



City of  
Richmond

## Report to Development Permit Panel

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**To:** Development Permit Panel

**Date:** December 19, 2017

**From:** Wayne Craig  
Director, Development

**File:** DP 17-778607

**Re:** Application by Interface Architecture for a Development Permit at  
7760 Garden City Road

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### Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of four townhouse units at 7760 Garden City Road on a site zoned "Town Housing (ZT49) – Moffatt Road, St. Albans Sub-Area and South McLennan Sub-Area (City Centre)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum required rear yard setback from 4.57 m to 3.0 m.

A handwritten signature in black ink, appearing to read "Wayne Craig".

Wayne Craig  
Director, Development

WC:el  
Att.

## Staff Report

### Origin

Interface Architecture has applied to the City of Richmond for permission to develop four townhouse units at 7760 Garden City Road with vehicle access via a statutory right-of-way from the adjacent property to the south at 7733 Turnill Street. The site is being rezoned from “Single Detached (RS1/F)” zone to “Town Housing (ZT49) - Moffatt Road, St. Albans Sub-Area and South McLennan Sub-Area (City Centre)” zone under Bylaw 9682 (RZ 15-701939), which received third reading following the Public Hearing on July 17, 2017. The site currently contains one single family home, which will be demolished. A Servicing Agreement for frontage upgrades and service connections is required prior to Building Permit issuance.

### Development Information

Please refer to the attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant bylaw requirements.

### Background

Development surrounding the subject site is as follows:

- To the north, a townhouse site zoned “Town Housing (ZT33) – South McLennan (City Centre)”.
- To the east and south, a townhouse site zoned “Town Housing (ZT49) - Moffatt Road, St. Albans Sub-Area and South McLennan Sub-Area (City Centre)”.
- To the west, across Garden City Road, a low-rise apartment site zoned “Medium Density Low Rise Apartments (RAM1)”.

### Rezoning and Public Hearing Results

The first Public Hearing for the rezoning of this site was held on March 20, 2017. At the Public Hearing, concerns related to vehicle access from 7733 Turnill Street were expressed. Three residents at 7733 Turnill Street requested Council to allow direct vehicle access to the development site from Garden City Road. Council referred the project back to staff.

In response to the Council’s referral, Transportation staff reviewed the proposal and advised Council that the preferred access for 7760 Garden City Road is through 7733 Turnill Street, as envisioned and secured through the development approval for 7733 Turnill Street. Granting access from Garden City Road is inconsistent with the access arrangement of previous townhouse developments north and south of the subject site which were required to remove access to Garden City Road in order to create a greenway and bicycle path along the frontage. Introducing a direct access for 7760 Garden City Road would diminish the pedestrian and cycling environment established on this 800 m block of Garden City Road.

In response to the Council's referral, the developer met with the Strata Council of 7733 Turnill Street and reached an agreement on the following terms for access from 7733 Turnill Street:

- provide traffic calming measures and signage on 7733 Turnill Street to the satisfaction of the Strata Council of 7733 Turnill Street;
- pay a one-time lump sum fee of \$10,000 to the Strata Council at 7733 Turnill Road for expenses including, but not limited to, exterior power wash of the buildings at 7733 Turnill Street, easement road maintenance, and landscape upgrades;
- employ a different unit numbering system (i.e., Unit 101 instead of Unit 1) to differentiate the units in the two complexes and to avoid addressing confusion;
- ensure there is no construction access to 7760 Garden City Road from 7733 Turnill Street; and
- establish an easement maintenance cost sharing agreement between the two strata corporations.

The second Public Hearing for the rezoning of this site was held on July 17, 2017. At the Public Hearing, the same concerns related to vehicle access from 7733 Turnill Street were once again expressed by two residents at 7733 Turnill Street. Staff provided Transportation Department's rationale for the use of the access easement on 7733 Turnill Street and advised that commitments have been made by the developer to address the concerns and these will be secured as a consideration to Rezoning. Council concluded the Public Hearing and granted 3<sup>rd</sup> Reading to the rezoning bylaw with vehicle access to be provided from 7733 Turnill Street.

### **Staff Comments**

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the "Town Housing (ZT49) - Moffatt Road, St. Albans Sub-Area and South McLennan Sub-Area (City Centre)" zone except for the zoning variances noted below.

### **Zoning Compliance/Variances (staff comments in bold)**

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to reduce the rear yard setback from 4.57 m to a minimum of 3.0 m.

*(Staff supports the proposed variance as it is intended to accommodate a projection on the ground floor and open deck spaces on the second floor of the proposed Building #1. This proposed rear yard (east) setback is similar to the setback provided on the adjacent townhouse units to the east of the subject site (i.e., approximately 3.0 m between the second floor balcony and the common property line). The setbacks to the second and third floor enclosed living space will remain at a minimum of 4.57 m from the east property line. New trees will be planted along the east property to provide privacy screening between the subject site and the adjacent townhouse units. This variance request was identified at Rezoning stage, and no concerns were identified at that time.)*

### **Advisory Design Panel Comments**

The subject application was not presented to the Advisory Design Panel on the basis that this small project generally meets all the applicable Development Permit Guidelines, and the overall design and site plan have adequately addressed staff comments.

### **Analysis**

#### ***Conditions of Adjacency***

- Both the form and massing of the proposed development are consistent with the existing surrounding townhouse developments.
- The orientations of the proposed units are designed to match those of the existing units to the north, south and east, in order to minimize adjacency concerns.
- Eight new trees are proposed to be planted along the east property line to provide privacy screening at the rear yard interface between the proposed development and the existing townhouse units.
- Perimeter drainage will be secured through the Building Permit to ensure storm water is managed and addressed through the development and will not impact the neighbouring properties.

#### ***Urban Design and Site Planning***

- The proposal consists of four units provided in two duplex clusters. Two units will have direct pedestrian access from the street and two units will have access from the internal drive aisle.
- Vehicle access will be through the existing access easement registered on the neighbouring townhouse development to the south/east at 7733 Turnill Street. No direct vehicle access to Garden City Road is permitted for the subject site.
- The proposal provides for a pedestrian-oriented streetscape fronting Garden City Road with a landscaped edge treatment, low metal fencing, and metal gates to the two street-fronting units. A separate pedestrian entrance from Garden City Road to the development site is proposed along the south property line to provide a direct access to the internal drive aisle from Garden City Road.
- The number of residential parking spaces proposed for this townhouse development exceeds the minimum parking requirement per unit within the City Centre area, and all units will have two residential vehicle parking spaces.
- Tandem parking is permitted under the ZT49 zone, and 50% of the units will have tandem garages (four tandem spaces in total). A Restrictive Covenant prohibiting the conversion of tandem parking area into habitable area will be secured as a condition of rezoning approval.
- One visitor parking space is proposed, which meets the minimum bylaw requirement.
- Six residential bicycle parking spaces and one visitor bicycle parking are provided, which are in compliance with the zoning bylaw minimum requirements.

- The provision of private outdoor spaces complies with the Development Permit Guidelines (minimum of 30 m<sup>2</sup> per unit) of the OCP. All units have private outdoor spaces consisting of front or rear yard and balconies on the second floors.
- Outdoor amenity space is proposed at the terminus point of the internal drive aisle to maximize casual surveillance opportunity and sun exposure. The size and location of the outdoor amenity space are appropriate in providing open landscape and amenity space convenient to all units.
- Additional outdoor amenity space (10% of the site area) as per the City Centre Amenity Space Provisions in the City Centre Area Plan is provided as a walkway and landscaped areas throughout the site.
- The required garbage, recycling and organic waste storage enclosures have been incorporated into the design of the west building to minimize the visual impact of these enclosures.

### ***Architectural Form and Character***

- The proposed building design is compatible to the adjacent townhouse development to the north and south. The applicant advised that the immediate multiple-family neighbourhood is comprised of a very eclectic mix of residential revival style. The proposed design has adapted an English Colonial Revival style.
- A pedestrian scale is generally achieved along the public streets and internal drive aisle through the inclusion of variation in building projections, recesses, entry porches, varying material/colour combinations, landscape features, and the use of individual unit entrances.
- Individuality of dwelling units is expressed visually by a dominant gable form for each unit's façade, and provided with a clearly separate main entry door/canopy/stoops.
- The overall appearance of the proposal conforms to the Design Permit Guidelines of the South McLennan area and should fit in well with the character of the surrounding area.
- The proposed building materials (Hardie plank cedarmill siding, Hardie shingle siding, fiberglass asphalt roof shingles, and wood trim/braces) are generally consistent with the Official Community Plan (OCP) Design Permit Guidelines and compatible with the character of the surrounding neighbourhood.
- The proposed gray/off-white colour scheme with heavy shingled cladding component will make this project stand out (rather than blend in) from the beige/brown/white trim colour scheme with horizontal siding and limited shingle accent, giving variety to the streetscape.

### ***Landscape Design and Open Space Design***

- Tree preservation was reviewed at rezoning stage. Based on the 2:1 tree replacement ratio goal stated in the OCP, 12 replacement trees are required for the removal of six trees. The applicant is proposing to plant 17 new trees on-site, including 9 conifers and 8 deciduous trees.
- Three trees on neighbouring properties are to be retained and protected. The applicant has submitted a tree protection plan showing the trees to be retained and the measures taken to protect them during development stage.

- Along Garden City Road, the front yards will be landscaped with layers of plantings, including flowering trees, shrubs, grasses and ground covers.
- Each unit will have a private yard with landscaping and a patio. The rear units will have rear lawn areas as well.
- The internal drive aisle will be paved in two colours of interlocking pavers, with columnar trees planted between garage doors.
- The outdoor amenity area is designed with a nature theme, incorporating flowering trees, shrubs, and climbing vines as natural features. A cedar pergola feature is also proposed to frame the entry to the children's play area.
- The play apparatus proposed is small in scale and is suitable for children from six months to four years of age. This includes a colorful lady bug, mushroom play pods, and a rustic seat. Soft rubberized paver tiles are proposed for the surfacing of the children's play area.
- Project signage will be provided along the Garden City Road frontage by the entry walkway and a directional sign will be provided at the vehicle entrance of 7733 Turnill Road.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$36,060 in association with the Development Permit.
- Indoor amenity space is not proposed on-site. A \$1,000 per unit cash-in-lieu contribution (\$4,000 in total) has been secured as a condition of rezoning approval, consistent with the OCP.

### ***Crime Prevention Through Environmental Design***

- Unit end wall windows at 2<sup>nd</sup> floor levels will be provided for passive surveillance, especially at the pedestrian walkway from the internal drive aisle to Garden City, the visitor parking space (along south property line), as well as outdoor amenity area (along north property line).
- Bollard lighting / night sensor lighting are provided along the pedestrian walkway.

### ***Sustainability***

- The applicant has committed to achieving an EnerGuide rating of 82 for the proposed townhouses and to pre-ducting all units for solar hot water heating.
- A Certified Energy Advisor has confirmed that the proposed townhouse units will be designed to achieve an EnerGuide rating of 82. The report prepared by the Energy Advisor is on file and will be utilized through the Building Permit review process to ensure these measures are incorporated in the Permit drawings.
- The developer also advises that the following sustainability features will be incorporated into the development:
  - Use of low-flow toilets, showers, and lavatories in all units;
  - Use of Energy Star appliances in all units
  - Use of fibre cement siding as main cladding material

***Accessible Housing***

- The proposed development includes two convertible units in the west building that are designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of these units will require installation of a vertical lift in the stacked storage space which has been dimensioned to allow for this in both units, if desired.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
  - stairwell hand rails;
  - lever-type handles for plumbing fixtures and door handles; and
  - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

**Conclusions**

The applicant has satisfactorily addressed staff's comments regarding conditions of adjacency, site planning and urban design, architectural form and character, and landscape design. The applicant has presented a development that meets applicable policies and Development Permit Guidelines, and fits into the existing context. The applicant has agreed to the list of Development Permit Considerations (signed concurrence on file) outlined in Attachment 2. On this basis, staff recommend support of this Development Permit application.



Edwin Lee  
Planner I

EL:rg

Attachment 1: Development Application Data Sheet  
Attachment 2: Development Permit Considerations



**DP 17-778607**

**Attachment 1**

Address: 7760 Garden City Road

Applicant: Interface Architecture

Earl Kim Wing Luk

Owner: Queenie Yu Yuk Law

Planning Area(s): South McLennan Sub-Area (City Centre)

Floor Area Gross: 721.1 m<sup>2</sup>

Floor Area Net: 501.9 m<sup>2</sup>

	Existing	Proposed
<b>Site Area:</b>	677.3 m <sup>2</sup>	644.4 m <sup>2</sup> (after road dedication)
<b>Land Uses:</b>	Single-Family Residential	Multiple-Family Residential
<b>OCP Designation:</b>	Neighbourhood Residential CCAP: General Urban T4 South McLennan Sub-Area Plan: Residential, Townhouse up to 3 storeys over 1 parking level, Triplex, Duplex, Single-Family, with 0.75 base FAR	No Change
<b>Zoning:</b>	Single Detached (RS1/F)	Town Housing (ZT49) - Moffatt Road, St. Albans Sub-Area and South McLennan Sub-Area (City Centre)
<b>Number of Units:</b>	1	4

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.78	0.78	none permitted
Lot Coverage:	Building: Max. 40%	40%	none
Setback – Front Yard:	Min. 6.0 m	6.04 m	none
Setback – Side Yard (north):	Min. 1.5 m	1.52 m	none
Setback – Side Yard (south):	Min. 1.5 m	1.73 m	none
Setback – Rear Yard (east):	Min. 4.57 m	3.07 m (ground floor) 4.57 m (2 <sup>nd</sup> and 3 <sup>rd</sup> floor)	<b>Variance Requested</b>
Height (m):	Max. 12 m or 3 storeys	12.0 m	none
Off-street Parking Spaces – Residential (R) / Visitor (V):	1.4 (R) and 0.2 (V) per unit	2 (R) and 0.25 (V) per unit	none
Off-street Parking Spaces – Total:	6 (R) and 1 (V)	8 (R) and 1 (V)	none
Standard Parking Spaces:	7	7	none



Small Car Parking Spaces:	None when fewer than 31 residential spaces are required on site	2 (surplus stalls)	none
Tandem Parking Spaces:	Permitted	4	none
Handicap Parking Spaces:	None when fewer than 3 visitor parking spaces are required	0	none
Bicycle Parking Spaces – Class 1 / Class 2:	1.25 (Class 1) and 0.2 (Class 2) per unit	1.5 (Class 1) and 0.25 (Class 2) per unit	none
Off-street Bicycle Parking Spaces – Total:	5 (Class 1) and 1 (Class 2)	6 (Class 1) and 1 (Class 2)	none
Amenity Space – Indoor:	Min. 70 m <sup>2</sup> or Cash-in-lieu	Cash-in-lieu	none
Amenity Space – Outdoor:	Min. 6 m <sup>2</sup> x 4 units = 24 m <sup>2</sup>	24 m <sup>2</sup> Min.	none



# City of Richmond

## Development Permit Considerations

Development Applications Department  
6911 No. 3 Road, Richmond, BC V6Y 2C1

**Address:** 7760 Garden City Road

**File No.:** DP 17-778607

**Prior to approval of the Development Permit, the developer is required to complete the following:**

1. Final adoption of the Zoning Amendment Bylaw 9682.
2. Receipt of a Letter of Credit for landscaping in the amount of \$36,060.00 (based on the costs estimate provided by a CSLA registered landscape Architect including 10% contingency).

**Prior to Building Permit Issuance, the developer must complete the following requirements:**

1. Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities, including building demolition, occurring on-site.  
Note: Should the applicant wish to begin site preparation work after third reading of the rezoning bylaw, but prior to final adoption of the rezoning bylaw, the applicant will be required to obtain a Tree Permit and submit a landscape security (i.e. \$3,000) to ensure the replacement planting will be provided.
2. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
3. Incorporation of accessibility, CPTED and sustainability measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
4. Enter into a Servicing Agreement\* for the design and construction of engineering infrastructure improvements. Works include, but may not be limited to:

Water Works:

- a. Using the OCP Model, there is 746.0 L/s of water available at a 20 psi residual at the Garden City Road frontage. Based on your proposed development, your site requires a minimum fire flow of 220.0 L/s.
- b. The Developer is required to:
  - Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm the development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage and Building designs.
- c. At Developers cost, the City is to:
  - Cut and cap the existing water service connection along the Garden City Road frontage.
  - Install a new water service connection complete with meter and meter box (to be placed on-site).

Storm Sewer Works:

- a. At Developers cost, the City is to:
  - Cut and cap the existing storm service connection at the northwest corner of the development site.
  - Cut and cap the existing storm service connection at the southwest corner of the development site.
  - Upgrade the existing storm service connection and IC, located along the Garden City Rd frontage.

Sanitary Sewer Works:

- a. At Developers cost, the City is to:
  - Cut and cap the existing sanitary service connection and remove the existing IC.
  - Install one new sanitary service connection complete with new IC within the existing SRW.

Initial: \_\_\_\_\_

Frontage Improvements:

- a. Developer to coordinate with BC Hydro, Telus and other private communication service providers:
  - To underground Hydro service lines.
  - When relocating/modifying any of the existing power poles and/or guy wires within the property frontages.
  - To locate all above ground utility cabinets and kiosks required to service the proposed development within the developments site. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the requirements and the locations for the above ground structures. If a private utility company does not require an above ground structure, that company shall confirm this via a letter to be submitted to the City.
- b. The Developer is required to:
  - Provide 2.0 m wide concrete sidewalk within the proposed 3 m wide PROP to connect the existing sidewalk both north and south ends.
  - Provide the sidewalk around the existing trees (if they are required to retain).
  - Provide grassed boulevard between existing road curb and the new sidewalk, and between the new sidewalk and east edge of the PROP SRW boundary.

General Items:

- a. Provide, prior to first SA design submission, a geotechnical assessment of preload and soil preparation impacts on the existing utilities fronting or within the development site, proposed utility installations, the adjacent developments and provide mitigation recommendations. The mitigation recommendations (if required) shall be incorporated into the first SA design submission or if necessary prior to pre-load.
  - b. Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
5. If applicable, payment of latecomer agreement charges associated with eligible latecomer works.
  6. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

**Note:**

- \* This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.  
All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.  
The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.
- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

Initial: \_\_\_\_\_

- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

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Signed

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Date



# City of Richmond

## Development Permit

No. DP 17-778607

To the Holder:                    Interface Architecture  
Property Address:                7760 Garden City Road  
Address:                            11590 Cambie Rd Unit 230  
    Richmond, BC V6X 3Z5

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1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to reduce the rear yard setback from 4.57 m to a minimum of 3.0 m.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #4 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$36,060.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

**Development Permit**  
**No. DP 17-778607**

To the Holder:                    Interface Architecture  
Property Address:                7760 Garden City Road  
Address:                            11590 Cambie Rd Unit 230  
    Richmond, BC V6X 3Z5

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8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.  
DAY OF                    ,                    .

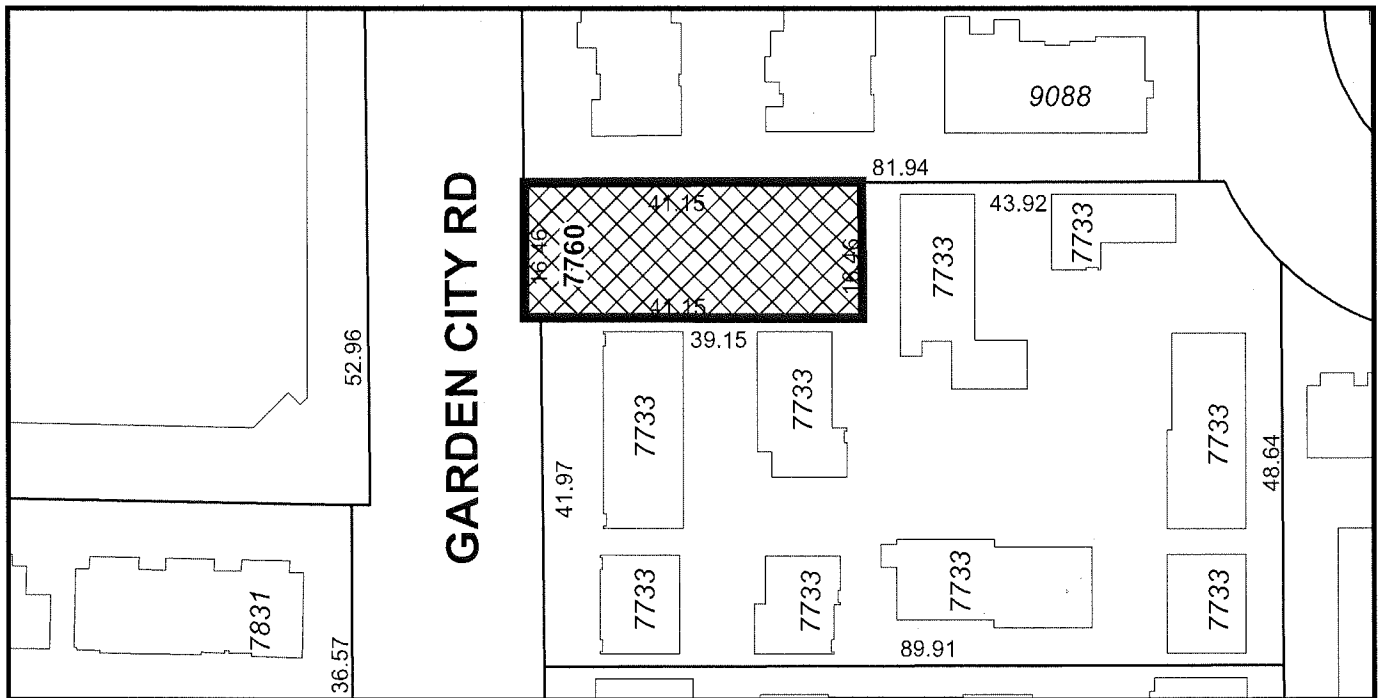
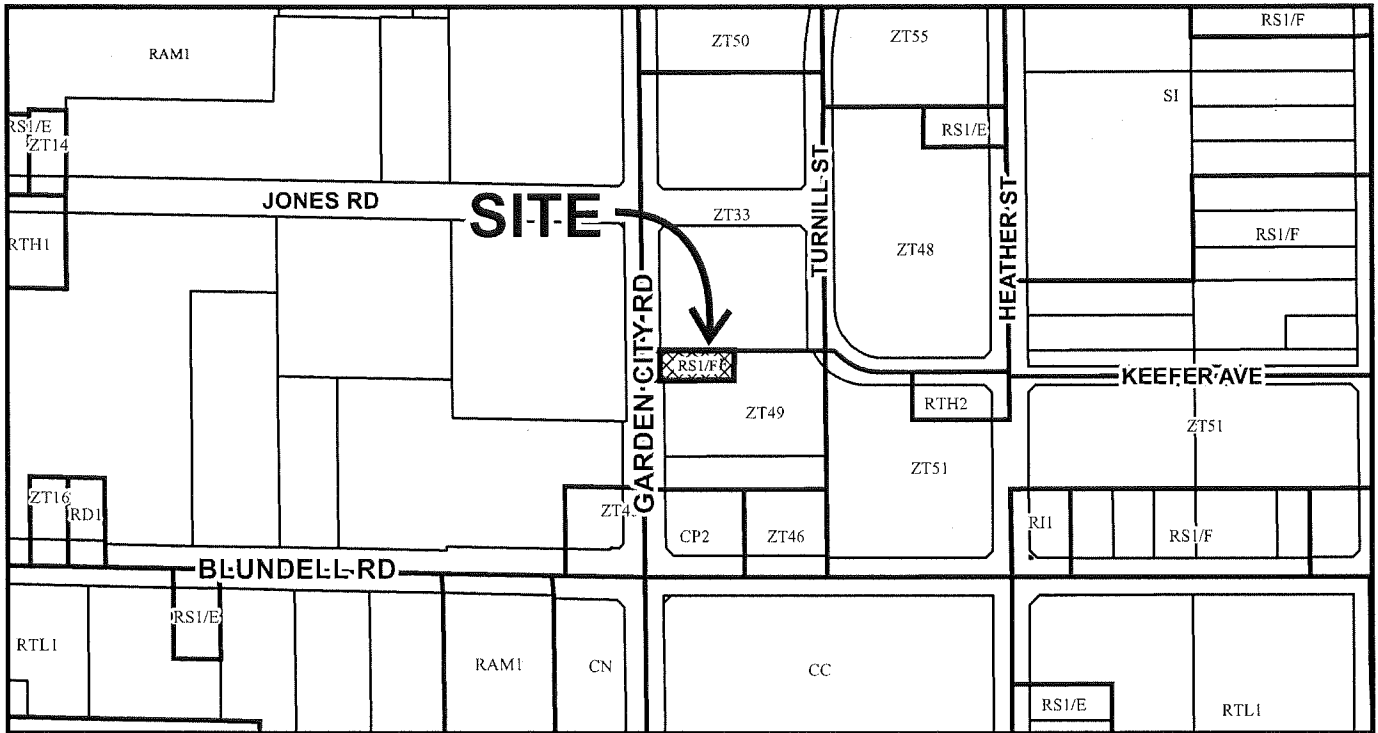
ISSUED BY THE COUNCIL, THE

DELIVERED THIS            DAY OF                    ,                    .

\_\_\_\_\_  
MAYOR



# City of Richmond



## DP 17-778607 SCHEDULE "A"

Original Date: 07/25/17

Revision Date:

Note: Dimensions are in METRES



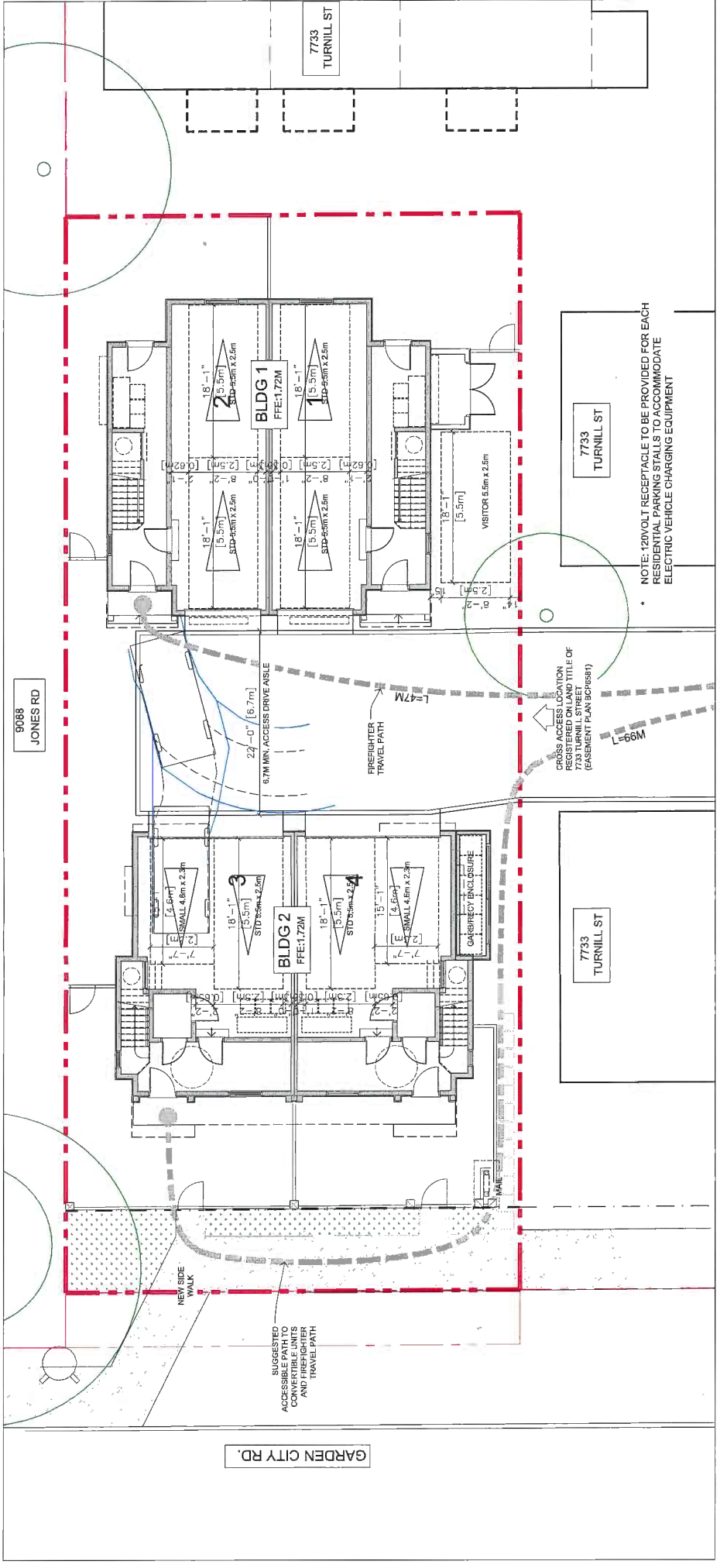


REVISIONS	DATE	DESCRIPTION
	DEC 13, 2017	DP Resubmission
	NOV 16, 2017	DP Resubmission
	OCT 19, 2017	DP Resubmission
	JUL 14, 2017	DP Application
	JAN 25, 2017	RZ Resubmission
	MAY 29, 2016	Issued for RZ Application
CONSULTANTS		

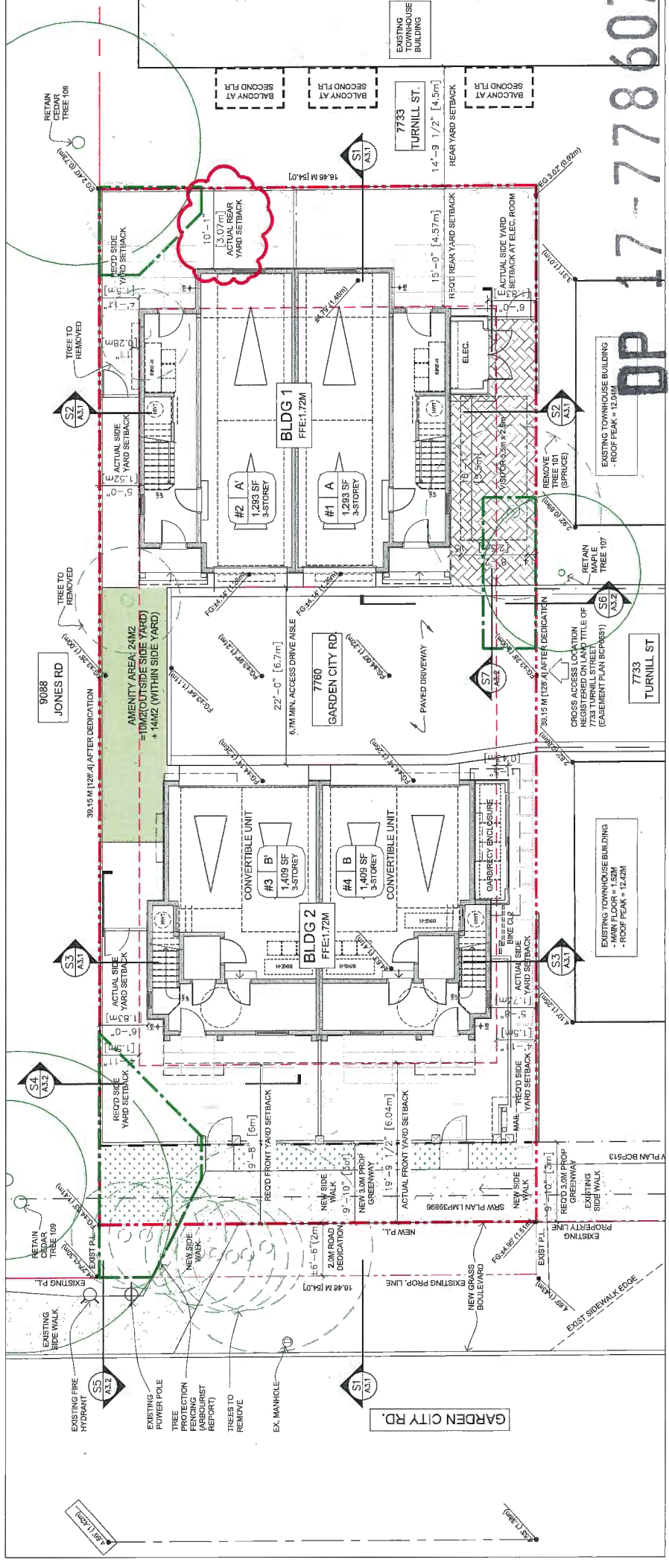
**INTERFACE:**  
 Suite 230  
 11590 Cambie Road  
 Richmond, BC  
 Canada V6X 3Z5  
 T 604 821 1162  
 F 604 821 1146  
 www.interfacearchitecture.com

PROJECT	Proposed 4-Unit Townhouse Development 7760 Garden City Road Richmond, B.C.
PROJECT NO.	1811
SCALE	As Noted
DATE	May, 05, 2014
DRAWN BY	KYC, SRS, AL
CHECKED BY	KYC
SHEET TITLE	SITE PLAN AND FIRE PROTECTION AND PARKING PLAN
DRAWING	

**A1.2**



**FIRE PROTECTION AND PARKING PLAN**  
 SCALE: 1/8"=1'-0"

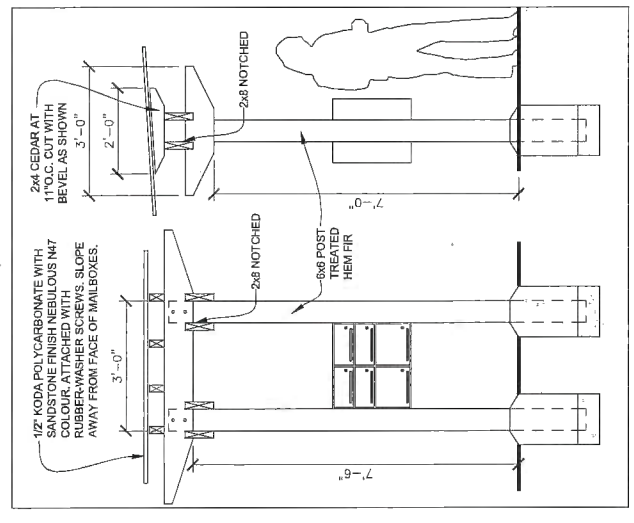


**PROPOSED SITE PLAN**  
 SCALE: 1/8"=1'-0"

DEC 19 2017

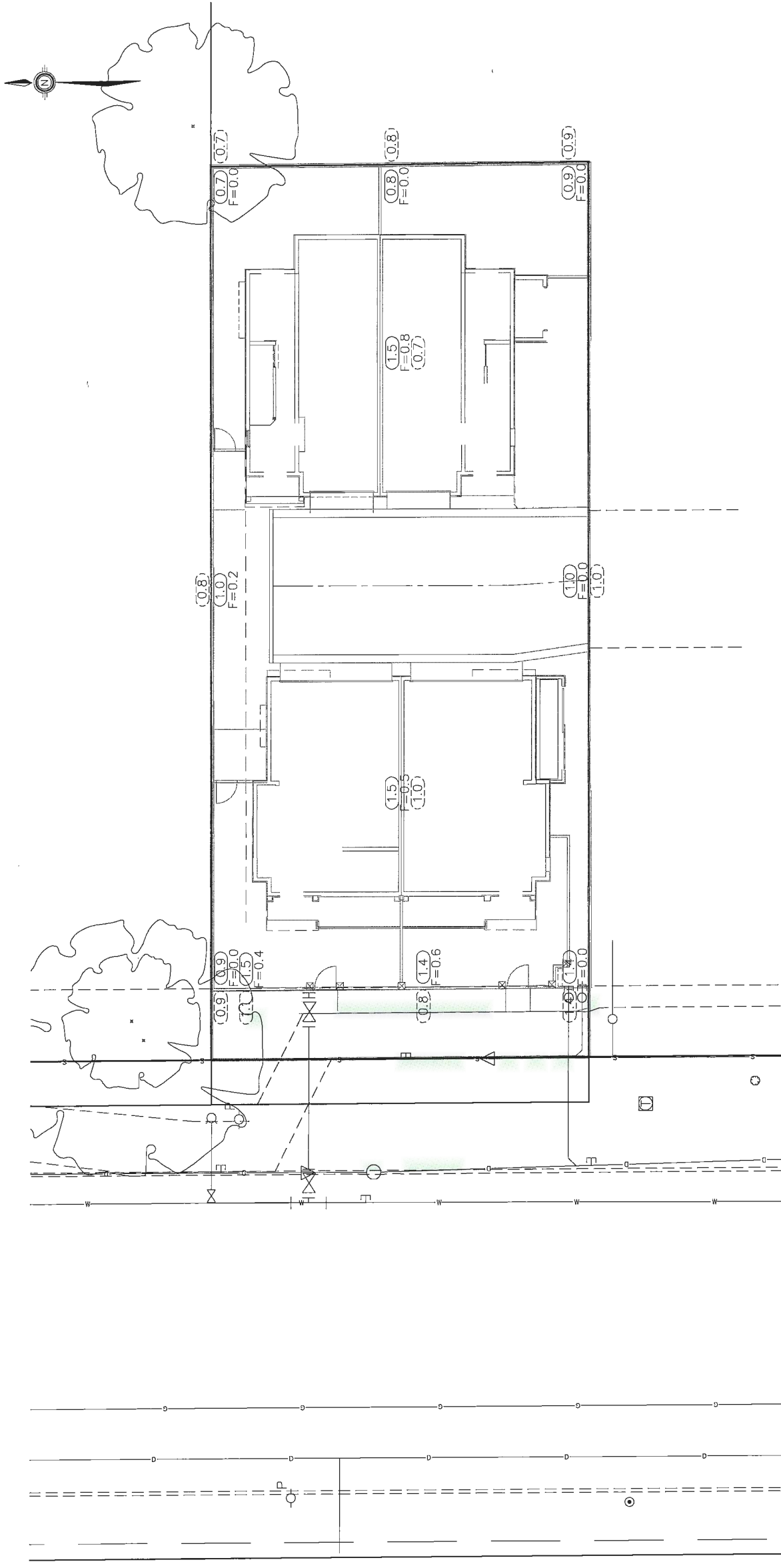
PLAN #2

OP 17-778607



**MAIL KIOSK DETAIL**  
 SCALE: 1/2"=1'-0"

# GARDEN CITY ROAD



- LOT GRADING NOTES:**
- ROADWORKS TO BE CONSTRUCTED IN ACCORDANCE WITH RICHMOND ENGINEERING DEPARTMENT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
  - PARKING AND DRIVEWAY AREAS TO BE CONSTRUCTED IN ACCORDANCE WITH ARCHITECTURAL AND LANDSCAPE DRAWINGS.
  - ALL ROAD ELEVATIONS ARE PAVEMENT ELEVATIONS.
  - FILL MATERIALS AND COMPACTION TO BE CONSTRUCTED IN ACCORDANCE WITH GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
  - OFFSITE WORKS ARE SHOWN FOR INFORMATION ONLY.
  - FOR PAVEMENT LOCATIONS AND DETAILS REFER TO ARCHITECTS DRAWINGS.
  - ELEVATIONS SHOWN AS THUS  $\text{CIT}$  ARE EXISTING ELEVATIONS.
  - ELEVATIONS SHOWN AS THUS  $\text{CIT}$  ARE PROPOSED ELEVATIONS.
  - FILL QUANTITIES ARE SHOWN THUS:  $F=0.25$  (SIGNIFIES REQUIRED FILL = 0.25m)
  - THIS PLAN IS A COMPILATION OF OTHER DRAWINGS. IF OTHER DRAWINGS TAKE PRECEDENCE, THE PLAN SHOWN HEREIN SHALL TAKE THE OTHER DRAWINGS TAKE PRECEDENCE.

PLAN #2A DEC 19 2017  
**DP 17-778607**

**PROVE ALL EXISTING ELEVATIONS AND LOCATIONS AND NOTIFY DS LEE ENGINEERING OF ANY DISCREPANCIES OR CONFLICTS BEFORE STARTING CONSTRUCTION.**

**B.C. GAS SERVICES**  
 THE DEVELOPER OR CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXISTING LOCATION OF GAS SERVICE LINES, AND WHERE NECESSARY, ARRANGE FOR THEIR RELOCATION IN ORDER TO FACILITATE INSTALLATION OF GAS SERVICE LINES. A LIST OF SOURCE LINE LOCATIONS MAY BE OBTAINED FROM:  
 B.C. GAS SERVICE RECORDS DEPARTMENT  
 TELEPHONE: 293-8532

**NOTE:** B.C. GAS REQUIRES 10 DAYS NOTICE PRIOR TO THE COMMENCEMENT OF ANY WORK.

**NOTES:**

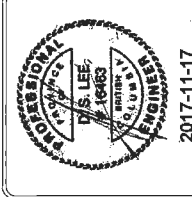
ALL ELEVATIONS ARE TO GEODETIC ORDN AND REFER TO RICHMOND BENCHMARK NUMBER: 06M 2744492  
 LOCATED AT THE INTERSECTION OF JONES STREET AND GARDEN CITY ROAD  
 ELEVATION: 1.073 METRES

ALL MATERIALS AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE RICHMOND ENGINEERING DEPARTMENT STANDARDS AND SPECIFICATIONS AND THE CURRENT CITY OF RICHMOND SUPPLEMENTARY SPECIFICATIONS AND DETAIL DRAWINGS, UNLESS OTHERWISE NOTED.

**DS Lee Engineering**  
 100 - 21320 GORDON WAY, RICHMOND, BC 604-276-2555

**Incircle Projects Ltd.**  
 DS Lee Project No. 980-2  
 DWG. No. 1 OF 1

REV#	DATE	BY	CHK	ISSUED FOR	DESCRIPTION	REVISIONS
D.	11 NOV 2017	ML	DSL	ML	ISSUED FOR DP	



**City of Richmond**  
 8911 No. 3 Road Richmond B.C. V6Y 2C1

**DP LOT GRADING PLAN**  
 7760 Garden City Road

CITY FILE: SA - - - - -

DESIGN: ML	DWG. No.: - - - - -	DATE: - - - - -
ISSUED: ML	CHECKED: DS Lee	SCALE: 1:100
DATE: - - - - -	ENGINEER: DS Lee	SEC. No.: 15-4-6
SHT. No.: 1 of 1		

DP 17-778607  
PLAN #3

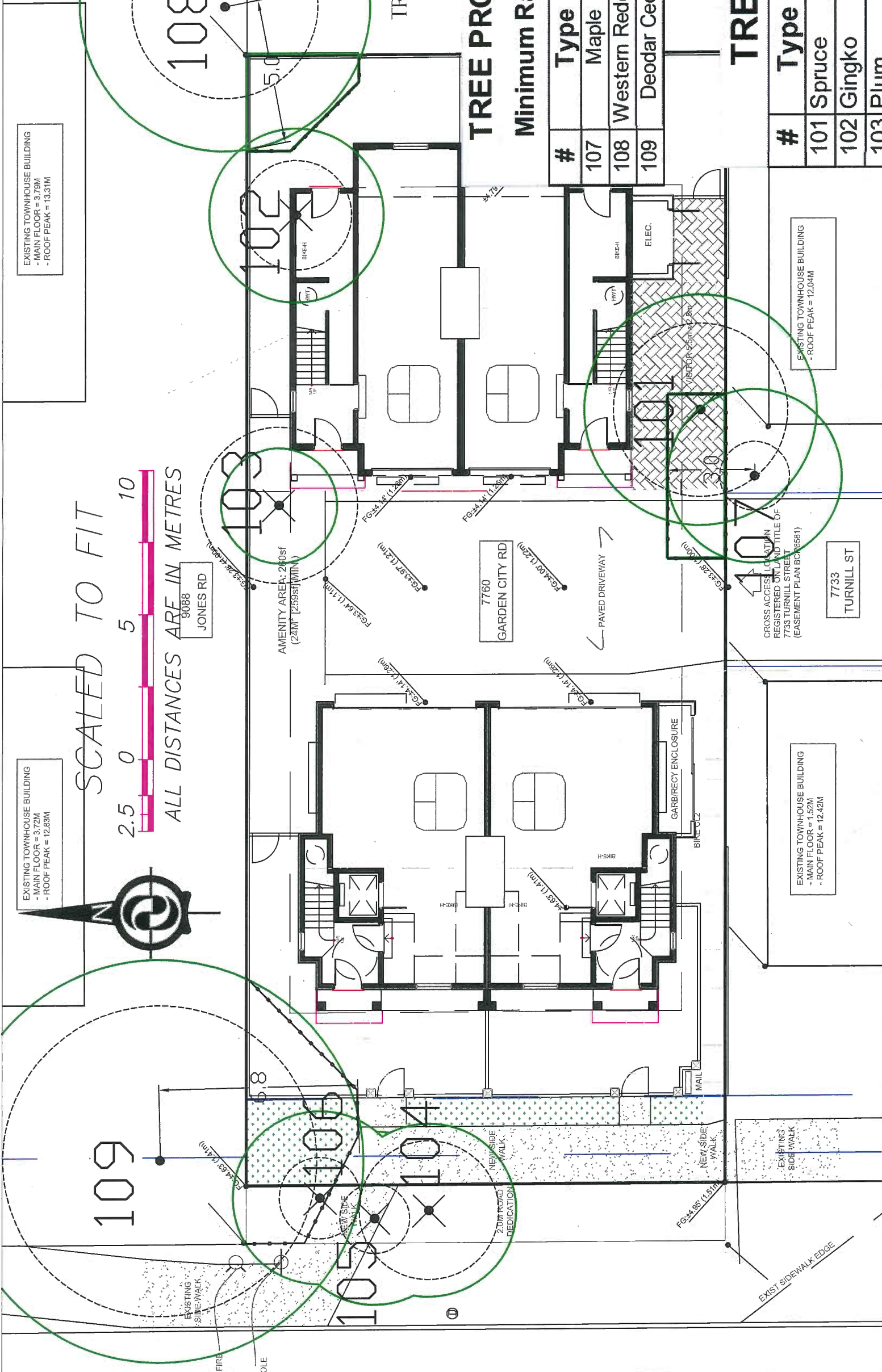
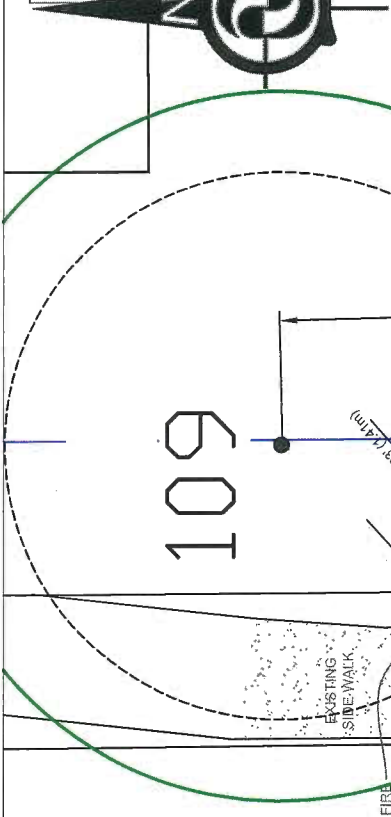
DEC 19 2017

SCALED TO FIT



ALL DISTANCES ARE IN METRES

EXISTING TOWNHOUSE BUILDING  
- MAIN FLOOR = 3.72M  
- ROOF PEAK = 12.83M



APPENDIX 3  
TREE PROTECTION PLAN

TREE PROTECTION FENCING  
Minimum Radial Distance from trunk

#	Type	DBH	Metres	Feet
107	Maple	20cm	3.0m	9.8ft
108	Western Redcedar	45/30cm	4.0m	13.1ft
109	Deodar Cedar	85/39cm	7.0m	23.0ft

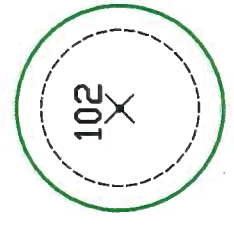
TREE INVENTORY

#	Type	Action	DBH	MPZ
101	Spruce	Remove	50cm	3.0m
102	Ginkgo	Remove	32cm	1.9m
103	Plum	Remove	45cm	2.7m
104	Excelsa	Remove	30/20cm	2.4m
105	Excelsa	Remove	20cm	1.2m
106	Excelsa	Remove	22cm	1.3m
107	Maple	Retain	20cm	1.2m
108	Redcedar	Retain	45/30cm	3.2m
109	Deodar Cedar	Retain	85/39cm	5.4m
DBH- trunk diameter, MPZ- protection zone				

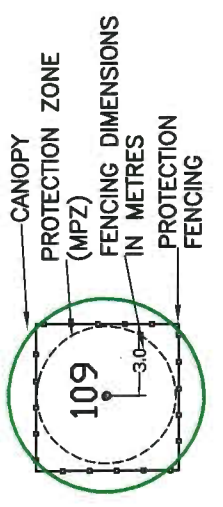
Froglers Creek  
Tree Consultants Ltd  
7763 McGregor Avenue Burnaby BC V5J 4H4  
Telephone: 604-721-6002 Fax: 604-437-0870  
7760 Garden City Road Richmond  
TREE PROTECTION PLAN  
THE DRAWING PLOTS ALL TREES, PROPOSED FOR RETENTION, REMOVAL, THEIR CANOPIES, PROTECTION ZONES AND PROTECTION FENCING IN RELATION TO PROPOSED LAYOUT  
DRAWN BY: GM  
October 12, 2017

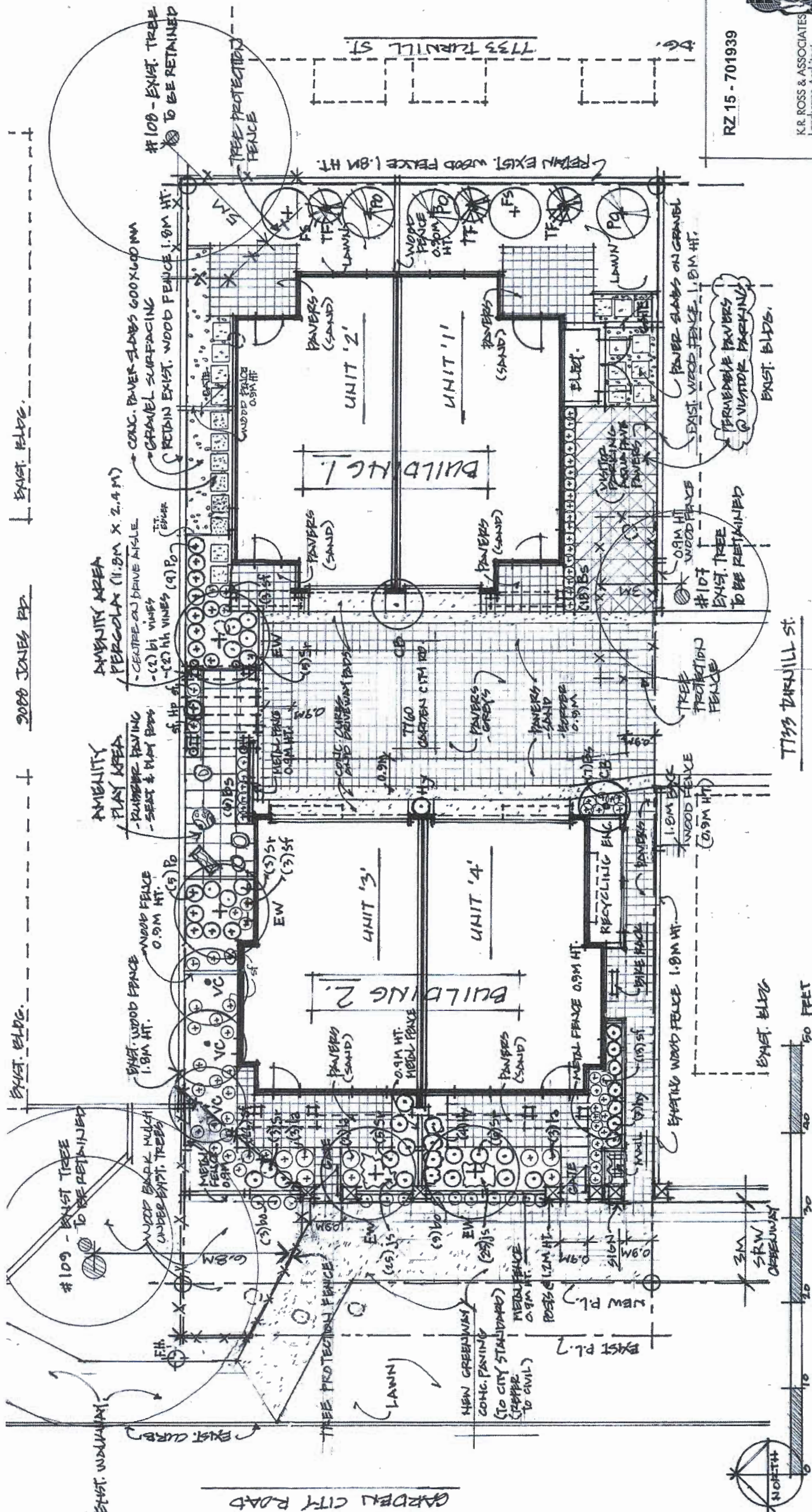
- NOTES:
- SITE LAYOUT INFORMATION AND TREE SURVEY DATA PER SUPPLIED DRAWING
  - REFER TO ATTACHED TREE PROTECTION REPORT FOR INFORMATION CONCERNING TREE SPECIES, STEM DIAMETER, HEIGHT, CANOPY SPREAD AND CONDITION.
  - ALL MEASUREMENTS ARE METRIC

LEGEND  
TREE PROPOSED FOR REMOVAL



TREE PROPOSED FOR RETENTION



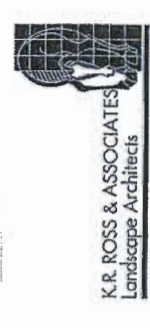


**Landscape Plan**  
3/16" = 1'-0"

OP 17-778607  
PLAN # 3A

DEC 19 2017

RZ 15 - 701939



7760 GARDEN CITY ROAD  
4-UNIT RESIDENTIAL DEVELOPMENT  
Richmond, B.C.

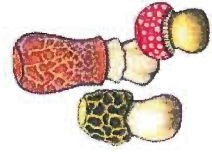
DRAWING TITLE	
LANDSCAPE PLAN	
DESIGNED	FR.
DRAWN	HR.
SCALE	AS SHOWN
DATE	13 DEC 2017
DRAWING NO.	L-1



**Seat**



**Play - Ladybug**

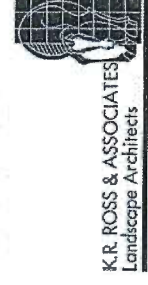


**Play - Pods**



**Bike Rack**

RZ 15 - 701939



7760 GARDEN CITY ROAD  
4-UNIT RESIDENTIAL DEVELOPMENT  
Richmond, B.C.

DRAWING TITLE	
PLAN # 3a	
LANDSCAPE PLAN & DETAILS	
DESIGNED BY	DATE
SCALE	DATE
DATE	DATE
DRAWING NO.	DRAWING NO.
L-2	

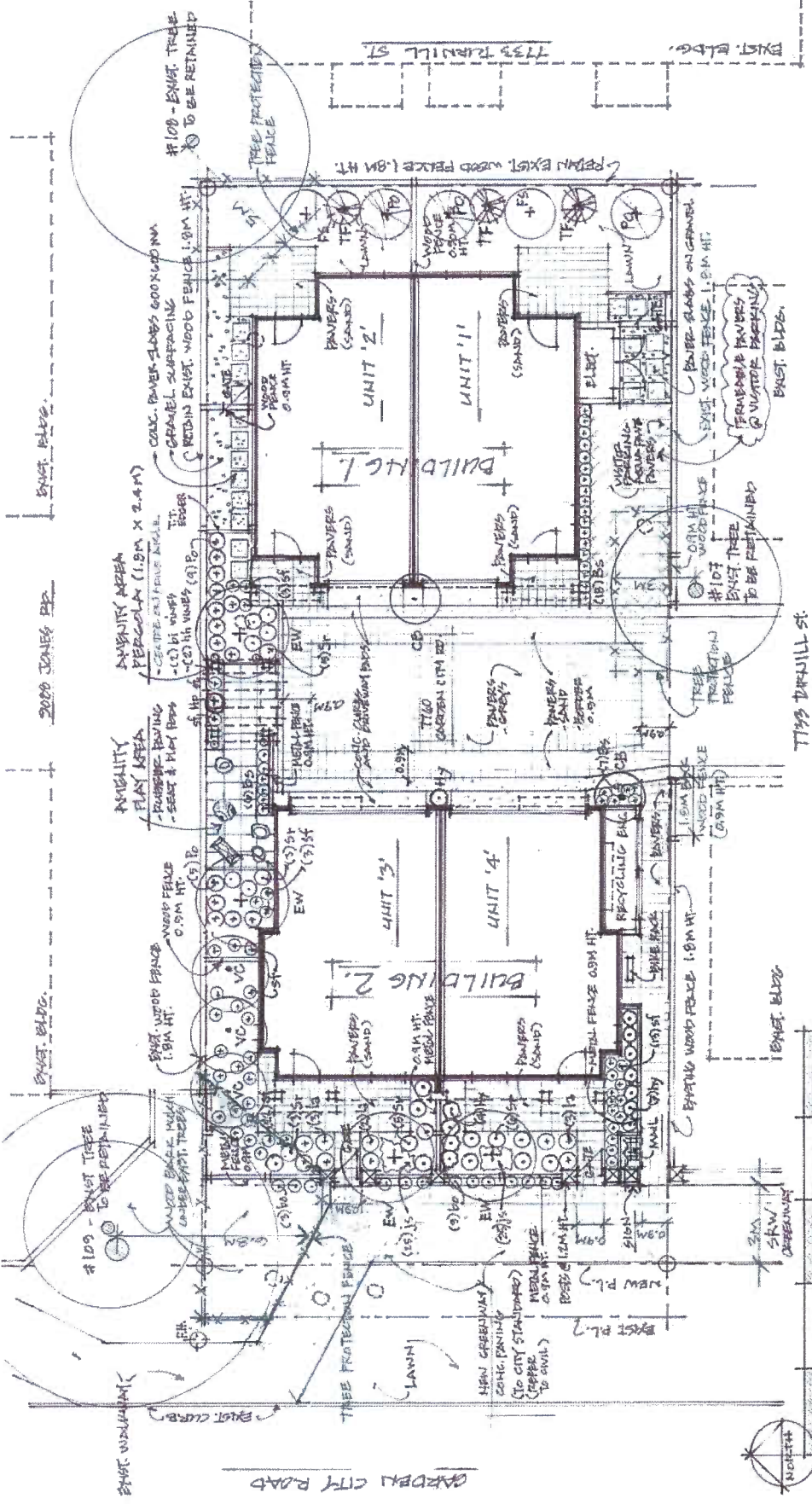
PLAN # 3B  
DEC 19 2017

**PROJECT NOTES**

- Locate all underground and overhead utilities on site prior to start of work.
- Refer to Architectural/Structural Plans to confirm final grades and site drainage.
- Provide underground ducts under paved areas for irrigation as required.
- All landscape materials, products, and installation to conform to the latest edition of the "BC Landscape Standard".
- All planting beds to have 2" deep warty on all plant material and lawns.
- All planting beds to have 2" deep warty on all plant material and lawns.
- All lawn areas to be nursery sod on 6" deep approved topsoil.
- All lawn areas to be nursery sod on 6" deep approved topsoil.
- Refer to Arborist Report for existing trees to be protected and required tree protection measures.
- Tree Protection Fencing to be installed prior to construction and maintained until project completion.
- No work shall be carried out within the root protection zone except under the direct supervision and control of the Project Arborist.
- Concrete Unit Pavers: to be "Ole County Stone" supplied by Abbotsford Concrete Products (or approved equal).
- For all vehicular areas use 80mm depth pavers, "Gray Blend" and "Desert Sand Blend" colours - as per landscape plan layout.
- Pattern: "Random Offset Runner". For edge borders use single colour standard pavers in soldier course. Install as per manufacturer's specifications - complete with invisible edge restraints to approval.
- Permeable Concrete Unit Pavers: "AQUA-PAVE" supplied by Abbotsford Concrete Products (or approved equal). "Grays Blend" colours. Install as per manufacturer's specifications - complete with invisible edge restraints.
- Precast Concrete Slabs: 24" x 24" x 2" hydra-pressed slabs by Abbotsford Concrete Products (or approved equal). Natural colour.
- Gravel Areas: to be 3/4" diameter crushed granite stone to approval. Install 4" deep on approved weed barrier fabric. Install treated lumber wood edging (2 x 6") as required - to approval.
- Rubberized Play Surfacing: 24" x 24" tiles product by "DYNOLIX" (or approved equal). Colours: brown "Stone Beige" with green "Forest Green" in checkerboard pattern at amenity area. Install as per manufacturer's specifications. Use galvanized and/or stainless steel hardware (nails, screws, latches, hinges, fittings, etc.) to provide rust proof connections.
- Wood fence posts and pergola posts to be preservative treated and installed in concrete footings - or approved metal anchor systems.
- SITE FURNISHINGS:**
  - Bike Rack: Blue Imp "CAAT" Rack. Model BR-1417/1418 (1 required).
  - Bench: Blue Imp "Log Bench" Model PK-201201B (4ft. long), 1 required.
  - Play Toy: Blue Imp "Ladybug" Model CN-918 (1 required).
  - Play Toy: Blue Imp "Mushroom Pods" Model PH-111.
  - Mixed sizes (3 required).
  - Supplier: Blue Imp Playground products supplied by Swing Time Distributors, North Vancouver, BC Ph. 604-990-9187.
  - Install all site furnishings per manufacturer's specifications.

**PLANT LIST**

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
AC	3	Acer crinitatum	Vine Maple	1.8M H Multi-stem
CB	2	Carpinus betulus Frans Fontaine	Frans Fontaine	5.0cm cal Columnar
EW	4	Edulis White Blend	Edulis White Blend	8cm cal. B&B
FS	2	Fagus sylvatica Davyall	Davyall Beech - Green	8cm cal. B&B
PO	3	Picea omopita	Sentian Spruce	3.5M Ht. B&B
TF	3	Thuja occidentalis 'Fastigiate'	Pyramidal Cedar	2.0M Ht. B&B
SHRUBS				
Bs	31	Buxus sempervirens	Common Boxwood	#2 pot. 30cm o.c.
Hp	1	Hydrangea petiolaris	Climbing Hydrangea	#3 pot
Po	14	Prunus laurocerasus 'Otto Luyken'	Otto Luyken	#3 pot
Sr	22	Spiraea bumalda	Goldflame Spiraea	#3 pot
Ht	12	Taxus x media 'Hickii'	Hick's Yew	1.2M Ht. B&B
PERENNIALS				
Bo	13	Heliotrichon sempervirens	Blue Out Grass	#3 pot
Js	50	Pachysandra terminalis	Japanese Spurge	10cm pot. 30cm o.c.
La	8	Lavandula angustifolia 'Hidcot'	English Lavender	#3 pot
Sf	43	Polystichum munium	Sword Fern	#2 pot. 45cm o.c.
CLIMBING VINES				
Hh	2	Hedera japonica	Hall's Honeysuckle	#3 pot
Pa	2	Panicum paraguayense	Boston Ivy	#3 pot

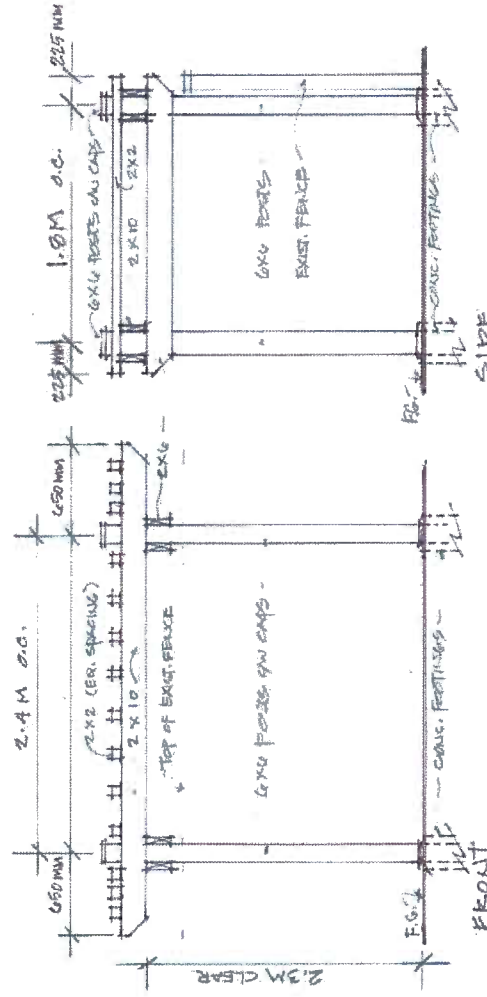


**Landscape Plan**

1/8" = 1'-0"

**REPLACEMENT TREES TABLE**

Existing Trees to be Removed =	6 trees
Required Replacement Trees =	12 trees (including 50% of replacement trees to be existing trees to be removed)
Proposed Replacement Trees =	12 trees



**Pergola Feature at Amenity**

1/2" = 1'-0"

**Stone Post Feature**

1/2" = 1'-0"

**Sign Post**

(1.2M HT.)

**Metal Fence - 3ft Ht.**

1/2" = 1'-0"

DP 17-778607

REVISIONS
DEC-13, 2017 DP Resubmission
NOV-18, 2017 DP Resubmission
OCT-18, 2017 DP Resubmission
JUL-14, 2017 DP Application
JAN-23, 2017 R2 Resubmission
MAY-29, 2015 Issued for R2 Application
CONSULTANTS

INTERFACE:  
 Suite 230  
 11590 Cambie Road  
 Richmond BC  
 Canada V6X 3Z5  
 T 604 821 1162  
 F 604 821 1166  
 www.interfacearchitecture.com

PROJECT  
 Proposed 4-Unit  
 Townhouse Development  
 7760 Gairden City Road  
 Richmond, B.C.

PROJECT NO.  
 1811

SCALE  
 As Noted

DATE  
 May, 05, 2014

DRAWN BY  
 KYC, SRS, AL

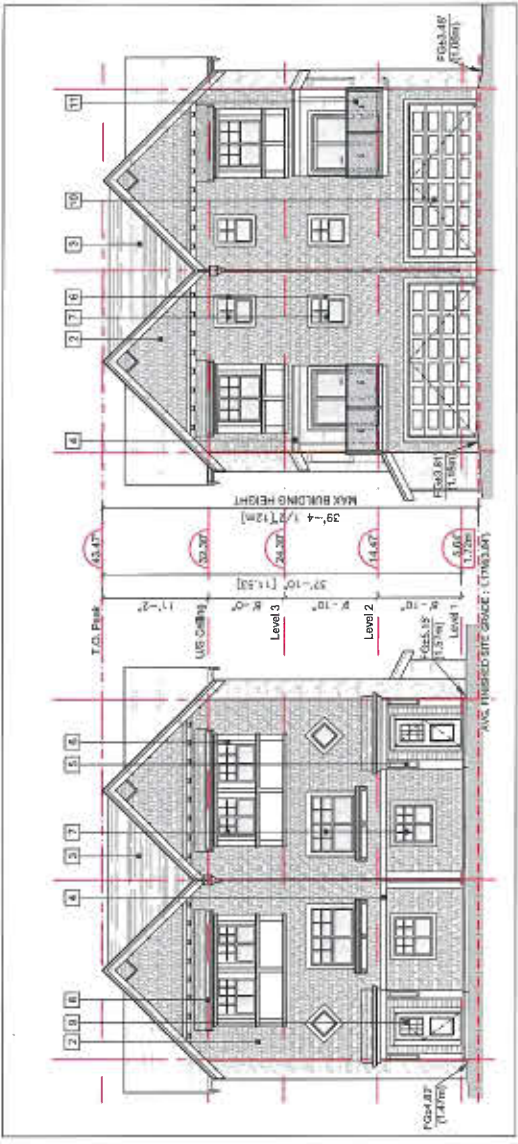
CHECKED BY  
 KYC

SHEET TITLE  
 ELEVATIONS:  
 BUILDINGS 1, 2

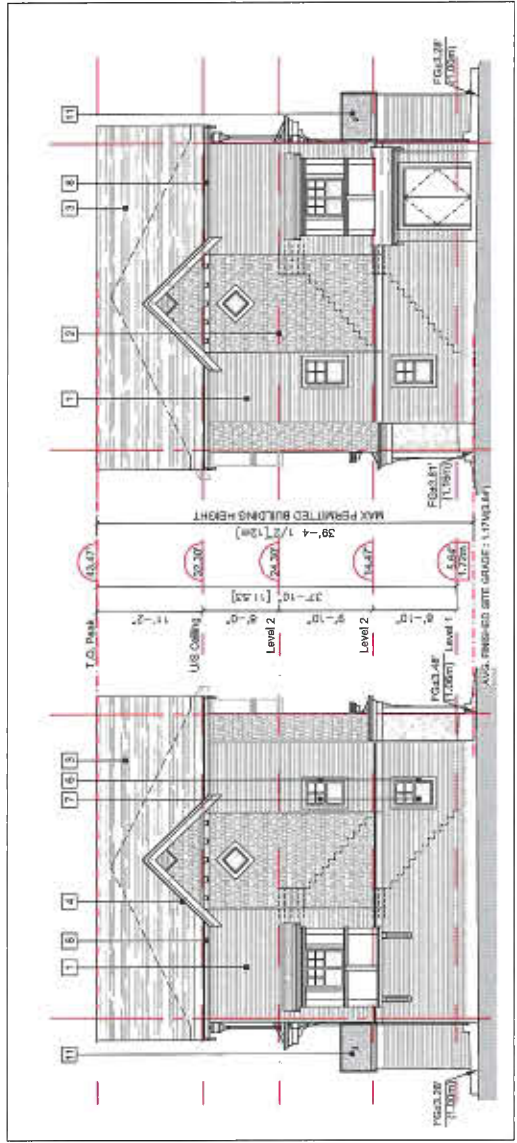
DRAWING  
**A2.3**



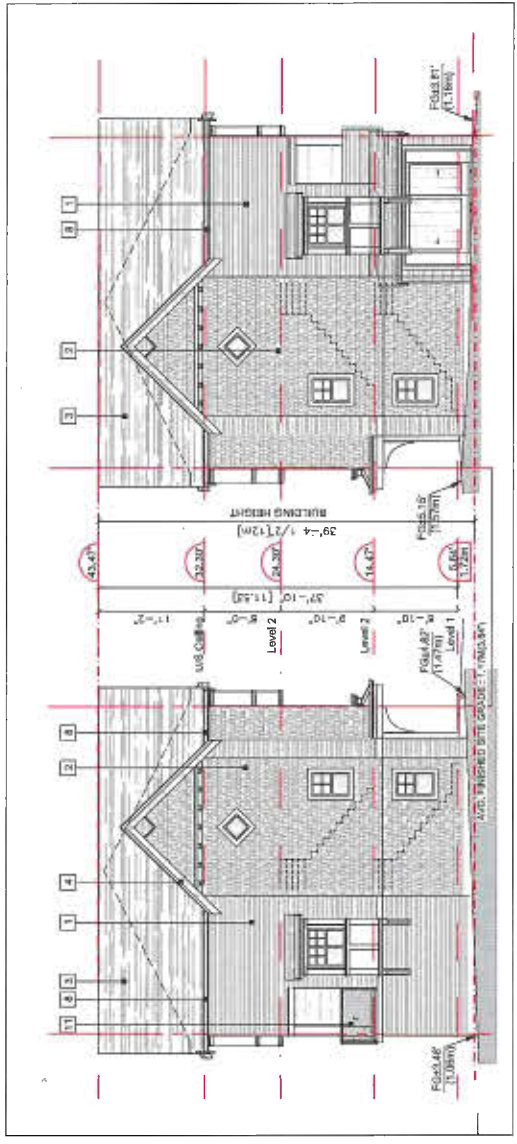
ELEVATION: BUILDING 1 - DRIVE AISLE (WEST)  
 SCALE: 1/8"=1'-0"



ELEVATION: BUILDING 2 - DRIVE AISLE (EAST)  
 SCALE: 1/8"=1'-0"



ELEVATION: BUILDING 1 - REAR (EAST)  
 SCALE: 1/8"=1'-0"



ELEVATION: BUILDING 2 - GARDEN CITY RD. (WEST)  
 SCALE: 1/8"=1'-0"



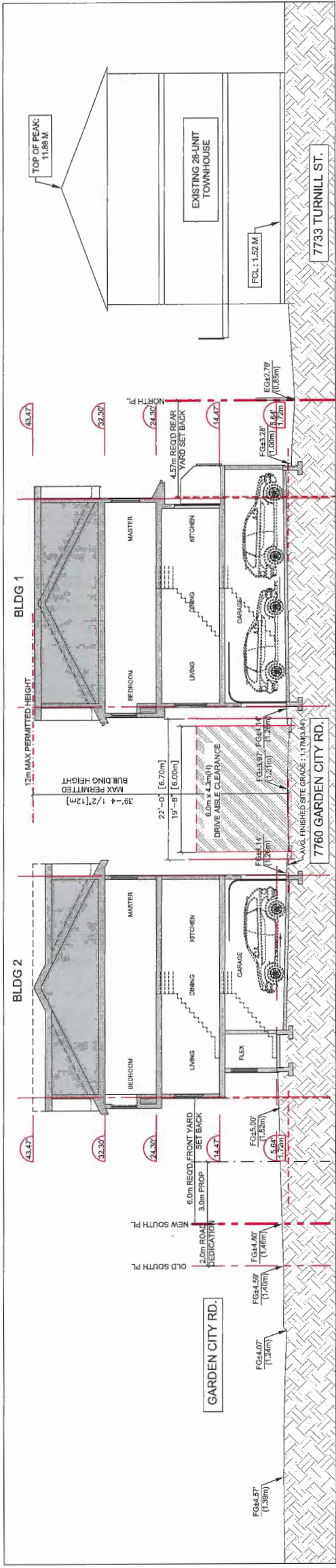
PLAN #4 STREET SCAPE - GARDEN CITY ROAD  
 SCALE: 1/8"=1'-0"

EXTERIOR FINISHES	
1	HORIZONTAL HARDIE PLANK CEDAR/MILL SIDING Colour: BM HC-167 (Amherst Grey)
2	CEDAR OR HARDIE SHINGLE SIDING Colour: BM CC-80 (Grey Mist)
3	FIBERGLASS ASPHALT ROOF SHINGLES Colour: Charcoal (Multicolour, Textured)
4	2x8 WOOD TRIM BOARD - PAINTED Colour: BM CC-40 (Chalk White)
5	8" DECORATIVE WOOD BRACES Colour: BM CC-40 (Chalk White)
6	2x6 WINDOW TRIM BOARD - PAINTED Colour: BM CC-40 (Chalk White)
7	VINYL-FRAMED DOUBLE-GLAZED WINDOWS Vinyltek or Equivalent, Colour: Strand Ivory
8	ALUMINUM FASCIA GUTTER Colour: BM HC-166 (Kendall Charcoal)
9	ENTRY SOLID WOOD DOOR WITH SIDELIGHT Door Colour: BM 2122-70 (Snow White)
10	OVERHEAD WOOD PANEL GARAGE DOOR Colour: BM 2122-70 (Snow White)
11	METAL & GLASS GUARDRAIL Colour: Black Metal and Frosted glass

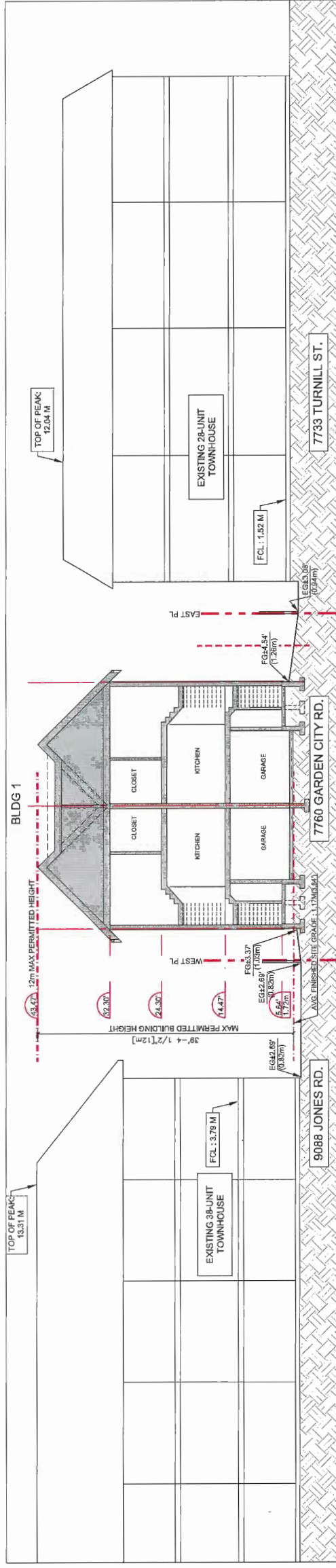
REVISIONS
DEC-13, 2017 DP Presentation
NOV-16, 2017 DP Presentation
OCT-19, 2017 DP Presentation
JUL-14, 2017 DP Application
JAN-25, 2017 RZ Presentation
MAY-29, 2015 Issued for RZ Application
CONSULTANTS

INTERFACÉ  
 Suite 230  
 11590 Cambie Road  
 Richmond, B.C.  
 Canada V6X 3Z5  
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 F 604 821 1163  
 www.interfacearchitecture.com

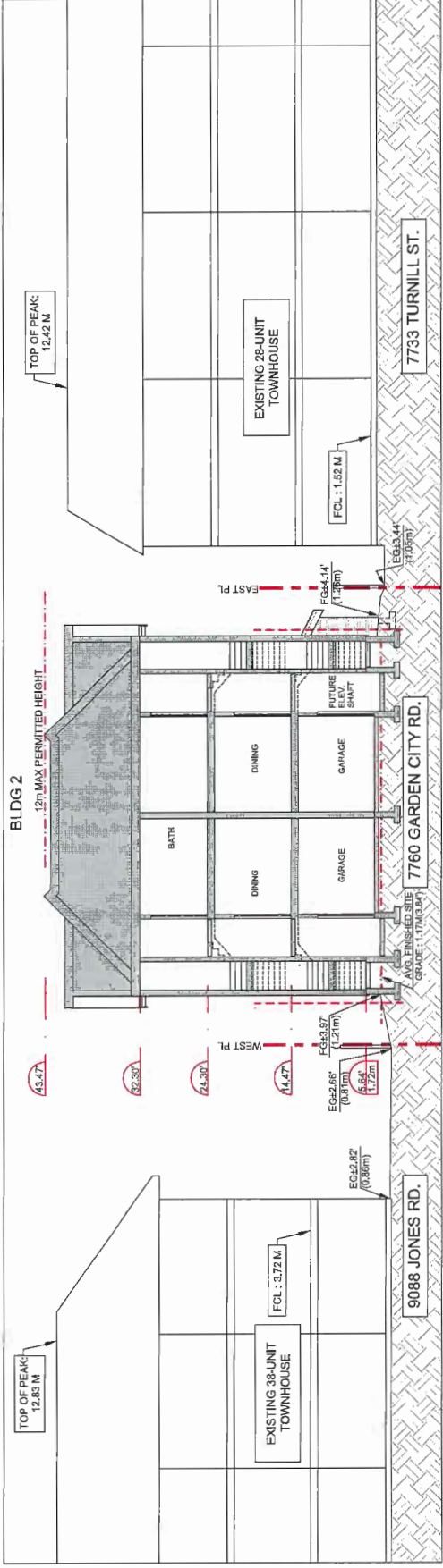
PROJECT	Proposed 4-Unit Townhouse Development 7760 Garden City Road Richmond, B.C.
PROJECT NO.	1511
SCALE	As Noted
DATE	May, 05, 2014
DRAWN BY	KYC, SRS, AL
CHECKED BY	KYC
SHEET TITLE	SITE SECTIONS - S1, S2, S3
DRAWING	A3.1



SITE SECTION S1  
 SCALE: 1/8"=1'-0"



SITE SECTION S2  
 SCALE: 1/8"=1'-0"



SITE SECTION S3  
 SCALE: 1/8"=1'-0"

Lot	1.51	0.92	0.71	1.41	4.55 m
BLDG 1	1.16	1.00	1.00	1.06	4.22 m
BLDG 2	1.57	1.16	1.06	1.47	5.28 m
AVERAGE FINISHED SITE GRADE					14.03 m
CALCULATION					1.17 m [3.84']

DP 17-778607  
 PLAN # 4A  
 DEC 19 2017

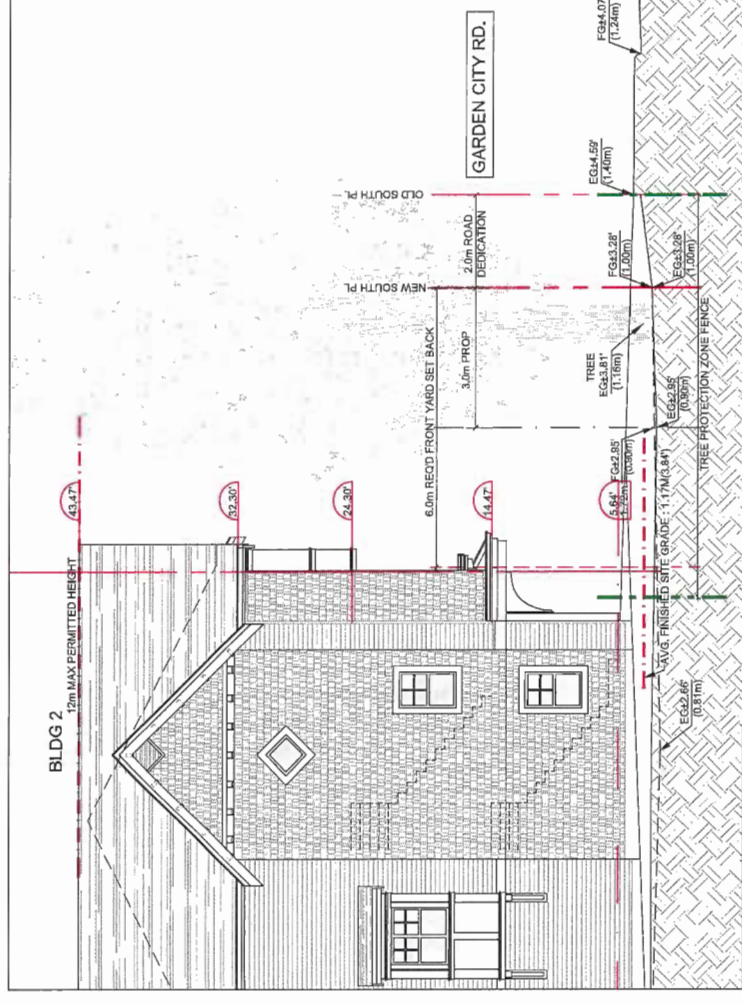
REVISIONS
DEC 13, 2017 DP Resubmission
NOV 18, 2017 DP Resubmission
OCT 18, 2017 DP Resubmission
JUL 14, 2017 DP Application
JAN 25, 2017 RZ Resubmission
MAY 28, 2015 Issued for RZ Application
CONSULTANTS

All heights are based on a finished site grade and are not to be construed as a guarantee of height. The drawing is not to be used for any other purpose without the written consent of the author. The drawing is not to be used for any other purpose without the written consent of the author. The drawing is not to be used for any other purpose without the written consent of the author.

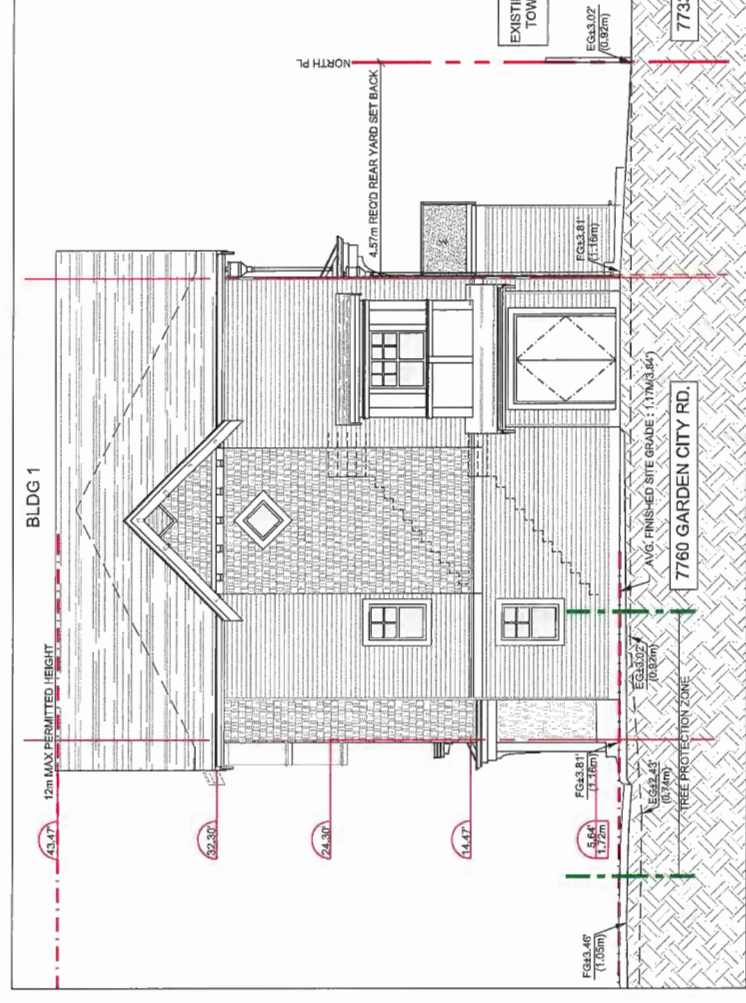
**INTERFACE:**  
 Suite 210  
 11580 Cambie Road  
 Richmond BC  
 Canada V6X 3Z5  
 T 604 821 1162  
 F 604 821 1146  
 www.interfacestructure.com

PROJECT	Proposed 4-Unit Townhouse Development 7786 Garden City Road Richmond, B.C.
PROJECT NO.	1811
SCALE	As Noted
DATE	May 05, 2014
DRAWN BY	KYC, SES, AL
CHECKED BY	KYC
SHEET TITLE	SITE SECTIONS - S4, S5, S6, S7
DRAWING	A3.2

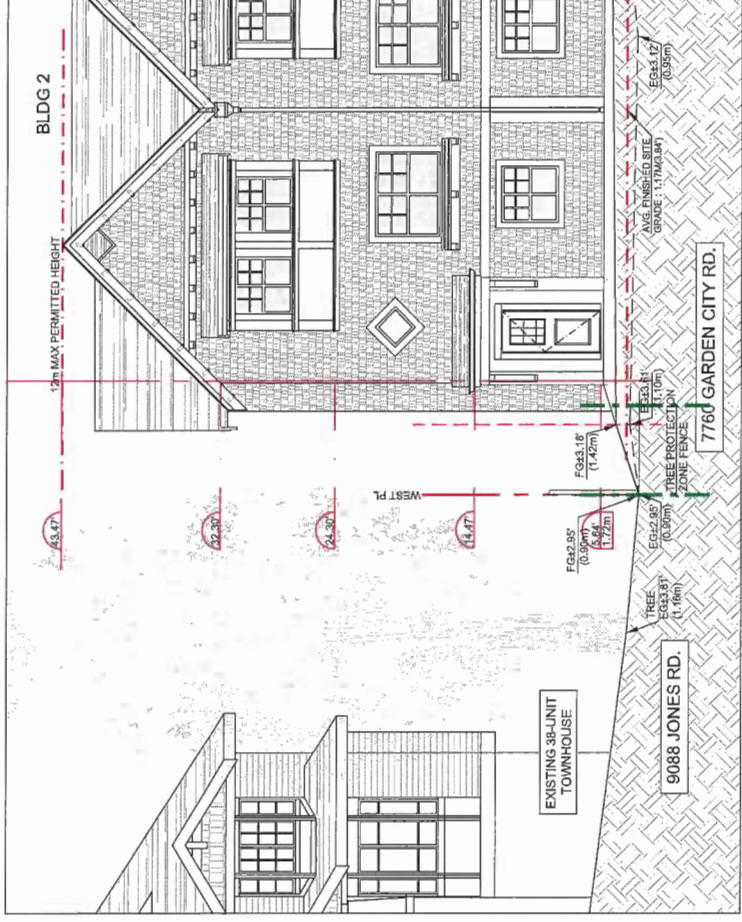
DEC 19 2017



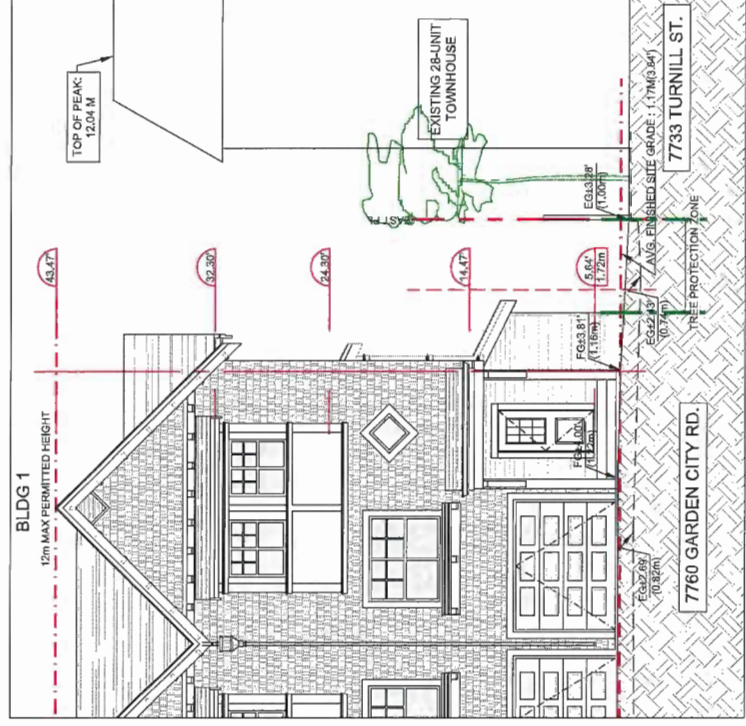
SITE SECTION S5  
SCALE: 3/16"=1'-0"



SITE SECTION S7  
SCALE: 1/8"=1'-0"



SITE SECTION S4  
SCALE: 3/16"=1'-0"



SITE SECTION S6  
SCALE: 3/16"=1'-0"

Lot	1.51	0.92	0.71	1.41	4.55 m
BLDG 1	1.16	1.00	1.00	1.06	4.22 m
BLDG 2	1.57	1.16	1.06	1.47	5.26 m
AVERAGE FINISHED SITE GRADE CALCULATION					14.03 m
					1.17 m
					[3.84]

DP 17-778607  
 PLAN #4B



REVISIONS
DEC 13, 2017 DP Resubmission
NOV 16, 2017 DP Resubmission
OCT 19, 2017 DP Resubmission
JUL 14, 2017 DP Application
JAN 25, 2017 RZ Resubmission
MAY 29, 2015 Issued for RZ Application
CONSULTANTS

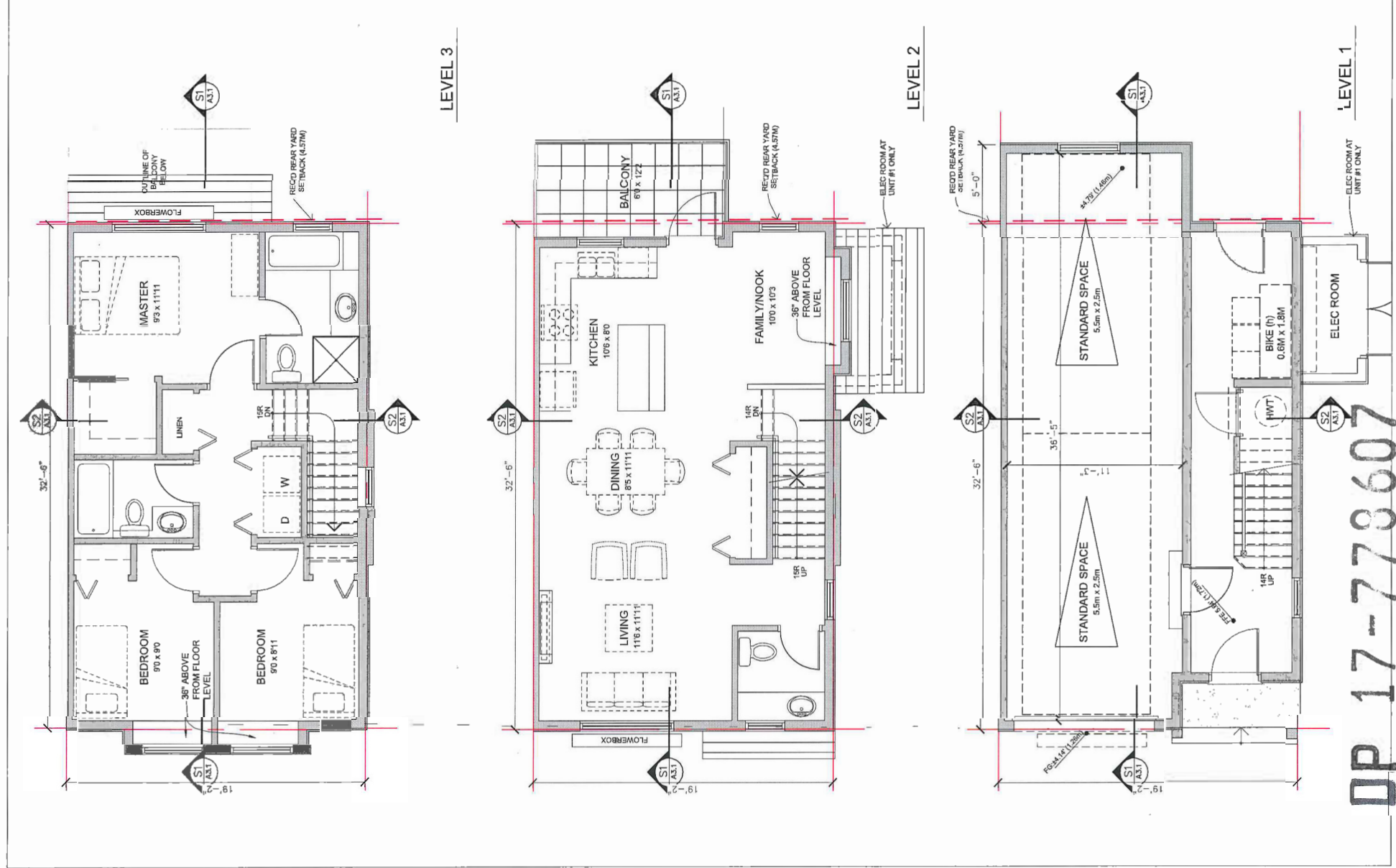
All drawings and other information shown herein are for use in the proposed project only and are not to be used for any other purpose. The drawings are not to be construed as a contract or warranty. The contractor shall be responsible for all dimensions and materials to be used in the project and shall be responsible for any errors or omissions in the drawings and information shown herein. SEAL

**INTERFACE:**  
 Suite 230  
 11590 Cambie Road  
 Richmond BC  
 Canada V6X 3Z5  
 T 604 821 1182  
 F 604 821 1146  
 www.interfacearchitecture.com

**PROJECT**  
 Proposed 4-Unit  
 Townhouse Development  
 7760 Garden City Road  
 Richmond, B.C.

PROJECT NO. 1511  
 SCALE As Noted  
 DATE May, 06, 2014  
 DRAWN BY KYC, SFS  
 CHECKED BY KYC  
 SHEET TITLE  
 FLOOR PLANS:  
 UNIT A

DRAWING  
**A2.1**



DEC 19 2017

REVISIONS	DATE	DESCRIPTION
DEC 13, 2017	DP Resubmission	
NOV 16, 2017	DP Resubmission	
OCT 19, 2017	DP Resubmission	
JUL 14, 2017	DP Application	
JAN 25, 2017	RZ Resubmission	
MAY 28, 2015	Issued for RZ Application	
CONSULTANTS		

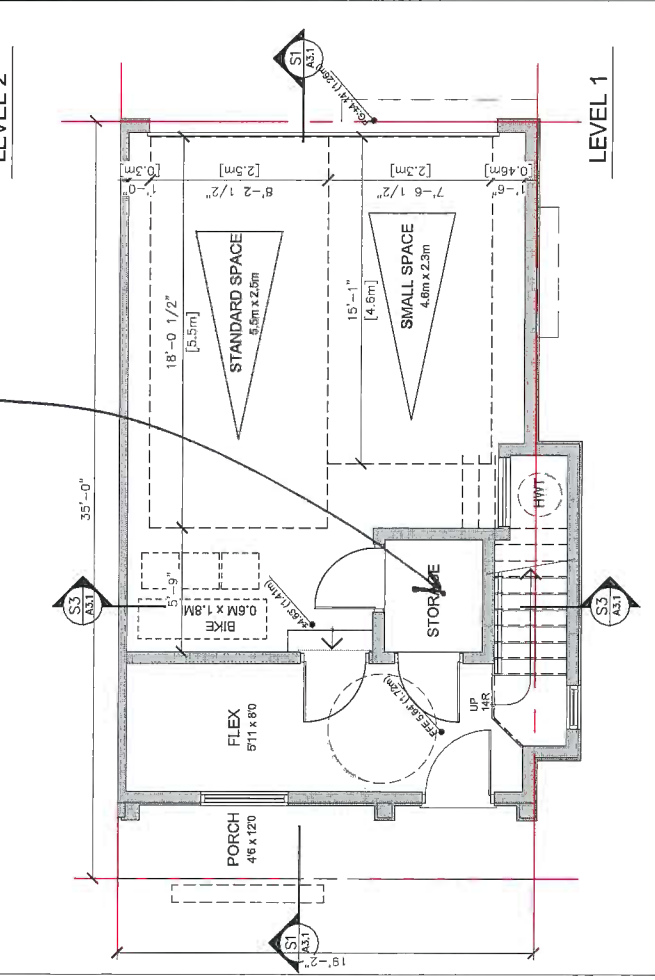
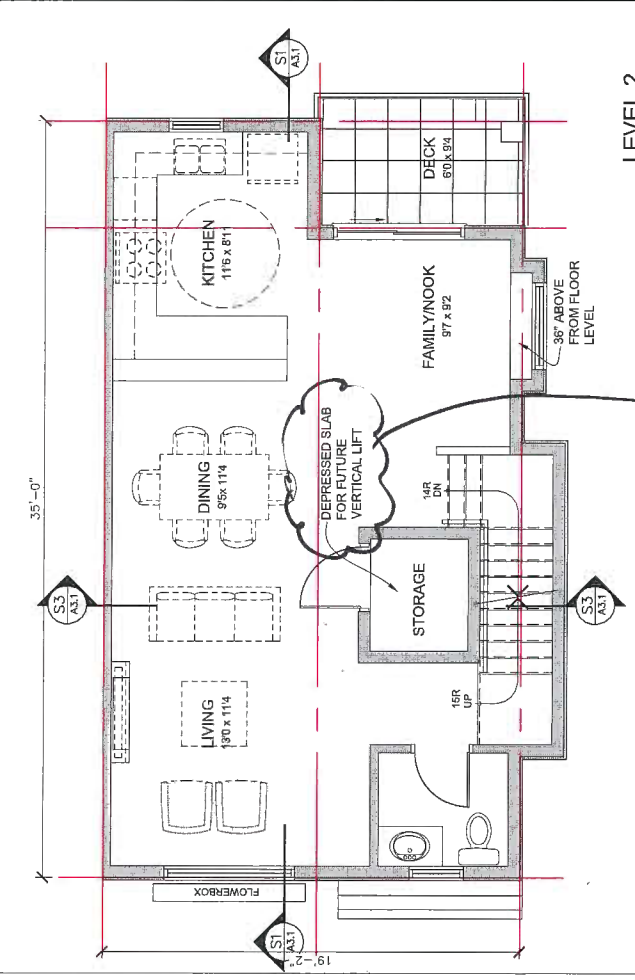
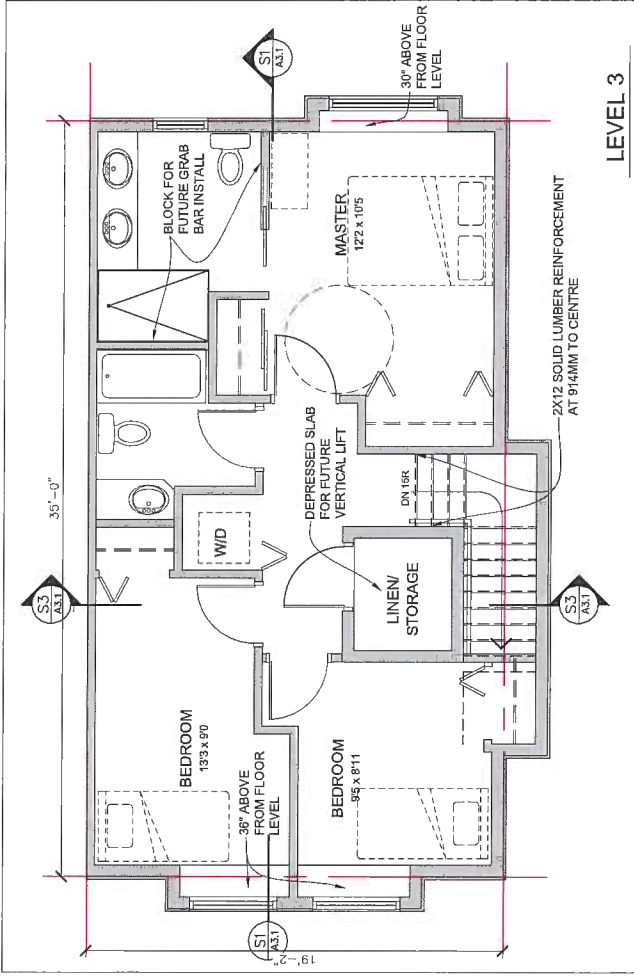
All design and construction information shown herein is for use on the project only and shall not be used for any other project. The drawings used on this project are the responsibility of the architect. The architect shall not be responsible for any errors or omissions in the drawings. Construction shall not be started until all permits are obtained. The architect shall not be responsible for any delays or costs incurred by the contractor due to the architect's actions or inactions. The architect shall not be responsible for any damage to the property or any other loss incurred by the contractor. The architect shall not be responsible for any other matters not specifically mentioned in these terms and conditions.

SEAL

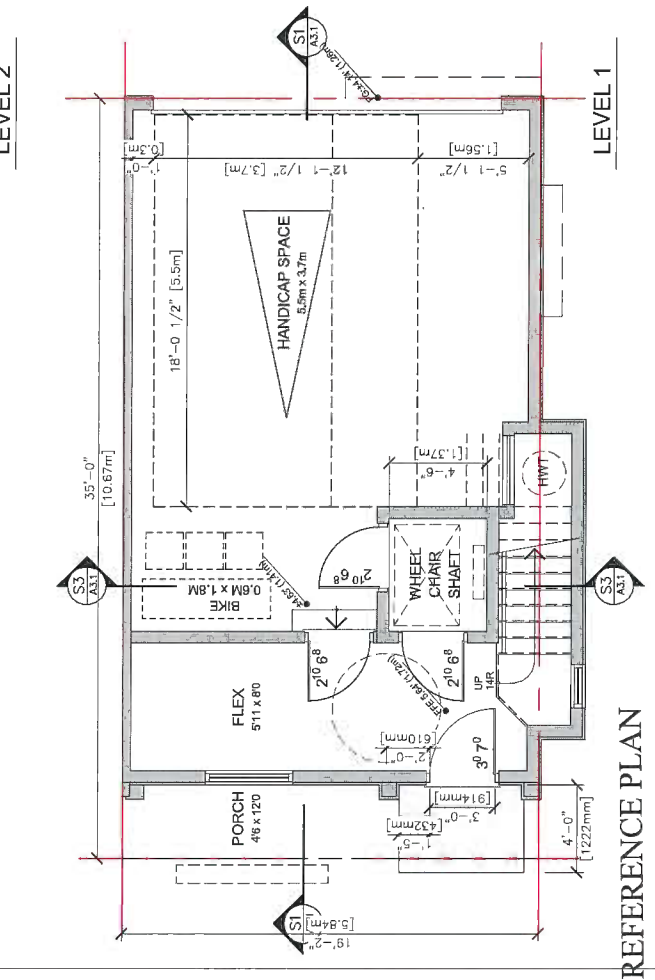
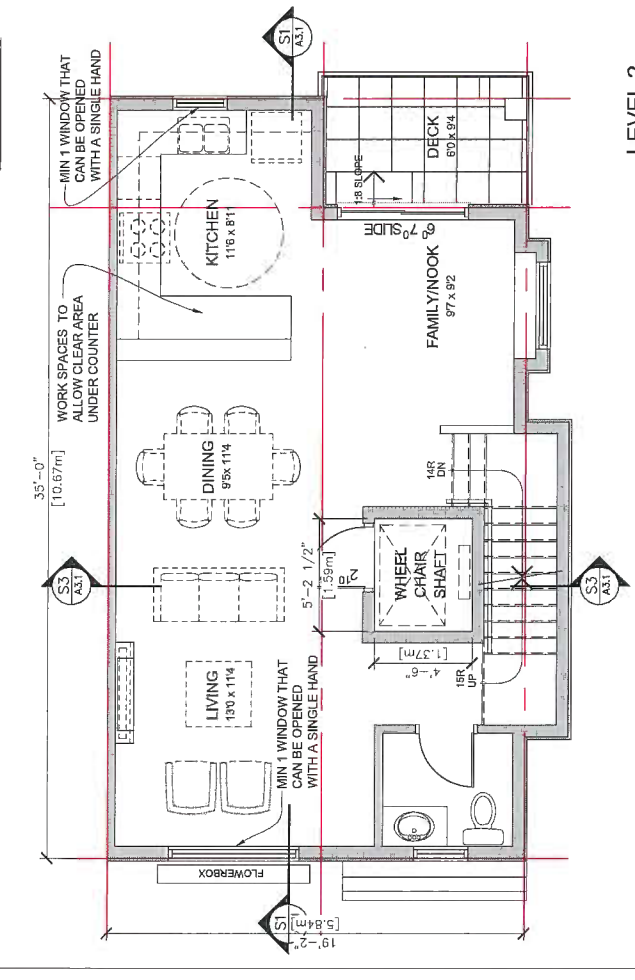
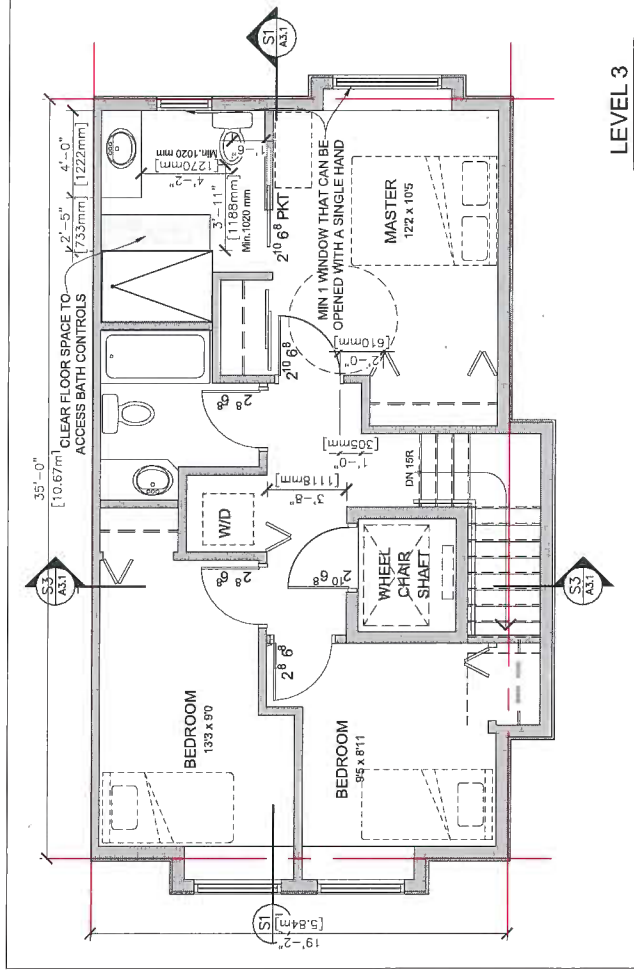
**INTERFACE:**  
 Suite 230  
 11590 Cambie Road  
 Richmond BC  
 Canada V6X 3Z5  
 T 604 821 1162  
 F 604 821 1146  
 www.interfacearchitecture.com

PROJECT	Proposed 4-Unit Townhouse Development 7760 Garden City Road Richmond, B.C.
PROJECT NO.	1511
SCALE	As Noted
DATE	May, 05, 2014
DRAWN BY	KYC, SRS
CHECKED BY	KYC
SHEET TITLE	FLOOR PLANS: UNIT B - CONVERTIBLE
DRAWING	

A2.2



FLOOR PLAN: UNIT B (BLDG 2) - BEFORE CONVERSION  
 SCALE: 1/4"=1'-0"



REFERENCE PLAN  
 FLOOR PLAN: UNIT B (BLDG 2) - AFTER CONVERSION  
 SCALE: 1/4"=1'-0"

CONVERTIBLE UNIT FEATURES CHECKLIST	
DOORS & DOORWAYS	ENTRY DOORS MIN. 863 MM BUT IDEALLY 914MM AND HAVE CLEAR ACCESS ENTRY DOOR CLEAR EXTERIOR FLOOR SPACE MIN 1200 MM DEPTH BY DOOR WIDTH PLUS 800 MM LATCH SIDE (NOT NEEDED IF ROUGH-IN WIRING PROVIDED FOR FUTURE AUTOMATIC DOOR OPENER) AUTOMATIC DOOR OPENER
VERTICAL CIRCULATION	INTERIOR DOORS TO MAIN LIVING AREAS, 1 BATHROOM AND 1 BEDROOM, MIN. 800 MM CLEAR OPENING WITH FLUSH THRESHOLDS MAX 13 MM HEIGHT. DEMONSTRATE WHEELCHAIR ACCESS BETWEEN HALLWAY AND ROOMS AND WIDEN HALLWAY AND/OR DOORWAYS IF NECESSARY TO SECURE ACCESS
	PATIO/BALCONY MIN. 800 MM CLEAR OPENING. NOTE HOW ACCESSED. ALL INTERIOR THRESHOLDS WITHIN UNITS COMPLY WITH BCBC. LEVER-TYPE HANDLES FOR ALL DOORS
HALLWAYS	STAIR LIFT: STAIRCASE WIDTH, FRAMING SUPPORT, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPEC. VERTICAL LIFT (FUTURE); DEPRESSED SLAB AREA, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPEC. FRAMING TO ACCOMMODATE SHAFT CONSTRUCTION WITHOUT IMPACT TO SURROUNDING STRUCTURE.
	REG NOTE: ELVORON HOME ELEVATOR BY GARAVENTA, 60 ENTRY / EXIT, STYLE 91, MAX LOAD: 750 LBS, SPEED: 40(12.20)/ MIN. MAX. 6 STOPS, MAX. 60(18.29)M TRAVEL. *** PROVISION FOR - IN UNIT B, B (BUILDING 2) ***
GARAGE	AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2X12" SOLID LUMBER AT 914 MM TO CENTRE.
	MIN. 900 MM WIDTH
BATHROOMS (MIN 1/UNIT)	MIN. 1 ACCESSIBLE PARKING SPACE WITH MIN. 4M GARAGE WIDTH ACCESS FROM GARAGE TO LIVING AREA. MIN. 800 MM CLEAR OPENING TOILET CLEAR FLOOR SPACE MIN. 1020 MM AT SIDE AND IN FRONT
	WALL BLOCKING FOR FUTURE GRAB BARS AT TOILET, TUB, AND SHOWER. REINFORCED WITH 2X12" SOLID LUMBER IN ALL BATHTUB, SHOWER, AND TOILET LOCATIONS.
KITCHEN	LEVER-TYPE HANDLES FOR PLUMBING FIXTURES. PRESSURE AND TEMPERATURE CONTROL VALVES ARE INSTALLED ON ALL SHOWER FAUCETS.
	CABINET'S UNDERNEATH SINK ARE EASILY REMOVED. DEMONSTRATE BATH AND SHOWER CONTROLS ARE ACCESSIBLE (LAYOUT OR FIXTURE PLACEMENT).
WINDOWS	CLEAR AREA NEEDED UNDER FUTURE WORKSPACE PLUMBING AND GAS PIPES (IN-WALL AND IN FLOOR) LOCATED CLEAR OF UNDER COUNTER AREA OF FUTURE WORKSPACE (STOVE, SINK & MIN. 810 MM WIDE COUNTER). ALL PIPES ARE BROUGHT IN, NO HIGHER THAN 304 MM TO 365 MM TO THE CENTRE OF THE PIPE FROM FLOOR LEVEL
	CABINET'S UNDERNEATH SINK ARE EASILY REMOVED. 1500 MM TURNING DIAMETER OR TURNING PATH DIAGRAM LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.
OUTLETS & SWITCHES	(BATHROOM, KITCHEN, LIVING ROOM)
	MIN. 1 WINDOW THAT CAN BE OPENED WITH A SINGLE HAND
GARAGE, AND RECREATION ROOM.	PLACEMENT LOCATIONS OF ELECTRICAL OUTLETS: BESIDE WINDOW, BOTTOM OF STAIRWAYS, BESIDE TOILET, ABOVE EXTERNAL DOORS (OUTSIDE AND INSIDE), ON FRONT FACE OF KITCHEN COUNTER, WITHIN PROXIMITY OF CONTROL CENTRE FOR SMART HOME OPTIONS.
	UPGRADE TO FOUR-PLEX OUTLETS IN MASTER BEDROOM, HOME OFFICE, GARAGE, AND RECREATION ROOM.

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