



**To:** Development Permit Panel

**Date:** June 19, 2018

**From:** Wayne Craig  
Director of Development

**File:** DP 17-781050

**Re:** **Application by 1082843 BC Ltd (Refined Properties) for a Development Permit at 22720 and 22740 Westminster Highway**

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**Staff Recommendation**

That a Development Permit be issued which would:

1. Permit the construction of a 25-unit at townhouse project on a site zoned “High Density Townhouses (RTH1)”; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to reduce the exterior side yard setback to McLean Avenue from 4.5 m (14.8 ft.) to 4.0 m (13.1 ft.) for limited portions of two buildings.

Wayne Craig  
Director of Development

WC: mm  
Att. 3

## Staff Report

### Origin

1082843 BC Ltd (Refined Properties) has applied to the City of Richmond for permission to develop a 25-unit townhouse project at 22720 and 22740 Westminster Highway on a site zoned “High Density Townhouses (RTH1)”. The site currently contains one single family dwelling.

The site is being rezoned from “Single Detached (RS1/F)” to “High Density Townhouses (RTH1)” for this project under Bylaw 9714 (RZ 16-754713).

A Servicing Agreement (SA 17-781881) for the following works is required to be entered into prior to adoption of rezoning:

- Road widening and construction of a cul-de-sac at the east end of McLean Avenue within road dedication provided as part of the subdivision for this project.
- Frontage works on Westminster Highway and McLean Avenue which include 1.5 m (4.9 ft.) wide concrete sidewalks and 1.5 m (4.9 ft.) wide boulevards with grass and street trees.
- Installation of a new sanitary main within a Statutory Right of Way (SRW) to be registered on the development site adjacent to McLean Avenue.

### Development Information

Please refer to attached Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant Bylaw requirements.

### Background

Development surrounding the subject site is as follows:

To the north, a townhouse development zoned “Town Housing (ZT11) – Hamilton”.

To the south, across McLean Avenue, a church property zoned “Assembly (ASY)”.

To the east, the remainder of the subject site is zoned “Single Detached (RS1/F)” which includes a single family dwelling and the Queen Canal further to the east.

To the west, across Westminster Highway, a single family property zoned “Single Detached (RS1/F)” and part of a townhouse development zoned “Town Housing (ZT11) – Hamilton”.

### Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on June 19, 2017. At the Public Hearing, no concerns about the rezoning were expressed.

During the rezoning process, staff identified the following design issues to be resolved at the Development Permit stage:

- Adding further small-scale articulation and architectural detailing of the townhouse buildings, particularly those facing onto the public realm.

In response, the following have been included:

- *Further differentiation of materials and architectural detailing have been provided on the front façades of the buildings facing towards the public realm.*
- *Additional windows and more detailing have been added to the south side elevations of Buildings 2 and 6 given their high visibility from the McLean Avenue.*
- *Additional gables have been added to the roofs of Buildings 4 and 5 at the centre of the site.*
- Refining the landscape plans, particularly for the playground, large trellis structure near the driveway entrance, and to provide a robust landscape buffer to the existing townhouse complex to the north.

In response, the following have been included:

- *More substantial and attractive plantings have been specified to provide a more appropriate buffer to the adjacent townhouses to the north.*
- *The outdoor amenity area has been enlarged and a more substantial play area and seating area provided.*
- *The trellises in the outdoor amenity area and at the main driveway entry from McLean Avenue have been moved and designed with more substantial materials.*
- *Additional groundcover and shrubs have been added to the small areas between the garage doors and internal driveways to provide some relief from the hard surfacing.*

### ***Subdivision***

The subject development site will be created by the re-subdivision of the two existing lots. The proposed townhouse development site on Parcel A will be created on the western portion of the site and Parcel B for the existing single family home to remain on the eastern portion of the site. The applicant has also prepared a concept plan for a possible future townhouse development on the proposed Parcel B which was reviewed by Staff and retained in the application file.

### **Staff Comments**

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the “High Density Townhouses (RTH1)” zone except for the zoning variance noted below.

### **Zoning Compliance/Variations (staff comments in bold)**

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to reduce the exterior side yard setback to McLean Avenue from 4.5 m (14.8 ft.) to 4.0 m (13.1 ft.) for limited portions of two buildings.

***(Staff supports the proposed variance as it applies to small sections of two buildings (Buildings 1 and 6 shown Development Permit Plan no. 6 of the Development Permit plans). These***

*variances were necessitated by the large amount of road dedication taken from the site to create a cul-de-sac bulb at the end of McLean Avenue as required during the rezoning process. Building 1 has been stepped and articulated to reduce the setback variance. Additional landscaping and an ornamental trellis have been included within the reduced setback to Building 6 to enhance the appearance of the development. The proposed variances were noted in the Staff Report to Planning Committee for the rezoning with no concerns raised at Planning Committee or the Public Hearing regarding the variances.)*

### **Advisory Design Panel Comments**

The Advisory Design Panel reviewed the proposal on April 18, 2018. A copy of the relevant excerpt from the Advisory Design Panel Minutes is attached for reference (**Attachment 2**). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '*bold italics*'.

### **Analysis**

#### ***Conditions of Adjacency***

- The first habitable level of the buildings is at the 3.5 m Flood Construction Level. Given this, the ground level of the townhouses (at approximately 1.0 m elevation) is comprised of garages and entry foyers only.
- The development has appropriately addressed the adjacent Westminster Highway and McLean Avenue frontages with the design of the buildings and landscaping.
- The existing single family home on the proposed adjacent Lot B is to be maintained immediately east of the site. In the future, this lot may be re-developed for ground-oriented townhouses.
- Given the adjacency to Westminster Highway, the applicant will be required to register a covenant on title that ensures that the proposed development will be designed and constructed in a manner that mitigates potential highway noise from that may impact the proposed dwelling units. Prior to issuance of the Development Permit, the applicant must provide reports from professional engineers that address CMHC noise standards and interior thermal conditions.

#### ***Access, Parking and Loading***

- Vehicle and pedestrian access to the townhouse project (Parcel A) will be provided by a single driveway from the cul-de-sac at the end of McLean Avenue. There will also be an adjacent driveway to the existing single family dwelling that will remain on Parcel B to the east.
- There will be 13 units with side-by-side double garages and 12 units with tandem double garages providing for unit choice and variation in building form. This arrangement with 44% of the parking spaces in a tandem arrangement is consistent with the maximum 50% tandem parking space Richmond Zoning Bylaw 8500.
- The drive aisles are designed to allow for maneuvering of SU9 (medium) trucks to accommodate on-site loading within the aisles as permitted by the Zoning Bylaw.

### ***Urban Design and Site Planning***

- Setbacks to Westminster Highway will be 4.5 m (14.8 ft.) which is similar to the setback to the neighbouring townhouse project immediately to the north.
- The setback to McLean Avenue will be 4.5 m (14.8 ft.) in most places with small portions of two units requiring a setback variance to 4.0 m (13.1 ft.) as discussed above.
- The proposed project will feature a 4.5 m (14.8 ft.) rear yard setback to the proposed single family residential lot to the east (designated for future townhouse development), and 3.0 m (9.8 ft.) side yard setback to the existing townhouse complex to the north of the development.
- A Statutory Right of Way (SRW) is being registered on the main driveway entrance to the townhouse site to maintain sufficient area for garbage, recycling and fire truck turning.
- To address the prominence of the driveway entrance given the size of the development and the small McLean Avenue cul-de-sac, the development includes a substantial trellis and seating area at the front of the project.

### ***Architectural Form and Character***

The proposed development includes 25 townhouse units with the following elements:

- The project's six (6) buildings are comprised of four (4) different neo-traditional buildings types designed to provide architectural variation.
- The project continues a similar townhouse streetscape along Westminster Highway as found in the adjacent townhouse complex to the north.
- The buildings are mainly clad with narrow horizontal vinyl siding and vinyl shingle siding alternating between units within each building to provide variety. There is also use of off-white hardi panel with timbers on portions of the units facing the public realm to provide further variety.
- The siding materials have a range of off-white and grey tones.
- The sloping roofs are clad in with charcoal grey asphalt shingles.

Units will have an average floor area of approximately of 111 m<sup>2</sup> (1,191 ft<sup>2</sup>).

- The typical building height is three storeys with a maximum building height of 11.9 m (39 ft.) above finished grade, consistent with the RTH1 zone.

### ***Landscape Design and Open Space Design***

- The three buildings facing Westminster Highway and Mclean Avenue include individual front yards of 4.5 m (14.8 ft.) in depth with pathways leading to the public sidewalks on the adjacent streets; the remaining three internal buildings include rear yards averaging 4.0 m (13.1 ft.) in depth with large patios.
- This adjacent townhouse complex to the north is separated from the proposed development with an existing 2.0 m (6.6 ft.) solid wood fence, and a hedge and deciduous trees to be planted adjacent to the fence.

- The project will include 161 m<sup>2</sup> (1,729 ft<sup>2</sup>) of common outdoor amenity area located near the centre of the development site. The proposed amenity areas are consistent with the requirements of the OCP. Main features of the central amenity area include:
  - Play area with play equipment.
  - Open air seating area and picnic table.
  - Trellis and trees buffering the area from the internal driveway.

Under the rezoning application for this project, the City's Tree Preservation Coordinator has reviewed the project arborist report and supports the arborist's findings for the removal of the 13 on-site trees within the development site to be replaced at minimum 2:1 ratio. The attached landscape plans include 55 trees within the development site, well in excess of the minimum 26 replacement trees required.

The developer will also remove invasive species and plant native vegetation within the Riparian Management Area in the Queen Canal corridor and on the adjacent existing single family dwelling lot (Lot B) to the east of the development site as a rezoning consideration.

#### ***Crime Prevention Through Environmental Design***

- The development has been designed to provide private street-oriented townhouses that include front doors and provide surveillance of the adjacent streets.
- Plantings near residential entries have a low height to maximize views and casual surveillance.

#### ***Accessible Housing***

- The proposed development includes two convertible units that can be modified to be fully accessible units in the future, should an owner elect to do so. These units will include framing to allow for a lift to be installed, wider doorways and corridors, an accessible washroom and kitchen, and other measures to allow for ease of conversion.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
  - stairwell hand rails;
  - lever-type handles for plumbing fixtures and door handles; and
  - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

#### ***Energy and Sustainability***

As required under the rezoning application, the development:

- Has been designed to be LEED Silver equivalent with an emphasis on building energy conservation strategies to achieve a LEED Silver rating of 65.5 points (see Attachment 3).
- Will also be Energuide 82 energy efficient; the applicant has submitted a HOT2000 report prepared by a qualified energy efficiency consultant.

**Conclusions**

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommends that the Development Permit be endorsed, and issuance by Council be recommended.

Mark McMullen  
Senior Coordinator - Major Projects

MM:rg

The following are to be met prior to forwarding this application to Council for approval:

- Receipt of a Letter-of-Credit for landscaping in the amount of \$146,669.00.
- Registration of a noise covenant on title that requires that the proposed development must be designed and constructed in a manner that mitigates potential noise from Westminster Highway that may impact the proposed dwelling units. Prior to issuance of the Development Permit, the applicant must provide reports from professional engineers that:
  - the dwelling units be designed and constructed to achieve the CMHC guidelines for interior noise levels as indicated in the chart below:

Portions of Dwelling Units	Noise Levels (decibels)
Bedrooms	35 decibels
Living, dining, recreation rooms	40 decibels
Kitchen, bathrooms, hallways, and utility rooms	45 decibels

- the ASHRAE 55-2004 “Thermal Environmental Conditions for Human Occupancy” standard for interior living spaces.

Prior to future Building Permit issuance, the developer is required to complete the following:

- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<http://www.richmond.ca/services/ttp/special.htm>).



**DP 17-781050**

**Attachment 1**

Address: 22720 and 22740 Westminster Highway

Applicant: 1082843 BC Ltd (Refined Properties)

Owner: Han Su-Mei Sun &  
Eva Lu-Ping Sun

Planning Area(s): Hamilton

Floor Area Gross: 4,094 m<sup>2</sup>

Floor Area Net: 2,683 m<sup>2</sup>

	Existing		Proposed	
<b>Site Area:</b>	7,280 m <sup>2</sup> (Two existing single-family lots)		3,820 m <sup>2</sup> (After subdivision taking off single-family lot & road dedication)	
<b>Land Uses:</b>	Single Family Dwelling		Townhouse Development	
<b>OCP Designation:</b>	Residential		Residential	
<b>Zoning:</b>	Single Detached (RS1/F)		High Density Townhouses (RTH1)	
<b>Number of Units:</b>	1		25	
	Bylaw Requirement	Proposed	Variance	
Floor Area Ratio:	0.75	0.70	none permitted	
Lot Coverage:	Max. 45%	37%	none	
Setback – Front Yard (Westminster Hwy):	Min. 4.5 m	4.5 m	none	
Setback – Ext. Side Yard (McLean Ave):	Min. 4.5 m	4.0 m	Variance from 4.5 m to 4.0 m	
Setback – Side Yard:	Min. 2.0 m	3.0 m	none	
Setback – Rear Yard:	Min. 2.0 m	4.5 m	none	
Height (m):	Max. 12 m	11.9 m	none	
Lot Size:	1,800 m <sup>2</sup>	3,816 m <sup>2</sup>	none	
Off-street Parking Spaces – Accessible:	2	3	none	
Total off-street Spaces:	55	55	none	
Tandem Parking Spaces	50%	44%	none	
Amenity Space – Indoor:	Min. 70 m <sup>2</sup>	Cash-In-Lieu	none	
Amenity Space – Outdoor:	Min. 150 m <sup>2</sup>	161 m <sup>2</sup>	none	



Excerpt from the Minutes from  
**The Design Panel Meeting**

Wednesday, April 18, 2018 – 4:00 p.m.  
Rm. M.1.003  
Richmond City Hall

**DP 17-781050 - 25-UNIT TOWNHOUSE DEVELOPMENT**

ARCHITECT: Engage Architecture

PROPERTY LOCATION: 22720 and 22740 Westminster Highway

**Applicant's Presentation**

Karen Smith, Engage Architecture, Robert Vrooman, Living Midtown Development, and Meredith Mitchell, M2 Landscape Architecture, presented the project and answered queries from the Panel.

**Panel Discussion**

*Comments from Panel members were as follows:*

- appreciate the applicant's decision to contribute to the City's public art fund; however, the applicant is encouraged to incorporate public art into the proposed project;

*Given the smaller size of the project and limited open space, the developer feels that the contribution to the public art fund will have greater overall impact than a limited scale piece of art on site.*

- east-west orientation of townhouse units in the subject development mitigates adjacency impacts to the townhouse development to the north;
- consider a different treatment to the corner at Westminster Highway and McLean Avenue to make it more prominent; consider introducing a more public landscape treatment and/or an architectural treatment on the south side of the end unit of Building 2;

*Architectural treatment for this corner unit has been updated to widen the front bay and enlarge the main gable. Additional projections on this side of this building (e.g. chimney) are not possible due to the engineering right of way but windows have been realigned. Landscape design has added a bench and included ornamental species (*Iris sibirica*) on both sides of this bench.*

- the proposed trellis at the site entry helps create a more pedestrian feel to the project; however, consider a different treatment to the landscaping at the site entry or a different architectural treatment on the south side of Building 6 to better define the site entry;

***The trellis has been shifted closer to the site entry. Side of Building 6 had already been updated and improved as part of last round of updates with Planning.***

- appreciate the provision of two convertible units and aging-in-place features for all units; hope that the elevator door in the convertible units could swing in the opposite direction as opposed to what is currently proposed to provide easier access to a resident in wheelchair;

***Unit C2 has been updated to change door swing.***

- consider an outward opening door or a barn door for the powder room on the second and third levels of the convertible units in lieu of an inward opening door to provide more manoeuvring space for a disabled person using a mobility equipment;

***Door swing for ensuite (which is the bath which provides accessible clearance) has been reversed.***

- consider the door swing implications in the entry vestibule of the two convertible units; ensure a disabled visitor's accessibility to the elevator when entering the convertible unit through the front entry door;

***The change to the C2 unit to provide a wider gable has also created a wider entry porch; beyond that the sequence of doors cannot be improved upon without rendering parking area unusable.***

- appreciate the clear presentation materials provided by the applicant;
- the project has an opportunity to make the connection to the Queen Canal into an interesting feature; hope that the City will continue to encourage future developments in the area to contribute to this endeavour;
- the City's Parks Department is advised to coordinate with the project's developer for the removal of invasive species and planting of native vegetation within the Riparian Management Area in the Queen Canal and on the existing single family dwelling site;

***Noted on Landscape plan.***

- does not support the proposal to plant trees in planters along the McLean Avenue frontage; hope that the City will encourage the applicant to make the Westminster Highway and McLean Avenue corner more prominent and distinctive considering its proximity to the planned Hamilton Village Centre;

***The trees in planters along McLean Ave. are an Engineering requirement and are non-negotiable (the only acceptable alternative would be no trees, which is not an improvement).***

- consider installing large trees at the corner, e.g. Copper Beeches or Blue Atlas Cedar to provide a gateway feel to the corner; also consider design development to the fence along the Westminster Highway and McLean Avenue frontages to provide more visual interest;

***On Westminster Highway, the street tree nearest the intersection with McLean has been changed to a distinct and unique one, Empress tree, to add emphasis to the corner.***

- separation between the two buildings in the middle of the site is inadequate; hope that the six-meter setback to Westminster Highway could be reduced to provide more separation and privacy to the individual outdoor spaces of the middle units;

***City has agreed to a reduced setback on Westminster Highway which will increase separation; roof lines have also been updated to reduce the facing gables toward these back yards which will improved light penetration.***

- does not support the proposed species and size of trees along the north property line as they could grow too big in the long term and potentially damage the infrastructure in the proposed development; consider installing root barriers on planting beds along the north border;

***Trees have been updated and in some cases relocated.***

- support the location of the outdoor amenity space as it is south facing and sheltered within the development; however, the proposed amenity space design appears fussy and segmented; consider simplifying the design to provide a more continuous play space for children and facilitate their movement around the outdoor amenity space;

***The amenity space has been slightly increase in size (benefit from the setback change noted in item 13) and has been redesigned to make it more simple and useable. Larger play structure has been proposed.***

- consider reorienting the trellis feature and introducing attractive flowering plants to cover the whole trellis feature to make the site entry more prominent;

***The trellis has been shifted closer to the site entry. Planting around the trellis unchanged and includes: ornamental grasses, English lavender on the front which is an attractive flowering plant and trees at each end (Golden Fastigiata Beech).***

- reconsider the use of stone bases for the trellis features as stone material is not used anywhere in the buildings;

***The detailing of the trellis has been updated to better reflect the architectural material palette.***

- reconsider the planting of Douglas Fir along the north property line as they could get too big in the future; consider installing a big conifer tree at the southeast corner of the site;

***The Douglas Fir has been replaced by a Scarlet Oak; and relocated to the south close to the trellis where is more spacious.***

- generally, the architecture is elegant considering the constraints of the site;
- support the comment that the applicant provided a clear presentation of the project;
- agree with comment that the project works well considering the constraints of the site;
- proposed east-west orientation of townhouse units in the subject development mitigates overlook concerns for the existing townhouse development to the north;
- appreciate the schematic diagram showing the potential interface of the subject development with the possible future layout of the proposed east lot;
- end conditions of the buildings work successfully and effectively address potential overlook concerns for adjacent developments;
- agree with comment that there needs to be a wider separation between Buildings 4 and 5 at the centre of the development; applicant has done what it could; however, a relaxation of the required front yard setback along Westminster Highway would enhance the livability of the middle units; ***Provided, see previous comment.***
- the four-plexes along the Westminster Highway frontage are appropriate in scale; appreciate the variations on the building designs through changes in materiality and colour; also like the different approach for the McLean Avenue frontage which features a combination of side and front facades;
- generally, the two street frontages work well together; however, agree with comments that the Westminster Highway and McLean Avenue corner could be strengthened; applicant could install public art to better identify the corner; ***Updated, see previous comment.***
- support the idea of a less rigorous cul-de-sac entry to the site which is different from most townhouse developments; appreciate the organic approach;
- consider providing a threshold surface treatment between the lane and the public sidewalk going into the development, e.g., introducing banding or variation in texturing to delineate private and public zones; could also serve as a traffic calming measure;

***The public sidewalk will carry through and some feature banding has been added.***

- garbage and recycling area is logically located; consider increasing the width of the entry aperture to mitigate conflicts with on-site vehicular traffic during garbage and recycling pick-ups;

***The reduced setback along Westminster Highway has also resulted in more space beside Building 1; this building has been shifted to create more space at the garbage and recycling room and landscaping updated to provide better access.***

- pedestrian connectivity to/from the site is already adequate; too much site permeability and connectivity may give rise to CPTED issues considering the size of the development;
- support the variety of colours and architectural expression of the buildings; consider introducing hardy materials to reduce the artificial feel of the cladding and provide more variety and options for the colour palette;

***Change to materials has been considered by developer and no change proposed at this time.***

- like the rhythm, size and scale of units fronting Westminster Highway; however, consider varying the sizes of the gables, e.g., central and end gables could be larger to provide more differentiation between the units and to better announce the corner of the site;

***Wider bay has been provided at the C2 unit which creates a larger gable at both ends of that streetscape.***

- appreciate the simplicity and slightly contemporary arrangement considering the heritage style of the buildings; buildings are not too fussy; good use of balance between light and dark colours to break up the general arrangement of buildings;
- support the location of the outdoor amenity space as it has good sun exposure and visibility;
- appreciate the provision of private outdoor spaces both at grade and on the second level for all individual townhouse units; however, investigate opportunities to enlarge the private outdoor areas for units in the middle cluster;

***Increased outdoor space provided through the reduced setback on Westminster Highway, see previous comment.***

- generally, the project is well planned; however, concerned about the lack of separation between Buildings 4 and 5 in the middle of the subject site; investigate opportunities to push the west buildings closer to Westminster Highway to shift Building 4 westward and allow greater separation from Building 5;

***Increased building spacing provided through the reduced setback on Westminster Highway, see previous comment.***

- agree with comments that further articulation is needed along the Westminster Highway edge; investigate opportunities to provide a gateway feel to the Westminster Highway and McLean Avenue corner, e.g., installing a vertical chimney feature at the corner unit;

*Updated, see previous comments.*

- concerned about the lack of solar access to the units within the two middle buildings; consider design development to the roofs of these units to allow more sunlight penetration;

*Rooflines have been updated to reduce facing gables and buildings have moved further apart.*

- consider introducing surface treatment, e.g., installing coloured pavers and not necessarily a whole banding, in front of the whole width of the outdoor amenity space;

*Provided additional surface treatment.*

- agree with comment that the project is successful considering the nature and constraints of the project;
- support the proposed architectural style of the buildings and the location and design of the outdoor amenity space;
- would have preferred that garbage and recycling not be located near the site entry; consider design development of the garbage room (e.g., roof overhang need not project too much) and provide landscaping and screening in front of the garbage room;

*Garbage room has been updated and more screening provided.*

- 18 inches in depth for entry canopies is not adequate; consider increasing the depth from a functional perspective and in order to create more definition along the Westminster Highway frontage;

*We have added some simple roof elements which will increase the cover at these doors to 3' depth.*

- investigate opportunities to allow more sunlight penetration into the main living space and kitchen area of units within Building 6 to enhance the livability of these units;

*Considered; no change proposed. These are a very standard unit type which has been shown to be very liveable on numerous previous projects.*

- agree with comment to install pavers or ground surface treatment in front of the outdoor amenity space; will not only enhance the site but also enlarge the outdoor amenity space;

*Provided, see previous comments.*

- proposed seating area at the southeast corner of the site does not read as intended for community use and could be monopolized by the occupants of the adjacent townhouse unit; consider moving the seating area closer to the cul-de-sac to make the residents understand that they are for community use;

***This area has been redesigned by landscape and the seating area replaced with planting.***

- review the choice of bench and play equipment for the children's play area; consider a bigger climbing play equipment for children;

***The play structure has been updated.***

- the project's design team has done a good job;
- commend the applicant for the presentation of the project and for the package provided to the Panel;
- appreciate the proposed architecture for the buildings; however, space between Buildings 4 and 5 is tight;

***Updated, space increased.***

- does not support the extensive use of vinyl shake on the buildings as they appear low cost; the applicant is advised not to use this material;

***No change to material proposed at this time but being taken under consideration.***

- consider continuing the public sidewalk across the McLean Avenue frontage; will make the development feel nicer;

***Sidewalk will continue across frontage.***

- consider the extra location of any exterior heating and cooling equipment in the early stage of the project to ensure that yard spaces will not be tight;

***Noted; we will begin discussion shortly with Mechanical consultant.***

- recommend that the two convertible units have the ability to incorporate a side-by-side washer and dryer;

***Reviewed and not possible given the other constraints for this plan; dual purpose units (which serve as both washer and dryer) exist on the market and it would be reasonable to a homeowner to replace stacked washer/dryer with such a unit should the need arise.***

- support the location of the outdoor amenity space; however, consider simplifying its design as there is a public park across Westminster Highway; also consider a more creative play equipment;

***Updated, see previous comments.***

- agree with the suggestion to rotate the trellis to better identify the site entry subject to the location of the pad mounted transformer (PMT);

***Updated, see previous comments.***

- consider installing pavers to the entrance of units within Buildings 2 and 3 to be consistent with other units in the development;

*Pavers have been added to entrances to building 2 and 3 entries to match Building 1.*

- support the comment to install significant trees at the corner of Westminster Highway and McLean Avenue to create a gateway feel to the corner; and

*Updated, see previous comments.*

- support the architectural form and character of the proposed development; also appreciate the colour palette.



LEED Canada for Homes Simplified Project Checklist



Builder Name:	
Project Team Leader (if different):	Refined Properties
Home Address (Street/City/Province):	22720 Westminster Highway, Richmond, BC

Project Description:

Building type: **Multi-family**  
 # of units: **25**

Project type: **Multi-family De**  
 Avg. Home Size Adjustment: **0**

Adjusted Certification Thresholds

Certified: **45.0** Gold: **75.0**  
 Silver: **60.0** Platinum: **90.0**

Project Point Total	Final Credit Category Total Points
Points: 55.5 + 17 maybe pts	Final: 23 ID: 1 SS: 2 LL: 12 EQ: 9
Certification Level	LL: 7 WE: 2 MR: 2 AC: 3
Points: Silver	Final: Not Certified
	Minimum Point Thresholds for Gold for Final Rating

date last updated :  
 last updated by :

Max Project Points  
 Preliminary Final

Innovation and Design Process (ID)		(No Minimum Points Required)	OR	Max	Y/Pts	Maybe	No	Y/Pts
1. Integrated Project Planning	1.1	Preliminary Rating		Prereq	Y			Y
	1.2	Integrated Project Team		1	1	0		0
	1.3	Professional Credentialed with Respect to LEED Canada for Homes		1	0	1		0
	1.4	Design Charrette		1	0	0		0
	1.5	Building Orientation for Solar Design		1	0	0		0
2. Durability Management Process	2.1	Durability Planning		Prereq	Y			
	2.2	Durability Management		Prereq	Y			
	2.3	Third-Party Durability Management Verification		3	3	0		0
3. Innovative or Regional Design	3.1	Innovation #1		1	1	0		1
	3.2	Innovation #2		1	0	0		0
	3.3	Innovation #3		1	0	0		0
	3.4	Innovation #4		1	0	0		0
Sub-Total for ID Category:				<b>11</b>	<b>5</b>	<b>1</b>		<b>1</b>
Location and Linkages (LL)		(No Minimum Points Required)	OR	Max	Y/Pts	Maybe	No	Y/Pts
1. LEED ND	1	LEED for Neighbourhood Development	LL2-6	10	0	0	N	0
2. Site Selection	2	Site Selection		2	2	0		0
3. Preferred Locations	3.1	Edge Development	LL 3.2	1	0	0		0
	3.2	Infill		2	2	0		2
	3.3	Previously Developed		1	1	0		0
4. Infrastructure	4	Existing Infrastructure		1	1	0		1
5. Community Resources/ Transit	5.1	Basic Community Resources / Transit	LL 5.2, 5.3	1	0	0	N	0
	5.2	Extensive Community Resources / Transit	LL 5.3	2	0	0	N	0
	5.3	Outstanding Community Resources / Transit		3	3	0		3
6. Access to Open Space	6	Access to Open Space		1	1	0		1
Sub-Total for LL Category:				<b>10</b>	<b>10</b>	<b>0</b>		<b>7</b>
Sustainable Sites (SS)		(Minimum of 5 SS Points Required)	OR	Max	Y/Pts	Maybe	No	Y/Pts
1. Site Stewardship	1.1	Erosion Controls During Construction		Prereq	Y			
	1.2	Minimize Disturbed Area of Site		1	1	0		0
2. Landscaping	2.1	No Invasive Plants		Prereq	Y			
	2.2	Basic Landscape Design	SS 2.5	2	0	2		0
	2.3	Limit Conventional Turf	SS 2.5	3	2	1		0
	2.4	Drought Tolerant Plants	SS 2.5	2	2	0		0
	2.5	Reduce Overall Irrigation Demand by at Least 20%		6	0	0		0
3. Local Heat Island Effects	3	Reduce Local Heat Island Effects		1	0	0		0
4. Surface Water Management	4.1	Permeable Lot		4	0	1		0
	4.2	Permanent Erosion Controls		1	1	0		0
	4.3	Management of Runoff from Roof		2	0	0		0
5. Nontoxic Pest Control	5	Pest Control Alternatives		2	1.5	0		0
6. Compact Development	6.1	Moderate Density	SS 6.2, 6.3	2	0	0		0
	6.2	High Density	SS 6.3	3	3	0		3
	6.3	Very High Density		4	0	0		0
Sub-Total for SS Category:				<b>22</b>	<b>10.5</b>	<b>4</b>		<b>3</b>

## LEED Canada for Homes Simplified Project Checklist (continued)

			OR	Max Points	Project Points			Y/Pts
					Y/Pts	Maybe	No	
<b>Water Efficiency (WE)</b>		(Minimum of 3 WE Points Required)						
1. Water Reuse	1.1	Rainwater Harvesting System	WE 1.3	4	0	0		0
	1.2	Graywater Reuse System	WE 1.3	4	0	0		0
	1.3	Use of Municipal Recycled Water System		3	0	0		0
2. Irrigation System	2.1	High Efficiency Irrigation System	WE 2.3, 2.4	3	2	1		0
	2.2	Third Party Inspection	WE 2.3, 2.4	1	0	1		0
	2.3	Reduce Overall Irrigation Demand by at Least 45%	WE 2.4	4	0	0		0
	2.4	Non-Potable Water Irrigation System		4	0	0	N	0
3. Indoor Water Use	3.1	Fixture Efficiencies		Prereq	Y			
	3.2	High-Efficiency Fixtures and Fittings		3	2	0		0
	3.3	Very High Efficiency Fixtures and Fittings		6	2	0		0
<i>Sub-Total for WE Category:</i>				<b>15</b>	<b>6</b>	<b>2</b>		<b>0</b>
<b>Energy and Atmosphere (EA)</b>		(Minimum of 0 EA Points Required)						
1. Optimize Energy Performance	1.1	Minimum Energy Performance		Prereq	Y			
	1.2	Exceptional Energy Performance		34	12	0		12
2. Insulation	2.1	Basic Insulation		Prereq				
	2.2	Enhanced Insulation		2	0	0		0
3. Air Infiltration	3.1	Reduced Envelope Leakage		Prereq				
	3.2	Greatly Reduced Envelope Leakage		2	0	0		0
	3.3	Minimal Envelope Leakage	EA 3.2	3	0	0		0
4. Windows	4.1	Good Windows		Prereq				
	4.2	Enhanced Windows		2	0	0		0
	4.3	Exceptional Windows	EA 4.2	3	0	0		0
5. Heating and Cooling Distribution System	5.1	Reduced Distribution Losses		Prereq				
	5.2	Greatly Reduced Distribution Losses		2	0	0		0
	5.3	Minimal Distribution Losses	EA 5.2	3	0	0		0
6. Space Heating and Cooling Equipment	6.1	Good HVAC Design and Installation		Prereq				
	6.2	High-Efficiency HVAC		2	0	0		0
	6.3	Very High Efficiency HVAC	EA 6.2	4	0	0		0
7. Water Heating	7.1	Efficient Hot Water Distribution		2	0	0		0
	7.2	Pipe Insulation		1	0	0		0
	7.3	Efficient Domestic Hot Water Equipment		3	0	0		0
8. Lighting	8.1	ENERGY STAR Lights		Prereq	Y			
	8.2	Improved Lighting		1.5	0	0		0
	8.3	Advanced Lighting Package	EA 8.2	3	3	0		0
9. Appliances	9.1	High-Efficiency Appliances		2	2	0		0
	9.2	Water-Efficient Clothes Washer		1	1	0		0
10. Renewable Energy	10	Renewable Energy System		10	0	0		0
11. Residential Refrigerant Management	11.1	Refrigerant Charge Test		Prereq				
	11.2	Appropriate HVAC Refrigerants		1	0	0	N	0
<i>Sub-Total for EA Category:</i>				<b>38</b>	<b>18</b>	<b>0</b>		<b>12</b>

<b>Materials and Resources (MR)</b>		<b>(Minimum of 2 MR Points Required)</b>		<b>OR</b>	<b>Max</b>	<b>Y/Pts</b>	<b>Maybe</b>	<b>No</b>	<b>Y/Pts</b>	
<b>1. Material-Efficient Framing</b>	1.1	Framing Order Waste Factor Limit			Prereq	Y				
	1.2	Detailed Framing Documents	<b>MR 1.5</b>	1		0	1		0	
	1.3	Detailed Cut List and Lumber Order	<b>MR 1.5</b>	1		0	1		0	
	1.4	Framing Efficiencies	<b>MR 1.5</b>	3		0.5	1		0	
	1.5	Off-site Fabrication		4		0	0		0	
<b>2. Environmentally Preferable Products</b>	<input checked="" type="checkbox"/>	2.1	FSC Certified Tropical Wood		Prereq	Y				
	<input checked="" type="checkbox"/>	2.2	Environmentally Preferable Products		8	2	2		0	
<b>3. Waste Management</b>	3.1	Construction Waste Management Planning			Prereq	Y				
	3.2	Construction Waste Reduction		3		1.5	1		0	
<i>Sub-Total for MR Category:</i>					<b>16</b>	<b>4</b>	<b>6</b>		<b>0</b>	
<b>Indoor Environmental Quality (EQ)</b>		<b>(Minimum of 6 EQ Points Required)</b>		<b>OR</b>	<b>Max</b>	<b>Y/Pts</b>	<b>Maybe</b>	<b>No</b>	<b>Y/Pts</b>	
<b>1. ENERGY STAR with IAP</b>	1	ENERGY STAR with Indoor Air Package			13	0	0		0	
<b>2. Combustion Venting</b>	2.1	Basic Combustion Venting Measures	<b>EQ 1</b>	Prereq					Y	
	2.2	Enhanced Combustion Venting Measures	<b>EQ 1</b>	2		2	0		0	
<b>3. Moisture Control</b>	3	Moisture Load Control	<b>EQ 1</b>	1		0	0		0	
<b>4. Outdoor Air Ventilation</b>	<input checked="" type="checkbox"/>	4.1	Basic Outdoor Air Ventilation	<b>EQ 1</b>	Prereq					
	<input checked="" type="checkbox"/>	4.2	Enhanced Outdoor Air Ventilation		2	2	0		0	
		4.3	Third-Party Performance Testing	<b>EQ 1</b>	1		0	1		0
<b>5. Local Exhaust</b>	<input checked="" type="checkbox"/>	5.1	Basic Local Exhaust	<b>EQ 1</b>	Prereq	Y				
		5.2	Enhanced Local Exhaust		1		1	0		0
		5.3	Third-Party Performance Testing		1		0	1		0
<b>6. Distribution of Space Heating and Cooling</b>	<input checked="" type="checkbox"/>	6.1	Room-by-Room Load Calculations	<b>EQ 1</b>	Prereq	Y				
		6.2	Return Air Flow / Room by Room Controls	<b>EQ 1</b>	1		1	0		0
		6.3	Third-Party Performance Test / Multiple Zones	<b>EQ 1</b>	2		2	0		0
<b>7. Air Filtering</b>	7.1	Good Filters	<b>EQ 1</b>	Prereq						
	7.2	Better Filters	<b>EQ 7.3</b>	1		0	0		0	
	7.3	Best Filters		2		0	0		0	
<b>8. Contaminant Control</b>	<input checked="" type="checkbox"/>	8.1	Indoor Contaminant Control during Construction	<b>EQ 1</b>	1		0	1		0
		8.2	Indoor Contaminant Control		2		0	0		0
	<input checked="" type="checkbox"/>	8.3	Preoccupancy Flush	<b>EQ 1</b>	1		1	0		0
<b>9. Radon Protection</b>	<input checked="" type="checkbox"/>	9.1	Radon-Resistant Construction: Passive Ventilation	<b>EQ 1</b>	Prereq					
	<input checked="" type="checkbox"/>	9.2	Radon-Resistant Construction	<b>EQ 1</b>	1		0	0		0
<b>10. Garage Pollutant Protection</b>	10.1	No HVAC in Garage	<b>EQ 1</b>	Prereq						
	10.2	Minimize Pollutants from Garage	<b>EQ 1, 10.4</b>	2		2	0		0	
	10.3	Exhaust Fan in Garage	<b>EQ 1, 10.4</b>	1		0	0		0	
	10.4	Detached Garage or No Garage	<b>EQ 1</b>	3		0	0		N	0
<i>Sub-Total for EQ Category:</i>					<b>21</b>	<b>11</b>	<b>3</b>		<b>0</b>	
<b>Awareness and Education (AE)</b>		<b>(Minimum of 0 AE Points Required)</b>			<b>Max</b>	<b>Y/Pts</b>	<b>Maybe</b>	<b>No</b>	<b>Y/Pts</b>	
<b>1. Education of the Homeowner or Tenant</b>	<input checked="" type="checkbox"/>	1.1	Basic Operations Training		Prereq					
	<input checked="" type="checkbox"/>	1.2	Enhanced Training		1		0	1		0
		1.3	Public Awareness		1		1	0		0
<b>2. Education of Building Manager</b>	<input checked="" type="checkbox"/>	2	Education of Building Manager		1		0	0		0
<i>Sub-Total for AE Category:</i>					<b>3</b>	<b>1</b>	<b>1</b>		<b>0</b>	



No. DP 17-781050

To the Holder: 1082843 BC LTD (REFINED PROPERTIES)  
Property Address: 22720 AND 22740 WESTMINSTER HIGHWAY  
Address: 343 RAILWAY STREET, SUITE B1, VANCOUVER, BC V6A 1A4

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1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to reduce the exterior side yard setback to McLean Avenue from 4.5 m (14.8 ft.) to 4.0 m (13.1 ft.) for limited portions of two buildings.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #DP17-781050-1 to #DP17-781050-32 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$146,669.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

# Development Permit

No. DP 17-781050

To the Holder: 1082843 BC LTD (REFINED PROPERTIES)

Property Address: 22720 AND 22740 WESTMINSTER HIGHWAY

Address: 343 RAILWAY STREET, SUITE B1, VANCOUVER, BC V6A 1A4

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.  
DAY OF , .

ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

\_\_\_\_\_  
MAYOR



# WESTMINSTER AND MCLEAN TOWNHOMES

22720 AND 22740 WESTMINSTER HIGHWAY  
 RICHMOND BC  
 DEVELOPMENT PERMIT MARCH 9, 2018

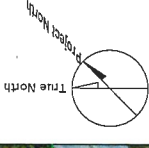
EXISTING LEGAL ADDRESS: LOTS 15 AND 16, BLOCK 4  
 NORTH, RANGE 4 WEST, N.W.D. PLAN 33645  
 PID: 003-486-206 AND 004-344-201

EXISTING ZONING: RS1/F  
 PROPOSED ZONING: RTH-1

OCP DESIGNATION: NEIGHBORHOOD  
 RESIDENTIAL(TOWNHOUSE 0.75 FAR)  
 HAMILTON AREA PLAN, LOWER WESTMINSTER  
 SUB-PLAN



1 CONTEXT MAP  
 N.T.S.



## ARCHITECTURAL DRAWING LIST

PAGE #	DRAWING TITLE	SCALE	ISSUE DATE
A0-00	COVERSHEET, SITE KEYPLAN	AS NOTED	2018-03-09
A0-01	SURVEY	AS NOTED	2018-03-09
A0-02	SITE CONTEXT PLAN	AS NOTED	2018-03-09
A0-03	STREETSCAPES	1/8" = 1'-0"	2018-03-09
A0-04	SITE SECTIONS	1/8" = 1'-0"	2018-03-09
A1-00	SITEPLAN, DEVELOPMENT SUMMARY	1/16" = 1'-0"	2018-03-09
A2-00	BUILDING 1 FLOORPLANS	1/8" = 1'-0"	2018-03-09
A2-01	BUILDING 2 FLOORPLANS	1/8" = 1'-0"	2018-03-09
A2-02	BUILDING 3 FLOORPLANS	1/8" = 1'-0"	2018-03-09
A2-03	BUILDING 4 FLOORPLANS	1/8" = 1'-0"	2018-03-09
A2-04	BUILDING 5 FLOORPLANS	1/8" = 1'-0"	2018-03-09
A2-05	BUILDING 6 FLOORPLANS	1/8" = 1'-0"	2018-03-09
A3-00	UNIT A/A1 PLANS	1/4" = 1'-0"	2018-03-09
A3-01	UNIT B/B3 PLANS	1/4" = 1'-0"	2018-03-09
A3-02	UNIT B1/B2 PLANS	1/4" = 1'-0"	2018-03-09
A3-03	UNIT C PLANS	1/4" = 1'-0"	2018-03-09
A3-04	UNIT C1 PLANS	1/4" = 1'-0"	2018-03-09
A3-05	UNIT C2 PLANS	1/4" = 1'-0"	2018-03-09
A3-06	UNIT D1 PLANS	1/4" = 1'-0"	2018-03-09
A3-07	UNIT D2 PLANS	1/4" = 1'-0"	2018-03-09
A4-00	BUILDING 1 ELEVATIONS/SECTIONS	1/8" = 1'-0"	2018-03-09
A4-01	BUILDING 2 ELEVATIONS/SECTIONS	1/8" = 1'-0"	2018-03-09
A4-02	BUILDING 3 ELEVATIONS/SECTIONS	1/8" = 1'-0"	2018-03-09
A4-03	BUILDING 4 ELEVATIONS/SECTIONS	1/8" = 1'-0"	2018-03-09
A4-04	BUILDING 5 ELEVATIONS/SECTIONS	1/8" = 1'-0"	2018-03-09
A4-05	BUILDING 6 ELEVATIONS/SECTIONS	1/8" = 1'-0"	2018-03-09
A5-00	COLOUR AND MATERIAL CONCEPT	N.T.S.	2018-03-09

## LANDSCAPE DRAWING LIST

PAGE #	DRAWING TITLE	SCALE	ISSUE DATE
L1	LANDSCAPE PLAN	3/32"=1'-0"	2017-07-12
L2	SHRUB PLAN	3/32"=1'-0"	2017-07-12
L3	LANDSCAPE DETAILS	AS NOTED	2017-07-12
L4	LANDSCAPE SPECIFICATIONS	NTS	2017-07-12

This drawing is to be used in accordance with the General Conditions of Contract for Professional Services. The Client is responsible for the accuracy of the information provided. All errors and omissions to be corrected immediately by the Architect. Vestiges and the Architect shall not be held responsible for any errors or omissions without the written permission from the Architect. Copyright reserved. These drawings and the design are, and all elements contained herein are the property of the Architect and shall remain the property of the Architect. No part of these drawings shall be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the Architect, in which case the reproduction must bear the name of the Architect.

DATE	ISSUE FOR REVISION
DEC 22, 2014	ISSUE FOR REVISION
APR 4, 2017	REVISED FOR REVISION
JAN 18, 2017	ISSUE FOR DEVELOPMENT PERMIT
JAN 11, 2018	REVISED FOR DEVELOPMENT PERMIT

CONTRACT

DATE



ENGAGE ARCHITECTURE INC  
 B1 - 343 RAILWAY STREET  
 VANCOUVER BC V6A 1A4  
 T: 778-772-4034  
 www.engagearchitecture.ca

PROJECT # 16.15

SCALE

PROJECT

WESTMINSTER AT MCLEAN  
 TOWNHOUSES  
 22720 AND 22740 WESTMINSTER HWY,  
 RICHMOND BC

DRAWING  
 COVERSHEET

DESIGNED BY	DRAWN BY	CHECKED BY	DATE	SCALE
KS	KS	KS	JULY 2016	AS NOTED

DWG NO.  
**A0-00**

DP 17-781050-1

This drawing must not be used. The General Contractor shall verify all dimensions, elevations and levels prior to construction. Any discrepancies shall be reported immediately to the Architect. Variations and modifications to mark shown shall not be created or approved. These drawings and the design are, and will remain, the exclusive property of the Architect, and shall not be used for any other project without the written consent of the Architect, in which case the reproduction must bear their name as the Architect.

DATE	DESCRIPTION
1. 08/02/2016	ISSUE FOR PERMITTING
2. 07/16/2016	REVISION FOR RECORDS
3. 07/16/2016	REVISION FOR DEVELOPMENT PERMIT
4. 08/08/2016	REVISION FOR DEVELOPMENT PERMIT

CONSULTANT:

CLIENT:

PROJECT:

WESTMINSTER AT MCLEAN TOWNHOUSES  
22700 AND 22740 WESTMINSTER HWY.  
RICHMOND BC

TOPOGRAPHIC SURVEY

CREATED BY:

DATE:

SCALE:

NTS

DRAWN BY:

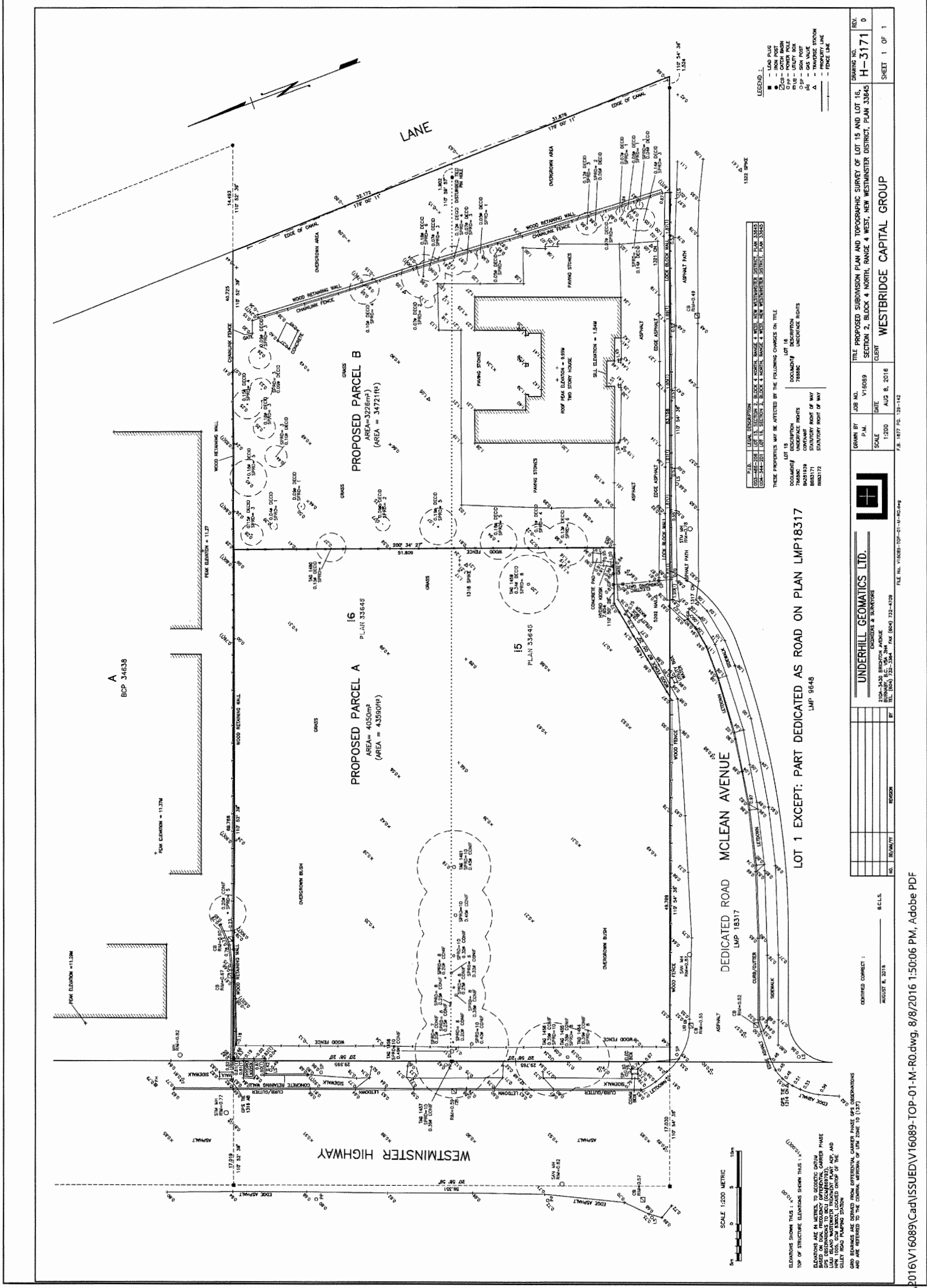
DATE:

SCALE:

NTS

SHEET 1 OF 1

A0-01



OP 17-181020-2



The drawings shall be used by the Client/Contractor for the construction of the works. The Client/Contractor shall verify all dimensions, dates and levels prior to commencement of work. All errors and omissions to be reported immediately to the Architect. The Architect shall not be responsible for any errors or omissions in the drawings without the written permission from the Architect. Copyright reserved. These drawings and the design are, and all rights in them, are the property of Engage Architecture Inc. and cannot be used or reproduced without the consent of the Architect. In which case the reproduction must bear the name of the Architect.

DATE	DESCRIPTION
DEC 22, 2014	ISSUE FOR RECORDING
APR 4, 2017	RE-REVISED FOR RECORDING
JUL 19, 2017	ISSUE FOR DEVELOPMENT PERMIT
MAY 9, 2018	RE-ISSUE FOR DEVELOPMENT PERMIT

DATE: 12/2018



engage  
ARCHITECTURE

ENGAGE ARCHITECTURE INC  
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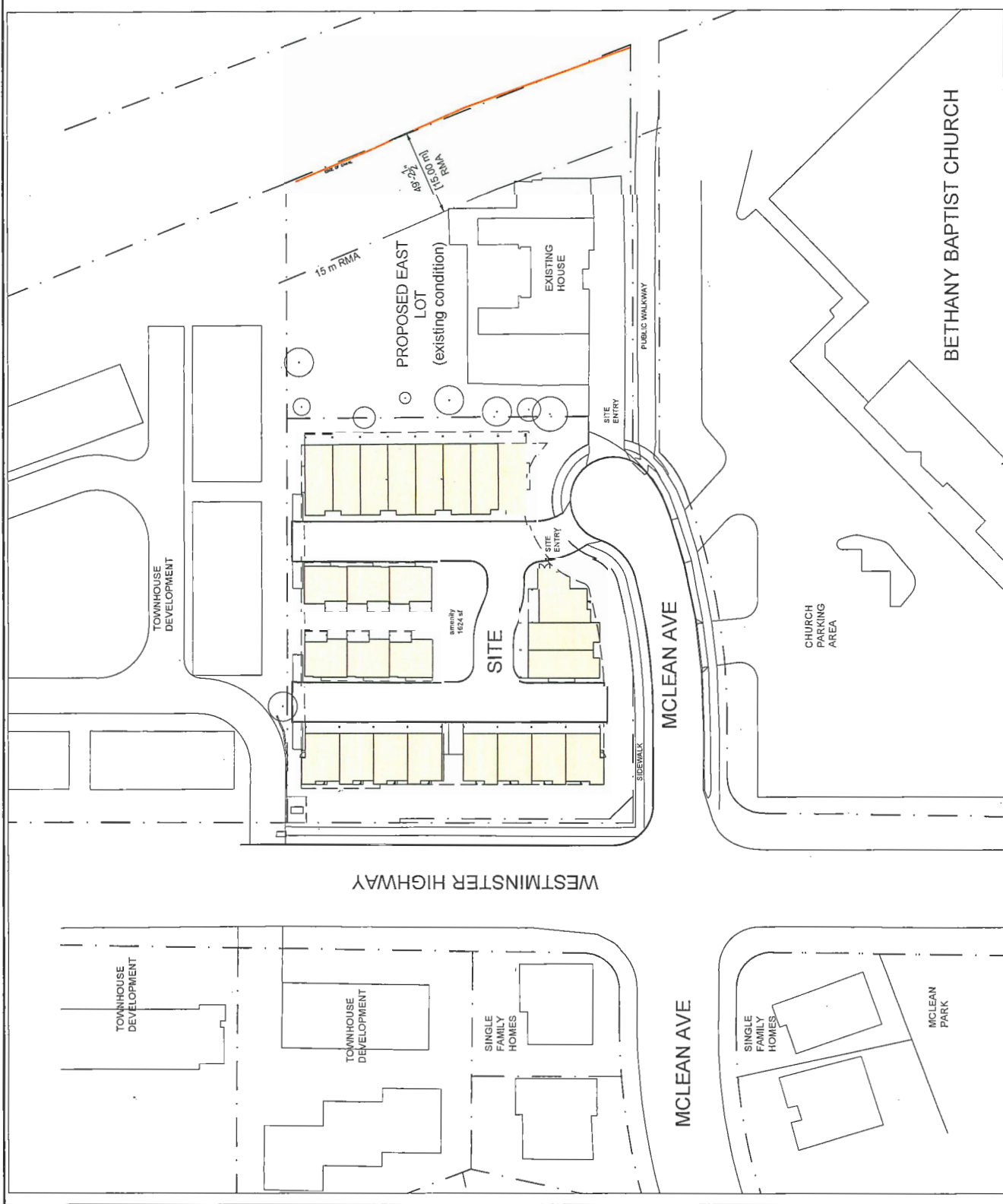
PROJECT# 16.15

WESTMINSTER AT MCLEAN  
TOWNHOUSES  
RICHMOND BC  
22720 AHO 22740 WESTMINSTER HWY.

SITE CONTEXT PLAN

DESIGNED BY	KS
CHECKED BY	KS
DATE	JULY 2016
SCALE	1/32" = 1'-0"

A0-02



City of Richmond Riparian Management Area (RMA) must not be altered, except in accordance with a City approved permit and Construction, Environmental Remediation, or other related activities. No ground cover removal, a storage of materials, no building, structure or surface construction in RMA. A highly coloured, temporary fence of a minimum height of 1.2m must be erected on the property side of the RMA. Erosion and sediment control fence must be installed on the property side of the RMA. Prohibition measures, as defined by a Qualified Environmental Professional must also be implemented. All site preparation, construction and sediment control measures must be in place before development begins, and complete and final approval received. The landowner is responsible to restore to the original condition any areas affected by unauthorized development within the RMA.

1 SITE CONTEXT PLAN (EXISTING)  
1/32" = 1'-0"

DP 17-781050-3

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DATE	REVISION
1	DEC 22 2014
2	APR 4 2017
3	JUL 19 2017
4	MAY 9 2018

DATE	REVISION
1	DEC 22 2014
2	APR 4 2017
3	JUL 19 2017
4	MAY 9 2018

CONTRACTOR

CLIENT



ENGAGE ARCHITECTURE INC  
 B1 - 343 RAILWAY STREET  
 VANCOUVER BC V6A 1A4  
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 www.engagearchitecture.ca

PROJECT # 16.15

PROJECT  
 WESTMINSTER AT MCLEAN  
 TOWNHOUSES  
 22750 AND 22740 WESTMINSTER HWY.  
 RICHMOND BC

DRAWING  
 STREETSCAPES

DATE	SCALE
JULY 2018	1/8" = 1'-0"

DATE  
 JULY 2018  
 SCALE  
 1/8" = 1'-0"

PROJECT #  
 A0-03



1 STREETSCAPE ALONG WESTMINSTER HIGHWAY (WEST)  
 1/8" = 1'-0"



1 STREETSCAPE ALONG MCLEAN AVENUE (SOUTH)  
 1/8" = 1'-0"

The drawings shall be used by the Client/Contractor to obtain all necessary permits and approvals from the appropriate authorities. All plans and elevations shall be verified by the Client/Contractor against the actual site conditions. The Client/Contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The drawings shall be used for the purpose of construction and shall not be used for any other purpose. The Client/Contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The drawings shall be used for the purpose of construction and shall not be used for any other purpose.

DRAWING ISSUES	
1	DEC 28, 2016 ISSUE FOR REVISIONS
2	APR 4, 2017 RE ISSUE FOR REVISIONS
3	JUL 18, 2017 ISSUE FOR DEVELOPMENT PERMIT
4	AUG 8, 2018 RE ISSUE FOR DEVELOPMENT PERMIT

CONTOUR LINES

CLIENT



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PROJECT # 16.15

PROJECT  
 WESTMINSTER AT MCLEAN  
 TOWNHOUSES  
 2270 AND 2274 WESTMINSTER HWY.  
 RICHMOND BC

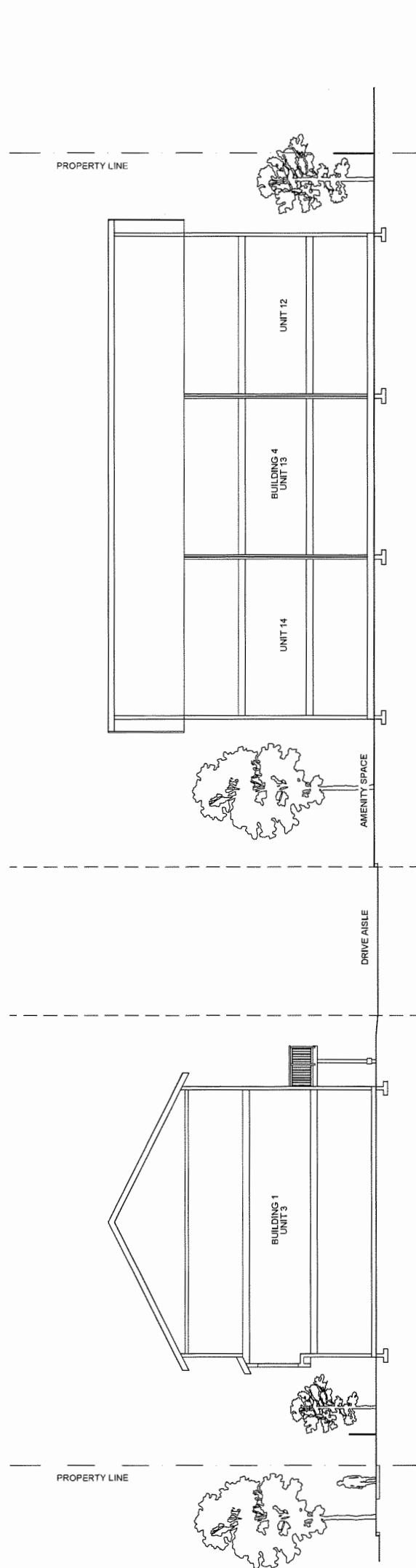
DRAWING  
 SITE SECTIONS

CHECKED BY  
 KS

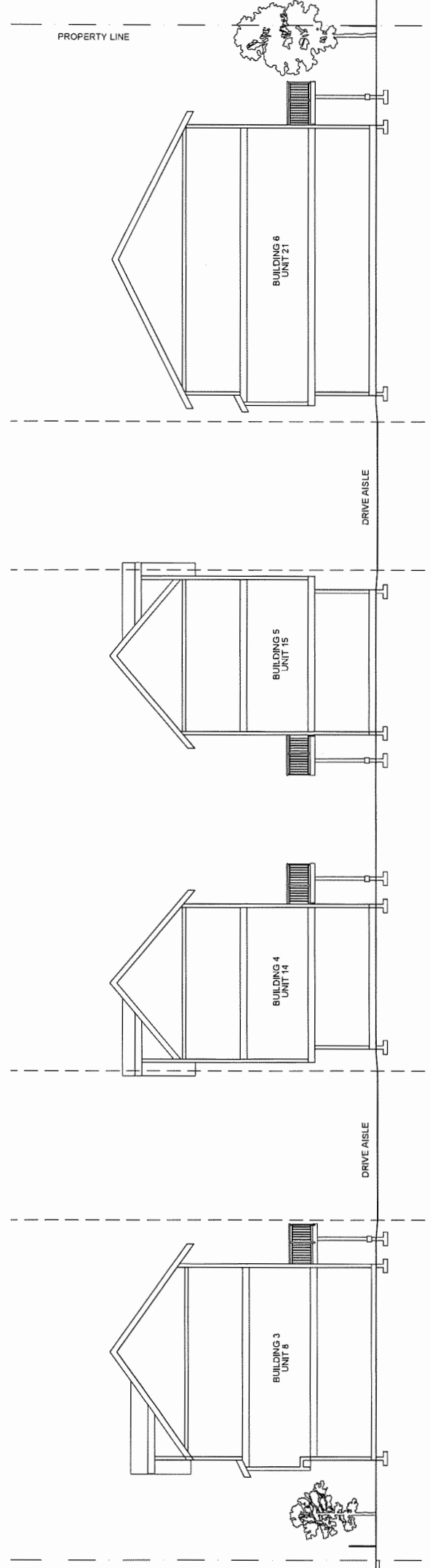
DATE  
 JULY 2016

SCALE  
 1/8" = 1'-0"

DRAWING NO.  
 A0-04



1 SITE SECTION  
 1/8" = 1'-0"



2 SITE SECTION  
 1/8" = 1'-0"



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DATE	DESCRIPTION
1. DEC 23, 2014	ISSUE FOR PERMITS
2. APR 4, 2017	REVISED FOR REVISIONS
3. JUL 18, 2017	ISSUE FOR DEVELOPMENT PERMIT
4. MAR 8, 2018	REVISED FOR DEVELOPMENT PERMIT



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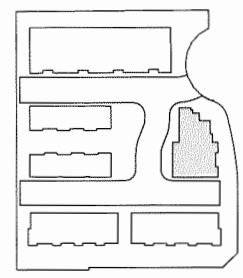
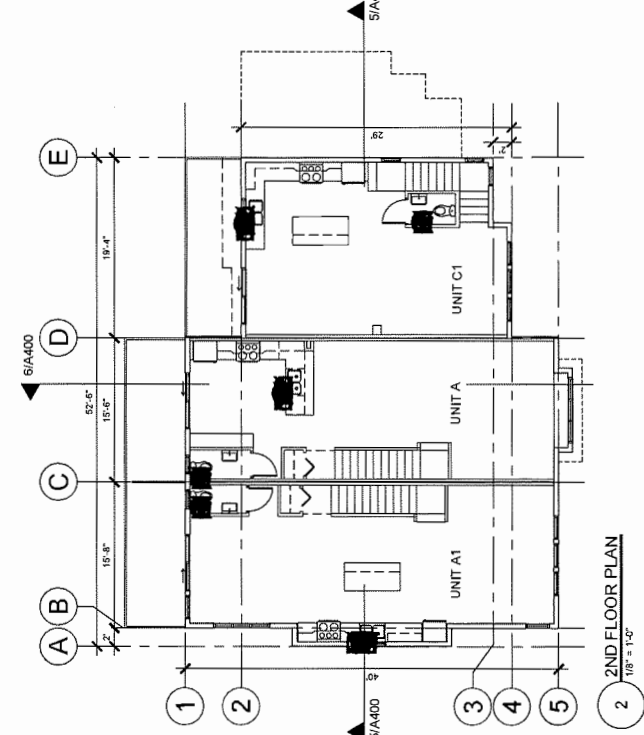
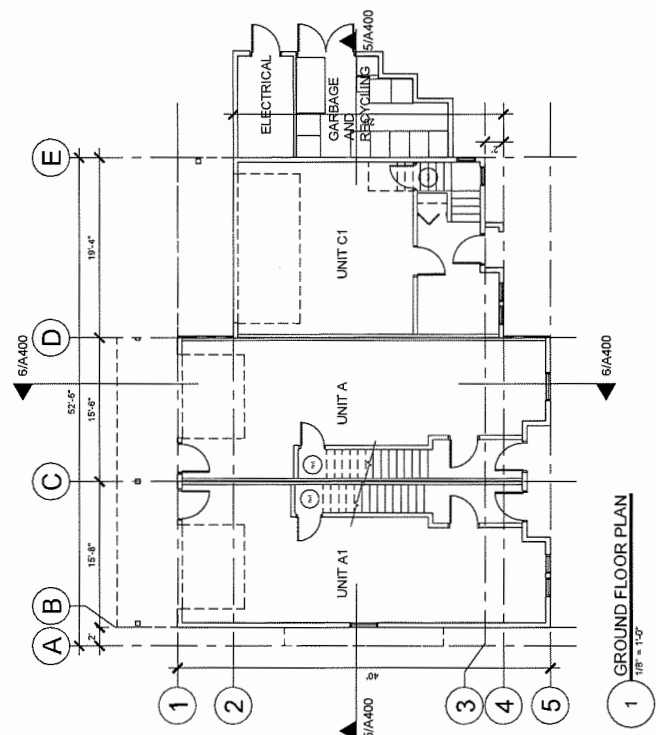
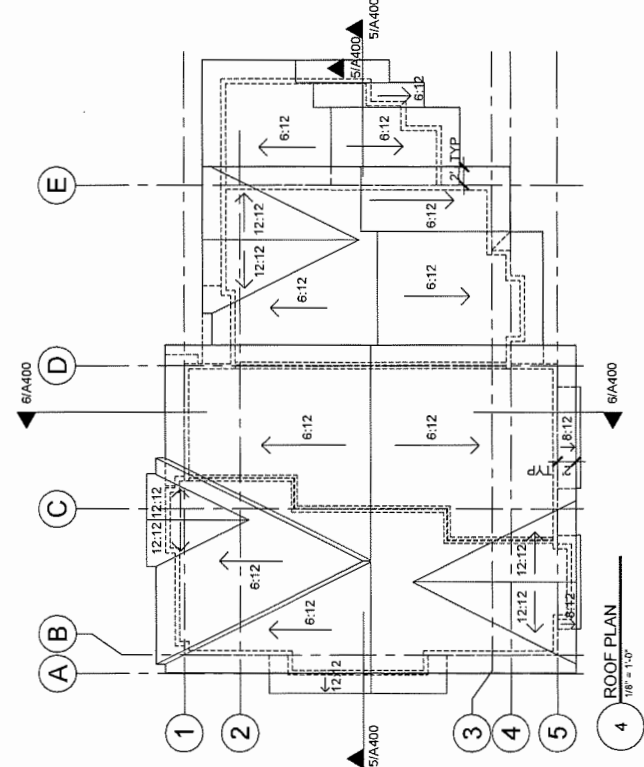
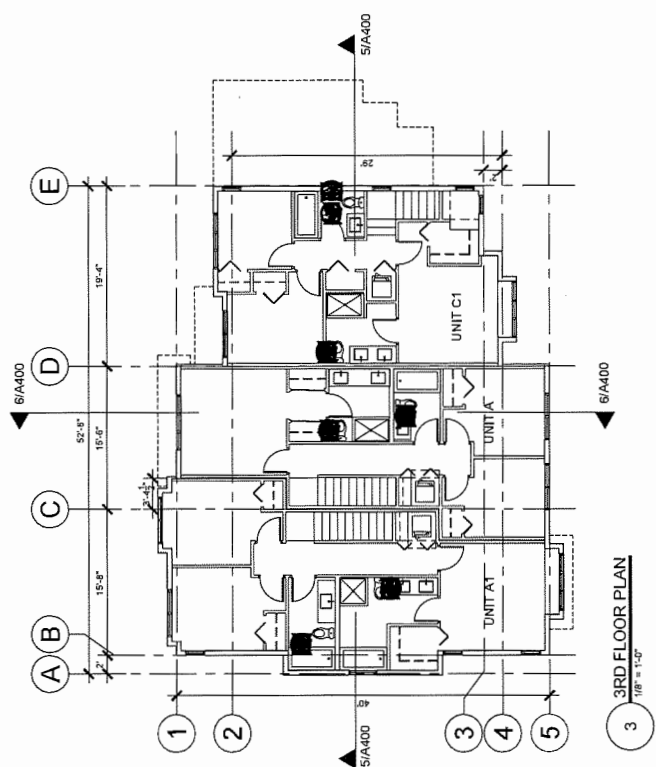
ENGAGE ARCHITECTURE INC  
8143 RIVINGTON STREET  
VANCOUVER, BC V6S 1Y4  
T: 778-772-4034  
www.engagearchitecture.ca

PROJECT# 16.15

PROJECT  
WESTMINSTER AT MCLEAN  
TOWNHOUSES  
22750 AND 22740 WESTMINSTER HWY.  
RICHMOND BC

DATE  
DRAWN BY  
KS  
CHECKED BY  
KS  
DATE  
JULY 2016  
SCALE  
1/8" = 1'-0"

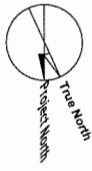
NO. 001  
A2-00



OP 17-18 JUSU -7

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DATE	ISSUE FOR REVISIONS
DEC 22 2015	ISSUE FOR REVISIONS
APR 1 2017	RE-ISSUE FOR REVISIONS
JUL 18 2017	RE-ISSUE FOR DEVELOPMENT PERMIT
MAR 8 2018	RE-ISSUE FOR DEVELOPMENT PERMIT



CONTRACTOR'S NAME

DATE



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ARCHITECTURE

ENGAGE ARCHITECTURE INC  
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VANCOUVER BC V6A 1A4  
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www.engagearchitecture.ca

PROJECT# 16.15

PROJECT  
WESTMINSTER AT MCLEAN  
TOWNHOUSES  
2370 AND 2376 WESTMINSTER HWY.  
RICHMOND BC

DRAWING  
BUILDING 2  
FLOORPLANS

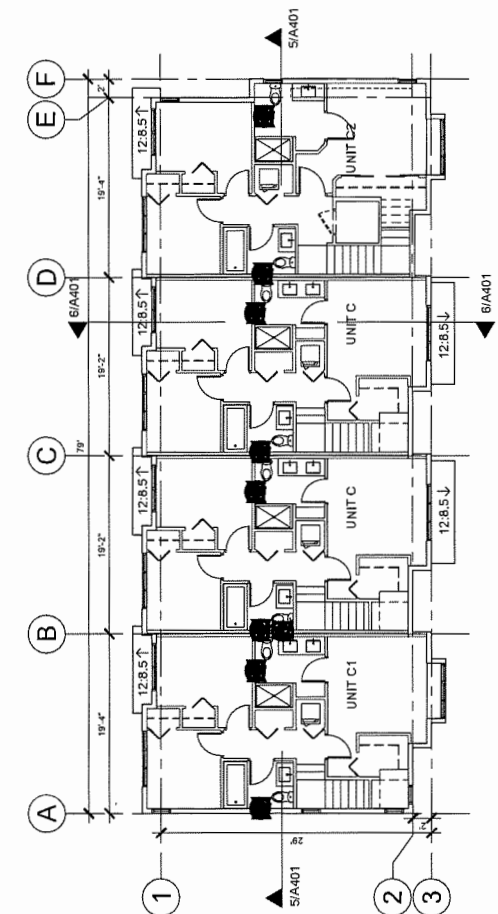
DESIGNED BY  
KS

DRAWN BY  
KS

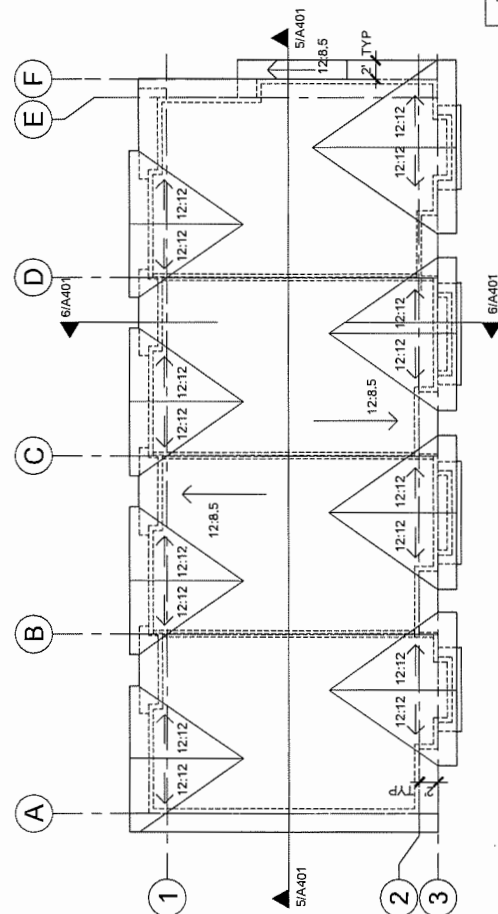
DATE  
JULY 2016

SCALE  
1/8" = 1'-0"

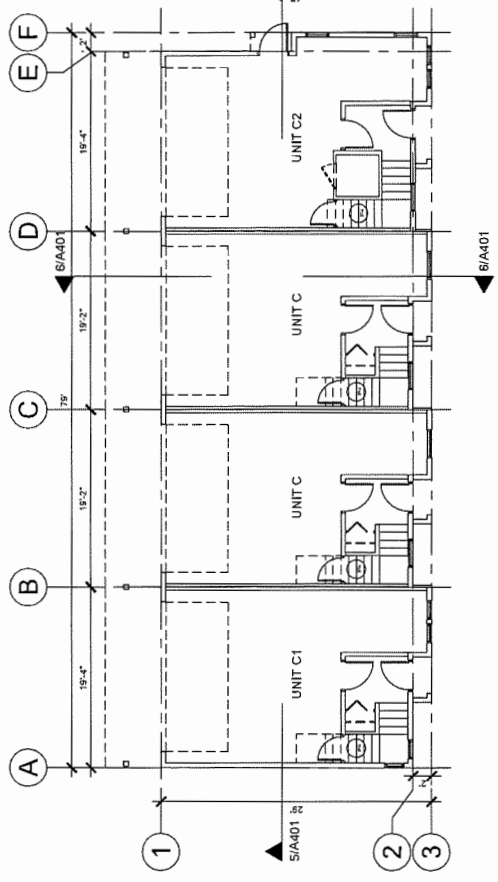
NO. 16  
A2-01



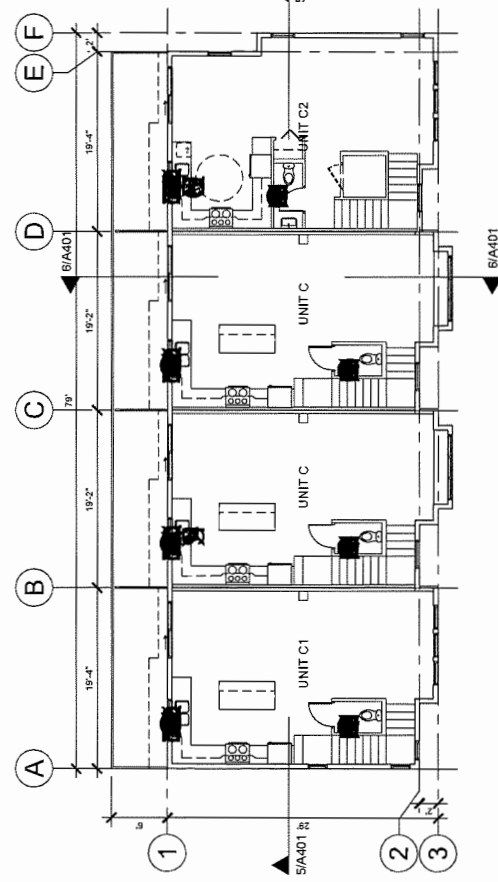
3 3RD FLOOR PLAN  
1/8" = 1'-0"



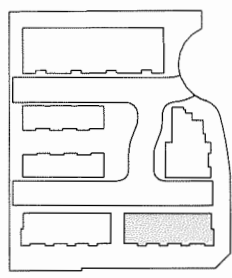
4 ROOF PLAN  
1/8" = 1'-0"



1 GROUND FLOOR PLAN  
1/8" = 1'-0"



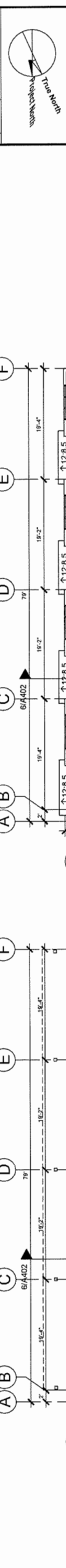
2 2ND FLOOR PLAN  
1/8" = 1'-0"



OP 17-781050-8

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NO.	DATE	DESCRIPTION
1	DEC 22 2014	ISSUE FOR RECORDING
2	APR 1 2017	RE-ISSUE FOR RECORDING
3	JUL 19 2017	ISSUE FOR DEVELOPMENT PERMIT
4	MAR 9 2018	RE-ISSUE FOR DEVELOPMENT PERMIT



CONTRACTOR

DATE

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ARCHITECTURE

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VANCOUVER BC V6A 1A4  
T: 778-772-4034  
www.engagearchitecture.ca

PROJECT# 16.15

PROJECT  
WESTMINSTER AT MCLEAN  
TOWNHOUSES  
2270 AND 22740 WESTMINSTER HWY.  
RICHMOND BC

DRAWING  
BUILDING 3  
FLOORPLANS

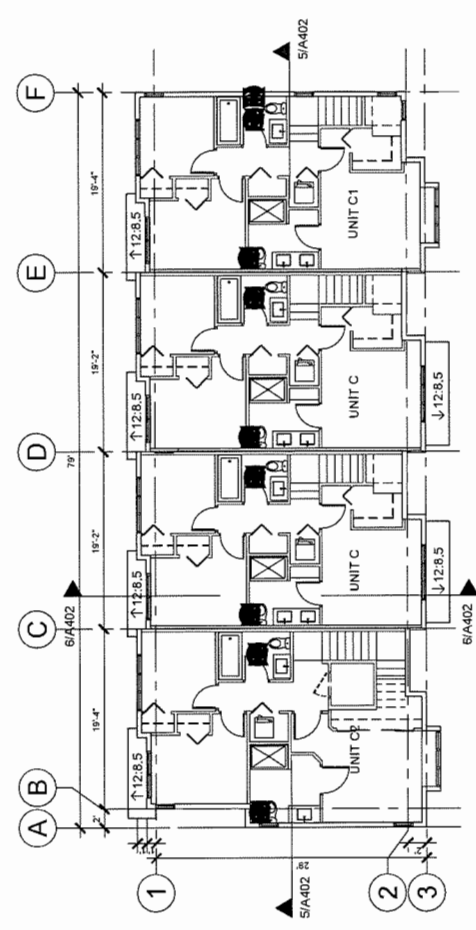
DRAWN BY  
KS

CHECKED BY  
KS

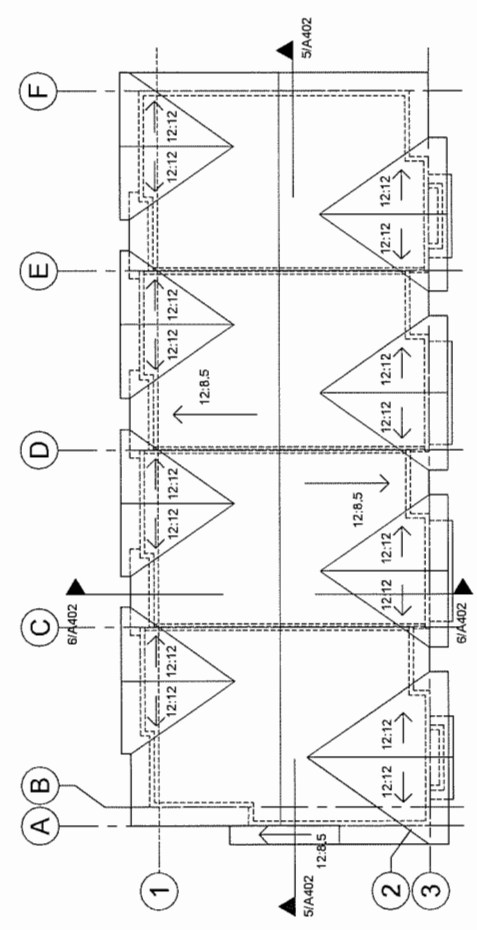
DATE  
JULY 2016

SCALE  
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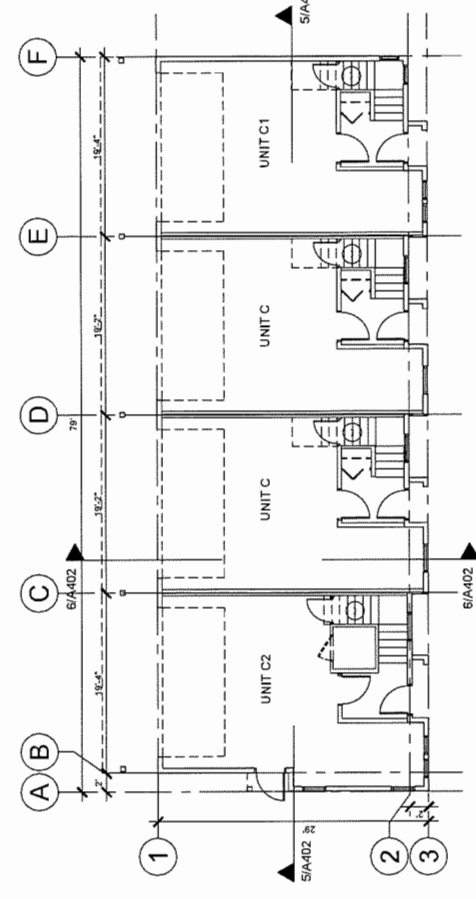
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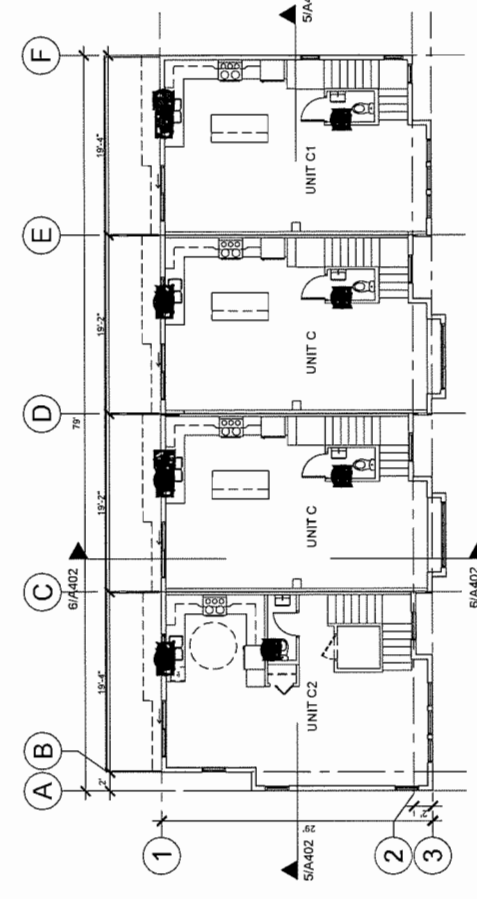
3 3RD FLOOR PLAN  
1/8" = 1'-0"



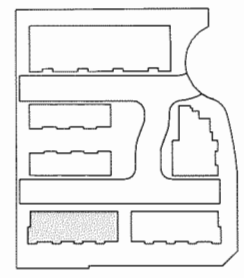
4 ROOF PLAN  
1/8" = 1'-0"



1 GROUND FLOOR PLAN  
1/8" = 1'-0"



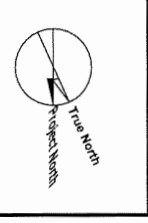
2 2ND FLOOR PLAN  
1/8" = 1'-0"



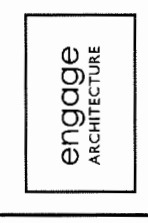
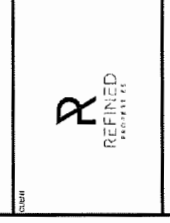
OP 17-781050-9

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NO.	DATE	DESCRIPTION
1	DEC 20 2014	ISSUE FOR PERMITTING
2	APR 4 2017	RE ISSUE FOR PERMITTING
3	JUN 10 2017	ISSUE FOR DEVELOPMENT PERMIT
4	MAR 9 2018	RE ISSUE FOR DEVELOPMENT PERMIT



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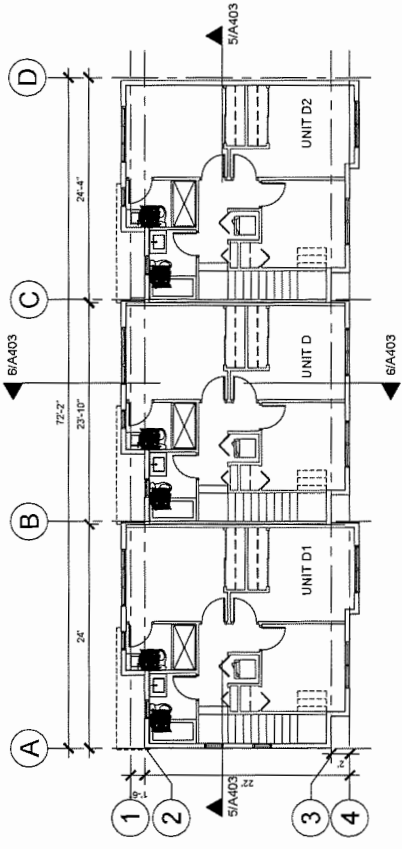
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 VANCOUVER BC V6R 1A4  
 T: 778-772-8034  
 WWW.ENGAGEARCHITECTURE.CA

SCALE  
 PROJECT# 16.15

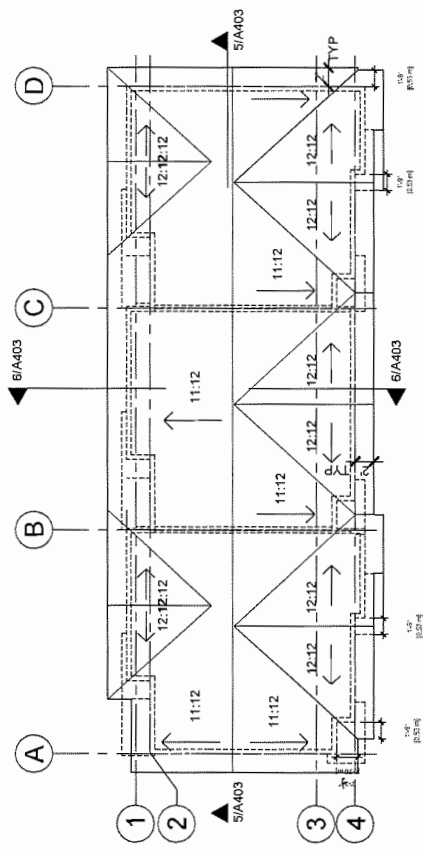
PROJECT  
 WESTMINSTER AT MCLEAN  
 TOWNHOUSES  
 22229 AND 22746 WESTMINSTER HWY.  
 RICHMOND BC

DATE  
 JULY 2016  
 SCALE  
 1/8" = 1'-0"

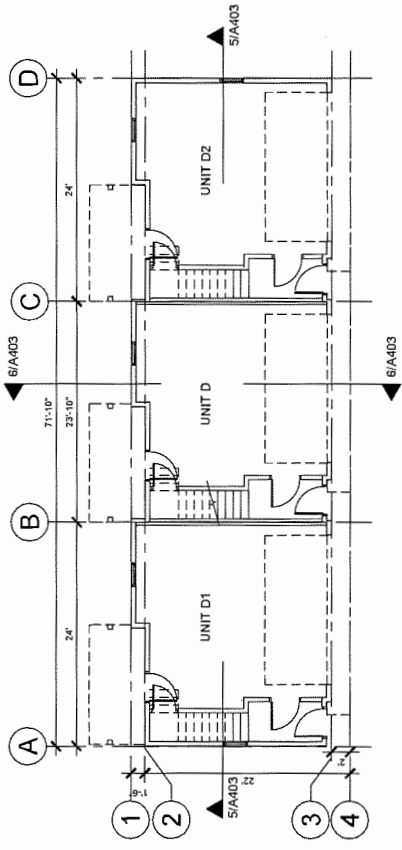
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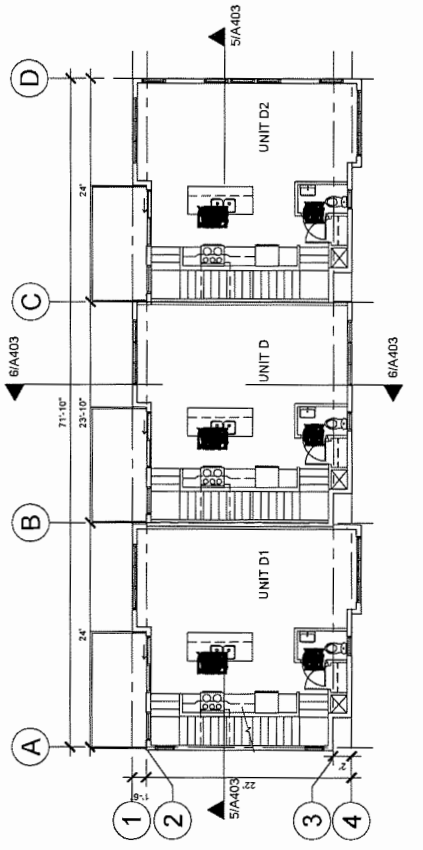
3 3RD FLOOR PLAN  
 1/8" = 1'-0"



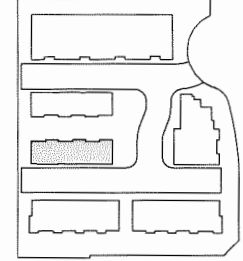
4 ROOF PLAN  
 1/8" = 1'-0"



1 GROUND FLOOR PLAN  
 1/8" = 1'-0"



2 2ND FLOOR PLAN  
 1/8" = 1'-0"

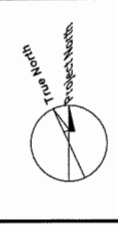


OP 17-781050-10



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DATE	DESCRIPTION
1. DEC 20 2014	ISSUE FOR PERMITTING
2. APR 1 2015	REVISION FOR MEASUREMENTS
3. JUN 18 2015	ISSUE FOR DEVELOPMENT PERMIT
4. MAR 8 2016	REVISION FOR DEVELOPMENT PERMIT



CONTRACTOR

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VANCOUVER BC V6A 1A4  
T: 778-772-4034  
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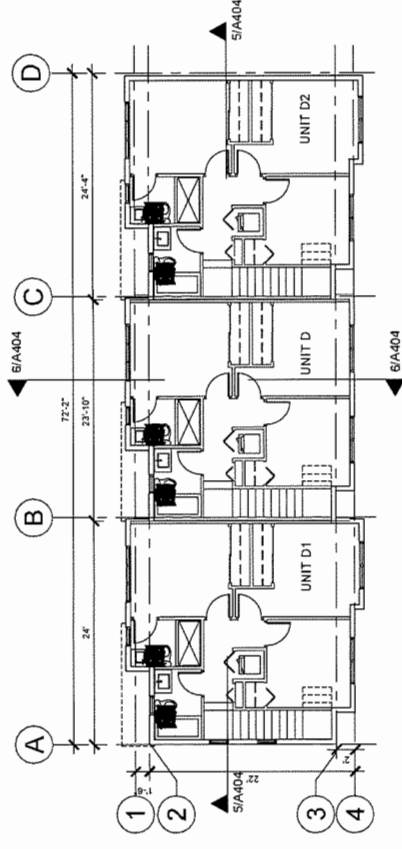
PROJECT# 16.15

WESTMINSTER AT MCLEAN  
TOWNHOUSES  
22720 AND 22740 WESTMINSTER HWY.  
RICHMOND BC

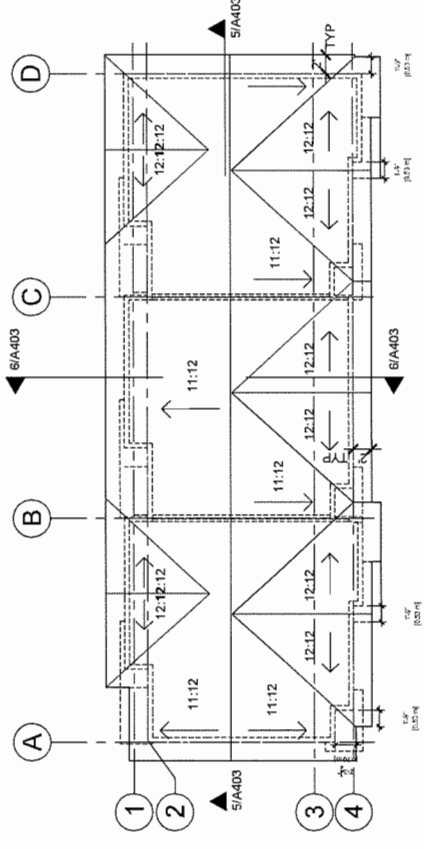
BUILDING 5  
FLOORPLANS

DATE: JULY 2016  
SCALE: 1/8" = 1'-0"

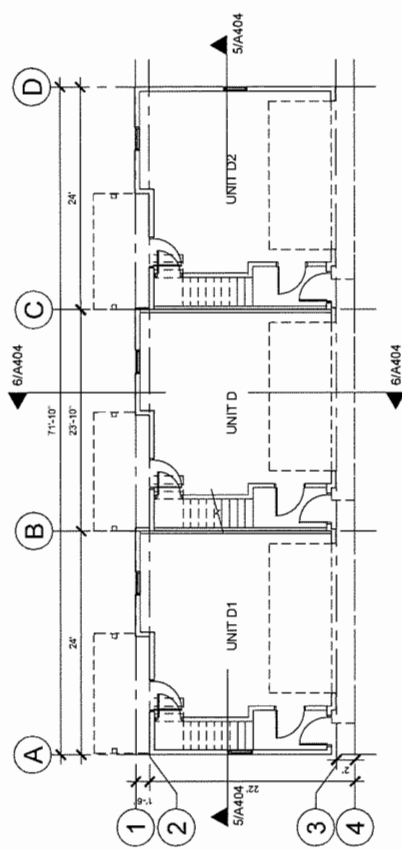
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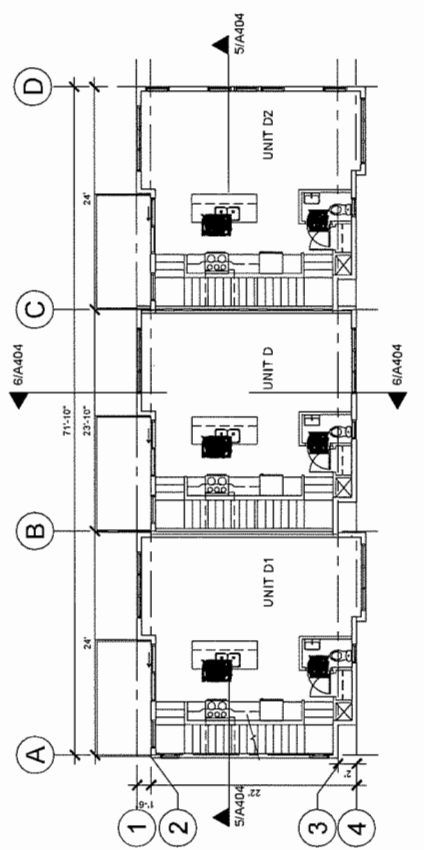
3 3RD FLOOR PLAN  
1/8" = 1'-0"



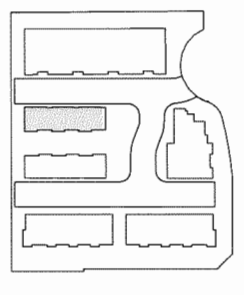
4 ROOF PLAN  
1/8" = 1'-0"



1 GROUND FLOOR PLAN  
1/8" = 1'-0"



2 2ND FLOOR PLAN  
1/8" = 1'-0"

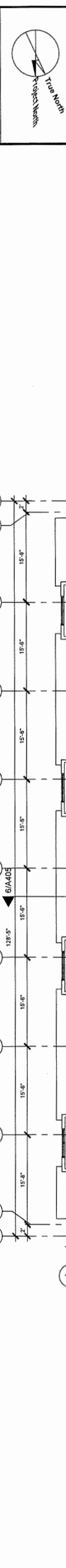


DP 17-181050-11

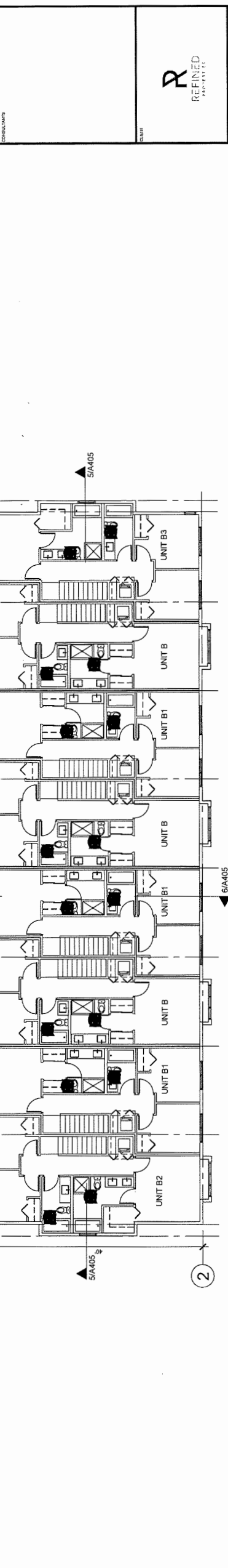


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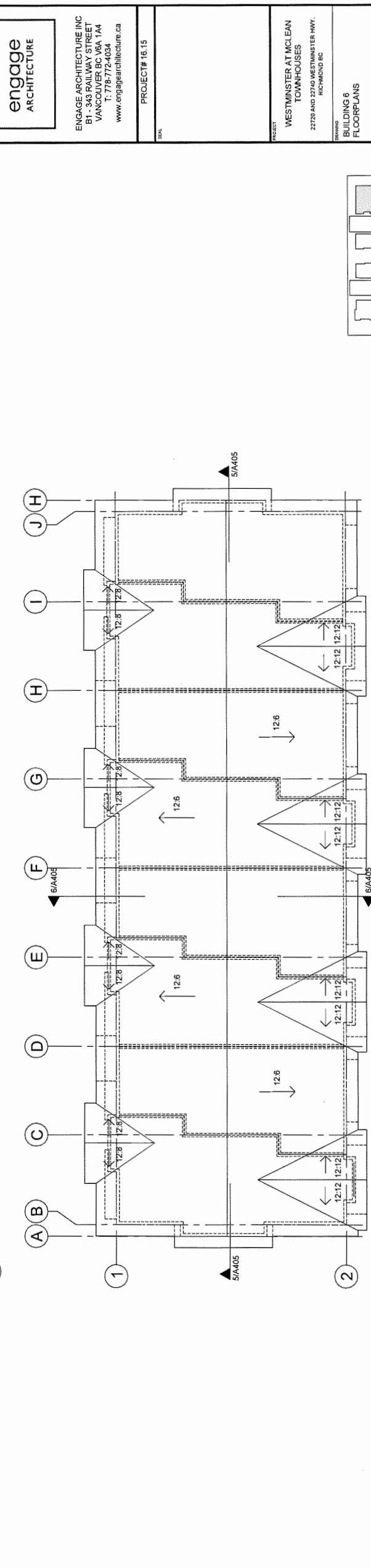
DRAWING ISSUES	
1	DEC 22, 2016 ISSUE FOR PERMITTING
2	APR 4, 2017 RE-ISSUE FOR PERMITTING
3	JUL 19, 2017 ISSUE FOR DEVELOPMENT PERMIT
4	MAR 8, 2018 RE-ISSUE FOR DEVELOPMENT PERMIT



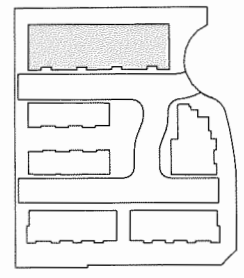
CONTRACTOR



3 3RD FLOOR PLAN  
1/8" = 1'-0"



4 ROOF PLAN  
1/8" = 1'-0"



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ARCHITECTURE

ENGAGE ARCHITECTURE INC  
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VANCOUVER BC V6A 1A4  
T: 778-772-4034  
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PROJECT# 16.15

PROJECT  
WESTMINSTER AT MCLEAN  
TOWNHOUSES  
2270 AND 22740 WESTMINSTER HWY.  
RICHMOND BC

DRAWING  
BUILDING 6  
FLOORPLANS

DESIGNED BY  
KS  
DRAWN BY  
KS  
DATE  
JULY 2016  
SCALE  
1/8" = 1'-0"

DRAWN  
A2-05.1



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DATE	DESCRIPTION
1. 06.02.2016	ISSUE FOR PERMITTING
2. 08.12.2017	REVISION FOR MARKINGS
3. 03.10.2018	ISSUE FOR DEVELOPMENT PERMIT
4. 04.08.2018	REVISION FOR DEVELOPMENT PERMIT

CONSULTANT  
**REFINED**  
 CONSULTANTS

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 B1 - 345 RAILWAY STREET  
 VANCOUVER BC V6A 1A4  
 T: 778-772-4034  
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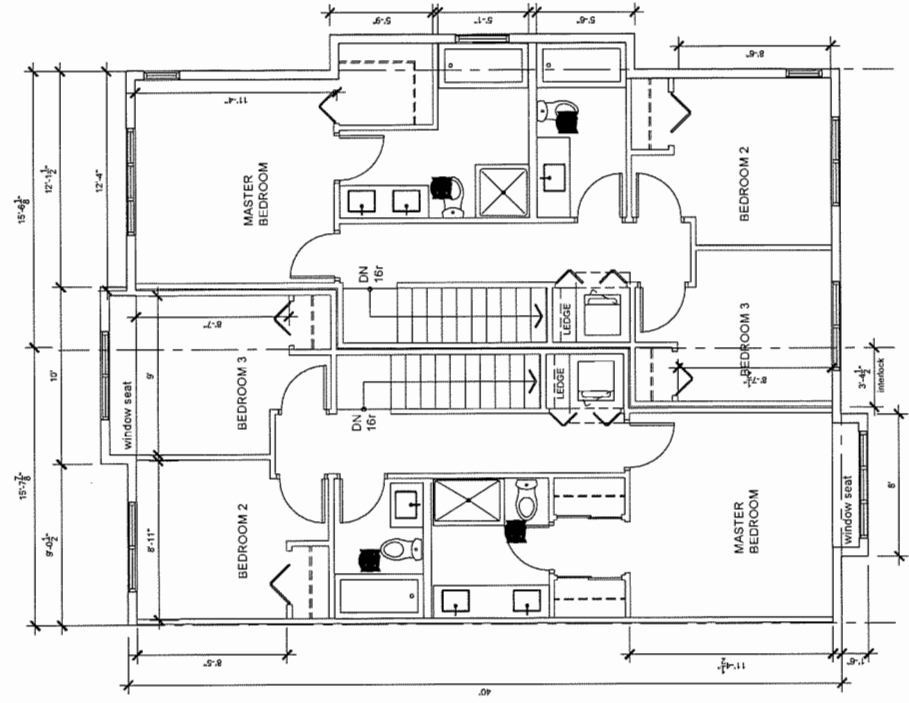
PROJECT# 16.15

WESTMINSTER AT MCLEAN  
 TOWNHOUSES  
 22750 AND 22740 WESTMINSTER HWY.  
 RICHMOND BC

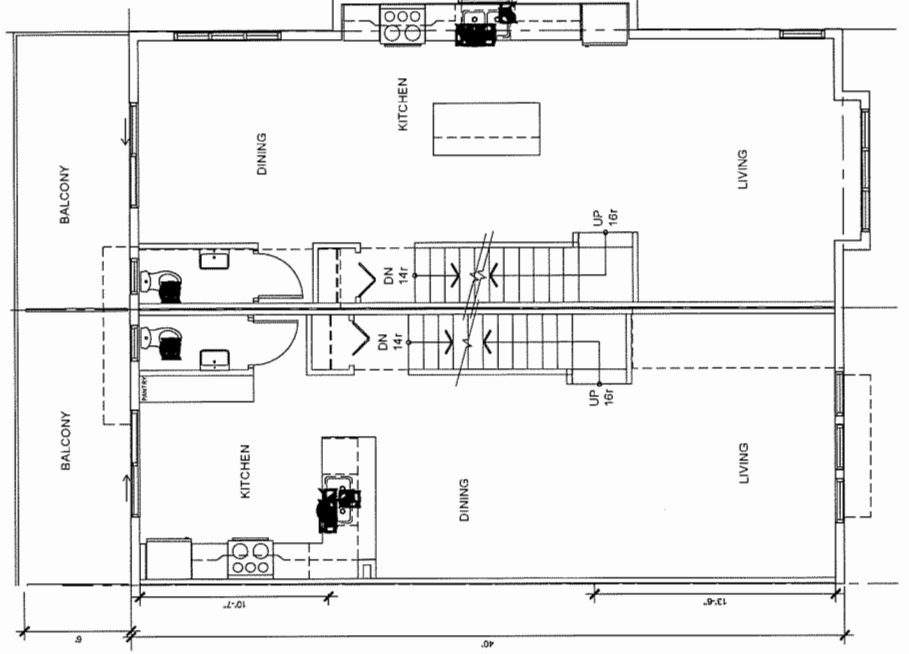
UNIT PLANS  
 B AND B3

DESIGNED BY: NS  
 DRAWN BY: NS  
 DATE: JULY 2016  
 SCALE: 1/4" = 1'-0"

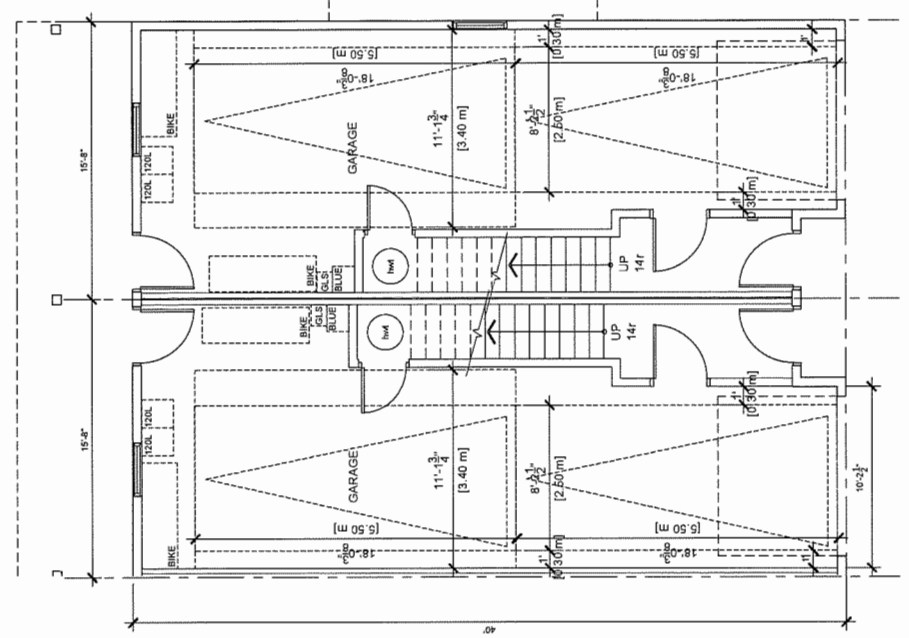
UNIT  
**A3-01**



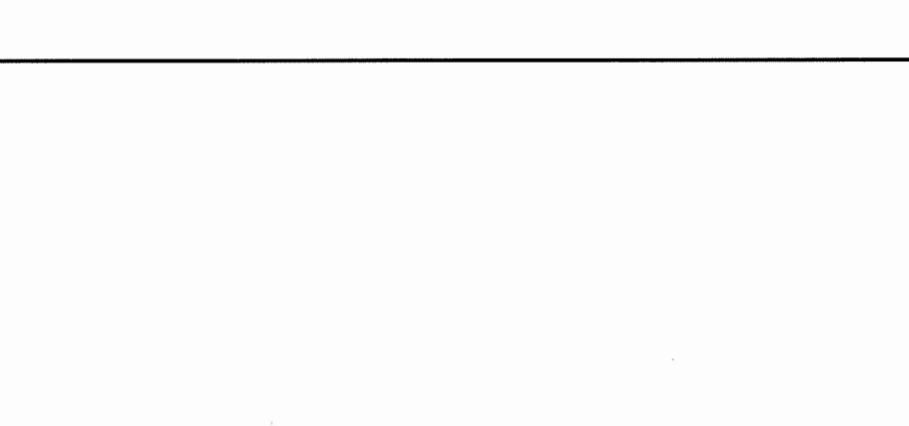
3rd Level  
 B3  
 Net: 621.5 sf  
 Exempt Stairs: 35.3 sf  
 Gross: 660.9 sf



2nd Level  
 B  
 Net: 611.6 sf  
 Exempt Stairs: 35.3 sf  
 Gross: 646.9 sf



Ground Level  
 B3 (end)  
 Net: 0 sf  
 Exempt: Garage 520.7 sf  
 Entry/stairs 94.8 sf  
 Gross: 615.5 sf

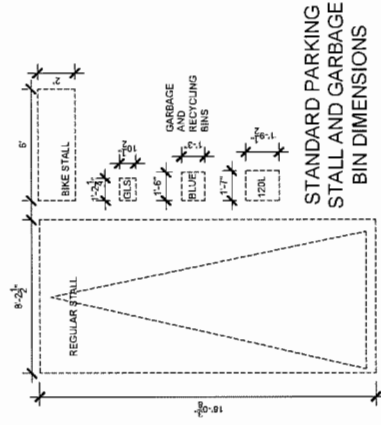


Ground Level  
 B  
 Net: 0 sf  
 Exempt: Garage 519.2 sf  
 Entry/stairs 96.3 sf  
 Gross: 615.5 sf

Unit B  
 NET AREA: 1220.3 sf  
 /GROSS AREA: 1882.4 sf

Unit B3  
 NET AREA: 1282.8 sf  
 /GROSS AREA: 1950.7 sf

NOTES:  
 1. ALL PARTS WILL INCORPORATE FEATURES FOR ACCESS IN PLACE WHICH INCLUDE HANDRAILS AT ALL STAIRS, LEVER TYPE DOOR HANDLES AND FLUSHING FIXTURE CONTROLS THROUGHOUT AND SOLID BLOCKING AT TUBS, SHOWERS AND BEHIND AND/OR INSIDE TOILETS IN BATHROOMS.  
 2. FLOOR AREAS MEASURED TO THE OUTSIDE (FACE OF SHEATHING) OF EXTERIOR WALLS AND TO THE CENTRELINE OF PARTY (SUITE) WALLS AND TO THE CENTRELINE OF EXTERIOR WALLS AND TO THE CENTRELINE OF THE CONCRETE DEVELOPMENT BY-LAW. PER THIS SECTION 4.4 OF THE CONCRETE DEVELOPMENT BY-LAW. PER THIS SECTION IT EXCLUDES UP TO 50 sq. ft. (4.65 sq. m) PER UNIT FOR ON-SITE PARKING (HERE NOTED AS GARAGE) AND UP TO 100 sq. ft. (9.29 sq. m) FOR ENTRY AREA ADJACENT TO THE STAIRS (NOTED HERE AS ENTRY/STAIR EXEMPTION AT LEVEL 1 AND STAIR EXEMPTION AT LEVEL 2).  
 3. ALL ELECTRICAL AND PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE BC ELECTRICAL CODE AND THE BC PLUMBING CODE. ALL ELECTRICAL PULL BOXES SHALL BE PRE-ROUTED FOR FUTURE WIRING TO ACCOMMODATE THE INSTALLATION OF SPECIALIZED ELECTRIC VEHICLE CHARGING EQUIPMENT.  
 4. ALL BUILDINGS WILL BE DESIGNED TO MEET THE BC SOLAR HOT WATER READY REGULATION.



STANDARD PARKING  
 STALL AND GARBAGE  
 BIN DIMENSIONS

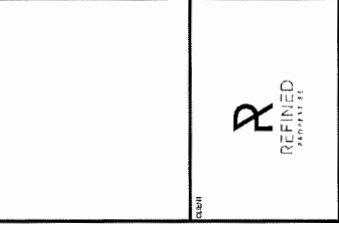


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DATE	REVISION
DEC 22, 2015	ISSUE FOR RECORDING
APR 1, 2017	RE-DRAW FOR RECORDING
JUN 16, 2017	ISSUE FOR DEVELOPMENT PERMIT
MAY 6, 2018	RE-DRAW FOR DEVELOPMENT PERMIT

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PROJECT# 16.15

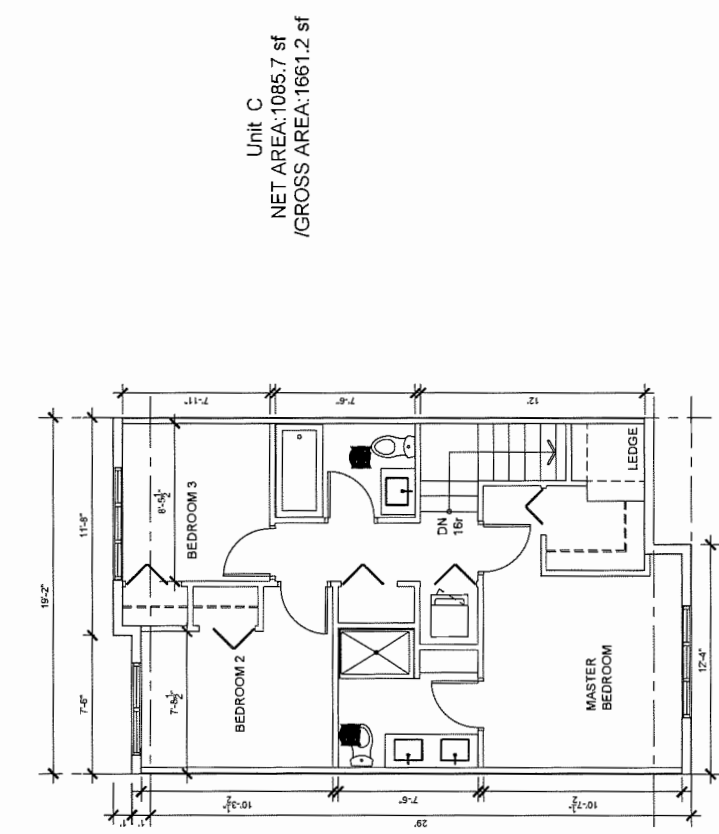
SCALE

PROJECT  
 WESTMINSTER AT MCLEAN  
 TOWNHOUSES  
 22720 AND 22740 WESTMINSTER HWY.  
 RICHMOND BC

DRAWING  
 UNIT PLANS  
 C

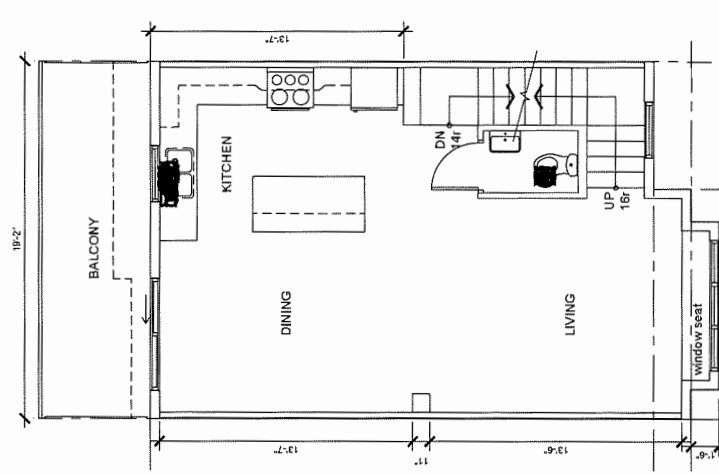
DRAWN BY KS	CHECKED BY KS
DATE JULY 2016	SCALE 1/4" = 1'-0"

UNIT PLANS  
 A3-03

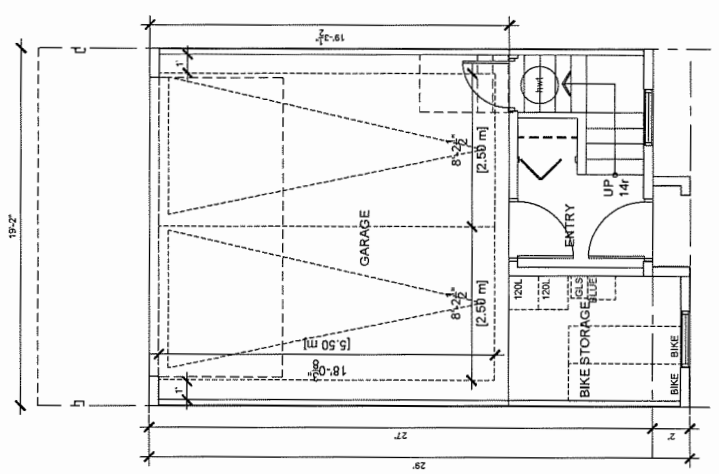


Unit C  
 NET AREA: 1085.7 sf  
 /GROSS AREA: 1661.2 sf

3rd Level  
 C  
 Net: 543.8 sf  
 Exempt Stairs: 29.2 sf  
 Gross: 573.0 sf

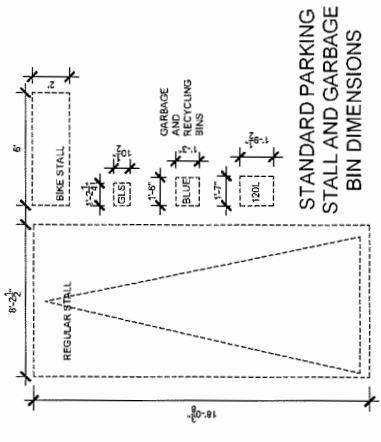


2nd Level  
 C  
 Net: 541.9 sf  
 Exempt Stairs: 13.8 sf  
 Gross: 555.7 sf



Ground Level  
 C  
 Net: 0 sf  
 Exempt: Garage 438.7 sf  
 Entry/stairs 93.8 sf  
 Gross: 532.5 sf

NOTES:  
 1. ALL UNITS WILL INCORPORATE FEATURES FOR AGING IN PLACE (AIP) INCLUDING: WALKING SURFACES, HANDRAILS, AND BARRIERS. ALL BATHS AND SHOWER AREAS SHALL BE DESIGNED TO ACCOMMODATE A PERSON USING A WALKER OR WHEELCHAIR. ALL BATH AND POWDER ROOMS, THE OUTSIDE FACE OF SHEATHING (DEMISING) WALLS, CALCULATION OF FSR AS NOTED IS CALCULATED INCLUDING THE EXTERIOR WALLS AND TOILETS IN BATH AND SHOWER AREAS. THIS SECTION IT EXCLUDES UP TO 200 (330 SF) PER UNIT FOR ON SITE PARKING (HERE NOTED AS GARAGE) AND UP TO 100 (107.6 SF) PER UNIT FOR STAIRS ON THE FIRST LEVEL AND AS NOTED IN EXEMPTION AT LEVEL 1 AND STAIR EXEMPTION AT LEVEL 2.  
 2. ALL OF THE RESIDENT PARKING STALLS WILL BE EQUIPPED WITH 120V ELECTRICAL OUTLETS AND 120V WATER TAP. THE PARKING STALLS WILL BE PRE-DESIGNED FOR FUTURE WIRING TO ACCOMMODATE THE FUTURE INSTALLATION OF SPECIALIZED ELECTRIC WATER READY REGULATION.  
 3. ALL BATHS WILL BE DESIGNED TO MEET THE BC SOLAR HOT WATER READY REGULATION.



STANDARD PARKING  
 STALL AND GARBAGE  
 BIN DIMENSIONS

DP 17-18105U-17





The drawings were prepared by the Client/Architect. The Client/Architect is responsible for the accuracy and completeness of the drawings. Engage Architecture Inc. is not responsible for the accuracy and completeness of the drawings. All errors and omissions are the responsibility of the Client/Architect. Engage Architecture Inc. is not responsible for the accuracy and completeness of the drawings. All errors and omissions are the responsibility of the Client/Architect.

DRAWING ISSUES	
1	DEC 22 2015 ISSUE FOR PERMITTING
2	APR 4 2017 RE-SUB FOR PERMITTING
3	JUL 18 2017 ISSUE FOR DEVELOPMENT PERMIT
4	MAR 9 2016 ISSUE FOR DEVELOPMENT PERMIT

CONSULTANTS

REFINED ARCHITECTURE

engage ARCHITECTURE

ENGAGE ARCHITECTURE INC  
 81 - 343 RAILWAY STREET  
 VANCOUVER BC V6A 1A4  
 T: 778-772-4034  
 www.engagearchitecture.ca

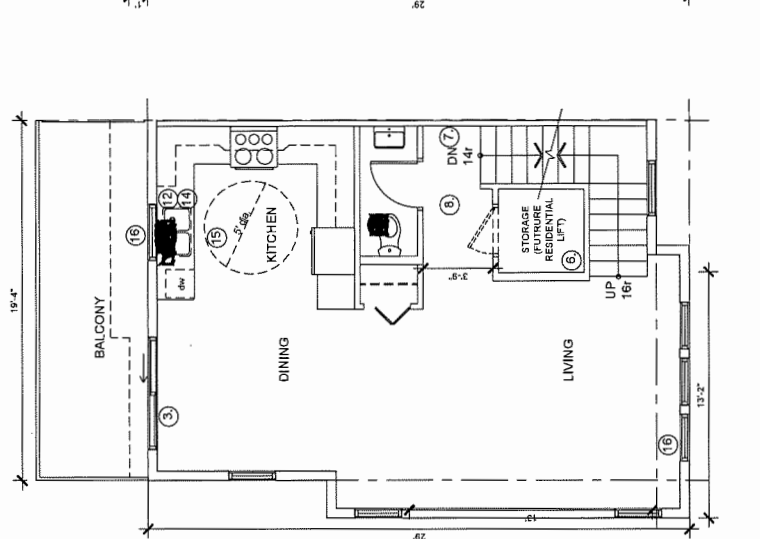
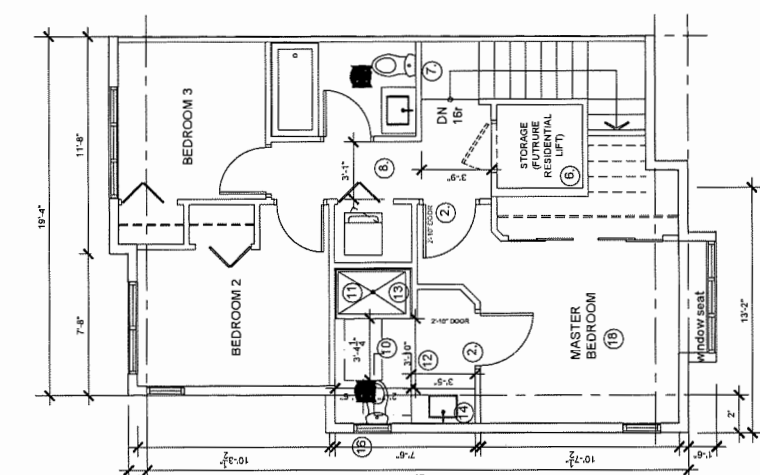
PROJECT# 16.15

WESTMINSTER AT MCLEAN TOWNHOUSES  
 2270 AND 2274 WESTMINSTER HWY.  
 RICHMOND BC

UNIT PLANS  
 C2

DATE: JULY 2016  
 SCALE: 1/4" = 1'-0"

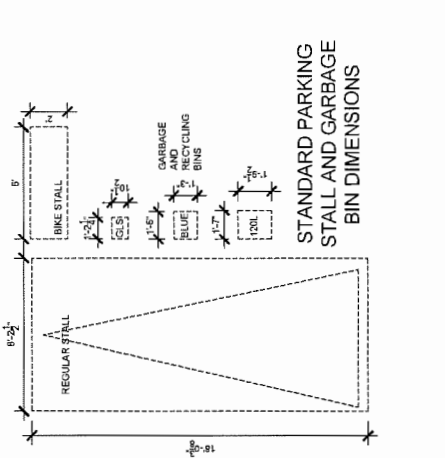
A3-05



Unit C2  
 NET AREA: 1148.8 sf  
 /GROSS AREA: 1778.9 sf  
 ACCESSIBLE UNIT TYPE  
 CONVERTIBLE UNIT TYPE

- ACCESSIBLE ADAPTABLE UNIT NOTES (NUMBERED ON PLAN LOCATIONS):
1. ENTRY DOOR SHALL BE 3'-0" DOOR. PROVIDE ROUGH-IN FOR FUTURE AUTOMATIC DOOR OPENER (CLEAR SPACE CANNOT BE PROVIDED).
  2. PROVIDE 18" CLEARANCE AT TURN SHOWERS AND BEHIND AND/OR BESIDE TOILETS IN BATH AND BETWEEN GARAGE AND SUITE AS INDICATED.
  3. 6'-0" PATIO DOOR PROVIDED (860mm CLEAR OPENING). ACCESS IF REQUIRED FOR PARKING AND STORAGE.
  4. FUTURE VERTICAL LIFT SHIFTS. THROUGHOUT.
  5. LEVER STYLE DOOR HANDLES THROUGHOUT.
  6. PROVIDE REINFORCEMENT AT TOP OF STAIR. 2 X 12 SOLID LUMBER AT TOP OF STAIR.
  7. PROVIDE REINFORCEMENT AT TOP OF STAIR. 2 X 12 SOLID LUMBER AT TOP OF STAIR.
  8. MINIMUM CLEAN FINISHED HALLWAY WIDTH IS 35.5" (900mm).
  9. GARAGE TO PROVIDE OPTION FOR 1 ACCESSIBLE PARKING STALL WITH MIN. 13.7' (4180) CLEAR GARAGE WIDTH.
  10. PROVIDE REINFORCEMENT AT TOP OF STAIR. 2 X 12 SOLID LUMBER AT TOP OF STAIR.
  11. PROVIDE WALL BLOCKING AT TOILET AND SHOWER. BLOCKING TO BE INSTALLED TO MEET BRIC REQUIREMENT FOR GRAB BAR MOUNTING HEIGHTS.
  12. PROVIDE LEVER TYPE HANDLER FOR ALL PLUMBING FIXTURES. PROVIDE LEVER TYPE HANDLER FOR ALL PLUMBING FIXTURES.
  13. PROVIDE LEVER TYPE HANDLER FOR ALL PLUMBING FIXTURES. PROVIDE LEVER TYPE HANDLER FOR ALL PLUMBING FIXTURES.
  14. CABINET BELOW BATHROOM VANITY AND KITCHEN SINK TO BE EARLY REMOVED.
  15. WINDOW CAN BE OPENED WITH SINGLE HANDLE IN LOCATIONS INDICATED. ELECTRICAL OUTLETS IN THE FOLLOWING LOCATIONS: BESIDE WINDOW, BASE OF STAIRWAY, BESIDE TOILET, ABOVE EXTERIOR DOORS, ON FRONT FACE OF KITCHEN COUNTER, WITHIN PROXIMITY OF COMPARTMENT DOORS IN MASTER BEDROOM, GARAGE.
  16. PROVIDE WAX OUTLET IN MASTER BEDROOM, GARAGE.

- NOTES:
1. ALL UNITS WILL INCORPORATE FEATURES FOR AGING IN PLACE WHICH INCLUDE HAND RAILS AT ALL STAIRS, LEVER TYPE DOOR HANDLES, TURN SHOWERS AND BEHIND AND/OR BESIDE TOILETS IN ALL BATH AND POWDER ROOMS.
  2. FLOOR AREA IS REQUIRED TO THE OUTSIDE (FACE OF SHUTTING) PER SECTION 4.4 OF THE ZONING AND DEVELOPMENT BYLAW. PER THIS DEMONSTRATION, CALCULATION OF FSR AS NOTED IS CALCULATED AS FLOOR AREA OF LEVEL 1 AND GARAGE EXEMPTION AT LEVEL 2. PARKING AREAS NOTED AS GARAGE (AND UP TO 10% (107.9 SF) PER UNIT FOR STAIRCASES ON THE FIRST 2 LEVELS AND THE INTERIOR EXEMPTION AT LEVEL 1 AND GARAGE EXEMPTION AT LEVEL 2. ALL OF THE RESIDENT PARKING STALLS WILL BE EQUIPPED WITH 120V ELECTRIC PLUGS AND AN ADDITIONAL 20% OF THE RESIDENT PARKING STALLS WILL BE EQUIPPED WITH 240V PLUGS TO ACCOMMODATE THE FUTURE INSTALLATION OF SPECIALIZED ELECTRIC VEHICLE CHARGING EQUIPMENT.
  3. ALL UNITS WILL BE DESIGNED TO MEET THE BC SOLAR HOT WATER READY REGULATION.

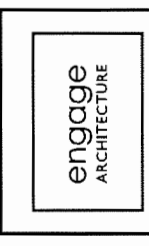


DP 17-781050-19

This document must not be scaled. The General Contractor shall verify all dimensions, elevations and levels prior to construction. The Architect shall be responsible for all modifications to work shown that are not indicated on the drawings. The Architect shall be responsible for all modifications to work shown that are not indicated on the drawings. The Architect shall be responsible for all modifications to work shown that are not indicated on the drawings. The Architect shall be responsible for all modifications to work shown that are not indicated on the drawings.

DATE	REVISION
1 DEC 22 2011	ISSUE FOR RECORDING
2 APR 4 2017	REVISION FOR RECORDING
3 JUL 19 2017	ISSUE FOR DEVELOPMENT PERMIT
4 MAR 8 2018	RE-SCALE FOR DEVELOPMENT PERMIT

PROJECT	WESTMINSTER AT MCLEAN TOWNHOUSES 22720 AND 22740 WESTMINSTER HWY. RICHMOND BC
DRAWING	UNIT PLANS D_D1
CHECKED BY	KS
DATE	JULY 2016
SCALE	1/4" = 1'-0"
DRAWN	



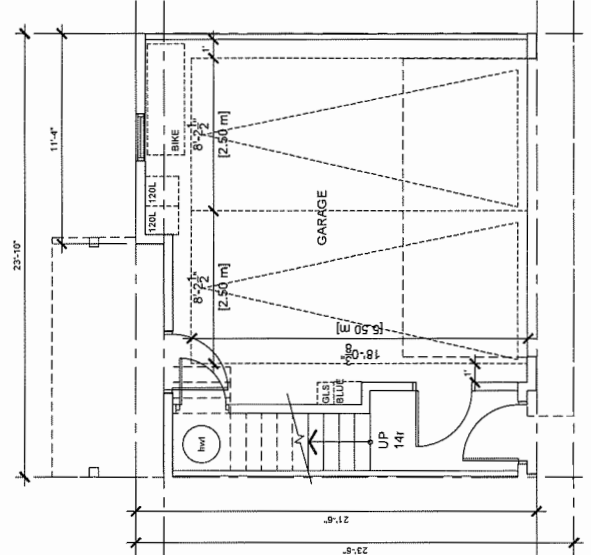
ENGAGE ARCHITECTURE INC  
81-343 RAILWAY STREET  
VANCOUVER BC V6A 1A4  
T: 778-772-4034  
www.engagearchitecture.ca

PROJECT# 16.15

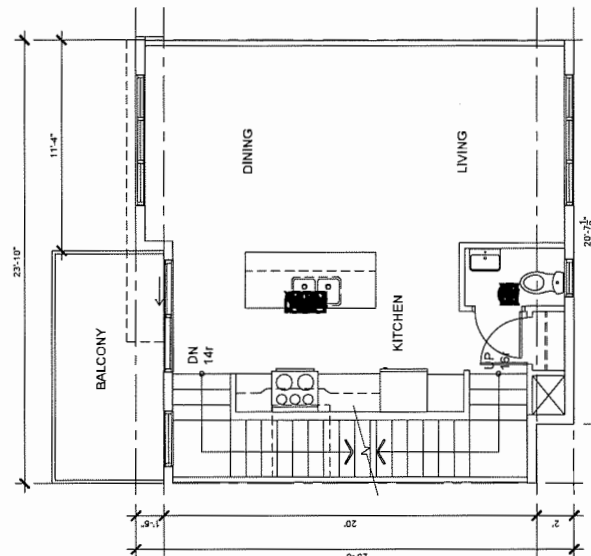
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PROJECT	WESTMINSTER AT MCLEAN TOWNHOUSES 22720 AND 22740 WESTMINSTER HWY. RICHMOND BC
DRAWING	UNIT PLANS D_D1
CHECKED BY	KS
DATE	JULY 2016
SCALE	1/4" = 1'-0"
DRAWN	

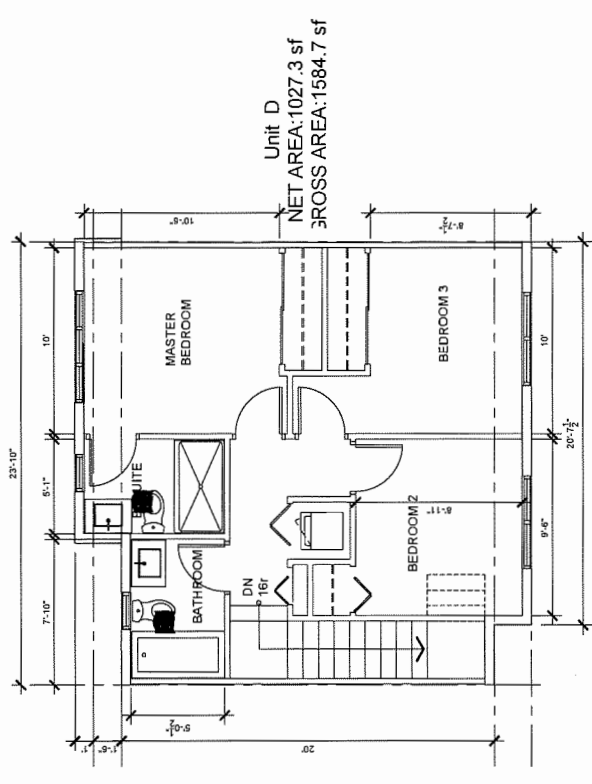
PROJECT#	16.15
DATE	



Ground Level  
D1  
Net: 0 sf  
Exempt: Garage 405.1 sf  
Entry/stairs 86.3 sf  
Gross: 491.4 sf

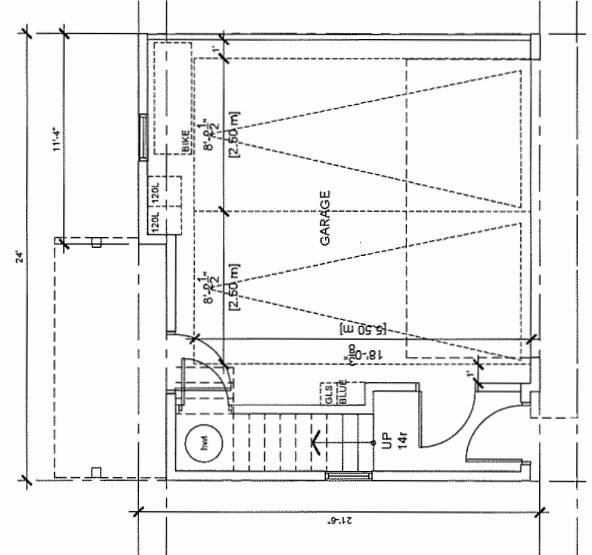


2nd Level  
D1  
Net: 513.6 sf  
Exempt Stairs: 21.3 sf  
Gross: 534.9 sf

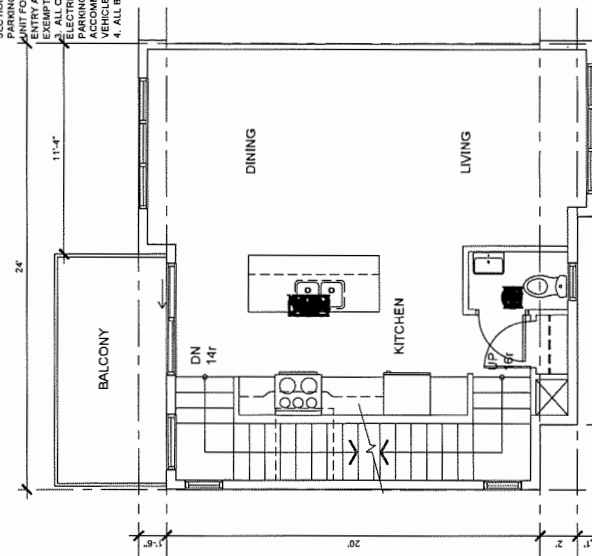


3rd Level  
D1  
Net: 513.7 sf  
Exempt Stairs: 44.7 sf  
Gross: 558.4 sf

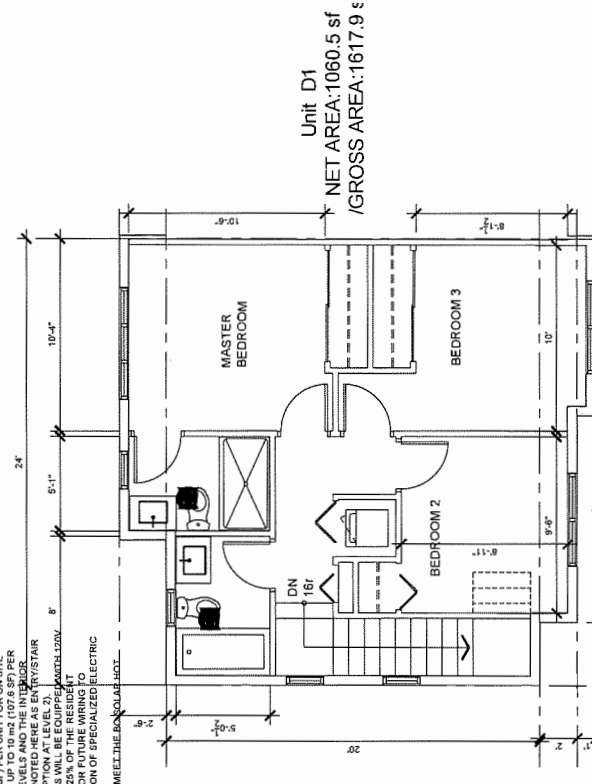
NOTES:  
1. ALL UNITS WILL INCORPORATE FEATURES FOR AGING IN PLACE WHICH INCLUDE HAND RAILS AT ALL STAIRS, LEVER TYPE DOOR HANDLES AND PLUMBING FIXTURE CONTROLS THROUGHOUT AND SOLID BATH AND POWDER ROOMS.  
2. FLOOR AREA IS MEASURED TO THE OUTSIDE FACE OF SHEATHING (DIMENSIONED WALLS). CALCULATION OF PER AS NOTED IS CALCULATED PER SECTION 4.4 OF THE ZONING AND DEVELOPMENT BYLAW. PER THIS SECTION, PERMITTED PARKING SHALL BE PROVIDED FOR EACH UNIT FOR 3 STAIRCASES ON THE FIRST 2 LEVELS AND THE INTERIOR ENTRY AREA ADJACENT TO THE STAIRS (NOTED HERE AS ENTRY/STAIR AREA). ALL OF THE RESIDENT PARKING STALLS WILL BE EQUIPPED WITH ELECTRIC PLUGGING AND AN ADDITIONAL 20% OF THE RESIDENT PARKING STALLS WILL BE ACCOMMODATE THE FUTURE INSTALLATION OF SPECIALIZED ELECTRIC VEHICLE CHARGING EQUIPMENT.  
3. ALL BUILDINGS WILL BE DESIGNED TO MEET THE SOLAR CODE.



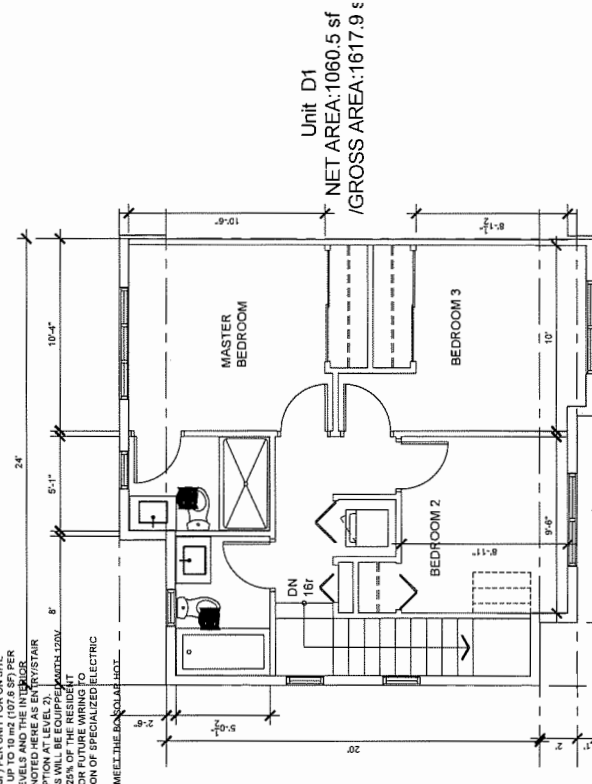
Ground Level  
D1  
Net: 0 sf  
Exempt: Garage 405.1 sf  
Entry/stairs 89.5 sf  
Gross: 494.6 sf



2nd Level  
D1  
Net: 533.6 sf  
Exempt Stairs: 18.1 sf  
Gross: 551.7 sf



3rd Level  
D1  
Net: 526.9 sf  
Exempt Stairs: 44.7 sf  
Gross: 571.6 sf



Unit D1  
NET AREA: 1060.5 sf  
/GROSS AREA: 1617.9 sf



This drawing shall not be used for construction until the Client has approved the design and all necessary permits have been obtained. All dimensions and elevations are to be based on the finished grade unless otherwise noted. The Client is responsible for obtaining all necessary permits and for ensuring that the design complies with all applicable codes and regulations. The Client shall be responsible for any changes to the design after the date of issue of this drawing. The Client shall be responsible for any costs associated with the design and construction of the project. The Client shall be responsible for any delays to the project caused by the Client or any third party. The Client shall be responsible for any damages to the property caused by the design and construction of the project. The Client shall be responsible for any other matters relating to the design and construction of the project.

DATE	DESCRIPTION
DEC 22, 2014	ISSUE FOR PERMITTING
APR 1, 2017	REVISED FOR PERMITTING
JUL 18, 2017	REVISED FOR DEVELOPMENT PERMIT
MAY 8, 2018	REVISED FOR DEVELOPMENT PERMIT

CONTRACT NO.

CLIENT



ENGAGE ARCHITECTURE INC  
 B1 - 343 RAILWAY STREET  
 VANCOUVER BC V6A 1A4  
 T: 778-772-4034  
 www.engagearchitecture.ca

PROJECT # 16.15

PROJECT  
 WESTMINSTER AT MCLEAN  
 TOWNHOUSES  
 2370 AND 2370 WESTMINSTER HWY.  
 RICHMOND BC

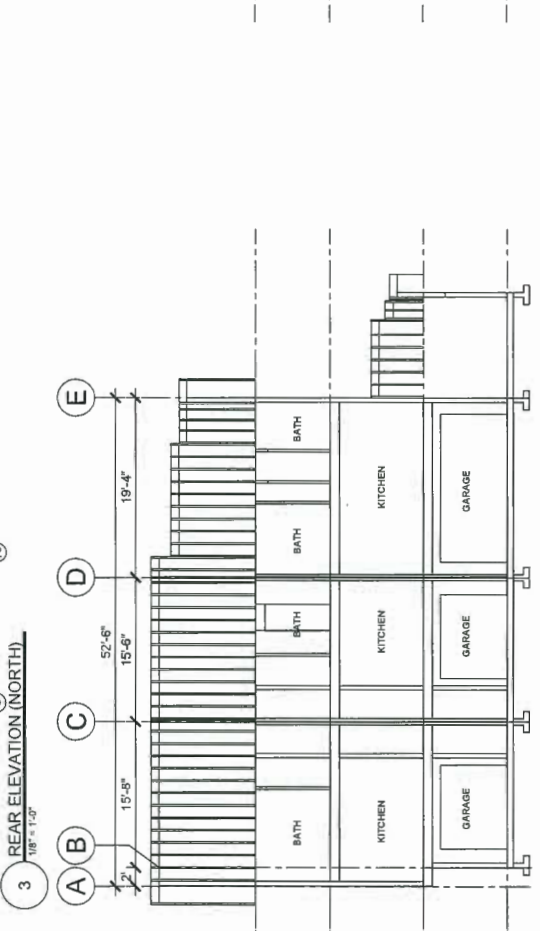
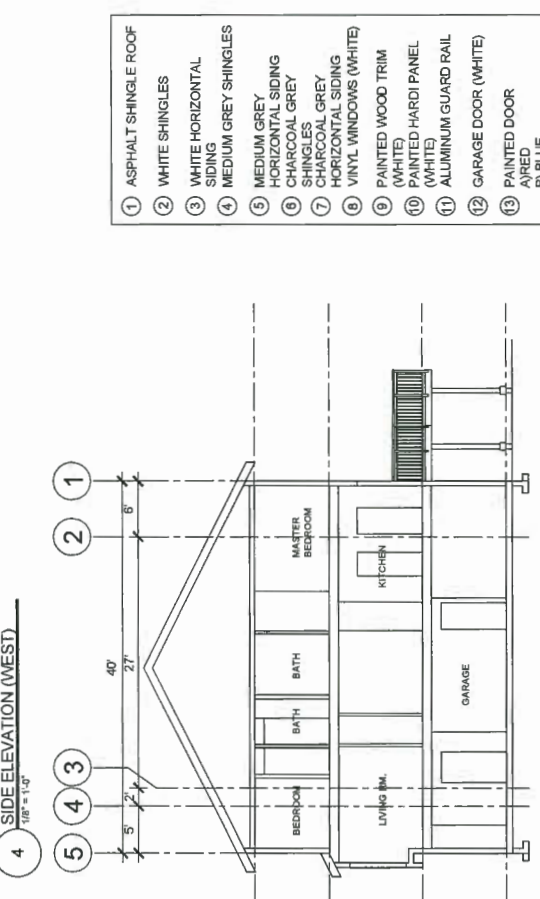
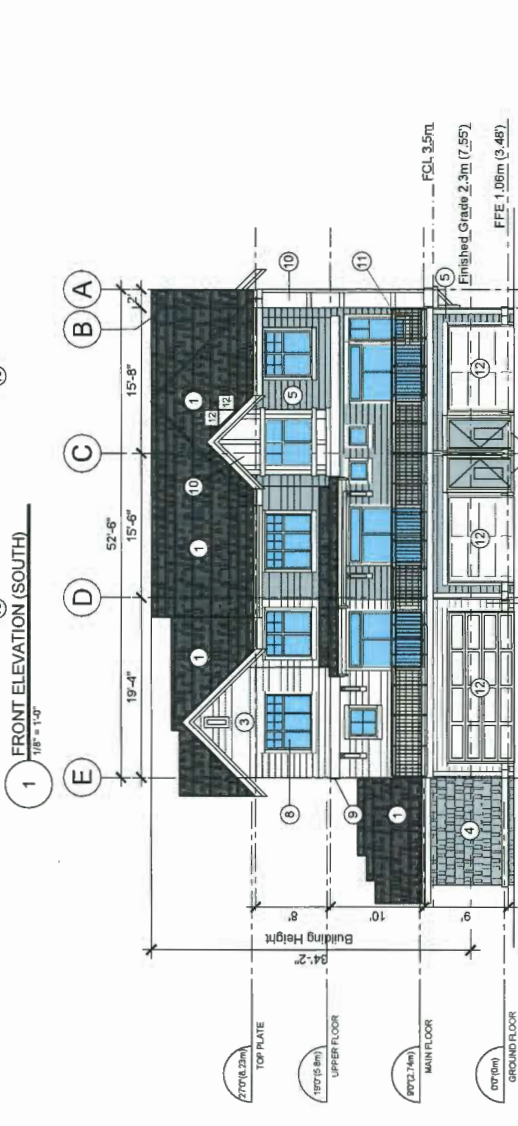
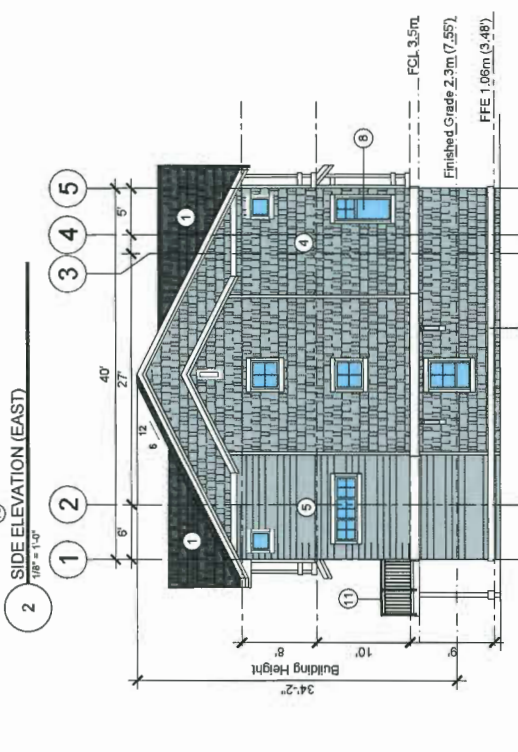
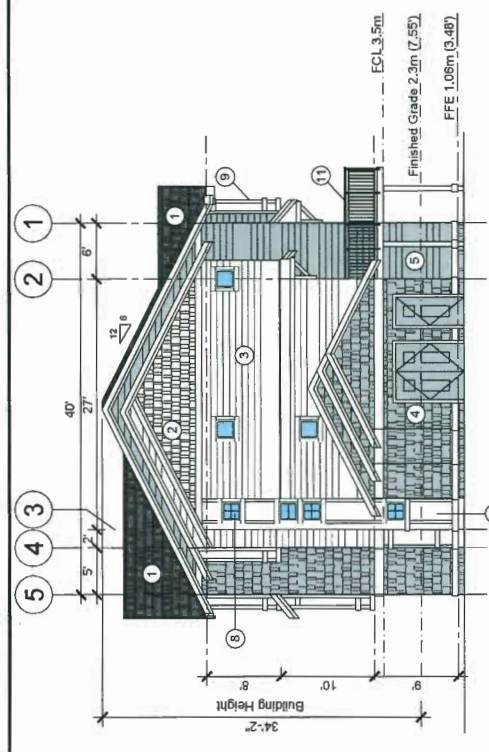
DRAWN BY  
 KS

CHECKED BY  
 KS

DATE  
 JULY 2016

SCALE  
 1/8" = 1'-0"

SECTION  
 A4-00



This drawing must not be used. The General Contractor shall verify all dimensions, permits and levels prior to commencement of work. All errors and omissions to be corrected by the contractor. The contractor shall be responsible for obtaining all necessary permits and approvals. The architect shall not be held responsible for any errors or omissions. The architect shall not be held responsible for any errors or omissions. The architect shall not be held responsible for any errors or omissions.

NO.	DATE	DESCRIPTION
1	DEC 12, 2014	ISSUE FOR PERMITTING
2	JAN 1, 2017	REVISION FOR MARKINGS
3	JUN 15, 2017	REVISION FOR DEVELOPMENT PERMIT
4	MAY 8, 2018	REVISION FOR DEVELOPMENT PERMIT

CONSULTANTS

CLIENT



**engage**  
ARCHITECTURE

ENGAGE ARCHITECTURE INC  
 81 - 343 RAILWAY STREET  
 VANCOUVER BC V6A 1M4  
 T: 778-772-4034  
 www.engagearchitecture.ca

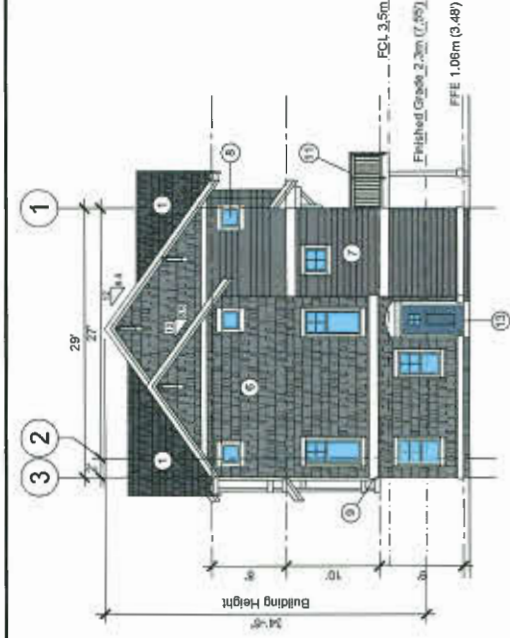
PROJECT# 16.15

PROJECT  
**WESTMINSTER AT MCLEAN TOWNHOUSES**  
 2275 AND 2275A WESTMINSTER HWY.  
 RICHMOND BC

DRAWING  
**BUILDING 2  
 ELEVATIONS AND SECTIONS**

DESIGNED BY  
 KS  
 DRAWN BY  
 KS  
 DATE  
 JULY 2016  
 SCALE  
 1/8" = 1'-0"

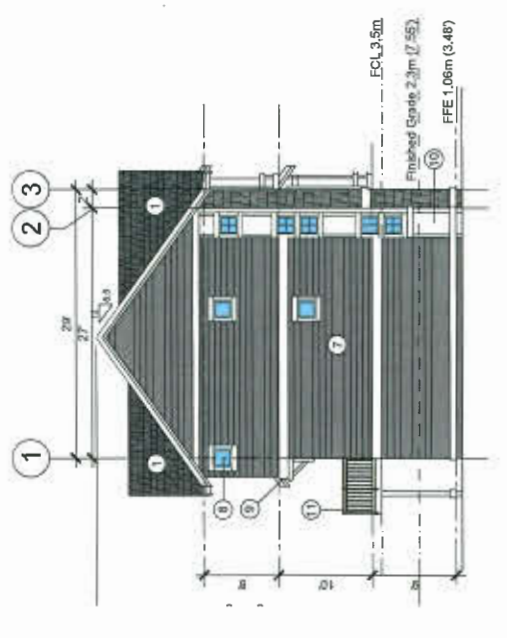
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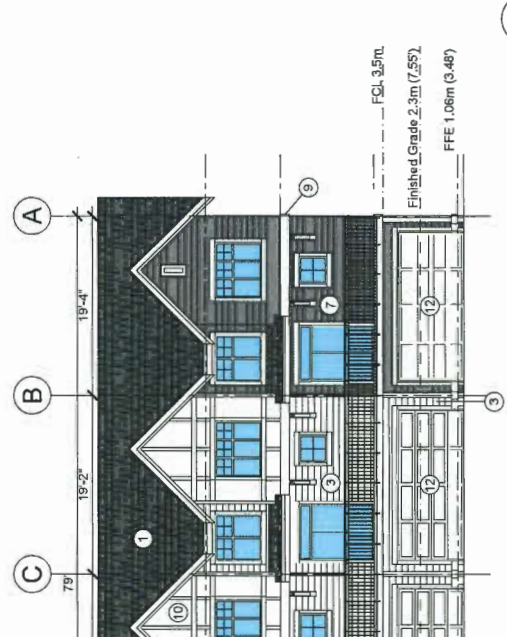
1 FRONT ELEVATION (WEST)  
 1/8" = 1'-0"



2 SIDE ELEVATION (SOUTH)  
 1/8" = 1'-0"

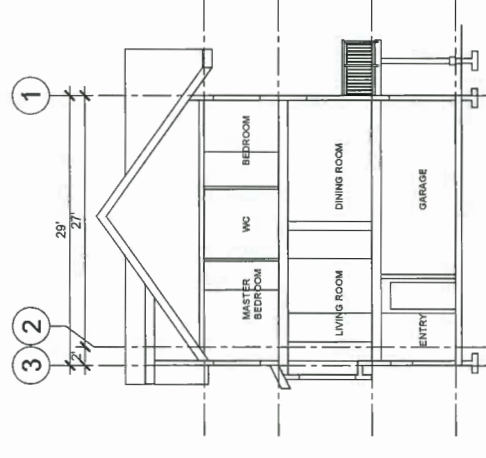


4 SIDE ELEVATION (NORTH)  
 1/8" = 1'-0"

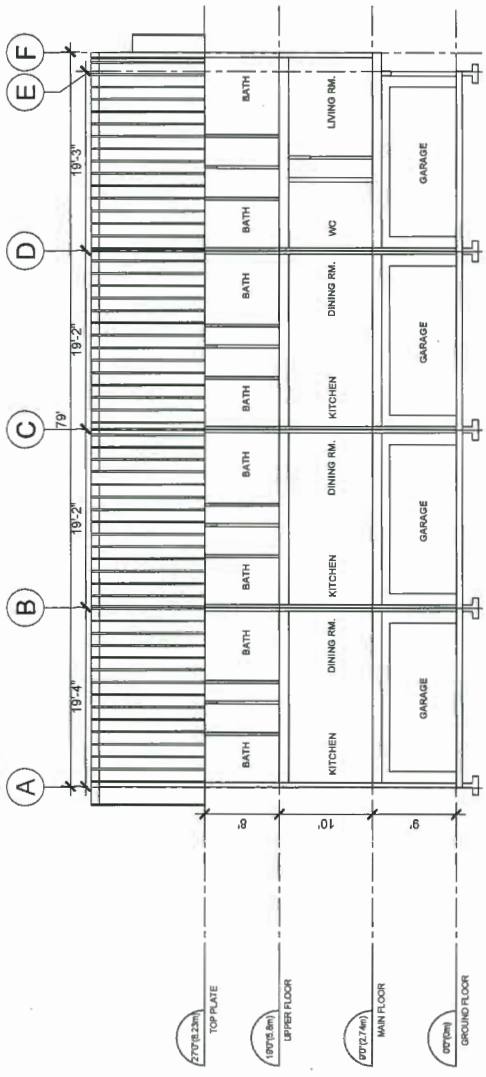


3 REAR ELEVATION (EAST)  
 1/8" = 1'-0"

- 1 ASPHALT SHINGLE ROOF
  - 2 WHITE SHINGLES
  - 3 WHITE HORIZONTAL SIDING
  - 4 MEDIUM GREY SHINGLES
  - 5 MEDIUM GREY HORIZONTAL SIDING
  - 6 CHARCOAL GREY SHINGLES
  - 7 CHARCOAL GREY HORIZONTAL SIDING
  - 8 VINYL WINDOWS (WHITE)
  - 9 PAINTED WOOD TRIM
  - 10 PAINTED HARDI PANEL (WHITE)
  - 11 ALUMINUM GUARD RAIL
  - 12 GARAGE DOOR (WHITE)
  - 13 PAINTED DOOR
- A) RED  
 B) BLUE  
 C) GREY



6 SECTION  
 1/8" = 1'-0"



5 SECTION  
 1/8" = 1'-0"

OP 17-181050-23

This drawing is not for construction. The Client/Contractor shall verify all dimensions, details and materials to be used in the construction of the work. All items and materials to be used in the construction of the work shall be approved by the Architect. The Client/Contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The Client/Contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The Client/Contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

DATE	DESCRIPTION
1. DEC 22, 2014	ISSUE FOR PERMITTING
2. APR 1, 2017	RE-ISSUE FOR PERMITTING
3. JUN 19, 2017	ISSUE FOR DEVELOPMENT PERMIT
4. MAR 8, 2018	RE-ISSUE FOR DEVELOPMENT PERMIT

CONTRACTOR

CLIENT



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 B1 - 343 RAILWAY STREET  
 VANCOUVER BC V6A 1A4  
 T: 778-772-4034  
 www.engagearchitecture.ca

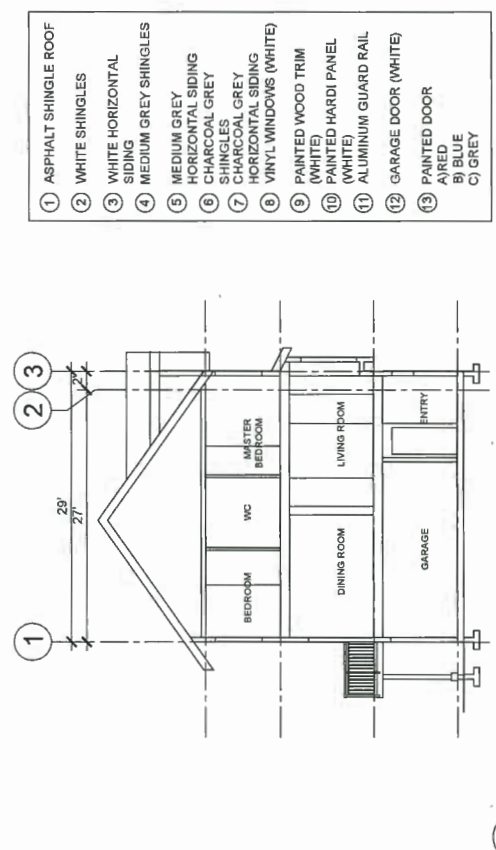
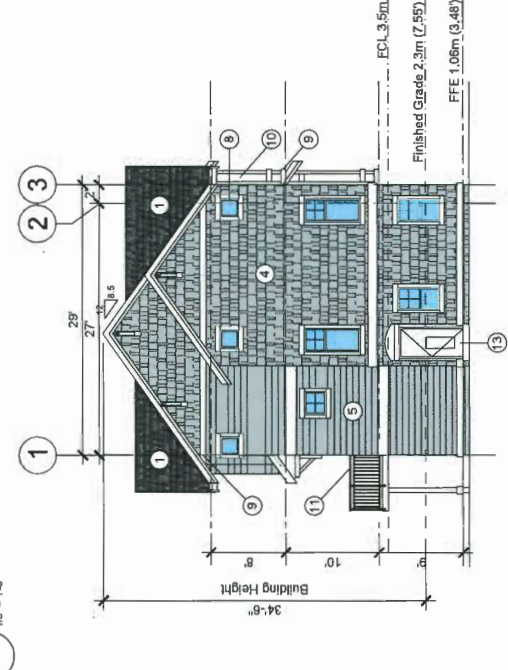
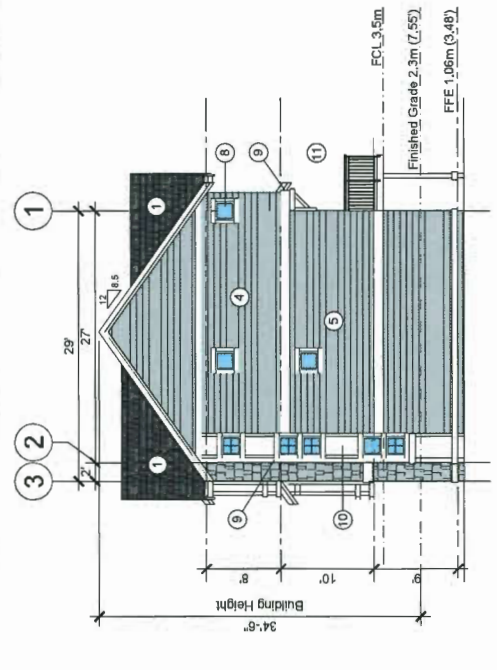
PROJECT # 16.15

PROJECT  
 WESTMINSTER AT MCLEAN  
 TOWNHOUSES  
 22720 AND 22740 WESTMINSTER HWY.  
 RICHMOND BC

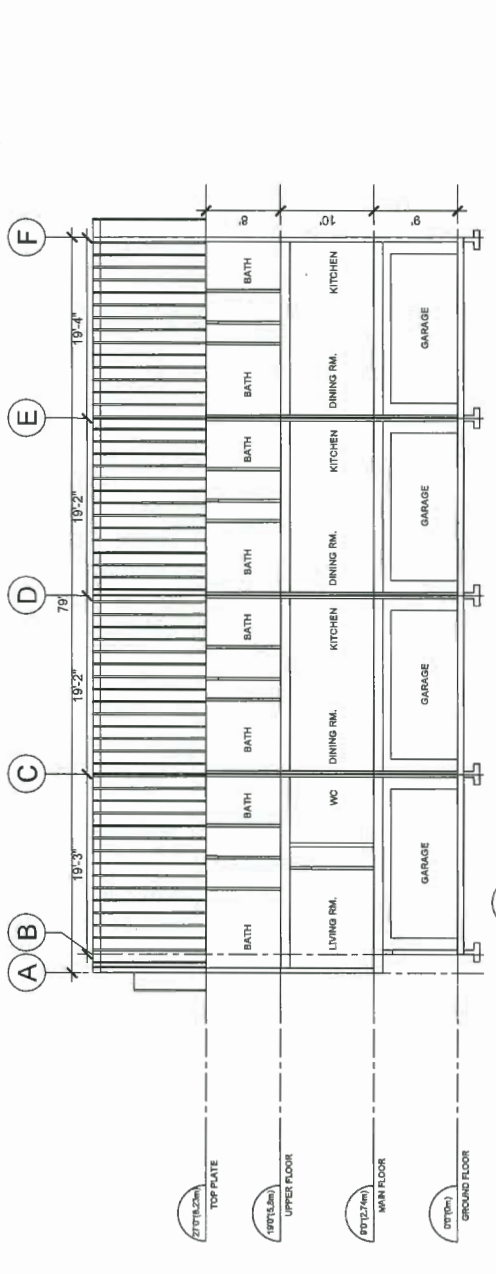
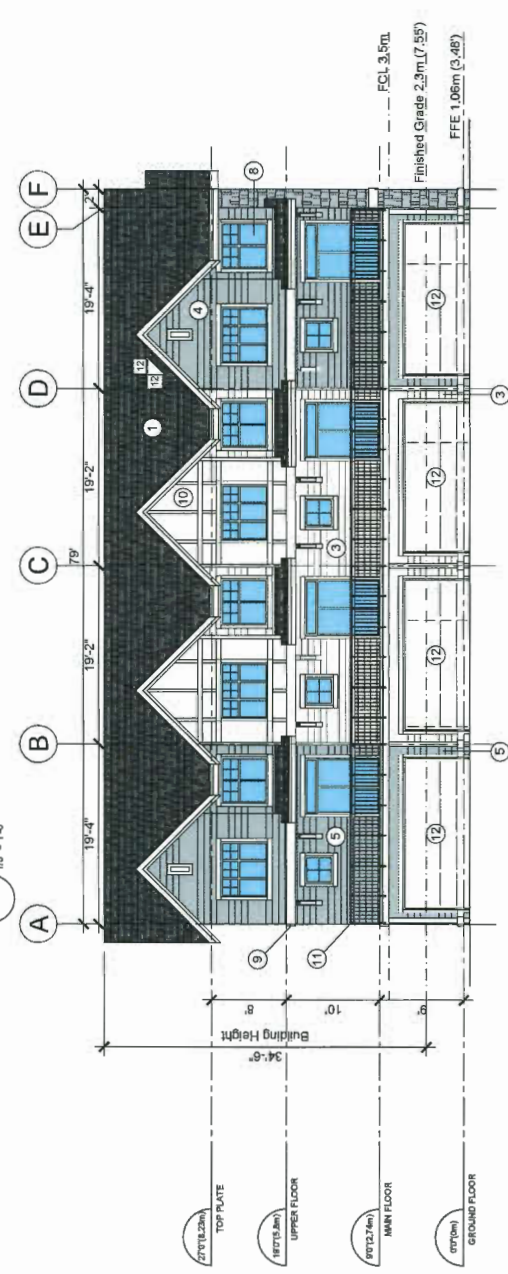
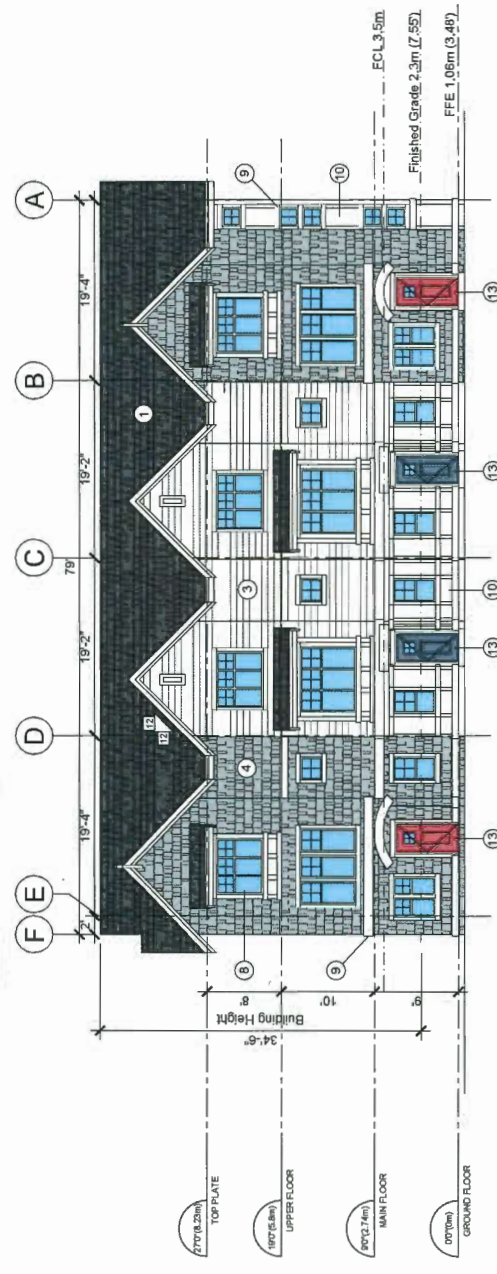
DRAWING  
 BUILDING 3  
 ELEVATIONS AND SECTIONS

DESIGNED BY  
 KS  
 DRAWN BY  
 KS  
 DATE  
 JULY 2016  
 SCALE  
 1/8" = 1'-0"

A4-02



- 1 ASPHALT SHINGLE ROOF
- 2 WHITE HORIZONTAL SIDING
- 3 WHITE HORIZONTAL SIDING
- 4 MEDIUM GREY SHINGLES
- 5 MEDIUM GREY HORIZONTAL SIDING
- 6 CHARCOAL GREY SHINGLES
- 7 CHARCOAL GREY HORIZONTAL SIDING
- 8 VINYL WINDOWS (WHITE)
- 9 PAINTED WOOD TRIM (WHITE)
- 10 PAINTED HARDI PANEL (WHITE)
- 11 ALUMINUM GUARD RAIL
- 12 GARAGE DOOR (WHITE)
- 13 PAINTED DOOR A/B/C (BLUE/WHITE/BLACK)



OP 17-101020-24

This drawing must not be used. The General Contractor shall verify all dimensions and conditions to be reported immediately to the Architect. Visitors and modifications to work shown shall be carried out at their own risk. These drawings and the design are not to be used for construction without the written consent of the Architect in which case the reproduction shall bear their name as the Architect.

NO.	DATE	DESCRIPTION
1	06.22.2016	ISSUE FOR PERMITTING
2	APR. 4. 2017	REVISION FOR RECORDING
3	JUL. 18. 2017	ISSUE FOR DEVELOPMENT PERMIT
4	MAR. 9. 2018	REVISION FOR DEVELOPMENT PERMIT

CONTRACTOR



engage ARCHITECTURE INC  
 81-343 RAILWAY STREET  
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 T: 775-772-4034  
 www.engagearchitecture.ca

PROJECT# 16.15

WESTMINSTER AT MCLEAN TOWNHOUSES  
 2270 AND 22740 WESTMINSTER HWY.  
 RICHMOND BC

CONTRACTOR: NS  
 ARCHITECT: NS  
 DATE: JULY 2016  
 SCALE: 1/8" = 1'-0"

CONTRACTOR: NS  
 ARCHITECT: NS  
 DATE: JULY 2016  
 SCALE: 1/8" = 1'-0"

CONTRACTOR: NS  
 ARCHITECT: NS  
 DATE: JULY 2016  
 SCALE: 1/8" = 1'-0"

CONTRACTOR: NS  
 ARCHITECT: NS  
 DATE: JULY 2016  
 SCALE: 1/8" = 1'-0"

CONTRACTOR: NS  
 ARCHITECT: NS  
 DATE: JULY 2016  
 SCALE: 1/8" = 1'-0"

CONTRACTOR: NS  
 ARCHITECT: NS  
 DATE: JULY 2016  
 SCALE: 1/8" = 1'-0"

CONTRACTOR: NS  
 ARCHITECT: NS  
 DATE: JULY 2016  
 SCALE: 1/8" = 1'-0"

CONTRACTOR: NS  
 ARCHITECT: NS  
 DATE: JULY 2016  
 SCALE: 1/8" = 1'-0"

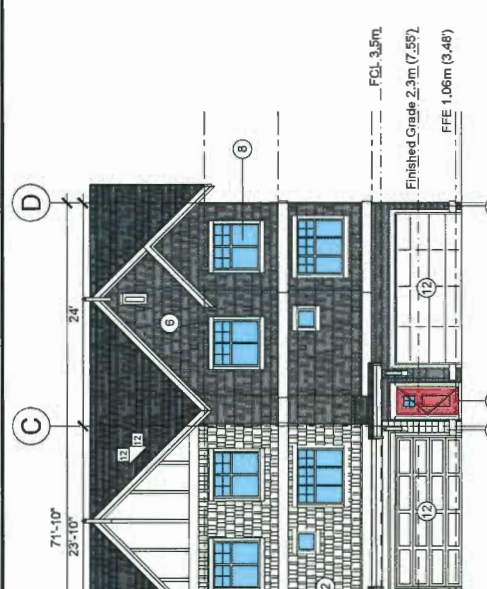
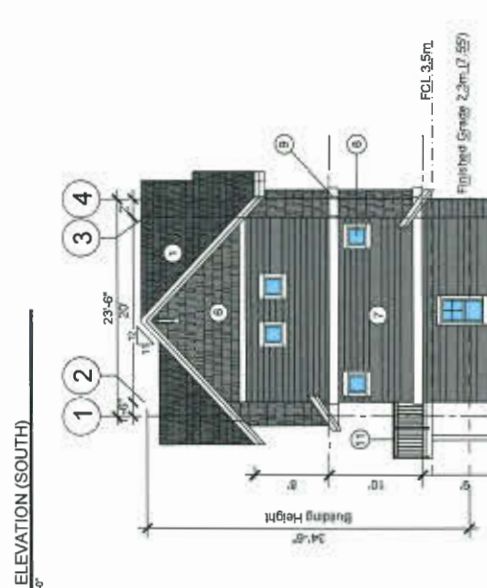
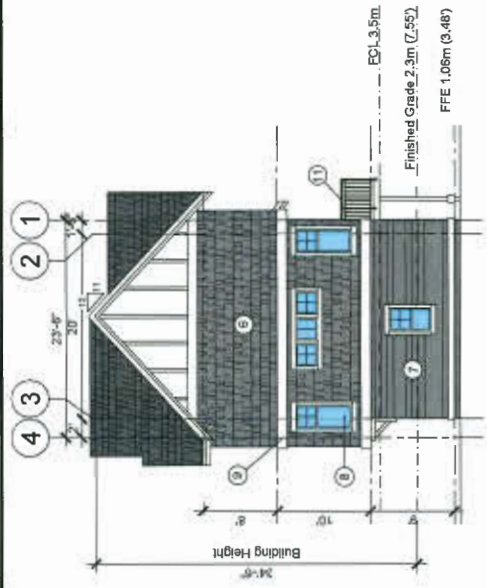
CONTRACTOR: NS  
 ARCHITECT: NS  
 DATE: JULY 2016  
 SCALE: 1/8" = 1'-0"

CONTRACTOR: NS  
 ARCHITECT: NS  
 DATE: JULY 2016  
 SCALE: 1/8" = 1'-0"

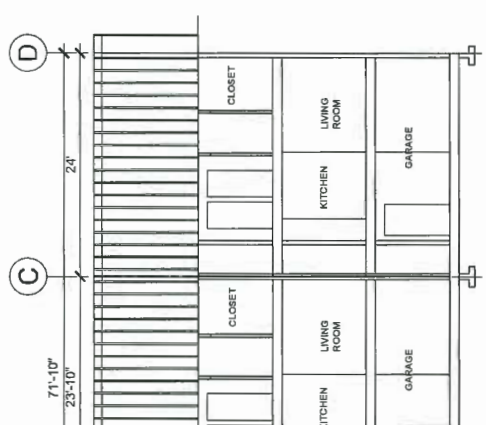
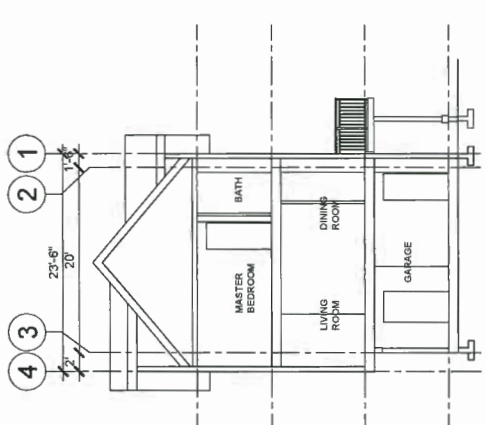
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 ARCHITECT: NS  
 DATE: JULY 2016  
 SCALE: 1/8" = 1'-0"

CONTRACTOR: NS  
 ARCHITECT: NS  
 DATE: JULY 2016  
 SCALE: 1/8" = 1'-0"

CONTRACTOR: NS  
 ARCHITECT: NS  
 DATE: JULY 2016  
 SCALE: 1/8" = 1'-0"



- 1 ASPHALT SHINGLE ROOF
- 2 WHITE SHINGLES
- 3 WHITE HORIZONTAL SIDING
- 4 MEDIUM GREY SHINGLES
- 5 MEDIUM GREY HORIZONTAL SIDING
- 6 CHARCOAL GREY SHINGLES
- 7 MEDIUM GREY HORIZONTAL SIDING
- 8 VINYL WINDOWS (WHITE)
- 9 PAINTED WOOD TRIM (WHITE)
- 10 PAINTED HARDI PANEL (WHITE)
- 11 ALUMINUM GUARD RAIL
- 12 GARAGE DOOR (WHITE)
- 13 PAINTED DOOR (WHITE)
- A PAINTED DOOR (BLUE)
- B PAINTED DOOR (GREY)



OP 17-101020U-25

This drawing must be sealed. The General Contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. All work and materials to be used shall conform to the applicable building codes and standards. The Architect shall be responsible for providing the necessary specifications and details for the work. The Contractor shall be responsible for the quality of the work and for obtaining all necessary permits and approvals from the appropriate authorities. All work and materials to be used shall conform to the applicable building codes and standards. The Architect shall be responsible for providing the necessary specifications and details for the work. The Contractor shall be responsible for the quality of the work and for obtaining all necessary permits and approvals from the appropriate authorities.

NO.	DATE	DESCRIPTION
1	DEC 20, 2014	ISSUE FOR PERMITTING
2	MAY 14, 2017	REVISION FOR PERMITTING
3	JUL 13, 2017	ISSUE FOR DEVELOPMENT PERMIT
4	MAY 9, 2018	REVISION FOR DEVELOPMENT PERMIT

DATE: JULY 2016  
SCALE: 1/8" = 1'-0"

PROJECT: WESTMINSTER AT MCLEAN TOWNHOUSES  
22720 AND 22740 WESTMINSTER HWY., RICHMOND BC

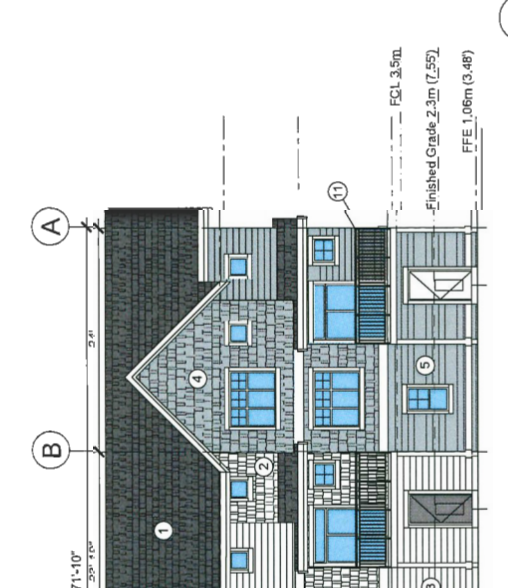
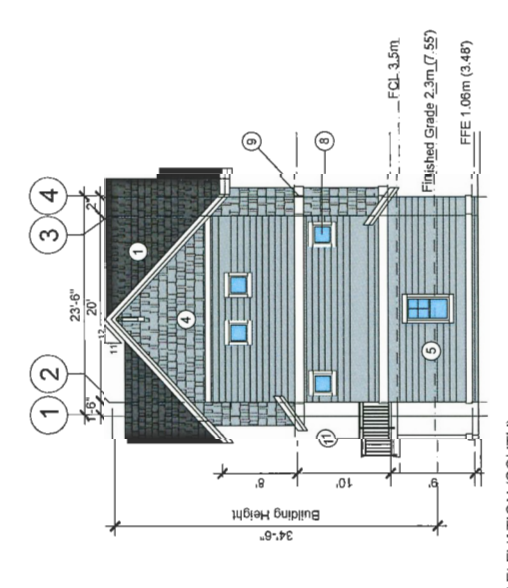
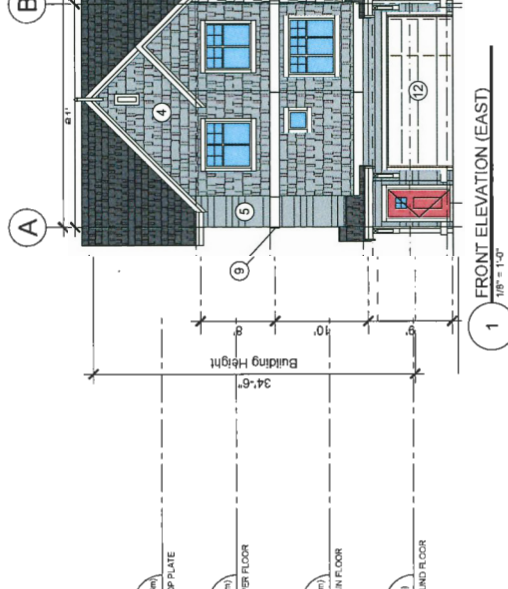
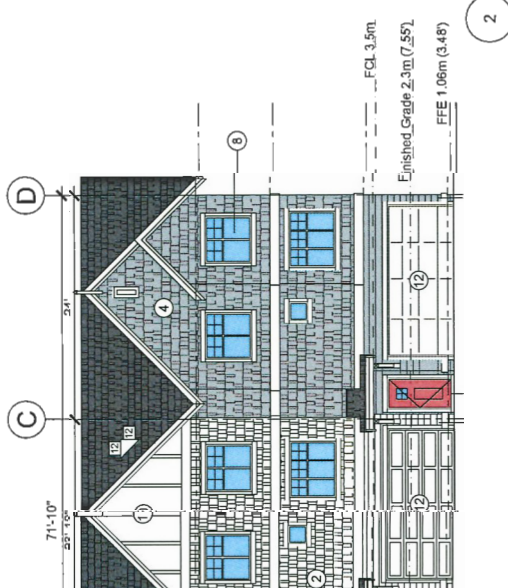
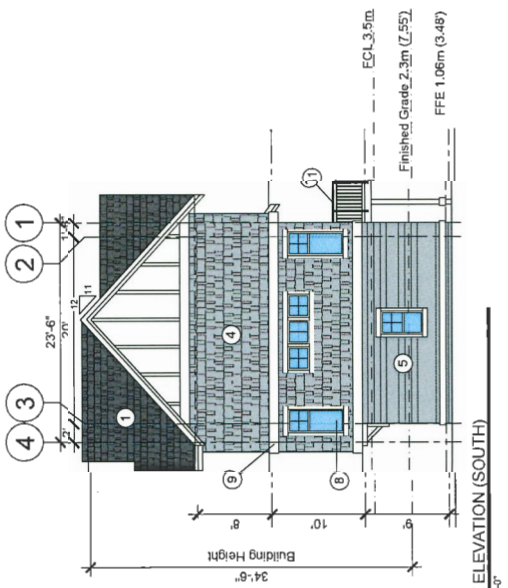
BUILDING 5  
ELEVATIONS AND SECTIONS

DRAWN BY: NS  
CHECKED BY: NS

PROJECT# 16.15

engage ARCHITECTURE  
ENGAGE ARCHITECTURE INC  
81 - 343 RAILWAY STREET  
VANCOUVER BC V6A 1A4  
T: 778-772-0034  
www.engagearchitecture.ca

REFINED ARCHITECTURE



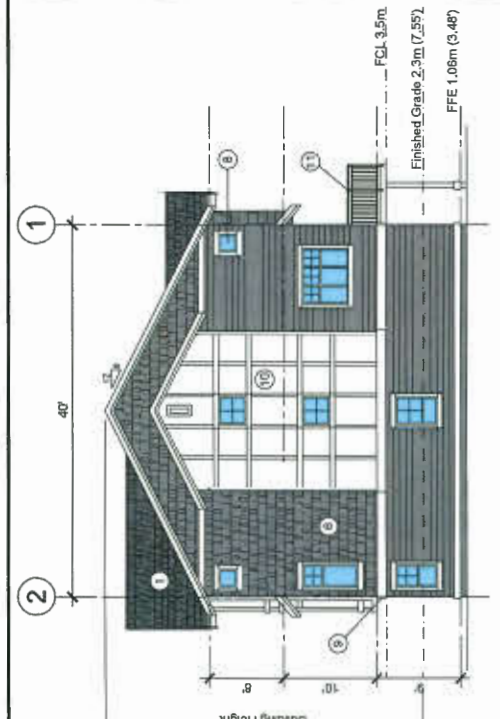
- 1 ASPHALT SHINGLE ROOF
- 2 WHITE HORIZONTAL SIDING
- 3 WHITE HORIZONTAL SIDING
- 4 MEDIUM GREY SHINGLES
- 5 MEDIUM GREY HORIZONTAL SIDING
- 6 MEDIUM GREY SHINGLES
- 7 CHARCOAL GREY HORIZONTAL SIDING
- 8 VINYL WINDOWS (WHITE)
- 9 PAINTED WOOD TRIM (WHITE)
- 10 PAINTED HARDI PANEL (WHITE)
- 11 ALUMINUM GUARD RAIL
- 12 GARAGE DOOR (WHITE)
- 13 PAINTED DOOR (A) RED (B) BLUE (C) GREY



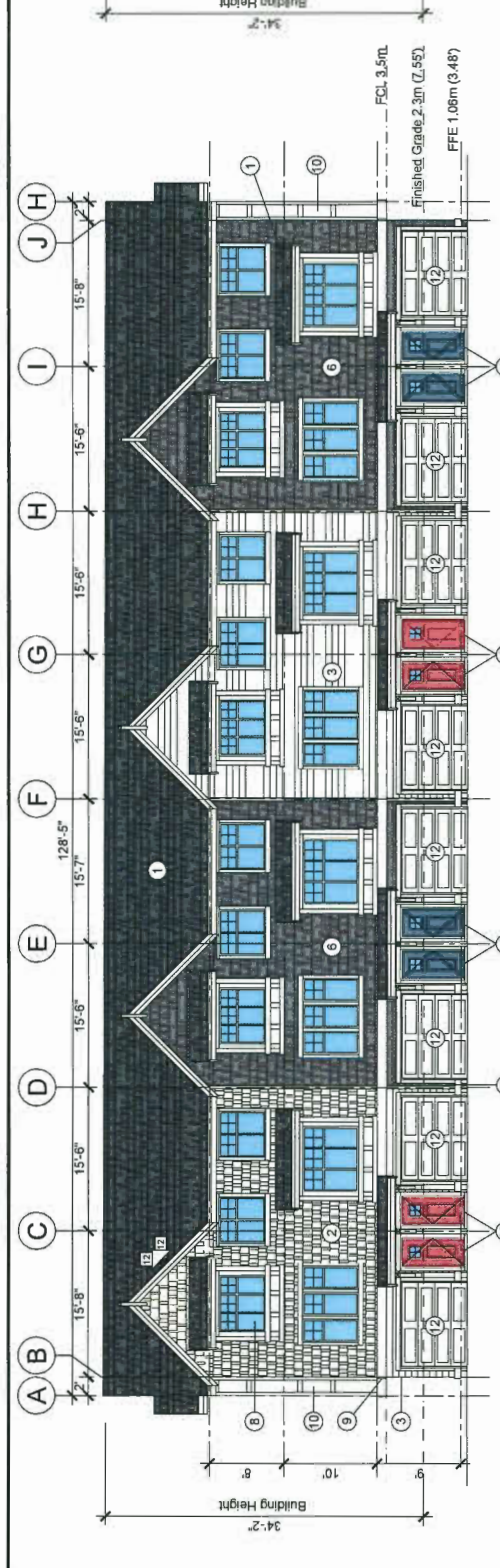
This drawing is for the use of the Client/Owner and is not to be used for construction. It is the Client/Owner's responsibility to ensure that all dimensions, materials and specifications are correct and to be approved by the relevant authorities. The Client/Owner is responsible for obtaining all necessary permits and approvals. The Client/Owner is responsible for ensuring that the design is in accordance with all applicable codes and regulations. The Client/Owner is responsible for ensuring that the design is in accordance with the contract documents. The Client/Owner is responsible for ensuring that the design is in accordance with the contract documents. The Client/Owner is responsible for ensuring that the design is in accordance with the contract documents.

DATE	DESCRIPTION	BY	CHECKED
DEC 22, 2016	REVISION FOR REVISIONS	KS	KS
APR 1, 2017	REVISION FOR REVISIONS	KS	KS
JUL 19, 2017	REVISION FOR DEVELOPMENT PERMIT	KS	KS
MAR 9, 2018	REVISION FOR DEVELOPMENT PERMIT	KS	KS

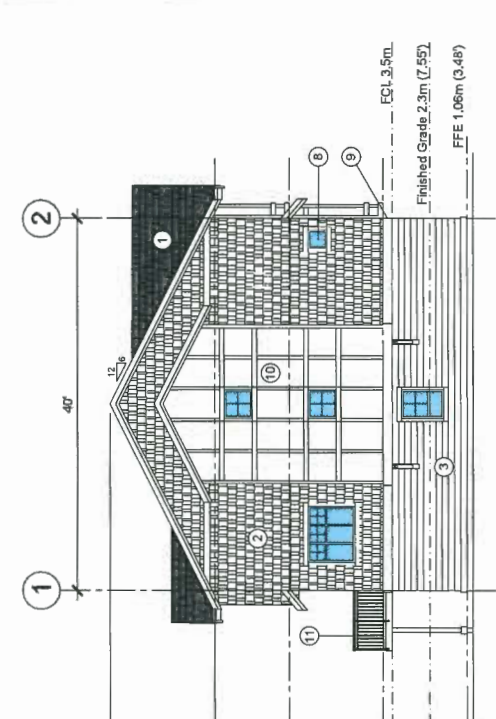
PROJECT: WESTMINSTER AT MCLEAN TOWNHOUSES  
 23759 AND 23740 WESTMINSTER HWY. RICHMOND BC  
 DRAWING: BUILDING 6 ELEVATIONS AND SECTIONS  
 DRAWN BY: KS  
 CHECKED BY: KS  
 DATE: JULY 2018  
 SCALE: 1/8" = 1'-0"  
 SHEET: A4-05



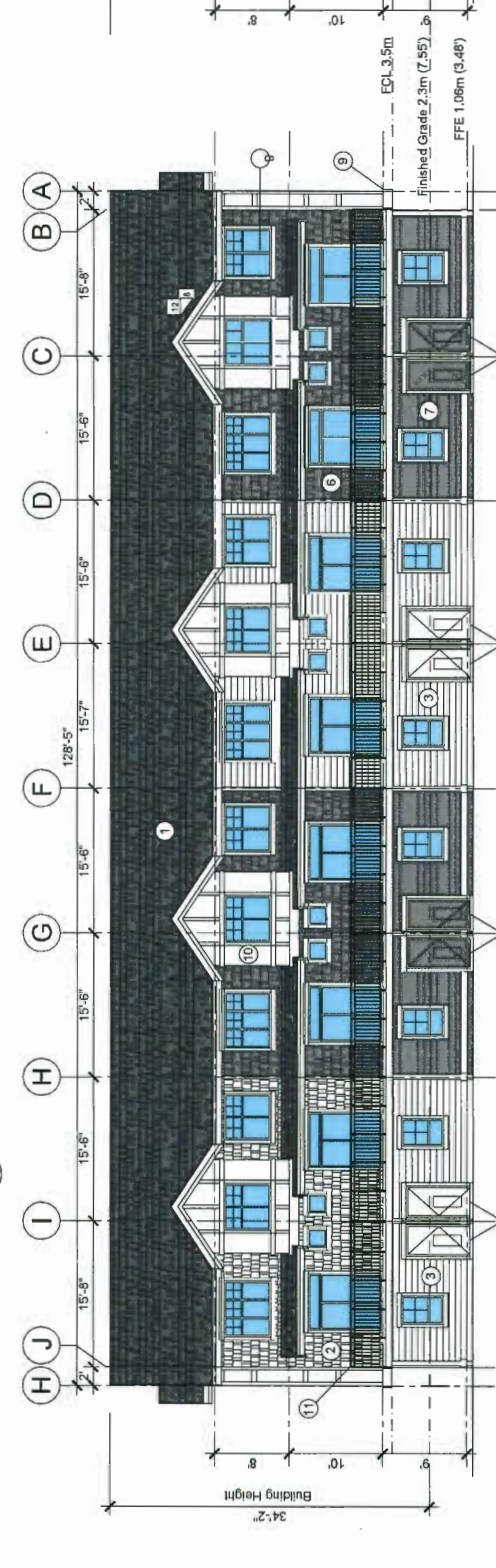
1 FRONT ELEVATION (WEST)  
 1/8" = 1'-0"



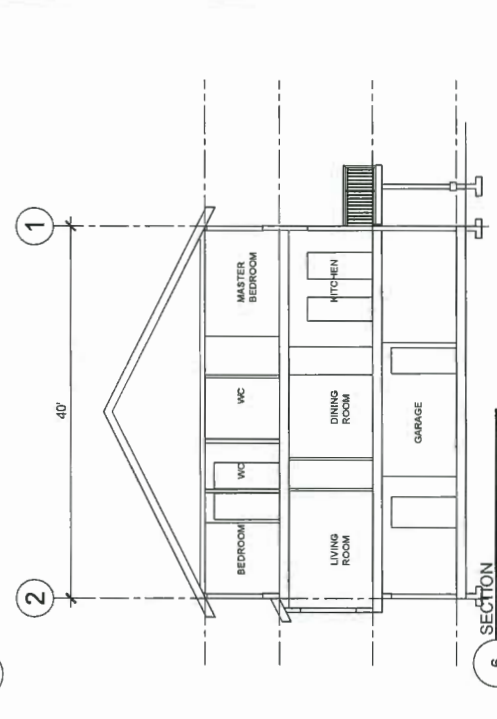
2 SIDE ELEVATION (SOUTH)  
 1/8" = 1'-0"



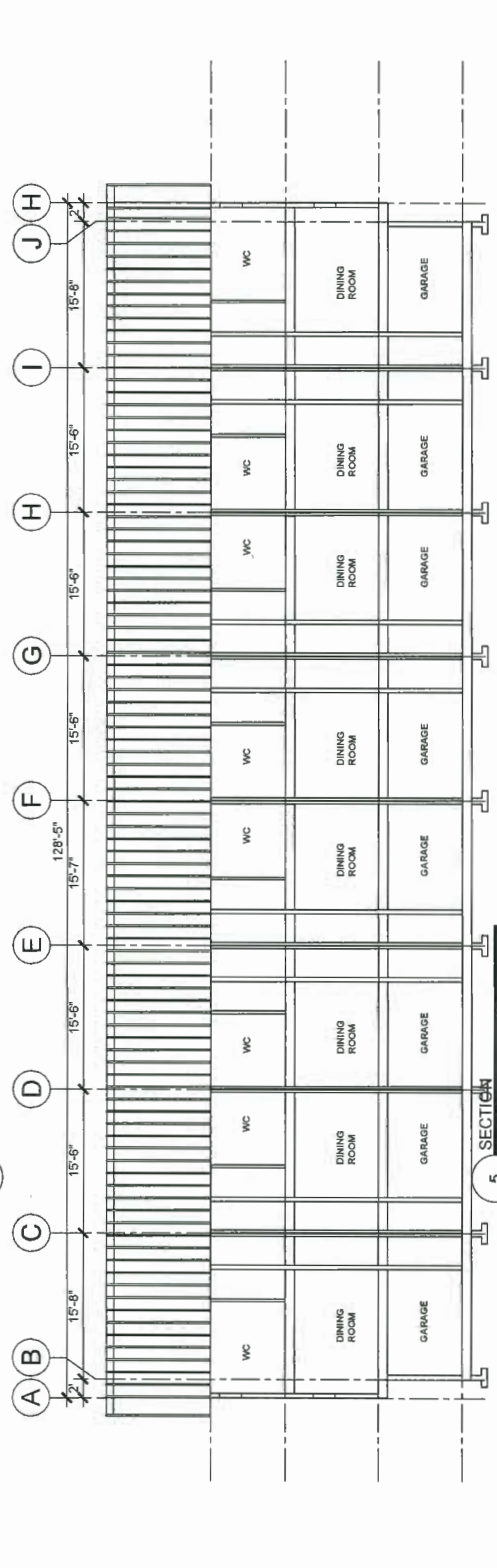
4 SIDE ELEVATION (NORTH)  
 1/8" = 1'-0"



3 REAR ELEVATION (EAST)  
 1/8" = 1'-0"



6 SECTION  
 1/8" = 1'-0"



5 SECTION  
 1/8" = 1'-0"

OP 17-181020U-27

The drawings shall not be used for construction until they have been approved by the relevant authorities. All errors and omissions to be corrected by the Architect. The Architect shall not be responsible for any errors or omissions in the drawings or for any consequences arising from the use of the drawings. The Architect shall not be responsible for any errors or omissions in the drawings or for any consequences arising from the use of the drawings. The Architect shall not be responsible for any errors or omissions in the drawings or for any consequences arising from the use of the drawings.

DATE	ISSUE
1 DEC 2015	ISSUE FOR REVISION
2 APR 4 2017	RE-SUBMIT FOR REVISION
3 JUL 18 2017	ISSUE FOR DEVELOPMENT PERMIT
4 MAR 8 2018	RE-COMMIT FOR DEVELOPMENT PERMIT

CONTRACT NO.



ENGAGE ARCHITECTURE INC  
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 www.engagearchitecture.ca

PROJECT # 16.15

PROJECT  
 WESTMINSTER AT MCLEAN  
 TOWNHOUSES  
 2770 AND 2774 WESTMINSTER HWY.  
 RICHMOND BC

OWNER  
 COLOUR AND MATERIAL BOARD

DATE	BY
JULY 2016	NTS
DATE	BY

A4-06



- VINYL SHAKE SIDING - KAYCAN "MANOR" 1
- VINYL SHAKE SIDING - KAYCAN "CHARCOAL" 2
- VINYL SHAKE SIDING - KAYCAN "CLASSIC LINEN" 3
- VINYL SHAKE SIDING - KAYCAN "CHILI PEPPER" 4
- VINYL SHAKE SIDING - KAYCAN "LINE" 5
- VINYL HORIZONTAL SIDING - KAYCAN "CHARCOAL" 7
- HARDI PANEL BENJAMIN MOORE OC-45 "SWISS COFFEE" 8
- SHINGLE ROOFING IKO "CHARCOAL GREY" 9
- VINYL HORIZONTAL SIDING - KAYCAN "MANOR" 10

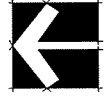


DP 17-181050-28

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Email: office@m2la.com

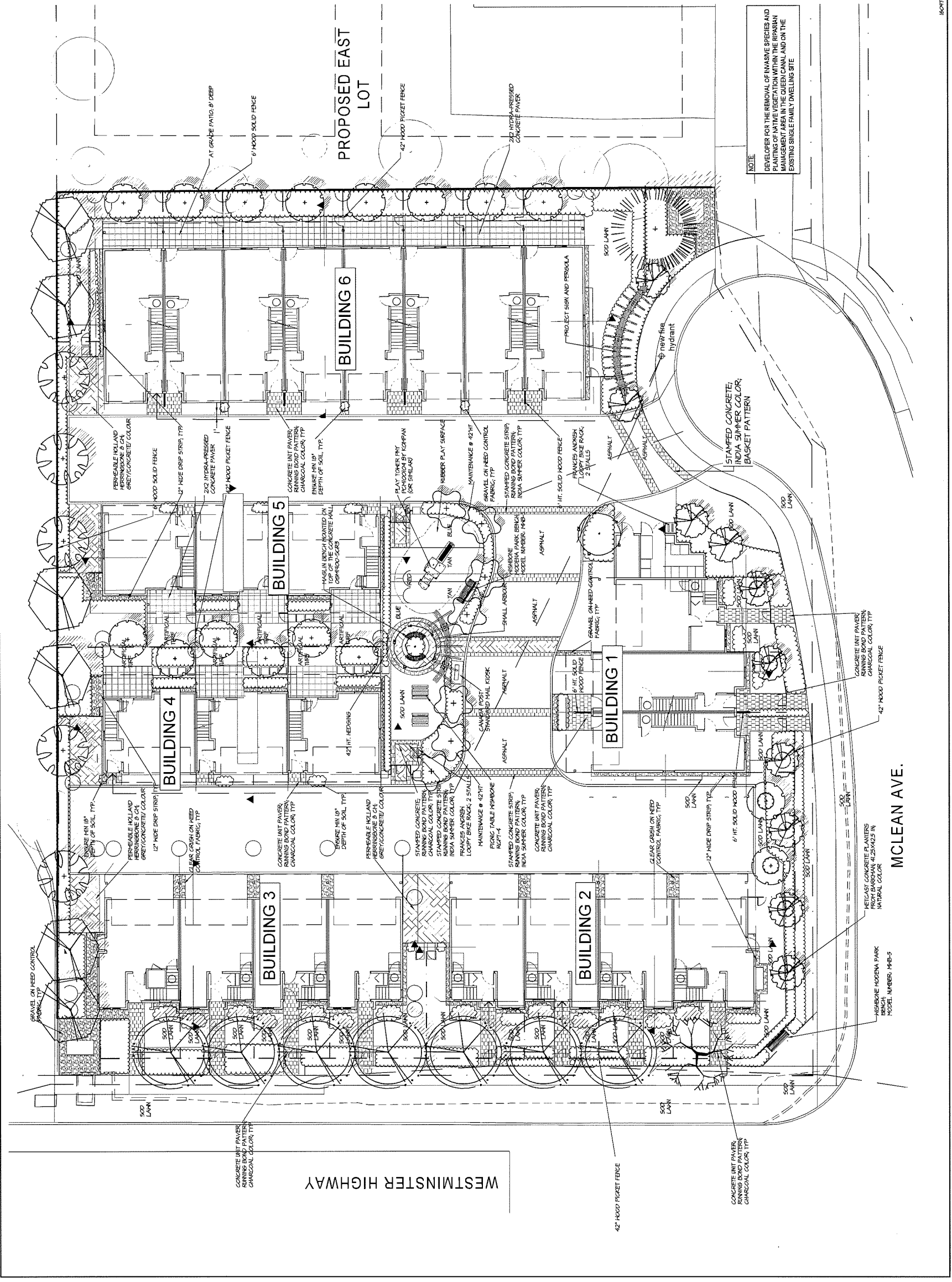


NO.	DATE	REVISION DESCRIPTION	DR.
10	04/20/22	REV. AS PER REVISED SITE PLAN	DR.
9	04/15/22	REV. AS PER REVISED SITE PLAN	DR.
8	04/15/22	REV. AS PER REVISED SITE PLAN	DR.
7	04/15/22	REV. AS PER REVISED SITE PLAN	DR.
6	04/15/22	REV. AS PER REVISED SITE PLAN	DR.
5	04/15/22	REV. AS PER REVISED SITE PLAN	DR.
4	04/15/22	REV. AS PER REVISED SITE PLAN	DR.
3	04/15/22	REV. AS PER REVISED SITE PLAN	DR.
2	04/15/22	REV. AS PER REVISED SITE PLAN	DR.
1	04/15/22	REV. AS PER REVISED SITE PLAN	DR.

PROJECT: **MULTI-FAMILY RESIDENTIAL DEVELOPMENT**  
22720/22740 WESTMINSTER HWY  
RICHMOND, B.C.

DRAWING TITLE: **LANDSCAPE PLAN**

DATE: 04/20/22  
SCALE: 3/32"=1'-0"  
DRAWN: [Signature]  
DESIGN: [Signature]  
CHK'D: [Signature]  
M2LA PROJECT NUMBER: 18-087  
OF 4



OP 17-181050-29

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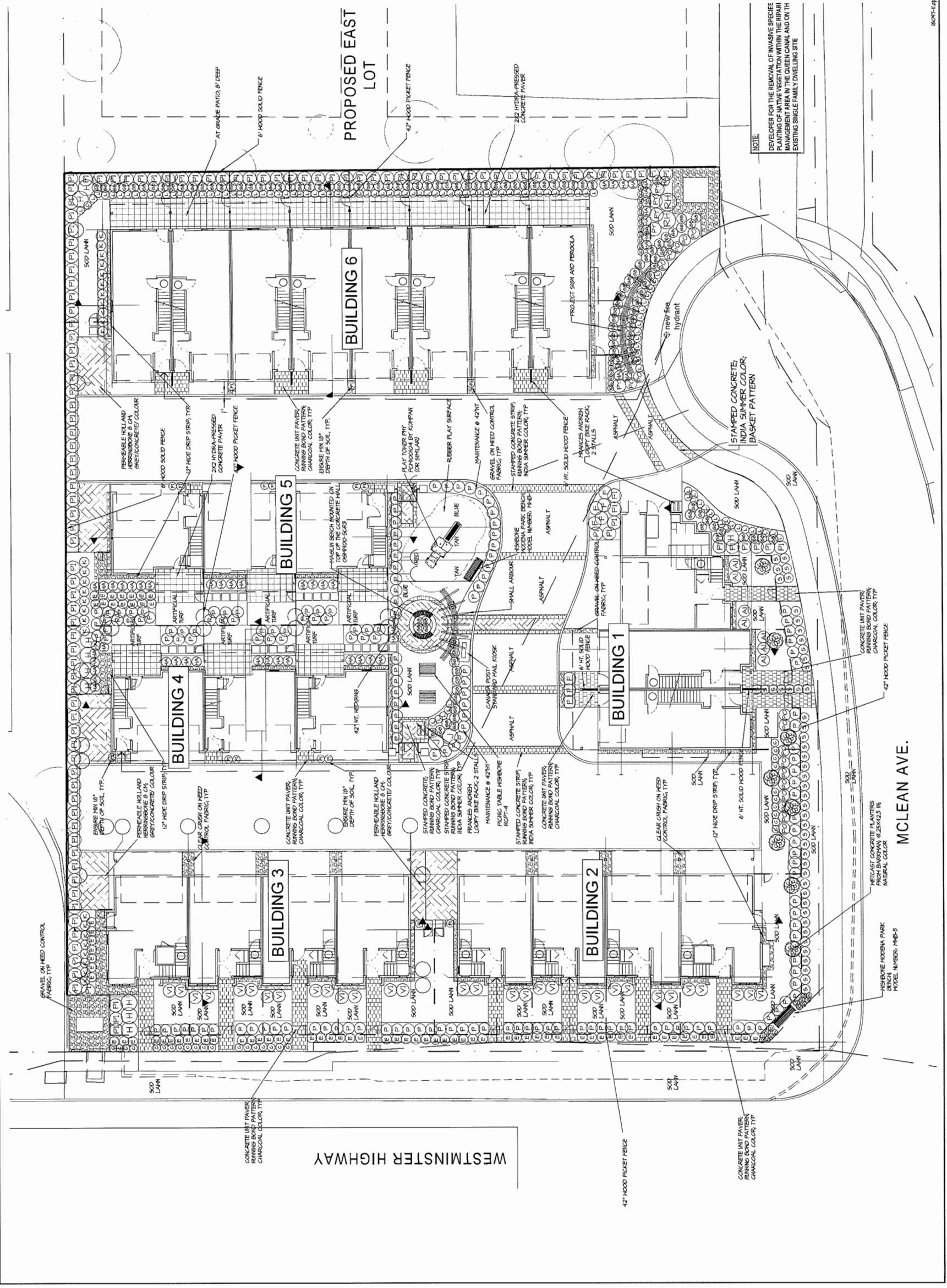
NO.	DATE	REVISION DESCRIPTION	DR.
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9	10/24/20	REV. AS PER NEW SITE PLAN	RM
8	10/24/20	REV. AS PER NEW SITE PLAN	RM
7	10/24/20	REV. AS PER NEW SITE PLAN	RM
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5	10/24/20	REV. AS PER NEW SITE PLAN	RM
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3	10/24/20	REV. AS PER NEW SITE PLAN	RM
2	10/24/20	REV. AS PER NEW SITE PLAN	RM
1	10/24/20	REV. AS PER NEW SITE PLAN	RM

PROJECT:  
**MULTI-FAMILY RESIDENTIAL DEVELOPMENT**  
22720/22740 WESTMINSTER HWY  
RICHMOND, B.C.

DRAWING TITLE:  
**SHRUB PLAN**

DATE:	16/NOV/22	DRAWING NUMBER:	
SCALE:	3/8"=1'-0"		
DRAWN:	DL		
DESIGN:	DL		
CHECK:	RM		
M2LA PROJECT NUMBER:	16-097		

CF 4 OF 4



DP 17-10102U-30



