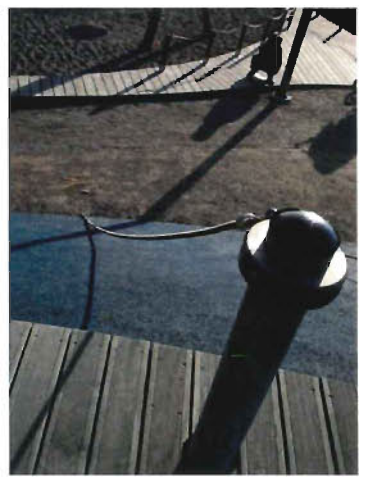
NOTE: REFER TO FURNITURE LEGEND FOR PRODUCT INFO

2 OUTDOOR FITNESS

NOTE: REFER TO FURNITURE LEGEND FOR PRODUCT INFO

3 BENCH





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4 MOUNTAINEERING ROPE

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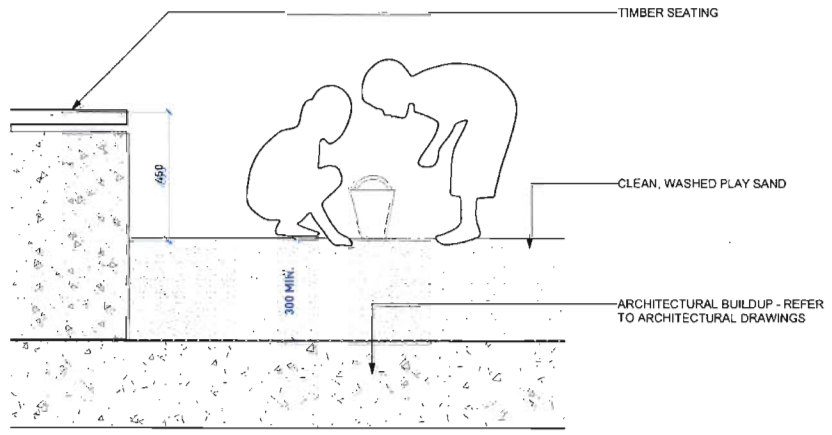

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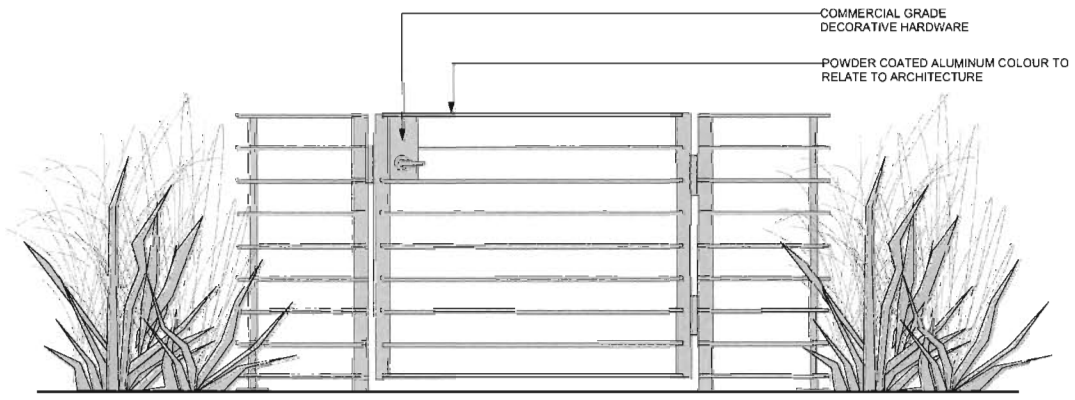

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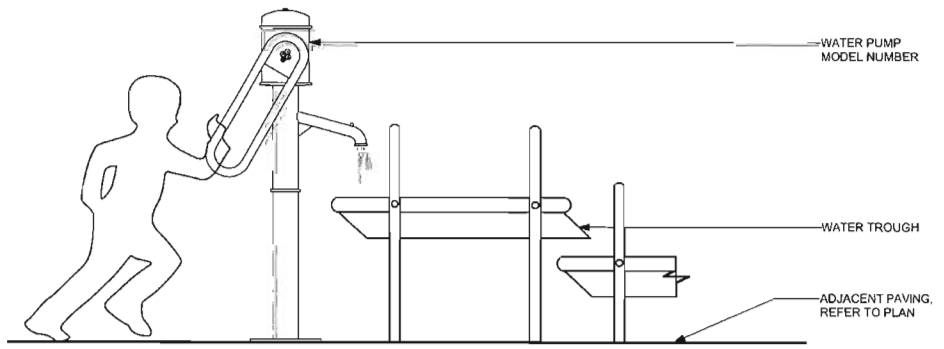

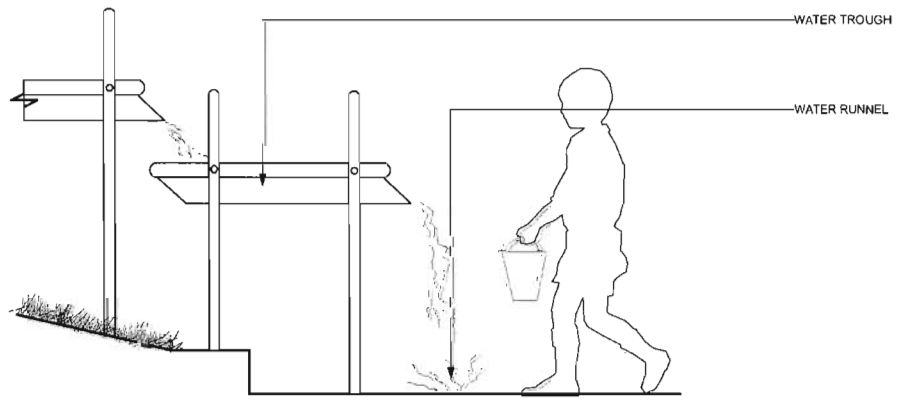

3 WATER PLAY ELEMENT
Scale: 1:12

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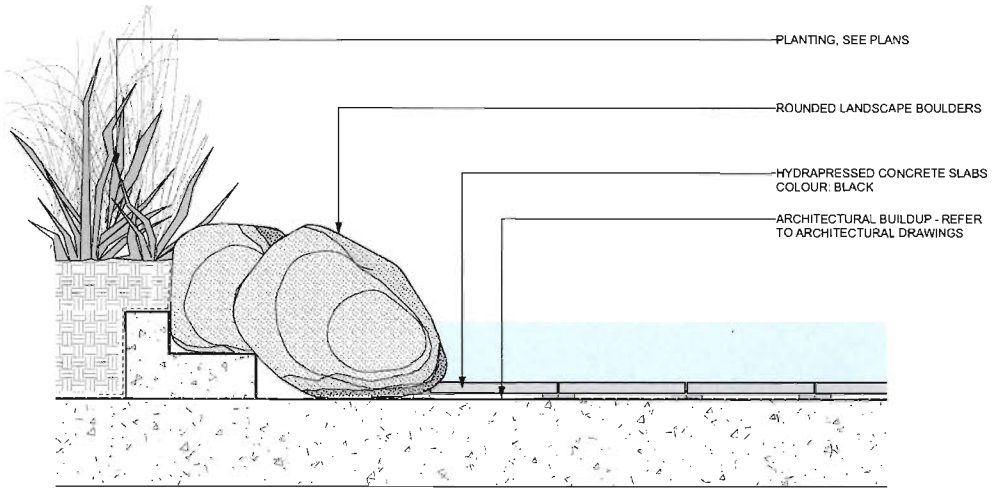

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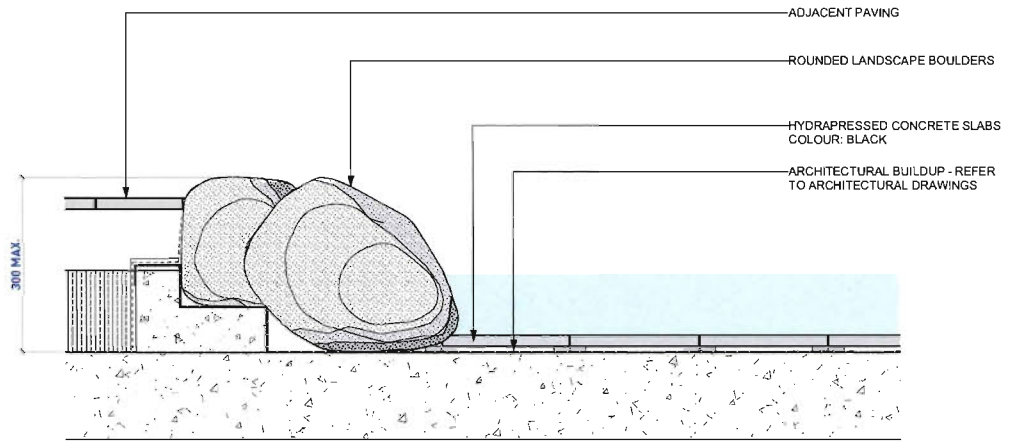

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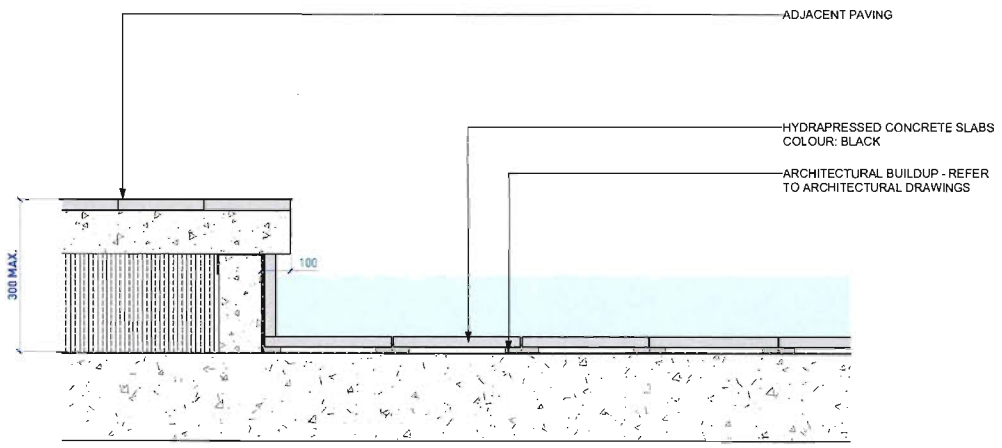

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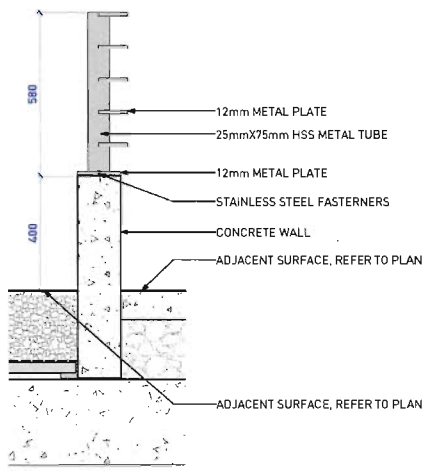

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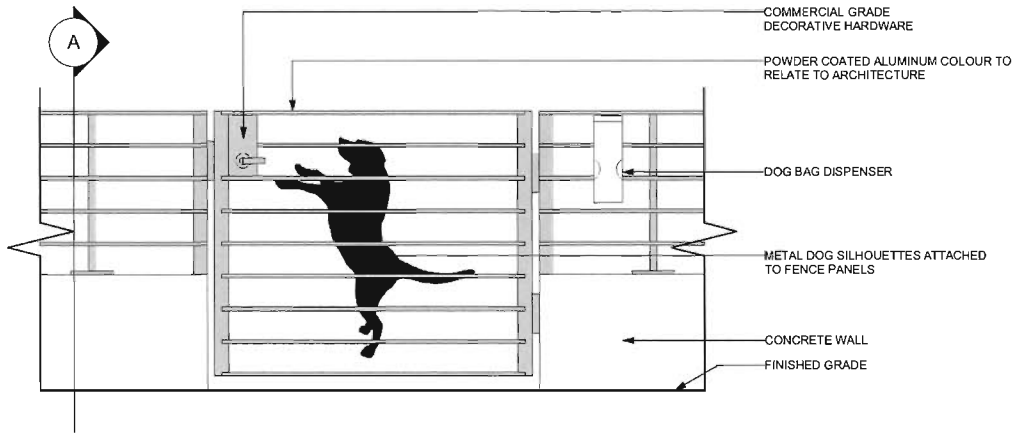

4 DOG PARK GATE/FENCE
Scale: 1:12

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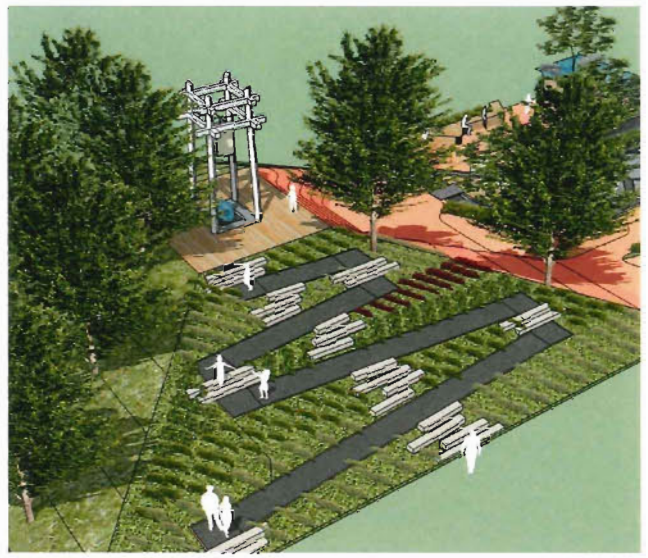

PERSPECTIVE

NOTE:

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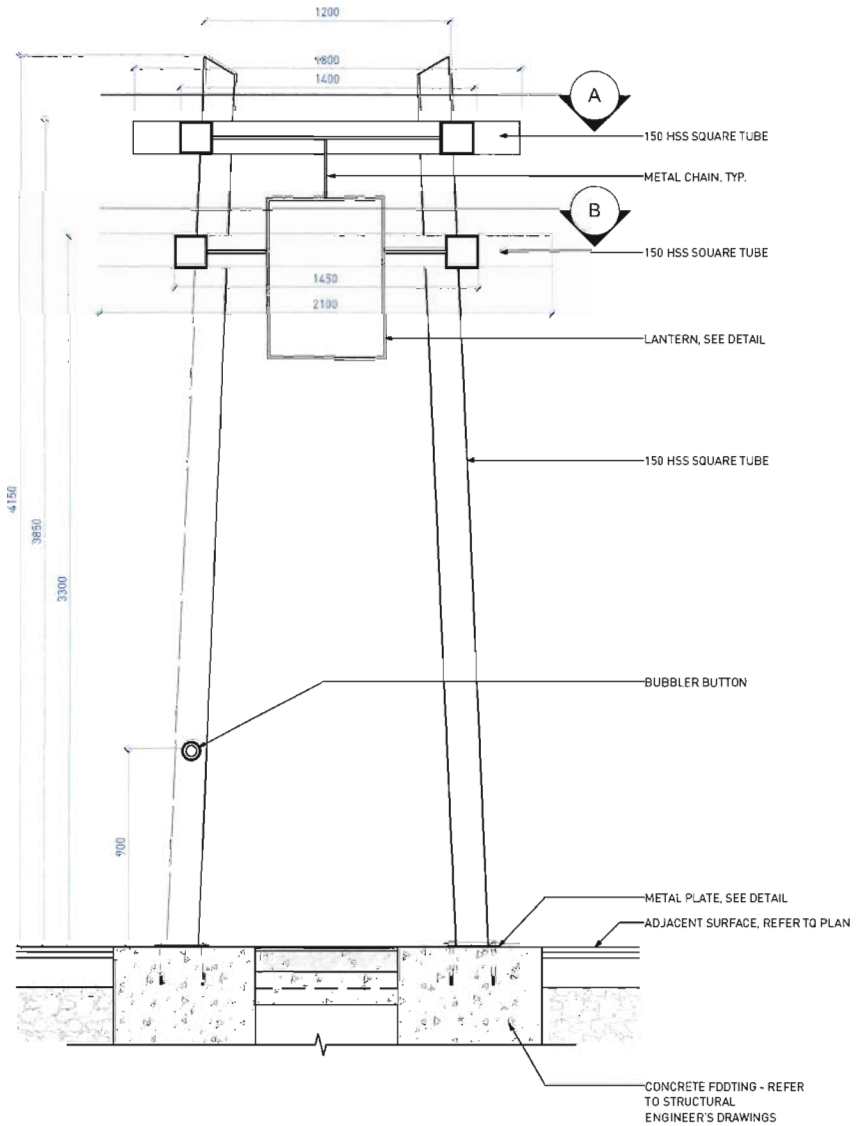

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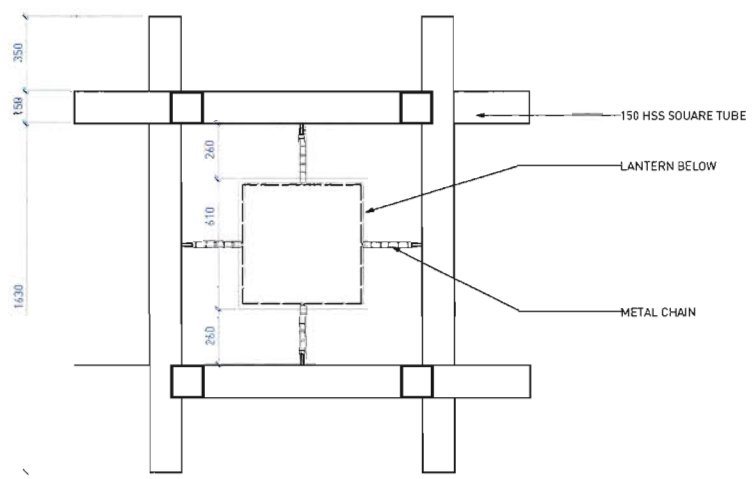

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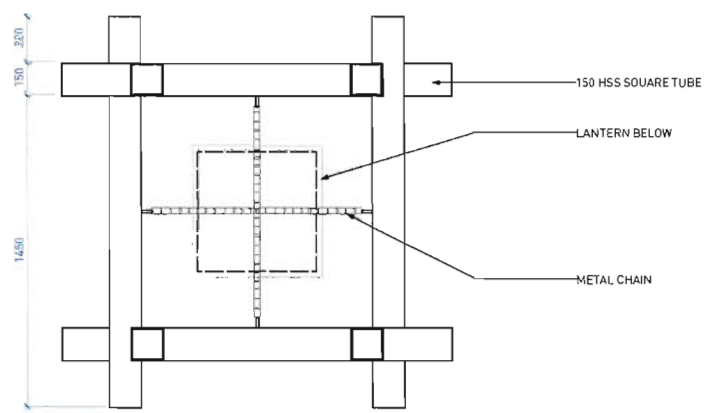

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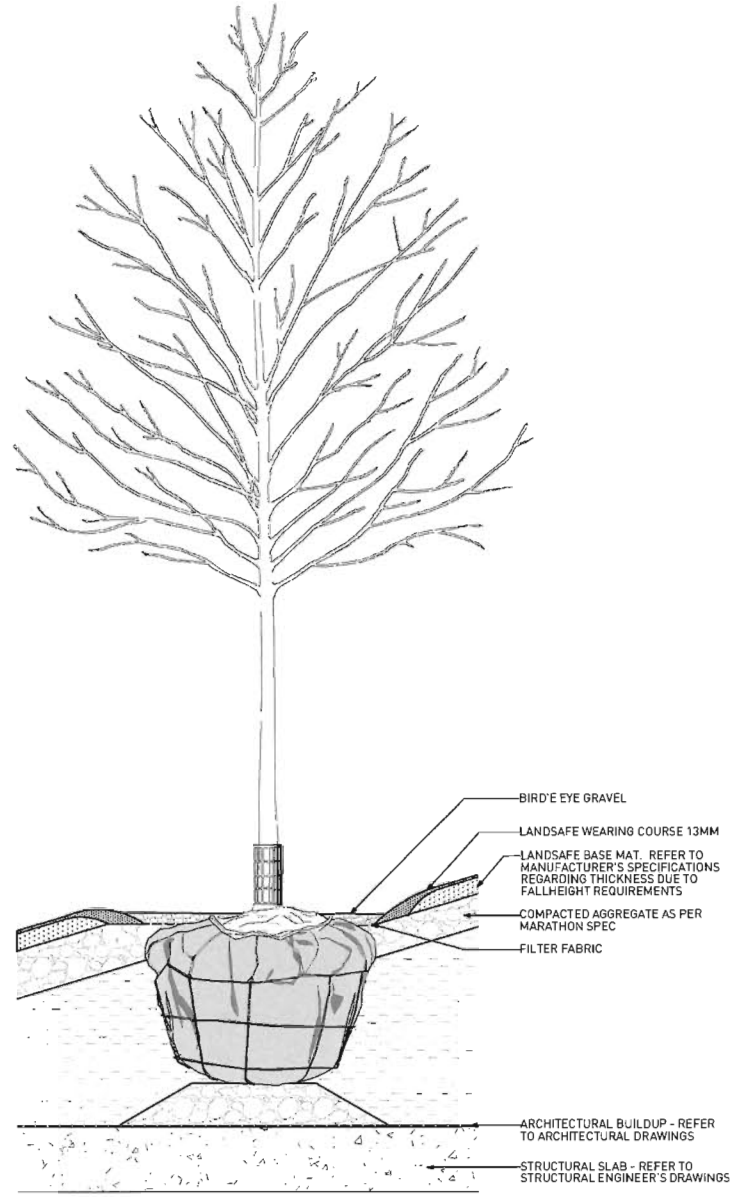

2 TREE PLANTING IN RESILIENT SURFACING
Scale: 1:15

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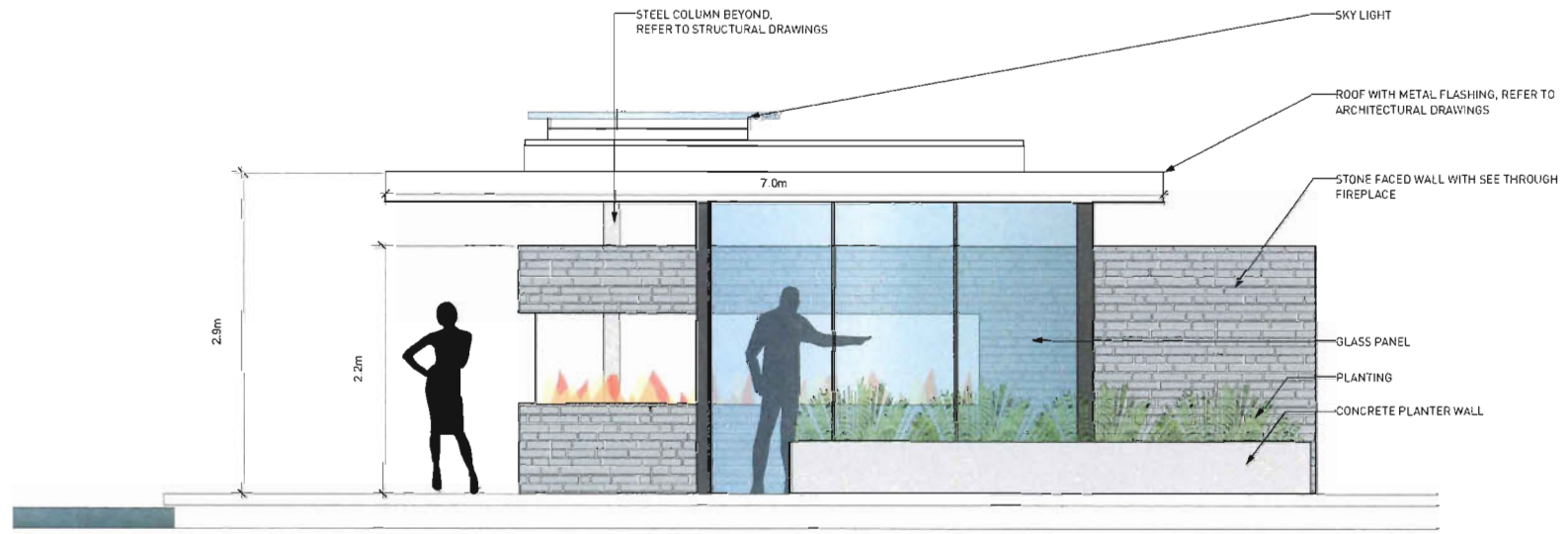
1 WEST ELEVATION OF PAVILION
Scale: 1:30



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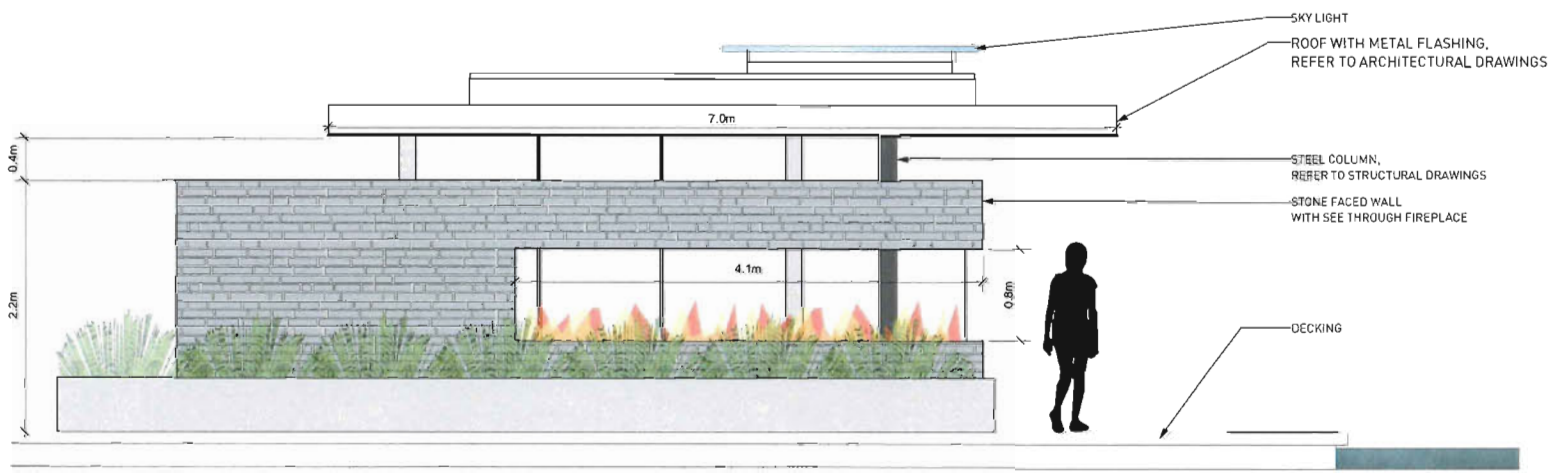

3 WEST ELEVATION OF PAVILION
Scale: 1:30

VIEW FROM THE PARK

VIEW FROM AMENITY AREA

VIEW FROM OUTDOOR POOL DECK

4 PERSPECTIVE
NTS

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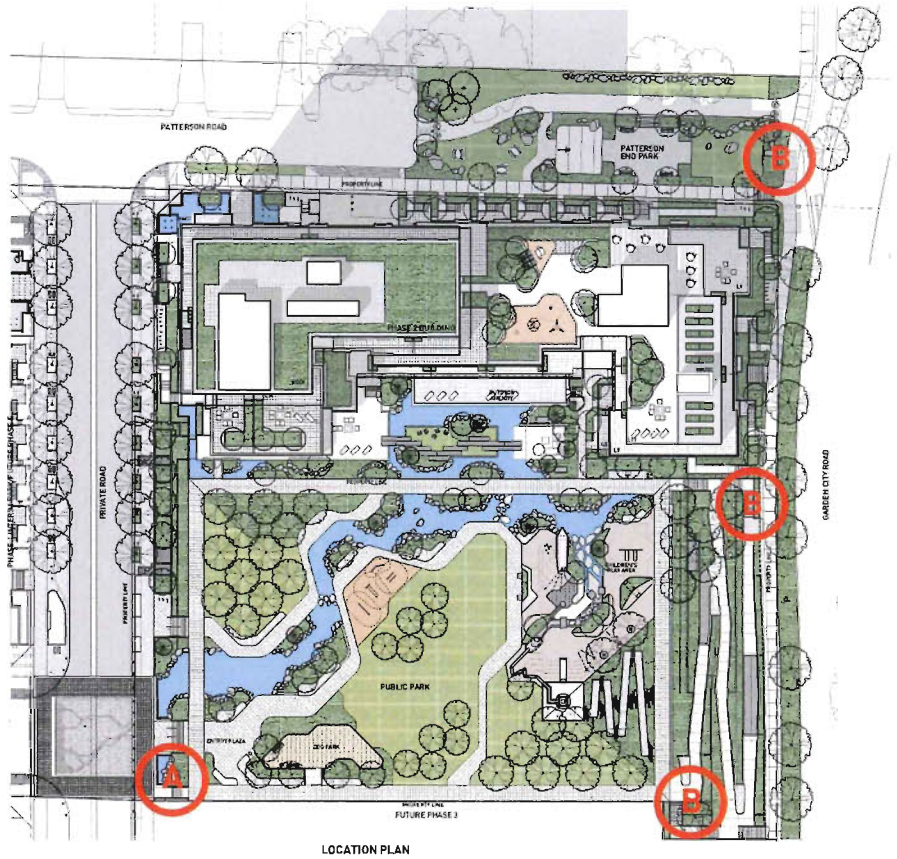

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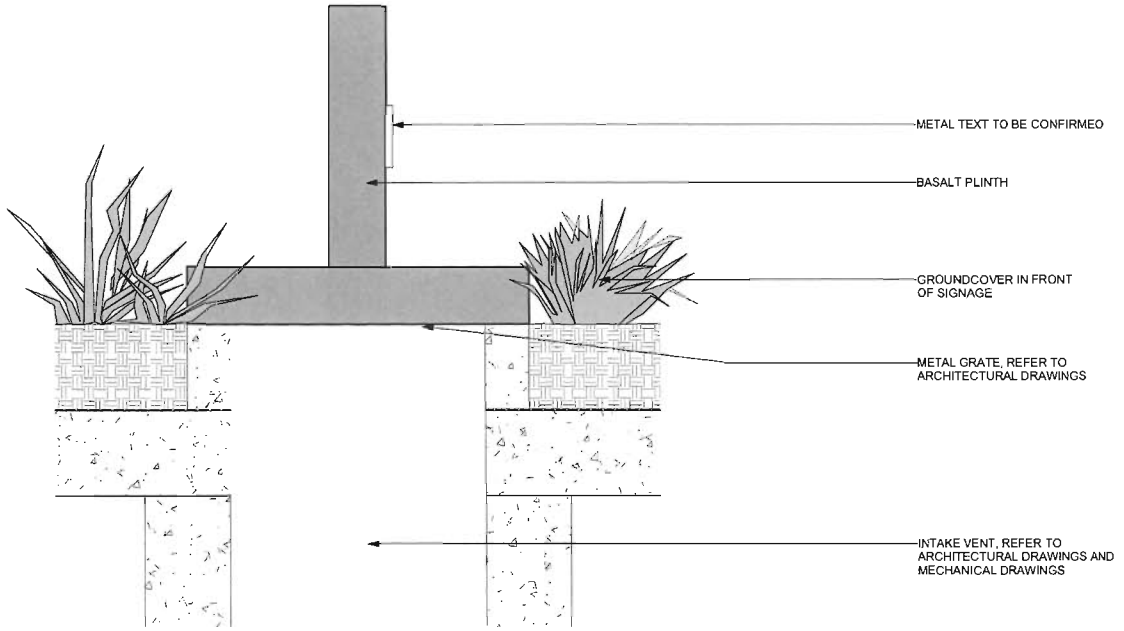

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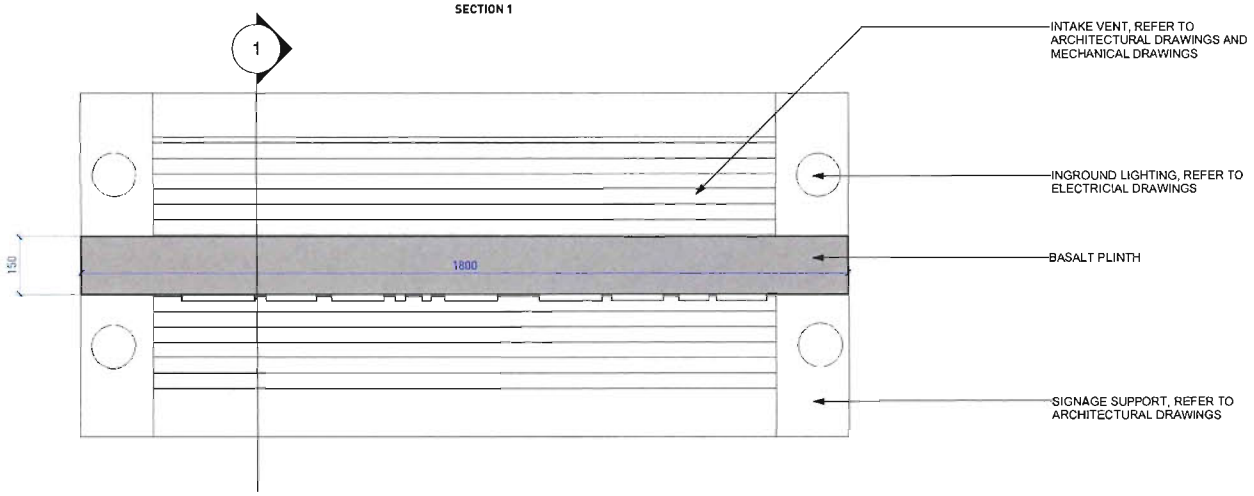
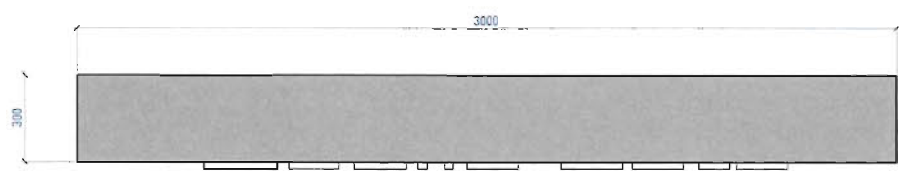
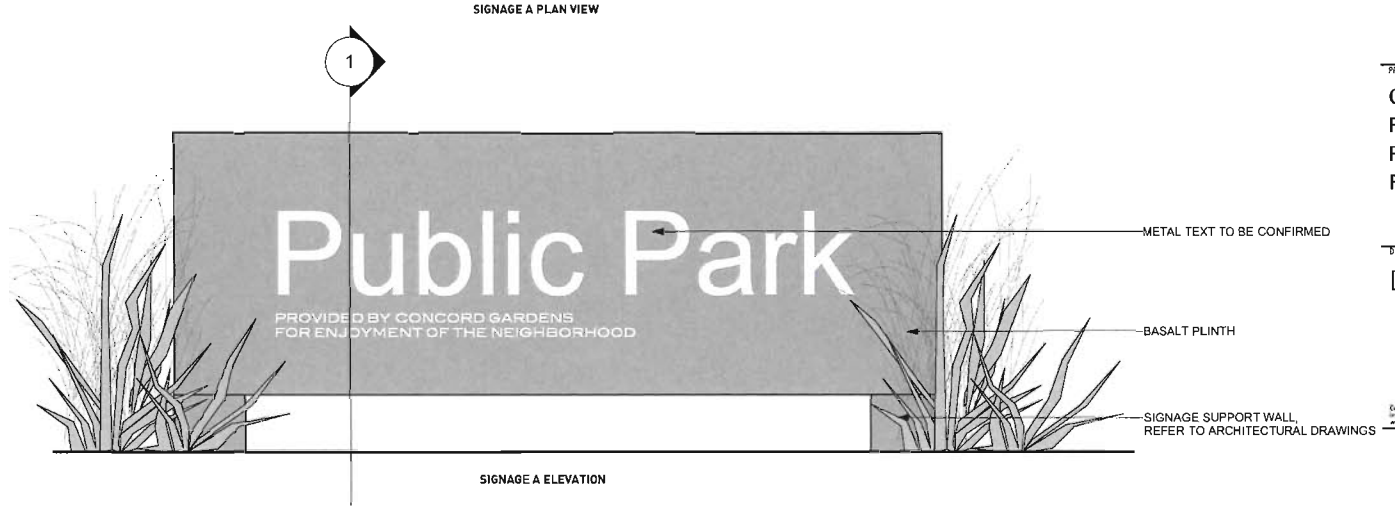


SIGNAGE A PLAN VIEW



SIGNAGE B PLAN VIEW

SIGNAGE B ELEVATION



SIGNAGE A ELEVATION

1 PUBLIC PARK SIGNAGE
Scale: 1:10

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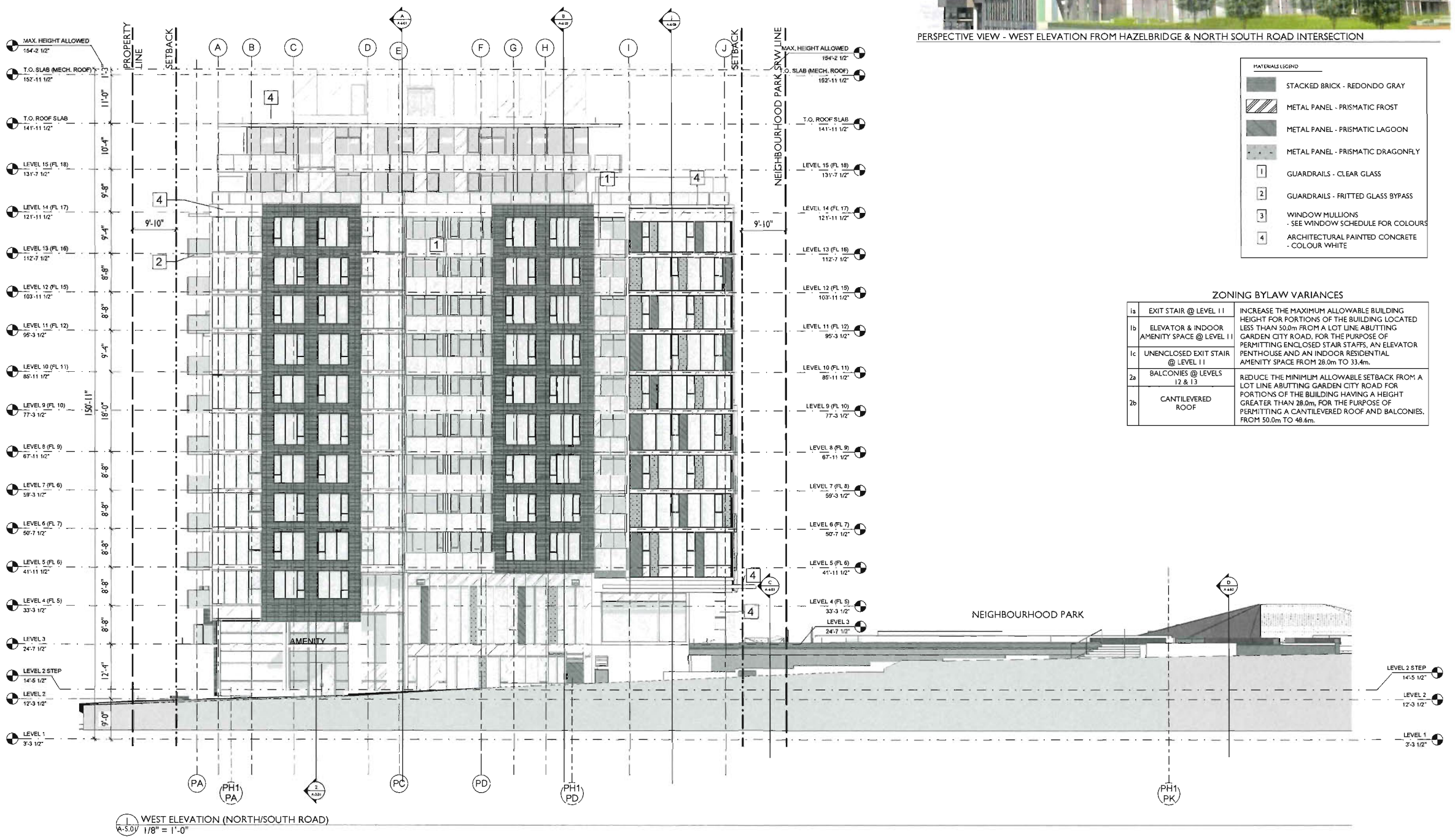
LDP 7.05

PERSPECTIVE VIEW - WEST ELEVATION FROM HAZELBRIDGE & NORTH SOUTH ROAD INTERSECTION



1 WEST ELEVATION (NORTH/SOUTH ROAD)
1/8" = 1'-0"

MATERIALS LEGEND

- STACKED BRICK - REDONDO GRAY
- METAL PANEL - PRISMATIC FROST
- METAL PANEL - PRISMATIC LAGOON
- METAL PANEL - PRISMATIC DRAGONFLY
- 1 GUARDRAILS - CLEAR GLASS
- 2 GUARDRAILS - FRITTED GLASS BYPASS
- 3 WINDOW MULLIONS - SEE WINDOW SCHEDULE FOR COLOURS
- 4 ARCHITECTURAL PAINTED CONCRETE - COLOUR WHITE

ZONING BYLAW VARIANCES

1a	EXIT STAIR @ LEVEL 11	INCREASE THE MAXIMUM ALLOWABLE BUILDING HEIGHT FOR PORTIONS OF THE BUILDING LOCATED LESS THAN 50.0m FROM A LOT LINE ABUTTING GARDEN CITY ROAD, FOR THE PURPOSE OF PERMITTING ENCLOSED STAIR SHAFTS, AN ELEVATOR PENTHOUSE AND AN INDOOR RESIDENTIAL AMENITY SPACE FROM 28.0m TO 33.4m.
1b	ELEVATOR & INDOOR AMENITY SPACE @ LEVEL 11	
1c	UNENCLOSED EXIT STAIR @ LEVEL 11	
2a	BALCONIES @ LEVELS 12 & 13	REDUCE THE MINIMUM ALLOWABLE SETBACK FROM A LOT LINE ABUTTING GARDEN CITY ROAD FOR PORTIONS OF THE BUILDING HAVING A HEIGHT GREATER THAN 28.0m, FOR THE PURPOSE OF PERMITTING A CANTILEVERED ROOF AND BALCONIES, FROM 50.0m TO 48.6m.
2b	CANTILEVERED ROOF	

gbl

GBL ARCHITECTS INC.
1359 EAST 8th AVENUE
VANCOUVER, BC CANADA V5T 1R6
TEL 604 734 1136
FAX 604 731 5279

Legal Address: LOT 1; SECTIONS 27 AND 28; BLOCK 5, NORTH RANGE 6 WEST; NEW WESTMINSTER DISTRICT PLAN eap27512

Replacement Plan 9

DP 13-642725 Feb 16/15

REVISIONS

NO.	DATE	DESCRIPTION
1.	14 MAR 2013	PROGRESS SET
2.	29 JULY 2013	DEVELOPMENT PERMIT APPLICATION
3.	15 OCT 2013	ADVISORY DESIGN PANEL SUBMISSION
4.	14 NOV 2013	CITY REVIEW - STAFF COMMENTS RESPONSE
5.	11 DEC 2013	CITY REVIEW
6.	16 DEC 2013	DP APPLICATION - PRIOR TO
7.	28 MAY 2014	PROGRESS SET
8.	30 JUNE 2014	ISSUED FOR BUILDING PERMIT APPLICATION
9.	05 SEPT 2014	ISSUED FOR ENVELOPE REVIEW
10.	29 SEPT 2014	ISSUED FOR CITY REVIEW
11.	07 OCT 2014	REVISED PER DP COMMENTS & ISSUED FOR DP REVIEW
12.	16 OCT 2014	ISSUED TO ADDRESS COSLDP COMMENTS
13.	17 OCT 2014	UPDATED SUITE PLANS ISSUED FOR REVIEW & COORDINATION
14.	06 NOV 2014	ISSUED FOR COASTAL HEALTH REVIEW
15.	07 NOV 2014	ISSUED FOR COORDINATION
16.	17 NOV 2014	ISSUED FOR CONSULTANT COORDINATIO
17.	10 DEC 2014	PROG. AREA REVISED PER HCH FEEDBACK
18.	24 DEC 2014	REVISED & RE-ISSUED FOR COASTAL HEALTH REVIEW
19.	29 JAN 2015	ISSUED FOR CITY GENERAL COMPLIANCE REVIEW
20.	23 JAN 2015	ISSUED FOR CONSULTANT COORDINATION
21.	26 FEB 2015	ISSUED FOR CONSULTANT COORDINATION
22.	13 FEB 2015	REISSUED FOR DP GENERAL COMPLIANCE

CONCORD PACIFIC

CONCORD GARDENS
PHASE 2
8988 Patterson Rd,
Richmond, BC

WEST ELEVATION (NORTH/SOUTH ROAD)

DATE	15/02/2015 9:56:34 PM
DRAWN BY	JML
CHECKED BY	MG
SCALE	1/8" = 1'-0"
JOB NUMBER	1251

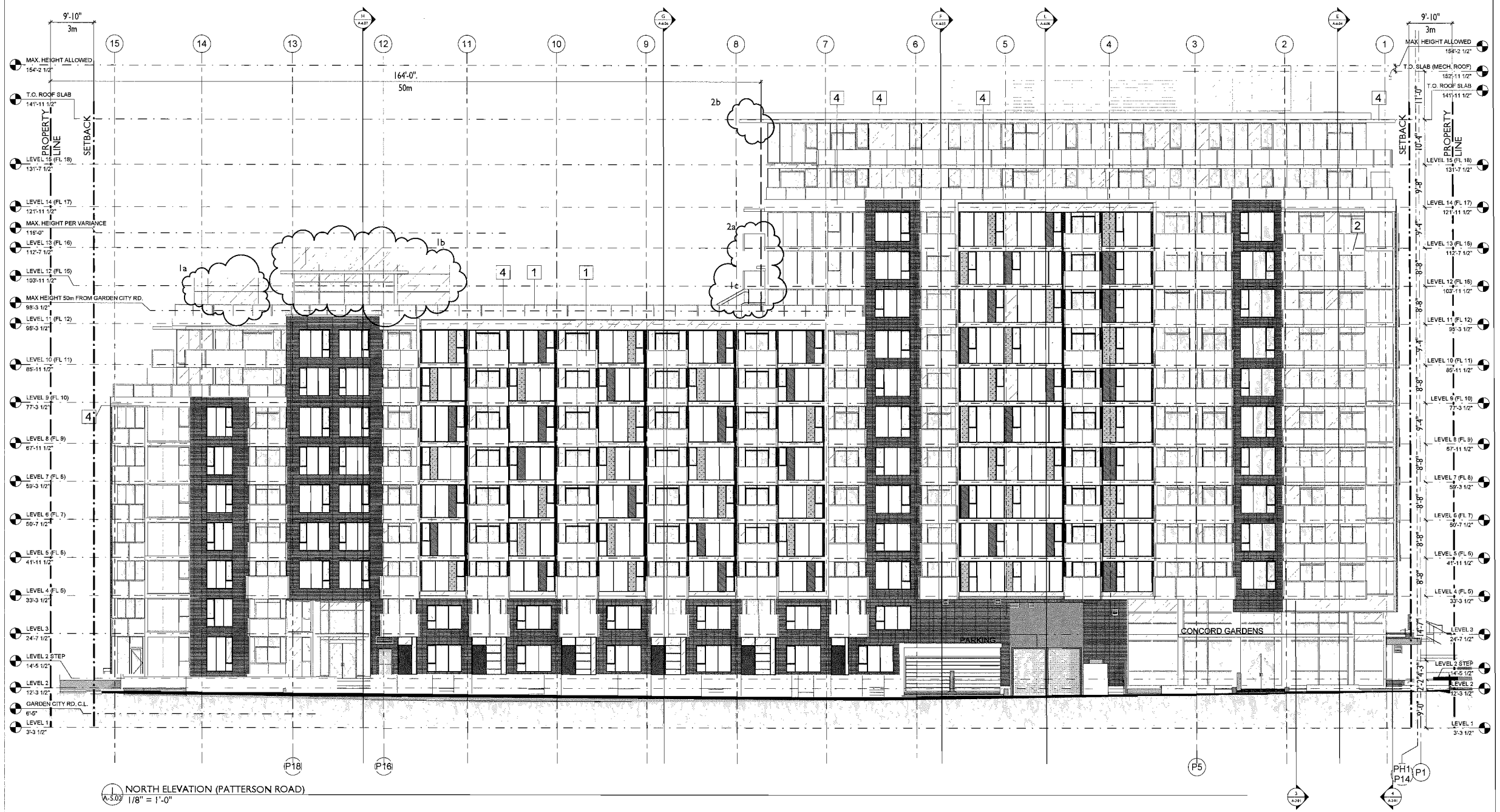
A-5.01

ZONING BYLAW VARIANCES

1a	EXIT STAIR @ LEVEL 11	INCREASE THE MAXIMUM ALLOWABLE BUILDING HEIGHT FOR PORTIONS OF THE BUILDING LOCATED LESS THAN 50.0m FROM A LOT LINE ABUTTING GARDEN CITY ROAD, FOR THE PURPOSE OF PERMITTING ENCLOSED STAIR STAFFS, AN ELEVATOR PENTHOUSE AND AN INDOOR RESIDENTIAL AMENITY SPACE FROM 28.0m TO 33.4m.
1b	ELEVATOR & INDOOR AMENITY SPACE @ LEVEL 11	
1c	UNENCLOSED EXIT STAIR @ LEVEL 11	
2a	BALCONIES @ LEVELS 12 & 13	REDUCE THE MINIMUM ALLOWABLE SETBACK FROM A LOT LINE ABUTTING GARDEN CITY ROAD FOR PORTIONS OF THE BUILDING HAVING A HEIGHT GREATER THAN 28.0m, FOR THE PURPOSE OF PERMITTING A CANTILEVERED ROOF AND BALCONIES, FROM 50.0m TO 48.6m.
2b	CANTILEVERED ROOF	

MATERIALS LEGEND

- STACKED BRICK - REDONDO GRAY
- METAL PANEL - PRISMATIC FROST
- METAL PANEL - PRISMATIC LAGOON
- METAL PANEL - PRISMATIC DRAGONFLY
- 1 GUARDRAILS - CLEAR GLASS
- 2 GUARDRAILS - FRITTED GLASS BYPASS
- 3 WINDOW MULLIONS - SEE WINDOW SCHEDULE FOR COLOURS
- 4 ARCHITECTURAL PAINTED CONCRETE - COLOUR WHITE



1 A-5.02 NORTH ELEVATION (PATTERSON ROAD)
1/8" = 1'-0"

gbl

GBL ARCHITECTS INC
139 EASTERN AVENUE
VANCOUVER, BC CANADA V5T 1R8
TEL 604 736 1156
FAX 604 731 5279

Legal Address: LOT 1; SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6 WEST; NEW WESTMINSTER DISTRICT PLAN EPP27512

Replacement Plan 10
DP 13-642725 Feb 16/15

REVISIONS

NO.	DATE	DESCRIPTION
1.	14 MAR 2013	PROGRESS SET
2.	29 JULY 2013	DEVELOPMENT PERMIT APPLICATION
3.	15 OCT 2013	ADVISORY DESIGN PANEL SUBMISSION
4.	14 NOV 2013	CITY REVIEW - STAFF COMMENTS RESPONSE
5.	11 DEC 2013	CITY REVIEW
6.	16 DEC 2013	DP APPLICATION - PRIDE TO
7.	30 MAY 2014	PROGRESS SET
8.	30 JUNE 2014	ISSUED FOR BUILDING PERMIT APPLICATION
9.	05 SEPT. 2014	ISSUED FOR ENVELOPE REVIEW
10.	29 SEPT. 2014	ISSUED FOR CITY REVIEW
11.	07 OCT 2014	REVISED PER BP COMMENTS & ISSUED FOR CITY REVIEW
12.	10 OCT 2014	ISSUED TO ADDRESS CSR DP COMMENTS
13	17 OCT 2014	UPDATED SUITE PLANS ISSUED FOR REVIEW & COORDINATION
14.	06 NOV 2014	ISSUED FOR CONSULTANT COORDINATION
15	07 NOV 2014	ISSUED FOR COORDINATION
16	17 NOV 2014	ISSUED FOR CONSULTANT COORDINATION
17	05 DEC 2014	POOL AREA REVISED PER VCH FEEDBACK
18	22 DEC 2014	REVISED & RE-ISSUED FOR COASTAL HEALTH REVIEW
19.	28 JAN. 2015	ISSUED FOR CITY GENERAL COMPLIANCE REVIEW
20	23 JAN 2015	ISSUED FOR CONSULTANT COORDINATION
21	30 FEB 2015	ISSUED FOR CONSULTANT COORDINATION
22	12 FEB 2015	REISSUED FOR DP GENERAL COMPLIANCE

CONCORD PACIFIC

CONCORD GARDENS
PHASE 2
8988 Patterson Rd,
Richmond, BC

NORTH ELEVATION (PATTERSON ROAD)

DATE	15/02/2015 5:48:27 PM
DRAWN BY	JHL
CHECKED BY	MG
SCALE	1/8" = 1'-0"
JOB NUMBER	1251

A-5.02

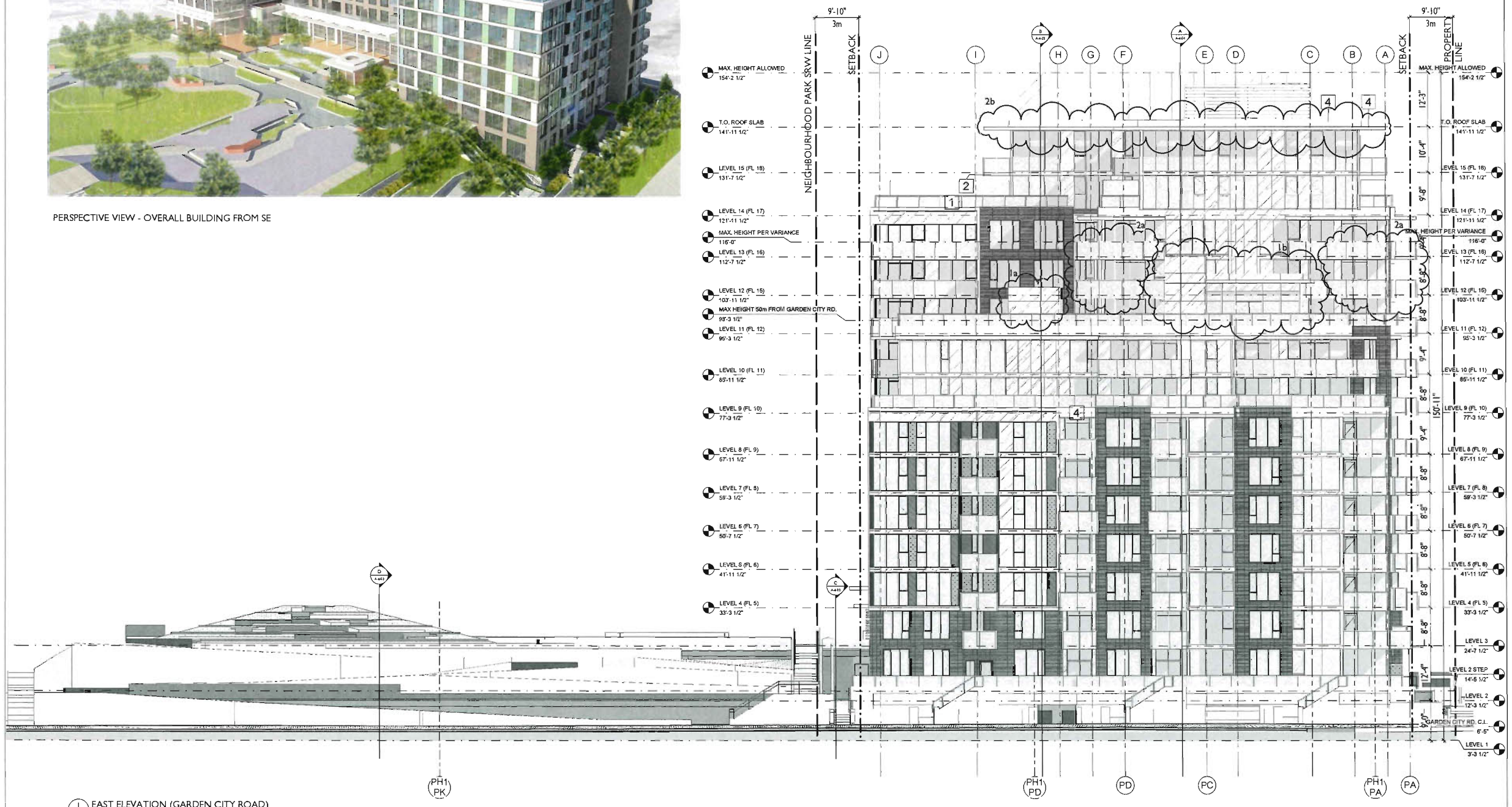
PERSPECTIVE VIEW - OVERALL BUILDING FROM SE

ZONING BYLAW VARIANCES

1a	EXIT STAIR @ LEVEL 11	INCREASE THE MAXIMUM ALLOWABLE BUILDING HEIGHT FOR PORTIONS OF THE BUILDING LOCATED LESS THAN 50.0m FROM A LOT LINE ABUTTING GARDEN CITY ROAD, FOR THE PURPOSE OF PERMITTING ENCLOSED STAIR STAFFS, AN ELEVATOR PENTHOUSE AND AN INDOOR RESIDENTIAL AMENITY SPACE FROM 28.0m TO 33.4m
1b	ELEVATOR & INDOOR AMENITY SPACE @ LEVEL 11	
1c	UNENCLOSED EXIT STAIR @ LEVEL 11	
2a	BALCONIES @ LEVELS 12 & 13	REDUCE THE MINIMUM ALLOWABLE SETBACK FROM A LOT LINE ABUTTING GARDEN CITY ROAD FOR PORTIONS OF THE BUILDING HAVING A HEIGHT GREATER THAN 28.0m, FOR THE PURPOSE OF PERMITTING A CANTILEVERED ROOF AND BALCONIES, FROM 50.0m TO 48.6m.
2b	CANTILEVERED ROOF	

MATERIALS LEGEND

- STACKED BRICK - REDONDO GRAY
- METAL PANEL - PRISMATIC FROST
- METAL PANEL - PRISMATIC LAGOON
- METAL PANEL - PRISMATIC DRAGONFLY
- 1 GUARDRAILS - CLEAR GLASS
- 2 GUARDRAILS - FRITTED GLASS BYPASS
- 3 WINDOW MULLIONS - SEE WINDOW SCHEDULE FOR COLOURS
- 4 ARCHITECTURAL PAINTED CONCRETE - COLOUR WHITE



EAST ELEVATION (GARDEN CITY ROAD)
A-5.01 1/8" = 1'-0"

gbl

GBL ARCHITECTS INC.
109 EAST 8th AVENUE
VANCOUVER, BC CANADA V5T 1R8
TEL 604 736 1156
FAX 604 731 5079

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Legal Address: LOT 1, SECTIONS 27 AND 28; BLOCK 5, NORTH RANGE 6 WEST; NEW WESTMINSTER DISTRICT PLAN EPP27512

Replacement Plan 11

DP 13-642725 Feb 16/15

REVISIONS

NO	DATE	DESCRIPTION
1.	14 MAR 2013	PROGRESS SET
2.	29 JULY 2013	DEVELOPMENT PERMIT APPLICATION
3.	31 OCT 2013	ADVISORY DESIGN PANEL SUBMISSION
4.	14 NOV 2013	CITY REVIEW - STAFF COMMENTS RESPONSE
5.	17 DEC 2013	CNT REVIEW
6.	18 DEC 2013	DP APPLICATION - PRIOR TO
7.	23 MAY 2014	PROGRESS SET
8.	30 JUNE 2014	ISSUED FOR BUILDING PERMIT APPLICATION
9.	05 SEPT 2014	ISSUED FOR ENVELOPE REVIEW
10.	29 SEPT 2014	ISSUED FOR CITY REVIEW
11.	07 OCT 2014	REVISED DP RE-COMMENTS & ISSUED FOR CDR REVIEW
12.	14 OCT 2014	ISSUED TO ADDRESS CDR DP COMMENTS
13.	17 OCT 2014	UPDATED SUITE PLANS ISSUED FOR REVIEW & COORDINATION
14.	06 NOV 2014	ISSUED FOR COASTAL HEALTH REVIEW
15.	07 NOV 2014	ISSUED FOR COORDINATION
16.	17 NOV 2014	ISSUED FOR CONSULTANT COORDINATION
17.	19 DEC 2014	POOL AREA REVISED PER HDI FEEDBACK
18.	22 DEC 2014	REVISED & RE-ISSUED FOR COASTAL HEALTH REVIEW
19.	20 JAN 2015	ISSUED FOR CITY GENERAL COMPLIANCE REVIEW
20.	23 JAN 2015	ISSUED FOR CONSULTANT COORDINATION
21.	03 FEB 2015	ISSUED FOR CONSULTANT COORDINATION
22.	13 FEB 2015	REISSUED FOR DP GENERAL COMPLIANCE

CONCORD PACIFIC

CONCORD GARDENS
PHASE 2
8988 Patterson Rd,
Richmond, BC

EAST ELEVATION (GARDEN CITY RD)

DATE	14/02/2015 3:33:59 PM
DRAWN BY	JHL
CHECKED BY	MS
SCALE	1/8" = 1'-0"
JOB NUMBER	1251

A-5.03

PERSPECTIVE VIEW - SOUTH ELEVATION FROM SE CORNER OF PUBLIC PARK

PERSPECTIVE VIEW - POOL PATIO EYEBROW & COLUMNS

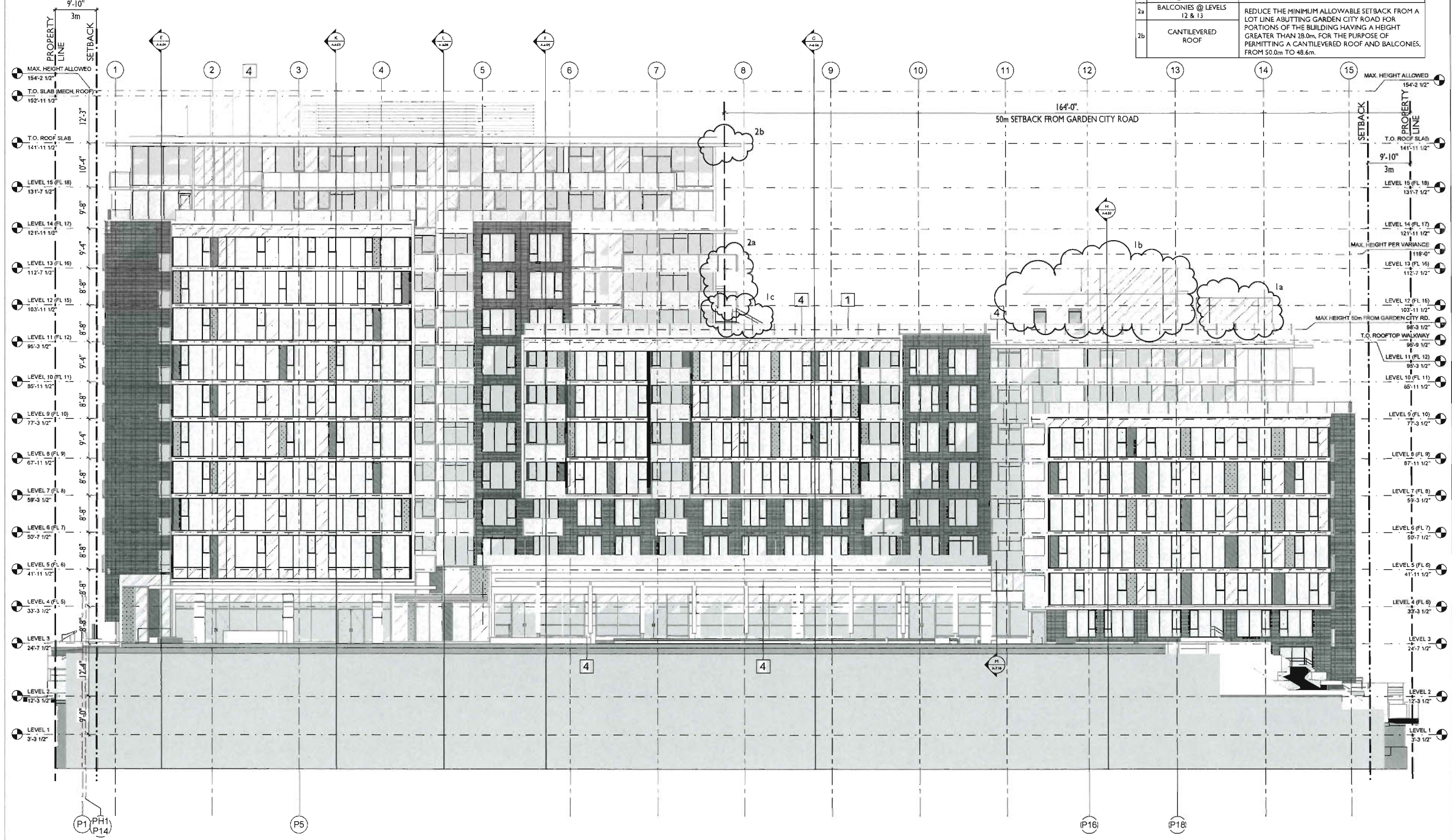
PERSPECTIVE VIEW - LANDSCAPE PAVILION FROM BALLROOM PATIO

MATERIALS LEGEND

- STACKED BRICK - REDONDO GRAY
- METAL PANEL - PRISMATIC FROST
- METAL PANEL - PRISMATIC LAGOON
- METAL PANEL - PRISMATIC DRAGONFLY
- [1] GUARDRAILS - CLEAR GLASS
- [2] GUARDRAILS - FRITTED GLASS BYPASS
- [3] WINDOW MULLIONS - SEE WINDOW SCHEDULE FOR COLOURS
- [4] ARCHITECTURAL PAINTED CONCRETE - COLOUR WHITE

ZONING BYLAW VARIANCES

1a	EXIT STAIR @ LEVEL 11	INCREASE THE MAXIMUM ALLOWABLE BUILDING HEIGHT FOR PORTIONS OF THE BUILDING LOCATED LESS THAN 50.0m FROM A LOT LINE ABUTTING GARDEN CITY ROAD, FOR THE PURPOSE OF PERMITTING ENCLOSED STAIR SHAFTS, AN ELEVATOR PENTHOUSE AND AN INDOOR RESIDENTIAL AMENITY SPACE FROM 28.0m TO 33.4m.
1b	ELEVATOR & INDOOR AMENITY SPACE @ LEVEL 11	
1c	UNENCLOSED EXIT STAIR @ LEVEL 11	
2a	BALCONIES @ LEVELS 12 & 13	REDUCE THE MINIMUM ALLOWABLE SETBACK FROM A LOT LINE ABUTTING GARDEN CITY ROAD FOR PORTIONS OF THE BUILDING HAVING A HEIGHT GREATER THAN 28.0m, FOR THE PURPOSE OF PERMITTING A CANTILEVERED ROOF AND BALCONIES, FROM 50.0m TO 48.6m.
2b	CANTILEVERED ROOF	



1 SOUTH ELEVATION (NEIGHBORHOOD PARK)
A-5.04 1/8" = 1'-0"

gbl

GBL ARCHITECTS INC
TEL 604 734 1136
FAX 604 731 0279

Legal Address: LOT 1, SECTIONS 27 AND 28, BLOCK 5, NORTH RANGE 6 WEST, NEW WESTMINSTER DISTRICT PLAN EPP27512

Replacement Plan 12

DP 13-642725 Feb 16/15

REVISIONS

NO.	DATE	DESCRIPTION
1.	14 MAR 2013	PROGRESS SET
2.	29 JULY 2013	DEVELOPMENT PERMIT APPLICATION
3.	15 OCT 2013	ADVISORY DESIGN PANEL SUBMISSION
4.	14 NOV 2013	CITY REVIEW - STAFF COMMENTS RESPONSE
5.	10 DEC 2013	CITY REVIEW
6.	16 DEC 2013	DP APPLICATION - PRIOR TO
7.	28 MAY 2014	PROGRESS SET
8.	26 JUNE 2014	ISSUED FOR BUILDING PERMIT APPLICATION
9.	05 SEPT 2014	ISSUED FOR ENVELOPE REVIEW
10.	29 SEPT 2014	ISSUED FOR CITY REVIEW
11.	07 OCT 2014	REVISED PER BP COMMENTS & ISSUED FOR TDR REVIEW
12.	16 OCT 2014	ISSUED TO ADDRESS CDN DP COMMENTS
13.	17 OCT 2014	UPDATED SUITE PLANS ISSUED FOR REVIEW & COORDINATION
14.	06 NOV 2014	ISSUED FOR COASTAL HEALTH REVIEW
15.	07 NOV 2014	ISSUED FOR COORDINATION
16.	17 NOV 2014	ISSUED FOR CONSULTANT COORDINATION
17.	01 DEC 2014	POOL AREA REVISED PER VCH FEEDBACK
18.	22 DEC 2014	REVISED & RE-ISSUED FOR COASTAL HEALTH REVIEW
19.	20 JAN 2015	ISSUED FOR CITY GENERAL COMPLIANCE REVIEW
20.	27 JAN 2015	ISSUED FOR CONSULTANT COORDINATION
21.	03 FEB 2015	ISSUED FOR CONSULTANT COORDINATION
22.	13 FEB 2015	REISSUED FOR DP GENERAL COMPLIANCE

CONCORD PACIFIC

CONCORD GARDENS
PHASE 2
8988 Patterson Rd,
Richmond, BC

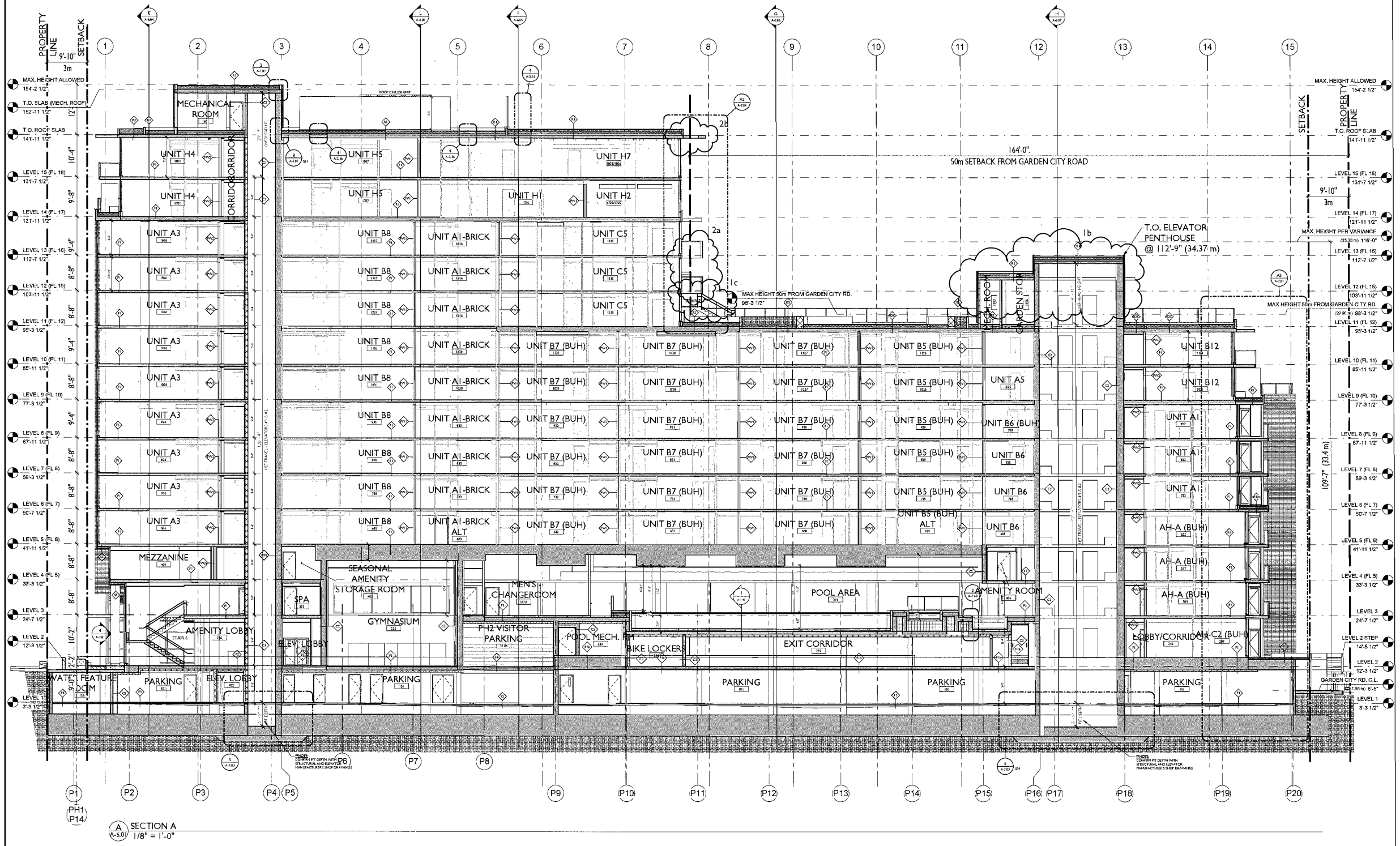
SOUTH ELEVATION (NEIGHBORHOOD PARK)

DATE	15/02/2015 4:55:36 PM
DRAWN BY	JHG
CHECKED BY	MG
SCALE	1/8" = 1'-0"
JOB NUMBER	1251

A-5.04

ZONING BYLAW VARIANCES

1a	EXIT STAIR @ LEVEL 11	INCREASE THE MAXIMUM ALLOWABLE BUILDING HEIGHT FOR PORTIONS OF THE BUILDING LOCATED LESS THAN 50.0m FROM A LOT LINE ABUTTING GARDEN CITY ROAD, FOR THE PURPOSE OF PERMITTING ENCLOSED STAIR SHAFTS, AN ELEVATOR PENTHOUSE AND AN INDOOR RESIDENTIAL AMENITY SPACE FROM 28.0m TO 33.4m.
1b	ELEVATOR & INDOOR AMENITY SPACE @ LEVEL 11	
1c	UNENCLOSED EXIT STAIR @ LEVEL 11	
2a	BALCONIES @ LEVELS 12 & 13	REDUCE THE MINIMUM ALLOWABLE SETBACK FROM A LOT LINE ABUTTING GARDEN CITY ROAD FOR PORTIONS OF THE BUILDING HAVING A HEIGHT GREATER THAN 28.0m, FOR THE PURPOSE OF PERMITTING A CANTILEVERED ROOF AND BALCONIES, FROM 50.0m TO 48.6m.
2b	CANTILEVERED ROOF	



A SECTION A
A-6.01 1/8" = 1'-0"

gbl

GBL ARCHITECTS INC.
121 EAST 8th AVENUE
VANCOUVER, BC CANADA V5T 1R8
TEL 604 736 1156
FAX 604 731 5279

Legal Address: LOT 1; SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6 WEST; NEW WESTMINSTER DISTRICT PLAN EPP27512

Replacement Plan 13
DP 13-642725 Feb 16/15

REVISIONS

NO	DATE	DESCRIPTION
1.	26 MAR 2013	PROGRESS SET
2.	29 JULY 2013	DEVELOPMENT PERMIT APPLICATION
3.	15 OCT 2013	ADVISORY DESIGN PANEL SUBMISSION
4.	14 NOV 2013	CITY REVIEW - STAFF COMMENTS RESPONSE
5.	11 DEC 2013	CITY REVIEW
6.	16 DEC 2013	DP APPLICATION - PRIOR TO
7.	30 MAY 2014	PROGRESS SET
8.	06 JUNE 2014	ISSUED FOR BUILDING PERMIT APPLICATION
9.	05 SEPT 2014	ISSUED FOR ENVELOPE REVIEW
10.	09 SEPT 2014	ISSUED FOR CITY REVIEW
11.	07 OCT 2014	REVISED PER BP COMMENTS & ISSUED FOR DCN REVIEW
12.	14 OCT 2014	ISSUED TO ADDRESS DCN DP COMMENTS
13.	17 OCT 2014	UPDATED SUITE PLANS
14.	06 NOV 2014	ISSUED FOR REVIEW & COORDINATION
15.	07 NOV 2014	ISSUED FOR COASTAL HEALTH REVIEW
16.	07 NOV 2014	ISSUED FOR COORDINATION
17.	17 NOV 2014	ISSUED FOR CONSULTANT COORDINATION
18.	19 DEC 2014	POOL AREA REVISED PER VCH FEEDBACK
19.	22 DEC 2014	REVISED & RE-ISSUED FOR COASTAL HEALTH REVIEW
20.	20 JAN 2015	ISSUED FOR CITY GENERAL COMPLIANCE REVIEW
21.	29 JAN 2015	ISSUED FOR CONSULTANT COORDINATION
22.	03 FEB 2015	ISSUED FOR CONSULTANT COORDINATION
23.	19 FEB 2015	REISSUED FOR DP GENERAL COMPLIANCE

CONCORD PACIFIC

CONCORD GARDENS
PHASE 2
8988 Patterson Rd,
Richmond, BC

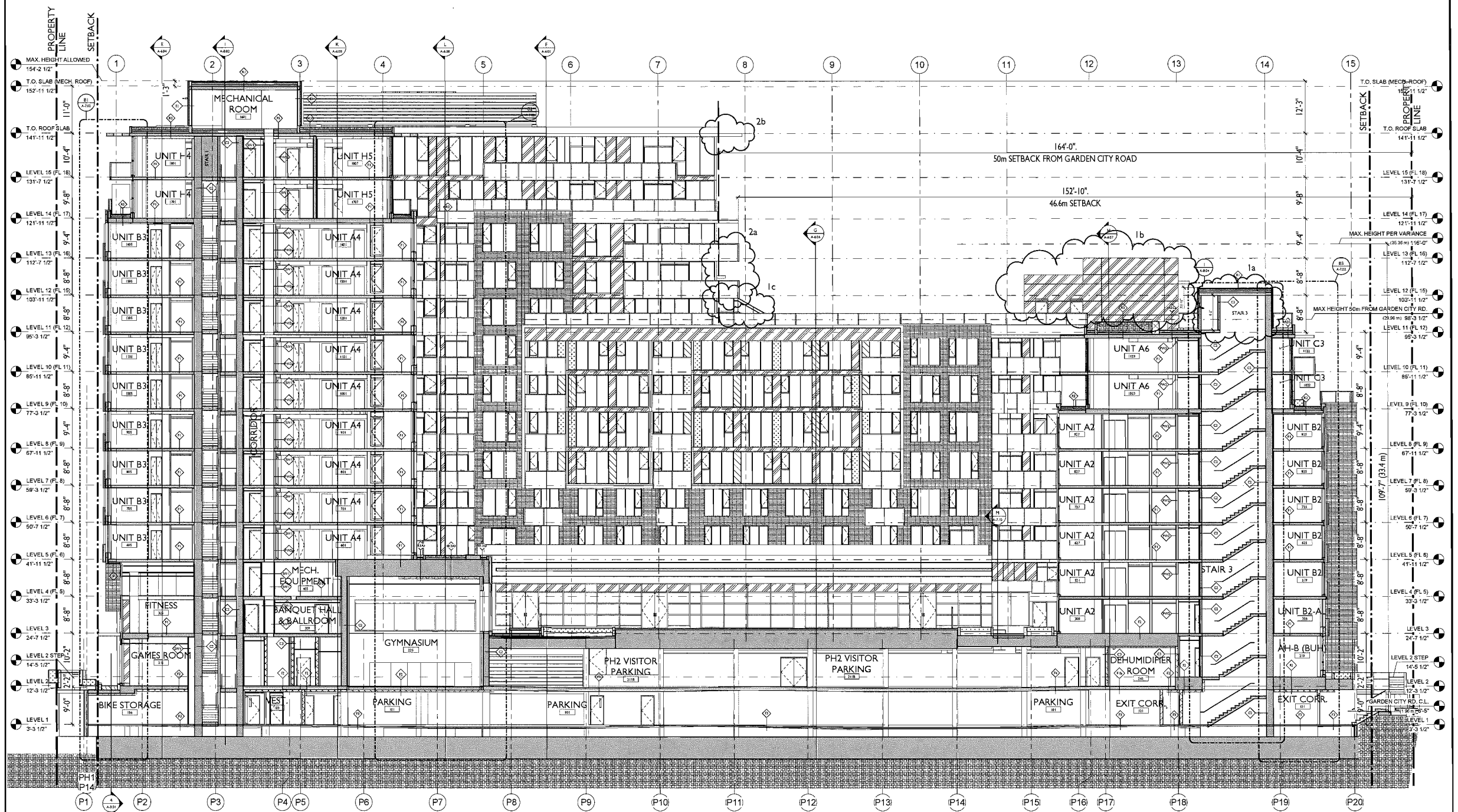
SECTION A

DATE	15/02/2015 7:12:44 PM
DRAWN BY	JH/LS/R
CHECKED BY	MG
SCALE	1/8" = 1'-0"
JOB NUMBER	1251

A-6.01

ZONING BYLAW VARIANCES

1a	EXIT STAIR @ LEVEL 11	INCREASE THE MAXIMUM ALLOWABLE BUILDING HEIGHT FOR PORTIONS OF THE BUILDING LOCATED LESS THAN 50.0m FROM A LOT LINE ABUTTING GARDEN CITY ROAD, FOR THE PURPOSE OF PERMITTING ENCLOSED STAIR SHAFTS, AN ELEVATOR PENTHOUSE AND AN INDOOR RESIDENTIAL AMENITY SPACE FROM 28.0m TO 33.4m.
1b	ELEVATOR & INDOOR AMENITY SPACE @ LEVEL 11	
1c	UNENCLOSED EXIT STAIR @ LEVEL 11	
2a	BALCONIES @ LEVELS 12 & 13	REDUCE THE MINIMUM ALLOWABLE SETBACK FROM A LOT LINE ABUTTING GARDEN CITY ROAD FOR PORTIONS OF THE BUILDING HAVING A HEIGHT GREATER THAN 28.0m, FOR THE PURPOSE OF PERMITTING A CANTILEVERED ROOF AND BALCONIES, FROM 50.0m TO 48.6m.
2b	CANTILEVERED ROOF	



B A-6.02 SECTION B
1/8" = 1'-0"

gbl

GBL ARCHITECTS, INC.
1129 EAST 8th AVENUE
VANCOUVER, BC CANADA V5T 1R8
TEL 604 736 1136
FAX 604 731 5279

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Replacement Plan 14

DP 13-642725 Feb 16/15

REVISIONS

NO	DATE	DESCRIPTION
1.	31 MAR 2013	PROGRESS SET
2.	29 JULY 2013	DEVELOPMENT PERMIT APPLICATION
3.	15 OCT 2013	ADVISORY DESIGN PANEL SUBMISSION
4.	14 NOV 2013	CITY REVIEW - STAFF COMMENTS RESPONSE
5.	11 DEC 2013	CITY REVIEW
6.	16 DEC 2013	DP APPLICATION - PRIOR TO
7.	30 MAY 2014	PROGRESS SET
8.	06 JUNE 2014	ISSUED FOR BUILDING PERMIT APPLICATION
9.	05 SEPT 2014	ISSUED FOR ENVELOPE REVIEW
10.	29 SEPT 2014	ISSUED FOR CITY REVIEW
11.	07 OCT 2014	REVISED PER BP COMMENTS & ISSUED FOR COR REVIEW
12	14 OCT 2014	ISSUED TO ADDRESS COR DP COMMENTS
13.	17 OCT 2014	MITIGATED SLITE PLANS ISSUED FOR REVIEW & COORDINATION
14.	06 NOV 2014	ISSUED FOR COASTAL HEALTH REVIEW
15	07 NOV 2014	ISSUED FOR COORDINATION
16	17 NOV 2014	ISSUED FOR CONSULTANT COORDINATION
17	19 DEC 2014	POOL AREA REVISED PER VCH FEEDBACK
18	22 DEC 2014	REVISED & RE-ISSUED FOR COASTAL HEALTH REVIEW
19	20 JAN 2015	ISSUED FOR CITY GENERAL COMPLIANCE REVIEW
20.	23 JAN 2015	ISSUED FOR CONSULTANT COORDINATION
21.	30 FEB 2015	ISSUED FOR CONSULTANT COORDINATION
22	13 FEB 2015	REISSUED FOR DP GENERAL COMPLIANCE

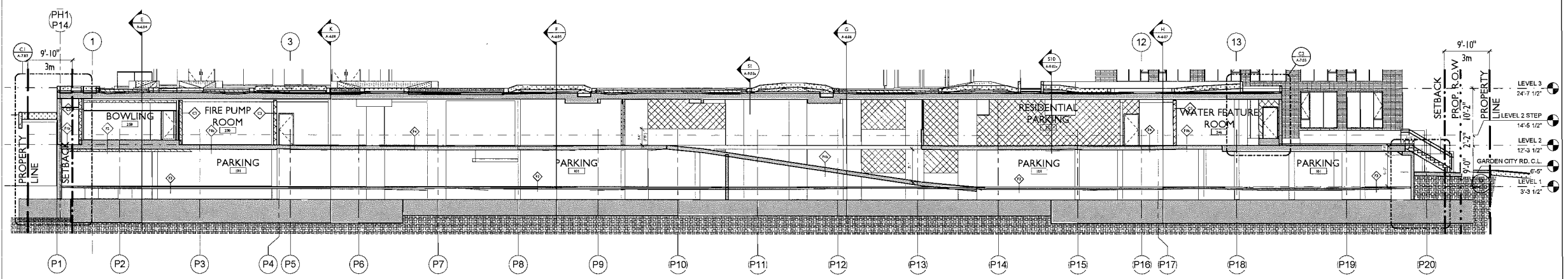
CONCORD PACIFIC

CONCORD GARDENS
PHASE 2
8988 Patterson Rd,
Richmond, BC

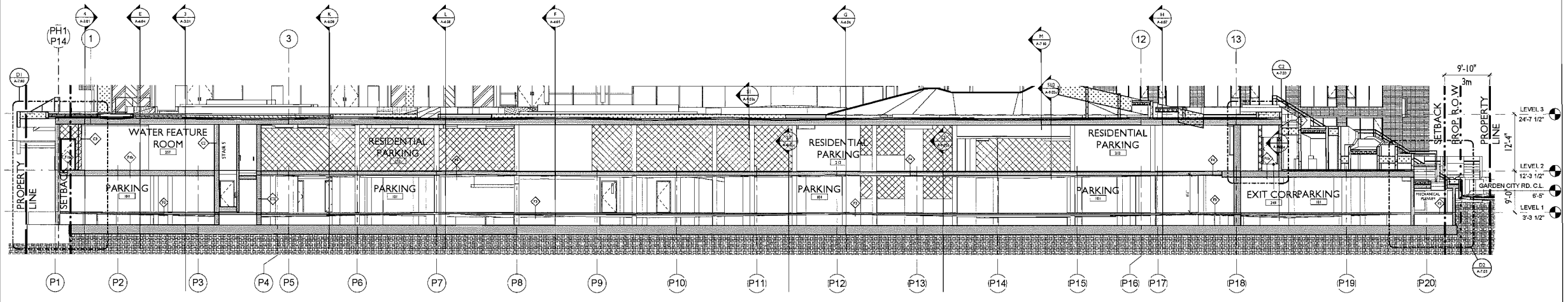
SECTION B

DATE	19/02/2015 7:25:14 PM
DRAWN BY	JML/SR
CHECKED BY	RG
SCALE	1/8" = 1'-0"
JOB NUMBER	1251

A-6.02



C A-6.03 SECTION C
1/8" = 1'-0"



D A-6.03 SECTION D
1/8" = 1'-0"

gbl

GBL ARCHITECTS INC
1304 EAST 8th AVENUE
VANCOUVER, BC CANADA V5T 1R2
TEL 604 736 1156
FAX 604 731 0279

Legal Address: LOT 1; SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6 WEST; NEW WESTMINSTER DISTRICT PLAN eag27512

Replacement Plan 15
DP 13-642725 Feb 16/15

REVISIONS

NO.	DATE	DESCRIPTION
1	14 MAR 2013	PROGRESS SET
2.	29 JULY 2013	DEVELOPMENT PERMIT APPLICATION
3.	15 OCT 2013	ADVISORY DESIGN PANEL SUBMISSION
4	14 NOV 2013	CITY REVIEW - STAFF COMMENTS RESPONSE
5	11 DEC 2013	CITY REVIEW
6	16 DEC 2013	DP APPLICATION - PRIOR TO
7	30 MAY 2014	PROGRESS SET
8	30 JUNE 2014	ISSUED FOR BUILDING PERMIT APPLICATION
9.	05 SEPT 2014	ISSUED FOR ENVELOPE REVIEW
10.	29 SEPT 2014	ISSUED FOR CITY REVIEW
11.	07 OCT 2014	REVISED PER BP COMMENTS & ISSUED FOR CDR REVIEW
12.	14 OCT 2014	ISSUED TO ADDRESS CDR DP COMMENTS
13	17 OCT 2014	UPDATED SUITE PLANS ISSUED FOR REVIEW & COORDINATION
14.	06 NOV 2014	ISSUED FOR COASTAL HEALTH REVIEW
15.	07 NOV 2014	ISSUED FOR COORDINATION
16.	17 NOV 2014	ISSUED FOR CONSULTANT COORDINATION
17.	19 DEC 2014	POOL AREA REVISED PER VCH FEEDBACK
18.	22 DEC 2014	REVISED & RE-ISSUED FOR COASTAL HEALTH REVIEW
19	20 JAN 2015	ISSUED FOR CITY GENERAL COMPLIANCE REVIEW
20.	22 JAN 2015	ISSUED FOR CONSULTANT COORDINATION
21.	03 FEB 2015	ISSUED FOR CONSULTANT COORDINATION
22.	13 FEB 2015	REISSUED FOR DP GENERAL COMPLIANCE

CONCORD PACIFIC

CONCORD GARDENS
PHASE 2
8988 Patterson Rd,
Richmond, BC

SECTIONS C & D

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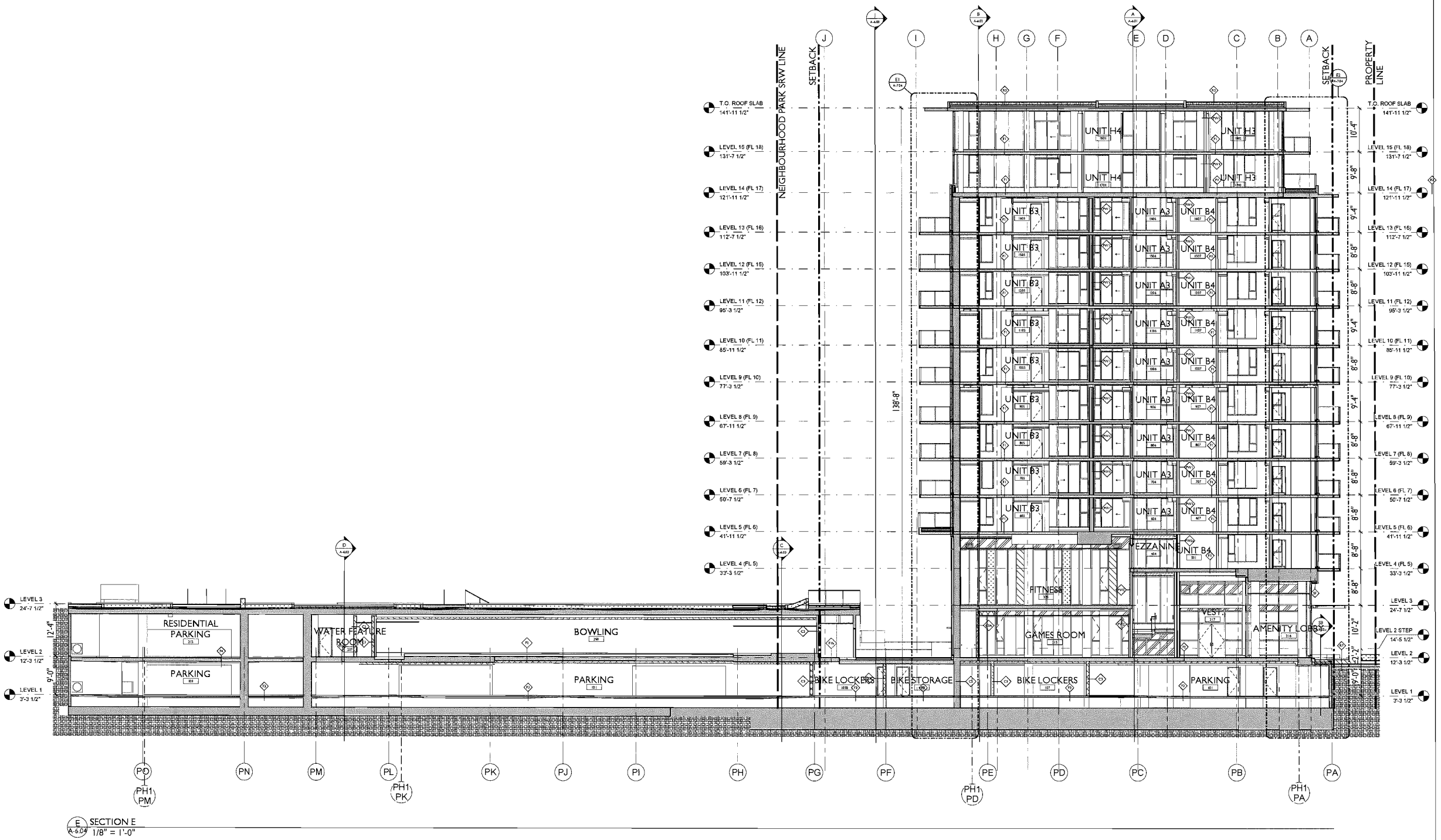
JOB NUMBER	1251

A-6.03

ZONING BYLAW VARIANCES

1a	EXIT STAIR @ LEVEL 11	INCREASE THE MAXIMUM ALLOWABLE BUILDING HEIGHT FOR PORTIONS OF THE BUILDING LOCATED LESS THAN 50.0m FROM A LOT LINE ABUTTING GARDEN CITY ROAD, FOR THE PURPOSE OF PERMITTING ENCLOSED STAIR SHAFTS, AN ELEVATOR PENTHOUSE AND AN INDOOR RESIDENTIAL AMENITY SPACE FROM 28.0m TO 33.4m.
1b	ELEVATOR & INDOOR AMENITY SPACE @ LEVEL 11	
1c	UNENCLOSED EXIT STAIR @ LEVEL 11	
2a	BALCONIES @ LEVELS 12 & 13	REDUCE THE MINIMUM ALLOWABLE SETBACK FROM A LOT LINE ABUTTING GARDEN CITY ROAD FOR PORTIONS OF THE BUILDING HAVING A HEIGHT GREATER THAN 28.0m, FOR THE PURPOSE OF PERMITTING A CANTILEVERED ROOF AND BALCONIES, FROM 50.0m TO 48.6m.
2b	CANTILEVERED ROOF	



E SECTION E
A-6.04 1/8" = 1'-0"

gbl

GBL ARCHITECTS INC.
109 EAST 8th AVENUE
VANCOUVER, BC CANADA V5T 1R8
TEL 604 736 1136
FAX 604 736 5079

Legal Address: LOT 1; SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6 WEST; NEW WESTMINSTER DISTRICT PLAN epp27512

Replacement Plan 16

DP 13-642725 Feb 16/15

REVISIONS

NO	DATE	DESCRIPTION
1.	14 MAR 2013	PROGRESS SET
2.	29 JULY 2013	DEVELOPMENT PERMIT APPLICATION
3	15 OCT 2013	ADVISORY DESIGN PANEL SUBMISSION
4.	14 NOV 2013	CITY REVIEW - STAFF COMMENTS RESPONSE
5	11 DEC 2013	CITY REVIEW
6.	16 DEC 2013	DP APPLICATION - PRIOR TO
7.	30 MAY 2014	PROGRESS SET
8.	30 JUNE 2014	ISSUED FOR BUILDING PERMIT APPLICATION
9.	05 SEPT 2014	ISSUED FOR ENVELOPE REVIEW
10	29 SEPT 2014	ISSUED FOR CITY REVIEW
11	07 OCT 2014	REVISED PER DP COMMENTS & ISSUED FOR COR REVIEW
12.	14 OCT 2014	ISSUED TO ADDRESS COR DP COMMENTS
13.	17 OCT 2014	UPDATED SUITE PLANS ISSUED FOR REVIEW & COORDINATION
14.	04 NOV 2014	ISSUED FOR COASTAL HEALTH REVIEW
15	07 NOV 2014	ISSUED FOR COORDINATION
16	17 NOV 2014	ISSUED FOR CONSULTANT COORDINATION
17	19 DEC 2014	POOL AREA REVISED PER VCH FEEDBACK
18.	22 DEC 2014	REVISED & RE-ISSUED FOR COASTAL HEALTH REVIEW
19	29 JAN 2015	ISSUED FOR CITY GRATEFUL COMPLIANCE REVIEW
20.	23 JAN 2015	ISSUED FOR CONSULTANT COORDINATION
21.	03 FEB 2015	ISSUED FOR CONSULTANT COORDINATION
22.	13 FEB 2015	REISSUED FOR DP GENERAL COMPLIANCE

CONCORD PACIFIC

CONCORD GARDENS
PHASE 2
8988 Patterson Rd,
Richmond, BC

SECTION E

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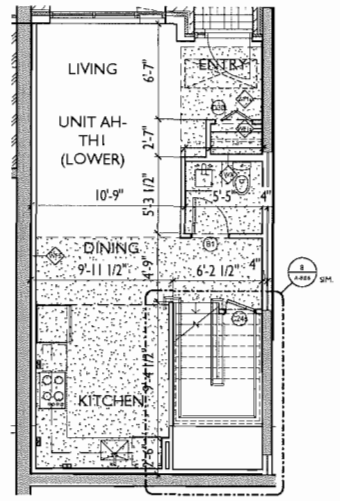
A-6.04



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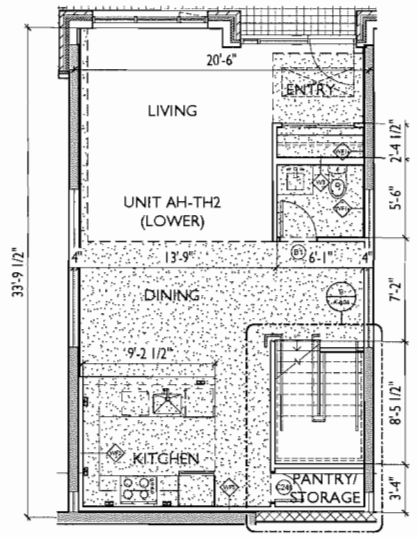
1/4" = 1'-0"



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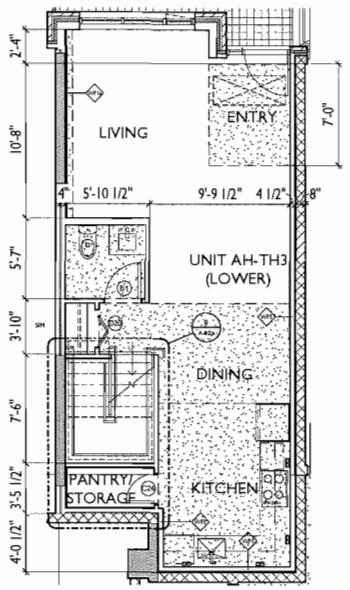

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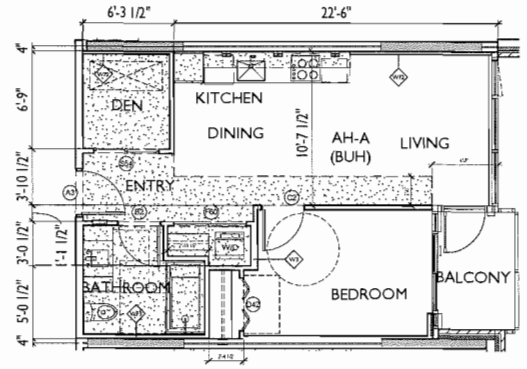

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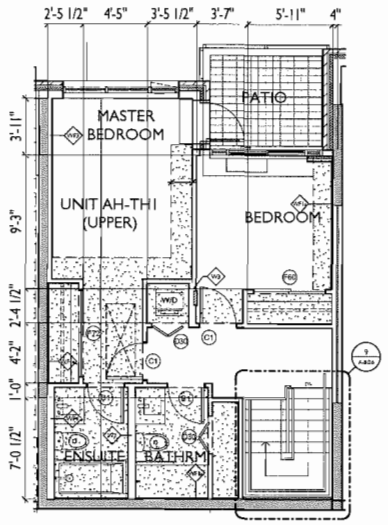

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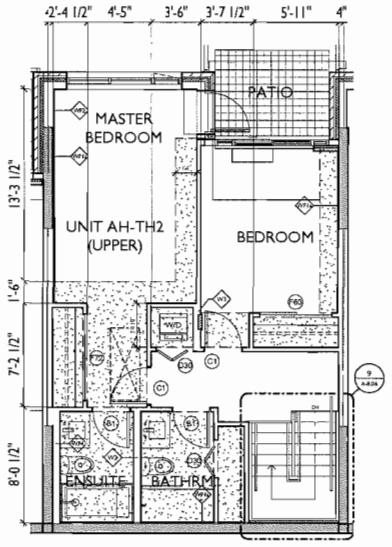

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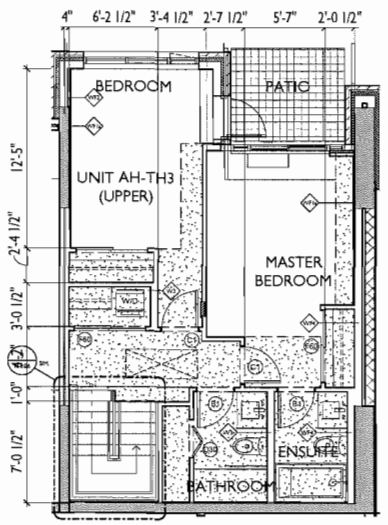

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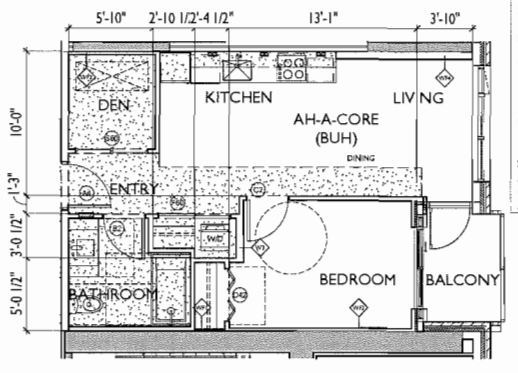

8 A-4.01 UNIT - AH-A-CORE (BUH)
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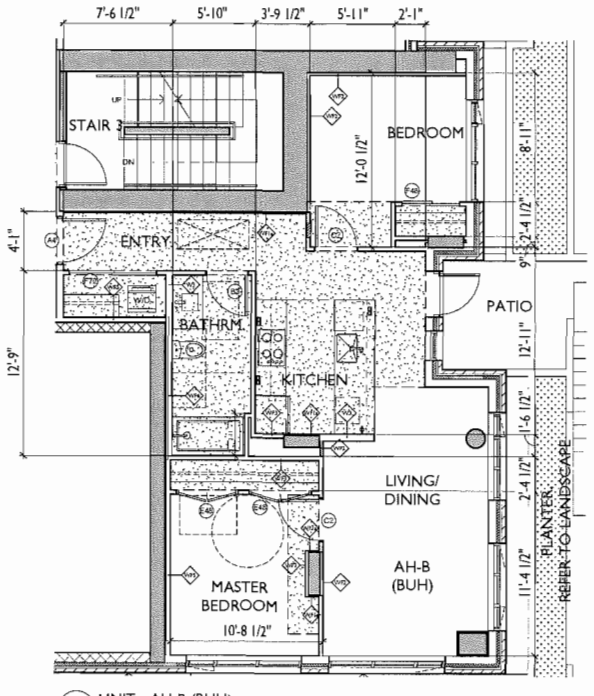

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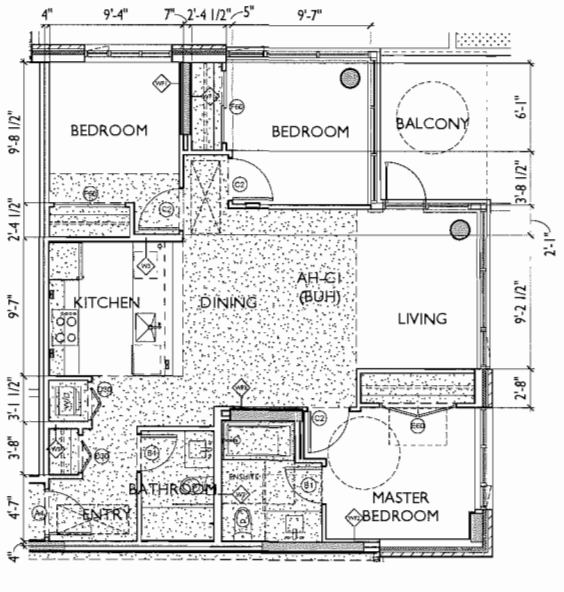

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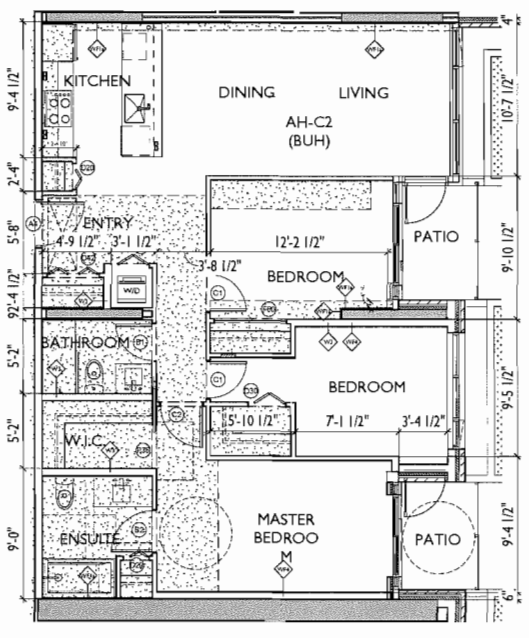
1/4" = 1'-0"



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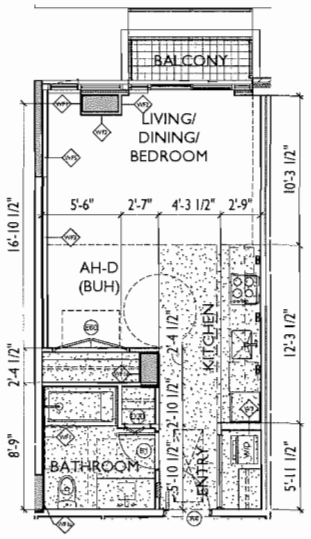

12 A-4.01 UNIT - AH-D (BUH)
1/4" = 1'-0"

GENERAL AFFORDABLE HOUSING REQUIREMENTS

- SINGLE STOREY AFFORDABLE HOUSING (AH) UNITS MUST COMPLY WITH THE CITY OF RICHMOND ZONING BYLAW REQUIREMENTS FOR BASIC UNIVERSAL HOUSING (BUH), REFER TO SHEET A4.02 FOR NOTES REGARDING BUH UNIT STANDARDS & REQUIREMENTS.
- TWO STOREY AH UNITS MUST PROVIDE AGING IN PLACE

BASIC UNIVERSAL HOUSING FEATURES - NOTES:
BUH HAS BEEN ADDED TO THE TITLE OF UNITS THAT INCORPORATE "BASIC UNIVERSAL HOUSING FEATURES" TO COMPLY WITH RICHMOND ZONING BYLAW

1) AN AUTOMATIC DOOR OPENER SHALL BE PROVIDED FOR THE MAIN ENTRY (@ MAIN LOBBY).

FOR DETAILED FEATURES OF HANDICAPPED AND BASIC UNIVERSAL HOUSING
- REFER TO PAGE A-4.02

UNIT PLAN GENERAL NOTES:

1. REFER TO FLOOR PLANS FOR ORIENTATION OF UNIT PLANS, WINDOW TYPE DESIGNATIONS.

2. REFER TO INTERIOR DESIGN DWGS FOR FINISHES AT DWELLING UNITS.

3. ALL INTERIOR PARTITION WALLS TO BE WALL TYPE 'W2' AND EXTEND TO U/S OF SLAB U.N.O.

4. ALL BATHTUBS TO BE 2'-8" x 5'-0" U.N.O. ALL SHOWERS TO BE 3'-0" x 3'-0" MIN. U.N.O. CONFIRM ACTUAL ROUGH-IN WITH SUPPLIER PRIOR TO FRAMING. FRAMING AT TUBS AND SHOWERS TO EXTEND MIN. 2-1/2" PAST EDGE OF TUB OR SHOWER FOR TILE AND GWB FINISHING. REFER TO INTERIOR DESIGN DRAWINGS.

5. VERIFY PRIOR TO CONSTRUCTION THAT ALL APPLIANCES FIT WITHIN THE DIMENSIONS SPECIFIED (INCLUDING CLEARANCES FOR FRIDGE DOOR IN OPEN POSITION).

6. GC TO SUPPLY AND INSTALL BACKING TO ALL WALL MOUNTED ELECTRICAL FIXTURES, TOILET PAPER HOLDERS, TOWEL BARS, TOWEL RINGS ETC. AS REQUIRED. GC TO COORDINATE AND REVIEW ALL DRAWINGS (ARCHITECTURAL, MECHANICAL, ELECTRICAL AND INTERIOR DESIGN) FOR BACKING REQUIREMENTS. BACKING INSTALLATION SHALL BE REVIEWED AND APPROVED BY OWNER PRIOR TO INSTALLATION OF GYPSUM WALL BOARD.

7. ALL INTERIOR DOORS ARE TO BE CENTERED AT WALL OR 5" FROM THE NEAREST WALL U.N.O.

8. ALL WALL SURFACES SHALL BE FLUSH U.N.O. ENSURE FLUSH GYPSUM BOARD FINISH AT WALL TYPE TRANSITIONS.

9. REFER TO INTERIOR DESIGN PACKAGE FOR COORDINATED LOCATIONS OF CEILING MOUNTED FIXTURES & MECHANICAL UNIT ACCESS PANEL DETAILS.

10. ALL CONDUIT, DUCTWORK, PLUMBING, DRAIN, GAS & SERVICE LINES ARE TO BE ENCLOSED WITHIN GWB CEILING AND/OR BULKHEAD ASSEMBLIES. G.C. TO REVIEW CONSULTANT DRAWING PACKAGES AND, IF CONFLICTS ARISE, ADVISE ARCHITECT PRIOR TO SERVICE INSTALLATION.

gbl
GBL ARCHITECTS INC.
939 EAST 6th AVENUE
VANCOUVER, BC CANADA V5T 1R8
TEL 604 736 1156
FAX 604 733 5379

Legal Address: LOT 1; SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6 WEST; NEW WESTMINSTER DISTRICT PLAN EPP27512

Replacement Plan 17A
DP 13-642725 Feb 16/15

REVISIONS

NO	DATE	DESCRIPTION
1.	16 MAR 2013	PROGRESS SET
2.	29 JULY 2013	DEVELOPMENT PERMIT APPLICATION
3.	15 OCT 2013	ADVISORY DESIGN PANEL SUBMISSION
4.	14 NOV 2013	CITY REVIEW - STAFF COMMENTS RESPONSE
5.	13 DEC 2013	CITY REVIEW
6.	16 DEC 2013	DP APPLICATION - PRIORITY
7.	28 MAY 2014	PROGRESS SET
8.	30 JUNE 2014	ISSUED FOR BUILDING PERMIT APPLICATION
9.	05 SEPT 2014	ISSUED FOR BA ENVELOPE REVIEW
10.	29 SEPT 2014	ISSUED FOR CITY REVIEW
11.	07 OCT 2014	REVISED PER BP COMMENTS & ISSUED FOR COR REVIEW
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13.	17 OCT 2014	UPDATED SUITE PLANS ISSUED FOR REVIEW & COORDINATION
14.	06 NOV 2014	ISSUED FOR COASTAL HEALTH REVIEW
15.	07 NOV 2014	ISSUED FOR COORDINATION
16.	17 NOV 2014	ISSUED FOR CONSULTANT COORDINATION
17.	19 DEC 2014	POOL AREA REVISED PER HCD - FEEDBACK
18.	22 DEC 2014	REVISED & RE-ISSUED FOR COASTAL HEALTH REVIEW
19.	23 JAN 2015	ISSUED FOR CITY GENERAL COMPLIANCE REVIEW
20.	23 JAN 2015	ISSUED FOR CONSULTANT COORDINATION
21.	03 FEB 2015	ISSUED FOR CONSULTANT COORDINATION
22.	10 FEB 2015	REISSUED FOR DP REVISIONS & GENERAL COMPLIANCE

CONCORD PACIFIC

CONCORD GARDENS
PHASE 2
8988 Patterson Rd,
Richmond, BC

UNIT PLANS
AFFORDABLE HOUSING

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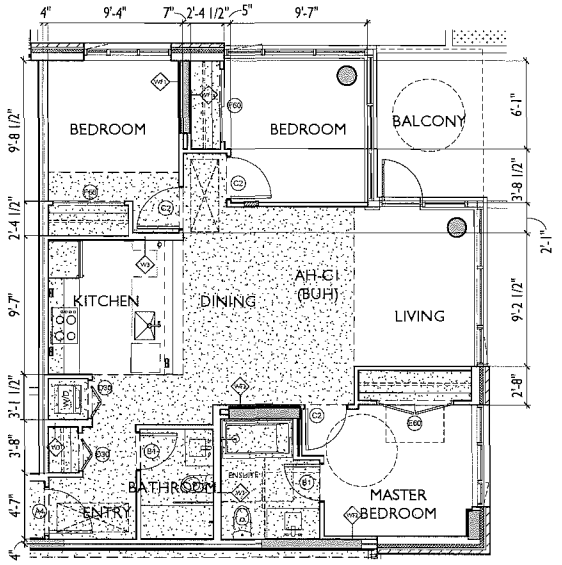
A-4.01



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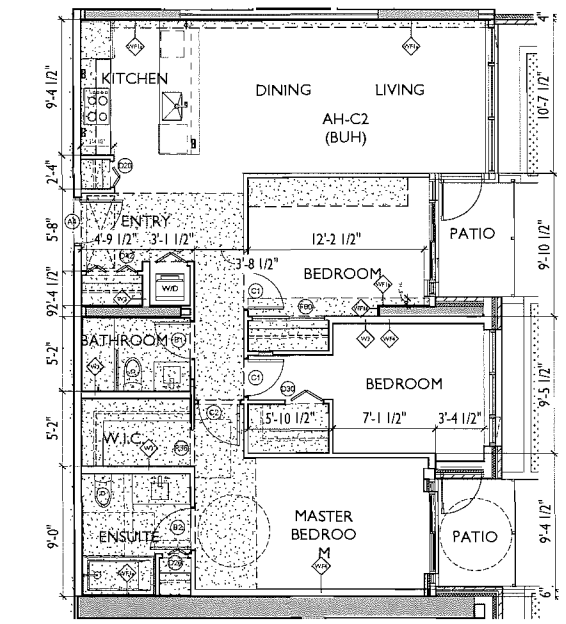
1/4" = 1'-0"



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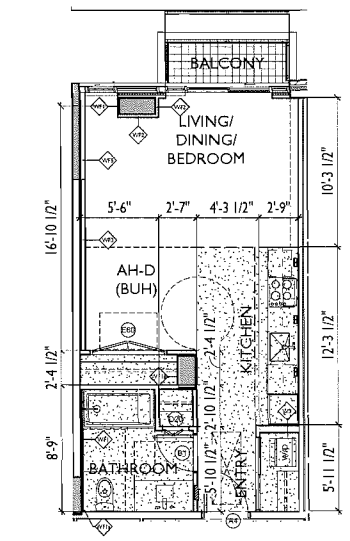

2 / A-4.02 UNIT - AH-D (BUH)
1/4" = 1'-0"

BASIC UNIVERSAL HOUSING FEATURES - NOTES:
BUH HAS BEEN ADDED TO THE TITLE OF UNITS THAT INCORPORATE "BASIC UNIVERSAL HOUSING FEATURES" TO COMPLY WITH RICHMOND ZONING BYLAW

1) AN AUTOMATIC DOOR OPENER SHALL BE PROVIDED FOR THE MAIN ENTRY (@ MAIN LOBBY).

FOR DETAILED FEATURES OF HANDICAPPED AND BASIC UNIVERSAL HOUSING
- REFER TO PAGE A-4.02

UNIT PLAN GENERAL NOTES:

1. REFER TO FLOOR PLANS FOR ORIENTATION OF UNIT PLANS, WINDOW TYPE DESIGNATIONS.

2. REFER TO INTERIOR DESIGN DWGS FOR FINISHES AT DWELLING UNITS.

3. ALL INTERIOR PARTITION WALLS TO BE WALL TYPE 'W2' AND EXTEND TO U/S OF SLAB U.N.O.

4. ALL BATHTUBS TO BE 2'-8" x 5'-0" U.N.O. ALL SHOWERS TO BE 3'-0" x 3'-0" MIN. U.N.O. CONFIRM ACTUAL ROUGH-IN WITH SUPPLIER PRIOR TO FRAMING. FRAMING AT TUBS AND SHOWERS TO EXTEND MIN. 2-1/2" PAST EDGE OF TUB OR SHOWER FOR TILE AND GWB FINISHING. REFER TO INTERIOR DESIGN DRAWINGS.

5. VERIFY PRIOR TO CONSTRUCTION THAT ALL APPLIANCES FIT WITHIN THE DIMENSIONS SPECIFIED (INCLUDING CLEARANCES FOR FRIDGE DOOR IN OPEN POSITION).

6. GC TO SUPPLY AND INSTALL BACKING TO ALL WALL MOUNTED ELECTRICAL FIXTURES, TOILET PAPER HOLDERS, TOWEL BARS, TOWEL RINGS ETC. AS REQUIRED. GC TO COORDINATE AND REVIEW ALL DRAWINGS (ARCHITECTURAL, MECHANICAL, ELECTRICAL AND INTERIOR DESIGN) FOR BACKING REQUIREMENTS. BACKING INSTALLATION SHALL BE REVIEWED AND APPROVED BY OWNER PRIOR TO INSTALLATION OF GYPSUM WALL BOARD.

7. ALL INTERIOR DOORS ARE TO BE CENTERED AT WALL OR 5" FROM THE NEAREST WALL U.N.O.

8. ALL WALL SURFACES SHALL BE FLUSH U.N.O. ENSURE FLUSH GYPSUM BOARD FINISH AT WALL TYPE TRANSITIONS.

9. REFER TO INTERIOR DESIGN PACKAGE FOR COORDINATED LOCATIONS OF CEILING MOUNTED FIXTURES & MECHANICAL UNIT ACCESS PANEL DETAILS.

10. ALL CONDUIT, DUCTWORK, PLUMBING, DRAIN, GAS & SERVICE LINES ARE TO BE ENCLOSED WITHIN GWB CEILING AND/OR BULKHEAD ASSEMBLIES. G.C. TO REVIEW CONSULTANT DRAWING PACKAGES AND, IF CONFLICTS ARISE, ADVISE ARCHITECT PRIOR TO SERVICE INSTALLATION.

GENERAL BUILDING HANDICAPPED REQUIREMENTS
EXTERIOR
- RAMPS, WALKWAYS, HANDRAILS TO BE CONSTRUCTED TO MEET BCBC, CURRENT EDITION

GENERAL
- ALL THRESHOLDS TO BE A MAXIMUM OF 1/2"
- IT IS RECOMMENDED ALL EXIT DOORS HAVE A CONTRASTING OR DIFFERENT COLOUR FROM WALL SURFACES

EXTERIOR FRONT ENTRY
- PROVIDE POWER ASSISTED ENTRY DOORS
- PROVIDE HANDICAPPED ACCESSIBLE ENTER-PHONE
- PROVIDE VOICE EMERGENCY INTERCOM - CONTROLLED BY FIRE FIGHTERS AT ANNUNCIATOR PANELS PROVIDED WITH VOICE MESSAGE CAPABILITY

INTERIOR LOBBY
- FLOOR FINISH TO BE NON SLIP
- PROVIDE 5'FOOR TURNING RADIUS IN FRONT OF MAILBOXES

STAIRS
- ALL TO MEET BCBC, CURRENT EDITION, INCLUDING TACTILE WARNING STRIPS AND HANDRAILS

CORRIDORS
- OBSTRUCTIONS IN CORRIDORS TO MEET MAXIMUM PROJECTION REQUIREMENTS OF BC BUILDING ACCESS HANDBOOK, CURRENT EDITION
- PROVIDE VISUAL ALARMS WHERE FIRE GONGS/BELLS ARE INSTALLED TO MEET BCBC, CURRENT EDITION

DOORS
ACCESS TO EXIT DOORS THAT OPEN INTO OR LOCATED IN PUBLIC CORRIDOR MUST MEET BC BUILDING ACCESS HANDBOOK, CURRENT EDITION - 3'-0" WIDE DOORS MINIMUM
- DOOR ACCESS FOR IN-SWINGING DOORS - PROVIDE 24" TO WALL ON LATCH SIDE
- DOOR ACCESS FOR OUT-SWINGING DOORS - PROVIDE 12" TO WALL ON LATCH SIDE
- ALL SWING DOOR HANDLES TO BE EITHER LEVER TYPE
- ALL THRESHOLDS IN H/C SUITES TO BE A MAXIMUM OF 1/2"
- ALL THRESHOLDS TO BALCONY IN H/C SUITES TO BE MAXIMUM OF 1/2"
- INSTALL "D" PULLS ON ALL POCKET DOORS (MINIMUM DOOR SIZE OF 3'-4")
- INSTALL "D" PULLS ON ALL PATIO TYPE DOORS
- ASSURE DOOR OPENING IS AT LEAST 2'-10" CLEAR WITH DOOR IN OPEN POSITION
- ASSURE 5 FOOT TURNING RADIUS INSIDE AND OUTSIDE SUITE ENTRY DOORS AS PER VANCOUVER BUILDING BY-LAW, CURRENT EDITION
- ADJUST DOOR CLOSER TENSION FORCES TO MEET H/C REQUIREMENTS.

BASIC UNIVERSAL HOUSING FEATURES - NOTES

* DENOTES UNITS THAT INCORPORATE "BASIC UNIVERSAL HOUSING FEATURES"
WILL COMPLY WITH RICHMOND ZONING BYLAWDENOTES UNITS THAT INCORPORATE "BASIC UNIVERSAL HOUSING FEATURES"
WILL COMPLY WITH RICHMOND ZONING BYLAW
REFER TO FLOOR PLANS FOR LOCATIONS OF THE UNITS INCORPORATING "BASICE UNIVERSAL HOUSING FEATURES".

1) AN AUTOMATIC DOOR OPENER SHALL BE PROVIDED FOR THE MAIN ENTRY. (MAIN LOBBY)

2) ROUGH-IN WIRING FOR AN AUTOMATIC DOOR OPENER SHALL BE PROVIDED AT EACH UNIT ENTRY DOOR.

3) THE MINIMUM CLEAR OPENINGS FOR ALL ENTRY DOORS TO EVERY DWELLING UNIT AND DOORS IN COMMON AREAS SHALL BE NO LESS THAN 855.0 mm(WHICH WILL BE PROVIDED BY A SWING DOOR).

4) THE MINIMUM CLEAR OPENING FOR THE INTERIOR DOORS TO AT LEAST ONE BEDROOM AND ONE ACCESSIBLE BATHROOM IN EVERY DWELLING UNIT SHALL BE NO LESS THAN 800.0 mm.

5) DOORS IN EVERY DWELLING UNIT AND COMMON AREAS SHALL BE OPERABLE BY DEVICES THAT DO NOT REQUIRE TIGHT GRASPING OR TWISTING OF WRIST.

6) FLUSH THRESHOLDS THROUGHOUT THE BUILDING SHALL BE A MAXIMUM OF 13.0 mm IN HEIGHT.

7) THE ABOVE-NOTED REQUIREMENTS FOR DOORS DO NOT APPLY TO MECHANICAL ROOMS, SERVICE AREAS, CLOSETS, ETC. WHERE THROUGH ACCESS IS NOT REQUIRED AND ACCESS TO A PERSON WITH A DISABILITY IS NOT ANTICIPATED.

8) ENTRY DOORS TO EVERY DWELLING UNIT AND DOOR ASSEMBLIES IN COMMON AREAS SHALL HAVE A CLEAR AND LEVEL AREA WHICH IS NOT LESS THAN THE FOLLOWING:
A) WHERE THE DOOR SWINGS TOWARD THE AREA (PULL DOOR), 1220.0 mm LONG BY WIDTH OF THE DOOR PLUS AT LEAST 600.0 mm CLEAR SPACE ON THE LATCH SIDE.
B) WHERE THE DOOR SWINGS AWAY FROM THE AREA (PUSH DOOR), 1220.0 mm LONG BY WIDTH OF THE DOOR PLUS AT LEAST 600.0 mm CLEAR SPACE ON THE LATCH SIDE.
C) WHERE THERE ARE DOORS IN A SERIES IN COMMON AREAS, THERE MUST BE SEPARATION OF AT LEAST 1220.0 mm PLUS THE WIDTH OF THE DOOR.
D) ENTRY DOORS TO EVERY DWELLING UNIT ARE EXEMPTED FROM THE REQUIREMENT TO PROVIDE THE 1220.0 mm LONG CLEAR AREA AND 600.0 mm CLEAR SPACE IF ROUGH IN WIRING IS PROVIDED FOR FUTURE CONVERSION FOR AN AUTOMATIC DOOR OPENER.

CORRIDOR WIDTHS

9) COMMON CORRIDORS SHALL BE NO LESS THAN 1220.0 mm WIDE.

FLOOR SURFACES

10) FLOOR SURFACES THROUGHOUT THE BUILDING SHALL HAVE NO ABRUPT CHANGES IN LEVEL, I.E., A MAXIMUM BREAK OF THE FLUSH THRESHOLD OF 13.0 mm HEIGHT.

11) FLOOR SURFACES SHALL BE SLIP RESISTANT.

12) WHERE CARPETS ARE USED, THEY MUST BE FIRMLY FIXED, HAVE A FIRM UNDERLAY AND PILE UNDER 13.0 mm HEIGHT.

13) WINDOWS WHICH ARE ACCESSIBLE SHALL HAVE A WINDOW SILL HEIGHT THAT DOES NOT EXCEED 750.0 mm ABOVE THE FLOOR TO AFFORD SEATED VIEWING. AT LEAST ONE WINDOW IN THE BEDROOM AND ONE WINDOW IN THE LIVING ROOM SHALL AFFORD SUCH SEATED VIEWING.

14) WINDOWS WHICH ARE ACCESSIBLE SHALL HAVE OPENING MECHANISMS OPERABLE WITH ONE HAND AND OF A TYPE THAT DOES NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE UNIT.

OUTLETS AND SWITCHES

15) LIGHT SWITCHES, ELECTRICAL PANELS AND INTERCOM BUTTONS SHALL BE A MAXIMUM 1220.0 mm FROM THE FLOOR.

16) ELECTRICAL OUTLETS, CABLE OUTLETS AND TELEPHONE JACKS SHALL BE LOCATED NOT LESS THAN 450.0 mm FROM THE FLOOR.

17) THERMOSTATS SHALL BE LOCATED BETWEEN 900.0 mm TO 1350.0 mm FROM THE FLOOR.

18) THE OPERABLE PART OF CONTROLS SHALL BE LOCATED WITHIN REACH OF THE CLEAR FLOOR AREA THAT HAS A WIDTH OF NOT LESS THAN 750.0 mm.

19) LIGHT SWITCHES WILL BE ROCKER OR PADDLE-TYPE SWITCHES.

BATHROOMS

20) AT LEAST ONE BATHROOM SHALL:
A) HAVE A TOILET POSITIONED WITH THE CENTRE LINE OF THE TOILET 420.0 mm TO 480.0 mm FROM A SIDE WALL ON WHICH A GRAB BAR BAN BE INSTALLED AND AT LEAST 1020.0 mm FROM ANY OBSTRUCTION ON THE NON-GRAB BAR SIDE *OR* IN FRONT OF THE TOILET; AND
B) HAVE A CLEAR FLOOR AREA AT THE SINK OF 760.0 mm BY 1220.0 mm POSITIONED FOR A PARALLEL APPROACH AND CENTERED ON THE SINK.
C) HAVE A MINIMUM CLEAR AREA OF 914.0 mm IN DEPTH ALONG THE FULL LENGTH OF THE BATHTUB.
D) HAVE STRUCTURAL REINFORCEMENT IN WALLS BEHIND AND BESIDE THE TOILET AND THE WALLS AROUND THE TUB AND/OR SHOWER TO FACILITATE THE INSTALLATION OF GRAB BARS; AND
E) INCLUDE EASY TO GRASP HANDLES ON FAUCETS, E.G., LEVER-TYPE FAUCETS.

21) WHERE BATHROOMS ARE PROVIDED TO SERVE A COMMON AMENITY SPACE, AT LEAST ONE SHALL BE WHEELCHAIR ACCESSIBLE AS DESCRIBED IN THE BUILDING CODE AND THE TOP OF THE RIM OF THE TOILET IN THAT ONE BATHROOM SHALL BE 480.0 mm ABOVE THE FLOOR.

KITCHENS

22) THE KITCHEN MUST HAVE:
A) SOME USABLE COUNTER SPACE AND CUPBOARDS THAT CAN BE EASILY ACCESSED BY PEOPLE WITH DISABILITIES, INCLUDING PEOPLE WITH WHEELCHAIRS, E.G., CONTINUOUS COUNTER BETWEEN THE STOVE AND SINK; ADJUSTABLE SHELVES IN ALL CABINETS; PULL-OUT WORK BOARDS AT 810.0 mm HEIGHT; AND PULL-OUT CABINET SHELVES;
B) EASY TO GRASP HANDLES ON FAUCETS, E.G., LEVER-TYPE FAUCETS;
C) EASY TO GRASP HANDLES ON CUPBOARDS, E.G., D OR J TYPE CABINET HANDLES AND GRAB EDGES UNDER COUNTERS;
D) TASK LIGHTING AT SINK, STOVE AND KEY WORK AREAS; AND
E) PLUMBING AND UTILITY PIPES LOCATED TO PROVIDE FOR A POTENTIAL 810.0 mm WIDE UNDER COUNTER WORKSPACE SO AS NOT TO PREVENT THE EASY FUTURE CONVERSION OF COUNTER SPACE AND SINKS TO BEING UNIVERSALLY ACCESSIBLE FOR KNEE SPACE UNDER THE SINK WHERE THERE IS A COUNTER TOP STOVE BUILT IN.

BEDROOM AND CLOSET

23) THE SPACE AROUND A BED IN A DWELLING UNIT THAT CONSISTS OF A BACHELOR SUITE AND AT LEAST ONE BEDROOM IN EVERY OTHER DWELLING UNIT SHALL HAVE SUFFICIENT SPACE TO PROVIDE A TURNING DIAMETER OF 1500.0 mm ON ONE SIDE OF A DOUBLE BED.

24) THE CLOSET IN A DWELLING UNIT THAT CONSISTS OF A BACHELOR SUITE AND AT LEAST ONE BEDROOM IN EVERY OTHER DWELLING UNIT SHALL HAVE A CLEAR OPENING OF AT LEAST 900.0 mm, CLEAR FLOOR SPACE OF AT LEAST 750.0 mm BY 1200.0mm AND A CLOTHES HANGER ROD THAT CAN BE LOWERED TO 1200.0 mm.

PATIOS AND BALCONIES

25) ACCESS DOORS SHALL HAVE A MINIMUM CLEAR OPENING OF 860.0 mm.

26) MINIMUM DIMENSIONS OF ANY BALCONY OR PATIO SHALL BE 1500.0 mm BY 1 500.0 mm.

ALL REMAINING SUITS WILL INCORPORATE AGING IN PLACE FEATURES:
- STAIRWELL HANDRAILS;
- LEVER TYPE HANDLES FOR: PLUMBING FIXTURES, DOOR HANDLES;
- SOLID BLOCKING IN WASHROOM WALLS FOR FUTURE GRAB BARS BESIDE TOILET, BATHTUB AND SHOWER.

gbl
GBL ARCHITECTS INC
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Replacement Plan 17B
DP 13-642725 Feb 16/15

REVISIONS

NO	DATE	DESCRIPTION
1	14 MAR 2013	PROGRESS SET
2	29 JULY 2013	DEVELOPMENT PERMIT APPLICATION
3	15 OCT 2013	ADVISORY DESIGN PANEL SUBMISSION
4	14 NOV 2013	CITY REVIEW - STAFF COMMENTS RESPONSE
5	11 DEC 2013	CITY REVIEW
6	16 DEC 2013	DP APPLICATION - PRESP TO
7	30 MAY 2014	PROGRESS SET
8	30 JUNE 2014	ISSUED FOR BUILDING PERMIT APPLICATION
9.	05 SEPT 2014	ISSUED FOR ENVELOPE REVIEW
10	29 SEPT 2014	ISSUED FOR CITY REVIEW
11.	07 OCT 2014	REVISED PER DP COMMENTS & ISSUED FOR CDR REVIEW
12	16 OCT 2014	REVISED TO ADDRESS CDR DP COMMENTS
13	17 OCT 2014	UPDATED SUITE PLANS ISSUED FOR REVIEW & COORDINATION
14.	06 NOV 2014	ISSUED FOR COASTAL HEALTH REVIEW
15.	07 NOV 2014	ISSUED FOR COORDINATION
16	17 NOV 2014	ISSUED FOR CONSULTANT COORDINATION
17	10 DEC 2014	POOL AREA REVISED PER CHA FEEDBACK
18	23 DEC 2014	REVISED & RE-ISSUED FOR COASTAL HEALTH REVIEW
19	20 JAN 2015	ISSUED FOR CITY GENERAL COMPLIANCE REVIEW
20	23 JAN 2015	ISSUED FOR CONSULTANT COORDINATION
21	03 FEB 2015	ISSUED FOR CONSULTANT COORDINATION
22	13 FEB 2015	REISSUED FOR DP GENERAL COMPLIANCE

CONCORD PACIFIC

CONCORD GARDENS
PHASE 2
8988 Patterson Rd,
Richmond, BC

UNIT PLANS (A)
1 BEDROOM UNITS

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JOB NUMBER	1251

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SURVEY PLAN OF LOT 1 SECTIONS 27 AND 28 BLOCK 5 NORTH RANGE 6 WEST NEW WESTMINSTER DISTRICT PLAN EPP27512

CIVIC ADDRESS:
8888 PATTERSON ROAD
RICHMOND, B.C.
P.I.D. 029-003-610

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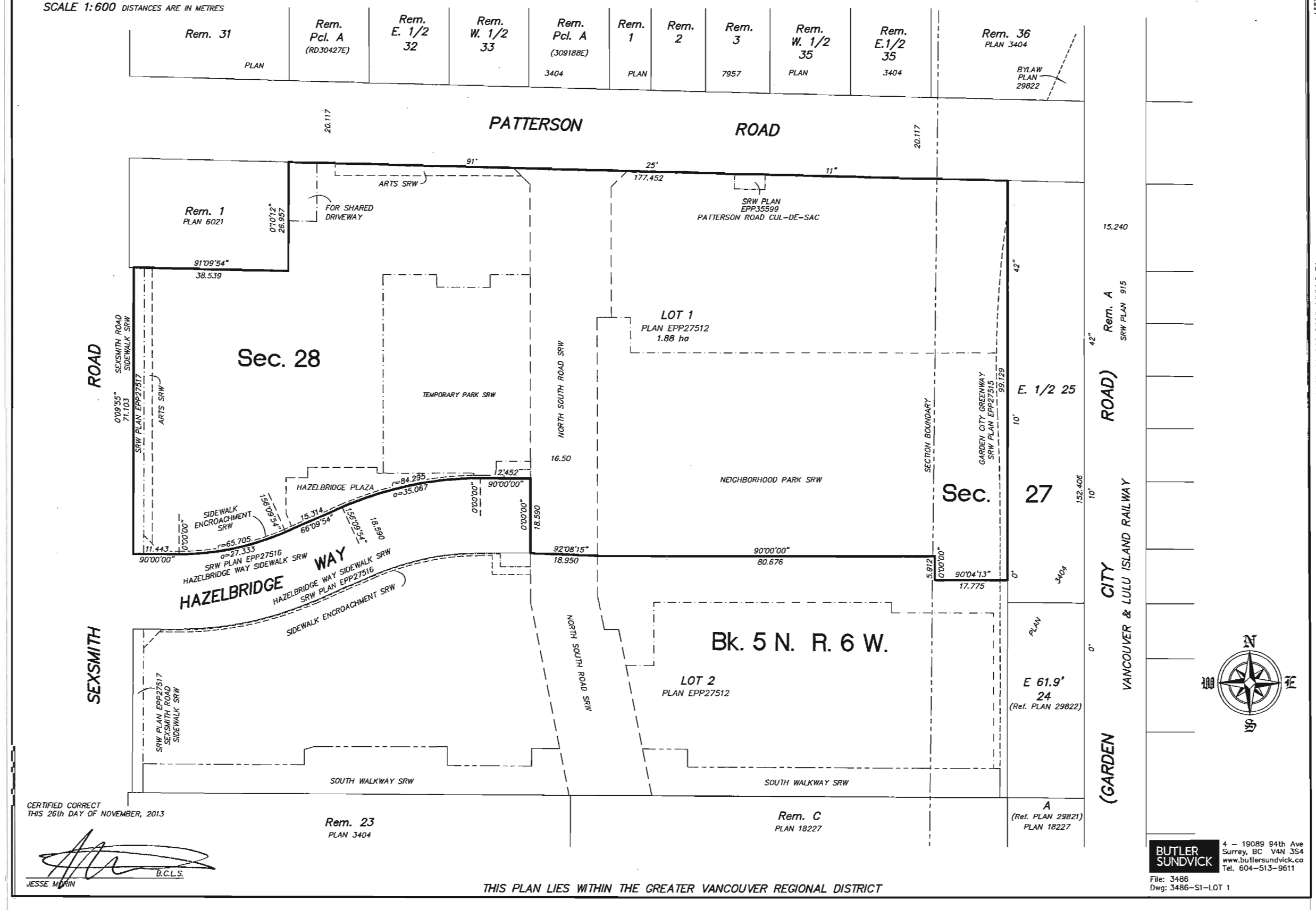

CERTIFIED CORRECT
THIS 26th DAY OF NOVEMBER, 2013

JESSE MURIN B.C.L.S.

THIS PLAN LIES WITHIN THE GREATER VANCOUVER REGIONAL DISTRICT

gbl
GBL ARCHITECTS INC.
109 EAST 8TH AVENUE TEL 604 736-1156
VANCOUVER, BC V5T 1R8 FAX 604 736-5228

Legal Address: LOT 1, SECTIONS 27 AND 28, BLOCK 5 L NORTH RANGE 6 WEST, NEW WESTMINSTER DISTRICT PLAN EPP27512

Replacement Reference Plan
DP 13-642725 Feb 16/15

REVISIONS

NO.	DATE:	DESCRIPTION:
1.	14 MAR 2013	PROGRESS SET
2.	25 JULY 2013	DP/BLDG PERMIT/STRATA APPLICATION
3.	10 OCT 2013	ADVISORY DESIGN PANEL SUBMISSION
4.	14 NOV 2013	CITY REVIEW - STAFF COMMENTS RESPONSE
5.	11 DEC 2013	CITY REVIEW
6.	16 DEC 2013	DP APPLICATION - 6 WEEK ID
7.	28 MAR 2014	PROGRESS SET
8.	28 JUNE 2014	REVISED FOR BUILDING PERMIT APPLICATION
9.	25 SEPT 2014	ISSUED FOR CONSULTANT REVIEW
10.	29 SEPT 2014	ISSUED FOR CITY REVIEW
11.	31 OCT 2014	REVISED PERSPECTIVES (VIEW 5, 6 & 7) ISSUED FOR CITY REVIEW
12.	19 OCT 2014	ISSUED TO ADDRESS DP COMMENTS
13.	17 OCT 2014	UPDATE TO STRATA AREAS FOR REVIEW AND COORDINATION
14.	26 NOV 2014	ISSUED FOR DP RESUBMISSION
15.	02 DEC 2014	UPDATED FOR COORDINATION
16.	17 DEC 2014	ISSUED FOR CONSULTANT COORDINATION
17.	19 DEC 2014	PUBLIC INFORMATION MEETING FEEDBACK
18.	22 DEC 2014	REVISED & RE-ISSUED FOR ENGINEERING REVIEW
19.	20 JAN 2015	ISSUED FOR CITY REVIEW
20.	23 JAN 2015	ISSUED FOR CONSULTANT COORDINATION
21.	03 FEB 2015	ISSUED FOR CONSULTANT COORDINATION
22.	12 FEB 2015	ISSUED FOR CONSULTANT COORDINATION

BUTLER SUNDVICK
4 – 19089 94th Ave
Surrey, BC V4N 3S4
www.butlersundvick.ca
Tel. 604-513-9611

File: 3486
Dwg: 3486-S1-LOT 1

CONCORD PACIFIC

CONCORD GARDENS
Phase 2
Richmond, BC
for Concord Pacific

SURVEY PLAN

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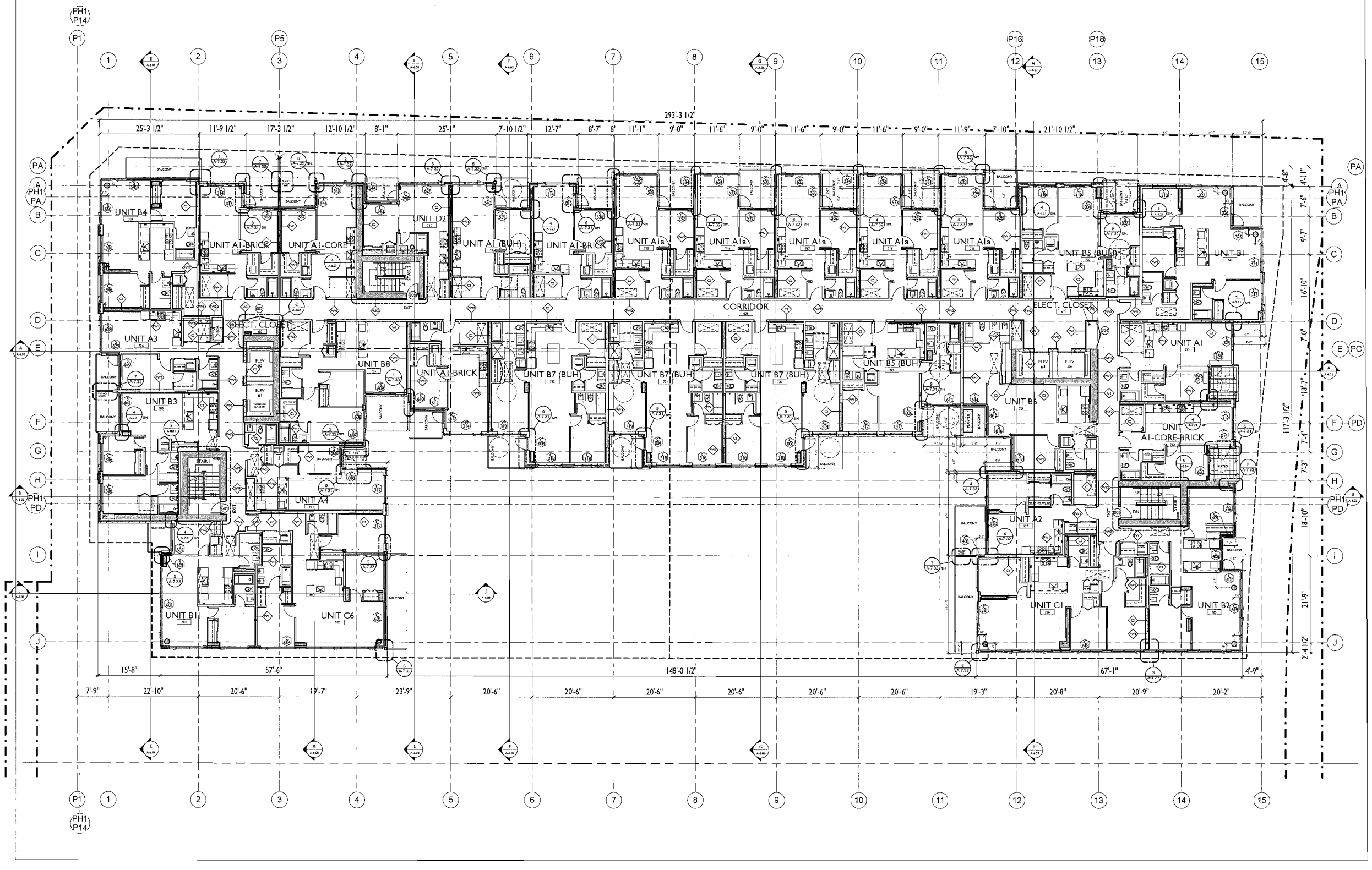

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FAX 604 731 9279

Legal Address: LOT 1, SECTIONS 27 AND 28, BLOCK 5, NORTH RANGE 6 WEST, NEW WESTMINSTER DISTRICT PLAN EPP23512

Replacement Reference Plan

DP 13-642725 Feb 16/15

REVISIONS

NO	DATE	DESCRIPTION
1	16 MAR 2013	PROGRESS SET
2	19 JULY 2013	DEVELOPMENT PERMIT APPLICATION
3	15 OCT 2013	ADVISORY DESIGN PANEL SUBMISSION
4	14 NOV 2013	CITY REVIEW - STAFF COMMENTS RESPONSE
5	11 DEC 2013	CITY REVIEW
6	16 DEC 2013	DP APPLICATION - PRIOR TO
7	28 MAY 2014	PROGRESS SET
8	20 JUNE 2014	ISSUED FOR BUILDING PERMIT APPLICATION
9	26 SEPT 2014	ISSUED FOR ENVELOPE REVIEW
10	29 SEPT 2014	ISSUED FOR CITY REVIEW
11	07 OCT 2014	REVISED PER DP COMMENTS & ISSUED FOR COR REVIEW
12	14 OCT 2014	ISSUED TO ADDRESS COR DP COMMENTS
13	17 OCT 2014	UPDATED SUITE PLANS ISSUED FOR REVIEW & COORDINATION
14	06 NOV 2014	ISSUED FOR COASTAL HEALTH REVIEW
15	07 NOV 2014	ISSUED FOR COORDINATION
16	17 NOV 2014	ISSUED FOR CONSULTANT COORDINATION
17	19 DEC 2014	POOL AREA REVISED PER VCH FEEDBACK
18	22 DEC 2014	REVISED & RE-ISSUED FOR COASTAL HEALTH REVIEW
19	29 JAN 2015	ISSUED FOR CITY GENERAL COMPLIANCE REVIEW
20	23 JAN 2015	ISSUED FOR CONSULTANT COORDINATION
21	03 FEB 2015	ISSUED FOR CONSULTANT COORDINATION
22	13 FEB 2015	REVISED FOR DP GENERAL COMPLIANCE

CONCORD PACIFIC

CONCORD GARDENS
PHASE 2
8988 Patterson Rd,
Richmond, BC

LEVEL 6-8 (FLOOR 7-9)

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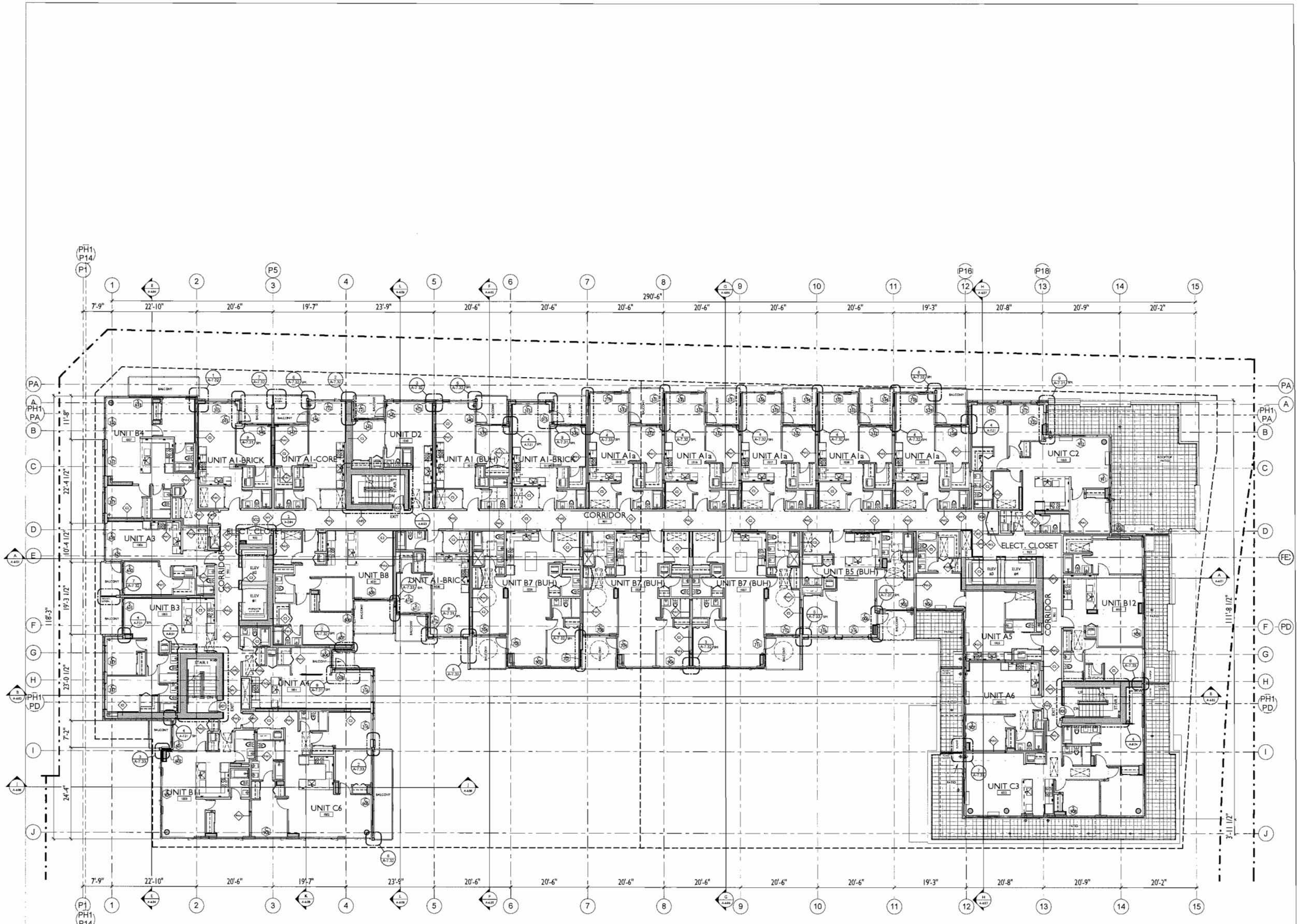

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Legal Address: LOT 1, SECTIONS 27 AND 28, BLOCK 5, NORTH RANGE 6 WEST, NEW WESTMINSTER DISTRICT PLAN eep27512

Replacement Reference Plan
DP 13-642725 Feb 16/15

REVISIONS

NO.	DATE	DESCRIPTION
1.	14 MAR 2013	PROGRESS SET
2.	29 JULY 2013	DEVELOPMENT PERMIT APPLICATION
3.	15 OCT 2013	ADVISORY DESIGN PANEL SUBMISSION
4.	14 NOV 2013	CITY REVIEW - STAFF COMMENTS RESPONSE
5.	11 DEC 2013	CITY REVIEW
6.	16 DEC 2013	DP APPLICATION - PRIOR TO
7.	30 MAY 2014	PROGRESS SET
8.	30 JUNE 2014	ISSUED FOR BUILDING PERMIT APPLICATION
9.	05 SEPT 2014	ISSUED FOR ENVELOPE REVIEW
10.	29 SEPT 2014	ISSUED FOR CITY REVIEW
11.	07 OCT 2014	REVISED PER BP COMMENTS & ISSUED FOR CCIE REVIEW
12.	14 OCT 2014	ISSUED TO ADDRESS CCIE BP COMMENTS
13.	17 OCT 2014	UPDATED SUITE PLANS ISSUED FOR REVIEW & COORDINATION
14.	06 NOV 2014	ISSUED FOR COASTAL HEALTH REVIEW
15.	07 NOV 2014	ISSUED FOR COORDINATION
16.	17 NOV 2014	ISSUED FOR CONSULTANT COORDINATION
17.	19 DEC 2014	PDR AREA REVISED PER FOR FEEDBACK
18.	22 DEC 2014	REVISED & RE-ISSUED FOR COASTAL HEALTH REVIEW
19	20 JAN 2015	ISSUED FOR CITY GENERAL COMPLIANCE REVIEW
20.	25 JAN 2015	ISSUED FOR CONSULTANT COORDINATION
21.	05 FEB 2015	ISSUED FOR CONSULTANT COORDINATION
22.	13 FEB 2015	REVISED FOR DP GENERAL COMPLIANCE

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CONCORD GARDENS
PHASE 2
8988 Patterson Rd,
Richmond, BC

LEVEL 9 (FLOOR 10)

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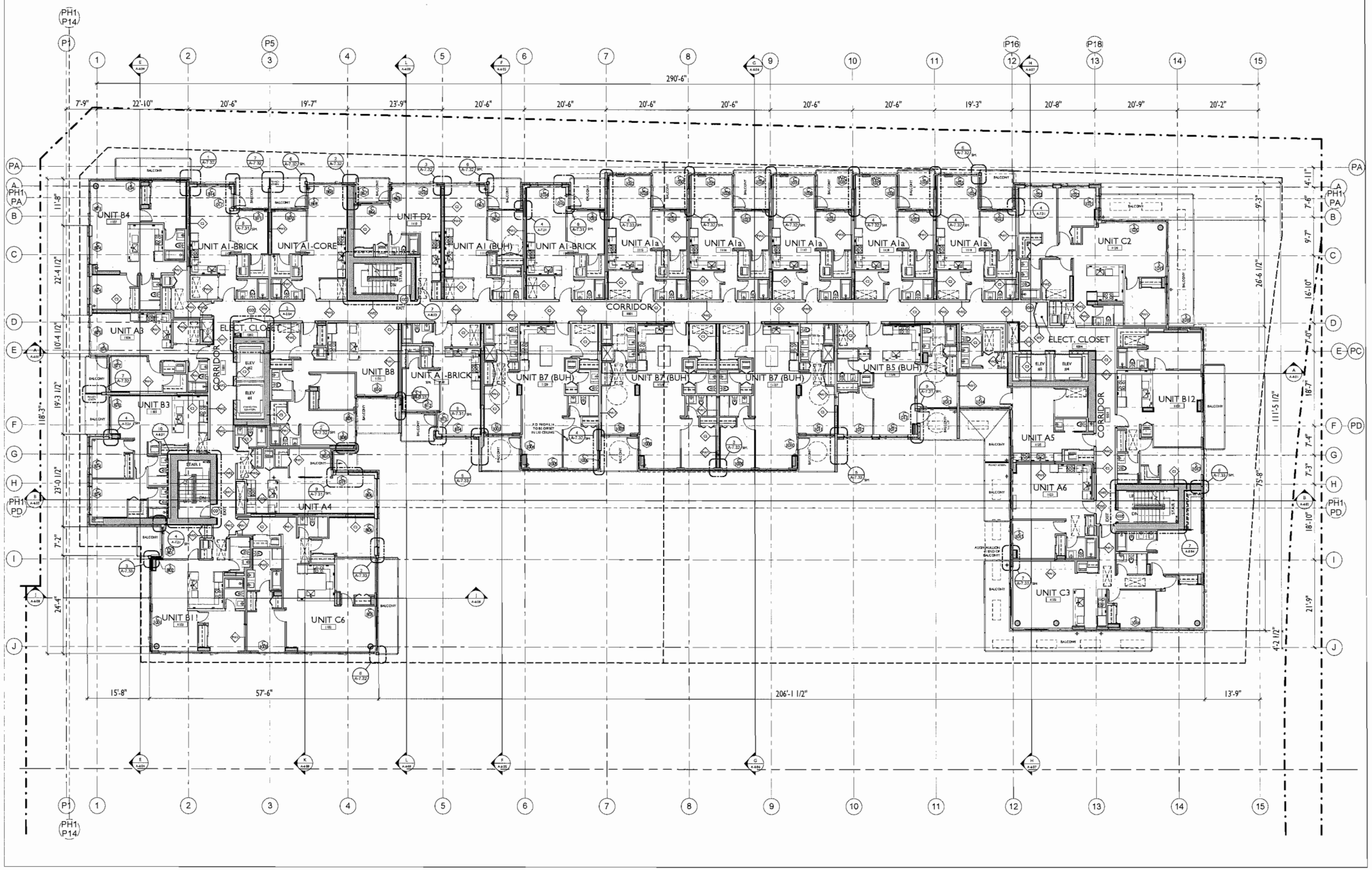

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109 EAST 8th AVENUE
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FAX 604 731 5279

Legal Address: LOT 1; SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6 WEST; NEW WESTMINSTER DISTRICT PLAN epp27512

Replacement Reference Plan

DP 13-642725 Feb 16/15

REVISIONS

NO	DATE	DESCRIPTION
1	14 MAR 2013	PROGRESS SET
2	29 MAY 2013	DEVELOPMENT PERMIT APPLICATION
3	10 OCT 2013	ADVISORY DESIGN PANEL SUBMISSION
4	14 NOV 2013	CITY REVIEW - STAFF COMMENTS RESPONSE
5	11 DEC 2013	CITY REVIEW
6	16 DEC 2013	DP APPLICATION - PRIOR TO
7	30 MAY 2014	PROGRESS SET
8	30 JUNE 2014	ISSUED FOR BUILDING PERMIT APPLICATION
9	05 SEPT 2014	ISSUED FOR ENVELOPE REVIEW
10	29 SEPT 2014	ISSUED FOR CITY REVIEW
11	07 OCT 2014	REVISED PER BP COMMENTS & ISSUED FOR COP REVIEW
12	14 OCT 2014	ISSUED TO ADDRESS COR DP COMMENTS
13	17 OCT 2014	UPDATED SUITE PLANS ISSUED FOR REVIEW & COORDINATION
14	06 NOV 2014	ISSUED FOR COASTAL HEALTH REVIEW
15	07 NOV 2014	ISSUED FOR COORDINATION
16	17 NOV 2014	ISSUED FOR CONSULTANT COORDINATION
17	19 DEC 2014	POOL AREA REVISED PER FCH FEEDBACK
18	22 DEC 2014	REVISED & RE-ISSUED FOR COASTAL HEALTH REVIEW
19	20 JAN 2015	ISSUED FOR CITY GENERAL COMPLIANCE REVIEW
20	23 JAN 2015	ISSUED FOR CONSULTANT COORDINATION
21	03 FEB 2015	ISSUED FOR CONSULTANT COORDINATION
22	13 FEB 2015	REISSUED FOR DP GENERAL COMPLIANCE

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CONCORD GARDENS
PHASE 2
8988 Patterson Rd,
Richmond, BC

LEVEL 10 (FLOOR 11)

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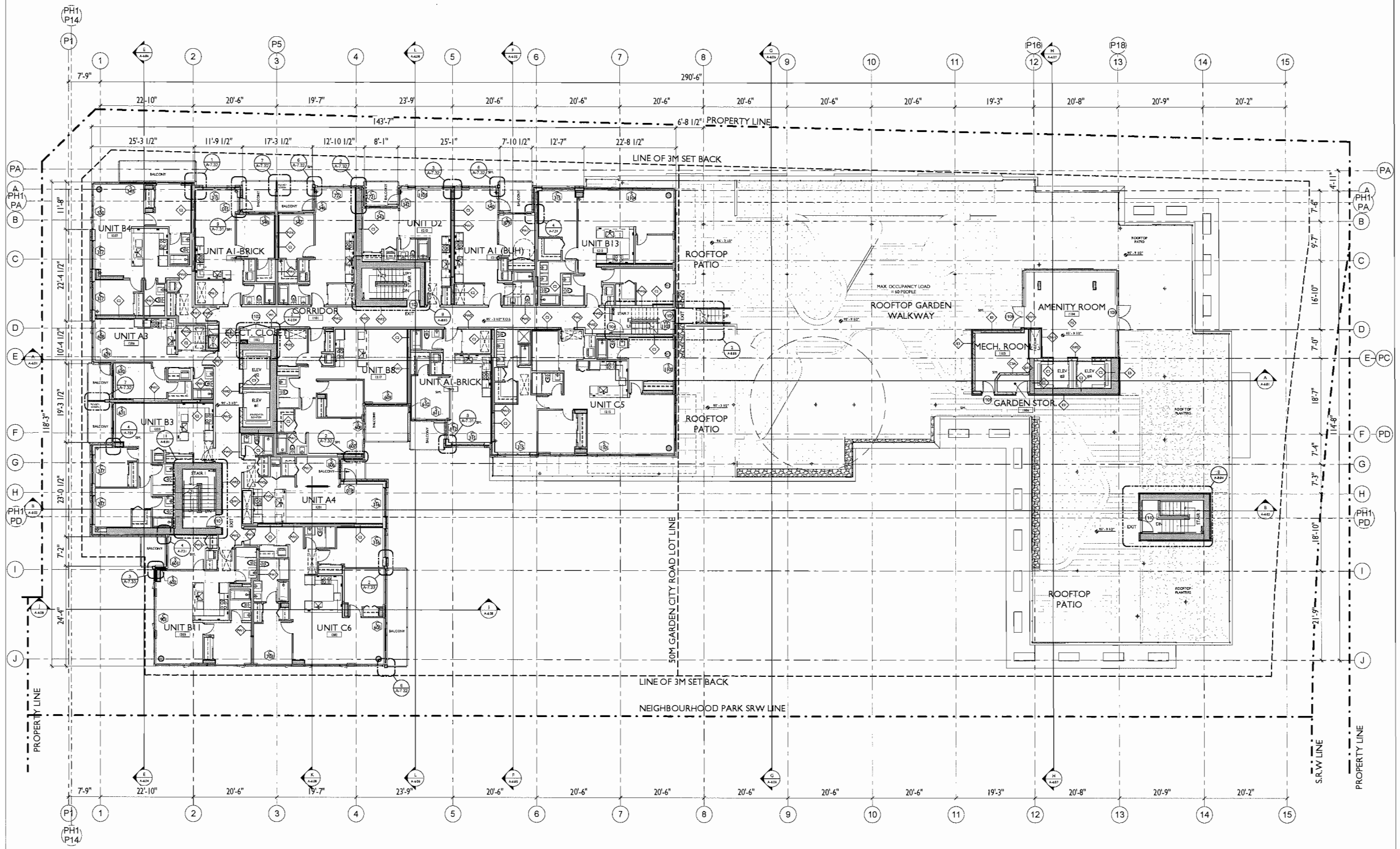

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GBL ARCHITECTS, INC
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VANCOUVER, BC CANADA V5T 1R8
TEL 604 736 1154
FAX 604 731 5374

Legal Address: LOT 1; SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6 WEST; NEW WESTMINSTER DISTRICT PLAN EPP27512

LEGEND:

3 CONCRETE LIGHT MASONRY CAP FLASHING, SW SPANDREL GLAZING, REFER TO ENLARGED PLANS

Replacement Reference Plan

DP 13-642725 Feb 16/15

REVISIONS

NO.	DATE	DESCRIPTION
1.	14 MAR 2013	PROGRESS SET
2.	29 JULY 2013	DEVELOPMENT PERMIT APPLICATION
3.	15 OCT 2013	ADVISORY DESIGN PANEL SUBMISSION
4.	14 NOV 2013	CITY REVIEW - STAFF COMMENTS RESPONSE
5.	11 DEC 2013	CITY REVIEW
6.	16 DEC 2013	DP APPLICATION - PRIOR TO
7.	28 MAY 2014	PROGRESS SET
8.	26 JUNE 2014	ISSUED FOR BUILDING PERMIT APPLICATION
9.	05 SEPT 2014	ISSUED FOR ENVELOPE REVIEW
10.	29 SEPT 2014	ISSUED FOR CITY REVIEW
11.	07 OCT 2014	REVISED PER BP COMMENTS & ISSUED FOR CCR REVIEW
12.	14 OCT 2014	ISSUED TO ADDRESS CCR DP COMMENTS
13.	17 OCT 2014	UPDATED SUITE PLANS ISSUED FOR REVIEW & COORDINATION
14.	06 NOV 2014	ISSUED FOR COASTAL HEALTH REVIEW
15.	07 NOV 2014	ISSUED FOR COORDINATION
16.	17 NOV 2014	ISSUED FOR CONSULTANT COORDINATION
17.	19 DEC 2014	PDL AREA REVISED PER VCH FEEDBACK
18.	22 DEC 2014	REVISED & RE-ISSUED FOR COASTAL HEALTH REVIEW
19.	20 JAN 2015	ISSUED FOR DP GENERAL COMPLIANCE REVIEW
20.	23 JAN 2015	ISSUED FOR CONSULTANT COORDINATION
21.	03 FEB 2015	ISSUED FOR CONSULTANT COORDINATION
22.	10 FEB 2015	REISSUED FOR DP GENERAL COMPLIANCE

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CONCORD GARDENS
PHASE 2
8988 Patterson Rd,
Richmond, BC

LEVEL 11 (FLOOR 12)

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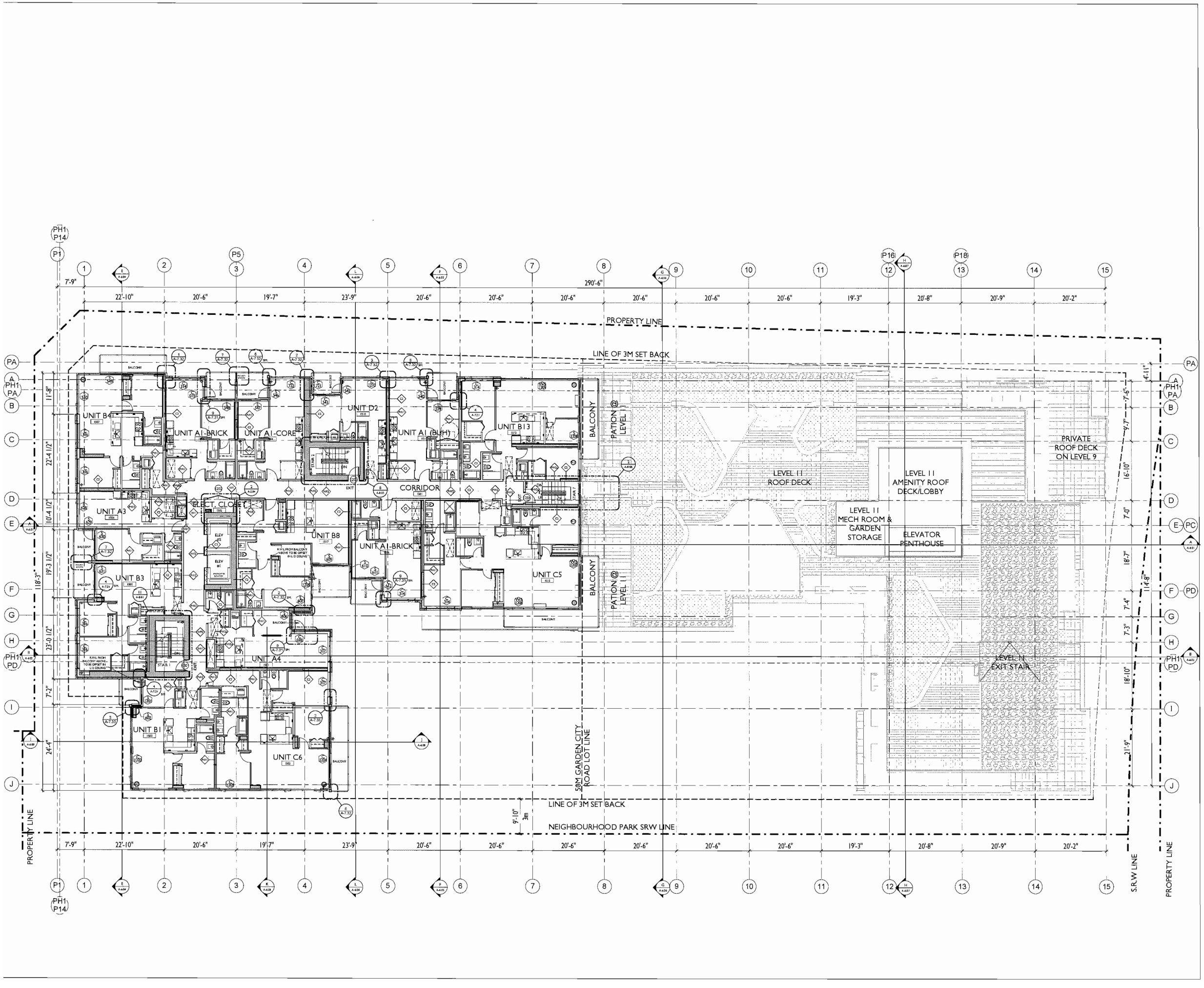

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139 EAST 8th AVENUE
VANCOUVER, BC CANADA V5T 1R8
TEL 604 736 1156
FAX 604 736 8179

Legal Address: LOT 1; SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6; WEST; NEW WESTMINSTER DISTRICT PLAN EPP27512

LEGEND:

Replacement Reference Plan
DP 13-642725 Feb 16/15

REVISIONS

NO	DATE	DESCRIPTION
1.	16 MAR 2015	PROGRESS SET
2.	29 JULY 2015	DEVELOPMENT PERMIT APPLICATION
3.	15 OCT 2015	ADVISORY DESIGN PANEL SUBMISSION
4.	16 NOV 2015	CITY REVIEW - STAFF COMMENTS RESPONSE
5.	11 DEC 2015	CITY REVIEW
6.	14 DEC 2015	DP APPLICATION - PRIME TO
7.	30 MAY 2016	PROGRESS SET
8.	30 JUNE 2016	ISSUED FOR BUILDING PERMIT APPLICATION
9.	05 SEPT 2016	ISSUED FOR ENVELOPE REVIEW
10.	29 SEPT 2016	ISSUED FOR CITY REVIEW
11.	07 OCT 2016	REVISED PER BP COMMENTS & ISSUED FOR COR REVIEW
12.	14 OCT 2016	REVISED TO ADDRESS COR BP COMMENTS
13.	17 OCT 2016	UPDATED SUITE PLANS ISSUED FOR REVIEW & COORDINATION
14.	04 NOV 2016	ISSUED FOR COASTAL HEALTH REVIEW
15.	07 NOV 2016	ISSUED FOR COORDINATION
16.	17 NOV 2016	ISSUED FOR CONSULTANT COORDINATION
17.	19 DEC 2016	ROOF AREA REVISED PER VCH FEEDBACK
18.	22 DEC 2016	REVISED & RE-ISSUED FOR COASTAL HEALTH REVIEW
19.	20 JAN 2015	ISSUED FOR CITY GENERAL COMPLIANCE REVIEW
20	23 JAN 2015	ISSUED FOR CONSULTANT COORDINATION
21	09 FEB 2015	ISSUED FOR CONSULTANT COORDINATION
22.	13 FEB 2015	REVISED FOR DP GENERAL COMPLIANCE

CONCORD PACIFIC

CONCORD GARDENS
PHASE 2
8988 Patterson Rd,
Richmond, BC

LEVEL 12-13 (FLOOR 15-16)

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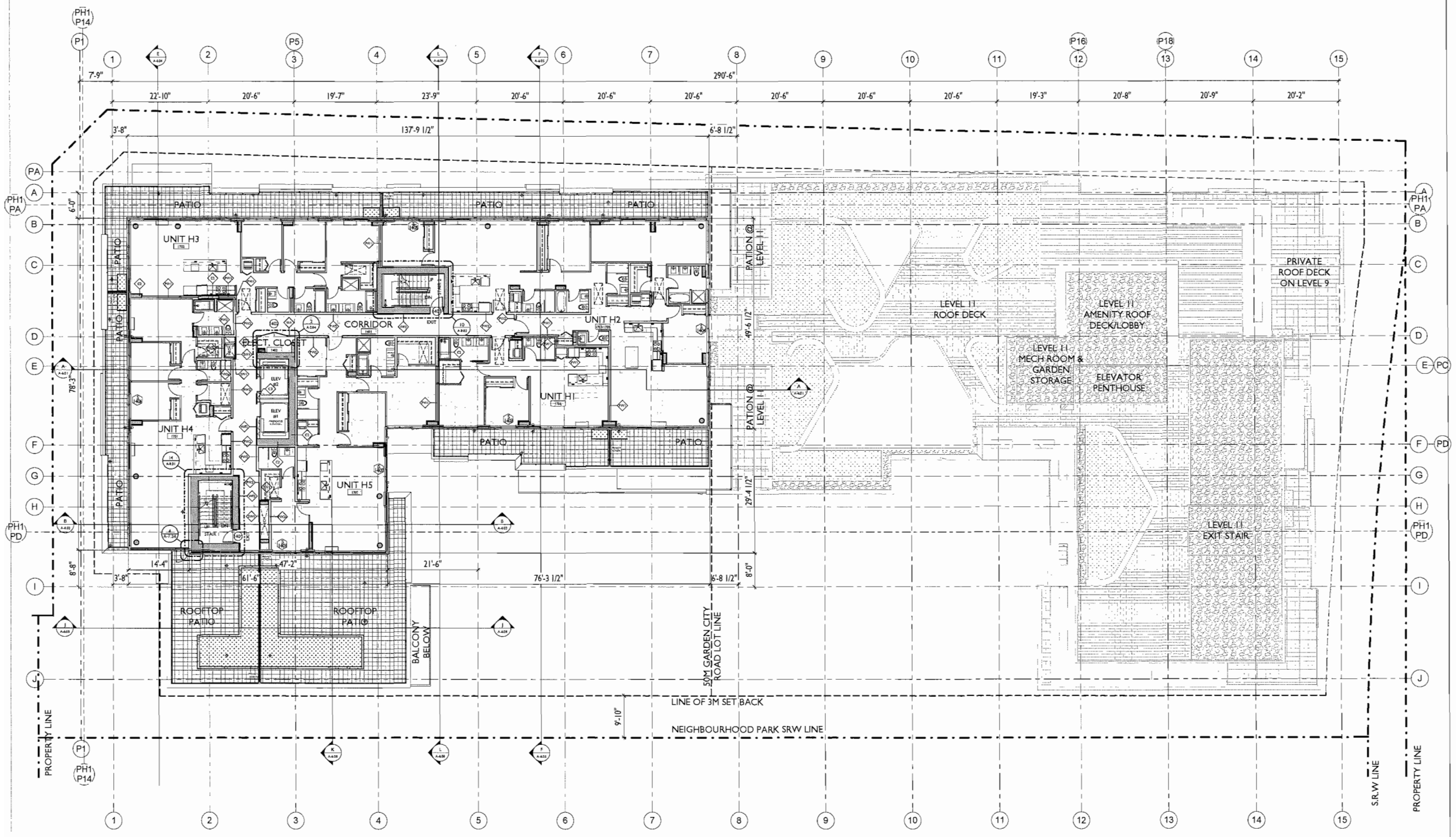

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129 EAST 6th AVENUE
VANCOUVER, BC CANADA V5T 1R8
TEL 604 736 1154
FAX 604 731 5279

Legal Address: LOT 1; SECTIONS 27 AND 28, BLOCK 5, NORTH RANGE 6 WEST, NEW WESTMINSTER DISTRICT PLAN eee27512

Replacement Reference Plan
DP 13-642725 Feb 16/15

REVISIONS

NO	DATE	DESCRIPTION
1	14 MAR 2013	PROGRESS SET
2	29 JULY 2013	DEVELOPMENT PERMIT APPLICATION
3.	15 OCT 2013	ADVISORY DESIGN PANEL SUBMISSION
4	14 NOV 2013	CITY REVIEW - STAFF COMMENTS RESPONSE
5	11 DEC 2013	CITY REVIEW
6	16 DEC 2013	DP APPLICATION - PRIOR TO
7.	30 MAY 2014	PROGRESS SET
8.	30 JUNE 2014	ISSUED FOR BUILDING PERMIT APPLICATION
9.	05 SEPT 2014	ISSUED FOR ENVELOPE REVIEW
10.	29 SEPT 2014	ISSUED FOR CITY REVIEW
11.	07 OCT 2014	REVISED PER BP COMMENTS & ISSUED FOR COR REVIEW
12	14 OCT 2014	ISSUED TO ADDRESS COR DP COMMENTS
13.	17 OCT 2014	UPDATED SUITE PLANS ISSUED FOR REVIEW & COORDINATION
14.	06 NOV 2014	ISSUED FOR COASTAL HEALTH REVIEW
15	07 NOV 2014	ISSUED FOR COORDINATION
16.	17 NOV 2014	ISSUED FOR CONSULTANT COORDINATION
17.	19 DEC 2014	ROOL AREA REVISED PER VCH FEEDBACK
18.	22 DEC 2014	REVISED & RE-ISSUED FOR COASTAL HEALTH REVIEW
19	20 JAN 2015	ISSUED FOR CITY GENERAL COMPLIANCE REVIEW
20	23 JAN 2015	ISSUED FOR CONSULTANT COORDINATION
21.	03 FEB 2015	ISSUED FOR CONSULTANT COORDINATION
22.	13 FEB 2015	REISSUED FOR DP GENERAL COMPLIANCE

CONCORD PACIFIC

CONCORD GARDENS
PHASE 2
8988 Patterson Rd,
Richmond, BC

LEVEL 14 (FLOOR 17)

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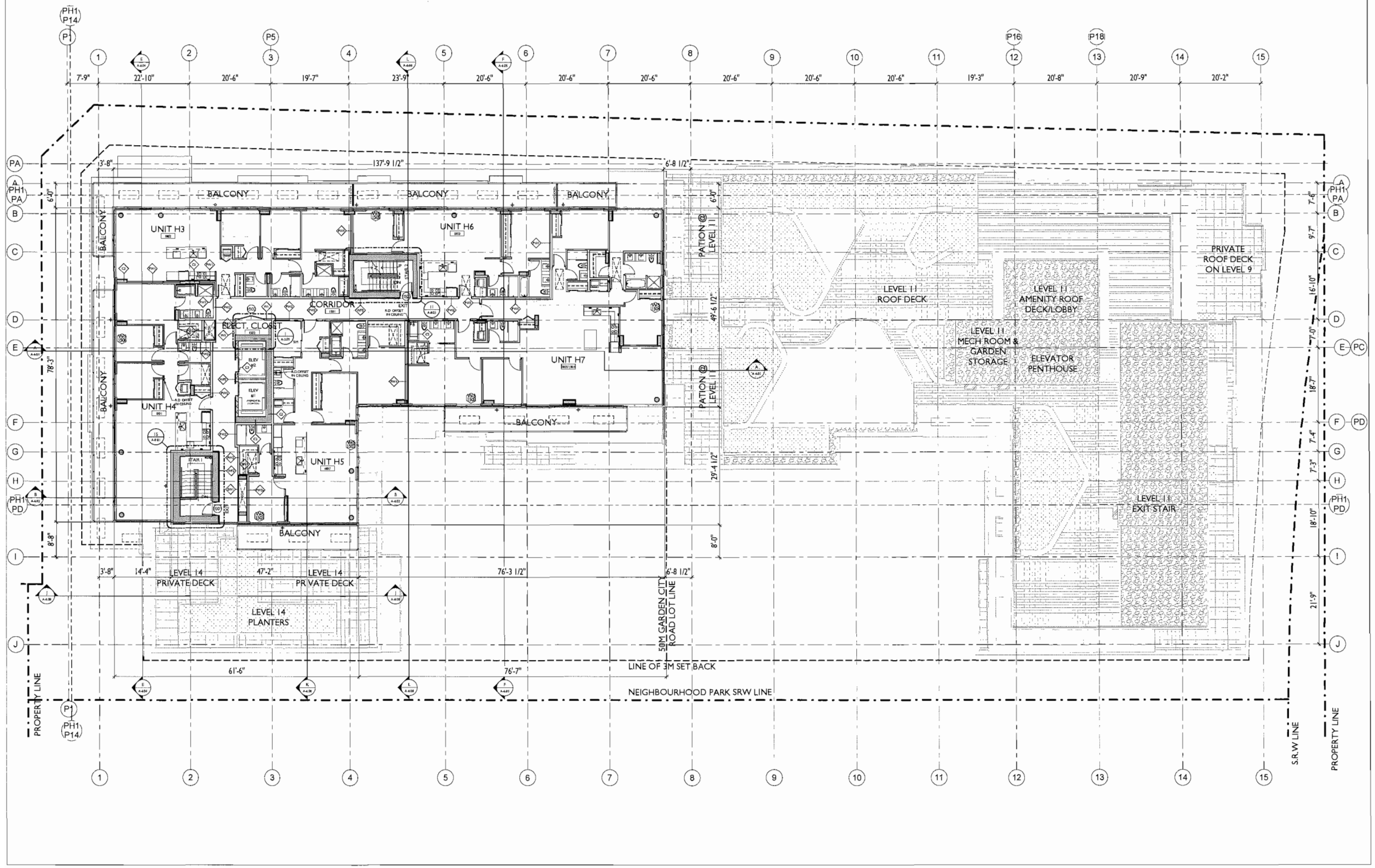

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TEL 604 736 1154
FAX 604 736 5079

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Replacement Reference Plan

DP 13-642725 Feb 16/15

REVISIONS

NO	DATE	DESCRIPTION
1	14 MAR 2013	PROGRESS SET
2	29 JULY 2013	DEVELOPMENT PERMIT APPLICATION
3.	15 OCT 2013	ADVISORY DESIGN PANEL SUBMISSION
4	14 NOV 2013	CITY REVIEW - STAFF COMMENTS RESPONSE
5	11 DEC 2013	CITY REVIEW
6	14 DEC 2013	DP APPLICATION - PRIOR TO
7	30 MAY 2014	PROGRESS SET
8	30 JUNE 2014	ISSUED FOR BUILDING PERMIT APPLICATION
9.	05 SEPT 2014	ISSUED FOR ENVELOPE REVIEW
10	29 SEPT 2014	ISSUED FOR CITY REVIEW
11.	07 OCT 2014	REVISED PER DP COMMENTS & ISSUED FOR CDR REVIEW
12	14 OCT 2014	ISSUED TO ADDRESS CDR DP COMMENTS
13.	17 OCT 2014	UPDATED SUITE PLANS ISSUED FOR REVIEW & COORDINATION
14.	06 NOV 2014	ISSUED FOR COASTAL HEALTH REVIEW
15	07 NOV 2014	ISSUED FOR COORDINATION
16.	17 NOV 2014	ISSUED FOR CONSULTANT COORDINATION
17	19 DEC 2014	POOL AREA REVISED PER VCH FEEDBACK
18.	22 DEC 2014	REVISED & RE-ISSUED FOR COASTAL HEALTH REVIEW
19.	20 JAN 2015	ISSUED FOR CITY GENERAL COMPLIANCE REVIEW
20	23 JAN 2015	ISSUED FOR CONSULTANT COORDINATION
21.	03 FEB 2015	ISSUED FOR CONSULTANT COORDINATION
22.	13 FEB 2015	REISSUED FOR DP GENERAL COMPLIANCE

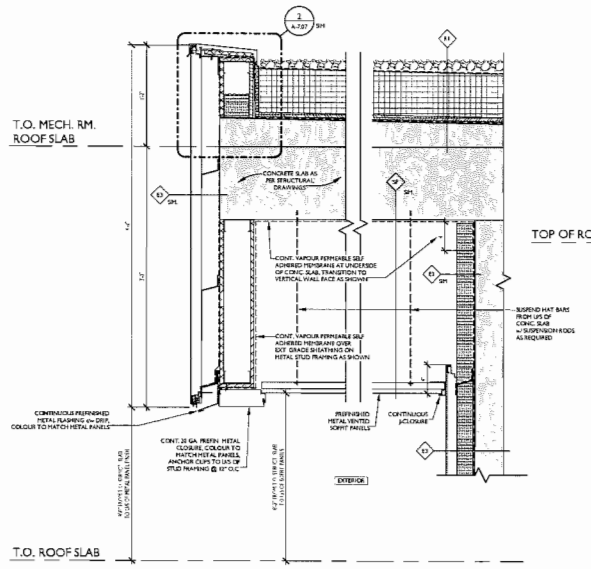
CONCORD PACIFIC

CONCORD GARDENS
PHASE 2
8988 Patterson Rd,
Richmond, BC

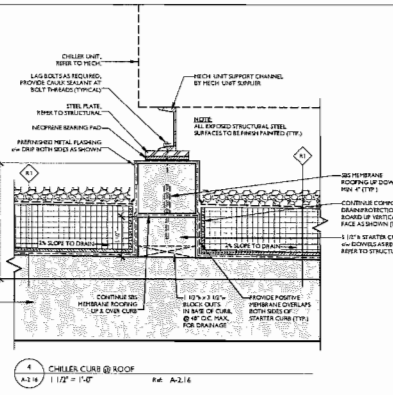
LEVEL 15 (FLOOR 18)

DATE	14/02/2015 10:58:47 AM
DRAWN BY	JML/SR
CHECKED BY	MG
SCALE	1/8" = 1'-0"
JOB NUMBER	1251

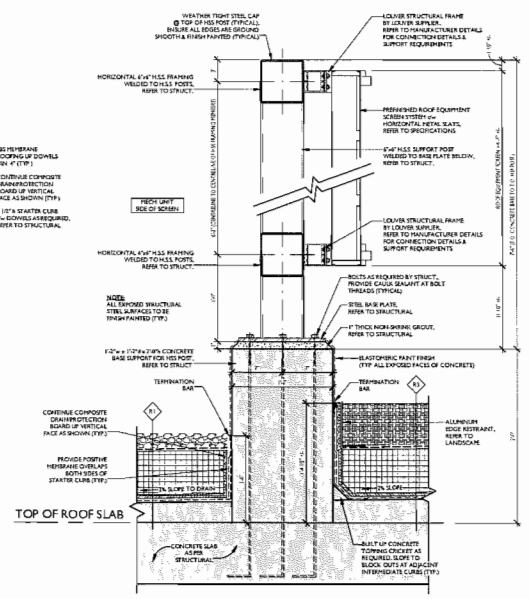
A-2.15



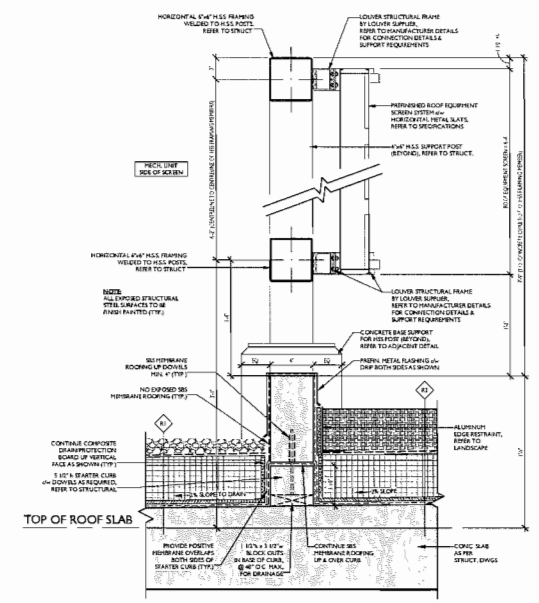
7 PARAPET & SOFFIT @ ELEVATOR CONTROL RM. ALCOVE
1 1/2" = 1'-0"
Ref. A-2.16



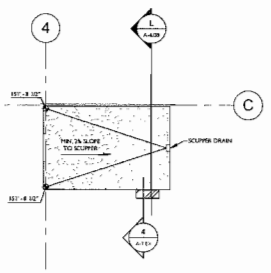
4 CHILLER CURB @ ROOF
1 1/2" = 1'-0"
Ref. A-2.16



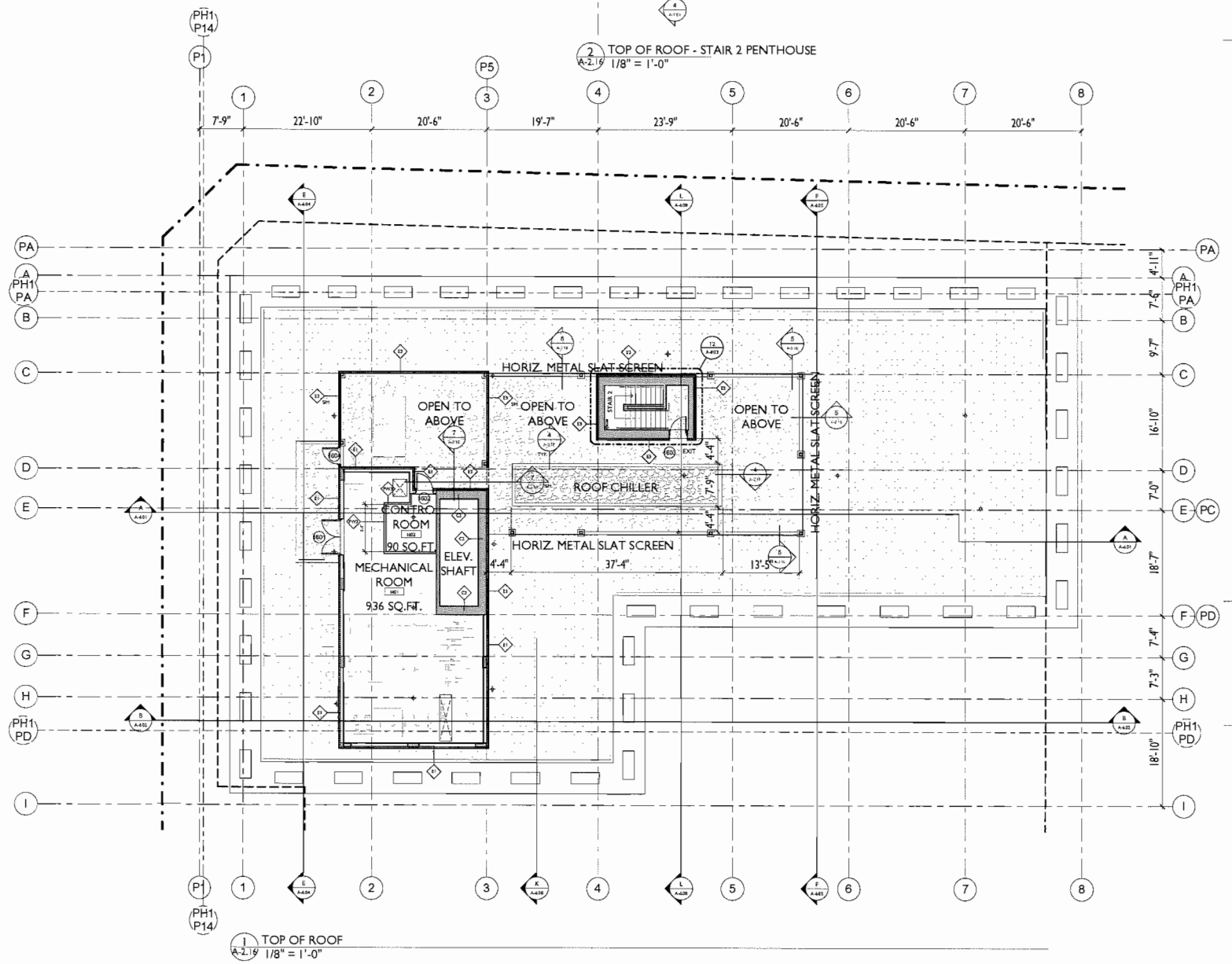
6 MECHANICAL UNIT SCREEN @ ROOF - HSS POST BASE
1 1/2" = 1'-0"



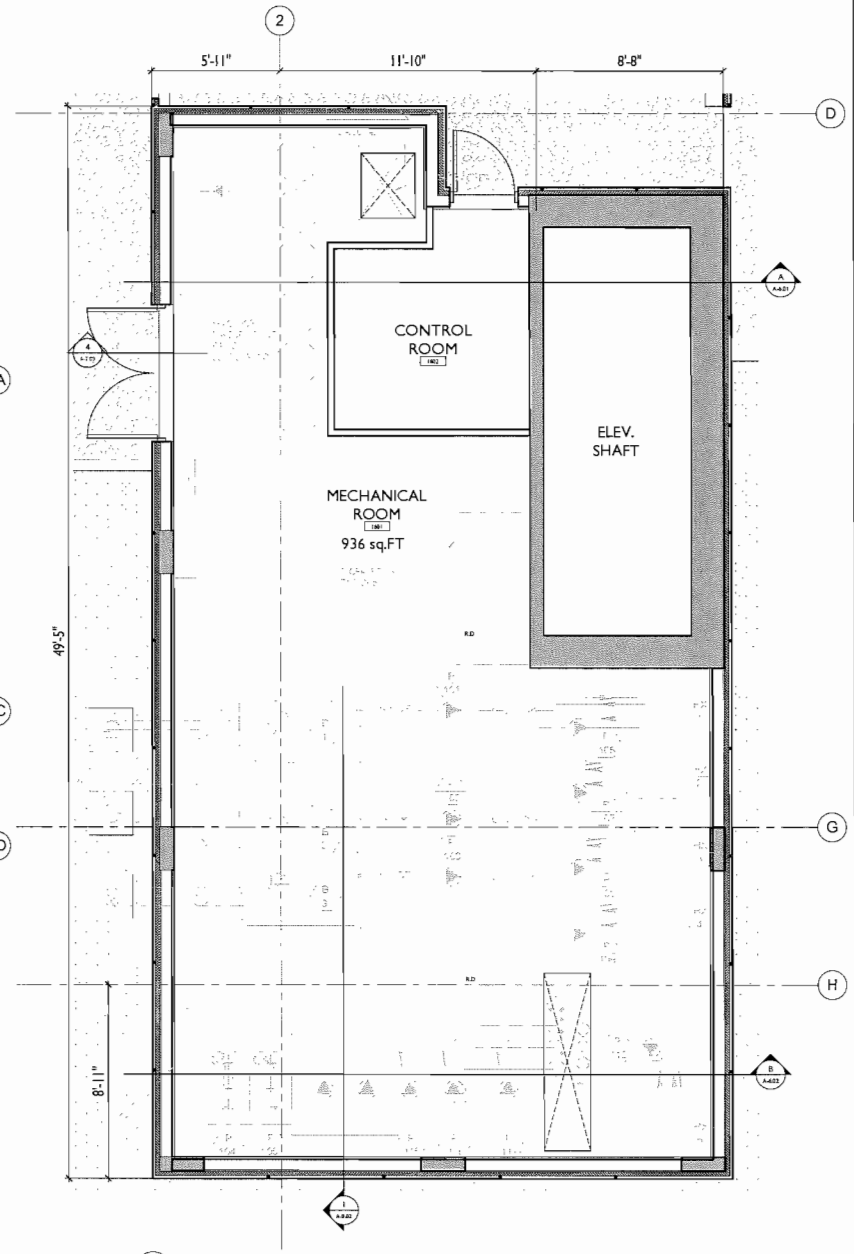
5 MECHANICAL UNIT SCREENS - INTERMEDIATE CURB DETAIL
1 1/2" = 1'-0"
Ref. A-2.16



2 TOP OF ROOF - STAIR 2 PENTHOUSE
1/8" = 1'-0"



1 TOP OF ROOF
1/8" = 1'-0"



3 ENLARGED MECHANICAL PENTHOUSE
3/8" = 1'-0"

gbl

GBL ARCHITECTS, INC
1129 EAST 8th AVENUE
VANCOUVER, BC CANADA V5T 1R6
TEL 604 736 1156
FAX 604 731 5279

Legal Address: LOT 1; SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6 WEST; NEW WESTMINSTER DISTRICT PLAN epp27512

Replacement Reference Plan
DP 13-642725 Feb 16/15

REVISIONS

NO.	DATE	DESCRIPTION
1	14 MAR 2013	PROGRESS SET
2	29 JULY 2013	DEVELOPMENT PERMIT APPLICATION
3	15 OCT 2013	ADVISORY DESIGN PANEL SUBMISSION
4	14 NOV 2013	CITY REVIEW
		- STAFF COMMENTS RESPONSE
5	13 DEC 2013	CITY REVIEW
6	16 DEC 2013	DP APPLICATION - PRIOR TO
7	30 MAY 2014	PROGRESS SET
8	05 JUNE 2014	ISSUED FOR BUILDING PERMIT APPLICATION
9	05 SEPT 2014	ISSUED FOR ENVELOPE REVIEW
10	29 SEPT 2014	ISSUED FOR CITY REVIEW
11	07 OCT 2014	REVISED PER BP COMMENTS & ISSUED FOR CCBE REVIEW
12	14 OCT 2014	ISSUED TO ADDRESS CCBE DP COMMENTS
13	17 OCT 2014	UPDATED SUITE PLANS
		ISSUED FOR REVIEW & COORDINATION
14	04 NOV 2014	ISSUED FOR COASTAL HEALTH REVIEW
15	07 NOV 2014	ISSUED FOR COORDINATION
16	07 NOV 2014	ISSUED FOR CONSULTANT COORDINATION
17	09 DEC 2014	POOL AREA REVISED PER KTP FEEDBACK
18	22 DEC 2014	REVISED & RE-ISSUED FOR COASTAL HEALTH REVIEW
19	26 JAN 2015	ISSUED FOR CITY GENERAL COMPLIANCE REVIEW
20	23 JAN 2015	ISSUED FOR CONSULTANT COORDINATION
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CONCORD PACIFIC

CONCORD GARDENS
PHASE 2
8988 Patterson Rd,
Richmond, BC

MECHANICAL PENTHOUSE PLAN

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SCALE	1/8" = 1'-0"
JOB NUMBER	1251

A-2.16

ZONING BYLAW VARIANCES

1a	EXIT STAIR @ LEVEL 11	INCREASE THE MAXIMUM ALLOWABLE BUILDING HEIGHT FOR PORTIONS OF THE BUILDING LOCATED LESS THAN 50.0m FROM A LOT LINE ABUTTING GARDEN CITY ROAD, FOR THE PURPOSE OF PERMITTING ENCLOSED STAIR STAFFS, AN ELEVATOR PENTHOUSE AND AN INDOOR RESIDENTIAL AMENITY SPACE FROM 28.0m TO 33.4m
1b	ELEVATOR & INDOOR AMENITY SPACE @ LEVEL 11	
1c	UNENCLOSED EXIT STAIR @ LEVEL 11	
2a	BALCONIES @ LEVELS 12 & 13	REDUCE THE MINIMUM ALLOWABLE SETBACK FROM A LOT LINE ABUTTING GARDEN CITY ROAD FOR PORTIONS OF THE BUILDING HAVING A HEIGHT GREATER THAN 28.0m, FOR THE PURPOSE OF PERMITTING A CANTILEVERED ROOF AND BALCONIES, FROM 50.0m TO 48.6m.
2b	CANTILEVERED ROOF	

PROPERTY LINE
149'-9 1/2"
144'-1 1/2"
164'-0 1/2"
50m FROM GARDEN CITY ROAD
LINE OF 3M SET BACK
2b
1b
1c
OPEN EXIT STAIR
ELEV. 99'-11"
30.45m
LEVEL 11 ROOF DECK
ELEV. 95'-3 1/2"
29.20m
LEVEL 11 AMENITY ROOF DECK/LOBBY
ELEV. 108'-3 1/2"
33.01m
LEVEL 11 MECH ROOM & GARDEN STORAGE
ELEVATOR PENTHOUSE
ELEV. 112'-4"
34.24m
PRIVATE ROOF DECK ON LEVEL 9
ELEV. 77'-11"
23.75m
STAIR ROOF
ELEV. 151'-6 1/2"
46.19m
ROOF
ELEV. 143'-4"
43.69m
MECHANICAL PENTHOUSE
ELEV. 153'-11 1/2"
46.93m
LEVEL 14 PRIVATE DECK
ELEV. 122'-11 1/2"
37.48m
LEVEL 11 EXIT STAIR
ELEV. 105'-7"
32.18m
LEVEL 4 PRIVATE DECK
ELEV. 122'-11 1/2"
37.48m
116'-8"
3M SETBACK
PROPERTY LINE
3.0M GARDEN CITY ROAD LOT LINE
LINE OF 3M SET BACK
117'-9 1/2"
9'-10"
NEIGHBOURHOOD PARK SRW LINE
57'-9"
148'-3 1/2"
66'-10"
S.R.W LINE
PROPERTY LINE

1 ROOF PLAN
A-2.17 1/8" = 1'-0"

gbl
GBL ARCHITECTS INC
109 EASTERN AVENUE
VANCOUVER, BC CANADA V5T 1R8
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FAX 604 731 3079

Legal Address: LOT 1; SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6 WEST; NEW WESTMINSTER DISTRICT PLAN EPP27512

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DP 13-642725 Feb 16/15

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CONCORD PACIFIC

CONCORD GARDENS
PHASE 2
8988 Patterson Rd,
Richmond, BC

ROOF PLAN

DATE	16/02/2015 12:19:57 PM
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SCALE	
JOB NUMBER	1251

A-2.17