



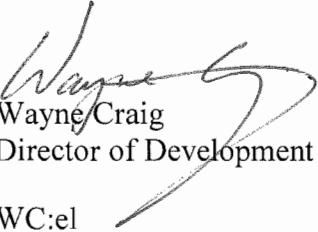
City of Richmond

Report to Development Permit Panel

To: Development Permit Panel **Date:** November 21, 2014
From: Wayne Craig **File:** DP 14-663759
Director of Development
Re: Application by Amar Sandhu for a Development Permit at 7400, 7420 and 7440 Railway Avenue

Staff Recommendation

That a Development Permit be issued which would permit the construction of 14 townhouse units at 7400, 7420 and 7440 Railway Avenue on a site zoned "Low Density Townhouses (RTL4)".


Wayne Craig
Director of Development

WC:el
Att.

Staff Report

Origin

Amar Sandhu has applied to the City of Richmond for permission to develop fourteen (14) two-storey townhouse units at 7400, 7420 and 7440 Railway Avenue (Attachment 1). The subject site is being rezoned from "Single Detached (RS1/E)" to "Low Density Townhouses (RTL4)" for this project under Bylaw 9015 (RZ 12-619835), which received third reading following the Public Hearing on April 22, 2014. The properties currently contain three (3) single-family dwellings, which will be demolished.

Frontage improvements were secured through the rezoning process and will be constructed through a separate Servicing Agreement (SA 14- 667212), which must be entered into prior to final adoption of the rezoning bylaw. Works include, but are not limited to: removal of the existing sidewalk, construction of a new 1.5 m wide sidewalk and a 2.0 m grass and treed boulevard between the new sidewalk and the existing curb along the site frontage and extended south to the north property line 7488 Railway Avenue, installation of street lighting to replace the existing Hydro lease lights, and upgrade of the existing 450 mm diameter storm sewer along Railway Avenue frontage to 600 mm diameter. A sanitary sewer statutory right-of-way is located along the entire east property line of the subject site, no upgrades to the sanitary sewer is required.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 2) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

To the North: Three (3) "Single Detached (RS1/E)" lots with a mix of newer and older homes fronting Railway Avenue; and single-family lots zoned "Single Detached (RS1/E)" and "Single Detached (RS1/B)" further north fronting Linfield Gate.

To the South: Two (2) deeper "Single Detached (RS1/E)" lots with older homes; and then two (2) "Single Detached (RS1/B)" lots with newer homes and a temporary shared access from Railway Avenue to the unopened back lane; further south are six (6) more "Single Detached (RS1/E)" lots fronting Railway Avenue.

To the East: Three (3) "Single Detached (RS1/B)" lots with newer homes and one (1) "Single Detached (RS1/H)" lot, all fronting Lindsey Road.

To the West: Across Railway Avenue, Railway Corridor Greenway, then McCallan Road with a mix of newer and older, larger single-family dwellings on "Single Detached (RS1/E)" lots.

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on April 22, 2014. The following concerns were expressed during the Public Hearing. The response to the concern is provided in *italics*.

1. Traffic on Railway Avenue.

Transportation staff have reviewed the proposed townhouse development and confirmed that the proposed fourteen (14) unit townhouse development should result in a manageable increase in traffic over the existing three (3) single-family houses. This marginal increase is expected to have minimal impact to the surrounding road system and can be accommodated within the capacity and geometry of Railway Avenue including southbound movements into the site.

It is noted that the Railway Avenue corridor is designed for all road users including transit and pedestrians, as well as bicycle lanes in both directions. Transportation supports a direct access from Railway Avenue which will be full movement north and south. The townhouse proposal reduces the number of access points on Railway Avenue from three (3) to a single driveway.

2. Parking in the neighbourhood.

The proposed development meets the off-street parking requirement in the Zoning Bylaw with two (2) parking spaces for each unit and exceeds the bylaw parking rate for visitor spaces by providing one additional visitor stall on site. This should minimize potential parking impacts on adjacent streets.

3. Neighbourhood character.

Two-storey ground oriented duplexes and detached units with traditional residential character are proposed to compliment surrounding single-family houses and help integrate the project into the existing neighbourhood. High building quality details, materials and landscaping are proposed to enhance the streetscape.

4. Privacy.

The development is designed to minimize overlook on adjacent lots. All proposed units are limited to two- storeys. The proposed 5.5 m (ground floor) to 6.0 m (second floor) rear yard setback exceeds the minimum rear yard requirement in the Zoning Bylaw and will comply with the Townhouse Development Requirements under the Arterial Road Policy. Proposed side yard setbacks along the north and south property lines meet the bylaw required 3.0 m setback, which exceeds the typical minimum setback for single-family dwellings. A solid 1.8 m high wood fence is proposed along all property lines abutting residential lots.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the “Low Density Townhouses (RTL4)” zone.

Advisory Design Panel Comments

The Advisory Design Panel has reviewed and supported the project. A copy of the relevant excerpt from the Advisory Design Panel Minutes from Wednesday, October 8, 2014 is attached for reference (Attachment 3). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in ‘***bold italics***’.

Analysis

Conditions of Adjacency

- The proposed height, siting and orientation of the buildings generally address the massing of the surrounding residential developments. Two-storey detached and duplex units are proposed to respect the adjacent existing single-family developments, and to minimize privacy and overlook concerns.
- The detached units along the rear property line provide a good transition between the duplex units along Railway Avenue and the single-family homes to the east. The proposed roof line has been minimized to diminish the impact of shadowing to the neighbours.
- The increased rear yard setback (minimum 5.5 m on the ground floor and 6.0 m on the second floor, compared to 3.0 m as required under the Low Density Townhouse zones) provides appropriate private outdoor open space for the units at the back of the site and further minimizes the impact of the proposed development on existing single-family houses to the east.
- The existing site grade within the backyards is to be maintained. Perimeter drainage will be required as part of the Building Permit to ensure storm water is managed and addressed through the development and will not impact the neighbouring properties.
- While no tree planting is permitted within the SRW along the east property line, various shrubs and trees are proposed outside the SRW to form a landscape buffer; a row of cedar hedge and 1.8 m solid wood fence are also proposed along the east property line to increase privacy of the adjacent single-family homes to the east as well as privacy in the yard spaces of the proposed development.
- Adjacent properties to the north and south have future potential for redevelopment as townhouses, and the proposed development does not reduce this potential. A public right-of-passage (PROP) statutory right-of-way (SRW) on-site allowing access to/from the adjacent future development sites via the subject site has been secured at rezoning.

Urban Design and Site Planning

- The site layout includes eight (8) duplex units and six (6) detached units.
- The proposed site layout provides for a pedestrian-oriented streetscape of townhouses fronting Railway Avenue, with a landscaped edge treatment, low wood picket fencing, and gates to individual townhouse unit front doors.
- The internal road layout is a T-shape with future cross-access connections to the neighbouring properties to the north and south, secured by SRW.
- All units have two (2) vehicle parking spaces in a side-by-side double car garage. A total of four (4) visitor parking spaces, including one (1) accessible visitor parking space, are provided throughout the site. The number of visitor parking spaces proposed exceeds the minimum bylaw requirement (i.e., 3 spaces).
- Both inside and external bicycle parking is provided and is also in compliance with the zoning bylaw requirements.
- Outdoor amenity space is proposed opposite to the site entry for maximum casual surveillance opportunity and sun exposure. The size and location of the outdoor amenity space is appropriate in providing open landscape and amenity convenient to all of the units. A covered mailbox kiosk and short-term bicycle parking spaces are provided within the outdoor amenity area.
- The required garbage, recycling and organic waste storage enclosures are proposed off the north-south driveway adjacent to the site entry, and have been incorporated into the design of Building No. 1 and Building No. 10 to minimize their visual impact.

Architectural Form and Character

- A pedestrian scale is achieved along the public street and internal drive aisle with the inclusion of variation in building height, building projections, recesses, entry porches, varying material combinations, and landscape features. All units along Railway Avenue have direct individual access from the street.
- The impact of blank garage doors has been mitigated with panel patterned doors, transom windows, and planting islands along the drive aisle.
- Two (2) colour schemes are proposed to increase visual diversity through the use of materials and natural color options. Scheme One consists of deeper tones such as brick red and mustard olive to develop visual diversity. Scheme Two provides a flatter natural tone to maintain context with adjacent neighbours. Both schemes are proposed with a light trim to unify the project.
- The proposed building materials (asphalt roof shingles, hardi-plank siding, wood trim/post/band/bracket, stone base and metal clad doors) are generally consistent with the Official Community Plan (OCP) Guidelines and compatible with the existing single-family character of the neighbourhood.

Tree Preservation and Replacement

- Tree preservation was reviewed at rezoning stage. The developer is proposing to retain and protect seven (7) trees located along the Railway Avenue frontage and one (1) tree on the adjacent property to the east at 7373 Lindsay Road. To ensure the protected trees will not be

damaged during construction, tree protection fencing must be installed to City standards prior to any construction activities occurring on-site.

- A contract with a Certified Arborist to monitor all works to be done near or within the tree protection zone is required prior to Development Permit issuance. The footings for all of the porch posts to be installed close to or within the tree protection area will be hand dug and limited to 2 feet by 2 feet. Within the Tree Preservation Zone (TPZ), the planned patio and walkways will be in paving stone construction with the underlying roadbase and sand placed overtop the original grade with no excavation will be undertaken. The proposed walkways will be located a minimum of 1.0 m from any retained tree.
- No Landscaping Security will be returned until the post-construction assessment report, prepared by the Arborist, confirming the protected trees have survived the construction, is reviewed by staff.
- 26 bylaw-sized trees on-site were identified for removal due to general poor condition and a total of 45 replacement trees were secured at rezoning stage (7 replacement trees were exempted considering the effort made by the applicant to retain the 7 existing bylaw trees on site). The applicant is proposing to plant 17 replacement trees on-site, including 5 conifers and 12 deciduous trees. Contribution to the City's Tree Compensation Fund for planting of the balance of replacement trees within the City was secured at Rezoning stage.
- Two (2) city trees located within the city boulevard in front of the site will be impacted by the required storm sewer upgrades and frontage improvements. Parks Operations staff agreed to the removal of these two (2) trees based on the health and condition of the trees, as well as the required frontage improvement works along Railway Avenue. A cash compensation for the street tree removal in the amount of \$3,250 will be required.

Landscape Design and Open Space Design

- Each unit will have a private yard with tree/shrub/groundcover planting, patio, and lawn area.
- Hedges, an assortment of shrubs and ground covers, and perennials and grasses have been selected to ensure the landscape treatment remains interesting throughout the year.
- The street side landscape defines the private yard boundaries with low metal fences along the property line and low shrubs inside the yards. The front yards are internally separated by fencing and hedging to create privacy.
- A children's play area designed for children aged 2 to 5 years old is proposed for the outdoor amenity area. The play equipment includes a playhouse, counter, and a tunnel; it was chosen to fit into the provided space and to allow multiple children to play at the same time. The equipment provides social, active, and imagination play opportunities.
- A bench will be provided for caregivers.
- Feature paving will highlight road transitions at the site entrance and the drive aisle ends, as well as at the intersection of the internal drive aisle. Permeable pavers will be used to identify a pedestrian route from the site entrance to the internal units, and to provide a break in the asphalt internal driveway.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$132,740.30 in association with the Development Permit.

- Indoor amenity space is not proposed on-site. A \$14,000 cash-in-lieu contribution has been secured as a condition of rezoning approval, consistent with the OCP.

Crime Prevention Through Environmental Design

- The architect advised that the following CPTED design/features are incorporated into the proposal:
 - additional windows provided to Buildings 5 & 6 facing the outdoor amenity area to increase surveillance opportunity;
 - low metal fence with gates along the frontage and low planting on either side of the fence to provide for visual porosity into the site;
 - the play area located at the centre of site for maximum surveillance opportunity; and
 - low planting between the play area and the internal road for better surveillance.

Sustainability

- At rezoning stage, the applicant committed to achieving an EnerGuide rating of 82 for the proposed town houses and to pre-ducting all units for solar hot water heating.
- A Certified Energy Advisor has confirmed that the proposed townhouse units will be designed to achieve an EnerGuide rating of 82. The report prepared by the Energy Advisor is on file and will be utilized through the Building Permit review process to ensure these measures are incorporated in the permit drawings.
- A legal agreement is required to be registered on-title prior to issuance of the Development Permit to ensure that all units are designed to achieve an EnerGuide rating of 82 (as detailed by the Certified Energy Advisor), and to include pre-ducting for solar hot water heating.
- The developer also advises that the following sustainability features will be incorporated into the development:
 - seven (7) existing trees along the street and one (1) existing tree at the rear of the site are to be retained and protected onsite;
 - permeable paving proposed for visitor parking stalls and key areas of the internal driveway to increase permeability;
 - energy efficient appliances in all units;
 - large operable windows provide natural light and ventilation;
 - large gable roofs for improved envelope performance;
 - locally sourced materials with low V.O.C. emissions; and
 - native planting proposed for longevity within the area.

Accessible Housing

- The proposed development includes one (1) convertible unit that is designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of these units will require installation of a chair lift (where the staircase has been dimensioned to accommodate this in unit Ab) in the future, if needed.

- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
 - stairwell hand rails;
 - lever-type handles for plumbing fixtures and door handles; and
 - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Conclusions

The applicant has satisfactorily addressed staff's comments regarding conditions of adjacency, site planning and urban design, architectural form and character, and landscape design. The applicant has presented a development that fits into the existing context. On this basis, staff recommend support of this Development Permit application.



Edwin Lee
Planner 1

EL:rg

Attachment 1: Location Map

Attachment 2: Development Application Data Sheet

Attachment 3: Excerpt from the Minutes of the Advisory Design Panel Meeting—October 8, 2014

The following are to be met prior to forwarding this application to Council for approval:

- Final adoption of the Zoning Amendment Bylaw 9015.
- Registration of a legal agreement on title identifying that the proposed development must be designed and constructed to meet or exceed EnerGuide 82 criteria for energy efficiency and that all dwellings are pre-ducted for solar hot water heating.
- Receipt of a Letter-of-Credit for landscaping and tree survival in the amount of \$132,740.30; Letter-of-Credit will not be released until the Letter of Assurance that landscaping installed from Landscape Architect as well as the Post Construction Impact Assessment Report confirming the protected trees survived the construction from Arborist are reviewed by staff.
- Submission of a proof of contract with a Certified Arborist to monitor all works to be done near or within the tree protection zone.
- City acceptance of the developer's offer to voluntarily contribute \$3,250.00 to Parks Division's Tree Compensation Fund for the removal of two (2) trees located on the City boulevard in front of the site.
Note: Developer/contractor must contact the Parks Division (604-244-1208 ext. 1342) four (4) business days prior to the removal to allow proper signage to be posted. All costs of removal and compensation are the responsibility borne by the applicant.

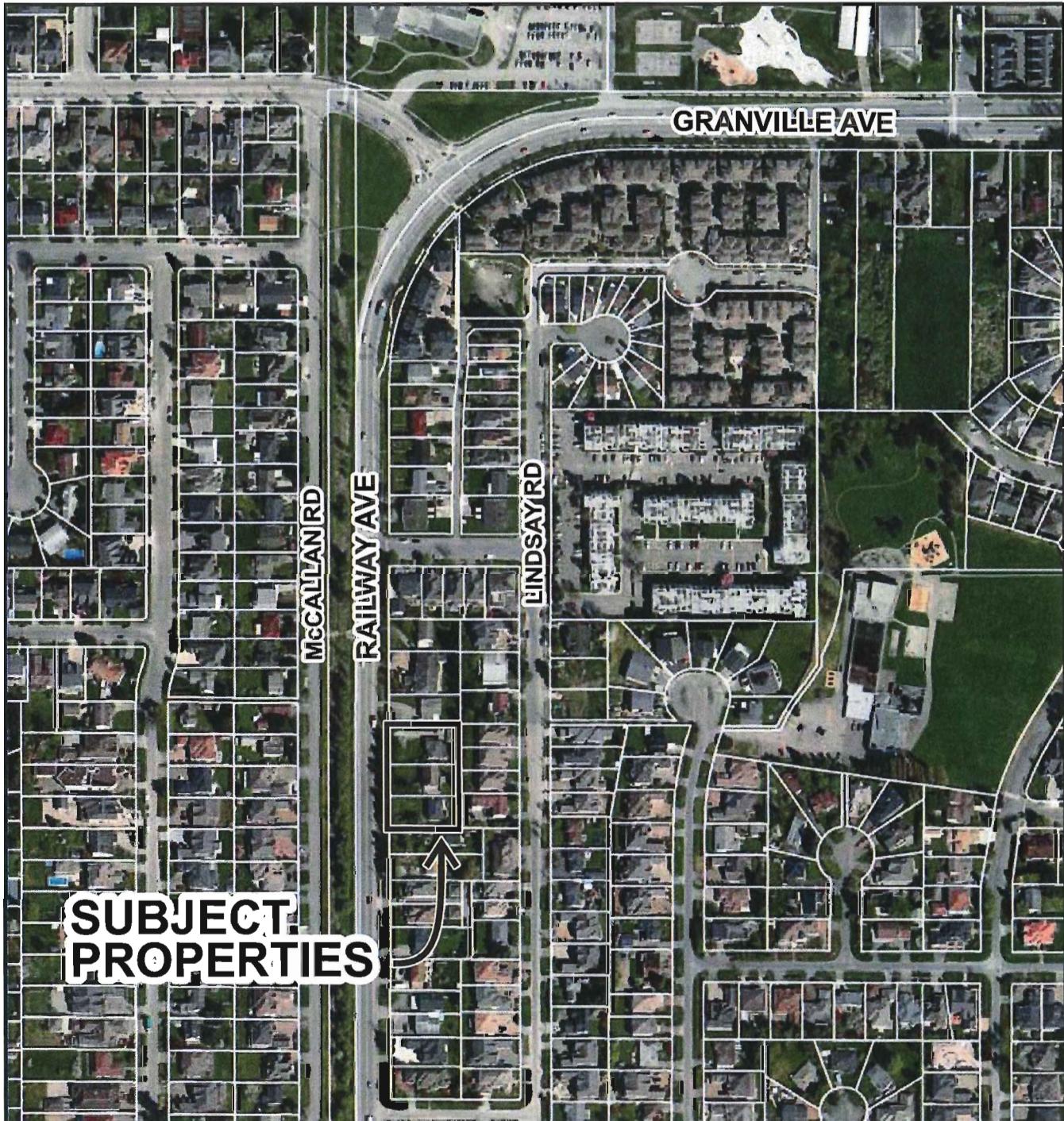
Prior to future Building Permit issuance, the developer is required to complete the following:

- Incorporation of accessibility, CPTED, and sustainability features/measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
- Submission of DCC's (City & GVS&DD), School site acquisition charges, and Utility charges etc.
- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Division at 604-276-4285.*

- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Division (<http://www.richmond.ca/services/ttp/special.htm>).
- If applicable, payment of latecomer agreement charges associated with eligible latecomer works.



**City of
Richmond**



DP 14-663759

Original Date: 11/20/14

Revision Date

Note: Dimensions are in METRES



**City of
Richmond**

Development Application Data Sheet
Development Applications Division

DP 14-663759

Attachment 2

Address: 7400, 7420 and 7440 Railway Avenue

Applicant: Amar Sandhu Owner: SSB Homes Ltd.

Planning Area(s): Blundell

Floor Area Gross: 2,378 m² Floor Area Net: 1,803 m²

	Existing	Proposed
Site Area:	3,025.7 m ²	No Change
Land Uses:	Single-Family Residential	Multiple-Family Residential
OCP Designation:	Neighbourhood Residential	No Change
Zoning:	Single Detached (RS1/E)	Low Density Townhouses (RTL4)
Number of Units:	3	14

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.60	0.60	none permitted
Lot Coverage – Building:	Max. 40%	40%	none
Lot Coverage – Non-porous Surfaces:	Max. 65%	58%	none
Lot Coverage – Landscaping:	Min. 25%	28%	none
Setback – Front Yard (m):	Min. 6.0 m	6.0 m Min.	none
Setback – North Side Yard (m):	Min. 3.0 m	3.0 m Min.	none
Setback – South Side Yard (m):	Min. 3.0 m	3.0 m Min.	none
Setback – Rear Yard (m):	Min. 3.0 m	5.5 m Min.	none
Height (m):	Max. 12.0 m (3 storeys)	9.77 m Max.	none
Lot Width:	Min. 50.0 m	66.08 m	none
Off-street Parking Spaces – Regular (R) / Visitor (V):	2 (R) and 0.2 (V) per unit	2 (R) and 0.28 (V) per unit	none
Off-street Parking Spaces – Total:	31	32	none
Tandem Parking Spaces:	Max. 50% of proposed residential spaces (28 x Max. 50% = 14)	0	none

Small Car Parking Spaces	Max. 50% when 31 or more spaces are provided on site (32 x Max. 50% = 16)	2	none
Handicap Parking Spaces:	Min. 2% when 3 or more visitor parking spaces are required (3 x 2% = 1)	1	none
Amenity Space – Indoor:	Min. 70 m ² or Cash-in-lieu	Cash-in-lieu	none
Amenity Space – Outdoor:	Min. 6 m ² x 14 units = 84 m ²	84 m ²	none

**Excerpt from the Minutes from
The Design Panel Meeting**

**Wednesday, October 8, 2014 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall**

5. DP 14-663759 – 14-UNIT TOWNHOUSE DEVELOPMENT

APPLICANT: Amar Sandhu

PROPERTY LOCATION: 7400, 7420 and 7440 Railway Avenue

Applicant's Presentation

Architect Taizo Yamamoto, Yamamoto Architecture Inc., and Landscape Architect Patricia Campbell, PMG Landscape Architects, presented the project and answered queries from the Panel on behalf of the applicant.

Panel Discussion

Comments from the Panel were as follows:

- note the lack of transition from the drive aisle to the front doors of the rear units; look at slightly setting back the front door to create some transition from the drive aisle;

As per discussions with the planner, the rear entry units have been located close to the drive aisle to ensure prominence and visibility to pedestrians.

- separating the back units to appease the neighbours to the east may not be a successful move as it reduces the outdoor amenity space; the amenity space is a tight zone between two residential units;

For a small townhouse development, this was extremely controversial and underwent an extensive public consultation process. Several public information meetings were arranged showing different options for the site. The public was strongly opposed to the idea of townhouses and was very concerned about privacy and overlook of units into their rear yards. One of the justifications we presented to the Public, both at the Public Information meetings and at Public Hearing was that we were proposing single units facing their homes. This means that from their yards they will be looking at smaller scale buildings, and the widths of the buildings facing them will be broken up. As a result of these smaller buildings, the roof line will be lower and will provide more access to daylight. In light of the extent of public opposition and to maintain a transparent public process, we would like to keep the layout of single unit buildings that was shown at Public Hearing. We are concerned that the neighbours will feel that their opposition was not heard, and that in the end we did not do what was promised to them.

- appreciate the overall form, character and scale of the project; variation of the facades, roof lines and colours work nicely;

Noted.

- project is well designed; however, the outdoor amenity space is small; consider lowering the roof lines of adjacent units to allow more sunlight exposure to the amenity space;

Additional sunlight exposure in outdoor amenity area provided by minimizing the slopes of the gables to Unit A2 (Bldg. 5) and removing the double gable to Unit A1 (Bldg. 6). Overhang of these roofs have also already been minimized to meet building code and maintain sun exposure.

- consider public art for the project;

Owner has agreed to make a cash contribution in lieu of public art.

- project is well handled; form and character is good and relates well to the site context;

Noted.

- concern on the narrow separation between rear units as the spaces don't appear functional; rear units could be paired up to increase the size of the outdoor amenity space and make it functional;

See response above.

- appreciate the provision of a convertible unit in the project; ensure that the size of the bottom stair lift platform is adequate;

Minimum clearance space of 750mm x 600mm platform shown at the bottom of the stairs of convertible unit.

- appreciate the applicant's submission of predicted Energuide rating; however, the proposed use of electric baseboards for space heating is not advisable; consider alternative heating systems for heating space;

Client would like to propose electric base boards for space heating but will meet Energuide 82 requirements.

- consider parti-walls in lieu of spaces between the rear units for better energy efficiency;

See response above.

- building elevations and colours are interesting;

Noted.

- like the character of the proposed buildings; consider design development to gables for units facing the internal drive aisle;

Additional design development of gables for units facing internal roadway was studied. Incorporating these changes largely compromise the functionality and flow of the floor plan. Unit and elevation proposed to remain the same.

- agree with comments that the rear buildings should be paired to better utilize the site; spaces between rear units may not necessary as trees along the east property line provide screening from the neighbouring property to the east;

See response above.

- visual porosity in the eastern façade has been achieved at the expense of the reduced size of the outdoor amenity area; agree with suggestions from the Panel to pair the rear buildings together and provide further articulation to the eastern façade; and

See response above.

- if the rear buildings are joined together to enhance energy efficiency and increase the size of the outdoor amenity area, consider cricket roofs to maintain a break between the roofs of each pair of units.

See response above.

- *(In addition, the Chair also read the following comments of Panel member Grant Brumpton)*
- review the suitability of the proposed naturalized/recycled play equipment for rainy weather;

PMG have amended the play area to be a mix of natural and structured play and have eliminated the natural wood components that were an issue with the design panel.

- agree with the staff recommendation to plant a tree at the east end of the amenity space to enhance the natural element of the play area design and provide a focal point;

PMG has amended the landscape plan to include two small fruit trees at the east side as part of the amenity area experience.

- applicant needs to work with an arborist; and
- An arborist is part of the consultant team and will ask that Sandhill Developments have them advise the team on tree issues during the course of construction.***
- look at the feasibility of planting underneath the large coniferous trees.

We believe that the planting scheme will work in the area of the existing conifers. PMG has added note to advise the arborist to be on site when undertaking any construction within their tree protection area.

Panel Decision

It was moved and seconded

That DP 14-663759 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Panel.

CARRIED

Opposed: Matthew Thomson and Kai Chen



City of Richmond

Development Permit

No. DP 14-663759

To the Holder: AMAR SANDHU

Property Address: 7400, 7420 AND 7440 RAILWAY AVENUE

Address: C/O SANDHILL DEVELOPMENT LTD.
228-11020 NO 5 ROAD
RICHMOND, BC V7A 4E7

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #16 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$132,740.30 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.
7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

Development Permit
No. DP 14-663759

To the Holder: AMAR SANDHU
Property Address: 7400, 7420 AND 7440 RAILWAY AVENUE
Address: C/O SANDHILL DEVELOPMENT LTD.
228-11020 NO 5 ROAD
RICHMOND, BC V7A 4E7

AUTHORIZING RESOLUTION NO. ISSUED BY THE COUNCIL THE
DAY OF ,

DELIVERED THIS DAY OF ,

MAYOR



**City of
Richmond**

12	20.12	20.12	20.12	20.12	20.12	19.28
21.95		18.29				
479	7451	7431	7411	7391	7371	
.95	18.29	20.12	20.12	20.12	19.63	

McCALLAN RD

16.76	20.12	20.12	25.82	18.59	27
7460	7440	7420	7400	7360	73
	20.12	20.12	25.72	45.72	
	22.02	14.69	14.69	14.69	
	60.39	45.72	28.82	37.28	21.42
	20.12	20.12	28.82	37.28	21.42
6.76	37.29	37.29	37.29	37.31	21.42
	7431	7391	7373	7371	7351
	22.02	14.68	14.68	14.68	21.42
	22.64	37.27			21.42

LINDSAY RD

20.12	15.24	15.24	14.01	14.01	19.57	19
7440	7388	7382	7380	7360	7340	73

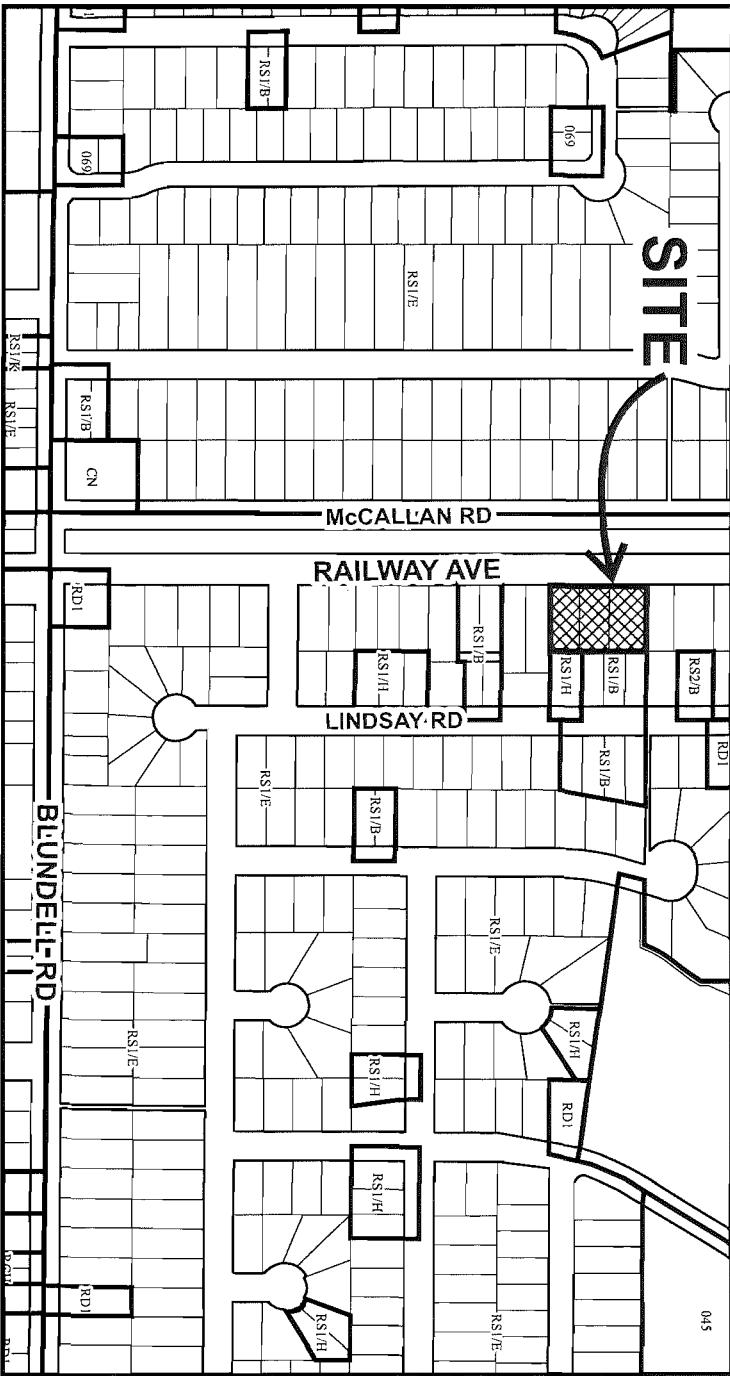
DP 14-663759

SCHEDULE "A"

Original Date: 05/30/14

Revision Date: 11/20/14

Note: Dimensions are in METRES

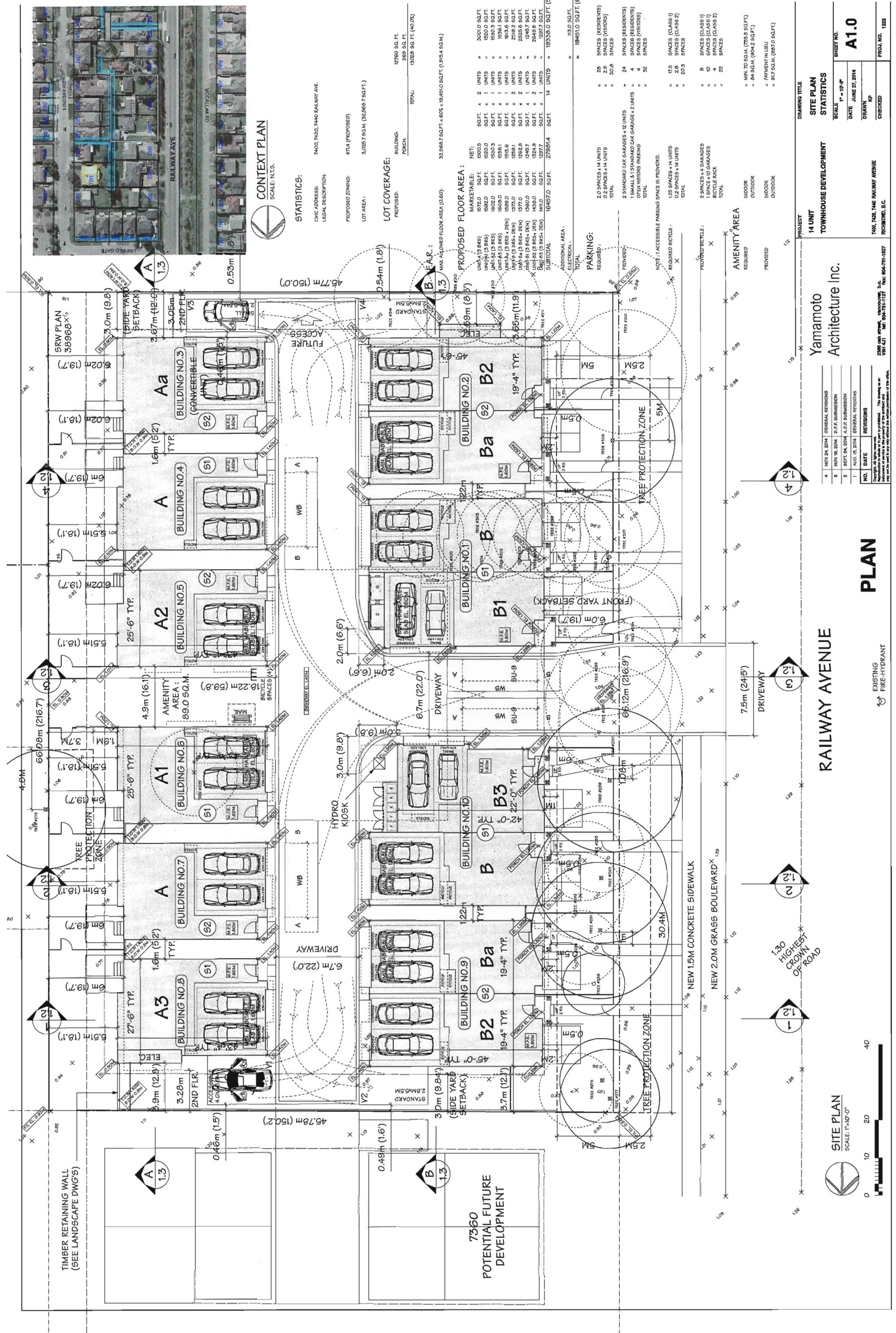


DP 14-663759 PLAN #1

NOV 21 2014

PLAN

RAILWAY AVENUE



SITE PLAN



SCALE: 1" = 10'-0"

0 10 20 40

150' 45'

150' 45'

150' 45'

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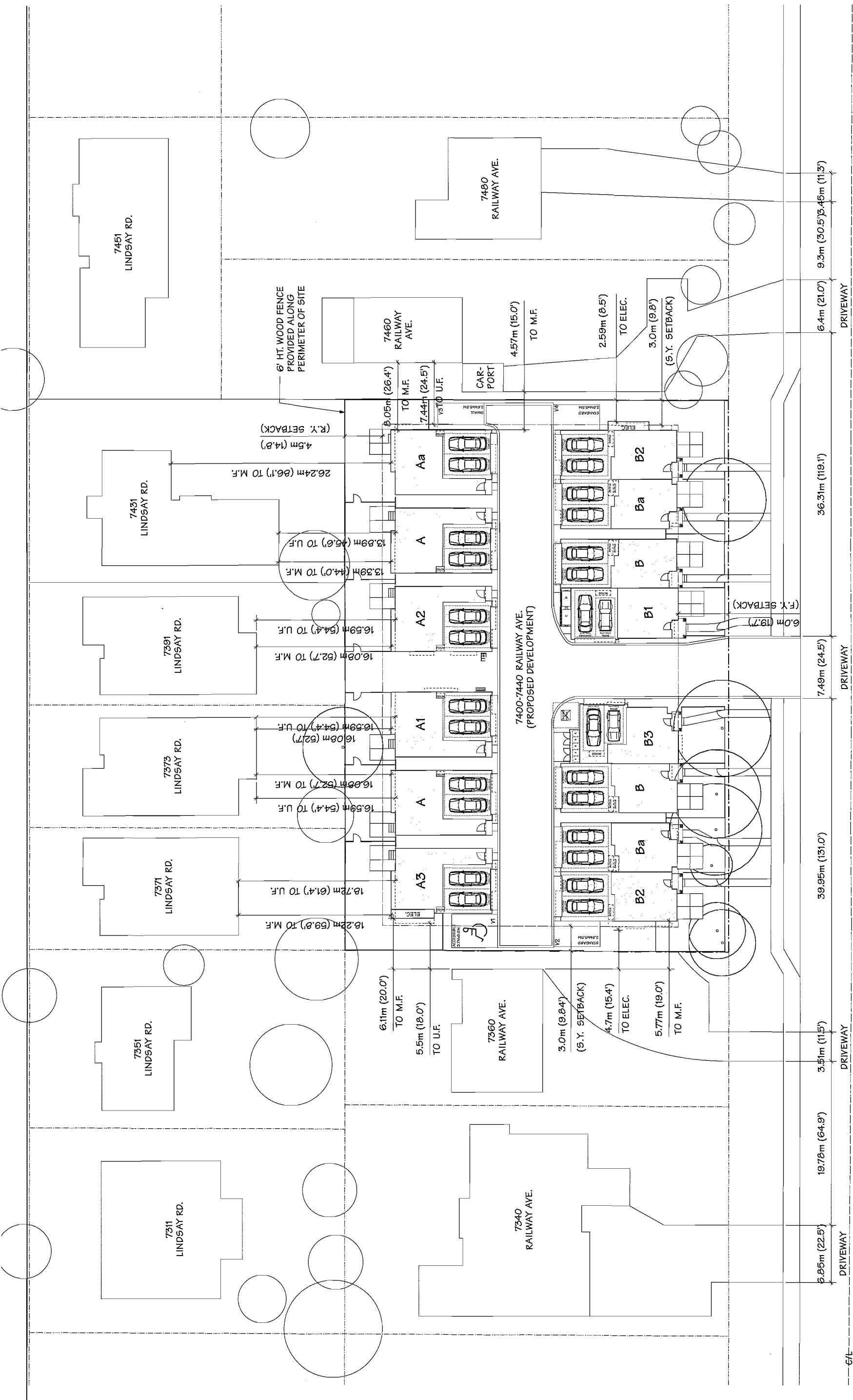
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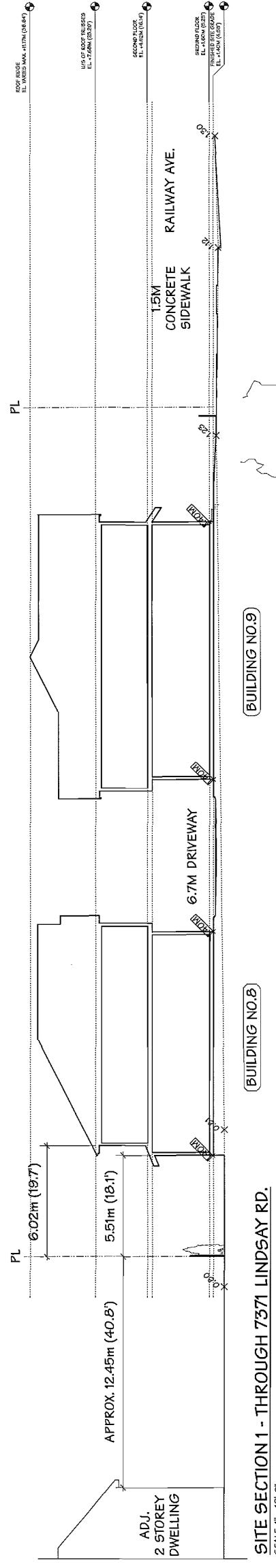
RAILWAY AVENUE

CONTEXT PLAN
SCALE: 1/16'-0"

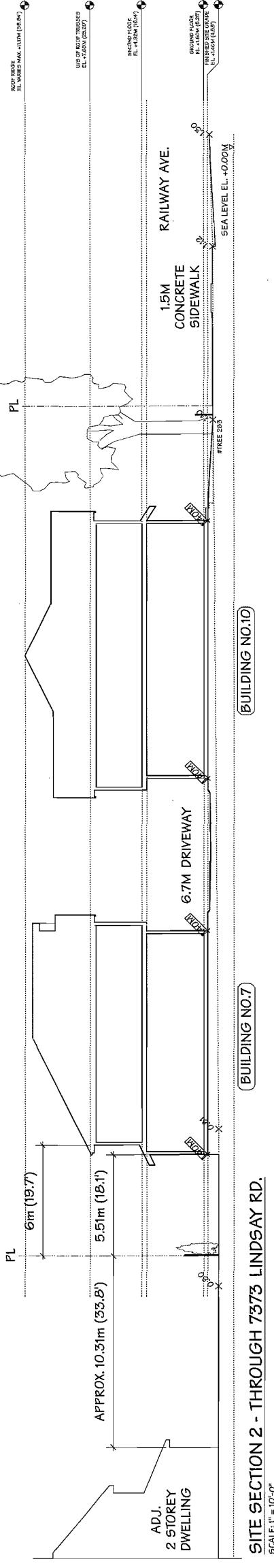


*NOTES:
-ALL DIMENSIONS ARE APPROXIMATE
-M.F. = MAIN FLOOR
-U.F. = UPPER FLOOR

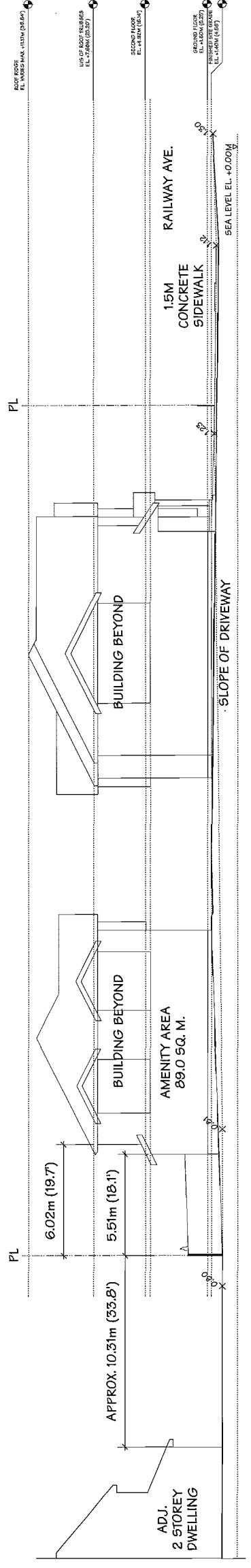
DRAWING NO.:		A1.1	
SHEET NO.:			
SCALE:		1" = 10'-0"	
DATE:		JUNE 27, 2014	
DRAWN:		KP	
TOWNSCAPE INC.		7400, 7420, 7440 RAILWAY AVENUE	
14 UNIT TOWNHOUSE DEVELOPMENT			
CONTEXT PLAN			
Yamamoto Architecture Inc.			
GENERAL REVISIONS			
4	NOV. 24, 2016	GENERAL REVISIONS	
5	NOV. 19, 2014	D.F.R. SUBMISSION	
2	SEPT. 24, 2014	A.D.P. SUBMISSION	
1	AUG. 15, 2014	GENERAL REVISIONS	
REVISIONS			
NO.	DATE	Comments: All drawings superseded.	



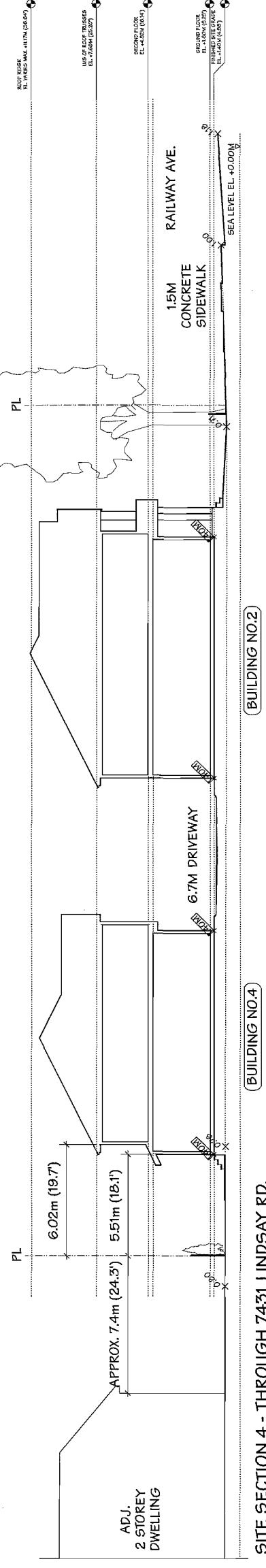
SITE SECTION 1 - THROUGH 7371 LINDSAY RD.



SITE SECTION 2 - THROUGH 7373 LINDSAY RD.



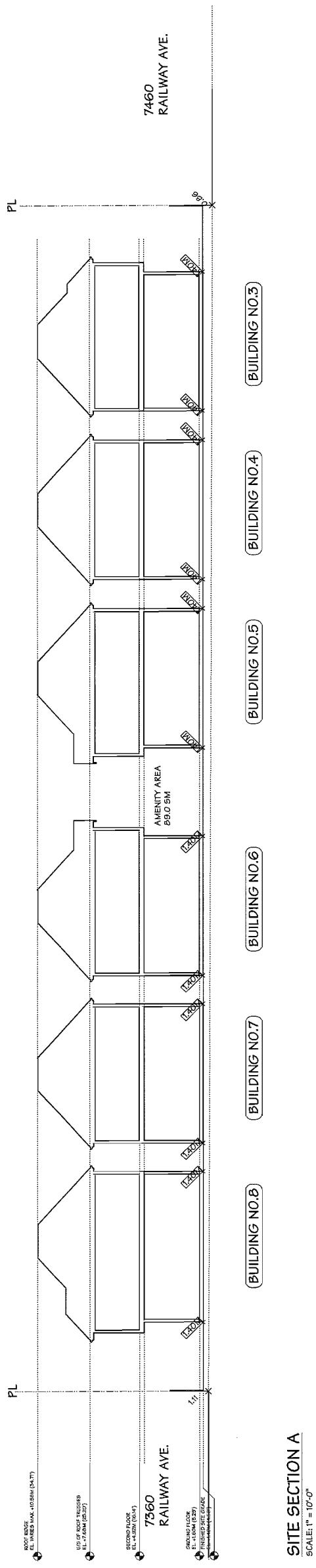
SITE SECTION 3 - THROUGH 7391 LINDSAY RD. & DRIVEWAY



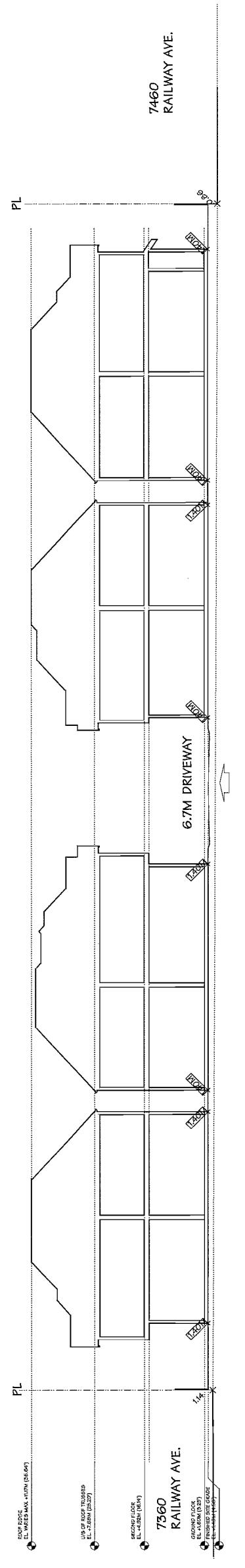
SITE SECTION 4 - THROUGH 7431 LINDSAY RD.
SCALE: 1" = 10'-0"

SITE SECTIONS		SCALE 1" = 10'-0"	DATE MAY 23, 2014	DRAWN KP	CHECKED	FIRCA N. 122
14 UNIT TOWNHOUSE DEVELOPMENT						
4	NOV 24, 2014	GENERAL REVISONS				
5	NOV 19, 2014	D.P.F. SUBMISSION				
2	SEPT 24, 2014	A.D.J. SUBMISSION				
1	APR 15, 2014	GENERAL REVISONS				
		REVISIONS				
NO.	DATE					
		Copyright of this drawing reserved. Duplication or distribution without written consent of the architect is prohibited. The drawing is the property of the architect and remains so until paid for in full. Any cost to copy it may be charged to the client. FIRCA N. 1227				
		2288 oak street, vancouver, b.c. V6J 4J1 tel: 604-781-1127				

PLAN



SITE SECTION A



SITE SECTION B
SCALE: 1" = 10'-0"

		DRAWING TITLE		SITE SECTIONS	
		PROJECT 14 UNIT TOWNHOUSE DEVELOPMENT		SCALE 1" = 10'-0"	
				SHEET NO. A1.3	
4 NOV 24, 2014		GENERAL REVISIONS		DATE MAY 23, 2014	
5 NOV 18, 2014		D.P.T. SUBMISSION		DRAWN BY KP	
6 SEPT 24, 2014		A.D.R. SUBMISSION		CHECKED BY KP	
1 AUG 15, 2014		GENERAL REVISIONS		FDL. NO. 1222	
NO. DATE		REVISIONS			
2380 74th Street, Vancouver, B.C. V6K 4Z1		TEL: 604-734-1327			
7480, 7420, 7440 RAILWAY AVENUE RICHMOND, B.C.					
<p>PLAN</p> <p>This drawing is an original work of the author. It is to be provided, reproduced or distributed only with the written permission of the author. Any unauthorized use or distribution of this drawing may result in legal action against the user.</p>					

DP 14-663759 PLAN #5

NOV 21 2014

PROJECT		DRAWING TITLE	SHEET NO.
		SHADOW ANALYSIS	A1.6
Yamamoto Architecture Inc.	TOWNHOUSE DEVELOPMENT	SCALE: 1/32"=1'-0"	
		DATE JUNE 27, 2014	
		DRAWN KP	
		CHECKED	PROJ. NO. 122

PLAN

SEPTEMBER 23rd - 2 PM



SEPTEMBER 23rd - 12 PM



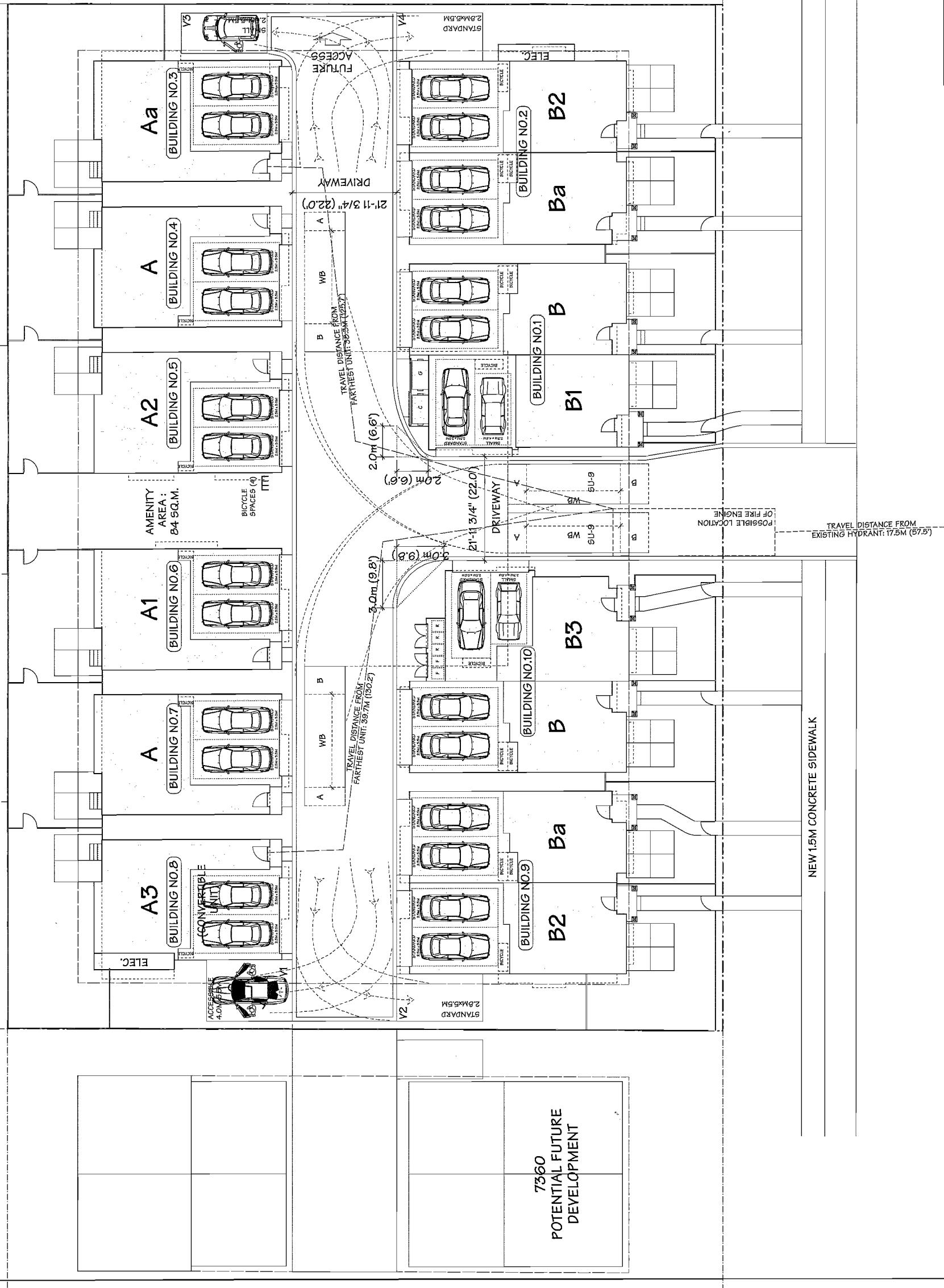
SEPTEMBER 23rd - 10 AM



SCALE: 1/32"=1'-0"
SHADOW ANALYSIS

PROJECT		DRAWING TITLE	SHEET NO.
		SHADOW ANALYSIS	A1.6
Yamamoto Architecture Inc.	TOWNHOUSE DEVELOPMENT	SCALE: 1/32"=1'-0"	
		DATE JUNE 27, 2014	
		DRAWN KP	
		CHECKED	PROJ. NO. 122

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File No. 100-727-1-127
Version 4.1
Date: NOV 21 2014
Title: 7460, 7461, 7462 RAILWAY AVENUE
Location: RICHMOND, B.C.
Drawing No.: 100-727-1-127

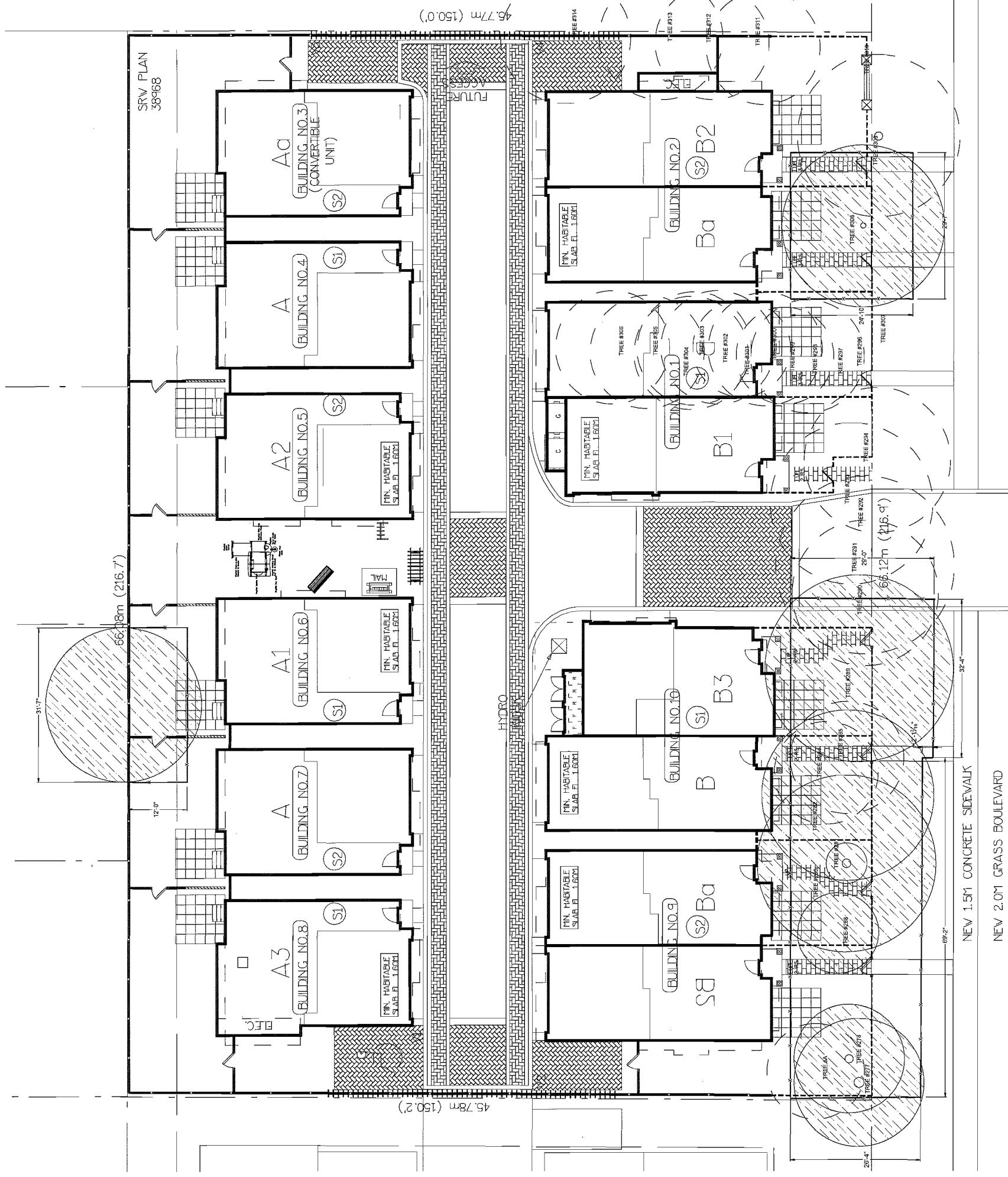
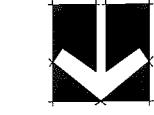


DRAWING TITLE		PARKING PLAN	
		SCALE 1" = 10'-0"	SHEET NO.
		A.2.0	
PROJECT 14 UNIT TOWNHOUSE DEVELOPMENT		DATE MAY 22, 2014	
Yamamoto Architecture Inc.		DRAWN KF	
		CHECKED	PROJ. NO. 1822
PLAN		2010 Park Street, Vancouver, B.C. Tel: 604-731-1227 Fax: 604-731-4211	
RAILWAY AVENUE		MAIL BOX	
PARKING / FIREFIGHTING PLAN		EXISTING FIRE-HYDRANT	
SCALE: 1" = 10'-0"			
0	10	20	40
			



LANDSCAPE
ARCHITECTS
Suite C100 - 4785 St. Creek Drive
Burnaby, British Columbia, V5C 6J9
P: 604.284.0011 ; F: 604.284.0022

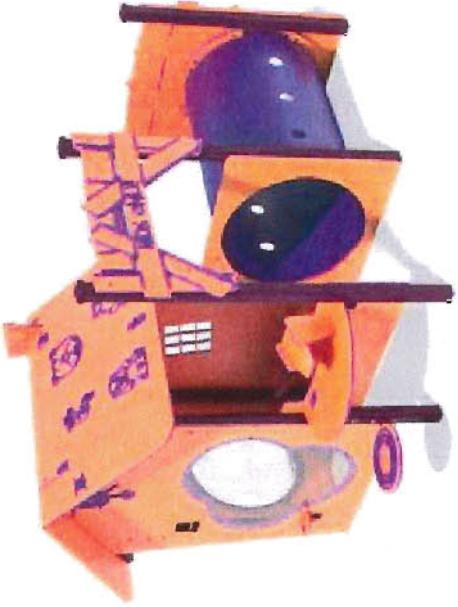
SIGL:



25-11



HENDERSON PLAY - LITTLE VILLAGE



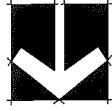
PLANT SCHEDULE		BOTANICAL NAME	KEY	QTY
TSE	1	MALUS RUBRA 'APPEL'		
	2	MALUS URBANA 'APPL'		
	3	PICEA OMORICA		
	4	PITYRIS CALLERYANA		
WHRB	5			
AB	6	ABELIA EDWARD GO		
A1	7	AZALEA JAPONICA 'GOLDEN'		
A2	20	DIPLAX MICHIGAN		
K	59	EPIPHYLLOM		
E	15	EUONYMUS ALATA		
EM	7	EUDYSTROPHIA FORTUN		
H-B	10	HYDRANGEA PANIC		
P	9	PIPER JAPONICA		
TX	121	TAXUS X MEDIA 'HIGH'		
T	158	THUJA OCCIDENTALIS		
BI	5	VACCINIUM CORINN		
B	93	VACCINIUM CORYMB		
BASS				
H	55	HAKONECHLOA MAC		
HS	33	HELIOTROCHON SIN		
WHE				
VN	2	CLEMATIS JACKMAN		
P	6	PARTHENOCISSUS TR		
PERENNIAL				
H-O	48	HOSTA 'BLUE HAWAII'		
S	144	SEDUM 'DRAGONS'		
Sp.				
L	51	BLECHUM SPICANT		
C	48	CYTRINUM FORTUIT		
F	119	POLYSTICHUM MUN		
V	128	VACCINIUM VITIS-IDA		

THE JOURNAL OF CLIMATE

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omg LANDSCAPE ARCHITECTS Suite C100 - 4418 Still Creek Drive Burnaby, British Columbia, V5C 6G9

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SEAI -

This architectural site plan for SRW PLAN 38968 illustrates the layout of buildings, fences, walls, and landscaping. The plan includes the following key features:

- Buildings:** A1 (BUILDING NO.7), A2 (BUILDING NO.5), A3 (BUILDING NO.8), A4 (BUILDING NO.4), A5 (BUILDING NO.3 (CONVERTIBLE UNIT)), B1 (BUILDING NO.1), B2 (BUILDING NO.2), B3 (BUILDING NO.10), B4 (BUILDING NO.9), and C1 (BUILDING NO.2).
- Fences and Walls:** 6' HT. WOOD PERIMETER FENCE, 6' HT. WOOD PRIVACY FENCE WITH TRELLIS, 6' HT. WOOD RETAINING WALL, 6' HT. WOOD PERIMETER FENCE, 6' HT. WOOD PERIMETER FENCE, 6' HT. WOOD RETAINING WALL, 42' HT. METAL FENCE, and 42' HT. METAL FENCE.
- Landscaping:** Retaining wall as required, trees labeled TREE #278, TREE #277, TREE #269, and TREE #268, and signage.
- Dimensions:** Horizontal dimensions include 45.77m (150.0') and 66.12m (216.9'). Vertical dimensions include 45.78m (150.2') and 45.77m (150.0').
- Notes:** NEW 1.5M CONCRETE SIDEWALK and NEW 2.0M GRASS BOULEVARD are indicated along the bottom edge.

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14-663759 #10

P

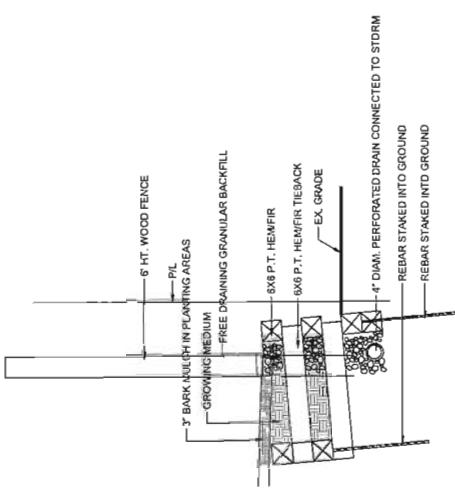
NOV 21 2014



LANDSCAPE
ARCHITECTS

Suite C100 - 4185 Stur Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604 284-0011 : f: 604 284-0022

SEAL:

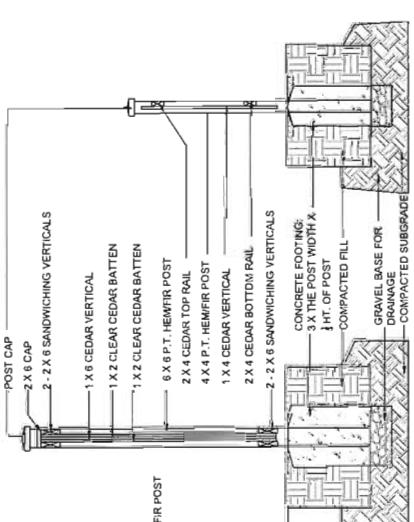


ALL WOOD PRESSURE TREATED CSA STANDARDS FOR SEVERE CONDITIONS.
TREATMENT TO BE APPLIED TO ALL EXPOSED WOOD AS STATED IN DRAWINGS.
OIL-BASED PRESERVATIVE IS NOT TO BE APPLIED TO EXPOSED WOOD.
DRILL AND HAM EACH TIMER WITH GALVANIZED 10' SPIKES MAXIMUM 4" O.C.
TEBACK AT 10" O.C. MAXIMUM READMEN CONTINUOUS REBAR PINS AS SHOWN
BACKING IN 12" DEEP DYNAMIC BACKFILL TO 95% OF ORIGINAL DENSITY.
PROVIDE GAPS IN BOTTOM ROW OF WALL'S TO WEED HOLES.
TOP OF WALL TO CONSISTENT ELEVATION AS SHOWN. BATTER FACE OF WALL
TO FINISH GRADE AT BACK OF WALL TO INCLUDE 12" BATTER FACE OF WALL.
FOR REVIEW BY STRUCTURAL ENG.

2 WOOD RETAINING WALL

SCALE: 1/2" = 1'-0"

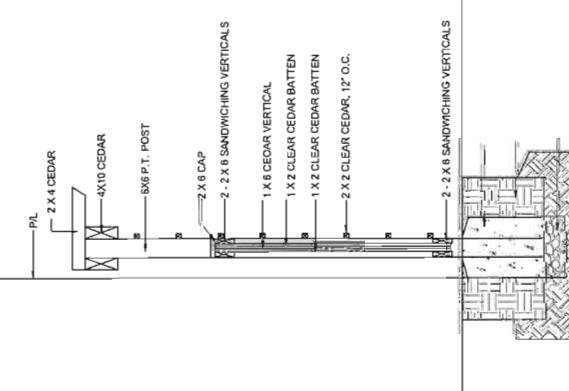
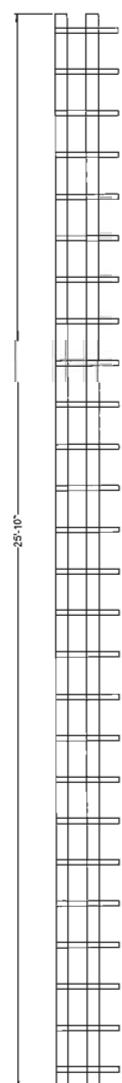
L-1



1 REAR YARD FENCE DETAIL

SCALE: 1"-0"

L-1



2 TRELLIS @ ROAD

SCALE: 1"-0"

L-1

BUILDING

6 X 6 POST @ BUILDING

1 X 6 CEDAR VERTICAL

2 X 4 CEDAR VERTICAL

2 X 2 X 6 SANDWICHING VERTICALS

2 X 6 CAP

MAX: 8'-0" O.C.

MAX: 8'-0" O.C.

1 X 4 CEDAR TOP RAIL

2 X 4 CEDAR BOTTOM RAIL

1 X 4 CEDAR VERTICAL

1 X 2 CLEAR CEDAR BATTEN

1 X 6 CLEAR CEDAR BATTEN

6 X 6 P.T. HEMFIR POST

2 X 4 P.T. HEMFIR POST

4 X 4 P.T. HEMFIR POST

1 X 4 CEDAR VERTICAL

2 X 4 CEDAR BOTTOM RAIL

2 X 2 X 6 SANDWICHING VERTICALS

CONCRETE FOOTING:

3 X THE POST WIDTH X

1/2 INT. OF POST

COMPACTED FILL

GRAVEL BASE FOR

DRAINAGE

COMPACTED SUBGRADE

3'-6"

25'-10"

MAX: 8'-0" O.C.

MAX: 8'-0" O.C.

1 X 4 CEDAR VERTICAL

2 X 4 CEDAR VERTICAL

2 X 2 X 6 SANDWICHING VERTICALS

2 X 6 CAP

1 X 6 CEDAR VERTICAL

1 X 2 CLEAR CEDAR BATTEN

1 X 2 CLEAR CEDAR BATTEN

2 X 2 CLEAR CEDAR, 12' O.C.

2 X 2 X 6 SANDWICHING VERTICALS

2 X 6 CAP

1 X 6 CEDAR VERTICAL

1 X 2 CLEAR CEDAR BATTEN

1 X 2 CLEAR CEDAR BATTEN

2 X 2 CLEAR CEDAR, 12' O.C.

2 X 2 X 6 SANDWICHING VERTICALS

2 X 6 CAP

1 X 6 CEDAR VERTICAL

1 X 2 CLEAR CEDAR BATTEN

1 X 2 CLEAR CEDAR BATTEN

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2 X 2 X 6 SANDWICHING VERTICALS

2 X 6 CAP

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1 X 2 CLEAR CEDAR BATTEN

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2 X 6 CAP

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2 X 6 CAP

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2 X 2 X 6 SANDWICHING VERTICALS

2 X 6 CAP

1 X 6 CEDAR VERTICAL

1 X 2 CLEAR CEDAR BATTEN

1 X 2 CLEAR CEDAR BATTEN

2 X 2 CLEAR CEDAR, 12' O.C.

2 X 2 X 6 SANDWICHING VERTICALS

2 X 6 CAP

1 X 6 CEDAR VERTICAL

1 X 2 CLEAR CEDAR BATTEN

1 X 2 CLEAR CEDAR BATTEN

2 X 2 CLEAR CEDAR, 12' O.C.

2 X 2 X 6 SANDWICHING VERTICALS

2 X 6 CAP

1 X 6 CEDAR VERTICAL

1 X 2 CLEAR CEDAR BATTEN

1 X 2 CLEAR CEDAR BATTEN

2 X 2 CLEAR CEDAR, 12' O.C.

2 X 2 X 6 SANDWICHING VERTICALS

2 X 6 CAP

1 X 6 CEDAR VERTICAL

1 X 2 CLEAR CEDAR BATTEN

1 X 2 CLEAR CEDAR BATTEN

2 X 2 CLEAR CEDAR, 12' O.C.

2 X 2 X 6 SANDWICHING VERTICALS

2 X 6 CAP

1 X 6 CEDAR VERTICAL

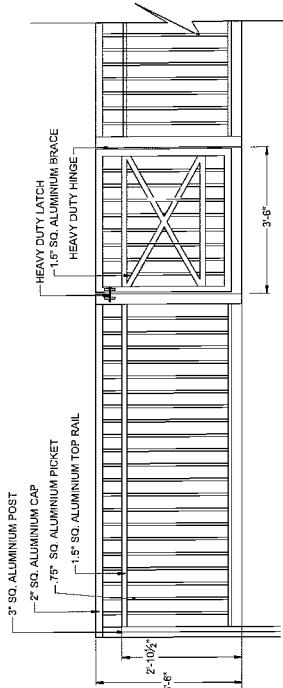
1 X 2 CLEAR CEDAR BATTEN



LANDSCAPE
ARCHITECTS

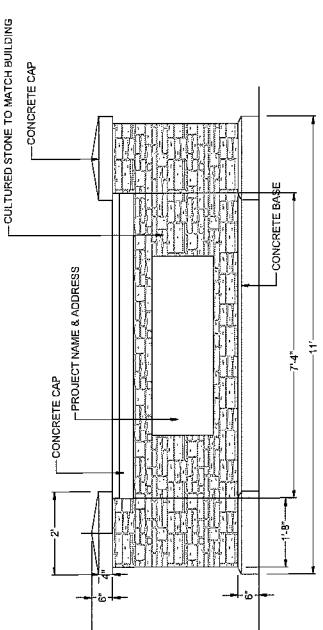
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Burnaby, British Columbia, V5C 1G9
P: 604.294.0011 : F: 604.294.0022

SEAL:



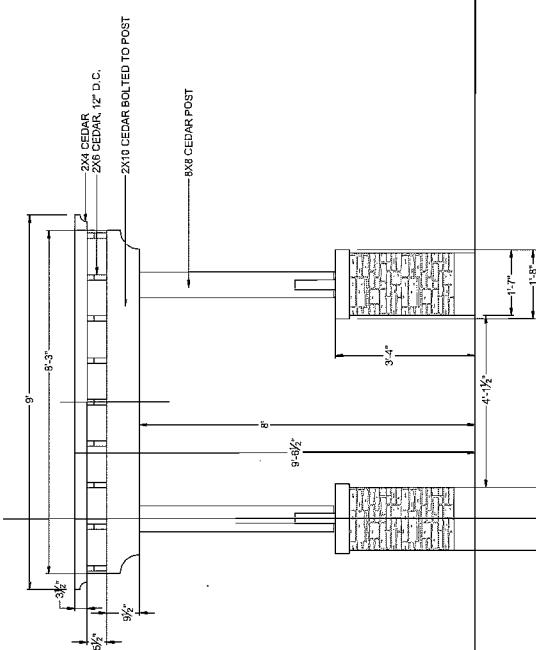
**5 42" HT. METAL FENCE WITH GATE
(STREET FRONT)**

SCALE: 1/2" = 1'-0"



4 SIGNAGE

SCALE: 1/2" = 1'-0"



6 TRELLIS @ AMENITY AREA

SCALE: 1/2" = 1'-0"

NO.	DATE	REVISION DESCRIPTION	DR.
1	13/MAY/15	REV. SITE PLAN	MM
2	13/MAY/15	NEW SITE PLAN	MM
3	14/AUG/15	REV. RETAINING WALL LOCATIONS	MM
4	14/AUG/15	NEW SITE PLAN/UR. COMMENTS	MM
5	14/AUG/15	REV. SITE PLAN	MM
6	14/AUG/15	REV. ACCORD TO HYDRO KIOSK	MM
7	14/AUG/15	REV. SITE PLAN	MM
8	14/AUG/15	REV. RETAINING WALL LOCATIONS	MM
9	14/AUG/15	REV. SITE PLAN	MM
10	14/AUG/15	REV. SITE PLAN	MM
11	14/MAY/15	NEW SITE PLAN	MM
12	14/MAY/15	REV. SITE PLAN	MM
13	14/MAY/15	REV. SITE PLAN	MM
14	14/MAY/15	REV. SITE PLAN	MM
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16	14/MAY/15	REV. SITE PLAN	MM
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45	14/MAY/15	REV. SITE PLAN	MM
46	14/MAY/15	REV. SITE PLAN	MM
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48	14/MAY/15	REV. SITE PLAN	MM
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169	14/MAY/15	REV. SITE PLAN	



7400, 7420, 7440 RAILWAY AVE. - SUBJECT SITE
7460 RAILWAY AVE.

4	NOV. 24, 2014	GENERAL REVISIONS
3	NOV. 19, 2014	D.P.P. SUBMISSION
2	SEPT. 24, 2014	A.D.P. SUBMISSION
1	AUG. 18, 2014	GENERAL REVISIONS
NO.	DATE	REVISIONS
CONSULTANT		

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<u>PROJECT</u>	
14 UNIT TOWNHOUSE	DEVELOPMENT
RICHMOND, B.C.	

7400, 7420, 7440 RAILWAY AVENUE
RICHMOND, B.C.

Yamamoto
Architecture Inc.

ZONE ONE AREA, VILLAGE, B.C.
VER. 4.21, MC 140-75112, INC 140-751127
DRAWING TITLE
STREETSCAPE

SCALE	1:128	BRIEF NO.
DATE	JUNE 27, 2014	
DRAWN	KP	A4.0
CHECKED		DRAWING NO. 122

PLAN

NOV 21 2014 DP 14-663759 PLAN #13

NOV 21 2014 DP 14-663759 PLAN

A4.1

PROJ. NO. 42

CHECKED

PROJ. NO. 42

DRAINED

PROJ. NO. 42

SCALE 1"=1'-0"

SHEET NO. 12

DATE JUNE 27, 2014

DRAWING TITLE ELEVATIONS

REVISIONS

PROJ. NO. 42

GENERAL REVISIONS

NOV 24, 2014

ADP SUBMISSION

JULY 16, 2014

ADP SUBMISSION

AUG 15, 2014

GENERAL REVISIONS

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ADP SUBMISSION

AUG 15, 2014

GENERAL REVISIONS

NO. DATE

REVISIONS

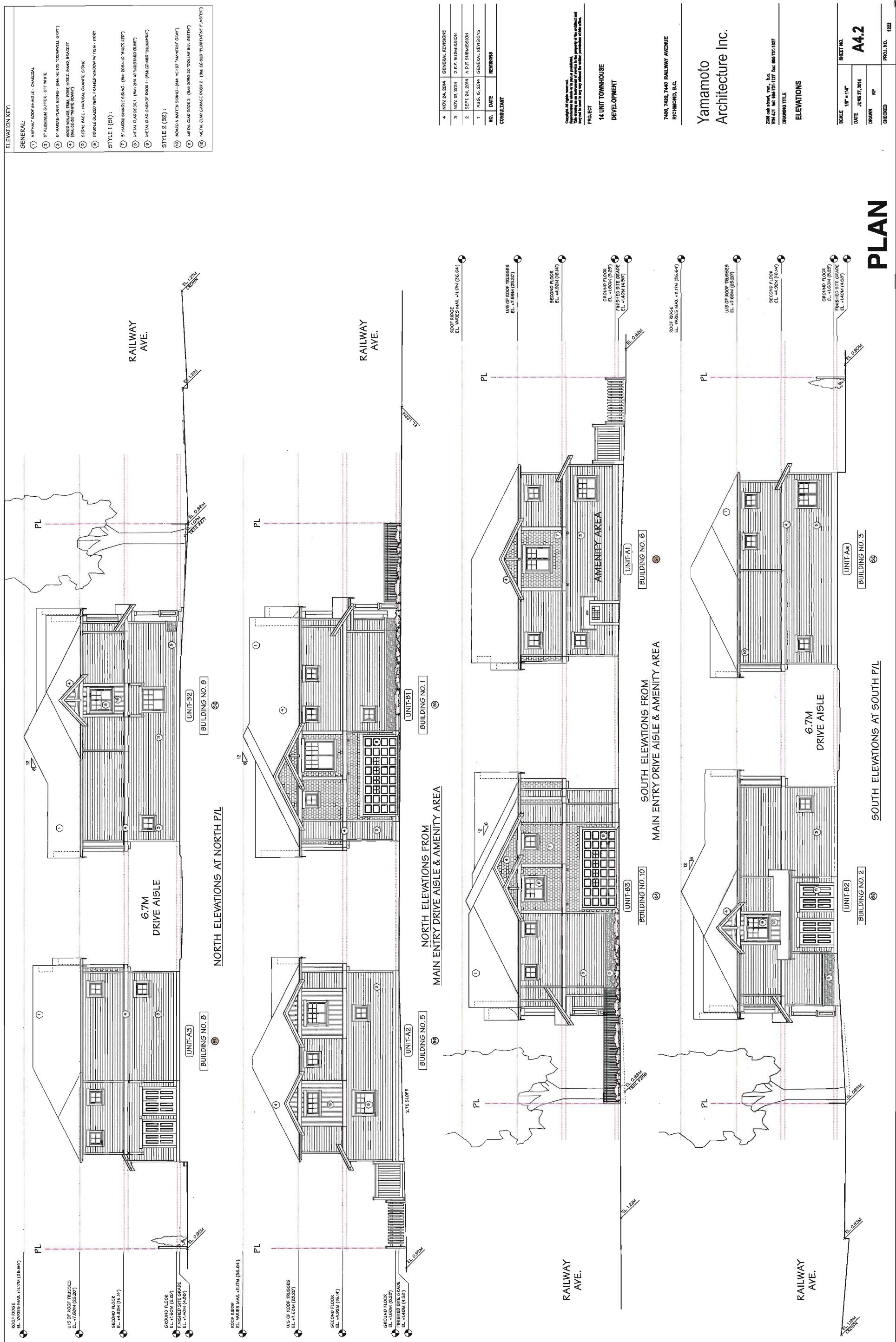
PROJECT

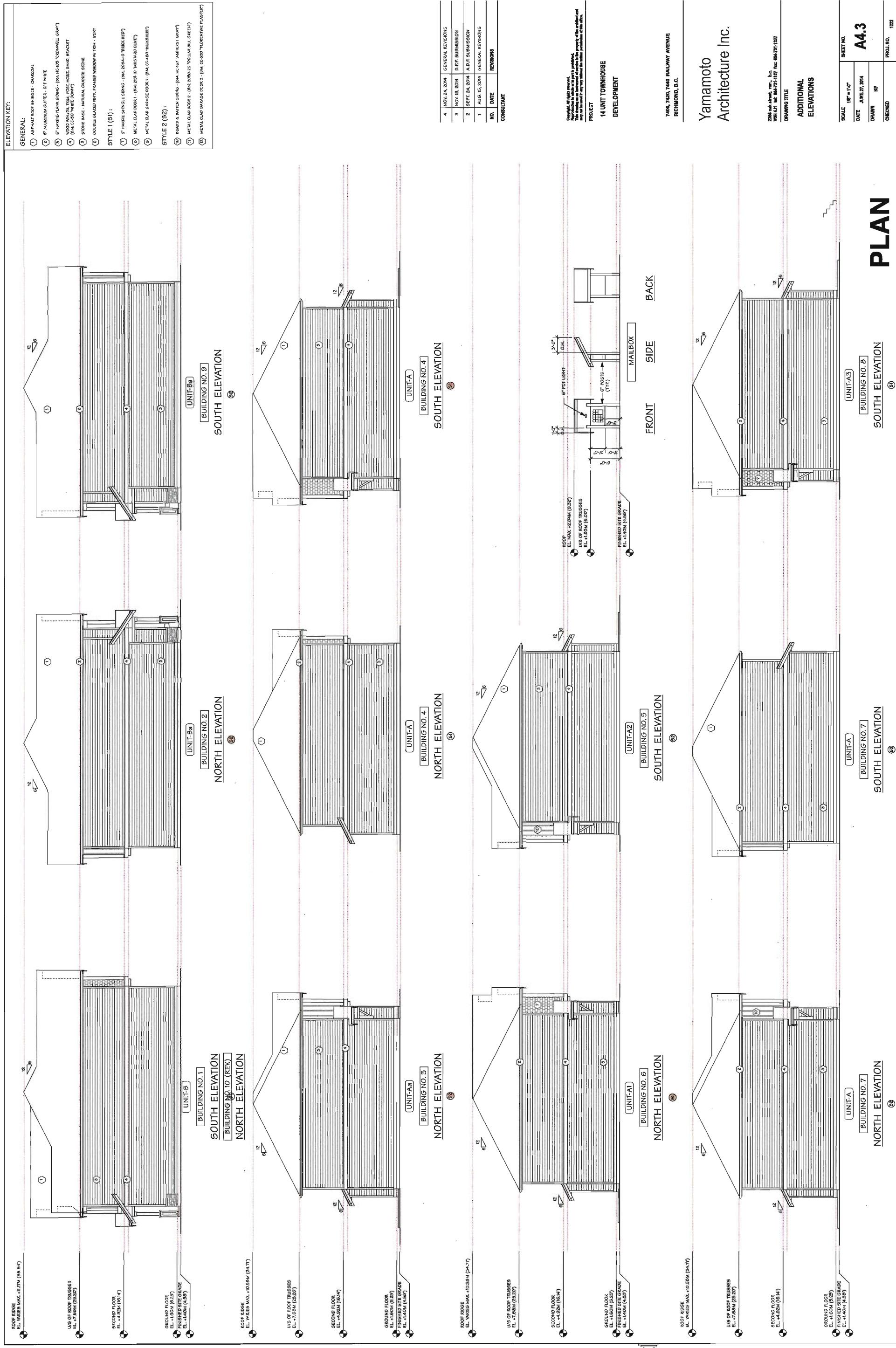
14 UNIT TOWNHOUSE

DEVELOPMENT

REVISIONS

NOV 24, 2014





PLAN

NOV 21 2014

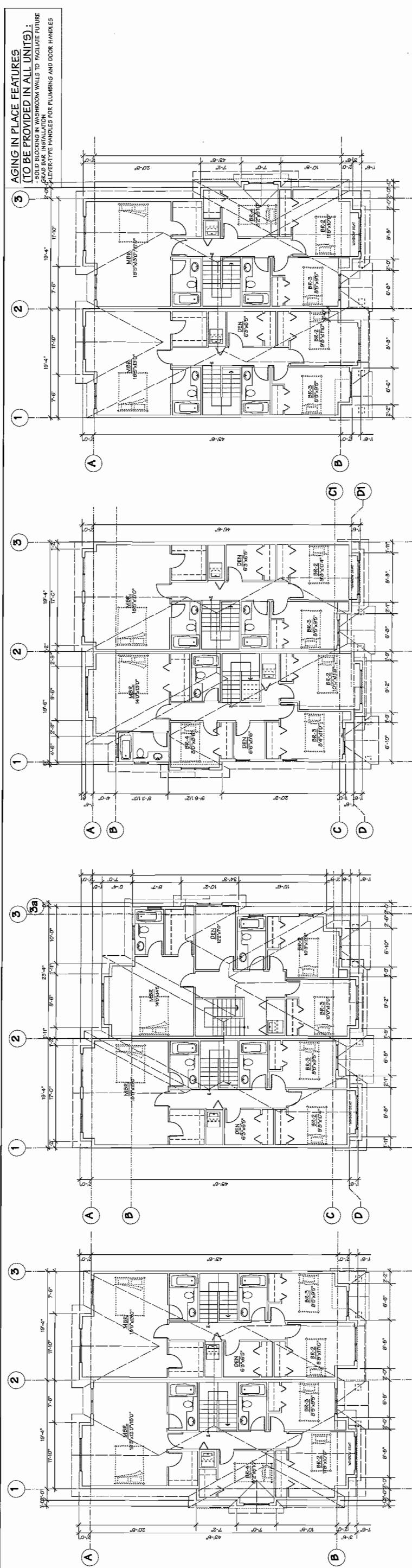
DP 14-663759 #16

PLAN DP 14-663759

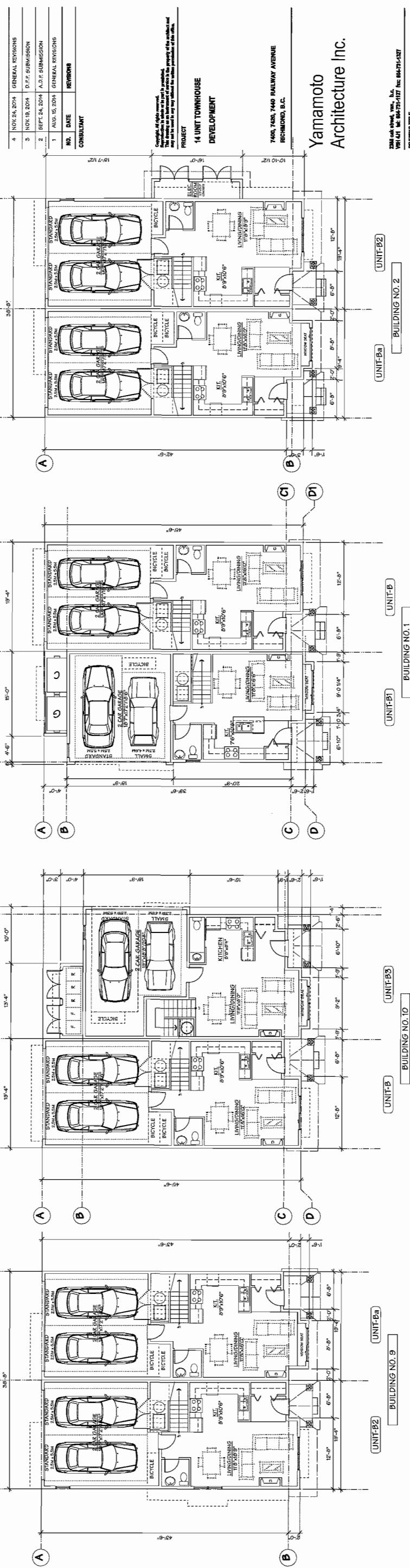
REFERENCE PLAN

NOV 21 2014

SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"
CEIL. HT: 9'-0"



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"
CEIL. HT: 9'-0"



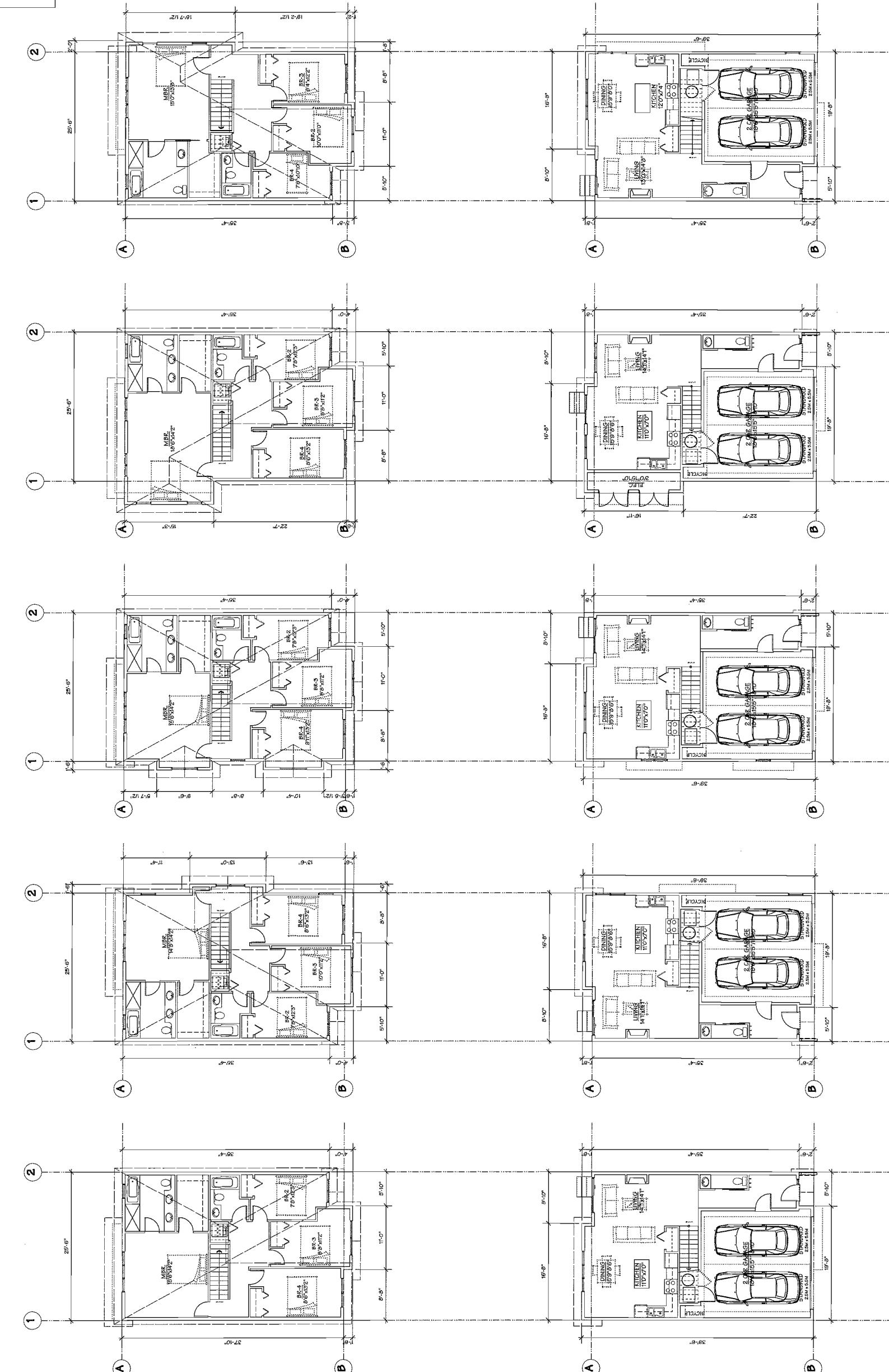
GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"
CEIL. HT: 10'-0"

DRAWING TITLE		SHEET NO.	
2014-06-27-1407 Rev. 1		A5.0	
DATE JUNE 27, 2014		DRAWN NP	
CHECKED PROJ. NO. 122		SHEET NO. 104-2014-1-207	
FLOOR PLANS		SCALE 1/8" = 1'-0"	

**Yamamoto
Architecture Inc.**

PROJECT		GENERAL INSTRUCTIONS	
14 UNIT TOWNHOUSE DEVELOPMENT		GENERAL INSTRUCTIONS	
7400, 7420, 7440 RAILWAY AVENUE, RICHMOND, B.C.		GENERAL INSTRUCTIONS	
NOV 24, 2014		D.P. SUBMISSION	
NOV 19, 2014		A.D.P. SUBMISSION	
AUG 15, 2014		GENERAL INSTRUCTIONS	
NO.	DATE	REVISION	CONSULTANT
1	18-7-112		

AGING IN PLACE FEATURES
 (TO BE PROVIDED IN ALL UNITS):
 - SOLID BUCKING IN WASHROOM WALLS TO FACILITATE FUTURE
 - LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES



GENERAL REFERENCES		
4	NOV 24, 2014	GENERAL REVISIONS
3	NOV 18, 2014	D.C.P. SUBMISSION
2	SEPT 24, 2014	A.D.P. SUBMISSION
1	AUG 15, 2014	GENERAL REVISIONS
INC	DATE	REVISIONS
		CONSULTANT

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PROJECT

7400, 7420, 7440 RAILWAY AVENUE

RICHMOND, B.C.

14 UNIT TOWNHOUSE

DEVELOPMENT

**Yamamoto
Architecture Inc.**

UNIT-Aa
BUILDING NO. 3
 (CONNECTABLE UNIT)

UNIT-B

UNIT-A3
BUILDING NO. B

UNIT-A2
BUILDING NO. 5

UNIT-A1
BUILDING NO. 6

UNIT-A
BUILDING NO. 4 & 7

MAIN ROOF OF ELOG.
 © MARCH 2014

2284 cold sheet, V80, Inc.
 V81-L47, lot 182-271-177 Rev. 80-271-177

DRAWING TITLE

FLOOR PLANS

SCALE	1'-0" = 1'-0"	SHEET NO.
1'-0"	JUNE 17, 2014	A5.1
1'-0"	NP	

REFERENCE PLAN

PLAN

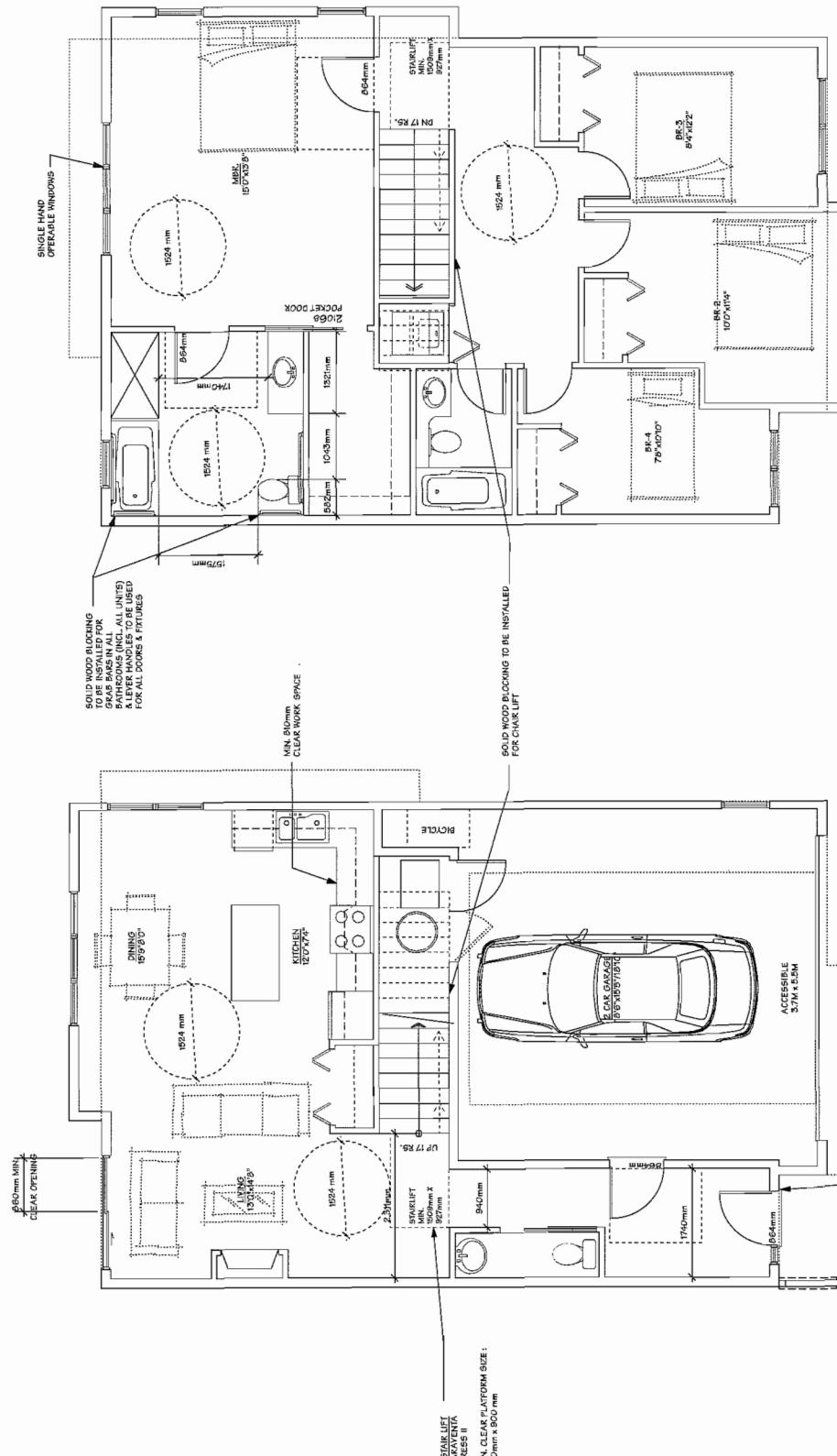
NOV 21 2014 DP 14-663759

**AGING IN PLACE FEATURES
(TO BE PROVIDED IN ALL UNITS):**

- SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION
- LEVER-STYLE HANDLES FOR PLUMBING AND DOOR HANDLES

CONVENTIONAL INIT CHECKLIST

Doors & Passways	COMPLIES
Entry door min. 825 mm high ideally 914 mm and have stairs access.	COMPLIES
Entry door clear aperture min. 1200 mm depth by door width plus 500 mm on each side (can be reduced if rough opening provided in frame and doors are self closing)	COMPLIES
Interior doors to main living areas, 1 bathroom and bedrooms, min. 200 mm clear opening with flush door handle base, 50 mm from floor to top of handle. All interior doors to the kitchen and dining areas, the utility and laundry as necessary and for down stairs to access to stairs.	COMPLIES
Passageway min. 850 mm clear openings. Note: Fire doors and Air intakes, fire doors within unit to comply with Building Code	COMPLIES
Lever-type handles for all doors.	COMPLIES
Stair lifts, staircase width, Tanning supports, and railings, as required on floor plans, see relevant manufacturer specification. OK	COMPLIES
Vertical life, decreases in slab area, and tanking, do not exceed an inch on floor plates in compliance with manufacturer specifications. Framing to accommodate surrounding structure	NOT APPROVED
At the top of all stairways, walls are reinforced with 2" x 12" solid lumber 5" x 4" from center.	COMPLIES
Hallways	Min. 900 mm width
Garderobes	Min. accessible parking space with min. 4 garage width
Bathrooms (Min. 1)	Tiles clear floor space min. 1220 mm at side and in front.
	Wall tiles for future grab bar installation at toilet, bath and shower. Reinforced with 2"X12" solid lumber in all bath tub, shower, and toilet locations.
Kitchen	Clean area needed under future work surfaces. Plumbing and pipe traps (small counter areas of future work space, sink and min. 800 mm wide counter)
	All pipes are brought in no higher than 304 mm to 365 mm to the centre of the pipe from floor level.
	Cabinets underneath sink are easily removed.
	1500 mm turning diameter or turning path diagram
Windows	Min. 1 window that can be opened with a single hand (bathroom, kitchen, living room)
Outlets & switches	Placement locations of electrical outlets, bedside, window, bottom of stairways, behind sofa, above sofa, above and below kitchen cabinets, within proximity of control centre for smart home options.
	Upgrade to four-outlet in master bedroom, home office, garage, and recreation.



CONVERTIBLE UNIT PLAN

SECOND FLOOR PLAN

BUILDING NO. 8

GROUND FLOOR PLAN

SCALE: 1/4" = 1'-0"

FEET, HT: 10'-0"

Yamamoto
Architecture Inc.

DEPARTMENT OF THE NAVY
WASH. D.C. 20375-5000
REF ID: A41444

FLOOR PLANS

印譜

PLAN

NOV 21 2014

DP 14-663759