



City of Richmond

Report to Committee Planning and Development Division

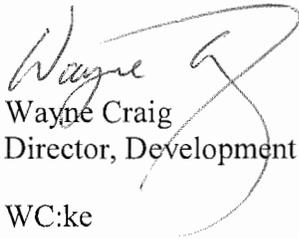
To: Planning Committee
From: Wayne Craig
Director, Development

Date: September 22, 2015
File: HA 15-702073

Re: Application by the City of Richmond for a Heritage Alteration Permit at 6540 Gilbert Road (Minoru Chapel)

Staff Recommendation

That a Heritage Alteration Permit be issued to authorize interior and exterior modifications to Minoru Chapel, a heritage designated building at 6540 Gilbert Road and undertake landscape modifications in the area on the north side of the building, as outlined in the staff report dated September 22, 2015 from the Director of Development.


Wayne Craig
Director, Development

WC:ke
Att.

REPORT CONCURRENCE		
ROUTED TO:	CONCURRENCE	CONCURRENCE OF GENERAL MANAGER
Parks Services	<input checked="" type="checkbox"/>	
Project Development	<input checked="" type="checkbox"/>	
Arts Culture & Heritage Services	<input checked="" type="checkbox"/>	

Staff Report

Origin

The City of Richmond has applied for a Heritage Alteration Permit (HAP) to undertake maintenance works to the Minoru Chapel building and alter the landscaping north of the Minoru Chapel located at 6540 Gilbert Road (Attachment 1). Minoru Chapel is a city owned protected heritage building that was designated under Heritage Designation Bylaw 3738 in 1979.

Findings of Fact

In October 2014, a separate Heritage Alteration Permit (HA 14-675087) was approved for Phase 1 of the Minoru Chapel works, which involved repairs to the roof structure and like for like replacement of the cedar shake roof. The current proposal under this HAP application is considered Phase 2 works for Minoru Chapel. If approved, works will be generally undertaken from November 2015 through to February 2016.

Surrounding Development

The Minoru Chapel building is located in Minoru Park.

To the North: Existing landscaping followed by parking lot and service areas for the Gateway Theatre and hospital.

To the South: Landscaped areas and pathways associated with Minoru Park.

To the East: Formal garden area (Pierrefonds Gardens) and landscaping/pathways associated with Minoru Park.

To the West: Gateway Theatre and public parking lot.

Related Policies & Studies

Heritage Procedures Bylaw 8400

Minoru Chapel was designated a protected heritage building (Bylaw 3738) in 1979. Bylaw 3738 covers the Minoru Chapel building and front yard area to the immediate north of the Chapel. Under the City's Heritage Procedures Bylaw 8400, any alterations to a designated heritage building and/or land subject to a Heritage Designation Bylaw requires a Heritage Alteration Permit issued by Council prior to any building/site modifications.

Public Consultation – Richmond Heritage Commission

The HAP for the proposed Phase 2 works for Minoru Chapel was reviewed at the September 16, 2015 meeting of the Richmond Heritage Commission. Although there was no quorum for this Commission meeting, members supported the proposed maintenance works, revised access ramp and landscape modifications to Minoru Chapel and commented that it adhered with heritage preservation best practices. Please refer to Attachment 2 for an excerpt of discussion notes from the September 16, 2015 meeting.

Analysis

Proposed Scope of Works to the Building

For the interior of the building, the proposed works involve the following:

- Replace a portion of the existing wood floor (fir) with a new floor to match existing and undertake spot repairs to damaged areas.
- Repair and refurbish wood wainscoting.
- Replace washroom fixtures (toilet, sink, fixtures) and install new vinyl floor.
- Undertake structural upgrades to the crawlspace and sub-floor.

For the exterior of the building, the proposed works involve the following:

- Replace the existing accessible ramp at the north west corner of the building:
 - The new ramp will be concrete and graded to be compliant with BC Building Code. It will also include a secondary set of access stairs.
 - An existing wrought iron hand rail will be extended as needed for the new ramp and access stairs.
- Replace and repair portions of the exterior building cladding to match existing to address existing areas where rot and deterioration were observed.
- Replace exterior light fixtures with fixtures that are consistent with the heritage character of the building.

The architectural consultants have confirmed that all proposed works to the interior and exterior of Minoru Chapel are consistent with the conservation plan (Prepared by Don Luxton – Heritage Consultant) prepared for the building.

Proposed Works by Parks – New Pathway and Landscaping

Parks Department staff, in coordination with the Phase 2 maintenance works proposed for the Minoru Chapel building, proposes to alter the landscaping in the area to the north of the building (front entrance). Although the work proposed by the Parks Department are limited to landscaping and pathway development (with no physical works to the building), the Heritage Designation Bylaw 3738 references both the building and area north of the Chapel. As a result, the landscape work proposed by Parks are included in this HAP.

The following is a summary of the proposed landscaping works by the Parks Department staff.

- Install a new asphalt surface pathway, including low level lighting, that connects the new accessible ramp to the existing asphalt pathway to the entrance of the building.
- An existing conifer at the front of the building is proposed for removal.
- Perennials, shrubs and groundcovers will be planted to complement the pathway to provide variety and color year round.

The landscape plan proposed by Parks Department staff is intended to provide a complementary planting scheme in conjunction with the new pathway connection between the revised accessible ramp and main front entry to the building. The proposed removal of one conifer (approximately 10 m tall, 0.2 m diameter False Cypress tree) is proposed to visually open up the main front entrance elevation (north) of Minoru Chapel as it is currently concealed by the existing conifer. Parks will undertake tree replacement for the conifer proposed for removal at a 3 to 1 replacement ratio to ensure no net loss of trees in City Parks.

Site Servicing and Frontage Improvements

No off-site works or improvements will be required as part of the proposed works for Minoru Chapel.

Conclusion

This Heritage Alteration Permit application is for Phase 2 of proposed interior and exterior works to Minoru Chapel building and landscaping revisions in the area north of the building to complement a new accessible pathway. Repair and replacement works will be done to match existing cladding and materials used in the building. Any new works (i.e., accessible ramp) and new interior and exterior fixtures will be consistent with the heritage character of the building.

It is recommended that the Heritage Alteration Permit for the Minoru Chapel located at 6540 Gilbert Road be approved.



Kevin Eng
Planner 2

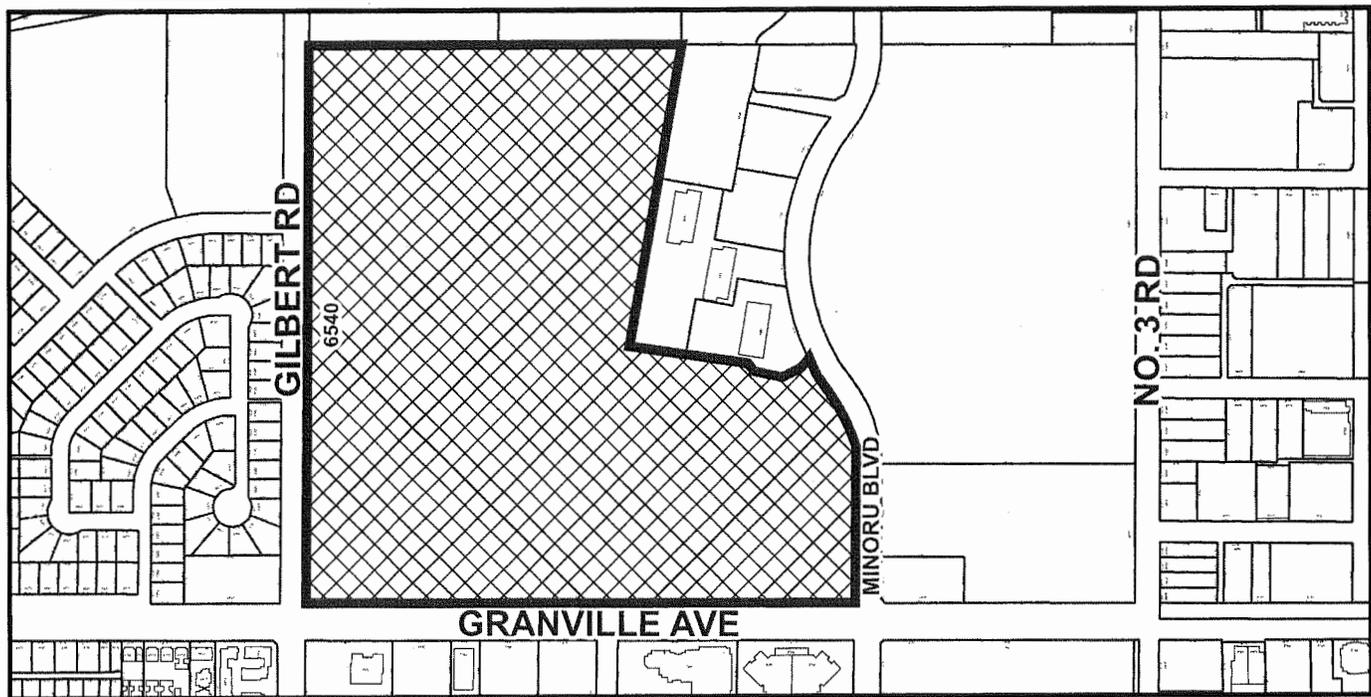
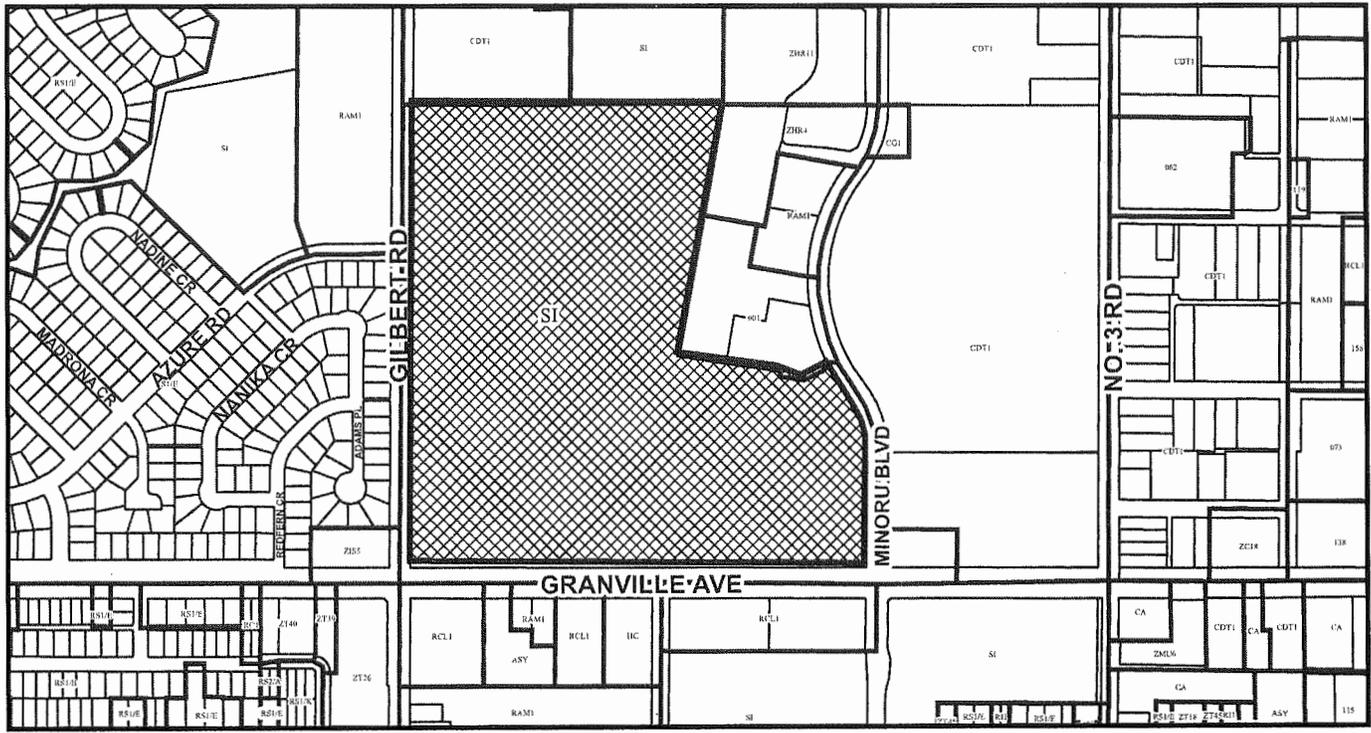
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Attachment 1: Location Map

Attachment 2: September 16, 2015 Richmond Heritage Commission meeting notes



City of Richmond



HA 15-702073

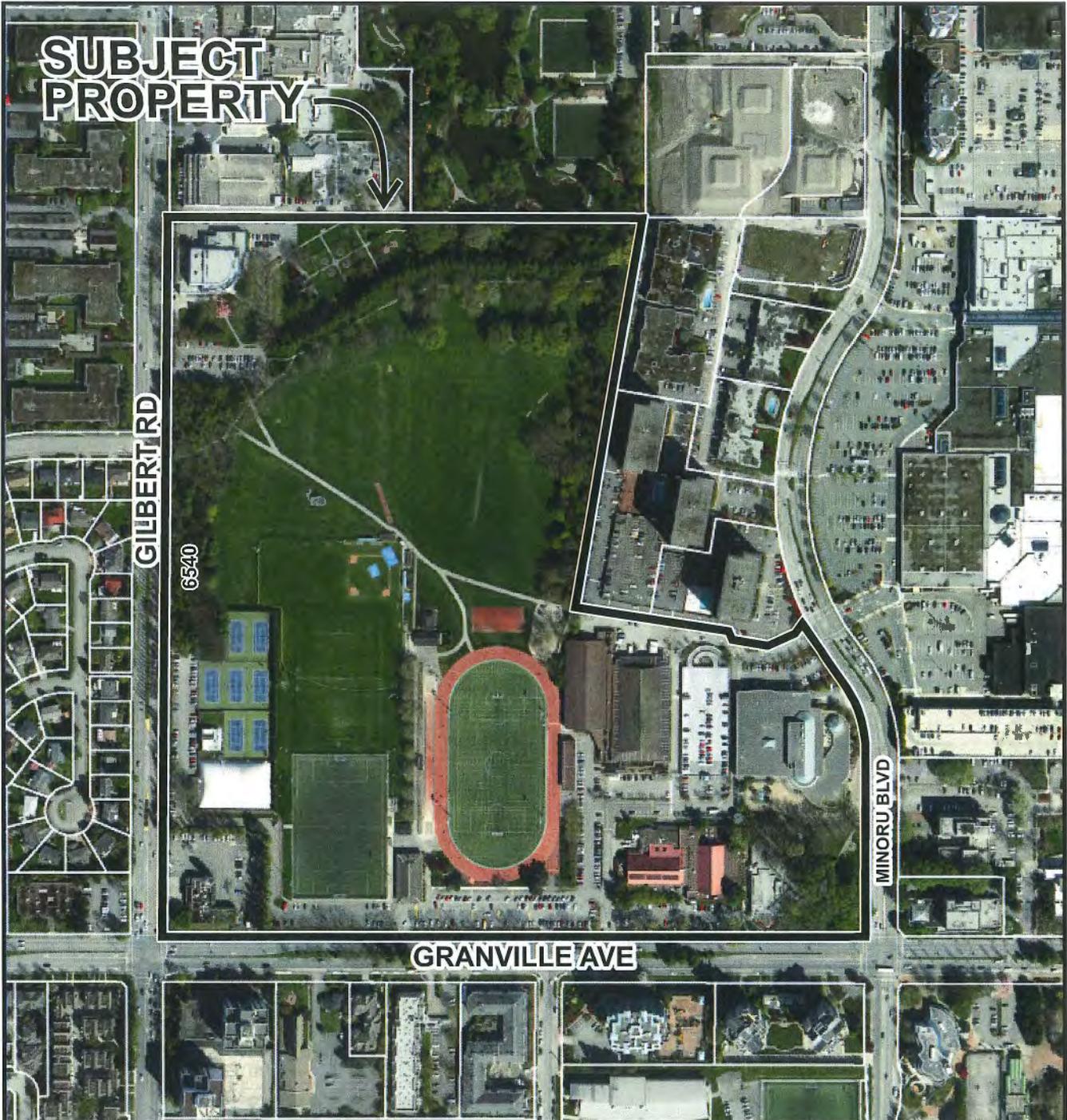
Original Date: 07/16/15

Revision Date:

Note: Dimensions are in METRES



City of
Richmond



HA 15-702073

Original Date: 07/16/15

Revision Date:

Note: Dimensions are in METRES

**Excerpt of Discussion Notes
Richmond Heritage Commission
September 16, 2015**

**DEVELOPMENT PROPOSAL
6540 Gilbert Road (Minoru Chapel)**

The Commission received a presentation on the Heritage Alteration Permit for Phase 2 restoration works to the Minoru Chapel to provide a universally accessible ramp, undertake interior and exterior repairs and restoration work and install complementary landscaping.

Greg and Wendy Andrews (Consultants) and Kevin Connery (Parks Department) joined the Commission to present on the plans for Phase 2. It was noted that Phase 1 of this project involved a roof replacement to the chapel. Phase 2 will work on replacing the existing non-compliant ramp on the west side of the building, replacing damaged flooring and wainscoting, renovating the washroom, updating the outdoor lighting fixtures and repairing exterior cladding.

It was noted that the replacement floorboards will also be fir and will match the current floorboards that do not need to be replaced. The washroom (which is not original to the church) will be updated with new fixtures and a new vinyl floor. The consultants noted that the objective of the works was to choose materials and fixtures in line with the heritage character of the building that are sized correctly, durable and consistent with the conservation plan for the Minoru Chapel.

Discussion ensued on the ramp which currently does not meet code, which will be revised to reduce the slope and connect to a new pathway developed at the front (north) side of the building. Discussion ensued on materials, grade, lighting, continuation of the wrought iron railing and landscaping involved. It was noted that the Heritage Alteration Permit will have to go to Council for consideration and approval.

Mr. Connery provided an update on the landscaping features and noted that they hope to remove a cypress tree to open up the pathway and entrance to the building and improve the front façade. Discussion ensued on landscaping elements that will be retained and changed. It was noted that this landscape area is separate from the heritage designated Pierrefonds Gardens to the east.

Commission members appreciated that this proposal is keeping with best practices and conservation for heritage in Richmond, and support this proposal moving forward. Staff will communicate the scope of this work to the absent members and request any additional comments to pass along to the consultants.



City of Richmond

Heritage Alteration Permit
Development Applications Department
6911 No. 3 Road, Richmond, BC V6Y 2C1

File No.: HA 15-702073

To the Holder: City of Richmond (c/o Michael Chan – Project Development)
Property Address: 6540 Gilbert Road – Minoru Chapel
Legal Description: Lot A Section 8 Block 4 North Range 6 West Plan LMP5323

(s.972, *Local Government Act*)

1. (Reason for Permit)
 - Designated Heritage Property (s.967)
 - Property Subject to Temporary Protection (s.965)
 - Property Subject to Heritage Revitalization Agreement (s.972)
 - Property in Heritage Conservation Area (s.971)
 - Property Subject to s.219 Heritage Covenant
2. This Heritage Alteration Permit is issued to authorize the following scope of works as outlined in the drawings contained in Attachment 1:
 - a) Replace and repair portions of the fir wooden floor and wainscoting to match existing;
 - b) Replace fixtures and flooring in the accessible washroom;
 - c) Undertake structural upgrades to the building crawlspace;
 - d) Implement a new accessible ramp with railing and supporting stairs at the north west corner of the building;
 - e) Replace and repair portions of the exterior building cladding to match existing;
 - f) Replace existing exterior lights with new heritage character lighting fixtures; and
 - g) Modifications to the landscaping along the north elevation of the building to remove one coniferous tree and accompanying shrubs and groundcovers, install a paved walkway and complementary landscaping around the walkway and north side of the building.
3. This Heritage Alteration Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
5. If the alterations authorized by this Heritage Alteration Permit are not completed within 24 months of the date of this Permit, this Permit lapses.

AUTHORIZING RESOLUTION NO. ISSUED BY THE COUNCIL THE DAY OF

DELIVERED THIS DAY OF ,

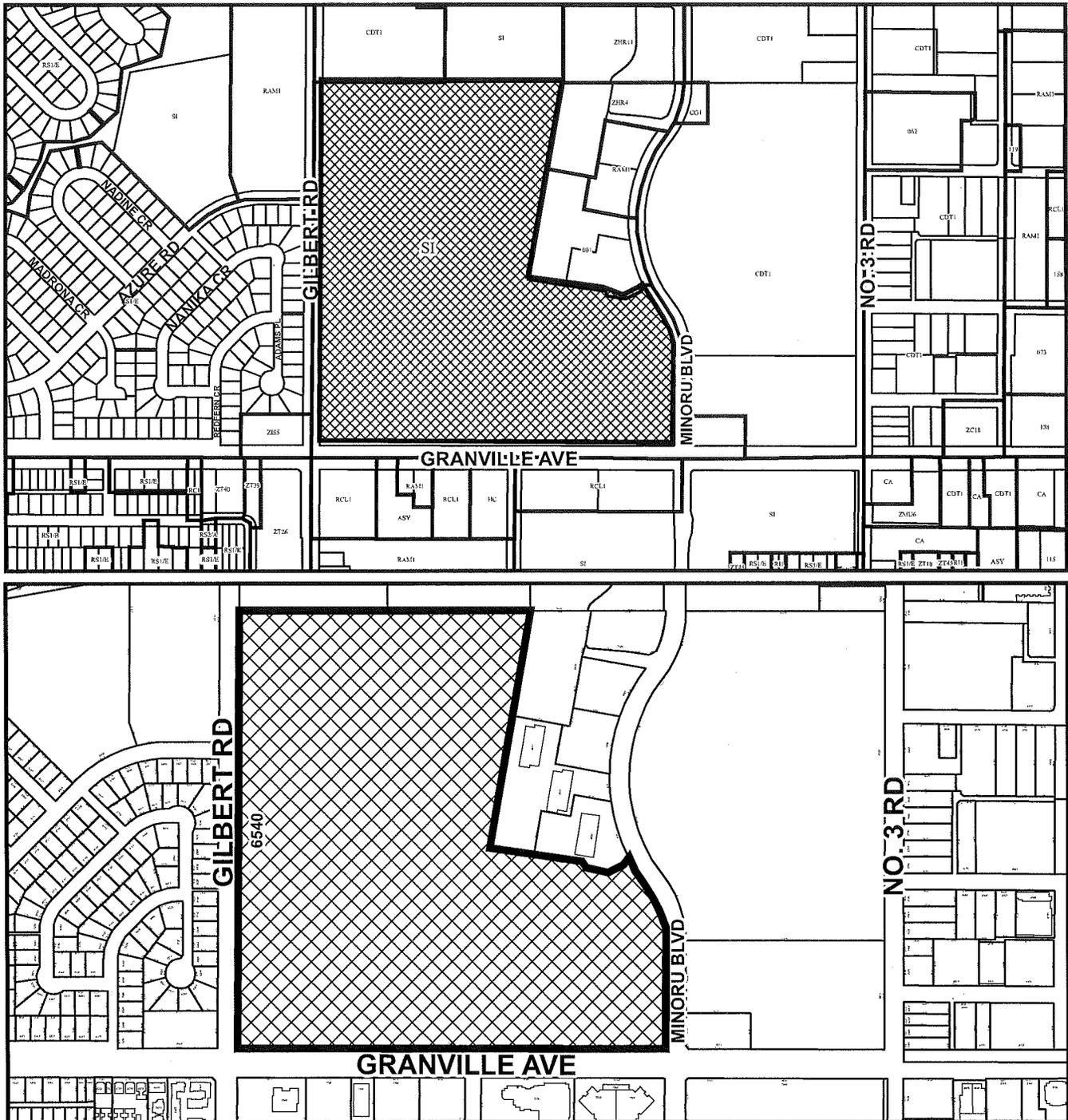
MAYOR

CORPORATE OFFICER

IT IS AN OFFENCE UNDER THE *LOCAL GOVERNMENT ACT*, PUNISHABLE BY A FINE OF UP TO \$50,000 IN THE CASE OF AN INDIVIDUAL AND \$1,000,000 IN THE CASE OF A CORPORATION, FOR THE HOLDER OF THIS PERMIT TO FAIL TO COMPLY WITH THE REQUIREMENTS AND CONDITIONS OF THE PERMIT.



City of Richmond



HA 15-702073

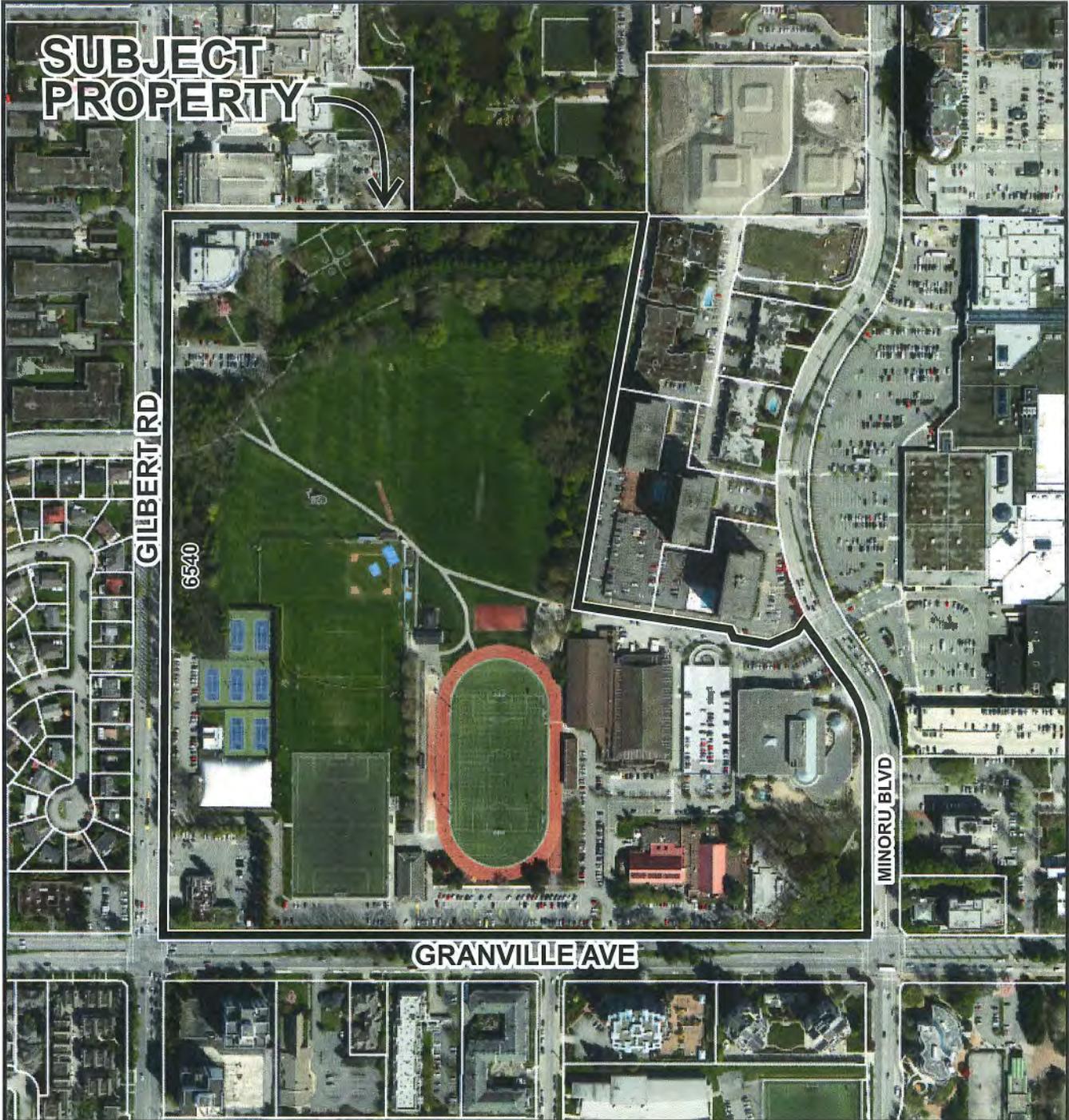
Original Date: 07/16/15

Revision Date:

Note: Dimensions are in METRES



City of
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HA 15-702073

Original Date: 07/16/15

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Note: Dimensions are in METRES

THE ABOVE IS AN ELECTRICAL DRAWING. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACCURACY OF ALL INFORMATION PROVIDED HEREON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

DATE: MAR 2, 2015
 DRAWN BY: JWA
 CHECKED BY: JWA
 PROJECT NO: 1419
 SHEET NO: 1419

PHASE 2
 RENOVATIONS

MINORU CHAPEL
 6540 GILBERT ROAD
 RICHMOND, BC

THE ANDREWS ARCHITECTS INC.
 www.andrewsarchitects.com

RENDERING FOR PERMIT
 ALL DIMENSIONS MAY VARY

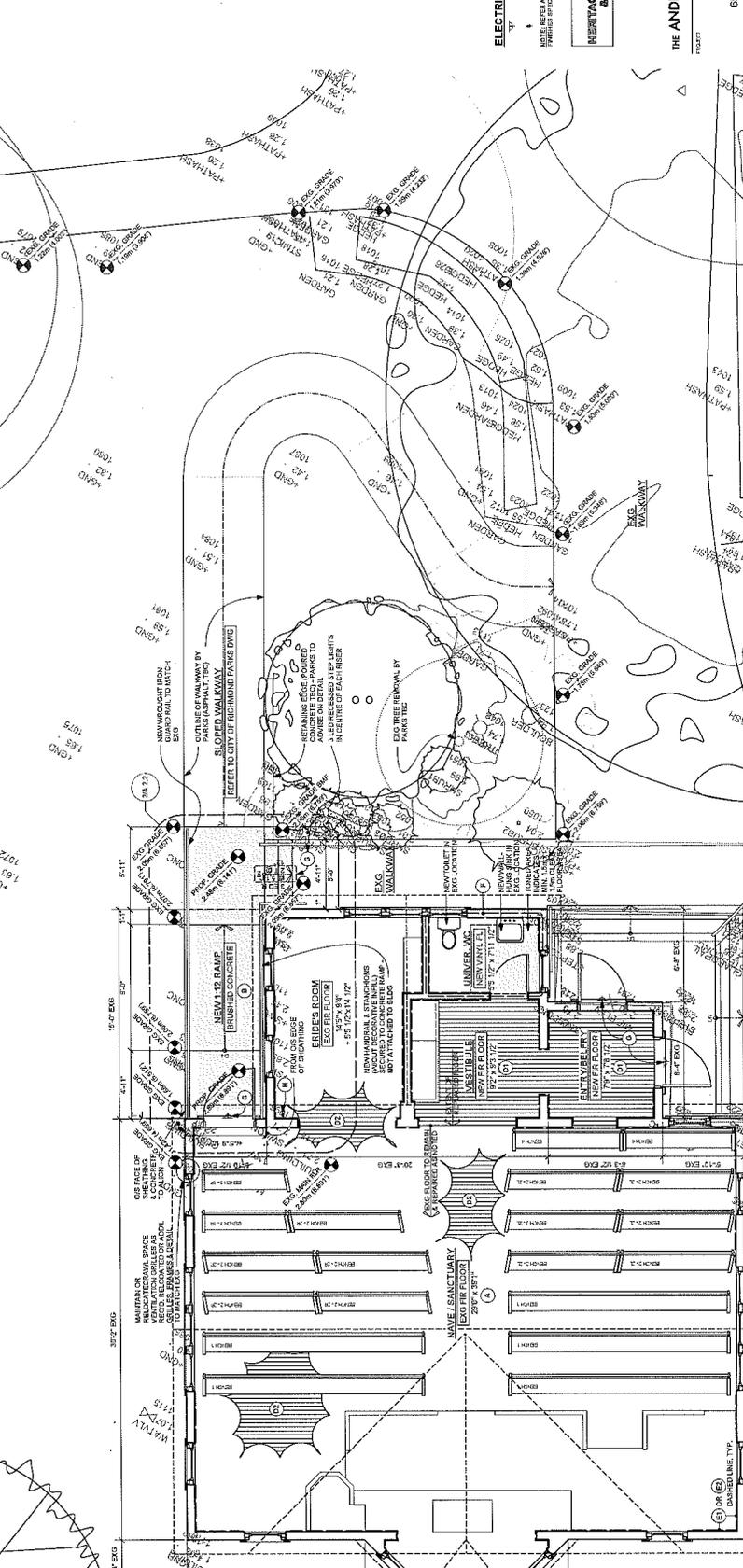
MAINTENANCE SPACE
 VENTILATION GRILLERS
 CONCRETE
 COULTERS
 COULTERS
 COULTERS

NEW 112 RAMP
 BRUSHED CONCRETE

BRIDES ROOM
 EXIST FLOOR

RESTROOM
 NEW FLOOR

UNIVERSITY
 NEW FLOOR



SCOPE OF WORK
 APPROVED ITEMS:
 A. STRUCTURAL UPDATES FOR CRACKS AND FLOOR
 ABOVE. REFER TO STRUCTURAL DRAWINGS S2-S3.
 B. RAMP ACCESSIBLE WITH BALKS & STAIRS. NEW CONCRETE
 BAMP ACCESSIBLE WITH BALKS & STAIRS AS INDICATED.
 REFER ALSO TO STRUCTURAL DRAWINGS.
 C. DAMAGED WALL ENVELOPE CLADDING & FLASHING
 REPAIR. WHERE EXISTING SIDING, WALL SHINGLES AND SKIRTING
 BOARDS SHOW SIGNS OF ROT, REPLACE WITH SIMILAR WOOD
 MATERIALS. WHERE EXISTING SIDING, WALL SHINGLES AND SKIRTING
 BOARDS ARE DAMAGED, CONTRACTOR TO REMOVE AND REPLACE
 WITH NEW MATERIALS. FEATHERING IN AS REQUIRED TO MINIMIZE DISTINCTION. PAINT TO
 MATCH EXISTING. WHILE REMOVING CLADDING, CONTRACTOR TO
 ALSO NOTIFY ARCHITECT OF ANY INTERNAL ENVELOPE DAMAGE
 OBSERVED AT THE BASE OF THE SHINGLES. CONFIRM EXTENT OF WORK WITH
 CITY AND REPAIR AS REQUIRED TO MAKE GOOD.
 D. INTERIOR FIRE FLOORING - REPLACED, OBTAINED AREA (WITH
 FLOORING, WITH PROFILE GRAIN STAIN TO MATCH EXISTING.
 E. INTERIOR FIRE SCOTTING - REMOVAL OF EXISTING
 HARDBOARD COVERING & REFURBISHMENT OF ORIGINAL
 CHARACTER AS EVIDENCED IN SUPPLIED ARCHIVAL PHOTOS.
 F. INTERIOR FIRE ALARM SYSTEM - UPGRADE: REPLACE EXISTING
 SWITCH AS SHOWN - REFER TO ELECTRICAL DRAWINGS
 (REPLACE EXISTING IN SAME LOCATION).
 G. EXTERIOR LIGHTING - REPLACED, PROVIDE EXTERIOR
 LIGHTING ABOVE ENTRANCE AND EXIT AS INDICATED AND
 SPECIFIED IN THE FINISHES SCHEDULE.
 H. EXISTING LIGHT SWITCH - UPGRADE: REPLACE EXISTING
 SWITCH AS SHOWN - REFER TO ELECTRICAL DRAWINGS
 (REPLACE EXISTING IN SAME LOCATION).
 I. EXISTING FIRE ALARM SYSTEM - UPGRADE:
 CONTRACTOR TO UPGRADE SYSTEM AS NOTED ON THE
 ELECTRICAL DRAWINGS - NOT IN CONTRACT
 FINISHES.
 REFER ALSO TO FINISHES SCHEDULE FOR ALL
 FINISHES.

ITEMS FOR SEPARATE PRICING:
 D1. INTERIOR FIRE FLOORING - REPLACED, OBTAINED AREA (WITH
 FLOORING, WITH PROFILE GRAIN STAIN TO MATCH EXISTING.
 D2. INTERIOR FIRE SCOTTING - REMOVAL OF EXISTING
 HARDBOARD COVERING & REFURBISHMENT OF ORIGINAL
 CHARACTER AS EVIDENCED IN SUPPLIED ARCHIVAL PHOTOS.
 E1. INTERIOR FIRE ALARM SYSTEM - UPGRADE: REPLACE EXISTING
 SWITCH AS SHOWN - REFER TO ELECTRICAL DRAWINGS
 (REPLACE EXISTING IN SAME LOCATION).
 E2. EXTERIOR LIGHTING - REPLACED, PROVIDE EXTERIOR
 LIGHTING ABOVE ENTRANCE AND EXIT AS INDICATED AND
 SPECIFIED IN THE FINISHES SCHEDULE.
 F. UNIVERSAL BALKS FROM UPDATES, REPLACE EXISTING SINK
 TOILET ACCESSORIES AND FLOORING AS NOTED IN FINISHES
 SCHEDULE. PAINT WALLS AND CEILING.

PROPOSED PARTIAL MAIN FLOOR PLAN
 1/4" = 1'-0"

DATE: MAR 2, 2015
 DRAWN BY: JWA
 CHECKED BY: JWA
 PROJECT NO: 1419
 SHEET NO: 1419

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RENDERING FOR PERMIT
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 CONCRETE
 COULTERS
 COULTERS
 COULTERS

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 BRUSHED CONCRETE

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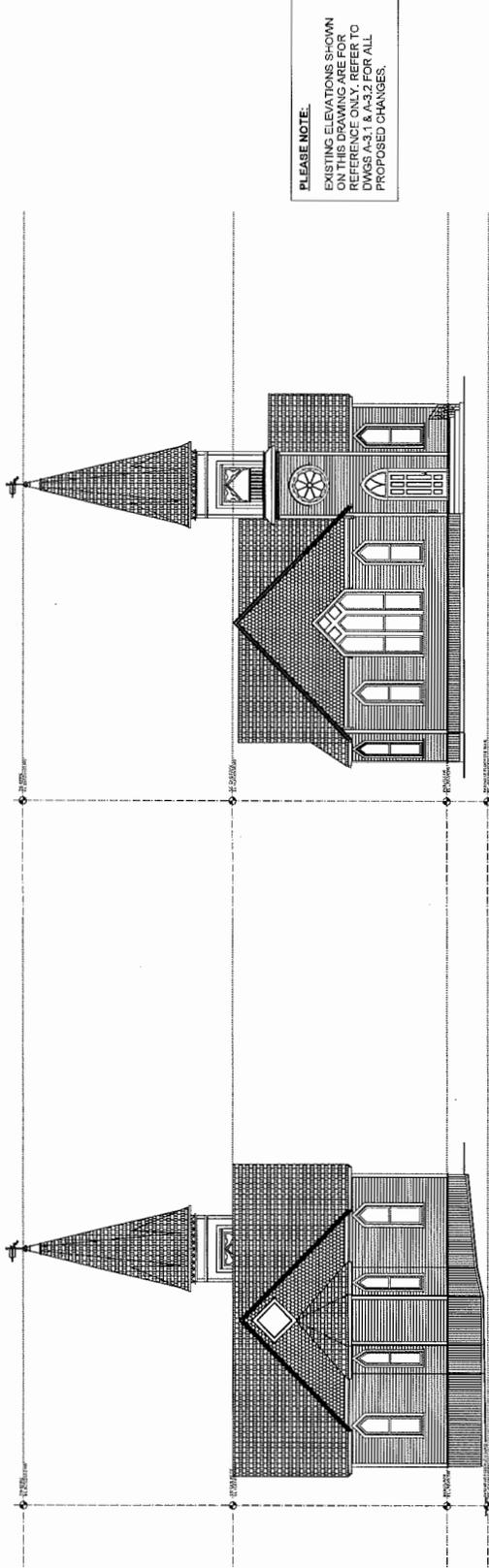
BRIDES ROOM
 EXIST FLOOR

RESTROOM
 NEW FLOOR

UNIVERSITY
 NEW FLOOR

NO PART OF THIS DOCUMENT OR ANY PART OF THE PROJECT OR THE ARCHITECT'S LIABILITY TO BE LIMITED BY ANY PROVISION OF ANY LAW, STATUTE, REGULATION, OR BY ANY CONTRACT, AGREEMENT, OR OTHER INSTRUMENT, INCLUDING ANY SCHEDULE, ATTACHMENT, OR EXHIBIT, IN ANY JURISDICTION. THE ARCHITECT'S LIABILITY TO BE LIMITED BY ANY PROVISION OF ANY LAW, STATUTE, REGULATION, OR BY ANY CONTRACT, AGREEMENT, OR OTHER INSTRUMENT, INCLUDING ANY SCHEDULE, ATTACHMENT, OR EXHIBIT, IN ANY JURISDICTION.

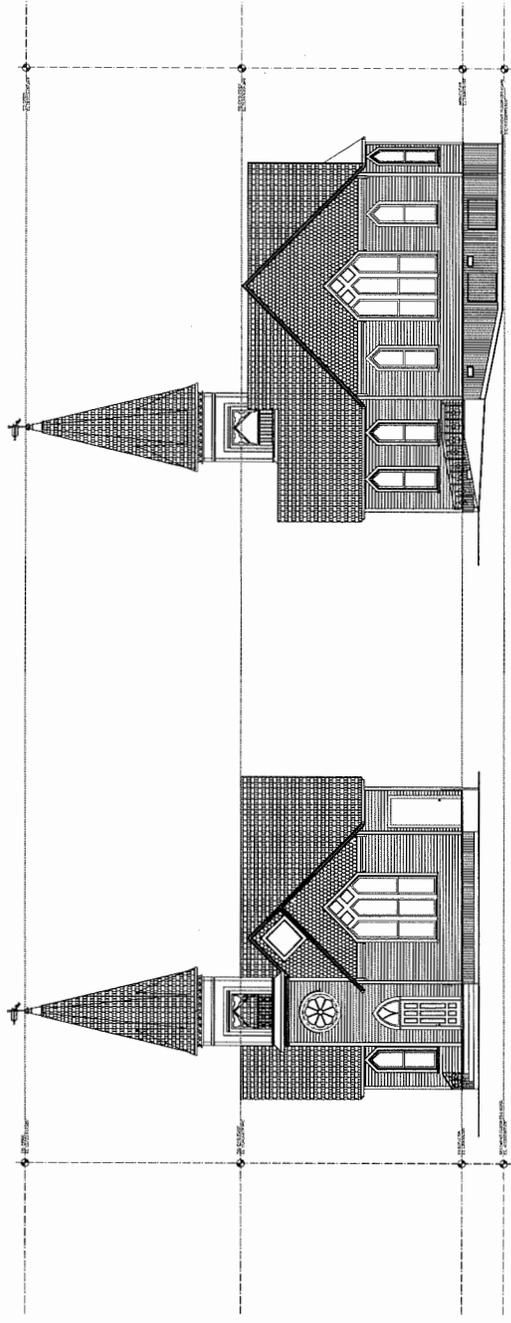
DATE: 14/03/2018



PLEASE NOTE:
EXISTING ELEVATIONS SHOWN ON THIS DRAWING ARE FOR REFERENCE ONLY. REFER TO DWGS A-3.1 & A-3.2 FOR ALL PROPOSED CHANGES.

1 EXISTING SOUTH ELEVATION
1/8" = 1'-0"

2 EXISTING EAST ELEVATION
1/8" = 1'-0"



3 EXISTING NORTH ELEVATION
1/8" = 1'-0"

4 EXISTING WEST ELEVATION
1/8" = 1'-0"

ISSUED FOR
HERITAGE ALTERNATION PERMIT
877 - 2018 MAY 20



THE ANDREWS ARCHITECTS INC.
PROJECT

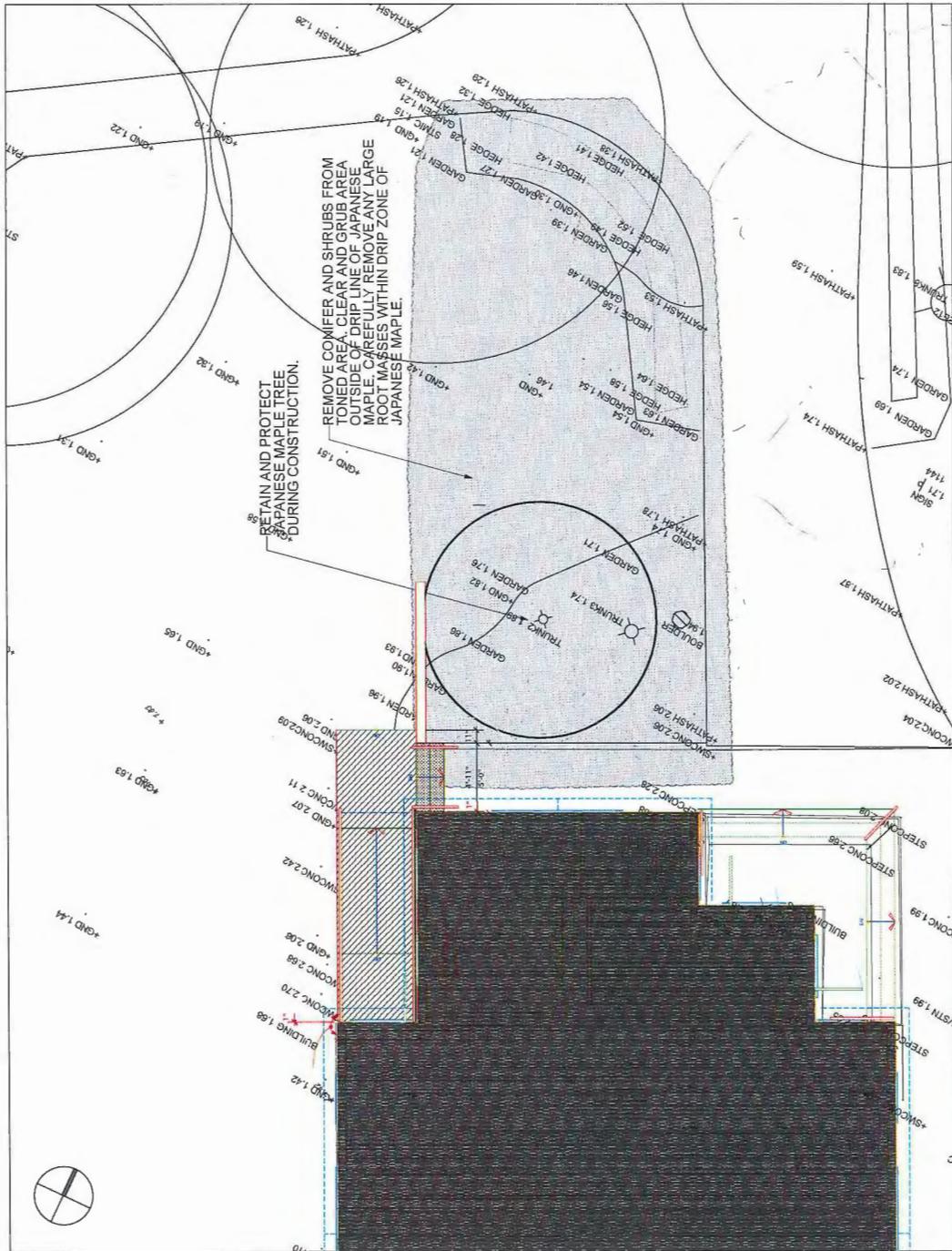
MINORU CHAPEL
6540 GILBERT ROAD
RICHMOND, BC

PHASE 2
RENOVATIONS

EXISTING EXTERIOR
ELEVATIONS

DATE	MAR 2, '18
DESIGNED BY	VJA
CHECKED BY	GR
DATE PLOTTED	1418
SCALE	AS SHOWN

A 3.3



Minoru Chapel Site Preparation Plan

DATE: 10/15/2015
 SCALE: 1/8" = 1'-0"
 SHEET: L1 OF 3

DESIGNER: [Name]
 CHECKED: [Name]
 DATE: MAY 1, 2015
 SHEET NO. [Number]

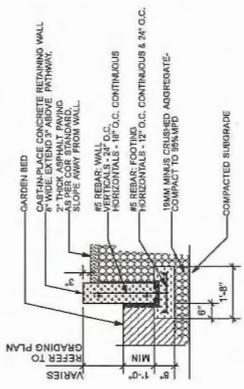
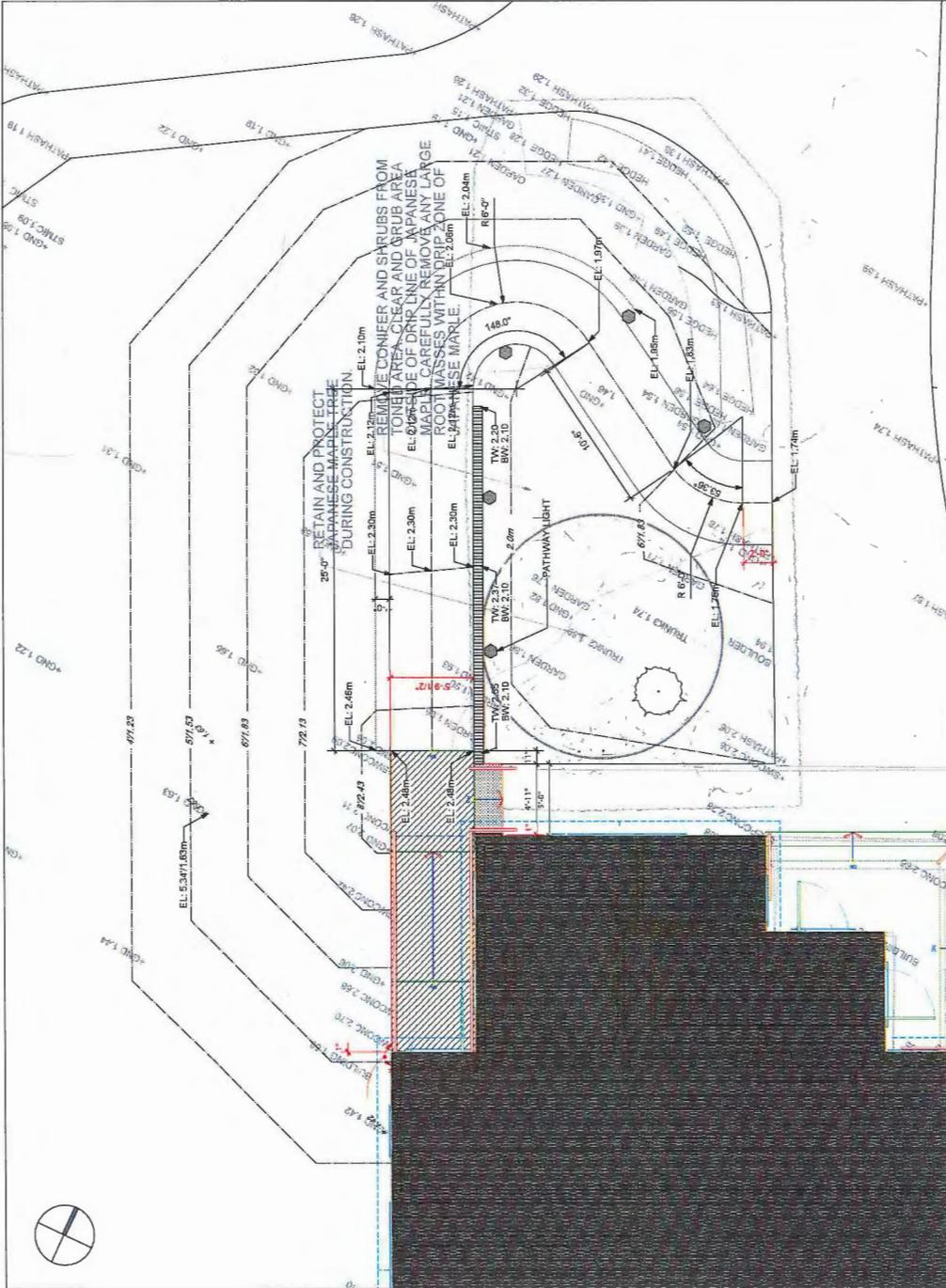
NO.	DATE	BY	CHK.	DESCRIPTION
1	2015-05-01			ISSUED FOR PERMIT

PROPERTY ADDRESS: [Address]
 COUNTY: [County]
 CITY: [City]
 ZONING: [Zoning]
 PROJECT NO.: [Project No.]
 SHEET NO.: [Sheet No.]

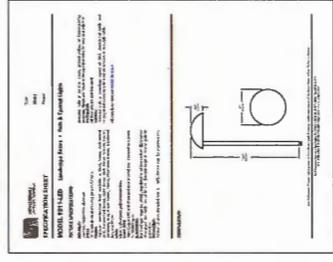
REFERENCE: [Reference]
 ALL ELEVATIONS ARE TO EXISTING UNLESS NOTED OTHERWISE.

ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF [City] ORDINANCES AND THE [State] DEPARTMENT OF TRANSPORTATION (DOT) SPECIFICATIONS.

NOTES: ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.



D1 RETAINING WALL ASPHALT PAVING DETAIL



D2 PATHWAY LIGHTING

GENERAL NOTES

1. CONTRACTOR TO VERIFY LAYOUT AND GRADING IN FIELD PRIOR TO PROCEEDING. INFORM CORP PARKS REPRESENTATIVE OF DISCREPANCIES PRIOR TO PROCEEDING.
2. ALL CONCRETE WORK IS PER ARCHITECTURAL SPECIFICATIONS.
3. ALL CONCRETE SHALL BE 4000 PSI STRENGTH WITH 4% STEEL FIBERS.
4. ALL CONCRETE TO BE 72 MPA.

ALL GAS SERVICES

THE SCOPE OF CONTRACT SHALL BE RESPONSIBLE FOR RECORDING EXISTING RECORDS IN ORDER TO FACILITATE INSTALLATION OF THE WORK SHOWN IN THESE PLANS. A LIST OF EXISTING GAS RECORDS WILL BE PROVIDED FOR THE CONTRACTOR.

DATE: ALL GAS RECORDS IN HANDS MUST BE RETURNED TO THE CONTRACTOR OF ANY WORK.

BENCHMARK

ALL ELEVATIONS ARE TO EXISTING BENCHMARK AND REFER TO BENCHMARK INDICATED MAPS.

ELEVATION: _____ FIELD BOOK # _____

CITY: _____ PROJECT # _____

DRAWN BY: _____ ACCOUNT # _____

REFERENCE SERVICES

NO.	DATE	DESCRIPTION	REVISIONS
1	2015-08-31	REVISED FOR PERMIT	

PROPERTY ACQUISITION

NO.	DATE	DESCRIPTION	REVISIONS
1	2015-08-31	REVISED FOR PERMIT	

Minoru Chapel Layout & Grading Plan

DATE: MAY 7, 2015

SCALE: 1/4" = 1'-0"

SHEET: L2 OF 3

DESIGNER: _____

CHECKED: _____

APPROVED: _____



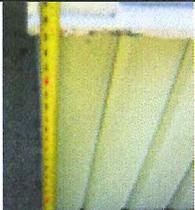
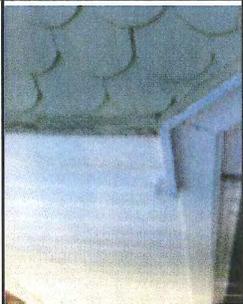
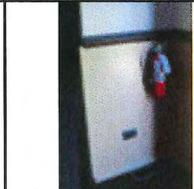
Minoru Chapel

Phase II Rehabilitation

FINISHES SCHEDULE

6540 Gilbert Road, Richmond, BC

Notes: - (OP): Please provide Optional Pricing for these items. For CODES refer also to Scope of Work on Arch'l Drawings.

CODE	PRODUCT / LOC'N	MANUFACTURER	CONTACT	DETAILS	PHOTO
DIV 06 WOOD, PLASTICS, COMPOSITES					
C	CARPENTRY - Siding Repair		Contractor	Repair to damaged Siding, Wall Shingles and Skirting Board as noted on Arch'l Plans - Profile, Material & Finish to Match Exg	
					
DIV 09 FINISHES					
D1	FLOORING - Exg Fir Flooring (Replaced)		Contractor	New/Recycled Fir Floor Boards to Match Exg in Profile, Grain & Stain to Match Exg - Refer to Arch'l Plans for Extent of Work	
D2	FLOORING - Exg Fir Flooring (Repaired)		Contractor	New/Recycled Fir Floor Boards to Match Exg in Profile, Grain & Stain to Match Exg - Refer to Arch'l Plans for Extent of Work	
E1	ARCH'L WOODWORK - Interior Wainscotting (Refurbishment of Existing Hardboard Covering)		Contractor	Replacement and Repair to Match Existing as required to "Make Good" particularly below windows	
E2 (OP)	Provide Optional Pricing for: ARCH'L WOODWORK - Interior Wainscotting (Removal of Existing Hardboard Covering & Refurbishment of Original Boards & Trim)		Contractor	Repair & Refinish Original Wainscotting & Related Trim as required to Restore Original Character	



Minoru Chapel
FINISHES SCHEDULE

Phase II Rehabilitation

6540 Gilbert Road, Richmond, BC

Notes: - (OP): Please provide Optional Pricing for these items. For CODES refer also to Scope of Work on Arch'I Drawings.

CODE	PRODUCT / LOC'N	MANUFACTURER	CONTACT	DETAILS	PHOTO
F1	FLOORING - Vinyl Flooring	Karndean Design Flooring	Tara Day Go Resilient Canada 604-678-2712 tara.day@goresilient.ca	12"x12" Vinyl Stone Tile Flooring, Italian Mosaic Collection, Michelangelo, MX98, Adriatic Blue - Contractor to allow for removal of exg floor finish and surface preparation for level application.	
F-2	WALL & CEILING FINISHES - Paint (Universal WC Walls & Ceiling)		Contractor	New Paint to Match Exg (WC only)	
DIV 10 SPECIALTIES					
	INTERIOR SPECIALTIES - Mirror (Universal WC)			Exg to Remain	
DIV's 11 & 12 EQUIPMENT & FURNISHINGS					
	SOAP DISPENSER - (Universal WC)			Exg to Remain	
	GARBAGE - (Universal WC)			Exg to Remain	
	HAND DRYER - (Universal WC)			N/A	
	TOILET TISSUE HOLDER - (Universal WC)			Exg to Remain	
	NAPKIN DISPOSAL - Surface Mounted (Universal WC)			Exg to Remain	
	GRAB BAR - (Universal WC)			Exg to Remain	
DIV 21 FIRE SUPPRESSION					
	SPRINKLERS			No Change	
DIV 22 PLUMBING					
F3	WALL-MOUNTED SINK - (Universal WC)	American Standard		Murro Universal Design with Everclean, Vitreous China, 0954 004EC, 4" Centres, White	

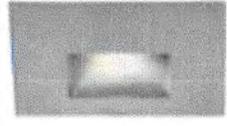


**Minoru Chapel
FINISHES SCHEDULE**

Phase II Rehabilitation

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CODE	PRODUCT / LOC'N	MANUFACTURER	CONTACT	DETAILS	PHOTO
F4	SINK FAUCET - (Universal WC)	Delta		Leland Bath Collection 3 Hole 4" Centerset, 2575LF-RBMPU With Pop-up Drain, Venetian Bronze	
F5	TOILET - (Universal WC)	Mirabelle	Jevons Tang, Kitchen & Bath Classics (Wolsely), 604-873-0004	Provincetown Collection 2-Pce High Efficiency, MIRPR240WH Elongated Bowl, White; MIRPR200WH Tank, White	
DIV 23 HEATING VENTILATION & AIR CONDITIONING					
	AIR DISTRIBUTION			No Change	
DIV 26 ELECTRICAL					
F6	LIGHTING - Under Cabinet - (Universal WC - 2 Under Cabinetry Above Sink)	Alico		LED Puck MLE-101-45 w/ Mounting Ring, Oil Rubbed Bronze	
Ga (OP)	Provide Optional Pricing for: EXTERIOR LIGHTING - (Over Entry/Exit Doors - Refer also to Electrical Dwgs)	Hinkley	Al Kuss, Norburn Lighting & Bath Centre, C: 604-649-7057	St. Moritz Series, 6U874, Black, White Linen Glass, 1 Med 100W Bulb, 12.5"Hx7.5"Wx7.75"D	
Gb (OP)	Provide Optional Pricing for: EXTERIOR LIGHTING - (Step Lights - Refer also to Electrical Dwgs)	WAC Lighting	Al Kuss, Norburn Lighting & Bath Centre, C: 604-649-7057	LEDme Step Light, WL-LED100-(AM Amber or C White TBC), BN Brushed Nickel (to blend w/ concrete steps), 5"Wx3"H Front Plate	
H (OP)	Provide Optional Pricing for: ELECTRICAL LIGHT SWITCH - (Bride's Room - Refer also to Electrical Dwgs)			See Electrical	
I (OP)	Provide Optional Pricing for: FIRE ALARM SYSTEM (Refer also to Electrical Dwgs)			See Electrical	



THE ANDREWS ARCHITECTS INC.
www.andrewsarchitects.ca

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CODE	PRODUCT / LOC'N	MANUFACTURER	CONTACT	DETAILS	PHOTO
	Provide Optional Pricing for: Walkway Bollards			TBC - Refer to Landscape and Electrical Dwgs	