



**City of
Richmond**

Report to Development Permit Panel

To: Development Permit Panel

Date: January 20, 2015

From: Wayne Craig
Director of Development

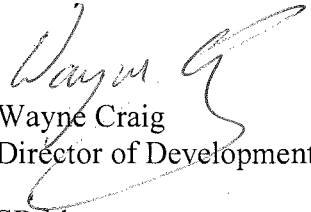
File: DP 12-624180

Re: **Application by GBL Architects Group Inc. for a Development Permit at
8451 Bridgeport Road**

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of a high rise commercial, hotel and office development at 8451 Bridgeport Road on a site zoned "High Rise Office Commercial (ZC33) – (City Centre)".


Wayne Craig
Director of Development
SB:blg

Staff Report

Origin

GBL Architects Group Inc. has applied to the City of Richmond for permission to develop a high rise commercial development at 8451 Bridgeport Road. The proposed uses include general retail, restaurant, hotel and office. The proposed FAR is 3.0 (19,882 m²) and the proposed building height is 47 m geodetic maximum. The proposed form of development includes three (3) towers of 9, 12, and 14-storey building height with a common five-storey podium. There would be approximately 100 hotel rooms.

The site is being rezoned from the “Light Industrial (IL)” zone to a new site specific zone, “High Rise Office Commercial (ZC33) – (City Centre)” for this project under Bylaw 9066 (RZ 12-605272). The bylaw received third reading on December 16, 2013.

All Engineering and Transportation requirements for the subject development were secured through the rezoning and the developer is responsible for the design and construction of off-site upgrades across the subject site’s three street frontages, including road and utility works.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant bylaw requirements.

Background

The subject site is situated in Bridgeport Village: an area designated for medium-density, mid and high-rise, business, entertainment, hospitality and arts uses under the City Centre Area Plan. The subject site is currently vacant. Development in the vicinity includes:

To the north, west and east: Across West Road, River Road and the future River Road extension, are vacant properties zoned “Light Industrial (IL)”, including 9.29 ha of land and approximately 6.0 ha of foreshore area that is currently under application for a large multi-phase development with retail, entertainment, office, hotel, conference centre and park uses, commonly known as “Duck Island” (RZ 12-598104).

To the east: Across West Road, is a two-storey industrial building zoned “Light Industrial (IL)”.

To the south: Across Bridgeport Road, are a number of properties under Land Use Contract 126, containing a vacant one-storey building, a one-storey restaurant building, a two-storey strata-titled office building, and a number of surface parking lots. A rezoning application is currently under staff consideration for a high-rise development on the lands between Bridgeport Road, No. 3 Road and Sea Island Way (RZ 13-628557).

Rezoning and Public Hearing Results

The Public Hearing for the rezoning bylaw for this site was held on December 16, 2013. Through the rezoning and at the Public Hearing, no concerns about rezoning the property were expressed.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the urban design issues and other staff comments identified through the review of the proposed Development Permit. The proposed Development Permit complies with the Official Community Plan (OCP) and City Centre Area Plan (CCAP) designations and policies.

Community amenity contributions and registered legal agreements were secured through the rezoning. No additional community amenities are being sought through the subject Development Permit application.

Advisory Design Panel Comments

The Advisory Design Panel considered the subject development on April 9, 2014, and voted in favour of it moving forward to the Development Permit Panel, subject to the applicant giving consideration to the Panel's comments. A copy of the relevant excerpt from the Advisory Design Panel Minutes is attached for reference (Attachment 2). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '*bold italics*'. Staff believe the applicant's revised design satisfactorily addresses the recommendations of the Panel.

Analysis

Proposal Description

The subject site is triangular, abutting Bridgeport Road, River Road and West Road. The proposed development includes a five-storey podium with a "tower" form at each vertex of the triangle. The podium includes street-fronting commercial uses at ground level along with parking and loading access and the tower entrances. There is parking in the other four levels of the podium. The podium is intersected by the three towers including a 14-storey eastern tower with hotel uses, a 9-storey western tower with office uses and a 12-storey northern tower with office uses. At the ground level, a secondary "service" road runs parallel to Bridgeport Road to provide access and drop off opportunities not available from Bridgeport Road (a provincial highway). The proposal addresses the CCAP Development Permit General Guidelines and Sub-Area Guidelines applicable to this site, generally as discussed in the following sections.

Conditions of Adjacency

- The proposed development is situated in a non-residential area of the City Centre and is anticipated to be surrounded by development with similar uses, scales and forms of development.
- Further, the proposed development is bounded by City streets on all three (3) sides, which reduces any potential for shadowing, overlook and outlook impacts on surrounding properties.
- The proposed location of towers on the subject site addresses the challenges of incorporating higher densities on a small, triangular property. Staff have assessed the surrounding development sites (particularly those under the current RZ applications), and all are considered large enough to offer the flexibility in tower siting necessary to meet the objectives of the tower spacing provision.

Public Realm

- In compliance with the CCAP, through the rezoning, the developer has agreed to provide for new road works including, among other things, the developer's contribution of land to widen West Road, extend River Road and improve and create two (2) new intersections along Bridgeport Road. Boulevard improvements, discussed below, further enhance the contributions to the public realm.
- The location of the proposed development on a heavily used provincial highway (Bridgeport Road) creates challenges for the design of the public realm, particularly in terms of providing the attractive pedestrian-activated environment envisioned by the CCAP.
- The proposed development addresses the CCAP objective on Bridgeport Road by: providing a substantial boulevard with a sidewalk and double row of trees along the street; creating a secondary private "service" road separated from Bridgeport by the boulevard; and by providing an enhanced alternate pedestrian route along the service road including building entries and restaurant and retail uses as well as articulated, patterned paving.
- The proposed development addresses the CCAP objectives along West Road by providing street-animating commercial uses, minimizing vehicular crossings and lining the boulevards with street trees.
- On River Road, where there is less ground level commercial frontage, plazas are provided at the corners and a double row of trees is provided to screen walls and enhance the pedestrian experience.
- The massing of the proposed development is intended to enhance the public realm with a well articulated, five- storey street wall around the perimeter of the site interspersed with higher building elements. This street wall helps to define the fronting streets spatially in a more urban manner whilst visually breaking up the overall development into a series of smaller, building forms.

Site and Functional Planning

- The design appropriately addresses the significant functional planning challenges of the site, including its triangular shape, small size, location on a highway and three street frontages. Parking and loading is accommodated onsite, upper level parking is screened, streetscapes are animated with commercial uses, vehicular access is provided to the longest frontages and "back of house" loading and waste management functions are accommodated.
- Loading bays are accessed directly from West and River Roads. To enhance pedestrian safety, deep outdoor aprons will improve visibility and view angles. To enhance pedestrian amenity, overhead doors will screen the loading from view.

Architectural Form and Character

The CCAP encourages development that will result in a mosaic of distinctive, yet cohesive, urban villages. The contemporary and unique style of the subject office and hotel development is consistent with this objective. The development is comprised of three (3) distinct “layers” that contribute to visual interest, pedestrian scale, and a distinct identity, as follows:

- **Base:** The ground floor of the towers and podium building, which contain street-fronting commercial units, tower lobbies, and hotel lobby, are strongly articulated with storefront glazing, projecting canopies and cantilevered upper floors, to make a strong visual statement around the perimeter of the site. The massing of the upper floors of the five-storey podium is broken down with a series of floating architectural “frames” surrounding decorative metal screening and vertical landscape strips that add texture to the facades and variations in colours and materials.
- **Hotel Tower:** The 14-storey hotel tower at the southeast corner of the site conveys a strong unique character facing south and west with a punched window expression and vertical lines created with white and charcoal coloured metal panels and terracotta panels enhancing recessed areas. Facing north and east, the hotel tower opens up with window wall glazing to take advantage of north light. The design contributes towards a highly textured and engaging streetscape experience.
- **Office Towers:** The development’s high-rise forms vary in design and building height, are relatively simple in massing, break up the street wall and provide for a more varied, interesting streetscape. The 12- storey north tower provides texture along River Road with curtain wall glazing behind horizontal aluminum louvers for the west elevation and animates West Road with curtain wall glazing for the north elevation and glazed stairwell facing West Road. The nine-storey west tower provides the same louver texture along both River Road and Bridgeport Road west and south elevations. As a result of cantilevered upper floors, the towers appear to “float”, white and diffused panels mark floor lines, and terracotta panels enhance recesses and add interest to both towers.

Landscape Design and Open Space Design

The development’s landscape has been designed to provide a high quality commercial, office and hotel environment. In addition to providing streetscape frontage improvements along all three (3) frontages, the development incorporates four (4) key landscape design elements as follows:

- **Private internal drive aisle:** The drive aisle, which is approximately 9 m wide and located along the south edge of the site, is intended as a privately-owned/publicly-accessible, hotel and commercial access, loading and servicing area and linkage between River Road and West Road. The design includes high quality split stone paving in contrasting sizes and colours, and stainless steel light bollards to provide a dedicated pedestrian route along the building frontage.
- **Podium Rooftop Outdoor Amenity Space:** The podium roof provides shared outdoor passive amenity area for all three (3) towers and a designated amenity area for the hotel tower, including a swimming pool. The outdoor amenity design includes flexible textured stone paver areas, oiled teak timber benches, shallow water features, and raised planters with concrete upstand walls and planted with columnar Aspen trees, and a variety of shrubs and lawn. Movable picnic tables with shade umbrellas and seating will also be provided.

- **Green Screen:** Vertical columns of 3-inch deep green screen is provided to support vine growth in front of the decorative screening “frames” around the perimeter of the five-storey podium building.
- **West Tower Green Roof:** The roof of the lower nine-storey west office tower contains a large central screened mechanical area surrounded with extensive green roof, which is proposed to be a tile system planted with drought and heat tolerant sedum plants. This treatment will, among other things, improve views down onto the roof, contribute towards mitigating the development’s urban heat island effect and air and storm water filtering.

Crime Prevention Through Environmental Design

The development incorporates CPTED strategies including, among other things:

- The development’s site planning and building design provide for passive surveillance of most of the fronting street areas.
- Lobbies are placed in prominent locations and have clear sightlines to fronting streets.
- The parking structure and lobbies are designed to minimize alcoves and hidden corners.
- The parking structure will be well-lit, its interior will be painted white.
- Elevator lobbies and vestibules will include glazing as per Building Code requirements.

Sustainability

The project’s sustainability goal is to provide a cost-effective, high-value development that meets or exceeds CCAP standards (i.e. LEED “Silver” equivalent), as per the attached LEED Checklist (Attachment 3). Highlights of the sustainability strategy include:

- A District Energy Utility (DEU) ready design providing for the hook-up of the three (3) towers to a City DEU utility when it comes available (as per legal agreements registered on Title).
- High efficiency building mechanical systems, lighting systems and passive design elements (e.g., punched wall expression with smaller window openings, horizontal louvers with curtain wall glazing, operable windows, 50% open screening for natural ventilation of parking levels).
- Reductions in the Heat Island Effect and the rate and quantity of storm water run-off through the use of vegetation on extensive green systems over at least 20% of the site.
- At least 50% reduction in potable water consumption for irrigation through appropriate plant selection and a high efficiency irrigation system including moisture sensors and pressure reducing spray heads.
- An emphasis on the recycling of construction waste, using regionally manufactured building materials with recycled content, and measures aimed at minimizing construction impacts on the surrounding environment.

Public Art

- The developer has agreed to participate in the City’s Public Art Program. A voluntary contribution of \$87,756 towards public art was secured through the rezoning. The developer intends to install public art onsite and has identified the framed screened areas on the upper floors of the podium as a potential opportunity for artistic design enhancement. Public Art details will be finalized through the City’s Public Art program process.

Conclusion

The proposed development is consistent with Richmond's objectives for the subject property and Bridgeport Village as set out in the City Centre Area Plan (CCAP), OCP and Zoning Bylaws. The project's distinctive form, pedestrian-oriented streetscapes, private open space, Public Art, and sustainable development measures (e.g., green roofs, LEED Silver), together with voluntary developer contributions secured at the project's rezoning stage (e.g. roads, City Centre arts and culture facilities funding), will enhance the establishment of Bridgeport Village as a business, entertainment, hospitality and arts area. On this basis, staff recommend support for the subject Development Permit application.



Sara Badyal
Planner 2
(604-276-4282)

SB:blg

Attachments:

Attachment 1: Development Data Sheet

Attachment 2: Advisory Design Panel Minutes Annotated Excerpt

Attachment 3: Sustainability Strategy

The following is to be met prior to forwarding this application to Council for approval:

- Receipt of a Letter-of-Credit for landscaping in the amount of \$ 2,304,234.38.

Prior to future Building Permit issuance, the developer is required to complete the following:

- Incorporation of features in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Division (<http://www.richmond.ca/services/ttp/special.htm>).
- If applicable, payment of latecomer agreement charges associated with eligible latecomer works.
- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Division at 604-276-4285.*



DP 12-624180

Attachment 1

Address: 8451 Bridgeport Road

Applicant: GBL Architects Group Inc.

Owner: International Trade Center Properties Ltd.
Incorp. #BC0909412

Planning Area(s): Bridgeport Village (City Centre)

	Existing	Proposed	
Site Area	6628.3 m ²	Same	
Land Uses	Vacant	Hotel, Office, Commercial	
OCP Designation	Commercial	Complies	
Area Plan Designation	Urban Centre T5 (45 m)	Complies	
Aircraft Noise Sensitive Development Policy	Area 1a Restricted Area	Complies	
Zoning	High Rise Office Commercial (ZC33) – (City Centre)	Complies	
Number of Units	Vacant	19,882 m ² development including: 7,593 m ² 100-room hotel 9,066 m ² office space 3,223 m ² commercial space	
	Bylaw Requirement	Proposed	Variance
Floor Area Ratio	Max. 3.0 including Village Centre bonus: Min. 1.0 office	3.0, including 1.37 office	None permitted
Lot Coverage	Max. 90%	50%	None
Setbacks: Bridgeport Rd	Min. 1.7 m at grade	Min. 9.1 m	None
West Rd	Min. 0.1 m above	Min. 5.8 m	
River Rd	Min. 1.7 m at grade	Min. 1.7 m	
	Min. 0.1 m above	Min. 0.1 m	
Height	Max. 47 m geodetic	Max. 47 m geodetic	None
Off-street Parking Spaces:			None
Hotel	115	139	
Office	122	122	
Commercial	73	73	
Total	310	334	
Accessible Parking Spaces	Min. 2% (7 spaces)	2% (7 spaces)	None
Small Car Parking Spaces	Max. 50% (167 spaces)	49.4% (165 spaces)	None
Bicycle Storage:			None
Class 1 (long term)	36	39	
Class 2 (short term)	52	52	
Loading Spaces:	May be shared, or separate:	Shared	None
Medium size (SU-9)	5	1	
Large size (WB-17)	4	4	

**Annotated excerpt from the Minutes from
The Advisory Design Panel Meeting**

Wednesday, April 9, 2014

(Design response inserted in '*bold italics*')

4. DP 12-624180 – MIXED USE, HIGH-DENSITY, 3-TOWER DEVELOPMENT IN BRIDGEPORT VILLAGE (HOTEL, OFFICE & RETAIL/RESTAURANT)
APPLICANT: GBL Architects Group Inc.
PROPERTY LOCATION: 8451 Bridgeport Road

Applicant's Presentation

Architects Amela Brudar and Andrew Emmerson, GBL Architects, and Landscape Architect Julian Pattison, Considered Design, Inc., presented the project and answered queries from the Panel on behalf of the applicant.

Panel Discussion

Comments from the Panel were as follows:

- The project is well done; a subtle piece of architecture; appreciate the fact that the planes are subtly changing along the street; like the box expression of the podium – *Noted.*
- Question the necessity of the V structure – *Design improved, V structure removed.*
- Consider pulling back the floor to float the tower – *Design improved, floating effect reinforced.*
- Design is good; like the concept of a combination of several volumes which fit well into the site; appreciate the different textures and accents; colours are powerful – *Noted.*
- Design of the project responds well to the triangle-shaped site – *Noted.*
- The V sign at the southeast corner of the site corresponds to the bigger V figure on the facade of Phase 1 office building – *Design improved, V structures removed.*
- The applicant is advised to discuss with staff and public art planner regarding the process of incorporating public art in the early stage of the development of the project – *Noted.*
- Support the idea of a service road parallel to Bridgeport Road; good public realm resolution along a busy street – *Noted.*
- Spacing between trees is maximized at six meters; soil volume may be inadequate; look at Vancouver Courthouse precedent; review technical details – *Technical details reviewed.*
- Series of forms at the podium level work well and complement the building architecture; understand the vertical definition of trees; consider further design development to increase the number of trees, increase canopy or tensile structures which provide enclosure as the podium is expected to get a lot of attention and sense of enclosure is important, particularly

at the pool – *Reviewed. Glass fencing is provided around the pool to meet safety requirements and maximize views and sunlight exposure. Movable tensile structures will be considered in the future.*

- Appreciate the “premium” materials being proposed; hope that the proposed materials will be maintained as the project moves forward – *Noted. High quality materials will be provided for the development.*
- Proposed vine planting is a nice touch and a bold gesture; review technical details, e.g. soil volume, to ensure survivability – *Technical details reviewed.*
- Appreciate the use of waterfalls to help integrate the swimming pool into the amenity area; explore further ways to better integrate the swimming pool to the interior amenity space – *Operable sliding walls will be provided at the fitness room connecting the two spaces.*
- Look at pedestrian access to the proposed development for people using public transport, e.g. bus, Skytrain, taxis, etc. – *Reviewed. Commercial spaces at grade and the three tower lobbies front onto the sidewalks and the three tower lobbies are announced with special architectural and landscaping treatments.*
- Varying lengths of the terracotta vertical accents on building facades need to be linked geometrically; also, provide a sense of balance or feeling of movement – *Reviewed.*
- Overall proposal is very well done as shown in the model – *Noted.*
- The three towers are well done; the south façade of the hotel tower is very interesting and dynamic; however, its north facade reads like an office tower; consider further design development to the north façade to make the hotel tower truly iconic – *The contrasting treatments on the southwest and northeast facades emphasize the sustainability strategy for the project and provide visual interest.*
- Appreciate the loading bays on the proposed service road, however, they may not be able to effectively service the commercial components of the proposed development located at the northern tip of the site – *The loading bay design has been reviewed and approved by the project transportation engineer and accepted by City Transportation staff. All of the loading areas are accessible through the internal the parking structure.*
- Parking is difficult to lay-out on a triangular site; appreciate the proposed parkade screening on the south side; however, consider further buffering/screening on the West Road side – *Design improved with translucent perforated metal screens to add interest to the building facades and will also serve to avoid visibility of parked cars from the three streets.*
- Concur with all the comments of the Panel – *Noted.*
- Appreciate the level of dialogue between the applicant and City staff regarding the proposal – *Noted.*

Panel Decision

It was moved and seconded

That 12-624180 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Panel.

CARRIED



October 9, 2014

Project: 8451 Bridgeport Road, Richmond (International Trade Centre)

Re: Sustainability Memo

SUSTAINABILITY GOALS

The project sustainability goals are to provide a cost-effective high value development that meets or exceeds the City of Richmond's sustainability requirements. As illustrated in the attached scorecard, the project is targeting an equivalent level of LEED Silver in accordance with the City of Richmond requirements, with a minimum of 53 points. Throughout design development, the possible credits have been and continue to be evaluated for suitability and environmental benefit and selected as appropriate. The attached draft scorecard represents a living document and pending design development, the final selection of targeted credits may be different than those indicated.

CREDIT CATEGORIES

Strategies are summarized below, grouped by LEED credit categories.

Sustainable Sites

- Dense development with access to a variety of amenities for building occupants in the local community.
- Choice of transportation options including public transit stops adjacent to the site-Canada Line station within 800m of the development.
- Provision of secured, indoor bicycle storage for occupants and outdoor bicycle racks for visitors.
- Extensive green roof systems on the Podium and South Tower roof utilizing native and adaptive landscaping for more than 20% of the site area, providing stormwater detention to slow down the stormwater runoff from the site and reducing urban heat island effect.
- An erosion and sedimentation control plan will be implemented to minimize erosion and sedimentation throughout construction.

Water Efficiency

- A high efficiency irrigation system including moisture sensors, pressure reducing spray heads and drought tolerant native and non-invasive species will reduce water consumption for irrigation by more than 50%.
- Dual Flush water closet for hotel rooms (3L / 6L per flush)
- Low Flow water closet for commercial areas (4.2 L per flush)
- Low Flow Showers (5.7 L/min)
- Low Flow kitchen faucet (5.7 L/min)
- Low Flow lavatory faucet for hotel rooms (1.9 L/min)
- Low Flow lavatory faucet with auto sensor for commercial area and club washrooms (1.9L/min)
- Pint flush urinals for commercial and club male washrooms (0.5 L per flush)



Energy and Atmosphere

- The project is in discussion with BC Hydro to participate their New Construction Program, which requires at least a 50,000kWh energy reduction as confirmed by an energy model and confirmation of installed systems. Building system features include:
 - o Chilled and heating water 4-pipe fan coil system;
 - o High efficiency air cooled chillers;
 - o High efficiency heat recovery air cooled chillers;
 - o High efficiency gas-fired condensing boilers;
 - o Demand controlled heat recovery ventilation system;
 - o High efficiency fluorescent/LED parkade lighting.
- The project is "DEU" ready, that is the project is capable to be connected to the City's "District Energy Utility" system when they are available.
- All refrigerant will be free from CFCs, and will meet LEED Lifecycle analysis requirements to minimize ozone depletion and global warming potential.
- Independent commissioning authority will be engaged on this project.

Materials and Resources

- Storage and collection of paper, cardboard, glass, plastic and metals and household organics
- Management of construction waste with a minimum diversion goal of 80%
- Preference given to materials with recycled / regional content

Indoor Environmental Quality

- Compliance with ASHRAE 62.1 - 2007 for outdoor air delivery.
- Indoor air quality will be managed through construction and prior to occupancy.
- Interior design to use low-emitting adhesives, sealants, paints and coatings.
- Interior design to use low-emitting Floorscore certified hard surface flooring and Green Label Plus certified carpets.
- Indoor pollutants to be controlled through use of entryway systems, MERV 13 filtration and appropriate physical separation of spaces.
- Connection to outdoor environments through the provision of views for 90% of occupied areas.
- Compliance with ASHRAE 55 - 2004 for thermal comfort.

Innovation in Design

- 100% of parking will be provided underground.
- Access to public transit with a frequency of more than 200 trips per day.
- Low mercury lighting design.
- LEED Accredited Professional as a team member

Regional Priority

- Building Durability
- Community Connectivity
- Solid Waste Management



KANE CONSULTING

International Trade Centre, 8451 Bridgeport Road

Preliminary Sustainability Scorecard

October 9, 2014

Y	Y?	N?	N		
53	17	3	37	Total Project Score & Rating: SILVER	
				Possible Points 110	
				Certified 40 to 49 points Silver 50 to 59 points Gold 60 to 79 points Platinum 80 or more points	
20	4	1	1	Sustainable Sites	Possible Points 26
Y	Y?	N?	N		
Y				Prereq 1	Construction Activity Pollution Prevention
1				Credit 1	Site Selection
5				Credit 2	Development Density and Community Connectivity
			1	Credit 3	Brownfield Redevelopment
6				Credit 4.1	Alternative Transportation, Public Transportation Access
1				Credit 4.2	Alternative Transportation, Bicycle Storage & Changing Rooms
	3			Credit 4.3	Alternative Transportation, Low-Emitting and Fuel-Efficient Vehicles
2				Credit 4.4	Alternative Transportation, Parking Capacity
1				Credit 5.1	Site Development, Protect and Restore Habitat
1				Credit 5.2	Site Development, Maximize Open Space
1				Credit 6.1	Stormwater Design, Quantity Control.
	1			Credit 6.2	Stormwater Design, Quality Control.
1				Credit 7.1	Heat Island Effect, Non-Roof
1				Credit 7.2	Heat Island Effect, Roof
		1		Credit 8	Light Pollution Reduction
4	1		5	Water Efficiency	Possible Points 10
Y	Y?	N?	N		
Y				Prereq 1	Water Use Reduction
2			2	Credit 1	Water Efficient Landscaping, Reduce by 50% , No Potable Water Use.
			2	Credit 2	Innovative Wastewater Technologies
2	1		1	Credit 3	Water Use Reduction, 30%, 35%, 40% Reduction.
6	8	2	19	Energy and Atmosphere	Possible Points 35
Y	Y?	N?	N		
Y				Prereq 1	Fundamental Commissioning of Building Energy Systems
Y				Prereq 2	Minimum Energy Performance
Y				Prereq 3	Fundamental Refrigerant Management
4	6		9	Credit 1	Optimize Energy Performance
			7	Credit 2	On-site Renewable Energy
		2		Credit 3	Enhanced Commissioning
2				Credit 4	Enhanced Refrigerant Management
			3	Credit 5	Measurement & Verification
	2			Credit 6	Green Power



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6	1		7	Materials and Resources	Possible Points	14
Y	Y?	N?	N			
Y				Prereq 1	Storage and Collection of Recyclables	
			3	Credit 1.1	Building Reuse , Maintain Existing Walls, Floor and Roof	1-3
			1	Credit 1.2	Building Reuse , Maintain Interior Non-Structural Elements	1
2				Credit 2	Construction Waste Management , Divert 50% , 75%	1-2
			2	Credit 3	Materials Reuse , 5%, 10%	1-2
2				Credit 4	Recycled Content , 10%, 20%	1-2
2				Credit 5	Regional Materials , 20%, 30%	1-2
			1	Credit 6	Rapidly Renewable Materials	1
	1			Credit 7	Certified Wood	1

9	1		5	Indoor Environmental Quality	Possible Points	15
Y	Y?	N?	N			
Y				Prereq 1	Minimum IAQ Performance	
Y				Prereq 2	Environmental Tobacco Smoke (ETS) Control	
			1	Credit 1	Outdoor Air Delivery Monitoring	1
			1	Credit 2	Increased Ventilation	1
1				Credit 3.1	Construction IAQ Management Plan , During Construction	1
1				Credit 3.2	Construction IAQ Management Plan , Before Occupancy	1
1				Credit 4.1	Low-Emitting Materials , Adhesives & Sealants	1
1				Credit 4.2	Low-Emitting Materials , Paints and Coatings	1
1				Credit 4.3	Low-Emitting Materials , Flooring Systems	1
1				Credit 4.4	Low-Emitting Materials , Composite Wood and Agrifiber	1
1				Credit 5	Indoor Chemical & Pollutant Source Control	1
			1	Credit 6.1	Controllability of Systems , Lighting	1
			1	Credit 6.2	Controllability of Systems , Thermal Comfort	1
1				Credit 7.1	Thermal Comfort , Design	1
			1	Credit 7.2	Thermal Comfort , Verification	1
	1			Credit 8.1	Daylight & Views , Daylight 75% of Spaces	1
1				Credit 8.2	Daylight & Views , Views for 90% of Spaces	1

4	2			Innovation & Design Process	Possible Points	6
Y	Y?	N?	N			
1				Credit 1.1	Innovation in Design: Exemp SSc7.1 - 100% U/G Parking	1
1				Credit 1.2	Innovation in Design: Exemp SSc4.1 - Public Transportation	1
1				Credit 1.3	Innovation in Design: Low Mercury in Lighting	1
	1			Credit 1.4	Innovation in Design: Green Cleaning or MRc5 or Other	1
	1			Credit 1.5	Innovation in Design: Exemp EAc6 - Green Power	1
1				Credit 2	LEED™ Accredited Professional	1

4				Regional Priority	Possible Points	4
Y	Y?	N?	N			
1				Credit 1	Durable Building	1
1				Credit 2.1	Regional Priority: RPc1	1
1				Credit 2.2	Regional Priority: MRc2	1
1				Credit 2.3	Regional Priority: SSc2	1

Legend			
			Credit Targeted
			Not Attempting
Y			Prerequisite (Must Achieve)



No. DP 12-624180

To the Holder: GBL ARCHITECTS GROUP INC.

Property Address: 8451 BRIDGEPORT ROAD

Address: C/O ANDREW EMMERSON
139 EAST 8TH AVENUE
VANCOUVER, BC V5T 1R8

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #26 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$ 2,304,234.38 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 12-624180

To the Holder: GBL ARCHITECTS GROUP INC.
Property Address: 8451 BRIDGEPORT ROAD
Address: C/O ANDREW EMMERSON
139 EAST 8TH AVENUE
VANCOUVER, BC V5T 1R8

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO. _____
DAY OF _____, _____.

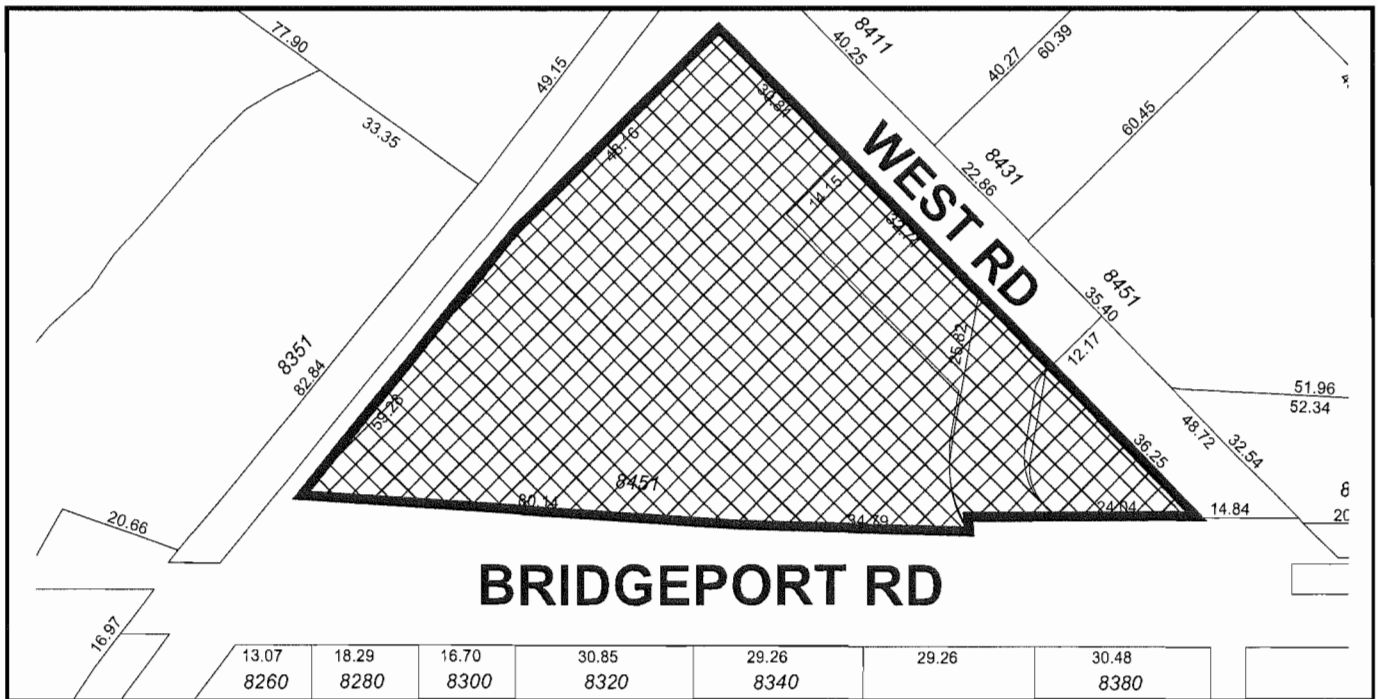
ISSUED BY THE COUNCIL THE

DELIVERED THIS _____ DAY OF _____, _____.

MAYOR



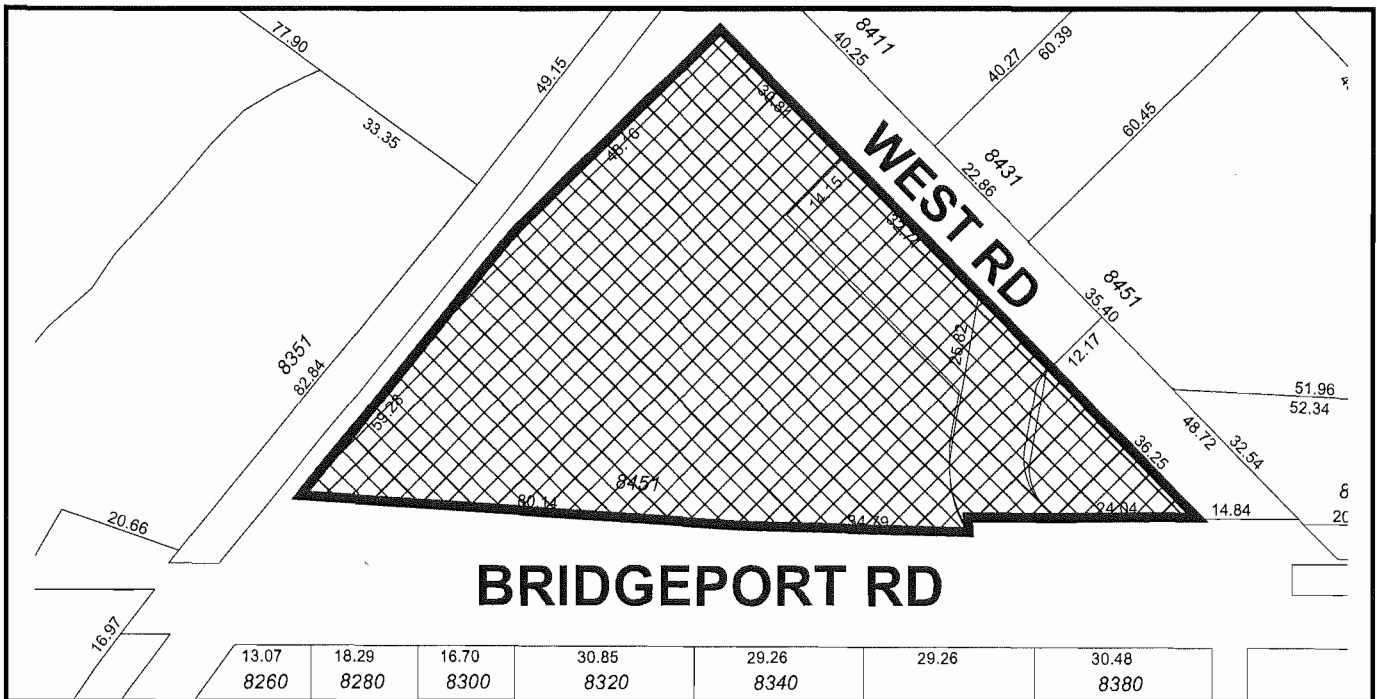
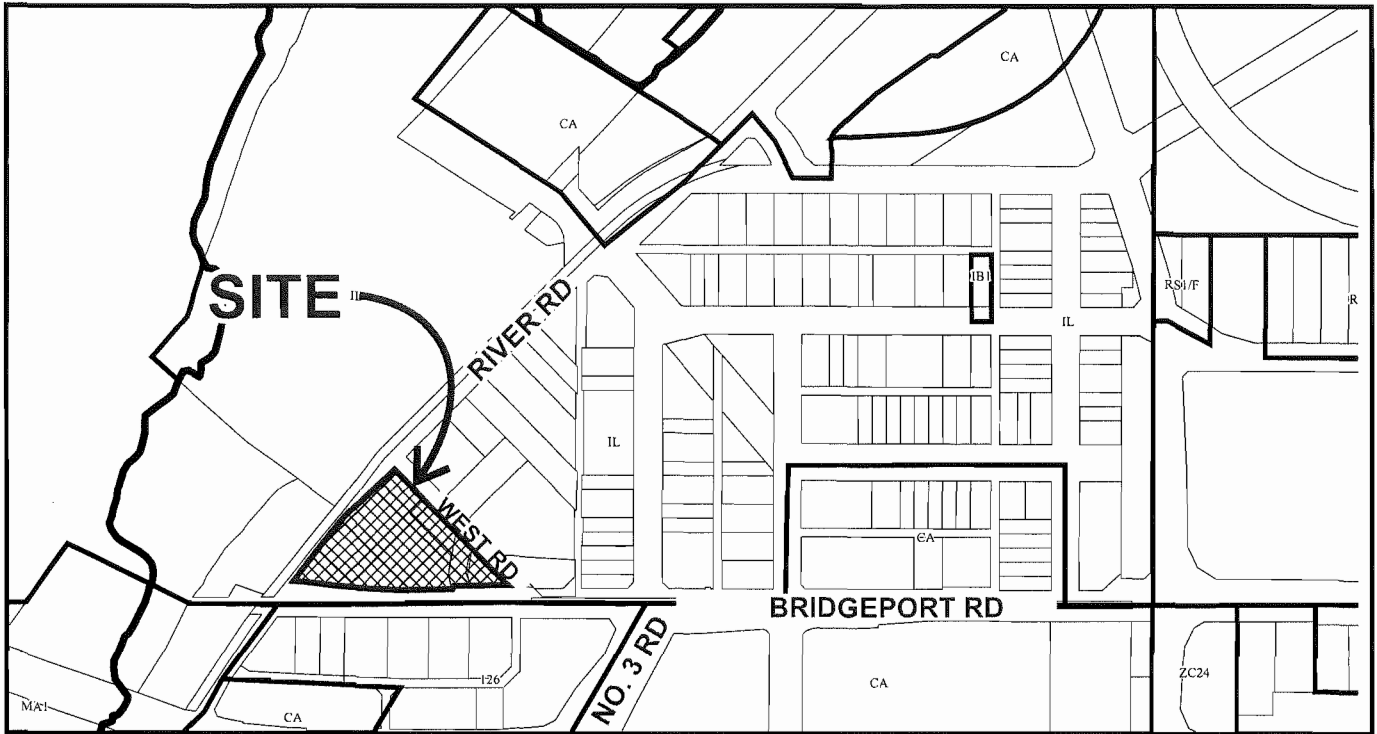
City of Richmond



	<h2>DP 12-624180 SCHEDULE "A"</h2>	Original Date: 12/11/14 Revision Date: Note: Dimensions are in METRES
--	--	---



City of Richmond



DP 12-624180

Original Date: 12/11/14

Revision Date:

Note: Dimensions are in METRES

8451 BRIDGEPORT ROAD

Notes:

- Off-site works via separate required Servicing Agreement for infrastructure and frontage improvements.
- No variances are included in the proposal.
- DEU-ready – District Energy Utility (DEU) ready design providing for the hook-up of the three (3) towers to a City DEU utility when it comes available (as per legal agreements registered on Title).
- Sustainability – LEED Silver equivalency as per attached LEED Checklist, including:
 - Water efficient – At least 50% reduction in potable water consumption and pressure reducing spray heads.
 - selection and high efficiency system including moisture sensors and pressure reducing spray heads.
 - Energy efficient – high efficiency equipment, lighting and controls
 - Air quality – indoor air quality management and low-emitting materials.
 - Recycling – secure area for garbage, organics and recycling.
 - Use of recycled content and regional materials
 - Construction waste management, including storage and collection of recyclables
 - Reduced Heat Island Effect and storm water run-off through minimum 20% site vegetation coverage.

HOTEL VERSANTE & OFFICE DEVELOPMENT

ALL AREAS ARE PRELIMINARY. SITE LAYOUT SUBJECT TO CITY'S APPROVAL

October 8, 2014

LEGAL DESCRIPTION:
LOT 215 BLOCK 5 HIGHWAY 4 WEST NEW WESTMINSTER DISTRICT PLAN 1888A

CIVIC ADDRESS:
8451 BRIDGEPORT ROAD, RICHMOND B.C.

GROSS SITE AREA BEFORE ADJUSTMENTS:	73,125 SF	6,812 m ²
RIVER RD & WEST RD DEDICATION:	1,978 SF	184 m ²
PUBLIC SIDEWALK ROW:	4,101 SF	381 m ²
SITE AREA:	67,246 SF	6,227 m ²
NET SITE AREA AFTER ADJUSTMENTS:	71,249 SF	6,628 m ²
GROSS BUILDABLE AREA:	239,285 SF	22,257 m ²
FSR ALLOWED:	3.00	
FSR PROPOSED:	214,847 SF	19,865 m ²
	214,917 SF	19,882 m ²
COMMERCIAL:	0.45	
OFFICE:	34,504 SF	3,223 m ²
HOTEL:	97,686 SF	9,066 m ²
	87,927 SF	8,137 m ²
	214,017	

	HOTEL	OFFICE NORTH	OFFICE SOUTH	COMMERCIAL	NET AREA	HOTEL ROOMS	CONF HOTEL	CORE N LOWER	CORE S LOWER	CORE COMUM	AMENITY	GROSS AREA TOTAL
GROUND FLOOR	17,100	1,383	785	1,017	20,785	0	0	0	0	0	0	20,785
2ND FLOOR	2,925	315	18	4,714	8,062	0	743	673	483	315	0	11,097
3RD FLOOR	4,892	342	16	6,581	12,031	0	1,171	1,071	717	519	0	16,507
4TH FLOOR	4,813	345	16	6,581	12,031	0	1,171	1,071	717	519	0	16,507
5TH FLOOR	4,813	345	16	6,581	12,031	0	1,171	1,071	717	519	0	16,507
6TH FLOOR	4,813	345	16	6,581	12,031	0	1,171	1,071	717	519	0	16,507
7TH FLOOR	6,230	6,056	10,312	8,865	22,203	10	762	703	703	762	1,072	25,597
8TH FLOOR	6,230	6,056	10,312	8,865	22,203	10	762	703	703	762	1,072	25,597
9TH FLOOR	6,230	6,056	10,312	8,865	22,203	10	762	703	703	762	1,072	25,597
10TH FLOOR	6,230	6,056	10,312	8,865	22,203	10	762	703	703	762	1,072	25,597
11TH FLOOR	6,231	6,016	10,312	8,865	22,204	11	773	703	703	773	0	25,281
12TH FLOOR	6,231	6,016	10,312	8,865	22,204	11	773	703	703	773	0	25,281
13TH FLOOR	6,231	6,016	10,312	8,865	22,204	11	773	703	703	773	0	25,281
14TH FLOOR	6,231	6,016	10,312	8,865	22,204	11	773	703	703	773	0	25,281
15TH FLOOR	6,231	6,016	10,312	8,865	22,204	11	773	703	703	773	0	25,281
16TH FLOOR	6,231	6,016	10,312	8,865	22,204	11	773	703	703	773	0	25,281
17TH FLOOR	6,231	6,016	10,312	8,865	22,204	11	773	703	703	773	0	25,281
18TH FLOOR	6,231	6,016	10,312	8,865	22,204	11	773	703	703	773	0	25,281
19TH FLOOR	6,231	6,016	10,312	8,865	22,204	11	773	703	703	773	0	25,281
20TH FLOOR	6,231	6,016	10,312	8,865	22,204	11	773	703	703	773	0	25,281
TOTAL HOTEL	81,737	37,326	60,600	34,684	214,017	100	9,992	6,175	5,933	2,787	1,072	239,585
TOTAL OFFICE												

PARKING CALCULATION:

REQUIRED	2% HIC LANE	ALLOWED	PROVIDED
ALLOWED	50% MIN. SCS	163	163
TOTAL PARKING COUNT PROVIDED		163	163
20.0% CRASH	SM	0	0
L.V.L.1	11	3	7
L.V.L.2	28	39	67
L.V.L.3	40	40	80
L.V.L.4	38	41	80
L.V.L.5	38	40	79
TOTAL	157	163	327

AREA	Room	Bar	Restaurant	Conference	Laundry	# of ROOMS
HOTEL	4,660	3,726	2,100	564	0	8
GROUND FLOOR				3,145		0
2ND FLOOR						0
3RD FLOOR						0
4TH FLOOR						0
5TH FLOOR						0
6TH FLOOR						0
7TH FLOOR						0
8TH FLOOR						0
9TH FLOOR						0
10TH FLOOR						0
11TH FLOOR						0
12TH FLOOR						0
13TH FLOOR						0
14TH FLOOR						0
15TH FLOOR						0
16TH FLOOR						0
17TH FLOOR						0
18TH FLOOR						0
19TH FLOOR						0
20TH FLOOR						0
TOTAL	4,660	3,726	2,100	564		8
CONFERENCE				564		0
RESTAURANT				3,145		0
BAR						0
LAUNDRY						0
TOTAL				564		0
COMMERCIAL						0
1.75 SPACES PER GROSS 100m ² ON FIRST 2 LEVELS						0
1.5 SPACES PER GROSS 100m ² ABOVE FIRST 2 LEVELS						0
1.5% RELAXATION ABOVE 2ND FLOOR 7.3% T.						0
TOTAL OFFICE						0
COMMERCIAL						0
1.75 SPACES PER 100m ² ON FIRST 2 FLOORS						0
1.5 SPACES PER GROSS 100m ² ABOVE FIRST 2 LEVELS						0
1.5% RELAXATION AS PER 7.3% T.						0
TOTAL COMMERCIAL						0
TOTAL REQUIRED PARKING						0
TOTAL PROPOSED PARKING						0
LOADING						0
1 TRUCK SPACE * 1 TRUCK PER EACH 600m ² OVER 100m ²						0
1 LARGE SPACE * 1 TRUCK PER EACH 100m ² OVER 100m ²						0
TOTAL REQUIRED LOADING						0
TOTAL PROPOSED LOADING						0
RELAXATION REQUESTED:						0
Class 1	1.0m ² term					0
Class 2	Short term					0
HOTEL						0
0.27 CLASS 1 SPACE PER 100m ² OVER 100m ²						0
0.27 CLASS 2 SPACES PER 100m ² OVER 100m ²						0
TOTAL HOTEL						0
OFFICE						0
0.27 CLASS 1 SPACE PER 100m ² OVER 100m ²						0
0.4 CLASS 2 SPACES PER 100m ² OVER 100m ²						0
TOTAL OFFICE						0
COMMERCIAL						0
0.27 CLASS 1 SPACE PER 100m ² OVER 100m ²						0
0.4 CLASS 2 SPACES PER 100m ² OVER 100m ²						0
TOTAL COMMERCIAL						0
TOTAL REQUIRED BICYCLE PARKING						0
Class 1 - 2h						0
Class 2 - 1h						0
Class 3 - 15 min						0
TOTAL PROPOSED BICYCLE PARKING						0

124.11

ITC - BRIDGEPORT RD

RICHMOND BC

FSR STATS

Plan 1 Jan 20, 2015
DP 12-624180

FSR-0.00

NO. DATE	DESCRIPTION
01 APR 2012	REZONING APPLICATION
02 APR 2012	FUNCTIONAL RD PLAN & LOADING REDISEN
04 SEP 21 2013	REVISED DP
06 MAY 26 2014	DP RESUBMISSION
07 APR 26 2014	REVISED FOR EXAMINER CONSULTANT
08 APR 26 2014	ISSUED FOR COORDINATION

REFERENCE PLAN OF PART OF LOT 1 SECTION 21 BLOCK 5 NORTH RANGE 6 WEST
NEW WESTMINSTER DISTRICT PLAN EPP37734

PURSUANT TO SECTION 99(1)(e) OF THE LAND TITLE ACT
FOR STATUTORY RIGHT OF WAY PURPOSES (PUBLIC RIGHTS OF PASSAGE)

BCCS 92C.015



THE INTENDED PLOT SIZE OF THIS PLAN IS
886mm IN WIDTH BY 560mm IN HEIGHT (D SIZE)
WHEN PLOTTED AT A SCALE OF 1:250.

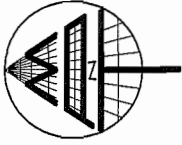
INTEGRATED SURVEY AREA NO. 18, CITY OF RICHMOND, HARBS (CORS) 4.0.0.BC.1.0.19.D.
CONTROL MONUMENTS 77H4602 AND 77H5831.

THIS PLAN SHOWS HORIZONTAL GROUND-LEVEL DISTANCES UNLESS
OTHERWISE SPECIFIED. TO COMPUTE GRID DISTANCES, MULTIPLY
GROUND-LEVEL DISTANCES BY THE AVERAGE COMBINED FACTOR OF
CORRECTION WHICH HAS BEEN DERIVED FROM CONTROL MONUMENTS
77H4602 AND 77H5831.

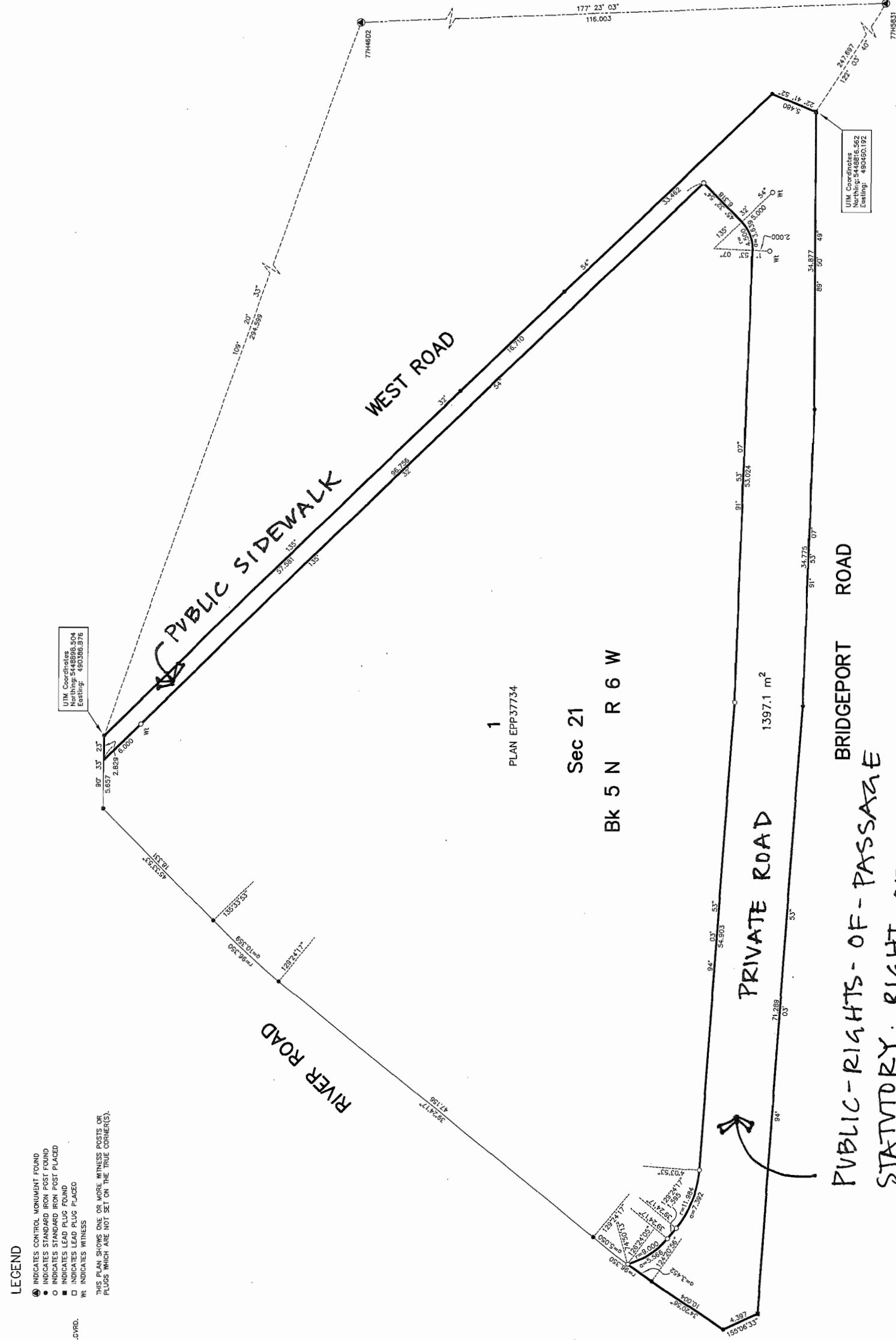
LEGEND

- INDICATES CONTROL MONUMENT FOUND
- INDICATES STANDARD IRON POST FOUND
- INDICATES STANDARD IRON POST PLACED
- INDICATES LEAD PLUG FOUND
- INDICATES LEAD PLUG PLACED
- WR INDICATES WITNESS

THIS PLAN SHOWS ONE OR MORE WITNESS POSTS OR
PLUGS WHICH ARE NOT SET ON THE TRUE CORNER(S).



DRAFT PLAN EPP37735



UTM Coordinates
Northings: 5448876.582
Eastings: 490460.192

1
PLAN EPP37734

Sec 21
Bk 5 N R 6 W

BRIDGEPORT ROAD

PUBLIC-RIGHTS-OF-PASSAGE
STATUTORY RIGHT-OF-WAY

MATSON PECK & TOPLISS
SURVEYORS & ENGINEERS
#320 - 11120 HORSESHOE WAY
RICHMOND, B.C.
V7A 5H7
PH: 604.270.9331
FAX: 604.270.4137
CADFILE: 19907-6-REF.DWG

Plan 2 Jan 20, 2015
DP 12-624180

THIS PLAN LIES WITHIN
THE GREATER VANCOUVER REGIONAL DISTRICT

R-13-6-16907-6-REF-DWG



G&B ARCHITECTS INC.
 139 EAST BRIDGEPORT AVENUE
 VANCOUVER, BC CANADA V5T 1R8
 TEL: 604.736.1156
 FAX: 604.731.5279

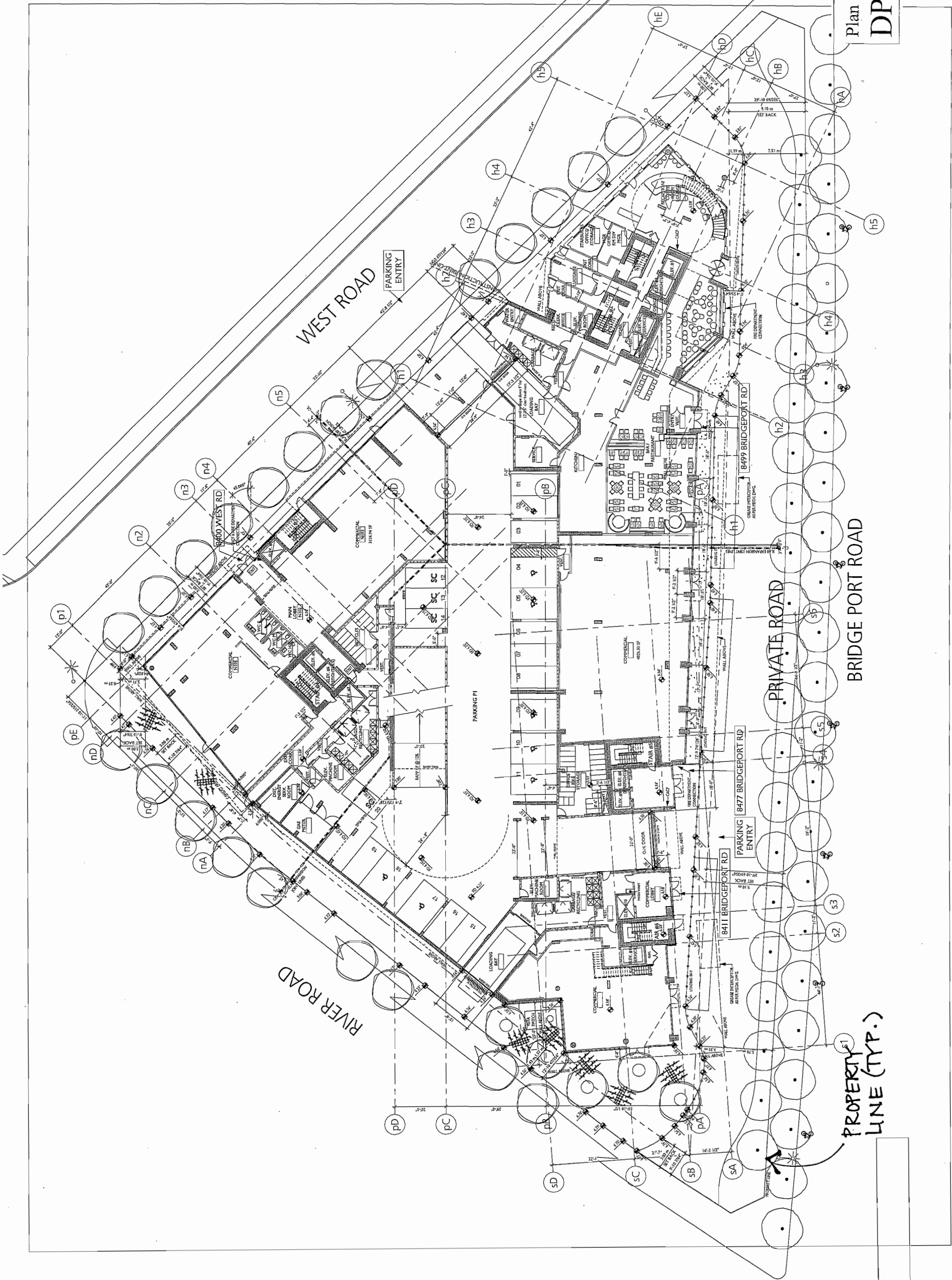
CIVIC ADDRESS: 8451 BRIDGEPORT ROAD, RICHMOND BC
 LEGAL DESCRIPTION: LOT 115, BLOCK 5 NORTH, RANGE 6
 WEST, NEW WESTMINSTER DISTRICT PLAN 125522

NO.	DATE	DESCRIPTION
01	APR 2012	REVISION APPLICATION
02	APR 2012	REVISION APPLICATION
03	APR 2012	REVISION APPLICATION
04	APR 2012	REVISION APPLICATION
05	APR 2012	REVISION APPLICATION
06	APR 2012	REVISION APPLICATION
07	APR 2012	REVISION APPLICATION
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96	APR 2012	REVISION APPLICATION
97	APR 2012	REVISION APPLICATION
98	APR 2012	REVISION APPLICATION
99	APR 2012	REVISION APPLICATION
100	APR 2012	REVISION APPLICATION

ITC - BRIDGEPORT RD
 8477 BRIDGEPORT RD.
 RICHMOND BC
 LEVEL 1

Plan 3 Jan 20, 2015
 DP 12-624180

(DP)A-2.01



PROPERTY LINE (TYP.)

REVISIONS

NO.	DATE	DESCRIPTION
01	APR 28 2012	RECORDING APPLICATION
02	OCT 28 2012	DP APPLICATION
03	FEB 22 2013	REVISIONS TO NO PLANS & LANDING REVISION
04	SEP 23 2013	REVISED DP
05	MAY 16 2014	DP REVISIONS
06	JUN 25 2014	ISSUED FOR ELEVATOR CONSULTANT
07	JUN 25 2014	ISSUED FOR ELEVATOR CONSULTANT
08	JUN 25 2014	ISSUED FOR ELEVATOR CONSULTANT
09	JAN 08 2015	ISSUED FOR DP PANEL

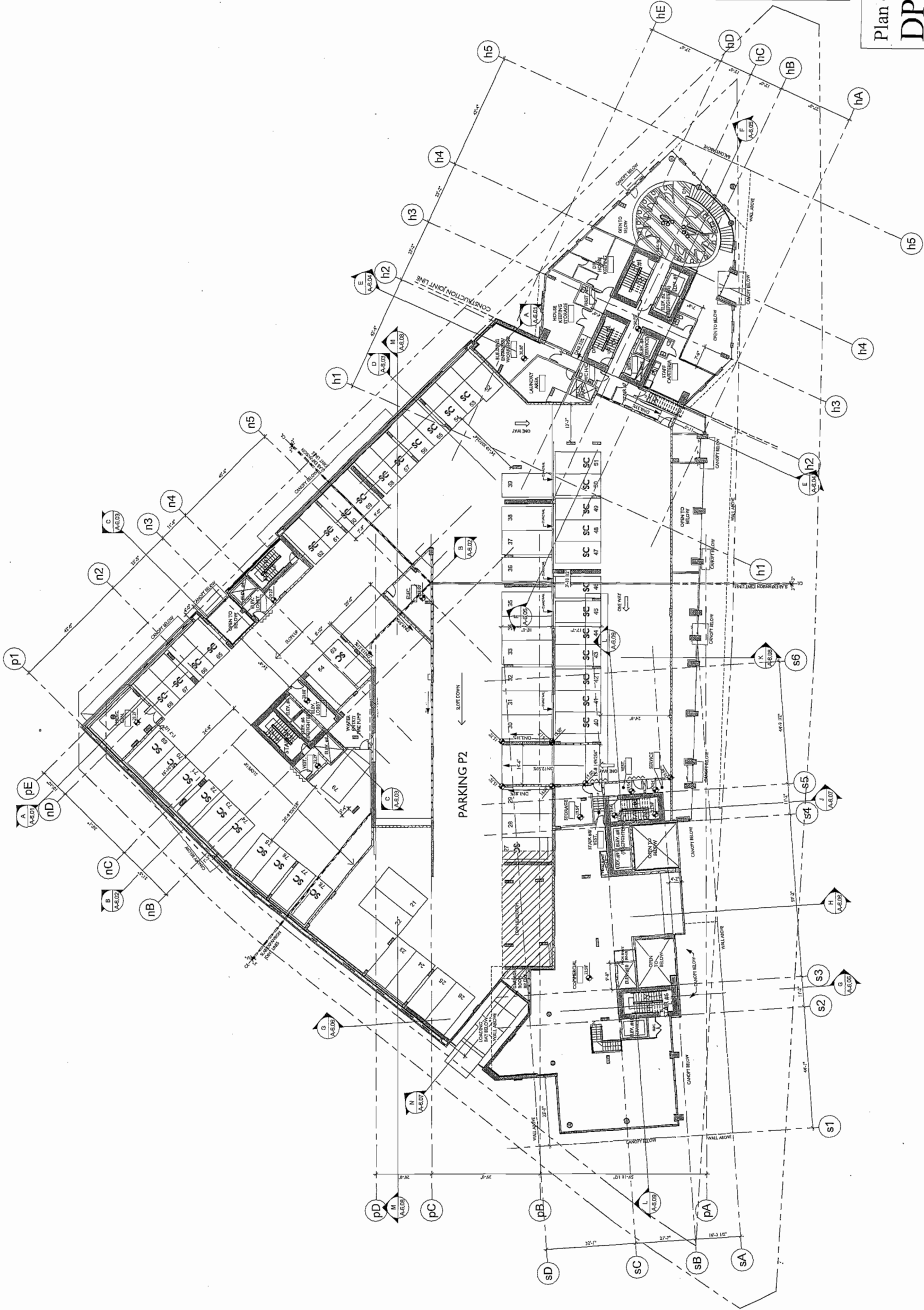
ITC - BRIDGEPORT
 RD
 8477 BRIDGEPORT RD.
 RICHMOND BC

LEVEL 2

Plan 4 Jan 20, 2015

DP 12-624180

(DP)A-Z.UZ





GEL ARCHITECTS
115 EAST 6th AVENUE
VANCOUVER, BC CANADA V5T 1R6 FAX 604 731 5279
WWW.GELARCHITECTS.COM

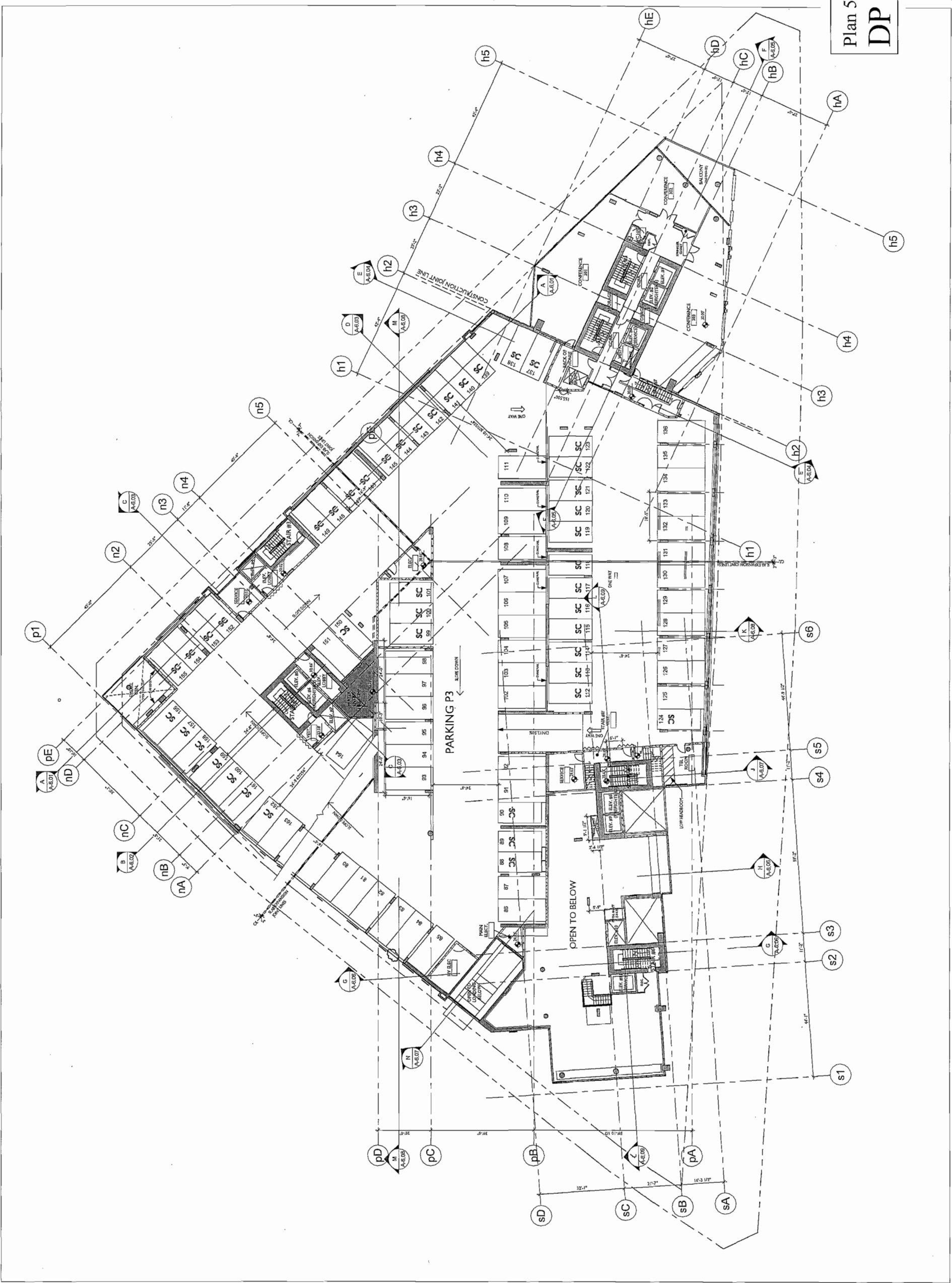
CIVIC ADDRESS: 8477 BRIDGEPORT ROAD, RICHMOND BC
LEGAL DESCRIPTION: LOT 215, BLOCK 5 NORTH, RANGE 9
WEST, NEW WESTMINSTER DISTRICT PLAN 39992

NO.	DATE	DESCRIPTION
01	APR 29 2012	REVISION APPLICATION
02	OCT 20 2012	DP APPLICATION
03	NOV 27 2012	REVISED DP
04	DEC 27 2012	REVISED DP
05	MAY 28 2014	DP REVISION
06	MAY 28 2014	DP REVISION
07	JUN 26 2014	ISSUED FOR ELEVATOR CONSULTANT
08	JUN 26 2014	ISSUED FOR ELEVATOR CONSULTANT
09	JAN 08 2015	ISSUED FOR DP PANEL

ITC - BRIDGEPORT
RD
8477 BRIDGEPORT RD.
RICHMOND BC
LEVEL 3

Plan 5 Jan 20, 2015
DP 12-624180

(DP)A-2.03

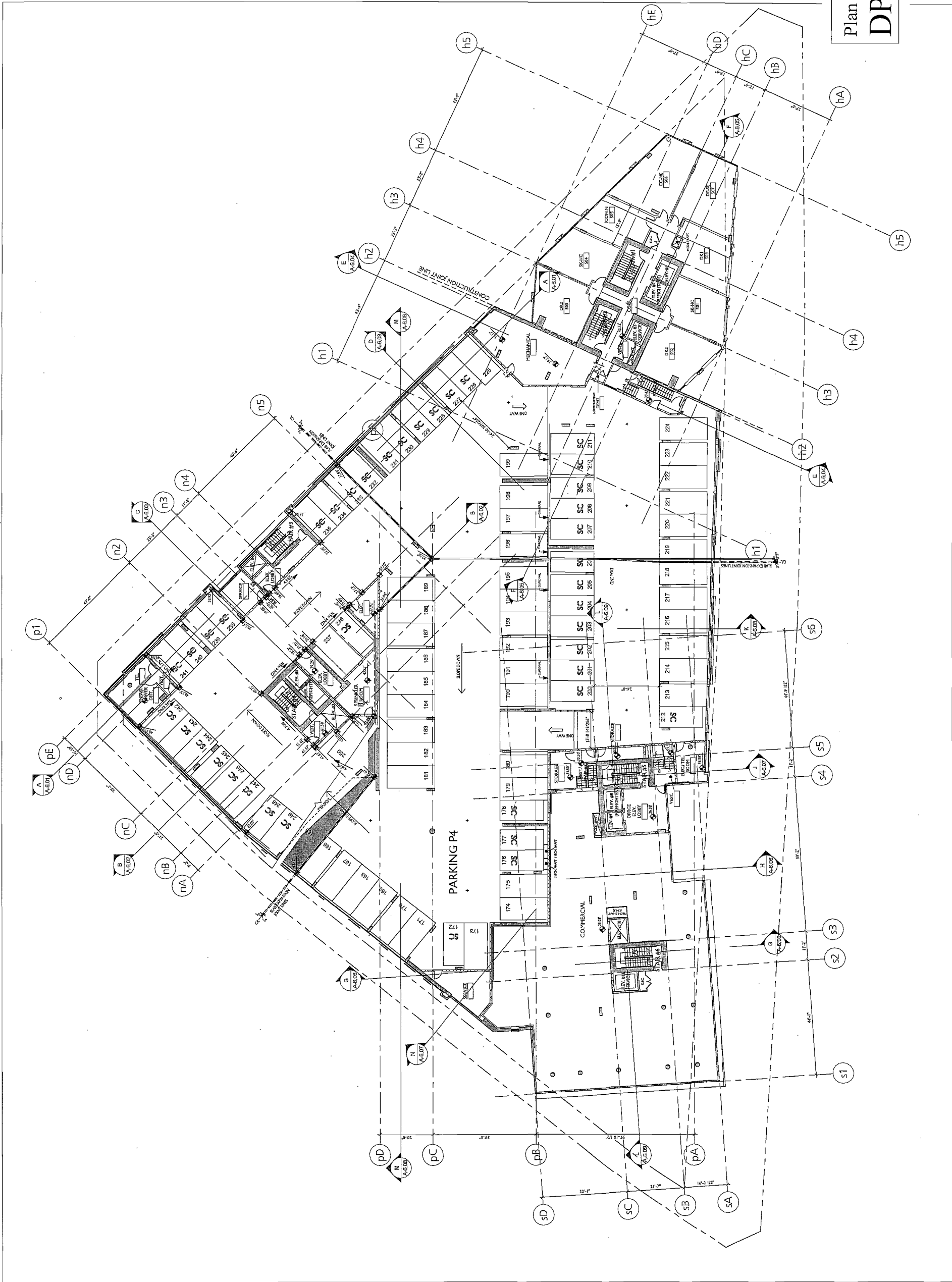


NO.	DATE	DESCRIPTION
01	NOV 15, 2011	PRELIMINARY CONCEPT
02	OCT 22, 2012	PRELIMINARY CONCEPT
03	APR 05, 2013	FUNCTIONAL RD PLAN & LOADING REVISION
04	APR 05, 2013	FUNCTIONAL RD PLAN & LOADING REVISION
05	MAY 14, 2014	ISSUED FOR PERMITTING
06	MAY 14, 2014	ISSUED FOR PERMITTING
07	MAY 26, 2014	ISSUED FOR PERMITTING
08	AUG 29, 2014	ISSUED FOR PERMITTING
09	JAN 09, 2015	ISSUED FOR PERMITTING

ITC - BRIDGEPORT RD
 8477 BRIDGEPORT RD.
 RICHMOND BC
 LEVEL 4

Plan 6 Jan 20, 2015
 DP 12-624180

(DP)A-2.04



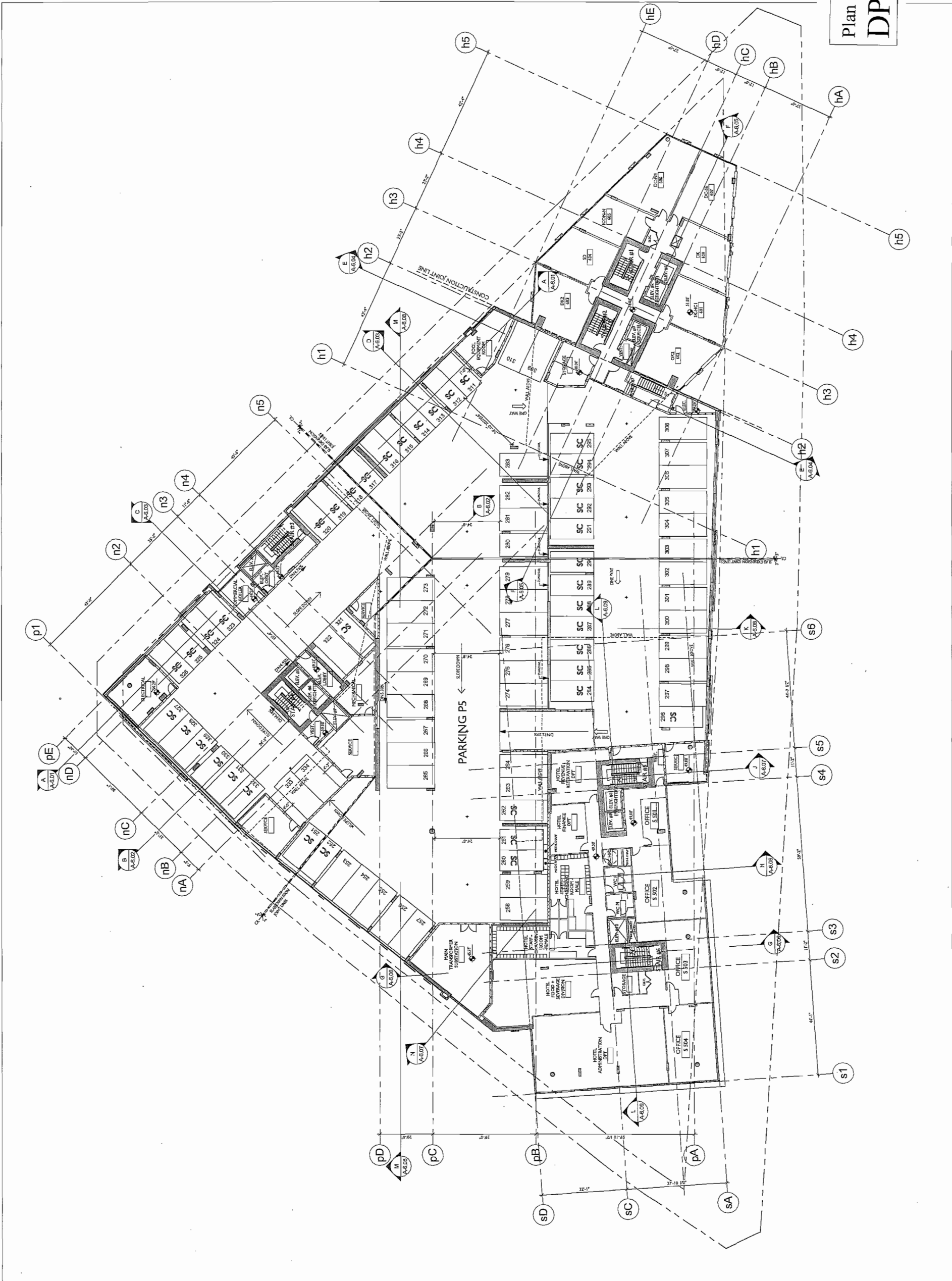
NO.	DATE	DESCRIPTION
01	APR 2015	ISSUED FOR PERMIT
02	OCT 23 2012	REVISED APPLICATION
03	SEP 25 2013	REVISED APPLICATION
04	SEP 25 2013	REVISED APPLICATION
05	MAR 14 2014	REVISED APPLICATION
06	MAR 14 2014	REVISED APPLICATION
07	AUG 28 2014	ISSUED FOR CONSULTANT
08	AUG 28 2014	ISSUED FOR CONSULTANT
09	JAN 04 2015	ISSUED FOR PERMIT

ITC - BRIDGEPORT
 RD
 8477 BRIDGEPORT RD.
 RICHMOND BC

LEVEL 5

Plan 7 Jan 20, 2015
 DP 12-624180

(DP)A-2.05



721 East Hastings Street,
 Vancouver, British Columbia
 Canada
 V6A 1R3
 t: 778 386 4414
 e: studio@weareconsidered.com
 w: www.weareconsidered.com

general notes
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 DO NOT SCALE FROM THIS DRAWING
 All dimensions are to be verified by the contractor, use figured dimensions only. Any discrepancies shall be brought to the attention of the Landscape Architect prior to the commencement of work on site.

issue	date
DP INTAKE	30.10.12
DP INTAKE	02.10.13
DP RE-SUBMISSION	10.10.14

revision	date
F	30.10.12
G	02.10.13
H	16.06.14
I	10.10.14

project
 8451 BRIDGEPORT ROAD DEVELOPMENT

legal
 LOT 215, BLOCK 5 NORTH RANGE 6 WEST,
 NEW WEST DISTRICT PLAN 35892

drawing
 LEVEL 1_ GENERAL ARRANGEMENT

seal

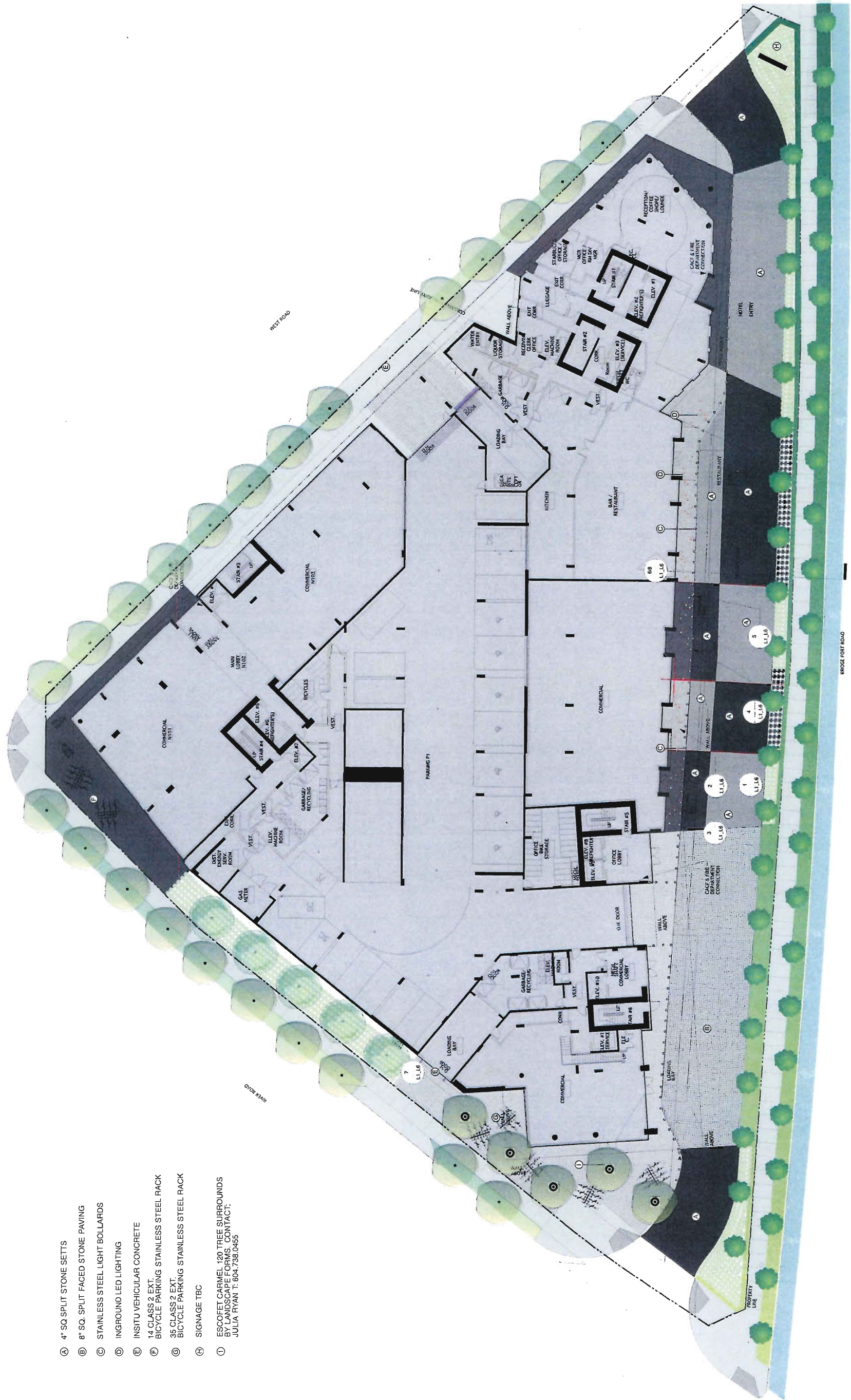


scale

Plan 8 Jan 20, 2015
 DP 12-624180

number
 L1_L1

0 5 15 25 35 45 M



- Ⓐ 4" SQ SPLIT STONE SETTS
- Ⓑ 8" SQ. SPLIT FACED STONE PAVING
- Ⓒ STAINLESS STEEL LIGHT BOLLARDS
- Ⓓ INGROUND LED LIGHTING
- Ⓔ INSITU VEHICULAR CONCRETE
- Ⓕ 14 CLASS 2 EXT. BICYCLE PARKING STAINLESS STEEL RACK
- Ⓖ 36 CLASS 2 EXT. BICYCLE PARKING STAINLESS STEEL RACK
- Ⓖ SIGNAGE TBC
- Ⓘ ESCOFET CARMEL 120 TREE SURROUNDS BY LANDSCAPE FORMS. CONTACT: JULIA RYAN T: 604.738.0455

general notes

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DO NOT SCALE FROM THIS DRAWING
 All dimensions are to be verified by the contractor, use figured dimensions as a guide only. The contractor shall be responsible for the alignment of the Landscape Architect prior to the commencement of work on site.

issue	date
DP INTAKE	30.10.12
DP INTAKE	02.10.13
DP INTAKE	26.03.14
DP RE-SUBMISSION	10.10.14

revision	date
A	02.10.13
B	26.03.14
C	10.10.14

project
 8451 BRIDGEPORT ROAD DEVELOPMENT

legal
 LOT 215, BLOCK 5 NORTH RANGE 6 WEST,
 NEW WEST DISTRICT PLAN 35992

drawing
 LEVEL 1 PLANTING PLAN

scale
 1 : 200 METRIC



Plan 9 Jan 20, 2015
 DP 12-624180

number
L1 L4

ALL PLANTS TO BE INSTALLED GROWN IN PLANTERS OR CONTAINERS TO BE DELIVERED TO THE SITE BY THE CONTRACTOR TO BE INSTALLED ON SITE. CONTRACTOR TO ADVISE OF ANY PLANT MATERIALS TO BE INSTALLED ON SITE TO THE LANDSCAPE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK ON SITE.

PLANTING SHALL BE A MINIMUM 10% OF THE TOTAL PLANTING AREA. PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S SPECIFICATIONS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S SPECIFICATIONS.

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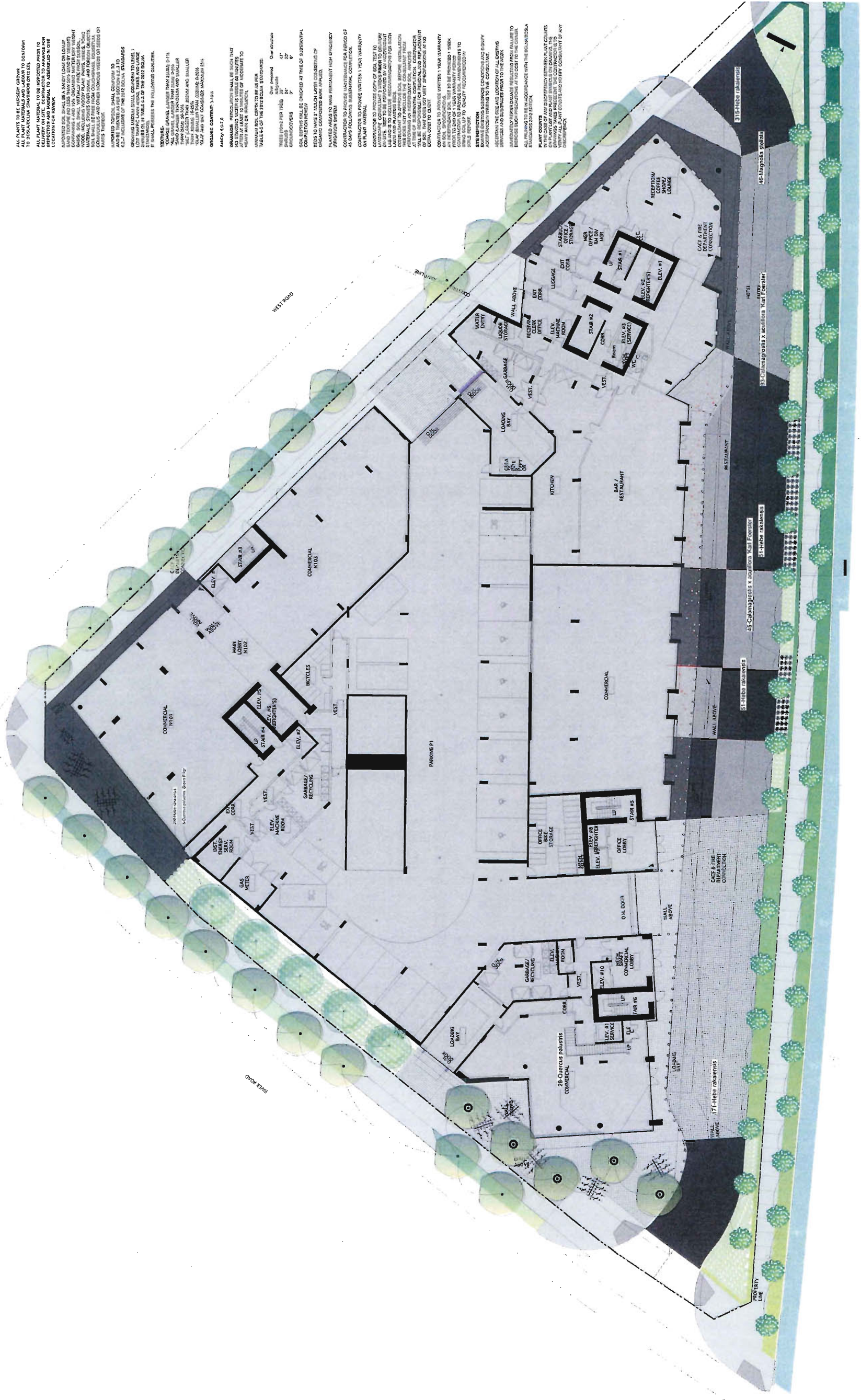
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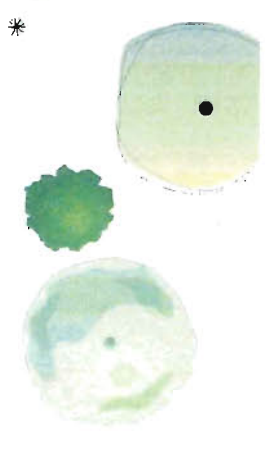
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PLANT SCHEDULE LEVEL 1

ID	Qty	Botanical Name	Common Name	Scheduled Size	Spacing	Remarks
Cal	138	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#3 Cont.	600mm	Full & Bushy
Hr	978	Hebe rakaiensis	Veronica	#3 Cont.	500mm	Full & Bushy
Ms	46	Magnolia stellata	Star Magnolia	#5cm Cal	6000mm	On Standard
Op	28	Quercus palustris	Pin Oak	8cm Cal B&B	6000mm	Straight Trunk/ Full Crown
OpGP	5	Quercus palustris 'Green Pillar'	Pin Oak	8cm Cal.		Straight Trunk and Full Crown



0 5 15 25 35 45

general notes
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issue	date
DP INTAKE	30.10.12
DP INTAKE	02.10.13
DP INTAKE	26.03.14
DP RE-SUBMISSION	10.10.14

revision	date
A	02.10.13
B	26.03.14

project
 8451 BRIDGEPORT ROAD DEVELOPMENT

legal
 LOT 215, BLOCK 5 NORTH, RANGE 6 WEST,
 NEW WEST DISTRICT PLAN 35992

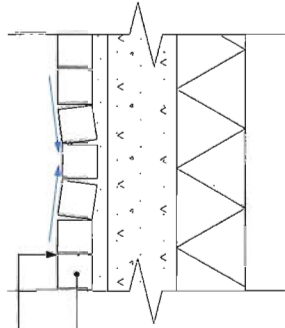
drawing
 LEVEL 1 - TYPICAL DETAILS

seal

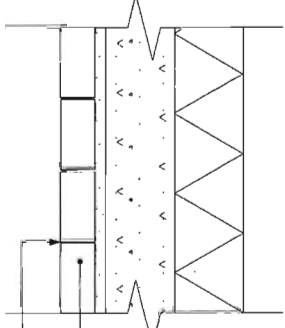


Plan 10 Jan 20, 2015
DP 12-624180

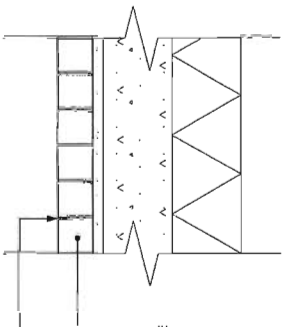
number
L1_L6



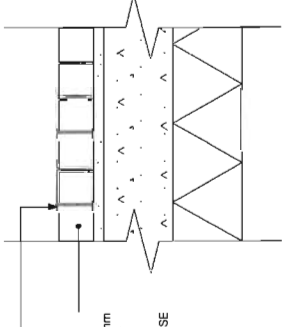
MAX 5mm TOOLED MORTAR JOINTS
 4"x4" STONE SPLIT FACED SETTS/SAWN MICRO CONCRETE ON PRE-INSTALLED MICRO-CONCRETE BASE COURSE ON TO MIN 200mm CRUSHED COMPACTED GRAVEL



MAX 5mm TOOLED MORTAR JOINTS
 8"x8" STONE FLAMED, SAWN SIDES PAVING ON TO MIN 30mm MICRO CONCRETE ON TO MIN 200mm PRE-INSTALLED MICRO-CONCRETE BASE COURSE ON TO MIN 200mm CRUSHED COMPACTED GRAVEL



MAX 5mm TOOLED MORTAR JOINTS
 4"x4" STONE FLAME TEXTURED SETTS/SAWN SIDES PAVING ON TO MIN 30mm MICRO CONCRETE ON TO MIN 200mm PRE-INSTALLED MICRO-CONCRETE BASE COURSE ON TO MIN 200mm CRUSHED COMPACTED GRAVEL



MAX 5mm TOOLED MORTAR JOINTS
 4"x4" STONE SPLIT FACED SETTS/SAWN MICRO CONCRETE ON TO MIN 200mm PRE-INSTALLED MICRO-CONCRETE BASE COURSE ON TO MIN 200mm CRUSHED COMPACTED GRAVEL

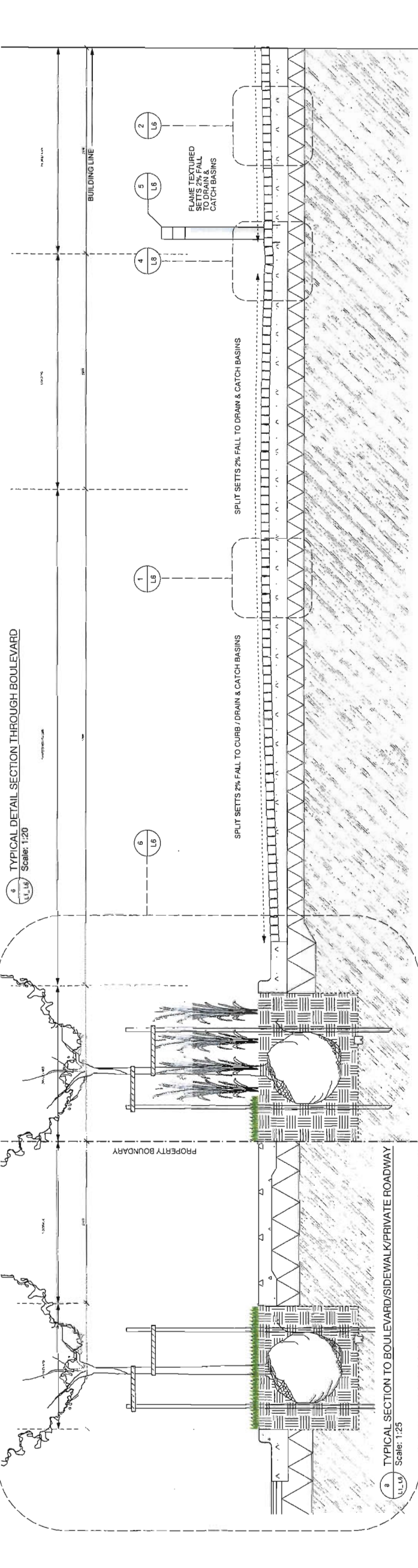
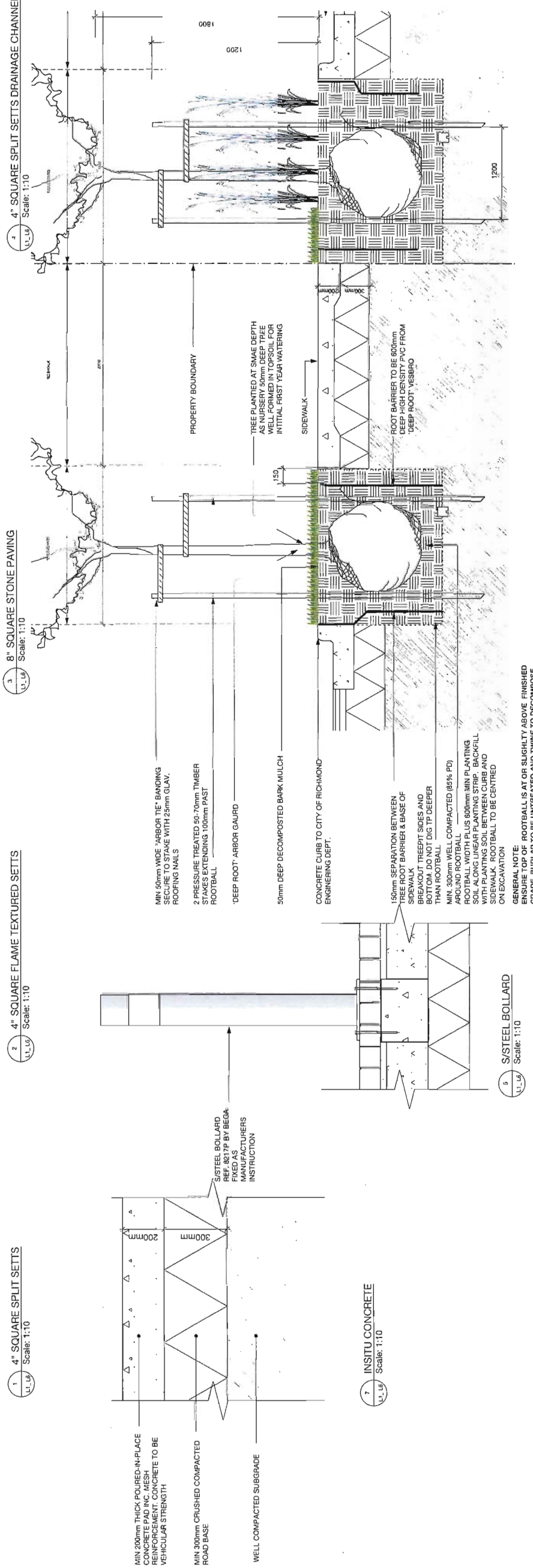
1 4" SQUARE SPLIT SETTS Scale: 1:10

2 4" SQUARE FLAME TEXTURED SETTS Scale: 1:10

3 8" SQUARE STONE PAVING Scale: 1:10

4 4" SQUARE SPLIT SETTS Scale: 1:10

5 S/STEEL BOLLARD Scale: 1:10



6 TYPICAL SECTION THROUGH BOULEVARD Scale: 1:20

7 TYPICAL SECTION TO BOULEVARD/SIDEWALK/PRIVATE ROADWAY Scale: 1:25

721 East Hastings Street,
Vancouver,
British Columbia
V6A 1R3

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WWW.WEBBERDESIGN.COM

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Issue	date
DP INTAKE	30.10.12
DP INTAKE	05.09.12
DP INTAKE	12.09.12
COORDINATION	12.10.05
COORDINATION	03.10.13
DP RE-SUBMISSION	10.09.14
DP RE-SUBMISSION	24.09.14

revision	date
A	27.08.12
B	05.09.12
C	12.09.12
D	12.10.05
E	03.10.13
F	10.09.14
G	24.09.14

Project: 8451 BRIDGEPORT ROAD DEVELOPMENT

Legal: LOT 215, BLOCK 5 NORTH, RANGE 6 WEST, NEW WEST DISTRICT PLAN 35992

Drawing: L6_GENERAL ARRANGEMENT

Scale: 1:200 METRIC



Scale: 1:200 METRIC

Plan 11 Jan 20, 2015
DP 12-624180

Number

L6_L1

45 M

35

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95

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105

110

115

120

125

130

135

140

145

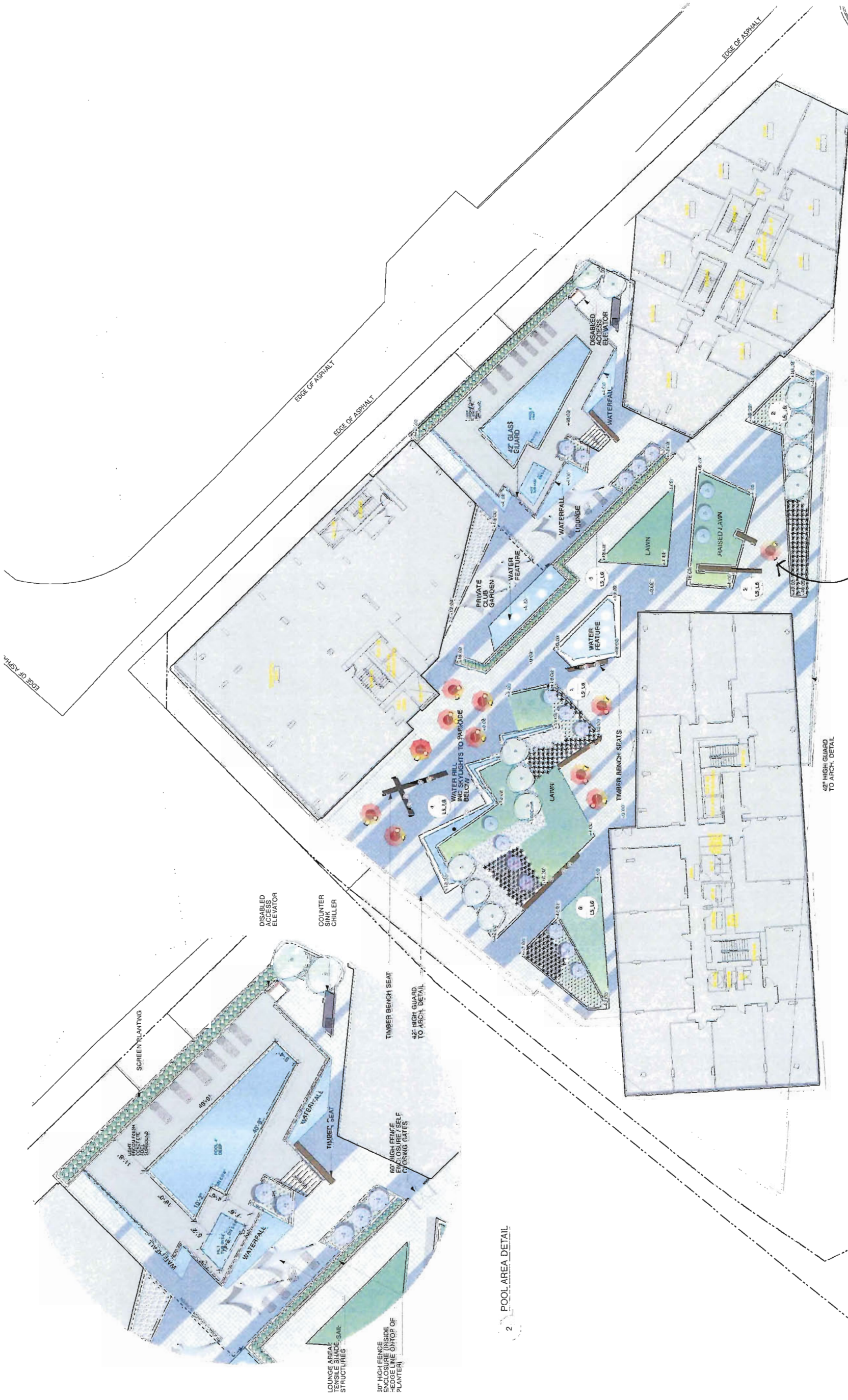
150

155

160

165

170



MOVABLE
PICNIC TABLES
WITH SHADE UMBRELLA
AND SEATING

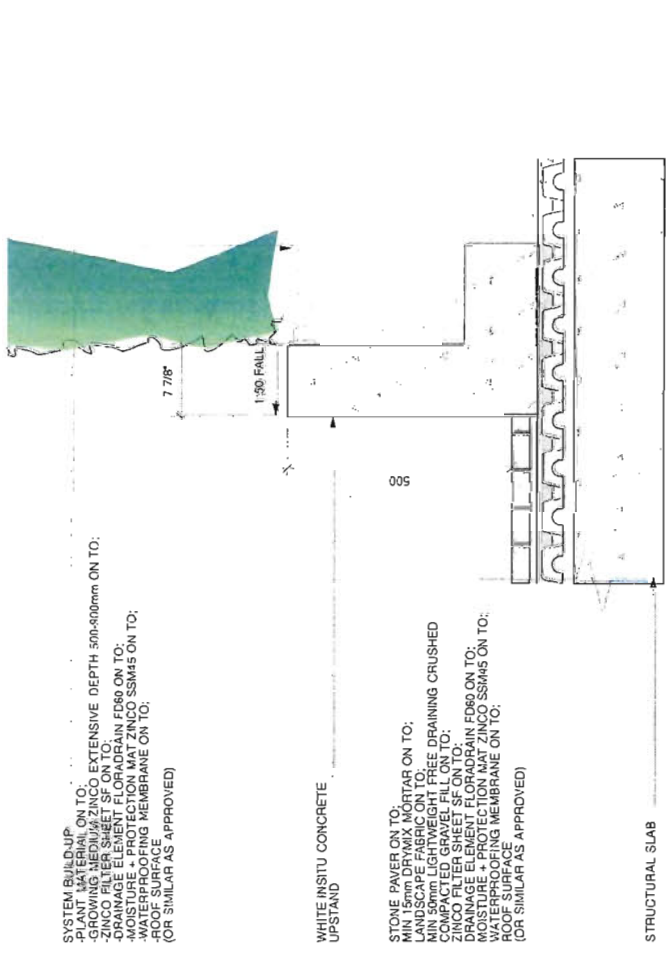
2 POOL AREA DETAIL

GENERAL ARRANGEMENT
Scale: 1:200

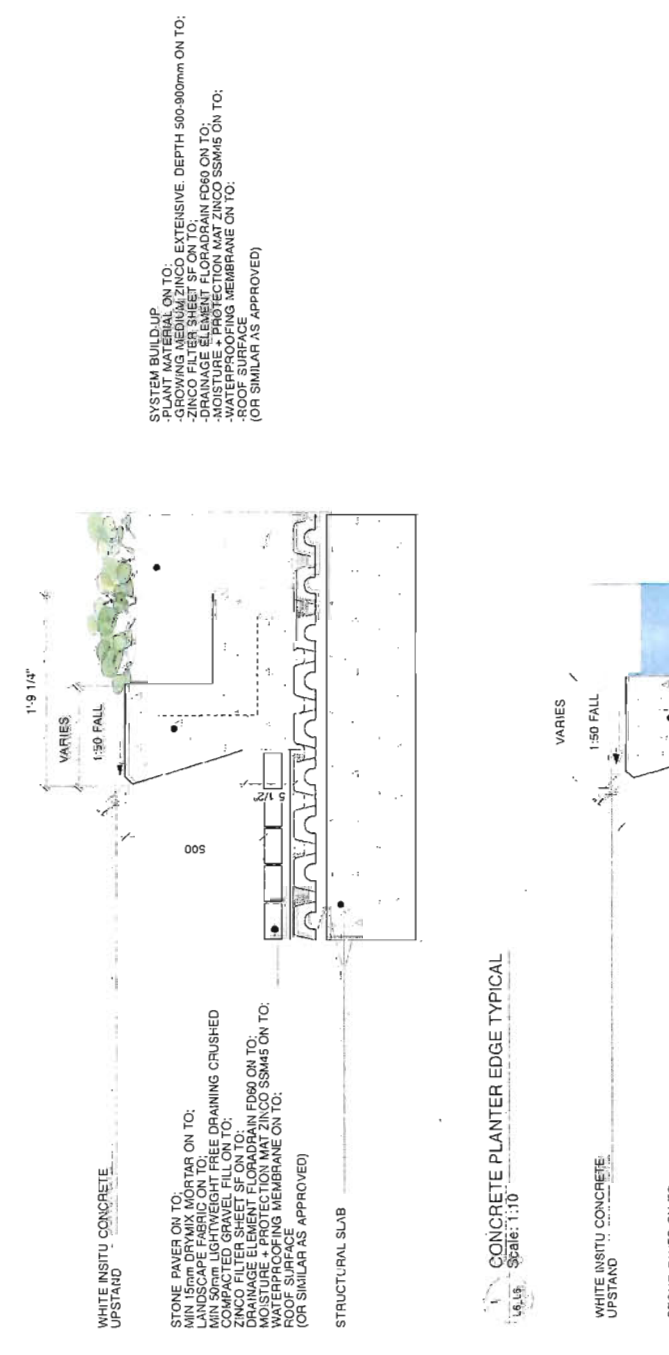
general notes
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 All dimensions are to be verified by the contractor, use of field dimensions only. Any discrepancies shall be brought to the attention of the Landscape Architect prior to the commencement of work on site.

issue	date
DP INTAKE	30.10.12
DP REVISION	04.10.13
DP RESUBMISSION	10.10.14

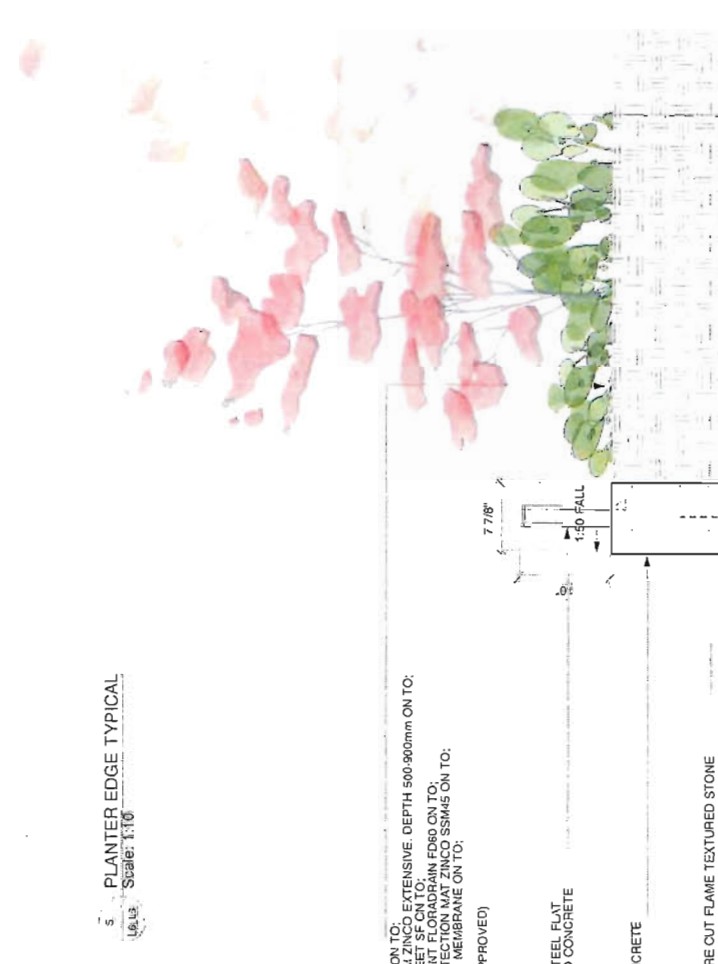
revision	date
A	04.10.13



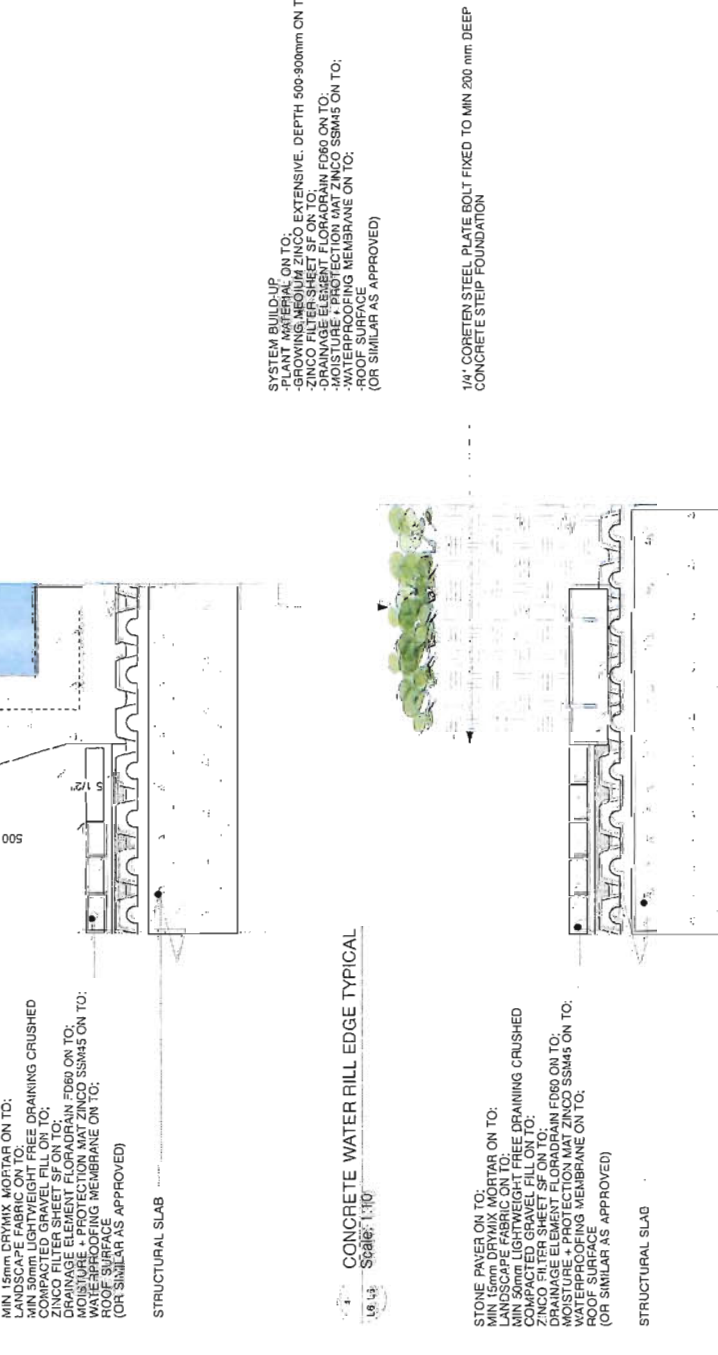
5 PLANTER EDGE TYPICAL
 Scale: 1:10



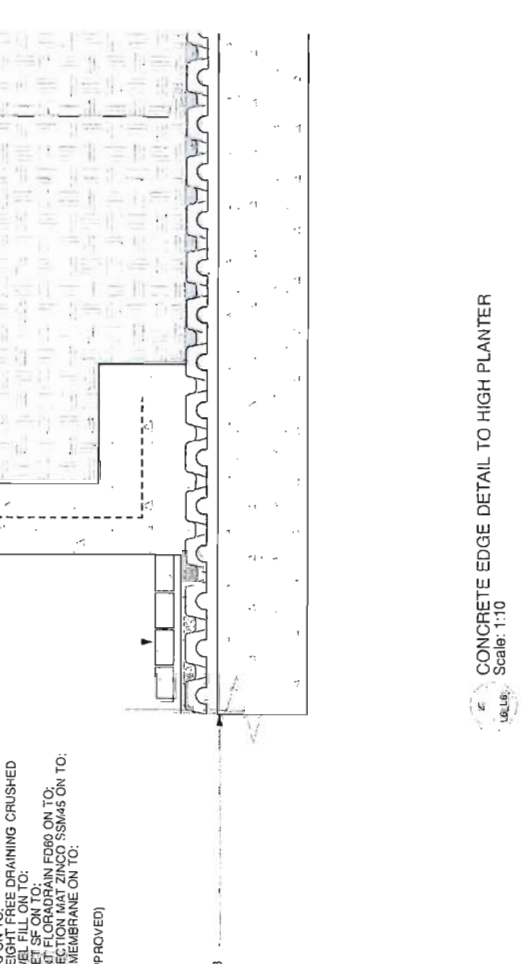
6 CONCRETE WATER RILL EDGE TYPICAL
 Scale: 1:10



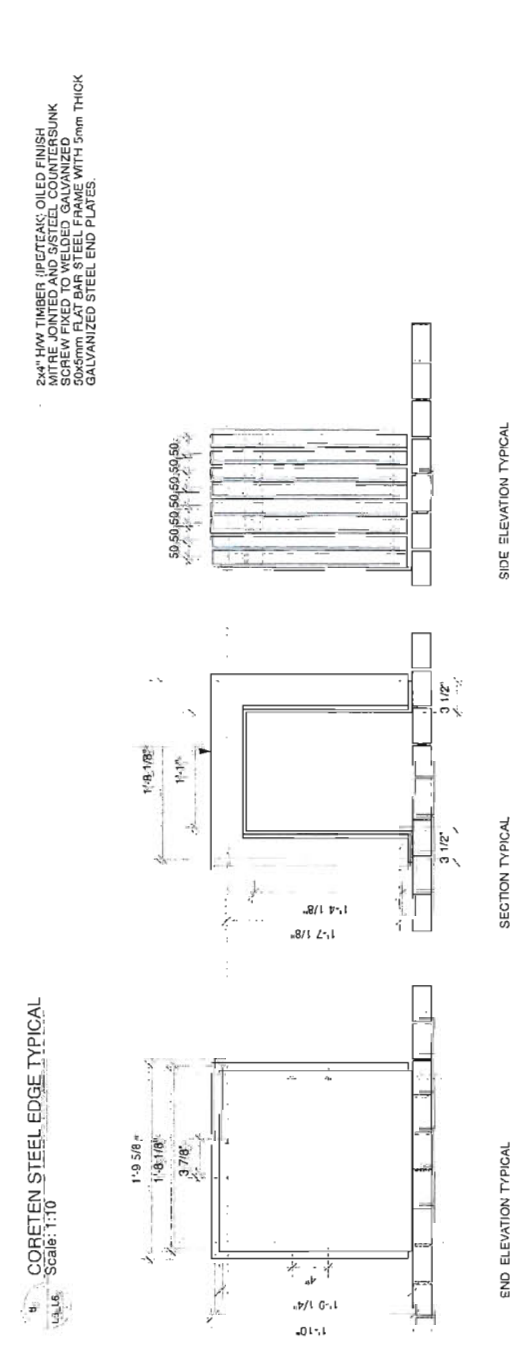
7 CORETEN STEEL EDGE TYPICAL
 Scale: 1:10



8 CONCRETE WATER RILL EDGE TYPICAL
 Scale: 1:10



9 CONCRETE EDGE DETAIL TO HIGH PLANTER
 Scale: 1:10



10 HAW TIMBER SEAT / PLAY OBJECT
 Scale: 1:10



General notes
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All dimensions are to be verified by the contractor. Use figured dimensions for the location of the Landscape Architect prior to the commencement of work on site.

Issue DP RE-SUBMISSION **date** 10.10.14

revision **date**

ALL PLANTS TO BE NURSERY GROWN
ALL PLANT MATERIALS AND LABOUR TO CONFORM TO BC S/LA/BCLNA STANDARDS (2012 ED).
ALL PLANT MATERIAL TO BE INSPECTED PRIOR TO DELIVERY TO THE SITE AND TO BE INSPECTED AND ASSEMBLED IN ONE INSPECTION AND MATERIAL TO ASSEMBLED IN ONE INSPECTION FOR REVIEW.

IMPORTED SOIL SHALL BE A SANDY LOAM OR LOAMY SAND TEXTURE AND LESS THAN 50% SAND BY WEIGHT (BASED ON 100% DRY WEIGHT). SOIL SHALL BE VIRTUALLY FREE FROM SURSON, WOOD, INCLUDING WOODY PLANT PARTS, WEEDS, TOXIC MATERIALS, STONES OVER 30MM, AND FOREIGN OBJECTS. SOIL SHALL BE FREE FROM COUGHGRASS, EROSIUM, CONVULVULUS AND OTHER NOXIOUS WEEDS OR SEEDS OR PARTS THEREOF.

IMPORTED TOPSOIL SHALL CONFORM TO AND BE TREATED AS PER SECTION 6.2.3 TO 6.2.7 INCLUSIVE OF THE 2012 BCLNA STANDARDS.
GROWING MEDIUM SHALL CONFORM TO LEVEL 1 LOW TRAFFIC LAWN AREAS, TREES AND LARGE SHRUBS (L IN TABLE 6-3 OF THE 2012 BCLNA STANDARDS).
IT SHALL POSSESS THE FOLLOWING QUALITIES:

- TEXTURE:**
*COARSE GRAVEL (LARGER THAN 25MM): 0-1%
*ALL GRAVEL (LARGER THAN 2MM): 0-5%
*SAND (LARGER THAN 0.075MM AND SMALLER THAN 2MM): 50-70%
*SILT (SMALLER THAN 0.075MM AND SMALLER THAN 0.002MM): 10-25%
*CLAY (SMALLER THAN 0.002MM): 0-20%
*CLAY AND SILT COMBINED: MAXIMUM 25%
ORGANIC CONTENT: 3-10%

Activity: 6.0-7.0
DRAINAGE: PERCOLATION SHALL BE SUCH THAT NO STANDING WATER IS VISIBLE 60 MINUTES AFTER AT LEAST 10 MINUTES OF MODERATE TO HEAVY RAIN ON IRRIGATION.

MINIMUM SOIL DEPTH TO BE AS PER TABLE 6-5 OF THE 2012 BCLNA STANDARDS:

	Over prepared	Over structure
TREES (10m ² PER TREE)	30"	47"
SHRUBS	24"	30"
GROUNDCOVERS	9"	9"

SOIL DEPTHS WILL BE CHECKED AT TIME OF SUBSTANTIAL COMPLETION REVIEW

BEDS TO HAVE 2" MULCH LAYER CONSISTING OF ORGANIC COMPOSTED BARK APPLIED.
PLANTED AREAS TO HAVE PERMANENT HIGH EFFICIENCY IRRIGATION SYSTEM

CONTRACTOR TO PROVIDE MAINTENANCE FOR PERIOD OF 45 DAYS FOLLOWING SUBSTANTIAL COMPLETION.
CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON PLANT MATERIAL

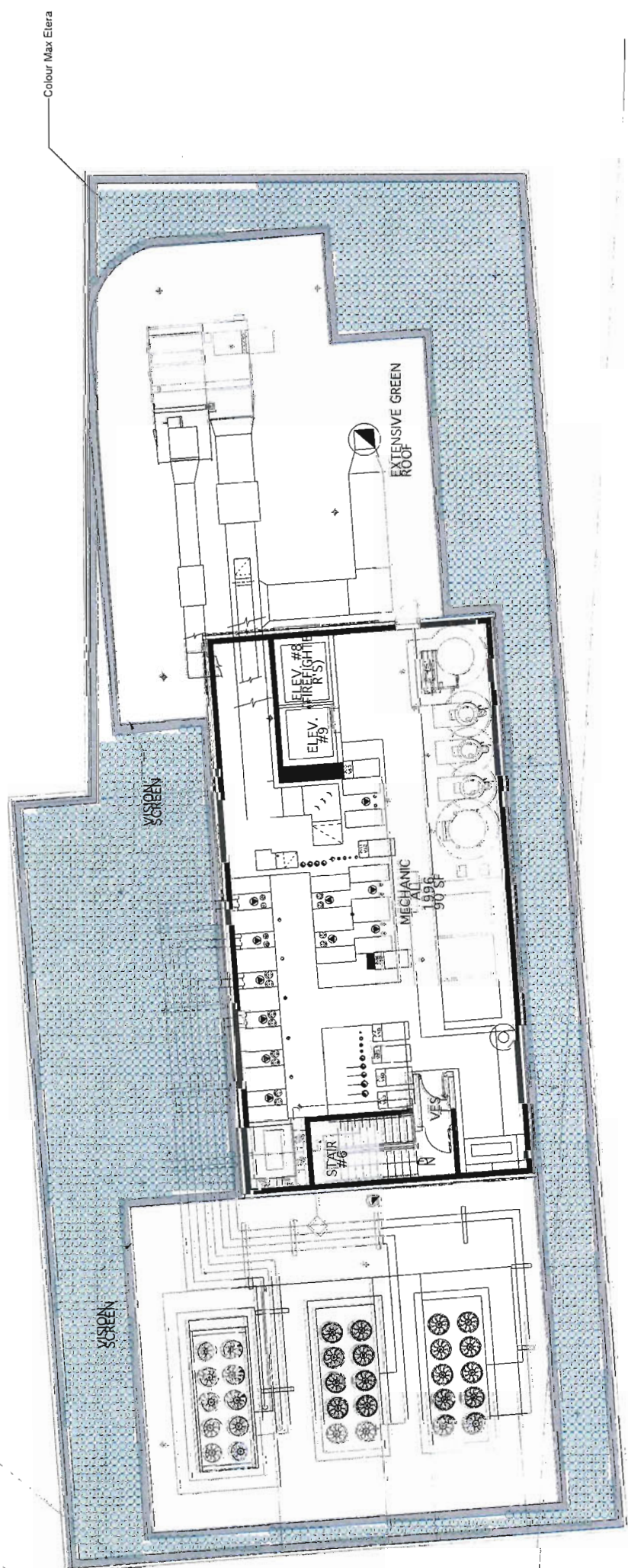
CONTRACTOR TO PROVIDE COPY OF SOIL TEST TO LANDSCAPE CONSULTANT 3 WEEKS PRIOR TO DELIVERY OF PLANT MATERIAL TO SITE. SOIL TESTS TO BE LAB AND IS TO INCLUDE RECOMMENDATIONS FOR BOTH LAWN AND PLANTING BEDS.
CONSULTANT TO APPROVE SOIL BEFORE INSTALLATION. THIS DOES NOT PRECLUDE THE CONSULTANT FROM PERFORMING AN INDEPENDANT SOIL ANALYSIS. THE CONSULTANT SHALL BE RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF SOIL THAT DOES NOT MEET SPECIFICATIONS AT NO EXTRA COST TO CLIENT.

CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON SOILS.
AN INDEPENDANT SOIL TEST TO BE PROVIDED 1 WEEK PRIOR TO END OF 1 YEAR WARRANTY PERIOD.
CONTRACTOR TO PROVIDE SOIL AMMENDMENTS TO BRING SOIL UP TO QUALITY RECOMMENDED IN SOILS REPORT.

SITE INSPECTION
EXAMINE EXISTING SUBGRADE CONDITIONS AND SIGNIFY ACCEPTANCE IN WRITING TO THE CONSULTANT.
ASCERTAIN THE SIZE AND LOCATION OF ALL EXISTING SERVICES AND SUBGRADES PRIOR TO THE WORK.

IMMEDIATELY REPAIR DAMAGE RESULTING FROM FAILURE TO EXERCISE SUCH PRECAUTIONS AT NO COST TO THE OWNER.
ALL PRUNING TO BE IN ACCORDANCE WITH THE BCLNA/BCS/LA STANDARDS 2012 EDITION.

PLANT COUNTS
IN THE CASE OF ANY DISCREPANCY BETWEEN PLANT COUNTS ON PLANT LIST AND PLANT SYMBOLS ON DRAWING, THE DRAWINGS TAKES PRECEDENT. THE CONTRACTOR IS TO VERIFY ALL PLANT COUNTS AND NOTIFY CONSULTANT OF ANY DISCREPANCY.



ID	Qty	Botanical Name	Common Name	Scheduled Size	Spacing	Remarks
Seed/jms	3412 sq.	Colour Max Elera	Colour Max Elera	Tile		Elera Tiles 2 sq per Tile



scale
1 : 100 METRIC

Plan 14 Jan 20, 2015
DP 12-624180

number
STR_L1

509 - 2770 sophia street
 vancouver
 british columbia
 v5h 0k4
 t: 778 586 1111
 e: considered@me.com
 w: www.westconsidered.com

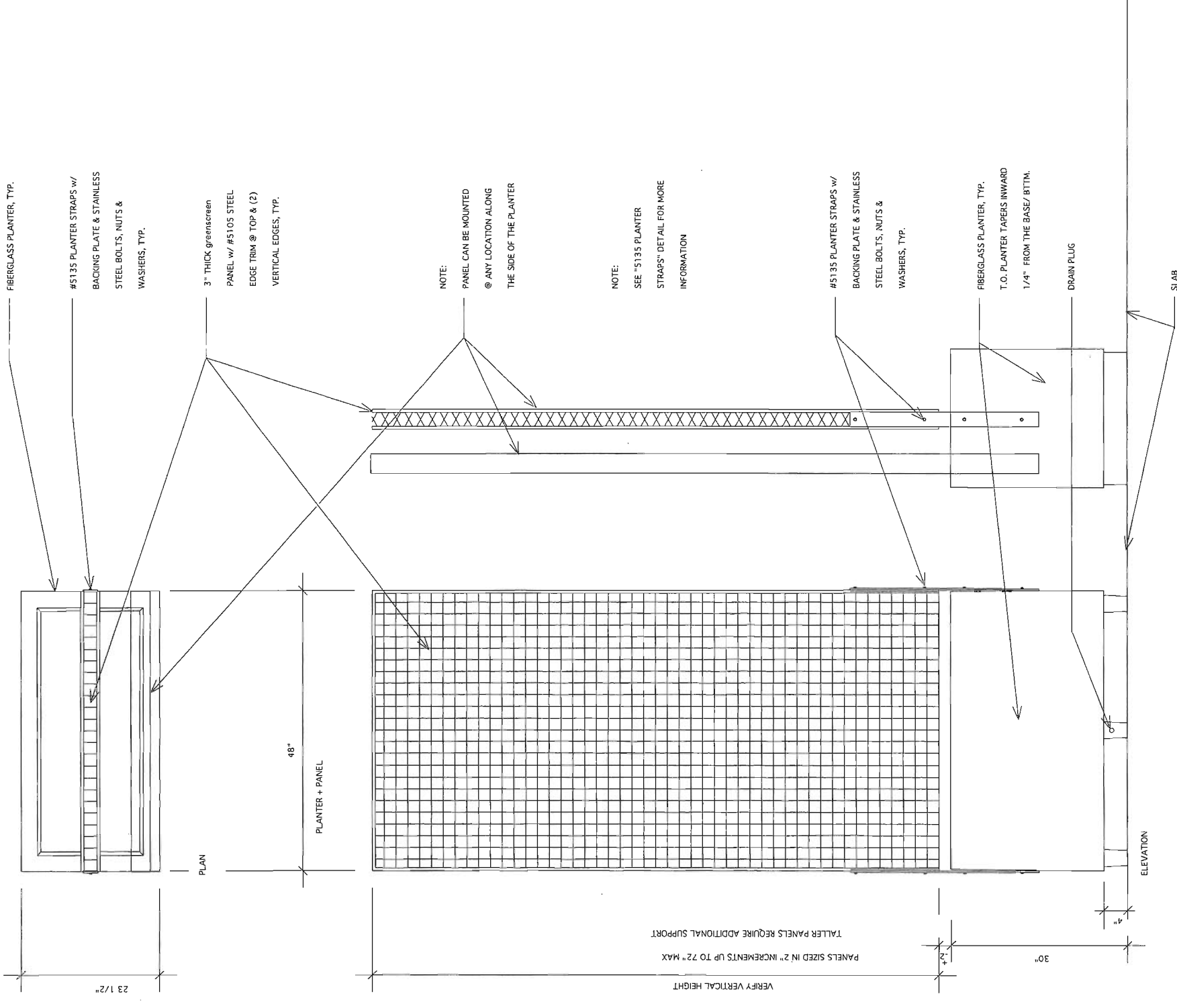
general notes

This drawing is an instrument of service, remains the property of considered design inc. and may not be reproduced without the permission of considered design inc.
 All information shown on this drawing is for use in this project only and shall not be used without written consent of considered design inc.
DO NOT SCALE FROM THIS DRAWING
 All dimensions are to be verified by the contractor, use figured dimensions only. Any discrepancies shall be brought to the attention of the Landscape Architect prior to the commencement of work on site.

issue	date
DP INTAKE	26.03.14

revision	date
----------	------

VERIFY VERTICAL HEIGHT
 PANELS SIZED IN 2" INCREMENTS UP TO 72" MAX
 TALLER PANELS REQUIRE ADDITIONAL SUPPORT



NOTE:

PANEL CAN BE MOUNTED @ ANY LOCATION ALONG THE SIDE OF THE PLANTER

NOTE:

SEE "5135 PLANTER STRAPS" DETAIL FOR MORE INFORMATION

#5135 PLANTER STRAPS w/ BACKING PLATE & STAINLESS STEEL BOLTS, NUTS & WASHERS, TYP.

FIBERGLASS PLANTER, TYP. T.O. PLANTER TAPERS INWARD 1/4" FROM THE BASE/ BTM.

DRAIN PLUG

ELEVATION

SLAB

project
 8451 BRIDGEPORT ROAD DEVELOPMENT

legal
 LOT 215, BLOCK 5 NORTH RANGE 6 WEST, NEW WEST DISTRICT PLAN 35992

drawing
 GREENSCREEN TYPICAL

seal



scale
 1:10 METRIC

Plan 15 Jan 20, 2015
DP 12-624180

number
L6_L6.1



G.B.L. ARCHITECTS INC.
 14-211 WEST BRIDGEPORT ROAD
 RICHMOND, BC V6V 1Y7
 TEL: 604-273-1111 FAX: 604-273-1112
 WWW.GBLARCHITECTS.COM



NOTES

REVISIONS	DATE	DESCRIPTION
1		



RIVER RD

WEST RD

BRIDGEPORT ROAD ELEVATION

8451 BRIDGEPORT ROAD
 RICHMOND, BC

FOR MYIE LTD
 BRIDGEPORT ROAD
 ELEVATION

DATE: FEBRUARY 2015
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SCALE: 1/8"=1'-0"
 JOB NUMBER: 1145

A-3.00

Plan 16 Jan 20, 2015
 DP 12-624180



G.B.L. ARCHITECTS INC.
 19-131 AVENUE 11TH AVENUE
 VANCOUVER, BC CANADA V6C 2K7
 TEL: 604-271-1111
 FAX: 604-271-1111



PLANT INFO
 NOT TO SCALE

NOTES

REVISIONS
 DATE DESCRIPTION



BRIDGEPORT RD

RIVER RD

WEST ROAD ELEVATION

8451 BRIDGEPORT ROAD
 RICHMOND, BC

FOR MYIE LTD

WEST ROAD
 ELEVATION

DATE: FEBRUARY 2013
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SCALE: 1/8"=1'-0"
 JOB NUMBER: 1145

A-3.01

Plan 17 Jan 20, 2015
 DP 12-624180



G.B.L. ARCHITECTS INC.
 140-1511 WEST 11TH AVENUE
 VANCOUVER, BC CANADA V6Z 2S4
 TEL: 604-271-1111
 FAX: 604-271-1112
 WWW.GBLARCHITECTS.COM



PLAT INFO
 NOT FOR CONSTRUCTION

NOTES

REVISIONS	DATE	DESCRIPTION



WEST RD

BRIDGEPORT RD

RIVER ROAD ELEVATION

8451 BRIDGEPORT ROAD
 RICHMOND, BC

FOR MYIE LTD

RIVER ROAD
 ELEVATION

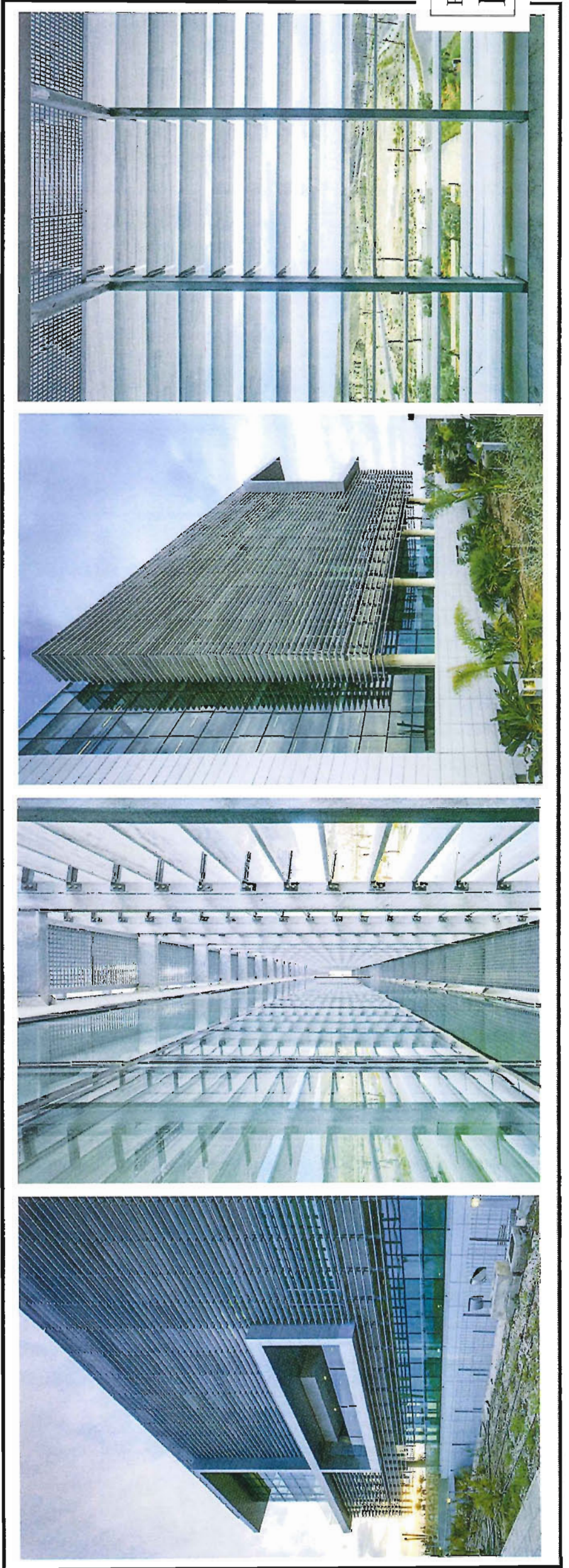
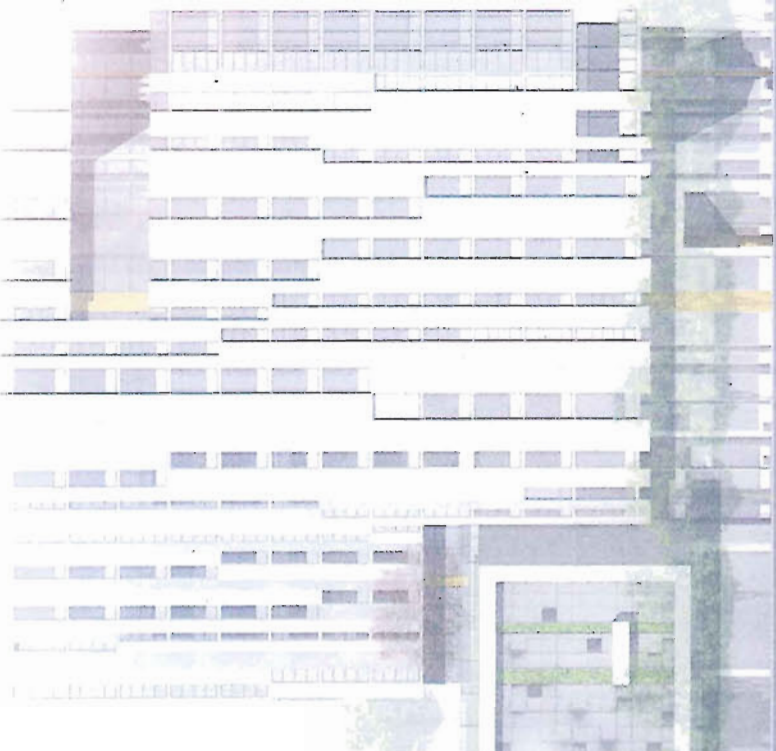
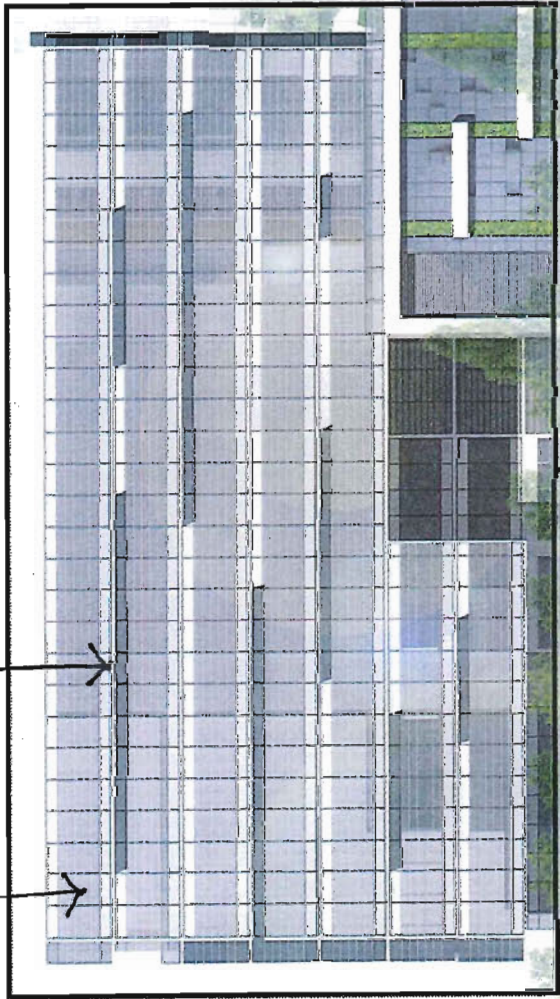
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 CHECKED BY: [Name]
 SCALE: 1/16"=1'-0"
 JOB NUMBER: 1145

A-3.02

Plan 18 Jan 20, 2015
 DP 12-624180



0.3 M WIDE LOUVERS (TYP.)
 0.6 M WIDE FLOOR SLAB PROJECTIONS (TYP.)



NO.	DATE	DESCRIPTION
01	NOV. 2012	REVISIONS FOR PERMIT
02	OCT. 20 2012	REV. APPLICATION
03	SEP. 05, 2013	REVISIONS FOR PERMIT
04	NOV. 18, 2014	REV. FOR PERMIT
05	JUN 20, 2014	REV. FOR PERMIT
06	AUG 28, 2014	REVISED FOR ELECTRICAL CONSULTANT
07		ISSUED FOR COORDINATION

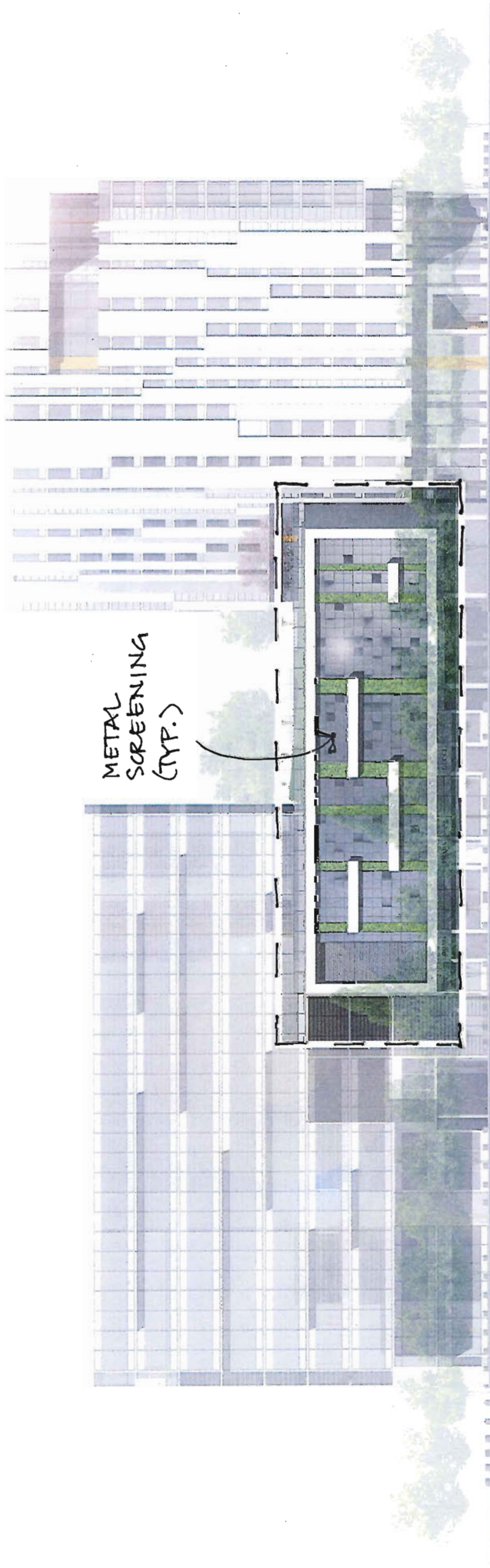
ITC - BRIDGEPORT RD

RICHMOND BC

SOLAR SCREENING
 PRECEDENTS

Plan 19 Jan 20, 2015
 DP 12-624180

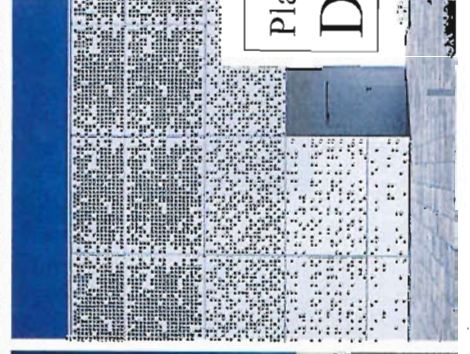
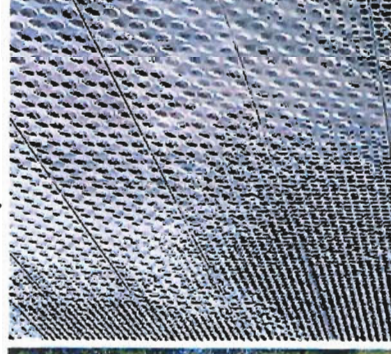
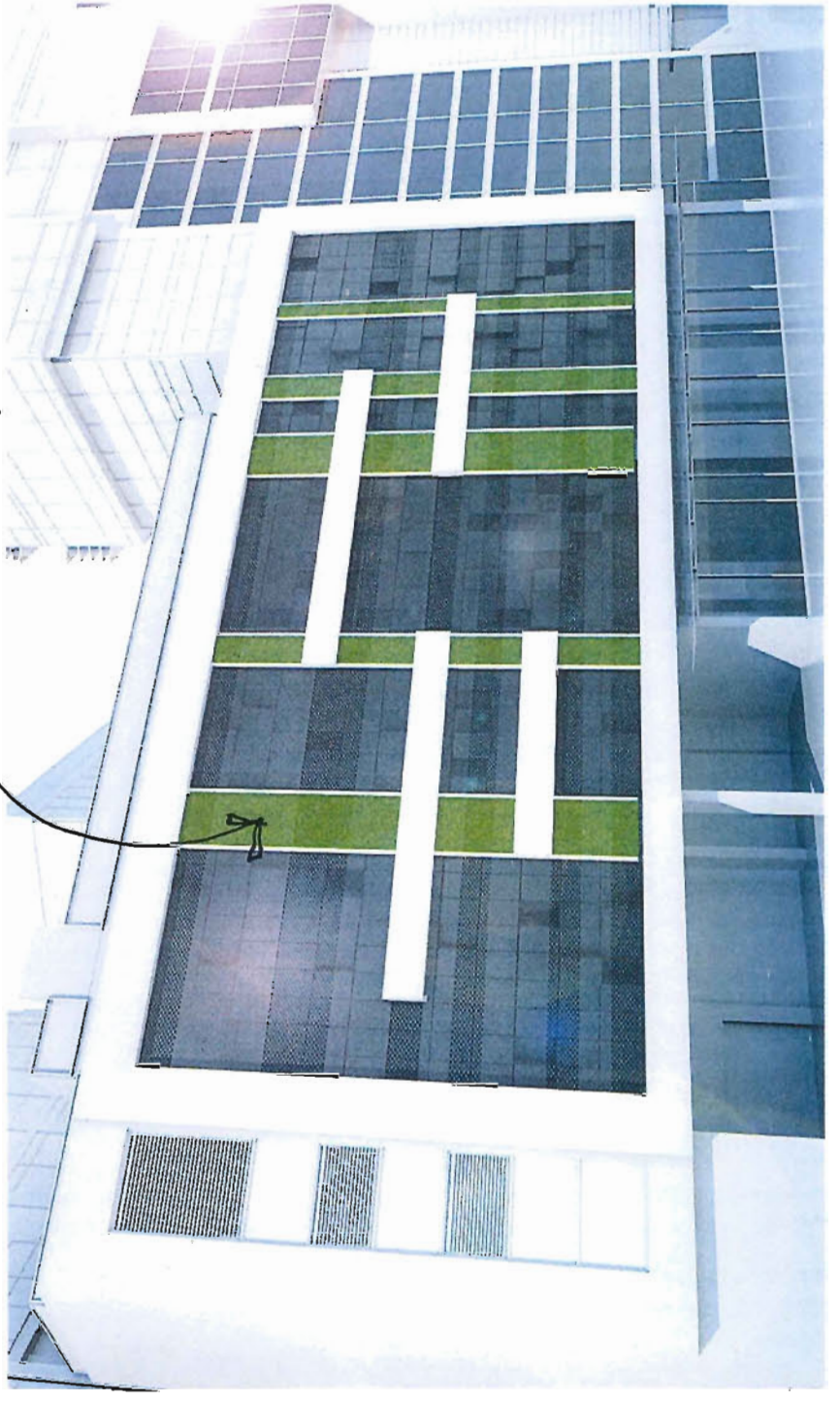
A-5.02



METAL SCREENING
 (TYP.)

GREENSCREEN (TYP. SEE PLAN #15)

SCREENING PRECEDENT IMAGES:



NO.	DATE	DESCRIPTION
01	APRIL 2012	REVISION APPLICATION
02	APRIL 2012	REVISION FOR COMMENTS
03	APRIL 2012	FUNCTIONAL, LOT PLAN & LANDING REVISION
04	APRIL 2012	REVISION FOR COMMENTS
05	MAY 2012	REVISION FOR COMMENTS
06	MAY 2012	REVISION FOR COMMENTS
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10	MAY 2012	REVISION FOR COMMENTS
11	MAY 2012	REVISION FOR COMMENTS
12	MAY 2012	REVISION FOR COMMENTS
13	MAY 2012	REVISION FOR COMMENTS
14	MAY 2012	REVISION FOR COMMENTS
15	MAY 2012	REVISION FOR COMMENTS
16	MAY 2012	REVISION FOR COMMENTS
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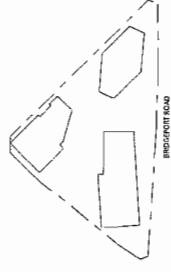
ITC - BRIDGEPORT RD

RICHMOND BC

BRIDGEPORT ROAD
 ELEVATION

Plan 20 Jan 20, 2015
 DP 12-624180

A-5.02



REVISIONS

NO.	DATE	DESCRIPTION
01	APR 2012	REZONING APPLICATION
02	OCT 29, 2012	DP APPLICATION
03	APR 25, 2013	FUNCTIONAL PLAN & LOADING REDESIGN
04	APR 25, 2013	DP
05	MAR 19, 2014	ISSUED FOR PERMIT
06	JAN 20, 2015	ISSUED FOR ELEVATOR CONSULTANT
07	JAN 20, 2015	ISSUED FOR COORDINATION
08	AUG 28, 2014	ISSUED FOR COORDINATION

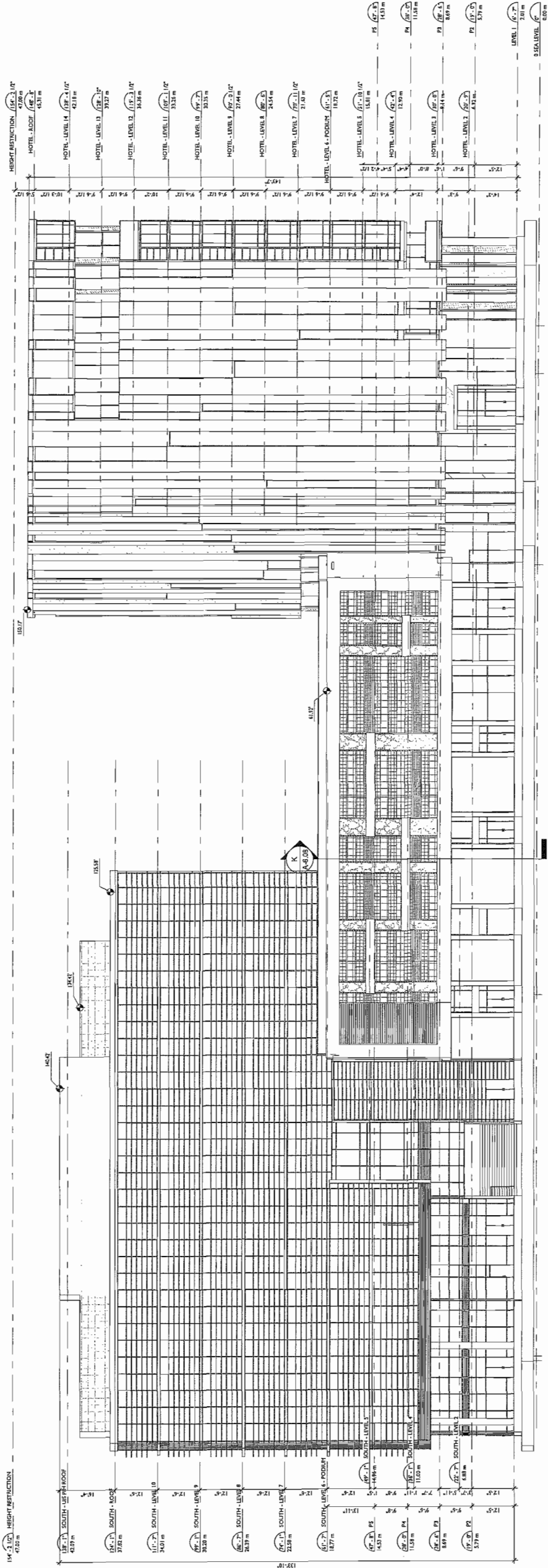
ITC - BRIDGEPORT RD

RICHMOND BC

BRIDGEPORT ROAD
 ELEVATION

Plan 22 Jan 20, 2015
 DP 12-624180

A-5.02



BRIDGEPORT ROAD ELEVATION

REVISIONS

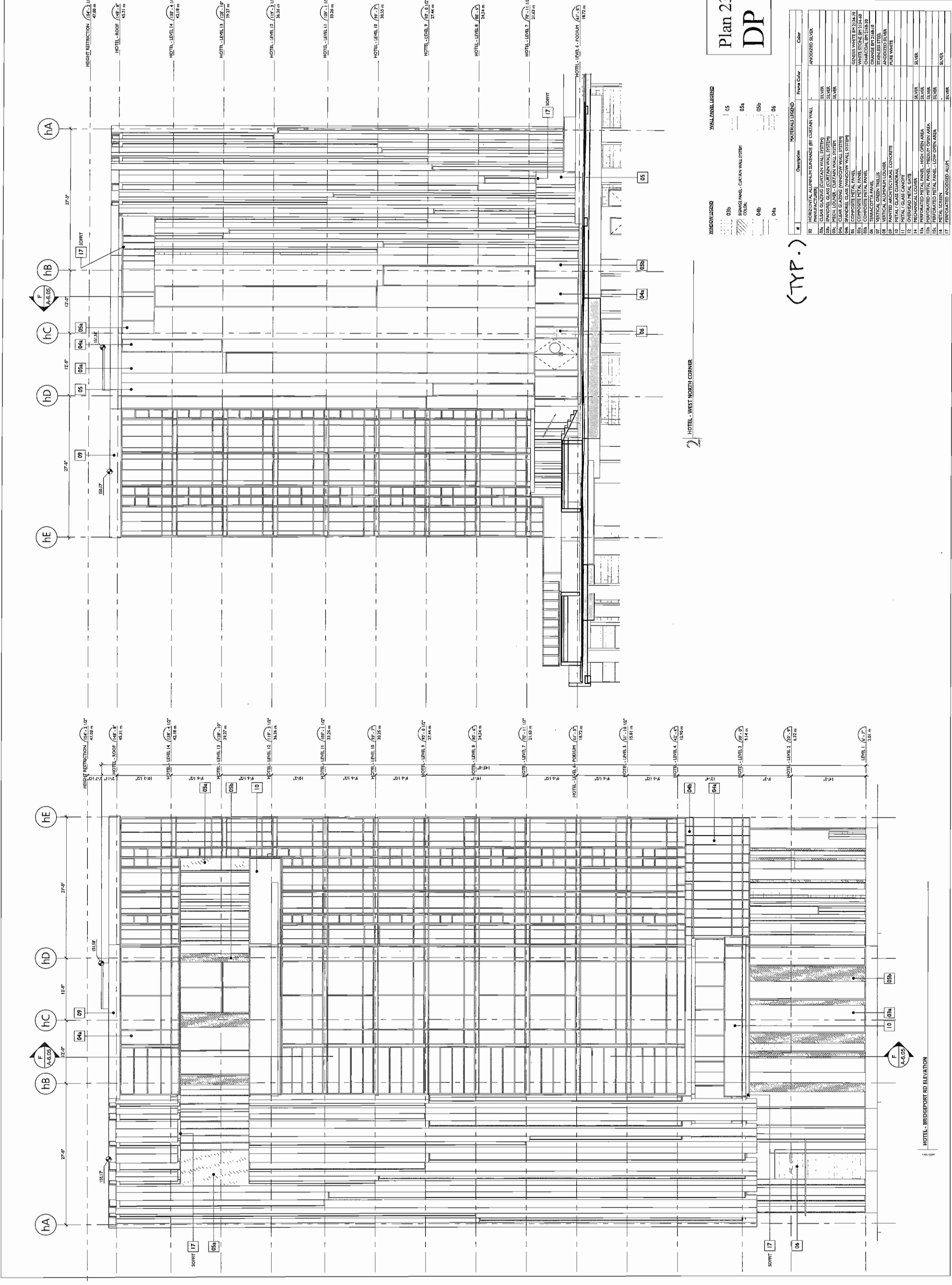
NO.	DATE	DESCRIPTION
01	APR 2012	RECONING APPLICATION
02	APR 25 2012	DP APPLICATION
03	APR 25 2012	APPROVAL FOR PLAN & LOADING REVISION
04	SEP 23 2013	REVISED DP
05	MAY 30 2014	DP RESUBMISSION
06	JUN 26 2014	ISSUED FOR ELEVATOR CONSULTANT
07	AUG 28 2014	ISSUED FOR COORDINATION

Plan 23 Jan 20, 2015
 DP 12-624180

HOTEL ELEVATIONS

DATE: 09/10/2014 4:48:16 PM
 DRAWN BY:
 CHECKED BY:
 SCALE: 1/8" = 1'-0"
 JOB NUMBER: 1145

A-5h.02



WINDOW LEGEND

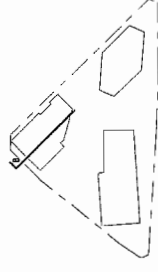
Symbol	Description
01b	DRY GLAZING CURTAIN WALL SYSTEM
02a	SPANDREL GLASS CURTAIN WALL SYSTEM
03a	SPANDREL GLASS CURTAIN WALL SYSTEM
04a	SPANDREL GLASS WINDOW WALL SYSTEM
05a	COMPOSITE METAL PANEL
06a	SPANDREL GLASS WINDOW WALL SYSTEM
07a	SPANDREL GLASS WINDOW WALL SYSTEM
08a	SPANDREL GLASS WINDOW WALL SYSTEM
09a	SPANDREL GLASS WINDOW WALL SYSTEM
10a	SPANDREL GLASS WINDOW WALL SYSTEM
11a	SPANDREL GLASS WINDOW WALL SYSTEM
12a	SPANDREL GLASS WINDOW WALL SYSTEM
13a	SPANDREL GLASS WINDOW WALL SYSTEM
14a	SPANDREL GLASS WINDOW WALL SYSTEM
15a	SPANDREL GLASS WINDOW WALL SYSTEM
16a	SPANDREL GLASS WINDOW WALL SYSTEM
17a	SPANDREL GLASS WINDOW WALL SYSTEM

(TYP.)

WALL PANEL LEGEND

Symbol	Description	Frame Color	Color
05	SPANDREL GLASS CURTAIN WALL SYSTEM	SILVER	ANODIZED SILVER
05a	SPANDREL GLASS CURTAIN WALL SYSTEM	SILVER	SILVER
05b	SPANDREL GLASS CURTAIN WALL SYSTEM	SILVER	SILVER
05c	SPANDREL GLASS CURTAIN WALL SYSTEM	SILVER	SILVER
05d	SPANDREL GLASS CURTAIN WALL SYSTEM	SILVER	SILVER
05e	SPANDREL GLASS CURTAIN WALL SYSTEM	SILVER	SILVER
05f	SPANDREL GLASS CURTAIN WALL SYSTEM	SILVER	SILVER
05g	SPANDREL GLASS CURTAIN WALL SYSTEM	SILVER	SILVER
05h	SPANDREL GLASS CURTAIN WALL SYSTEM	SILVER	SILVER
05i	SPANDREL GLASS CURTAIN WALL SYSTEM	SILVER	SILVER
05j	SPANDREL GLASS CURTAIN WALL SYSTEM	SILVER	SILVER
05k	SPANDREL GLASS CURTAIN WALL SYSTEM	SILVER	SILVER
05l	SPANDREL GLASS CURTAIN WALL SYSTEM	SILVER	SILVER
05m	SPANDREL GLASS CURTAIN WALL SYSTEM	SILVER	SILVER
05n	SPANDREL GLASS CURTAIN WALL SYSTEM	SILVER	SILVER
05o	SPANDREL GLASS CURTAIN WALL SYSTEM	SILVER	SILVER
05p	SPANDREL GLASS CURTAIN WALL SYSTEM	SILVER	SILVER
05q	SPANDREL GLASS CURTAIN WALL SYSTEM	SILVER	SILVER
05r	SPANDREL GLASS CURTAIN WALL SYSTEM	SILVER	SILVER
05s	SPANDREL GLASS CURTAIN WALL SYSTEM	SILVER	SILVER
05t	SPANDREL GLASS CURTAIN WALL SYSTEM	SILVER	SILVER
05u	SPANDREL GLASS CURTAIN WALL SYSTEM	SILVER	SILVER
05v	SPANDREL GLASS CURTAIN WALL SYSTEM	SILVER	SILVER
05w	SPANDREL GLASS CURTAIN WALL SYSTEM	SILVER	SILVER
05x	SPANDREL GLASS CURTAIN WALL SYSTEM	SILVER	SILVER
05y	SPANDREL GLASS CURTAIN WALL SYSTEM	SILVER	SILVER
05z	SPANDREL GLASS CURTAIN WALL SYSTEM	SILVER	SILVER

2 HOTEL - WEST NORTH CORNER



NO.	DATE	DESCRIPTION
01	03/11/2014	ISSUED FOR PERMIT
02	03/11/2014	ISSUED FOR PERMIT
03	04/02/2015	FUNCTIONAL RED PLAN & LOADING REDESIGN
04	04/02/2015	ISSUED FOR PERMIT
05	05/20/2014	DP RESUBMISSION
06	05/20/2014	ISSUED FOR PERMIT
07	08/23/2014	ISSUED FOR COORDINATION

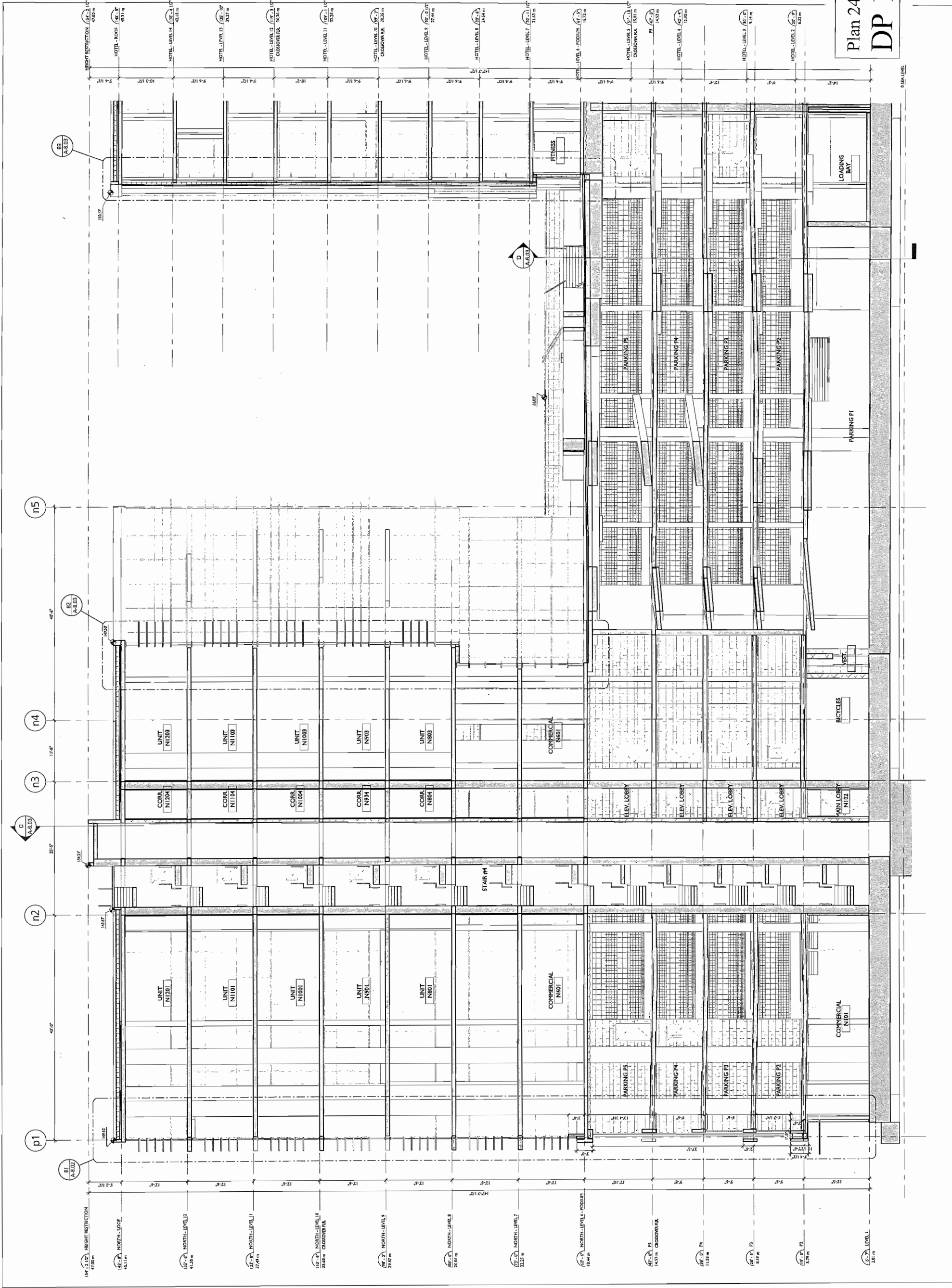
ITC - BRIDGEPORT RD

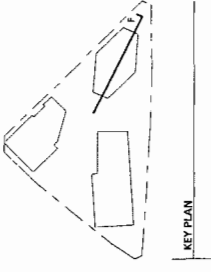
RICHMOND BC

SECTION B - NORTH
 BUILDING

Plan 24 Jan 20, 2015
 DP 12-624180

A-6.02





NO.	DATE	DESCRIPTION
01	APR 2012	REZONING APPLICATION
02	APR 25, 2012	PERMISSION TO CONSTRUCT
03	APR 25, 2012	FUNCTIONAL UP PLAN & LOADING REVISION
04	SEP 23, 2013	REVISED DP
05	MAY 20, 2014	DP REVISION
06	MAY 20, 2014	DP REVISION
07	JUN 26, 2014	ISSUED FOR ELEVATOR CONSULTANT
08	AUG 26, 2014	ISSUED FOR COORDINATION

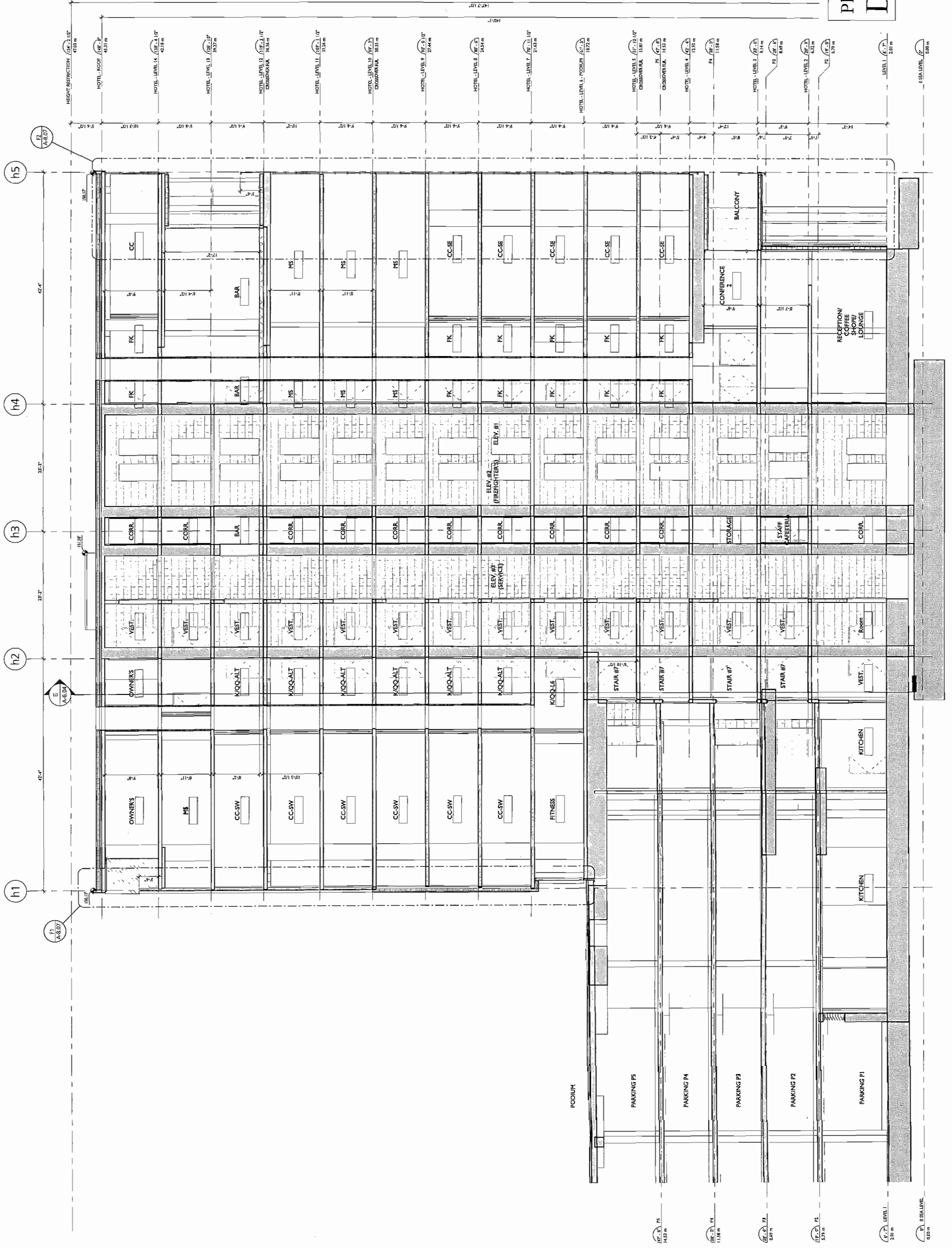
ITC - BRIDGEPORT RD

RICHMOND BC

SECTION F - HOTEL

Plan 25 Jan 20, 2015
 DP 12-624180

A-6.05





NO.	DATE	DESCRIPTION
01	APR 2012	REVISIONS APPLICATION
02	OCT 29 2012	DP APPLICATION
03	SEP 05 2013	REVISIONS TO PLAN & LANDING REDESIGN
04	SEP 05 2013	REVISIONS TO PLAN & LANDING REDESIGN
05	MAR 18 2014	DP REVISIONS
06	JUN 20 2014	ISSUED FOR PERMIT
07	JUN 20 2014	ISSUED FOR ELEVATOR CONSULTANT
08	AUG 29 2014	ISSUED FOR COORDINATION

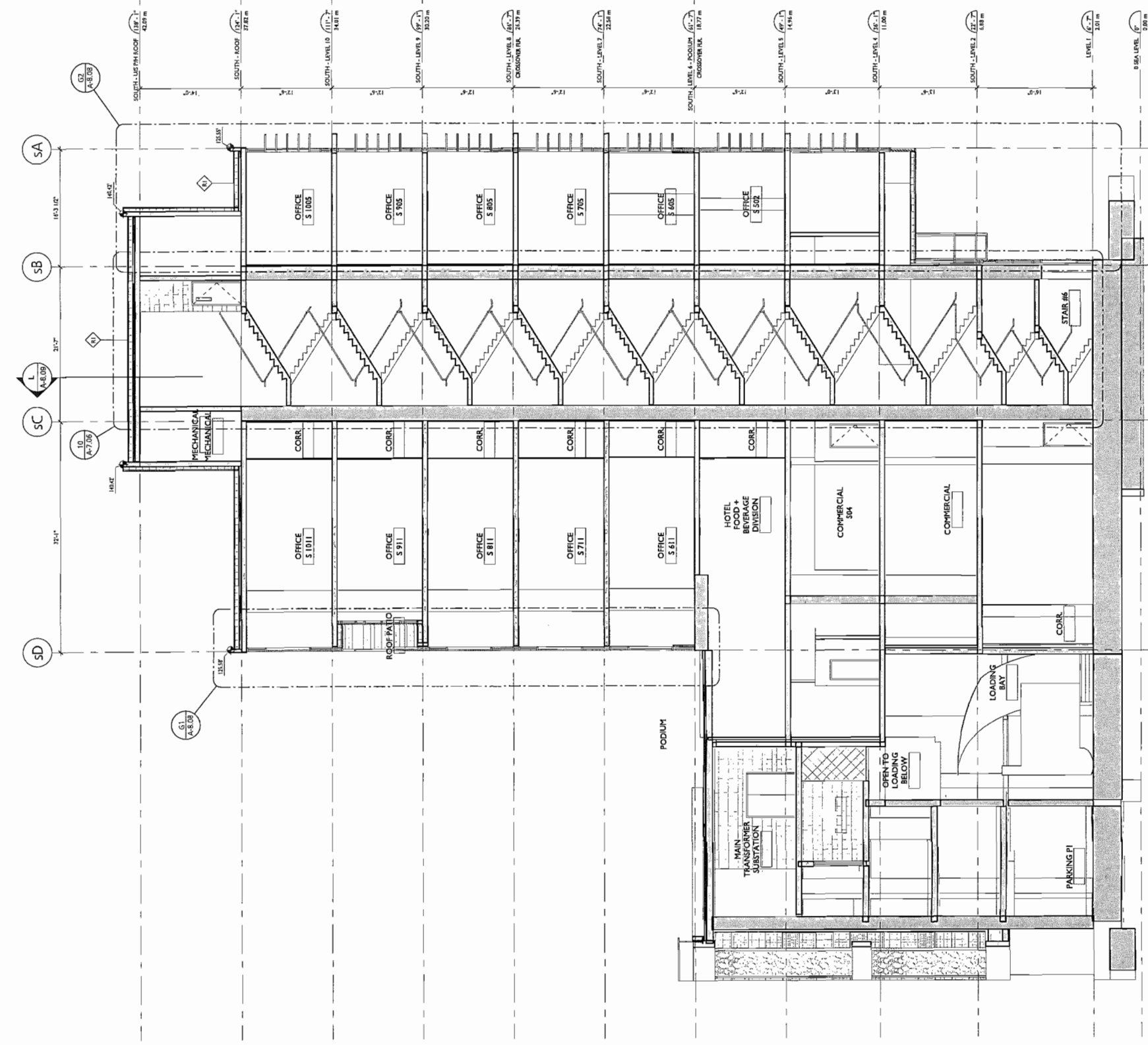
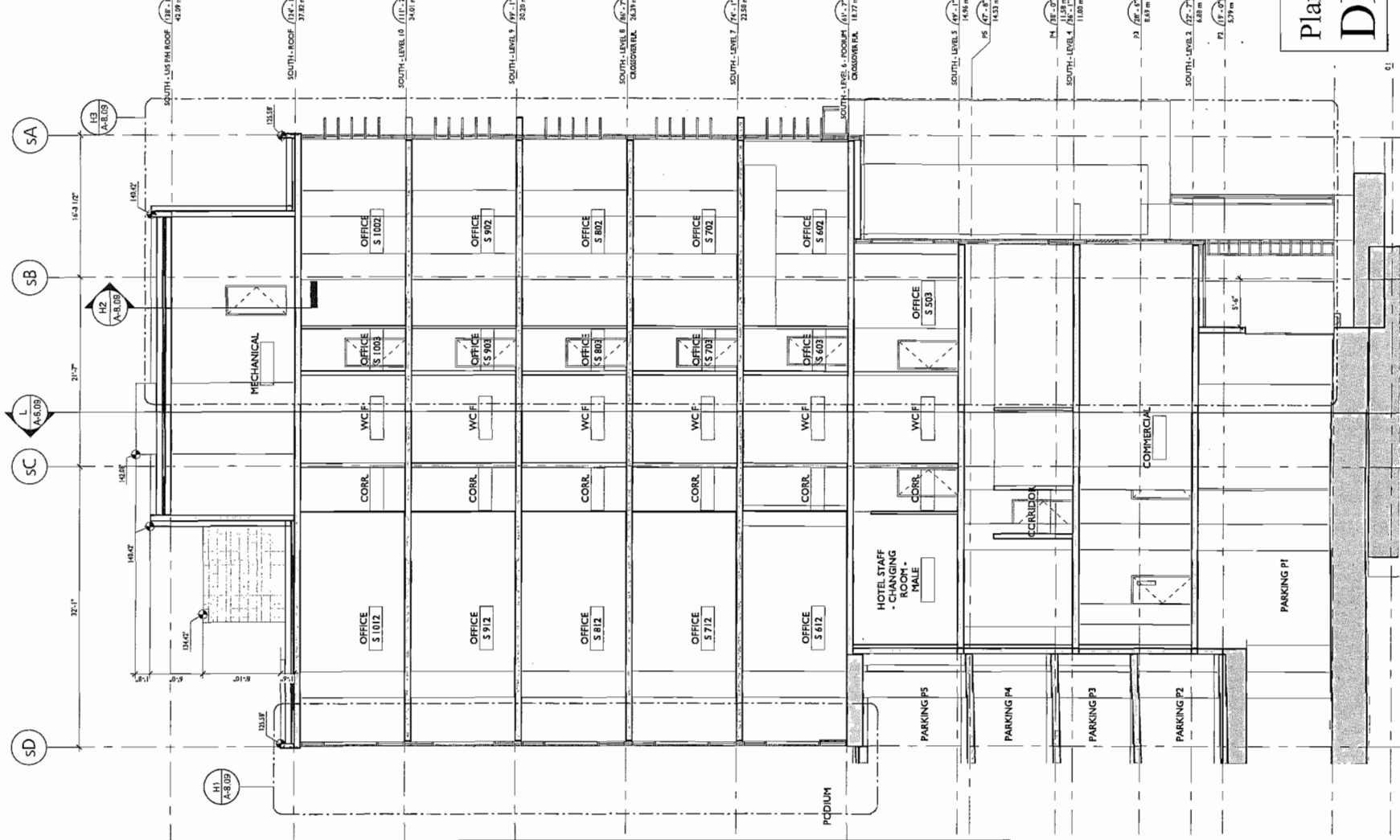
ITC - BRIDGEPORT RD

RICHMOND BC

SECTION G & H -
SOUTH BUILDING

Plan 26 Jan 20, 2015
DP 12-624180

A-6.06



SECTION H - SOUTH BUILDING
 1/8" = 1'-0"

SECTION G - SOUTH BUILDING
 1/8" = 1'-0"

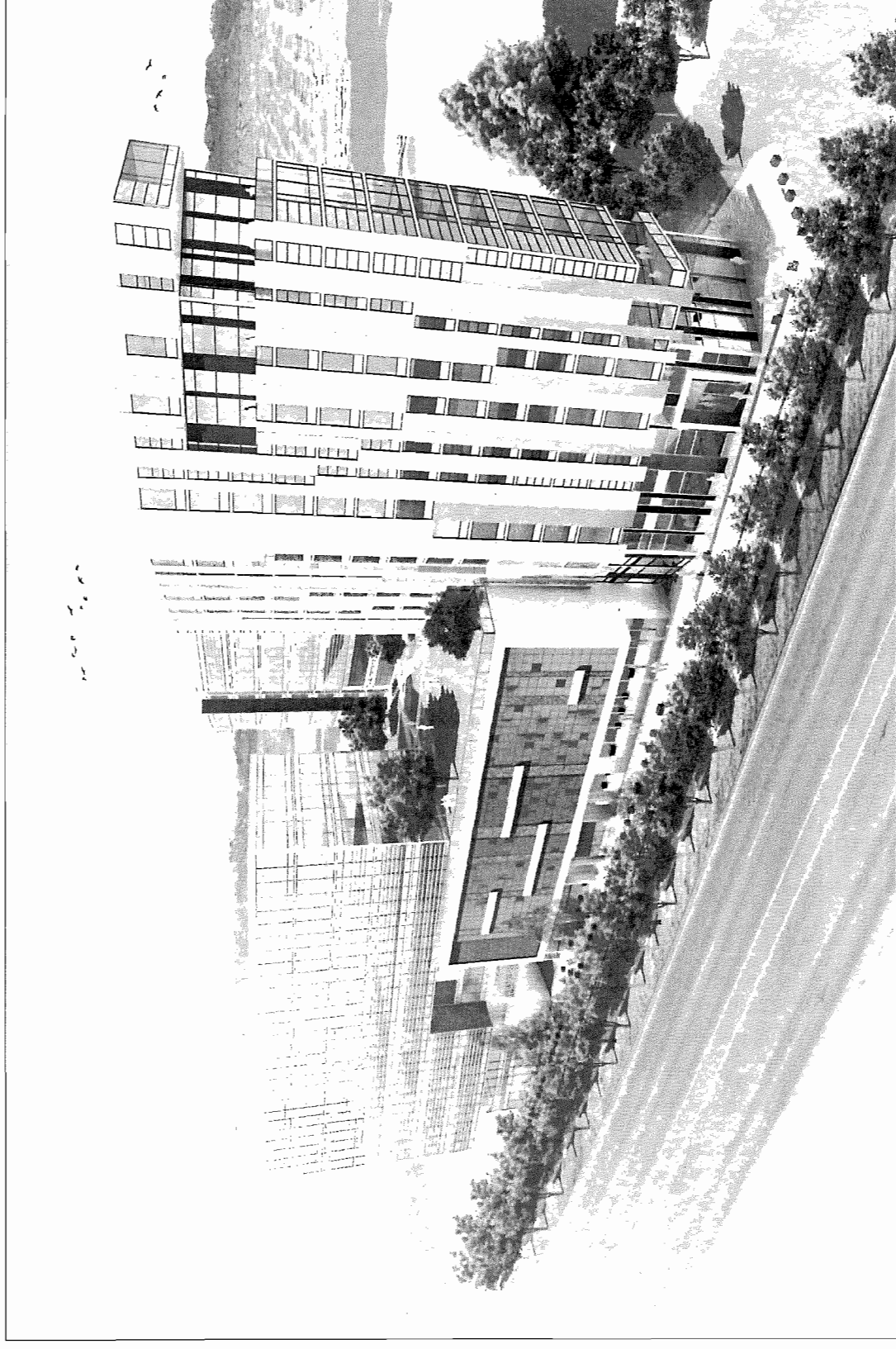


G.B. ANDRETTI INC.
 180-201 WEST 17TH AVENUE
 VANCOUVER, BC CANADA V6J 1S7
 TEL: 604-271-1111 FAX: 604-271-1112
 WWW.GANDRETTI.COM



PLAT INFO:
 PART 1: P15000000

NOTES



VIEW NW ALONG BRIDGEPORT ROAD

REVISIONS
 NO. DATE DESCRIPTION

8451 BRIDGEPORT ROAD
 RICHMOND, BC

FOR MYIE LTD

3D VIEWS

DATE: FEBRUARY 2013
 DRAWN BY:
 CHECKED BY:
 SCALE: 1/8"=1'-0"
 JOB NUMBER: 1145

A-5.00

Reference Plan Jan 20, 2015
 DP 12-624180

1

CIVIC ADDRESS: 8451 BRIDGEPORT ROAD, RICHMOND BC
 LEGAL DESCRIPTION: LOT 715, BLOCK 5 NORTH, RANGE 6
 WEST, NEW WESTMINSTER DISTRICT PLAN 35982

GENERAL NOTES

1. TO HAVE SHOWN AND HANDED SHOP DRAWINGS FOR STRUCTURAL GUARD RAILS TO BE INSTALLED.
2. ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED TO BE TO FACE UNLESS OTHERWISE SPECIFIED TO BE TO CENTERLINE.
3. ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED TO BE TO FACE UNLESS OTHERWISE SPECIFIED TO BE TO CENTERLINE.
4. ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED TO BE TO FACE UNLESS OTHERWISE SPECIFIED TO BE TO CENTERLINE.
5. DIMENSIONS AT WINDOWS ARE TO FACE UNLESS OTHERWISE SPECIFIED TO BE TO CENTERLINE.
6. ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED TO BE TO FACE UNLESS OTHERWISE SPECIFIED TO BE TO CENTERLINE.
7. REFER TO ARCHITECT'S NOTES FOR WINDOW SIZES AND FINISHES. REFER TO ARCHITECT'S NOTES FOR WINDOW SIZES AND FINISHES.
8. REFER TO ARCHITECT'S NOTES FOR WINDOW SIZES AND FINISHES. REFER TO ARCHITECT'S NOTES FOR WINDOW SIZES AND FINISHES.
9. REFER TO ARCHITECT'S NOTES FOR WINDOW SIZES AND FINISHES. REFER TO ARCHITECT'S NOTES FOR WINDOW SIZES AND FINISHES.
10. REFER TO ARCHITECT'S NOTES FOR WINDOW SIZES AND FINISHES. REFER TO ARCHITECT'S NOTES FOR WINDOW SIZES AND FINISHES.
11. ALL DIMENSIONS TO BE CONFIRMED ON SITE.

NO.	DATE	DESCRIPTION
01	APR 2012	REVISION APPLICATION
02	OCT 25 2012	DP APPLICATION AND PLAN & LANDING REVISION
03	SEP 23 2013	REVISED DP
04	MAR 18 2014	DP REVISION
05	JAN 26 2014	ISSUED FOR ELEVATOR CONSULTANT
06	AUG 29 2014	ISSUED FOR COORDINATION

ITC - BRIDGEPORT RD
 RICHMOND BC
 LEVEL 6 - PODIUM

Reference Plan Jan 20, 2015
DP 12-624180

A-2.06

NOTE: PROVIDE SIGNAGE OF MAXIMUM OCCUPANT LOAD OF 20 PERSONS ALLOWED IN NORTH OFFICE TOWER.

ABBREVIATIONS

- AZ WALL FINISH
- FD FLOOR FINISH
- IB INTERIOR BALCONY
- PD POOL DECK
- WV WATER VALVE
- TOP TOP OF FINISH

LEGEND

- ROOF CEILING - 1" THICK BOARD CEILING ON TOP OF CONCRETE SLAB
- TO BE SUPPLIED BY OTHER TRADES
- INTERIOR DESIGNER TO PROVIDE FINISHES
- ROOF CEILING - 1" THICK BOARD CEILING ON TOP OF CONCRETE SLAB
- TO BE SUPPLIED BY OTHER TRADES
- INTERIOR DESIGNER TO PROVIDE FINISHES
- ROOF CEILING - 1" THICK BOARD CEILING ON TOP OF CONCRETE SLAB
- TO BE SUPPLIED BY OTHER TRADES
- INTERIOR DESIGNER TO PROVIDE FINISHES

