



# City of Richmond

## Report to Development Permit Panel

**To:** Development Permit Panel

**Date:** December 17, 2015

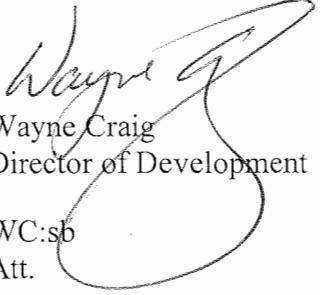
**From:** Wayne Craig  
Director of Development

**File:** DV 15-708883

**Re:** Application by 0983101 BC Ltd. for a Development Variance Permit at 12208,  
12222 and 12228 Trites Road

### Staff Recommendation

That a Development Variance Permit be issued which would vary sections 4.18.2.a. and 8.1.7.4.a. of Richmond Zoning Bylaw 8500 to permit maximum building height "residential vertical lot width envelope" and "residential vertical lot depth envelope" to be measured from the required Flood Construction Level (2.9 m GSC) in order to allow construction of new single detached houses at 12208, 12222 and 12228 Trites Road on sites zoned "Single Detached (RS2/A)".

  
Wayne Craig  
Director of Development

WC:sb  
Att.

**Staff Report****Origin**

0983101 BC Ltd. has applied to the City of Richmond to vary sections 4.18.2.a. and 8.1.7.4.a. of Richmond Zoning Bylaw 8500 to permit maximum building height "residential vertical lot width envelope" and "residential vertical lot depth envelope" to be measured from the required Flood Construction Level in order to construct new single detached houses at 12208, 12222 and 12228 Trites Road on sites zoned "Single Detached (RS2/A)".

**Development Information**

The site was recently rezoned from the "Single Detached (RS1/E)" zone to the "Single Detached (RS2/A)" zone under Richmond Zoning Bylaw 8500, Amendment Bylaw 9194 (RZ 14-666142), which was adopted by Council on March 9, 2015 and subsequently subdivided into three (3) separate lots.

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

**Background**

Development surrounding the subject site is as follows:

- To the north, immediately across Moncton Street, is the S.U.C.C.E.S.S. Austin Harris Residence, a multi-unit senior's assisted living residence on a large lot zoned "Congregate Housing (ZR4) – Steveston" at 5411 Moncton Street.
- To the east, are six (6) lots, which are currently the subject of an application (RZ 14-674749) to rezone the lots to a site specific "Single Detached (ZS23) – Steveston" zone to create 30 single detached lots. Richmond Zoning Bylaw 8500, Amendment Bylaw 9275 to rezone the site received Public Hearing on September 8, 2015.
- To the south, is a single detached house on a large lot zoned "Single Detached (RS1/E)", which fronts Trites Road.
- To the west, immediately across Trites Road, is a single detached house on a large lot zoned "Single Detached (RS1/B)".

**Analysis**

Consistent with the Flood Plain Designation and Protection Bylaw No. 8204, a restrictive covenant was registered on title of all three subject lots through the approved rezoning application, requiring that all new homes be constructed with a minimum flood construction level of 2.9 m GSC. There is a significant grade difference between the 2.9 m GSC required flood construction level and the lower existing site and road grades.

The Moncton Street and Trites Road frontages will be improved with new sidewalk, boulevard, curb and gutter through the Servicing Agreement that the developer entered into as part of the approved rezoning application. The Servicing Agreement also includes providing new sanitary sewer across the Trites Road frontage of the subject lots. The new sanitary sewer will tie into the

existing sanitary sewer located in the neighbouring front yard to the south and the neighbour will be provided with one month's notice before construction starts.

After the new sidewalks are constructed, the 2.9 m GSC required flood construction level is approximately 1.54 m to 1.62 m higher than the proposed final grade of the Moncton Street sidewalk and approximately 1.23 m to 1.42 m higher than the proposed final grade of the Trites Road sidewalk. To address the grade difference, the site grade is proposed to be raised to 2.2 m GSC at the corners of the homes and the main living areas would be constructed to comply with the 2.9 m GSC required flood construction level. Front entries would be accessed by stairs. The street fronting yards are proposed to be sloped down to the Trites Road sidewalk and tiered down to the Moncton Street sidewalk.

A Japanese themed tiered garden edge is proposed along Moncton Street and complementary sloped grass and shrub planting is proposed along Trites Road. In order to secure the detailed landscape design and grading information provided on the DV Plans (DV Plans 4, 8 and 12) provided along with this report, the applicant is required to provide security for site grading and landscaping interfaces on all four sides of each of the three subject lots as a condition of the Development Variance Permit.

#### Adjacency

The adjacent property to the east is proposed to be developed with 30 new single detached homes (RZ 14-674749) at the same required flood construction level of 2.9 m GSC and is being designed by the same Landscape Architect and building designer. The grading strategy proposed under this Development Variance Permit will meet the grading of the neighbouring development proposal to the east, with the exception of providing a low 0.3 m wood retaining wall at the southeast corner of the subject site. The neighbouring development includes a 1.7 m GSC permanent lane abutting the southeast corner of the subject site and temporary berthing and a raised temporary fire access abutting most of the east edge of the subject site until a single family home is constructed in the future.

The adjacent single detached home property to the south is at a lower elevation. The grading proposal for the subject southern lot includes sloping the grade from the house down to perimeter drainage, privacy fencing and a retaining wall along the shared property line. Along the south property line the proposed retaining wall would be approximately 0.9 m higher than the neighbouring grade with a lower 1.2 m fence height on top.

#### Requested Variance

The applicant requests to vary Sections 4.18.2.a. and 8.1.7.4.a. of Richmond Zoning Bylaw 8500 to permit maximum building height "residential vertical lot width envelope" and "residential vertical lot depth envelope" to be measured from the required Flood Construction Level (2.9 m GSC), rather than from finished site grade.

The Zoning bylaw requires the envelopes to be measured from the finished site grade, which is an averaged calculation of the existing grades at the corners of the lot and the proposed grades at the corners of the building. The variance to measure the envelopes from the required Flood Construction Level is requested to accommodate the proposed desired house designs and still meet the required level for the area (Min. 2.9 m GSC) and Zoning bylaw.

As a result of the maximum permitted residential vertical envelopes, the lower existing grades, higher required flood construction level and minimum setbacks from property lines, the applicant is not able to construct the allowable floor area permitted under the RS2/A zone (approximately 2,000 sq.ft. per house). Without the requested variance, the applicant would not be able to construct a full two-storey house with traditional roof pitch consistent with the Trites sub-area neighbourhood character. Instead, the second floor would need to be significantly inset and shallow roof pitch constructed.

In support of the requested variance, the applicant has provided site plans, building design plans and landscape plans (DP Plans 1 to 12).

*Staff support the proposed variance as it allows for single detached home development that: accommodates the higher required Flood Construction Level (Min. 2.9 m GSC) for the area; is consistent with the proposed neighbouring development to the east; and is mitigated through considered building and landscaping design.*

*The variance is consistent with the building height measurement requirements included in the "Single Detached (ZS23) – Steveston" zone for the rezoning (RZ 14-674749) proposal for a 30-lot subdivision in the neighbouring land assembly to the east.*

### **Conclusion**

The proposed variance will allow for the construction of three new single detached homes that accommodate the higher required Flood Construction Level (Min. 2.9 m GSC) for the area in a manner that would be consistent with the proposed neighbouring development to the east. The proposal includes considered building and landscaping design and should not negatively impact the Moncton Street and Trites Road streetscapes.

Staff recommend that the Development Variance Permit be issued.

*Sara Badyal.*

Sara Badyal  
Planner 2

SB:rg

The following are to be met prior to forwarding this application to Council for approval:

- Receipt of a Letter-of-Credit for landscaping 12208 Trites Road in the amount of \$17,296.13.
- Receipt of a Letter-of-Credit for landscaping 12222 Trites Road in the amount of \$12,244.16.
- Receipt of a Letter-of-Credit for landscaping 12228 Trites Road in the amount of \$16,686.29.

Prior to future Building Permit issuance, the developer is required to complete the following:

- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<http://www.richmond.ca/services/ttp/special.htm>).



**City of  
Richmond**

**Development Application Data Sheet**

Development Applications Division

**DV 15-708883**

**Attachment 1**

Address: 12208, 12222 and 12228 Trites Road

Applicant: 0983101 BC Ltd. Owner: 0993289 BC Ltd.

Planning Area(s): Trites Sub Area (Steveston)

	<b>Existing</b>	<b>Proposed</b>
<b>Site Area</b>	12208 Trites Rd 342 m <sup>2</sup> 12222 Trites Rd 334 m <sup>2</sup> 12228 Trites Rd 334 m <sup>2</sup>	No change
<b>Land Uses</b>	Vacant	Residential
<b>OCP Designation</b>	Neighbourhood Residential	Complies
<b>Area Plan Designation</b>	Single-Family Housing	Complies
<b>Zoning</b>	Single Detached (RS2/A)	Variance requested as noted below
<b>Number of Units</b>	None	3

	<b>Bylaw Requirement</b>	<b>Proposed</b>	<b>Variance</b>
Floor Area Ratio	Max. 0.55 FAR	0.55 FAR	None permitted
Building Lot Coverage: 12208 Trites Rd 12222 Trites Rd 12228 Trites Rd	Max. 45%	37.4% 44.95% 44.95%	None
Non-Porous Area: 12208 Trites Rd 12222 Trites Rd 12228 Trites Rd	Max. 70%	57% 63% 63%	None
Planted Area: 12208 Trites Rd 12222 Trites Rd 12228 Trites Rd	Min. 20%	42.8% 36.1% 36.1%	None
Setbacks: Moncton Street Trites Road Interior Side Yard Rear Yard	Min. 3 m Min. 6 m Min. 1.2 m Min. 6 m	3 m 6 m 1.2 m 6 m	None
<b>Building Height</b>	Max. 9 m & 2 ½ storeys Residential Vertical Envelopes Measured from Average Finished Site Grade (1.5 m to 1.55 m GSC)	9 m & two-storey Residential Vertical Envelopes Measured from Flood Construction Level (2.9 m GSC)	<b>Measured from Flood Construction Level (2.9 m GSC)</b>



# City of Richmond

## Development Variance Permit

No. DV 15-708883

To the Holder: 0983101 BC Ltd.

Property Address: 12208, 12222 and 12228 Trites Road

Address: c/o Davinder Mander  
101 - 5027 47A Avenue  
Delta, BC V4K 1T9

1. This Development Variance Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied by this Permit.
2. This Development Variance Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied in Sections 4.18.2.a. and 8.1.7.4.a. as follows:
  - a) Maximum building height "residential vertical lot width envelope" and "residential vertical lot depth envelope" to be measured from the required Flood Construction Level (2.9m GSC).
4. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and Plans #1 to #12 attached to this Permit which shall form a part hereof.
5. As a condition of the issuance of this Permit, the City is holding security in the following amounts to ensure that development is carried out in accordance with the terms and conditions of this Permit:
  - a) \$17,296.13 for 12208 Trites Road;
  - b) \$12,244.16 for 12222 Trites Road; and
  - c) \$16,686.29 for 12228 Trites Road.

Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.

6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse.

This Permit is not a Building Permit.

**Development Variance Permit**  
**No. DV 15-708883**

To the Holder: 0983101 BC Ltd.  
Property Address: 12208, 12222 and 12228 Trites Road  
Address: c/o Davinder Mander  
101 - 5027 47A Avenue  
Delta, BC V4K 1T9

---

AUTHORIZING RESOLUTION NO. ,  
DAY OF ,

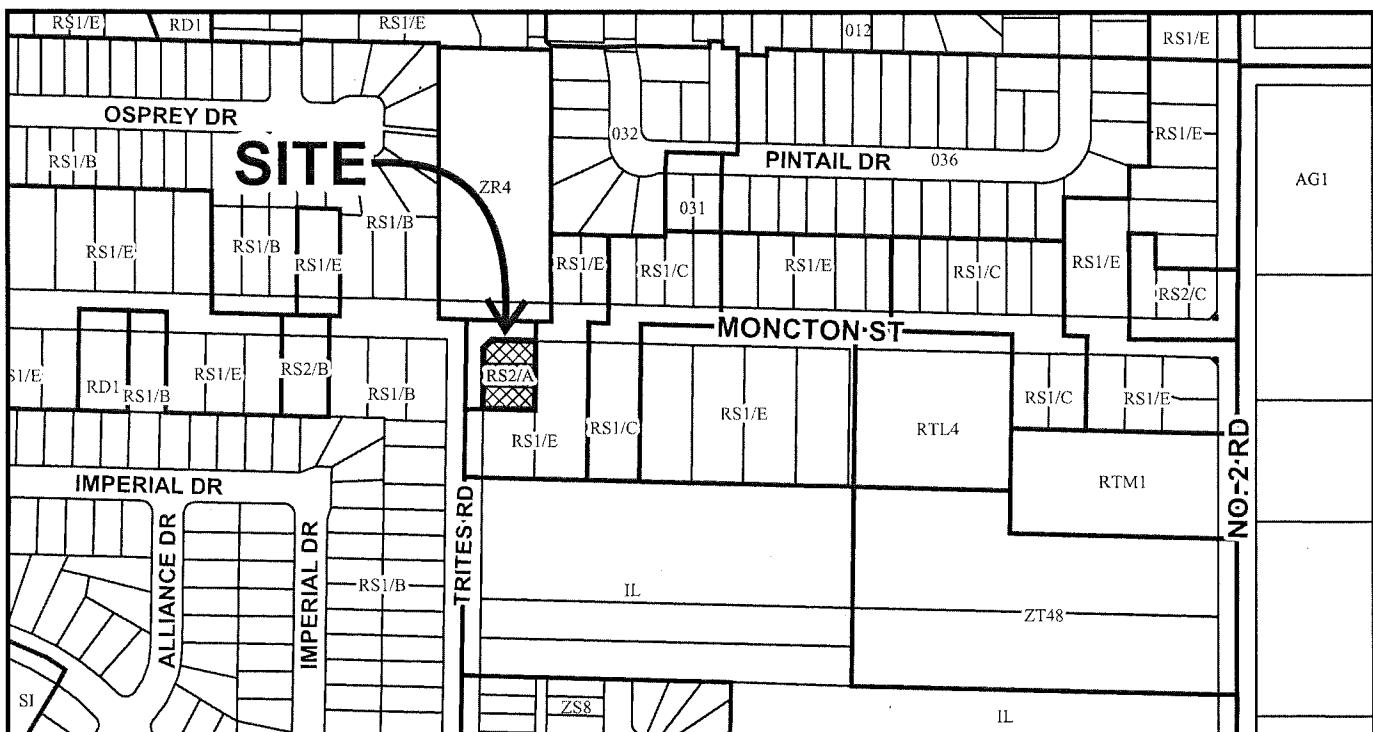
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF ,

MAYOR

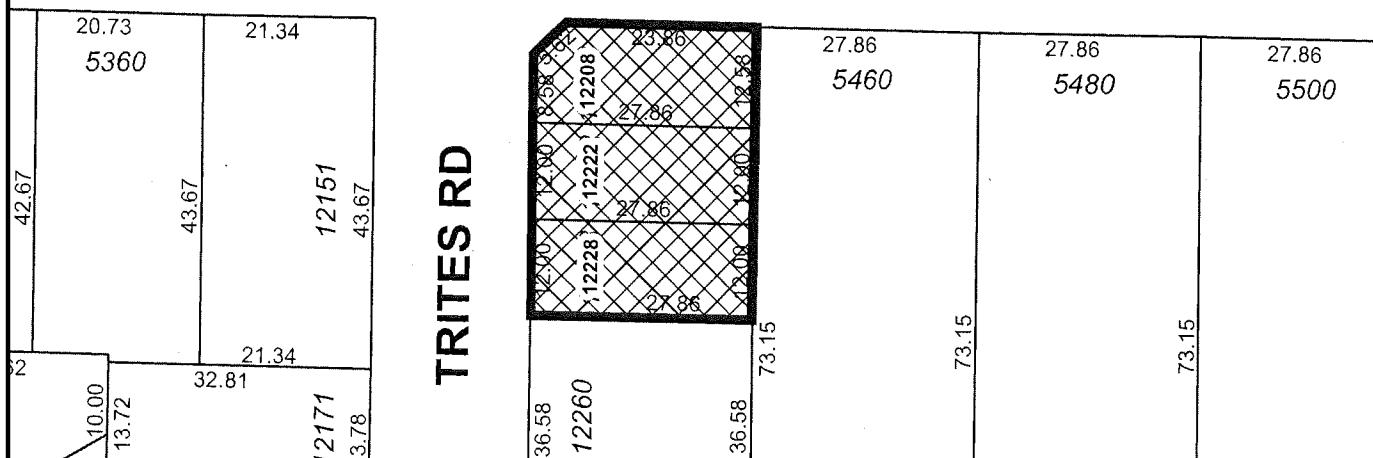


# City of Richmond



	5351 17.62	5371 17.62		5411 60.35		5431 15.45	5451 14.73	5511 15.09	5515 15.09	553 15.09
--	---------------	---------------	--	---------------	--	---------------	---------------	---------------	---------------	--------------

## MONCTON ST



<b>N</b>	<b>DV 15-708883</b> <b>SCHEDULE "A"</b>	Original Date: 09/18/15 Revision Date: Note: Dimensions are in METRES
----------	--	---

DV 15-70883  
Plan I Dec 16, 2015

HOUSE FOR 0983101 B.C. LTD  
AT # 12208 TRITES ROAD, RICHMOND B.C.

**Ryndes** Ltd.  
B17 Cleworth Road  
Wetherby, B.C.  
(042) 276-8095

Plan I Dec 16, 2015

HOUSE FOR 0983101 B.C. LTD  
AT # 12208 TRITES ROAD, RICHMOND B.C.

**Ryndes** Ltd.  
B17 Cleworth Road  
Wetherby, B.C.  
(042) 276-8095

**Roof:** Asphalt shingles on 1 1/2" plywood sheathing on certified trusses @ 24" o.c. with minimum R-50 insulation. 6 mil poly vapour barrier on 5/8" drywall.

**EXTERIOR CLADDING**  
**3/4" X 2" OR 18"X 2" BORATE TREATED EXTERIOR  
 PLYWOOD PLUNGED STRAPPING AT 8" OR 16" O.C.  
 2 LAYERS OF 30 MIN. RATED BUILDING PAPER  
 OR  
 1 LAYER OF BUILDING PAPER  
 (TYPE COMMERCIAL WRAP) OR EQUIVALENT  
 PLYWOOD SHEATHING  
**R20 FIBERGLASS BATT INSULATION**  
 NO. OF LAYERS: 2 (18" X 2" X 16" O.C.)  
 NO. OF LAYERS: 3 (18" X 2" X 16" O.C.)**

WALL SECTION  
SCALE: 1" =  $\frac{1}{10}$ "  
INSTALLATION DETAIL FOR  
CULTURED STONE FACING

The diagram illustrates a house's layout and its roof structure. The main part of the house includes a bathroom labeled 'BATH', a central area labeled 'BED #3', and a garage labeled 'GARAGE'. Below the main structure, a detailed view shows the roof's slope supported by '1x6 RAFTERS' and '1/2 SPACED TRUSSES'. A vertical dimension line indicates a height of 8 feet.

SECTION C

This architectural floor plan illustrates the layout and structural details of a house. The plan includes the following features and dimensions:

- Rooms:** BEDROOM #3, HALL, ENGS., GARAGE, LAUND.
- Exterior Dimensions:** Overall width is 22'0" and depth is 29'0".
- Structural Details:**
  - The front entrance has a side-hinged door.
  - A garage is located on the right side.
  - An attached garage is shown above the main garage, with a note indicating it is at the same level as the second floor.
  - The rear entrance is located in the hall area.
  - The left side of the plan shows an ATTIC VENT with a VENT 1/300 provide access.
  - Roof trusses are indicated on the left side.
  - Beams are labeled as TYPICAL THI JOIST.
- Grade Information:** The grade is shown as 2.20 ft above PCL (Paved Concrete Level) on the right side.
- Dimensions:** Specific dimensions include 12'-0" for the overall width of the main section, 29'0" for the overall depth, and 2.20 ft for the grade elevation.
- Notes:** A note indicates that the garage is at the same level as the second floor.

SECTION

This architectural floor plan illustrates the layout of a house. Key features include:

- LOFT**: Located at the top left, with dimensions of 12' wide by 8' deep.
- KITCHEN**: Located on the right side, with dimensions of 12' wide by 9' deep.
- ENTRY**: Located at the bottom center, with dimensions of 12' wide by 9' deep.
- STAIRS**: A central staircase connects the Entry level to the Loft and Kitchen levels.
- WALLS**: Walls are labeled with their respective widths: 12', 9', 8', and 12'.
- CEILINGS**: Ceilings are labeled with their heights: 8' 6", 9' 6", and 12' 0".
- ROOF**: The roof is shown with a slope and a projection labeled "PROP".
- INSULATION**: Insulation is indicated with the label "MIN R-14 STYROFOAM INSULATION" in the top right corner.

NORTH  

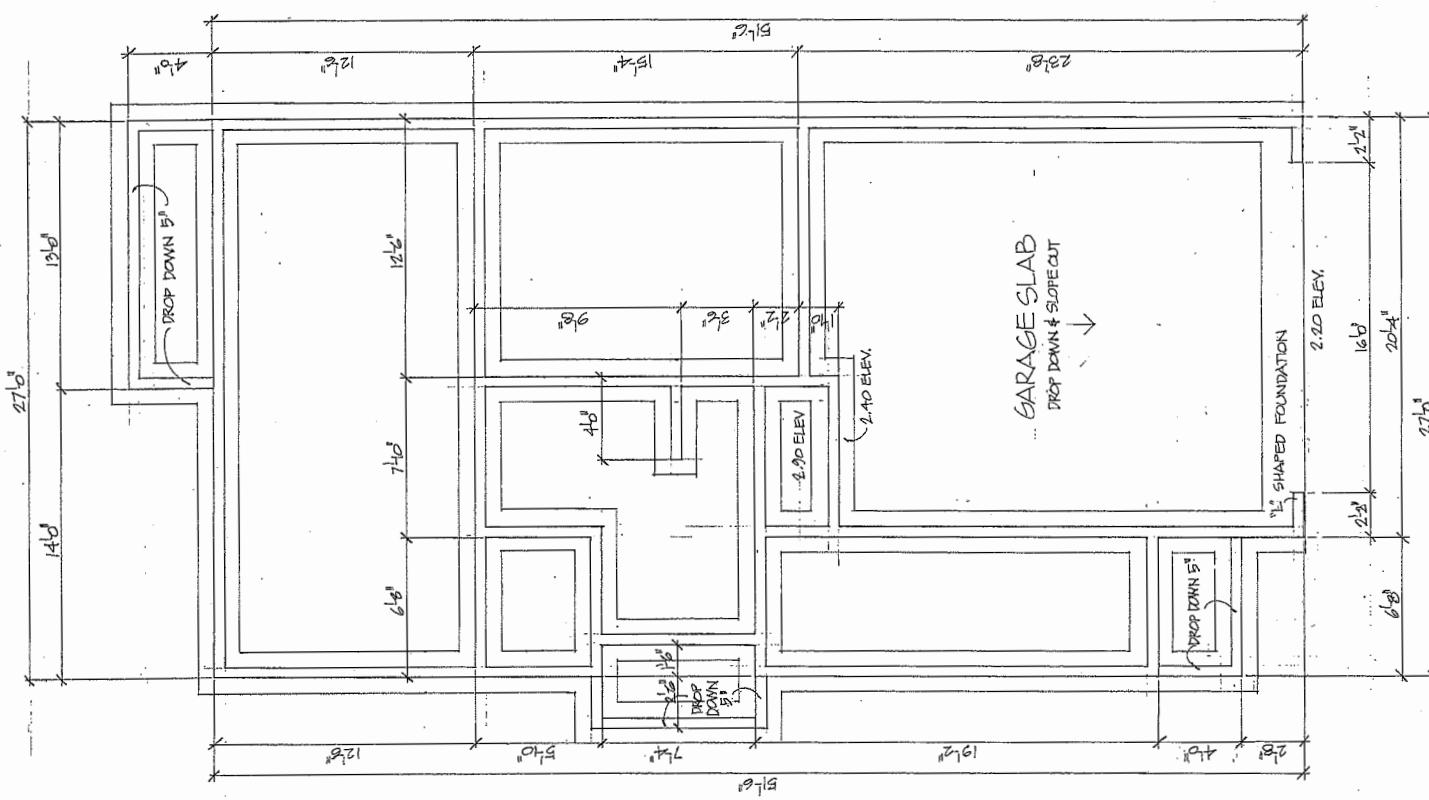
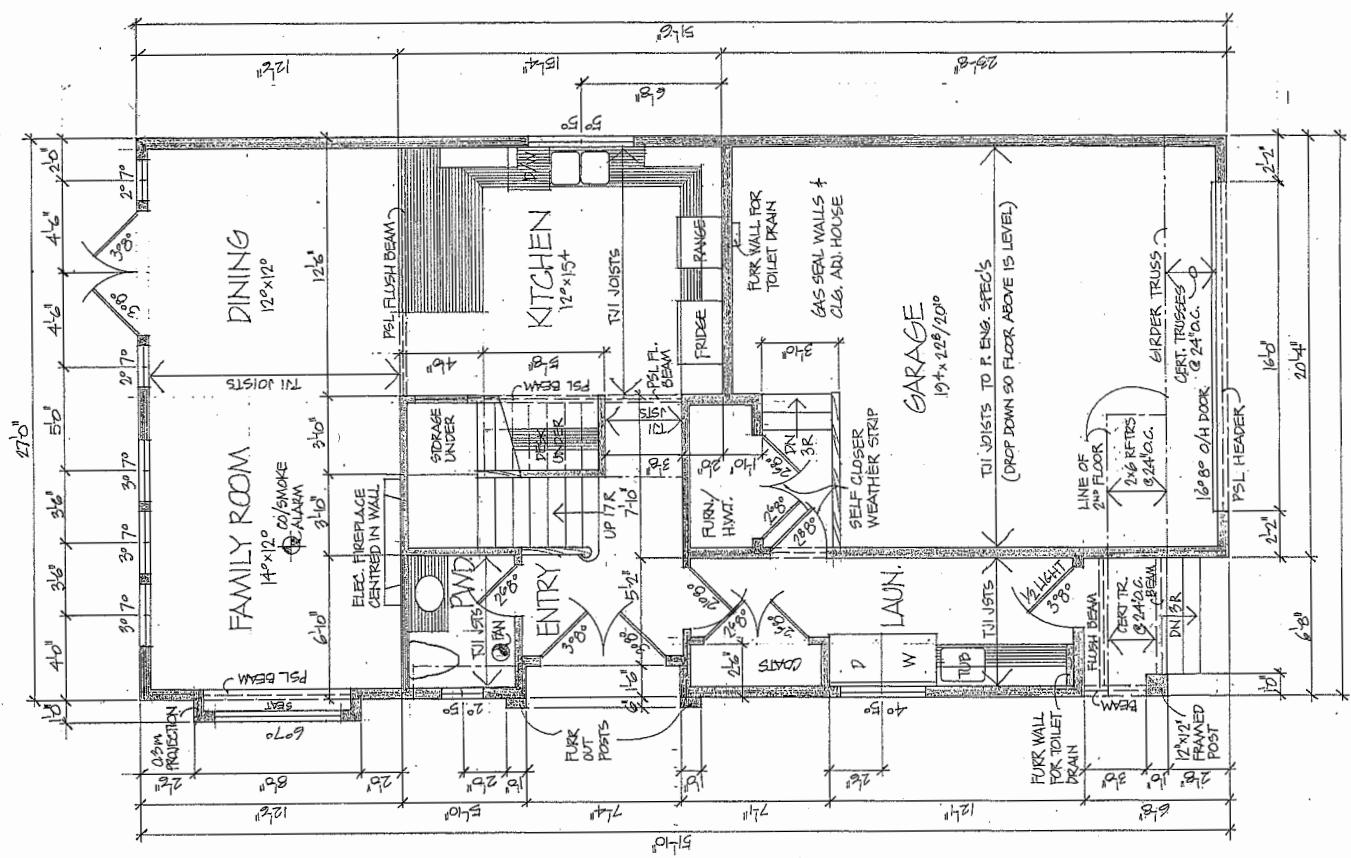
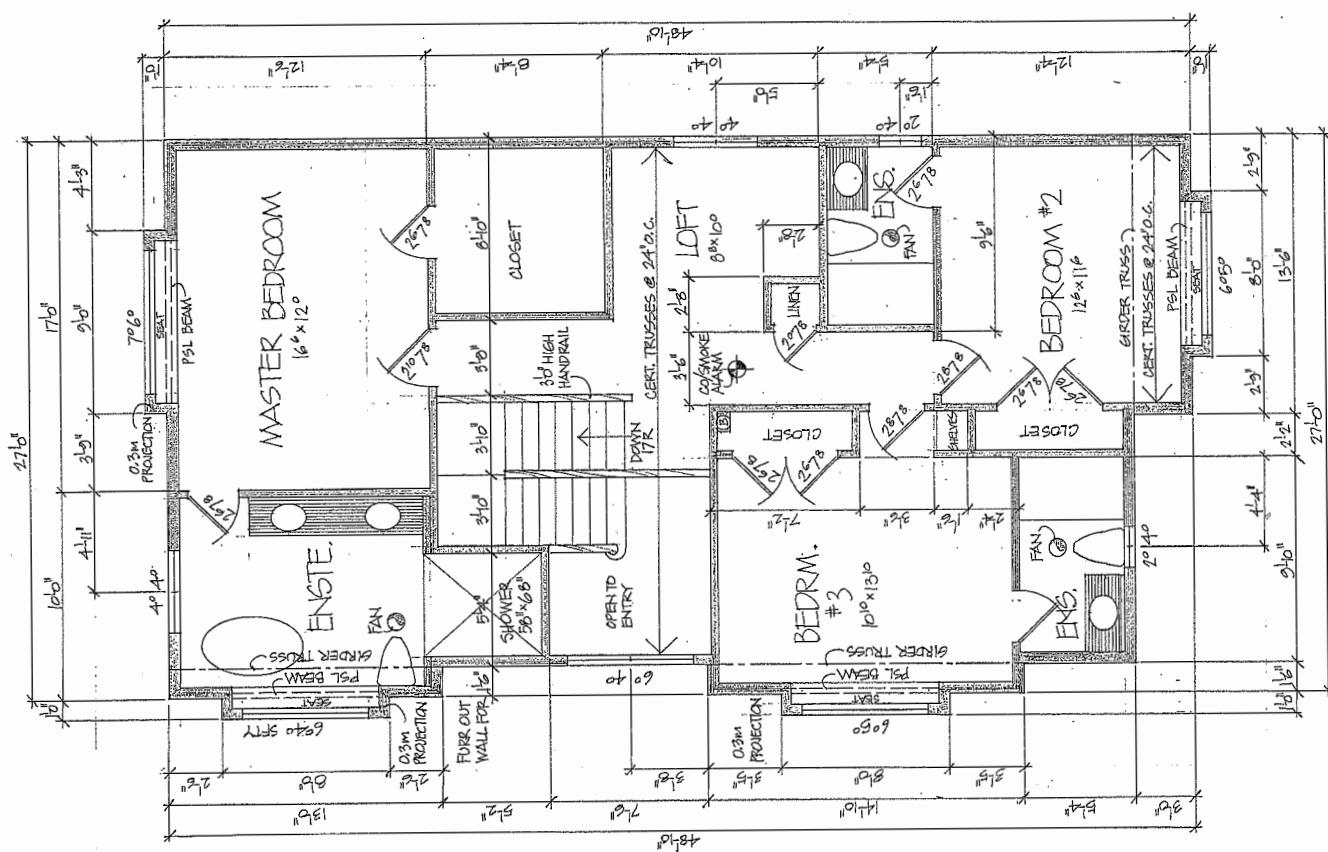
 SITE PLAN  
 SCALE  $1/8'' = 10'$   
 ANALYSIS (RS2/A)  
 LEGAL DESCRIPTION:  
 LOT 1  
 SECTION 12 B3N R7W  
 PLAN: TPP 50105  
 MAX. SITE COV @ 45% :  
 THIS PLAN: 137'7" + 127'3" =  
 MAX. FLOOR AREA @ 55% :  
 THIS PLAN: MAIN FLOOR  
 UPPER FLOOR  
 MAX. COVERED AREA: 1200'  
 THIS PLAN: 424' (3,9m<sup>2</sup>)  
 LANDSCAPED AREA  
 WEST YARD 300'  
 NORTH YARD 612'  
 EAST YARD 460'  
 MAX. COVERED AREA: 1200'  
 THIS PLAN: 424' (3,9m<sup>2</sup>)

Off-site works via separate registered Service Agreements Flood Plain Restricive Covenant registered on Title; Min. 2.9 m GSC Flood Construction Level required Variance included to permit Building Height "residential vertical lot width envelope" and "residential vertical lot depth envelope" to be measured from the required Flood Construction Level (2.9 m GSC). See Landscape Plans for grading information.

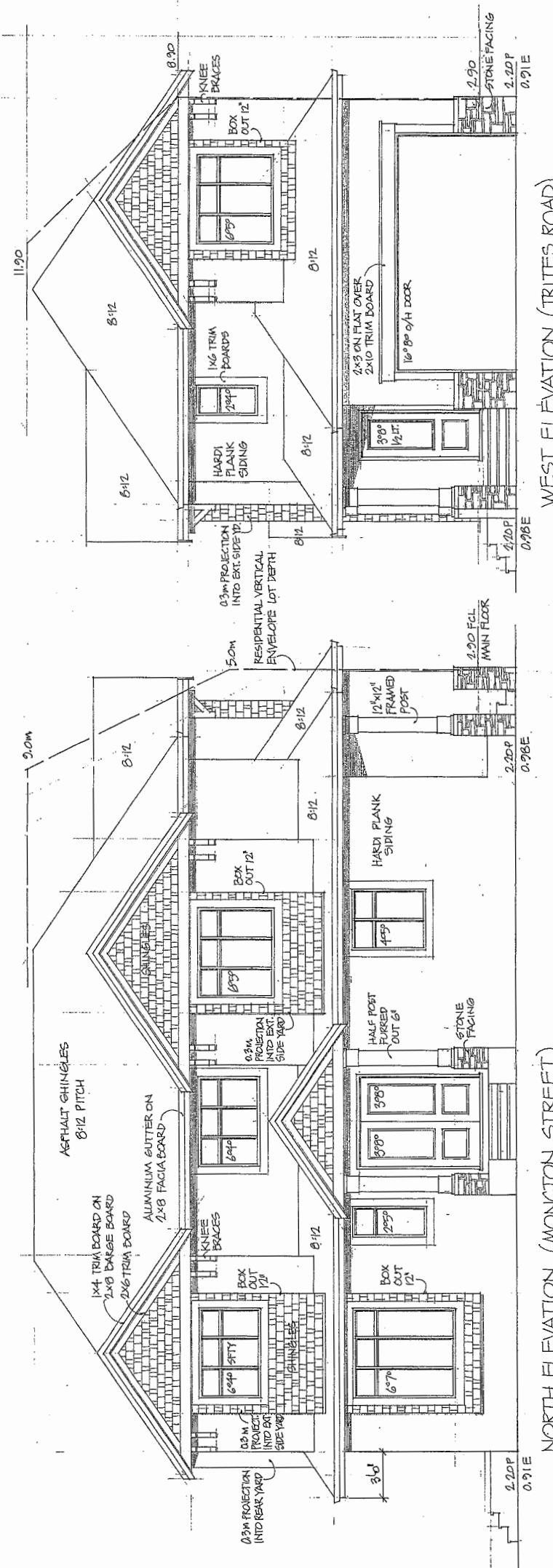
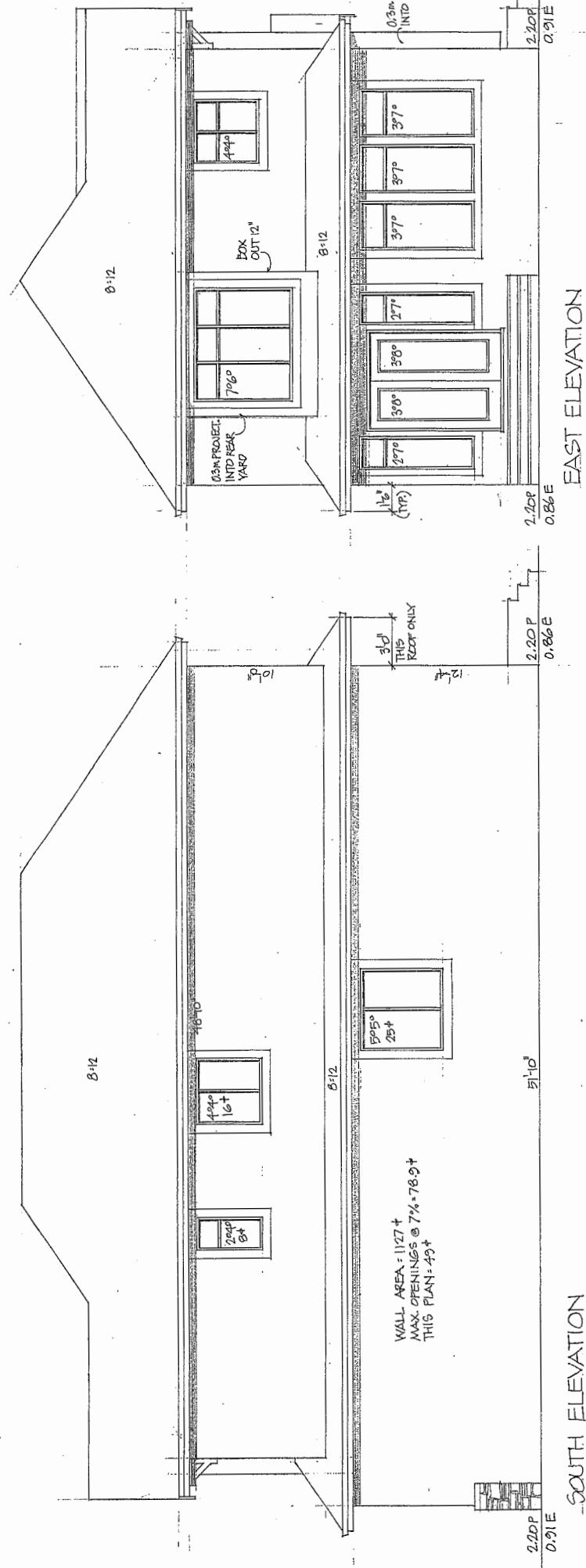
DV 15-70883

Plan 2 Dec 16, 2015

SHEET 2 OF 3

FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"MAIN FLOOR PLAN  
FINISHED AREA 865<sup>+</sup>  
GARAGE AREA 470<sup>+</sup>  
COVERED AREA 42<sup>+</sup>  
TOTAL 1377<sup>+</sup>UPPER FLOOR PLAN  
TOTAL AREA 1251<sup>+</sup>  
LESS STAIRS (-101<sup>+</sup>)  
CALCULATED 1144<sup>+</sup>

DV 15-70883  
Plan 3 Dec 16, 2015



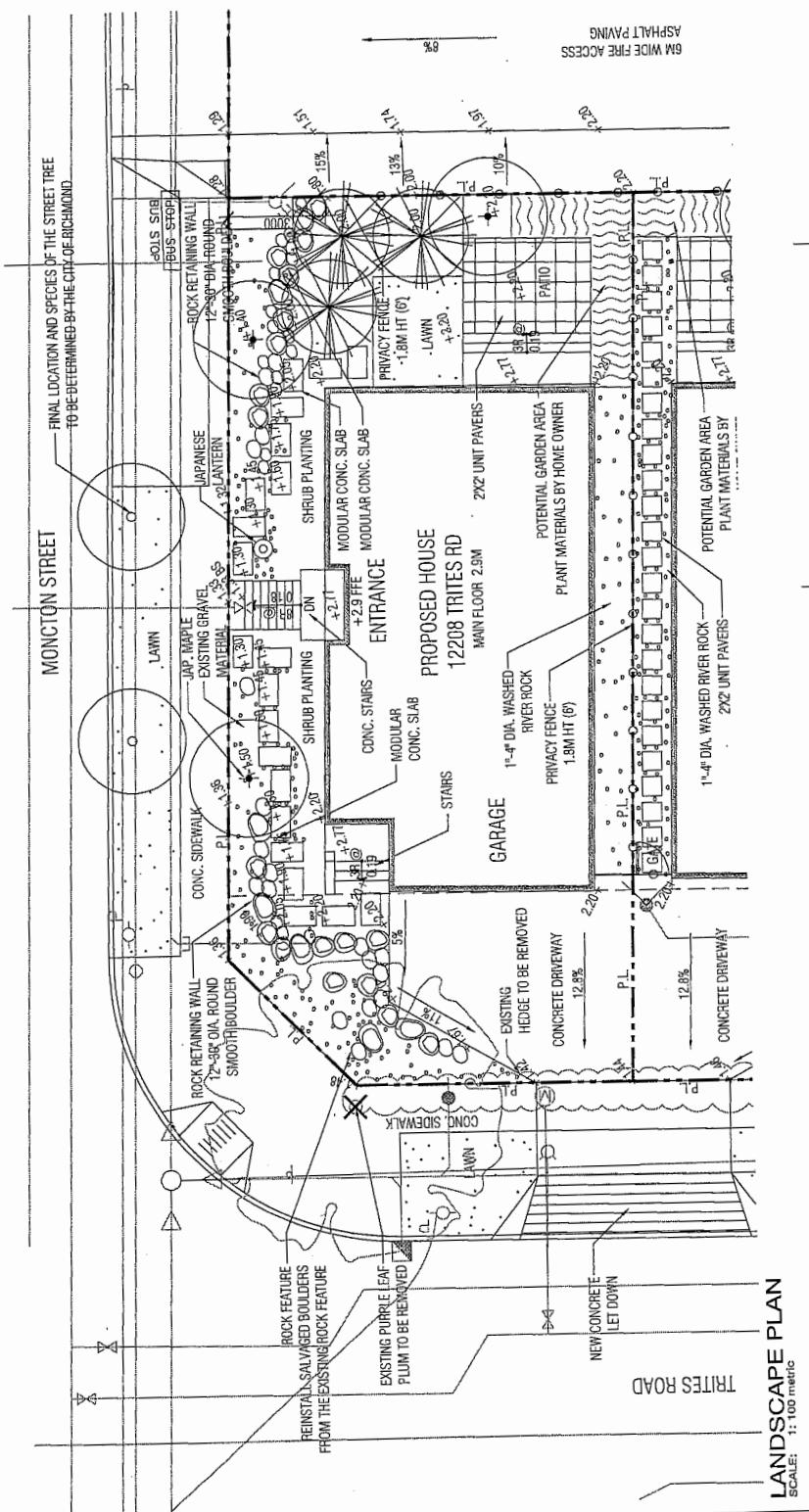
NORTH ELEVATION (MONITION STREET)

SHEET 3 OF 3



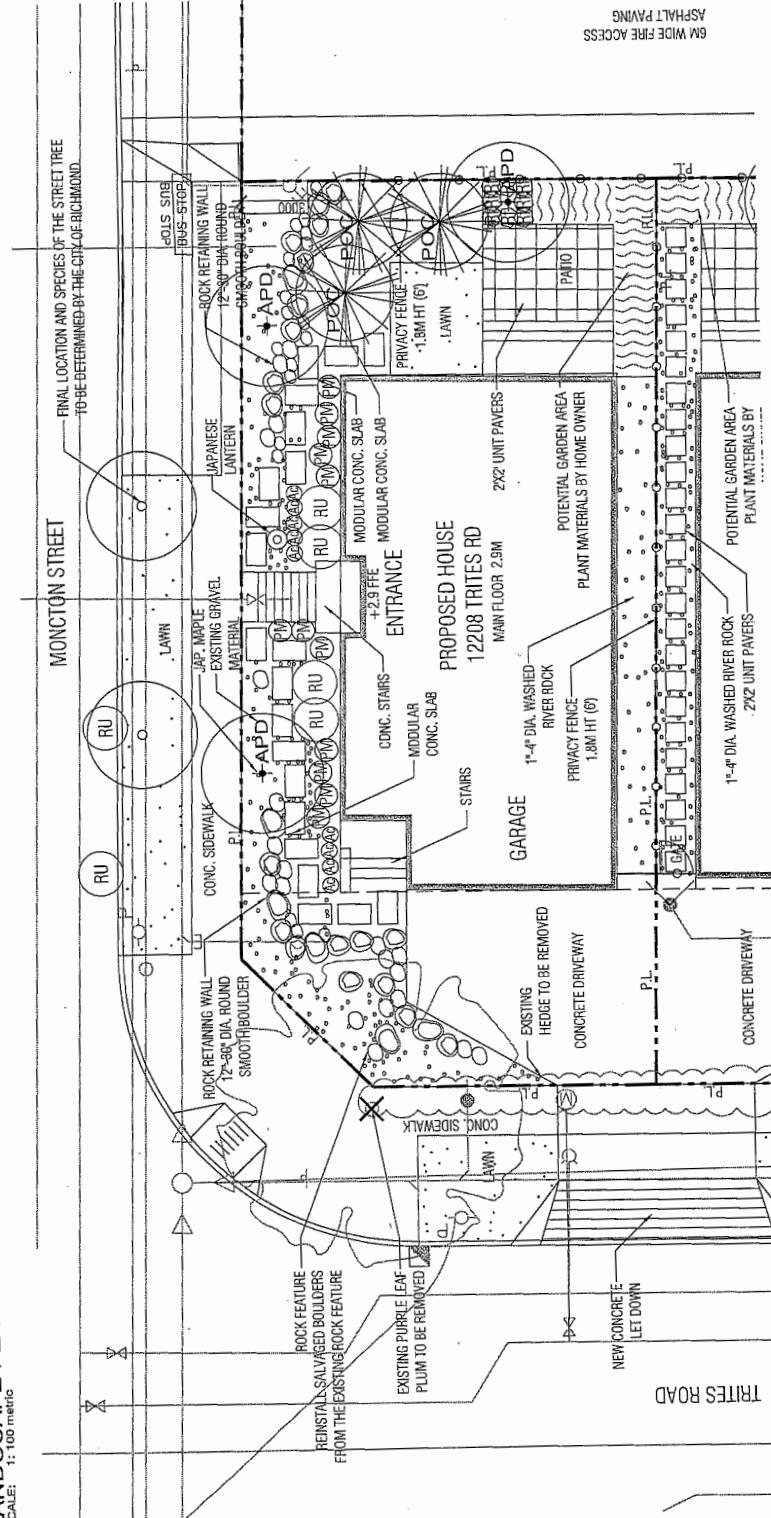
## GENERAL LANDSCAPE NOTES:

1. ALL LANDSCAPE MATERIAL SHALL MEET OR EXCEED STANDARDS REQUIRED BY BCINA OR BCSLA GUIDELINES.
  2. TOPSOIL SUPPLIED SHALL BE FROM A REPUTABLE SOURCE. A FULL ANALYSIS OF THE TOPSOIL WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE, SUBMIT TO LANDSCAPE CONSULTANT FOR APPROVAL.
  3. AMEND TOPSOIL PER SOIL ANALYSIS RECOMMENDATIONS PRIOR TO SPREADING ON SITE. REJECTED TOPSOIL SHALL BE REMOVED OFF SITE IMMEDIATELY AT THE LANDSCAPE CONTRACTORS EXPENSE.
  4. TOPSOIL DEPTHS FOR PLANTING AS FOLLOWS:
    - A. GRASSED AREAS: 6" (150MM) ON GRADE
    - B. GROUND COVERS: 12" (300MM)
    - C. SHRUBS: 18" (450MM)
    - D. TREE PITS: 36" (1000MM) WITH 12" (300MM) BELOW ROOT BALL
  5. LAWN AREAS SHALL BE SODDED WITH #1 PREMIUM RESIDENTIAL SOD NON-MESHEd.
  6. 2" DEPTH OF 1" MINUS COMPOST MULCH TO BE INSTALLED IN ALL SHRUB PLANTING AREAS.
  9. ROAD GRADING AND OVERALL SITE GRADING BY CIVIL ENGINEERING/ OR ARCHITECTURAL.
  10. NEW DRIVEWAY AND STREET LET DOWN BY OTHERS. SEE ARCH. OR CIVIL DWGS.



## PLANT LIST:

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COND.
APD	3	ACER PALMATUM	JAPANESE MAPLE	6CM CAL.	B & B
POC	3	PICEA OMORIKA	SERBIAN SPRUCE	3.0M HT.	B & B
PM	12	POLYSTICHUM MUNITEM	WESTERN SWORD FERN	#2	CONTAINER
RU	4	RHODODENDRON UNIQUE	UNIQUE RHODO.	#3	CONTAINER
AC	9	ASTILBE CHINENSIS 'VISIONS'	ASTILBE	#1	CONTAINER
RF	8	RUBBECKIA FULGIDA var 'GOLDSTRUM'	BLACK EYED SUSAN	#1	CONTAINER



PLANTING PLAN

SINGLE FAMILY RESIDENTIAL  
12208 TRICTES ROAD, RICHMOND, B.C.  
FOR: IMPERIAL SECURITY GROUP  
MURRAY AND ASSOCIATES LTD., 680 BLOOR STREET WEST, TORONTO, ON M5S 1E4, CANADA  
TEL: (416) 481-1000 FAX: (416) 481-1001 E-MAIL: [info@murrayandassociates.com](mailto:info@murrayandassociates.com)

ARABIA  
MAGNA

DATE AUG. 12, 2014  
DESIGN RMM  
DRAWN RMM  
CHECKED RMM  
SCALE 1:100  
NO. 11412

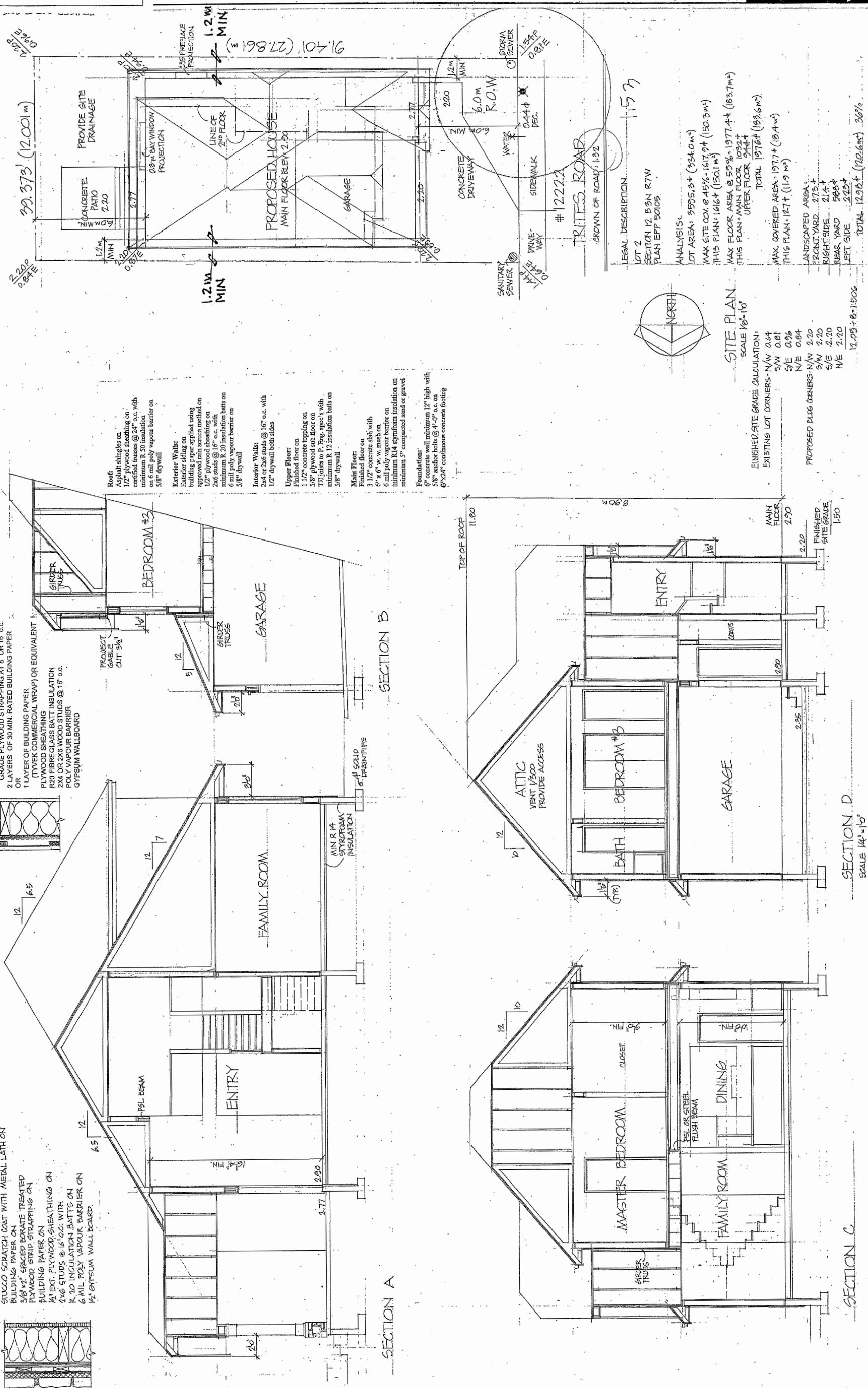
L-1  
SHEET NO.  
SHEET TITLE

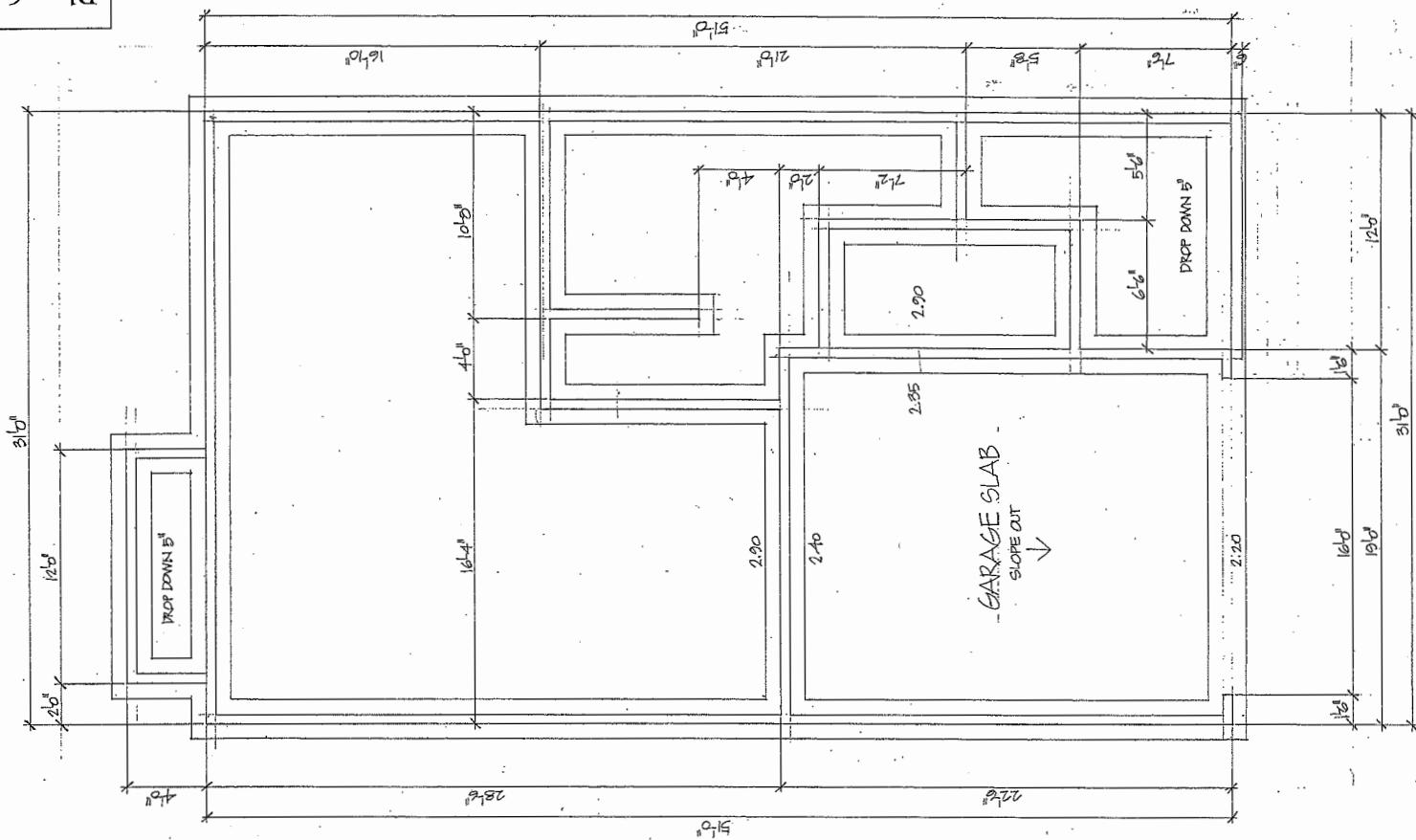
2015

Plan 5

6

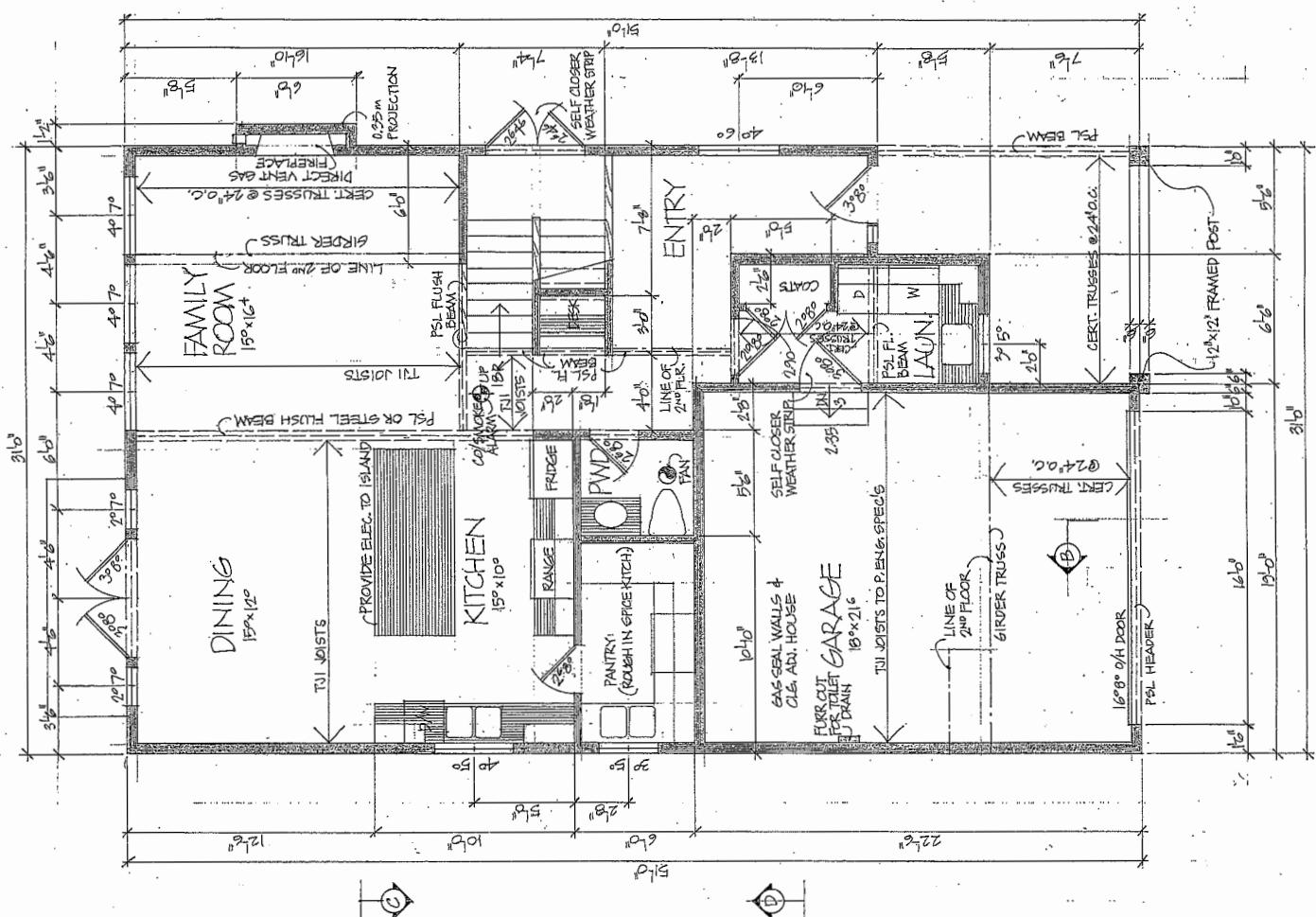
**Vynede Designs Ltd.**  
317 Gloucester Road  
Richmond, B.C.  
(604) 276-9085



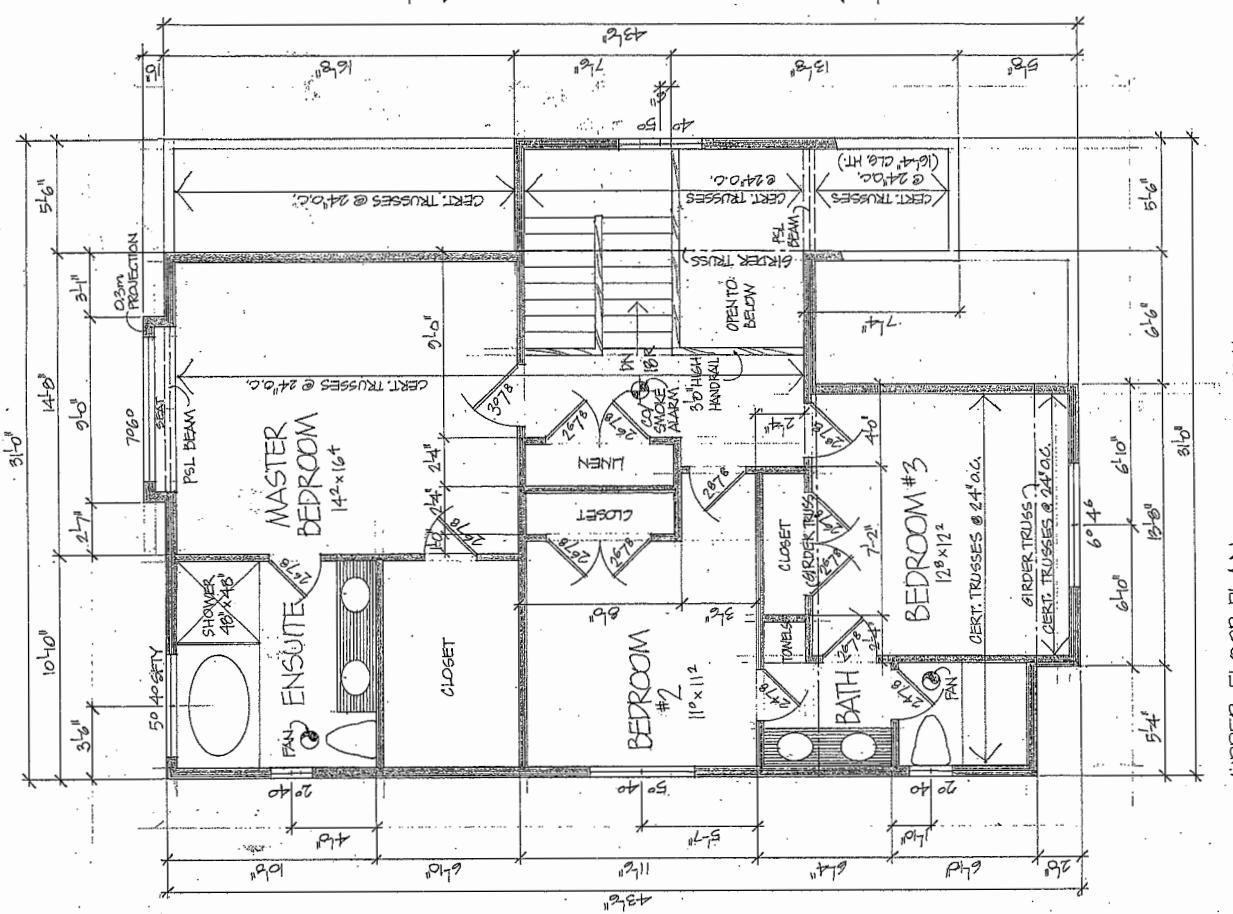


FOUNDATION PLAN  
SCALE 1&gt;= 16"

SHEET 2 OF 3  
15-25

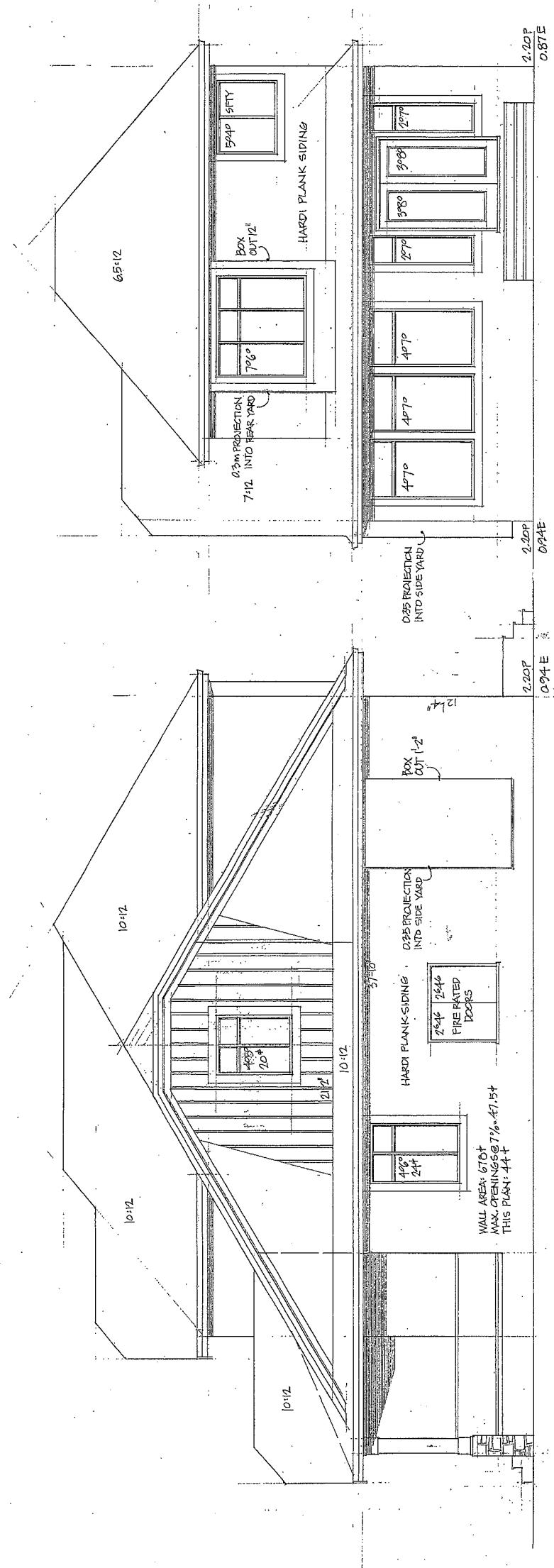


MAIN FLOOR PLAN  
FINISHED AREA: 10324  
GARAGE AREA: 4274  
COVERED AREA: 1284  
TOTAL SITE COV: 15887



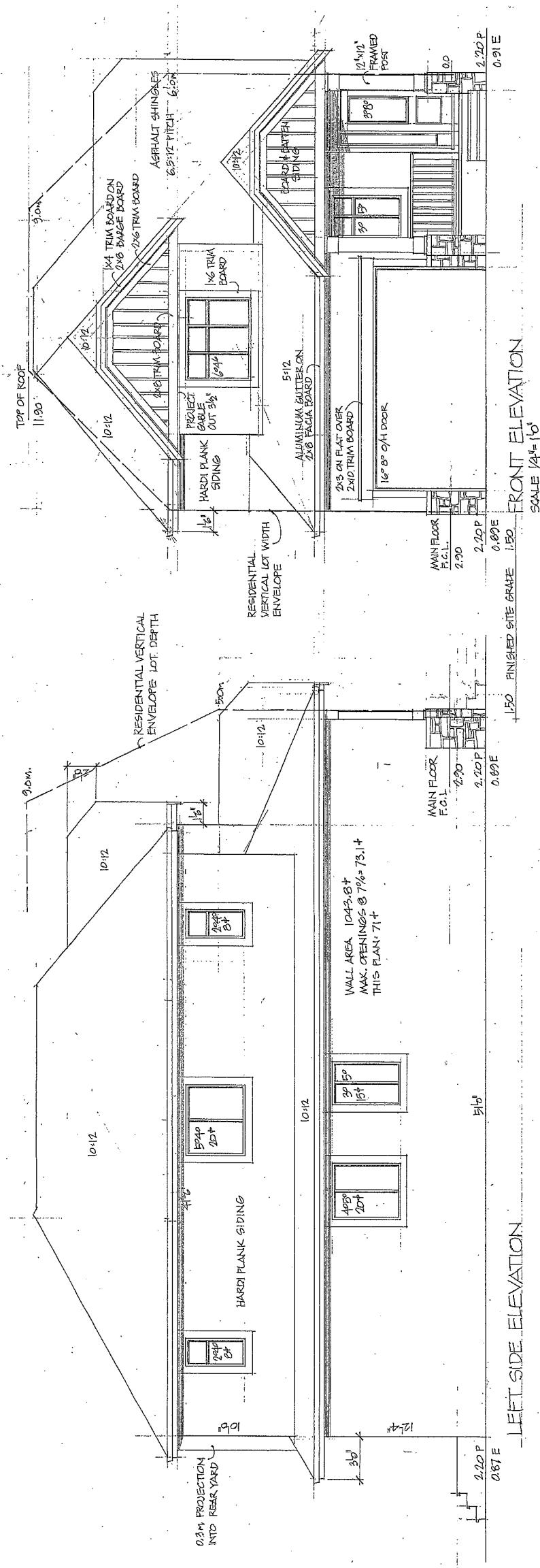
UPPER FLOOR PLAN  
TOTAL AREA: 11374  
LESS STAIRS: 1074  
LESS CLOSURES: 554  
CALCULATED: 9464

Plan 7 Dec 16, 2015



REAR ELEVATION

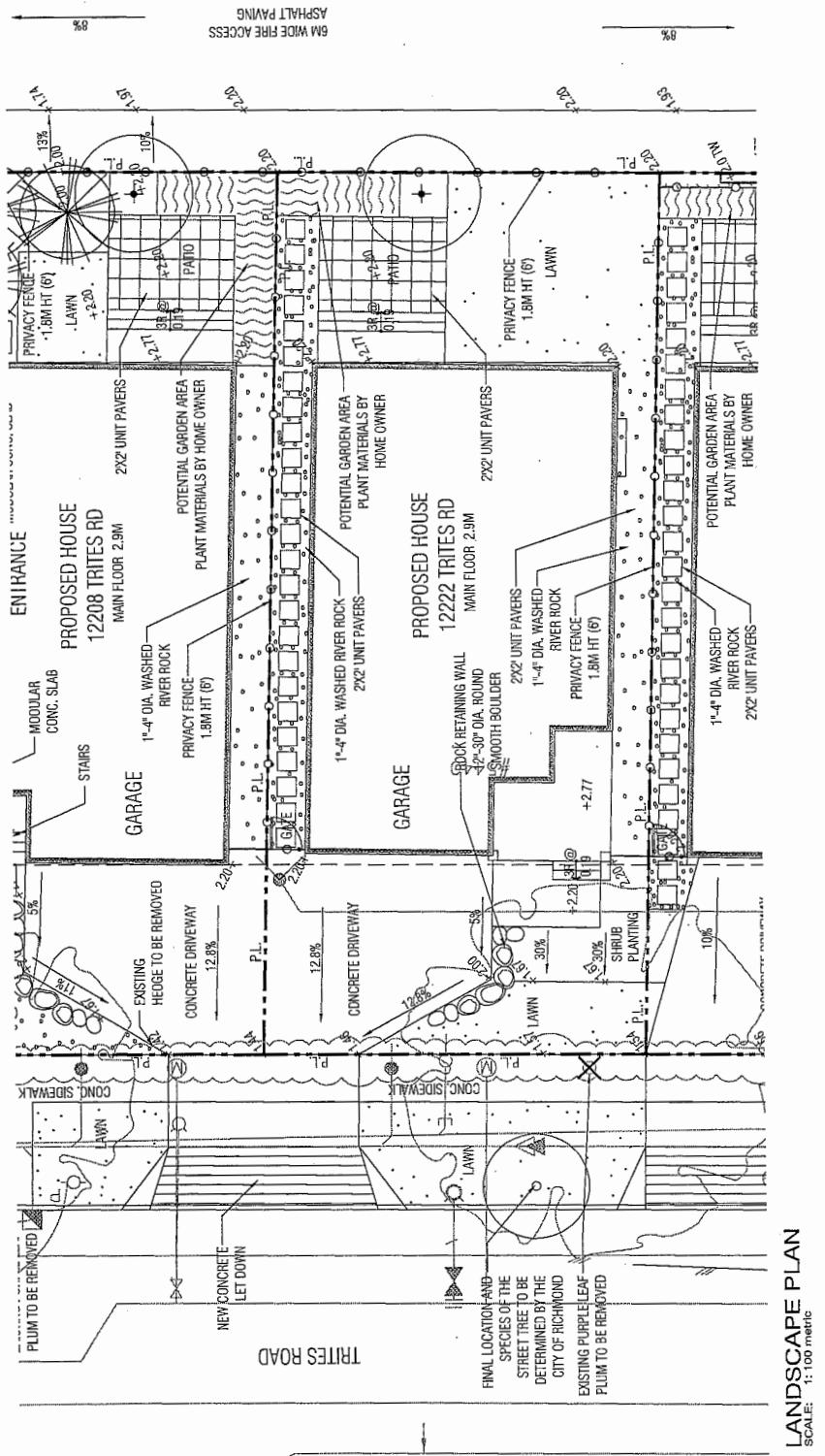
RIGHT SIDE ELEVATION



+ 150 FINISHED SITE GRADE 1:50 FRONT ELEVATION  
SCALE 1" = 15'

GENERAL LANDSCAPE NOTES:

1. ALL LANDSCAPE MATERIAL SHALL MEET OR EXCEED STANDARDS REQUIRED BY BCLNA OR BSLA GUIDELINES.
2. TOPSOIL SUPPLIED SHALL BE FROM A REPUTABLE SOURCE. A FULL ANALYSIS OF THE TOPSOIL WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE, SUBMIT TO LANDSCAPE CONSULTANT FOR APPROVAL.
3. AMEND TOPSOIL PER SOIL ANALYSIS RECOMMENDATIONS PRIOR TO SPREADING ON SITE. REJECTED TOPSOIL SHALL BE REMOVED OFF SITE IMMEDIATELY AT THE LANDSCAPE CONTRACTORS EXPENSE.
4. TOPSOIL DEPTHS FOR PLANTING AS FOLLOWS:
  - A. GRASSED AREAS: 6" (150MM) ON GRADE
  - B. GROUND COVERS: 12" (300MM)
  - C. SHRUBS: 18" (450MM)
  - D. TREE PITS: 36" (1000MM) WITH 12" (300MM) BELOW ROOT BALL
5. LAWN AREAS SHALL BE SODDED WITH #1 PREMIUM RESIDENTIAL SOD NON-MESHED.
6. 2" DEPTH OF 1" MINUS COMPOST MULCH TO BE INSTALLED IN ALL SHRUB PLANTING AREAS.
9. ROAD GRADING AND OVERALL SITE GRADING BY CIVIL ENGINEERING/ OR ARCHITECTURAL,
10. NEW DRIVEWAY AND STREET LET DOWN BY OTHERS. SEE ARCH. OR CIVIL DWGS.



## PLANT LIST:

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COND.
APD	1	ACER PALMATUM	JAPANESE MAPLE	6CM CAL.	B & B CONTAINER
PO	7	PRUNUS L. OTTO LUYKENS	OTTO LUYKEN LAUREL	#3	CONTAINER
HS	13	HEMEROCLIS STELLA D'ORO	DAY LILY	#1	CONTAINER
RF	8	RUDBECKIA FULGIDA var GOLDSTRUM	BLACK EYED SUSAN	#1	CONTAINER

LANDSCAPE PLAN  
SCALE: 1:100 metric

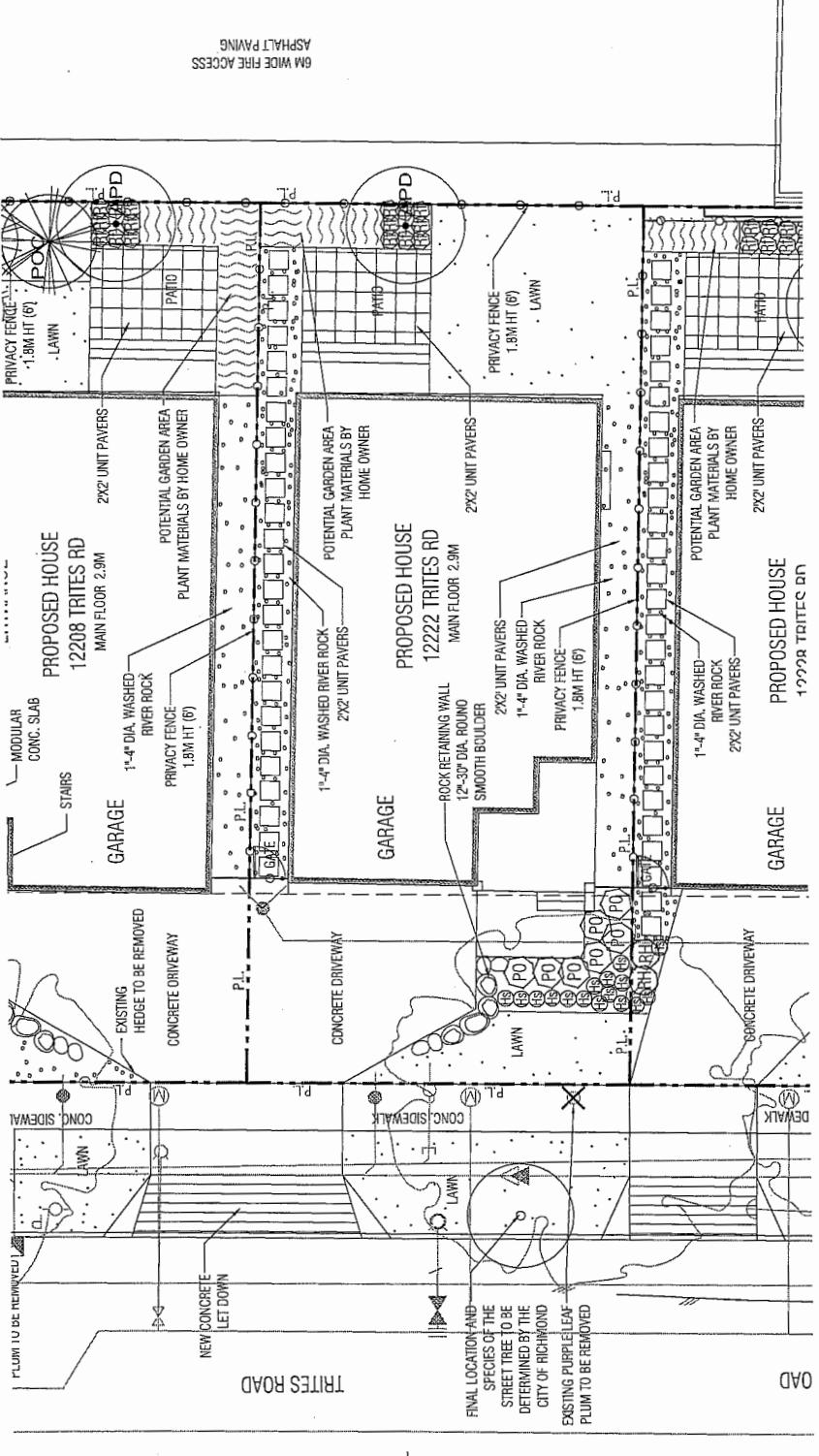
MARUVYAMA & ASSOCIATES 680 G, LEG IN BOOT SQUARE, VANCOUVER, B.C. V6Z 4B1



DATE	AUG. 12, 2014
DESIGN	RMM
DRAWN	RMM
CHECKED	RMM
SCALE	1:100
JOB NO.	11412

LANDSCAPE PLAN

۱۷



DV 15-708883  
Plan 9 Dec 16, 2015

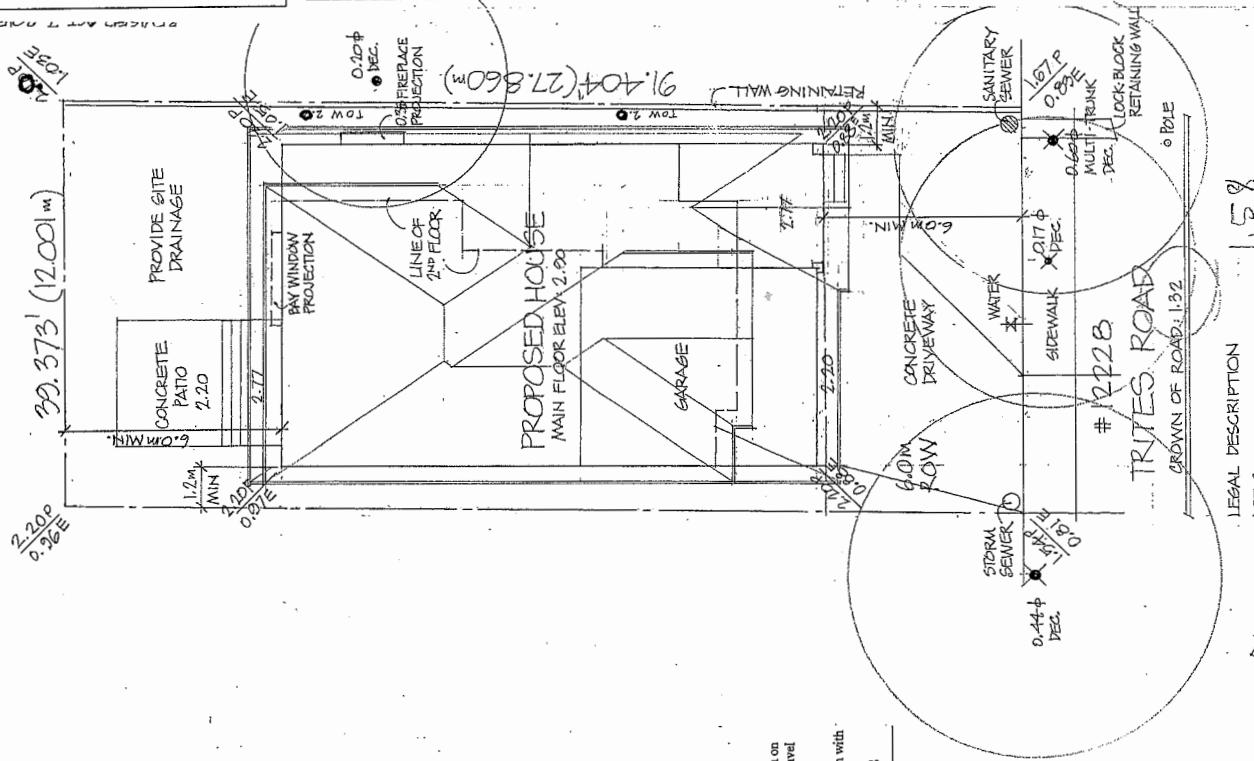
AT #12228 TRIITES ROAD, RICHMOND B.C.

HOUSE FOR O983101 B.C.LTD

Lynndesigns Ltd.

877 Cypressmilk Road (604) 276-8005

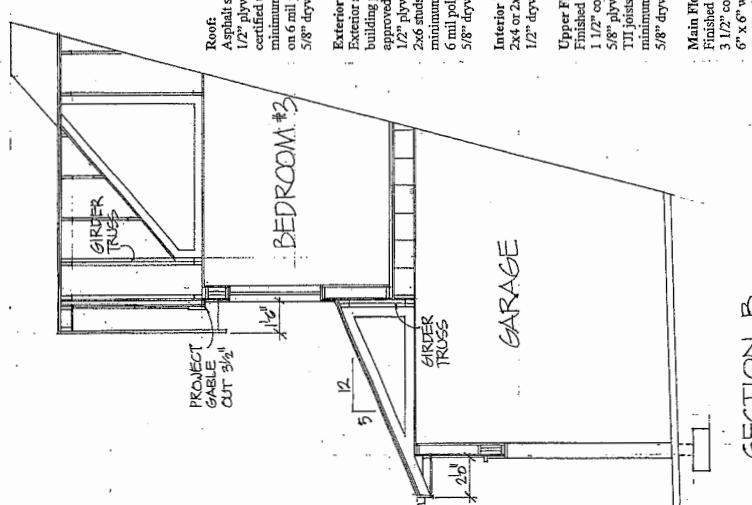
VIC 276-8005



ANALYSIS:  
LOT AREA: 35305.54 (334.0m<sup>2</sup>)  
MAX SITE COX @ 45% = 1617.94 (150.3m<sup>2</sup>)  
THIS PLAN: 1616.1 (150.1m<sup>2</sup>)  
MAX FLOOR AREA @ 55% = 1977.44 (183.7m<sup>2</sup>)  
THIS PLAN: MAIN FLOOR 1022.44 (94.4m<sup>2</sup>)  
UPPER FLOOR 944.4 (89.3m<sup>2</sup>)  
TOTAL 1976.84 (183.6m<sup>2</sup>)  
MAX. COVERED AREA: 1977.4 (184m<sup>2</sup>)  
THIS PLAN: 120.0 (11.3m<sup>2</sup>)

LANDSCAPED AREA:  
FRONT YARD 273.4  
RIGHT SIDE 214.4  
REAR YARD 589.4  
LEFT SIDE 222.4  
TOTAL 1290.4 (120.6m<sup>2</sup>) 36%

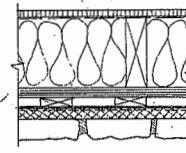
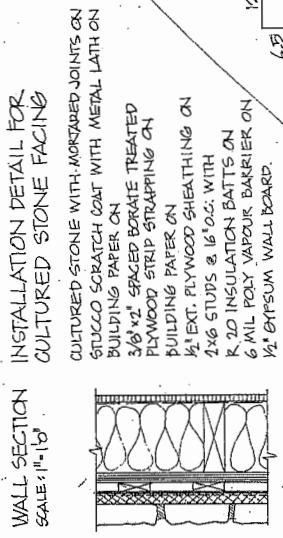
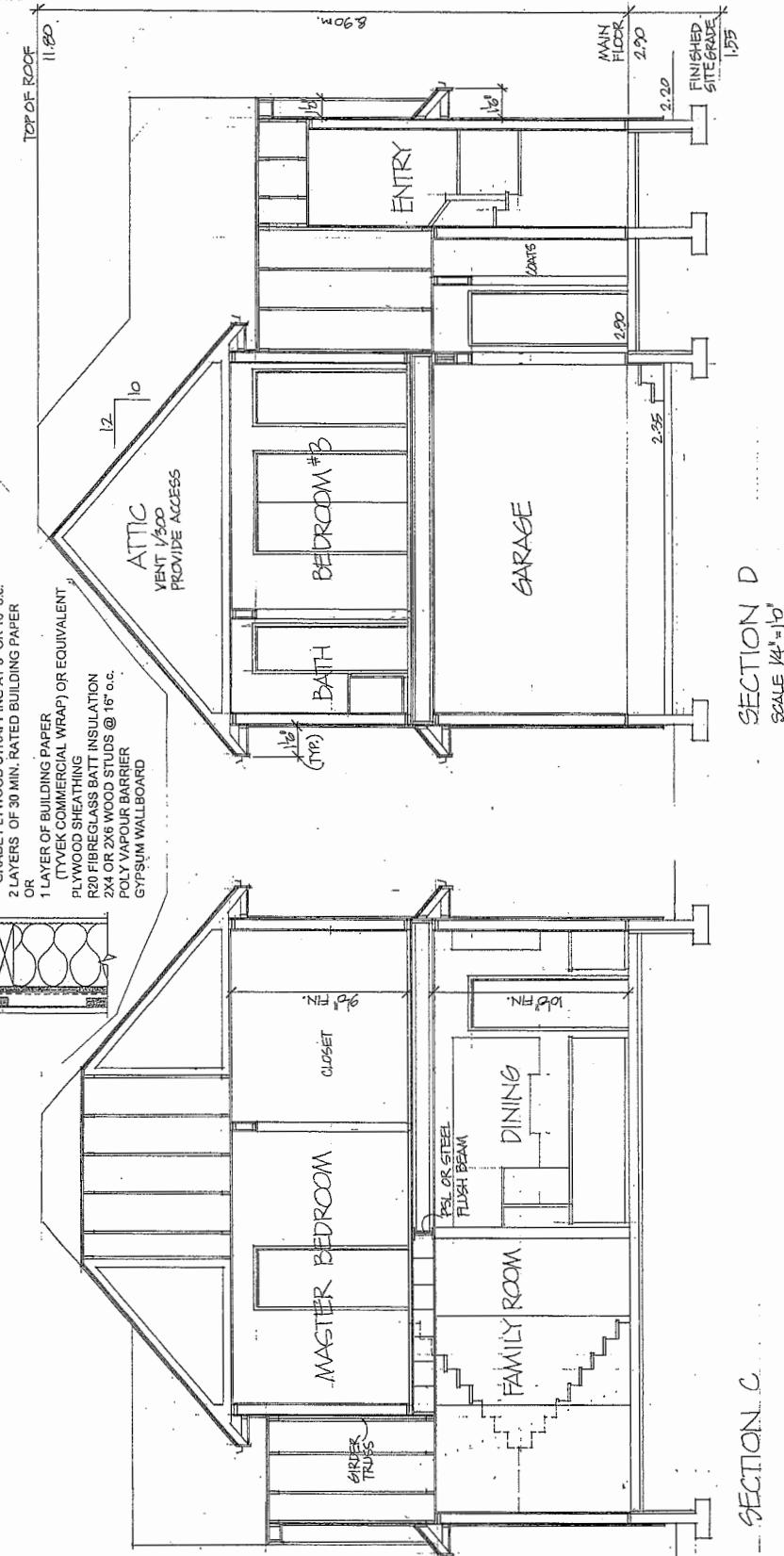
12.43 ÷ 8 = 1.55



SECTION B

MAIN FLOOR: 2.12 or 2x6 studs @ 16" o.c. with 1/2" drywall  
Exterior siding on approved rain screen method on 1/2" plywood sheathing on 2x6 studs @ 16" o.c. with minimum R.20 insulation batts on 6 mil poly vapour barrier on 5/8" drywall  
Interior Walls: Finished floor on 1 1/2" concrete topping on 5/8" plywood sub floor on TJI joists to P. Eng. spec's with 6 mil poly vapour barrier on minimum R.12 insulation batts on 5/8" drywall  
Main Floor: Finished floor on 3 1/2" concrete slab with 6" x 6" w. w. mesh on 6 mil poly vapour barrier on minimum R.14 styrofoam insulation on 5" compacted sand or gravel  
Foundation: Concrete wall minimum 12" high with 6" concrete anchor bolts @ 4'-0" o.c. on 8"x24" continuous concrete footing

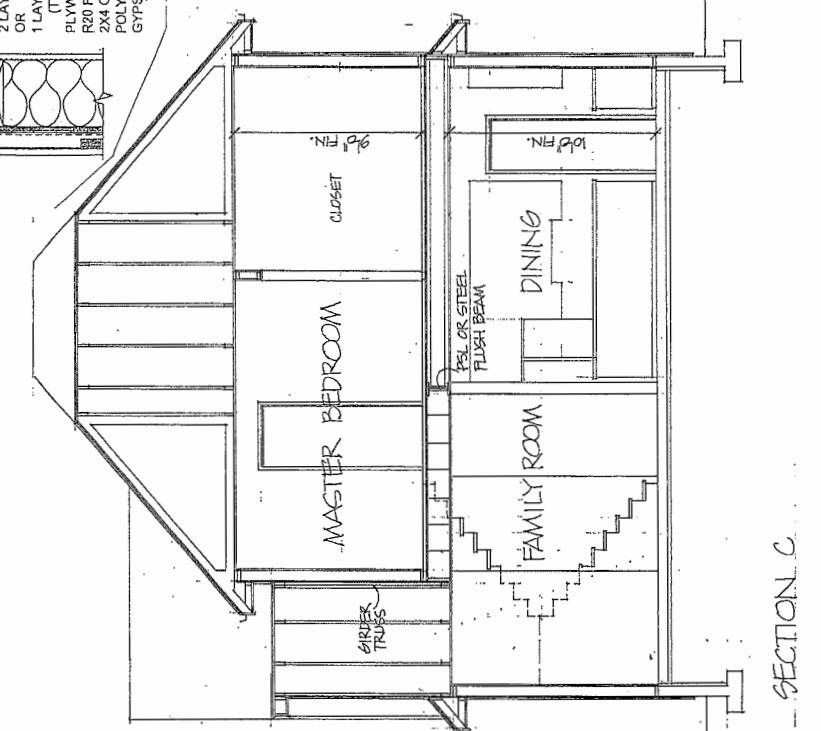
SECTION C



SECTION C  
SECTION D  
SCALE 1/4" = 10'

SECTION A

TYPICAL EXTERIOR WALL  
WALL TYPE DESCRIPTION  
RAINSCREEN WALL  
EXTERIOR CLADDING 3/4" x 2" OR 3/8" x 2" BORATE TREATED EXTERIOR GRADE PLYWOOD STRAPPING AT 8" OR 16" O.C. 2 LAYERS OF 30 MIN. RATED BUILDING PAPER OR 1 LAYER OF BUILDING PAPER PLYWOOD SHEATHING (TYPE COMMERCIAL WRAP) OR EQUIVALENT R20 FIBREGLASS BATT INSULATION R24 OR 2X6 WOOD STUDS @ 16" O.C. POLYVAPOUR BARRIER GYPSUM WALLBOARD

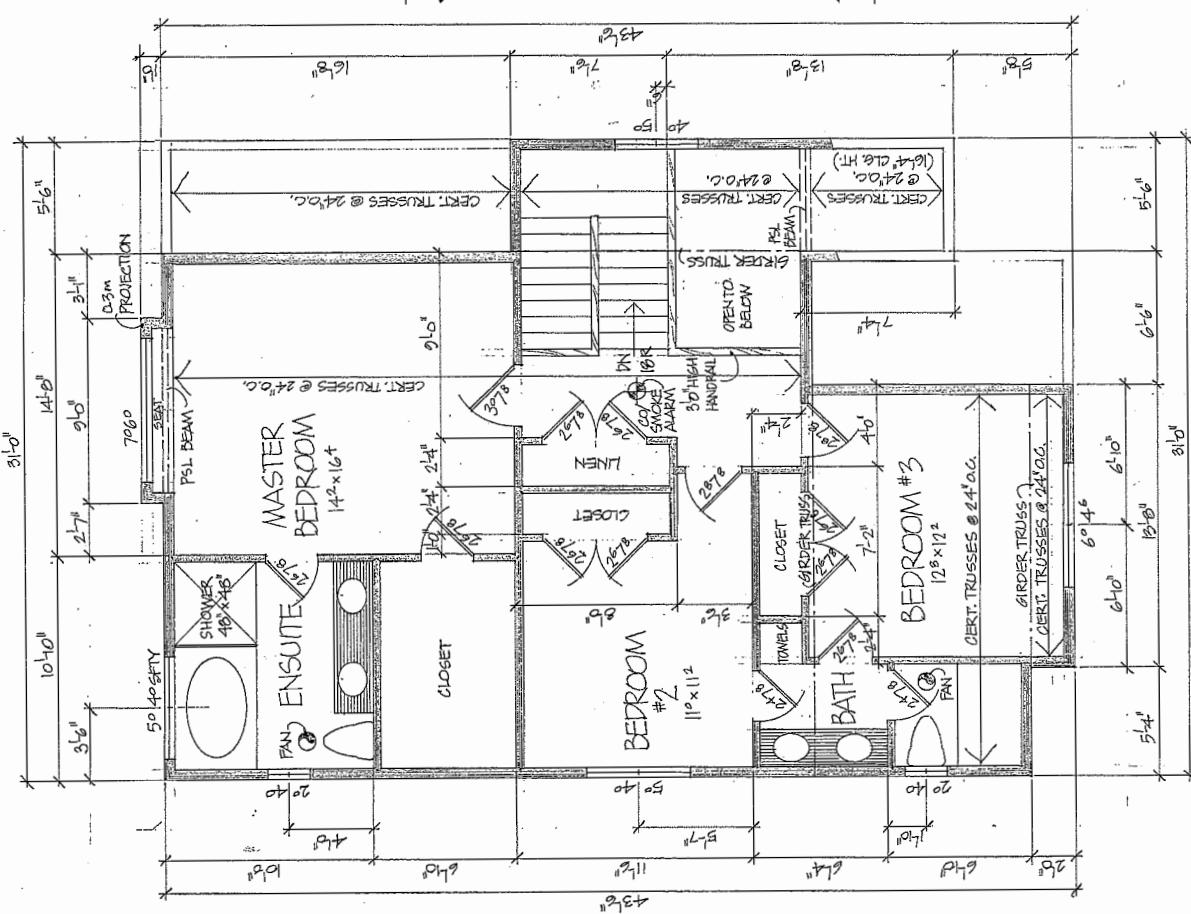
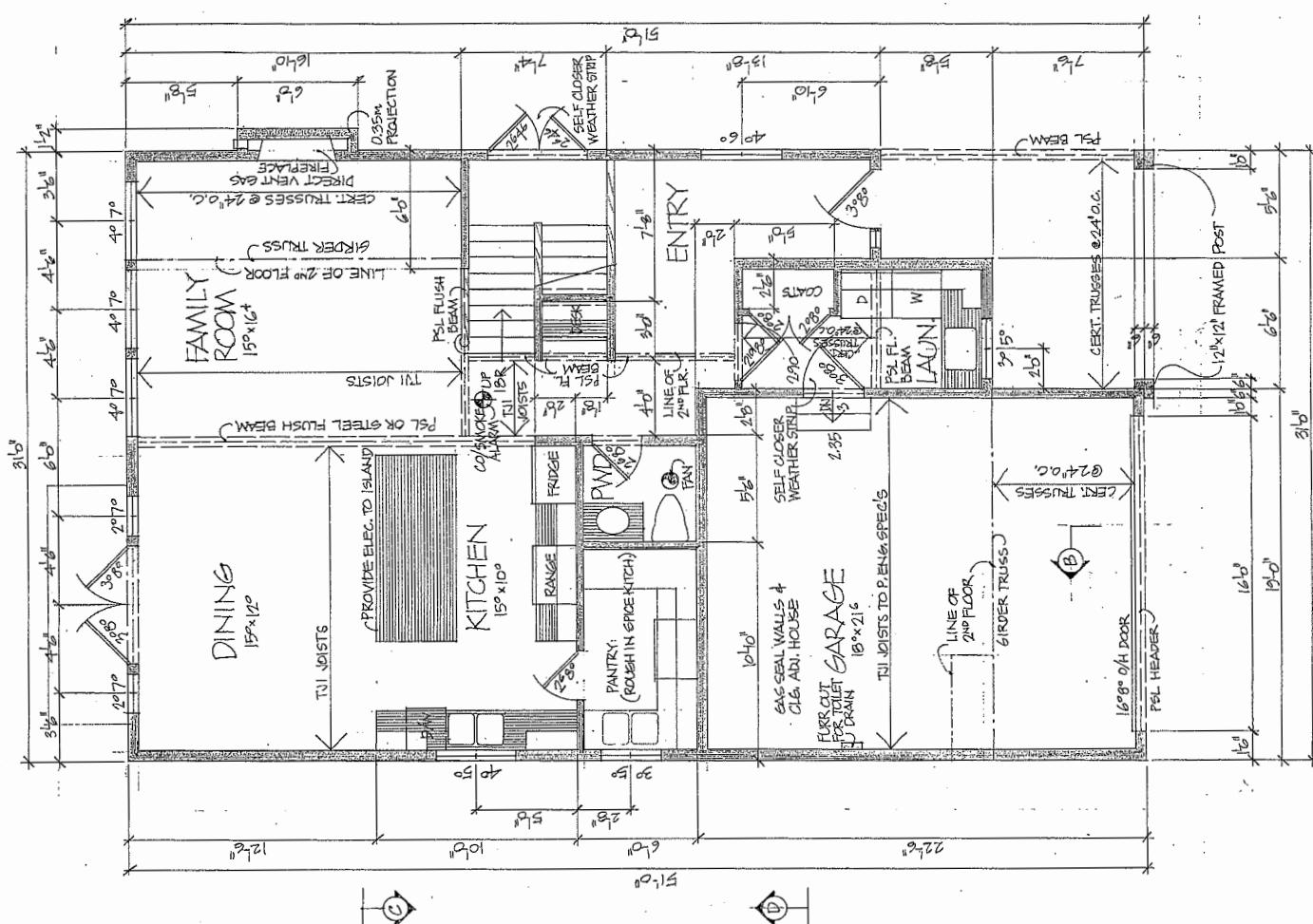
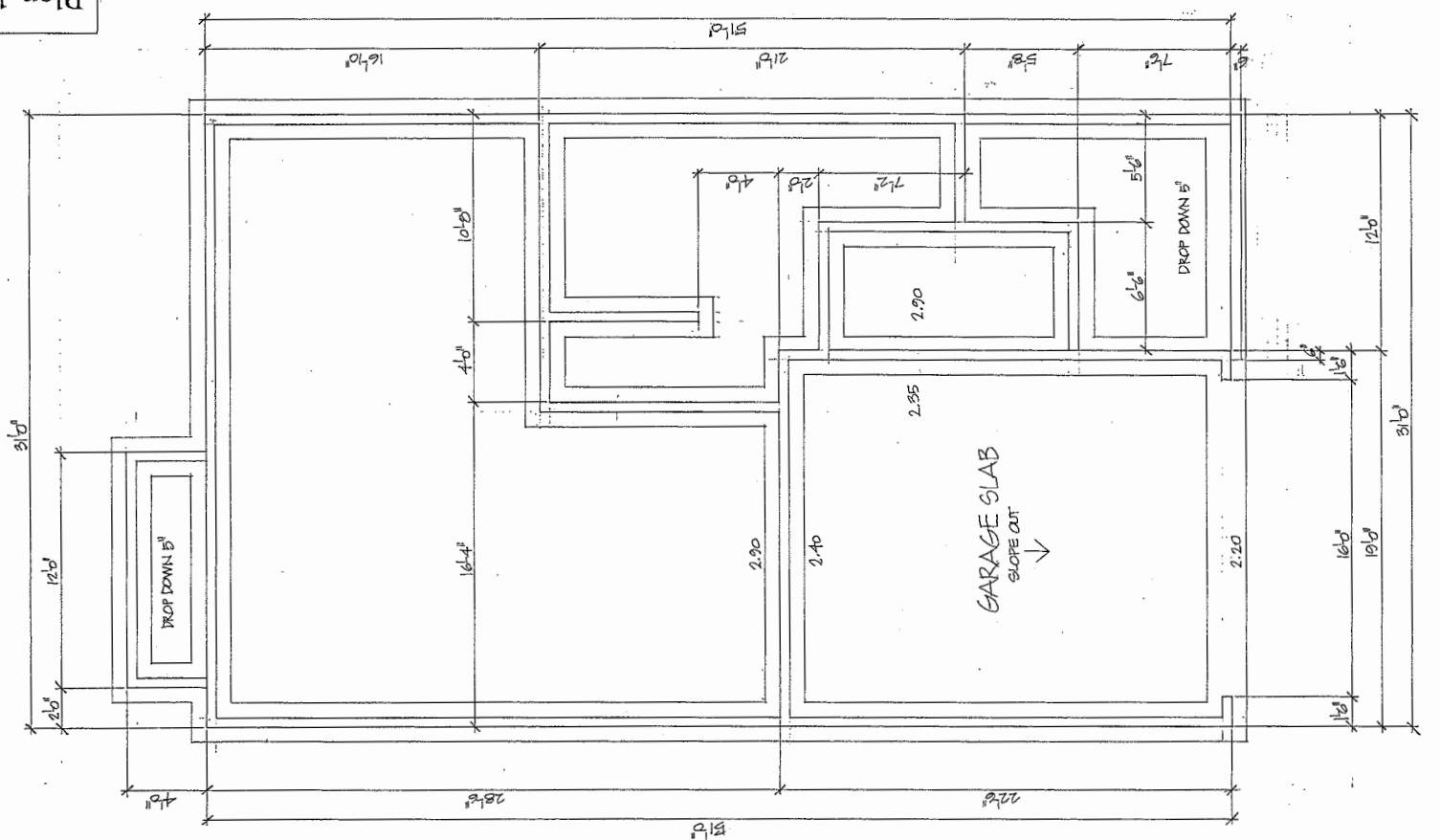


SECTION C  
SECTION D  
SCALE 1/4" = 10'

FINISHED SITE GRADE CALCULATIONS:  
EXISTING LOT CORNERS: N/W S/W S/E S/N  
S/W 1.03  
S/E 0.96  
N/E 0.96  
PROPOSED BLDG. CORNERS: N/W 2.20  
S/W 2.20  
S/E 2.20  
N/E 2.20

DV 15-70883

Plan 10 Dec 16, 2015



FOUNDATION PLAN  
SCALE 1/4" = 10'

SHEET 2 OF 3  
15-26

MAIN FLOOR PLAN  
FINISHED AREA: 1,032 ft<sup>2</sup>  
GARAGE AREA: 427 ft<sup>2</sup>  
COVERED AREA: 128 ft<sup>2</sup>  
TOTAL SITE COV.: 1,567 ft<sup>2</sup>

MAIN FLOOR PLAN

