



# City of Richmond

## Report to Committee

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**To:** Planning Committee  
**From:** Wayne Craig  
Director, Development

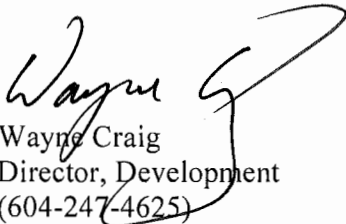
**Date:** December 11, 2018  
**File:** ZT 18-818765

**Re:** **Application by Christopher Bozyk Architects for a Zoning Text Amendment to the "Vehicle Sales (CV)" Zone to Increase the Floor Area Ratio to 0.82 at 13100 Smallwood Place.**

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### Staff Recommendation

That Richmond Zoning Bylaw 8500, Amendment Bylaw 9948, for a Zoning Text Amendment to the "Vehicle Sales (CV)" zone to increase the Floor Area Ratio to 0.82 at 13100 Smallwood Place, be introduced and given first reading.

  
Wayne Craig  
Director, Development  
(604-247-4625)

WC:dcb  
Att. 5

<b>REPORT CONCURRENCE</b>
<b>CONCURRENCE OF GENERAL MANAGER</b> 

## Staff Report

### Origin

Christopher Bozyk Architects Ltd. has applied for permission to amend the “Vehicle Sales (CV)” zone to increase the maximum Floor Area Ratio (FAR) to 0.82 at 13100 Smallwood Place.

A previous staff report was reviewed by Council at the meeting on November 13, 2018, and the application was referred back to staff. Council’s referral motion was as follows:

*“That the application by Christopher Bozyk Architects for a Zoning Text Amendment to the “Vehicle Sales (CV)” Zone to Increase the Floor Area Ratio to 0.82 at 13100 Smallwood Place, be referred back to staff to examine options to:*

- (1) incorporate rooftop solar panels; and*
- (2) reduce building height; and report back.”*

In response to Council’s referral, the applicant worked with staff resulting in a number of revisions to their proposal including the addition of rooftop solar panels, reduction to the proposed building height, agreeing not to enclose the parkade and to monitor and address bird strike concerns. These proposed modifications and comments provided by the applicant are outlined in the subsequent text. A revised plan set and other supporting materials are incorporated into this submission.

To minimize repetition, the sections listed below have not been included in this report as their content remains unaffected by the proposed modifications to the design. Please refer to the original report from the Director, Development dated October 30, 2018 (in Attachment E), for details on the following topics:

- Location Maps
- Surrounding Development Analysis
- Official Community Plan/East Cambie Area Plan Policies
- Agricultural Land Reserve (ALR) Buffer Zone
- Floodplain Management Implementation Strategy
- Aircraft Noise Sensitive Development Policy
- Ministry of Transportation and Infrastructure (MOTI) Approval
- Ministry of Environment (MOE) Approval
- Existing Legal Encumbrances
- Transportation Analysis
- Tree Retention and Replacement
- Public Art Contributions
- Site Servicing and Frontage Improvements
- Development Permit Review
- Financial Impact or Economic Impact

## Findings of Fact

A revised Development Application Data Sheet providing details about the development proposal is provided in Attachment A. The applicant's revised conceptual development plans are provided in Attachment B.

## Applicant Response

The applicant's responses to Council's November 13, 2018, referral motion and related discussion are provided below. Staff's assessment on each issue is provided immediately following the applicant's comments.

### 1. Rooftop Solar Panels

Applicant Response: The applicant has modified the plans to accommodate approximately 107 solar panels in a 207.6 m<sup>2</sup> (2,235 ft<sup>2</sup>) of the building's lower rooftop level. The proposed location is shown highlighted in red in the Conceptual Development Plans in Attachment B on the plan labeled DP.007.

The solar panels are anticipated to have a maximum output of approximately 38.52 kW. The applicant has advised that *"the power generated would be connected to a grid tie inverter and connected to the building distribution system. The energy produced will help offset the power required for the parking lot lighting."*

With respect to placing solar panels on the south façade of the building, the applicant has commented that *"we found that this may contribute to glare which was an issue brought up at the Advisory Design Panel Meeting and have been since advised that it may also affect birds impacting the building. An alternative location was found on the [second storey] rooftop which will be effective year round although somewhat reduced in winter months."*

Staff Comment: The Zoning Text Amendment Considerations (see Attachment D) have been amended to include a requirement for the registration of a legal agreement on Title prior to bylaw adoption. The agreement will contain provisions that the solar panels will be installed to the satisfaction of the Director of Building Approvals, maintained for the life of the building and will not be removed without City approval.

### 2. Building Height Reduction

Applicant's Response: The applicant has investigated reducing the building's parapet height as well as reductions to the overall building height while retaining the two additional parkade floors. The property owner has also provided additional comment on their request for the two parkade floors.

Regarding the parapet height, the revised plan submission incorporates a reduction of the parapet by 0.71 m (2.33 ft.). As amended, the proposed parapet will be approximately 1.07 m (3.5 ft.) above the roof deck conforming to the BC Building Code requirements.

The applicant also revised the parkade plans to minimize the floor to floor heights in the proposed parkade addition from the original values of 2.75 m (level 4 to 5) and 2.89 m (level 3 to 4) to 2.64 m for both. Both the elevator overrun and the stair enclosure heights have been reduced by 0.51 m. Their revised plans have reduced the height of the roof deck by 0.36 m (1.18 ft.) and reduced both the stair tower and the elevator overrun by 0.51 m (1.67 ft.).

The applicant notes that the height reduction *“had to take into account drainage and plumbing falls, the slope of slabs and the provision of a dry sprinkler which requires a fall in the pipes. The dry system is required as this [is] not a heated space. The sprinkler system itself required 12 in. clearance below the [underside] of the roof/floor slab.”* Collectively, these technical requirements limit the amount of height reductions possible between the parkade floors.

The property owner, (OpenRoad) has provided the following background context information as their primary reasons for requiring the two additional parkade levels:

*“As Toyota is a quality product at an accessible price point, car volumes and turnover are very high. It expected that between 350-400 cars will be sold here every month. The current showroom was designed to handle a fraction of this amount.*

*OpenRoad currently rent[s] land at two separate sites in Richmond; totaling 3.5 acres (152,000 ft<sup>2</sup>) for Toyota alone. They are forecast to require more in the future. The additional parkade along with the spaces already granted will eliminate this need and free up valuable [industrial] land which is acknowledged to be at a premium Richmond. The additional investment of this parkade will also eliminate the need for OpenRoad to rent this land. It is very difficult to find additional land if and when it is required.*

*There are also the logistics of transferring cars to and from these compounds to the showroom which creates unnecessary congestion for the city, extra emissions, and which cause logistical and time issues for OpenRoad.*

*If we are unable to build both additional parkade levels it will still necessitate renting land elsewhere. It will continue the current inefficient logistical situation at Toyota, described above, which is the reason a new showroom with larger inventory on site is required to begin with”.*

Staff Comment: Regarding parapet height, section 3.3.1.18 of the BC Building Code requires a guard no less than 1.070 m (3.5 ft.) high to be provided around any roof to which access is provided for purposes other than maintenance. The revised parapet height, as shown in the attached plans, is now at the minimum height required by the BC Building Code and cannot be reduced further. Building Approval staff have advised that, to date, no equivalency proposals have been accepted for this code requirement since this is a safety issue.

The revised building heights, incorporating the proposed reductions, are included in the revised Conceptual Development Plans (Attachment B). The variances needed to accommodate these heights are listed in the “Variances Requested” section of this report.

3. Shadow Impact Analysis

Applicant’s Response: The applicant has provided a shadow study based on the reduced building height (see Attachment B-Plan DP.024). More detailed shadow diagrams for those periods where the shadows will extend to the Nature Park have been provided (see Attachment B – Plans DP.025 to DP.028).

Staff Comment: The primary building on the Toyota site is approximately 42.5m (139.4 ft.) to the east of the Richmond Nature Park. Based on the submitted shadow diagrams, shading of the periphery of the park will occur at several times through the year, limited to early morning hours. The diagrams indicate the duration of the shadowing to be typically short (on the order of an hour after sunrise at the extremes).

4. Future Enclosure of the Parkade

Applicant’s Response: *“OpenRoad are fully committed to providing humane measures preventing birds nesting in the building. It has been suggested that OpenRoad may try to enclose the building at a later date to prevent this; however it would require mechanical ventilation which is not something we wish to pursue. It would also require City and Council approval through the Development Permit process.”*

Staff Comment: The Zoning Text Amendment Considerations have been modified to include a requirement for the registration of an agreement on title ensuring that the parkade will not be enclosed unless the owner has successfully obtained a Development Permit issued by Council approving the enclosure and has also successfully obtained a Building Permit for the work.

5. Ornithologist Assessment

The applicant has submitted a report prepared by an ornithologist with CSR Environmental (report dated November 29, 2018 – see Attachment C) that undertakes a specific assessment of the Toyota building in terms of potential avian strike risk and mitigation options.

The report’s findings indicate that the proposed parkade addition does not pose a collision risk to birds because no glass or reflective material has been proposed in the addition.

Staff Comment: The applicant has agreed to engage a qualified environmental professional (QEP) to monitor the building for a year and to implement visual markers to the exterior of the glass at the lower levels should the QEP make that determination in the course of the monitoring.

The applicant has also indicated that no “up-lights” will be used in the project and that landscaping over 30 cm will be removed from within 10 m of the building.

The Zoning Text Amendment Considerations have been modified to include a requirement for the submission of a contract with a qualified environmental professional to monitor the facility for a minimum of 12 months post construction and to submit a report with recommendations and mitigation measures to the satisfaction of the Director, Development at the end of the monitoring period. The contract is to include the frequency of visits and an overview of how the findings will be presented.

Staff will review the landscaping plan through the Development Permit review to ensure that landscaping used within 10 m of the building will be no more than the recommended 30 cm in height.

#### Variances Requested

Based on the revised concept plans, the applicant will be requesting to vary the provisions of Richmond Zoning Bylaw 8500 at the Development Permit Application review stage to increase the maximum permitted building height. The table below shows the variances being requested and compares them to the applicant's previous variance request.

Area Affected	Previous Variance (m)	Revised Variance (m)
Parkade Rooftop Height	15.46 (rounded to 15.5)	15.1
Parapet Height	16.88 (rounded to 16.9)	16.17 (rounded to 16.2)
Stair Tower	18.51 (rounded to 18.6)	18.0
Elevator Over-Run	20.39 (rounded to 20.4)	19.88 (rounded to 19.9)

The variances requested reflect the overall reduction in height of between 0.36 m (1.2 ft. - roof deck) and 0.71 m (2.33 ft. - parapet) from the original submission reviewed by Council on November 13, 2018. The reduced parapet height would meet the Building Code minimum height of 1.07 m (3.5 ft.). The elevator and stair projections are cloud outlined in Attachment B on plan DP.009.

#### **Development Permit Review**

As noted earlier, this development is subject to a Development Permit review wherein further design development could occur. Through that process staff will be monitoring and verifying a number of elements as outlined in the previous report from the Director of Development (Attachment E). As a result of the modifications proposed, staff will also:

- Confirming building elevations and variances;
- Reviewing landscape modifications – particularly within 10 m of the building;
- Review the site lighting scheme including any use of “up-lighting”;
- Inclusion of any implementable avian mitigation measures.

**Conclusion**

Christopher Bozyk Architects Ltd. has applied for permission to amend the zoning district "Vehicle Sales (CV)" zone to increase the maximum Floor Area Ratio (FAR) to 0.82 at 13100 Smallwood Place.

In response to the Council referral on November 13, 2018, the applicant modified their submission by adding rooftop solar panels, reducing the overall building height and agreeing not to enclose the parkade. The applicant has also engaged an ornithologist to assess the overall building clarifying areas of concern and providing recommendations for minimizing bird strikes at the building. The applicant has committed to engaging a qualified environmental professional to monitor avian strikes with the building and to implementing the ornithologist's recommendations for visual marking of the glass along the west and northwest side of the building if required.

Based on the applicant's responses to Council's referral it is recommended that Richmond Zoning Bylaw 8500, Amendment Bylaw 9948 for a Zoning Text Amendment to the "Vehicle Sales (CV)" zone to increase the Floor Area Ratio to 0.82 at 13100 Smallwood Place, be introduced and given first reading.



David Brownlee  
Planner 2  
(604-276-4200)

DCB:blg

- Attachment A: Revised Development Application Data Sheet
- Attachment B: Revised Conceptual Development Plans
- Attachment C: Report by CSR Environmental
- Attachment D: Revised Zoning Text Amendment Considerations
- Attachment E: Original Report from the Director of Development, dated October 30, 2018

Attachment A: Revised Development Application Data Sheet





**ZT 18-818765**

**Attachment A**

Address: 13100 Smallwood Place

Applicant: Christopher Bozyk Architects

Planning Area(s): East Cambie

	Existing	Proposed
<b>Owner:</b>	Multiland Pacific Holdings	Same
<b>Site Size (m<sup>2</sup>):</b>	15,924 m <sup>2</sup> (171,404.51 ft <sup>2</sup> )	Same
<b>Land Uses:</b>	Auto Dealership And Service	Same
<b>OCP Designation:</b>	Commercial	Same
<b>Area Plan Designation:</b>	Commercial	Same
<b>Zoning:</b>	Vehicle Sales (CV)	Vehicle Sales (CV) with increased FAR to 0.82 at 13100 Smallwood Place

On Future Subdivided Lots	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	0.7 FAR	0.82 FAR	None permitted
Buildable Floor Area (m <sup>2</sup> ):*	11,146.8 m <sup>2</sup> (119,983.2 ft <sup>2</sup> )	12,996.3 m <sup>2</sup> (139,891 ft <sup>2</sup> )	None permitted
Lot Coverage (% of lot area):	Building: Max. 50%	Building: Max. 38%	None
Setback Front - North	Min 3.0 m	16.0 m	None
Setback Side – East	Min 3.0 m	20.38 m	None
Setback Side - West	Min 3.0 m	22.5 m Main Building 3.0 m Car Wash Building	None
Setback Rear - South	Min 3.0 m	10.63 m Main Building 3.0 m Garbage Enclosure	None
Height (m):	Max building height: 12.0 m with variance to 15.44 m at elevator overrun, stairway structures, storage and screened equipment as approved under DP 16-741123	Increased parkade rooftop height at 15.1 m, a parapet height of 16.17 m, a stair tower of 18.0 m and an elevator over-run of 19.88 m	Variance to be considered as part of DP18-818762
Off-street Parking Spaces – Staff and Visitor	281	296	None
Off-street Parking Spaces – Vehicle Inventory:	N/A	279	None

Other: \_\_\_\_\_

Attachment B: Revised Conceptual Development Plans



OpenRoad Toyota Richmond

PROJECT NUMBER: 210077

**CHRIS JOYNER**  
**ARCHITECTS LTD**

100 HURONTARIO STREET, SUITE 200, MISSISSAUGA, ONTARIO L4R 1A1

PROJECT DATE: 10/20/18 02:28 AM

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**EAST ELEVATION**

SCALE:

DATE: 2018.11.23

**DP-001**



OpenRoad Toyota Richmond

PROJECT NUMBER: 1802019

**CHRIS TORCHER ARCHITECTS LTD**

404-714-0000 | 1000 SHEPPARD AVENUE EAST, SUITE 100, RICHMOND, ONTARIO L4B 1N2

DATE: 18/02/2019 08:57 AM

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**NORTH WEST ELEVATION**

SCALE:

DATE: 2018.11.23

**DP-002**



OpenRoad Toyota Richmond

PROJECT NUMBER: 110107  
**CHRISTOPHER ARCHITECTS LTD**  
 405-571 ALEXANDER STREET, VANCOUVER, BC V6C 2G1  
 TEL: 604-278-1000 FAX: 604-278-1001  
 WWW.CHRIARCH.COM

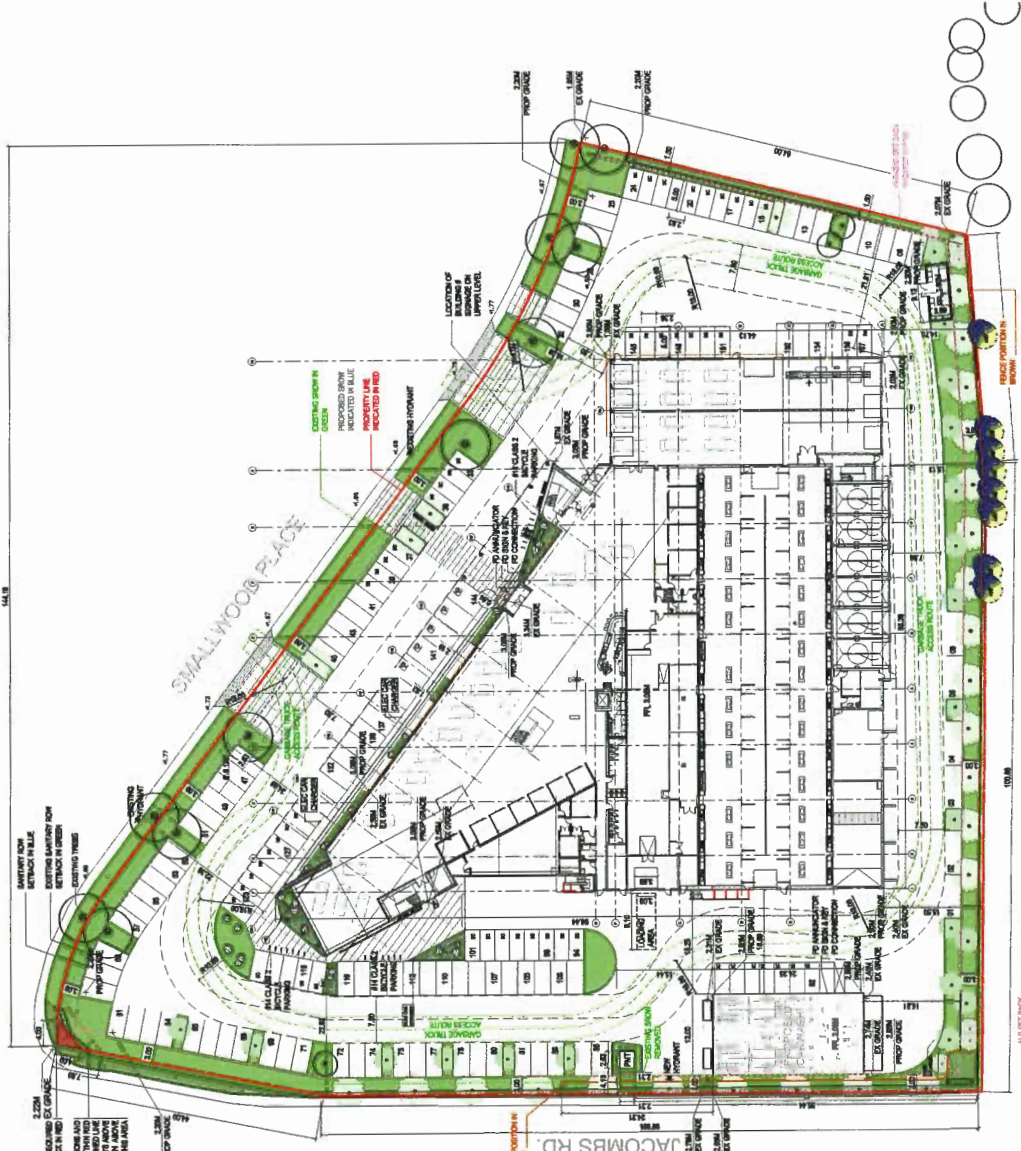
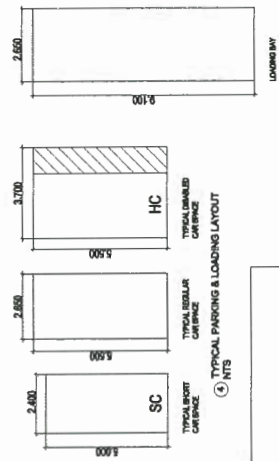
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VIEW FROM WESTMINSTER HIGHWAY

SCALE:  
 DATE: 2018.11.23

DP-003



<b>PROPERTY STATISTICS:</b>	OPENROAD TOYOTA SHOWROOM 167 JACOBS RD. WESTMINISTER BC V6J 1K1 LEGAL ADDRESS: LOT 7 JACOBS RD. WESTMINISTER BC V6J 1K1
<b>OWNER:</b>	CITY OF RICHMOND
<b>DESIGNER:</b>	CHRISTOPHER BOZYK ARCHITECTS LTD
<b>DATE:</b>	15.02.14
<b>LOT AREA:</b>	15,024 M <sup>2</sup>
<b>FLOOR AREA:</b>	PROPOSED
<b>MAIN FLOOR:</b>	5,035.510 M <sup>2</sup>
<b>2ND FLOOR:</b>	4,217.717 M <sup>2</sup>
<b>3RD FLOOR:</b>	33,203 M <sup>2</sup>
<b>4TH FLOOR:</b>	3178.291 M <sup>2</sup>
<b>5TH FLOOR:</b>	3153.300 M <sup>2</sup>
<b>CAN WASH:</b>	11.152 M <sup>2</sup>
<b>TOTAL:</b>	10,013.404 M <sup>2</sup>
<b>LOT COVERAGE:</b>	12,994.314 M <sup>2</sup>
<b>MAIN FLOOR:</b>	5,035.510 M <sup>2</sup>
<b>GARAGE ENCL:</b>	35,500 M <sup>2</sup>
<b>CAN WASH:</b>	315.330 M <sup>2</sup>
<b>% TOTAL:</b>	37.77%
<b>FAR:</b>	PREVIOUS 0.8731 PROPOSED 0.8718
<b>% LANDSCAPE SETBACKS:</b>	9.14% (1458.0 M <sup>2</sup> )
<b>NORTH:</b>	16.0M
<b>EAST:</b>	20.30M
<b>WEST:</b>	22.5M - CARWASH 3.0M
<b>BIKE PARKING:</b>	36 CLASS 1, 36 CLASS 2
<b>VEHICULAR PARKING SPACES:</b>	157
<b>WITHIN BUILDING (STAFF &amp; INVENTORY):</b>	PREVIOUS 208 PROPOSED 276
<b>TOTAL PARKING PROVIDED:</b>	303
<b>REQUIRED:</b>	240
<b>LOADING SPACES:</b>	4 REQUIRED, VARIANCE PER PREVIOUS DP APP 1 PROVIDED, VARIANCE PER PREVIOUS DP APP
<b>BUILDING HEIGHT:</b>	PREVIOUS 2.68 M - ground 3.05 M - penthouse 11.15 M - roof top 13.00 M from grade SOUTHERN STAIR ONLY: 15.44 M from grade
<b>AVERAGE SITE GRADE:</b>	PROPOSED 2.68 M - ground 3.05 M - penthouse 11.15 M - roof top 13.00 M from grade SOUTHERN STAIR ONLY: 15.44 M from grade
<b>FINISHED FLOOR LEVEL:</b>	19.85 M - ground 22.24 M - actual 19.88 M - actual
<b>ROOF TOP STORAGE ROOM:</b>	
<b>SOUTHERN STAIR ONLY:</b>	
<b>AT ELEVATOR OVERRUN ONLY:</b>	
<b>REVISED PARAPET:</b>	
<b>REVISED ELEVATOR OVERRUN:</b>	

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**OpenRoad Toyota Richmond**  
 SITE PLAN  
 DP 18-81762



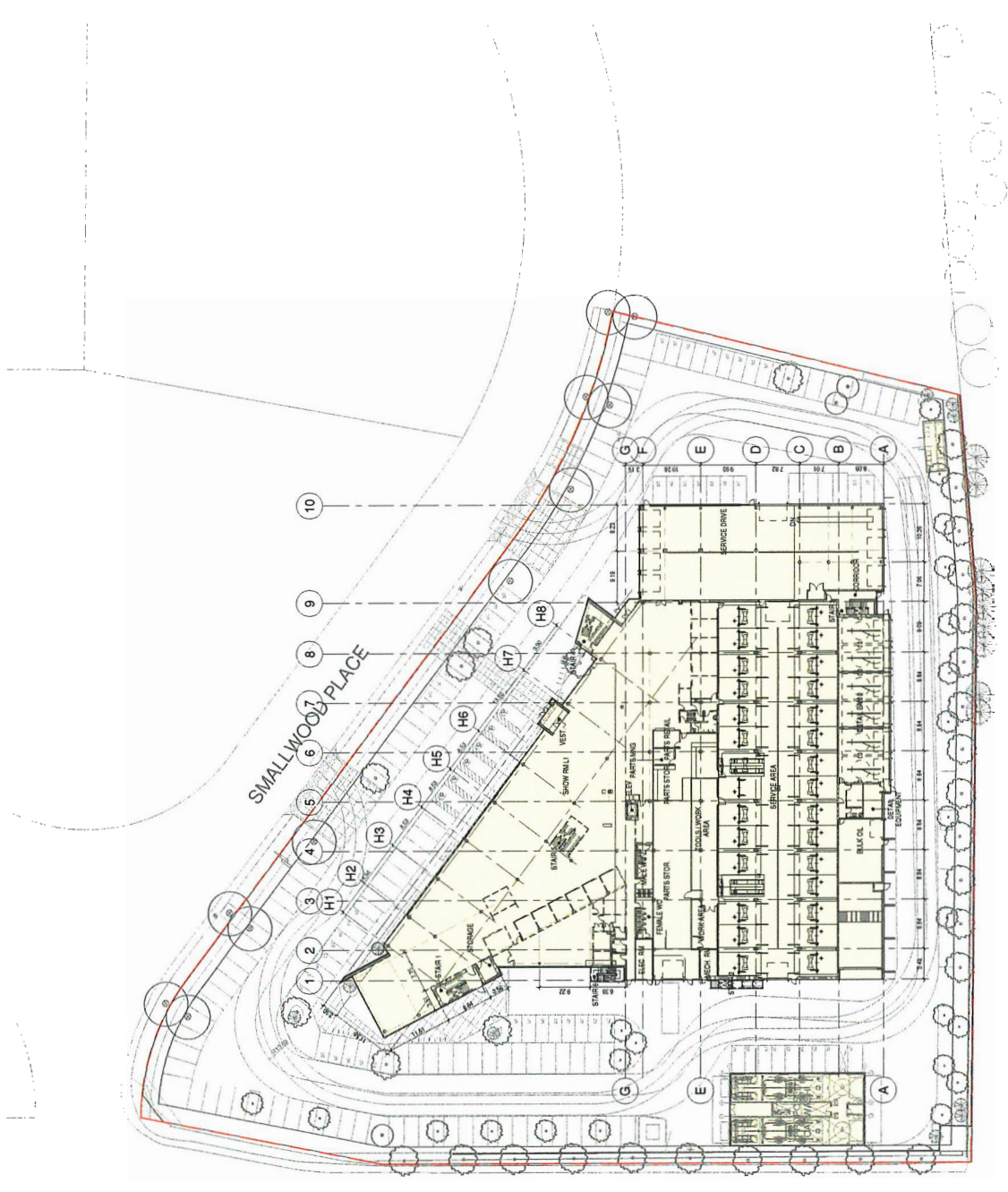
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59	18.09.18	DESIGN DEVELOPMENT
60	18.09.18	DESIGN DEVELOPMENT
61	18.09.18	DESIGN DEVELOPMENT
62	18.09.18	DESIGN DEVELOPMENT
63	18.09.18	DESIGN DEVELOPMENT
64	18.09.18	DESIGN DEVELOPMENT
65	18.09.18	DESIGN DEVELOPMENT
66	18.09.18	DESIGN DEVELOPMENT
67	18.09.18	DESIGN DEVELOPMENT
68	18.09.18	DESIGN DEVELOPMENT
69	18.09.18	DESIGN DEVELOPMENT
70	18.09.18	DESIGN DEVELOPMENT
71	18.09.18	DESIGN DEVELOPMENT
72	18.09.18	DESIGN DEVELOPMENT
73	18.09.18	DESIGN DEVELOPMENT
74	18.09.18	DESIGN DEVELOPMENT
75	18.09.18	DESIGN DEVELOPMENT
76	18.09.18	DESIGN DEVELOPMENT
77	18.09.18	DESIGN DEVELOPMENT
78	18.09.18	DESIGN DEVELOPMENT
79	18.09.18	DESIGN DEVELOPMENT
80	18.09.18	DESIGN DEVELOPMENT
81	18.09.18	DESIGN DEVELOPMENT
82	18.09.18	DESIGN DEVELOPMENT
83	18.09.18	DESIGN DEVELOPMENT
84	18.09.18	DESIGN DEVELOPMENT
85	18.09.18	DESIGN DEVELOPMENT
86	18.09.18	DESIGN DEVELOPMENT
87	18.09.18	DESIGN DEVELOPMENT
88	18.09.18	DESIGN DEVELOPMENT
89	18.09.18	DESIGN DEVELOPMENT
90	18.09.18	DESIGN DEVELOPMENT
91	18.09.18	DESIGN DEVELOPMENT
92	18.09.18	DESIGN DEVELOPMENT
93	18.09.18	DESIGN DEVELOPMENT
94	18.09.18	DESIGN DEVELOPMENT
95	18.09.18	DESIGN DEVELOPMENT
96	18.09.18	DESIGN DEVELOPMENT
97	18.09.18	DESIGN DEVELOPMENT
98	18.09.18	DESIGN DEVELOPMENT
99	18.09.18	DESIGN DEVELOPMENT
100	18.09.18	DESIGN DEVELOPMENT

**OpenRoad Toyota Richmond**  
 DP 18-818762  
 13189 SMALL WOOD PLACE, RICHMOND, BC

**LEVEL 1**

SCALE: 1" = 32'-0"  
 DRAWING NO: DP-18-818762-1  
 PROJECT NUMBER: 2142

**PLAN #1A**  
**DP.005**



1 GROUND FLOOR PLAN  
 1" = 32'-0"

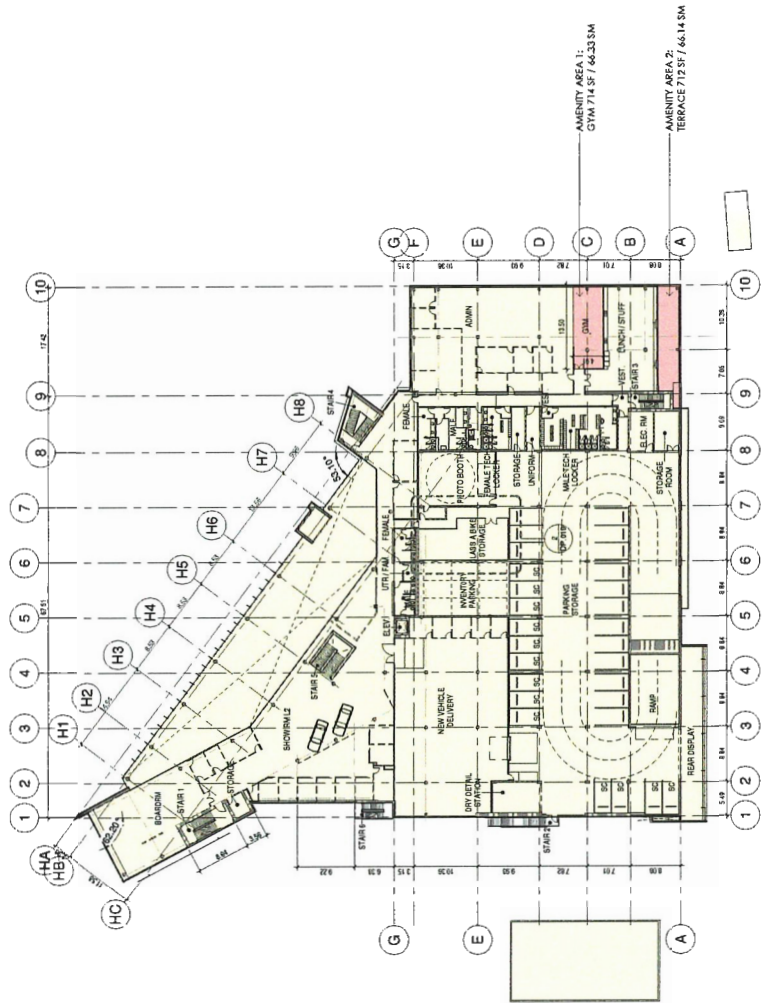
4	18.11.19	89.50 FSR/DP
3	18.11.18	89.50 FSR/DP
2	18.11.18	89.50 FSR/DP
1	18.11.17	89.50 FSR/DP
REVISION		DESCRIPTION
7	18.11.19	REVISIONS TO AMENITY
6	18.11.19	REVISIONS TO AMENITY
5	18.11.19	REVISIONS TO AMENITY

**OpenRoad Toyota Richmond**  
 DP 18-818762  
 13100 SHAL WOOD PLACE, RICHMOND, BC

**LEVEL 2**

SCALE: 1" = 32'  
 DATE: 2019-11-13  
 PROJECT NUMBER: 21402

**PLAN #1B**  
**DP-006**



1 SECOND FLOOR PLAN  
 1" = 32'0"

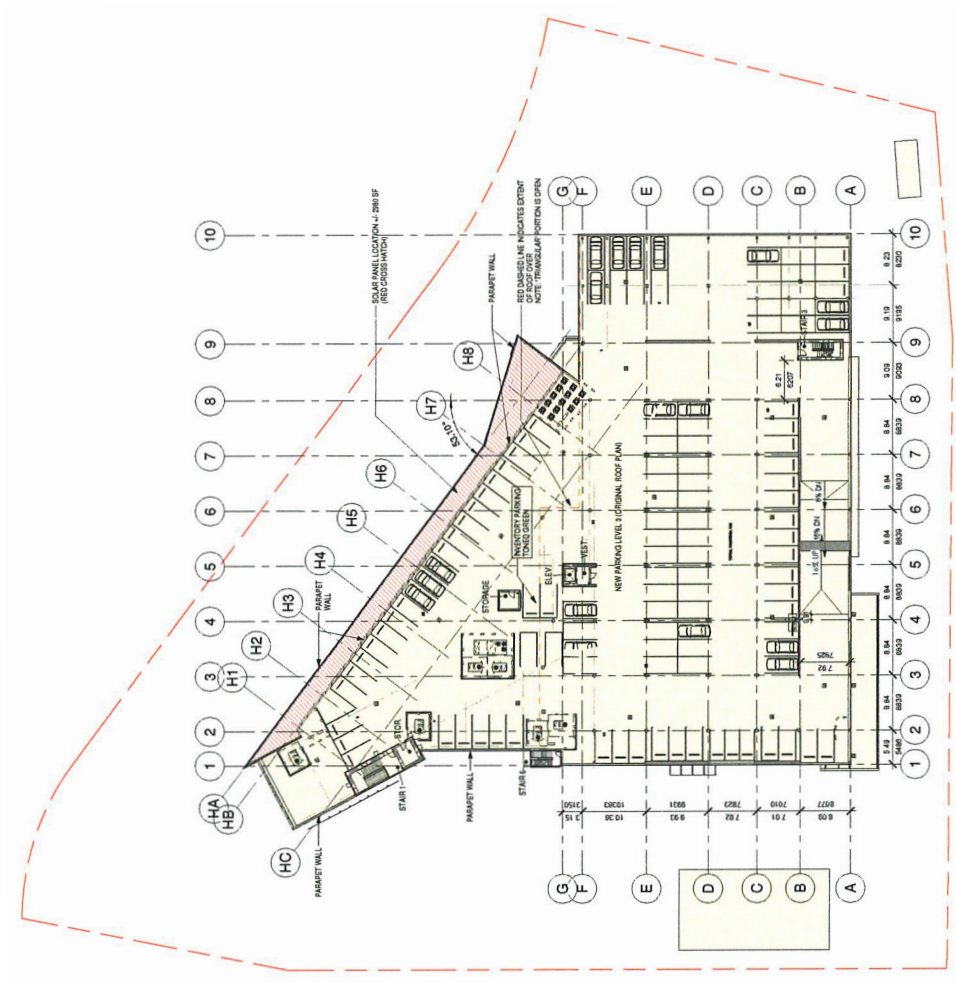


1	18.11.21	REVISED POE/P
2	18.11.18	REVISED POE/P
3	18.06.20	REVISED POE/P AMENDMENT
4	18.06.20	REVISED POE/P AMENDMENT
5	18.10.11	REVISED POE/P AMENDMENT
6	18.10.11	REVISED POE/P

**DESIGNER:** CHRYSTOPHER ROZYK ARCHITECTS LTD  
**DATE:** 18.10.11  
**PROJECT NAME:** OpenRoad Toyota Richmond  
**PROJECT NUMBER:** DP-18-818762  
**LOCATION:** 13168 SMALL WOOD PLACE, RICHMOND, BC

**SCALE:** 1" = 32'-0"  
**DATE:** 2018-11-13  
**DESIGNER:** CHRYSTOPHER ROZYK ARCHITECTS LTD  
**PROJECT NUMBER:** DP-18-818762

**PLAN #1C**  
**DP.007**



1 OVERALL ROOF PLAN  
 1" = 32'-0"

1	18.11.20	09:50:00 PESTP
2	18.11.19	09:50:00 PESTP
3	18.09.20	09:50:00 PESTP
4	18.11.17	09:50:00 PESTP
5	18.11.17	09:50:00 PESTP

NO.	DATE	DESCRIPTION
1	18.11.20	09:50:00 PESTP
2	18.11.19	09:50:00 PESTP
3	18.09.20	09:50:00 PESTP
4	18.11.17	09:50:00 PESTP
5	18.11.17	09:50:00 PESTP

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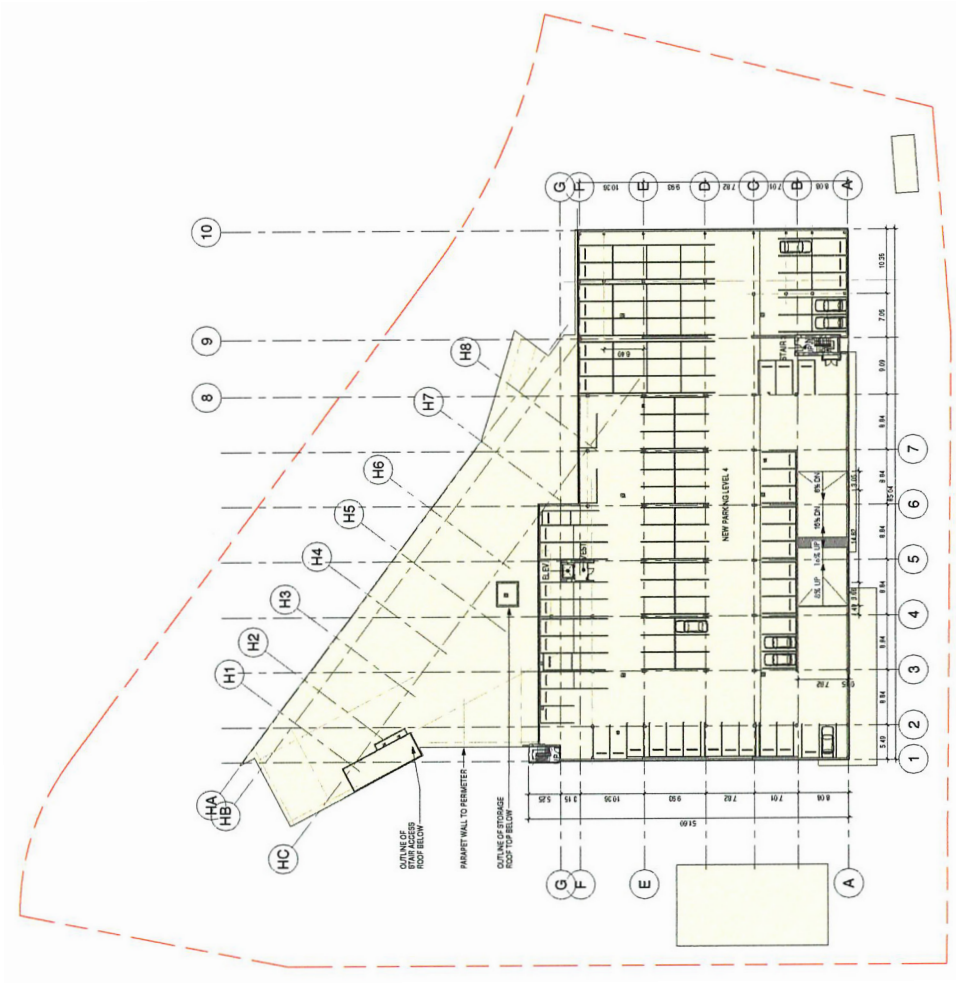
When dimensions and have preference over verbal instructions. Conflicting dimensions shall be resolved by reference to the drawing. Conflicting dimensions shall be resolved by reference to the drawing. Conflicting dimensions shall be resolved by reference to the drawing.

**OpenRoad Toyota Richmond**  
 DP 18-818762

13100 SMALL WOOD PLACE, RICHMOND, BC  
**LEVEL 4**

SCALE: 1/4"=1'-0"  
 DATE: 2018-11-20  
 DRAWN BY: [Name]  
 PROJECT NUMBER: [Number]

**PLAN #1D**  
**DP.008**



1 ADDITIONAL PARKING LEVEL 1  
 T-28-0'

NO.	DATE	DESCRIPTION
1	18.11.19	ISSUED FOR DP
2	18.11.19	ISSUED FOR DP
3	18.11.19	ISSUED FOR DP
4	18.11.19	ISSUED FOR DP
5	18.11.19	ISSUED FOR DP
6	18.11.19	ISSUED FOR DP
7	18.11.19	ISSUED FOR DP
8	18.11.19	ISSUED FOR DP
9	18.11.19	ISSUED FOR DP
10	18.11.19	ISSUED FOR DP

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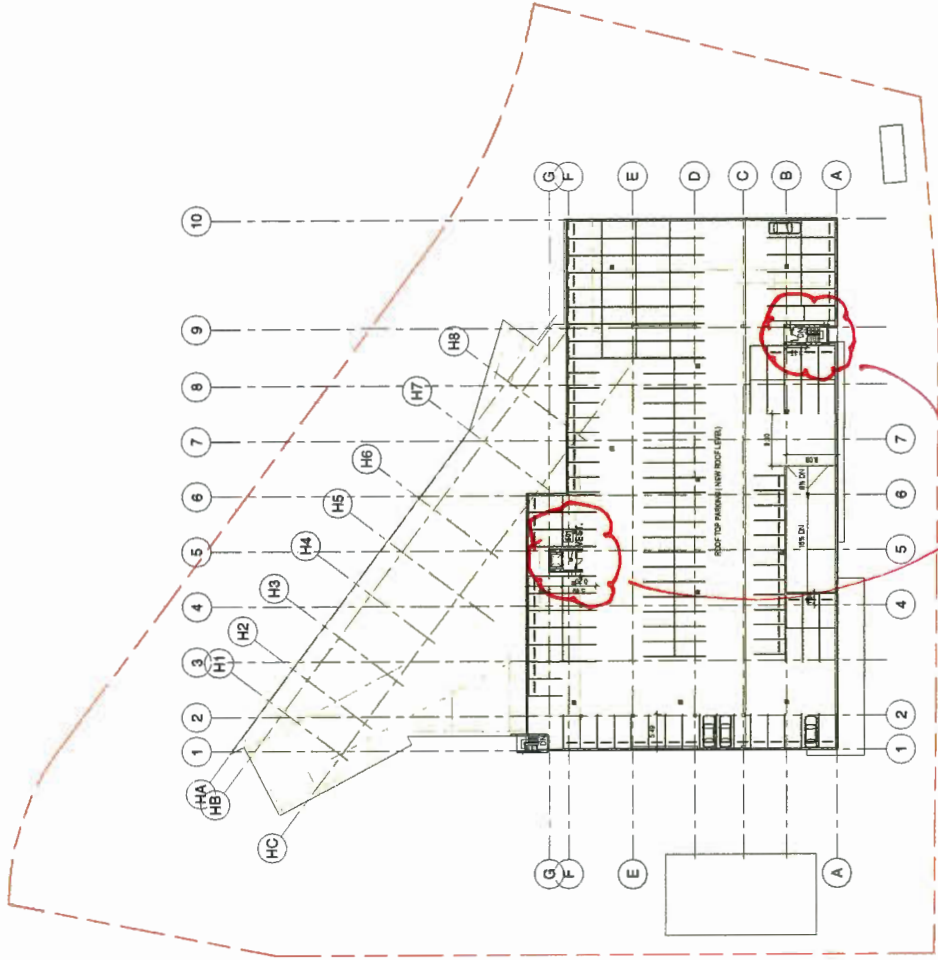
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**OpenRoad Toyota Richmond**  
 DP 18-818762  
 13183 SMALL WOOD PLACE, RICHMOND BC

**LEVEL 5**

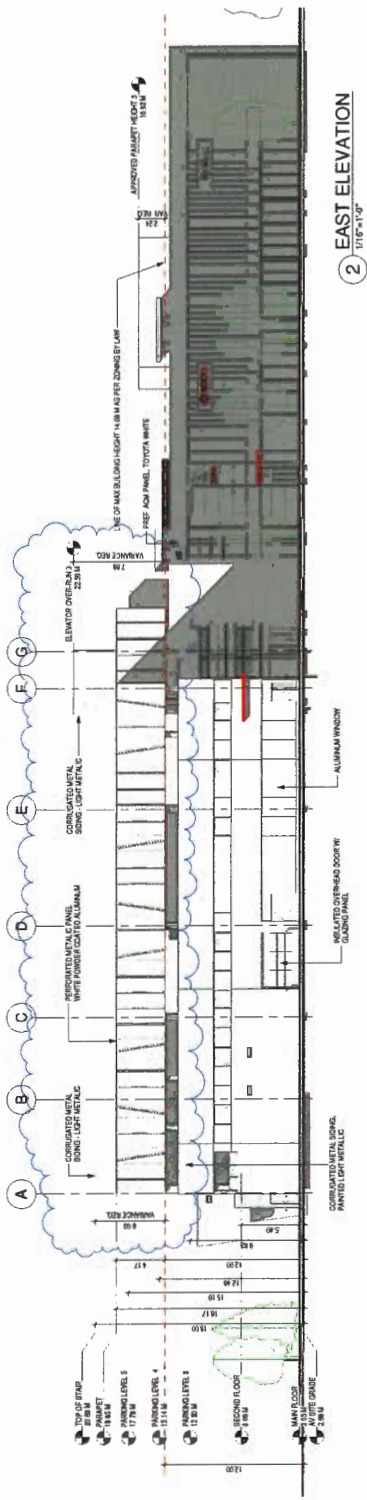
SCALE: 1"=30'-0"  
 DATE: 2019-11-13  
 PROJECT NUMBER: 24587

**PLAN #1E**  
**DP-009**

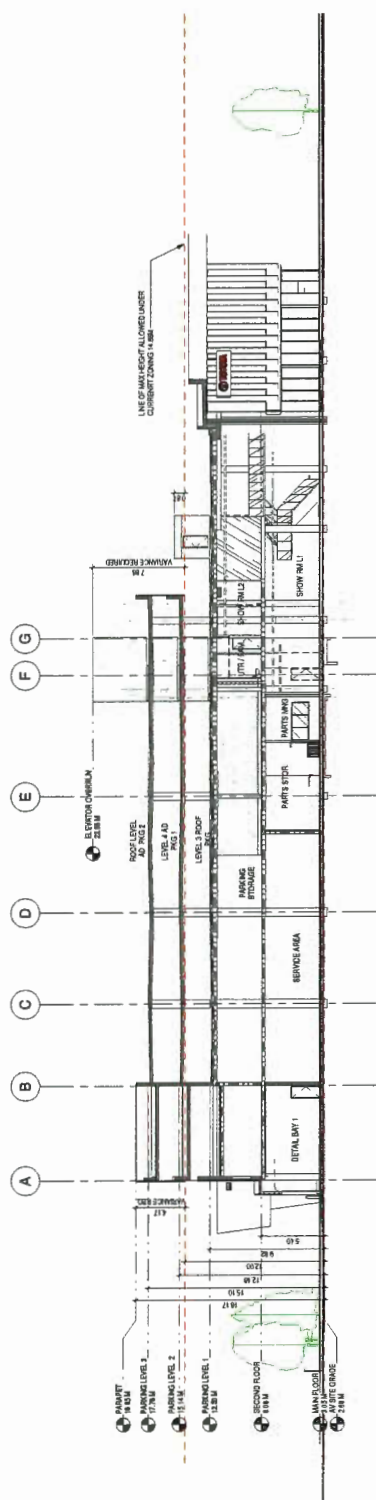


*Projections*

① ADDITIONAL PARKING LEVEL 2  
 1"=30'-0"



**2 EAST ELEVATION**  
 1/16" = 1'-0"



**3 SECTION A-A**  
 1/16" = 1'-0"

NO.	REVISION	DATE	DESCRIPTION
1	14.11.19	PROVIDE FOR DP	
2	14.11.19	PROVIDE FOR DP	
3	14.11.19	PROVIDE FOR DP	
4	14.11.19	PROVIDE FOR DP	
5	14.11.19	PROVIDE FOR DP	
6	14.11.19	PROVIDE FOR DP	
7	14.11.19	PROVIDE FOR DP	
8	14.11.19	PROVIDE FOR DP	
9	14.11.19	PROVIDE FOR DP	
10	14.11.19	PROVIDE FOR DP	

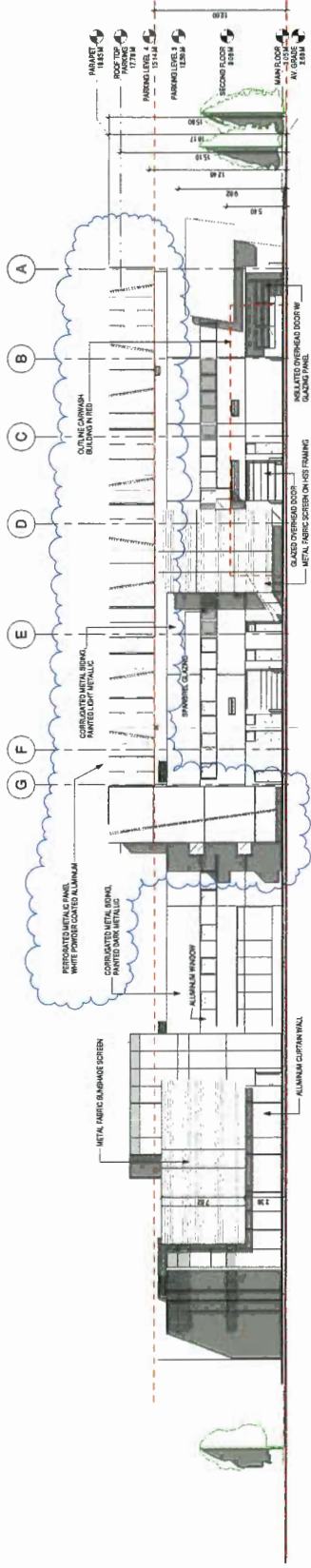
**NOTES:**  
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 NATIONAL BUILDING CODE OF CANADA (NBC) AND ALL APPLICABLE BY-LAWS.  
 2. ALL MATERIALS AND METHODS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION.  
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.  
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.  
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES.  
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING TREES AND LANDSCAPE.  
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING INFRASTRUCTURE.  
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SERVICES.  
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES.  
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING STRUCTURES.

**OpenRoad Toyota Richmond**  
 DP 18-818762  
 13180 SHAL WOOD PLACE, RICHMOND BC

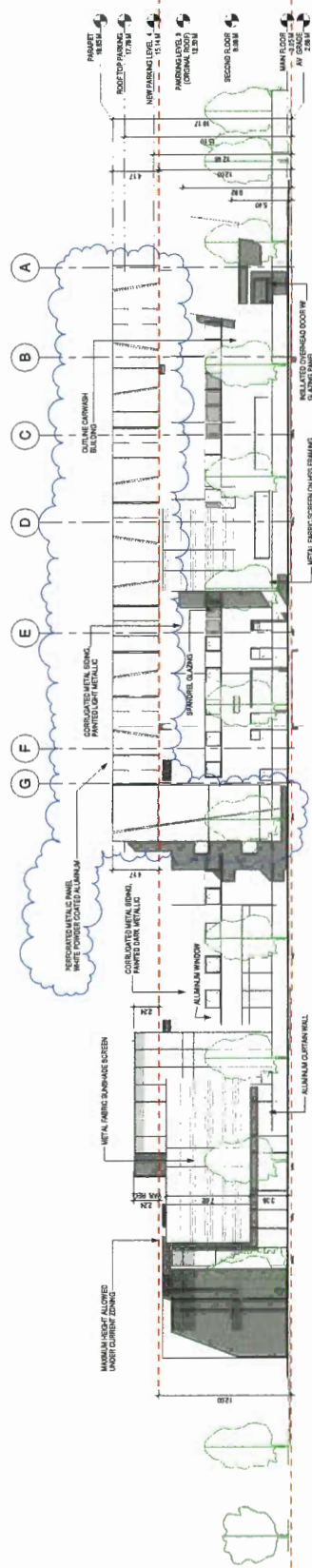
**ELEVATIONS AND SECTIONS**

SCALE: 1/16" = 1'-0"  
 DATE: 2018-11-13  
 PROJECT NUMBER: DP18-818762

**PLAN #4**  
**DP.010**



**2 WEST ELEVATION**  
 1/16" = 1'-0"



**1 WEST ELEVATION**  
 1/16" = 1'-0"  
 WITH CARWASH LANDSCAPING AND TREES SKOWN

NO.	DATE	DESCRIPTION
1	18.04.11	ISSUED FOR PERMIT
2	18.09.20	ISSUED FOR PERMIT AMENDMENT
3	18.11.25	ISSUED FOR B.P.
4	18.11.25	ISSUED FOR B.P.

ALL DIMENSIONS SHALL BE GIVEN UNLESS OTHERWISE SPECIFIED. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL UTILITIES AND SERVICES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.

**OpenRoad Toyota Richmond**

DP 18-818762

1100 SMALL WOODRIDGE, RICHMOND, BC

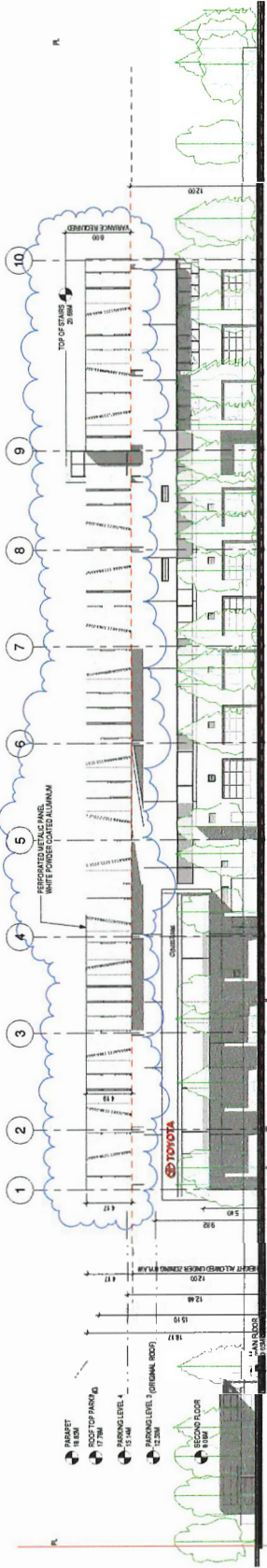
JACOMBS ROAD  
 ELEVATION

SCALE: 1/16" = 1'-0"  
 DATE: 2018-11-23  
 DRAWING NUMBER: DP-011  
 PROJECT NUMBER: 201807

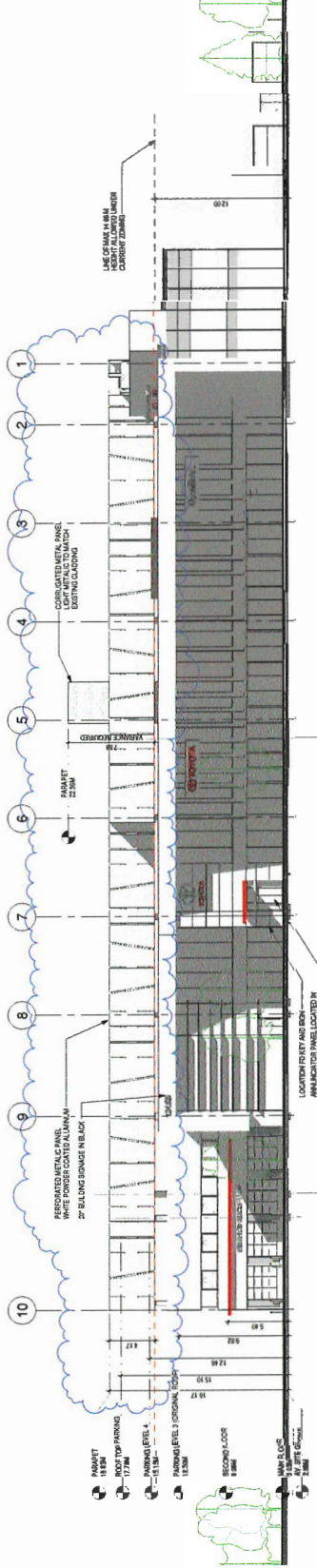
**PLAN #5**

**DP.011**

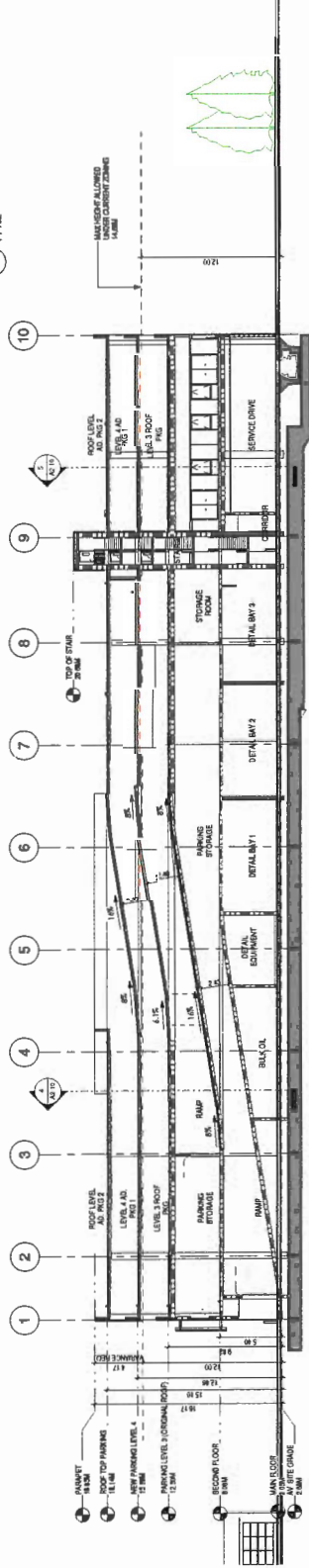
DATE: 2018-11-23  
 DRAWING NUMBER: DP-011  
 PROJECT NUMBER: 201807



3 SOUTH ELEVATION  
1:100



2 NORTH ELEVATION  
1:100



1 SECTION THROUGH RAMP  
1:100

CLIENT

NO.	DATE	DESCRIPTION
1	18.04.11	ISSUED FOR PERMIT
2	18.09.20	ISSUED FOR PERMIT
3	18.11.18	ISSUED FOR PERMIT
4	18.11.25	ISSUED FOR PERMIT

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**OpenRoad Toyota Richmond**

DP 18-818762

13189 SMALL WOOD PLACE, RICHMOND, BC  
**ELEVATIONS AND SECTIONS**

SCALE: 1:100 DATE: 2018-11-25 DRAWN BY: [Name]

**PLAN #6**  
**DP.012**

10	18.11.19	REVISED FOR DP
11	18.11.19	REVISED FOR DP
12	18.11.19	REVISED FOR DP
13	18.11.19	REVISED FOR DP
14	18.11.19	REVISED FOR DP
15	18.11.19	REVISED FOR DP

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**OpenRoad Toyota Richmond**  
 DP 18-818762  
 6180 SMALL WOOD PLACE, RICHMOND, BC  
**PARKING PLAN LEVEL 1**

SCALE: AS SHOWN DATE: 2019-11-13 DRAWING NO.: 2019-08-11-01

**PLAN #2A**  
**DP.018**

**CAR PARKING CALCULATION**

LEVEL	SHED OFFICE	SHOP	INVENTORY	STORAGE	NET AREA	EXCLUSIONS	DOOR AREA
1	24 142.42 #	20 782.87 #	-	411.52 #	78 126.76 #	1 080.25 #	432.31 #
2	38 864.01 #	-	2 303.29 #	127.74 #	24 077.51 #	15 419.95 #	54 328.46 #
3	-	-	8 291.15 #	562.29 #	35 252.67 #	22 295.84 #	42 022.84 #
4	-	-	24 188.43 #	-	53 148.42 #	8 981.79 #	42 046.64 #
5	-	-	-	-	188.15 #	1 248.91 #	188.15 #
Car-Pool	-	3 394.88 #	-	-	17 257.95 #	-	5 294.86 #
Subtotal	62 996.43 #	23 177.75 #	32 571.66 #	1 041.55 #	198 813.25 #	29 726.74 #	62 996.43 #
TOTAL	62 996.43 #	23 177.75 #	32 571.66 #	1 041.55 #	198 813.25 #	29 726.74 #	62 996.43 #

**BIKE PARKING CALCULATION**

CLASS	SPACES	TOTAL PROVIDED	REMARKS
CLASS 1 SPACES	10	10	CLASS 1 SPACES
CLASS 2 SPACES	10	10	CLASS 2 SPACES
CLASS 3 SPACES	10	10	CLASS 3 SPACES
CLASS 4 SPACES	10	10	CLASS 4 SPACES
CLASS 5 SPACES	10	10	CLASS 5 SPACES
CLASS 6 SPACES	10	10	CLASS 6 SPACES
CLASS 7 SPACES	10	10	CLASS 7 SPACES
CLASS 8 SPACES	10	10	CLASS 8 SPACES
CLASS 9 SPACES	10	10	CLASS 9 SPACES
CLASS 10 SPACES	10	10	CLASS 10 SPACES

**CAR PARKING CALCULATION**

TYPE	SPACES	TOTAL PROVIDED	REMARKS
STANDARD	97	97	STANDARD SPACES
DISABLED ACCESS	4	4	DISABLED ACCESS SPACES
SMALL CAR	57	57	SMALL CAR SPACES
TOTAL	158	158	TOTAL SPACES PROVIDED

**PARKING ANALYSIS**

LEVEL	STANDARD	SMALL	SMALL	SMALL	TOTAL
LEVEL 1	12	12	12	12	48
LEVEL 2	12	12	12	12	48
LEVEL 3	12	12	12	12	48
LEVEL 4	12	12	12	12	48
LEVEL 5	12	12	12	12	48
TOTAL	60	60	60	60	240

**CAR PARKING CALCULATION**

TYPE	SPACES	TOTAL PROVIDED	REMARKS
STANDARD	97	97	STANDARD SPACES
DISABLED ACCESS	4	4	DISABLED ACCESS SPACES
SMALL CAR	57	57	SMALL CAR SPACES
TOTAL	158	158	TOTAL SPACES PROVIDED

**BIKE PARKING CALCULATION**

CLASS	SPACES	TOTAL PROVIDED	REMARKS
CLASS 1	10	10	CLASS 1 SPACES
CLASS 2	10	10	CLASS 2 SPACES
CLASS 3	10	10	CLASS 3 SPACES
CLASS 4	10	10	CLASS 4 SPACES
CLASS 5	10	10	CLASS 5 SPACES
CLASS 6	10	10	CLASS 6 SPACES
CLASS 7	10	10	CLASS 7 SPACES
CLASS 8	10	10	CLASS 8 SPACES
CLASS 9	10	10	CLASS 9 SPACES
CLASS 10	10	10	CLASS 10 SPACES

**SMALL CAR PARKING CALCULATION**

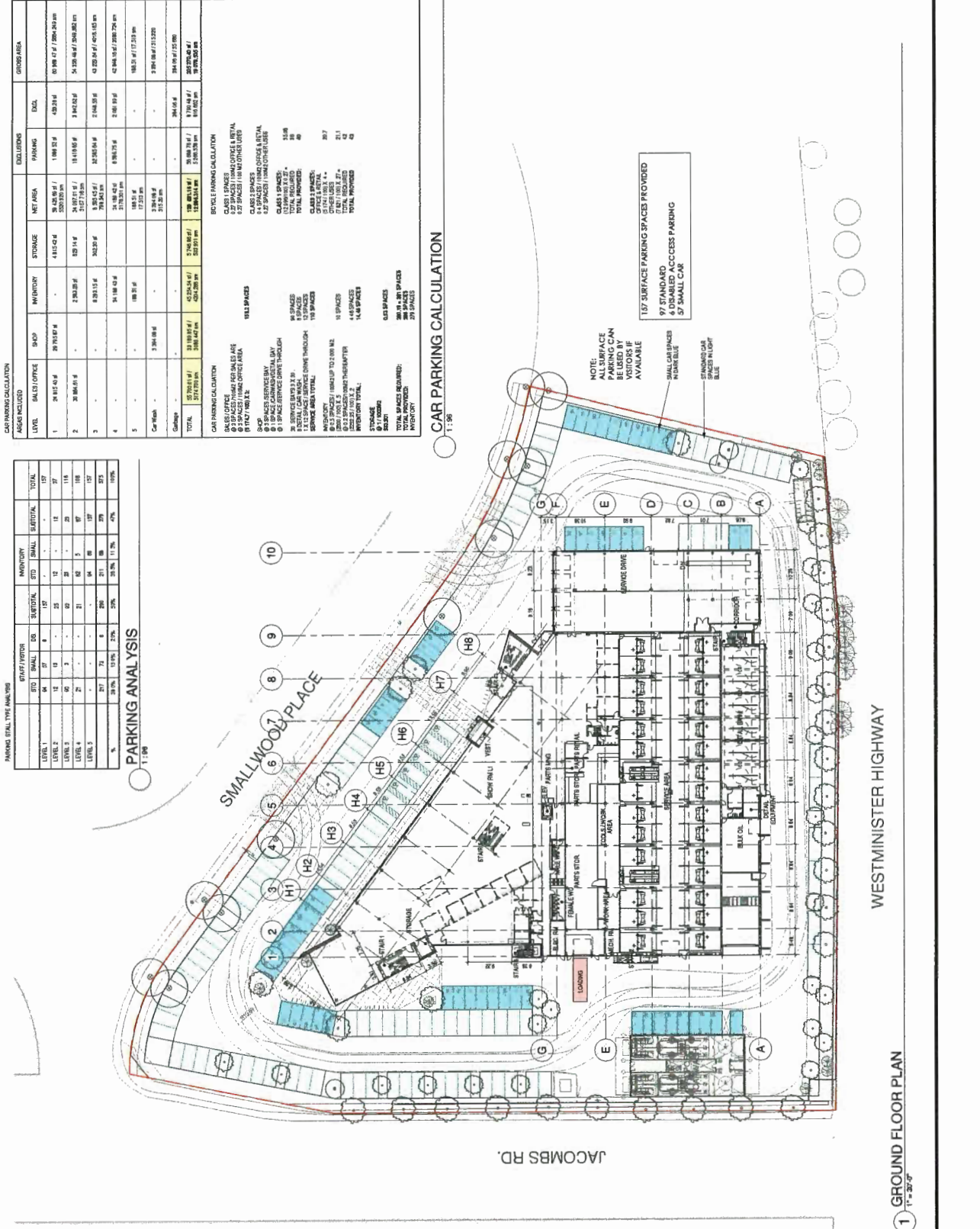
TYPE	SPACES	TOTAL PROVIDED	REMARKS
STANDARD	97	97	STANDARD SPACES
DISABLED ACCESS	4	4	DISABLED ACCESS SPACES
SMALL CAR	57	57	SMALL CAR SPACES
TOTAL	158	158	TOTAL SPACES PROVIDED

**SMALL CAR PARKING CALCULATION**

TYPE	SPACES	TOTAL PROVIDED	REMARKS
STANDARD	97	97	STANDARD SPACES
DISABLED ACCESS	4	4	DISABLED ACCESS SPACES
SMALL CAR	57	57	SMALL CAR SPACES
TOTAL	158	158	TOTAL SPACES PROVIDED

**SMALL CAR PARKING CALCULATION**

TYPE	SPACES	TOTAL PROVIDED	REMARKS
STANDARD	97	97	STANDARD SPACES
DISABLED ACCESS	4	4	DISABLED ACCESS SPACES
SMALL CAR	57	57	SMALL CAR SPACES
TOTAL	158	158	TOTAL SPACES PROVIDED



NOTE: NO SURFACE PARKING CAN BE USED BY BUS OR TRUCK IF AVAILABLE

157 STANDARD PARKING SPACES PROVIDED  
 4 DISABLED ACCESS PARKING  
 57 SMALL CAR

SMALL CARS ONLY  
 BUS ONLY  
 TRUCK ONLY  
 VAN ONLY

WESTMINSTER HIGHWAY

JACOB'S RD.

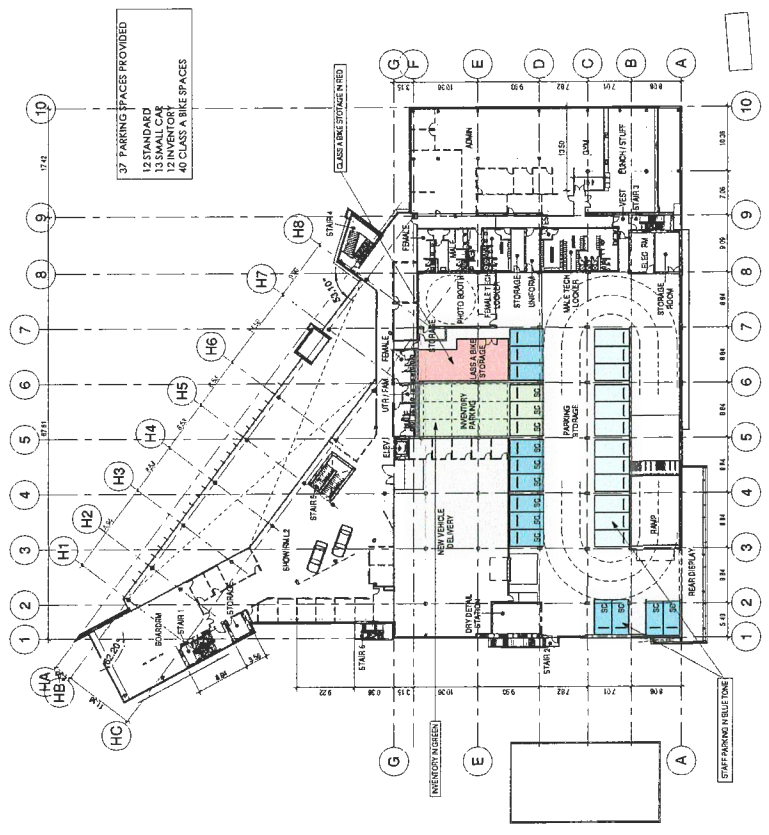
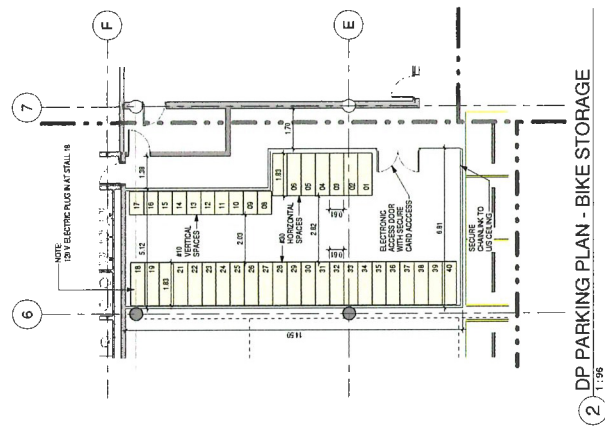
SMALL WOOD PLACE

GROUND FLOOR PLAN

1 : 30'

NO.	DESCRIPTION	DATE
1	BASE PLAN	05-11-13
2	BASE PLAN	05-11-13
3	BASE PLAN	05-11-13
4	BASE PLAN	05-11-13
5	BASE PLAN	05-11-13
6	BASE PLAN	05-11-13
7	BASE PLAN	05-11-13
8	BASE PLAN	05-11-13
9	BASE PLAN	05-11-13
10	BASE PLAN	05-11-13
11	BASE PLAN	05-11-13
12	BASE PLAN	05-11-13
13	BASE PLAN	05-11-13
14	BASE PLAN	05-11-13
15	BASE PLAN	05-11-13
16	BASE PLAN	05-11-13
17	BASE PLAN	05-11-13
18	BASE PLAN	05-11-13
19	BASE PLAN	05-11-13
20	BASE PLAN	05-11-13
21	BASE PLAN	05-11-13
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46	BASE PLAN	05-11-13
47	BASE PLAN	05-11-13
48	BASE PLAN	05-11-13
49	BASE PLAN	05-11-13
50	BASE PLAN	05-11-13

**OpenRoad Toyota Richmond**  
 DP 18-818762  
 11018 SMALL WOODSIDE, RICHMOND, BC  
 PARKING PLAN LEVEL 2



**1 SECOND FLOOR PLAN**  
 N = 352.5'



12	18.11.18	REVISED SHEET
11	18.11.18	REVISED SHEET
10	18.10.18	REVISED SHEET
9	18.10.18	REVISED SHEET
8	18.10.18	REVISED SHEET
7	18.10.18	REVISED SHEET
6	18.10.18	REVISED SHEET
5	18.10.18	REVISED SHEET
4	18.10.18	REVISED SHEET
3	18.10.18	REVISED SHEET
2	18.10.18	REVISED SHEET
1	18.10.18	REVISED SHEET

**OpenRoad Toyota Richmond**  
DP 18-818762  
13100 SMALL WOOD PLACE RICHMOND BC  
**PARKING PLAN LEVEL 3**

SCALE: 1"=30'-0"  
DATE: 2018-11-23  
PROJECT NUMBER: 20427

**PLAN #2C**  
**DP-020**



116 PARKING SPACES PROVIDED  
90 STANDARD  
23 SMALL CAR  
23 INVENTORY

NO.	REVISION	DATE	BY	DESCRIPTION
01	ISSUED FOR PERMIT	18-11-23	ES/ASJ/CS/DP	
02	ISSUED FOR PERMIT	18-11-28	ES/ASJ/CS/DP	
03	ISSUED FOR PERMIT	18-11-28	ES/ASJ/CS/DP	

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**OpenRoad Toyota Richmond**  
 DP 18-818762  
 11100 SMALL WOODRIDGE, RICHMOND, BC  
**PARKING PLAN LEVEL 4**

SCALE: 1" = 20'  
 DRAWING NO.: DP-021  
 PROJECT NUMBER: 18-818762

**PLAN #2D**  
**DP.021**

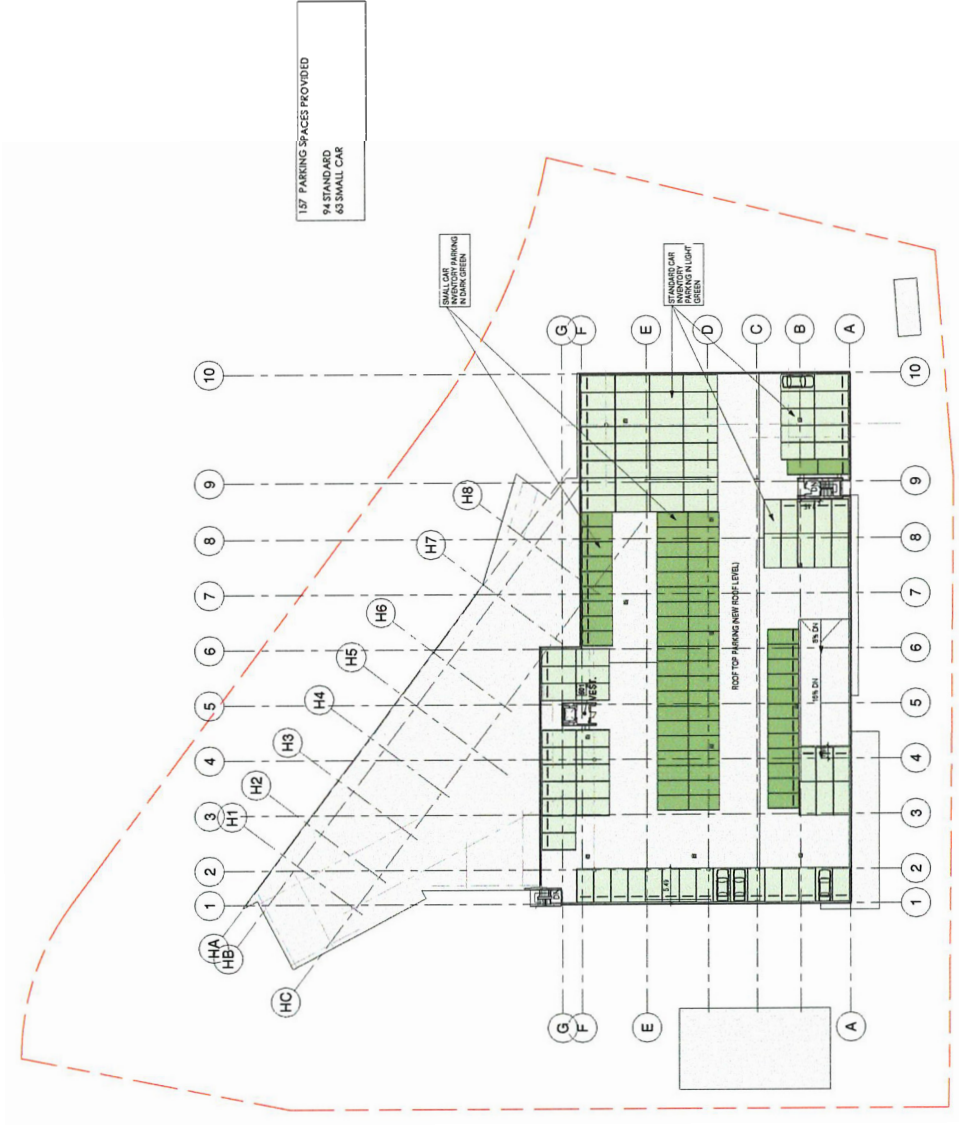


13	11/11/23	ISSUED FOR PERMITS
12	11/11/23	ISSUED FOR PERMITS
11	11/11/23	ISSUED FOR PERMITS
10	11/11/23	ISSUED FOR PERMITS
9	11/11/23	ISSUED FOR PERMITS
8	11/11/23	ISSUED FOR PERMITS
7	11/11/23	ISSUED FOR PERMITS
6	11/11/23	ISSUED FOR PERMITS
5	11/11/23	ISSUED FOR PERMITS
4	11/11/23	ISSUED FOR PERMITS
3	11/11/23	ISSUED FOR PERMITS
2	11/11/23	ISSUED FOR PERMITS
1	11/11/23	ISSUED FOR PERMITS

**OpenRoad Toyota Richmond**  
 DP 18-818762  
 13188 SKULL WOOD PLACE, RICHMOND, BC  
**PARKING PLAN LEVEL 5**

SCALE: 1/8" = 1'-0"  
 DATE: 2023-11-13  
 DRAWN BY: [Name]  
 PROJECT NAME: [Name]

**PLAN #2E**  
**DP.022**

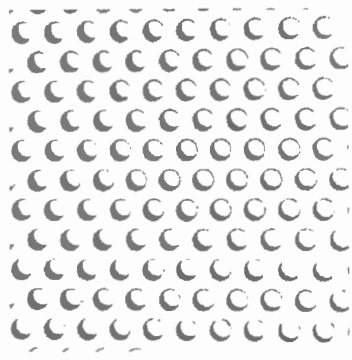


15' PARKING SPACES PROVIDED  
 94 STANDARD  
 63 SMALL CAR

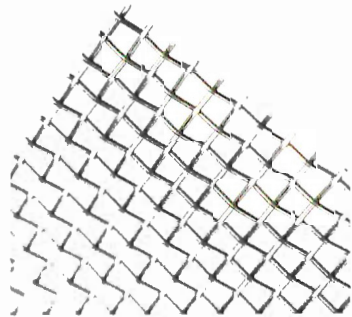
SMALL CAR INVENTORY PARKING IN DARK GREEN

SMALL CAR INVENTORY PARKING IN LIGHT GREEN

ROOF TOP PARKING (LEVEL 5)



WHITE PERFORATED PANEL WITH 2" DIA PERFORATION



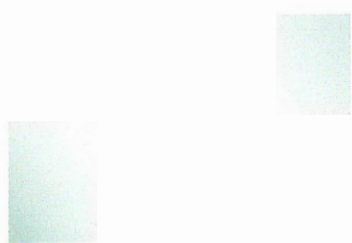
WHITE PERFORATED PANEL WITH 2" DIA PERFORATION



MILLION ANODIZED FINISH



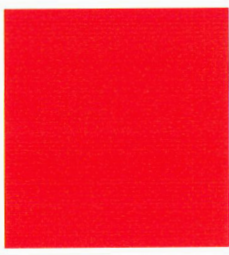
GLAZING SPANGLE



GLAZING LUME



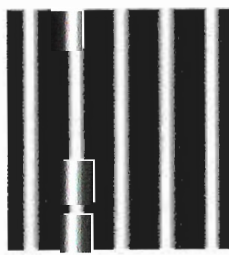
CHARCOAL ACCENT ACM PANEL



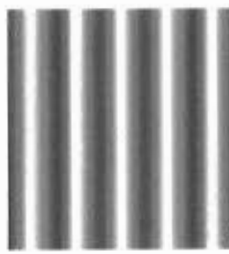
RED ACCENT ACM PANEL



WHITE ACM PANEL



DARK METALLIC CORRUGATED FINISH



LIGHT METALLIC CORRUGATED FINISH

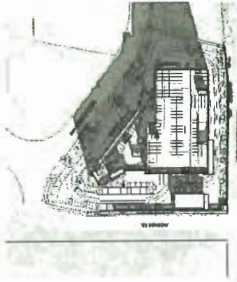
REV	DATE	REVISION
1	11/13/20	ISSUED FOR BIDDING
2	11/13/20	ISSUED FOR BIDDING
3	11/13/20	ISSUED FOR BIDDING
4	11/13/20	ISSUED FOR BIDDING

**DESIGNATION**  
DATE DESCRIPTION

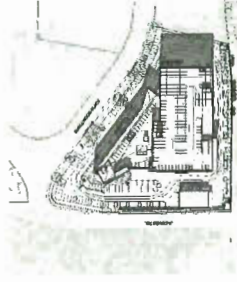
OpenRoad Toyota Richmond  
13180 SMALL WOOD PLACE, RICHMOND, BC

**MATERIAL SAMPLES**

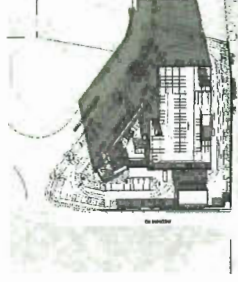
SCALE: DATE: 02/11/23 DRAWING NUMBER: 24-007 PROJECT NUMBER:



MARCH 20TH - 18.00



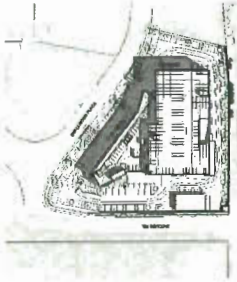
JUNE 21ST - 18.00



SEPT 22ND - 18.00



DEC 21ST - 18.00



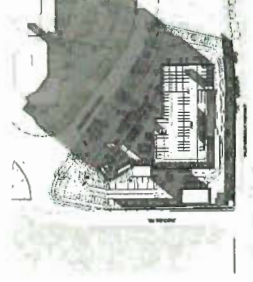
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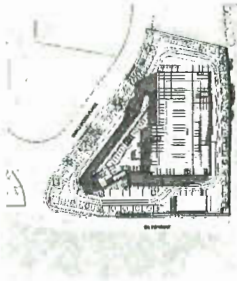
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SEPT 22ND - 15.00



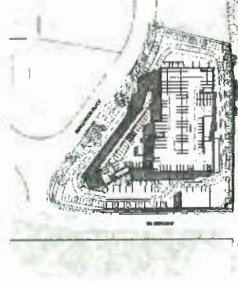
DEC 21ST - 15.00



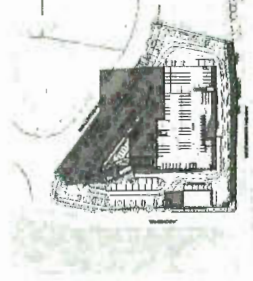
MARCH 20TH - 12.00



JUNE 21ST - 12.00



SEPT 22ND - 12.00



DEC 21ST - 12.00



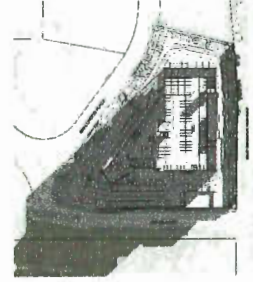
MARCH 20TH - 09.00



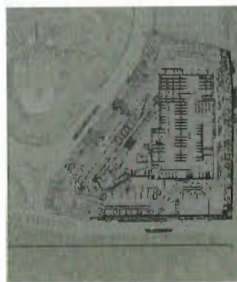
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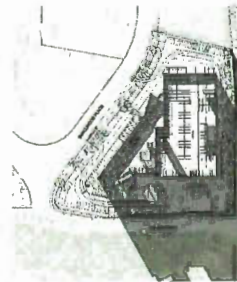
SEPT 22ND - 09.00



DEC 21ST - 09.00



MARCH 20TH - 06.00



JUNE 21ST - 06.00



SEPT 22ND - 06.00



DEC 21ST - 06.00

ID	REVISED	DATE	DESCRIPTION
01	11.11.13	2013-11-13	CONCEPT
02	11.11.13	2013-11-13	CONCEPT

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OpenRoad Toyota Richmond

1185 SHALIMWOOD PLACE RICHMOND BC  
 SHADOW ANALYSIS

SCALE: DATE: 2013-11-13  
 PROJECT NAME: SHADOW ANALYSIS

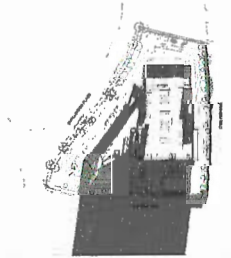
**DP.024**



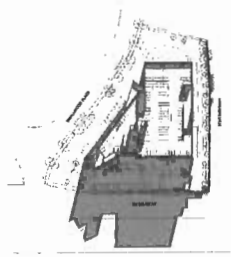
MARCH 20TH - 07.00



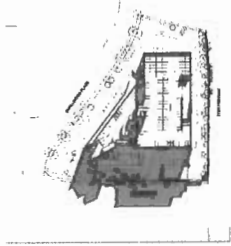
MARCH 20TH - 07.30



MARCH 20TH - 08.00



MARCH 20TH - 08.30



MARCH 20TH - 09.00



MARCH 20TH - 09.30



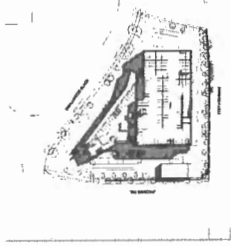
MARCH 20TH - 10.00



MARCH 20TH - 10.30



MARCH 20TH - 11.00



MARCH 20TH - 11.30



MARCH 20TH - 12.00

NO.	REV.	DATE	DESCRIPTION
1	1	03/20/12	ISSUED FOR PERMIT

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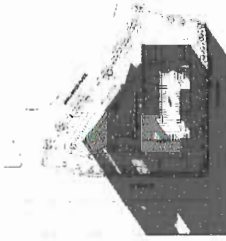
**OpenRoad Toyota Richmond**

13180 SUNDRI WOOD PLACE RICHMOND BC  
**SHADOW STUDY - SPRING  
EQUINOX MARCH 20TH**

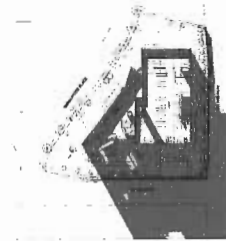
SCALE: 1/8" = 1'-0"  
PROJECT NUMBER: 201203



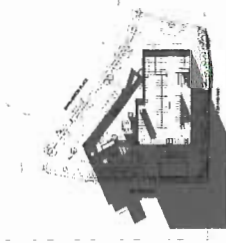
JUNE 21ST - 05.00



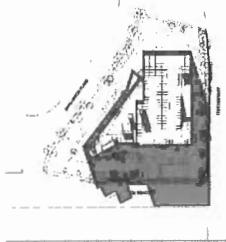
JUNE 21ST - 05.30



JUNE 21ST - 06.00



JUNE 21ST - 06.30



JUNE 21ST - 07.00



JUNE 21ST - 07.30



JUNE 21ST - 08.00



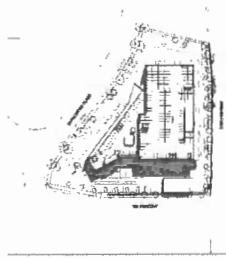
JUNE 21ST - 08.30



JUNE 21ST - 09.00



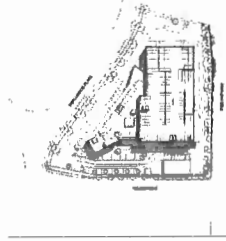
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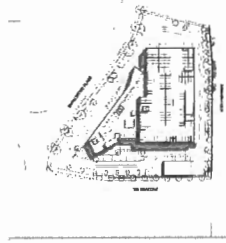
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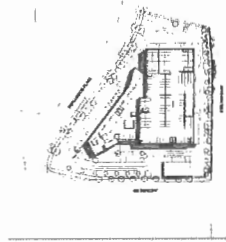
JUNE 21ST - 10.30



JUNE 21ST - 11.00



JUNE 21ST - 11.30



JUNE 21ST - 12.00

NO.	REVISION	DATE	DESCRIPTION
1	ISSUED FOR PERMIT	06/21/21	

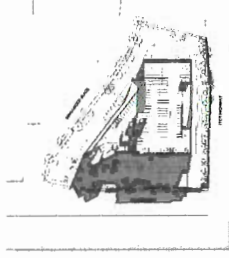
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**OpenRoad Toyota Richmond**

13188 SMALL WOOD PLACE, RICHMOND, BC  
**SHADOW STUDY - SUMMER  
SOLSTICE JUNE 21**

SCALE: 1:100  
DATE: 2021-06-21  
PROJECT NUMBER: 21-007

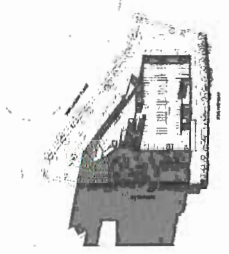
**DP-026**



SEP 22ND - 09.00



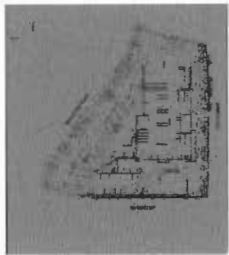
SEP 22ND- 08.30



SEP 22ND - 08.00



SEP 22ND - 07.30



SEP 22ND - 07.00



SEP 22ND - 11.30



SEP 22ND- 11.00



SEP 22ND - 10.30



SEP 22ND - 10.00



SEP 22ND - 09.30



SEP 22ND - 12.00

NO.	REV.	DATE	DESCRIPTION
1	1	09/22/2011	ISSUED FOR PERMIT
2	1	09/22/2011	ISSUED FOR PERMIT

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**OpenRoad Toyota Richmond**

11110 SMALL WOOD PLACE, RICHMOND, BC  
**SHADOW STUDY AUTUMN  
EQUINOX SEP 22ND**

SCALE: 1/8" = 1'-0"  
PROJECT NUMBER: 2010000000

**DP-027**





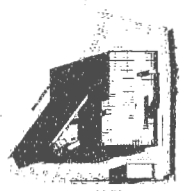
DEC 21ST - 10:00



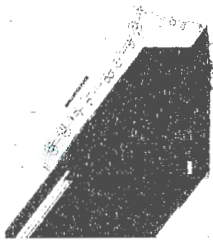
DEC 21ST - 09:30



DEC 21ST - 09:00



DEC 21ST - 11:30



DEC 21ST - 08:30



DEC 21ST - 11:00



DEC 21ST - 08:00



DEC 21ST - 10:30

DATE	18.11.13	REVISION	02
REVISION	DATE	DESCRIPTION	

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**OpenRoad Toyota Richmond**

13100 SMALL WOOD PLACE RICHMOND, BC  
**SHADOW STUDY WINTER  
SOLSTICE DECEMBER 21ST**

SCALE: 2"=1'  
PROJECT NUMBER: 21407

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ARCHITECT

**CHRISTOPHER BOZATA, ARCHITECT, P. ENG.**

**PLAN #3A**

15	RE-ISSUED FOR DP	18.11.20
14	RE-ISSUED FOR DP	18.11.20
13	RE-ISSUED FOR DP	18.09.20
12	SEALED FOR CONSTRUCTION	18.02.20
11	SEALED FOR REVISIONS BP	17.12.19
10	SEALED FOR TENDER	17.12.19
9	RE-ISSUED FOR DP	17.06.19
8	SEALED FOR ADP	17.06.19
7	RE-ISSUED FOR DP	17.05.19
6	RE-ISSUED FOR DP	17.05.19
5	ISSUED FOR BUDGETING	17.03.19
4	RE-ISSUED FOR DP	17.03.19
3	ISSUED FOR BP	16.11.18
2	ISSUED FOR DP	16.07.17
1	ISSUED FOR CLIENT REVIEW	14.06.16

**REVISIONS**

**OPENROAD TOYOTA**

13100 Smallwood Place  
Richmond, British Columbia

Scale: AS SHOWN  
Drawn: KD  
Reviewed: KL  
Project No. 06-450

**LANDSCAPE COVER PAGE**

# OpenRoad Toyota

## LANDSCAPE ARCHITECTURAL SET — RE-ISSUED FOR DP

**LANDSCAPE DRAWING INDEX**

SHEET No.	SHEET NAME
L0.0	COVER SHEET AND DRAWING LIST
L0.1	TREE MANAGEMENT PLAN
L1.0	LANDSCAPE SITE PLAN
L1.1	LANDSCAPE ENLARGEMENTS
L1.2	LANDSCAPE LAYOUT PLAN
L2.0	LANDSCAPE PLANT MATERIALS - NORTH
L2.1	LANDSCAPE PLANT MATERIALS - SOUTH
L3.0	LANDSCAPE DETAILS

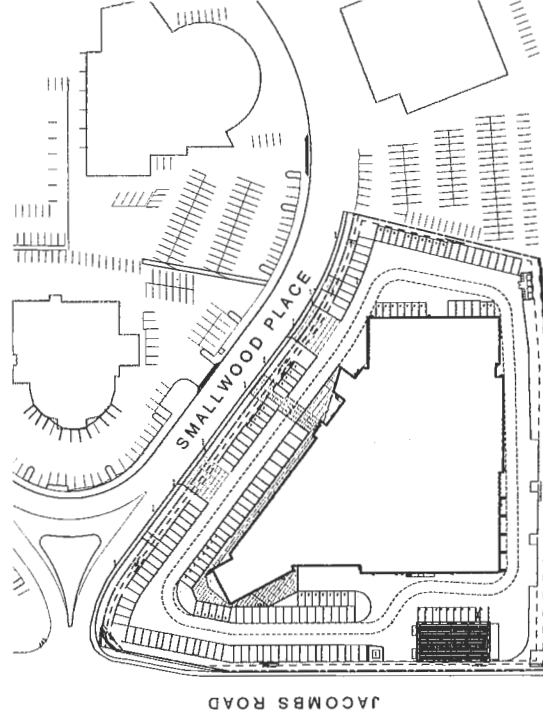
**PROJECT INFORMATION**

**CLIENT:**  
OPENROAD AUTO GROUP  
CONTACT NAME: AOE SABOINE  
EMAIL: AOE.SABOINE@OPENROADAUTOGROUP.COM  
PH: 604.620.0202

**LANDSCAPE ARCHITECT:**  
CONNECT LANDSCAPE ARCHITECTURE INC.  
CONTACT NAME: KEN LARSON  
EMAIL: KEN@CONNECT.LA  
VANCOUVER, BRITISH COLUMBIA, V6H 2V1  
PH: (604) 581-3300

**GENERAL NOTES**

1. ALL LANDSCAPE ARCHITECTURAL DRAWINGS IN THIS PACKAGE SHALL BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANT DRAWINGS, DETAILS, SPECIFICATIONS, AND CORRESPONDENCE THAT MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.
2. IF A DISCREPANCY OCCURS BETWEEN THE DRAWINGS AND THE SPECIFICATIONS OR ANY OTHER DOCUMENT ASSOCIATED WITH THE PROJECT, THE CONFLICT SHALL BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT TO OBTAIN CLARIFICATION AND APPROVAL BEFORE PROCEEDING WITH WORKS.
3. THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY THE TRUE EXISTING CONDITIONS. ANY UNCLEAR ISSUES SHALL BE CLARIFIED WITH THE LANDSCAPE ARCHITECT. NO CLAIM SHALL BE ALLOWED FOR EXTRAS WHICH MAY ARISE THROUGH NEGLIGENCE OF THIS ADVICE.
4. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES, AND CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.
5. ALL EXISTING INFORMATION IS BASED ON AVAILABLE RECORDS AND SHALL NOT BE CONSTRUED TO BE COMPLETE OR ACCURATE.
6. LAYOUT OF HARDSCAPE, SITE FURNITURE, SOIL, PLANTING, AND ALL OTHER LANDSCAPE MATERIALS ARE TO BE STAKED OUT AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
7. ALL PUBLIC REALM DETAILS, AND FINAL SELECTION / APPROVAL OF ALL STREET TREES TO BE APPROVED BY THE MUNICIPALITY.



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THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND/OR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSONS OF ITS INTENTION TO CARRY OUT ITS OBLIGATIONS.

ARCHITECT

**CHRISTOPHER BOZYK, ARCHITECTS**

**PLAN #3B**

15	RE-SUBMITTED FOR DP	18-11-20
14	RE-SUBMITTED FOR DP	18-11-08
13	RE-SUBMITTED FOR DP	18-09-28
12	ISSUED FOR CONSTRUCTION	18-09-28
11	ISSUED FOR REVISED BP	17-10-18
10	ISSUED FOR REVISED BP	17-10-20
9	ISSUED FOR APP	17-09-23
8	ISSUED FOR APP	17-08-07
7	RE-SUBMITTED FOR DP	17-05-20
6	RE-SUBMITTED FOR DP	17-05-18
5	ISSUED FOR BIDDING	17-03-24
4	RE-ISSUED FOR DP	17-05-09
3	ISSUED FOR DP	16-11-25
2	ISSUED FOR DP	16-07-27
1	ISSUED FOR CLIMATE REVIEW	16-06-29

**OPENROAD TOYOTA**

13100 Smallwood Place  
Richmond, British Columbia

Scale: 1:200  
Drawn: KO  
Reviewed: KL  
Project No. 06-480

**LANDSCAPE TREE MANAGEMENT**

**L0.1**

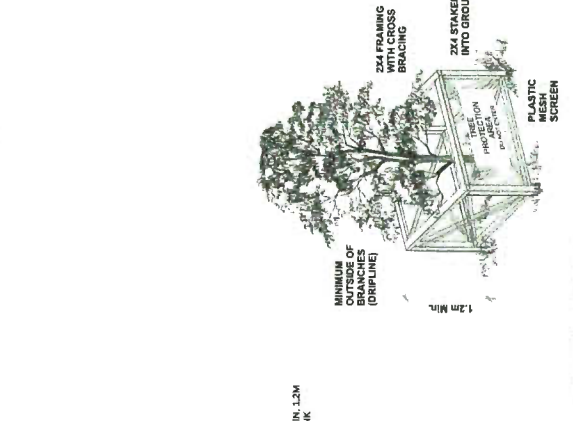
**TREE MANAGEMENT LEGEND**

DESCRIPTION	SYMBOL
EXISTING TREE TO BE REMOVED PER ARBORIST REPORT	
EXISTING TREE TO BE RETAINED PER ARBORIST REPORT	
TREE PROTECTION FENCING PER CITY OF RICHMOND	

**TO BE REMOVED:**  
13 JACOBS ROAD  
3 SMALLWOOD PLACE  
TOTAL

**TO BE INSTALLED:**  
18 (12 @ 7.6m CALL)  
3 (7.6m CALL)  
SMALLWOOD PLACE  
ON SITE  
TOTAL  
73 (67 @ 7.6m CALL)

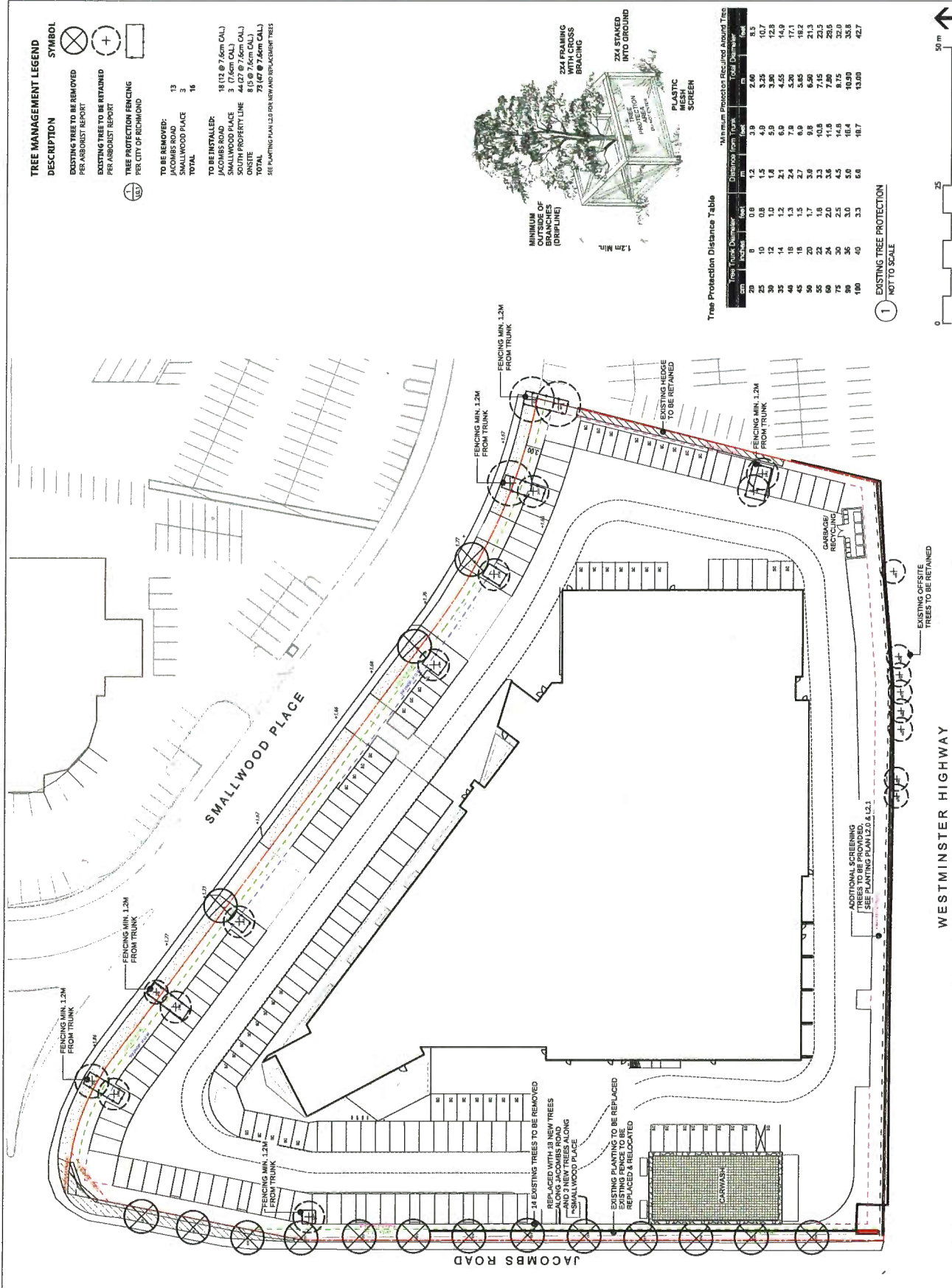
SEE PLANTING PLAN L2.0 FOR NEW AND REPLACEMENT TREES



Tree Protection Distance Table

Tree Trunk Diameter	Minimum Protection Required Around Tree	
	Distance from Trunk	Total Diameter
20	0.8	1.2
25	1.0	1.5
30	1.2	1.8
35	1.4	2.1
40	1.6	2.4
45	1.8	2.7
50	2.0	3.0
55	2.2	3.3
60	2.4	3.6
65	2.6	3.9
70	2.8	4.2
75	3.0	4.5
80	3.2	4.8
85	3.4	5.1
90	3.6	5.4
95	3.8	5.7
100	4.0	6.0

1 EXISTING TREE PROTECTION NOT TO SCALE



ADDITIONAL SCREENING TREES TO BE PROVIDED. SEE PLANTING PLAN L2.0 & L2.1

WESTMINSTER HIGHWAY

JACOBS ROAD

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ARCHITECT:  
**CHRISTOPHER BOZTKA ARCHITECTS**

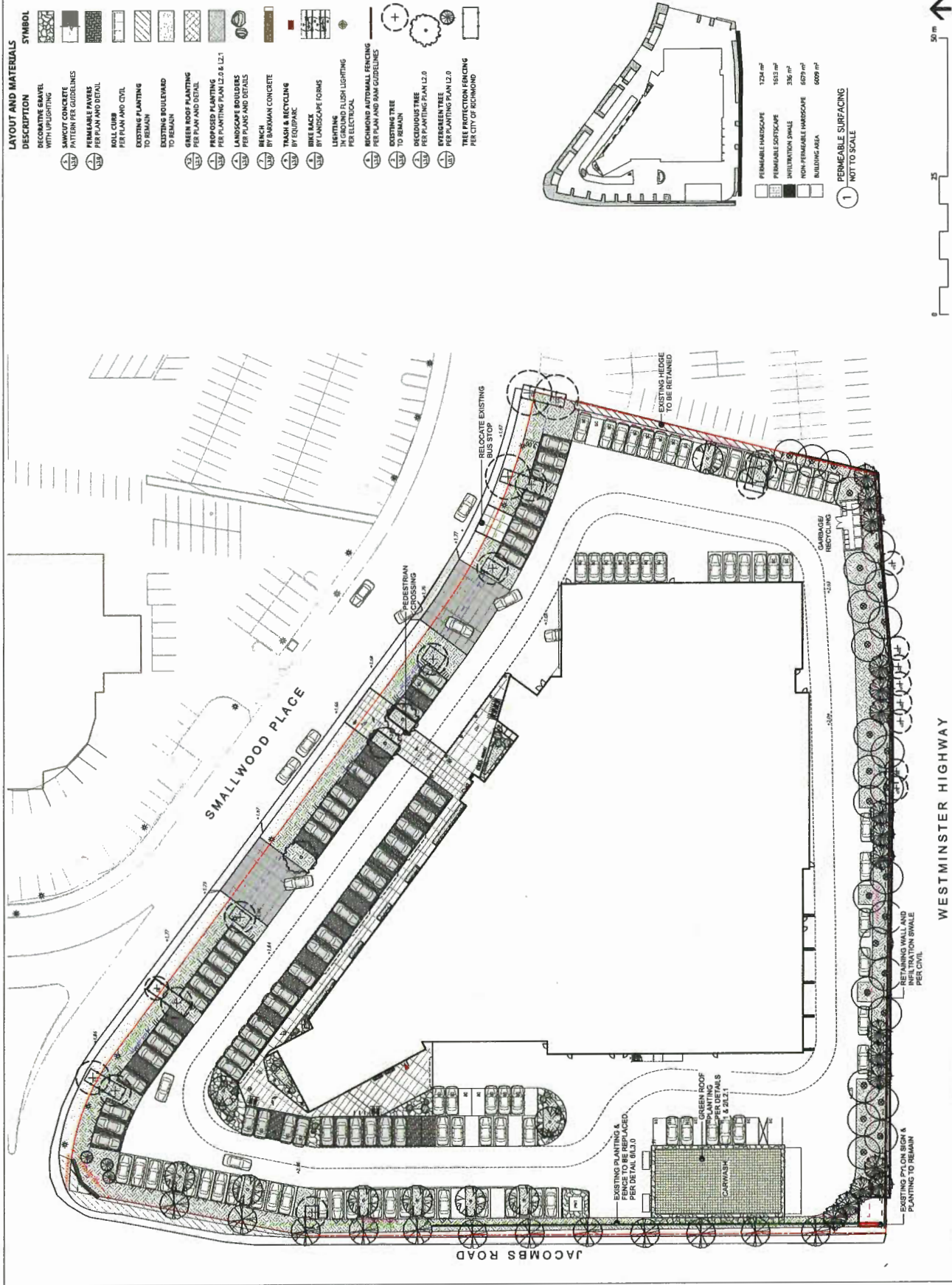
**PLAN #3C**

13	REVISION FOR DP	18-11-20
14	REVISION FOR DP	18-11-08
15	REVISION FOR DP	18-09-20
16	ISSUED FOR CONSTRUCTION	18-02-28
17	ISSUED FOR REVISION BP	17-10-10
18	ISSUED FOR TENDER	17-11-20
19	REVISION FOR DP	17-09-27
20	ISSUED FOR APP	17-06-07
21	REVISION FOR DP	17-05-20
22	REVISION FOR DP	17-05-19
23	ISSUED FOR REDIRECTING	17-03-24
24	REVISION FOR DP	17-02-08
25	ISSUED FOR BP	16-11-25
26	ISSUED FOR DP	16-07-17
27	ISSUED FOR CLIENT REVIEW	15-08-20

**OPENROAD TOYOTA**  
13100 Smallwood Place  
Richmond, British Columbia

Scale: 1:300  
Drawn: KD  
Reviewed: KL  
Project No. 06-490

**LANDSCAPE SITE PLAN**



CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES AND/OR CONCEALED STRUCTURES AT THE PROJECT SITE. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND/OR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, OR AGENCY, OF ANY DISCREPANCIES TO BE CORRECTED PRIOR TO COMMENCING WORK TO CARRY OUT ITS OPERATIONS.

ARCHITECT

CHRISTOPHER BOZAK, ARCHITECTS

**PLAN #3D**

13	RE-SUBMITTED FOR DP	18-11-20
14	RE-SUBMITTED FOR DP	18-11-20
15	RE-SUBMITTED FOR DP	18-08-20
16	RE-SUBMITTED FOR CONSTRUCTION	18-02-20
17	ISSUED FOR REVISED BP	17-02-18
18	ISSUED FOR TENDER	17-03-18
19	ISSUED FOR ADP	17-06-17
20	RE-SUBMITTED FOR DP	17-05-16
21	RE-SUBMITTED FOR DP	17-05-18
22	ISSUED FOR BUDGETING	17-03-14
23	RE-SUBMITTED FOR DP	17-02-08
24	ISSUED FOR BP	16-11-25
25	ISSUED FOR DP	16-07-27
26	ISSUED FOR CLIENT REVIEW	16-08-25

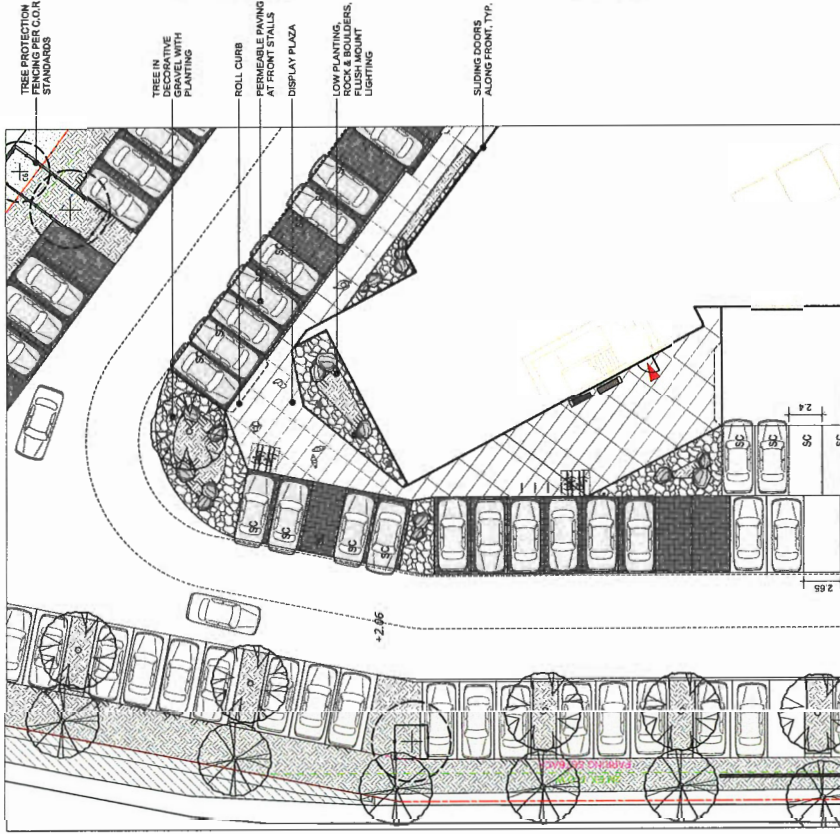
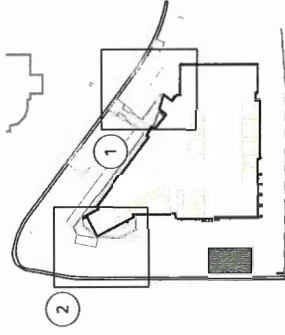
**OPENROAD TOYOTA**

13100 Smallwood Place  
Richmond, British Columbia

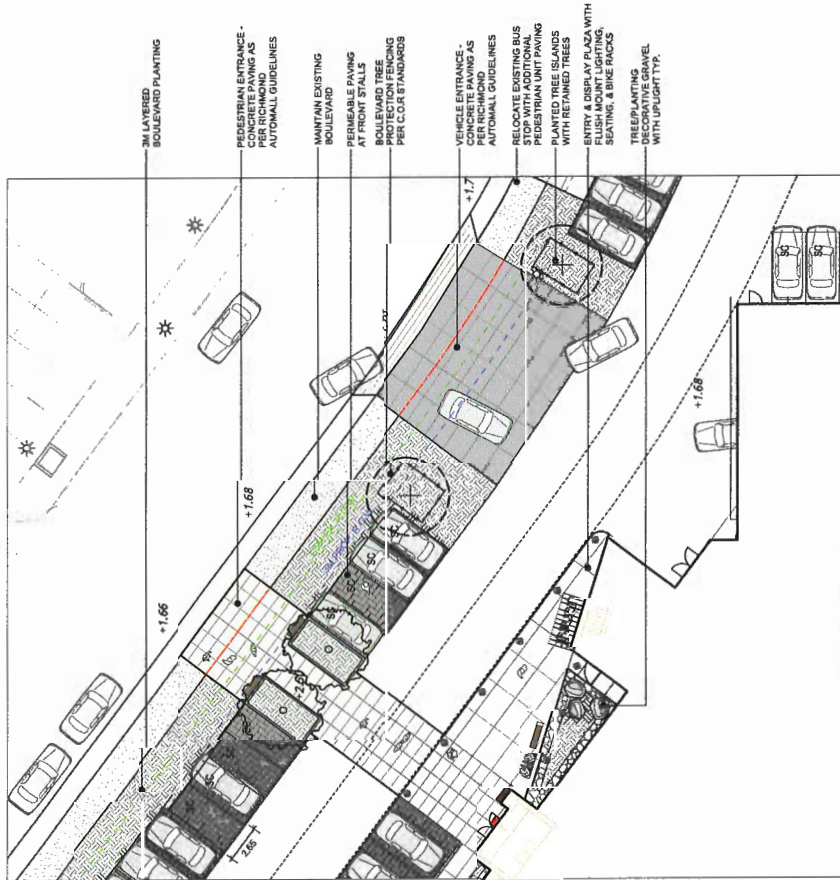
Scale: 1:150  
Drawn: KD  
Reviewed: KL  
Project No. 06-480

**LANDSCAPE ENLARGEMENTS**

L1.1



**2 CORNER ENLARGEMENT PLAN**  
Scale: 1:150



**1 MAIN ENTRY ENLARGEMENT**  
Scale: 1:150



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ARCHITECT  
**CHRISTOPHER BOZAK ARCHITECTS**

**PLAN #3E**

35	REVISION FOR DP	18-11-20
34	REVISION FOR DP	18-11-20
33	REVISION FOR DP	18-11-20
32	ISSUED FOR CONSTRUCTION	18-11-20
31	ISSUED FOR REVISION DP	17-12-19
30	ISSUED FOR TENDER	17-12-19
29	REVISION FOR DP	17-08-19
28	ISSUED FOR DP	17-08-19
27	REVISION FOR DP	17-09-20
26	REVISION FOR DP	17-05-19
25	ISSUED FOR SUGGESTING	17-03-14
24	REVISION FOR DP	17-03-08
23	ISSUED FOR S.P.	18-11-25
22	ISSUED FOR DP	18-07-27
21	ISSUED FOR CLIENT REVIEW	18-06-20

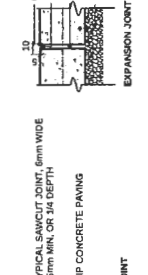
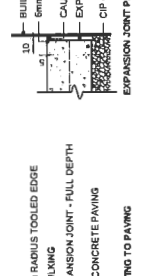
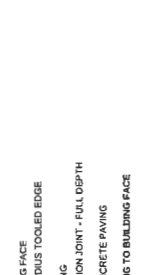
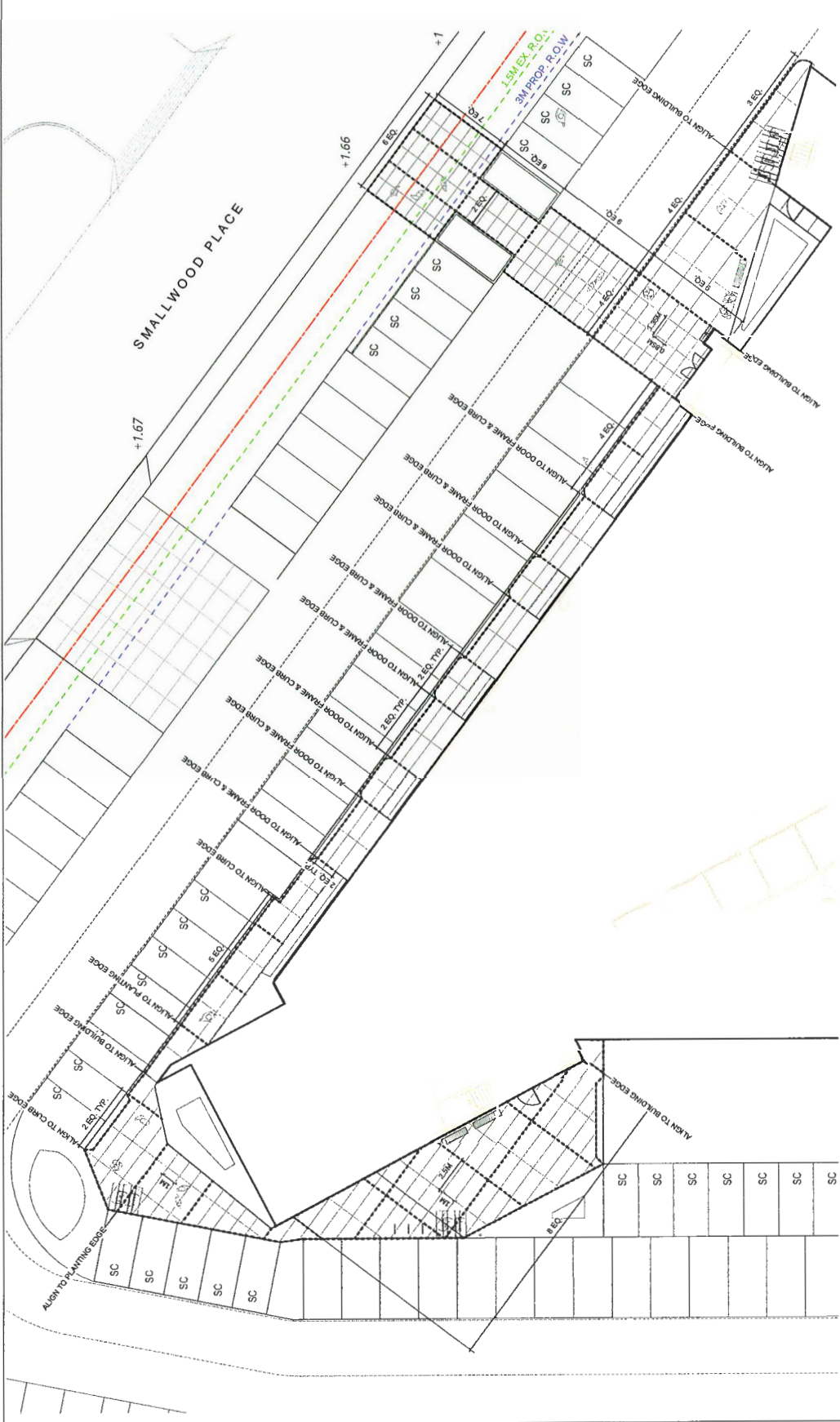
**REVISIONS**

**OPENROAD TOYOTA**  
13100 Smallwood Place  
Richmond, British Columbia

Scale: 1:125  
Drawn: KD  
Reviewed: KL  
Project No. 06-490

**LANDSCAPE LAYOUT PLAN**

**L1.2**



**1 - CIP CONCRETE PAVING JOINTS, TYP.**  
Scale: 1:5

**NOTES:**  
1. LIGHT SANDBLAST FINISH AS SPECIFIED.  
2. REFER TO PLAN FOR SAWCUT JOINT LAYOUT DIMENSIONS.  
3. REFER TO PLAN FOR SAWCUT JOINT LAYOUT DIMENSIONS.  
4. REFER TO CMTL FOR VEHICULAR CONCRETE DETAILS AND SPECIFICATIONS.

CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES AND/OR CONCEALED STRUCTURES AT THE PROJECT SITE.

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ARCHITECT:  
**CHRISTOPHER BOZTKY, ARCHITECTS**

**PLAN #3F**

14	RE-SUBMITTED FOR DP	18-11-30
15	RE-SUBMITTED FOR DP	18-11-08
16	RE-SUBMITTED FOR DP	18-09-28
17	RE-SUBMITTED FOR CONSTRUCTION	18-02-28
18	ISSUED FOR REVISED BP	17-02-18
19	ISSUED FOR TENDER	17-12-18
20	ISSUED FOR DP	17-09-29
21	ISSUED FOR ACP	17-08-07
22	RE-SUBMITTED FOR DP	17-06-29
23	RE-SUBMITTED FOR DP	17-06-19
24	RE-SUBMITTED FOR BUDGETING	17-04-24
25	ISSUED FOR BP	17-03-08
26	ISSUED FOR DP	16-11-25
27	ISSUED FOR DP	16-09-27
28	ISSUED FOR CLIENT REVIEW	16-08-26

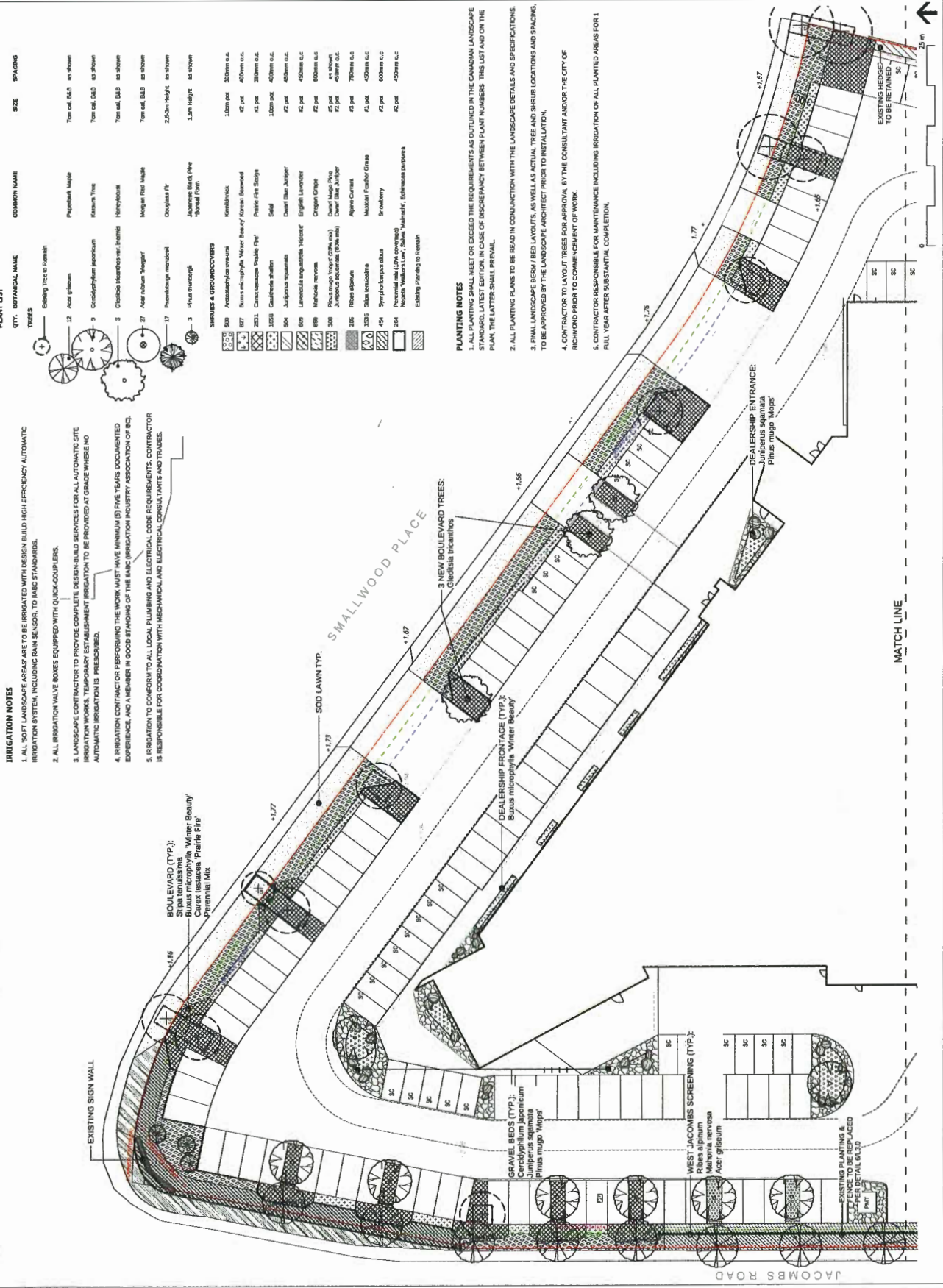
**OPENROAD TOYOTA**

13100 Smallwood Place  
Richmond, British Columbia

Scale: 1:200  
Drawn: KD  
Reviewed: KL  
Project No.: 06-480

**LANDSCAPE PLANT MATERIALS NORTH**

**L2.0**



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ARCHITECT

CHRISTOPHER BOZTKA, ARCHITECTS

**PLAN #3G**

15	RE-ISSUED FOR DP	18-11-20
14	RE-ISSUED FOR DP	18-11-20
13	RE-ISSUED FOR DP	18-09-20
12	ISSUED FOR CONSTRUCTION	18-05-20
11	ISSUED FOR REVISED BP	17-12-19
10	ISSUED FOR TENDER	17-11-19
9	ISSUED FOR ADP	17-08-19
8	RE-ISSUED FOR DP	17-06-19
7	RE-ISSUED FOR DP	17-05-19
6	RE-ISSUED FOR DP	17-05-19
5	ISSUED FOR BUDGETING	17-03-19
4	RE-ISSUED FOR DP	17-03-19
3	ISSUED FOR BP	16-11-19
2	ISSUED FOR BP	16-07-17
1	ISSUED FOR CLIENT REVIEW	16-09-16

**OPENROAD TOYOTA**

13100 Smallwood Place  
Richmond, British Columbia

Scale: 1:200  
Drawn: KL  
Reviewed: KL  
Project No. 06-480

**LANDSCAPE  
PLANT MATERIALS  
SOUTH**

L2.1

**REFER TO L2.0 FOR PLANT LIST.**

**PLANTING NOTES**

1. ALL PLANTING SHALL MEET OR EXCEED THE REQUIREMENTS AS OUTLINED IN THE BC LANDSCAPE STANDARD, LATEST EDITION. IN CASE OF DISCREPANCY BETWEEN PLANT NUMBERS THIS LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL.
2. ALL PLANTING PLANS TO BE READ IN CONJUNCTION WITH THE LANDSCAPE DETAILS AND SPECIFICATIONS.
3. SMALL LANDSCAPE BERM / BED LAYOUTS, AS WELL AS ACTUAL TREE AND SHRUB LOCATIONS AND SPACING, TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. CONTRACTOR TO LAYOUT TREES FOR APPROVAL BY THE CONSULTANT AND/OR THE CITY OF RICHMOND PRIOR TO COMMENCEMENT OF WORK.
5. CONTRACTOR RESPONSIBLE FOR MAINTENANCE INCLUDING IRRIGATION OF ALL PLANTED AREAS FOR 1 FULL YEAR AFTER SUBSTANTIAL COMPLETION.

**IRRIGATION NOTES**

1. ALL "SOFT" LANDSCAPE AREAS (INCLUDING ORNITE, OFFSITE, AND GREEN ROOF AREAS) ARE TO BE IRRIGATED WITH DESIGN BUILT HIGH EFFICIENCY AUTOMATIC IRRIGATION SYSTEM, INCLUDING RAIN SENSOR, TO IMBC STANDARDS.
2. ALL IRRIGATION VALVE BOXES EQUIPPED WITH QUICK COUPLERS.
3. LANDSCAPE CONTRACTORS TO PROVIDE COMPLETE DESIGN-BUILD SERVICES FOR ALL AUTOMATIC SITE IRRIGATION WORKS. TEMPORARY ESTABLISHMENT IRRIGATION TO BE PROVIDED AT GRADE WHERE NO AUTOMATIC IRRIGATION IS PRESCRIBED.
4. IRRIGATION CONTRACTOR PERFORMING THE WORK MUST HAVE MINIMUM (5) FIVE YEARS DOCUMENTED EXPERIENCE, AND A MEMBER IN GOOD STANDING OF THE IMBC (IRRIGATION INDUSTRY ASSOCIATION OF BC).
5. IRRIGATION TO CONFORM TO ALL LOCAL PLUMBING AND ELECTRICAL CODE REQUIREMENTS. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH MECHANICAL AND ELECTRICAL CONSULTANTS AND TRADES.

PARAPET EDGE PER ARCHITECTURAL

100 mm (4") DEEP x 75 mm (3.0") DIA. CRUSHED BASALT

ROOF DRAIN PER ARCHITECTURAL

100 mm (4") DEEP x 75 mm (3.0") DIA. CRUSHED BASALT

EXTENSIVE GREEN ROOF - 100x150mm (4"x6") DEEP MINIMUM

ENGINEERED LIGHTWEIGHT GROWING MEDIUM WITH TUFF STUFF

COLUBRA GREEN SYSTEM AND APPROVED ALTERNATE

ROOF INSULATION PER ARCHITECTURAL

ROOF ASSEMBLY & STRUCTURAL SLAB - SEE ARCHITECTURAL

FILTER FABRIC SURROUND AS SPECIFIED

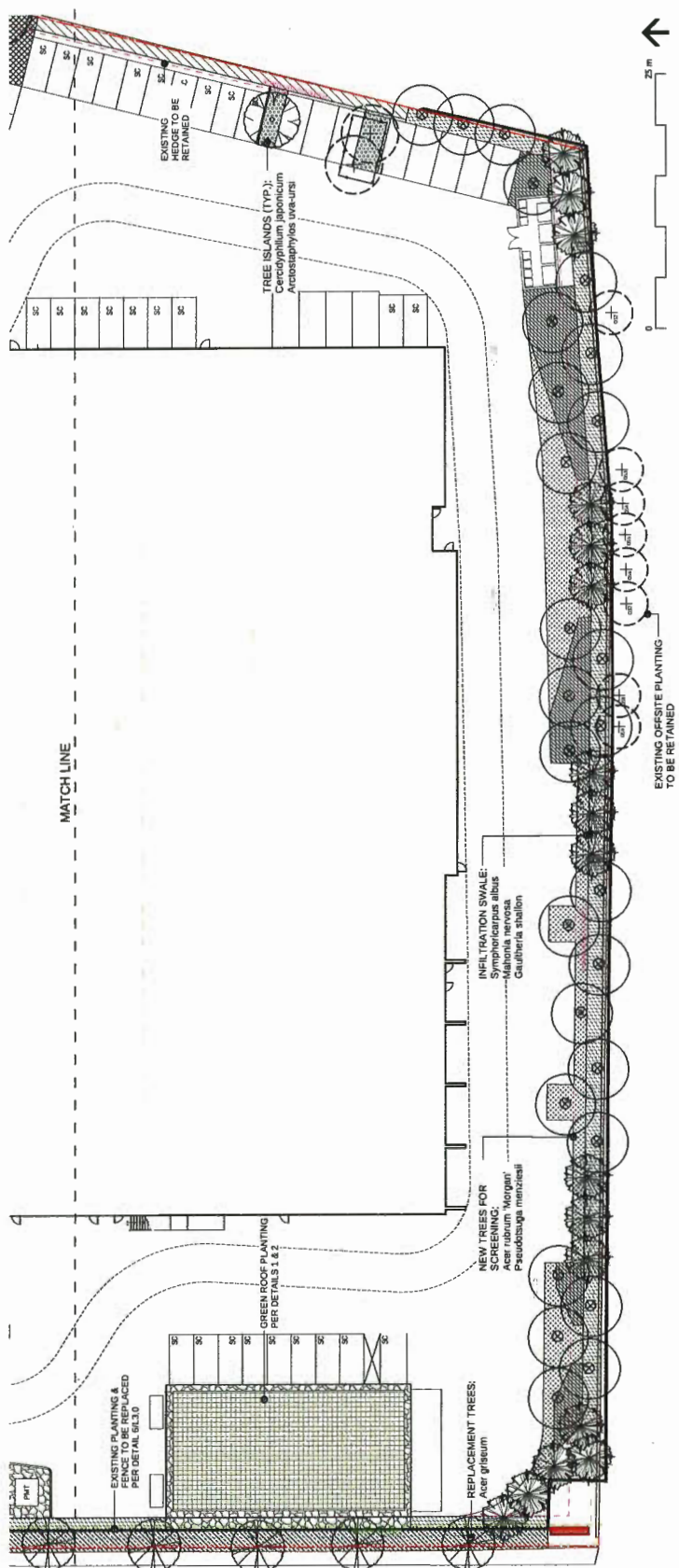
PERFORATED METAL ENCLOSURE WITH ROOF DRAIN PER MECHANICAL

SLAB DRAINAGE PLAN PER ARCHITECTURAL

ROOF ASSEMBLY & STRUCTURAL SLAB - SEE ARCHITECTURAL

**1 EXTENSIVE PLANTING ON SLAB**  
SCALE: 1:10

**2 EXTENSIVE PLANTING DRAIN**  
SCALE: 1:10





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ARCHITECT:

CHRISTOPHER BOXX, ARCHITECTS

**PLAN #3H**

13	REVISED FOR DP	18-11-20
14	REVISED FOR DP	18-11-20
15	REVISED FOR DP	18-09-20
16	REVISED FOR DP	18-09-20
17	REVISED FOR CONSTRUCTION	18-02-20
18	REVISED FOR REVISED BP	17-12-19
19	REVISED FOR TRUSHER	17-12-19
8	REVISED FOR DP	17-06-19
9	REVISED FOR DP	17-06-19
7	REVISED FOR DP	17-06-19
6	REVISED FOR DP	17-06-19
5	REVISED FOR DP	17-06-19
4	REVISED FOR DP	17-06-19
3	REVISED FOR DP	18-11-20
2	REVISED FOR DP	18-11-20
1	REVISED FOR CLIENT REVIEW	18-06-20

**OPENROAD TOYOTA**

13100 Sraalwood Place  
Richmond, British Columbia

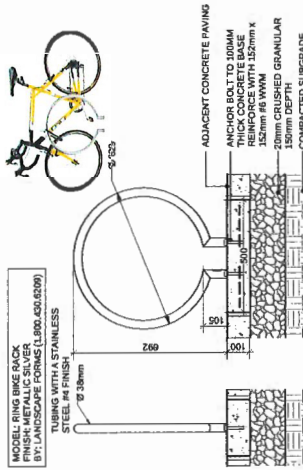
Scale: AS SHOWN  
Drawn: KD  
Reviewed: RL  
Project No. 06-400

**LANDSCAPE DETAILS**

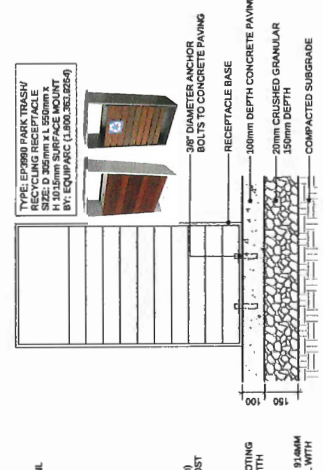
**L3.0**



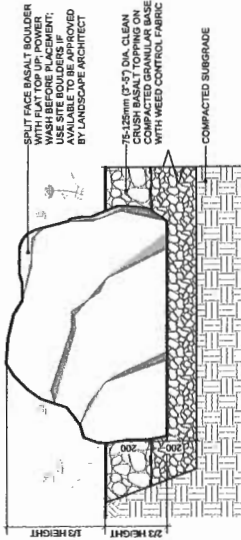
**7 CONCRETE BENCH**  
TYPE ONE-TWO BENCH  
BY: BARKMAN CONCRETE  
PORT MOODY, BC 778.682.7670



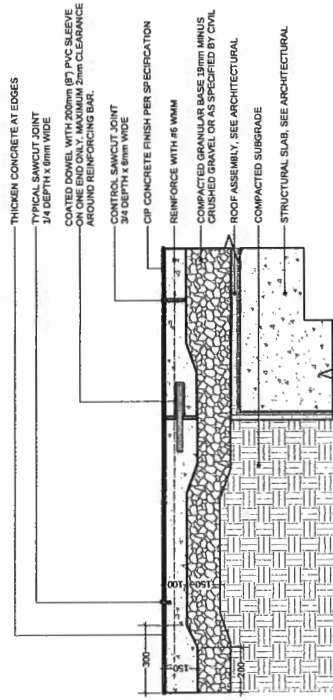
**8 RING BIKE RACK BY LANDSCAPE FORMS**  
Scale: 1:10



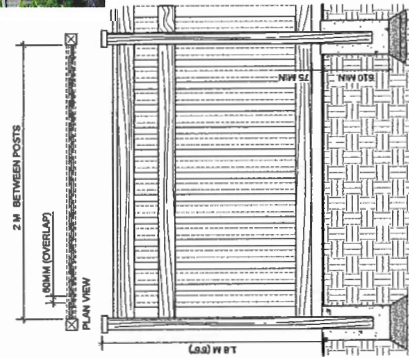
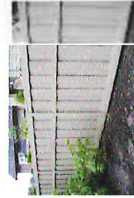
**9 TRASH/RECYCLING RECEPTACLE**  
Scale: 1:10



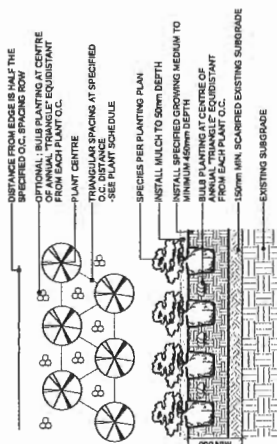
**4 LANDSCAPE BOULDER**  
Scale: 1:10



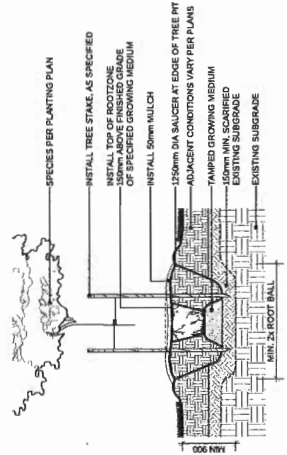
**5 C/P CONCRETE ON GRADE / ON SLAB (TYPICAL)**  
Scale: 1:10



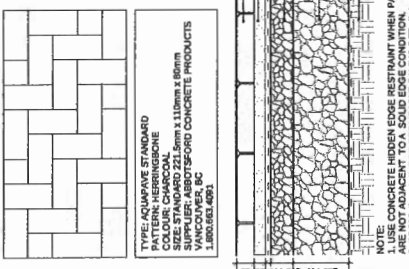
**6 PERIMETER WOOD FENCE**  
Scale: 1:20



**1 PLANTING ON GRADE (TYPICAL)**  
Scale: 1:25



**2 TREE PLANTING ON GRADE (TYPICAL)**  
Scale: 1:25



**3 PERMEABLE PAVING**  
Scale: 1:10

Attachment C: Report by CSR Environmental



*Your Project  
Meets the  
Environment*

CSR ENVIRONMENTAL LTD.  
113 – 408 E. Kent Avenue S.  
Vancouver, BC, V5X 2X7  
Phone: 604.559.7100  
[www.csrenviro.com](http://www.csrenviro.com)

November 29, 2018

Christopher Bozyk Architects Ltd.  
Suite 414 – 611 Alexander Street  
Vancouver, BC V6A 1E1

Attention: Mr. Keiran Walsh  
Via e-mail: [keiran@bozyk.com](mailto:keiran@bozyk.com)

Reference: Avian Mitigation Measures  
13100 Smallwood Place, Richmond, BC

Dear Mr. Walsh,

## 1.0 INTRODUCTION

CSR Environmental Ltd. (CSR Environmental) has been retained by Open Road Auto to provide a summary of potential strategies for avian mitigation in regard to the proposed development (the Project) at 13100 Smallwood Place in Richmond, BC (the Site). The summary is in response to comments provided by the City of Richmond (the City) Council on November 13, 2018.

## 1.1 BACKGROUND

A building permit has been previously acquired for the proposed development at the Site. The design of the proposed development has been completed to the satisfaction of the acquired building permit. An application for the addition of a parkade resulted in additional requested information from the City Council meeting which took place on November 13, 2018, in regard to modifications to the proposed development to reduce potential impact to birds and environmentally sensitive areas (File Ref. No. 12-8062-20-009948; ZT 18-818765, Section R18/19-8 (2)(iii)). The risk of bird collisions with glass windows on the first two floors of the Project are of particular concern. We understand as the building is in construction phase, implementing mitigation measures will be a challenging task.

On November 23, 2018, CSR Environmental conducted a Site visit and discussion with Mr. Keiran Walsh of Christopher Bozyk Architects Ltd. (Christopher Bozyk Architects) and Mr. Paul Bordingnon of Wales McLelland Construction (Wales McLelland). We identified risk of bird collision with glass surfaces on the west and northwest aspects of the building (see Figure 1).

## 1.2 APPLICABLE FEDERAL AND PROVINCIAL LEGISLATION

The following legislation prohibits unintentional injury or mortality to birds in British Columbia:

- BC Wildlife Act (§ 34);
- Migratory Birds Convention Act (§ 5 (a)); and
- Species at Risk Act (§ 32 (1)).

## 2.0 THREATS TO BIRDS AND ENVIRONMENTALLY SENSITIVE AREAS

CSR Environmental believes there is no collision risk to birds on the third floor of the Project because no glass or reflective material has been proposed.

CSR Environmental has identified the following threats to birds at the Project: window strikes, lighting, and open pipes and ventilation.

Building collisions account for the second highest human-caused mortality rate for birds in Canada, nearly 25 million birds annually<sup>1</sup>. The problem is widespread, occurring at both commercial and residential buildings throughout the year. Fortunately, a variety of cost-effective mitigation options exist. Strategies to address this problem include bird-friendly design policy, implementation of mitigation options, and public education campaigns.

Birds collide with buildings because they either do not see glass or see vegetation reflected in glass rather than the surface of the glass. Impacts with glass occur during daytime and nighttime and can occur throughout the year. The highest risk of window strikes at the Site occur along the west face of the building, which is proposed to have extensive use of large, untreated windows that face the west and north. These surfaces occur within 40 meters of the Richmond Nature Park East, an environmentally sensitive area. The type of glass used in construction, the large expanse of glass windows on floors at or below tree canopy height (i.e. aboveground levels one through three), and vegetation reflected in glass are factors that contribute to collisions with windows.

CSR Environmental expects low risk of bird collision for glass surfaces on the northeast, east, and south aspects of the building facing Smallwood Place. We do not recommend mitigation for these surfaces, but we do recommend ongoing monitoring at these sites. If avian mortality is detected, post-construction mitigation options are available.

Placement of upward facing light can cause light pollution and may negatively influence nocturnal bird migration. Open pipes and ventilation are small openings that can trap birds and cause mortality.

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<sup>1</sup> Machtans, C. S., Wedeles, C. H. R., and Bayne, E. M. 2013. A first estimate for Canada of the number of birds killed by colliding with building windows. *Avian Conservation and Ecology* 8(2): 6. <http://dx.doi.org/10.5751/ACE-00568-080206>

### 3.0 MITIGATION STRATEGIES

The City of Vancouver Planning and Development Services has a document titled *Bird Friendly Design Guidelines – Considerations for Development Permit*, adopted by City of Vancouver Council in January 2015, effective April 24, 2015<sup>2</sup>. Mitigation strategies that are related to the Site are outlined in the following subsections.

#### 3.1 WINDOWS

For the purpose of preventing bird strikes against windows, the use of mirrored glass on the west and northwest side of the proposed development is not recommended. Portions of the glass on the northwest corner of the proposed development will be screened by a metal mesh. The parkade addition will be clad in a matte finish perforated steel against a dark background. Approximate surface areas occupied by glass on the west and northwest faces are presented here:

Total façade area of the west and northwest faces:	1,440 m <sup>2</sup>
Total façade area with glass:	557 m <sup>2</sup> (38.8% of total façade area)
• <b>Unobstructed glazing:</b>	<b>375 m<sup>2</sup> (26% of façade area with glass)</b>
• Fritted/screened glass:	182 m <sup>2</sup> (12.8% of façade area with glass)
Total glass area belonging to the northwest face:	424 m <sup>2</sup> (76% of façade area with glass)
• Unobstructed glazing:	246 m <sup>2</sup> (58% of northwest face)
• Fritted/screened glass:	178 m <sup>2</sup> (42% of northwest face)

The area of glass with unobstructed glazing is approximately 375 square meters, which is approximately 26% of the surface area of the west and northwest faces of the proposed development. CSR Environmental recommends adding visual markers to this area on the west and northwest aspects of the building.

Visual markers should be placed on the outside surface of the glass in the form of frit, etching, or ultraviolet treatments, in order to disrupt the reflection of light from the glass surface. Markers should be spaced to increase visibility to birds: maximum 2 inches (in) or 5 centimetres (cm) of horizontal distance and 4 in or 10 cm of vertical distance between markers. Markers should be lines or dots of at least 0.25 in or 0.64 cm in width and should provide enough contrast to be visible under varying light conditions. Markers should cover unobstructed glass surfaces up to 20 m above grade.

Visual marker products that have been recommended by the City of Vancouver *Bird Friendly Design Guidelines – Considerations for Development Permit* include:

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<sup>2</sup> City of Vancouver. 2015. *Bird Friendly Design Guidelines – Considerations for Development Permit*. Retrieved from <https://vancouver.ca/files/cov/appendix-a-bird-friendly-design-guidelines-rts-10847.pdf>.

- **Ceramic frit:** Highly durable glass enamel applied to the outside surface of the glass prior to installation. *Recommended product: Garibaldi Glass.*
- **Acid etching:** Multiple textures and patterns available; solar control glass coatings available. *Recommended product: Walker Glass' Aviprotek.*
- **Ultraviolet options:** Visible to birds but not visible to humans, however the ultraviolet layer is not applied to the outside of glass and therefore does not completely reduce risk of window strikes. *Recommended product: Ornlux Mikado.*
- **Exterior laminates:** These options are **not** recommended for commercial applications due to poor longevity of materials. Avian collision risk will remain constant through the life of the building, and as such, the mitigation option selected needs to last for the life of the building. Exterior laminates are suitable for post-construction mitigation only.

Where visual markers are not possible or cost prohibitive, physical barriers can be used in front of reflective surfaces to mitigate collision risk. Metal cladding, architectural grillwork or decorative grills could be installed in front of windows with reflective properties. Further, canopies and sunshades can be used to minimize reflections on the external surface of small windows but are only effective if reflection is completely obstructed during daylight conditions.

### 3.2 LIGHTING

The City of Vancouver Outdoor Lighting Strategy<sup>3</sup> contains recommendations for placement of lighting to improve outdoor environment during nighttime, including to minimize ecological impacts. We recommend that upward facing lighting be limited for the Project. Further, lighting spillover to adjacent environmentally sensitive areas should be prevented. Lighting can be shielded to effectively light desired areas without adversely effecting nearby areas. Light can be used judiciously to maintain nighttime safety while minimizing impacts to wildlife. CSR Environmental understands that upward facing lighting has not been suggested for this development.

### 3.3 LANDSCAPING

Natural vegetation between the proposed development and natural areas on Jacombs Road should be reduced to limit wildlife corridors which lead to the Site and immediate surrounding area. To facilitate this, CSR Environmental does not recommend planting any vegetation over 30 cm on the west and northwest side of the property. CSR Environmental also recommends refraining from use of ornamental plants inside the building that are visible from the outside, such as potted trees and indoor vegetation which can entice birds to fly toward windows.

### 3.4 PIPES AND VENTILATION

CSR Environmental recommends caps and screen on open pipes and ventilation systems to limit wildlife entry. Voids greater than 2.5 in or 7 cm square should be covered.

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<sup>3</sup> City of Vancouver. 2018. *Outdoor Lighting Strategy Consultation Paper*. Retrieved from <https://vancouver.ca/files/cov/outdoor-lighting-strategy-consultation-paper.pdf>.

#### 4.0 MONITORING

Mitigation measures must be monitored to ensure success. Bird collisions occur throughout the year, although in southwestern BC collisions peak during fall, winter, and spring. Daily monitoring of glass surfaces by an independent biologist would be cost prohibitive. Hence, we recommend an Open Road Auto Group representative at the Site conduct weekly monitoring to document any bird mortality between September 15th through May 1st each year. Monitoring should involve a visual search of the ground underneath glass surfaces around the entire building to a distance of 8 meters from the building. The location of all mortalities should be documented (using GPS or by noting a unique window identifier). Although collision risk is highest along the west and northwest aspects, the entire building should be monitored for the first season. CSR Environmental will review the monitoring findings every three-months and revise the monitoring plan if warranted. If bird mortality exceeds five in any week, CSR Environmental will be contacted. Mortalities should be submitted to the Global Birds Collision Mapper<sup>4</sup>.

CSR Environmental will also conduct an annual follow-up Site visit to review avian protection activities, effectiveness of mitigation measures, and results of the weekly monitoring activities.

#### 5.0 CLOSURE

In summary, bird collisions with the proposed development are possible at the Site considering proximity to environmentally sensitive areas. Approximately 26 percent of the west and northwest faces of the proposed development will be glass with unobstructed glazing which should be treated with visual markers such as ceramic frit, acid etching, ultraviolet options, or physical obstructions. Placement of lighting, strategic landscaping, and protecting openings to pipes and ventilation are other measures which should be implemented. Following the recommendations provided by CSR Environmental and conducting regular monitoring of mitigation measures should reduce potential impact to birds and environmentally sensitive areas.

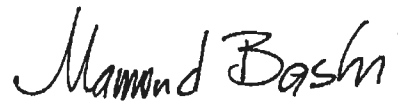
We trust this letter satisfies your requirements at this time. Should you have questions regarding this summary or require our assistance on other tasks, please do not hesitate to contact me at 604.559.7100 or via email at [mamoud@csrenviro.com](mailto:mamoud@csrenviro.com) at your convenience. Thank you.

Yours sincerely,

CSR Environmental Ltd.



Patrick Burke, BA  
Avian Biologist



Mamoud G. Bashi, MBA, PEng  
Principal and Environmental Engineer

<sup>4</sup> BirdSafe and FLAP Canada. 2018. Global Bird Collision Mapper [Geographical information system]. Retrieved from <https://birdmapper.org/app/>.



NO.	REV.	ISSUED FOR / BY	DESCRIPTION
1	11.18.17	ISSUED FOR CP ADJUSTMENT	
2	11.18.18	ISSUED FOR CP ADJUSTMENT	

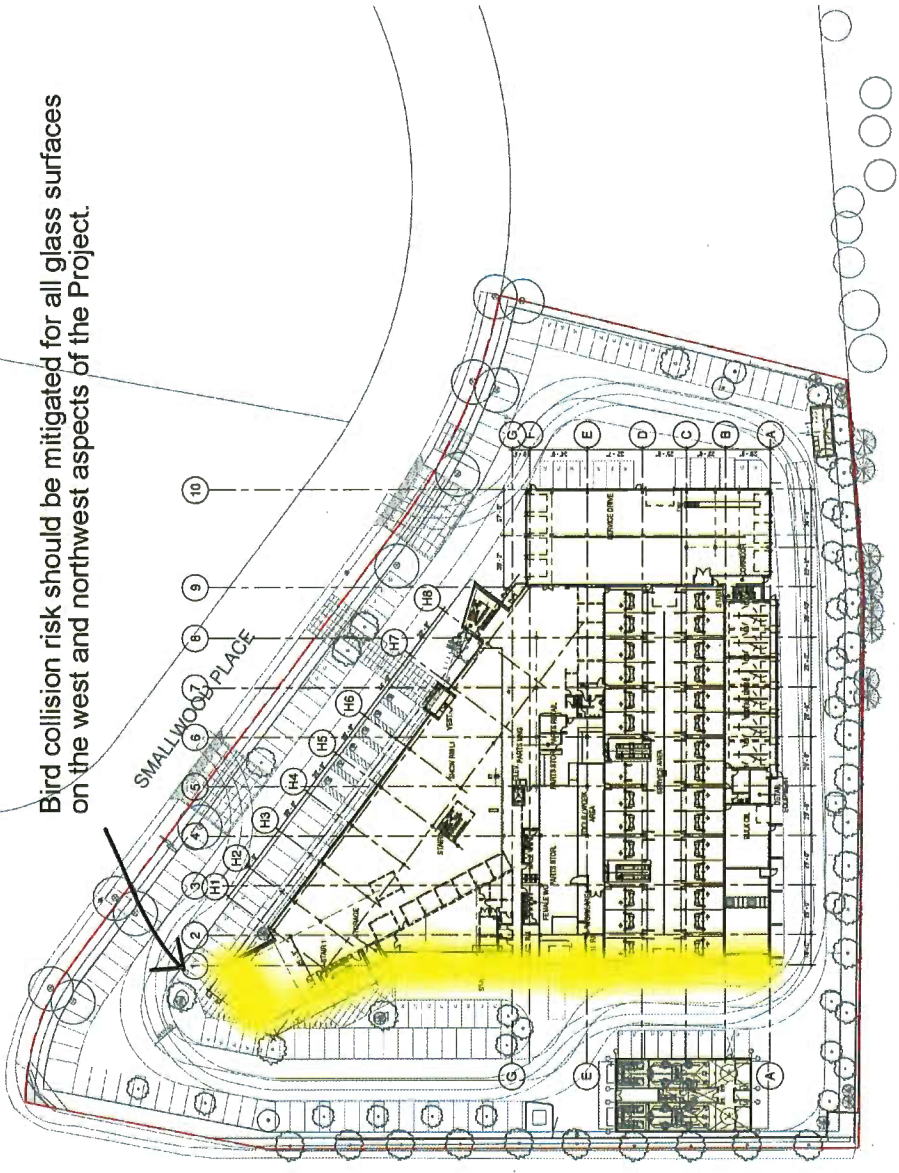
**DISCLAIMER:** This drawing, drawings and specifications are prepared by the Architect for the purpose of providing information to the Client. The Client is responsible for the accuracy and completeness of the information provided to the Architect. The Architect is not responsible for the accuracy and completeness of the information provided to the Client. The Architect is not responsible for the accuracy and completeness of the information provided to the Client.

**OpenRoad Toyota Richmond**  
DP 18-818762  
3100 SMALLWOOD PLACE, RICHMOND, BC  
LEVEL 1

DATE	BY	DESCRIPTION
11.18.17	CP	ISSUED FOR CP ADJUSTMENT

**PLAN #1A**  
**DP.005**

Bird collision risk should be mitigated for all glass surfaces on the west and northwest aspects of the Project.



① GROUND FLOOR PLAN  
11-2017

Basemap from Christopher Bozyk Architects Ltd. (2018)

**CSA ENVIRONMENTAL**  
Your Project Meets the Environment  
113 - 408 East Kent Avenue South  
Vancouver, BC, V5X 2X7  
TEL: 604-559-7100  
www.csrenviro.com

Project: **Avian Mitigation**  
Address: **13100 Smallwood Place, Richmond, BC**

Job No.: 2018-138-03  
Drawn By: MW  
Checked By: MB  
Dwg Scale: Not to Scale  
Date: 2018/11/27

Drawing No.: **Figure 1**  
Drawing Title: **Site Plan**  
Client Name: Christopher Bozyk Architects Ltd.



Attachment D: Revised Zoning Text Amendment Considerations



**Address:** 13100 Smallwood Place

**File No.:** ZT 18-818765

**Prior to final adoption of Richmond Zoning Bylaw 8500, Amendment Bylaw 9948, the developer is required to complete the following:**

1. Provincial Ministry of Transportation & Infrastructure Approval.
2. The submission and processing of a Development Permit\* completed to a level deemed acceptable by the Director of Development.
3. City acceptance of the developer's offer to voluntarily contribute \$0.45 per buildable square foot (e.g. \$38,432) to the City's Public Art fund.
4. Registration of an agreement on Title, prior to Bylaw adoption, ensuring that the proposed 107 rooftop solar panels will be installed to the Director of Building Approval's satisfaction and will be maintained for the life of the building and will not be removed unless otherwise agreed to by the City of Richmond.
5. Registration of an agreement on Title ensuring that the development's parkade will not be enclosed unless the owner has successfully obtained a Development Permit issued by Council approving the enclosure and has also successfully obtained a Building Permit for the work.
6. Submission of a contract with a qualified environmental professional (QEP) to monitor bird strikes to the building for a minimum of 12 months post construction and to submit a report with recommendations and mitigation measures to the satisfaction of the Director, Development at the end of the monitoring period. The contract is to include the frequency of visits and an overview of how the findings will be presented.

**Prior to Building Permit\* Issuance, the developer must complete the following requirements:**

1. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
2. Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities, including building demolition, occurring on-site.
3. Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
4. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

**Note:**

- \* This requires a separate application.
- Where the Director, Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director, Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

Initial: \_\_\_\_\_

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director, Development. All agreements shall be in a form and content satisfactory to the Director, Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

[Signed original in file]

\_\_\_\_\_  
Signed

\_\_\_\_\_  
Date

Attachment E: Original Report from the Director of Development,  
dated October 30, 2018



# City of Richmond

## Report to Committee

---

**To:** Planning Committee

**Date:** October 30, 2018

**From:** Wayne Craig  
Director, Development

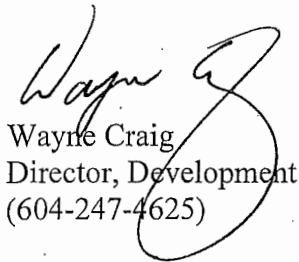
**File:** ZT 18-818765

**Re:** **Application by Christopher Bozyk Architects for a Zoning Text Amendment to the "Vehicle Sales (CV)" Zone to Increase the Floor Area Ratio to 0.82 at 13100 Smallwood Place.**

---

### Staff Recommendation

That Richmond Zoning Bylaw 8500, Amendment Bylaw 9948, for a Zoning Text Amendment to the "Vehicle Sales (CV)" zone to increase the Floor Area Ratio to 0.82 at 13100 Smallwood Place, be introduced and given first reading.

  
Wayne Craig  
Director, Development  
(604-247-4625)

WC:dcb  
Att. 6

<b>REPORT CONCURRENCE</b>
CONCURRENCE OF GENERAL MANAGER


## Staff Report

### Origin

Christopher Bozyk Architects Ltd. has applied for permission to amend the “Vehicle Sales (CV)” zone to increase the maximum Floor Area Ratio (FAR) to 0.82 at 13100 Smallwood Place.

The intent of the application is to modify the previously approved Toyota automobile dealership development, to accommodate additional gross floor area associated with two additional levels of parking and vehicle inventory storage overtop of the dealership building, which is currently under construction. The subject site is within the Richmond Auto Mall in the East Cambie planning area. A location map and the East Cambie Area Plan map showing the site’s location are provided in Attachments 1 and 2 respectively.

Toyota’s original development applications (ZT 16-754143 and DP 16-741123) were adopted/issued by Council on October 23, 2017. These applications were to accommodate the construction of a two-storey building with rooftop parking. The approved Zoning Text Amendment increased the maximum FAR from 0.5 to 0.7. Building permits were issued for this construction and the buildings are currently under construction.

The current application proposes to increase the maximum Floor Area Ratio (FAR) to accommodate the additional two storeys of parking and vehicle inventory storage on top of the approved building; resulting in a four-storey building with rooftop parking, with one of the objectives to eliminate the need for off-site storage elsewhere. The current proposal will result in an additional 2,154.3 m<sup>2</sup> (23,188 ft<sup>2</sup>) of floor space to the building over the previous approved proposal (ZT 16-754143 and DP 16-741123). Requested height variances are identified in this Staff Report, but will be addressed through a separate Development Permit application (DP 18-818762).

### Findings of Fact

A Development Application Data Sheet providing details about the development proposal is provided in Attachment 3.

### Surrounding Development

The subject property at 13100 Smallwood Place, is located within the Richmond Auto Mall at the northeast corner of the intersection of Westminster Highway and Jacombs Road. The site has been cleared of structures and construction of the approved dealership building is currently ongoing.

Existing land uses and development immediately surrounding the subject site are as follows:

- To the North, immediately across Smallwood Place, is an existing Hyundai dealership on a site zoned “Vehicle Sales (CV)” within the Richmond Auto Mall at 13171 Smallwood Place. A Zoning Text Amendment (ZT 18-810720) and a Development Permit application (DP 18-810720) have been received from Kasian Architecture Interior Design & Planning,

with the objective of redeveloping that property to accommodate a new Porsche dealership building. These applications are currently under review by staff.

- To the South, across Westminster Highway and a frontage road further south, are large properties zoned “Agriculture (AG1)” in the Agricultural Land Reserve (ALR), which contain single-family dwellings and accessory buildings.
- To the East, is an existing Nissan dealership on a site zoned “Vehicle Sales (CV)” within the Richmond Auto Mall at 13220 Smallwood Place.
- To the West, across Jacombs Road, is the “Richmond Nature Park East” on a site zoned “School & Institutional Use (SI)” at 5991 Jacombs Road. The Nature Park East is designated as an Environmentally Sensitive Area (ESA).

## **Related Policies & Studies**

### **Official Community Plan/East Cambie Area Plan**

The subject site is designated “Commercial” in both the Official Community Plan (OCP) and the East Cambie Area Plan (Attachment 2). As a commercial use, the proposed auto dealership at the subject site is consistent with the OCP and Area Plan land use designations.

### **Agricultural Land Reserve (ALR) Buffer Zone**

Where there is an intervening road between ALR lands and non-ALR lands, the OCP encourages an appropriate landscaping buffer on the non-ALR lands through the Rezoning and Development Permit processes. This situation was reviewed under the original Zoning Text Amendment application (ZT 16-754143) and it was noted that the applicant’s proposal was consistent with the land use considerations in the OCP in that:

- “The Agricultural Land Reserve (ALR) is located to the south of the site and to the west (Richmond Nature Park). The site is separated from the ALR by existing roads (Jacombs Road and Westminster Highway). Formal landscaping plans to adequately buffer the site from the ALR will be a requirement of the forthcoming Development Permit [DP 16-741123] for the proposed auto dealership.” (A covenant was registered on Title through the previous zoning application (ZT 16-754143) to ensure that the landscaping within the ALR buffer along the southern property boundary would be retained.)
- “There is an existing 1.8 m high solid fence along the south property line next to Westminster Highway and the applicant proposes a row of new trees, a 3 m setback to on-site surface parking, and a setback of approximately 15 m to the south building façade.”
- “The applicant also proposes to retain the existing planting and 1.8 m high solid fence along the west property next to Jacombs Road, replace the existing London Plane trees (which are in poor condition) with a new row of Ginkgo Biloba trees, and to provide a minimum 3 m setback to on-site surface parking and proposed buildings.”

The current application will improve upon the above responses by further removing 12 of the previously approved parking spaces along the southern property boundary and replacing them with additional tree and shrub planting. The parking spaces will now be located within the parkade. The additional tree planting in this area will provide additional visual screening of the building from Westminster Highway as the trees eventually grow to mature height.

An additional eight previously approved parking spaces, generally along the western property boundary, are proposed to be relocated from grade to the internal parkade. These spaces will be replaced with new vegetation strips with trees. These changes are shown on the attached conceptual landscaping plans (Attachment 4) but will be addressed in greater detail through the separate Development Permit application (DP 18-818762).

#### Floodplain Management Implementation Strategy

The proposed development must meet the requirements of the Richmond Flood Plain Designation and Protection Bylaw 8204. A flood indemnity covenant was been registered on Title under the previous Zoning Text Amendment application (ZT 16-754143). The proposed addition will have no effect on the registered flood covenant.

#### Aircraft Noise Sensitive Development Policy

The OCP's Air Noise Sensitive Development (ANSD) Policy applies to the subject site, which is located within the "Restricted Area (Area 1B)". The proposed auto dealership at the subject site is consistent with the ANSD Policy as it is not a residential use.

An aircraft noise indemnity covenant has been registered on Title as required under the previous Zoning Text Amendment application (ZT 16-754143). No changes to the existing aircraft noise covenant as a result of the proposed addition.

#### Ministry of Transportation and Infrastructure (MOTI) Approval

As the subject site is located within 800 m of an intersection of a Provincial Limited Access Highway and a City road, the Zoning Text Amendment proposal was referred to MOTI for review and comment. The Zoning Text Amendment considerations include a requirement for MOTI approval prior to bylaw adoption.

#### Ministry of Environment (MOE) Approval

As the Site Profile submitted by the applicant for the current application identified Schedule 2 activities have occurred on-site, the Site Profile was submitted to the Ministry of Environment (MOE) in accordance with the Provincial Contaminated Sites Regulation. MOE has subsequently provided a letter dated May 16, 2018, allowing the City to proceed with approval of the Zoning Text Amendment and Development Permit applications.



## **Analysis**

### Built Form and Architectural Character

As proposed, the redevelopment will result in a two storey dealership office and sales facility with a four storey parkade. The concept plans for the proposed modifications to auto dealership building and the landscaping are provided in Attachment 4. The most significant areas proposed to change have been cloud outlined on the drawing package. Further review of the design aspects shown in the preliminary concept plans will be undertaken through the separate Development Permit review process to ensure general compliance with the Official Community Plan Development Permit Guidelines and assess the requested variances outlined in the next section.

Generally, the modifications include:

- Modifications to exterior cladding over portions of the building in part to mitigate the additional massing created by the addition of the two parkade levels.
- The addition of the two extra floors of parkade over top of the previously approved building. Staff have been advised that the initial building construction (currently underway) was designed to be able to accommodate future additional parkade floors above.
- Relocation of 20 at-grade parking spaces to the inside of the parkade.
- Restriping of the 6 accessible parking spaces (see Transportation section for more detail).
- Addition of trees and other landscaping to fill the spaces left by relocating the 20 parking spaces.
- Relocation of the garbage and recycling facility to the south-east corner of the site to allow additional vegetation screening of the car wash facility located in the south-west corner of the site. This also facilitates more efficient garbage collection.

### Existing Legal Encumbrances

A Title summary prepared by Terra Law, dated October 19, 2019, was submitted for this application. The subject site carries a series existing legal encumbrances including

- Statutory rights of way agreements for utilities;
- Statutory building schemes with the Richmond Auto Mall Association;
- Vancouver Airport Authority noise indemnification covenants;
- Agricultural Land Reserve setback covenants;
- A covenant requiring the design, installation and maintenance of three electric vehicle charging stations on the site; and
- A flood indemnity covenant.

Terra Law's Title summary report advises that none of these encumbrances will affect the current application and they can remain on Title.

### Transportation

Transportation staff have reviewed and assessed the potential traffic impacts associated with the proposed development. As the proposal is to provide space primarily for vehicle inventory

storage, it is anticipated that the associated traffic impacts would be minimal and can be accommodated within existing road infrastructure.

As part of this application review, staff have requested and the client has agreed, to restripe the six accessible parking spaces in accordance with the recent Zoning Bylaw Amendment on accessible parking (Section 7.5.15). This adjustment will be addressed through the Development Permit application review.

The Zoning Text Amendment considerations include a requirement that prior to the issuance of the Building Permit, a construction parking and traffic management plan to be provided to the Transportation Division.

### Tree Retention and Replacement

No additional existing trees will be removed from the site as a result of the current proposal; however, an additional 45 more on-site trees are included in the conceptual landscape plans over the original landscape plan (DP 16-741123). These trees will help provide additional edge screening for the site.

No changes or additional protection is required for existing trees, as all the tree protection barriers are currently in place given the on-going construction at the site. Tree survival securities for both on-site and off-site have been addressed through the previously approved Zoning Text Amendment application (ZT 16-754143).

### Public Art

Under the previous Development Permit (DP 16-741123) the Public Art contribution for the commercial use was assessed as \$51,762, which was contributed to the Public Art Reserve Fund. The Public Art Planner has advised that the proposed addition will result in an additional Public Art contribution of \$38,432, based on the 2018 rate of \$0.45/SF. The additional contribution has been included in the Zoning Text Amendment considerations and are required prior to final adoption, with the funds to be directed to the Public Art Reserve Fund.

### Variances Requested

Based on the proposed preliminary concept plans, the applicant will be requesting to vary the provisions of Richmond Zoning Bylaw 8500 at the Development Permit Application review stage to increase the maximum permitted building height to accommodate:

- An increased parkade rooftop height from 12.0 m to 15.46 m (rounded to 15.5 m).
- A new parapet height of 16.88 m (rounded to 16.9 m).
- A stair tower of 18.51 m (rounded to 18.6 m).
- An elevator over-run of 20.39 m (rounded to 20.4 m).

The current proposal has been reviewed by the Richmond Auto Mall Association (RAMA) which has provided a letter (Attachment 5) in support of the proposed density increase to 0.82 FAR, as well as the requested variances.

Noting the special context and operating characteristics within the Richmond Auto Mall, staff believe the requested variances are supportable. Staff note that this is an overall trend observed within the Auto Mall to increase the on-site storage capacity and reduce land holding costs off-site. This specific request does not increase the building's footprint (site coverage), but will result in increased permeability of the site as a result of the vegetation improvements. The details of the quality of the proposed finishes, cladding materials, vegetation selections and height variances will be reviewed and analyzed further through the Development Permit Application review.

### Site Servicing and Frontage Improvements

All the site servicing and frontage improvements were addressed under the previous Zoning Text Amendment application (ZT 16-754143). The proposed modifications to the building, site plan and landscaping will not result in any additional site servicing requirements or new frontage improvements.

### Development Permit Review

As noted previously, the proposed development will undergo a separate design review via the Development Permit application (DP 18-818762). Specific issues to be addressed will include:

- Assessing compliance with the Official Community Plan Development Permit Guidelines.
- A review of the proposed landscape plant/tree selections, sizes, locations and rationale.
- Additional landscape securities will be calculated to address the landscaping additions.
- A review of the proposed exterior materials and colours as they relate to the proposed parkade floor additions.
- A review of vehicle parking spaces to ensure compliance with the parking requirements in the Zoning Bylaw No. 8500.
- Restriping of the six accessible parking spaces.
- A review of the height variances requested.
- An assessment of the garbage and recycling facility to ensure it is sufficiently sized and located to address the needs of the site. A waste management overlay will be required.

### **Financial Impact or Economic Impact**

As all the servicing and frontage works were addressed under the previous Zoning Text Amendment application (ZT 16-754143) no additional Operational Budget Impacts (OBI) for off-site City infrastructure are anticipated as a result of this application. The previous application noted only insignificant operational impacts.

### **Conclusion**

Christopher Bozyk Architects Ltd. has applied for permission to amend the zoning district "Vehicle Sales (CV)" zone to increase the maximum Floor Area Ratio (FAR) to 0.82 at 13100 Smallwood Place. The intent is to modify the previously approved Toyota automobile dealership development in order to accommodate two additional levels of parking and vehicle inventory storage overtop of the dealership building, which is currently under construction. Site

plan changes will result in fewer cars parked at grade and additional landscaping being added to the site.

It is recommended that Richmond Zoning Bylaw 8500, Amendment Bylaw 9948, be introduced and given first reading.



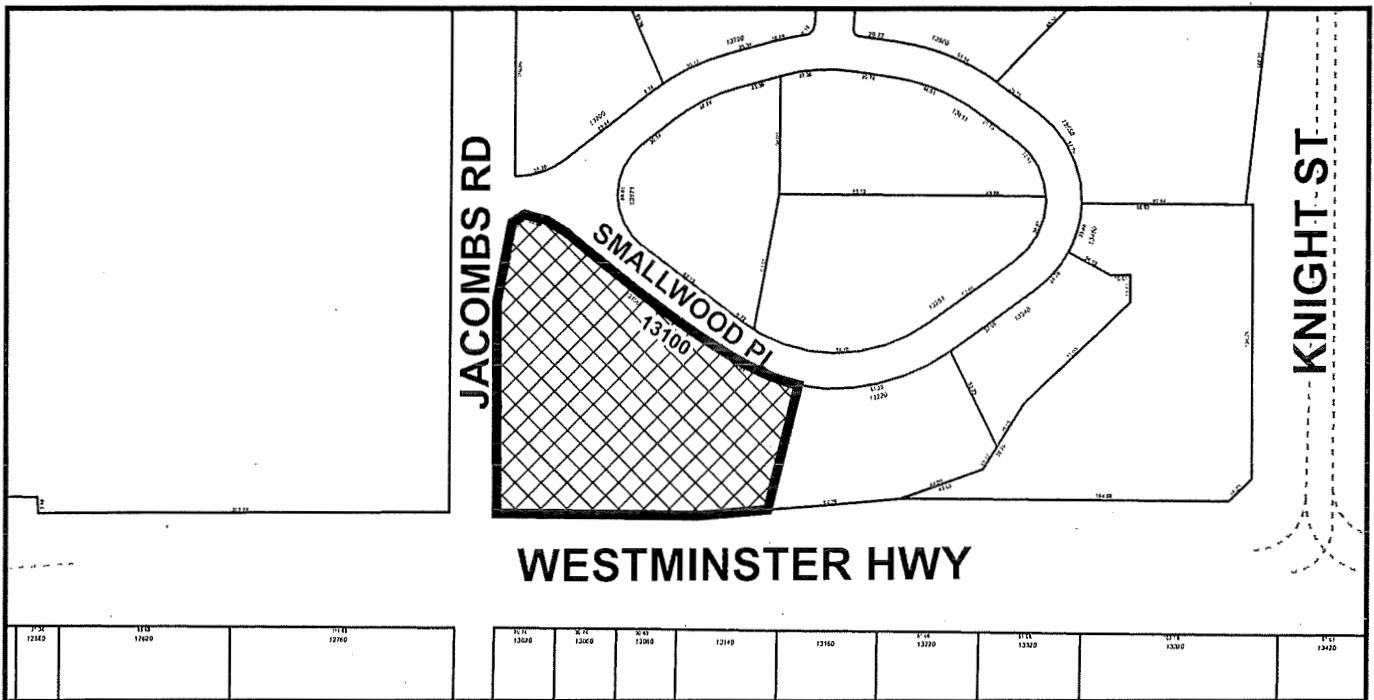
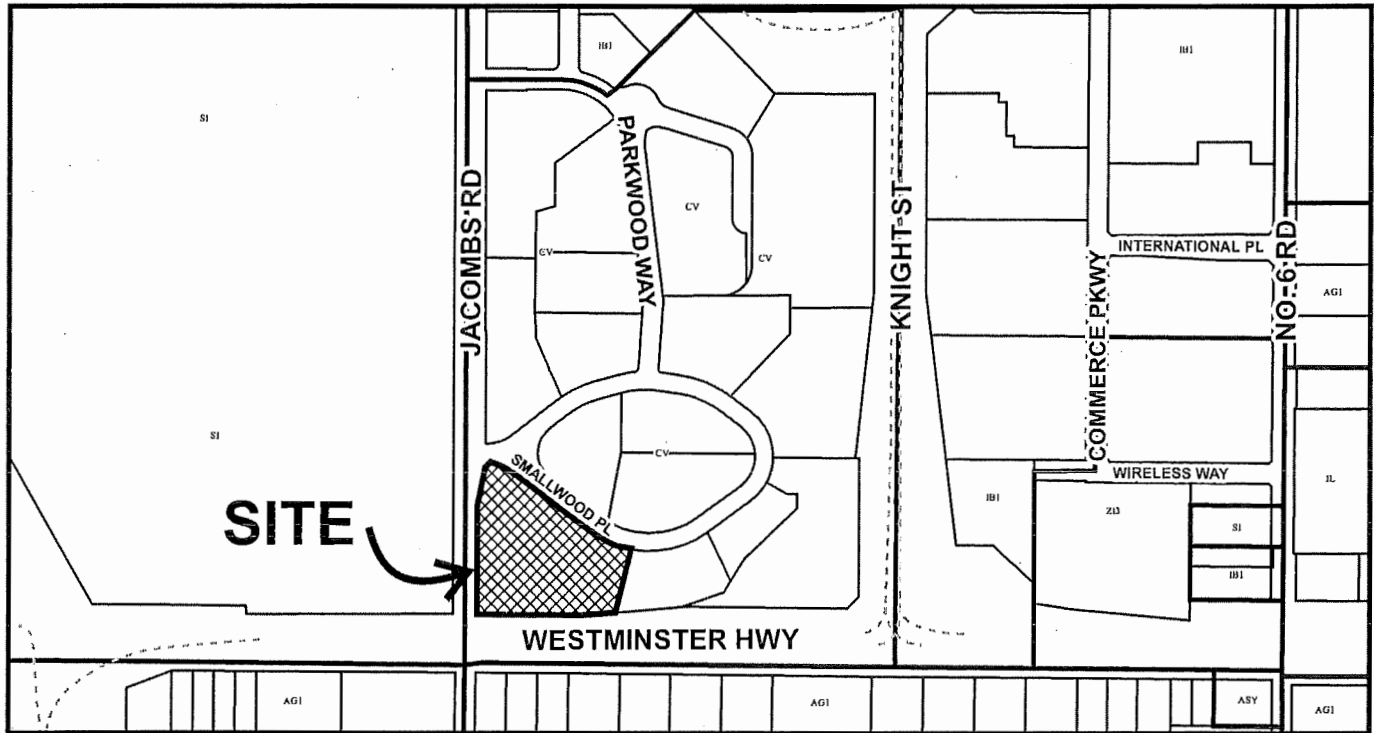
David Brownlee  
Planner 2  
(604-276-4200)

DCB:blg

- Attachment 1: Location Map
- Attachment 2: East Cambie Land Use Map
- Attachment 3: Development Application Data Sheet
- Attachment 4: Conceptual Development Plans
- Attachment 5: Letter from Richmond Auto Mall Association
- Attachment 6: Zoning Text Amendment Considerations



# City of Richmond



## ZT 18-818765

Original Date: 05/09/18

Revision Date:

Note: Dimensions are in METRES



City of  
Richmond



ZT 18-818765

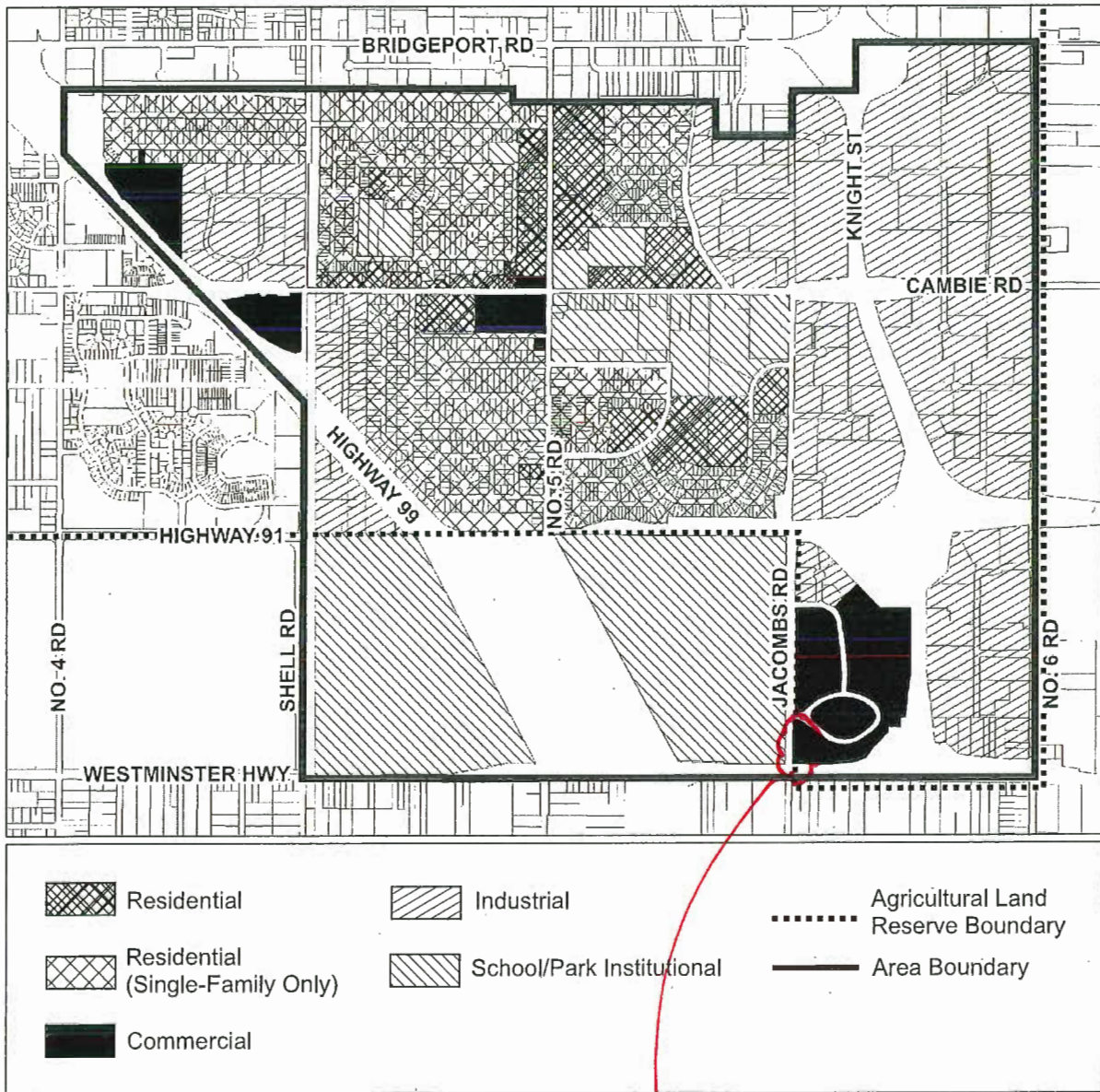
Original Date: 10/26/18

Revision Date:

Note: Dimensions are in METRES

City of Richmond

**Land Use Map** Bylaw 8948  
2016/10/24



**SUBJECT SITE**



**ZT 18-818765**

**Attachment 3**

Address: 13100 Smallwood Place

Applicant: Christopher Bozyk Architects

Planning Area(s): East Cambie

	Existing	Proposed
<b>Owner:</b>	Multiland Pacific Holdings	Same
<b>Site Size (m<sup>2</sup>):</b>	15,924 m <sup>2</sup> (171,404.51 ft <sup>2</sup> )	Same
<b>Land Uses:</b>	Auto Dealership And Service	Same
<b>OCP Designation:</b>	Commercial	Same
<b>Area Plan Designation:</b>	Commercial	Same
<b>Zoning:</b>	Vehicle Sales (CV)	Vehicle Sales (CV) with increased FAR to 0.82 at 13100 Smallwood Place

On Future Subdivided Lots	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	0.7 FAR	0.82 FAR	None permitted
Buildable Floor Area (m <sup>2</sup> ):*	11,146.8 m <sup>2</sup> (119,983.2 ft <sup>2</sup> )	12,996.3 m <sup>2</sup> (139,891 ft <sup>2</sup> )	None permitted
Lot Coverage (% of lot area):	Building: Max. 50%	Building: Max. 38%	None
Setback Front - North	Min 3.0 M	16.0 M	None
Setback Side – East	Min 3.0m	20.38m	None
Setback Side - West	Min 3.0m	22.5m Main Building 3.0m Car Wash Building	None
Setback Rear - South	Min 3.0m	10.63m Main Building 3.0m Garbage Enclosure	None
Height (m):	Max building height: 12.0 m with variance to 15.44 m at elevator overrun, stairway structures, storage and screened equipment as approved under DP 16-741123	Increased parkade rooftop height at 15.46 m, a parapet height of 16.88 m, a stair tower of 18.51 m and an elevator overrun of 20.39 m	Variance to be considered as part of DP18-818762
Off-street Parking Spaces – Staff and Visitor	281	296	none
Off-street Parking Spaces – Vehicle Inventory:	N/A	279	none

Other: \_\_\_\_\_





OpenRoad Toyota Richmond

PROJECT NUMBER: 21007

**CURTIS DUBHER**  
**ROYAL ARCHITECTS LTD**  
 404-81 ALEXANDER STREET, ANNOVALE, QC H3A 1E1  
 TEL: (514) 350-8888 FAX: (514) 350-8888  
 WWW.ROYALARCHITECTS.COM

PLOT DATE: 10/20/18 11:51 AM

NOT TO SCALE  
 ALL DIMENSIONS, ANGLES, AND REPRESENTATIONS ARE TO BE  
 VERIFIED BY THE CLIENT OR ARCHITECT PRIOR TO CONSTRUCTION. THIS DRAWING  
 IS FOR INFORMATION ONLY AND DOES NOT REPRESENT A CONTRACT. ANY  
 CHANGES TO THIS DRAWING MUST BE APPROVED BY THE ARCHITECT.

**EAST ELEVATION**

SCALE: 1/8" = 1'-0"  
 DATE: SEPT 26, 2018

**DP-001**



OpenRoad Toyota Richmond

PROJECT NUMBER: 31007

**CHRISTOPHER BOZAK ARCHITECTS LTD**

PHYS: 1000 20th Ave SW, Suite 200, Calgary, Alberta T2C 1S1  
 TEL: 403.243.1111  
 WWW: www.christopherbozak.com

PGP DATE: 09/20/18 11:57 AM

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**NORTH WEST ELEVATION**

SCALE:

DATE: SEPT 26, 2018

**DP-002**



OpenRoad Toyota Richmond

PROJECT NUMBER: 31607

**CHRISTOPHER  
BOYKAR ARCHITECTS LTD**

1000 WESTMINSTER HIGHWAY, SUITE 100  
RICHMOND, BC V6X 3A8  
TEL: (604) 273-2333 FAX: (604) 273-2334  
WWW.CHRYSLERARCHITECTS.COM

PLANT DATE: 08/28/18 11:15:27 AM

CONCEPT DESIGN: Christopher Boykar, Architect, Designer and Expedientia Architects Inc. and  
at 1000 Westminister Road, Suite 100, Richmond, BC V6X 3A8, Canada. All rights reserved. All other  
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**VIEW FROM WESTMINSTER HIGHWAY**

SCALE:  
DATE: SEPT 26, 2018

**DP-003**



NO.	REV.	REVISION	DATE	DESCRIPTION
1	1.0	ISSUED FOR DP ALIGNMENT		
2	1.0	ISSUED FOR DP ALIGNMENT		

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While dimensions and other provisions are indicated, Contractor shall verify all dimensions and other provisions on site. Contractor shall be responsible for all field measurements and for the accuracy of all dimensions and other provisions. Contractor shall be responsible for all field measurements and for the accuracy of all dimensions and other provisions.

**OpenRoad Toyota Richmond**

DP 18-818762

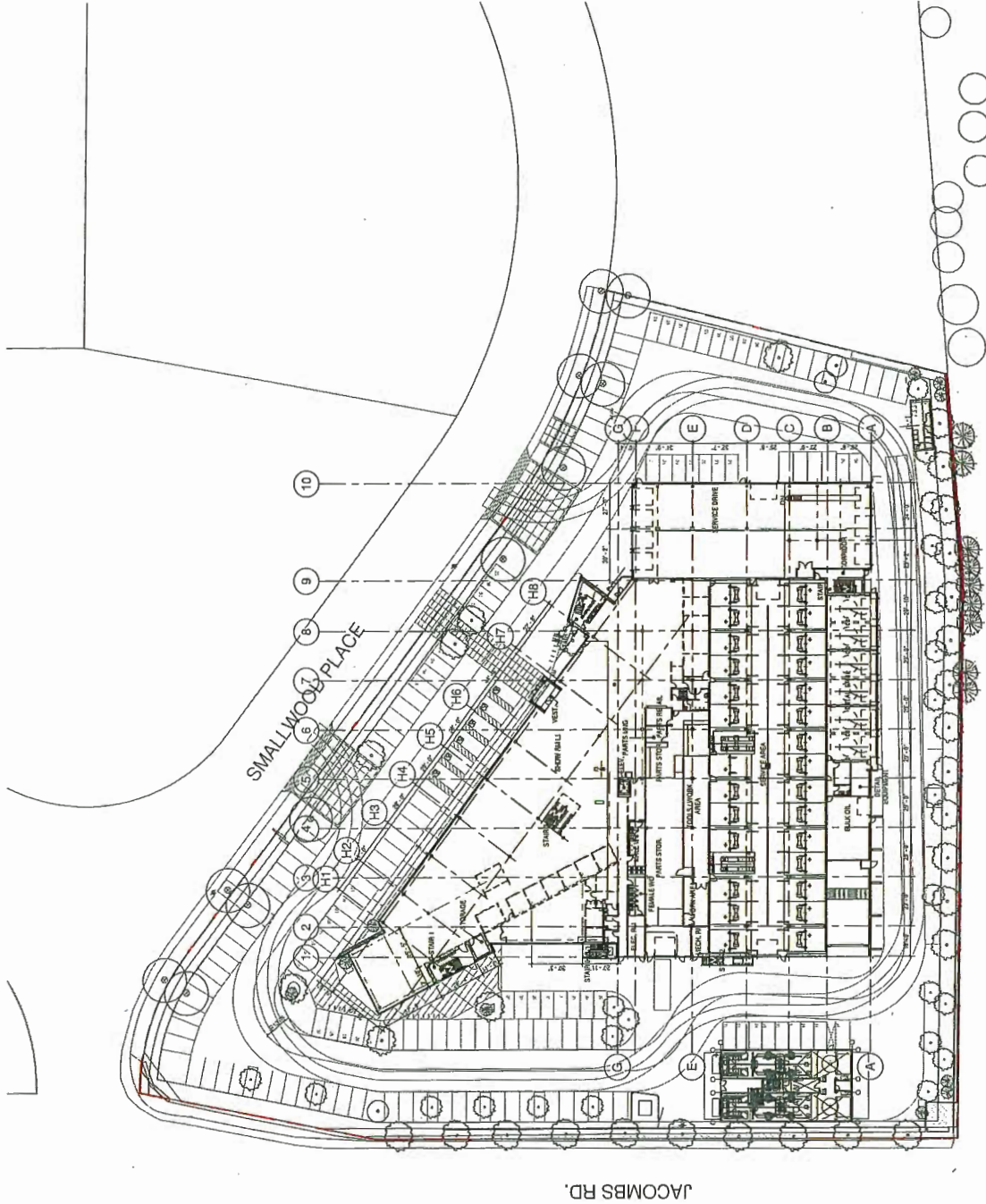
1130 SMALL WOOD PLACE, RICHMOND, NC

LEVEL 1

SCALE: 1" = 20'-0"  
DATE: SEPT 24, 2018  
DRAWING NO.:  
PROJECT NUMBER:

**PLAN #1A**

**DP.005**



① GROUND FLOOR PLAN  
1" = 20'-0"

NO.	REVISION	DATE	DESCRIPTION
1	ISSUED FOR IP ASSIGNMENT	11.04.11	
2	ISSUED FOR IP ASSIGNMENT	11.08.15	

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While dimensions and other information are indicated throughout this drawing, the contractor shall be responsible for verifying all dimensions and information. Where a conflict exists between the dimensions and information, the dimensions shall prevail. The contractor shall be responsible for verifying all dimensions and information. Where a conflict exists between the dimensions and information, the dimensions shall prevail.

**OpenRoad Toyota Richmond**

DP 18-818762

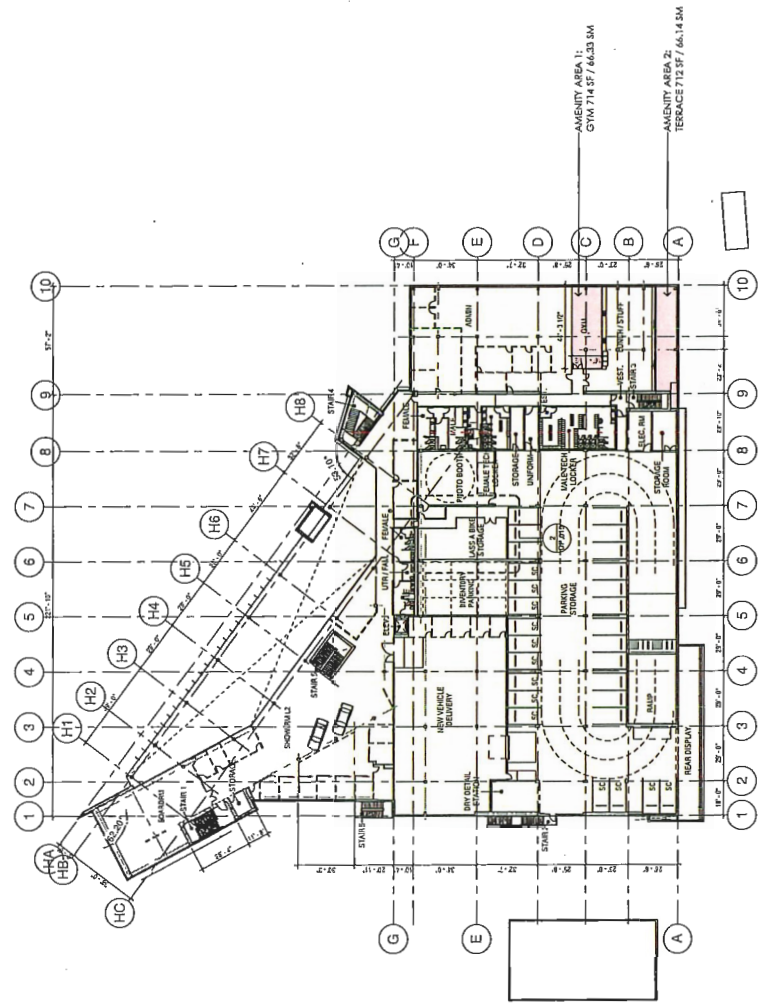
11515 SMALL WOOD PLACE, RICHMOND, BC

**LEVEL 2**

SCALE: 1/4" = 1'-0"  
DATE: 07/24/18  
DRAWING NO.: 2002

**PLAN #1B**

**DP.006**



1 SECOND FLOOR PLAN  
1/4" = 1'-0"

NO.	DATE	REVISION	DESCRIPTION
1	NOV. 17	ISSUED FOR P.P. ASSIGNMENT	
2	NOV. 28	ISSUED FOR P.P. ASSIGNMENT	

**CONTRACTOR'S NOTE:**  
All dimensions are in feet and inches. All dimensions are to the center of the member unless otherwise indicated. All dimensions are to be verified by the contractor. All dimensions are to be verified by the contractor. All dimensions are to be verified by the contractor.

**DESIGNER'S NOTE:**  
The contractor shall be responsible for all dimensions and conditions on the job. The contractor shall be responsible for all dimensions and conditions on the job. The contractor shall be responsible for all dimensions and conditions on the job.

**OpenRoad Toyota Richmond**

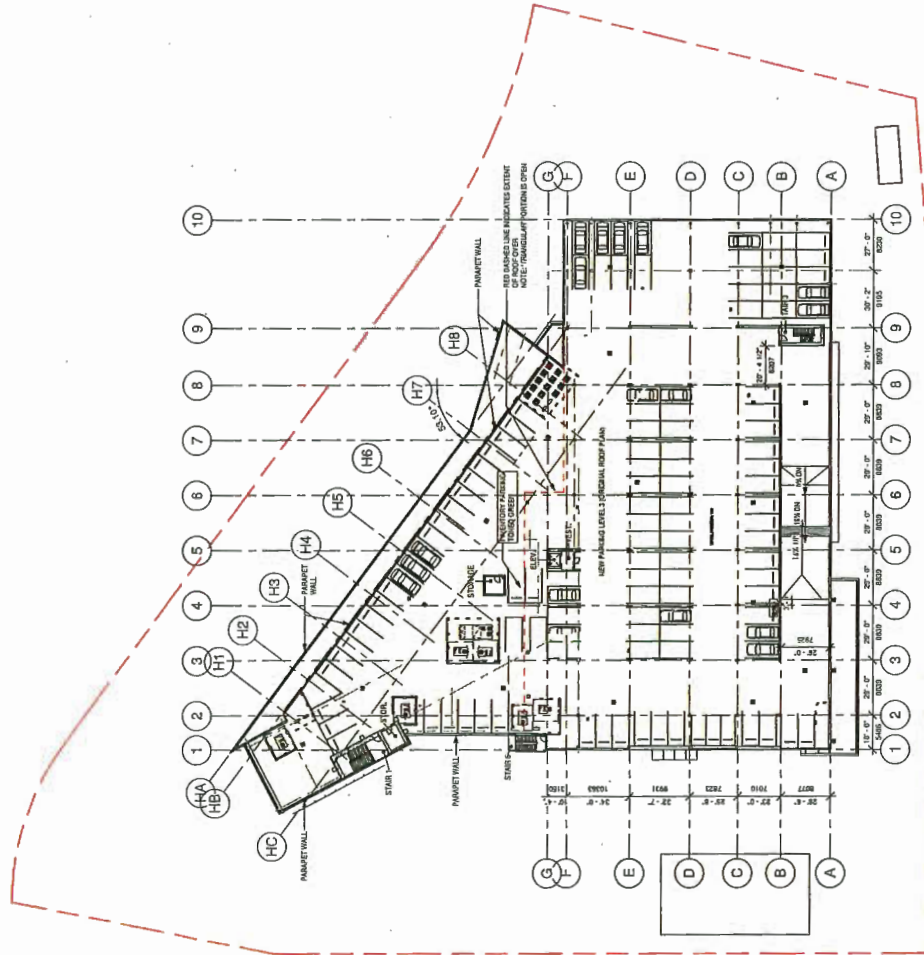
DP 18-818762

13188 SMALL WOOD PLACE, RICHMOND, BC

LEVEL 3

SCALE: 1"=8'-0"  
DATE: SEP 25, 2018  
DRAWN BY: [Name]  
PROJECT NUMBER: [Number]

**PLAN #1C**  
**DP.007**



NO.	REVISION	DATE	DESCRIPTION
1	ISSUED FOR DP AMENDMENT		
2	ISSUED FOR DP AMENDMENT		

EXPIRES DATE

DESCRIPTION

EXPIRES DATE

DESCRIPTION

EXPIRES DATE

DESCRIPTION

EXPIRES DATE

DESCRIPTION

EXPIRES DATE

DESCRIPTION

EXPIRES DATE

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EXPIRES DATE

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DESCRIPTION

EXPIRES DATE

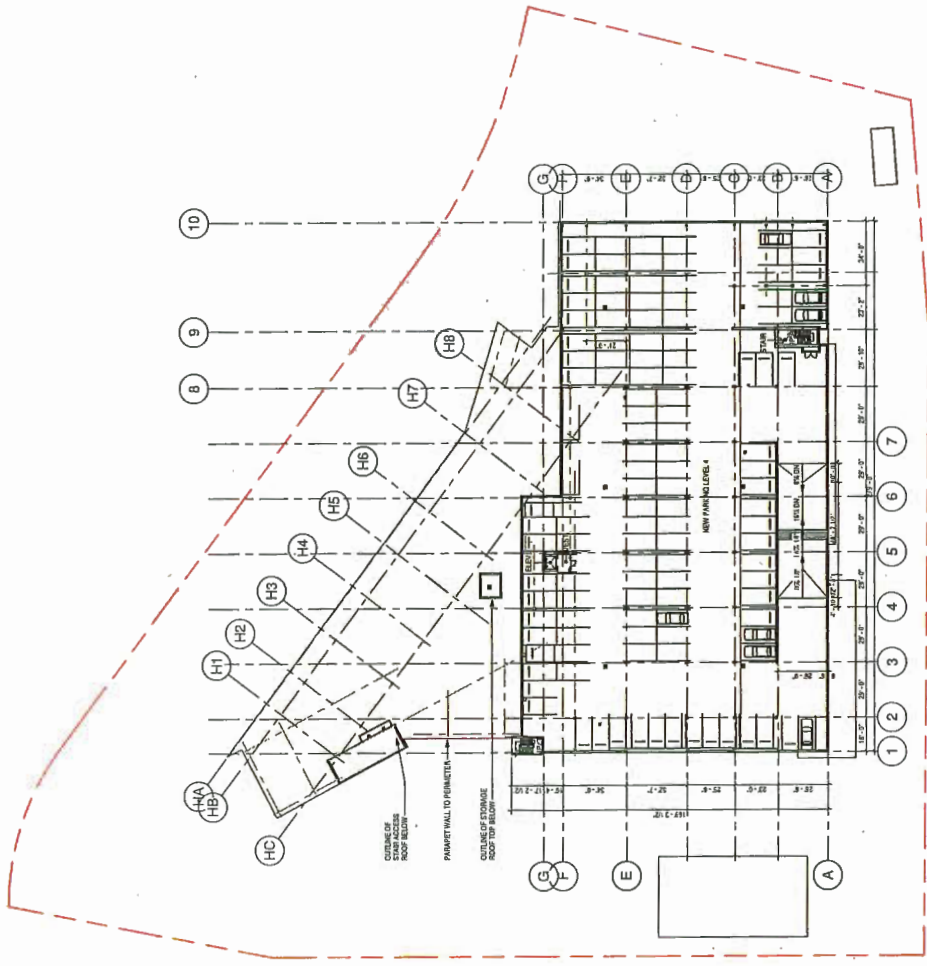
DESCRIPTION

EXPIRES DATE

DESCRIPTION

EXPIRES DATE

DESCRIPTION



1 ADDITIONAL PARKING LEVEL 1  
1" = 30' 0"

SCALE: 1" = 30' 0"

DATE: SEPT 23, 2019

PROJECT NUMBER: 21040

PLAN #1D

DP.008

13100 SMALL WOOD PLACE, RICHMOND, BC

OpenRoad Toyota Richmond

DP 18-818762

LEVEL 4



NO.	DATE	REVISION	DESCRIPTION
1	04.14.11	ISSUED FOR I/P AMENDMENT	
2	04.06.10	ISSUED FOR I/P AMENDMENT	

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While drawings shall be prepared, not liable of drawings, Christopher Bozyk Architects, Inc. shall be responsible for all drawings and specifications on this job, and shall be responsible for the coordination of all drawings and specifications with the contract documents. Failure to follow such instructions shall constitute a breach of the contract.

**OpenRoad Toyota Richmond**

DP 18-818762

13100 SMALLWOOD PLACE RICHMOND, BC

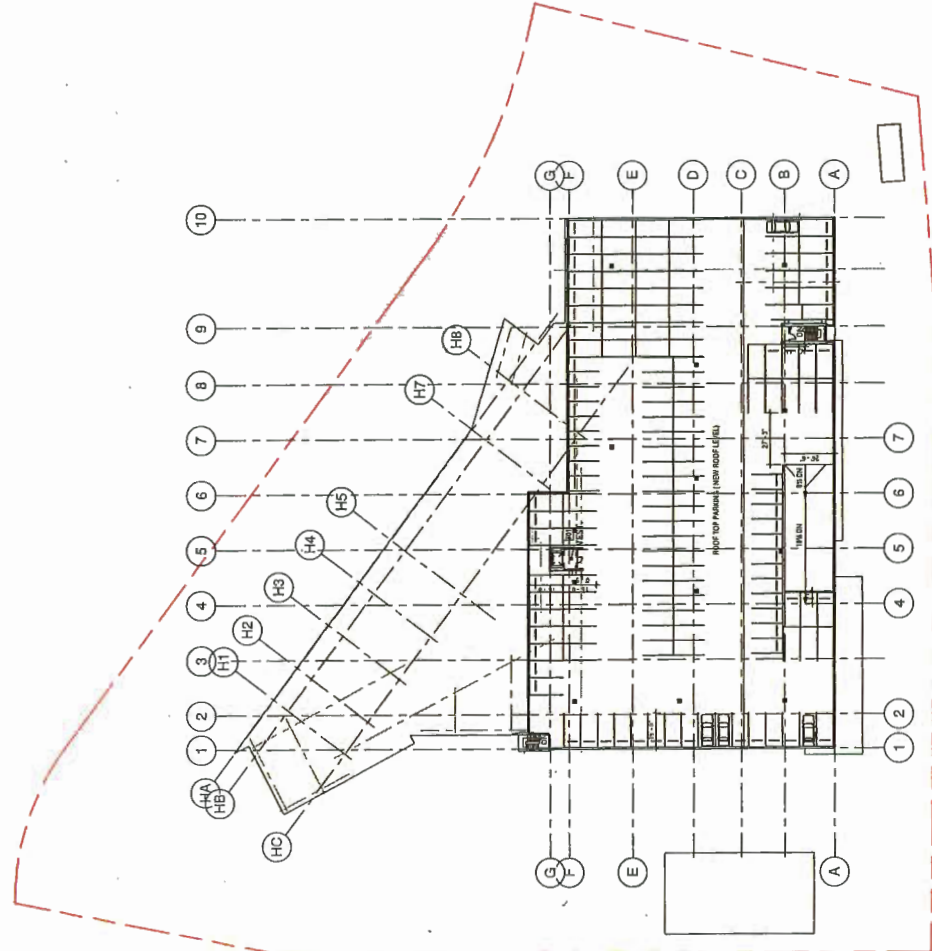
LEVEL 5

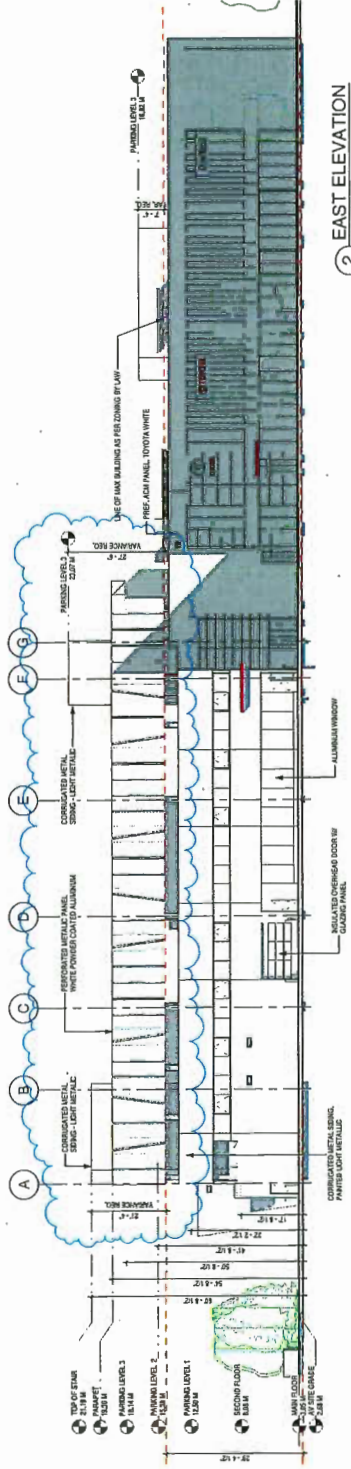
SCALE: 1/8"=1'-0"  
 PROJECT NUMBER: DP 18-818762  
 DATE: 09/23/10  
 DRAWING NO.: 009

**PLAN #1E**

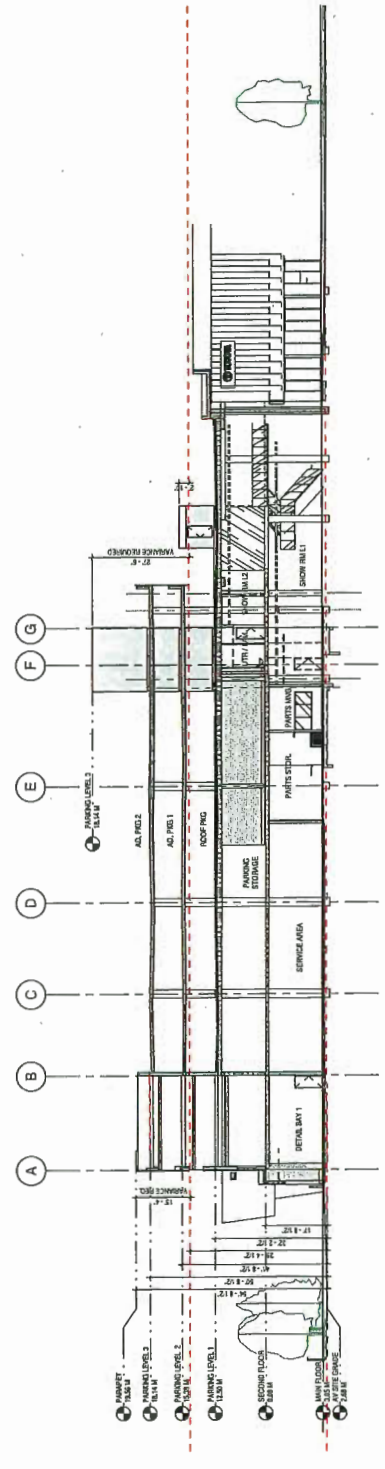
**DP.009**

1 ADDITIONAL PARKING LEVEL 2  
 1" = 30'-0"





2 EAST ELEVATION  
 1/8"=1'-0"



3 SECTION A-A  
 1/8"=1'-0"

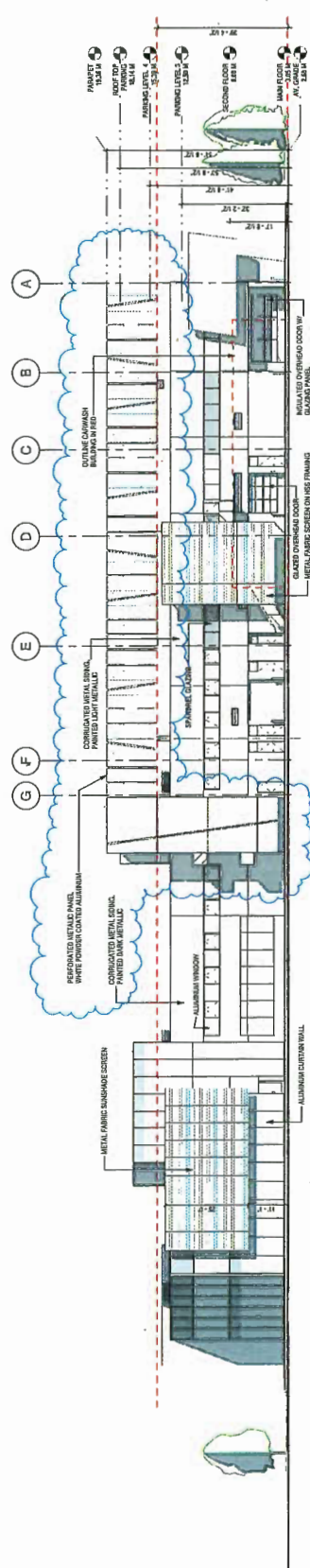
REVISION	DATE	DESCRIPTION
1	10.14.11	ISSUED FOR PERMIT
2	10.14.11	ISSUED FOR PERMIT

**OpenRoad Toyota Richmond**  
 DP 18-818762  
 13189 SMALL WOOD PLACE RICHMOND, VA

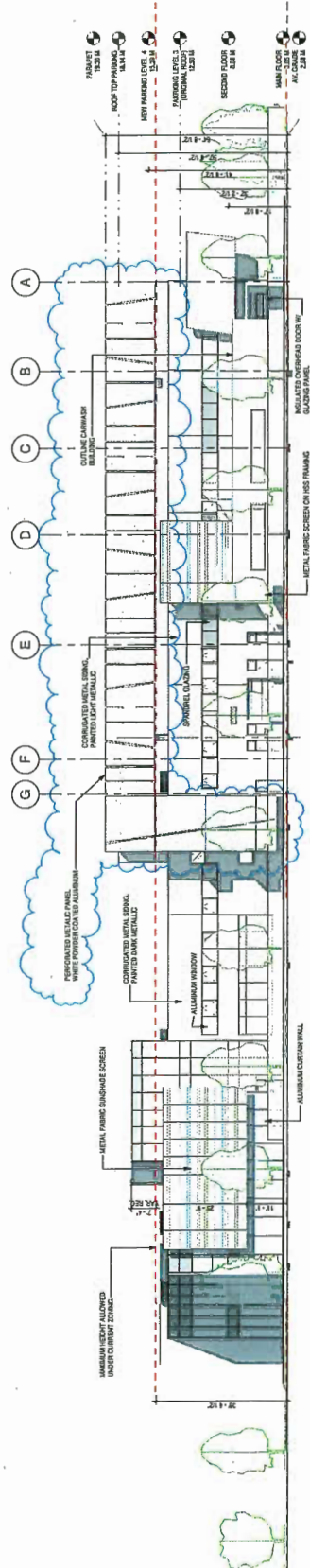
**ELEVATIONS AND SECTIONS**  
 SCALE: 1/8"=1'-0"  
 PROJECT NUMBER: DP 18-818762  
 DATE: 08/17/11  
 DRAWING NO.: 2000

**PLAN #4**  
**DP.010**

10/11/11



**2** WEST ELEVATION  
 1/16" = 1'-0"



**1** WEST ELEVATION  
 1/16" = 1'-0"

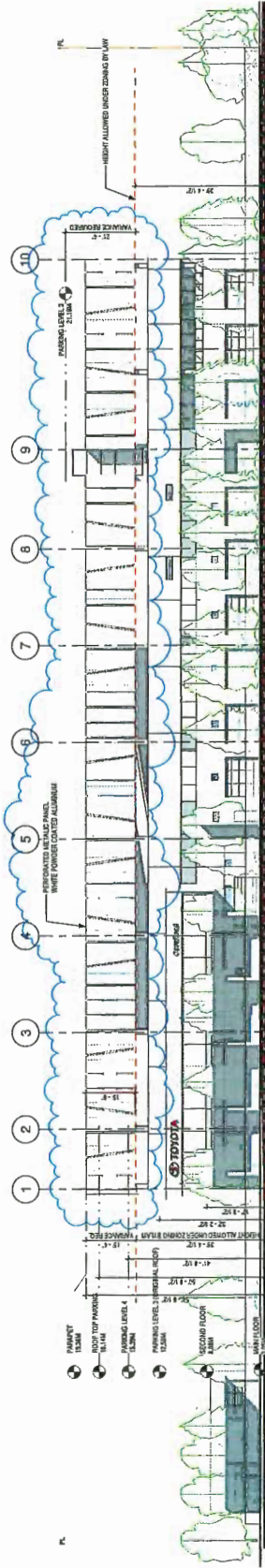
REVISION	DATE	DESCRIPTION
1	10.14.11	REVISED FOR ITP AMENDMENT
2	10.19.11	REVISED FOR ITP AMENDMENT

**CLIENT:** OPENROAD AUTO GROUP  
**PROJECT:** TOYOTA RICHMOND  
**LOCATION:** 1315 SMALL WOOD PLACE, RICHMOND, BC  
**DATE:** 10.14.11  
**SCALE:** 1/16" = 1'-0"

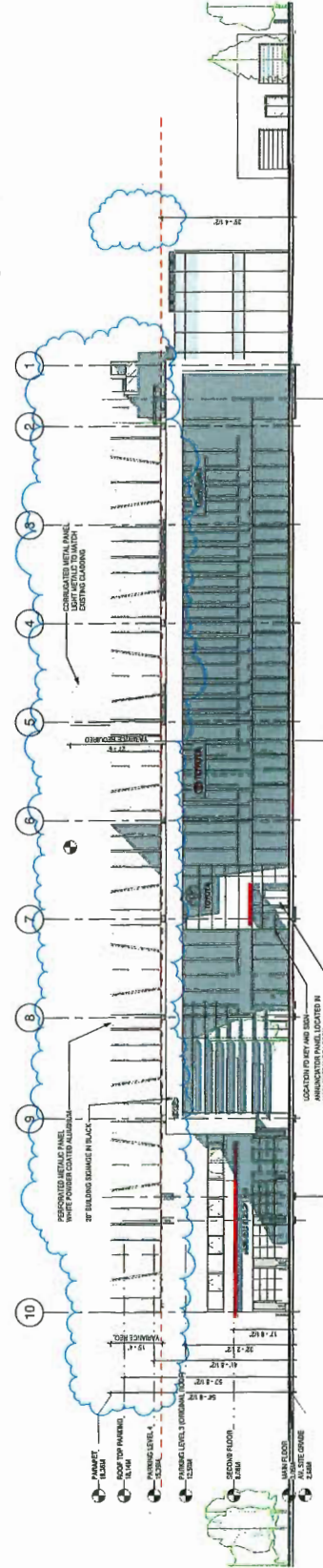
**OpenRoad Toyota Toyota Richmond**  
 DP 18-818762  
 1315 SMALL WOOD PLACE, RICHMOND, BC  
**JACIMBS ROAD**  
**ELEVATION**

SCALE: 1/16" = 1'-0"  
 DATE: 10.14.11  
 PROJECT: 18-818762

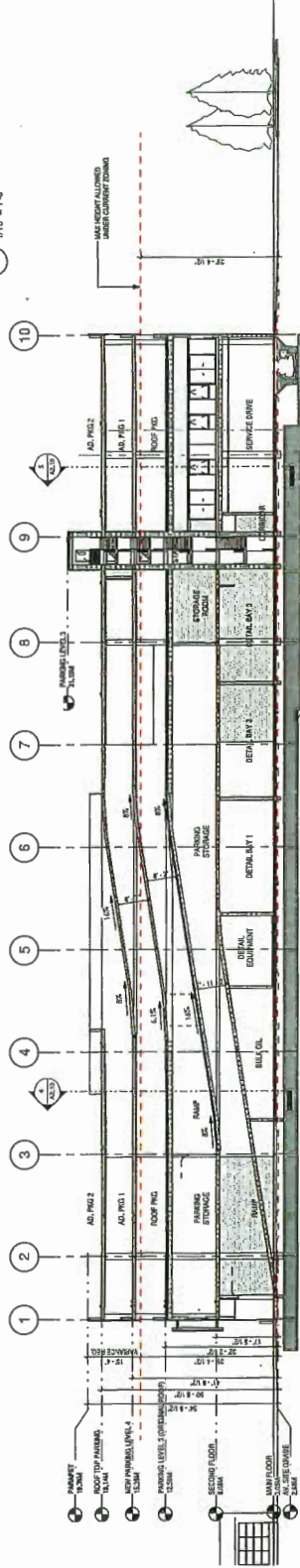
**PLAN #5**  
**DP.011**



3 SOUTH ELEVATION  
 1/16" = 1'-0"



2 NORTH ELEVATION  
 1/16" = 1'-0"



1 SECTION THROUGH RAMP  
 1/16" = 1'-0"

NO.	DATE	REVISION	DESCRIPTION
1	10.14.11	ISSUED FOR PERMIT	
2	10.18.11	ISSUED FOR AMENDMENT	

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With convenience and time pressure, we will not be responsible for errors, omissions, or delays in construction. The contractor shall be responsible for obtaining all necessary permits and licenses. The contractor shall be responsible for obtaining all necessary permits and licenses. The contractor shall be responsible for obtaining all necessary permits and licenses.

**OpenRoad Toyota Richmond**

DP 18-818762

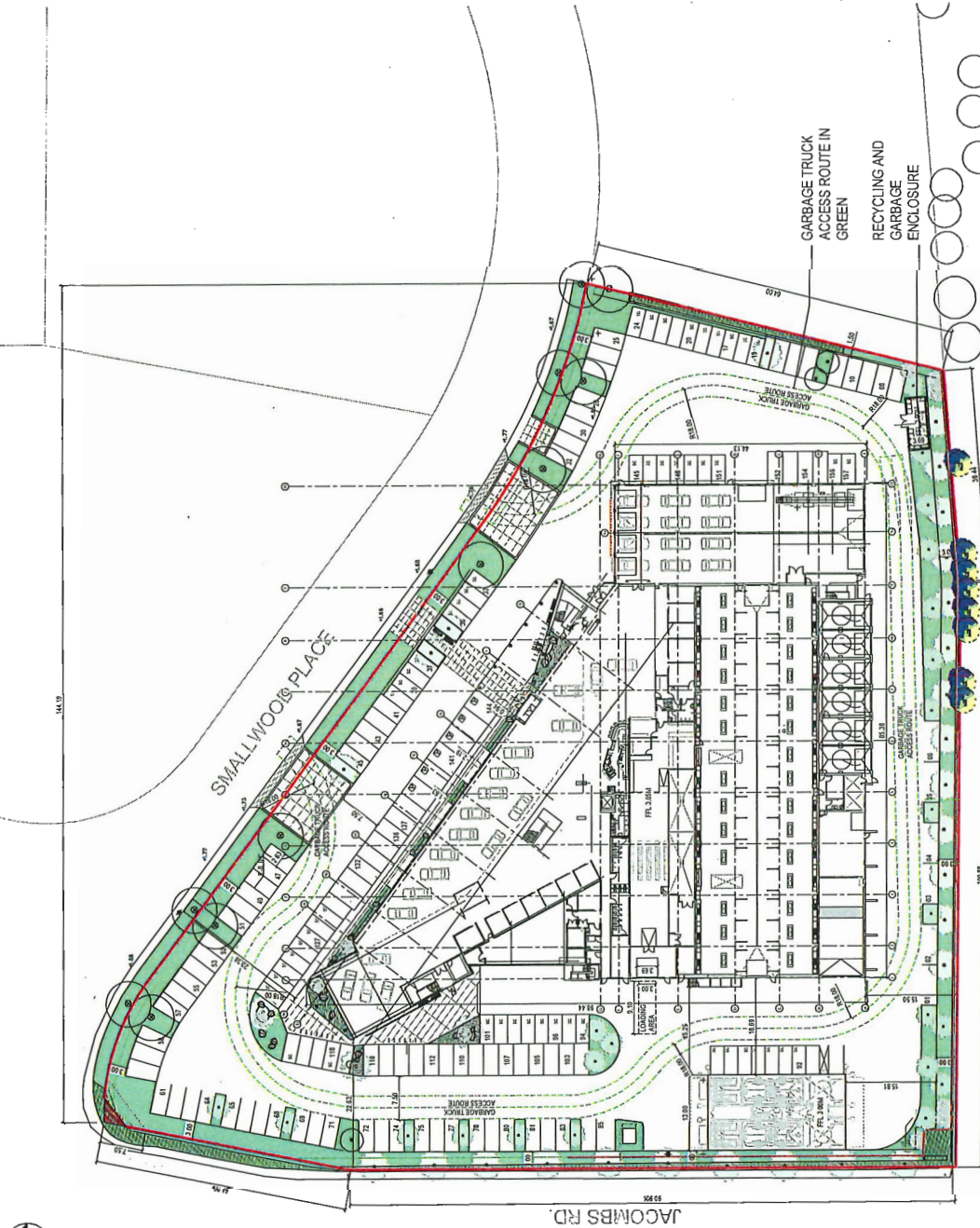
13185 SMALL WOOD PLACE RICHMOND, BC

**ELEVATIONS AND SECTIONS**

SCALE: 1/16" = 1'-0" DATE: 09/27/11 3:18 DRAWING NO: 18000

**PLAN #6**

**DP.012**



WESTMINISTER HIGHWAY

① SITE PLAN  
 1" = 30'-0"

NO.	REVISION	DATE	DESCRIPTION
1	18.10.25		ISSUED FOR DP

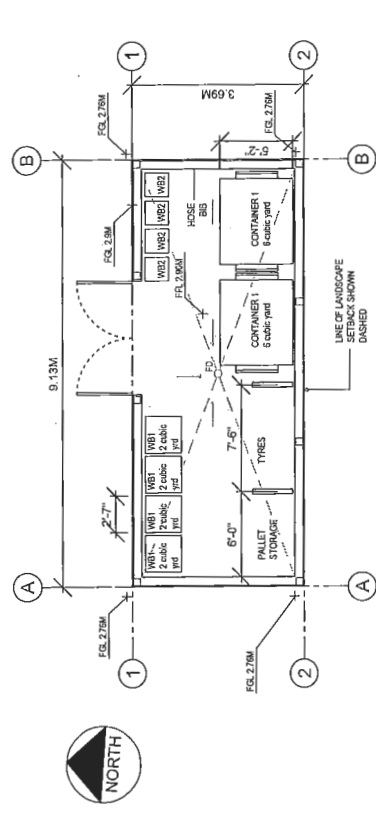
**CONTRACT NOTES:**  
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 This drawing is a professional site plan for a waste management facility. It is not to be used for any other purpose without the express written permission of Christopher Bozyk Architects Ltd.  
 The drawings are prepared in accordance with the standards of the City of Edmonton and the standards of the City of Calgary. The drawings are prepared in accordance with the standards of the City of Edmonton and the standards of the City of Calgary.  
 The drawings are prepared in accordance with the standards of the City of Edmonton and the standards of the City of Calgary. The drawings are prepared in accordance with the standards of the City of Edmonton and the standards of the City of Calgary.

**OpenRoad**  
 Toyota Richmond

**WASTE MANAGEMENT PLAN**  
 DP 18-818762

SCALE: 1" = 30'-0"  
 DATE: JUN 1, 2018  
 PROJECT NUMBER: 1801

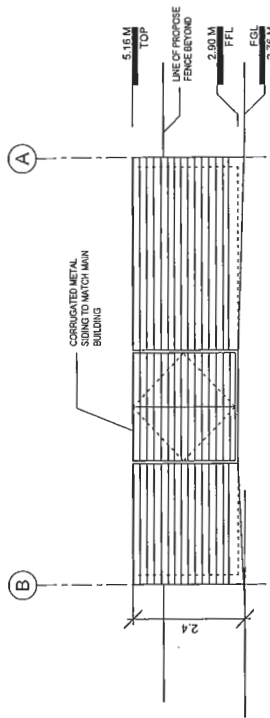
**DP0.30**



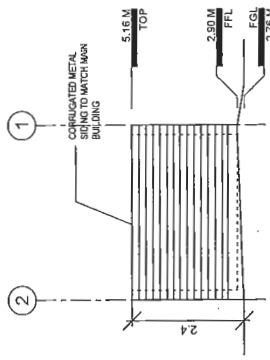
① GARBAGE ROOM PLAN  
 1/4" = 1'-0"



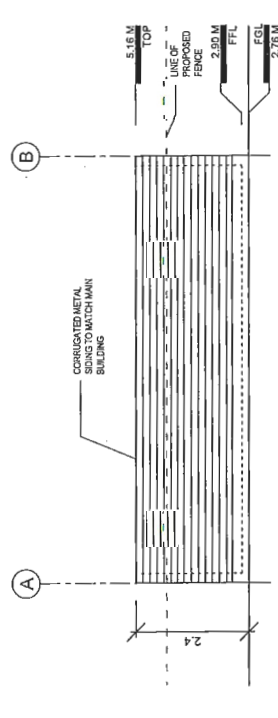
② SITE PLAN SHOWING REVISED GARBAGE ROOM LOCATION  
 1" = 30'-0"



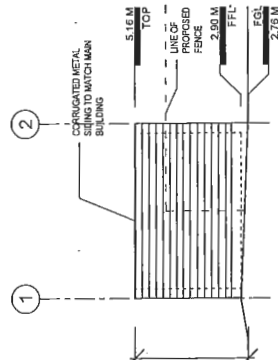
③ NORTH ELEVATION  
 1/4" = 1'-0"



④ EAST ELEVATION  
 1/4" = 1'-0"



⑤ SOUTH ELEVATION  
 1/4" = 1'-0"



⑥ WEST ELEVATION  
 1/4" = 1'-0"

NO.	DATE	DESCRIPTION
1	11.28.19	ISSUED FOR DP
2	11.28.19	ISSUED FOR DP
3	11.28.19	ISSUED FOR DP
4	11.28.19	ISSUED FOR DP
5	11.28.19	ISSUED FOR DP

**CONTRACTOR'S NOTE:** The Contractor shall be responsible for obtaining all necessary permits and approvals, and for ensuring that the proposed work complies with all applicable laws, codes, and regulations. The Contractor shall also be responsible for ensuring that the proposed work is completed in accordance with the approved plans and specifications. The Contractor shall also be responsible for ensuring that the proposed work is completed in a timely and efficient manner.

**OpenRoad Toyota Richmond**

**GARBAGE ENCLOSURE**  
 DP 18-81872

SCALE: 1" = 30'-0"  
 DATE: JUN 13/21  
 DRAWN: JAB  
 PROJECT NUMBER: 1872

**DP0.31**



CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND DIMENSIONS OF UTILITIES AND/OR CONCREAD STRUCTURES AT THE PROJECT SITE. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND DIMENSIONS OF ALL UTILITIES AND/OR CONCREAD STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE CITY DEPARTMENT OR PERSONS OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

ARCHITECT:  
**CHEMISTOPHER BOZELIA, ARCHITECTS**

**PLAN #3C**

NO.	DESCRIPTION	DATE
13	RE-ISSUED FOR DP	14-09-24
12	ISSUED FOR CONSTRUCTION	14-04-28
11	ISSUED FOR TENDER	17-10-19
10	ISSUED FOR TENDER	17-10-19
9	RE-ISSUED FOR DP	17-08-19
8	ISSUED FOR AMP	17-06-07
7	RE-ISSUED FOR DP	17-05-19
6	RE-ISSUED FOR DP	17-05-19
5	RE-ISSUED FOR DP	17-05-19
4	RE-ISSUED FOR DP	17-05-19
3	ISSUED FOR DP	16-11-20
2	ISSUED FOR DP	16-07-17
1	ISSUED FOR CLERK REVIEW	14-06-18

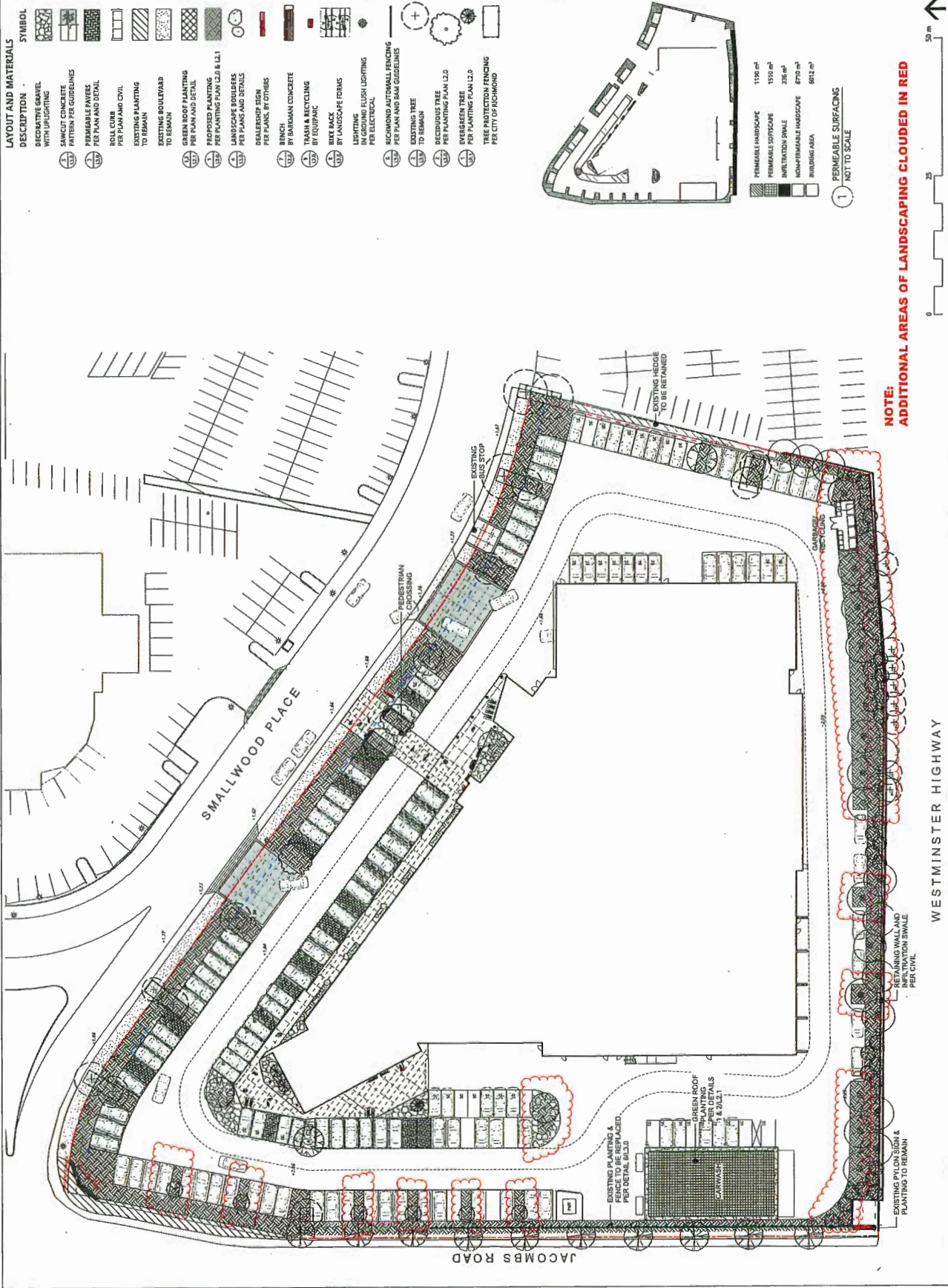
**OPENROAD TOYOTA**

13100 Smallwood Place  
Richmond, British Columbia

Scale: 1:200  
Drawn: MD  
Reviewed: KL  
Project No. 06-480

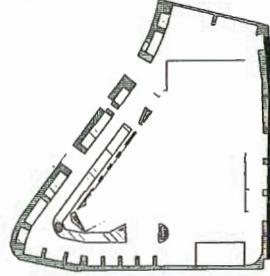
**LANDSCAPE  
SITE PLAN**

**L1.0**



**LAYOUT AND MATERIALS**

SYMBOL	DESCRIPTION
	RECYCLED METAL WITH PILE DRIVING
	SAWCUT CONCRETE PATTERN PER GUIDELINES
	PERMEABLE PAVEMENT PER PLAN AND DETAIL
	ROLL CURB PER PLAN AND DETAIL
	EXISTING PLANTING TO REMAIN
	EXISTING BOULEVARD TO REMAIN
	GREEN ROOF PLANTING PER PLAN AND DETAIL
	PROPOSED PLANTING PER PLANTING PLAN L2.0 & L2.1
	LANDSCAPE BOULEVERS PER PLANS AND DETAILS
	DEALERSHIP SIGN PER PLANS, BY OTHERS
	BENCH BY BARMAN CONCRETE
	TRASH & RECYCLING BY EQUIPARK
	BIKE RACK BY LANDSCAPE FORMS
	LIGHTING IN-GROUND FLUSH LIGHTING PER ELECTRICAL
	RICHMOND AUTOMATIC FENCING PER PLAN AND RAM GUIDELINES
	EXISTING TREE TO REMAIN
	DECIDUOUS TREE PER PLANTING PLAN L2.0
	EVERGREEN TREE PER PLANTING PLAN L2.0
	TREE PROTECTION FENCING PER CITY OF RICHMOND



PERMEABLE HARDSCAPE	1190 m²
PERMEABLE CURBSCAPE	1510 m²
IMPERMEABLE GRADE	238 m²
NONPERMEABLE HARDSCAPE	6710 m²
LANDING AREA	8911 m²

1 PERMEABLE SURFACING  
NOT TO SCALE

**NOTE:  
ADDITIONAL AREAS OF LANDSCAPING CLOUDED IN RED**

30 m

WESTMINSTER HIGHWAY

JACOBS ROAD



CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES AND/OR CONCEALED STRUCTURES AT THE PROJECT SITE. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND/OR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, AT HIS OWN RISK, OF ANY SUCH UTILITIES OR CONCEALED STRUCTURES TO CARRY OUT ITS OPERATIONS.

ARCHITECT:

**CHRISTOPHER BOZYSKI ARCHITECTS**

**PLAN #3D**

12	ISSUED FOR CONSTRUCTION	24-02-20
11	ISSUED FOR REVISION #1	21-12-19
10	ISSUED FOR TENDER	21-12-20
9	REVISION FOR DP	17-02-20
8	ISSUED FOR ADP	17-06-07
7	REVISION FOR DP	17-05-20
6	REVISION FOR DP	17-05-19
5	ISSUED FOR BIDDING	17-05-04
4	REVISION FOR DP	17-02-09
3	ISSUED FOR BP	15-11-15
2	ISSUED FOR DP	14-07-17
1	ISSUED FOR CLIENT REVIEW	15-08-20

**REVISIONS**

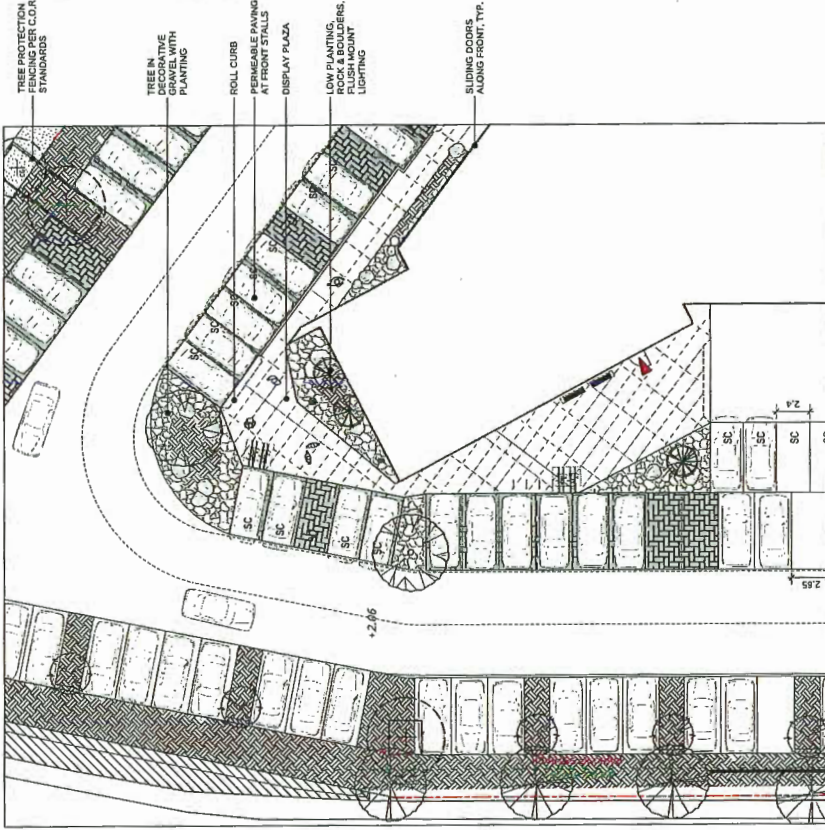
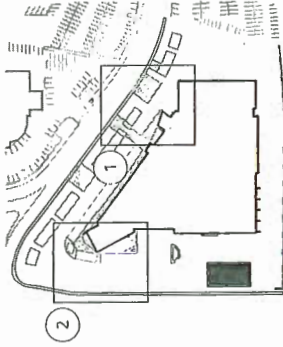
**OPENROAD TOYOTA**

13100 Smallwood Place  
Richmond, British Columbia

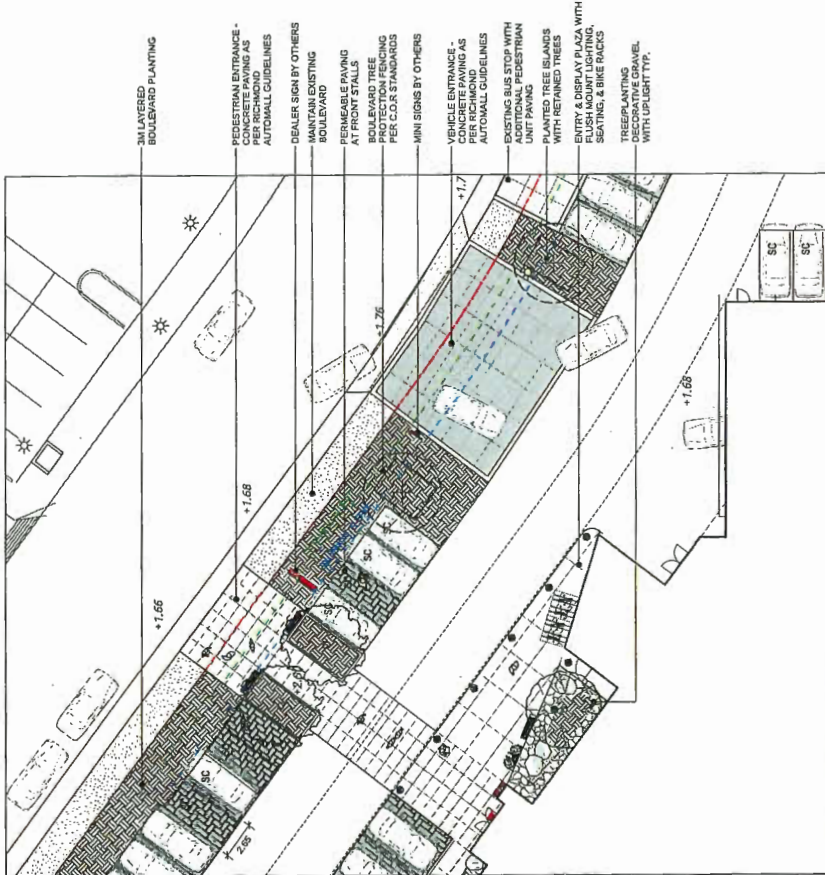
Scale:	1:150
Drawn:	KD
Reviewed:	KL
Project No.:	DC-490

**LANDSCAPE ENLARGEMENTS**

**L1.1**



**2 CORNER ENLARGEMENT PLAN**  
Scale: 1:150



**1 MAIN ENTRY ENLARGEMENT**  
Scale: 1:150

CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND QUANTITY OF UTILITIES OR SERVICES FOR THE PROJECT OR FOR ANY OTHER PROJECTS. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND/OR SERVICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE DEPARTMENT OR PERSONS OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

ARCHITECT:  
**CHRISTOPHER BOZYN, ARCHITECTS**

**PLAN #3E**

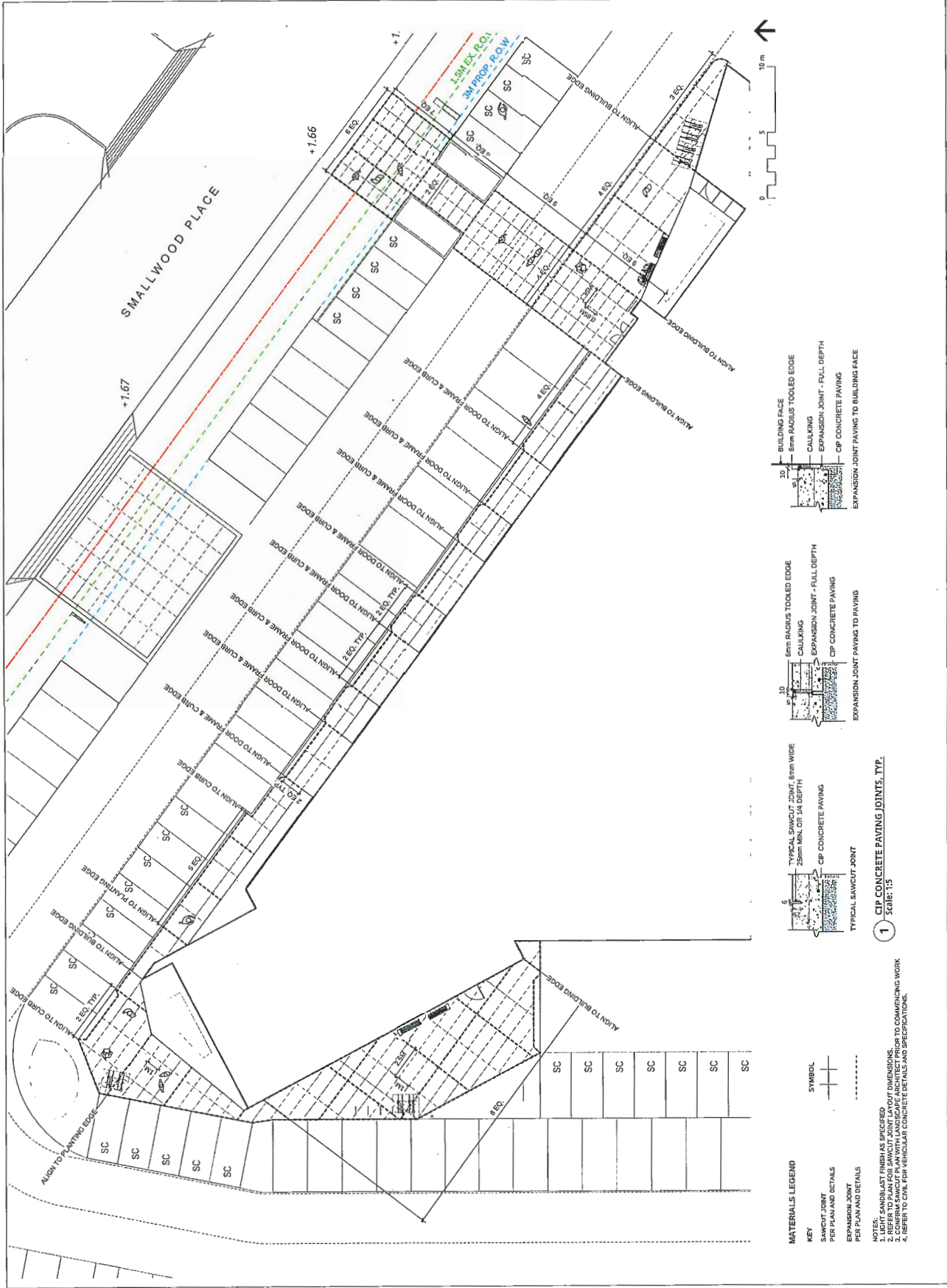
13	REISSUED FOR DP	18-09-20
12	ISSUED FOR CONSTRUCTION	18-02-20
11	ISSUED FOR TENDER	17-12-19
10	ISSUED FOR TENDER	17-11-19
9	REISSUED FOR DP	17-06-19
8	REISSUED FOR DP	17-06-19
7	REISSUED FOR DP	17-05-19
6	REISSUED FOR DP	17-05-19
5	ISSUED FOR BUDGETING	17-02-19
4	REISSUED FOR DP	17-01-19
3	ISSUED FOR BP	16-11-18
2	ISSUED FOR DP	16-07-17
1	ISSUED FOR CLIENT REVIEW	16-06-17

**OPENROAD TOYOTA**

13100 Smallwood Place  
Richmond, British Columbia

Scale:	1:125
Drawn:	KD
Reviewed:	KL
Project No.:	06-490

**LANDSCAPE  
LAYOUT PLAN**



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ARCHITECT:  
**CHRISTOPHER BOZTIN, ARCHITECTS**

**PLAN #3F**

13	RECEIVED FOR DP	14-09-15
12	ISSUED FOR CONSTRUCTION	14-02-28
11	ISSUED FOR REVISION DP	13-12-15
10	ISSUED FOR TENDER	13-11-29
9	RESERVED FOR DP	13-05-29
8	ISSUED FOR ADP	13-04-27
7	RESERVED FOR DP	13-02-20
6	RESERVED FOR DP	13-02-15
5	ISSUED FOR INDICATING	13-03-04
4	RESERVED FOR DP	13-03-09
3	ISSUED FOR DP	14-11-25
2	ISSUED FOR DP	14-01-27
1	ISSUED FOR CLIENT REVIEW	14-09-20

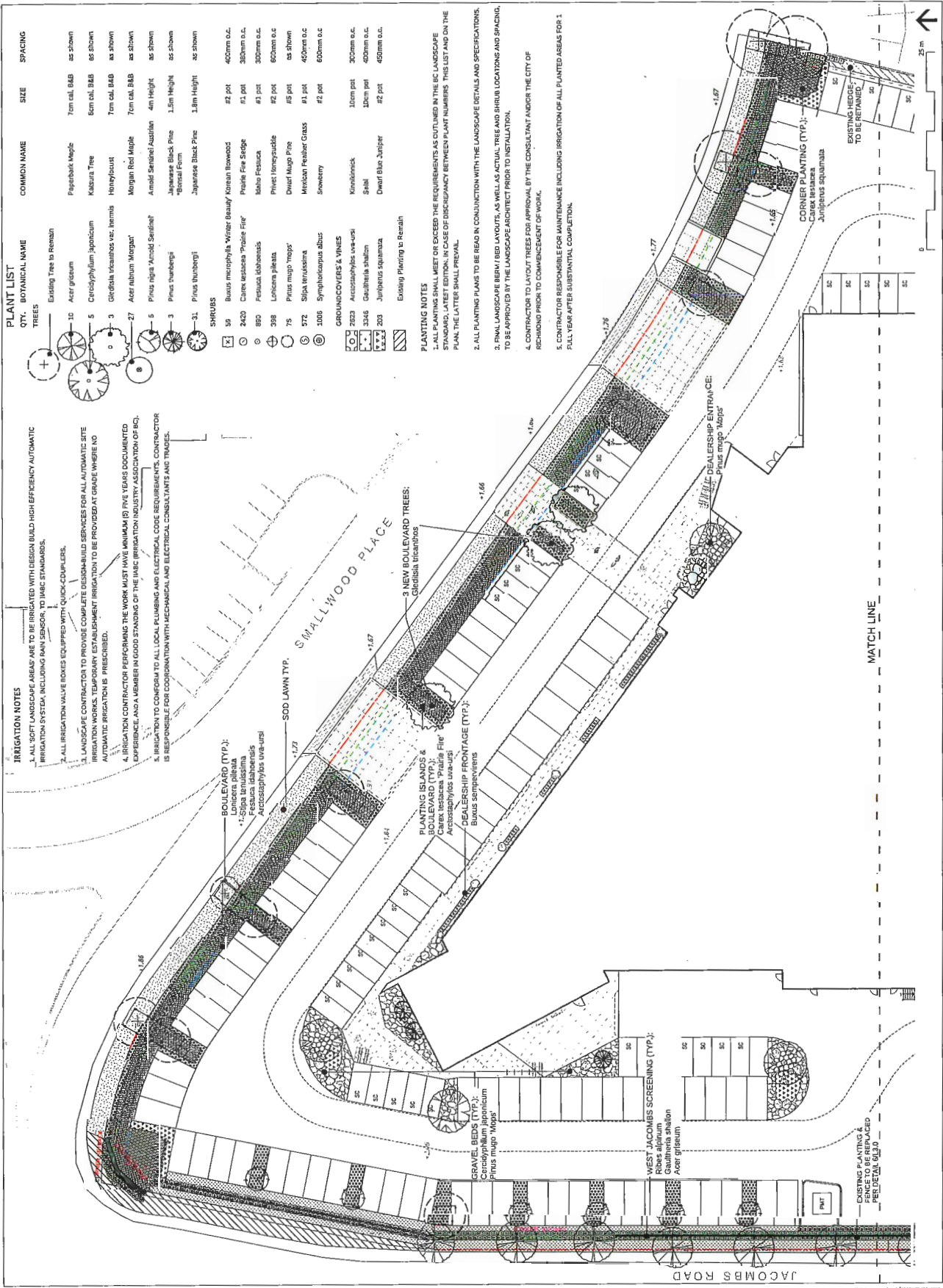
**OPENROAD TOYOTA**

13100 Smallwood Place  
Richmond, British Columbia

Scale: 1:200  
Drawn: KD  
Reviewed: KL  
Project No. DS-490

**LANDSCAPE  
PLANT MATERIALS  
NORTH**

L2.0



CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES AND FOR CONCEALED STRUCTURES AT THE PROJECT SITE. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES AND FOR CONCEALED STRUCTURES AND IS RESPONSIBLE TO OBTAIN APPROVAL FROM THE CITY OF RICHMOND PRIOR TO COMMENCEMENT OF WORK.

ARCHITECT:

**CHRISTOPHER BOZTAK ARCHITECTS**

**PLAN #3G**

13	REISSUED FOR DP	18-09-20
12	ISSUED FOR CONSTRUCTION	18-03-20
11	ISSUED FOR REVISED BP	17-10-19
10	ISSUED FOR TENDER	17-02-19
9	REISSUED FOR DP	17-06-19
8	ISSUED FOR ADP	17-06-19
7	REISSUED FOR DP	17-05-19
6	REISSUED FOR DP	17-05-19
5	ISSUED FOR BUDGETING	17-02-19
4	REISSUED FOR DP	17-03-19
3	ISSUED FOR BP	18-11-18
2	ISSUED FOR DP	18-09-17
1	ISSUED FOR CLIENT REVIEW	18-06-18

**OPENROAD TOYOTA**

13110 Smallwood Place  
Richmond, British Columbia

Scale:	1:200
Drawn:	KD
Reviewed:	KL
Project No.:	06-490

**LANDSCAPE  
PLANT MATERIALS  
SOUTH**

**L2.1**

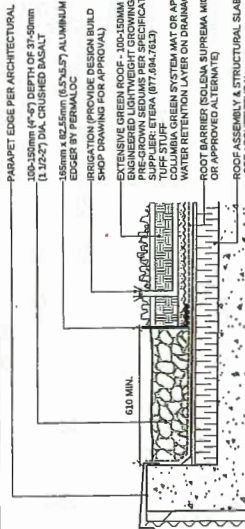
**REFER TO L2.0 FOR PLANT LIST.**

**PLANTING NOTES**

1. ALL PLANTING SHALL MEET OR EXCEED THE REQUIREMENTS AS OUTLINED IN THE BC LANDSCAPE STANDARD, LATEST EDITION, IN CASE OF DISCREPANCY BETWEEN PLANT NUMBERS THIS LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL.
2. ALL PLANTING PLANS TO BE READ IN CONJUNCTION WITH THE LANDSCAPE DETAILS AND SPECIFICATIONS.
3. FINAL LANDSCAPE BERM / BED LAYOUTS, AS WELL AS ACTUAL TREE AND SHRUB LOCATIONS AND SPACING, TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. CONTRACTOR TO LAYOUT TREES FOR APPROVAL BY THE CONSULTANT AND/OR THE CITY OF RICHMOND PRIOR TO COMMENCEMENT OF WORK.
5. CONTRACTOR RESPONSIBLE FOR MAINTENANCE INCLUDING IRRIGATION OF ALL PLANTED AREAS FOR 1 FULL YEAR AFTER SUBSTANTIAL COMPLETION.

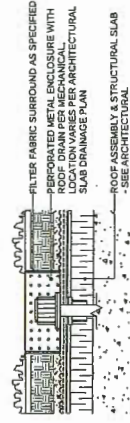
**IRRIGATION NOTES**

1. ALL SOFT LANDSCAPE AREAS (INCLUDING ONSITE, OFFSITE, AND GREEN ROOF AREAS) ARE TO BE IRRIGATED WITH DESIGN BUILD HIGH EFFICIENCY AUTOMATIC IRRIGATION SYSTEM, INCLUDING RAIN SENSOR, TO IBC STANDARDS.
2. ALL IRRIGATION VALVE BOXES EQUIPPED WITH QUICK-COUPLERS.
3. LANDSCAPE CONTRACTOR TO PROVIDE COMPLETE DESIGN-BUILD SERVICES FOR ALL AUTOMATIC SITE IRRIGATION WORKS. TEMPORARY ESTABLISHMENT IRRIGATION TO BE PROVIDED AT GRADE WHERE NO AUTOMATIC IRRIGATION IS PRESCRIBED.
4. IRRIGATION CONTRACTOR PERFORMING THE WORK MUST HAVE MINIMUM (3) FIVE YEARS DOCUMENTED EXPERIENCE, AND A MEMBER IN GOOD STANDING OF THE IBC (BRITISH COLUMBIA IRRIGATION ASSOCIATION OF BC).
5. IRRIGATION TO CONFORM TO ALL LOCAL PLUMBING AND ELECTRICAL CODE REQUIREMENTS. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH MECHANICAL AND ELECTRICAL CONSULTANTS AND TRADES.



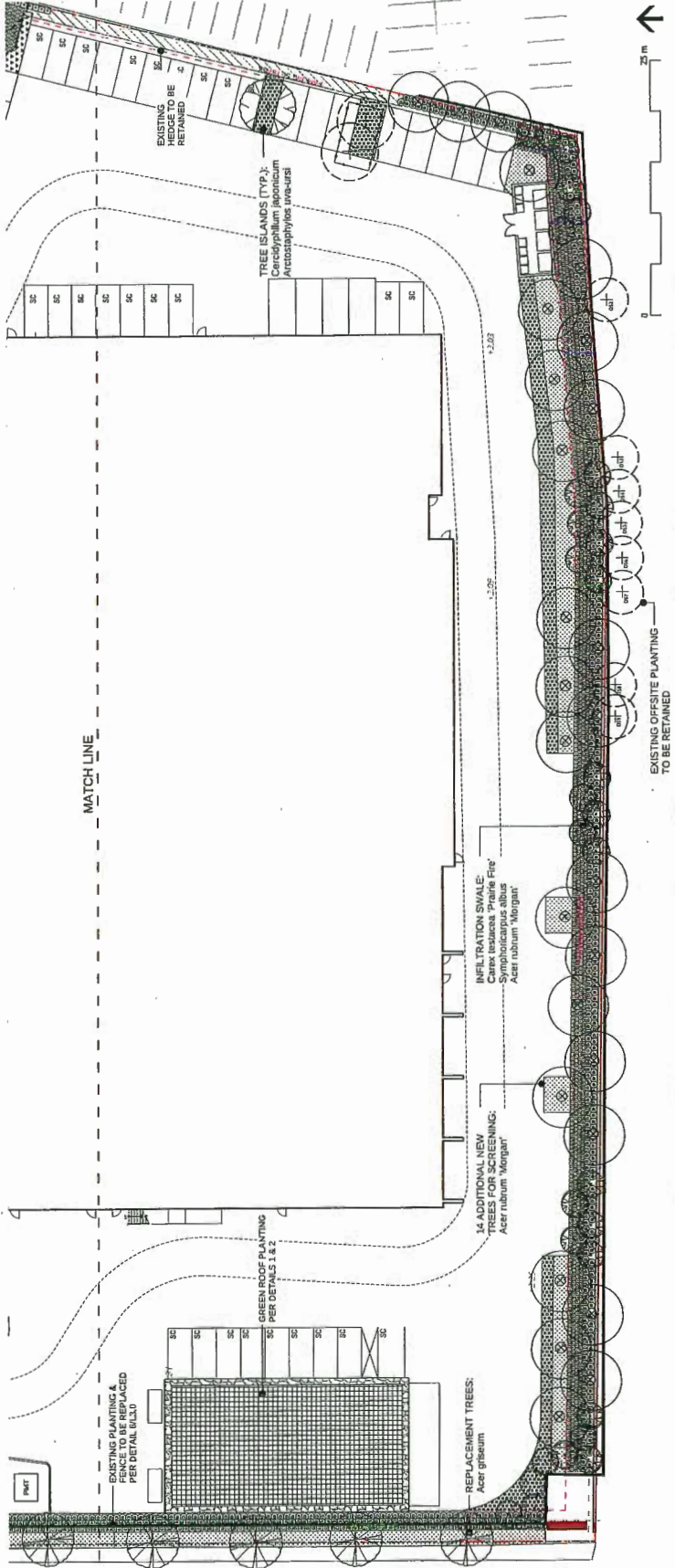
1 EXTENSIVE PLANTING ON SLAB  
SCALE: 1:10

2 EXTENSIVE PLANTING DRAIN  
SCALE: 1:10



1 EXTENSIVE PLANTING ON SLAB  
SCALE: 1:10

2 EXTENSIVE PLANTING DRAIN  
SCALE: 1:10



25 m

EXISTING OFFSITE PLANTING TO BE RETAINED

CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES AND/OR CONCEALED STRUCTURES AT THE PROJECT SITE.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND/OR CONCEALED STRUCTURES, AND IS RESPONSIBLE TO NOTIFY THE PROJECT ARCHITECT IMMEDIATELY ON PERSONS OF ITS INTERACTION TO CARRY OUT ITS OPERATIONS.

ARCHITECT:  
**CHRISTOPHER BOZTAS, ARCHITECTS**

**PLAN #3H**

13	REVISED FOR DP	14-02-26
12	ISSUED FOR CONSTRUCTION	14-02-26
11	ISSUED FOR REVISED DP	17-10-19
10	ISSUED FOR TENDER	17-11-20
9	REVISED FOR DP	17-08-28
8	ISSUED FOR AMP	17-06-07
7	REVISED FOR DP	17-05-30
6	REVISED FOR DP	17-05-30
5	ISSUED FOR BIDDINGS	14-02-26
4	REVISED FOR DP	17-04-09
3	ISSUED FOR DP	15-11-20
2	ISSUED FOR DP	14-02-20
1	ISSUED FOR CLERK REVIEW	14-06-20

**OPENROAD TOYOTA**

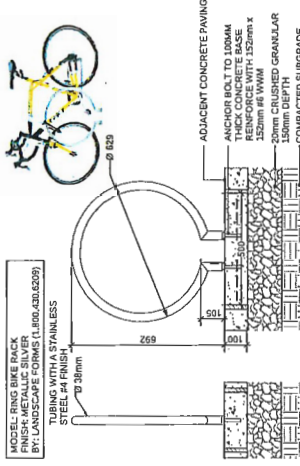
13100 Smallwood Place  
Richmond, British Columbia

Scale:	AS SHOWN
Drawn:	XO
Reviewed:	KL
Project No.:	06-490

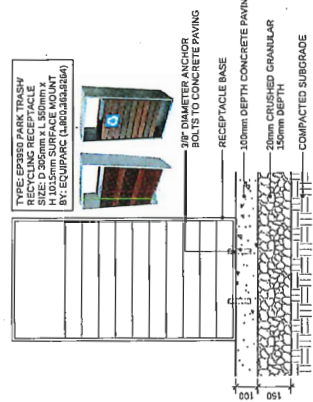
**LANDSCAPE  
DETAILS**



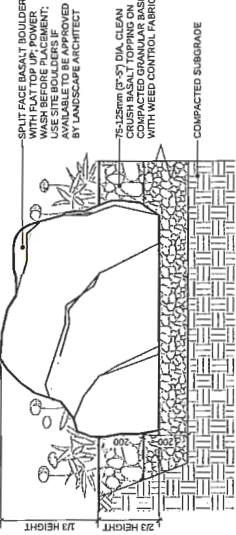
**7 CONCRETE BENCH**  
TYPE: ON-GOING BENCH  
BY: BARKMAN CONCRETE  
PORT MOODY, BC 78.889.7970



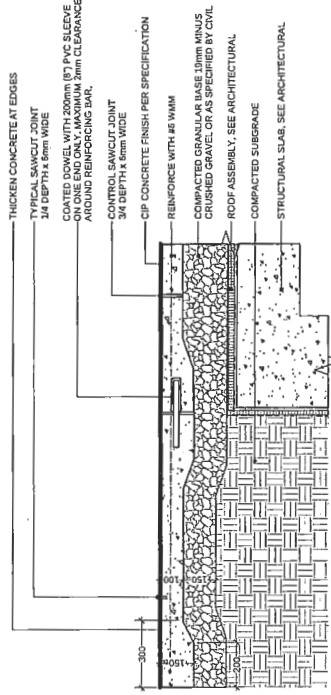
**8 RING BIKE RACK BY LANDSCAPE FORMS**  
Scale: 1:10



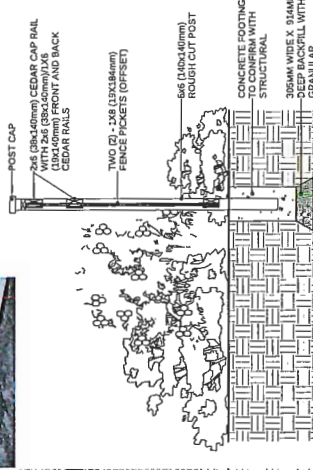
**9 TRASH/RECYCLING RECEPTACLE**  
Scale: 1:10



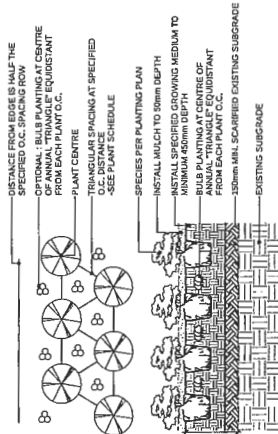
**4 LANDSCAPE BOULDER**  
Scale: 1:10



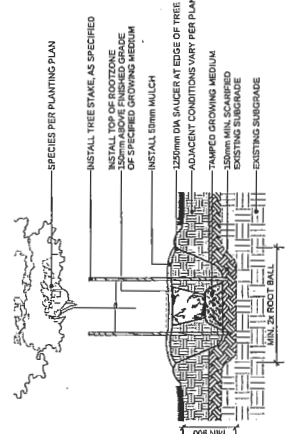
**5 CIP CONCRETE ON GRADE / ON SLAB (TYPICAL)**  
Scale: 1:10



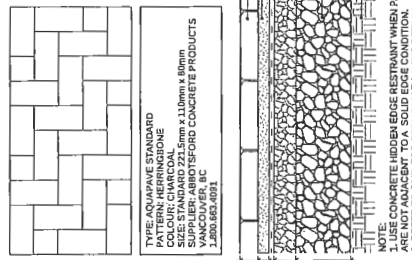
**6 PERIMETER WOOD FENCE**  
Scale: 1:20



**1 PLANTING ON GRADE (TYPICAL)**  
Scale: 1:25



**2 TREE PLANTING ON GRADE (TYPICAL)**  
Scale: 1:25



**3 PERMEABLE PAVING**  
Scale: 1:10



October 12, 2018

**MEMO TO:** Christian Chia, OpenRoad Toyota Richmond

**FROM:** RAMA Board of Directors

**RE:** OpenRoad Toyota Richmond Development Permit Application-  
Car Parking Addition

Dear Christian,

This letter is to inform you that your revised building design application submitted April, 2018 for the new OpenRoad Toyota Richmond dealership in the Richmond Auto Mall has been approved by RAMA's Board of Directors.

We note that the maximum Floor Area Ratio of 0.82 is higher than the municipal bylaw of .5 and that the proposed: roof height 15.46M, parapet height of 16.88M, stair tower 18.51M and elevator over-run of 20.39M exceed the bylaw maximum of 12M. Based on the variances granted on the recent Audi and Jaguar LandRover applications on these same two issues, the Board has also approved the variances on your application.

If you have any questions, please don't hesitate to call. On behalf of the Directors and myself, we wish you the very best with your new facility.

Kind regards,

A handwritten signature in black ink, appearing to read 'Gail Terry', is written over a faint horizontal line.

Gail Terry

General Manager, Richmond Auto Mall Association

CC: RAMA Board of Directors, Bibiane Dorval



# City of Richmond

## Rezoning Considerations

Development Applications Department  
6911 No. 3 Road, Richmond, BC V6Y 2C1

**Address:** 13100 Smallwood Place

**File No.:** ZT 18-818765

**Prior to final adoption of Richmond Zoning Bylaw 8500, Amendment Bylaw 9948, the developer is required to complete the following:**

1. Provincial Ministry of Transportation & Infrastructure Approval.
2. The submission and processing of a Development Permit\* completed to a level deemed acceptable by the Director of Development.
3. City acceptance of the developer's offer to voluntarily contribute \$0.45 per buildable square foot (e.g. \$38,432) to the City's public art fund.

**Prior to Building Permit\* Issuance, the developer must complete the following requirements:**

1. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
2. Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities, including building demolition, occurring on-site.
3. Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
4. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

**Note:**

\* This requires a separate application.

- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends

Initial: \_\_\_\_\_

that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

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Signed

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Date





Richmond Zoning Bylaw 8500
Amendment Bylaw 9948 (ZT 18-818765)
13100 Smallwood Place

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

- 1. Richmond Zoning Bylaw 8500, section 10.7 entitled "Vehicle Sales (CV)", is amended by deleting subsection 10.7.4.1 d) in its entirety and replacing with the following:
d) 0.82
13100 Smallwood Place
P.I.D. 000-955-574
Lot 7 Section 5 Block 4 North Range 5 West New Westminster District Plan
68775 Except Plan EPP72489
2. This Bylaw may be cited as "Richmond Zoning Bylaw 8500, Amendment Bylaw 9948".

FIRST READING

DEC 19 2018

PUBLIC HEARING

SECOND READING

THIRD READING

MINISTRY OF TRANSPORTATION APPROVAL

OTHER CONDITIONS SATISFIED

ADOPTED

CITY OF RICHMOND
APPROVED by
AB
APPROVED by Director or Solicitor
JR

MAYOR

CORPORATE OFFICER