



~~TO PLN - Nov. 5, 2013~~

To: Planning Committee
From: Wayne Craig
Director of Development

Date: October 23, 2013
File: RZ 12-605272
12-8060-20-009065
XL: 12-8060-20-009066/009032

Re: Application by Hotel Versante Ltd. for Rezoning at 8451 Bridgeport Road and Surplus City Road from Light Industrial (IL) to High Rise Office Commercial (ZC33) – (City Centre)

Staff Recommendations

1. That Richmond Zoning and Development Bylaw 5300, Amendment Bylaw 7032, be abandoned.
 2. That Official Community Plan Bylaw 7100, Amendment Bylaw 9065 (City Centre Area Plan), to facilitate the construction of commercial uses at 8451 Bridgeport Road and City's surplus road, by:
 - a) Amending the existing land use designation in the Generalized Land Use Map (2031), Specific Land Use Map: Bridgeport Village (2031), and reference maps throughout the Plan to redesignate the subject site and City's surplus road to "Urban Centre T5 (45m)";
 - b) Amending the configuration of minor streets adjacent to the site in the Generalized Land Use Map (2031), Specific Land Use Map: Bridgeport Village (2031), and reference maps throughout the Plan to extend River Road from West Road to Bridgeport Road and re-align West Road between River Road and Bridgeport Road;
 - c) Together with related minor map and text amendments in Schedule 2.10 of Official Community Plan Bylaw 7100 (City Centre Area Plan);
- be introduced and given first reading.

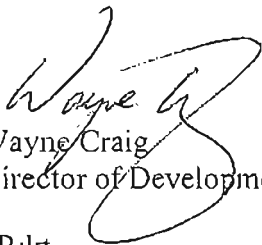
3. That Bylaw 9065, having been considered in conjunction with:

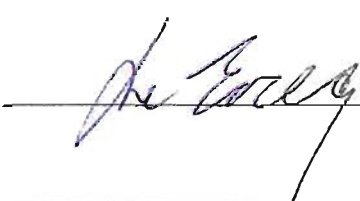
- The City's Financial Plan and Capital Program;
- The Greater Vancouver Regional District Solid Waste and Liquid Waste Management Plans;

is hereby deemed to be consistent with said program and plans, in accordance with Section 882(3)(a) of the Local Government Act.

4. That Bylaw 9065, having been considered in accordance with OCP Bylaw Preparation Consultation Policy 5043, is hereby deemed not to require further consultation.

5. That Richmond Zoning Bylaw 8500, Amendment Bylaw 9066 to: create "High Rise Office Commercial (ZC33) – (City Centre)"; and to rezone 8451 Bridgeport Road and City's surplus road from "Light Industrial (IL)" to "High Rise Office Commercial (ZC33) – (City Centre)"; be introduced and given first reading.


 Wayne Craig
 Director of Development
 SB:kt
 Att.

REPORT CONCURRENCE		
ROUTED TO:	CONCURRENCE	CONCURRENCE OF GENERAL MANAGER
Real Estate Services	<input checked="" type="checkbox"/>	
Arts, Culture & Heritage	<input checked="" type="checkbox"/>	
Engineering	<input checked="" type="checkbox"/>	
Law	<input checked="" type="checkbox"/>	
Policy Planning	<input checked="" type="checkbox"/>	
Transportation	<input checked="" type="checkbox"/>	

Staff Report

Origin

Hotel Versante Ltd. has applied to the City of Richmond for permission to amend the Official Community Plan Bylaw 7100 (OCP) and rezone 8451 Bridgeport Road and a portion of surplus City Road in the City Centre's Bridgeport Village from "Light Industrial (IL)" to a new site specific zone, "High Rise Office Commercial (ZC33) – (City Centre)", to permit the construction of a high rise commercial development (**Attachments 1 & 2**). More specifically, the proposed rezoning provides for the construction of three towers of nine, twelve, and fourteen storey building height, a common five-storey podium. The development proposal includes approximately 19,882 m² of commercial, hotel and office space, approximately 110 hotel rooms, and approximately 333 parking spaces.

Abandoning Previous Zoning Amendment Bylaw

Staff recommends that Council abandon Richmond Zoning and Development Bylaw 5300, Amendment Bylaw 7032. This bylaw received Third Reading on October 18, 1999 and was associated with a previous rezoning application (RZ 97-116491) for the site. The new owner has asked the City to abandon the bylaw.

Proposed 2041 OCP City Centre Area Plan Amendments

The application includes proposed amendments to the Official Community Plan (OCP) Bylaw 7100 Schedule 2.10 City Centre Area Plan (CCAP) to amend the land use designation of the subject site, which includes 8451 Bridgeport Road and a surplus portion of West Road that currently runs through the property (**Attachment 3**). Transportation network changes associated with the development include re-opening the original portion of West Road connecting to Bridgeport Road and constructing an extension of River Road to connect to Bridgeport Road. Based on the reconfiguration of the transportation network, the closing and acquisition of the surplus portion of West Road to be consolidated as a part of the development parcel is supported by staff. A separate report will be provided by Real Estate Services as described below.

Proposed Zoning Amendments

The application proposes to create a new site specific "High Rise Office Commercial (ZC33) – (City Centre)" zone and rezone the subject site to the new zone to facilitate the proposed development.

Surplus City Road Acquisition

The application proposes to re-open the original West Road and Bridgeport Road intersection at the east edge of the site, and therefore the current curved portion of West Road is no longer required (**Attachment 4**). The surplus road land may be sold to the developer at fair market value through a separate purchase and sale agreement. The road closure bylaw and primary business terms of the purchase and sale agreement will be brought forward for consideration by Council in a separate report from the Manager, Real Estate Services.

Servicing Agreement

The developer has agreed to enter into a Servicing Agreement as a rezoning consideration for the design and construction of improvements to the road network and servicing. Due to proximity to Bridgeport Road, City dike, and the jet fuel pipeline, coordination of the Servicing Agreement design and construction will be required with the Ministry of Transportation & Infrastructure, the Provincial Inspector of Dikes, Trans Mountain Pipeline (Jet Fuel) and Kinder Morgan Canada Inc.

Findings of Fact

A Development Application Data Sheet providing details about the development proposal is attached (**Attachment 5**).

Surrounding Development

The subject site is situated in the Bridgeport Village – a transitional City Centre area designated for medium-density, mid and high-rise, business, entertainment, hospitality, arts, transportation hub uses (**Attachment 3**). The Bridgeport Village also includes a pedestrian-oriented secondary retail street along a portion of West Road, retail high streets at the village centre and an industrial reserve east of Great Canadian Way. The subject site is vacant and development in the vicinity includes:

- To the North, West and East: Across West Road, River Road and the future River Road extension, are vacant Light Industrial (IL) properties, including 9.29 ha of land and approximately 6.0 ha of foreshore area that is currently under staff consideration for a large multi-phase development with retail, entertainment, office, hotel, conference centre & park uses (RZ 12-598104).
- To the East: A two-storey light industrial building zoned Light Industrial (IL).
- To the South: Across Bridgeport Road, are a number of properties under Land Use Contract 126, containing a vacant one-storey casino building, one-storey restaurant building, two-storey strata-titled office building, and a number of surface parking lots. A rezoning application is currently under staff consideration for a high-rise development on lands between Bridgeport Road, No. 3 Road and Sea Island Way, including a six-level parkade and amenity building fronting onto Bridgeport Road (RZ 13-628557).

Related Policies & Studies

Development of the subject site is affected by the City Centre Area Plan (CCAP) and related policies (e.g. Aircraft Noise Sensitive Development). An overview of these policies is provided in the “Analysis” section of this report.

Consultation

- a) Ministry of Transportation & Infrastructure (MOTI): Consultation with MOTI is required due to the proximity of Bridgeport Road, a roadway under Provincial jurisdiction. MOTI staff has reviewed the proposal on a preliminary basis and final MOTI approval is required prior to rezoning adoption.
- b) Ministry of Forest, Land and Natural Resource Operations Archaeology Branch: Ministry staff reviewed an impact assessment report regarding the subject site prepared by Terra Archaeology Ltd. in 2006. No protected archaeological sites were identified, no further archaeological studies were recommended and no further consultation is required. If anything of archaeological importance is found during construction, the owner is required to contact the Archaeology Branch.
- c) School District: This application was not referred to School District No. 38 (Richmond) because it does not include any residential uses. The OCP Aircraft Noise Sensitive Development (ANSD) policy prohibits residential uses in this area. According to OCP Bylaw Preparation Consultation Policy 5043, which was adopted by Council and agreed to by the School District, residential developments which generate less than 50 school aged children do not need to be referred to the School District (e.g., typically around 295 multiple-family housing units).
- d) Airport: This application was not referred to Vancouver International Airport (YVR) because it does not include residential uses and the building height conforms to the Vancouver International Airport Authority Zoning Regulations.
- e) General Public: Signage is posted on-site to notify the public of the subject application. At the time of writing this report, no correspondence had been received. The statutory Public Hearing will provide local property owners and other interested parties with an additional opportunity to comment.

Staff Comments

Based on staff's review of the subject application, including the developer's preliminary Transportation Impact Study (TIS) and Interim Road Functional Plan, staff are supportive of the subject rezoning, provided that the developer fully satisfies the Rezoning Considerations (**Attachment 6**).

Analysis

Hotel Versante Ltd. has applied to the City of Richmond to rezone the subject 6,628.3 m² (1.64 ac.) development parcel which is a triangular site surrounded on all three (3) sides by Bridgeport Road, West Road and future River Road. The Light Industrial (IL) zoned land is vacant, save for a portion of West Road that is proposed to be closed and consolidated with the property at 8451 Bridgeport Road. The challenging triangular site is a gateway to the airport connector bridge, the Fraser Middle Arm and the development lands along the river.

The purpose of the proposed OCP amendments and rezoning is to permit the consolidation of the subject site into one (1) development parcel, construct road network improvements, and permit the construction of a three-tower high rise commercial development with a common podium totalling approximately 19,882 m² of office, hotel and commercial space (**Attachment 7**). The subject development proposal is notable for including a large component of office space, which is identified as a need in the CCAP.

Abandoning Previous Zoning Amendment Bylaw

The application also includes a recommendation to abandon Richmond Zoning and Development Bylaw 5300, Amendment Bylaw 7032, to create a site specific mid rise commercial hotel zone and rezone the property in association with rezoning application RZ 97-116491. The Bylaw received First Reading on September 27, 1999; Second and Third Readings and Public Hearing on October 18, 1999, but the requirements were never completed to enable the Bylaw to be adopted, the property was sold to a new owner and a new rezoning application for a new development proposal has been submitted to the City. With the new rezoning application, the Bylaw is rendered obsolete and can be abandoned.

Proposed OCP CCAP Amendments

Bridgeport Village is designated in the CCAP for medium-density, mid- and high-rise, business, entertainment, hospitality, arts, transportation hub uses along with an industrial reserve east of Great Canadian Way and retail high street along No. 3 Road (**Attachment 3**).

The CCAP designates the site as part of the commercial reserve – mid to high-rise. The proposal implements the CCAP commercial reserve policy as it involves the following range of commercial uses: hotel, office, and commercial retail.

The CCAP further designates the portion of the site located to the west of West Road as "Urban Centre T5 (35 m)" (2 FAR) and "Village Centre Bonus" (1 FAR). The smaller portion of the site, located East of West Road, is designated as "Urban Centre T5 (45 m)" (2 FAR) and "Village Centre Bonus" (1 FAR). The portion of West Road running through the site is shown as "road".

For greater clarity regarding land use designations, staff recommend that the current "Urban Centre T5 (35 m)" and road designations be removed from the subject site and the affected area be designated "Urban Centre T5 (45 m)" as per the existing designation of the remainder of the site and adjacent lands to the east. The "Village Centre Bonus" (1 FAR) designation applies to the entire site and would remain unchanged.

It is also proposed to amend the CCAP to reflect the re-opening of the West Road intersection at the East edge of the site. The proposed road improvements will be instrumental in servicing future development of the waterfront lands to the west.

Village Centre Bonus Amenity Contributions:

The CCAP designates the subject site and other Bridgeport Village properties as a Village Centre Bonus (VCB) area for the purpose of encouraging the provision of City-owned community benefit space by permitting an office density bonus of up to 1.0 FAR where a developer

constructs at least 5% of the bonus floor area as turnkey non-residential uses for the benefit of the City (e.g. artist studio space, arts program space). On this basis, staff recommend and the developer has agreed to provide a voluntary contribution of \$1,605,150 to facilitate the construction of community benefit arts & culture facilities in City Centre, the value of which contribution is based on the following, as determined to the satisfaction of the City:

- Construction value of \$450/ft², based on a turnkey level of finish and inclusive of costs related to necessary ancillary uses and spaces; and
- A floor area of 3,567 m² (38,395 ft²), based on 5% of the subject development's maximum permitted VCB floor area.

Note that this approach has been reviewed and concurred to by Community Services staff. Staff recommend against the developer constructing a community benefit space on the subject site because its VCB floor area is too small to be operated in a cost-effective manner. Instead, prior to adoption of the subject rezoning, the developer shall make a voluntary cash contribution (100% of which shall be allocated for capital works) to the Leisure Facilities Reserve Fund for the construction of community benefit arts & culture facilities at another location within City Centre. Council will have sole discretion over the use of these funds.

Proposed Changes to Road Network

The development proposal includes road network improvements to re-open the original intersection of West Road and Bridgeport Road (**Attachment 4**), close the current West Road connection to Bridgeport Road and provide an interim River Road extension to a new intersection at Bridgeport Road. The portions of River Road and West Road adjacent to the site will be widened and completed to their ultimate design with the future development of the properties across the roads.

In 2001, MOTI required a road dedication from the site to widen Bridgeport Road and to relocate West Road to the West, further away from No. 3 Road, as part of the airport connector bridge construction project. A new portion of West Road was built, connecting to Bridgeport Road and concrete barriers were placed to prevent vehicles from using the original intersection. The West Road re-alignment cuts through the property at 8451 Bridgeport Road, and as a result of reviewing the subject development proposal, MOTI has indicated that the proposed road network improvements would be acceptable. MOTI approval is a requirement of the rezoning as well as a requirement of the Servicing Agreement for the design and construction of the road network improvements.

Road closure and purchase of the City's surplus Road from West Road is a requirement of rezoning. With the re-opening of the original West Road intersection, the current curved portion of West Road is no longer required and may be included in the subject rezoning proposal. The road closure bylaw and primary business terms of the purchase and sale agreement will be brought forward for consideration by Council in a separate report from the Manager, Real Estate Services.

Proposed Zoning Amendments

Amendments to the Richmond Zoning Bylaw are proposed to create the new site specific zoning district “High Rise Office Commercial (ZC33) – (City Centre)” and to rezone the subject site to the new zone. The proposed bylaw has been prepared to manage development on the subject site in accordance with CCAP guidelines.

Proposal Details

Staff’s review of the proposed development shows it to be consistent with City policies and supportive CCAP objectives for the Bridgeport Village, as indicated below:

a) Sustainable Development:

- **District Energy Utility (DEU)**: The site is required to be “DEU-ready”.
- **Leadership in Energy and Environmental Design (LEED)**: The CCAP requires that all rezoning applications greater than 2,000 m² in size demonstrate compliance with LEED Silver (equivalency) or better, paying particular attention to features significant to Richmond (e.g., green roofs, urban agriculture, DEU, storm water management/quality). The developer has agreed to comply with this policy and will demonstrate this at Development Permit stage.
- **Flood Management Strategy**: In accordance with the City’s Flood Plain Designation and Protection Bylaw 8204, the developer has agreed to register a flood indemnity covenant as a rezoning consideration.
- **Aircraft Noise Sensitive Development (ANSD)**: The subject site is situated within ANSD “Area 1a”, which prohibits new ANSD uses (e.g. residential, child care), and requires that a restrictive covenant be registered on title, including information to address aircraft noise mitigation and public awareness. The proposed development complies with the policy. The developer has agreed to register an aircraft noise indemnity covenant as a rezoning consideration.

b) Public Art: The developer has agreed to participate in the City’s Public Art Program. A voluntary contribution of approximately \$87,756, based on \$0.41 per buildable square foot, to the City’s Public Art fund as a rezoning consideration.

c) Infrastructure Improvements: The City requires the coordinated design and construction of private development and City infrastructure with the aim of implementing cost-effective solutions to serving the needs of Richmond’s rapidly growing City Centre. In light of this, staff recommend and the developer has agreed to the following:

- **Road Network Improvements**: the developer shall be responsible for road dedications and statutory right-of-ways (e.g., River Road extension, West Road widening, private road); and the design and construction of an interim River Road extension, interim West Road widening, and Bridgeport Road pedestrian and intersection improvements.

- **Engineering Improvements:** The developer shall be responsible for the design and construction of required storm sewer upgrades, sanitary sewer upgrades, water system upgrades, under-grounding of private utilities, coordination of works with MOTI, the Provincial Inspector of Dikes, Kinder Morgan, and related improvements, as determined to the satisfaction of the City.
- The developer has agreed to enter into a Servicing Agreement for the design and construction of the required road network and engineering works prior to rezoning adoption. Due to proximity to Bridgeport Road and City Dike, approval is required from MOTI and the Provincial Inspector of Dikes.
- The developer has agreed to provide a voluntary contribution of \$81,960 towards future downstream sanitary sewer upgrades from the development site to the Van Horne Pump Station as a rezoning consideration.

d) Proximity to Jet Fuel Pipe Line:

An existing jet fuel line owned by Trans Mountain Pipeline (Jet Fuel) and operated by Kinder Morgan Canada Inc. is located adjacent to the development site within River Road, West Road and Bridgeport Road and is subject to the National Energy Board Act and the British Columbia Oil and Gas Activities Act legislation. Portions of the required Servicing Agreement works, including road works, and site servicing, are within close proximity to the pipeline. Due to this proximity, Trans Mountain Pipeline (Jet Fuel) may require a legal agreement so that the works can be performed in proximity to the pipeline.

As a rezoning consideration, the developer has agreed to enter into a Servicing Agreement. The Servicing Agreement requires that the developer be responsible for the design and construction of infrastructure works, be responsible for the works during a maintenance period, and provide an insurance policy to cover the City in the event of any liability or damages arising from the Servicing Agreement works during the construction and maintenance periods. Due to the proximity of the jet fuel pipeline, the developer may be required to obtain any necessary approvals from Trans Mountain Pipeline (Jet Fuel) and/or related parties. The City's standard Servicing Agreement and the requirements thereunder may need to be modified to address the jet fuel pipe line.

In respect to the jet fuel pipe line, the City may be required to enter into an agreement with Trans Mountain Pipeline (Jet Fuel) and/or related parties. In the event that the City is required to enter into such an agreement, staff would first need to prepare a separate staff report to provide the details and seek authorization from Council.

- e) Form of Development: The developer proposes to construct a high rise, high density, commercial development, including a significant amount of office space, and ground level commercial and hotel uses on a prominent site located in the Bridgeport Village. The developer's proposed form of development conforms to the CCAP policies generally and Development Permit (DP) guidelines, with a significant setback, taller buildings and a private drive aisle located along Bridgeport Road to address the constraints and opportunities of the site.

Development Permit (DP) approval to the satisfaction of the Director of Development for the proposal is required prior to rezoning adoption. The architectural form and character of the development proposal will be reviewed at DP stage, including the following:

- Detailed architectural, landscaping and open space design.
 - Explore opportunities to create vibrant retail streetscape that contribute to the animation, pedestrian-amenity, and commercial success of the development and its surroundings.
 - Demonstration of LEED Silver (equivalency) or better.
 - Vehicle and bicycle parking; truck loading; garbage, recycling and food scraps storage and collection; and private utility servicing.
- f) Proposed Zoning Bylaw Amendment: A "High Rise Office Commercial (ZC33) – (City Centre)" site specific zone was prepared for the proposed development to allow high density, transit oriented, non-residential and central business district development in an area affected by aircraft noise. The zone includes a density bonus provision for as the site is located in the Village Centre Bonus Area. The development proposal complies with the permitted density and takes advantage of the density bonusing provision.
- g) Community Planning: As per CCAP policy, the developer proposes to voluntarily contribute approximately \$53,510, based on \$0.25 per buildable square foot, to the City's community planning reserve fund.

Financial Impact or Economic Impact

None.

Conclusion

The proposed development is consistent with Richmond's 2041 OCP and City Centre Area Plan objectives for the Bridgeport Village, as set out in the proposed OCP and City Centre Area Plan (CCAP) amendments. The proposed high-rise project, office development, pedestrian-oriented streetscapes, River Road extension, West Road widening, and Bridgeport Road pedestrian and intersection improvements will assist in making Bridgeport Village a transit-oriented, urban community.

On this basis, staff recommend that:

- Richmond Zoning and Development Bylaw 5300, Amendment Bylaw 7032 be abandoned;
- Official Community Plan Bylaw 7100, Amendment Bylaw 9065 (City Centre Area Plan) be introduced and given first reading; and
- Richmond Zoning Bylaw 8500, Amendment Bylaw 9066 be introduced and given first reading.



Sara Badyal, M. Arch, MCIP, RPP
Planner 2



Terry Crowe
Manager, Policy Planning

SB:kt

Attachment 1: Location Map

Attachment 2: Aerial Photograph

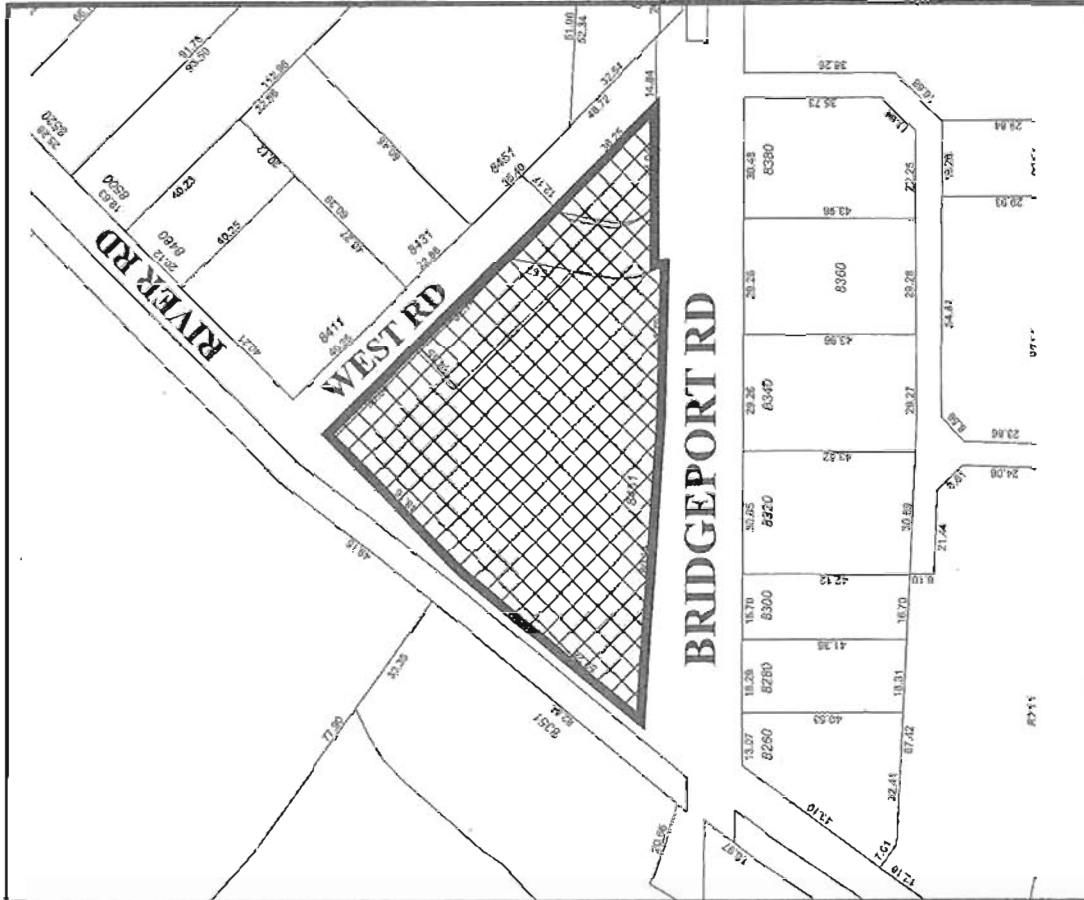
Attachment 3: City Centre Area Plan Specific Land Use Map: Bridgeport Village (2031)

Attachment 4: West Road Diagram

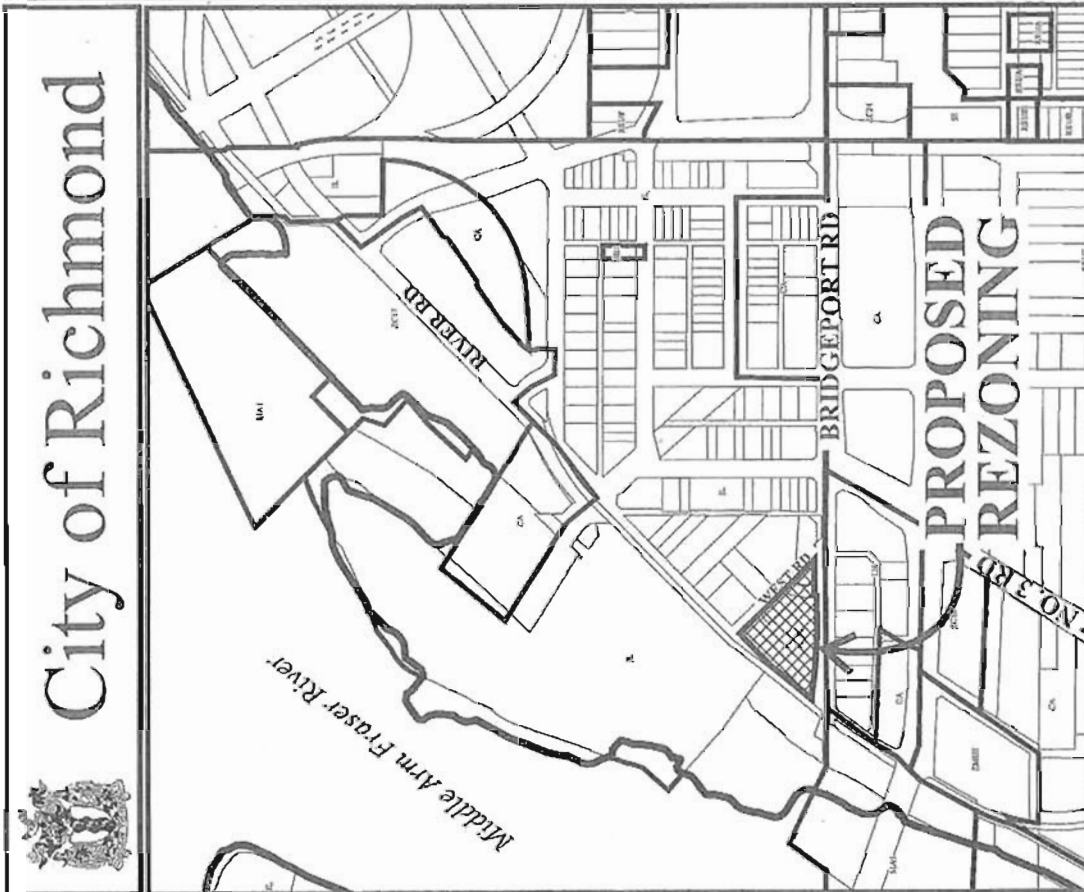
Attachment 5: Development Application Data Sheet

Attachment 6: Rezoning Considerations Concurrence

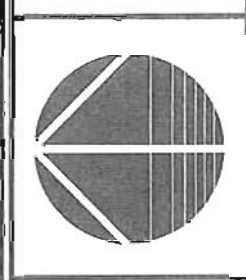
Attachment 7: Development Concept

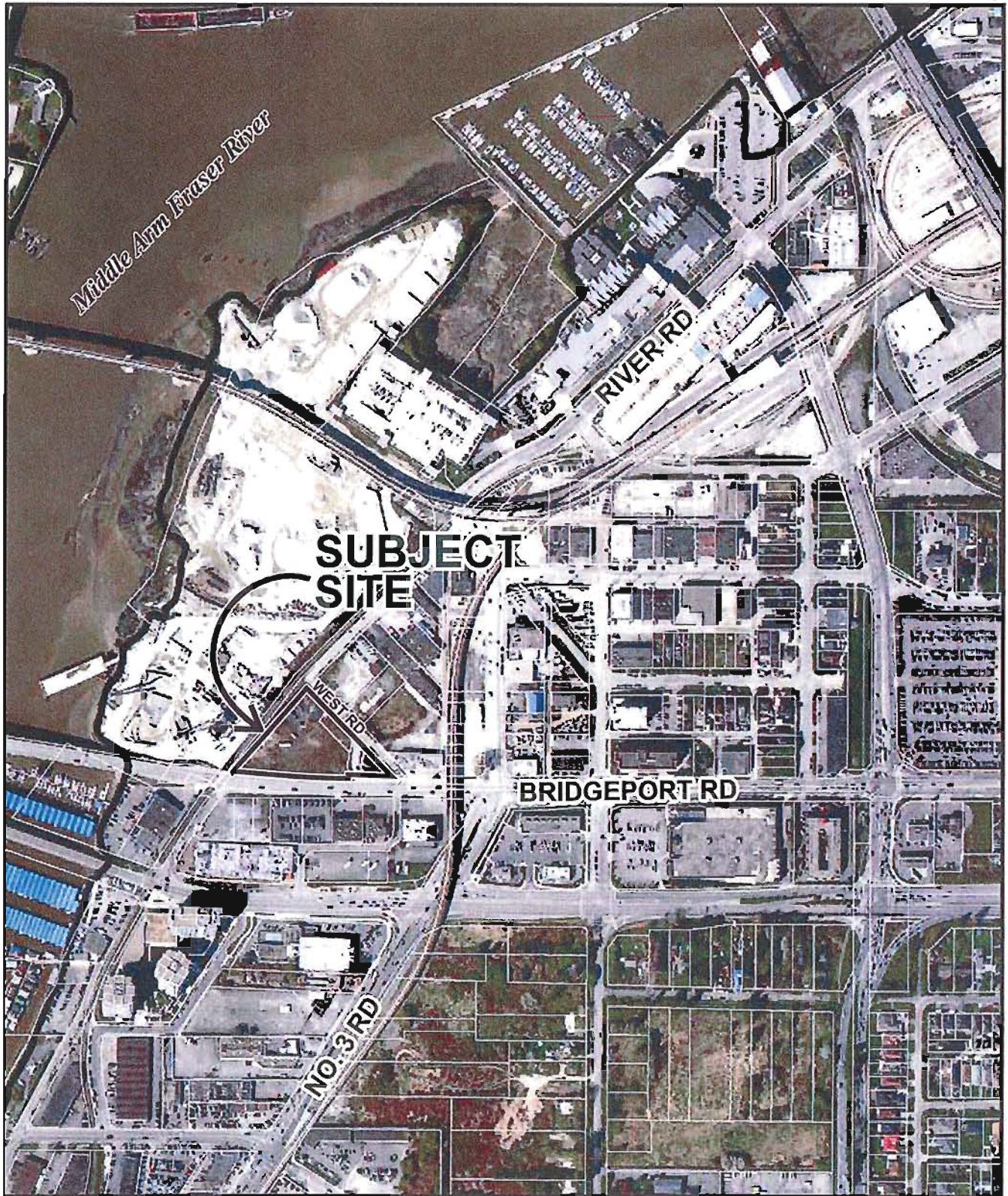


Original Date: 04/20/12
 Revision Date: 10/02/13
 Note: Dimensions are in METRES



RZ 12-605272





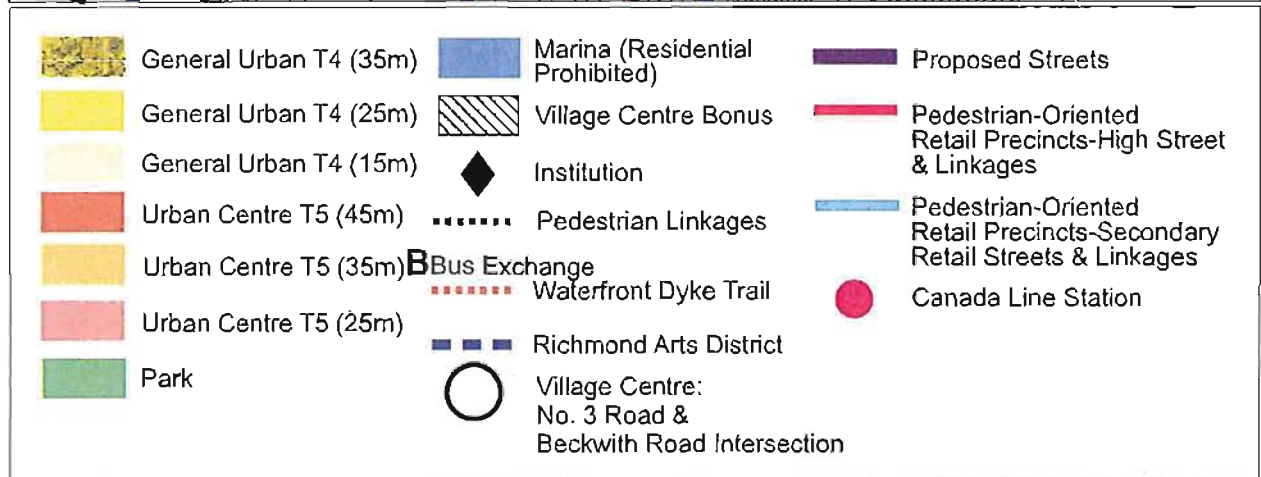
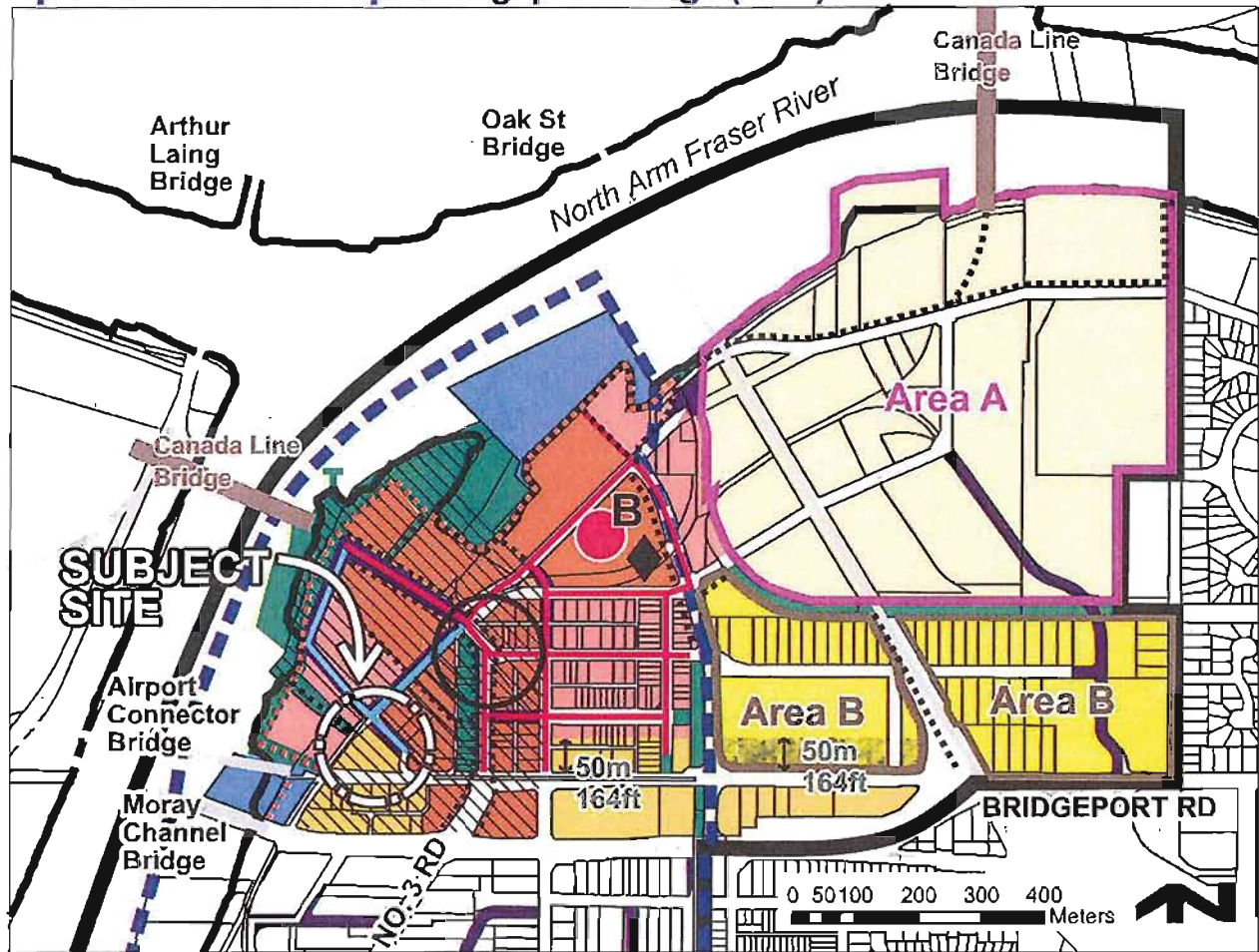
RZ 12-605272

Original Date: 04/23/12

Amended Date: 10/02/13

Note: Dimensions are in METRES

**City Centre Area Plan
Specific Land Use Map: Bridgeport Village (2013)**





RZ 12-605272

Attachment 5

Address: 8451 Bridgeport Road

Applicant: Hotel Versante Ltd.

Planning Area(s): Bridgeport Village (City Centre)

	Existing		Proposed	
Owner:	Hotel Versante Ltd.		Same	
Site Size (m ²):	8451 Bridgeport Road	6,263.4 m ²	Development site	6,628.3 m ²
	Surplus West Road	548.8 m ²	Road dedication	183.9 m ²
	Total	6,812.2 m ²	Total	6,812.2 m ²
Land Uses:	Vacant		Hotel, Office, Commercial	
OCP Designation:	Commercial		Complies	
Area Plan Designation:	Urban Centre T5 (45 m) Urban Centre T5 (35 m) Road		Complies as amended to Urban Centre T5 (45 m)	
Aircraft Noise Sensitive Development Policy:	Area 1a Restricted Area		Complies	
Zoning:	Light Industrial (IL)		High Rise Office Commercial (ZC33) – (City Centre)	
Number of Units:	Vacant		19,882.6 m ² development including: 7,726.5 m ² 110-room hotel, 9,071.1 m ² office space, and 3,084.9 m ² commercial space	
	Bylaw Requirement		Proposed	Variance
Floor Area Ratio:	Max. 3.0 including Village Centre bonus: Min. 1.0 office		3.0, including 1.37 office	None permitted
Lot Coverage – Building:	Max. 90%		Less than 50%	None
Setbacks: Bridgeport Rd	Min. 1.7 m at grade		Min. 9.1 m	None
West Rd	Min. 0.1 m above		Min. 5.8 m	
River Rd	Min. 1.7 m at grade		Min. 1.7 m	
	Min. 0.1 m above		Min. 0.1 m	
	Min. 1.7 m at grade		Min. 3.9 m	
	Min. 0.1 m above		Min. 1.5 m	
Height:	Max. 47.0 m geodetic		Max. 47 m geodetic	None
Off-street Parking Spaces:				
Hotel	139		139	None
Office	121		122	
Commercial	72		72	
Total	332		333	
Accessible Parking Spaces:	Min. 2% (7 spaces)		3% (10 spaces)	None
Small Car Parking Spaces:	Max. 50% (166 spaces)		Max 50% (166 spaces)	None



Rezoning Considerations

Development Applications Division
6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 8451 Bridgeport Road and Surplus City Road

File No.: RZ 12-605272

Prior to considering adoption of Richmond Zoning Bylaw 8500, Amendment Bylaw 9066, the developer is required to complete the following:

1. Abandon Richmond Zoning and Development Bylaw 5300, Amendment Bylaw 7032.
2. Final Adoption of Official Community Plan Bylaw 7100, Amendment Bylaw 9065.
3. Provincial Ministry of Transportation & Infrastructure approval.
4. Council approval of the road closure bylaw for the surplus city road. The developer shall be required to enter into a purchase and sales agreement with the City for the purchase of the Land, which is to be based on the business terms approved by Council. The primary business terms of the purchase and sales agreement will be brought forward for consideration by Council in a separate report from the Manager, Real Estate Services. All costs associated with the purchase and sales agreement shall be borne by the developer.
5. Consolidation of the lands into one development parcel.
6. Road dedication (as per Schedule A, or as approved by the Director of Transportation):
 - a) River Road – Up to 2 m wide dedication along the entire River Road frontage for a new 2 m wide sidewalk.
 - b) Corner cuts, measured from the new property line and/or edge of PROP, whichever is further into the site:
 - i) 4m x 4m corner cut dedication at the corner of Bridgeport Road and West Road.
 - ii) 4m x 4m corner cut dedication at the corner of Bridgeport Road and River Road.
 - iii) 4m x 4m corner cut dedication at the corner of West Road and River Road.
7. The granting of statutory PROP rights-of-way (as per Schedule A, or as approved by the Director of Transportation):
 - a) West Road – 2 m wide PROP required along the entire West Road frontage for a new 2 m wide sidewalk. The ROW will include City maintenance and liability.
 - b) Drive Aisle – Approximately 7.9 m wide PROP required along the entire Bridgeport Road frontage to accommodate public passage over the 6.1 m wide travel lanes of the internal drive aisle, which passes underneath portions of the building. The ROW will include owner maintenance and liability.
8. Registration of an aircraft noise indemnity covenant for non-sensitive uses on title (Area 1A of the OCP Aircraft Noise Sensitive Development Map).
9. Registration of a flood indemnity covenant on title.
10. Registration of a restrictive covenant and/or alternative legal agreement(s), to the satisfaction of the City, securing the owner's commitment to connect to District Energy Utility (DEU), which covenant and/or legal agreement(s) will include, at minimum, the following terms and conditions:
 - a) No building permit will be issued for a building on the subject site unless the building is designed with the capability to connect to and be serviced by a DEU and the owner has provided an energy modelling report satisfactory to the Director of Engineering;
 - b) If a DEU is available for connection, no final building inspection permitting occupancy of a building will be granted until the building is connected to the DEU and the owner enters into a Service Provider Agreement on terms and conditions satisfactory to the City and grants or acquires the Statutory Right-of-Way(s) and/or easements necessary for supplying the DEU services to the building;
 - c) If a DEU is not available for connection, then the following is required prior to the earlier of subdivision (stratification) or final building inspection permitting occupancy of a building:
 - i) the City receives a professional engineer's certificate stating that the building has the capability to connect to and be serviced by a DEU;

- ii) the owner enters into a covenant and/or other legal agreement to require that the building connect to a DEU when a DEU is in operation;
 - iii) the owner grants or acquires the Statutory Right-of-Way(s) and/or easements necessary for supplying DEU services to the building; and
 - iv) if required by the Director of Engineering, the owner provides to the City a letter of credit, in an amount satisfactory to the City, for costs associated with acquiring any further Statutory Right of Way(s) and/or easement(s) and preparing and registering legal agreements and other documents required to facilitate the building connecting to a DEU when it is in operation.
11. City acceptance of the developer's offer to voluntarily contribute \$0.41 per buildable square foot (e.g. \$87,756) to the City's public art reserve fund (to City account 7750-80-000-00000-0000).
 12. City acceptance of the developer's voluntary contribution in the amount of \$0.25 per buildable square foot (e.g. \$53,510) to future City community planning studies, as set out in the City Centre Area Plan.
 13. City acceptance of the developer's voluntary contribution in the amount of \$1,605,150 to the City's Leisure Facilities fund for arts & culture facilities in City Centre.
 14. City acceptance of the developer's voluntary contribution in the amount of \$81,960.00 for downstream sanitary sewer upgrades from the development site to the Van Horne pump station and/or City identified upgrades within the Van Horne pump station catchment area (to City account 2253-10-000-14912).
 15. The submission and processing of a Development Permit* completed to a level deemed acceptable by the Director of Development.
 16. Enter into a Servicing Agreement* for the design and construction of road and infrastructure improvement works. Works include, but may not be limited to providing the general road cross-sections described below and as per Schedule A, or as approved by the Director of Transportation:
 - a) River Road – New road construction between West Road and Bridgeport Road to provide (from east to west): 2.0 m wide concrete sidewalk, 1.5 m wide grass boulevard with street trees, 0.15 m wide curb and gutter, 6.0 m wide asphalt travel lanes, and a 1.0 m wide shoulder, with appropriate intersection improvements and City Centre street lighting.
 - b) West Road – Road widening between Bridgeport Road to River Road to provide (from south to north): 2.0 m wide concrete sidewalk, 1.5 m wide grass boulevard with street trees, 0.15 m wide curb and gutter, 7.88 m to 8.6 m wide asphalt travel lanes, 0.15 m wide curb and gutter, and a 1.5 m wide interim sidewalk, with appropriate intersection improvements and City Centre street lighting.
 - c) Bridgeport Road – Road widening between West Road and new River Road to provide (from south to north): 1.5 m wide grass boulevard with street trees behind the existing curb and gutter, 2.0 m wide concrete sidewalk, varying width of buffer zone, and 6.1m wide asphalt travel lanes, with appropriate City Centre street lighting.
 - d) Storm sewer improvements to:
 - i) Install appropriate storm sewer system in new River Road between Bridgeport Road and West Road.
 - ii) Upgrade storm sewer along West Road frontage to minimum 600 mm diameter from Bridgeport Road (manhole STMH6195) to 8431 West Road (manhole STMH6197) (approximately 72 m length).
 - iii) Upgrade storm sewer along West Road frontage to minimum 675 mm diameter from 8431 West Road (manhole STMH6197) to River Road (manhole STMH6173) (approximately 68 m length).
 - e) Water system improvement: Upgrade water main along West Road frontage from 150 mm diameter asbestos concrete pipe to minimum 200 mm diameter PVC pipe from Bridgeport Road to River Road (approximately 120 m length).
 - f) Sanitary sewer improvement: Upgrade sanitary sewer along West Road frontage to minimum 300 mm diameter from Bridgeport Road (manhole SMH5761) to River Road (manhole SMH5758) (approximately 120 m length).
 - g) Private Utilities improvements:
 - i) Under-grounding of existing private utility pole lines along West Road and River Road frontages, except for BC Hydro Transmission poles (BC Hydro Transmission poles requiring relocation to accommodate road and utility improvements will be at the developer's cost).

- ii) Confirmation of approval from the applicable private utility companies (e.g. BC Hydro, Telus, Shaw) regarding the location(s) of above ground private utility structures (e.g. vista, pad mounted transformers, LPTs, GPON cabinet, Shaw kiosk). All above ground private utility structures shall be located on-site, and shall not be located within City statutory rights-of-way.
- iii) Granting of any rights-of-way required by private utility companies to accommodate their above ground structures and future under-grounding of overhead lines.

Servicing Agreement works are subject to Provincial Inspector of Dikes, MOTI, Trans Mountain Pipeline (Jet Fuel) and Kinder Morgan Canada confirmation as part of the Servicing Agreement process, and additional agreements and security may be required.

Prior to Building Permit* Issuance, the developer is required to complete the following:

1. Submission of a Construction Parking and Traffic Management Plan to the Transportation Division. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
2. Incorporation of features in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
3. If applicable, payment of latecomer agreement charges associated with eligible latecomer works.
4. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Division at 604-276-4285.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

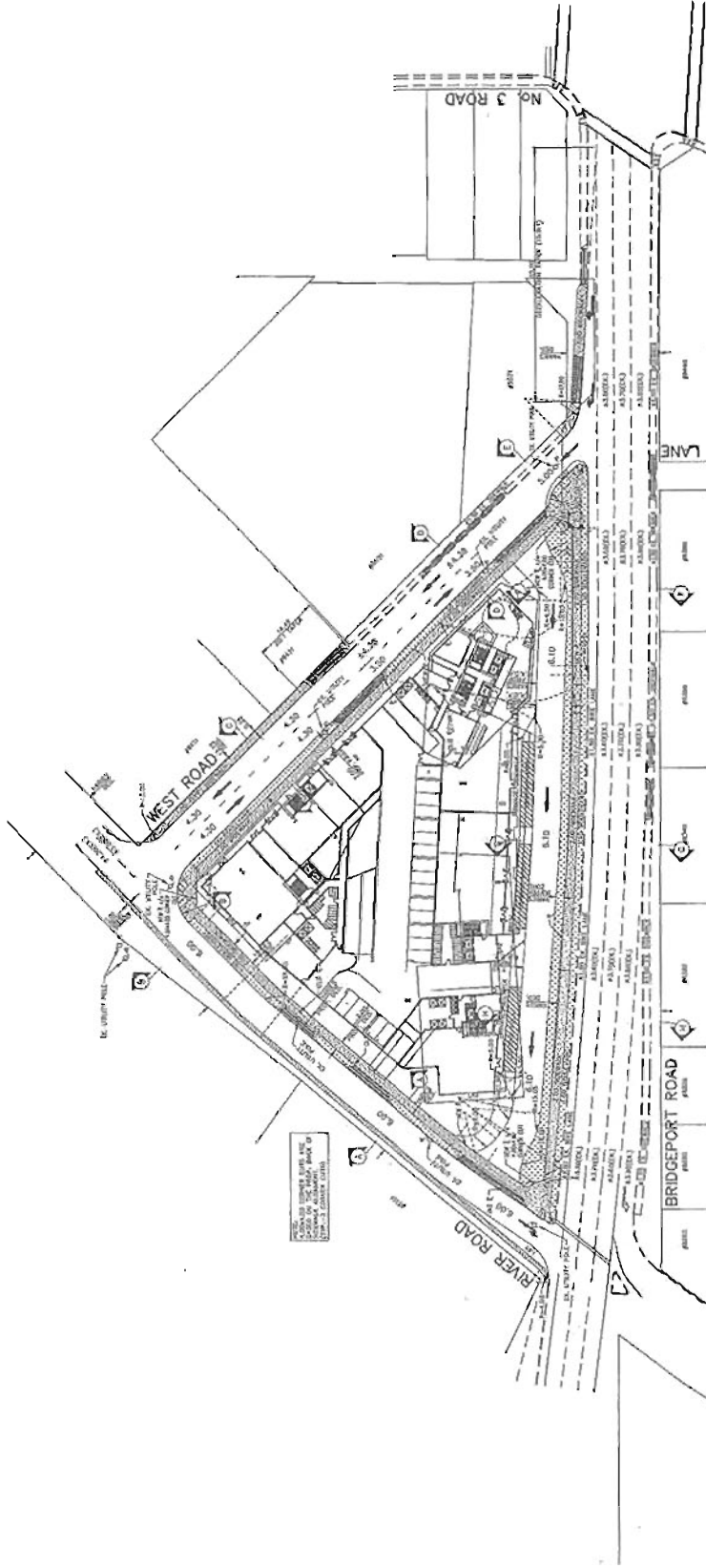
The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Signed _____

_____ Date

Schedule A



City of Richmond
WILLIAMSBURG, VIRGINIA

**FUNCTIONAL PLAN
 'INTERIM'**

BASH BRIDGEPORT ROAD
 CITY FILE: RE 12-805272

DESIGNED BY: DWG. NO. 1
 DRAWN BY: DWG. NO. 1
 CHECKED BY: DWG. NO. 1
 QUANTITY BY: DWG. NO. 1

NO.	DATE	BY	REVISIONS
1.	21 JAN 03	BT	ISSUE FOR PERMITS
2.	15 MAR 03	BT	REVISED PERMITS
3.	15 MAR 03	BT	REVISED PERMITS
4.	15 MAR 03	BT	REVISED PERMITS
5.	15 MAR 03	BT	REVISED PERMITS
6.	15 MAR 03	BT	REVISED PERMITS
7.	15 MAR 03	BT	REVISED PERMITS
8.	15 MAR 03	BT	REVISED PERMITS
9.	15 MAR 03	BT	REVISED PERMITS
10.	15 MAR 03	BT	REVISED PERMITS

MPT ENGINEERING CO. LTD.
1000 WEST 10TH AVENUE, SUITE 100, CALGARY, ALBERTA T2C 1L7, CANADA
 MYIE MOYEING INTERNATIONAL ENTERPRISES LTD.
 MPT DWG. NO. 015844-PP
 SHIT. NO. 1 OF 4

- NOTES:**
1. ALL ELEVATIONS ARE TO EXISTING DATUM AND ARE DERIVED FROM CITY OF RICHMOND DATA, EXCEPT WHERE SHOWN OTHERWISE.
 2. CONTRACTOR TO CONSULT ARCHITECT WITH MPT ENGINEERING PRIOR TO CONSTRUCTION.
 3. CONTRACTOR TO VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO MPT ENGINEERING PRIOR TO CONSTRUCTION.
 4. ALL MATERIALS AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE CLIENT'S MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (MCD) AND THE CLIENT'S CITY OF RICHMOND SPECIFICATIONS, SPECIFICATIONS AND LOCAL ORDINANCES.

GENERAL NOTES:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF RICHMOND AND THE CLIENT'S CITY OF RICHMOND. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF RICHMOND AND THE CLIENT'S CITY OF RICHMOND. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF RICHMOND AND THE CLIENT'S CITY OF RICHMOND.

3936839

PH - 63

September 23, 2013

HOTEL VERSANTE & OFFICE DEVELOPMENT

ALL AREAS ARE PRELIMINARY, SITE LAYOUT SUBJECT TO CITY'S APPROVAL

LEGAL DESCRIPTION:
LOT 215, BLOCK E NORTH, RANGE 6 WEST, NEW WESTMINSTER DISTRICT PLAN 358892

CIVIC ADDRESS:
8451 BRIDGEPORT ROAD, RICHMOND B.C.

CONCEPT
ONLY

GROSS SITE AREA BEFORE ADJUSTMENTS:		73,326 SF	6,812 m²
RIVER RD. & WEST RD DEDICATION:		1,878 SF	184 m ²
PUBLIC SIDEWALK ROW		4,101 SF	381 m ²
SITE AREA:		67,246 SF	6,247 m ²
NET SITE AREA AFTER ADJUSTMENTS:		71,349 SF	6,626 m²
GROSS BUILDABLE AREA:		236,231 SF	21,946 m²
FSR ALLOWED	3.00	214,047 SF	19,585 m²
FSR PROPOSED	3.00	214,014 SF	19,882 m²
COMMERCIAL	0.47	33,206 SF	3,085 m²
OFFICE	1.37	97,841 SF	9,071 m²
HOTEL	1.17	83,167 SF	7,726 m²

	HOTEL PH 1	OFFICE PH 1	OFFICE PH 2	COMMERCIAL	NET AREA FAR	HOTEL ROOMS	CORE HOTEL	CORE OFF. 1	CORE OFF. 2	CORE COMM.	GROSS AREA TOTAL
GROUND FL.	12,038	718	1,232	6,277	23,265	0	0	0	0	0	23,265
2ND FLOOR	3,769	406	348	4,975	9,498	0	767	860	581	213	11,718
3RD FLOOR	4,573	407	346	5,452	10,780	0	767	580	581	213	13,002
4TH FLOOR	4,833	7,514	348	0	12,695	0	767	590	581	142	14,775
5TH FLOOR	4,687	10,415	348	0	15,450	9	767	590	581	142	17,530
6TH FLOOR	5,898	10,415	0	6,751	23,154	9	767	590	581	142	25,234
7TH FLOOR	6,233	10,415	0	6,751	23,399	13	767	590	581	142	25,379
8TH FLOOR	6,233	10,442	7,004	0	23,275	13	767	590	581	0	25,217
9TH FLOOR	6,233	10,415	6,754	0	23,402	13	767	590	581	0	25,340
10TH FLOOR	6,233	0	6,754	0	12,987	13	767	0	581	0	14,335
11TH FLOOR	6,233	0	6,754	0	12,987	13	767	0	581	0	14,335
12TH FLOOR	5,778	0	7,004	0	12,782	6	767	0	581	0	14,130
13TH FLOOR	4,103	0	0	0	4,103	6	767	0	0	0	4,870
14TH FLOOR	6,233	0	0	0	6,233	4	767	0	0	0	7,000
TOTAL	83,167	60,747	36,894	33,206	214,014	110	9,971	4,790	6,381	994	236,231
TOTAL OFFICE			97,841								

PARKING CALCULATION:

	REQUIRE	PROVIDED
HOTEL:		
10 SPACES PER GROSS 100m ² OF HOTEL FACILITIES	SEE DETAILED CALCULATION TO THE RIGHT	
1 SPACE PER 2 ROOMS		
3 SPACES FOR GROSS 100m ² OF GENERAL RETAIL		
15% RELAXATION AS PER 7.9.5.1.		
TOTAL HOTEL REQUIRED		139
OFFICE:		
3.75 SPACES PER GROSS 100m ² ON FIRST 2 LEVELS	2,704 SF	9
1.5 SPACES PER GROSS 100m ² ABOVE FIRST 2 LEVELS	93,893 SF	131
15% RELAXATION ABOVE 2ND FLOOR 7.9.5.1.		20
TOTAL OFFICE		121
COMMERCIAL:		
3.75 SPACES PER 100m ² ON FIRST 2 FLOORS	14,252 SF	50
1.5 SPACES PER GROSS 100m ² ABOVE FIRST 2 LEVELS	18,954 SF	26
15% RELAXATION AS PER 7.9.5.1.		4
TOTAL COMMERCIAL REQUIRED		72
TOTAL REQUIRED PARKING		333
TOTAL PROPOSED PARKING	incl. 10 H/C stalls	333
LOADING:		
1 MED SPACE + 1 PER EACH 5000m ² OVER 1860m ²		4
1 LARGE SPACE + 1 PER EACH 5000m ² OVER 1860m ²		5
TOTAL REQUIRED LOADING		9
TOTAL PROPOSED LOADING	RELAXATION REQUESTED	7
BICYCLE PARKING:	Class 1 Long term	
	Class 2 Short term	
HOTEL:		
0.27 CLASS 1 SPACES PER 100m ² OVER 100m ²	12,627 SF	3
0.27 CLASS 2 SPACES PER 100m ² OVER 100m ²	12,627 SF	3
TOTAL HOTEL:		6
OFFICE:		
0.27 CLASS 1 SPACES PER 100m ² OVER 100m ²	97,841 SF	24
0.4 CLASS 2 SPACES PER 100m ² OVER 100m ²	8,971 m ²	36
TOTAL OFFICE:		60
COMMERCIAL:		
0.27 CLASS 1 SPACES PER 100m ² OVER 100m ²	33,206 SF	8
0.4 CLASS 2 SPACES PER 100m ² OVER 100m ²	33,206 SF	8
TOTAL COMMERCIAL:		16
TOTAL REQUIRED BICYCLE PARKING	class 1 - 35 0.33 vertical allowed	class 2 - 47
TOTAL PROPOSED BICYCLE PARKING	class 1 - hor. 40 class 1 - vert. 8	class 2 - 48 4 x 6' x 10' (10' x 6' x 2')

	Allowed	PROVIDED		
REQUIRED	2% H/C cars	7		
ALLOWED	50.00% small cars	187		
TOTAL PARKING COUNT PROVIDED		194		
	REG	SM	H/C	TOTAL
on grade				0
LVL1	15	2	2	19
LVL2	30	36		66
LVL3	41	34	6	81
LVL4	45	37		82
LVL5	43	40	2	85
TOTAL	174	145	10	333

AREA HOTEL	Retail	Bar/ Restaurant	Conference Lounge	Spa/ Fitness	# of ROOMS
GROUND	3,905	2,637	2,105		
2ND FLOOR	844		473		
3RD FLOOR			3,656		
4TH FLOOR					9
5TH FLOOR					9
6TH FLOOR	815				9
7TH FLOOR					13
8TH FLOOR					13
9TH FLOOR					13
10TH FLOOR					13
11TH FLOOR					13
12TH FLOOR		2,488			6
13TH FLOOR					8
14TH FLOOR					4
TOTAL	5,564	5,125	6,234		110
TOTAL	8,722 SF		810.27 m²		81.08
TOTAL	3,805 SF		362.77 m²		10.88
TOTAL	stair/equest rooms				55.00
TOTAL	2,637 SF		244.98 m²		9.18

PARKING REQ'D	156.10
PARKING REQ'D ABOVE 2ND LEVEL	114.35
Allowed Relaxation	15% above 2nd floor
Total Parking Required	138.64

Parking Requirements		
10 Spaces/	100 m ²	restaurant/meeting/ conference lounge
3 Spaces/	100 m ²	Retail/General Convenience
1 Space /	2 rooms	
3.75 Spaces/	100 m ²	Gross Leasable Floor Area - Restaurant



8451 BRIDGEPORT ROAD
 RICHMOND, BC

FOR: MYRIE LTD
 SITE INFORMATION

DATE: FEBRUARY 2011
 DRAWING NO.: 1145
 PROJECT NO.: 1145

A-1.01



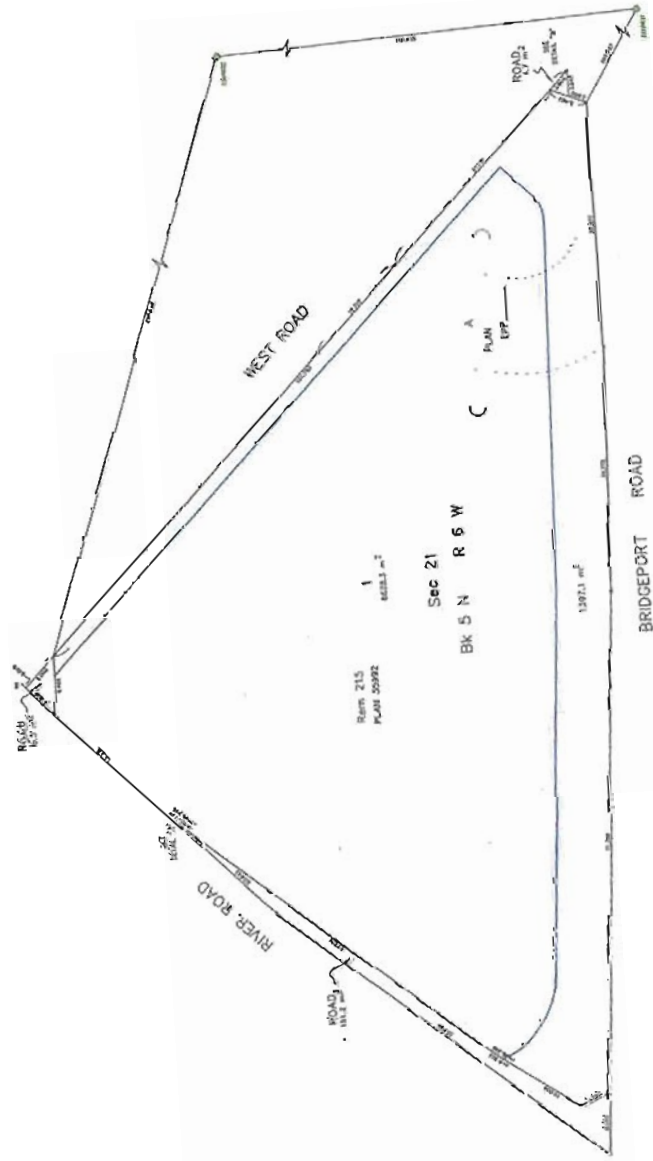
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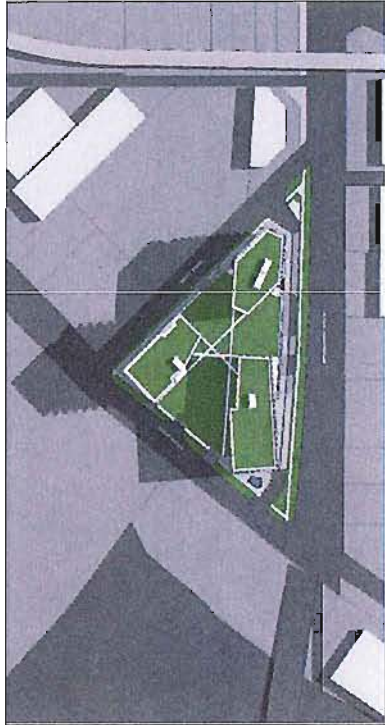
ADDITIONAL INFORMATION

6451 BRIDGEPORT ROAD
 RICHMOND, BC
 FORK RIVER LTD.
 SURVEY

DATE: 10/15/2011
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 CHECKED BY: J.M.S.
 SCALE: 1:100
 SYSTEM: XREF

A-1.03

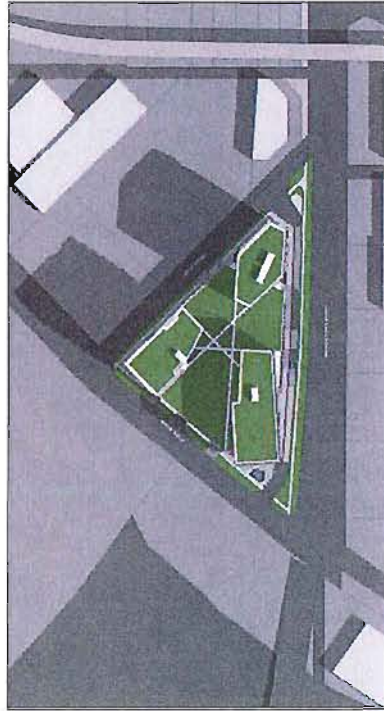




MAR / SEP 21ST - 12.00PM



MAR / SEP 21ST - 10.00AM



MAR / SEP 21ST - 2.00PM

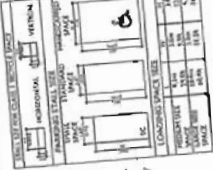


BLISS & BURNETT LTD.
1000 WEST 10TH AVENUE
VANCOUVER, BC V6H 1A5
TEL: 604-681-1111
WWW.BLISSANDBURNETT.COM



NOTES

- LEASING
- HOTEL
- CONVERSION
- OFFICE

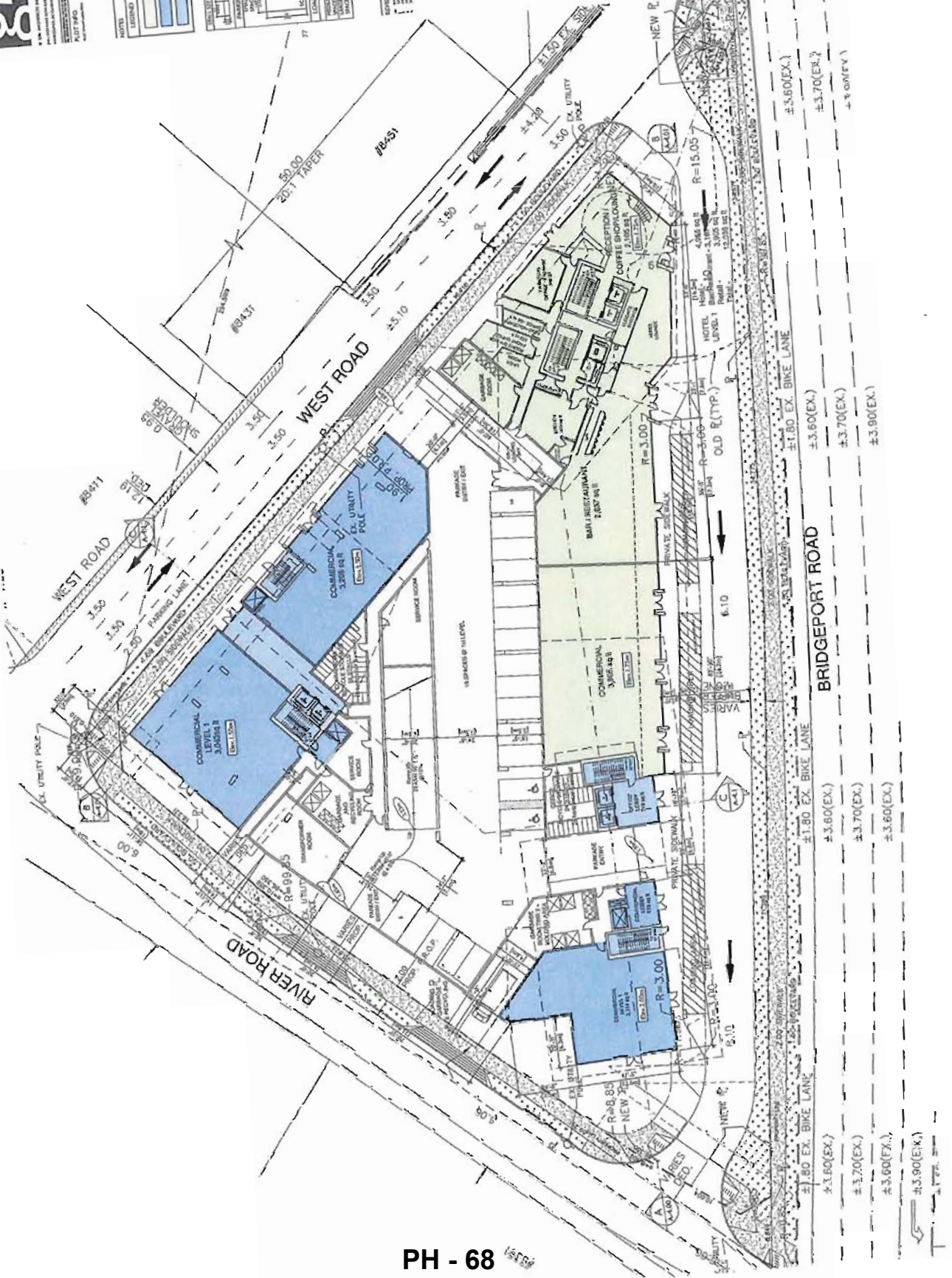


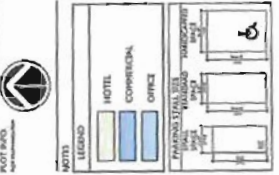
PROVISIONS
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE BC BUILDING ACT AND REGULATIONS.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING CODE OF CANADA.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LOCAL BY-LAWS AND ORDINANCES.
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE DESIGNER'S INTENT AND THE PROJECT REQUIREMENTS.

8451 BRIDGEPORT ROAD
 RICHMOND, BC
 FOR MYRIE LTD.
 LEVEL 1

1145

A-2.01





APPROVED

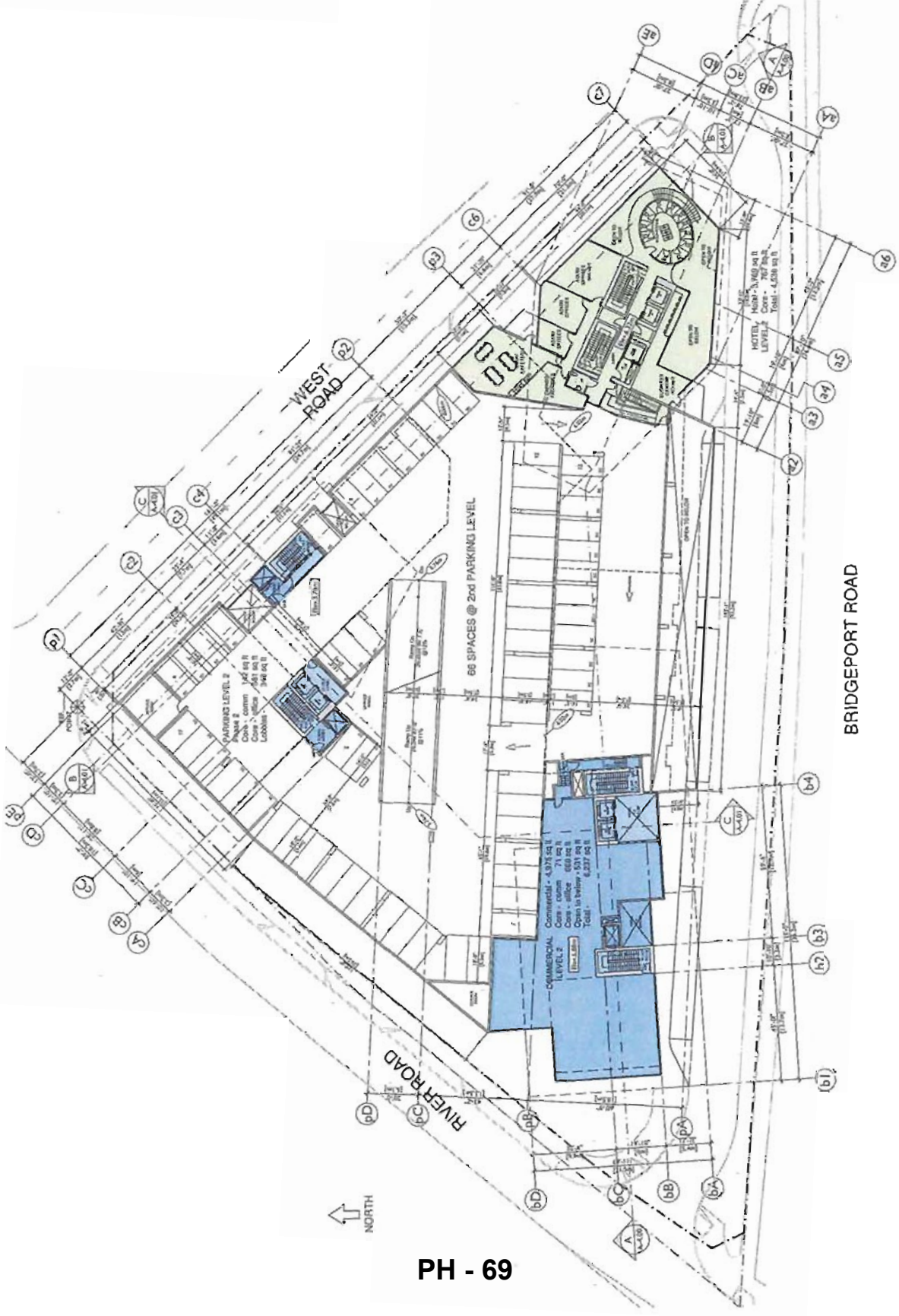
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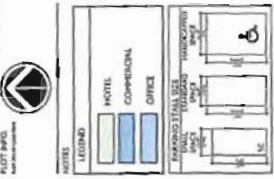
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8451 BRIDGEPORT ROAD
 RICHMOND, BC
 FOR MYIE LTD
 LEVEL 2

PROJECT NO. 1145
 DATE 08/14/15

A-2.02





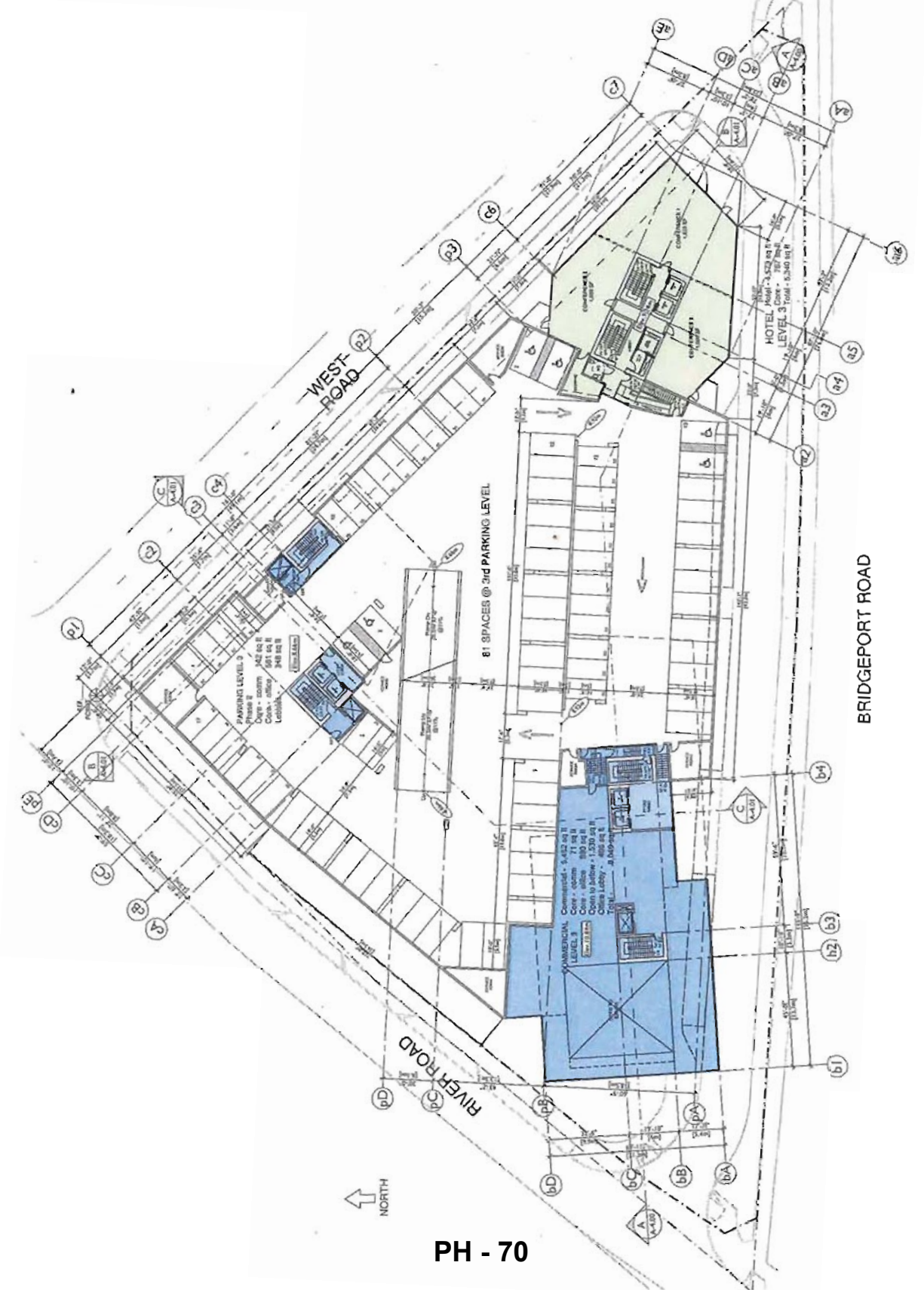
REVISIONS




NO.	DATE	DESCRIPTION




9451 BRIDGEPORT ROAD
 RICHMOND, BC
 FOR MYTIE LTD
 LEVEL 3

DATE: 11/15/11
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SCALE: 1/8" = 1'-0"
 PROJECT NO: 1145

A-2.03



LEGEND	
	HOTEL
	COMMERCIAL
	OFFICE

PARKING (TAI 523)	
	DISABLING ACCESSIBLE
	STANDARD
	ELECTRIC VEHICLE CHARGING

REVISIONS

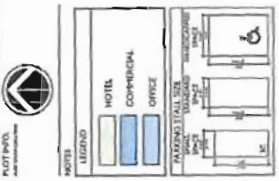
NO.	DATE	DESCRIPTION
1	11/15/23	ISSUED FOR PERMITTING

8451 BRIDGEPORT ROAD
 RICHMOND, BC
 FOR FTYLE LTD
LEVEL-4

DATE: 11/15/23
 DRAWN BY: J.P.
 CHECKED BY: J.P.
 PROJECT NO: 1145

A-2.04





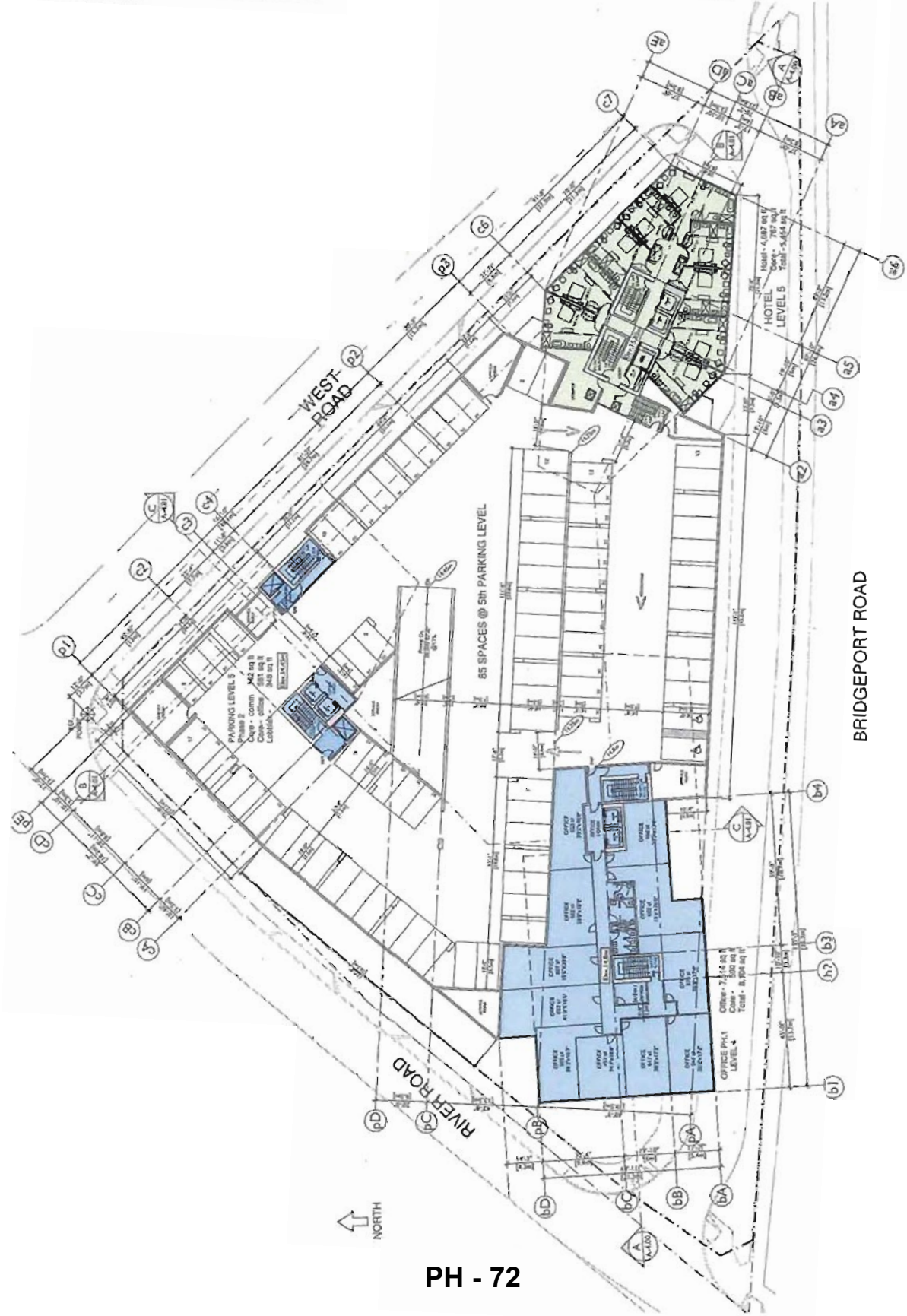
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 1. ALL DIMENSIONS ARE IN METERS
 2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE
 3. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE

8451 BRIDGEPORT ROAD
 RICHMOND, BC

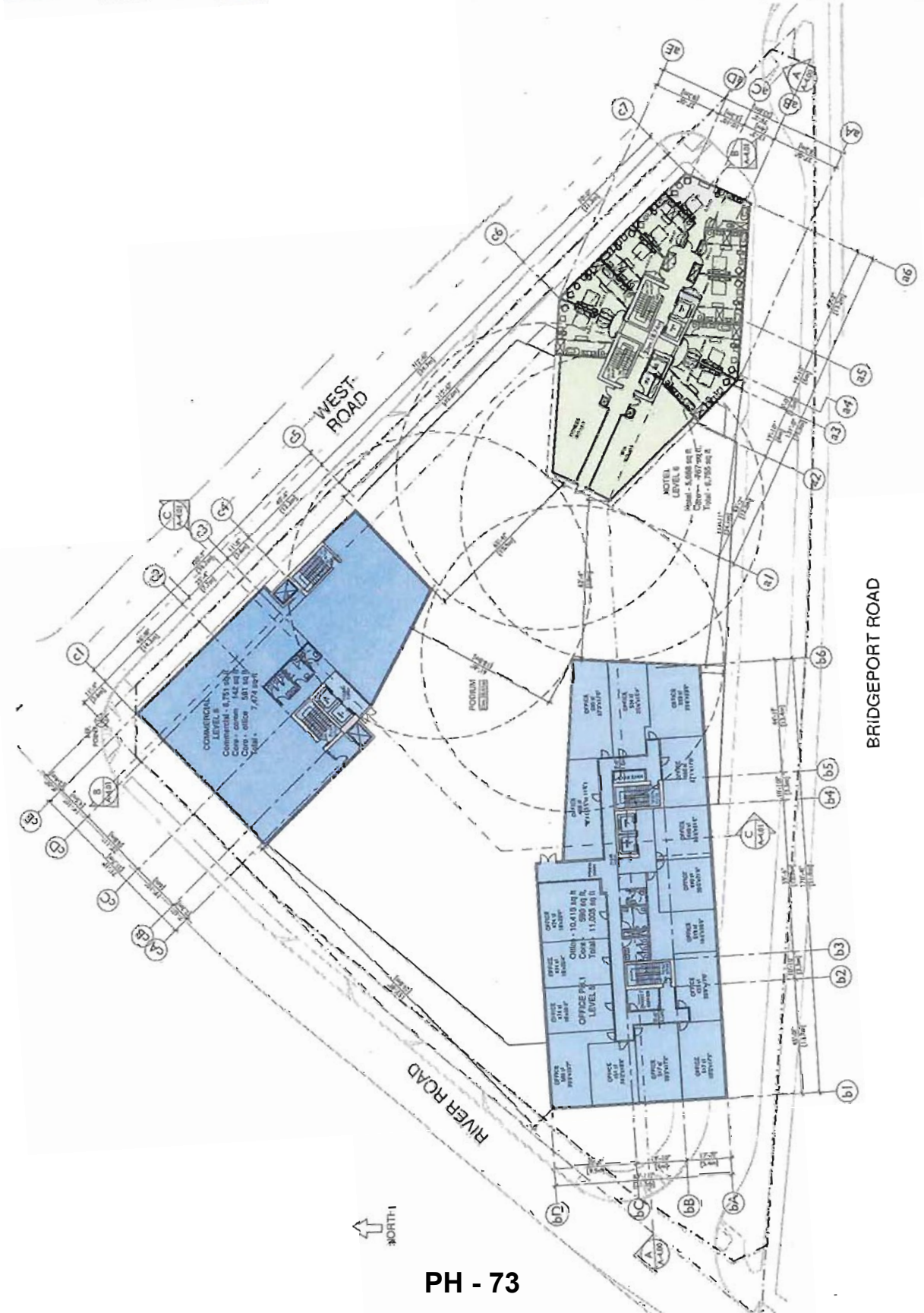
FOR PTYIE LTD
 LEVEL 5

DATE: 11/14/15
 DRAWN BY: J. B. BROWN

A-2.05



PH - 72



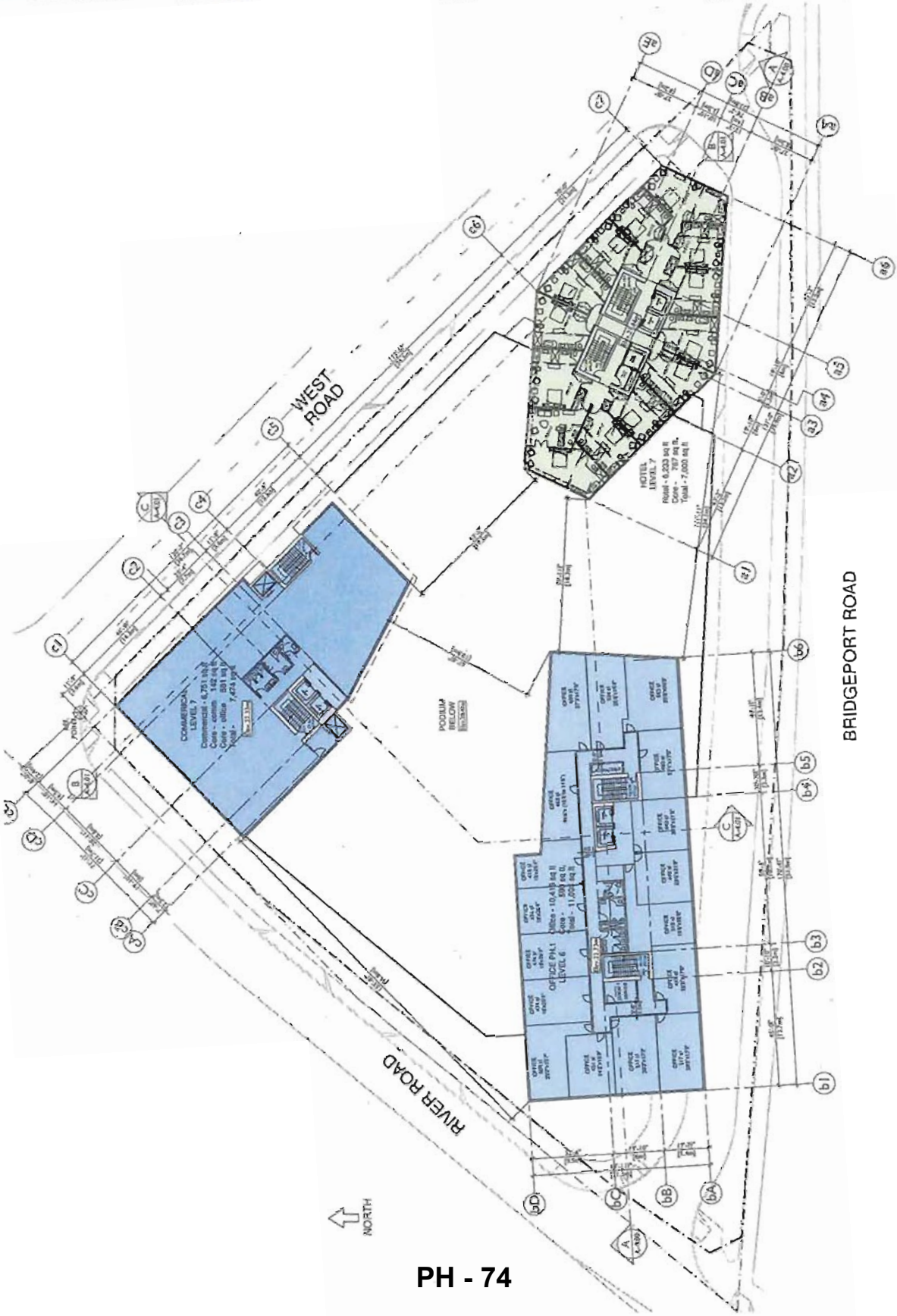


LEGEND

[Light Blue Box]	HOTEL
[Medium Blue Box]	COMMERCE
[Dark Blue Box]	OFFICE



PH - 74



8451 BRIDGEPORT ROAD
 RICHMOND, BC

FOR MYLE LTD
 LEVEL 7

DATE: 11/14/18
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SCALE: 1/4" = 1'-0"
 PROJECT NO: 1146

A-2.07



1000 UNIVERSITY BLVD.
 SUITE 1000
 RICHMOND, BC V6X 1A6
 TEL: 604-273-8888
 FAX: 604-273-8889
 WWW.GBL.COM

NOTES

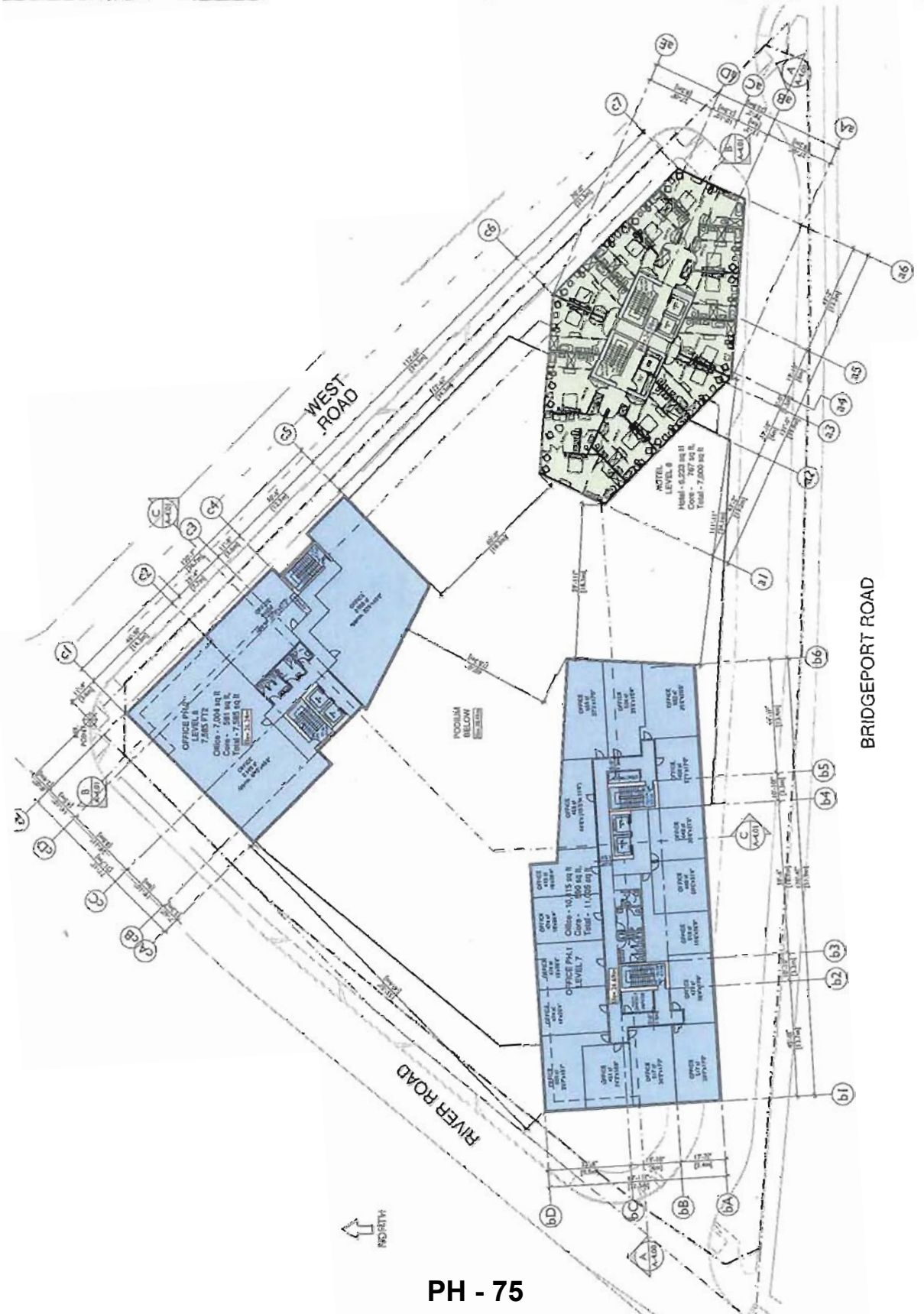
LEGEND	HOTEL
	COMMERCIAL
	OFFICE

APPROVED FOR CONSTRUCTION
 DATE: 11/15/11
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO: 1145

8451 BRIDGEPORT ROAD
 RICHMOND, BC
 FORN MYHE LTDS
 LEVEL 8

DATE: 11/15/11
 PROJECT NO: 1145
 DRAWING NO: A-2.08

A-2.08



PH - 75



LEGEND

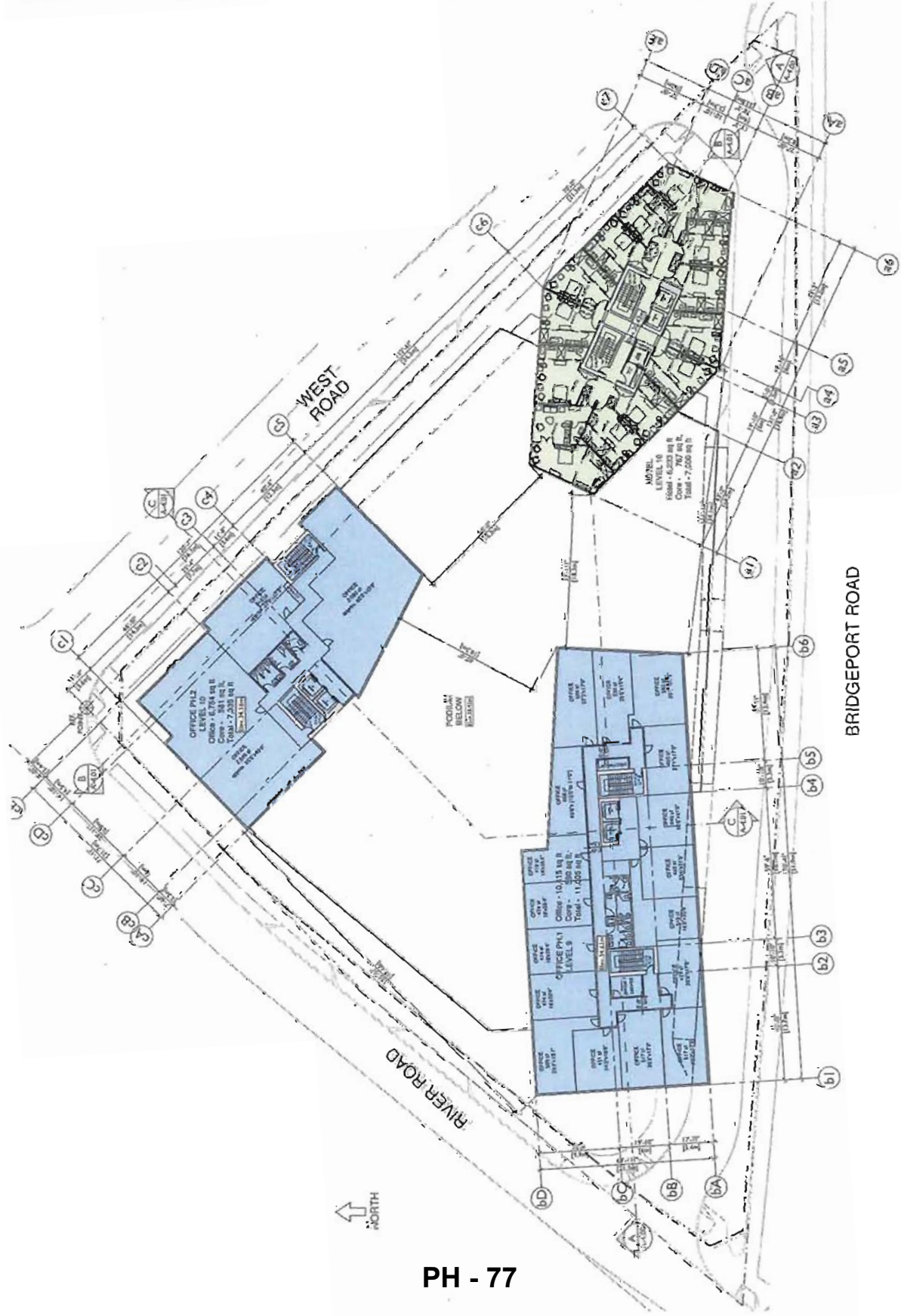
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[Medium Blue Box]	COMMERCIAL
[Dark Blue Box]	OFFICE

NOTES

1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.
4. ALL DIMENSIONS ARE TO EXTERIOR UNLESS OTHERWISE SPECIFIED.
5. ALL DIMENSIONS ARE TO INTERIOR UNLESS OTHERWISE SPECIFIED.
6. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.
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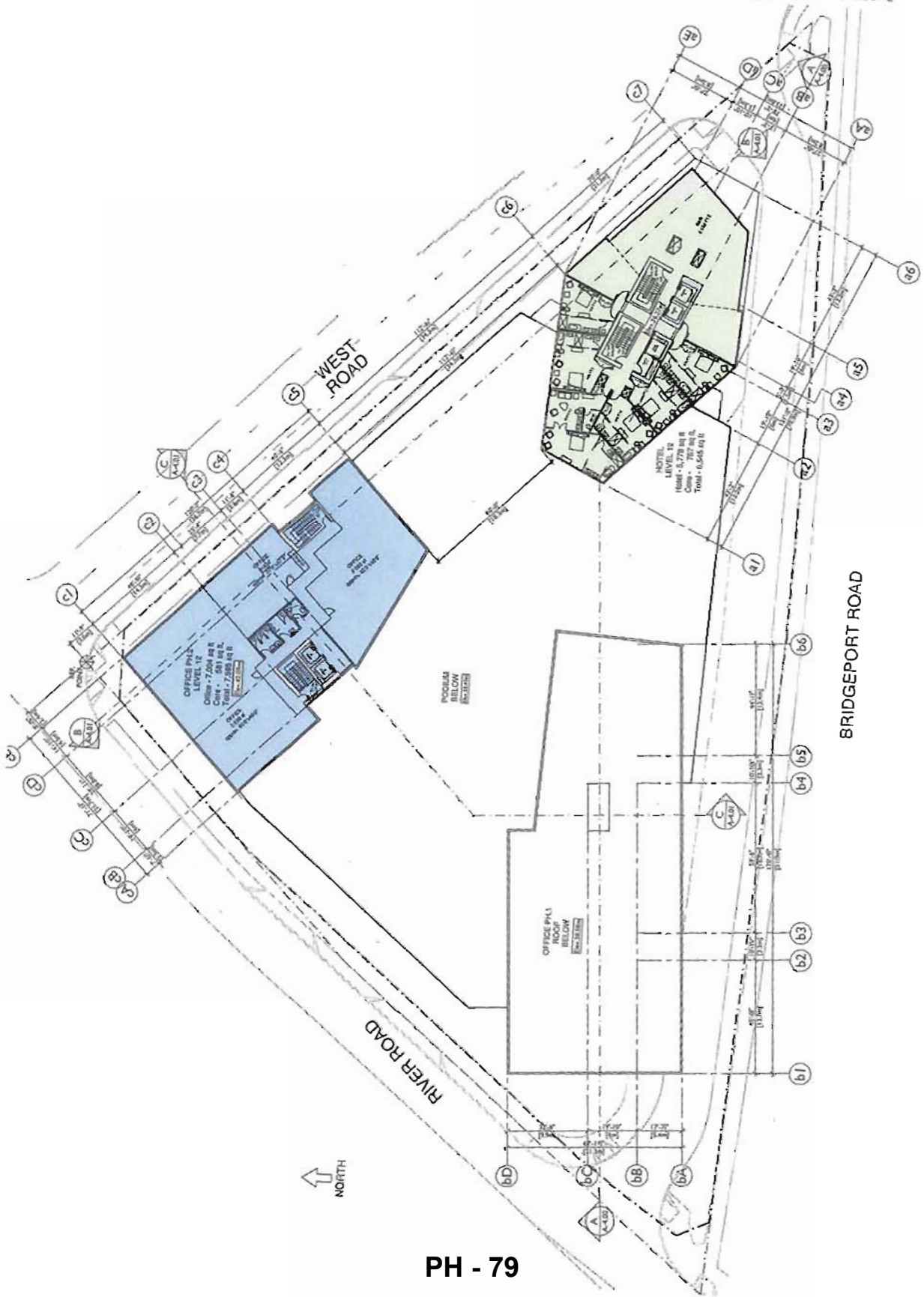
8451 BRIDGEPORT ROAD
RICHMOND, BC
FOR MYLE LTD.
LEVEL 10

DATE: 11/14/10
SCALE: 1:145
PROJECT: A-2.10





LEGEND	
[Light Blue Box]	HOTEL
[Medium Blue Box]	COMMERCIAL
[Dark Blue Box]	OFFICE



PROJECT: 8451 BRIDGEPORT ROAD
 RICHMOND, BC
 CLIENT: FOMI PVT LTD
 DATE: 11/15/11
 DRAWING NO: 1145

8451 BRIDGEPORT ROAD
 RICHMOND, BC
 FOMI PVT LTD
 LEVEL 12
 DATE: 11/15/11
 DRAWING NO: 1145

A-2.12

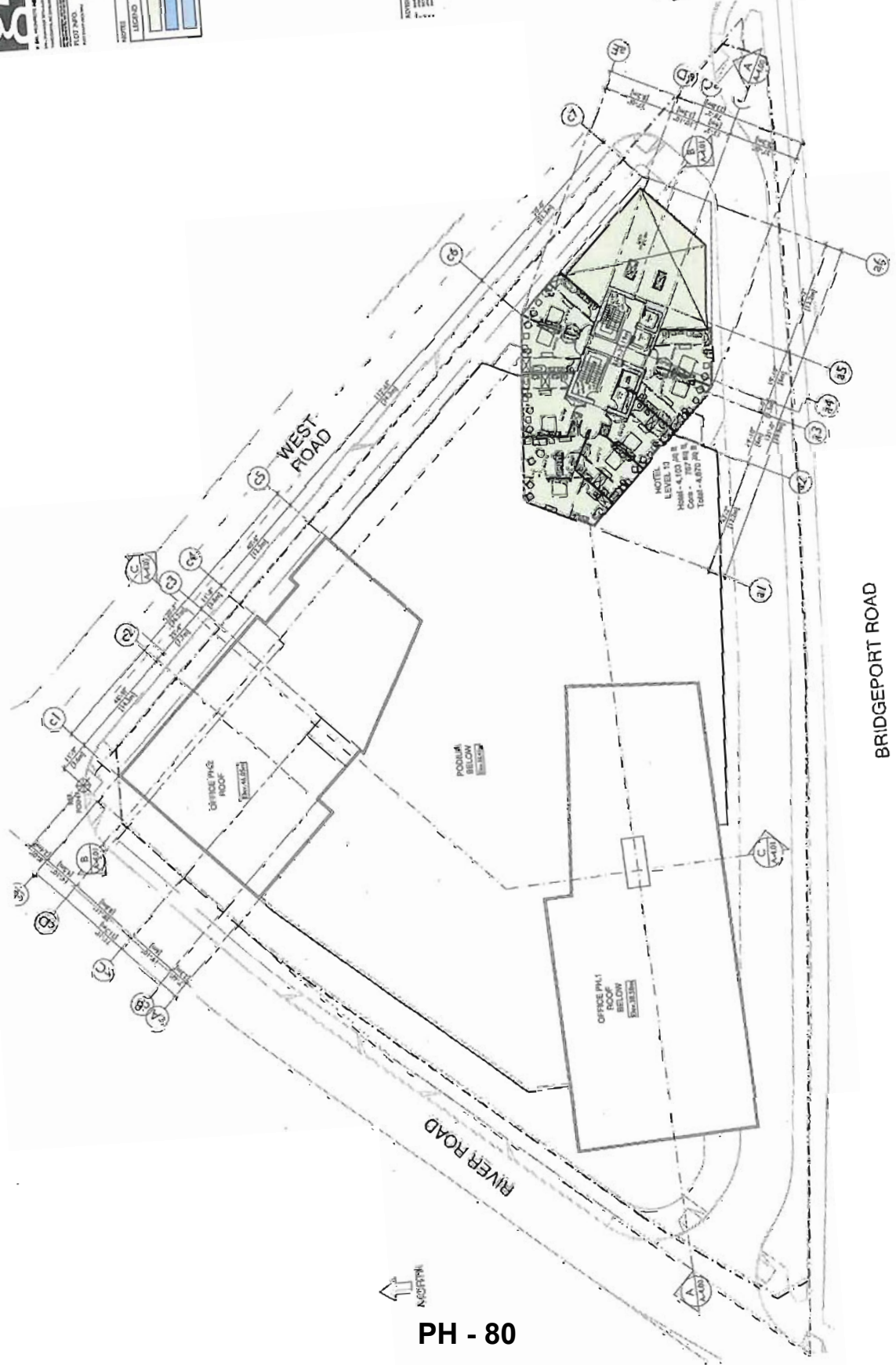


1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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 10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

LEGEND	
[Symbol]	HOTEL
[Symbol]	COMMERCIAL
[Symbol]	OFFICE



PH - 80



8451 BRIDGEPORT ROAD
 RICHMOND, BC
 PLANNING LEVEL 13
 LEVEL 13

PROJECT NO. 1145
 DATE 11/15

A-2.13



LEGEND

[Green Box]	HOTEL
[Blue Box]	COMMERCIAL
[Light Blue Box]	OFFICE

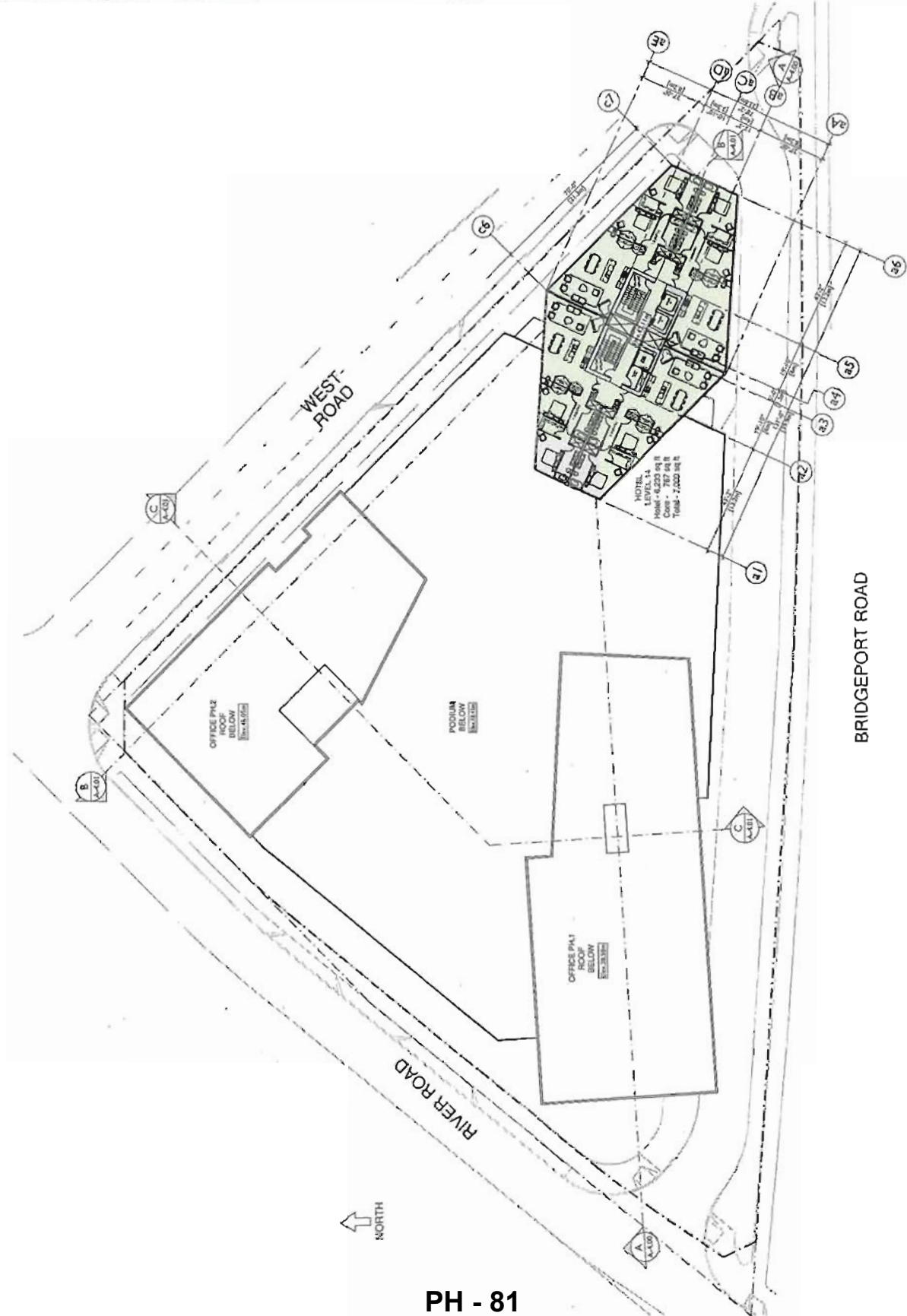
NOTES

1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
2. ALL WALLS ARE 200MM THICK UNLESS OTHERWISE SPECIFIED.
3. ALL FLOORS ARE 120MM THICK UNLESS OTHERWISE SPECIFIED.
4. ALL ROOFS ARE 120MM THICK UNLESS OTHERWISE SPECIFIED.
5. ALL CEILING ARE 120MM THICK UNLESS OTHERWISE SPECIFIED.
6. ALL DOORS ARE 2100MM HIGH UNLESS OTHERWISE SPECIFIED.
7. ALL WINDOWS ARE 2100MM HIGH UNLESS OTHERWISE SPECIFIED.
8. ALL STAIRS ARE 1200MM WIDE UNLESS OTHERWISE SPECIFIED.
9. ALL ELEVATIONS ARE TO FINISH UNLESS OTHERWISE SPECIFIED.
10. ALL FINISHES ARE TO BE DETERMINED BY THE ARCHITECT.

8451 BRIDGEPORT ROAD
 RICHMOND, BC
 FOR MYIE LTD
 LEVEL 14

DATE: 11/14/14
 CHECKED BY: [Signature]
 DRAWN BY: [Signature]
 PROJECT NO: 1145

A-2.14





NOTES	LEGEND
	HOTEL
	COMMERCIAL
	OFFICE

ADDITIONAL INFORMATION

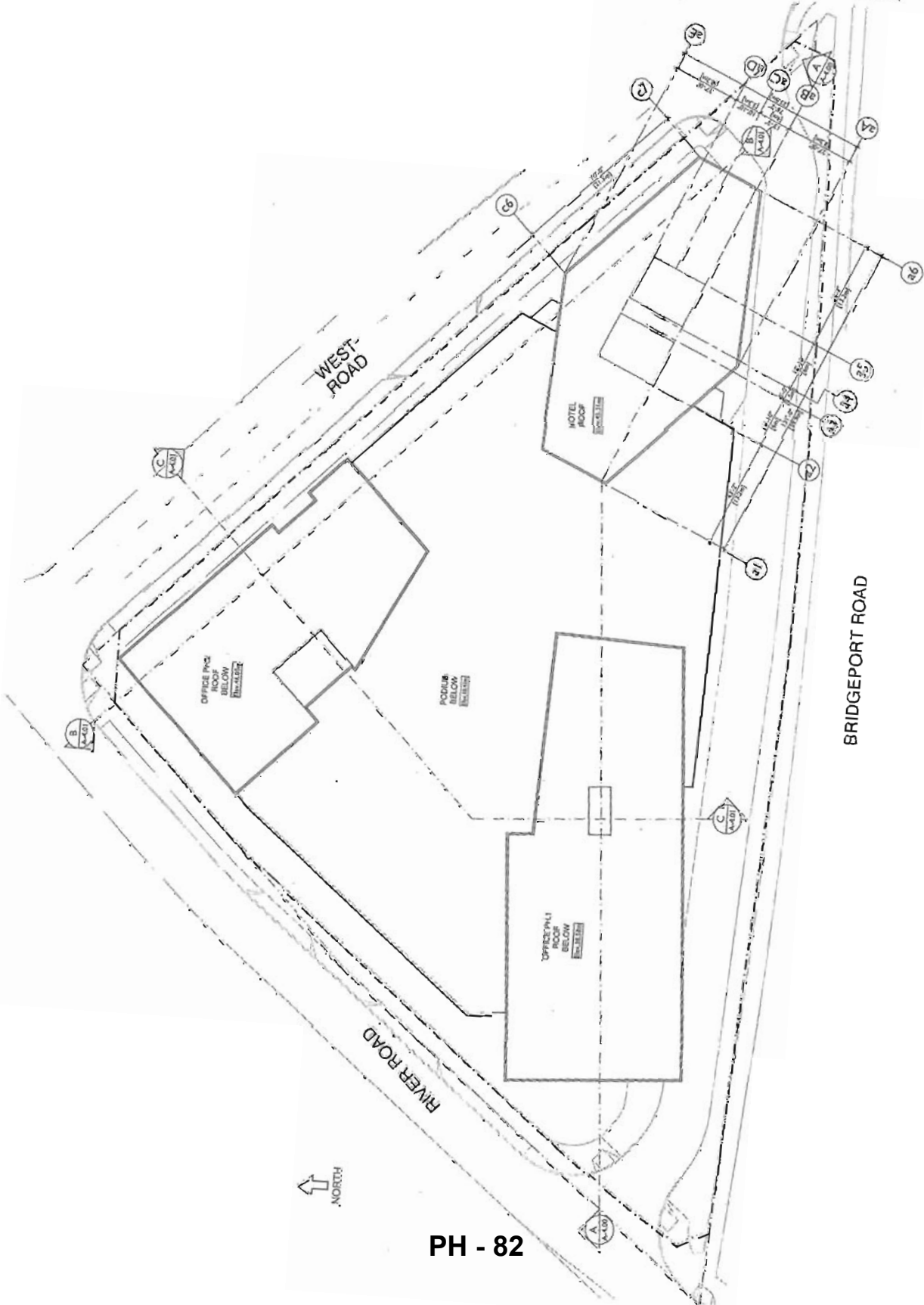
8451 BRIDGEPORT ROAD
RICHMOND, BC

FOR MYTE LTD

ROOF LEVEL

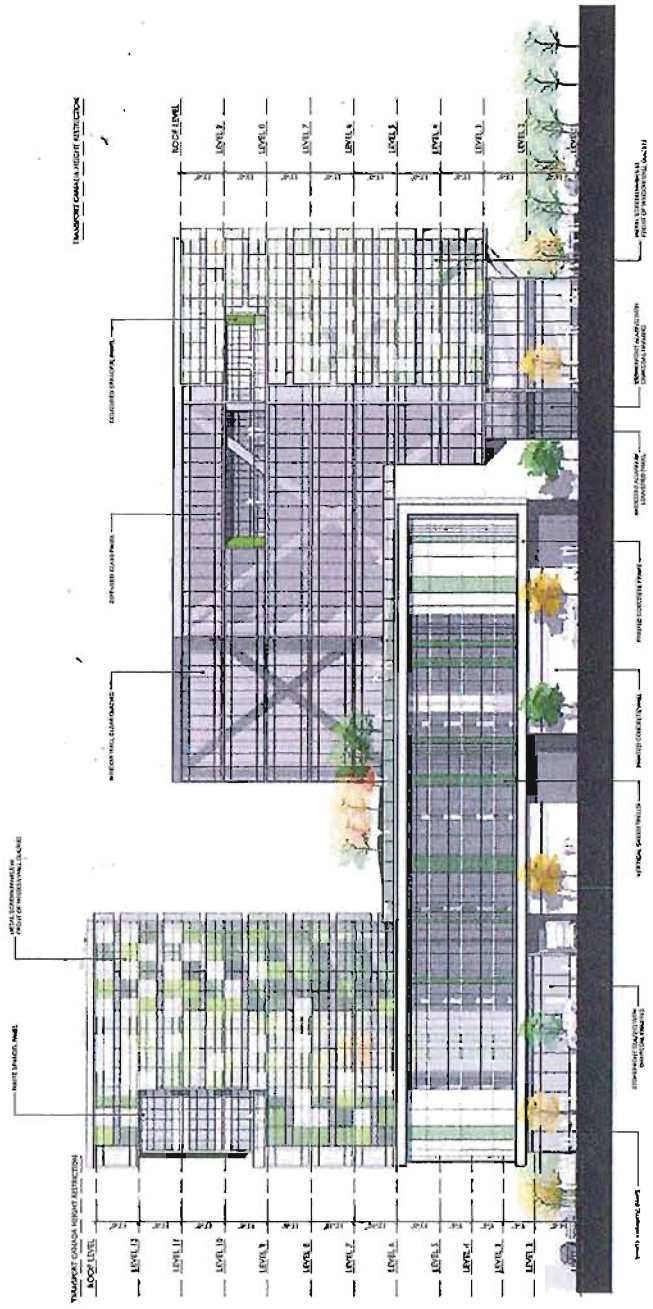
DATE: 11/15
DRAWN BY: [unintelligible]
CHECKED BY: [unintelligible]
SCALE: 1:145

A-2.15





BRIDGEPORT ROAD ELEVATION



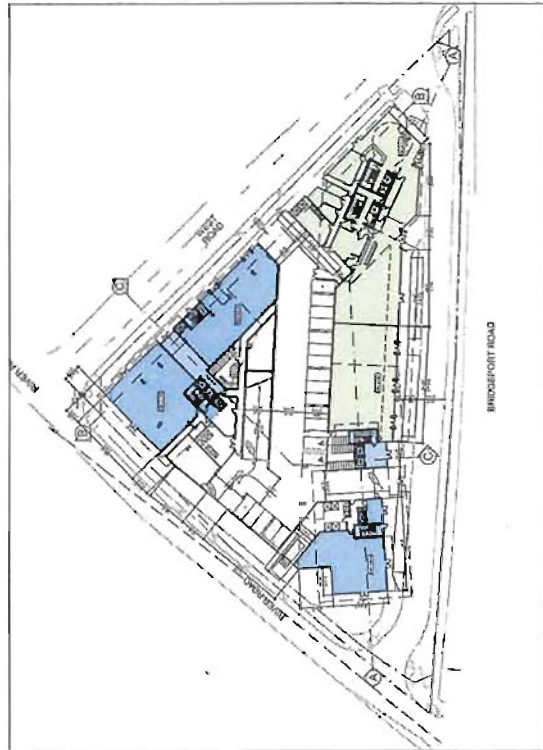
RIVER ROAD ELEVATION



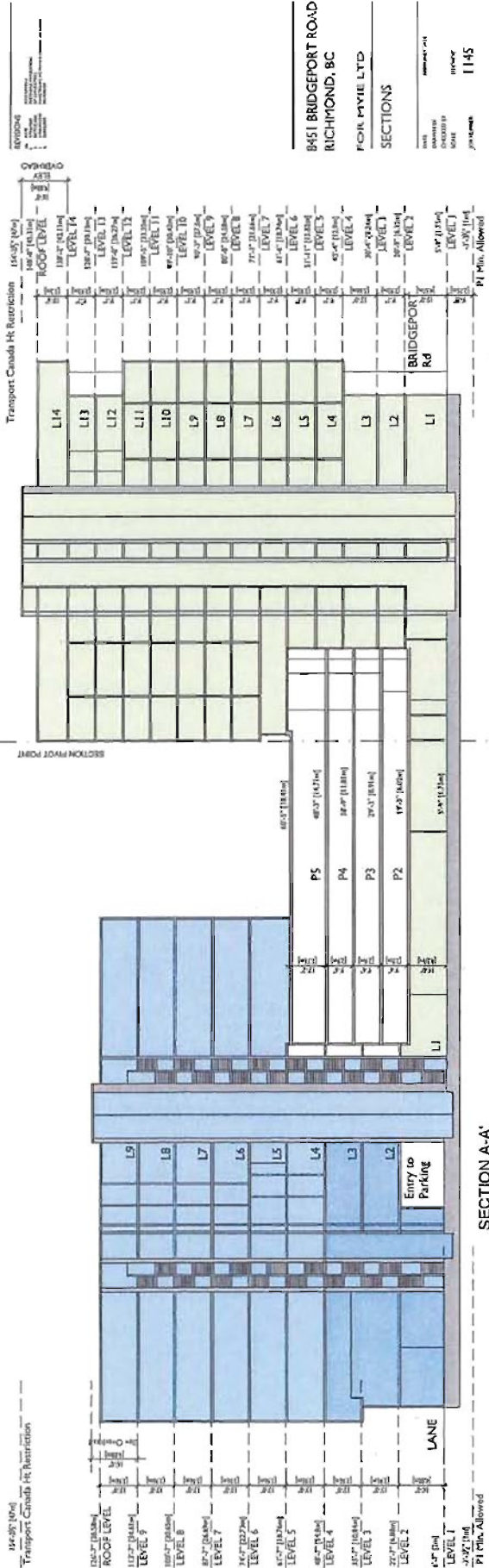
NOTES

LEGEND

[Symbol]	HOTEL
[Symbol]	COMMERCIAL
[Symbol]	OFFICE



KEY PLAN



8451 BRIDGEPORT ROAD
RICHMOND, BC

FOUR MYRIE LTD

SECTIONS

DATE: 11/15

PROJECT: 1145

A-4.00



VIEW SOUTH-WEST ALONG WEST ROAD



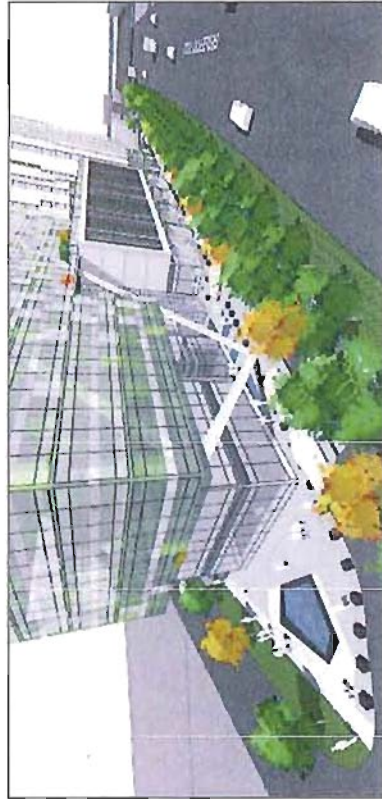
VIEW WEST ALONG HOTEL, ATILUM AND COMMERCIAL FRONTAGE



VIEW SOUTH WEST ALONG WEST ROAD



STREET VIEW LOOKING NORTH WEST



VIEW NORTH EAST OF THE COMMERCIAL BASE AND OFFICE COMPONENT

11100 West Road
 Bridgeport, Michigan 48108
 313.737.8844
 www.considereddesign.com

General Notes
 This drawing is an instrument of service, and shall be used only for the project and site specifically identified hereon. It is not to be used for any other project or site without the written consent of the engineer.

DO NOT SCALE FROM THIS DRAWING
 All measurements are to be taken from the centerline, unless otherwise noted.

DATE: 08.10.12
 BY: JPL/ML

REVISION
 C
 DATE: 08.10.12

PROJECT: 841 BRIDGEPORT FORD DEVELOPMENT
 SHEET: 100% BLOCK (NORTH WEDGE & WEST)
 DRAWING: GENERAL ARRANGEMENT
 SCALE: 1/8" = 1'-0"



Scale: 1/8" = 1'-0" METRIC
 Drawn: JPL
 Checked: JPL
 Reference: 2011.11.02
 Project: 841 BRIDGEPORT FORD DEVELOPMENT



PH - 90

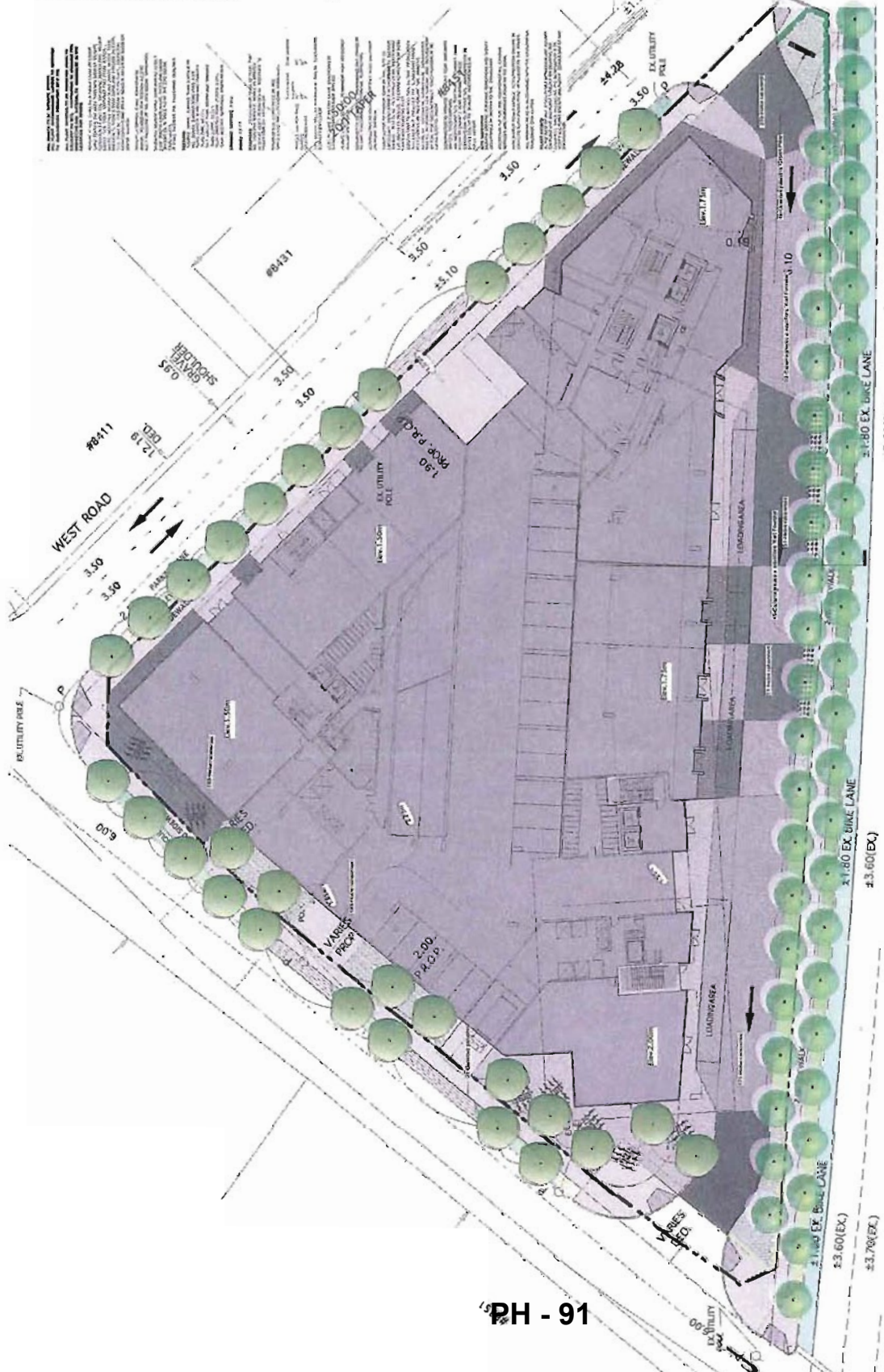
BRIDGEPORT ROAD

Site: 1170 S. 10th Street
 City: Phoenix, AZ 85006
 Client: MARY FERRELL FOUNDATION
 Project: EAST BRIDGEPORT ROAD DEVELOPMENT
 Drawing: L114
 Date: 08.10.13

PROJECT: EAST BRIDGEPORT ROAD DEVELOPMENT
 Legal: LOT 110, BLOCK 6 NORTH, PHASE 6 WEST, NEW WEST DISTRICT PLANNING
 Drawing: L114
 Date: 08.10.13

DATE: 08.10.13
 DRAWN BY: [Signature]

PROJECT: EAST BRIDGEPORT ROAD DEVELOPMENT
 Drawing: L114
 Date: 08.10.13

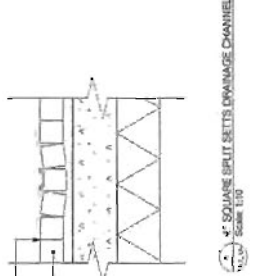


PLANT SCHEDULE - LEVEL 1

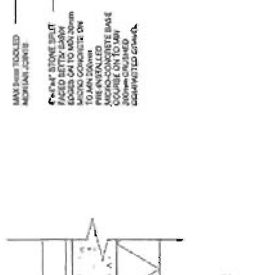
ID	Qty	Botanical Name	Common Name	Scheduled Size	Remarks
001	120	Quercus laevis	White Oak	10' DBH	Plant & Nursey
002	120	Quercus laevis	White Oak	10' DBH	Plant & Nursey
003	120	Quercus laevis	White Oak	10' DBH	Plant & Nursey
004	120	Quercus laevis	White Oak	10' DBH	Plant & Nursey
005	120	Quercus laevis	White Oak	10' DBH	Plant & Nursey
006	120	Quercus laevis	White Oak	10' DBH	Plant & Nursey
007	120	Quercus laevis	White Oak	10' DBH	Plant & Nursey
008	120	Quercus laevis	White Oak	10' DBH	Plant & Nursey
009	120	Quercus laevis	White Oak	10' DBH	Plant & Nursey
010	120	Quercus laevis	White Oak	10' DBH	Plant & Nursey

11000 W. 112th Street, Suite 100
 Overland Park, KS 66213
 913.241.4444
 www.considereddesign.com

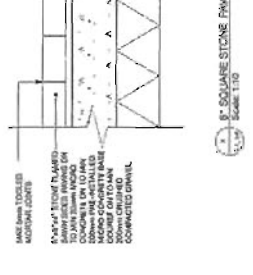
GENERAL NOTES:
 1. All dimensions are to be shown in feet and inches. Round up to the next whole number.
 2. All materials shall be of the highest quality available.
 3. All materials shall be tested and certified by a qualified testing agency.
 4. All materials shall be approved by the local authority having jurisdiction.
 5. All materials shall be installed in accordance with the manufacturer's instructions.
 6. All materials shall be installed in accordance with the applicable building code.
 7. All materials shall be installed in accordance with the applicable fire code.
 8. All materials shall be installed in accordance with the applicable safety code.
 9. All materials shall be installed in accordance with the applicable health code.
 10. All materials shall be installed in accordance with the applicable environmental code.
 11. All materials shall be installed in accordance with the applicable accessibility code.
 12. All materials shall be installed in accordance with the applicable sustainability code.
 13. All materials shall be installed in accordance with the applicable energy code.
 14. All materials shall be installed in accordance with the applicable water code.
 15. All materials shall be installed in accordance with the applicable waste code.
 16. All materials shall be installed in accordance with the applicable air quality code.
 17. All materials shall be installed in accordance with the applicable noise code.
 18. All materials shall be installed in accordance with the applicable vibration code.
 19. All materials shall be installed in accordance with the applicable electromagnetic interference code.
 20. All materials shall be installed in accordance with the applicable radio frequency interference code.



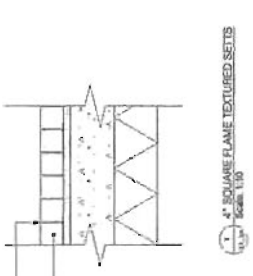
4" SQUARE SPLIT SETS DRAINAGE CHANNEL
 Scale 1/8" = 1'-0"



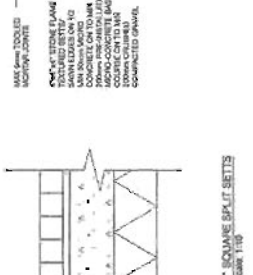
6" SQUARE STONE FACING
 Scale 1/8" = 1'-0"



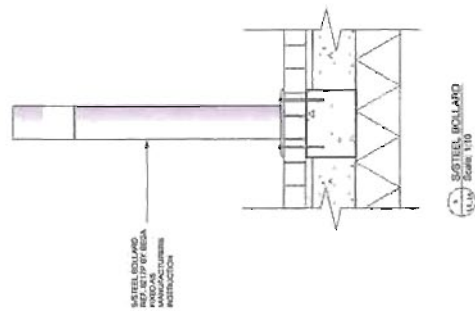
4" SQUARE FLANGE TEXTURED SETS
 Scale 1/8" = 1'-0"



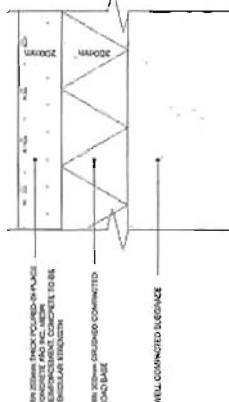
4" SQUARE SPLIT SETS
 Scale 1/8" = 1'-0"



4" SQUARE SPLIT SETS
 Scale 1/8" = 1'-0"



STEEL BOLLARD
 Scale 1/8" = 1'-0"



TYPICAL DETAIL SECTION THROUGH BOLLARD
 Scale 1/8" = 1'-0"

PH - 92

revision
 A
 date
 02.10.13

PROJECT
 801 BRIDGEPORT ROAD DEVELOPMENT
 LOCATION
 LOT 215, BLOCK EIGHTY, PHASE 6 WEST, NEW WEST DISTRICT PLAN 3890
 DRAWING
 LEVEL 1, TYPICAL DETAILS
 SHEET



SCALE
 AS SHOWN
 DRAWN
 JP
 CHECKED
 JF
 REVISIONS
 NONE
 DRAWN BY
 L1_L6

10700 W. 10th Ave.
 Suite 100
 Denver, CO 80202
 Tel: 303.755.8114
 Fax: 303.755.8115
 www.considereddesign.com

PROJECT NUMBER
 PH 193

PROJECT LOCATION
 10700 W. 10th Ave., Denver, CO

DATE
 08.12.15

BY
 [Signature]

IN CHARGE
 [Signature]

NO.	DATE	DESCRIPTION
1	08.12.15	ISSUED FOR PERMIT
2	09.01.15	REVISED
3	09.12.15	REVISED

GENERAL
 EAST BRIDGEPORT ROAD DEVELOPMENT

PH 193
 LOT 118 BLOCK 8 ACRES 8 WEST
 NEW WEST DISTRICT PULP MILL

SCHEMATIC
 LEVEL 1 - GENERAL ARRANGEMENT



SCALE
 1" = 200' METRIC

DATE
 08.12.15

BY
 [Signature]

IN CHARGE
 [Signature]

PROJECT NUMBER
 PH 193



PH 193

1 - GENERAL ARRANGEMENT

100 - 4702 Highway 101
 Burnaby, BC V5A 2M4
 604-471-9411
 www.considereddesign.com

GENERAL NOTES
 This drawing is an integral part of the contract documents for the project. It shall be read in conjunction with the other contract documents. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall be responsible for the accuracy of the information provided on this drawing. The contractor shall be responsible for the coordination of all trades. The contractor shall be responsible for the protection of all existing utilities and structures. The contractor shall be responsible for the safety of all workers and the public. The contractor shall be responsible for the cleanup of all construction debris. The contractor shall be responsible for the maintenance of all access roads and utilities. The contractor shall be responsible for the completion of all work within the specified time frame. The contractor shall be responsible for the payment of all bills and taxes. The contractor shall be responsible for the insurance of all workers and equipment. The contractor shall be responsible for the bonding of all workers and equipment. The contractor shall be responsible for the compliance with all applicable laws and regulations. The contractor shall be responsible for the communication with all stakeholders. The contractor shall be responsible for the documentation of all work. The contractor shall be responsible for the quality control of all work. The contractor shall be responsible for the safety of all workers and the public. The contractor shall be responsible for the cleanup of all construction debris. The contractor shall be responsible for the maintenance of all access roads and utilities. The contractor shall be responsible for the completion of all work within the specified time frame. The contractor shall be responsible for the payment of all bills and taxes. The contractor shall be responsible for the insurance of all workers and equipment. The contractor shall be responsible for the bonding of all workers and equipment. The contractor shall be responsible for the compliance with all applicable laws and regulations. The contractor shall be responsible for the communication with all stakeholders. The contractor shall be responsible for the documentation of all work. The contractor shall be responsible for the quality control of all work.

DATE 08.18.13
BY [Signature]

REVISIONS
 01 08.18.13

PROJECT EAST BRIDGEPORT ROAD DEVELOPMENT
CLIENT BUCK LUMBER, HARVEY & WHEEL
NO. WEST DISTRICT PLAN 2002

DRAWING LEVEL 5, PLANTING PLAN
DATE

SCALE 1:200 METRIC
DATE 08.18.13
BY [Signature]

DATE 08.18.13
BY [Signature]

DATE 08.18.13
BY [Signature]

DATE 08.18.13
BY [Signature]

DATE 08.18.13
BY [Signature]

DATE 08.18.13
BY [Signature]

PH - 94

PLANT SCHEDULE - LEVEL 5

ID	City	Botanical Name	Common Name	Schedular Status	Remarks
01	01	Calluna vulgaris	Calluna vulgaris	Calluna vulgaris	Calluna vulgaris
02	02	Calluna vulgaris	Calluna vulgaris	Calluna vulgaris	Calluna vulgaris
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100	100	Calluna vulgaris	Calluna vulgaris	Calluna vulgaris	Calluna vulgaris



1029 - 2770 49th Street
 North Vancouver, BC V7P 3K4
 604-273-4444
 www.considereddesign.com

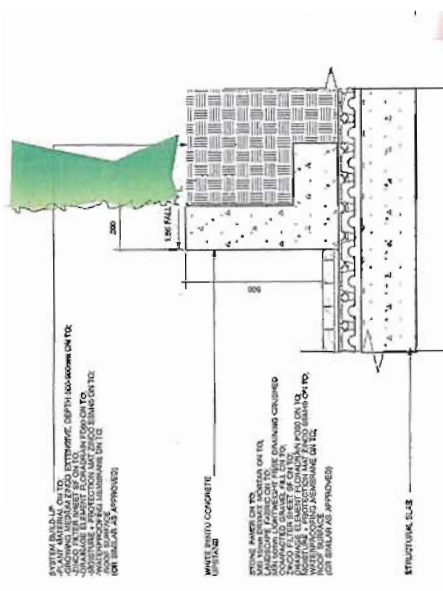
General notes:
 1. All dimensions are to be verified by the contractor. The Engineer is not responsible for any errors or omissions in the drawings. The contractor shall be responsible for any errors or omissions in the construction. The contractor shall be responsible for any errors or omissions in the construction.
 2. All dimensions are to be verified by the contractor. The Engineer is not responsible for any errors or omissions in the drawings. The contractor shall be responsible for any errors or omissions in the construction. The contractor shall be responsible for any errors or omissions in the construction.

REVISIONS

NO.	DATE	DESCRIPTION
1	08.10.13	ISSUED FOR PERMIT

PROJECT
 5450 BRIDLEPOUR ROAD DEVELOPMENT

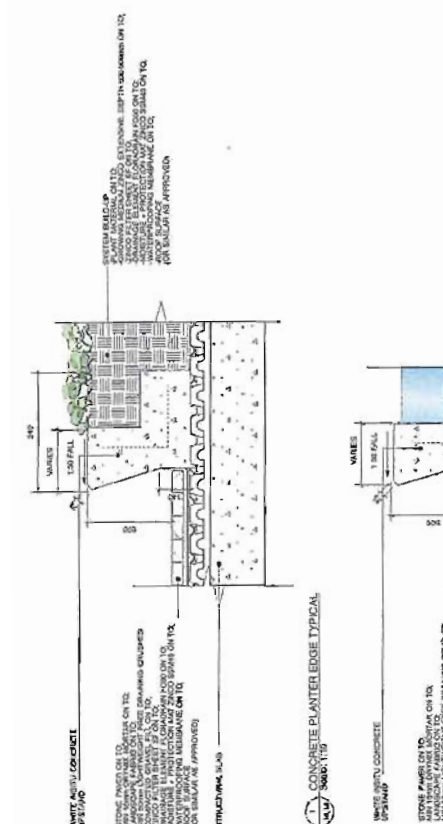
DATE
 08.10.13



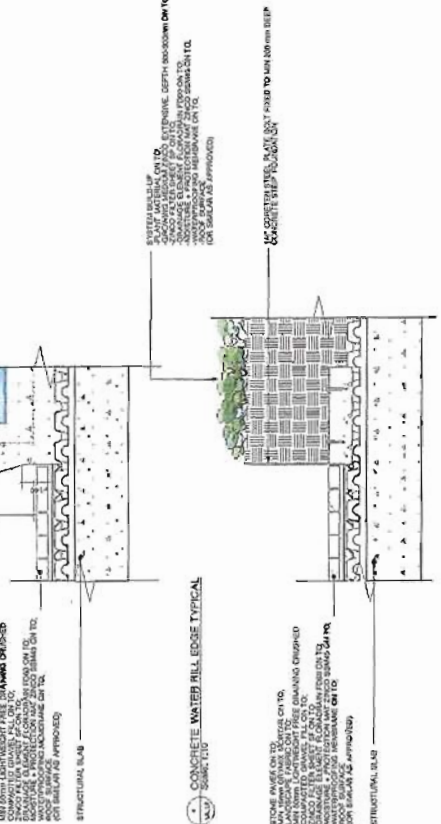
PLANTER EDGE TYPICAL
 SCALE: 1/8"



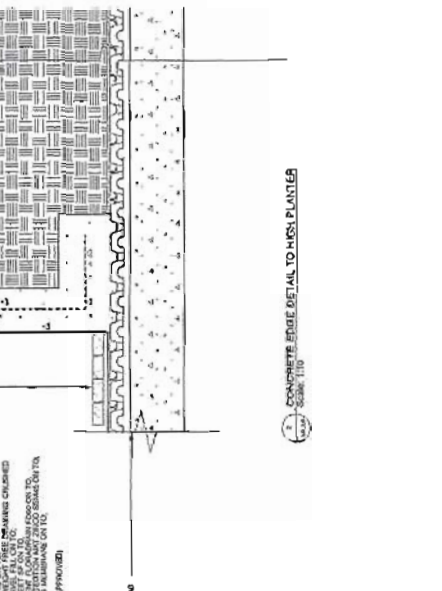
CONCRETE WATER TABLE TYPICAL
 SCALE: 1/8"



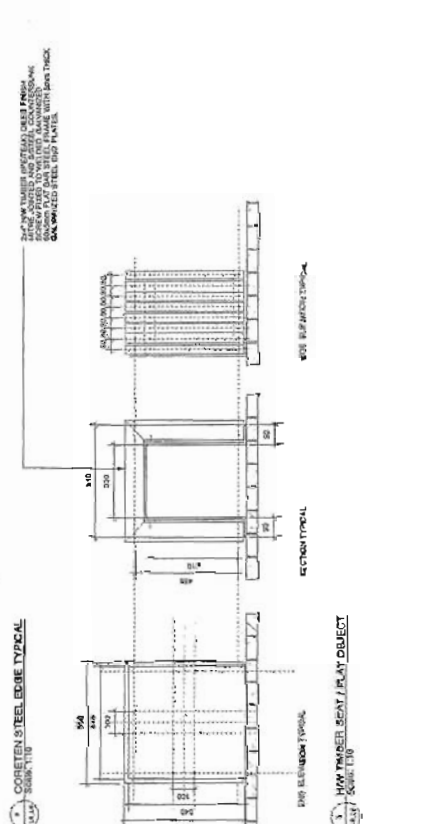
WHITE ASHTRAY CONCRETE
 SCALE: 1/8"



CONCRETE PLANTER EDGE TYPICAL
 SCALE: 1/8"



CORE STEEL EDGE TYPICAL
 SCALE: 1/8"



HOLLOW METAL STEEL PLATE EDGE TYPICAL
 SCALE: 1/8"



SCALE
 AS SHOWN

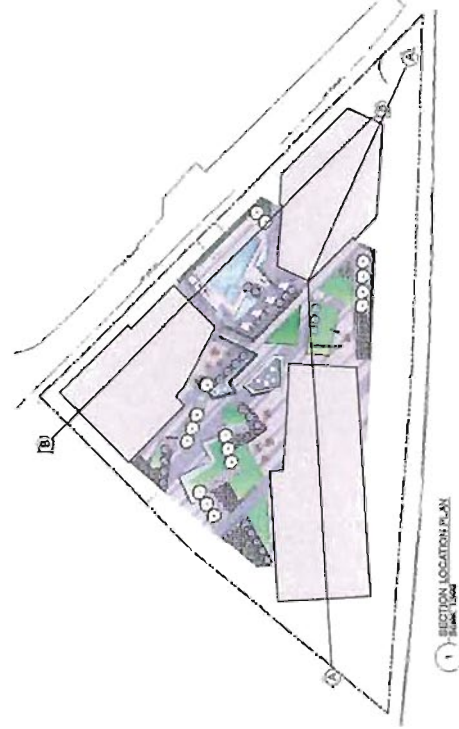
DATE
 08.10.13

PROJECT
 5450 BRIDLEPOUR ROAD DEVELOPMENT

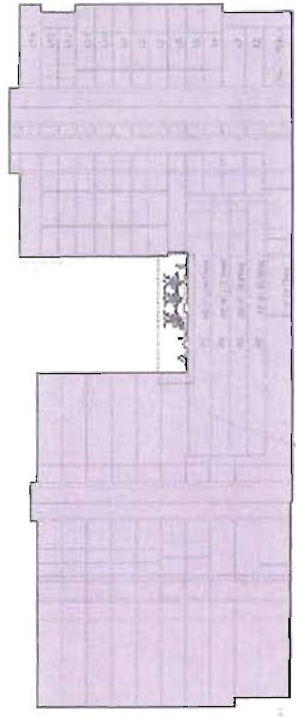
16_L6

1775 W. 10TH AVENUE
DENVER, CO 80202
303.733.8800
www.considereddesign.com

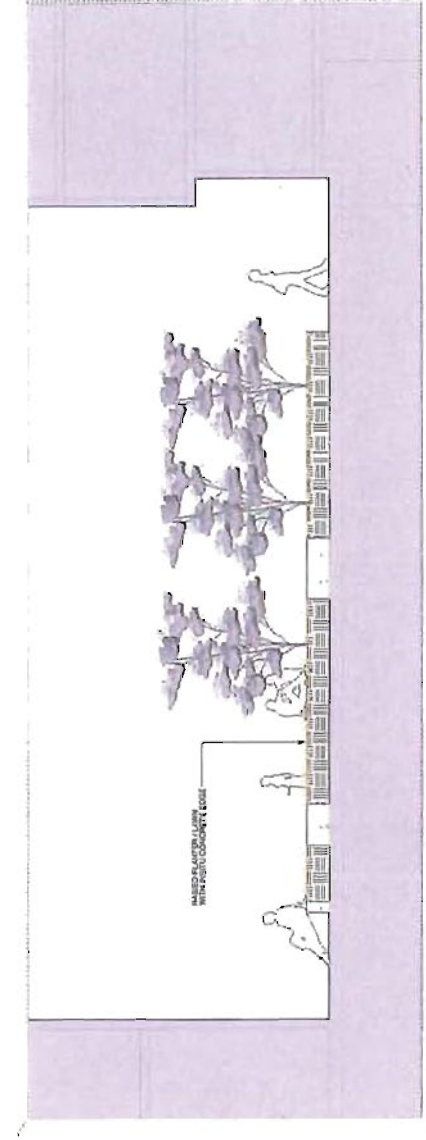
DATE: 08.16.17
BY: JPH



1 SECTION LOCATION PLAN



2 SECTION A-A'



3 SECTION A-A' DETAIL

PROJECT: 4415 BRIDGEPORT AVENUE DEVELOPMENT

TEAM: LOST AT THE BRICKS & MORTAR, RANGE 8 WEST, NEW WEST DISTRICT PLANNING

DATE: 08.16.17



DESIGNED BY: AD DICKSON
DRAWN BY: JPH
CHECKED BY: JPH
DATE: 08.16.17

L6_L7

604-270-8444 FAX
 1000 University Ave
 Suite 100
 Oakville, Ontario
 L7L 3G7 CANADA
 www.considereddesign.com

DESIGNED BY:
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DATE: 03.10.12
 03.16.13

PROJECT: 6911 BRIDGEPORTE ROAD DEVELOPMENT

LEGAL: LOT 110, BLOCK 5 NORTH RANGE 6 WEST, NEW WEST DISTRICT PLAN 20092

DRAWING: LEVEL 5, LANDSCAPE SECTIONS

TITLE:

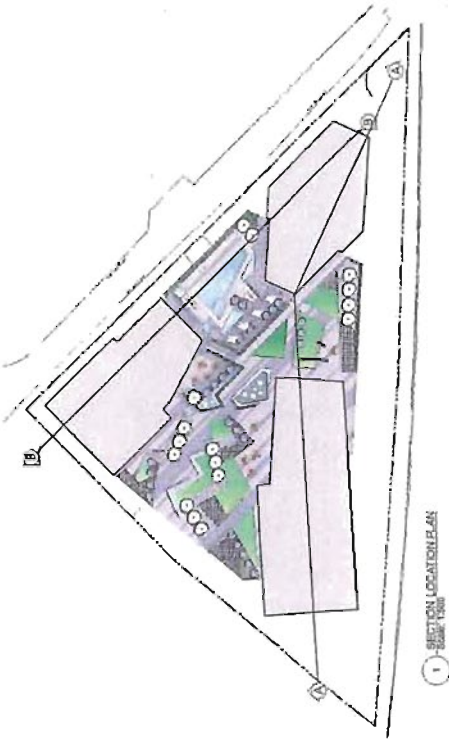
DATE:

DESIGNED BY: J.P.

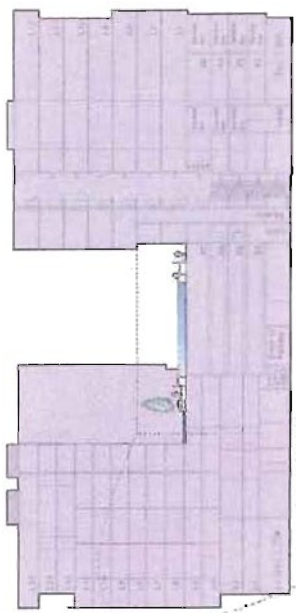
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REFERENCE: 2011.11.26

NUMBER: L6_L7.1

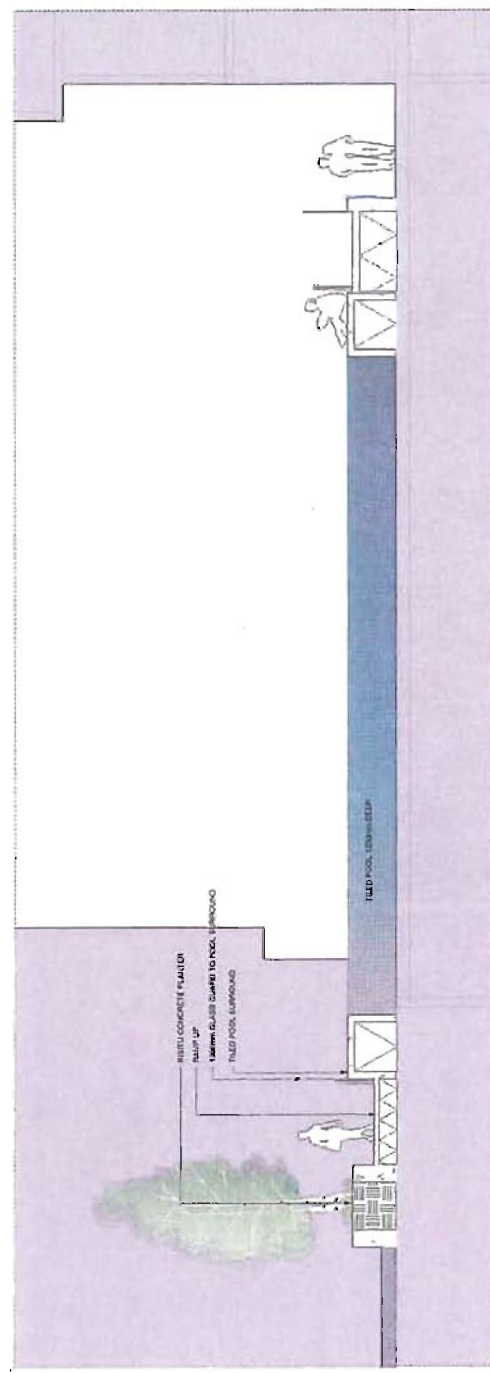


1 SECTION LOCATIONS PLAN



SECTION 'B-B'

2 SECTION 'B-C'



3 SECTION 'B-C' DETAIL



**Richmond Official Community Plan Bylaw 7100
Amendment Bylaw 9065 (RZ 12-605272)
8451 Bridgeport Road and Surplus City Road**

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Official Community Plan Bylaw 7100, Schedule 2.10 (City Centre Area Plan) is amended by:
 - a) Repealing the existing land use designation in the Generalized Land Use Map (2031) thereof for that area shown cross-hatched on “Schedule “A” attached to and forming part of Bylaw 9065”, and by designating it “Urban Centre T5”.
 - b) In the Generalized Land Use Map (2031) thereof, designating along the west and east property lines of 8451 Bridgeport Road “Proposed Streets”.
 - c) Repealing the existing land use designation in the Specific Land Use Map: Bridgeport Village (2031) thereof for that area shown cross-hatched on “Schedule “A” attached to and forming part of Bylaw 9065”, and by designating it “Urban Centre T5 (45m)”.
 - d) In the Specific Land Use Map: Bridgeport Village (2031) thereof, designating along the west and east property lines of 8451 Bridgeport Road “Proposed Streets”.
 - e) In the Specific Land Use Map: Bridgeport Village (2031) thereof, designating along the east property line of 8451 Bridgeport Road “Pedestrian-Oriented Retail Precincts-Secondary Retail Streets & Linkages”.
 - f) Making various text and graphic amendments to ensure consistency with the Generalized Land Use Map (2031) and Specific Land Use Map: Bridgeport Village (2031) as amended.

2. This Bylaw may be cited as "Richmond Official Community Plan Bylaw 7100, Amendment Bylaw 9065".

FIRST READING

PUBLIC HEARING

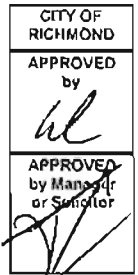
SECOND READING

THIRD READING

OTHER CONDITIONS SATISFIED

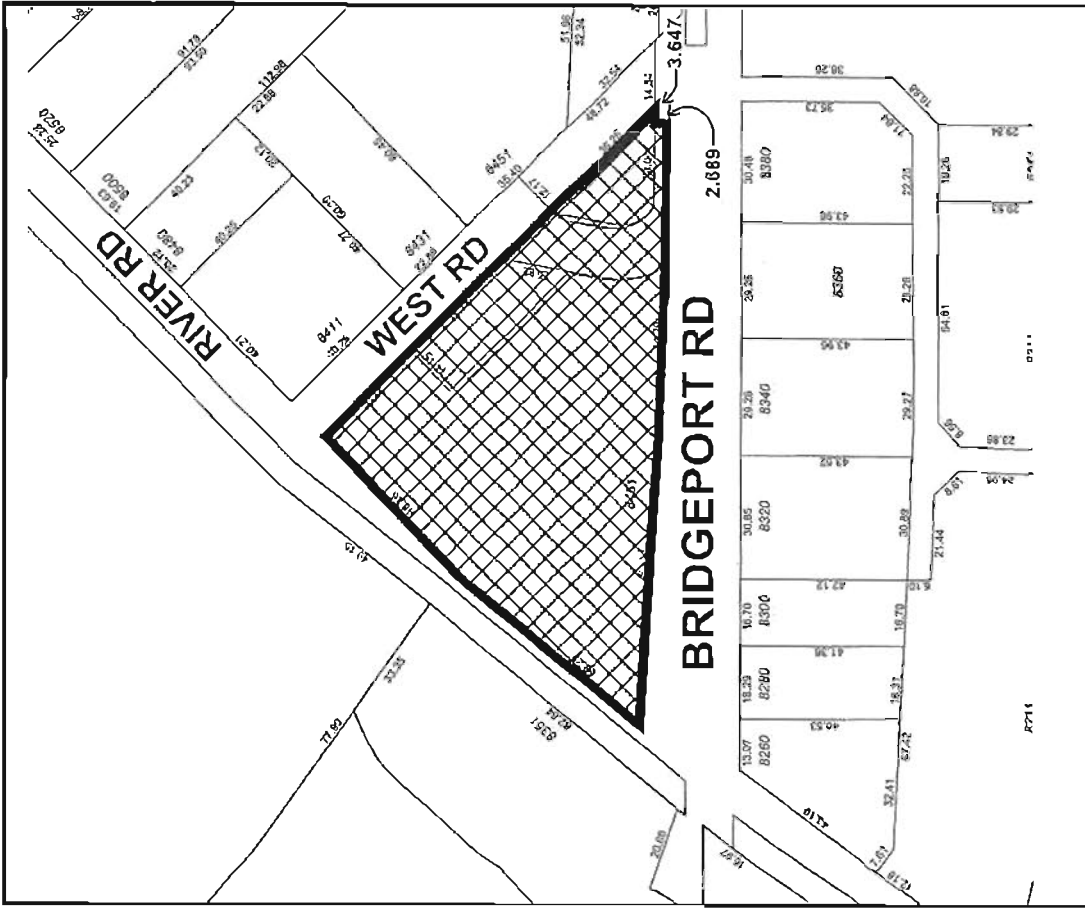
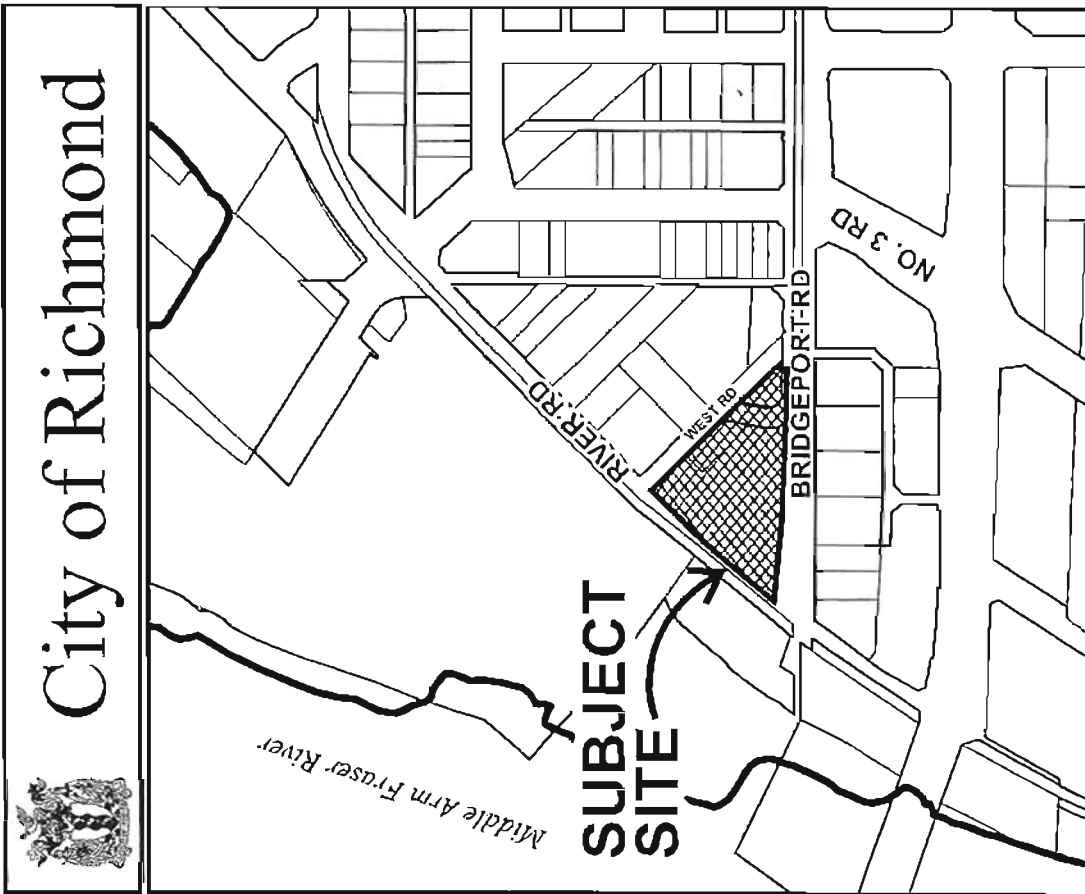
ADOPTED

NOV 12 2013



MAYOR

CORPORATE OFFICER



City of Richmond

Middle Arm Fraser River

SUBJECT SITE



RZ 12-605272

Original Date: 10/01/13

Revision Date:

Note: Dimensions are in METRES



**Richmond Zoning Bylaw 8500
Amendment Bylaw 9066 (RZ 12-605272)
8451 Bridgeport Road and Surplus City Road**

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Zoning Bylaw 8500, as amended, is further amended by inserting Section 22.33 thereof the following:

“22.33 High Rise Office Commercial (ZC33) – (City Centre)

22.33.1 Purpose

The zone provides for high-**density**, transit-supportive, non-residential, central **business district development** in an area affected by aircraft noise. The zone provides for an additional **density bonus** that would be used for rezoning applications in the Village Centre Bonus Area of the **City Centre** in order to achieve **City** objectives.

22.33.2 Permitted Uses

- hotel
- education, commercial
- entertainment, spectator
- government service
- health service, minor
- library and exhibit
- liquor primary establishment
- manufacturing, custom indoor
- neighbourhood public house
- office
- parking, non-accessory
- private club
- recreation, indoor
- recycling depot
- religious assembly
- restaurant
- retail, convenience
- retail, general

- retail, secondhand
- service, business support
- service, financial
- service, household repair
- service, personal
- studio
- veterinary service

22.33.3 Secondary Uses

- n/a

22.33.4 Permitted Density

1. The maximum **floor area ratio** of the site is 2.0.
2. Notwithstanding Section 22.33.4.1, the reference to a maximum **floor area ratio** of "2.0" is increased to a higher **density** of "3.0" provided that the lot is located in the Village Centre Bonus Area designated by the City Centre Area Plan and the owner uses the additional 1.0 **density bonus floor area ratio** only for **office** purposes.
3. There is no maximum **floor area ratio** for **non-accessory parking** as a principal use.

22.33.5 Permitted Lot Coverage

1. The maximum lot coverage is 90% for **buildings** and **landscaped roofs over parking spaces**.

22.33.6 Yards & Setbacks

1. The minimum **setback** of a **building** to a public road is 1.7 m for the **first storey** of a **building**, and 0.1 m for all other **storeys** of a **building**.

22.33.7 Permitted Heights

1. The maximum **height** for **buildings** is 47.0 m geodetic.
2. The maximum **height** for **accessory structures** is 12.0 m.

22.33.8 Landscaping & Screening

1. **Landscaping** and **screening** shall be provided according to the provisions of Section 6.0.

22.33.9 On-site Parking and Loading

1. On-site **vehicle** and bicycle parking and loading shall be provided according to the standards set out in Section 7.0.

22.33.10 Other Regulations

1. Signage must comply with the City of Richmond's *Sign Bylaw No. 5560*, as it applies to **development** in the Downtown Commercial (CDT1) zone.
2. In addition to the regulations listed above, the General Development Regulations in Section 4.0 and the Specific Use Regulations in Section 5.0 apply."
2. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, is amended by repealing the existing zoning designation of the following area and by designating it "**HIGH RISE OFFICE COMMERCIAL (ZC33) – (CITY CENTRE)**".

That area shown cross-hatched on "Schedule "A" attached to and forming part of Bylaw No. 9066"
3. This Bylaw may be cited as "**Richmond Zoning Bylaw 8500, Amendment Bylaw 9066**".

FIRST READING

A PUBLIC HEARING WAS HELD ON

SECOND READING

THIRD READING

OTHER CONDITIONS SATISFIED

MINISTRY OF TRANSPORTATION AND INFRASTRUCTURE APPROVAL

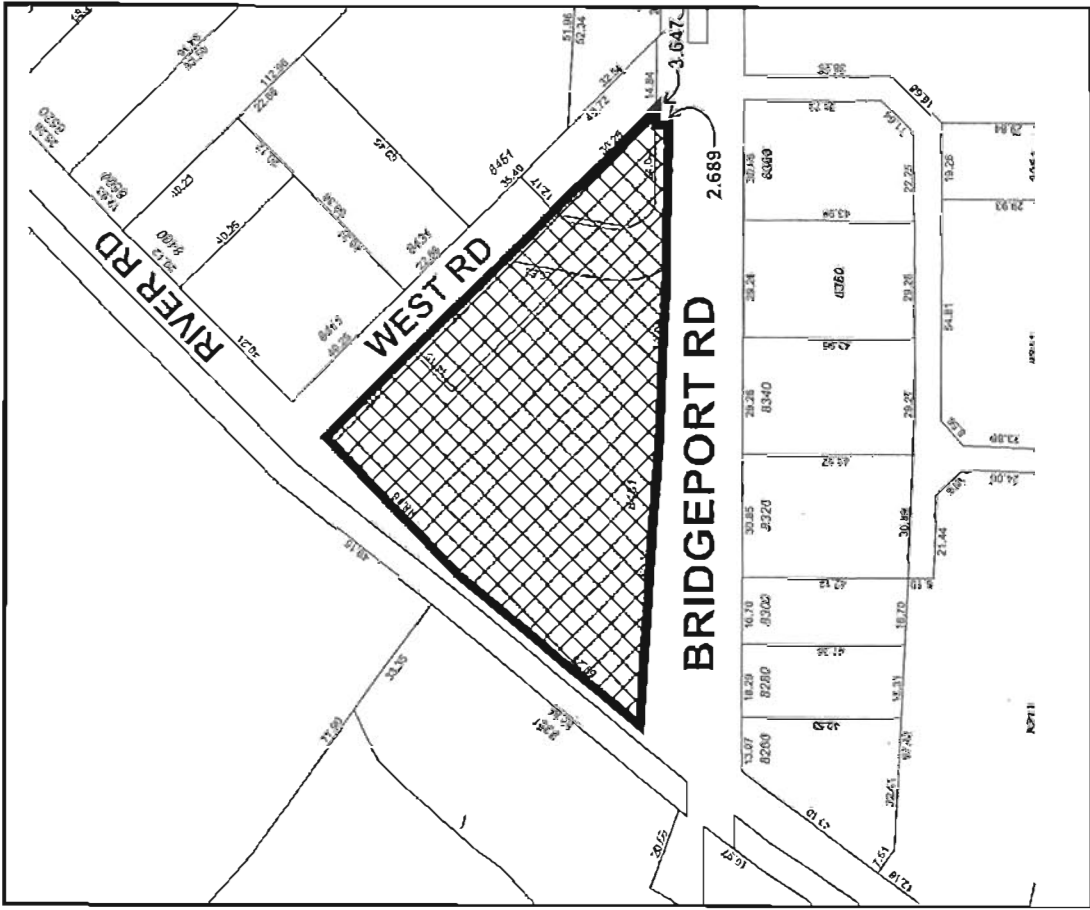
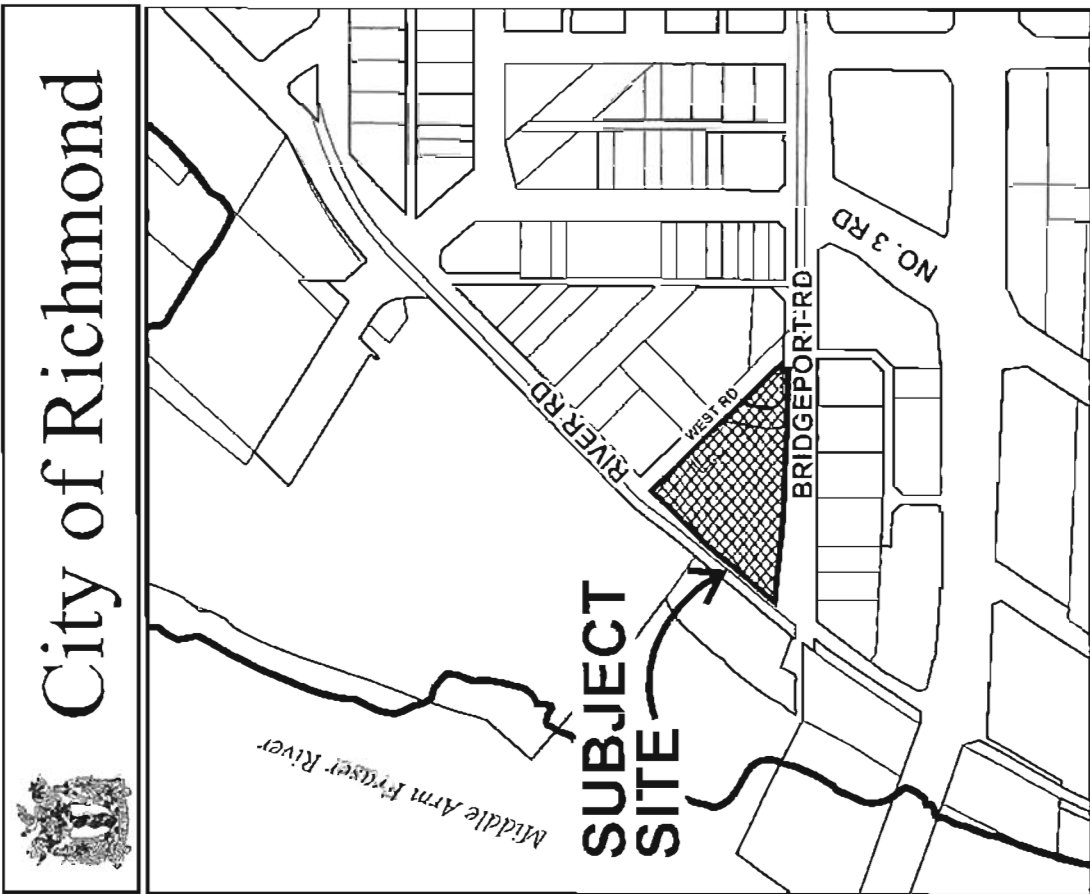
ADOPTED

NOV 12 2013

CITY OF RICHMOND
APPROVED by BK
APPROVED by Director of Solicitor

MAYOR

CORPORATE OFFICER



RZ 12-605272

Original Date: 10/01/13
 Revision Date:
 Note: Dimensions are in METRES