



City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: March 27, 2015

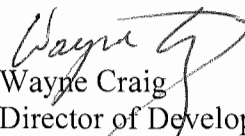
From: Wayne Craig
Director of Development

File: DP 14-657502

Re: Application by Kasian Architecture Interior Design and Planning Ltd. for a
Development Permit at 11380 Steveston Hwy

Staff Recommendation

That a Development Permit be issued which would permit the construction of a 558 m² addition to the building at 11380 Steveston Hwy on a site zoned "Industrial Community Commercial (ZC6) – Ironwood Area".


Wayne Craig
Director of Development

WC:cl
Att.

Staff Report

Origin

This staff report addresses the referral from the July 16th, 2014 Development Permit Panel meeting regarding the Development Permit application by Kasian Architecture Interior Design and Planning Ltd at 11380 Steveston Highway. Specifically, the Panel made the following recommendation:

“That the staff report titled Application by Kasian Architecture Interior Design and Planning Ltd. for a Development Permit at 11380 Steveston Hwy, dated June 20, 2014, from the Director of Development, be referred back to staff to examine:

- (1) enhancements to urban design and architectural form and character that would improve integration with other buildings on the site and accessibility to neighbouring sites;*
- (2) changes to the location and ratio of small vehicle and regular vehicle parking spaces;*
- (3) options to include the renovation of the entire site in the development permit;*

and report back.”

This staff report summarizes revisions made to the application as it relates to the Panel’s recommendation and presents the amended proposal for consideration by the Development Permit Panel and Council.

Development Information

Please refer to the attached Development Application Data Sheet (Attachment 1) for a comparison of the revised development data with the relevant Bylaw requirements. Please refer to the original staff report submitted to the July 16th, 2014 Development Permit Panel meeting in Attachment 2 for information pertaining to the background, site context, previous public input, tree retention and replacement, landscaping, and aspects of the site plan that have not been revised.

Proposed Revisions

The proposed changes outlined in this report reflect a change to the scope of the Development Permit application in response to both the referral by the Development Permit Panel, and to a recent change in the planned tenancy of the proposed building addition.

Overall Redevelopment Strategy

The previous submission included a renovation to modernize the existing southwest building on the subject site, and an addition to the building to provide additional space for the on-site

relocation of an existing mall tenant (Mark's Work Warehouse). This tenant will not be using the space, and a new design is proposed in this report.

The revised submission reflects a reduction in the scope of the proposal, which now involves solely an addition to the southwest building to accommodate the new proposed tenant (Bulk Barn). The proposed addition has been designed to match the existing building. The applicant has identified the following revisions to the proposal:

- the extent of the proposed addition to the southwest building on the site has been reduced in size and scale i.e., from 882 m² (9,494 ft²) to 558 m² (6,007 ft²) in area.
- Primarily in response to concerns expressed by the neighbouring property owner, the proposed addition has been reduced in width by approximately 2 m (6.5 ft) from the east building face, and a glass canopy is proposed, which aids in minimizing the view obstruction to the existing retail and office building to the south at 11331 Coppersmith Way. Attachment 3 shows a comparison of the initial and revised submissions, as it relates to building size.
- the architectural treatment of the proposed addition has been made significantly more compatible with the present character of the existing building, making the expansion a cohesive part of the existing shopping centre.
- upgrades to the site landscaping and public realm adjacent to the building addition to enhance the public experience are also proposed with the revised proposal.

The revised proposal is attached to this report (Plan # 1.a to # 4.b).

A more detailed discussion of the revised proposal is provided below.

Integration with other buildings

The applicant has employed several measures to develop an architectural design for the proposed addition that will be compatible with the existing character of the shopping centre and to ensure a more unified overall design. Specifically:

- the heights of the parapets, roofs, and glazing of the existing buildings on-site have been carried into the proposed addition.
- the window proportions of the proposed addition reflect those of the existing storefronts.
- the steel detail that runs along the existing building canopy has been repeated on the proposed addition, combined with glass to highlight and provide pedestrian weather over the entry.
- the materials and colour palette selected for the proposed addition has been drawn from the existing buildings on-site, such as stucco, steel beams, storefront windows, and roof tiles.
- the “feature entry tower” language, which is one of the signature elements of the shopping centre’s architecture, has been applied to the proposed building addition entry, (i.e., a sloped hipped roof over a metal louvered screen, consistent in proportion and scale with that applied to existing buildings on-site).

Access and view obstruction to 11331 Coppersmith Way

The applicant has indicated that they have been in discussions with the neighbouring property owner to the south over the course of several months in response to the concerns expressed by the neighbour at the Development Permit Panel meeting about pedestrian and vehicle access, and view obstruction to 11331 Coppersmith Way.

As with the previous submission, the applicant proposes a concrete southbound pathway along the east side of the building addition, followed by pavement markings on the internal drive-aisle between the two (2) sites to ensure safe pedestrian connectivity between the subject site and the neighbouring site to the south.

As described in the previous section of this report, the proposed addition has been reduced in width by approximately 2 m (6.5 ft) from the east building face, and a glass canopy is proposed, which also aids in minimizing the view obstruction to the neighbouring site. As with the previous submission, this proposal also includes animation of the new east and south-facing facades with vision glass, as well as screening of the south building face with columnar trees and other soft landscape materials.

In addition, the revisions to the site plan allow for loading to be accommodated entirely on the subject site without impacting use of the existing cross-access easement over the south property line that is shared with the neighbouring property at 11331 Coppersmith Way (Plan # 2.b).

The applicant has also offered to:

- modify the site plan to accommodate a new reciprocal access point along the shared south property line (secured through a private easement on title), which would align with the existing north-south drive aisle on the subject site and provide more direct vehicle access to the adjacent property to the south.
- provide directional signage on the subject site to assist with wayfinding to the neighbouring site, in accordance with the City's Sign Bylaw No. 5560.

The applicant has provided written documentation of their efforts in this regard, however there is no agreement between the two parties to implement these items.

Based on the revised building addition design, and demonstration that loading can occur on the subject site without impacting the existing cross-access easement, the applicant wishes to move their application forward for consideration by the Development Permit Panel.

Site Plan Enhancements – Public Plaza, Southwest Corner, & Parking Plan

The public plaza that was proposed with the previous submission has been enlarged with the revised submission, i.e., from 153 m² (1,647 ft²) to 262 m² (2,820 ft²), and includes both hard and soft landscaping elements to provide a usable outdoor amenity for visitors and employees. The revised landscape plan showing enlarged public plaza is illustrated on Plan # 3.a to 3.d). The overall landscaping enhancements proposed adjacent to the building addition as part of this Development Permit application have not changed from the previous submission. Prior to

Development Permit application issuance, the applicant is required to submit a Letter of Credit for the proposed landscaping in the amount of \$112,801.92.

In response to comments made by the Development Permit Panel about the concentration of activities proposed in the southwest corner of the site (e.g., loading, and garbage & recycling storage and collection), the applicant has included enhancements to the site plan. Specifically, the reduction in the proposed size of the building addition results in a widening of the loading bay by approximately 3.2 m (10.5 ft), as well as a relocation of the proposed garbage and recycling enclosure away from the south property line.

In response to the Panel's comments regarding small vehicle and regular vehicle parking spaces, the applicant has revised the parking layout to better distribute the small vehicle parking spaces throughout the entire shopping centre's parking area.

The City's Transportation department staff has reviewed the revised parking and loading plan and indicate that it is acceptable.

Crime Prevention Through Environmental Design

As with the initial submission, the applicant has identified that the revised proposal has incorporated design measures that respond to the principles of Crime Prevention Through Environmental Design (CPTED). This includes:

- storefront entries facing the public area to create natural surveillance.
- ample glazing at ground level for increased surveillance of the public areas.
- the proposed plaza will generate public activities to increase natural surveillance of the site.
- All spaces around the proposed addition have a clear and active purpose, avoiding the creation of "no-man's land".

Sustainability Features

As with the initial submission, and consistent with the design guidelines in the OCP, the applicant has proposed a 240 volt electrical vehicle outlet for one (1) standard vehicle parking space located next to the proposed building addition (to be secured through registration of a legal agreement on title);

The applicant has confirmed that the proposed building addition is designed to be LEED Silver equivalent, as demonstrated through the revised LEED Project Checklist in Attachment 4. At Building Permit stage, the applicant is required to provide a letter of assurance from a registered professional that the LEED checklist will be followed.

Conclusion

The applicant has revised the Development Permit application to address the concerns expressed by the Development Permit Panel at the meeting held July 16th, 2014. The revised plans include a concept that results in: a decrease to the size of the proposed building addition i.e. from 882 m² (9,494 ft²) to 558 m² (6,007 ft²) in area, improved design integration of the proposed addition

with the existing buildings on-site, and improved distribution of the small car parking spaces throughout the site. The revised concept provides for upgrades to site landscaping and the public realm in the area adjacent to the building addition.

The proposal complies with the “Industrial Commercial (ZC6) – Ironwood Area” zoning, with no variances requested.

On this basis, staff recommends support for the revised Development Permit application at 11380 Steveston Highway.



Cynthia Lussier
Planning Technician
CL:rg

- Attachment 1: Development Application Data Sheet
- Attachment 2: Staff Report submitted to the July 16th, 2014 Development Permit Panel meeting
- Attachment 3: Comparison in building size between the initial and the revised submission
- Attachment 4: Revised LEED Project Checklist

The following is to be met prior to forwarding this application to Council for approval:

1. Receipt of a landscaping security in the amount of \$112,801.92, equal to the cost estimate provided by the Registered Landscape Architect.
2. Submission of a contract with a Certified Arborist for on-site supervision of all works proposed within Tree Protection Zones of Trees # 1, 3, 9, 14, 15, 16, 17. The contract is to include the scope of work to be undertaken, including the proposed number of site monitoring inspections, and provision for the Arborist to submit a post-construction impact assessment report to the City for review.
3. Submission of a security in the amount of \$2,000 for Tree # 14. Following completion of construction and landscaping on the subject site, the security will be released subject to receipt of the post-construction impact assessment report prepared by the Arborist and a City landscaping inspection to verify tree survival.
4. Registration of a legal agreement to secure the proposed electrical vehicle charging station on the subject site.

Prior to future Building Permit issuance, the developer is required to:

- Provide a letter of assurance from a registered professional confirming that the LEED Project Checklist will be followed.
- Obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Division at 604-276-4285.*
- Submit a construction traffic and parking management plan to the satisfaction of the City's Transportation Division (<http://www.richmond.ca/services/tp/special.htm>).



DP 14-657502

Attachment 1

Address: 11380 Steveston Hwy
Kasian Architecture Interior
Applicant: Design and Planning Ltd. Owner: Coppersmith Corner Shopping Centre Inc.

Planning Area(s): Shellmont

Floor Area Gross: 10,566 m²

	Existing	Proposed
Site Area:	31,538 m ²	31,538 m ²
Land Uses:	Neighbourhood shopping centre	No change
OCP Designation:	<ul style="list-style-type: none"> 2041 OCP Land Use Map designation - Mixed Employment Ironwood Sub-Area Plan Land Use Map designation – Area A (Commercial Development) 	No change
Zoning:	Industrial Community Commercial (ZC6) – Ironwood Area	No change

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	60%	33.5%	none permitted
Lot Coverage:	Max. 50%	30.5%	none
Setback – Front Yard (north):	Min. 6.0 m	Existing – 6.0 m Proposed - no change	none
Setback – Exterior Side Yard (east):	Min. 6.0 m	Existing – 6.0 m Proposed - no change	none
Setback – Interior Side Yard (west):	Min. 0 m	Existing - approx 0 m Proposed - no change	none
Setback – Rear Yard (south):	Min. 0 m	Existing - approx 6.0 m Proposed - no change	none
Height (m):	Max. 12.0 m	9.5 m	none
Minimum Lot Size:	N/A	N/A	none
On-Site Vehicle Parking Spaces:			
Standard size (50%)	216	291	none
Small size (50%)	216	129	
Accessible	9	12	
Total:	432	432	none
On-Site Bicycle Parking Spaces:			
Class 1	3	3	none
Class 2	4	4	



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Report to Development Permit Panel

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Date: June 20, 2014

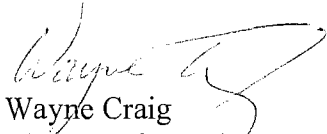
From: Wayne Craig
Director of Development

File: DP 14-657502

Re: Application by Kasian Architecture Interior Design and Planning Ltd. for a
Development Permit at 11380 Steveston Hwy

Staff Recommendation

That a Development Permit be issued which would permit the construction of an 882 m² addition and exterior renovation to the building at 11380 Steveston Hwy on a site zoned "Industrial Community Commercial (ZC6) – Ironwood Area;"



Wayne Craig
Director of Development

WC:cj
Att.

Staff Report

Origin

Kasian Architecture Interior Design and Planning Ltd has applied, on behalf of Westbank/Coppersmith Corner Shopping Centre Inc, to the City of Richmond for permission to construct an 882 m² addition to and exterior renovation of an existing building located in the southwest corner of the site at 11380 Steveston Hwy (see key map in Attachment 1). The site is zoned "Industrial Community Commercial (ZC6) – Ironwood Area." There is currently a neighbourhood shopping centre on the site (constructed in 2000), which consists of five (5) buildings containing a variety of commercial retail shops and services that meet the needs of surrounding residents (e.g. Canadian Tire, Mark's Work Wearhouse, TD Bank, Tim Horton's, Coppersmith Dental etc.).

The work proposed as part of this Development Permit application includes:

- renovation of and addition to the southernmost commercial retail unit (CRU 1A) to provide additional space for the on-site relocation of an existing mall tenant (Mark's Work Wearhouse);
- renovation of the remainder of the building facades of CRUs 1 & 2 to introduce a more contemporary design typology that will both begin the process of updating the mall and blend with the new addition; and
- upgrading of the site landscaping and public realm adjacent to this building to enhance the public experience.

The proposed work is intended to be undertaken in two (2) phases:

- Phase 1 (2014-2015) - the addition of building "CRU 1B," interior renovation to a portion of the existing building ("CRU 1A"), implementation of improved site landscaping adjacent to the proposed expansion, and development of a pedestrian plaza north of the proposed expansion in the southwest corner of the site; and
- Phase 2 (2015-2016) – facade upgrades to the remaining portion of the existing building "CRU 1 & 2."

The applicant has also provided a plan for implementing the proposed contemporary design typology on the remaining four (4) building on the site, as well as improvements to the remainder of the site landscaping and public realm for the remainder of the site area. This would be undertaken as part of future Development Permit applications in 2016 to 2019 (Attachment 2).

Development Information

Please refer to attached Development Application Data Sheet (Attachment 3) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

The subject site is located in an established key commercial area that supports a wide range of employment, daily shopping, and personal services to meet the needs of surrounding residents. Specifically, development surrounding the subject site is as follows:

- To the north, immediately across Steveston Hwy, is a mix of single-family housing and townhomes on sites zoned “Single Detached (RS1/E) and “Low-Density Townhouses (RTL3)”;
- To the east, immediately across Coppersmith Place, is an existing neighbourhood shopping centre at 11688 Steveston Hwy, which contains a Save-On-Foods, London Drugs, Ironwood Branch of the Richmond Public Library etc., on a site that is split-zoned “Community Commercial (CC)” and “Industrial Business Park (IB1);”
- To the south, is an existing mixed commercial/office building at 11331 Coppersmith Way on a site zoned “Industrial Community Commercial (ZC6);” and
- To the west, is an existing Translink bus operations yard fronting Coppersmith Way, on a site that is split-zoned “Light Industrial (IL)” and “Industrial Business Park (IB1).”

Public Input

In response to the notification sign being installed on the subject property, staff received two (2) phone calls and (1) piece of written correspondence about the development proposal (Attachment 4):

- One (1) caller was an existing tenant of the mall, who expressed concerns with how the proposed changes would impact available on-site parking.

As discussed further below, the proposal includes a reconfiguration of the existing drive-aisle and parking layout on-site resulting in an overall increase of one (1) vehicle parking space. The proposed number of vehicle parking spaces on-site complies with the requirements of the Richmond Zoning Bylaw 8500.

- The other call and piece of written correspondence was received from a representative of the adjacent property owner to the south at 11331 Coppersmith Way. The nature of concerns expressed by the adjacent property owner is that the design of the building addition, as proposed:
 - will severely compromise the existing connection between the two properties as well as the visibility to their building and tenants
 - deviates from the existing animated retail corner that currently faces towards their property.
 - results in their property having to face a relatively blank facade and loading services along the south building elevation.

The applicant has reviewed the correspondence and has met with the adjacent property owner to discuss their concerns. The applicant has submitted a written statement indicating how they have revised their design in an attempt to address the concerns expressed (Attachment 5).

Staff has discussed the proposed revisions to the Development Permit application with the adjacent property owner. While the adjacent property owner appreciates the positive changes made to the proposal in an attempt to address the concerns raised, the adjacent property owner would prefer the applicant to move the proposed building addition to the west.

Staff are supportive of the applicant's revised design for the following reasons:

- access is maintained between the two properties, consistent with the design guidelines in the Ironwood Sub-Area Plan.
- it provides improvements to the south and east elevation of the proposed building addition to animate and draw people toward the southwest corner of the site.
- it provides improved landscaping and screening around the proposed garbage and recycling enclosure.

Staff Comments

The proposed scheme attached to this report (Plan # 1.a to # 4.b) has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, the proposal complies with the intent of the applicable sections of the Official Community Plan (OCP) and Shellmont (Ironwood Sub-Area) Plan, and is in compliance with the "Industrial Community Commercial (ZC6) – Ironwood Area" zoning, with no variances requested.

Sign Permit applications will be required for the work proposed, which must comply with the Sign Bylaw No. 5560, and be consistent with the design guidelines for signage in the OCP.

Advisory Design Panel Comments

Because of its relatively minor nature, this application was not presented to the Advisory Design Panel (ADP).

Analysis

Conditions of Adjacency

- Directly to the south of the proposed addition, on an adjacent property, is a retail and office building at 11331 Coppersmith Way that is linked to the subject site through pedestrian and vehicular access. The proposed addition has been sized and located to maintain some visibility toward this building and the proposed parking configuration maintains pedestrian and vehicular access along the south property line. As there are commercial retail units that face from this building toward the subject site, the application has also proposed to animate the new east and south-facing facades with display glass windows, a variety of materials and colours, as well as columnar trees and other soft landscape materials.

Urban Design and Site Planning

Changes to the existing site plan are limited to the area around the proposed addition to building "CRU 1" in the southwest corner of site, as illustrated on Plans # 1.a and 1.b (Phase 1).

Proposed changes include:

- The creation of additional floor area at the south end of the existing building, resulting in an L-shaped form;
- The creation of a pedestrian plaza at the point where the existing building meets the proposed building addition;
- The reconfiguration of the on-site drive-aisle and vehicle parking layout, as well as the removal of two (2) treed planting islands within the surface parking area.

Pedestrian Circulation and Accessibility

Measures are proposed by the applicant as part of this application to promote pedestrian circulation and to make the pathways accessible to persons in a wheelchair. These include:

- A pedestrian pathway along the north and east of the proposed building addition, which connects to the north/south pathway that runs along the storefronts of the existing building (Phase 1). The proposed pathway is consistent with the cross-section guidelines for pedestrian pathways on commercial sites contained in the OCP, which specifies: a minimum 1.5 m wide boulevard with trees in grates next to the curb and a minimum clear 2 m wide patterned paved walkway extending to the face of the building.
- Providing curb letdowns at the ends of the proposed pathways to ensure accessibility (Phase 1).
- Providing a defined pedestrian path from the subject site to the south property line to further enhance the connection to the adjacent property to the south at 11331 Coppersmith Way, consistent with the design guidelines in the Ironwood Sub-Area Plan.
- Adding canopy structures over the proposed new storefront entrance and over a portion of the pathway proposed along the east side of the building addition to provide weather protection for pedestrians (Phase 1).
- Replacing or renovating various sections of the existing canopy and facade over the storefront entrances along the existing portion of the building ("CRU 1 & 2") to modernize the facade expression while maintaining weather protection (Phase 2).

Drive-aisle Reconfiguration, Parking, and Loading

This development proposal results in changes to the existing drive-aisle and parking configuration at the site.

Portions of existing drive-aisles and two (2) treed planting islands within the surface parking area around the expansion area are to be removed to accommodate the proposed building addition and the pedestrian plaza (details on tree replacement are discussed below).

With the proposed site plan, access is maintained between the subject site and the adjacent site to the south at 11331 Coppersmith Way, consistent with the design guideline in the Ironwood Sub-Area Plan.

With the current condition, the Zoning Bylaw requires 397 vehicle parking spaces on-site. Currently, the number of vehicle parking spaces at the subject site exceeds the number of spaces required by the Zoning Bylaw by 54 spaces, for a total of 451 vehicle parking spaces.

With the proposed building addition, the Zoning Bylaw requires 432 vehicle parking spaces on-site. To accommodate the proposed building addition, 44 standard vehicle parking spaces are proposed to be removed. After the existing surplus spaces on-site are accounted for, an additional 25 parking spaces are required to be provided on-site to comply with the Zoning Bylaw.

To achieve compliance with the Zoning Bylaw, the applicant proposes to convert a number of existing standard vehicle parking spaces into small car parking spaces (consistent with the small car parking space provisions in the Zoning Bylaw), to locate additional vehicle parking spaces for employee use along the south side of the Canadian Tire building, and to make minor modifications to some existing conditions on-site. The resulting parking plan includes 432 vehicle parking spaces, which meets the Zoning Bylaw requirements (Plan # 2).

Consistent with the design guidelines in the OCP, the applicant has proposed one (1) standard vehicle parking space equipped with a 240 volt electrical vehicle charging station. Prior to Development Permit issuance, a legal agreement to secure the electrical vehicle charging station is required to be registered on title.

The proposal includes the addition of a loading space to the rear and side of the proposed building addition at the southwest corner of the subject site.

Consistent with the Zoning Bylaw, the applicant has proposed a secured bike storage room within the proposed building addition to accommodate the three (3) required Class 1 bicycle parking spaces, as well as a bike rack to accommodate the four (4) required Class 2 visitor bicycle parking spaces to the northwest of the storefront entrance to the proposed building addition.

The City's Transportation department staff has reviewed the proposed parking plan and indicate that it is acceptable.

Garbage and Recycling

The applicant has proposed to relocate one (1) of the existing garbage and recycling enclosures on-site from its current location at the south end of building "CRU 1 & 2," to the southwest corner of the subject site where pedestrian and vehicle traffic is lowest.

The garbage and recycling enclosure is proposed to be screened with Cedar wood stain fencing, hedging, and plant material along the east and south sides to further conceal it from view.

The proposed garbage and recycling enclosure is sized appropriately to contain the required number of containers (i.e., one 4 cubic yard garbage bin on wheels, one 4 cubic yard cardboard bin on wheels, two 95 gal paper recycling carts, two 95 gal beverage container recycling carts, and one 95 gal organics container).

Architectural Form and Character (Plan # 4.a and # 4.b)

- Proposed changes to the facades of the subject building are intended to begin the process of updating the overall mall with a more contemporary expression. The applicant has suggested undertaking these updates in phases to address the challenges of evolving a variety of existing buildings with multiple existing tenants in a continuously operating developing. Using this approach, there will be contrasting facade vocabularies until all the updating is completed. However, by starting the upgrades the building furthest from the two street frontages, as well as requiring that distinct buildings be upgraded as a whole, the visual impact of the contrast will be minimized.
- The proposed design of the building addition and the facade upgrades will retain the existing pedestrian-scaled retail frontage.
- The proposed height of the building addition is similar to the existing building height as well as the heights of other building in the development. The applicant has provided height variations, consistent with the design guidelines in the OCP, as part of the facade renovations in order to create visual interest and to break up the building massing.
- A variety of cladding materials are proposed for the building addition (Phase 1), including: contrasting metal panels, light and dark charcoal stone, and storefront glazing with charcoal-finished aluminum frame. The use of the varied cladding materials will aid in providing visual interest and in breaking down the facade of the proposed building addition into smaller components.
- As mentioned previously, the south and east elevation of the proposed building addition also includes display glass windows to animate and draw people toward the southwest corner of the site.
- The proposed upgrades to the existing building (Phase 2) aim to maintain building articulation and break up the building into smaller components through:
 - the use of unique aluminum panels that are perforated, folded, tilted, and illuminated for the upper half of the facade, which provide a dynamic effect that will break down the appearance of the facade; and;
 - the removal of the masonry around the columns under the existing canopy to further expose the retail frontage, increase visual interest, and increase the perceived depth of the facade.
- The proposed canopy for the building addition (Phase 1) will feature stained wood veneer soffits to enhance the pedestrian environment while the upgraded metal and glass canopy proposed for the existing building (Phase 2) will feel lighter and enhance visibility.

Landscape Design and Open Space Design

- To accommodate the proposed building addition, two (2) bylaw-sized trees and eight (8) undersized trees located in planting islands within the surface parking area are proposed to be removed (Trees # 2, 4, 5, 6, 7, 8, 10, 11, 12, 13). The City's Tree Preservation Coordinator conducted an on-site visual tree assessment and concurs with the proposal to remove the trees due to their location within the building envelope, and to retain the seven (7) remaining trees

located near the expansion area (Trees # 1, 3, 9, 14, 15, 16, 17). The proposed Tree Retention Plan is included in Attachment 6.

- To ensure survival of the trees to be retained on-site, the applicant is required to:
 - Install tree protection fencing around the driplines of protected trees, in accordance with the City's Tree Protection Bulletin (TREE-03) prior to demolition of the existing structures on-site;
 - Submit a contract with a Certified Arborist prior to issuance of the Development Permit for on-site supervision of all works proposed within tree protection zones. The contract is to include the scope of work to be undertaken, including the proposed number of site monitoring inspections, and provision for the Arborist to submit a post-construction impact assessment report to the City for review;
 - Submit a security in the amount of \$2,000 for Tree # 14. Following completion of construction and landscaping on the subject site, the security will be released subject to receipt of the post-construction impact assessment report prepared by the Arborist and a City landscaping inspection to verify tree survival.
- Consistent with the 2:1 tree replacement ratio guideline in the OCP, the proposed Landscape Plan (Plan # 3.a to #3.e) includes four (4) replacement trees near the proposed building addition to compensate for the removal of the two (2) bylaw-sized trees. The Landscape Plan also provides for an additional eight (8) trees to be planted on-site near the proposed building addition. The proposed tree species list is consistent with the species guidelines contained in the OCP (discussed further below).
- Consistent with the design guidelines in the OCP, the applicant proposes a new 372 m² (4,000 ft²) pedestrian plaza with three (3) long seating elements at the intersection of the existing building and proposed building addition. This plaza is intended to provide a passive outdoor amenity that can be used by both employees and customers of the shopping centre. The plaza is also situated to better define the existing main pedestrian circulation route, which provides a connection between the existing building "CRU 1 & 2" and the Canadian Tire building to the east.
- As mentioned above, the applicant proposes to plant one (1) replacement tree in structural soil in the southwest corner of the plaza, as well as one (1) replacement tree in structural soil and a variety of taller ornamental grasses in the planting area along the north side of the plaza to act as a screen between a portion of the plaza and the adjacent surface parking area (i.e., Skyline Honey Locust tree, a large Upright English Oak tree, Feather Reed Grass, and Dwarf Fountain Grass).
- The surface of the pedestrian plaza is proposed to be treated with charcoal-coloured concrete pavers to provide visual interest and texture, as well as to relate to the colour scheme proposed for the exterior building materials.
- The surface of the pedestrian pathways around the proposed building addition will feature broom-brushed concrete paving to match the pattern of the pathway located alongside the existing building.
- The boulevard next to the pedestrian pathway that runs alongside the east side of the proposed building addition is to contain a row of three (3) replacement trees complete with

decorative tree grates and structural soil (i.e., Columnar Red Maple trees), as well as four (4) small custom benches to match those proposed within the pedestrian plaza.

- The applicant proposes to plant five (5) trees and additional plant material along the south elevation of the proposed building addition to soften the interface between that elevation and the adjacent mixed commercial-office building on the property to the south (i.e., Columnar Red Maple trees, Nootka Rose, and Dwarf Oregon Grape).
- All existing planting islands within the surface parking area surrounding the proposed building addition are proposed to be enhanced with additional plant materials to reinstate the design intent of the landscaping approved with the original Development Permit.

Crime Prevention Through Environmental Design

- The design of the proposed building addition and upgrades to the existing building will improve the visibility around the storefront canopies, making the space feel safer for pedestrians;
- Downlight fixtures are proposed to illuminate pedestrian pathways along the east elevation of the building addition, as well as along the south elevation next to additional surface parking and the existing mixed commercial-office building on the adjacent property to the south.

Sustainability Features

- Consistent with the design guidelines in the OCP, the applicant has proposed a 240 volt electrical vehicle outlet for one (1) standard vehicle parking space located next to the proposed building addition;
- The applicant has confirmed that the proposed building addition is designed to be LEED Silver equivalent, as demonstrated through the LEED Project Checklist in Attachment 7. At Building Permit stage, the applicant is required to provide a letter of assurance from a registered professional that the LEED checklist will be followed.

Conclusion

Kasian Architecture Interior Design and Planning Ltd has applied for a Development Permit to construct an 882 m² addition and exterior renovation to an existing building located in the southwest corner of the subject site at 11380 Steveston Hwy. Proposed alterations are intended to be undertaken in two (2) phases to provide: additional space for an existing tenant on the site (Mark's Work Warehouse), to introduce a modern design typology for the site, and to upgrade the site landscaping and public realm environment adjacent to the building expansion area.

The applicant has addressed the significant urban design issues and other staff comments identified as part of the application review, including meeting the architectural form and character guidelines contained within the OCP, and providing landscaping and public amenity enhancements to the site to achieve the objectives of the design guidelines of the Ironwood Sub-Area Plan.

The proposal complies with the "Industrial Commercial (ZC6) – Ironwood Area" zoning, with no variances requested.

On this basis, staff recommends support for issuance of this Development Permit application.



Cynthia Lussier
Planning Technician
CL:rg

- Attachment 1: Key Plan
- Attachment 2: Letter of Intent/Implementation Plan
- Attachment 3: Development Application Data Sheet
- Attachment 4: Written correspondence from property owner at 11331 Coppersmith Way
- Attachment 5: Applicant's written response to concerns expressed by property owner at 11331 Coppersmith Way
- Attachment 6: Proposed Tree Retention Plan
- Attachment 7: LEED Project Checklist

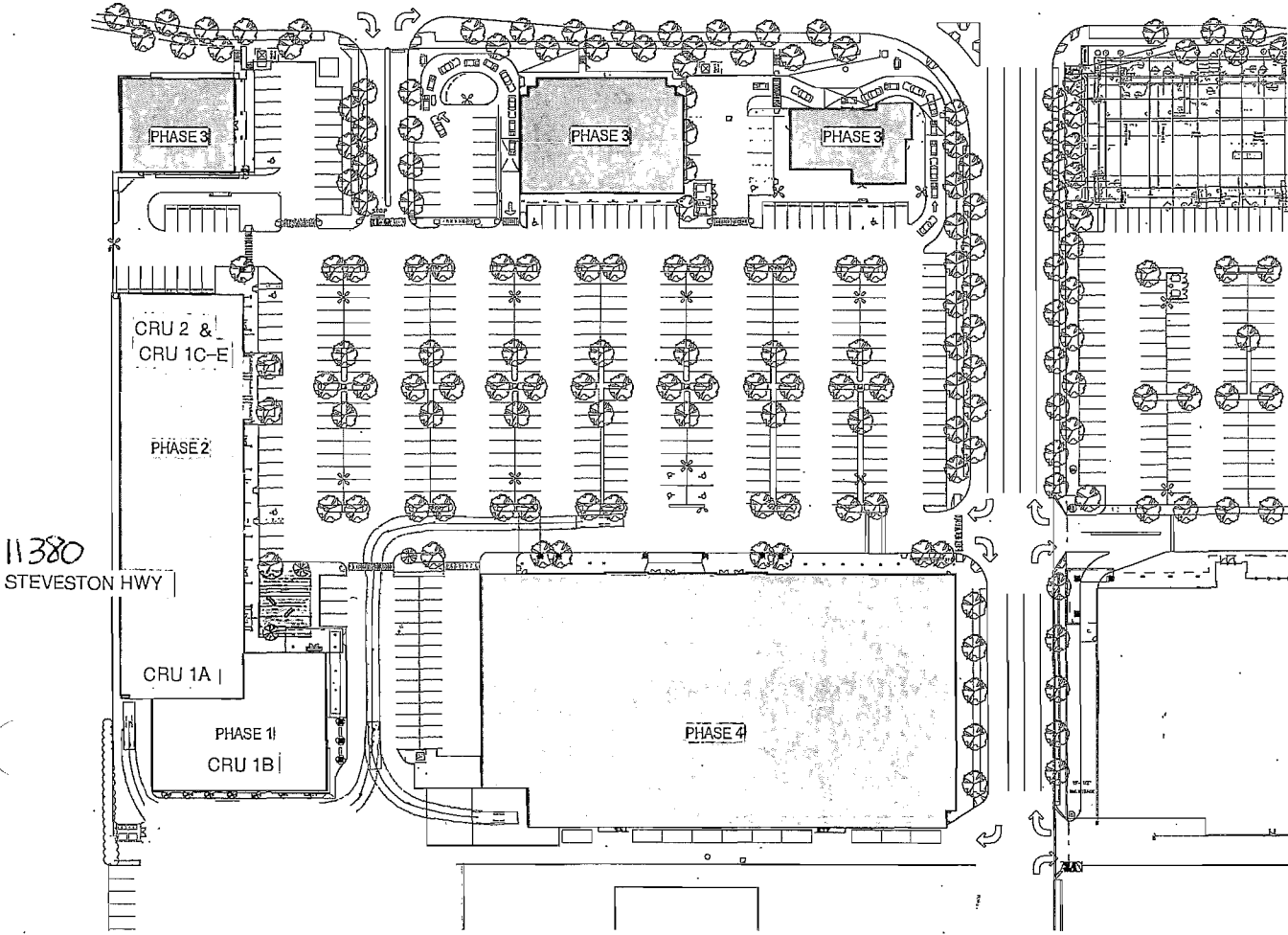
The following is to be met prior to forwarding this application to Council for approval:

1. Receipt of a landscaping security in the amount of \$112,801.92, equal to the cost estimate provided by the Registered Landscape Architect.
2. Receipt of a survey of the entire property legally described as Lot A Section 1 Block 3 North Range 6 West NWD Plan LMP45518, prepared by a registered BC Land Surveyor, in accordance with the City's Survey Guidelines Bulletin (DEVAPPS-01).
3. Submission of a contract with a Certified Arborist for on-site supervision of all works proposed within Tree Protection Zones of Trees # 1, 3, 9, 14, 15, 16, 17. The contract is to include the scope of work to be undertaken, including the proposed number of site monitoring inspections, and provision for the Arborist to submit a post-construction impact assessment report to the City for review.
4. Submission of a security in the amount of \$2,000 for Tree # 14. Following completion of construction and landscaping on the subject site, the security will be released subject to receipt of the post-construction impact assessment report prepared by the Arborist and a City landscaping inspection to verify tree survival.
5. Registration of a legal agreement to secure the proposed electrical vehicle charging station on the subject site.

Prior to future Building Permit issuance, the developer is required to:

- Provide a letter of assurance from a registered professional confirming that the LEED Checklist will be followed.
- Obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Division at 604-276-4285.*
- Submit a construction traffic and parking management plan to the satisfaction of the City's Transportation Division (<http://www.richmond.ca/services/ttp/special.htm>).

SITE ADDRESS 11380 STEVESTON HWY



1 PHASING PLAN
SCALE: 1:400

westbank

SCALE: 1:400

REISSUED FOR DEVELOPMENT
PERMIT

PHASING PLAN
COPPERSMITH CORNER - PROPOSED EXPANSION
11380 STEVESTON HIGHWAY, RICHMOND, B.C.

DP-03
JUNE 24, 2014
PROJECT 160046

w e s t b a n k

Ms. Cynthia Lussier
Planning Technician, Development Applications Division
City of Richmond
6911 No. 3 Road
Richmond BC V6Y 2C1

VIA EMAIL: cussier@richmond.ca

Re: Development Permit Application - 11380 Stevenston Highway (Coppersmith Corner Shopping Centre)

Dear Cynthia,

Following our meeting on June 6, 2014, the purpose of this letter is to provide clarity on Westbank's overall vision and timeline for the Coppersmith Corner Shopping Centre upgrade.

As noted in the development permit application, the proposed retail development is an approximate 880 sq.m addition and an approximate 250 sq.m renovation to an existing commercial retail unit located at the southwest portion of the centre. The new addition is designed to accommodate the growing needs of the community and the space requirements of our anchor tenant, Mark's Work Warehouse. Westbank also considers the potential expansion as an opportunity to introduce a new, unified modern design typology for the existing buildings, and to upgrade the site landscaping and public realm environment.

The proposed upgrade is envisioned in four phases, which will be implemented over a period of approximately five years:

Phase 1 (2014 – 2015, to be undertaken through the proposed DP 14-657502)

- Expansion/renovation to accommodate Mark's
- Implementation of improved site landscaping, pedestrian connections and weather protection adjacent to the expansion
- Development of a pedestrian plaza in front of Mark's

Phase 2 (2015 – 2016, to be undertaken through the proposed DP 14-657502)

- Façade upgrades to remaining frontage of CRU Building 1 and CRU Building 2
- Implementation of improved site landscaping, pedestrian connections and weather

w e s t b a n k

protection adjacent to the buildings

Phase 3 (2016 – 2017, to be undertaken as part of a future DP application)

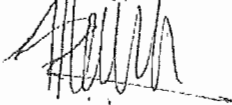
- Façade upgrades to CRU Building 3, CRU Building 4 and CRU Building 5
- Implementation of improved site landscaping, new plaza adjacent to a restaurant space, improved pedestrian connections and new weather protection adjacent to the buildings

Phase 4 (2018 – 2019, to be undertaken as part of a future DP application)

- Façade upgrade to Canadian Tire building
- Implementation of improved site landscaping, pedestrian connections and weather protection adjacent to the building
- Implementation of improved site landscaping to the surface parking lot

Should you have any questions or concerns, please do not hesitate to contact me.

Sincerely,



Farouk Babul
WESTBANK PROJECTS CORP.



DP 14-657502

Attachment 3

Address: 11380 Steveston Hwy
Kasian Architecture Interior
 Applicant: Design and Planning Ltd. Owner: Coppersmith Corner Shopping Centre Inc.
 Planning Area(s): Shellmont
 Floor Area Gross: 10,682 m²

	Existing	Proposed
Site Area:	31,538 m ²	31,538 m ²
Land Uses:	Neighbourhood shopping centre	No change
OCP Designation:	<ul style="list-style-type: none"> • 2041 OCP Land Use Map designation - Mixed Employment • Ironwood Sub-Area Plan Land Use Map designation – Area A (Commercial Development) 	No change
Zoning:	Industrial Community Commercial (ZC6) – Ironwood Area	No change

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	60%	33.87%	none permitted
Lot Coverage:	Max. 50%	31%	none
Setback – Front Yard (north):	Min. 6.0 m	Existing – 6.0 m Proposed - no change	none
Setback – Exterior Side Yard (east):	Min. 6.0 m	Existing – 6.0 m Proposed - no change	none
Setback – Interior Side Yard (west):	Min. 0 m	Existing - approx 0 m Proposed - no change	none
Setback – Rear Yard (south):	Min. 0 m	Existing - approx 6.0 m Proposed - no change	none
Height (m):	Max. 12.0 m	Parapet – 7.7 m	none
Minimum Lot Size:	N/A	N/A	none
On-Site Vehicle Parking Spaces:			
Standard size (50%)	216	131	none
Small size (50%)	216	294	
Accessible	9	10	
Total:	432	435	none
On-Site Bicycle Parking Spaces:			
Class 1	3	3	none
Class 2	4	4	



June 17, 2014

Cynthia Lussier
City of Richmond
Planning & Development
6911 No.3 Road
Richmond, BC
V6Y 2C1

Porte Realty Ltd.
380 - 1665 West Broadway
Vancouver BC V6J 1X1
t 604.732.7651
f 604.732.4673
porte.ca

Dear Ms. Lussier:

Re: Westbank
File No: DP14-657502

We are the owners of 11331 Coppersmith Way. When we purchased the property 10 years ago, the expectation and agreement was always that our property and the adjacent centre would function together as one.

The purpose of the cross access was to permit the flow of traffic, both vehicular and pedestrian, between the two properties and between Coppersmith Way and Steveston Highway.

The location, height, siting and bulk of the proposed addition to the shopping centre severely compromises the physical access, the parking and the visibility/connection between the properties and centres. Furthermore, it will result in a blank side of the building, with garbage and loading at the location of the cross access, facing our building.

As originally designed and built, the retail space "turned the corner", providing an animated retail corner facing towards our building.

We are supportive of an expansion of the centre and increasing the customer traffic at the south end of the centre.

We are opposed to the design as presented and urge Planning to work with the Developer to prepare a pedestrian friendly design which animates the south end of their centre and, more importantly, lives up to the intent and spirit of the agreement that was in place with the original development of the shopping centre and our retail/office building.

Sincerely,

PORTE REALTY LTD.

A handwritten signature in black ink, appearing to read "David Porte", is written over the typed name.

per: David Porte

DP:el

RECEIVED
JUN 23 2014



July 3rd, 2014

Cynthia Lussier,
Development Applications Division
City of Richmond

Dear Cynthia:

Re: Development Permit Application with respect to property located at Unit 11380 Steveston Hwy (Marks Renovation & Addition)

In response to the letter we received on 24th June 2014 from David Porte of Porte Reality Ltd, Farouk Babel of Westbank and Andrew Gordon of Kasian met with Daniel Bar-Dayyan and David Porte at Porte Reality Ltd on the 25th June 2014 to further discuss their concerns.

Primary concerns appear to relate to the location of the proposed building on the site, the vehicular circulation through 11,380 Steveston Hwy to 11,331 Coppersmith Way and the animation of the south elevation.

We considered moving the building to the west and discovered this would remove the opportunity to create a pedestrian plaza to the north of the store. We have explored the possibility of relocating the existing drive aisle between 11,380 Steveston Hwy and 11,331 Coppersmith Way, to the east edge of the proposed Mark Work Warehouse building. However transport engineers at the City of Richmond have deemed the access to the loading bay would be unsatisfactory.

We propose:

- Providing a pedestrian walk way to the south property line that will enhance the connection to 11,331 Coppersmith Way as recommended in the OCP.
- Providing display glass windows to the east and south elevation to animate this corner of the site.

- Rotate the proposed garbage enclosure so it is less visible and plant a 6' hedge along the east and south edge of the enclosure. This will entirely screen the garbage.
- Although not included as part of the DP drawing submission, we are requesting permission to install an additional pylon sign on Steveston Hwy adjacent to the existing TD Bank. Should the City be amenable to this request, we would offer one space for use by the neighbouring site for their signage.

The addition of these items to what we feel is a carefully considered addition to Coppersmith Mall, will be to the benefit of the local community.

Kind Regards,

Andrew Gordon
EDAC, BArch (Hons). BSc

Project Manager
T (604) 631-4535

URVEY PLAN OF PART OF LOT A SECTION 1 BLOCK 3 NORTH RANGE 6 WEST
EW WESTMINSTER DISTRICT PLAN LMP45518

"COPPERSMITH SHOPPING CENTRE"

VIC. ADDRESS:
1380 STEVESTON HIGHWAY
CHMOND, B.C.



LEGEND
SCALE 1:250



ALL DISTANCES ARE IN METRES.

- INDICATES SPOT ELEVATION
- ⊙ MH INDICATES MANHOLE
- ⊙ CS INDICATES CATCH BASIN
- ⊙ UB INDICATES UTILITY BOX
- ⊙ LS INDICATES LAMP STANDARD
- ⊙ FH INDICATES FIRE HYDRANT
- ⊙ WV INDICATES WATER VALVE
- MF INDICATES MAIN FLOOR ELEVATION
- D INDICATES DECIDUOUS TREE
- # INDICATES TREE TRUNK DIAMETER
- (T) INDICATES TOP OF WALL
- (B) INDICATES BOTTOM OF WALL
- P/L INDICATES PROPERTY LINE DIMENSION

NOTES:

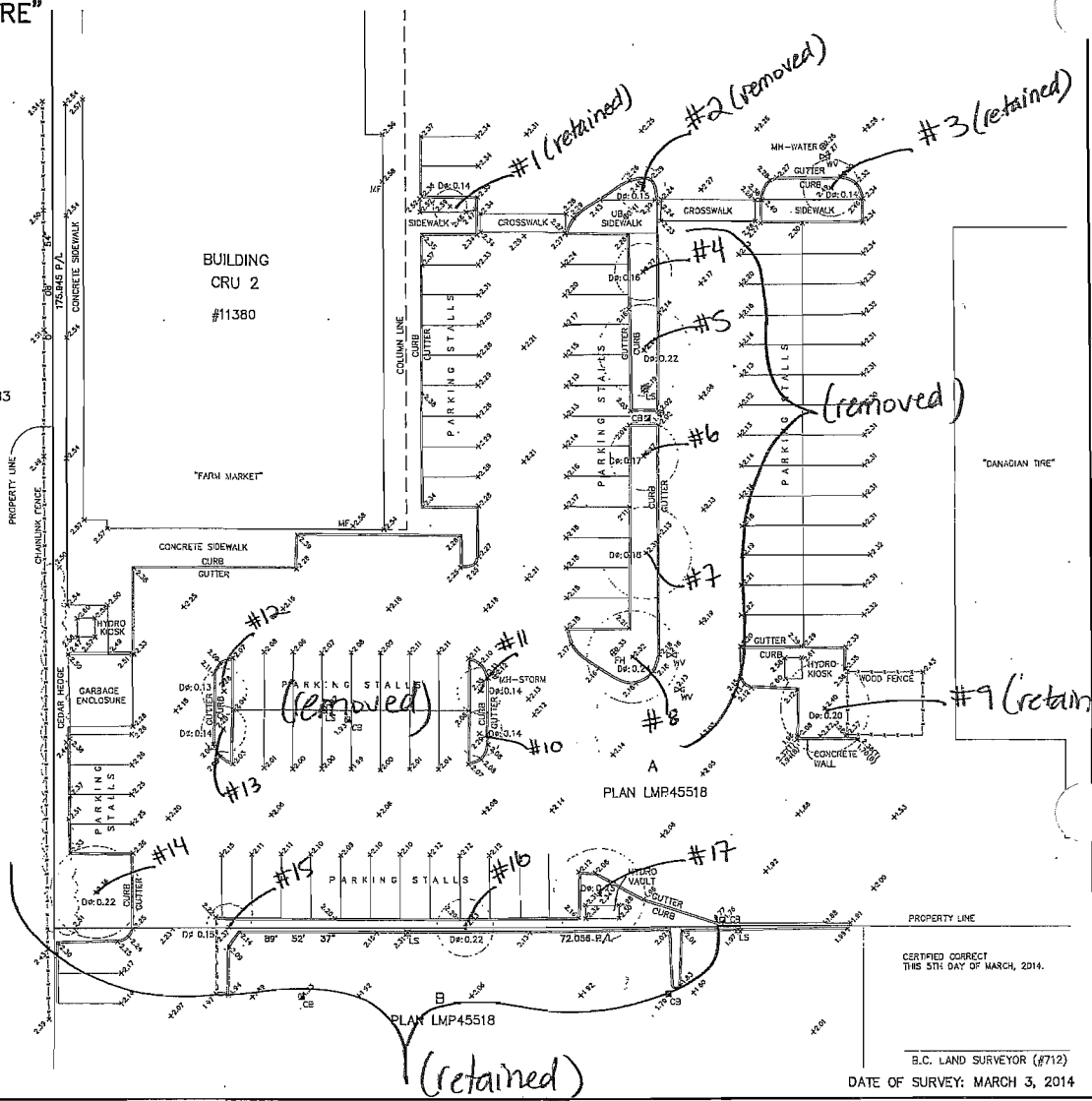
- ELEVATIONS ARE IN METRES AND ARE DERIVED FROM CITY OF RICHMOND HPN MONUMENT #191 (02#2453) WITH AN ELEVATION OF 1.054 METRES.
- PROPERTY LINE DIMENSIONS ARE DERIVED FROM PLAN LMP45518.
- ALL DESIGNATED TREES AS DEFINED BY CITY OF RICHMOND BYLAW NO. BC57, ARE SHOWN HEREON.

© COPYRIGHT

ATSON PECK & TOPLISS
SURVEYORS & ENGINEERS
10 - 11120 HORSESHOE WAY
RICHMOND, B.C. V7A 5H7
604-270-9331
6-804-270-4137

DPFILE: 12613-TP0-03MAR2014.0WG

-14-12613-TPG C/JENT REF: WESTBANK CORP.



CERTIFIED CORRECT
THIS 5TH DAY OF MARCH, 2014.

B.C. LAND SURVEYOR (#712)

DATE OF SURVEY: MARCH 3, 2014

<p>SCALE: NTS</p>	<p>REISSUED FOR DEVELOPMENT PERMIT</p>	<p>SURVEY COPPERSMITH CORNER - PROPOSED EXPANSION* UNIT 180 - 11380 STEVESTON HIGHWAY, RICHMOND, B.C.</p>	<p>DP-01 JUNE 16, 2014 PROJECT 160046</p>
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LEED Canada-CS 2009 Project Checklist

Ironwood CRUs 1 & 2, Richmond BC

Yes	?	No				
56	14	40	Project Totals (pre-certification estimates)	110 Possible Points		
Certified 40-49 points Silver 50-59 points Gold 60-79 points Platinum 80 points and above						

Yes	?	No				
15	6	7	Sustainable Sites	28 Points		

<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		Prereq 1	Construction Activity Pollution Prevention	Required
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 1	Site Selection	1
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 2	Development Density and Community Connectivity	3,5
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 3	Brownfield Redevelopment	1
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 4.1	Alternative Transportation: Public Transportation Access	3,6
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 4.2	Alternative Transportation: Bicycle Storage & Changing Rooms	2
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 4.3	Alternative Transportation: Low-Emitting & Fuel-Efficient Vehicles	3
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 4.4	Alternative Transportation: Parking Capacity	2
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 5.1	Site Development: Protect and Restore habitat	1
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 5.2	Site Development: Maximize Open Space	1
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 6.1	Stormwater Design: Quantity Control	1
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 6.2	Stormwater Design: Quality Control	1
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 7.1	Heat Island Effect: Non-Roof	1
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 7.2	Heat Island Effect: Roof	1
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 8	Light Pollution Reduction	1
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 9	Tenant Design and Construction Guidelines	1

Yes	?	No				
4	2	4	Water Efficiency	10 Points		

<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		Prereq 1	Water Use Reduction	Required
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 1	Water Efficient Landscaping	2,4
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 2	Innovative Wastewater Technologies	2
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 3	Water Use Reduction	2-4

Yes	?	No				
12	3	22	Energy & Atmosphere	37 Points		

<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		Prereq 1	Fundamental Commissioning of Building Energy Systems	Required
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		Prereq 2	Minimum Energy Performance	Required
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		Prereq 3	Fundamental Refrigerant Management	Required
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 1	Optimize Energy Performance	3-21
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 2	On-Site Renewable Energy	2,4
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 3	Enhanced Commissioning	2
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 4	Enhanced Refrigerant Management	2
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 5.1	Measurement and Verification: Base Building	3
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 5.2	Measurement and Verification: Tenant Submetering	3
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 6	Green Power	2

Yes	?	No				
11	2	0	Materials & Resources	13 Points		

<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		Prereq 1	Storage and Collection of Recyclables	Required
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 1	Building Reuse: Maintain Existing Walls, Floors, and Roof	1-5
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 2	Construction Waste Management	1-2
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 3	Materials Reuse	1
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 4	Recycled Content	1-2
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 5	Regional Materials	1-2
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 6	Certified Wood	1

Yes	?	No				
11	1	0	Indoor Environmental Quality	12 Points		

<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		Prereq 1	Minimum Indoor Air Quality Performance	Required
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		Prereq 2	Environmental Tobacco Smoke (ETS) Control	Required
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 1	Outdoor Air Delivery Monitoring	1
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 2	Increased Ventilation	1
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 3	Construction IAQ Management Plan: During Construction	1
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 4.1	Low-Emitting Materials: Adhesives and Sealants	1
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 4.2	Low-Emitting Materials: Paints and Coatings	1
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 4.3	Low-Emitting Materials: Flooring Systems	1
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 4.4	Low-Emitting Materials: Composite Wood and Agrifibre Products	1
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 5	Indoor Chemical and Pollutant Source Control	1
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 6	Controllability of System: Thermal Comfort	1
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 7	Thermal Comfort: Design	1
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 8.1	Daylight and Views: Daylight	1
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 8.2	Daylight and Views: Views	1

Yes	?	No				
1	0	5	Innovation in Design	6 Points		

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 1.1	Innovation in Design	1
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 1.2	Innovation in Design	1
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 1.3	Innovation in Design	1
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 1.4	Innovation in Design	1
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 1.5	Innovation in Design	1
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 2	LEED® Accredited Professional	1

Yes	?	No				
2	0	2	Regional Priority	4 Points		

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 1	Durable Building	1
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 2.1	Regional Priority Credit - SSc2	1
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 2.2	Regional Priority Credit - MRc2	1
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit 2.3	Regional Priority Credit	1



No. DP 14-657502

To the Holder: KASIAN ARCHITECTURE INTERIOR DESIGN
AND PLANNING LTD.

Property Address: 11380 STEVESTON HWY (Parent: 11388 Steveston Hwy)

Address: SUITE 1685- 1500 WEST GEORGIA ST
VANCOUVER, BC V6G 2Z6

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans # 1.a to # 4.b attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$112,801.92. to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.
7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

SUPERCEDED BY REVISED DP

Development Permit

No. DP 14-657502

To the Holder: KASIAN ARCHITECTURE INTERIOR DESIGN
AND PLANNING LTD.

Property Address: 11380 STEVESTON HWY (Parent: 11388 Steveston Hwy)

Address: SUITE 1685- 1500 WEST GEORGIA ST
VANCOUVER, BC V6G 2Z6

AUTHORIZING RESOLUTION NO.
DAY OF

ISSUED BY THE COUNCIL THE

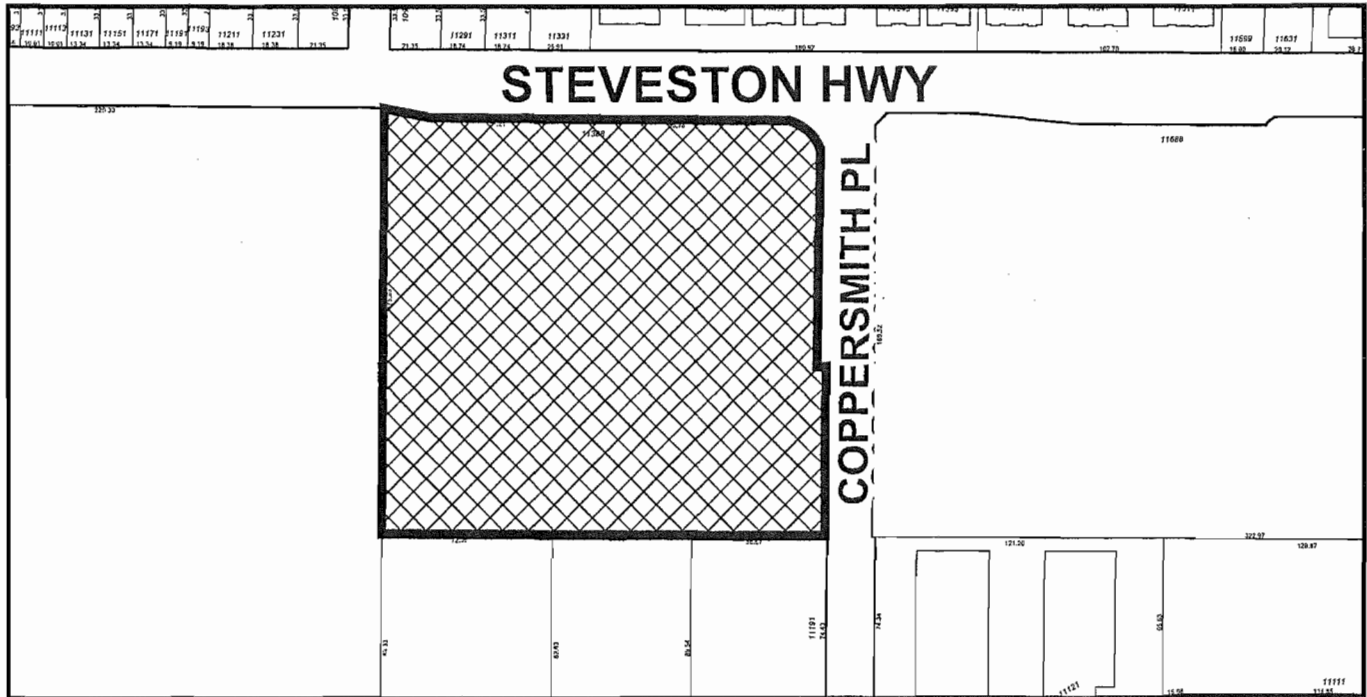
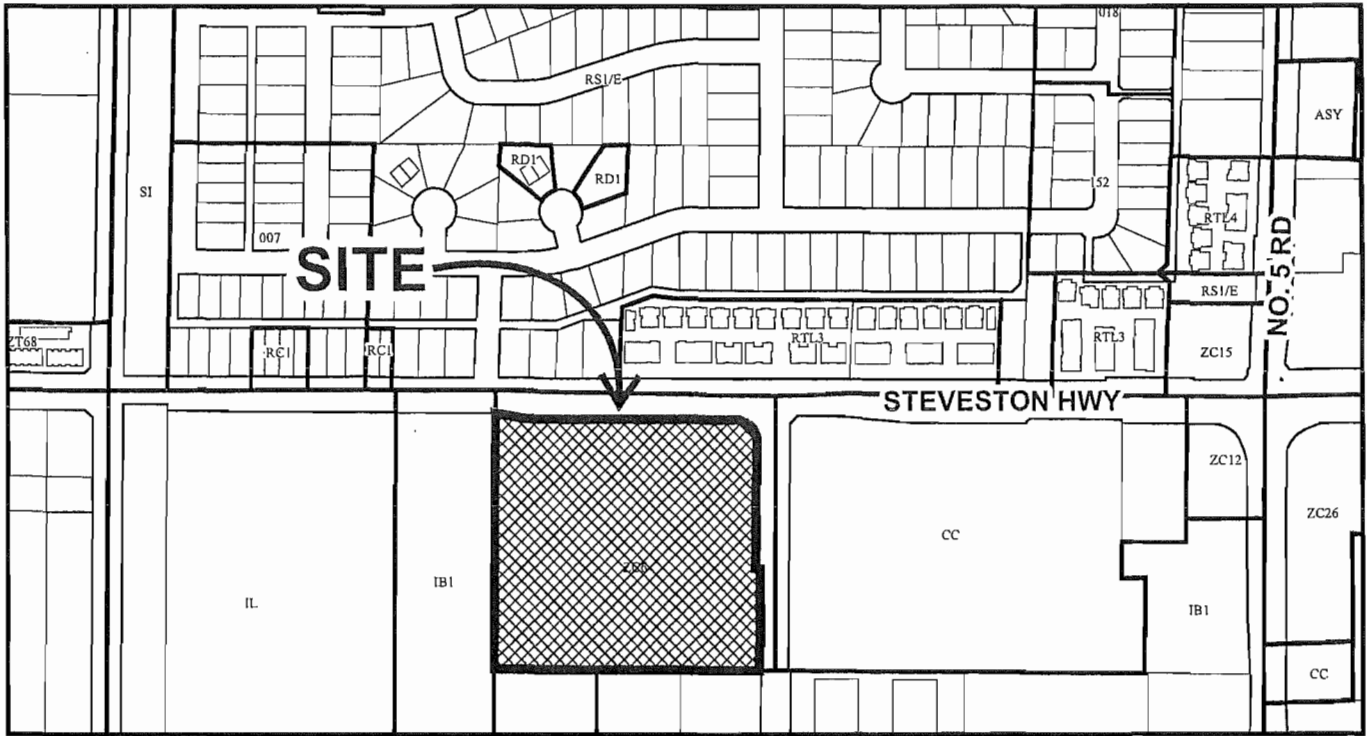
DELIVERED THIS DAY OF

MAYOR

SUPERCEDED BY REVISED DP



City of Richmond



DP 14-657502
SCHEDULE "A"

Original Date: 03/07/14
Revision Date:
Note: Dimensions are in METRES




Project Data
 Civic Address: 11380 Steveston Highway, Richmond, BC
 Legal Address: A SEC 1 BLK3N R66W PL LMP45518
 Zoning: ZC6

Site Area	Bylaw Maximum	Existing	Proposed
Site Area		31,538 sq. m.	31,538 sq. m.
Gross Leasable Floor Area REFER TO SHEET DP-04 FOR BREAKDOWN	6900 sq.m.	5904 sq.m.	6786 sq.m.
Lot Coverage	Max. 50%	30%	31%
Setbacks			
		NORTH	6m
		EAST	6m
		WEST	0m
		SOUTH	0m
Building Height	12.0m	9.5m	9.5m

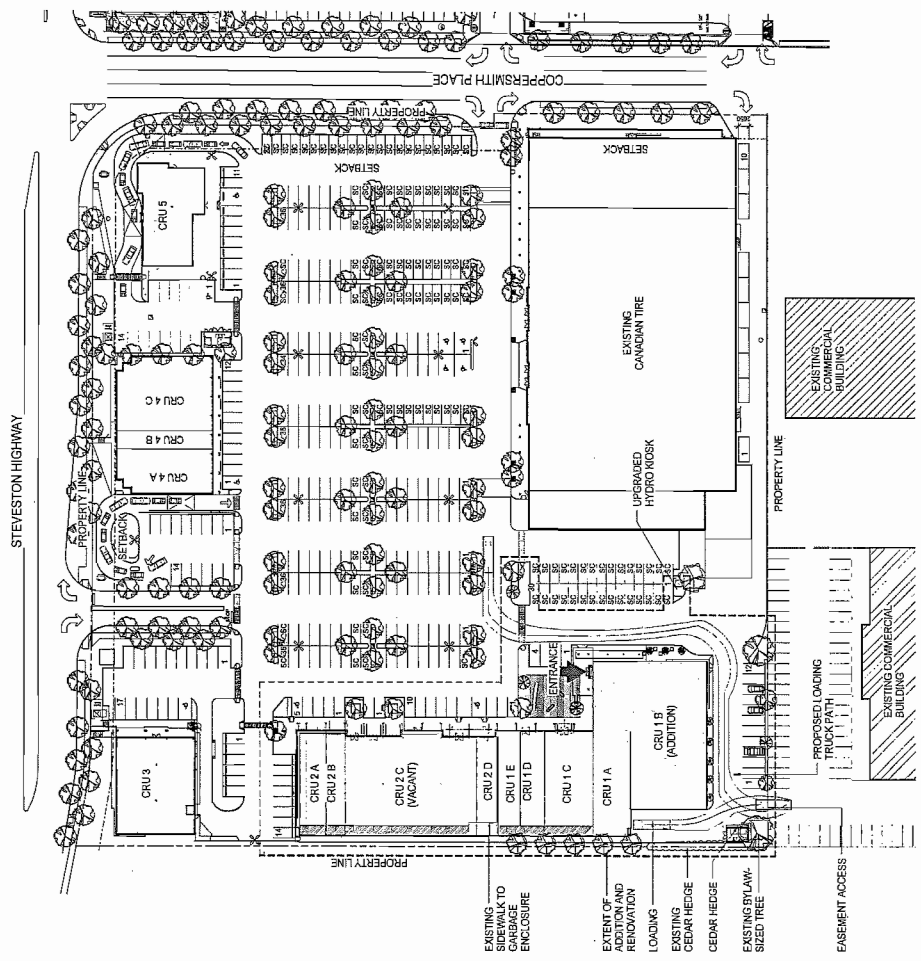
Parking Data	Refer to DP-04
Building Area Data (ref. A.A. calculations)	Max. 60%
	31.09%
Bicycle Storage Spaces (CRU 1 A&B)	
Class 1	3
Class 2	4
	N/A
	N/A
	3
	4

DR 14-657502



Plan # 1.a. 
kasian

NOTE: REFER TO DP-09 FOR ENLARGED SITE PLAN OF EXTENT OF ADDITION & RENOVATION



OVERALL SITE PLAN & PROJECT DATA
 COPPERSMITH CORNER - PROPOSED EXPANSION
 11380 STEVESTON HIGHWAY, RICHMOND, B.C.

REISSUED FOR DEVELOPMENT PERMIT

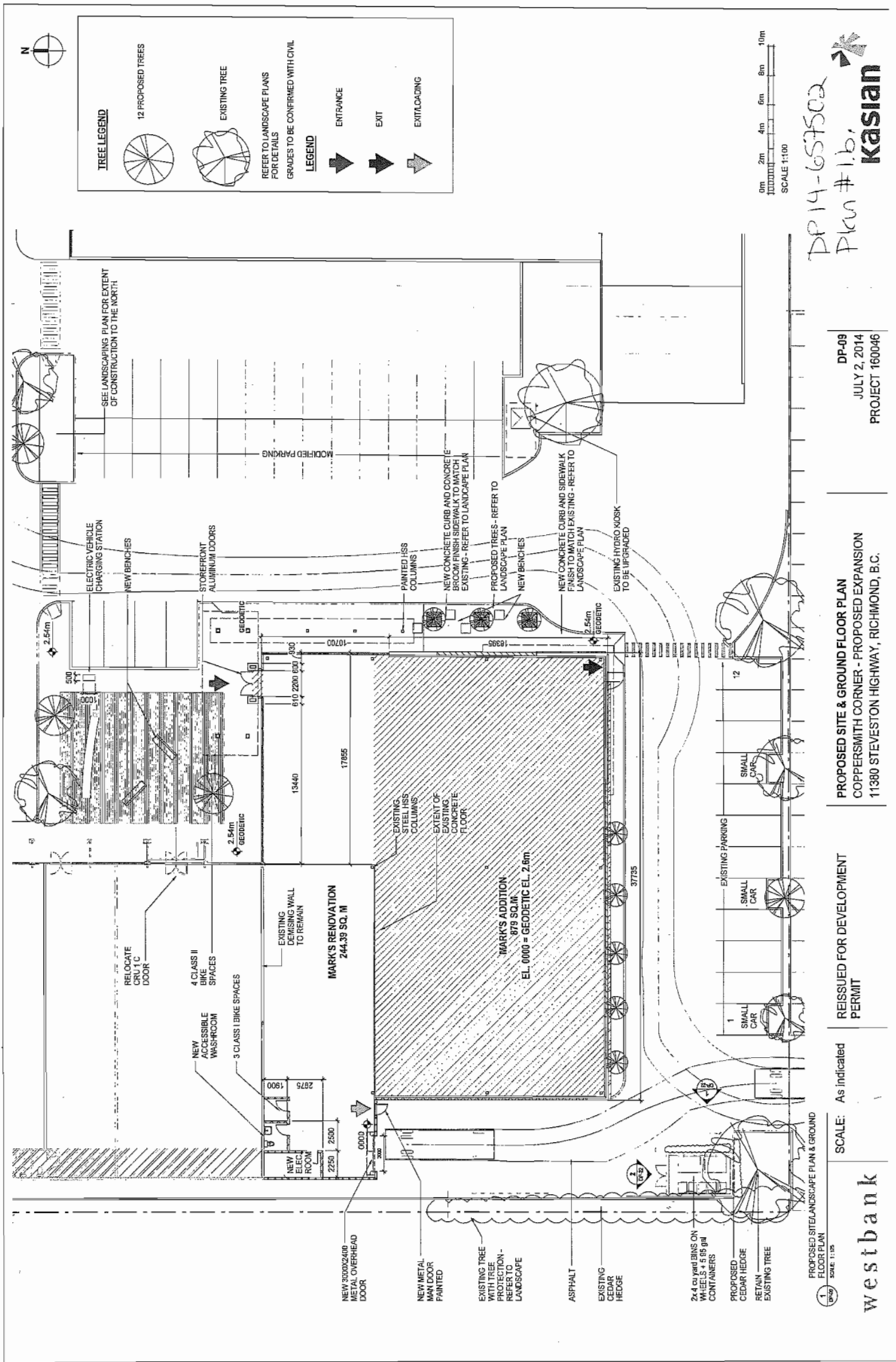
SCALE: 1:500

westbank

1 OVERALL SITE PLAN
 SCALE 1:500

DP-02
 JULY 2, 2014
 PROJECT 160046

SUPERCEDED BY REVISED PLANS DATED MARCH 19, 2015



TREE LEGEND

- 12 PROPOSED TREES
- EXISTING TREE

REFER TO LANDSCAPE PLANS FOR DETAILS
GRAZES TO BE CONFIRMED WITH CIVIL

LEGEND

- ENTRANCE
- EXIT
- EXIT/LOADING



DP 14-657502
Pkn #1.b.
Kasian

DP-09
JULY 2, 2014
PROJECT 160046

PROPOSED SITE & GROUND FLOOR PLAN
COPPERSMITH CORNER - PROPOSED EXPANSION
11380 STEVESTON HIGHWAY, RICHMOND, B.C.

REISSUED FOR DEVELOPMENT PERMIT

SCALE: As indicated

westbank

SUPERCEDED BY REVISED PLANS DATED MARCH 19, 2015

Existing Areas

Building #	Building Area (sq)	Building Area (sqm)
CRU 1A	1830	2443
CRU 1B	2448	3340
CRU 1C	3488	4740
CRU 1D	1684	2284
CRU 1E	1805	2437
CRU 2A	2048	2783
CRU 2B	2095	2846
CRU 2C	1871	2547
CRU 2D	1186	1602
CRU 1843 Subtotal Retail	11771	15602
CRU 1843 Subtotal Food Center	5336	7143
Total	27107	36375
CRU 4A	1830	2443
CRU 4B	2448	3340
CRU 4C	3488	4740
CRU 5	3725	5006
CT Retail	4006	5371
CT Service	5191	7002
CT Warehouse	10737	14383
CT Office	136	183
CT Drive Thru	3820	5123

Existing Bylaw Required Parking

Typical Calculation (B501/601) 3 = 10.5

Building Type	Building Area (sq)	Building Area (sqm)	Reg. Parking
Retail	62585	84141	105
CT Service	5191	7002	218.5
CT Warehouse	10737	14383	105
CT Office	136	183	30.5
Food Catering	6690	9015	30.5
Restaurant, Drive Thru	6784	9102	24.5
Planned Spaces	3241	4315	19.6
Total	97411	129595	307

Parking Summary

Existing Bylaw Required Parking Stalls	Existing Provided Parking Stalls	Proposed Bylaw Required Parking Stalls	Proposed Provided Parking Stalls	Total	Small Car	Regular	Disabled	Occupied Stalls	Dismantled Stalls	Proposed Total	Difference
397	451	432	432	397	198*	198**	8	0	0	397	0
431	492	444	432	431	49	352	10	20	0	431	34
432	432	444	432	432	216*	216**	9	0	44	432	0
432	432	444	432	432	131	291	10	0	44	432	0

Proposed Provided Parking Stalls
 *Small car required stalls based on 50% max. of required ratio
 **Regular car required stalls based on 50% min. of required ratio

Proposed Areas

Building #	Building Area (sq)	Building Area (sqm)
CRU 1A	1830	2443
CRU 1B	2448	3340
CRU 1C	3488	4740
CRU 1D	1684	2284
CRU 1E	1805	2437
CRU 2A	2048	2783
CRU 2B	2095	2846
CRU 2C	1871	2547
CRU 2D	1186	1602
CRU 1843 Subtotal Retail	11771	15602
CRU 1843 Subtotal Food Center	5336	7143
Total	27107	36375
CRU 4A	1830	2443
CRU 4B	2448	3340
CRU 4C	3488	4740
CRU 5	3725	5006
CT Retail	4006	5371
CT Service	5191	7002
CT Warehouse	10737	14383
CT Office	136	183
CT Drive Thru	3820	5123

Proposed Bylaw Required Parking

Typical Calculation (B501/601) 3 = 10.5

Building Type	Building Area (sq)	Building Area (sqm)	Reg. Parking
Retail	7246	9746	105
CT Service	5191	7002	218.5
CT Warehouse	10737	14383	105
CT Office	136	183	30.5
Food Catering	6690	9015	30.5
Restaurant, Drive Thru	6714	9012	24.5
Planned Spaces	3746	4975	19.6
Total	106172	140814	432

REISSUED FOR DEVELOPMENT PERMIT

SCALE: AS INDICATED

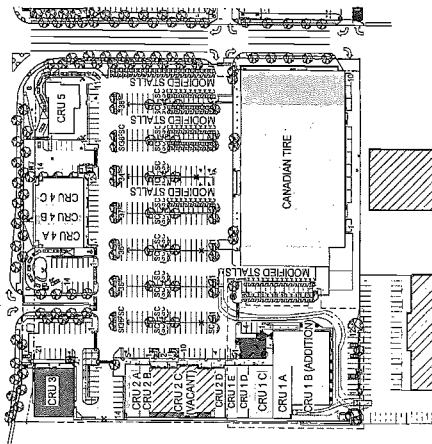
west bank

PARKING DATA
 COPPERSMITH CORNER - PROPOSED EXPANSION
 11380 STEVESTON HIGHWAY, RICHMOND, B.C.

DP-05
 JULY 2, 2014
 PROJECT 180046

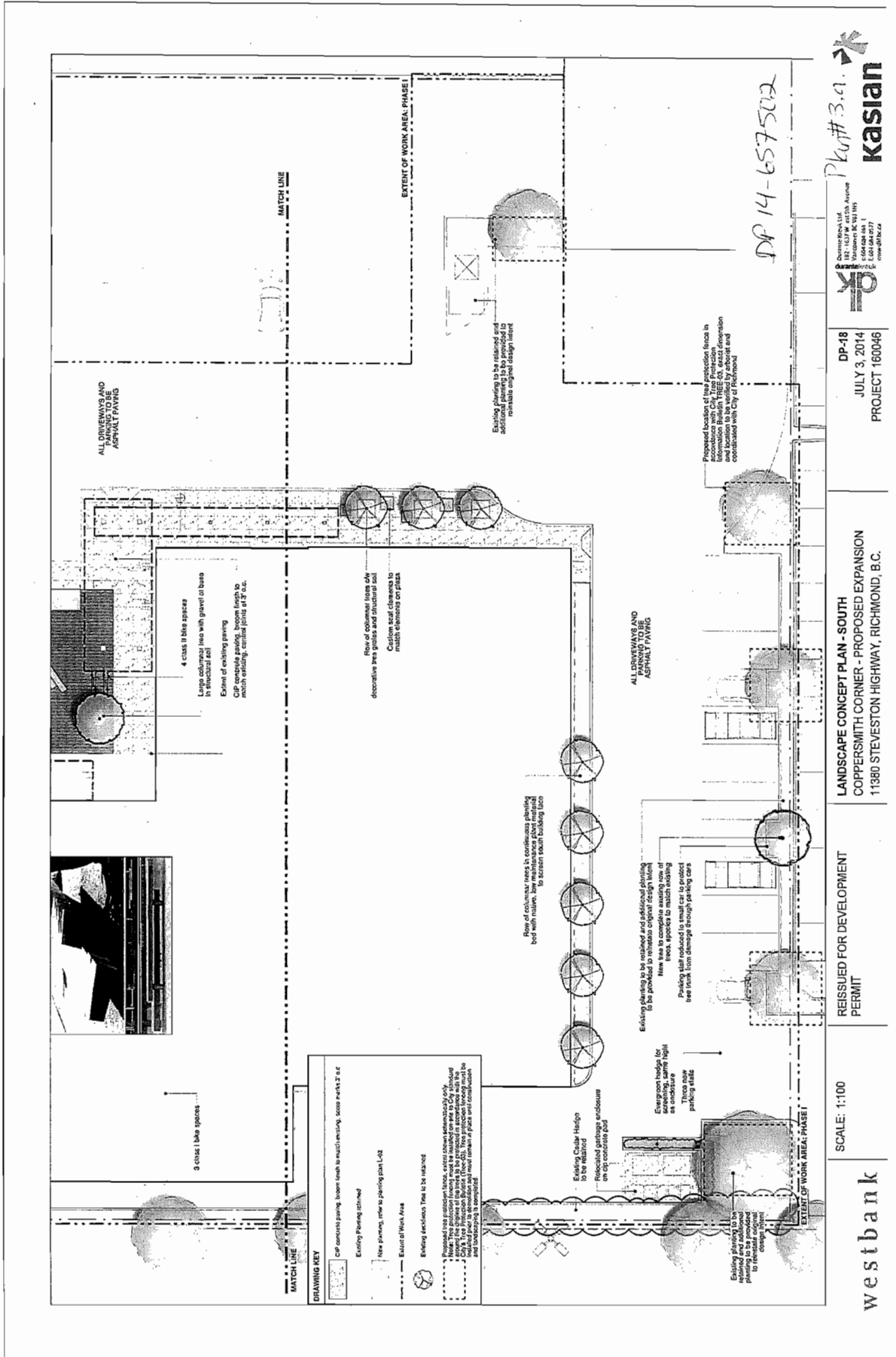
Plant # 2
 KASIAN

SUPERCEDED BY REVISED PLANS DATED MARCH 19, 2015



OVERALL SITE PLAN - FLOOR AREA TYPE
 SCALE: 1:1000

DP 14-657502



DRAWING KEY

- CIP concrete paving, broken (such to match existing), color match 2 or 4
- Existing Paving color
- New paving, color as paving plant L-42
- Extent of Work Area
- Existing structure. This to be retained

Notes:

- Proposed tree protection fence, access across driveway only.
- New tree protection fencing must be installed on site by City of Richmond.
- City of Richmond Tree Protection Program (TRPP) is a requirement for all new tree protection fencing. This protection fencing must be installed in accordance with the TRPP and all applicable codes and standards. It is recommended that a copy of the TRPP be reviewed and understood by the contractor.

SCALE: 1:100

REQUIRED FOR DEVELOPMENT PERMIT

LANDSCAPE CONCEPT PLAN - SOUTH
COPPERSMITH CORNER - PROPOSED EXPANSION
11380 STEVESTON HIGHWAY, RICHMOND, B.C.

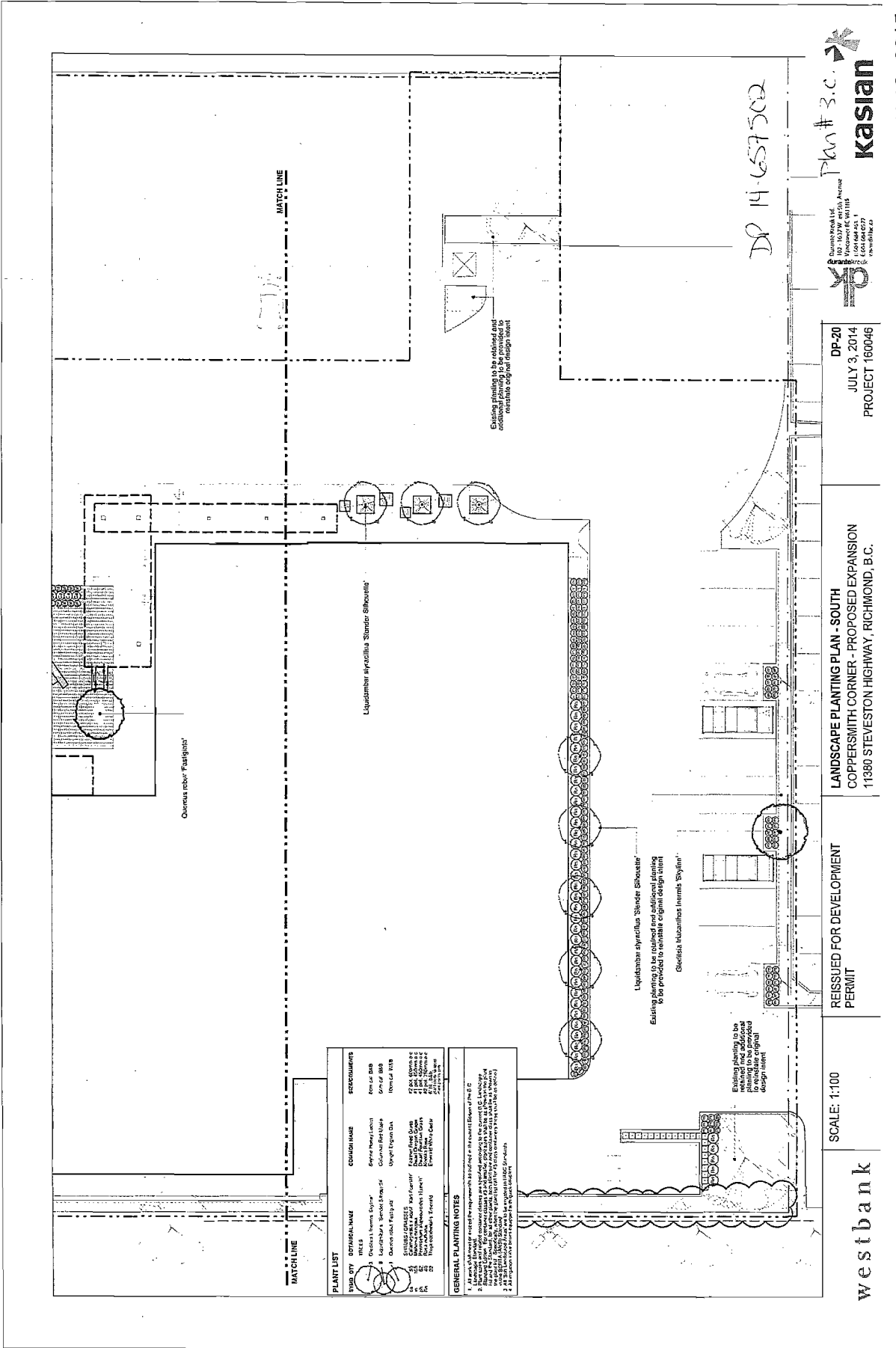
DP-18
JULY 3, 2014
PROJECT 160046

Kasian
Kasian Inc.
115 - 101 W. 45th Avenue
Edmonton, Alberta T6A 1K1
Tel: (780) 441-1111
Fax: (780) 441-1112
www.kasian.ca

Plat # 3.4.1
DP 14-657502

westbank

SUPERCEDED BY REVISED PLANS DATED MARCH 19, 2015



PLANT LIST

PLANT	SYMBOL	QUANTITY	REMARKS
1	Circle with cross	1	Quercus robur Fastigiata
2	Circle with dots	1	Liquidambar styraciflua Standard Showwater
3	Circle with horizontal lines	1	Gleditsia triacanthos Inermis 'Skyline'
4	Circle with vertical lines	1	Liquidambar styraciflua Standard Showwater
5	Circle with diagonal lines	1	Liquidambar styraciflua Standard Showwater
6	Circle with wavy lines	1	Liquidambar styraciflua Standard Showwater
7	Circle with concentric circles	1	Liquidambar styraciflua Standard Showwater
8	Circle with solid fill	1	Liquidambar styraciflua Standard Showwater
9	Circle with cross-hatch	1	Liquidambar styraciflua Standard Showwater
10	Circle with diagonal cross-hatch	1	Liquidambar styraciflua Standard Showwater
11	Circle with horizontal cross-hatch	1	Liquidambar styraciflua Standard Showwater
12	Circle with vertical cross-hatch	1	Liquidambar styraciflua Standard Showwater
13	Circle with diagonal cross-hatch (45°)	1	Liquidambar styraciflua Standard Showwater
14	Circle with diagonal cross-hatch (135°)	1	Liquidambar styraciflua Standard Showwater
15	Circle with concentric circles (inner solid)	1	Liquidambar styraciflua Standard Showwater
16	Circle with concentric circles (outer solid)	1	Liquidambar styraciflua Standard Showwater
17	Circle with concentric circles (inner and outer solid)	1	Liquidambar styraciflua Standard Showwater
18	Circle with concentric circles (inner and outer solid, different spacing)	1	Liquidambar styraciflua Standard Showwater
19	Circle with concentric circles (inner and outer solid, different spacing, different fill)	1	Liquidambar styraciflua Standard Showwater
20	Circle with concentric circles (inner and outer solid, different spacing, different fill, different spacing)	1	Liquidambar styraciflua Standard Showwater
21	Circle with concentric circles (inner and outer solid, different spacing, different fill, different spacing, different fill)	1	Liquidambar styraciflua Standard Showwater
22	Circle with concentric circles (inner and outer solid, different spacing, different fill, different spacing, different fill, different spacing)	1	Liquidambar styraciflua Standard Showwater

GENERAL PLANTING NOTES

- All work to be completed by the contractor as indicated on the contract documents.
- Plantings shall be installed in accordance with the current O.C. Landscape Code.
- Plantings shall be installed in accordance with the current O.C. Landscape Code and the current O.C. Landscape Code Supplement.
- Plantings shall be installed in accordance with the current O.C. Landscape Code and the current O.C. Landscape Code Supplement and the current O.C. Landscape Code Supplement.
- Plantings shall be installed in accordance with the current O.C. Landscape Code and the current O.C. Landscape Code Supplement and the current O.C. Landscape Code Supplement.



DP-20
JULY 3, 2014
PROJECT 160046

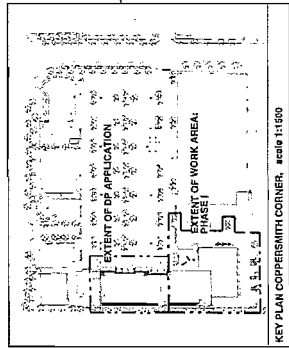
LANDSCAPE PLANTING PLAN - SOUTH
COPPERSMITH CORNER - PROPOSED EXPANSION
11380 STEVESTON HIGHWAY, RICHMOND, B.C.

REISSUED FOR DEVELOPMENT
PERMIT

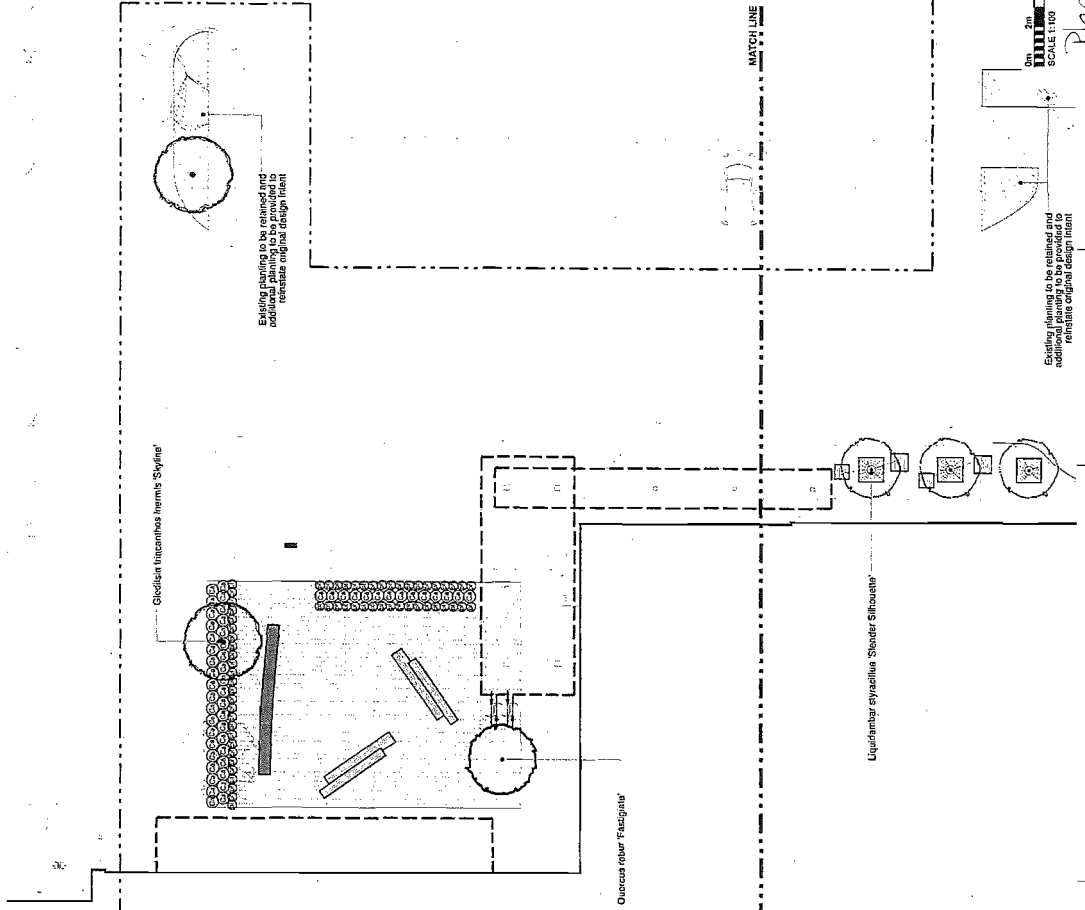
SCALE: 1:100

west bank

SUPERCEDED BY REVISED PLANS DATED MARCH 19, 2015

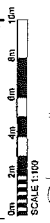


FOR PLANT LIST REFER TO SHEET DP-19



Existing planting to be retained and additional planting to be provided to reinstate original design intent

Existing planting to be retained and additional planting to be provided to reinstate original design intent



Plan # 3.d.
kasian

100-102 W. 45th Avenue
Edmonton, Alberta T6C 1K7
Canada
Tel: 780-443-2727
www.kasian.ca

DP-21
JULY 3, 2014
PROJECT 160046

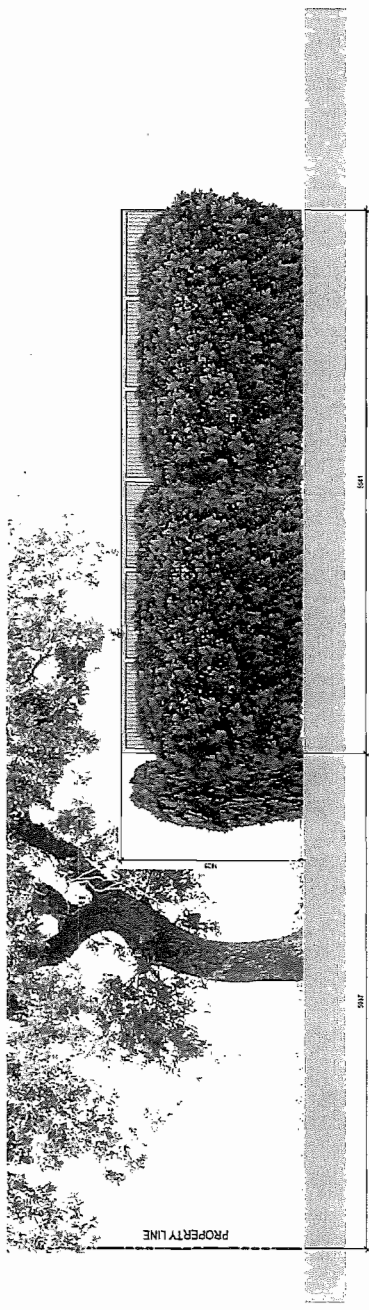
LANDSCAPE PLANTING PLAN - NORTH
COPPERSMITH CORNER - PROPOSED EXPANSION
11380 STEVESTON HIGHWAY, RICHMOND, B.C.

REISSUED FOR DEVELOPMENT PERMIT

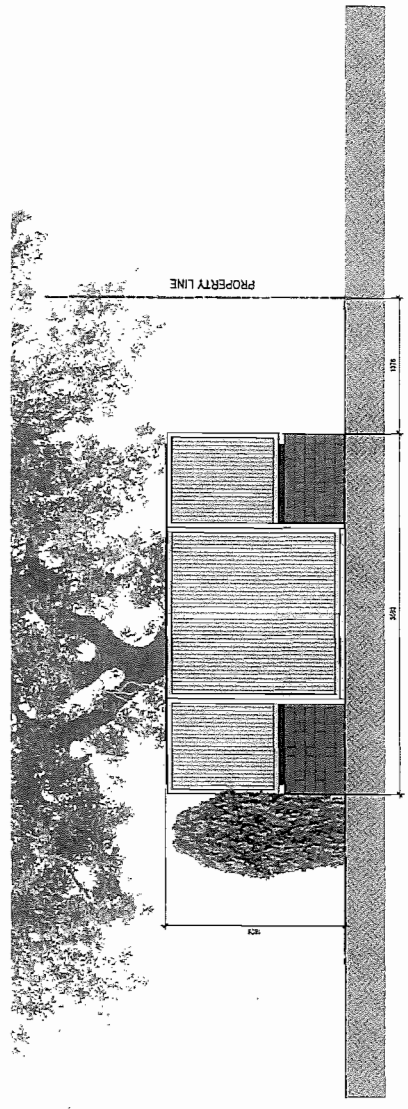
SCALE: 1:100

westbank

SUPERCEDED BY REVISED PLANS DATED MARCH 19, 2015



1 EAST ELEVATION - GARBAGE ENCLOSURE
SCALE: 1" = 10'



2 NORTH ELEVATION - GARBAGE ENCLOSURE
SCALE: 1" = 10'

DP 14-657502
Plan # 3.e.



DP-22
JULY 3, 2014
PROJECT 160046

GARBAGE/RECYCLING ENCLOSURE ELEVATION
COPPERSMITH CORNER - PROPOSED EXPANSION
11380 STEVESTON HIGHWAY, RICHMOND, B.C.

REISSUED FOR DEVELOPMENT
PERMIT

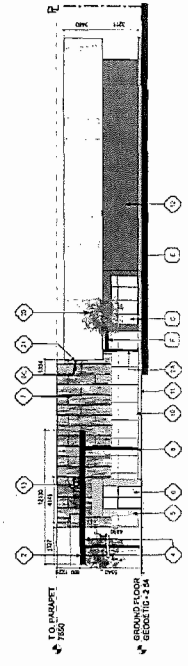
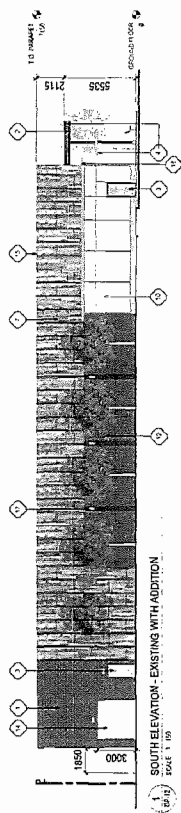
SCALE:

westbank

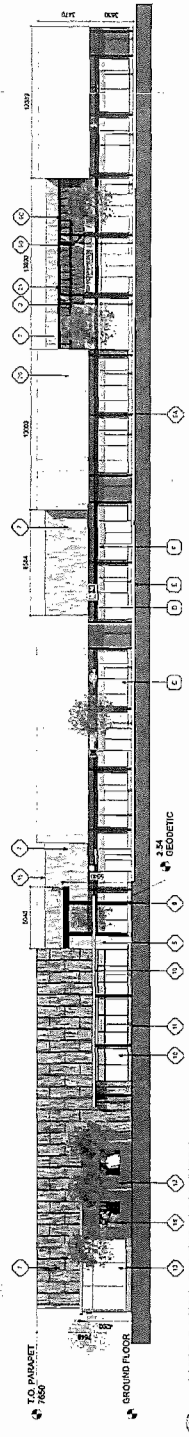
SUPERCEDED BY REVISED PLANS DATED MARCH 19, 2015

- PROPOSED EXTERIOR MATERIAL LEGEND**
- SPLIT FACE CONCRETE BLOCK WALL
- LIGHT CHARCOAL COLOUR
 - PREFINISHED METAL FASCIA
- CHARCOAL FINISH
 - METAL MANDOOK AND FRAME
- PAINTED CHARCOAL
 - WOOD VENEER PANEL SOFFIT
 - ALUMINUM PANEL
- PORTAL GRANGE FINISH
 - ALUMINUM STOREFRONT DOORS
- CHARCOAL FINISH
 - METAL PANEL CLADDING
- VERTICAL WOOD GRAIN SCREEN PRINT
 - PAINTED STEEL COLUMNS
- CHARCOAL FINISH
 - EXISTING STEEL COLUMNS REPAINTED
- CHARCOAL FINISH
 - PAINTED STEEL COLUMNS
- EXTENSION TO EXISTING COLUMN
- CHARCOAL FINISH
 - PAINTED STEEL STRUCTURE NEW CANOPY
- CHARCOAL FINISH
- EXISTING EXTERIOR MATERIAL LEGEND**
- CAST IN PLACE CONCRETE UPSTAND
- SACK FINISH
 - STONE VENEER
- LIGHT CHARCOAL COLOUR
 - BACKLIT ILLUMINATED SIGNAGE
- PRE-FINISHED METAL OVERHEAD DOOR
- CHARCOAL FINISH
 - MECHANICAL ROOF TOP UNITS
 - REFINISHED METAL FASCIA
- ORANGE FINISH
 - DOWNLIGHT FIXTURE
 - ADVERTISING PANEL
 - STEEL CANOPY STRUCTURE
- ORANGE FINISH
 - ALUMINUM PANEL, FOLDED AND PERFORATED
- WHITE FINISH
 - GLASS TOP FOR NEW CANOPY

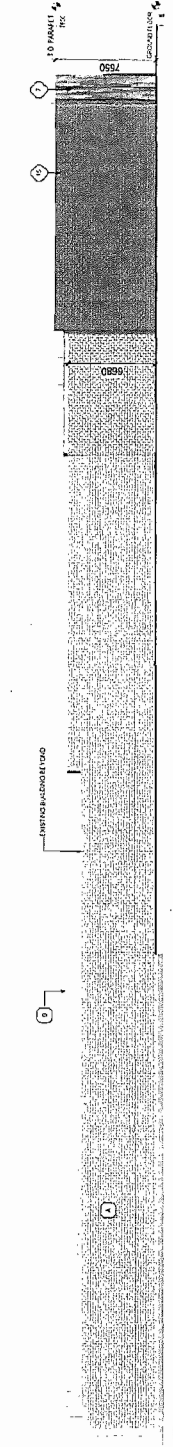
- EXISTING EXTERIOR MATERIAL LEGEND**
- EXISTING CONCRETE BLOCK WALL
 - EXISTING MECHANICAL ROOF TOP UNIT
 - EXISTING ALUMINUM STOREFRONT GLAZING
 - EXISTING ALUMINUM STOREFRONT DOOR
 - EXISTING CONCRETE BASE
 - EXISTING STEEL SIGN BAND



2 NORTH ELEVATION - EXISTING WITH ADDITION
SCALE 1:10

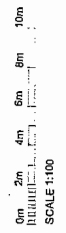


3 EAST ELEVATION - EXISTING WITH ADDITION
SCALE 1:10



4 WEST ELEVATION - EXISTING WITH ADDITION
SCALE 1:10

DP 14-657502
Plan # 4.1



westbank

REISSUED FOR DEVELOPMENT PERMIT

PROPOSED BUILDING ELEVATIONS
COPPERSMITH CORNER - PROPOSED EXPANSION
11380 STEVESTON HIGHWAY, RICHMOND, B.C.

DP-12
JULY 2, 2014
PROJECT 160046

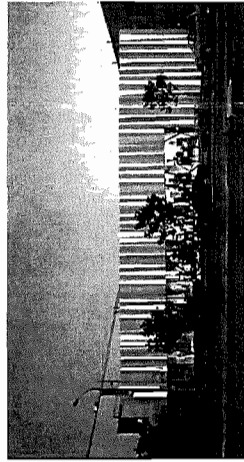


SUPERCEDED BY REVISED PLANS DATED MARCH 19, 2015

PRECEDENT I
 H&M SUNSET STRIP, L.A, CA
 UNIVERSAL DESIGN STUDIO



DAY TIME VIEW

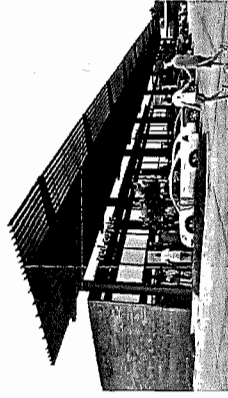


NIGHT TIME VIEW

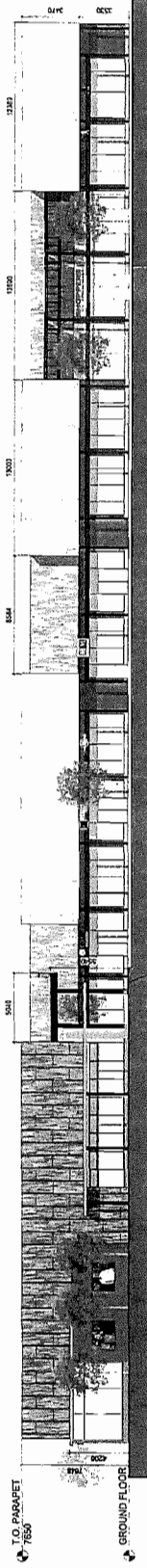


CORNER VIEW

PRECEDENT II
 CLASSEN CURVE, OKLAHOMA CITY, OK
 ELLIOTT ASSOCIATES ARCHITECTS

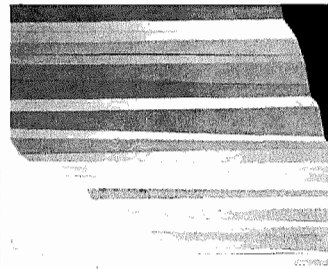


STEEL CANOPY

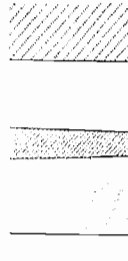


EAST ELEVATION (NTS)

MATERIALS PALETTE



FOLDED AND PERFORATED METAL PANEL
 - WHITE FINISH



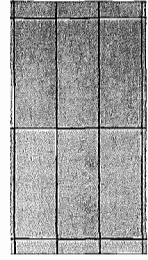
EXAMPLE OF PERFORATION PATTERN IN
 WHITE FINISH METAL PANEL



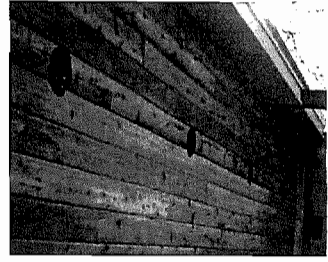
PROTOTYPE OF PERFORATION IN WHITE
 FINISH METAL PANEL - DAY AND NIGHT



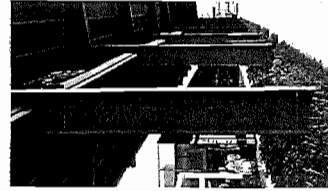
METAL PANEL CLADDING
 - COLOUR TO MATCH MARK'S WORK
 WAREHOUSE COLOUR SCHEME



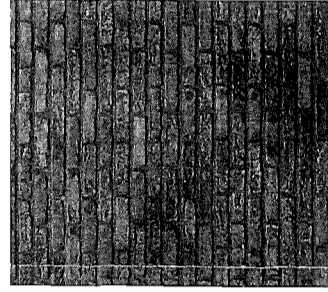
METAL PANEL CLADDING
 - VERTICAL WOOD GRAIN SCREEN PRINT



WOOD SOFFIT WITH POT LIGHTS



PAINTED STEEL STRUCTURE
 - CHARCOAL GREY FINISH



CONCRETE BLOCK WALL
 - LIGHT CHARCOAL FINISH

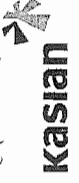
SCALE: NTS

REISSUED FOR DEVELOPMENT
 PERMIT

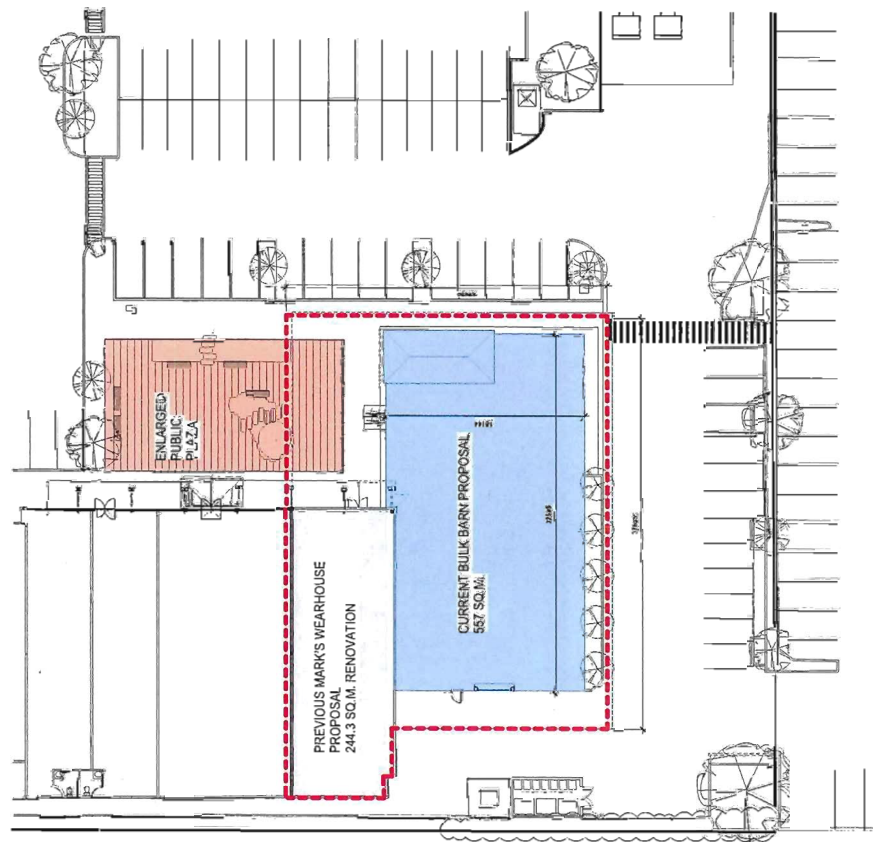
MATERIALS AND PALETTE
 COPPERSMITH CORNER - PROPOSED EXPANSION
 11380 STEVESTON HIGHWAY, RICHMOND, B.C.

DP-12A
 JULY 2, 2014
 PROJECT 160046

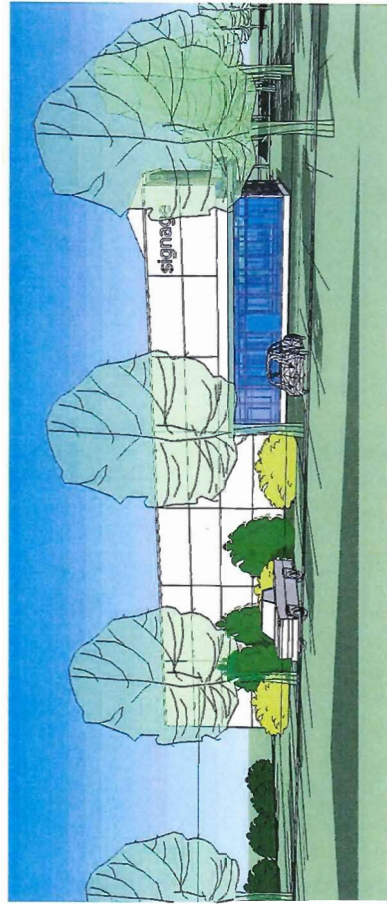
DP 14-657502
 Plan # 41.b.



SUPERCEDED BY REVISED PLANS DATED MARCH 19, 2015



--- EXTENT OF ORIGINAL SUBMISSION



VIEW OF THE REVISED ADDITION FROM 11331 COPPERSMITH WAY

1 COMPARISON PLAN
SCALE: 1:200

LEED Canada-CS 2009 Project Checklist

Ironwood CRUs 1 & 2, Richmond BC

Yes	7	No	
50	14	47	Project Totals (pre-certification estimates) 110 Possible Points
Certified 40-49 points Silver 50-59 points Gold 60-79 points Platinum 80 points and above			

Yes	7	No	
15	6	7	Sustainable Sites 28 Points
✓			Prereq 1 Construction Activity Pollution Prevention Required
1			Credit 1 Site Selection 1
3		2	Credit 2 Development Density and Community Connectivity 3.5
		1	Credit 3 Brownfield Redevelopment 1
6			Credit 4.1 Alternative Transportation: Public Transportation Access 3.6 Bus stop located within 200 m from building entrance (max 400 m)
		2	Credit 4.2 Alternative Transportation: Bicycle Storage & Changing Rooms 2
3			Credit 4.3 Alternative Transportation: Low-Emitting & Fuel-Efficient Vehicles 3.3% of total parking capacity (42 provided stalls) = 1.26
		2	Credit 4.4 Alternative Transportation: Parking Capacity 2 Project not exceeding minimum local zoning requirements
		1	Credit 5.1 Site Development: Protect and Restore habitat 1
		1	Credit 5.2 Site Development: Maximize Open Space 1 Provide vegetated open space equal to 20% of project site area
1			Credit 6.1 Stormwater Design: Quantity Control 1
1			Credit 6.2 Stormwater Design: Quality Control 1
1			Credit 7.1 Heat Island Effect: Non-Roof 1
1			Credit 7.2 Heat Island Effect: Roof 1
1			Credit 8 Light Pollution Reduction 1
1			Credit 9 Tenant Design and Construction Guidelines 1

Yes	7	No	
4	2	4	Water Efficiency 10 Points
✓			Prereq 1 Water Use Reduction Required
2		2	Credit 1 Water Efficient Landscaping 2.4 Reduce potable water consumption for irrigation by 50% from a calculated midsummer baseline case
2			Credit 2 Innovative Wastewater Technologies 2 Reduce potable water use for building sewage conveyance by 50%
2		2	Credit 3 Water Use Reduction 2-4

Yes	7	No	
12	3	22	Energy & Atmosphere 37 Points
✓			Prereq 1 Fundamental Commissioning of Building Energy Systems Required
✓			Prereq 2 Minimum Energy Performance Required
✓			Prereq 3 Fundamental Refrigerant Management Required
6	1	14	Credit 1 Optimize Energy Performance 3-21
		4	Credit 2 On-Site Renewable Energy 2.4
		2	Credit 3 Enhanced Commissioning 2
		2	Credit 4 Enhanced Refrigerant Management 2
3			Credit 5.1 Measurement and Verification: Base Building 3
3			Credit 5.2 Measurement and Verification: Tenant Submetering 3
		2	Credit 6 Green Power 2

Yes	7	No	
4	2	7	Materials & Resources 13 Points
✓			Prereq 1 Storage and Collection of Recyclables Required
2		5	Credit 1 Building Rouse: Maintain Existing Walls, Floors, and Roof 1-5 Maintain up to 75% existing building (2174.5 sqm), addition (878.9 sqm)
		1	Credit 2 Construction Waste Management 1-2 Recycle and/or salvage non-hazardous construction and demolition debris
1		1	Credit 3 Materials Rouse 1 Salvaged steel beam and wood beams
1		1	Credit 4 Recycled Content 1-2
1		1	Credit 5 Regional Materials 1-2 20% regional materials (1), 30% regional materials (2)
		1	Credit 6 Certified Wood 1

Yes	7	No	
11	1	0	Indoor Environmental Quality 12 Points
✓			Prereq 1 Minimum Indoor Air Quality Performance Required
✓			Prereq 2 Environmental Tobacco Smoke (ETS) Control Required
1			Credit 1 Outdoor Air Delivery Monitoring 1
1			Credit 2 Increased Ventilation 1
1			Credit 3 Construction IAQ Management Plan: During Construction 1
1			Credit 4.1 Low-Emitting Materials: Adhesives and Sealants 1
1			Credit 4.2 Low-Emitting Materials: Paints and Coatings 1
1			Credit 4.3 Low-Emitting Materials: Flooring Systems 1
1			Credit 4.4 Low-Emitting Materials: Composite Wood and Agrifibre Products 1
1			Credit 5 Indoor Chemical and Pollutant Source Control 1
1			Credit 6 Controllability of System: Thermal Comfort 1
1			Credit 7 Thermal Comfort: Design 1
1			Credit 8.1 Daylight and Views: Daylight 1
1			Credit 8.2 Daylight and Views: Views 1

Yes	7	No	
2	0	5	Innovation in Design 6 Points
		1	Credit 1.1 Innovation in Design 1
		1	Credit 1.2 Innovation in Design 1
		1	Credit 1.3 Innovation in Design 1
		1	Credit 1.4 Innovation in Design 1 green education
1		1	Credit 1.5 Innovation in Design 1
1			Credit 2 LEED® Accredited Professional 1

Yes	7	No	
2	0	2	Regional Priority 4 Points
		1	Credit 1 Durable Building 1
1			Credit 2.1 Regional Priority Credit - SSc2 3
1			Credit 2.2 Regional Priority Credit - MRc2 1
		1	Credit 2.3 Regional Priority Credit 1



No. DP 14-657502

To the Holder: KASIAN ARCHITECTURE INTERIOR DESIGN
AND PLANNING LTD.

Property Address: 11380 STEVESTON HWY (Parent: 11388 Steveston Hwy)

Address: SUITE 1685- 1500 WEST GEORGIA ST
VANCOUVER, BC V6G 2Z6

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans # 1.a to # 4.b attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$112,801.92 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.
7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

Development Permit
No. DP 14-657502

To the Holder: KASIAN ARCHITECTURE INTERIOR DESIGN
AND PLANNING LTD.

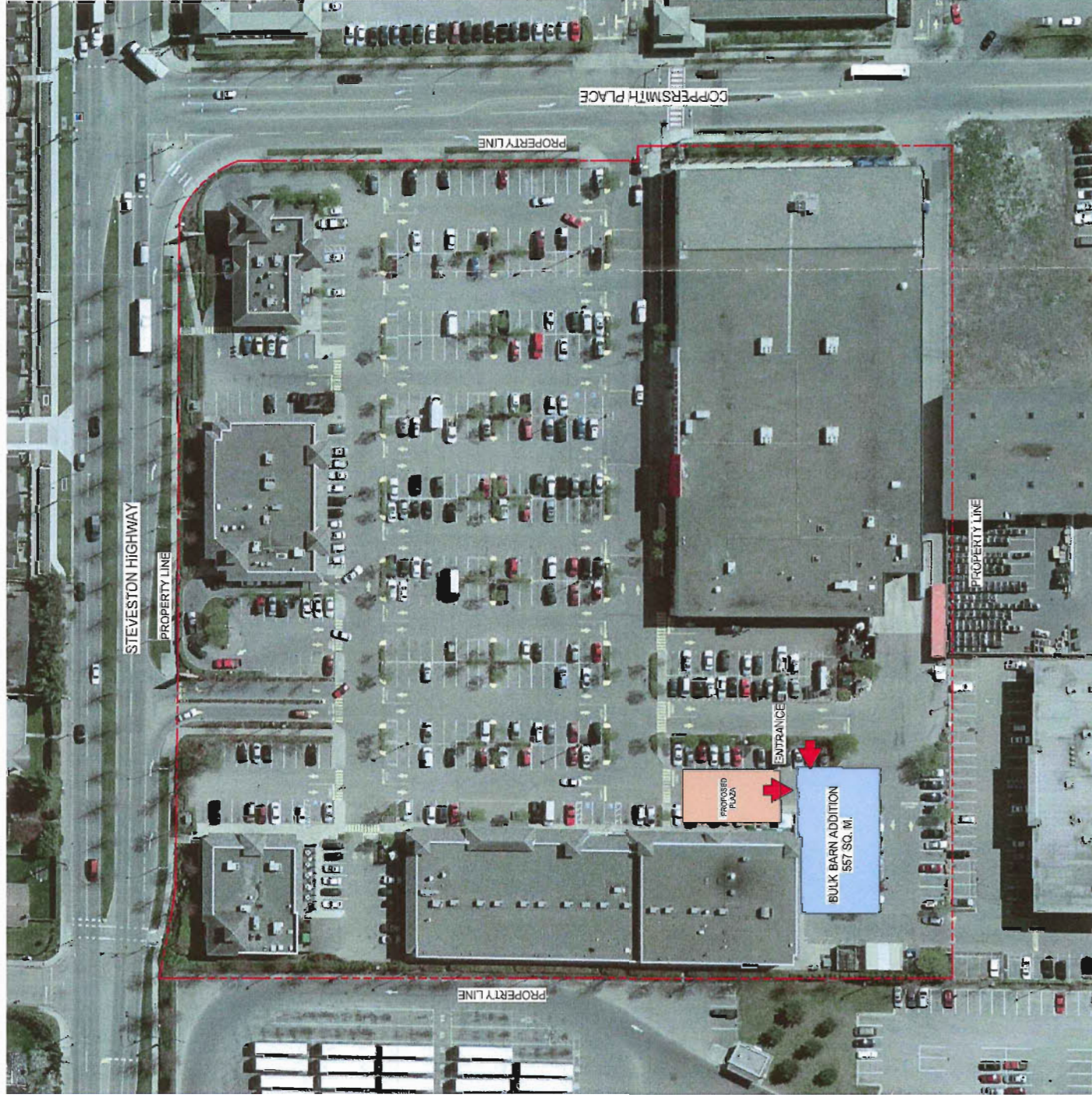
Property Address: 11380 STEVESTON HWY (Parent: 11388 Steveston Hwy)

Address: SUITE 1685- 1500 WEST GEORGIA ST
VANCOUVER, BC V6G 2Z6

AUTHORIZING RESOLUTION NO. ISSUED BY THE COUNCIL THE
DAY OF , .

DELIVERED THIS DAY OF , .

MAYOR



Project Data
 Civic Address: 11380 Steveston Highway, Richmond, BC
 Legal Address: A SEC 1 BLK3N RG6W PL LMP45518
 Zoning: ZC6

Site Area	Bylaw Maximum	Existing	Proposed
		31538 sq. m.	31538 sq. m.
Gross Leasable Floor Area (RETAIL & SERVICE) REFER TO SHEET DP-03 FOR BREAKDOWN	6900 sq.m	5778 sq.m	6216 sq.m
Lot Coverage	Max. 50%	28.7%	30.5%
Setbacks			
	NORTH	6m	6m
	EAST	6m	6m
	WEST	0m	0m
	SOUTH	0m	0m
Building Height	12.0m	9.5m	9.5m

Parking Data	Refer to DP-06

Building Area Data (Per F.A.R. Calculations)	Max. 60%	31.8%	33.5%

Bicycle Storage Spaces	Class 1	Class 2
	2	N/A
	3	N/A

westbank

SCALE: N T S

REISSUED FOR DEVELOPMENT PERMIT

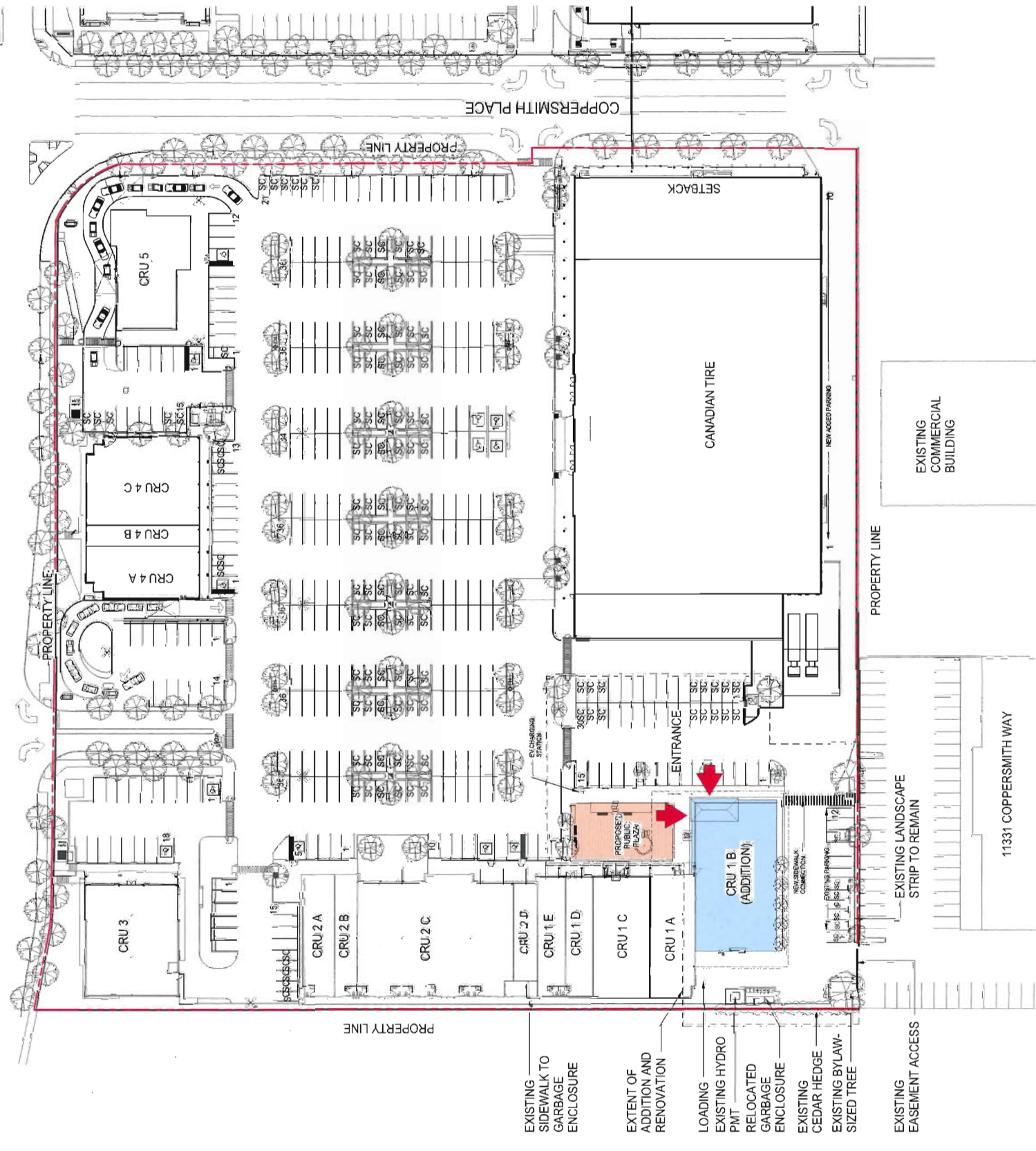
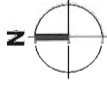
CONTEXT PLAN AND PROJECT DATA
 COPPERSMITH CORNER - PROPOSED EXPANSION
 11380 STEVESTON HIGHWAY, RICHMOND, B.C.

DP-02
 MARCH 19 2015
 PROJECT 160046



Plan # 1.a

DP 14-657502

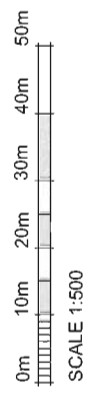


OVERALL SITE PLAN
SCALE: 1:500

Gross Leaseable Floor Area

Defined Use	Building #	Building Area (m2)
Retail, Convenience	CRU 1 A	244
Retail, Convenience	CRU 1 B	557
Restaurant	CRU 1 C	324
Health Services, Minor	CRU 1 D	156
Vacant	CRU 1 E	168
Restaurant	CRU 2 A	190
Health Services, Minor	CRU 2 B	195
Retail, General	CRU 2 C	778
Vacant	CRU 2 D	119
Service, Financial	CRU 3	488
Restaurant, Drive-through	CRU 4 A	266
Restaurant	CRU 4 B	107
Retail, General	CRU 4 C	436
Restaurant, Drive-through	CRU 5	365
Retail, General	CT Retail	3,717
Service, Business Support	CT Service Ground	482
Industrial, General	CT Warehouse Ground	999
Industrial, General	CT Warehouse Mezz.	653
Office	CT Office Ground	14
Office	CT Office Mezz.	314
Gross Leaseable Floor Area		6,216
Maximum Permitted Gross Leaseable Floor Area		6,900

Grayed out areas denote vacant tenenats and/or exclusions



DP 14-657502

OVERALL SITE PLAN & FLOOR AREA DATA
COPPERSMITH CORNER - PROPOSED EXPANSION
11380 STEVESTON HIGHWAY, RICHMOND, B.C.

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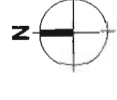
SCALE: 1:500



DP-03
MARCH 19 2015
PROJECT 160046

Plan # 1.6





TREE LEGEND



14 PROPOSED NEW TREES



EXISTING TREES



10 EXISTING TREES REMOVED

REFER TO LANDSCAPE PLANS FOR DETAILS GRADES TO BE CONFIRMED WITH CIVIL



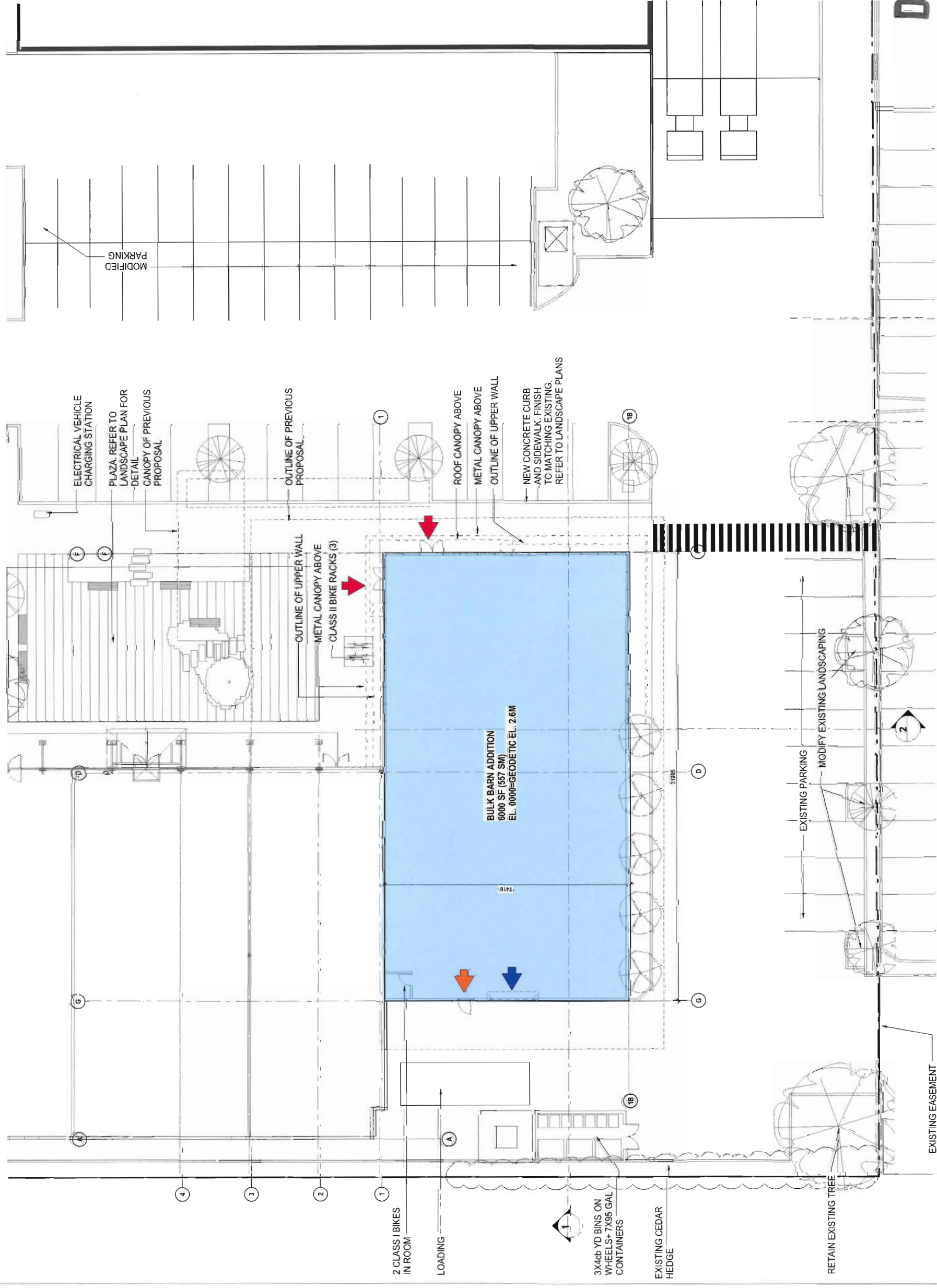
ENTRANCE



LOADING



EXIT



DP 14-657502



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Plan # 1.c

DP-09
MARCH 19 2015
PROJECT 160046

PROPOSED GROUND FLOOR PLAN
COPPERSMITH CORNER - PROPOSED EXPANSION
11380 STEVESTON HIGHWAY, RICHMOND, B.C.

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DEVELOPMENT PERMIT

SCALE: 1 : 125



BUILDING SUMMARY			
BUILDING #	TENANT	DEFINED USE	BUILDING AREA (m ²)
CRU 1A	Kin's Market	Retail, Convenience	244.3
CRU 1B	Bulk Barn	Retail, Convenience	557.4
CRU 1C	Chez Cora	Restaurant	324
CRU 1D	Coppersmith Dental Clinic	Health Services, Minor	156.4
CRU 1E	vacant	Vacant	1,577.7
CRU 2D	vacant	Vacant	119.5
CRU 2C	Mark's Work Warehouse	Retail, General	777.7
CRU 2B	Dr. Bernstein	Health Services, Minor	194.6
CRU 2A	Nandos	Restaurant	190.3
CRU 3	TD Canada Trust	Service, Financial	487.5
CRU 4A	Tim Hortons	Restaurant, Drive-through	265.6
CRU 4B	Maruwa Sushi	Restaurant	107.2
CRU 4C	Sleep Country	Retail, General	436.4
CRU 5	Burger King	Restaurant, Drive-through	364.6
CRU 6	Canadian Tire	Retail, General Service, Business Support Industrial, General Office	3717.5 482.2 999.3 14.5

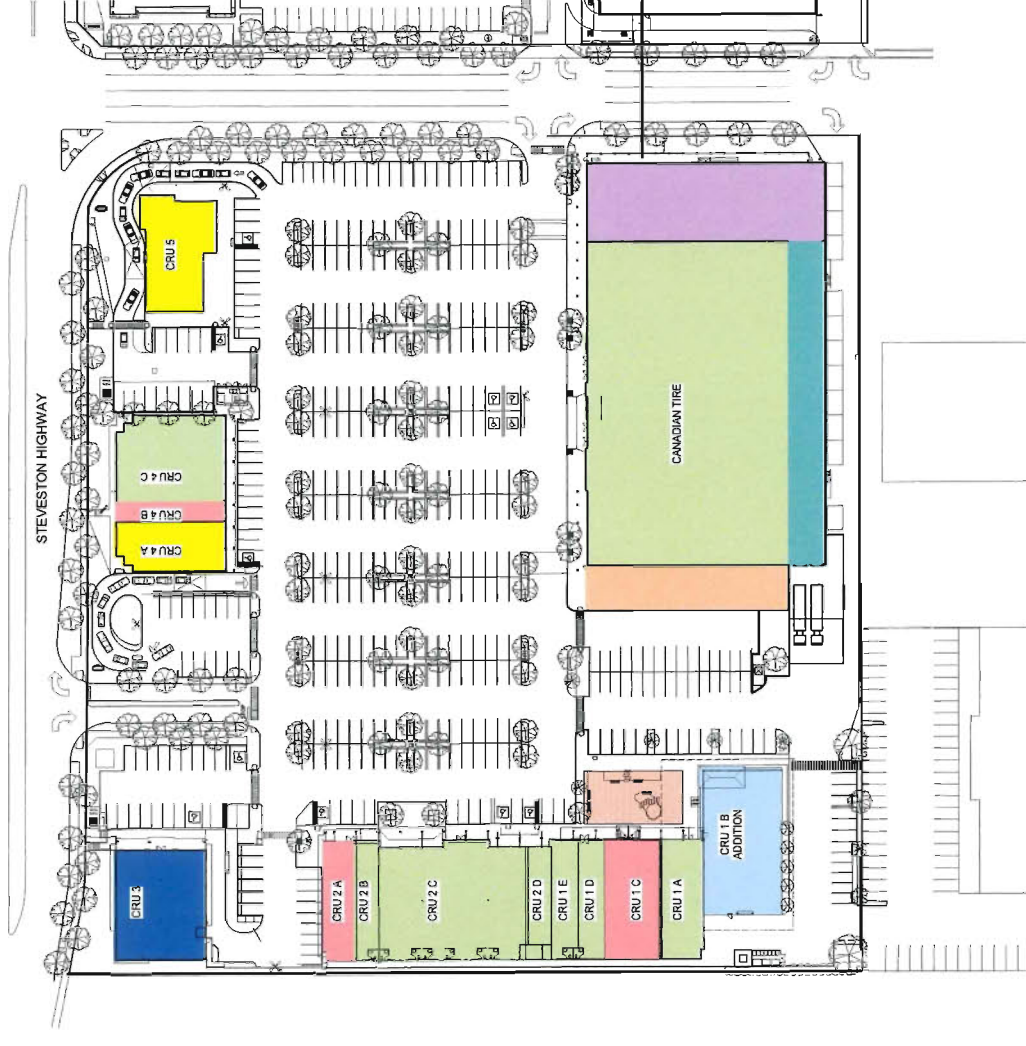
PARKING REQUIREMENT

DEFINED USE	EXISTING		PROPOSED	
	BUILDING AREA (m ²)	PARKING REQ'D	BUILDING AREA (m ²)	PARKING REQ'D
General Retail	5343.6	210.2	5901	232.5
Restaurant	621.5	55.2	621.5	55.2
Financial Services	487.5	16.0	487.5	16.0
Drive-Through Restaurant	630.2	44.1	630.2	44.1
Service	833.2	29.8	833.2	29.8
Warehouse	999.3	36.5	999.3	36.5
Office	14.5	0.4	14.5	0.4
TOTAL	8929.8	392.24	9487.20	414.54

PARKING PROVISION

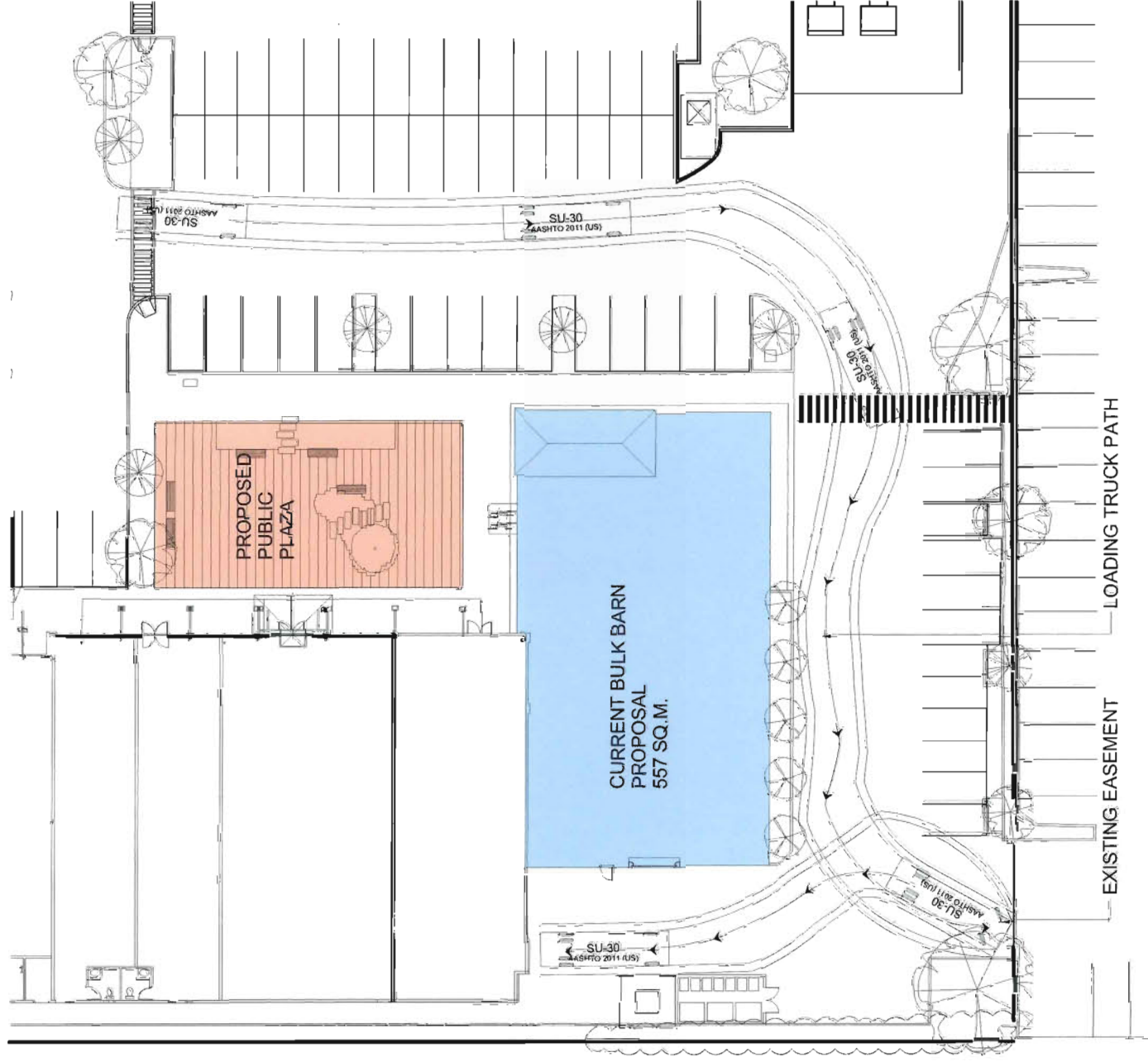
TYPE	EXISTING	PROPOSED
Small Car	49	129
Regular	392	291
Disabled	10	12
Occupied	20	0
TOTAL	471	432

17 EXTRA STALLS



1 KEY PLAN
SCALE: 1:750

DP 14-657502



1 SITE PLAN LOADING
SCALE: 1:200

DP 14-657502

SCALE: 1 : 200

REISSUED FOR
DEVELOPMENT PERMIT

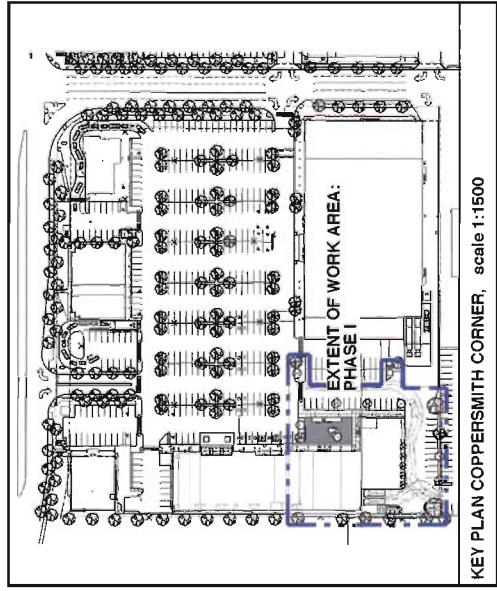
LOADING DIAGRAM
COPPERSMITH CORNER - PROPOSED EXPANSION
11380 STEVESTON HIGHWAY, RICHMOND, B.C.

DP-06b
MARCH 19 2015
PROJECT 160046

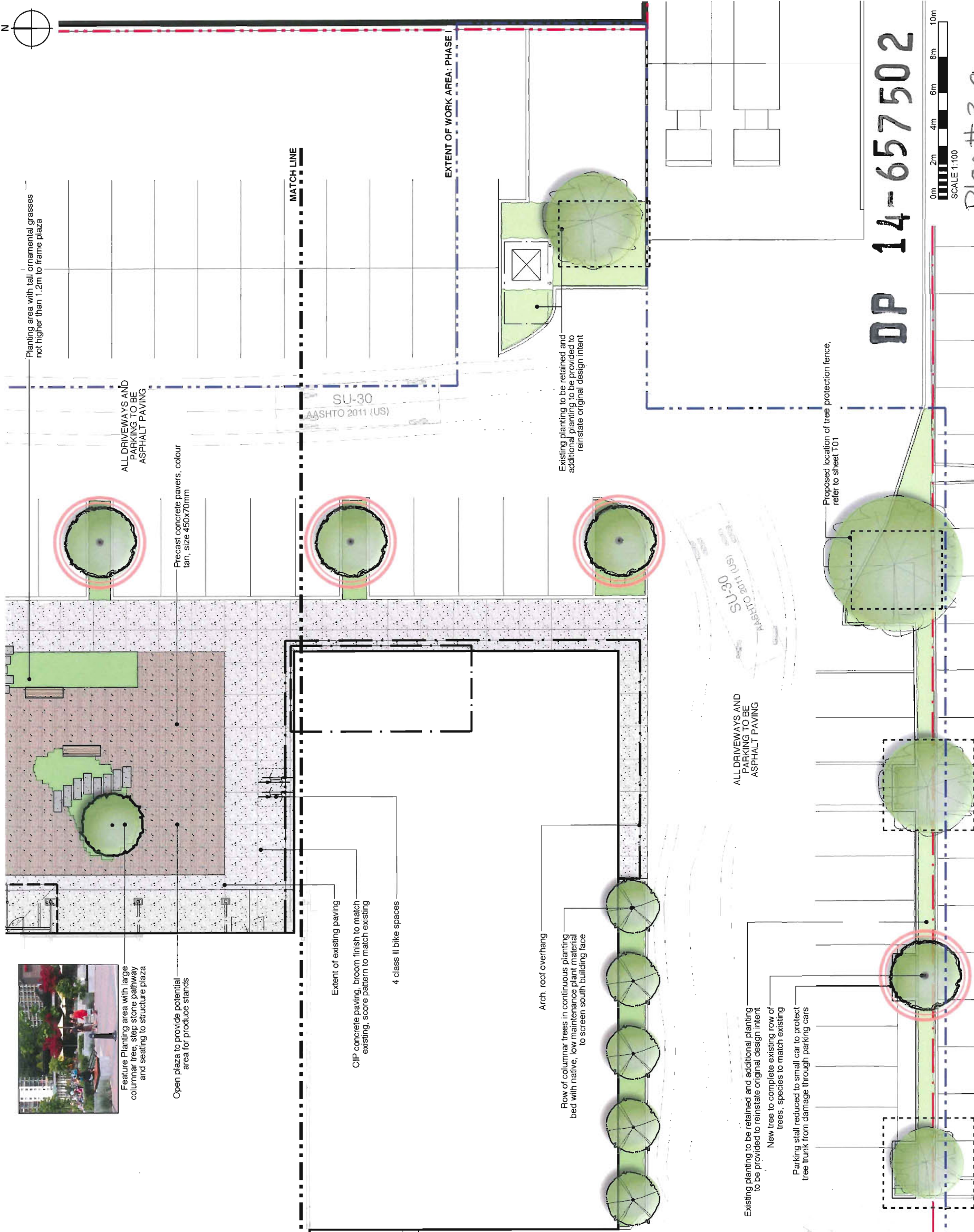
Plan #2.b



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KEY PLAN COPPERSMITH CORNER, scale 1:1500



DRAWING KEY

- CIP concrete paving, broom finish to match existing, score marks 3' o.c.
- Existing Planting retained
- New planting, refer to planting plan L-02
- Extent of Work Area
- Existing deciduous Tree to be retained
- Proposed location for relocated tree

Proposed tree protection fence, refer to Tree Protection Plan TD1
 Note: Tree protection fencing must be installed on-site to City standard around the perimeter of trees to be retained. Tree protection fencing must be installed prior to demolition and must remain in place until construction and landscaping is completed.



Feature Planting area with large columnar tree, step stone pathway and seating to structure plaza

Open plaza to provide potential area for produce stands

ALL DRIVEWAYS AND PARKING TO BE ASPHALT PAVING

Precast concrete pavers, colour tan, size 450x70mm

Planting area with tall ornamental grasses not higher than 1.2m to frame plaza

SU-30 AASHTO 2011 (US)

Extent of existing paving

CIP concrete paving, broom finish to match existing, score pattern to match existing

4 class II bike spaces

Arch. roof overhang

Row of columnar trees in continuous planting bed with native, low maintenance plant material to screen south building face

Existing planting to be retained and additional planting to be provided to reinstate original design intent

ALL DRIVEWAYS AND PARKING TO BE ASPHALT PAVING

Existing planting to be retained and additional planting to be provided to reinstate original design intent

New tree to complete existing row of trees, species to match existing

Parking stall reduced to small car to protect tree trunk from damage through parking cars

Proposed location of tree protection fence, refer to sheet T01

SU-30 AASHTO 2011 (US)

DP 14-657502

0m 2m 4m 6m 8m 10m
SCALE 1:100

Plan# 3.a

Durante Kreuk Ltd.
 102 - 1637 W. 5th Avenue
 Vancouver BC V6J 1N5
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 f: 604.684.0577
 www.durantekrek.com

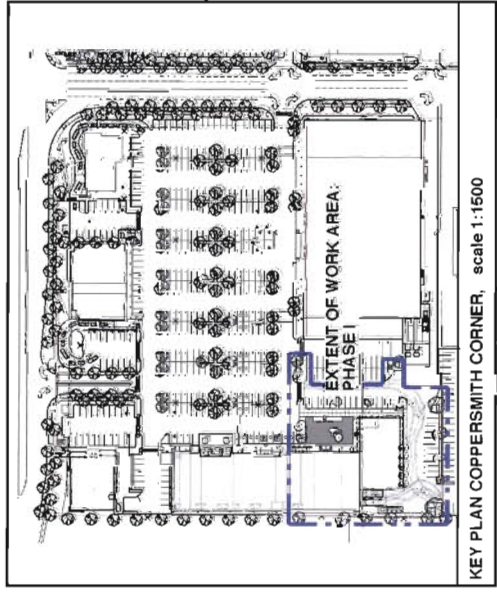
DP-15
 MARCH 19 2015
 PROJECT 160046

LANDSCAPE CONCEPT PLAN - SOUTH
 COPPERSMITH CORNER - PROPOSED EXPANSION
 11380 STEVESTON HIGHWAY, RICHMOND, B.C.

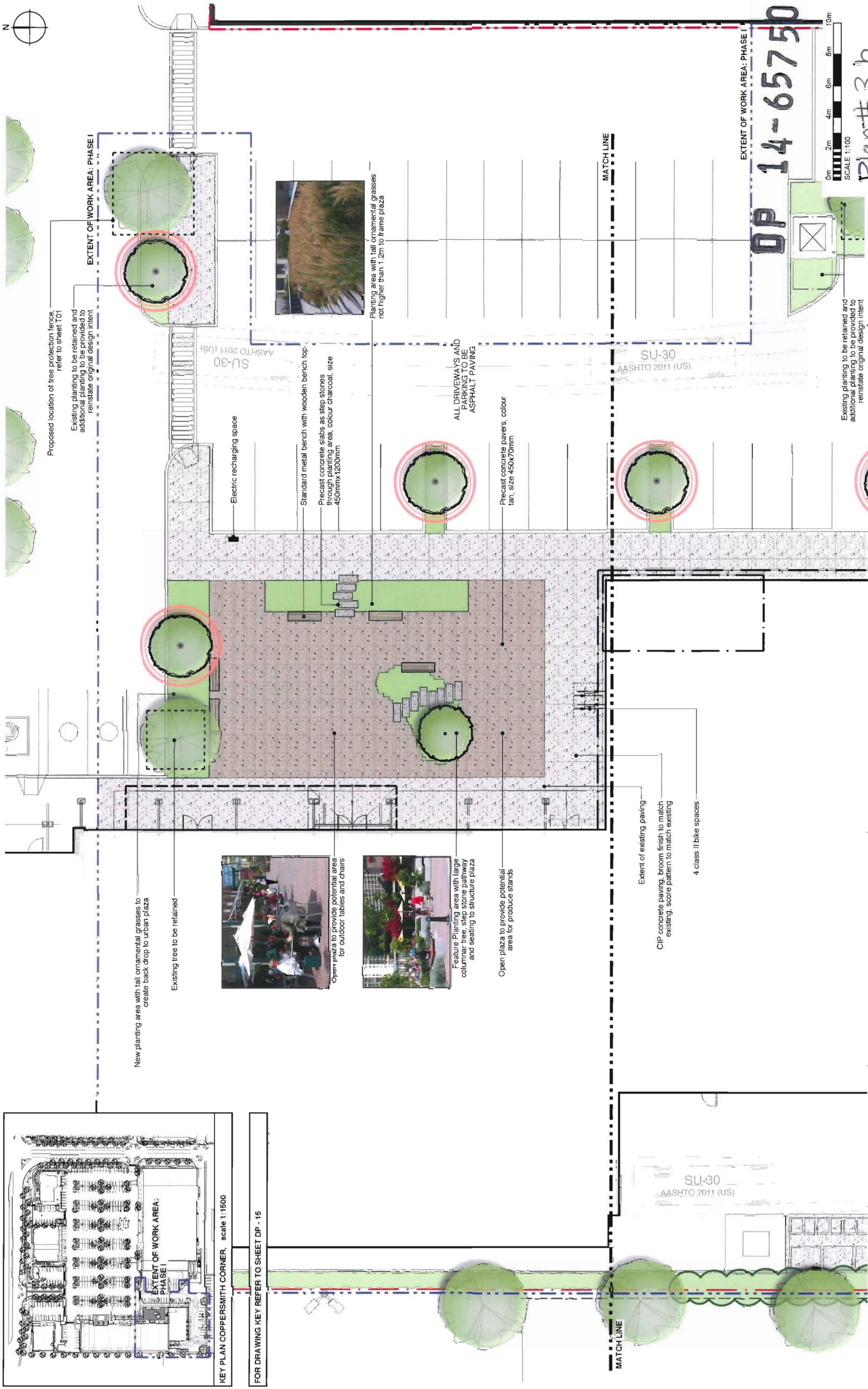
REISSUED FOR
 DEVELOPMENT PERMIT

SCALE: 1:100

west bank



FOR DRAWING KEY REFER TO SHEET DP - 15



SCALE: 1:100

REISSUED FOR DEVELOPMENT PERMIT

LANDSCAPE CONCEPT PLAN - NORTH
COPPERSMITH CORNER - PROPOSED EXPANSION
11380 STEVESTON HIGHWAY, RICHMOND, B.C.

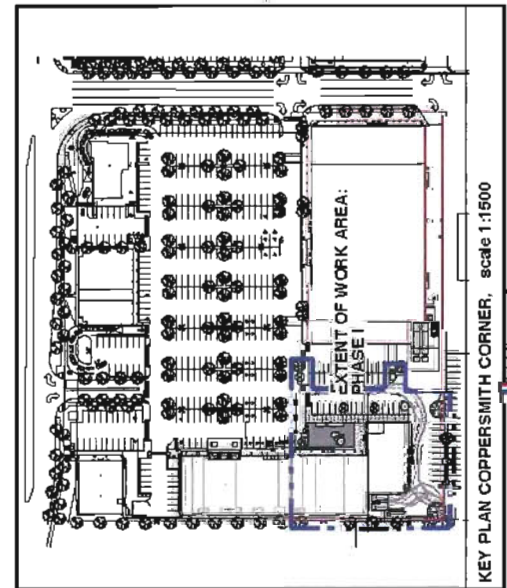
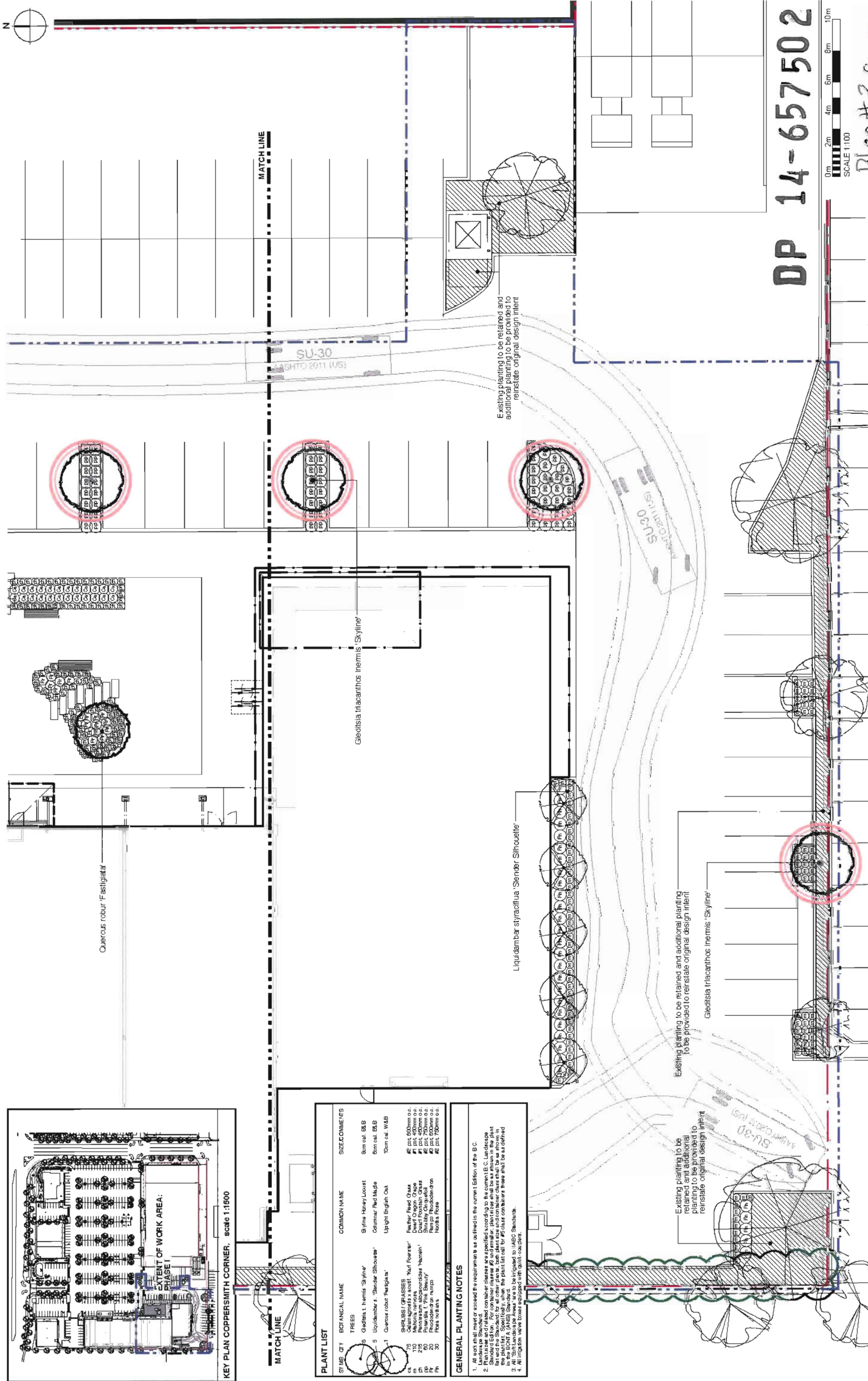
DP-16
MARCH 19 2015
PROJECT 160046

Existing planting to be retained and additional planting to be provided to reinstate original design intent



Plan# 3.b





KEY PLAN COPPERSMITH CORNER, scale 1:1500

SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE/COMMENTS
TREES				
Q	5	Gleditsia triacanthos 'Skyline'	Skyline Honey Locust	8cm cal. E&B
L	5	Liquidambar styraciflua 'Sender Silhouette'	Columbian Red Maple	8cm cal. E&B
Q	1	Quercus robur 'Fastigiata'	Upright English Oak	10cm cal. W&B
SHRUBS / GRASSES				
CS	75	Calamagrostis stricta 'Karl Foerster'	Feather Reed Grass	45 pot 600mm o.e.
PH	215	Penstemon spicatus 'Husker Red'	Penstemon	45 pot 400mm o.e.
PP	60	Potentilla fruticosa 'Pink Beauty'	Shrubby Cineraria	45 pot 750mm o.e.
PH	30	Phlox subulata	Flamboyant Phlox	45 pot 600mm o.e.
PH	30	Phlox subulata	Flamboyant Phlox	45 pot 750mm o.e.

GENERAL PLANTING NOTES

- All work shall meet or exceed the requirements as outlined in the current Edition of the B.C. Landscape Standard.
- Plantings and related containers are specified according to the current B.C. Landscape Standard. For all other plants, both plant size and container shall be as shown in the plant list. Specifically, when the plant list call for #5 class containers these shall be as defined in the plant list.
- All 10cm Landispa trees are to be irrigated to IABC Standards.
- All irrigation valve boxes equipped with quick-couplers.

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 DP-17
 MARCH 19 2015
 PROJECT 160046

LANDSCAPE PLANTING PLAN - SOUTH
 COPPERSMITH CORNER - PROPOSED EXPANSION
 11380 STEVESTON HIGHWAY, RICHMOND, B.C.

SCALE: 1:100

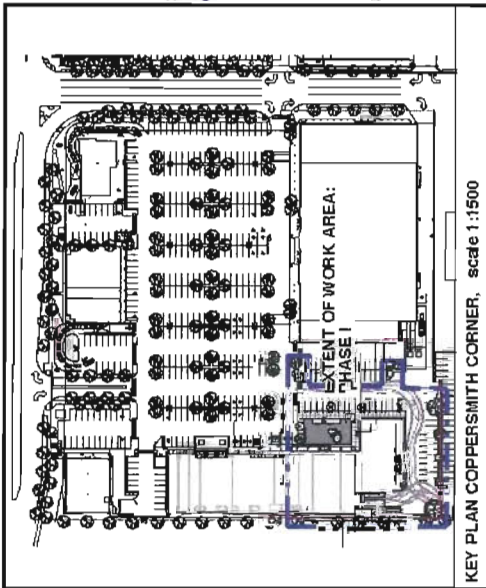
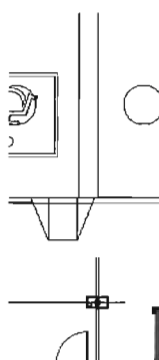
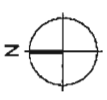
DP 14-657502

SCALE 1:100
 0m 2m 4m 6m 8m 10m

Plan #3.0

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 www.dkl.bc.ca



Existing planting to be retained and additional planting to be provided to reinstate original design intent

EXTENT OF WORK AREA: PHASE 1

Gleditsia triacanthos 'Inermis' 'Skyline'

Quercus robur 'Festigiata'

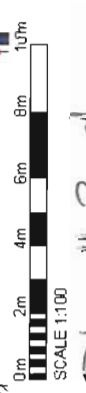
Gleditsia triacanthos 'Inermis' 'Skyline'

Existing planting to be retained and additional planting to be provided to reinstate original design intent

MATCH LINE

MATCH LINE

DP 14-657502



Plan # 3.d



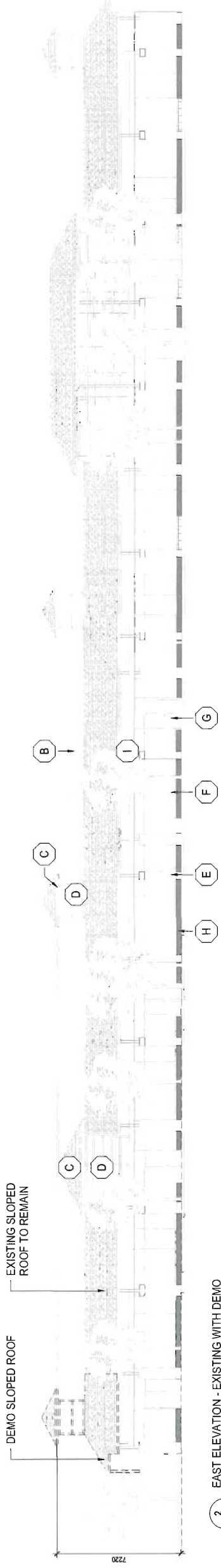
DP-18
MARCH 19 2015
PROJECT 160046

LANDSCAPE PLANTING PLAN - NORTH
COPPERSMITH CORNER - PROPOSED EXPANSION
11380 STEVESTON HIGHWAY, RICHMOND, B.C.

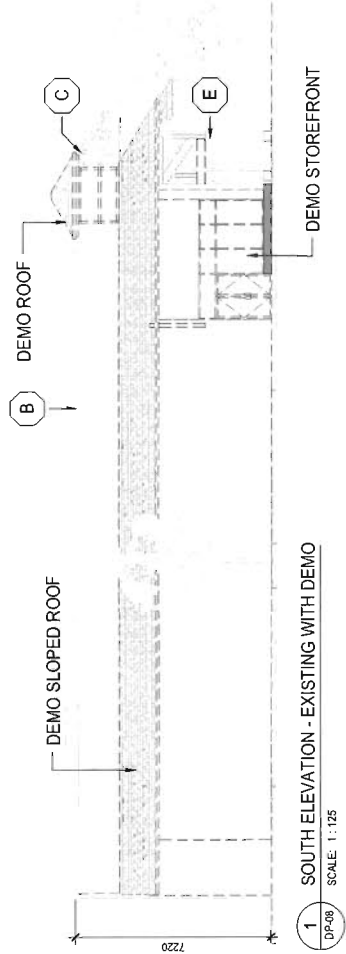
REISSUED FOR
DEVELOPMENT PERMIT

SCALE: 1:100

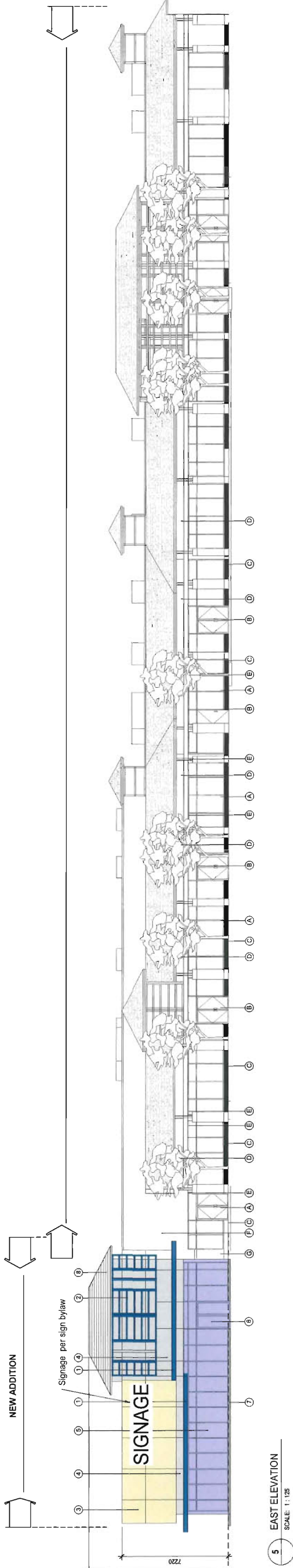




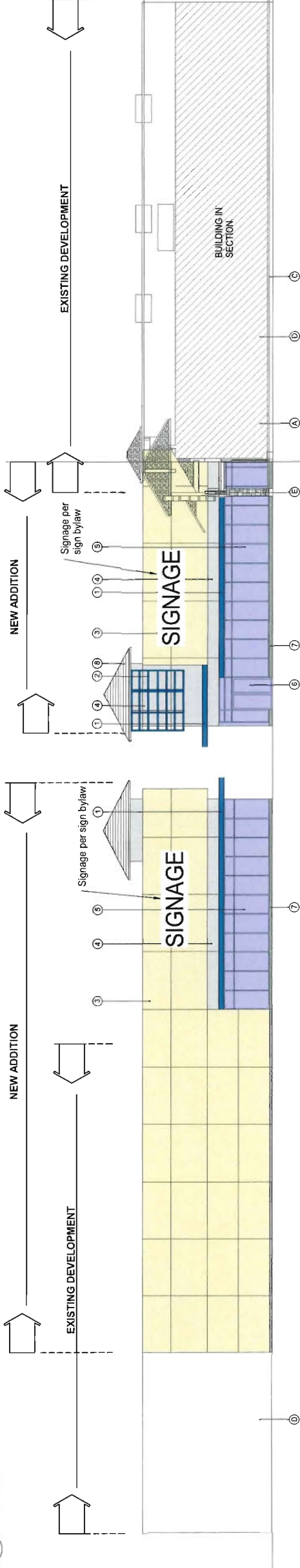
2 EAST ELEVATION - EXISTING WITH DEMO
DP-09
SCALE: 1:125



1 SOUTH ELEVATION - EXISTING WITH DEMO
DP-08
SCALE: 1:125



5 EAST ELEVATION
SCALE: 1:125



3 SOUTH ELEVATION
SCALE: 1:125

4 NORTH ELEVATION
SCALE: 1:125

EXISTING EXTERIOR MATERIAL LEGEND

- A EXISTING CONCRETE BLOCK WALL
- B EXISTING MECHANICAL ROOF TOP UNIT
- C EXISTING SLOPED CONCRETE ROOF TILE
- D EXISTING METAL LOUVER
- E EXISTING STONE FINISH
- F EXISTING ALUMINUM STOREFRONT GLAZING
- G EXISTING ALUMINUM STOREFRONT DOOR
- H EXISTING CONCRETE BASE
- I EXISTING STUCCO FINISH
- J EXISTING STEEL SIGN BAND

- FINISH MATERIAL LEGEND**
1. STEEL CANOPY MATCHING EXISTING STEEL BEAM
 2. METAL LOUVER MATCHING EXISTING
 3. STUCCO MATCHING EXISTING
 4. ALUMINUM SPANDREL PANEL
 5. ALUMINUM STOREFRONT GLAZING
 6. ALUMINUM STOREFRONT DOOR
 7. CONCRETE BASE
 8. CONCRETE ROOF TILES MATCHING EXISTING
- EXISTING EXTERIOR MATERIAL LEGEND**
- A. EXISTING ALUMINUM STOREFRONT GLAZING
 - B. EXISTING ALUMINUM STOREFRONT DOOR
 - C. EXISTING CONCRETE BASE
 - D. STUCCO
 - E. PAINTED STEEL COLUMN AND BASE
 - F. DEMOLISH PARTIAL EXISTING CANOPY
 - G. DEMOLISH END COLUMN

SCALE: As indicated

REISSUED FOR
DEVELOPMENT PERMIT

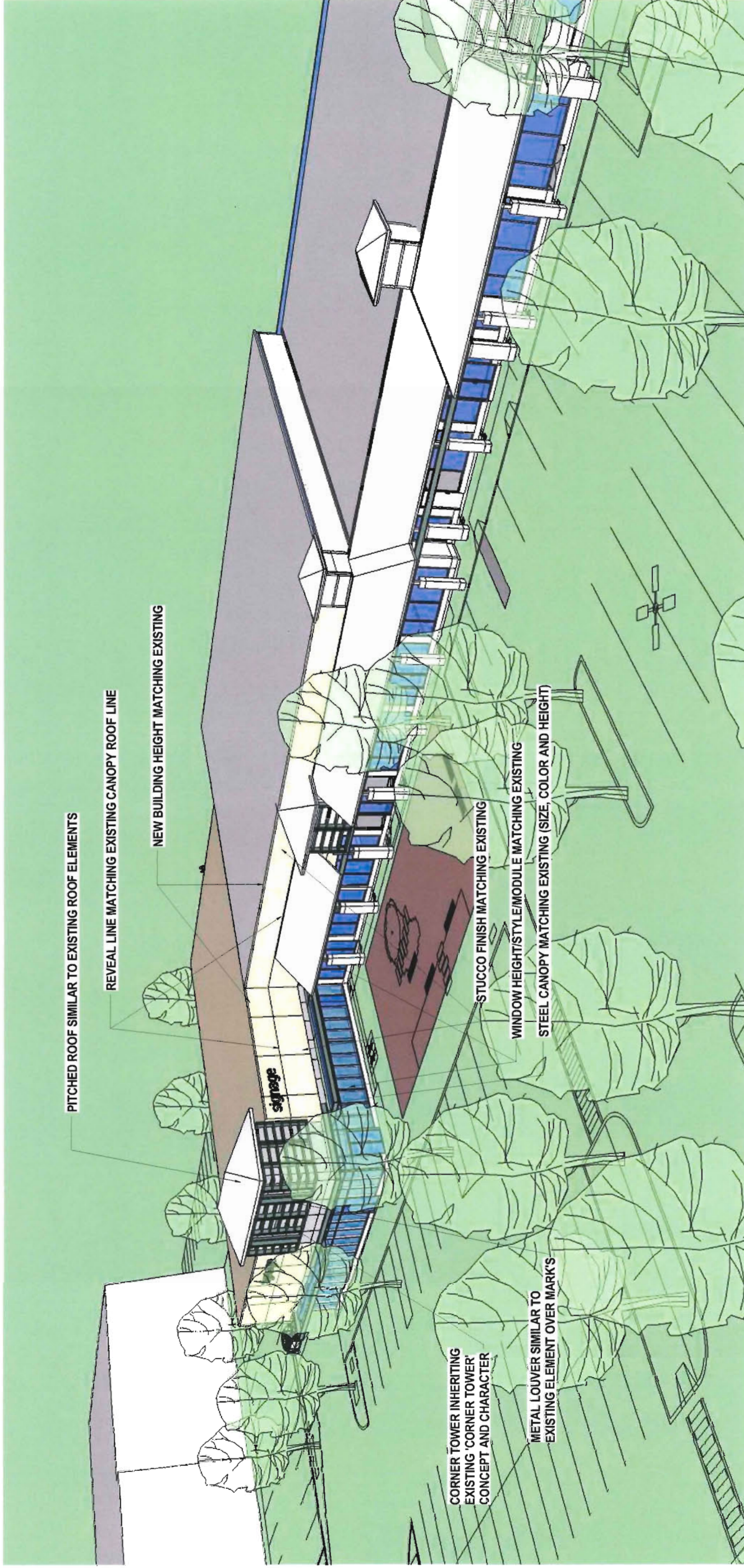
EXISTING & PROPOSED BUILDING ELEVATIONS
COPPERSMITH CORNER - PROPOSED EXPANSION
11380 STEVESTON HIGHWAY, RICHMOND, B.C.

DP 14-657502

DP-11
MARCH 19 2015
PROJECT 160046

Plan # 4.a





PITCHED ROOF SIMILAR TO EXISTING ROOF ELEMENTS

REVEAL LINE MATCHING EXISTING CANOPY ROOF LINE

NEW BUILDING HEIGHT MATCHING EXISTING

CORNER TOWER INHERITING EXISTING 'CORNER TOWER' CONCEPT AND CHARACTER

METAL LOUVER SIMILAR TO EXISTING ELEMENT OVER MARK'S

STUCCO FINISH MATCHING EXISTING

WINDOW HEIGHT/STYLE/MODULE MATCHING EXISTING

STEEL CANOPY MATCHING EXISTING (SIZE, COLOR AND HEIGHT)

SCALE: NTS

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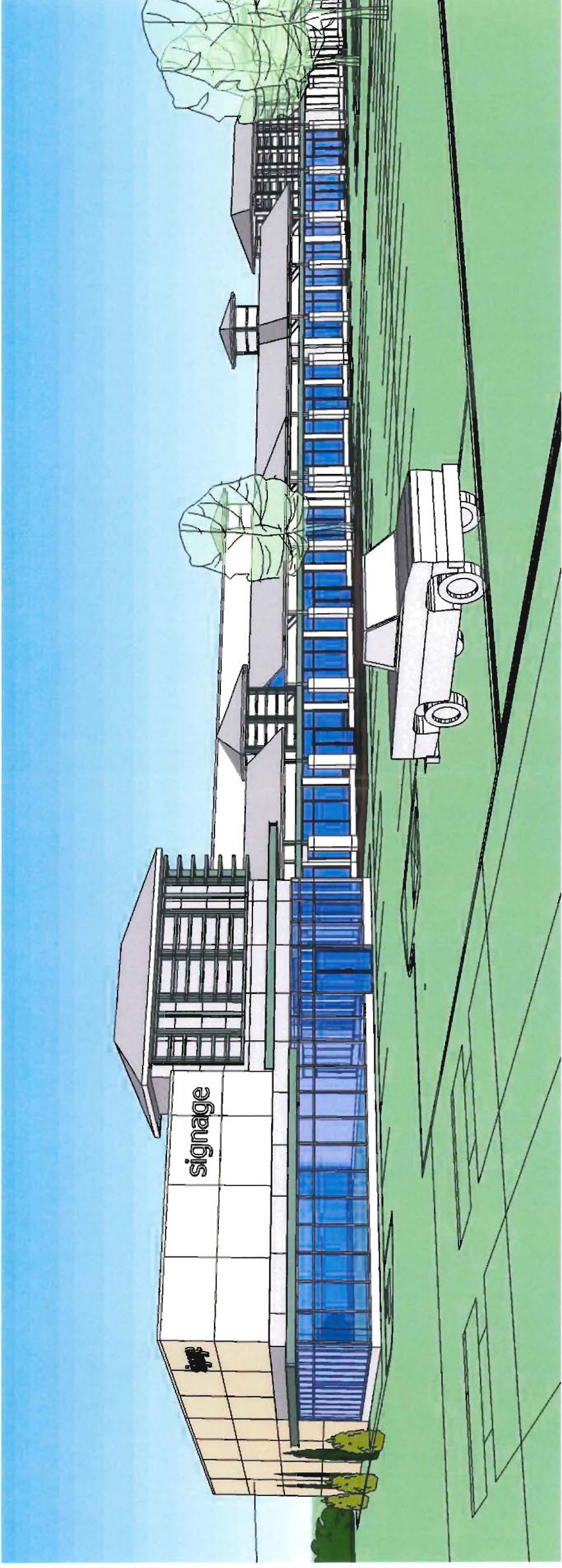
AERIAL VIEW OF EXISTING BUILDING WITH ADDITION
 COPPERSMITH CORNER - PROPOSED EXPANSION
 11380 STEVESTON HIGHWAY, RICHMOND, B.C.

DP-12
 MARCH 19 2015
 PROJECT 160046

Plan # 4.6

kasian

DP 14-657502



VIEW OF THE EXPANSION FROM SOUTH EAST



FRONT VIEW OF THE EXPANSION

DP 14-657502

SCALE: NTS

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DEVELOPMENT PERMIT

3D-VIEWS
COPPERSMITH CORNER - PROPOSED EXPANSION
11380 STEVESTON HIGHWAY, RICHMOND, B.C.

DP-13
MARCH 19 2015
PROJECT 160046

Plan #4.c