



To: Development Permit Panel

Date: May 5, 2015

From: Wayne Craig
Director of Development

File: DP 15-692659

Re: Application by Polygon Kingsley Estates Ltd for a Development Permit at
10440 and 10460 No. 2 Road

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of a townhouse development with 133 units at 10440 and 10460 No. 2 Road on a site zoned "Town Housing (ZT72) – London/Steveston (No. 2 Road)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum rear yard setback from 3.0 m to 2.23 m for Building TH-16.

Wayne Craig
Director of Development

MM:blg
Att. (2)

Staff Report

Origin

Polygon Kingsley Estates Ltd. has applied to the City of Richmond for permission to develop a townhouse project with 133 units. The site is currently occupied by the former Steveston Secondary School.

The site is being rezoned from "School & Institutional Use (SI)" to "Town Housing (ZT72) – London/Steveston (No. 2 Road)" for this project under Bylaw 9155 (RZ 13-649524). The bylaw received third reading at a Public Hearing on January 19, 2015.

As a condition of rezoning, the applicant is also entering into a Servicing Agreement (SA15-695335) for frontage road works, a new traffic signal with left turn lanes and plaza on No. 2 Road, two (2) greenways to the north and south of the development, and an upgrade to the Oeser sanitary pump station.

Development Information

This Development Permit application for the townhouse project is being considered concurrently with the above-noted rezoning application for a larger 5.26 ha. (13.0 acre) site. Of this total area, the proposed townhouse project is located on a 2.86 ha. (7.06 acre) site as shown on the Site Plan included within the Development Permit. The rezoning application also includes the following two (2) additional sites:

- A 0.332 ha. (0.82 acre) parcel on which a community childcare facility and plaza will be constructed.
- A 2.01 ha. (5.0 acre) parcel which includes two (2) greenways and a 1.72 ha. (4.26 acre) addition to the existing London/Steveston Park.

The design of the park, greenways and child care are the subject of separate City processes that are being coordinated with the Development Permit process. Specifically, a Concept Plan for the park and greenways has been developed through an intensive public consultation process. The Concept Plan is to be endorsed by Council prior to adoption of the rezoning. The greenways and plaza will be constructed by the applicant under the Servicing Agreement and the park addition will be built by the City at a later date. Lastly, the applicant is building and designing the child care facility in consultation with City staff. The facility will be taken to the Advisory Design Panel (ADP) for review prior to being advanced to Council for consideration this summer. The applicant is also required to post a construction security prior to rezoning adoption.

The applicant will also:

- Install a full traffic signal at the development's driveway entrance with new left turn lanes from No. 2 Road to the development. The signal will provide for vehicle traffic and for the crossing of pedestrians and bicycles onto the proposed greenways to the north and south of the development.
- Construct new sidewalks along the entire No. 2 Road frontage; with a separate adjacent multi-use greenway path leading from the intersection to the north greenway.

Please refer to the attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant bylaw requirements.

Background

Development surrounding the subject site is as follows:

To the North: Single-family dwellings fronting onto Goldsmith Drive, regulated by Land Use Contract 011.

To the East: Steveston/London Park zoned “School & Institutional Use (SI)” to which the subject development will provide additional park land as a condition of rezoning.

To the South: Single-family dwellings fronting onto Spender Drive and Dylan Place zoned “Single Detached (RS1/E)”.

To the West: Single-family dwellings fronting onto No. 2 Road zoned “Single Detached (RS1/B)” and “Single Detached (RS1/E)”.

Rezoning and Public Hearing Results

During the rezoning process, staff identified the following design issues to be resolved at the Development Permit stage:

- The need for smaller-scale articulation and architectural detailing of the townhouse buildings, particularly those facing the public realm.
- The landscape and grading interface of the townhouse development with the adjacent residential areas and proposed greenways to the north and south, No. 2 Road and the proposed park to the east.
- The overall form and character of the common indoor amenity building.
- The design of the common outdoor amenity space, including the children’s play area.
- The detailed engineering design of the on-site roads to accommodate moving, recycling and fire trucks.
- Decorative paving treatments and alignment of sidewalks, curbs, and boulevards.

The Public Hearing for the rezoning of this site was held on January 19, 2015. At the Public Hearing, generally the following concerns about rezoning the property were expressed:

- The loss of a public school site and large outdoor school grounds.
- The unsuitability of the townhouse development within an existing single-family residential area.
- The proposed setbacks (including the 9.0 m (30 ft.) greenways and on-site 3.0 m (10.0 ft.) townhouse setback) between the proposed townhouse buildings and the existing single-family-residential lots.

- Drainage from the development onto adjacent residential lots.
- Concern regarding traffic generated by the development.

Staff worked with the applicant to address these issues in the following ways:

- The applicant included additional landscaping within the 3.0 m (10.0 ft.) townhouse setback adjacent to the greenways. The detailed design of the greenways included in the Servicing Agreement is being coordinated with the townhouse site landscape plans. Perimeter drainage will be installed on the townhouse site and within the greenways.
- The townhouse units facing both greenways step down to two (2) storeys to provide a better transition to the adjacent one-storey and two-storey single-family homes.
- There is finer articulation and architectural detailing of the townhouse building elevations facing the public greenways, the park to the east, No. 2 Road to the west and adjacent to the on-site pathways.
- The overall form and character of the common indoor amenity building has been further developed and is consistent with the character of the townhouses.
- The common outdoor amenity space includes a children's play area which will be custom-designed, subject to City staff review, instead of being a prefabricated structure.
- Detailed plans for on-site roads have been provided and truck turning movement for SU9 medium-size moving, recycling, garbage and fire trucks have been confirmed.
- Additional decorative on-site paving treatments and additional plantings adjacent to the on-site pathways and roadways will be provided.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and complies with the "Town Housing (ZT72) – London/Steveston (No. 2 Road)" zone except for the zoning variance noted below.

Zoning Compliance/Variiances (staff comments in bold)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum rear yard setback from 3.0 m to 2.23 m for Building TH-16.

(Staff supports the proposed variance as the proposed setback reduction accommodates additional building articulation to improve the appearance of the north side elevation of Building TH-16 which is visible from the proposed adjacent park. The reduction applies to a limited portion of this side elevation of the building comprising approximately one-third of the building's side elevation against which there is a large hedge adjacent to the park.)

Advisory Design Panel Comments

The Advisory Design Panel supported this application being brought forward to the Development Permit Panel. A copy of the relevant excerpt from the Advisory Design Panel Minutes from its April 1, 2015 meeting is attached for reference (Attachment 2). The design response from the applicant has been included immediately following the specific Advisory Design Panel comments and is identified in '***bold italics***'.

Analysis

Conditions of Adjacency, Urban Design and Site Planning

The site planning and adjacency issues to the proposed greenways, park and existing single-family residential areas have been addressed as follows:

- The proposed setback for the townhouse buildings from the adjacent north and south greenways is 3.0 m (10 ft.). When combined with the 9.0 m (30.0 ft) wide greenways there will be a total 12.0 m (40 ft.) setback between the proposed townhouses to the rear property line of the existing single-family lots. The landscape proposed within this setback will be appropriately treated to address this interface with a hedge located on top of a maximum 1.0 m (3.3 ft.) high retaining wall adjacent to the greenway below.
- The townhouse buildings adjacent to the single-family homes to the north and south include two-storey units with a portion of each unit dropping to one-storey. When considering the entire development site (the townhouse project, park and child care), the townhouse buildings are oriented so that not more than 13% of the north property line and 26% of the south property line are flanked by townhouses.
- The plaza located to the north of the townhouse development driveway entrance onto No. 2 Road will integrate the child care facility and provide a connection to the north greenway. A major public art piece, reflecting the historic school use of the site, is planned for the plaza. The proposed public art has received preliminary support from the City's Public Art Advisory Committee.

Architectural Form and Character

The development includes 132 townhouse units (including 12 affordable units) within 28 townhouse buildings and an amenity building with one (1) caretaker suite. The proposed development includes the following elements:

- A range of neo-traditional Tudor buildings designs.
- Typical building heights of three (3) storeys; and lower two-storey units, with one-storey portions, adjacent to the north and south property lines.
- Garden mews of at least 12.0 m (39.4 ft.) separating the townhouse buildings with front yards and entry doors leading to common pathways located at the centre of each mew.
- The 120 market units will include side-by-side double garages. The 12 affordable housing units will have single garages as permitted by the zoning bylaw and approved by affordable housing staff and have 4.75 m (15.6 ft.) long driveways that can accommodate parking of a second small car.
- In addition to the one-story and two-storey stepped-down building forms adjacent to the north and south greenways, there are variations in the buildings related to the number of units and the design of the end units in the various buildings.
- Smaller-scale articulation and architectural detailing of the townhouse buildings facing the north and south greenways, the park, internal pathways and the prominent building ends facing the internal laneways provide more facade variation.

Landscape Design and Open Space Design

The landscape plan for development has well addressed the adjacent proposed greenways and child care facility. There are also good transitions between the on-site common laneways and pathways with each of the units' private yards. Specifically, the plans provide for:

- Additional shrub plantings and trees along the very long sections of the development backing onto the greenways and the units backing onto the proposed park.
- Pin Oak trees and ground cover between the driveways leading to the unit garages to soften the hard pavement treatment and provide for additional separation between the units' garages.
- Relatively large trees to separate the townhouse building front yards and entry doors facing each of mews that run between the rows of townhouse buildings.
- A 270 m² (2,910 ft²) outdoor amenity area adjacent to the two (2) storey, 185 m² (2,000 ft²) amenity building with caretaker suite and a common recreation room. The outdoor amenity space includes a large patio and barbeque along with a child play area.
- Retention and protection of a large double-trunked Deodar Cedar where special design considerations have been taken in creating a very large 9.0 m (30 ft.) wide landscaped median within the development's proposed driveway entrance at No. 2 Road to protect this tree.

Crime Prevention Through Environmental Design (CPTED)

The proposed development includes the following design elements that support CPTED principles:

- Relatively straight on-site roadways with good sight lines and individual driveways that provide for a greater sense of openness.
- The two-storey units facing the greenways have substantial windows facing the greenways, while having sufficient landscaping for privacy thus, providing for casual resident surveillance onto the greenways.
- The townhouse buildings facing No. 2 Road have front elevations with windows and front entry doors that provide for more "eyes on the street".
- The individual townhouse yards facing the internal pedestrian mews between the townhouse buildings are fenced and includes landscaping that provides a balance between privacy for the units and visibility onto the common pathways on the mews.
- The rear unit elevations facing the driveways include substantial glazing and decks over most of the garages providing further surveillance of the driveways.
- The development will include gated pathway entrances onto the greenways to the north and south and the park to the east.

Accessible Housing

The application includes the following accessible units as follows:

- 14 “Convertible Units” (being the split level end units adjacent to the north and south property lines) which will include the following features:
 - Wider doors to facilitate wheelchair movement through the unit.
 - Set heights for accessible electrical outlets.
 - Greater clearances for easier access to items such as bathroom fixtures.
- 12 affordable housing units will include “Barrier Free Unit” features such as wheel-in shower stall in one (1) bathroom, grab bars in washrooms, lower countertops, kitchen work surfaces with knee space below, accessible appliances and cupboards, and wider circulation areas. The units will also provide for the ability to include a wheelchair lift within the staircase.
- All townhouse units will provide “aging in place” features which include:
 - Stairwell hand rails.
 - Lever-type handles for plumbing fixtures and door handles.
 - Solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Energy and Sustainability

All 133 units will be constructed be Energuide 82 energy efficient and solar hot water ready. Submission of reports by a Certified Energy Advisor prior to Building Permit issuance and occupancy are required within a covenant being registered on title through the rezoning.

The development will also incorporate the following additional sustainability measures:

- Low-E glazing on all windows
- Energy Star appliances
- Low VOC paints in all units
- Dual flush toilets and low flow faucets
- Drywall with recycled gypsum and paper content
- Permeable surfaces for the internal pathways and pavers at driveway intersections
Planting selections of native and non-native drought tolerant shrub species
- Provision of a minimum of 600mm (24”) landscaping soil for stormwater retention and release rate management
- Preparation of a Landscape Maintenance and Integrated Pest Management Plan for Best Management Practices within the landscape

Conclusion

The proposed townhouse development has been designed to sensitively fit into and complement the existing surrounding single-family neighbourhoods. In particular, the development concept includes larger setbacks to the adjacent single-family residential areas with greenways located to the north and south of the development. The applicant has also worked with the City to ensure

good integration of the townhouse project with the 2.33 ha. (5.83 acres) being transferred to the City for the London/Steveston Park addition, the greenways, the public entry plaza and child care facility site on No. 2 Road.

Furthermore, the development provides for good integration of the 12 affordable housing units with the market units.

In summary, the proposed townhouse project is well designed to fit into the remaining 40 percent of the entire site being provided as park, plaza and community child care facility.

Given the above, staff recommends that the Development Permit for the proposed townhouse project be issued.



Mark McMullen
Senior Coordinator-Major Projects
(604-276-4173)

MM:blg

Attachment 1: Development Application Data Sheet

Attachment 2: Excerpt from the Minutes of the Advisory Design Panel Meeting

The following are to be met prior to forwarding this application to Council for approval:

- Receipt of a Letter-of-Credit for landscaping in the amount of \$2,297,540.00.

NOTE: Staff to ensure that landscape estimates include a 15% contingency cost.

Prior to future Building Permit issuance, the developer is required to complete the following:

- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Division at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Division (<http://www.richmond.ca/services/ttp/special.htm>).



DP 15-692659

Attachment 1

Address: 10440 and 10460 No. 2 Road

Applicant: Polygon Kingsley Estates Ltd

Owner: Polygon Kingsley Estates Ltd

Planning Area(s): Blundell

Floor Area Gross: 22,381 m²

Floor Area Net: 21,968 m²

	Existing	Proposed	
Site Area:	52,468 m ²	29,044 m ²	
Land Uses:	Secondary School	Townhouse Development	
OCP Designation:	"School"	Neighbourhood Residential"	
Zoning:	"School & Institutional Use (SI)"	"Town Housing (ZT72) – London / Steveston (No. 2 Road)"	
Number of Units:	None	133	
	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	0.81	0.78	none permitted
Lot Coverage:	Max. 42 %	39%	none
Setback – Front Yard:	Min. 6.0 m	Min. 6.0 m	none
Setback – North Side Yard:	Min. 3.0 m	Min. 3.0 m	none
Setback – South Side Yard:	Min. 3.0 m	Min. 3.0 m	none
Setback – Rear Yard:	Min. 3.0 m	Min. 2.23 m	2.23 m On Building TH-16
Height - Townhouses(m):	11.0 m	10.36 m	none
Height – Amenity (m):	13.0 m	12.2m	none
Lot Size:	27,500 m ²	29,044 m ²	none
Off-street Parking Spaces–Regular	253 resident & 27 visitor	254 resident & 27 visitor	none
Off-street Parking Spaces – Accessible:	1	1	none
Total off-street Spaces:	280 Total	281 Total	none
Tandem Parking Spaces	50%	none proposed	none
Amenity Space – Indoor:	Min. 100 m ²	186 m ²	none
Amenity Space – Outdoor:	Min. 804 m ²	270 m ²	none

Excerpt from the Minutes from
The Design Panel Meeting

Wednesday, April 1 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall

APPLICANT: Polygon Homes Ltd.

PROPERTY LOCATION: 10440/10460 No.2 Road

Applicant's Presentation

Chris Ho, Vice-President for Development, Polygon, Architect Keith Hemphill, Rositch Hemphill Architects, and Landscape Architect Doug Shearer, Hapa Collaborative, presented the project on behalf of the applicant and answered queries from the Panel.

Panel Discussion

Comments from the Panel were as follows:

- good site plan and unit lay-outs; efficient use of the townhouses; large site and square shape provide flexibility for the applicant in terms of project design; good public realm;
- appreciate the setbacks from neighbouring single-family homes; also appreciate the pedestrian walkway system throughout the proposed development;
- proposed building materials are high quality, e.g. brick and hardie; no vinyl proposed in the materials palette;
- appreciate the details on the garage doors and the roofline as they provide visual interest;
- appreciate the mews providing pedestrian access to the townhouse units; however, the resulting omission of pedestrian entries via the internal drive aisles means there is no break in the series of garage entries; assume that the applicant's signage package is well-thought out;

Understanding this condition, we have carefully maximized landscaping and included trees between driveways wherever possible. The sign package will be carefully planned and will include the differentiated mews highlighted by the differing trees within those individual mews.

- appreciate the raised greenway which gives primacy to the greenway over the drive aisles; provides not only a planting and decorative feature but also enhances the safety of pedestrians within the proposed development; also encourages responsible driving behaviour on the part of drivers;

- proposed revivalist type of architecture is well-handled; appreciate the wide aprons and provision of large trees in all driveway areas which are not normally seen in similar developments; also appreciate the projecting balconies facing the internal drive aisles which animate the space;
- site plan appears rigid; look at slightly angling (2-3 degrees) the buildings to enhance their revivalist architecture;
- the proposed Tudor-style townhouse development is well-done; the character sketch shows that the townhouse buildings have two-storey ends; however, most of the buildings in the project are larger and don't have smaller end units; consider visually breaking up the long buildings on the main loop as they are more visible to motorists going to the childcare facility;

We have visually broken up the long buildings on the main east west roads through careful site planning:

1. ***The main east west roads are not straight and the curve will focus the visual interest to the end of the north south buildings which have pedestrian entrances vs. garage entries only***
 2. ***There are no long rows of garages facing garages on the opposite side of the road as the east-west buildings are broken up on the other side of the road by buildings which are perpendicular***
 3. ***The main crossing of the pedestrian mews crosses the curves main east west road is raised allowing for the slowing of traffic and more visual interest combined with differing materials at these crossings***
 4. ***The garage elevations are punctuated by the maximization of trees between driveways***
- internal road elevations of Building Nos. 17, 19 and 23 as shown on drawing A4.8 appear massive and have a different feel than other buildings with smaller end units; consider reducing the massing of these buildings; appreciate the landscaping of the project;

See above comment.

- the two colour schemes in the drawings submitted by the applicant to the Panel are different from the actual samples presented by the applicant; consider more differentiation between the two colour schemes; also consider two different brick colours;

We have revised the colour schemes to include more differentiation and have introduced two brick colours.

- appreciate the applicant's presentation which provided a rationale for the project design; unit lay-outs are simple and effective; a well-considered project;
- appreciate the provision of many convertible units;

- consider improving the accessibility and usability of the convertible units; investigate the area at the corner of the garage on the first floor up to the closet on the second floor bedroom as future location of an access into the second floor; consider providing future alternate vertical access to the second floor without using stairs; useful to parents with small children;

We will provide vertical access if requested by a purchaser.

- consider using pocket doors in the washrooms on the first and second floors of the convertible units in lieu of swing doors to provide more usable space;

While pocket doors may provide more usable space, based on our long experience and our customer service department, they cause numerous maintenance issues that are difficult to repair and fix.

- appreciate the provision of affordable units; consider incorporating wider stairways in some of the affordable units to accommodate handrail-type stair lifts in the future;
- sustainability features such as high efficiency lighting and the provision of “Energy Star” rated appliances and provisions for solar photovoltaic system are good; the applicant should encourage the use of solar photovoltaic system by showcasing it in the amenity building;

We are currently investigating the functionality and feasibility of providing solar voltaic panels on the amenity building.

- appreciate the applicant’s commitment to incorporate public art in the project which will benefit the residents and the public;

Our landscape architect and arborist will review and inspect the areas noted to ensure adequate soil volume.

- generally, the design of the project is good; however, the siting and design of A1 end units is repetitive and may make wayfinding challenging; consider design development and better ways to improve wayfinding;

The A-1 end units are at the entrances to the varying landscaped mews. This in combination with signage and the naming of these mews will provide strong wayfinding in the project.

- appreciate the project’s edge treatments and the applicant’s explanation on how they work;

- interior pedestrian traffic will be concentrated on the mews; character of the mews needs to be treated to ensure equal amount of privacy to the townhouse units;

The public passages are differentiated through hedging which define the front yards of the townhomes.

- notice that the applicant has done additional work since the submission of the package for the Panel's review; applicant should have provided more information on the planting scheme;

We will continue to develop the planting scheme cooperatively with Planning and Parks and coordinate it with the proposed public greenway, parks and no. 2 road frontage.

- the size of the children's play area is small relative to the size of the development; applicant needs to include the rationale for the proposed children's play area in their response to the Panel's comments; and

The children's play area has been minimized due to the close proximity of the large play area in the adjacent public park. Most residents will take the short walk to the adjacent park which includes a large neighbourhood sized play area.

appreciate the applicant's move to plant more trees along the driveways than what is normally provided; however, ensure adequate soil volume through the provision of structural soil.

Our landscape architect and arborist will review and inspect the areas noted to ensure adequate soil volume.

Panel Decision

It was moved and seconded

That DP 15-692659 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Panel.

CARRIED



No. DP 15-692659

To the Holder: POLYGON KINGSLEY ESTATES LTD.
Property Address: 10440 AND 10460 NO. 2 ROAD
Address: C/O CHRIS HO, VICE-PRESIDENT
900 - 1333 WEST BROADWAY
VANCOUVER, BC V6H 4C2

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to reduce the minimum rear yard setback from 3.0 m to 2.23 m for Building TH-16.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #DP15-692659-1 to #DP15-692659-48 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$2,297,540.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 15-692659

To the Holder: POLYGON KINGSLEY ESTATES LTD.
Property Address: 10440 AND 10460 NO. 2 ROAD
Address: C/O CHRIS HO, VICE-PRESIDENT
900 - 1333 WEST BROADWAY
VANCOUVER, BC V6H 4C2

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF

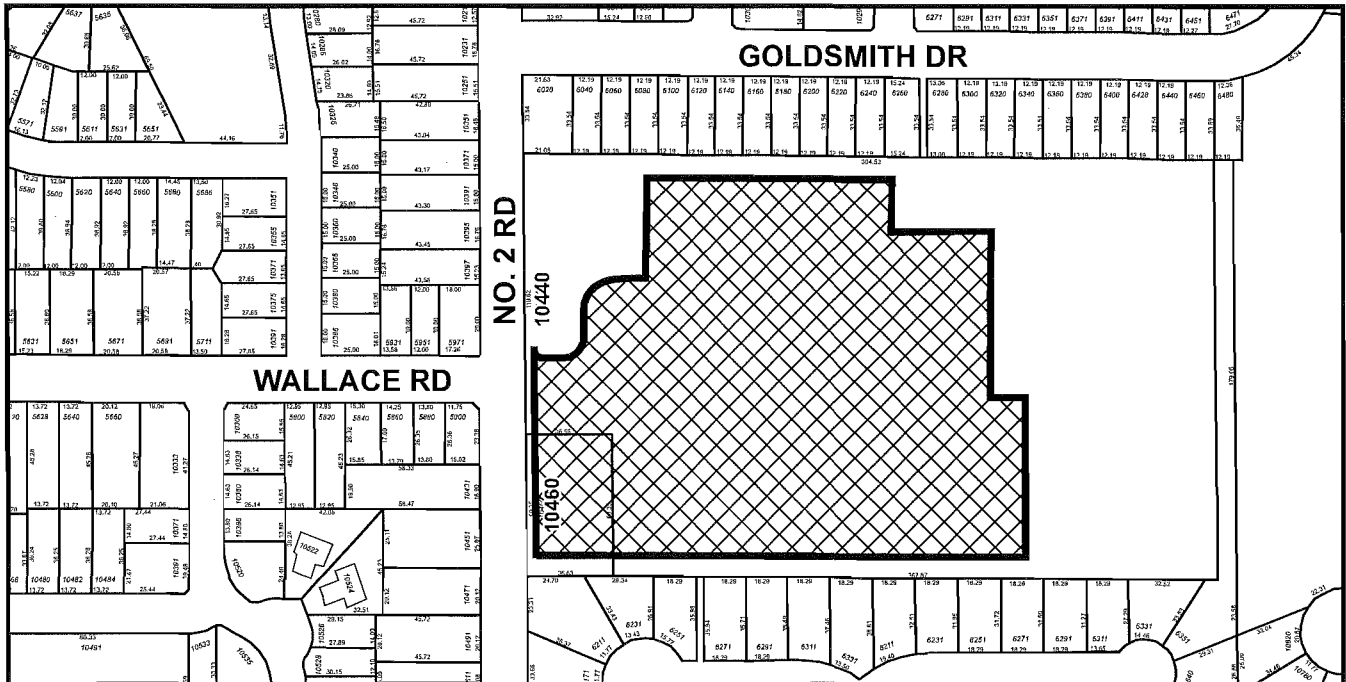
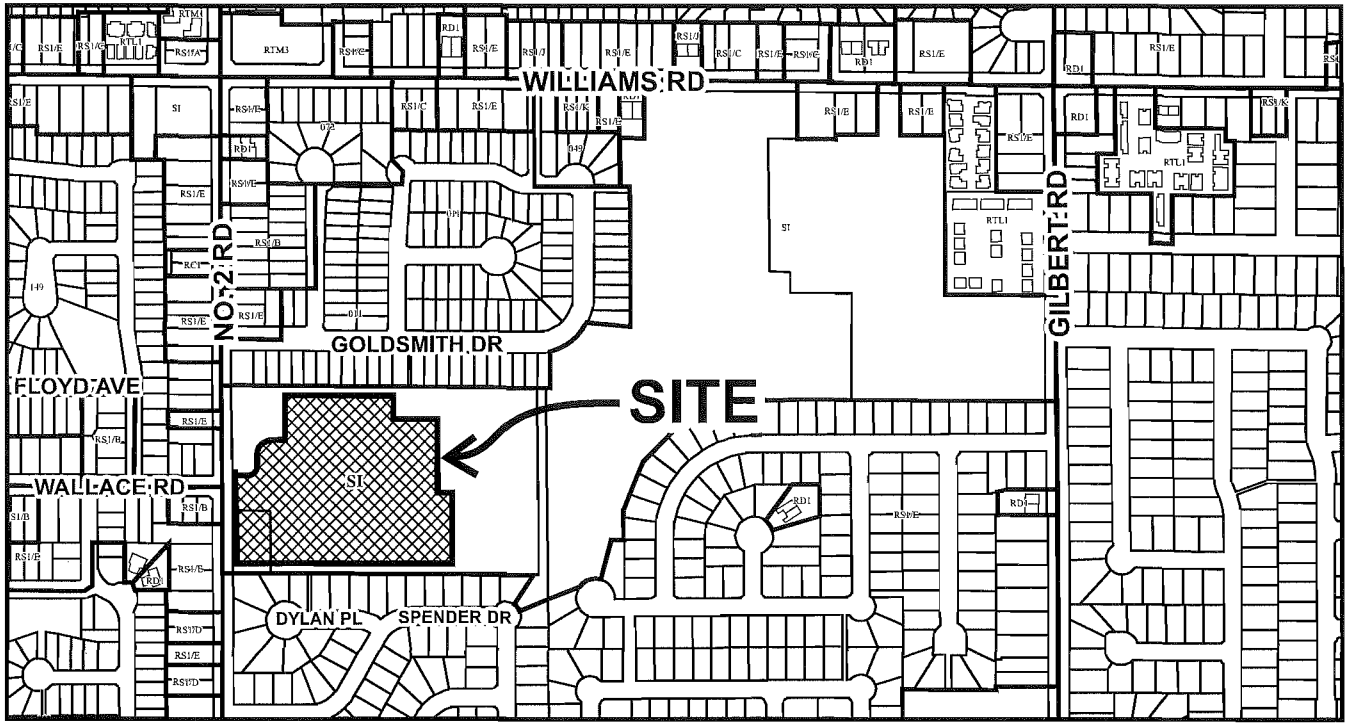
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

MAYOR



City of Richmond



DP 15-692659 SCHEDULE "A"

Original Date: 02/24/15

Revision Date: 05/04/15

Note: Dimensions are in METRES

PROJECTS STATISTICS

PROJECT DESCRIPTION :

2 AND 3 STOREY WOOD FRAMED TOWNHOUSE BUILDINGS

MUNICIPAL ADDRESS :

10388 No. 2 ROAD, RICHMOND, B.C.

ZONE : CD

LOT AREA :

2.90 HA (7.177 AC) (29,044 MF) (312,628 FT²)
AS PROVIDED BY BENNETT LAND SURVEYORS

FIRE PROTECTION :

UNSPRINKLERED BUILDING, COMBUSTIBLE CONSTRUCTION

UNIT TYPE	Remarks	Garage	Lower	Mid	Upper	# of Units	Gross Floor Area garage excluded	Floor Area Ratio w/level 1 stair exclusions	Parking Required 1.75cars/unit required	Parking Provided	# of Beds	Coverage sq.ft.	Lot # of Units	Unit %
TH - AF1	12', 2br, Affordable	260	230	503	516	12	1,249	1,203	1 cars/unit provided	12	24	6,828	12	9.0%
TH - A1	20', 3br + flex, interlock	396	377	791	819	34	1,987	1,954	2 cars/unit provided	68	102	29,070	34	25.6%
TH - A1b	20', 3br + flex, interlock	400	380	822	851	4	2,053	2,020	2 cars/unit provided	8	8	3,444	4	3.0%
TH - A1b	20', 3br + flex, interlock	407	397	822	851	1	2,070	2,037	2 cars/unit provided	2	2	861	1	0.8%
TH - A1end	20', 3br + flex, interlock, end unit	407	406	824	826	13	2,056	1,993	2 cars/unit provided	26	39	11,466	13	9.8%
TH - A2	20', 3br + flex, interlock	396	377	791	822	52	1,990	1,957	2 cars/unit provided	104	156	45,448	52	39.1%
TH - B	23', 3br + flex, end unit	500	356	865	856	2	2,077	2,021	2 cars/unit provided	4	4	1,926	2	1.5%
TH - C	25'3, 3br + flex, end unit	470	950	826	1,225	0	1,776	1,738	2 cars/unit provided	28	42	19,880	14	10.5%
TH - E	Manager's Suite (Above Amenity Bldg)				1,225	1	1,225	1,225	1 cars/unit provided	1	2	1,000	1	0.8%
Totals						133	242,997	238,144	280 Subtotal res. parking Visitor .20 cars / unit	281	386	121,223	133	100%

Note: G.F.A Areas calculated to the exterior face of wall sheathing or to the center line of interior garage walls where applicable

Summary :

Overall Density and requirements for Kingsley Estates Site:

Lot Area	Ha.	Acres	Sq. Ft.	Sq. m.
Area - excluding park and daycare	2.90	7.177	312,628	29,044.1
Road Dedication Area	0.05	0.127	5,513	512
Area - excluding park, daycare and dedication	2.85	7.051	307,115	28,532
Proposed FAR	0.78	of lot area		
Lot Coverage	39%	of lot area (bldgs, decks, & amenity)		
Paved Lot Coverage	18%	of lot area (internal roads only)		
Density	46.6	Units / Ha.		

Parking

Provided:	Residential (18'x8'3)	254
	Visitor (18'x8'3)	26
	HC (18'x12'2)	1
Required:	Residential	253
	Visitor (0.2 per unit)	27

Amenity Requirement for Steveston Site

Provided Indoor:	2,000.0	Sq.Ft.	Amenity building
Provided Outdoor:	2,910.0	Sq.Ft	At amenity building

Building Height:

Max Townhouse Height (Dimensional):
Max Amenity Height (Dimensional):
Max Height (Storeys):

Setbacks:

Front (No.2 Road):
Side (North):
Side (South):
Rear (East):
Setback variance at TH-16 to 7'-4" from park

Bicycle Parking:

Provided Secure
Provided Short-term
Required Secure 1.25/unit
Required Short-term 0.2/unit

Loading (Larger WB17 & Medium SU9 Truck):

Layby off of No.2 Road
Individual Curbside Pickup

Percentage of unit to property line length:

North: 13%
South: 25.9%

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CLIENT:



PROJECT:
Kingsley Estates
10388 No. 2 Rd., Richmond, BC

DRAWING TITLE:

STATISTICS

DATABASE:

1321-A0.0.dwg
SCALE: NTS
PLOT DATE: 07 MAY 2015
DRAWN: CJ
CHECKED: KSH

PROJECT NO.:

1321

DWG. NO.:

A0.1

D.P. No.:

DP_15-692659

DP 15-692659



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2. DPA REVISIONS
3. DPA REVISIONS
4. PRICING

DATE:
11 FEB 2015
17 APR 2015
17 APR 2015
29 APR 2015

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DPA REVISIONS
4 MAY 2015

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CLIENT: **POLYGON**
PROJECT: **Kingsley Estates**
10388 No. 2 Rd, Richmond, BC

DRAWING TITLE:
SITE PLAN

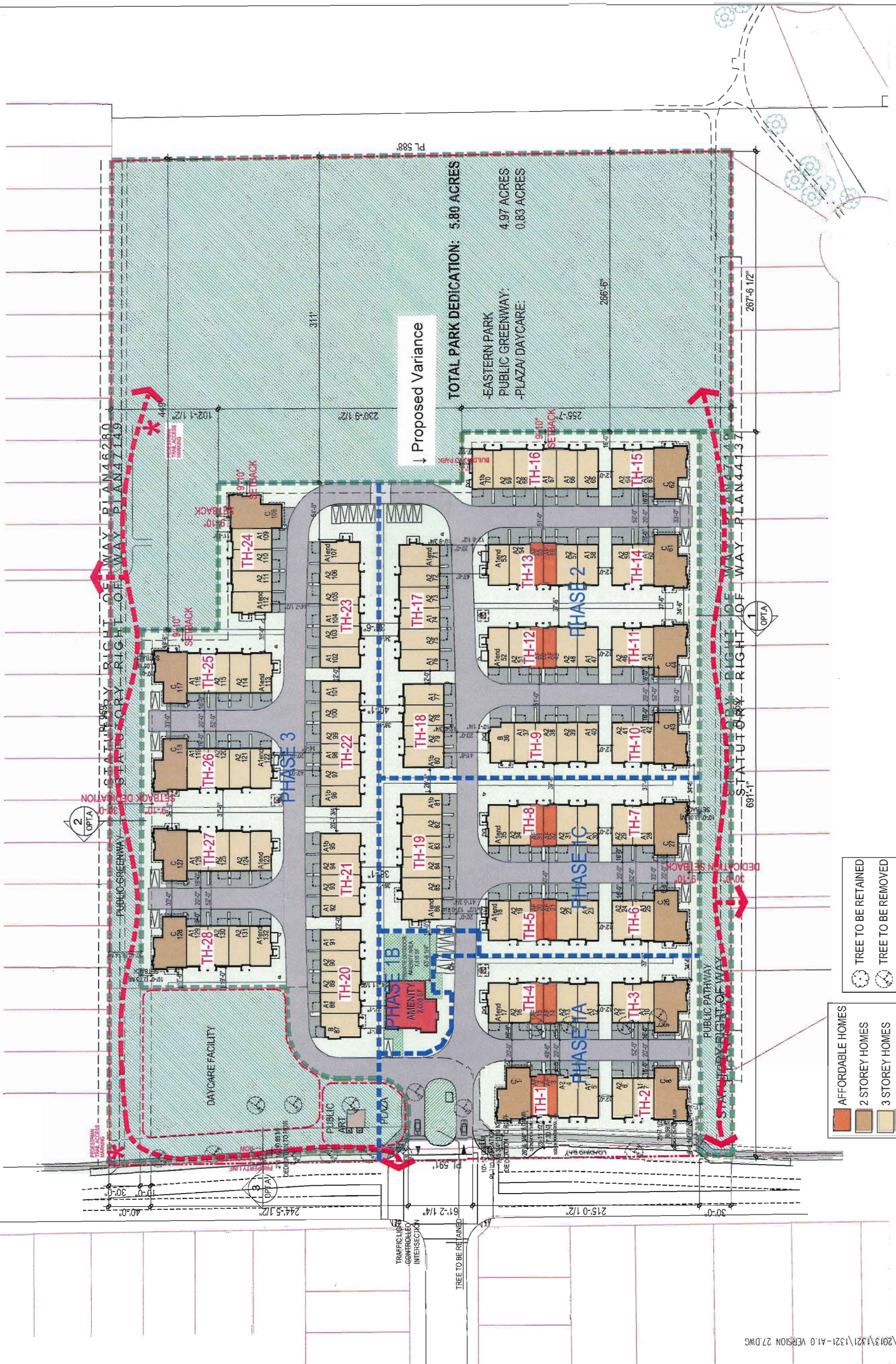
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SCALE: 1=500
PLOTDATE: 07 MAY 2015
DRAWN: CJ
CHECKED: KSH
PROJECT NO. 1321



DWG. NO.

A1.1

D.P. NO.
S.P. NO.



Legend:

- AFFORDABLE HOMES
- 2 STOREY HOMES
- 3 STOREY HOMES
-
 TREE TO BE RETAINED
-
 TREE TO BE REMOVED

DP 15-09 2629



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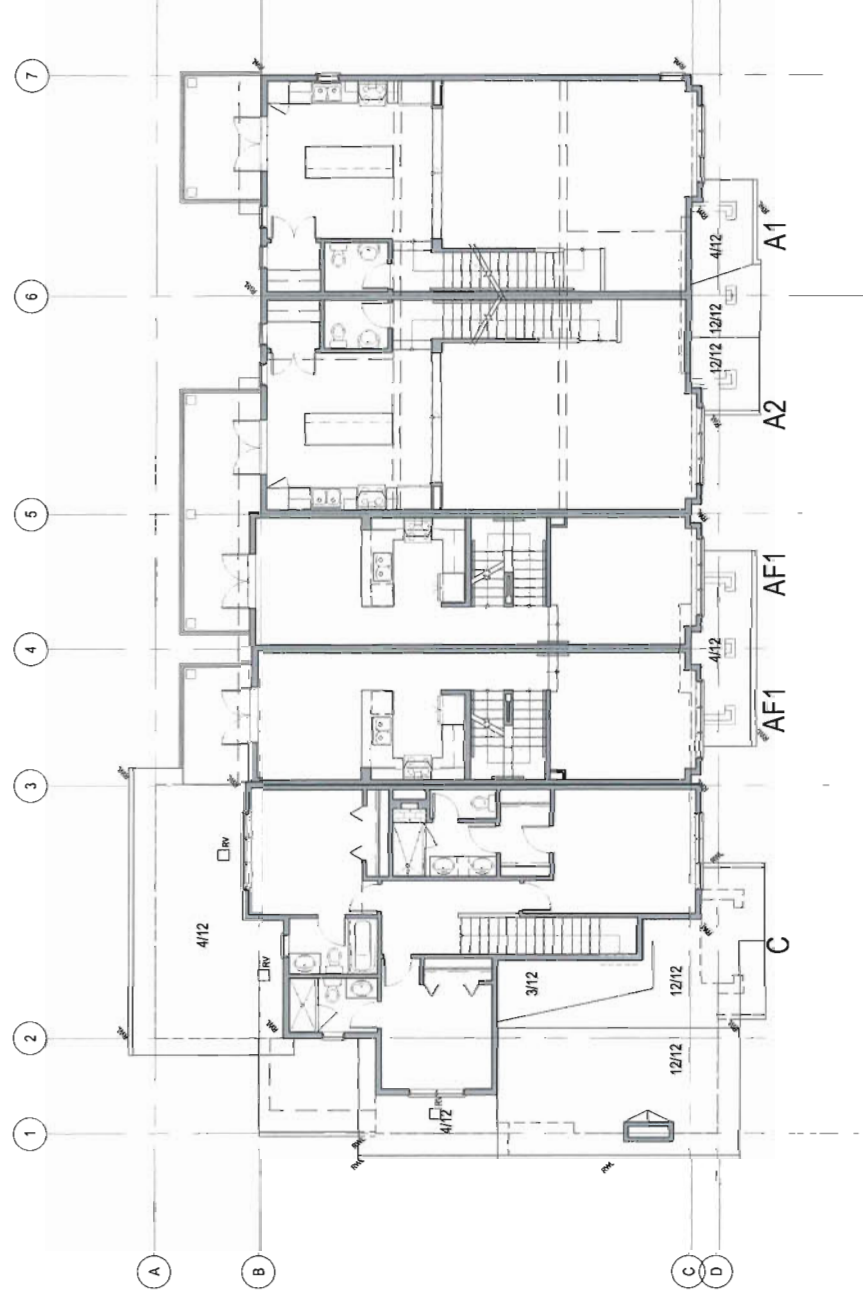
CLIENT: POLYGON
PROJECT: Kingsley Estates
10388 No. 2 Rd. Richmond, BC

DRAWING TITLE:
**FLOOR PLANS
TOWNHOUSE 1**

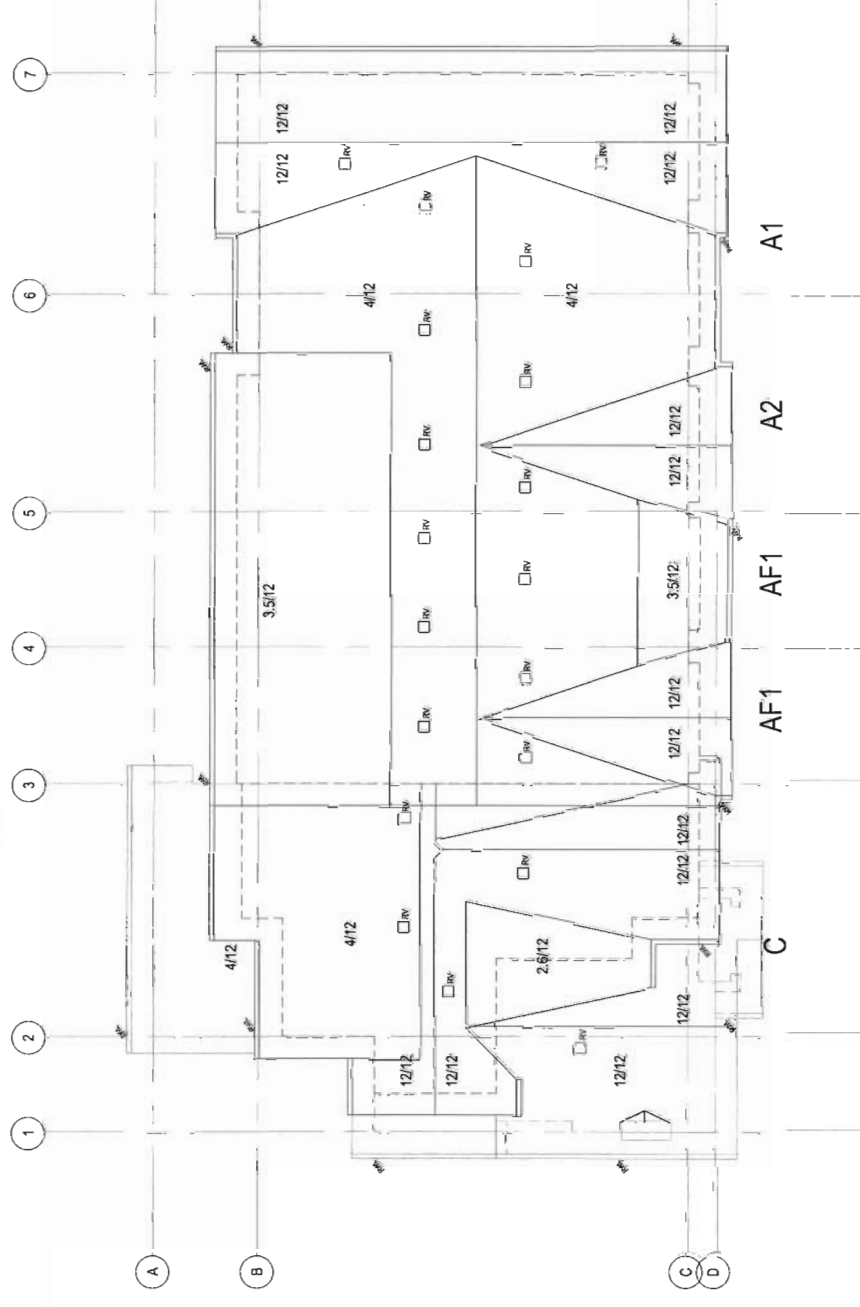
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SCALE: 1/8"=1'-0"
PLOTDATE: 21 APRIL 2015
DRAWN: CJ
CHECKED: KSH
PROJECT NO: 1321

DWG. NO.
A3.1

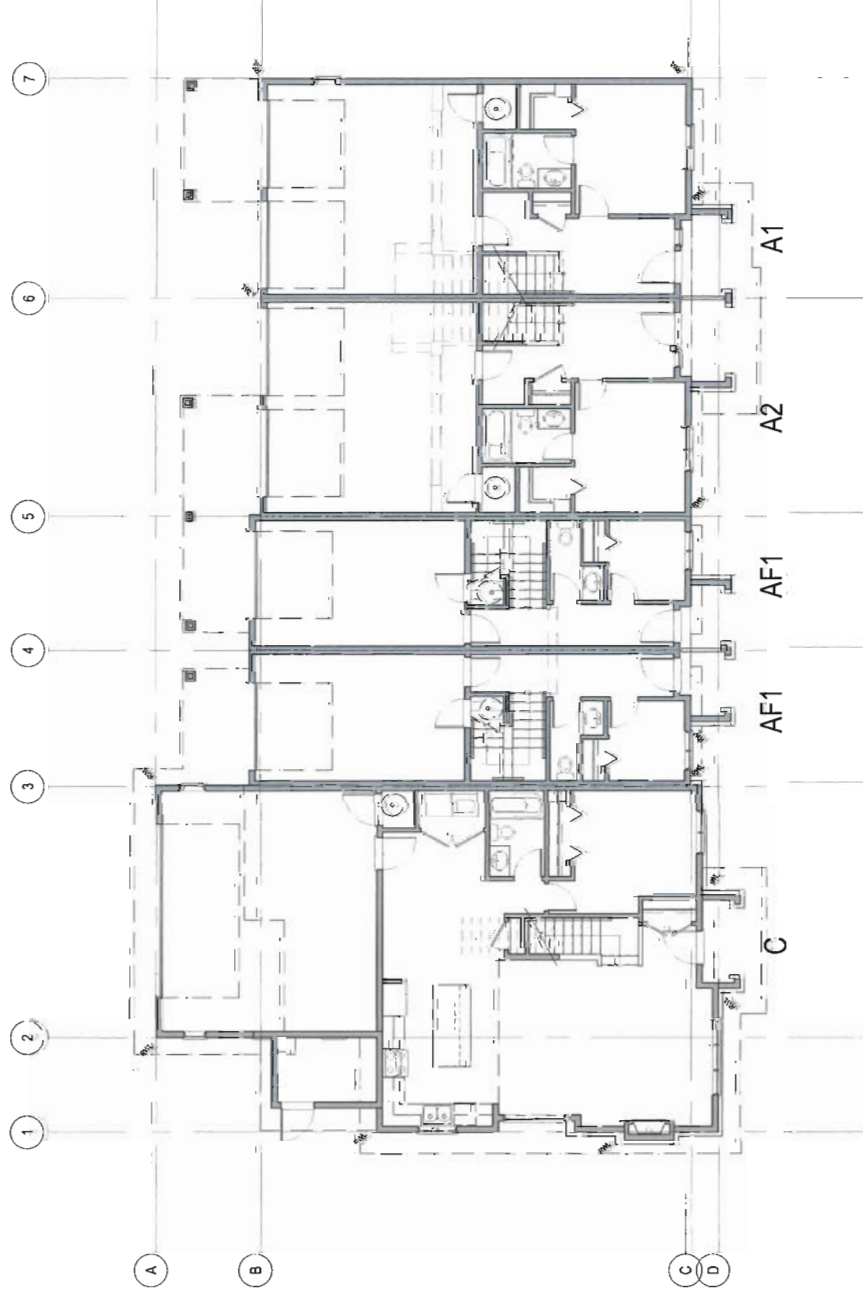
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B.P. No:



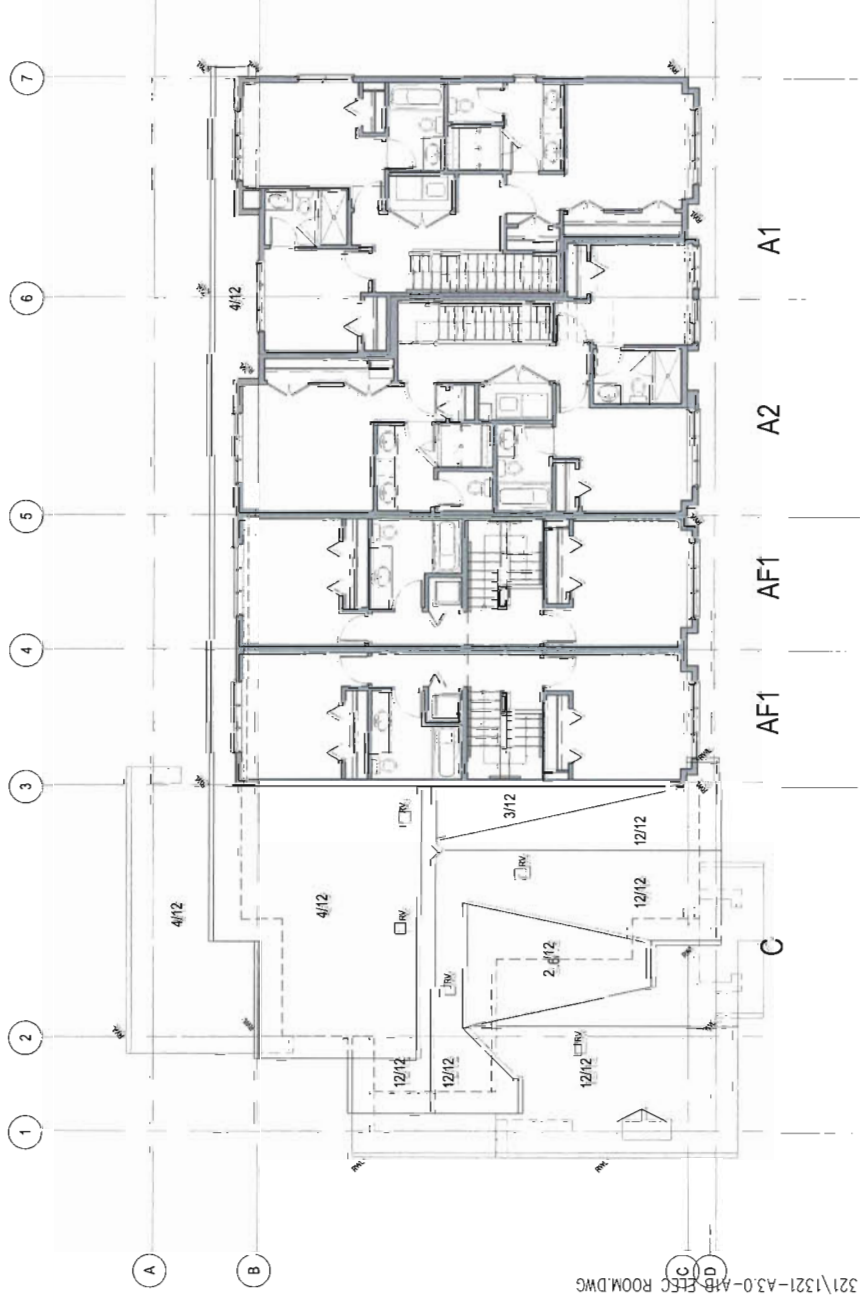
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2 LEVEL 2
1/8"=1'-0"



3 LEVEL 3
1/8"=1'-0"



4 ROOF LEVEL
1/8"=1'-0"

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PROJECT: **Kingsley Estates**
10388 No. 2 Rd. Richmond, BC

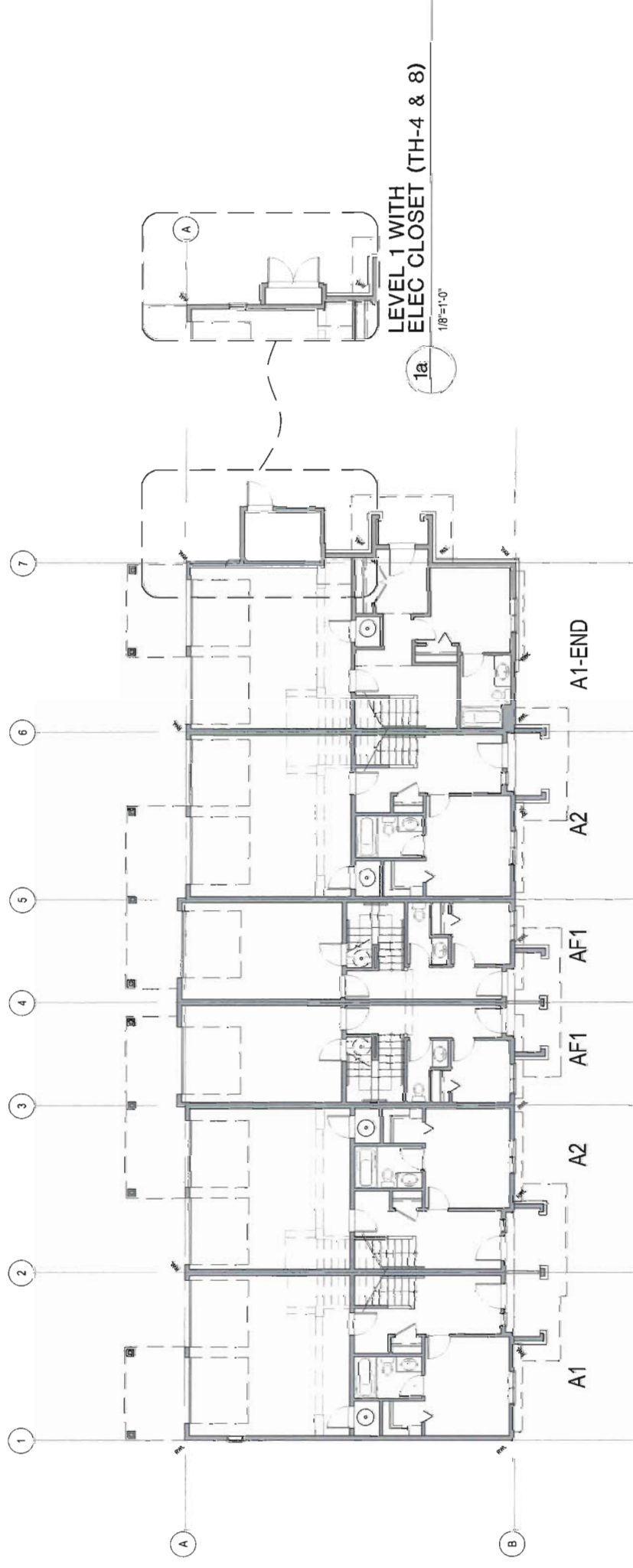
DRAWING TITLE:
FLOOR PLANS
TOWNHOUSE 4, 5, 8, 12 & 13

DATABASE: 1321-A3.0.dwg
SCALE: 1/8"=1'-0"
PLOTDATE: 21 APRIL 2015
DRAWN: CJ
CHECKED: KSH

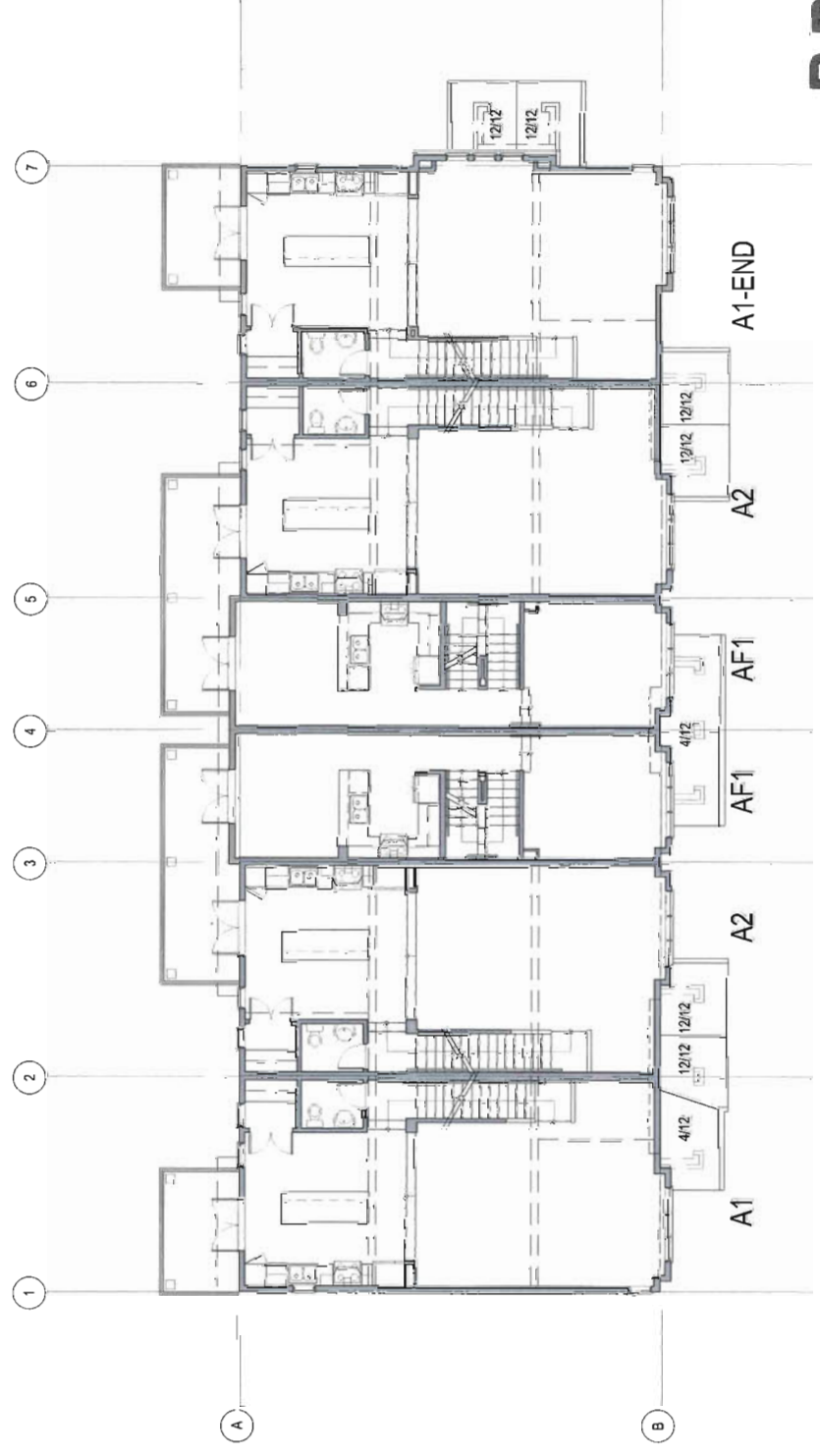
PROJECT NO. **1321**

DWG. NO. **A3.2a**

D.P. No.:
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1 LEVEL 1
1/8"=1'-0"



2 LEVEL 2
1/8"=1'-0"

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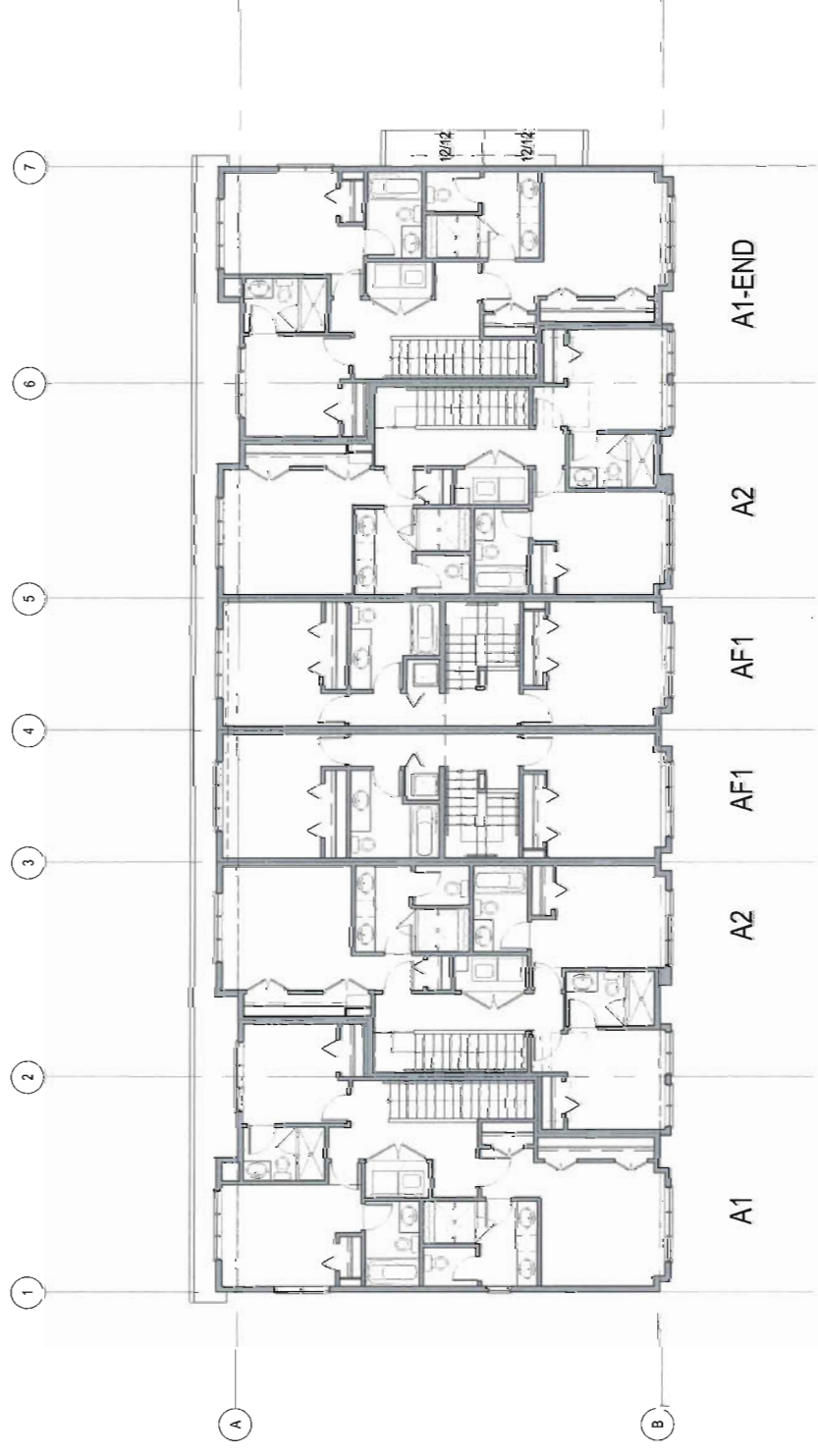
DRAWING TITLE:
FLOOR PLANS
TOWNHOUSE 4, 5, 8, 12 & 13

DATABASE: 1321-A3.0.dwg
SCALE: 1/8"=1'-0"
PLOTDATE: 21 APRIL 2015
DRAWN: CJ
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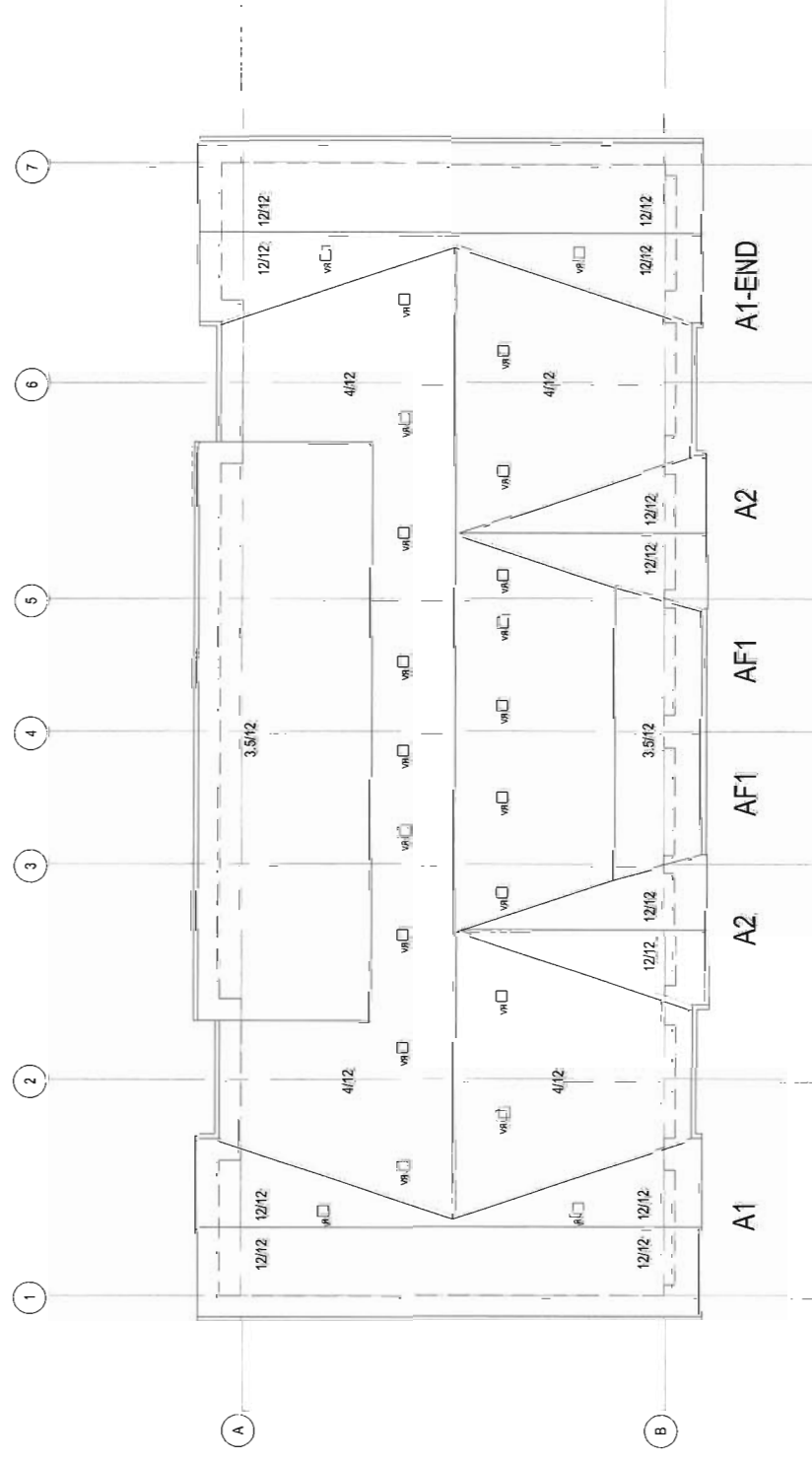
PROJECT NO. **1321**

DWG. NO. **A3.2b**

D.P. No:
B.P. No:



3 LEVEL 3
1/8"=1'-0"



4 ROOF LEVEL
1/8"=1'-0"

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PROJECT: **Kingsley Estates**
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DRAWING TITLE:
FLOOR PLANS
TOWNHOUSE 9 & 20

DATABASE: 1321-A3.0.dwg
SCALE: 1/8"=1'-0"
PLOTDATE: 21 APRIL 2015
DRAWN: CJ
CHECKED: KSH

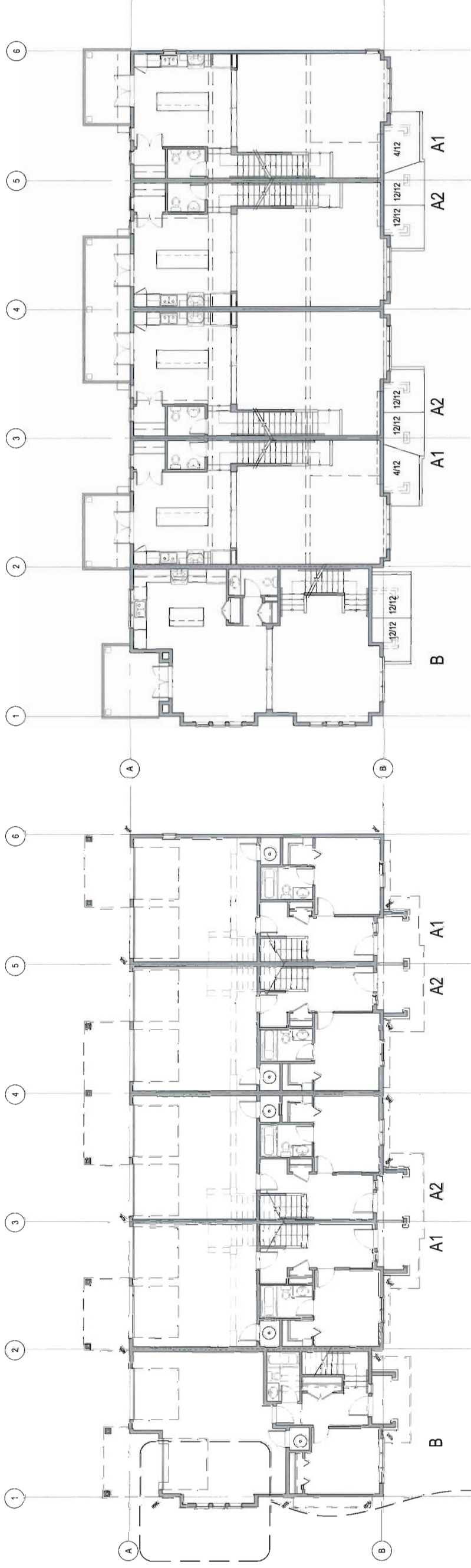
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DWG. NO.

A3.3

D.P. No:

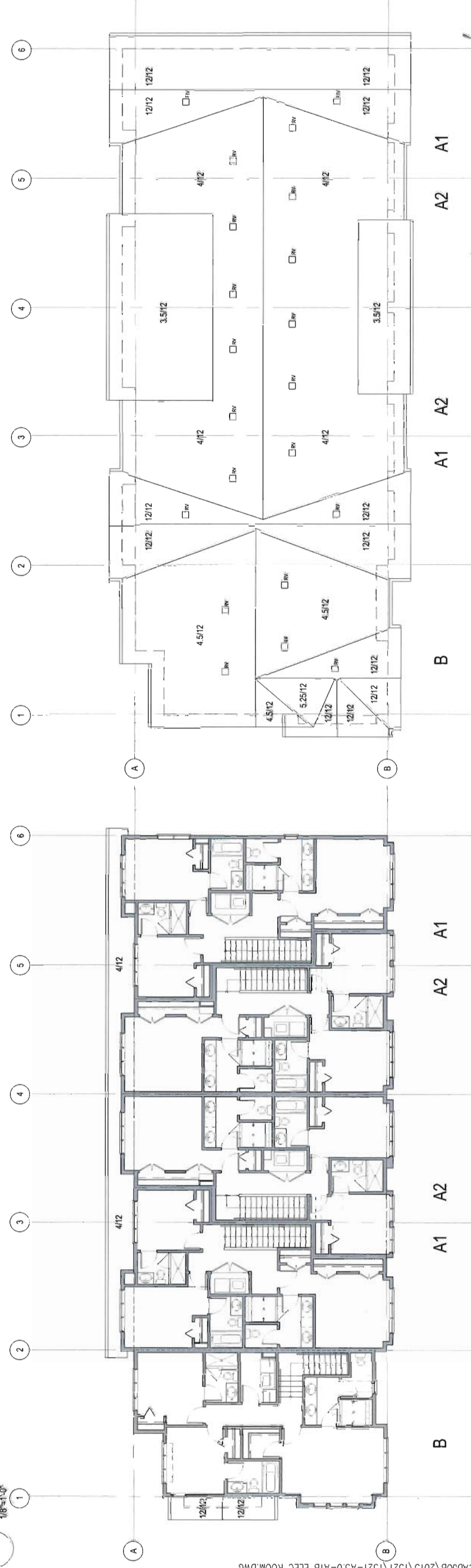
E.P. No:



1 LEVEL 1
1/8"=1'-0"

2 LEVEL 2
1/8"=1'-0"

1a LEVEL 1 WITH ELEC CLOSET (TH-9)
1/8"=1'-0"



3 LEVEL 3
1/8"=1'-0"

4 ROOF
1/8"=1'-0"

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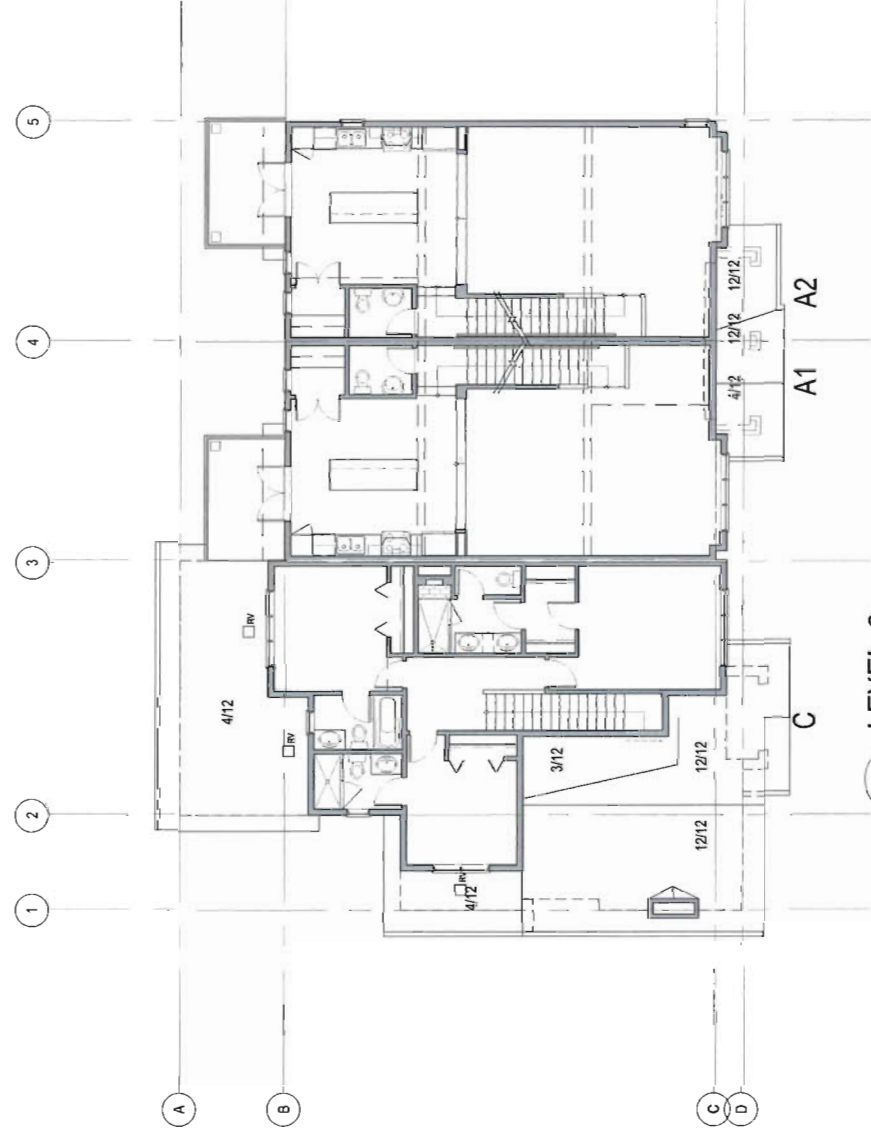
DRAWING TITLE:
FLOOR PLANS
TOWNHOUSE 2, 3, 6, 7, 10,
11, 14 & 15

DATABASE: 1321-A3.0.dwg
SCALE: 1/8"=1'-0"
PLOTDATE: 21 APRIL 2015
DRAWN: CJ
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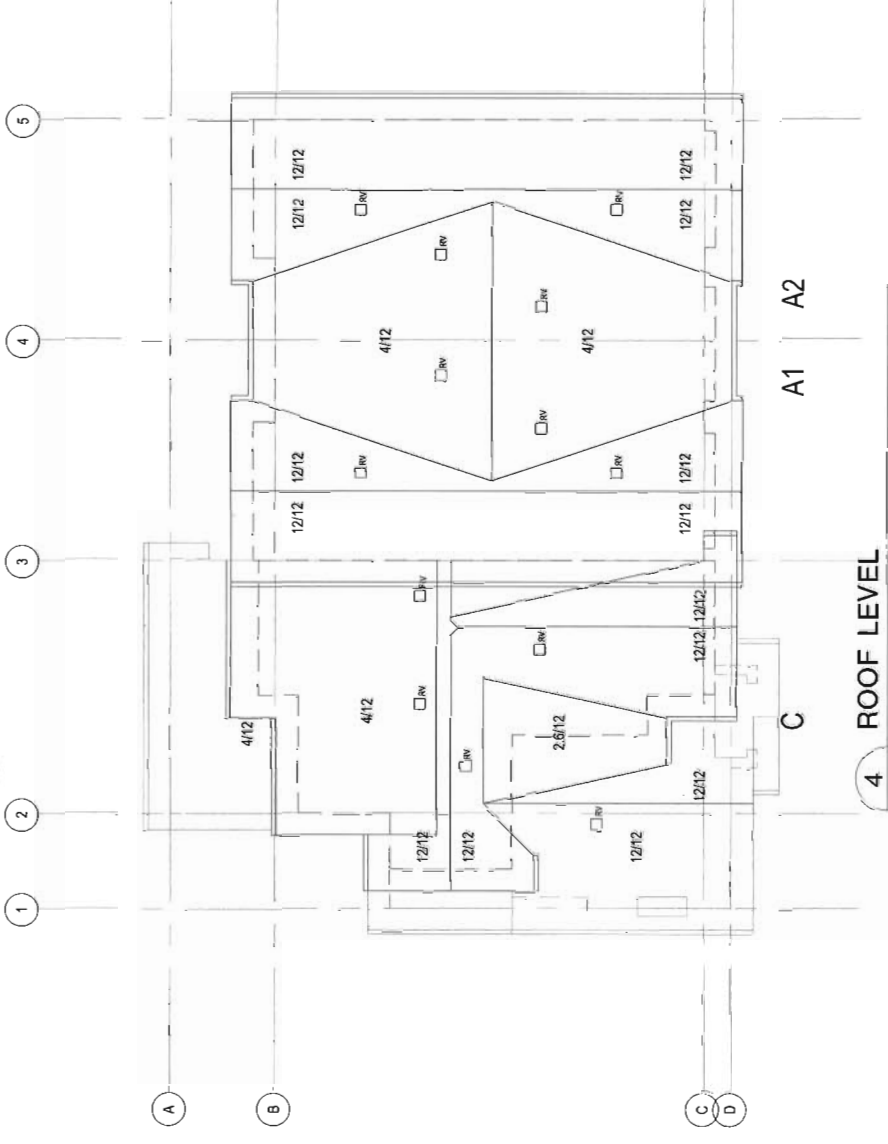
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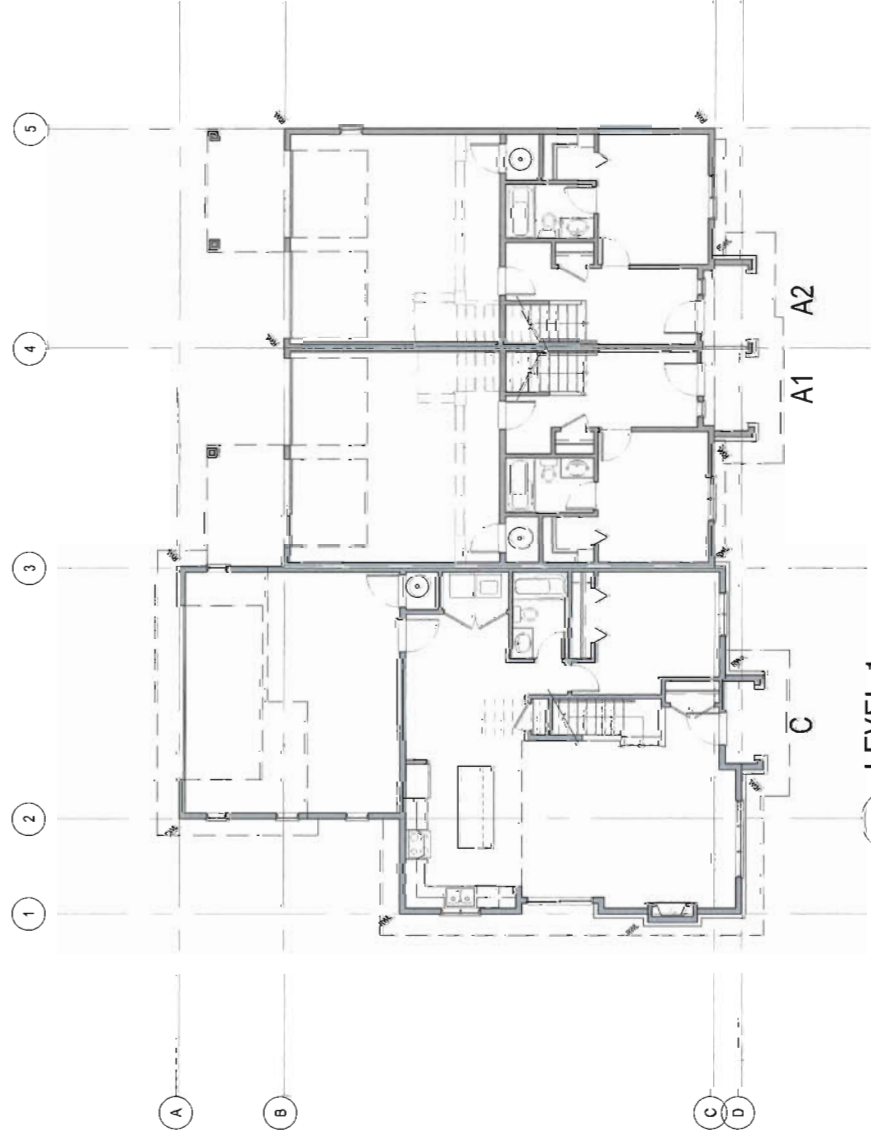
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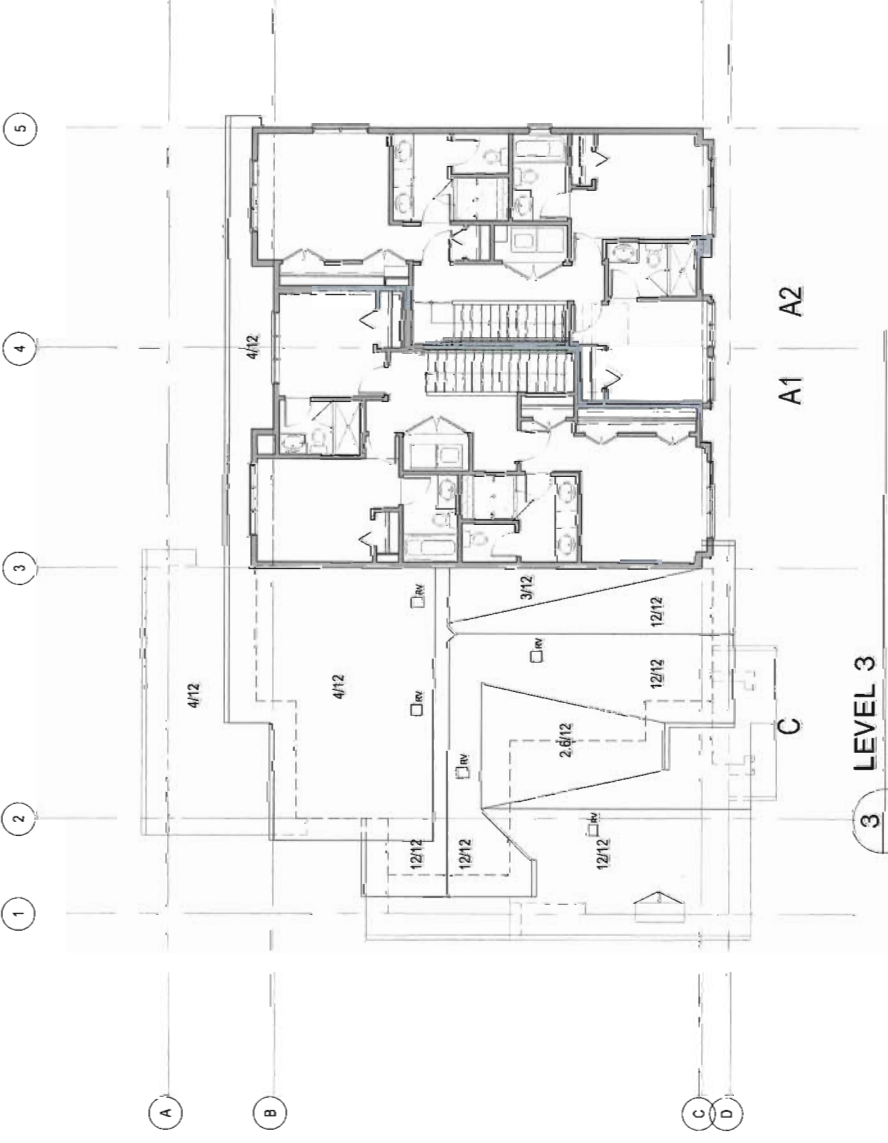
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1/8"=1'-0"



4 ROOF LEVEL
1/8"=1'-0"



1 LEVEL 1
1/8"=1'-0"



3 LEVEL 3
1/8"=1'-0"

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POLYGON
POLYMER INDUSTRIES LTD.
10388 No. 2 Rd. Richmond, BC

PROJECT:
Kingsley Estates
10388 No. 2 Rd. Richmond, BC

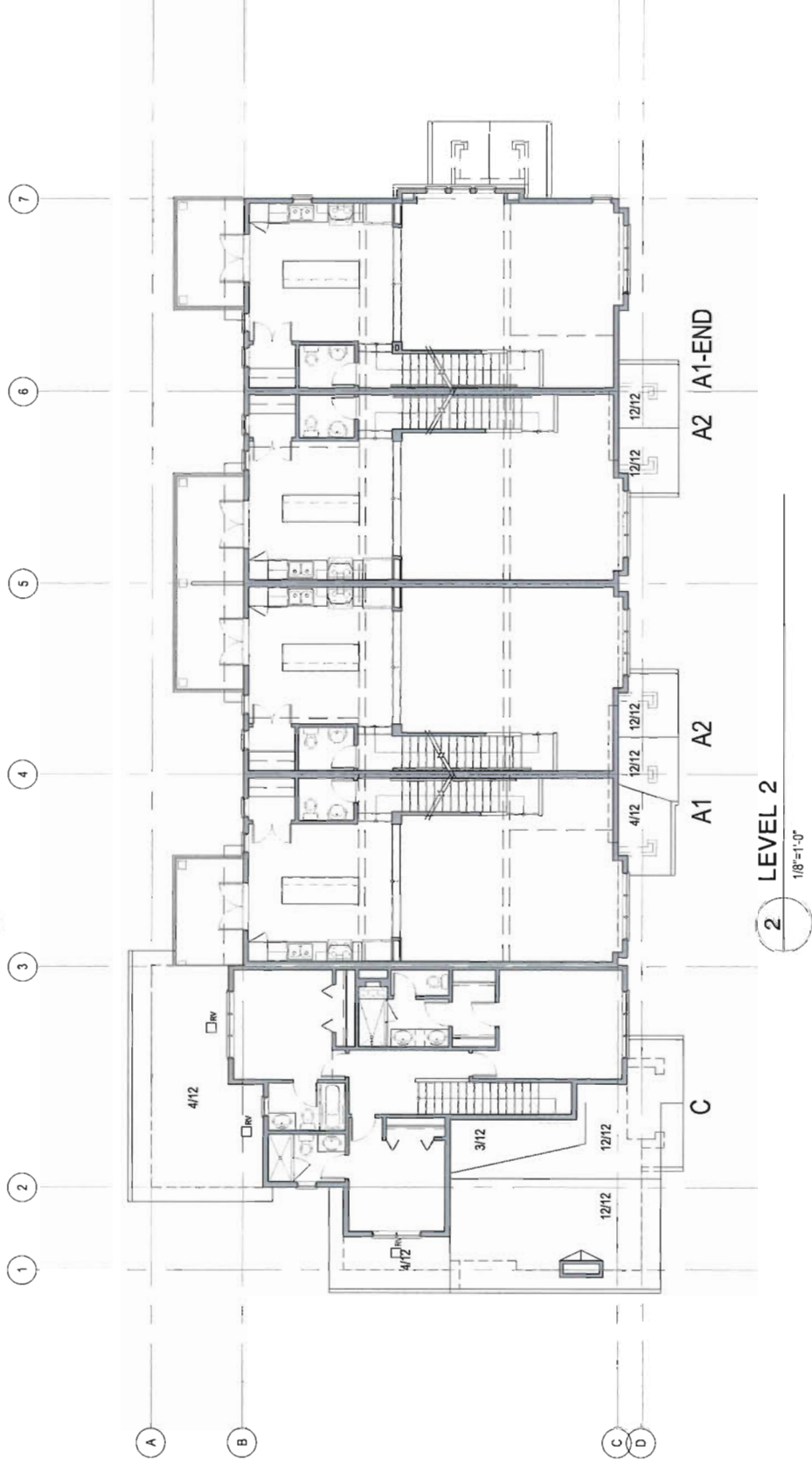
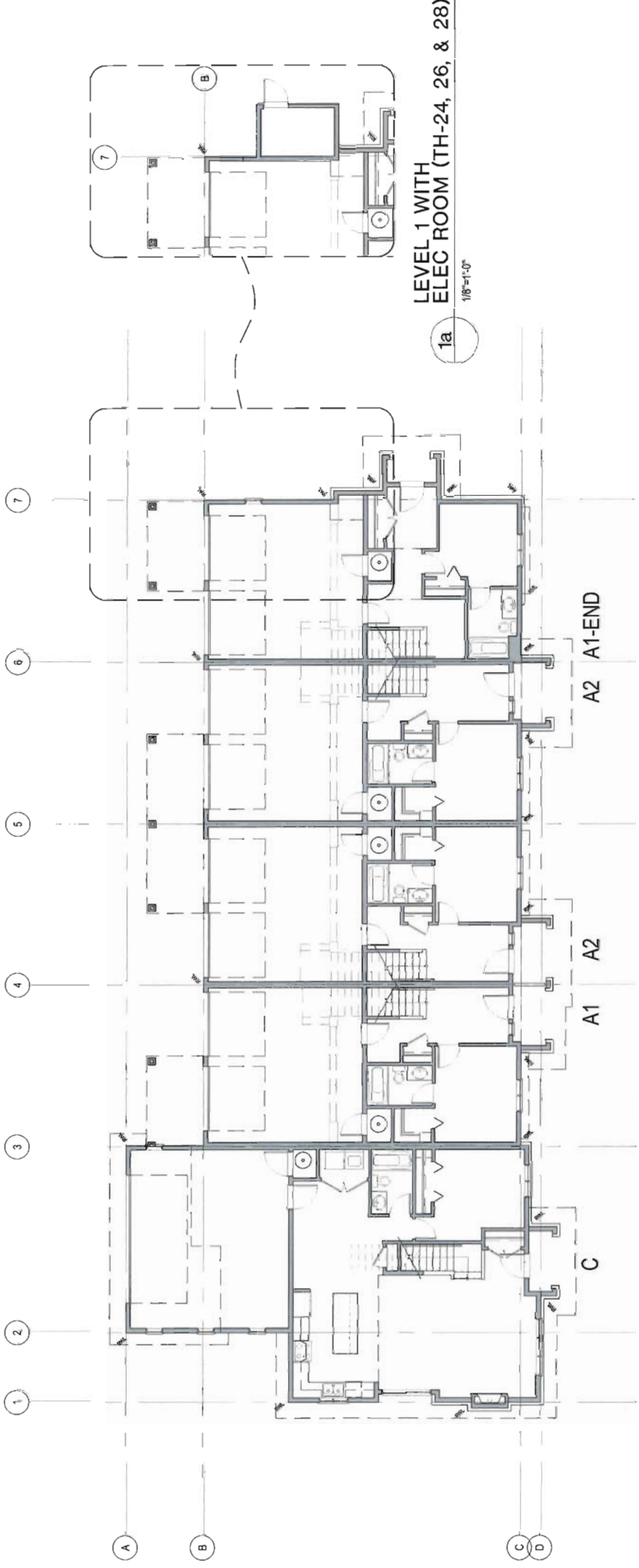
DRAWING TITLE:
**FLOOR PLANS
TOWNHOUSE 24, 25, 26,
27 & 28**

DATABASE: 1321-A3.0.dwg
SCALE: 1/8"=1'-0"
PLOTDATE: 21 APRIL 2015
DRAWN: CJ
CHECKED: KSH

PROJECT NO. **1321**

OWG. NO. **A3.5a**

D.P. No:
E.P. No:



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CLIENT:
Kingsley Estates
10388 No. 2 Rd. Richmond, BC

DRAWING TITLE
FLOOR PLANS
TOWNHOUSE 24, 25, 26,
27, & 28

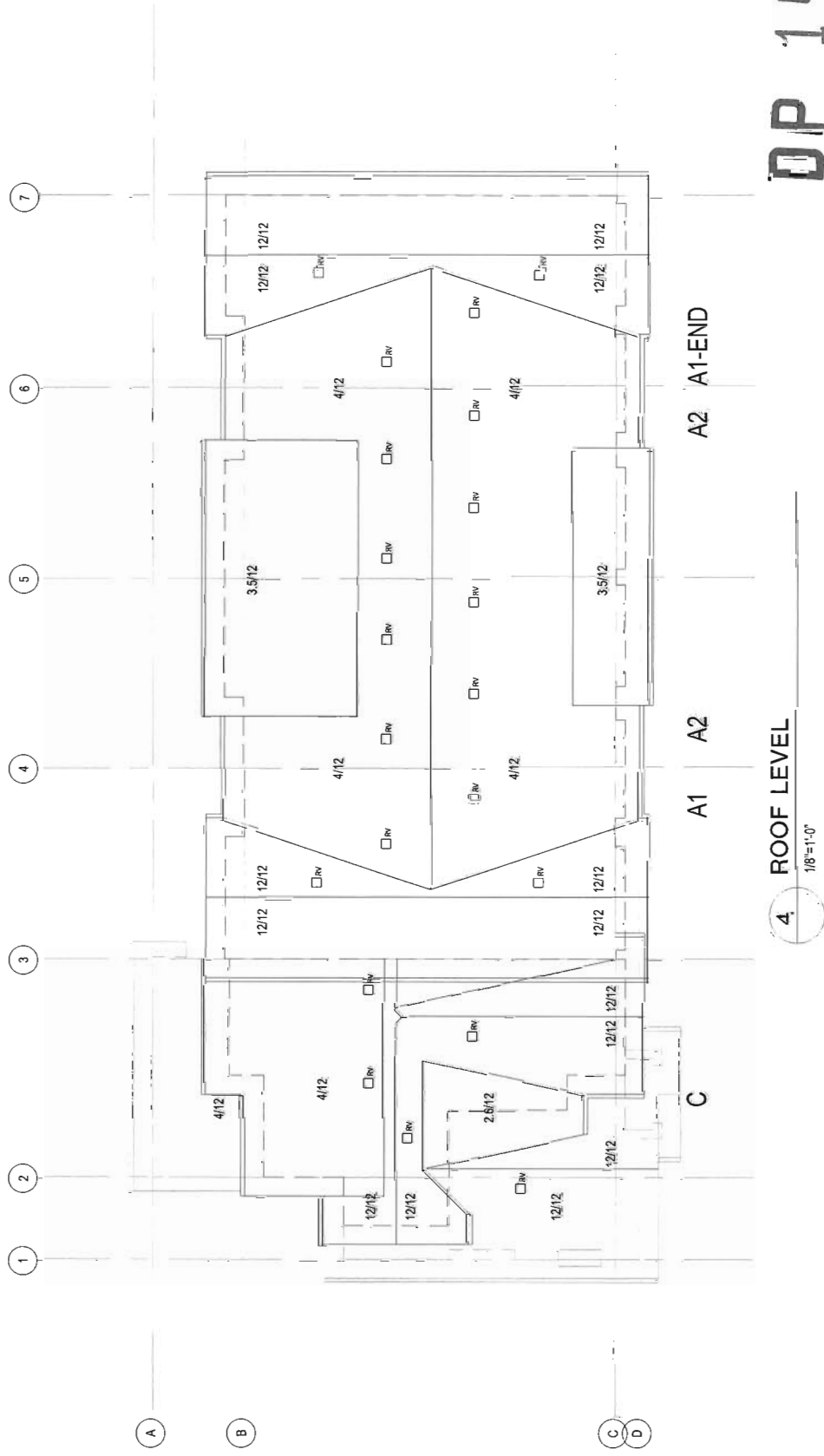
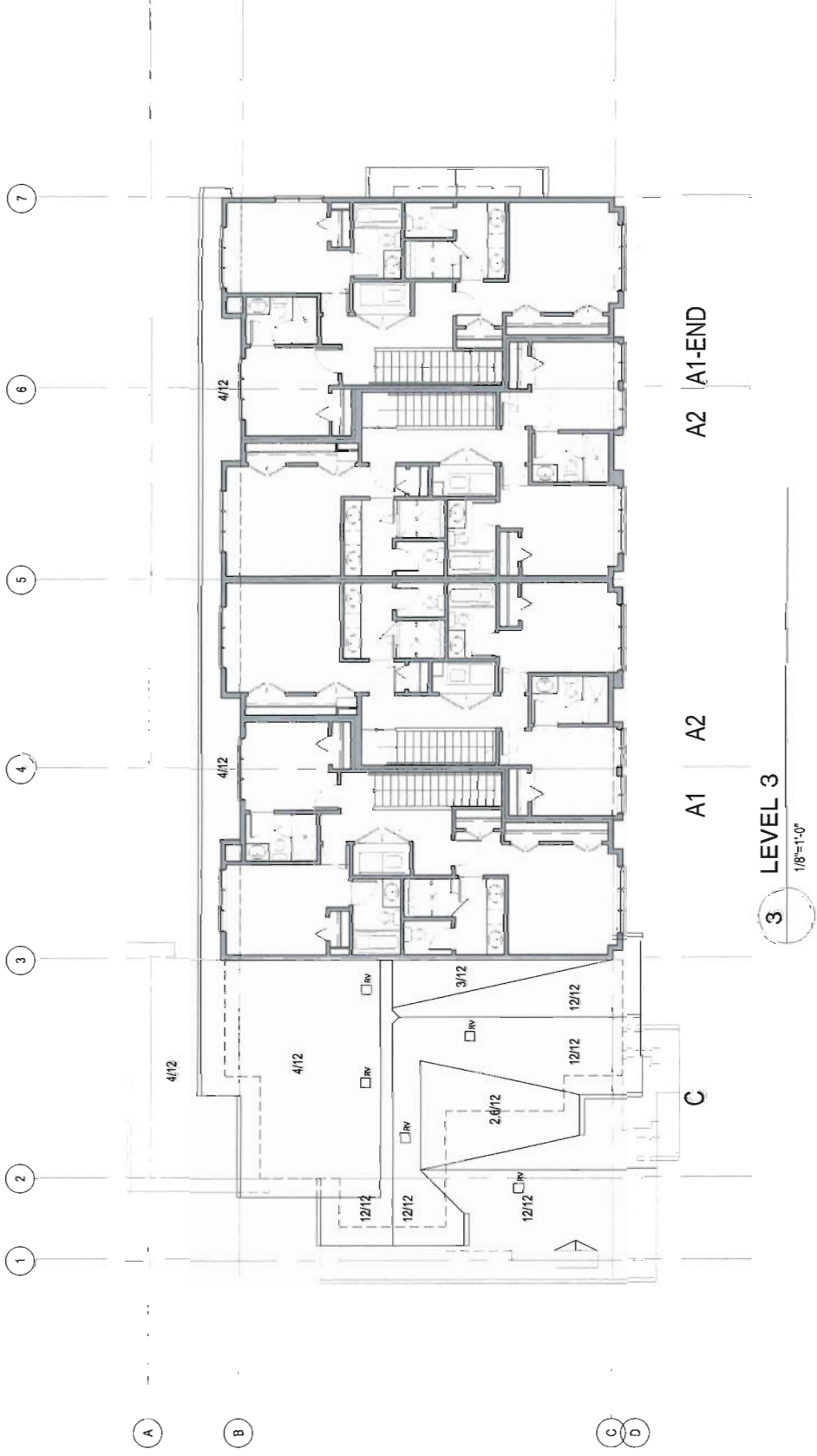
DATABASE: 1321-A3-0.dwg
SCALE: 1/8"=1'-0"
PLOTDATE: 21 APRIL 2015
DRAWN: CJ
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A3.5b

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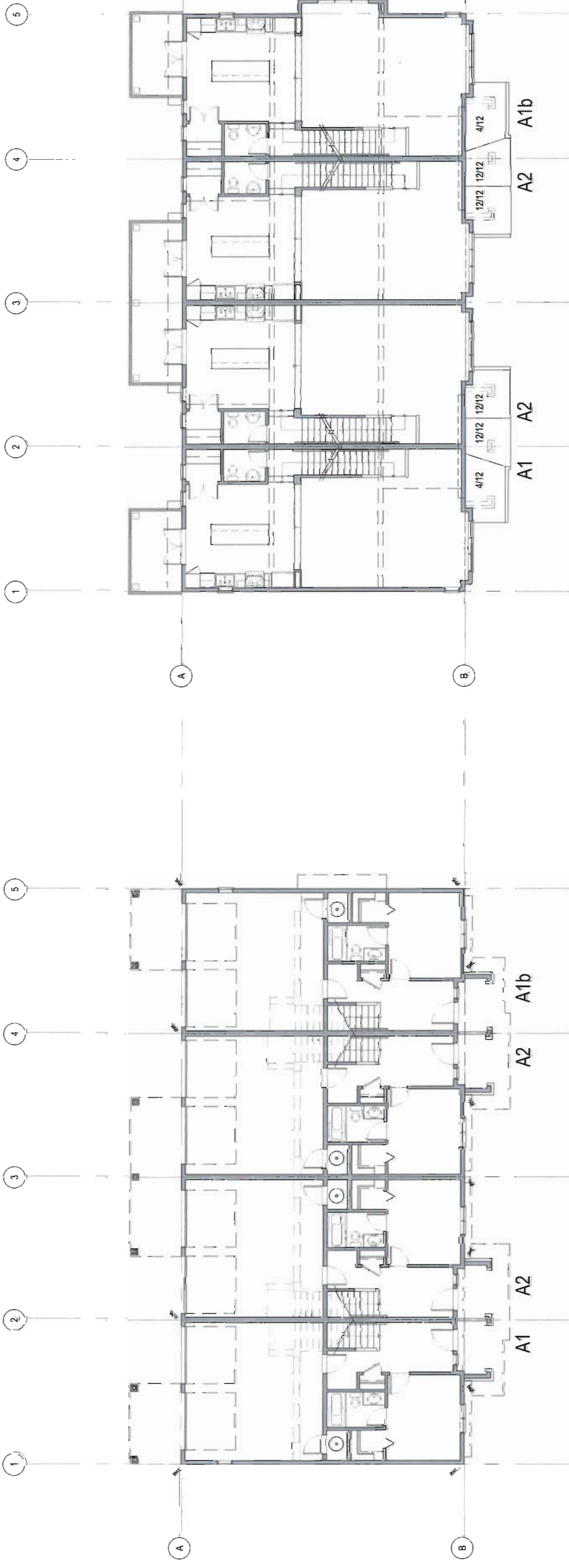
DRAWING TITLE:
FLOOR PLANS
TOWNHOUSE 18 & 21

DATABASE: 1321-A3.0.dwg
SCALE: 1/8"=1'-0"
PLOTDATE: 21 APRIL 2015
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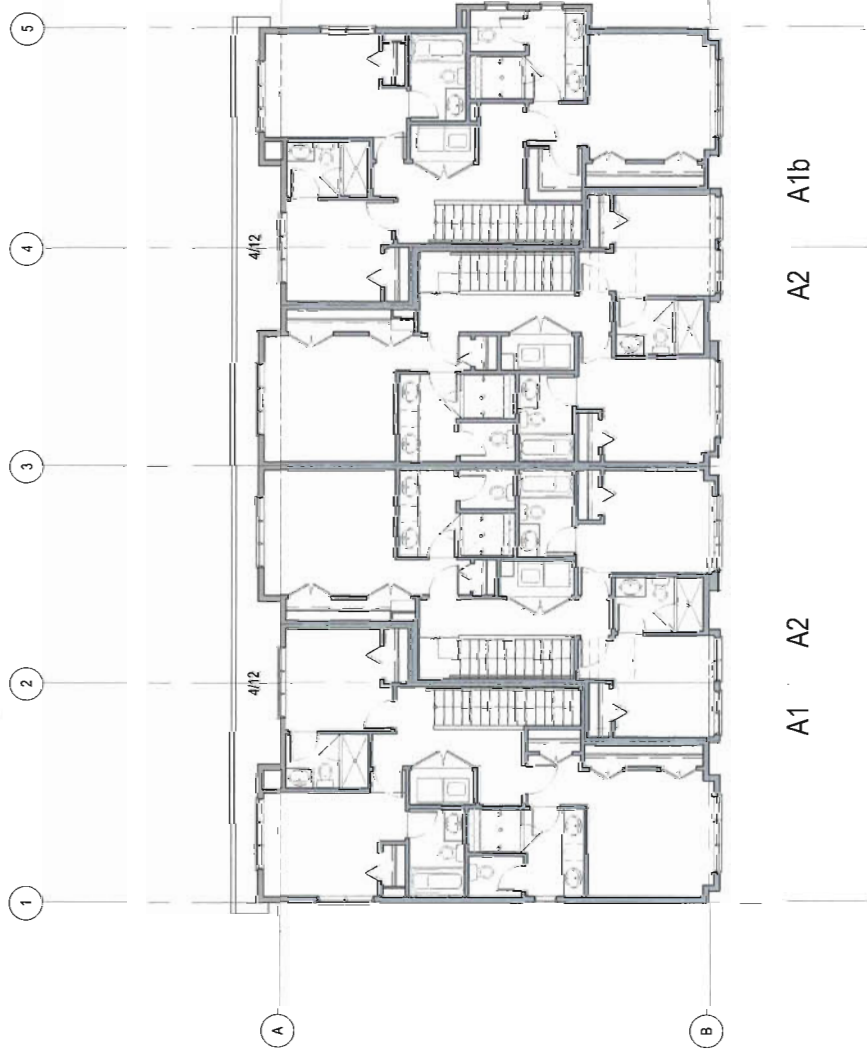
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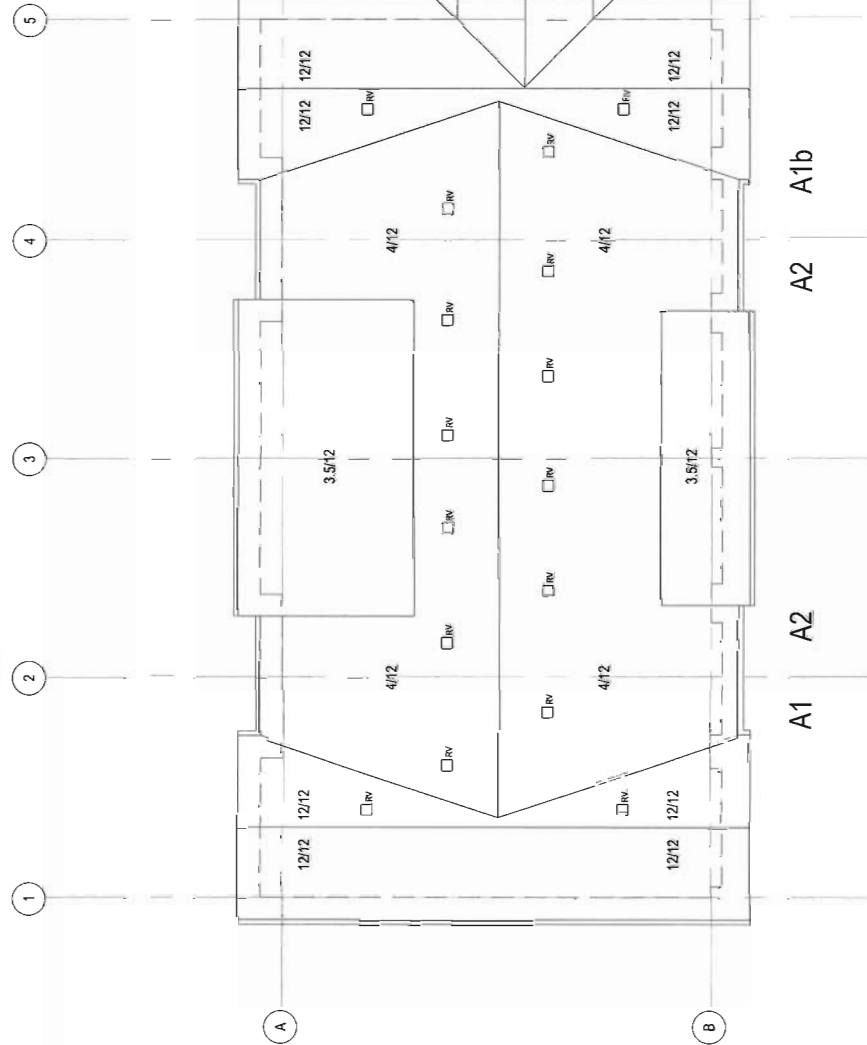
D.P. No.:
B.P. No.:



1 LEVEL 1
1/8"=1'-0"



2 LEVEL 2
1/8"=1'-0"



4 ROOF LEVEL
1/8"=1'-0"

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Kingsley Estates
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DRAWING TITLE:

FLOOR PLANS
TOWNHOUSE 16 & 22

DATABASE: 1321-A3.0.dwg

SCALE: 1/8"=1'-0"

PLOTDATE: 21 APRIL 2015

DRAWN: CJ

CHECKED: KSH

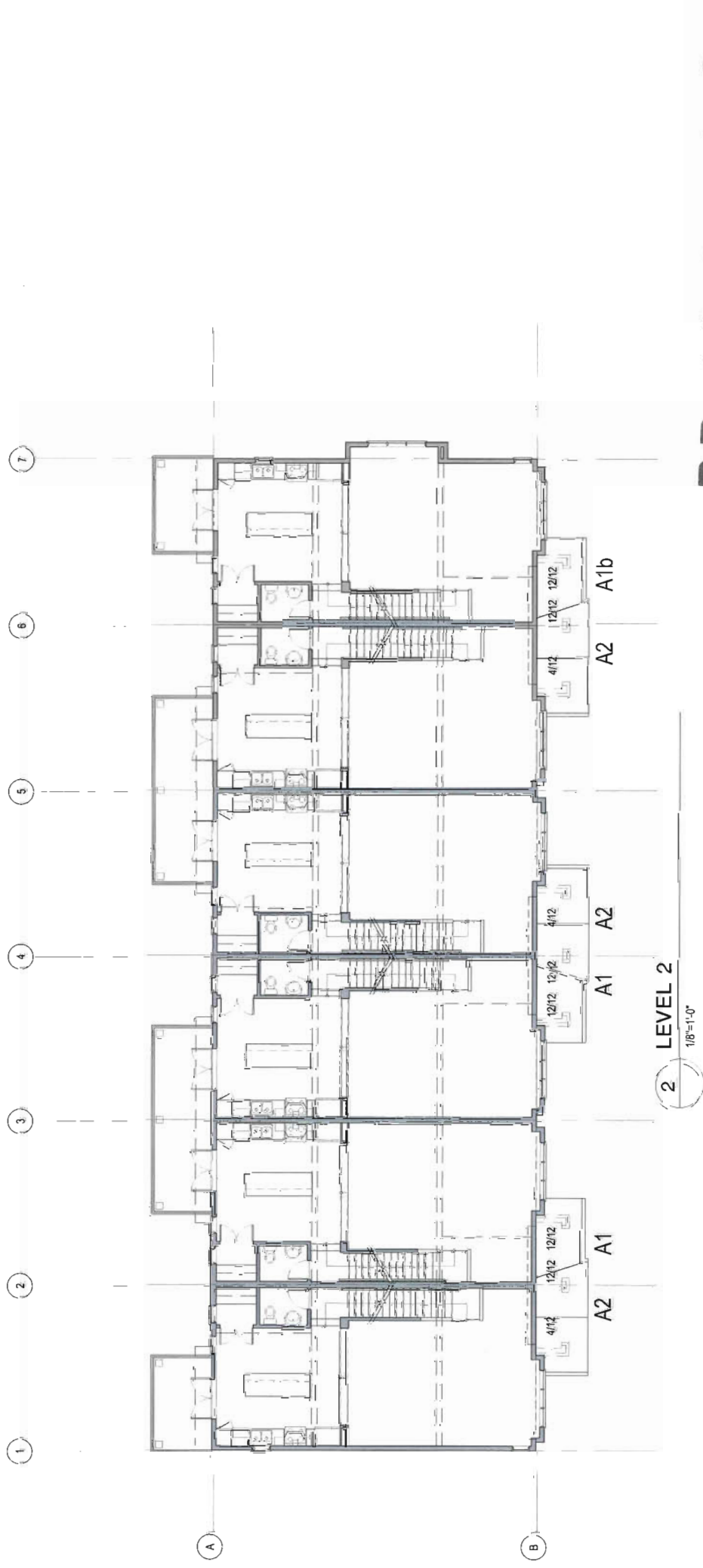
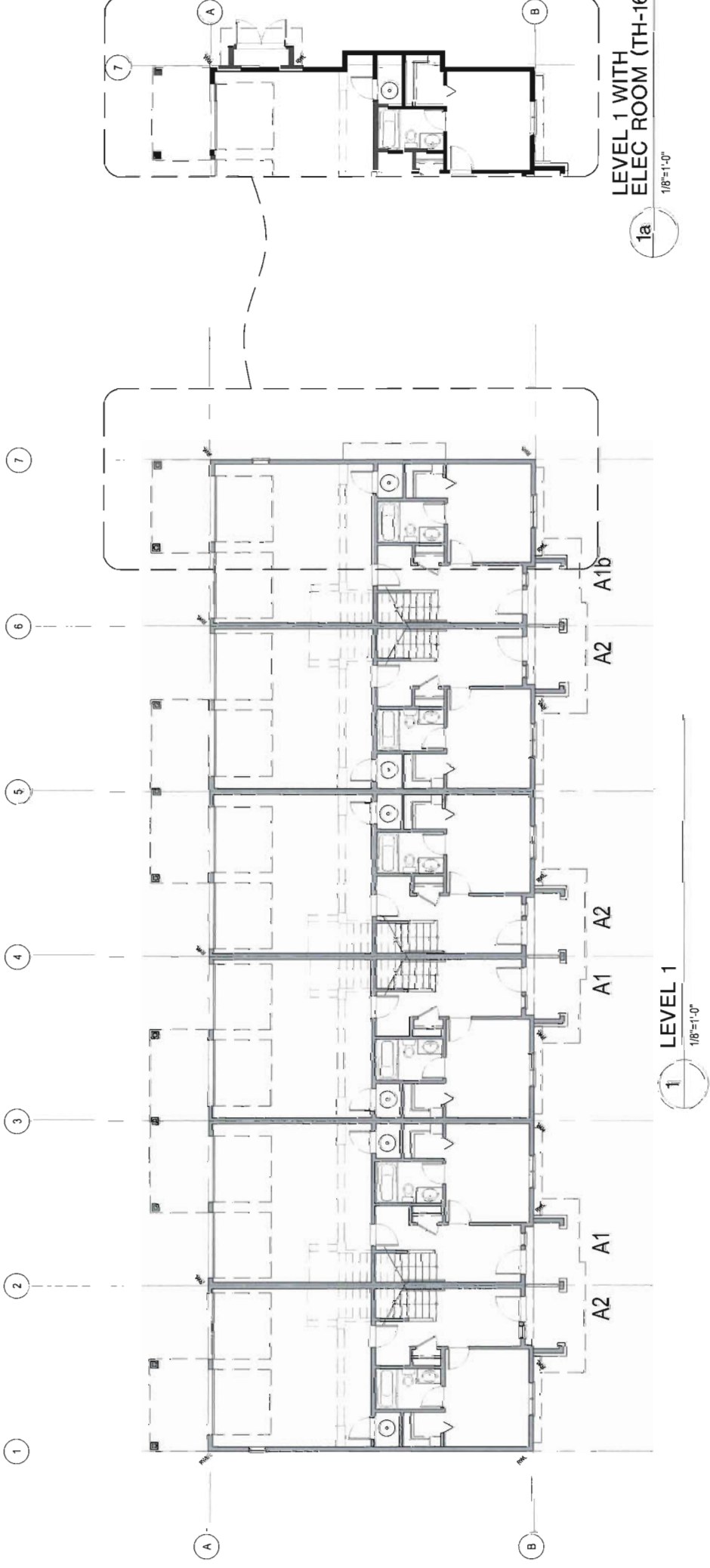
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POLYMER GROUP INC.
10388 No. 2 Rd. Richmond, BC

PROJECT: **Kingsley Estates**
10388 No. 2 Rd. Richmond, BC

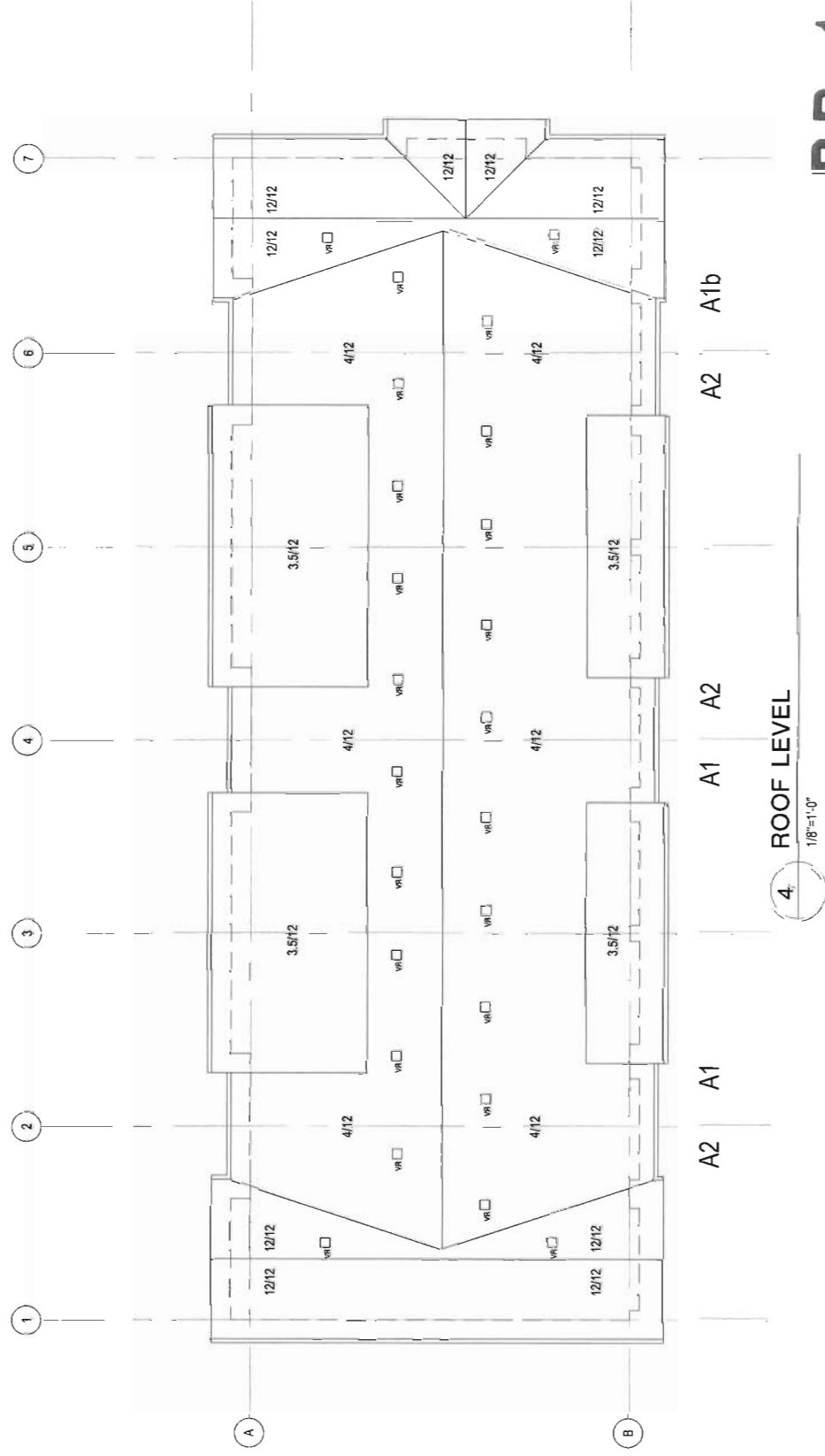
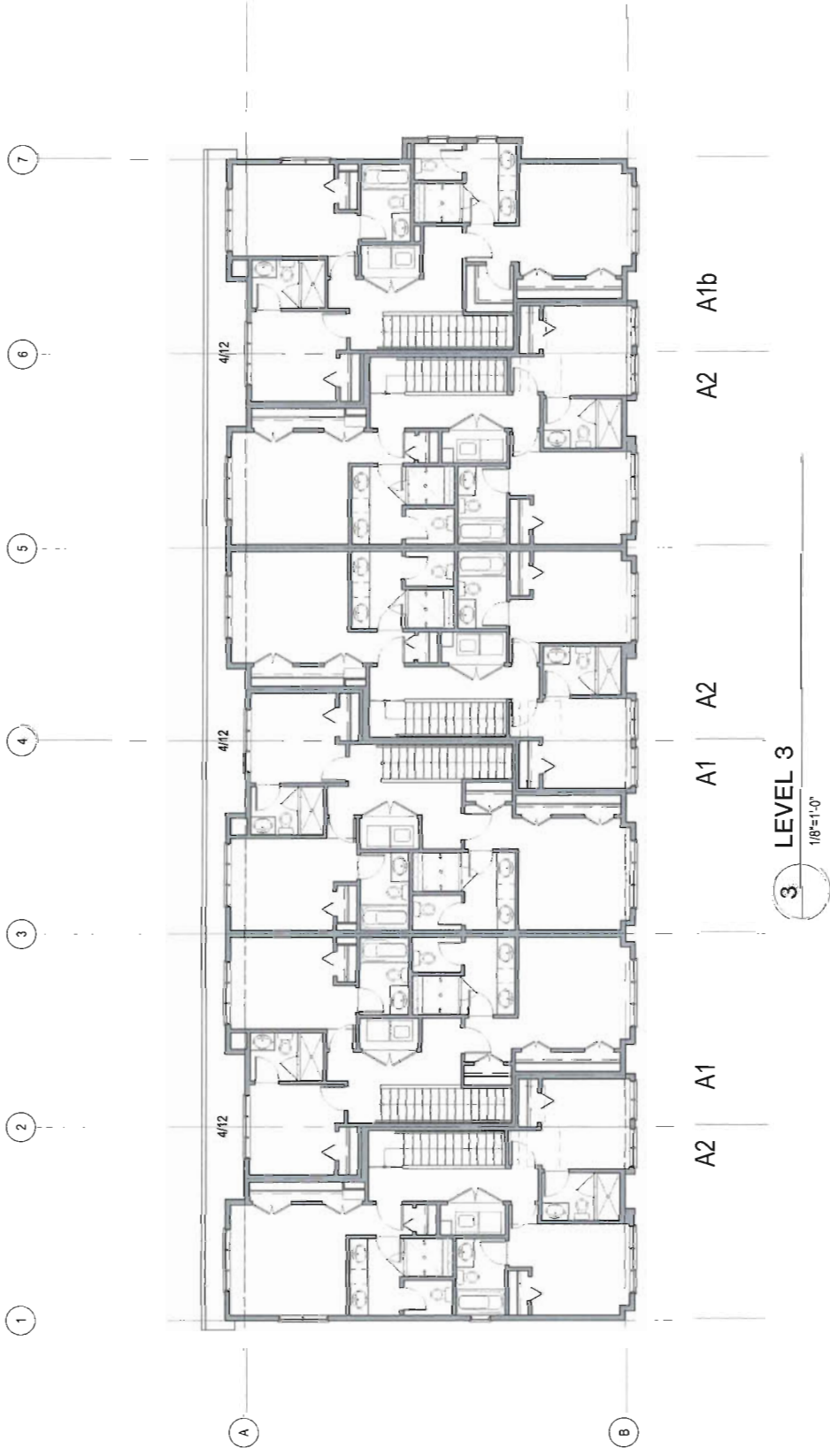
DRAWING TITLE:
**FLOOR PLANS
TOWNHOUSE 16 & 22**

DATABASE: 1321-A3.0.dwg
SCALE: 1/8"=1'-0"
PLTDATE: 21 APRIL 2015
DRAWN: CJ
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DWG. NO. **A3.7b**

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E.P. No:



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DRAWING TITLE:

FLOOR PLANS
TOWNHOUSE 17, 19, & 23

DATABASE: 1321-A3.0.dwg

SCALE: 1/8"=1'-0"

PLOTDATE: 21 APRIL 2015

DRAWN: CJ

CHECKED: KSH

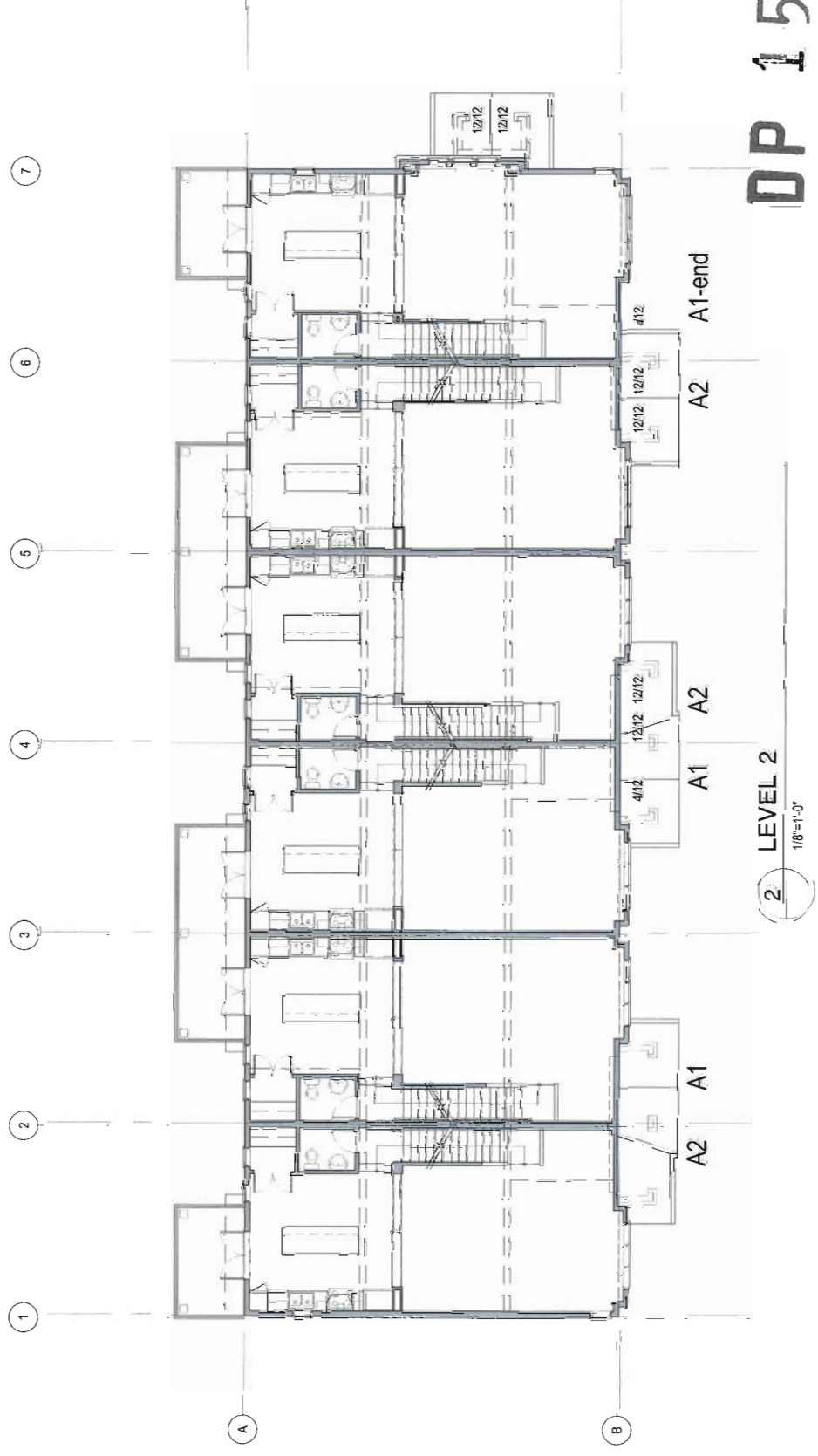
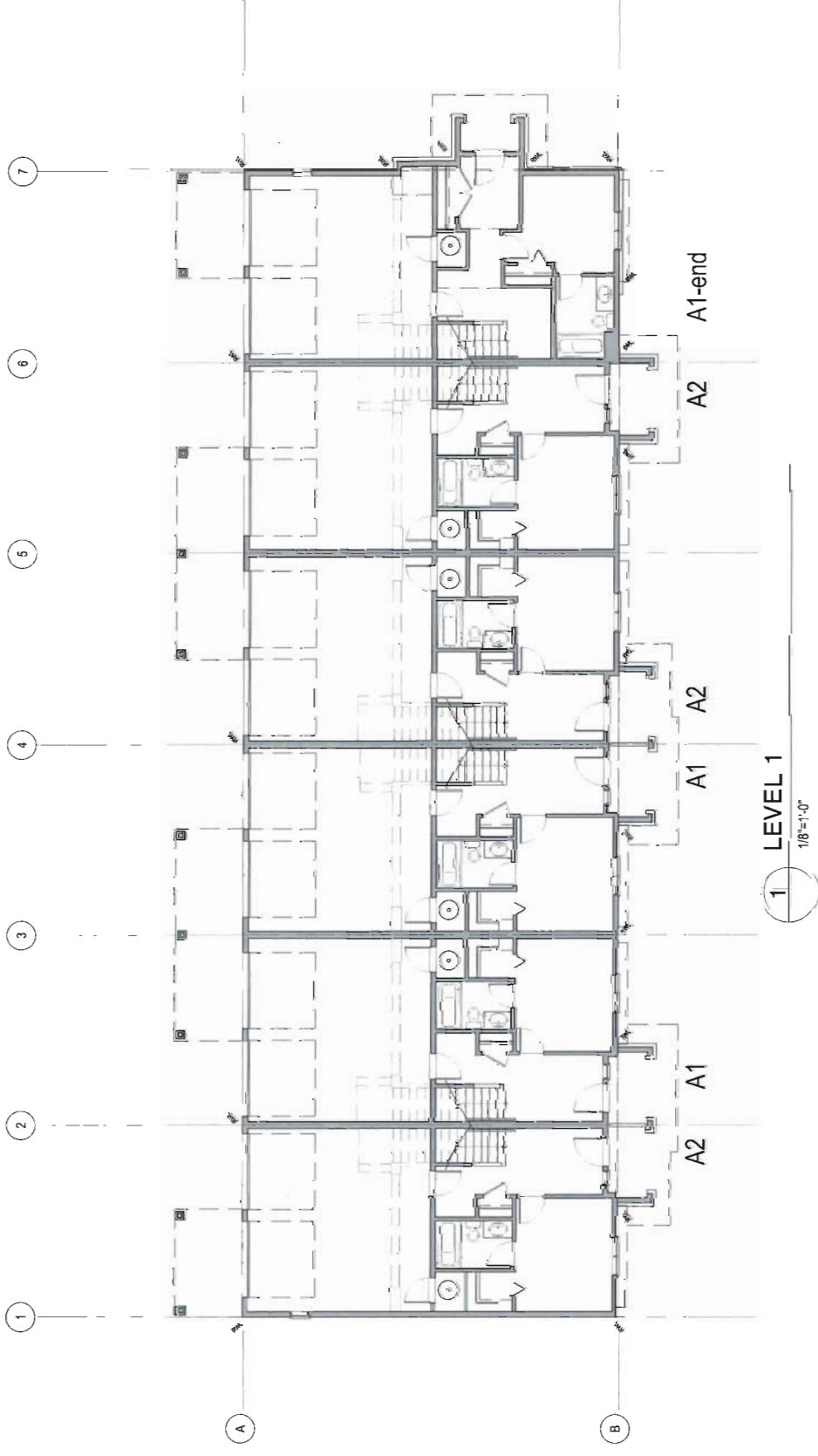
PROJECT NO. 1321

DWG. NO.

A3.8a

D.P. No:

B.P. No:



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DRAWING TITLE

**FLOOR PLANS
AMENITY BUILDING**

DATABASE: 1321-A3.4.dwg

SCALE: 1/4"=1'-0"

PLOTDATE: 25 FEBRUARY 2015

DRAWN: CJ

CHECKED: KSH

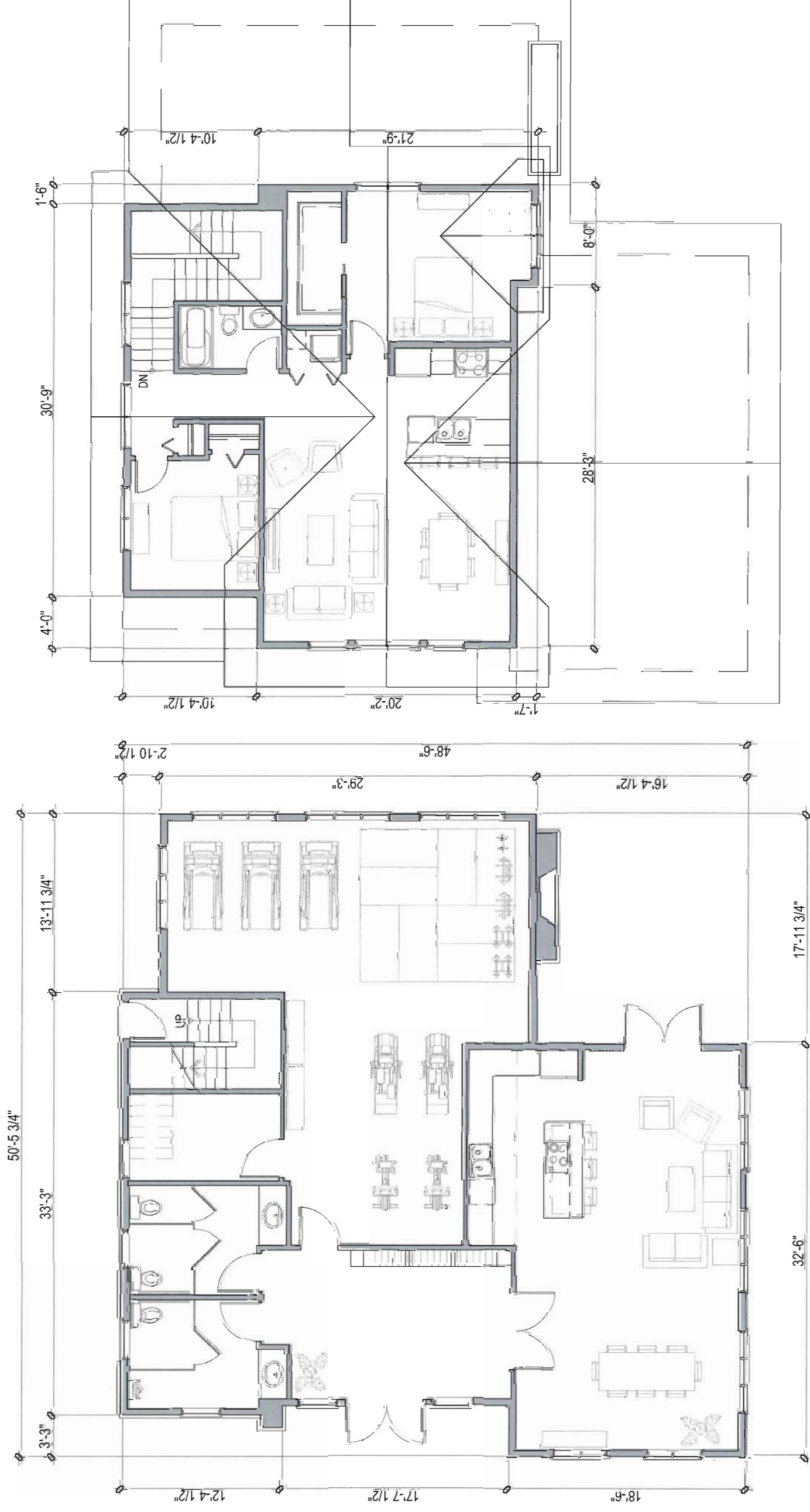
PROJECT NO. **1321**

DWG. NO.

A3.9

D.P. No.:

E.P. No.:



1 PLAN - AMENITY BUILDING - LEVEL 1
SCALE 1/8" = 1'-0"

2 PLAN - AMENITY BUILDING - LEVEL 2
SCALE 1/8" = 1'-0"

DP 15-692659-15



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V6A 1G1

T 604.669.6002
F 604.669.1091

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ISSUED:	DATE:
1. DP APPLICATION	11 FEB 2015
2. DPA REVISIONS	17 APR 2015
3. DPA REVISIONS	17 APR 2015
4. PRICING	29 APR 2015

ISSUED FOR
DPA REVISIONS
4 MAY 2015

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ARCHITECTURAL SEAL:

CLIENT: **POLYGON**
10388 No. 2 Rd., Richmond, BC
V6V 1G9

PROJECT: **Kingsley Estates**
10388 No. 2 Rd., Richmond, BC

DRAWING TITLE:
**ELEVATIONS
TYPICAL COLOUR SCHEMES**

DATABASE: 1321-A4.0.dwg
SCALE: 3/16"=1'-0"
PLOTDATE: 04 MAY 2015
DRAWN: CJ
CHECKED: KSH

PROJECT NO. **1321**

DWG. NO. **A4.0a**

DATE: **15-69-2659-1b**



A1 2 4 6 8 10 11 A1-END

A2 COLOUR SCHEME A



A1 2 4 6 8 10 11 A1-END

A2 COLOUR SCHEME B

FINISH SCHEDULE

MATERIALS	SCHEME A	SCHEME B	MATERIALS	SCHEME A	SCHEME B
1 ROOF - HEAVY PROFILE ASPHALT SHINGLES	GAF TIMBERLINE-WEATHERED WOOD		11 OHI GARAGE DOORS	-PAINTED	BM CC-90 'NATURAL LINEN'
2 BRICK	MM - AUTUMN BLEND - MISSION	MM - RED VARI-TONE - MISSION	12 REAR DOORS	-PAINTED	BM HC-77 'ALEXANDRIA BEIGE'
3 FIBER CEMENT HORIZ. SIDING 6" EXPOSURE- LIGHT	BM 2111-50 'STONE HARBOUR'	BM CC-90 'NATURAL LINEN'	13 EXTERIOR SERVICE DOORS	-PAINTED	BM CC-90 'NATURAL LINEN'
4 FIBER CEMENT HORIZ. SIDING 6" EXPOSURE- DARK	BM HC-167 'AMHERST GRAY'	BM 2111-30 'MUSTANG'	14 PRIVACY FENCING at DECKS	-PAINTED	BM HC-77 'ALEXANDRIA BEIGE'
5 FIBER CEMENT PANEL	BM OC-5 'MARITIME WHITE'	BM CC-90 'NATURAL LINEN'	15 METAL FLASHING		MATCH THE COLOUR OF FLASHING TO THE MATERIAL IT COVERS SEE FLASHING SCHEDULE FOR SPECIFIC COLOURS
6 WOOD TRIM	BM 2134-30 'IRON MOUNTAIN'	BM HC-77 'ALEXANDRIA BEIGE'	16 LIGHT FIXTURE		STOCK BLACK
7 ENTRY DOORS	BM 2085-20 'POTTERY RED'	BM 2057-10 'RIVER BLUE'	17 METAL PLANTER BOX	-PAINTED	STOCK BLACK
8 ALUMINUM RAILING		STOCK BLACK	18 SOFFIT		MITTEN 'SANDALWOOD'
9 DBL GLAZED THERM. BROKEN WINDOWS & SLIDING PATIO DOORS		STOCK WHITE	19 GUTTERS & RWLS		GENTEK - 'TAN'
10 CONCRETE		SACKED FINISH	20 LANDSCAPE FENCING at GRADE	-SOLID STAINED	KAYCAN - 'SANDALWOOD'
			21 CULTURED STONE		TBD
					ASPEN COUNTRY LEDGESTONE

ISSUED:	DATE:
1. DP APPLICATION 11 FEB 2015	11 FEB 2015
2. DPA REVISIONS 17 APR 2015	17 APR 2015
3. DPA REVISIONS 29 APR 2015	29 APR 2015
4. PRICING	

ISSUED FOR
DPA REVISIONS
4 MAY 2015

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ARCHITECTURAL SEAL:

CLIENT: **POLYGON**
1333 West Broadway, Vancouver, BC
V6H 2B6
Phone: 604.681.1000
Fax: 604.681.1001
www.polygonbc.com

PROJECT: **Kingsley Estates**
10388 No. 2 Rd., Richmond, BC

DRAWING TITLE:
REAR ELEVATION & AMENITY COLOUR SCHEMES

DATABASE: 1321-44.0.dwg
SCALE: 3/16"=1'-0"
PLTDATE: 04 MAY 2015
DRAWN: CJ
CHECKED: KSH
PROJECT NO. 1321

DWG. NO. **A4.0b**



FINISH SCHEDULE		SCHEME A	SCHEME B	MATERIALS	SCHEME A	SCHEME B
1	ROOF: HEAVY PROFILE ASPHALT SHINGLES		GRAF TIMBERLINE-WEATHERED WOOD	11	OH GARAGE DOORS	BM CC-90 'NATURAL LINEN'
2	BRICK	MM - AUTUMN BLEND - MISSION	MM - RED VARTONE - MISSION	12	REAR DOORS	BM HC-77 'ALEXANDRIA BEIGE'
3	FIBER CEMENT HORIZ. SIDING 6" EXPOSURE- LIGHT	PRE-PAVED -PAINTED	BM 2111-50 'STONE HARBOUR'	13	EXTERIOR SERVICE DOORS	BM CC-90 'NATURAL LINEN'
4	FIBER CEMENT HORIZ. SIDING 6" EXPOSURE- DARK	PRE-PAVED -PAINTED	BM HC-167 'AMHERST GRAY'	14	PRIVACY FENCING at DECKS	BM HC-77 'ALEXANDRIA BEIGE'
5	FIBER CEMENT PANEL	PRE-PAVED -PAINTED	BM OC-5 'MARITIME WHITE'	15	METAL FLASHING	MATCH THE COLOUR OF FLASHING TO THE MATERIAL IT COVERS SEE FLASHING SCHEDULE FOR SPECIFIC COLOURS.
6	WOOD TRIM	PRE-PAVED -PAINTED	BM 2134-30 'IRON MOUNTAIN'	16	LIGHT FIXTURE	STOCK BLACK
7	ENTRY DOORS	PRE-PAVED -PAINTED	BM 2085-20 'POTTERY RED'	17	METAL PLANTER BOX	STOCK BLACK
8	ALUMINUM RAILING		STOCK BLACK	18	SOFFIT	MITTEN 'SANDAL WOOD'
9	DRLE GLAZED THERM. BROKEN WINDOWS & SLIDING PATIO DOORS		STOCK WHITE	19	GUTTERS & RWLS	GENTEK - 'SLATE'
10	CONCRETE		SACKED FINISH	20	LANDSCAPE FENCING at GRADE	KAYCAN - 'SANTAL WOOD'
				21	CULTURED STONE	TBD
						ASPEN COUNTRY LEDGESTONE

DP 13-09-2017



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ISSUED:
1. DP APPLICATION

DATE:
11 FEB 2015

ISSUED FOR
DP UPDATE
20 APRIL 2015

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ARCHITECTURAL SEAL

CLIENT:
POLYGON
POLYGON COMMERCIAL REAL ESTATE DEVELOPMENT INC.

PROJECT:
Kingsley Estates
10388 No. 2 Rd., Richmond, BC

DRAWING TITLE:
**SITE PLAN
COLOUR SCHEME KEY PLAN**

DATABASE: 1321-A4.0a.dwg
SCALE: 1=500
PLOTDATE: 20 APRIL 2015
DRAWN: CJ
CHECKED: KSH
PROJECT NO. 1321

DWG. NO.
A4.0a

D.P. No:
B.P. No:



DP 15-692659-18



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20 APRIL 2015

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ARCHITECTURAL SEAL:

CLIENT:
POLYGON
10388 No. 2 Rd. Richmond, BC

PROJECT:
Kingsley Estates
10388 No. 2 Rd. Richmond, BC

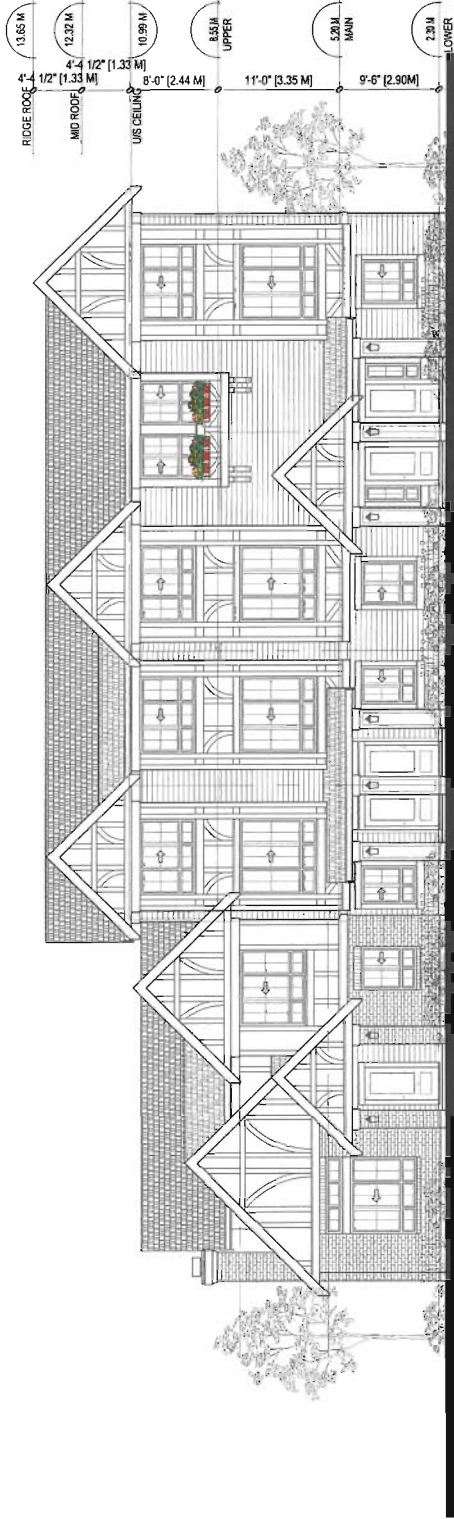
DRAWING TITLE:
ELEVATIONS
TOWNHOUSE 1

DATABASE: 1321-A4.0.dwg
SCALE: 1/8"=1'-0"
PLOTDATE: 21 APRIL 2015
DRAWN: CJ
CHECKED: KSH

PROJECT NO. **1321**

DWG. NO. **A4.1**

D.P. No:
B.P. No:



C NO. 2 ROAD ELEVATION

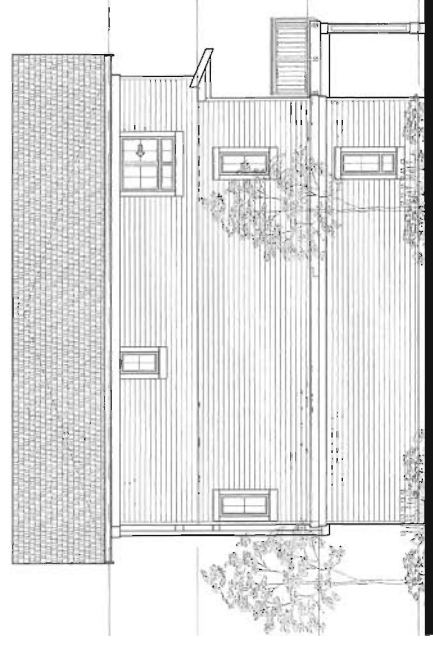
A1

A2

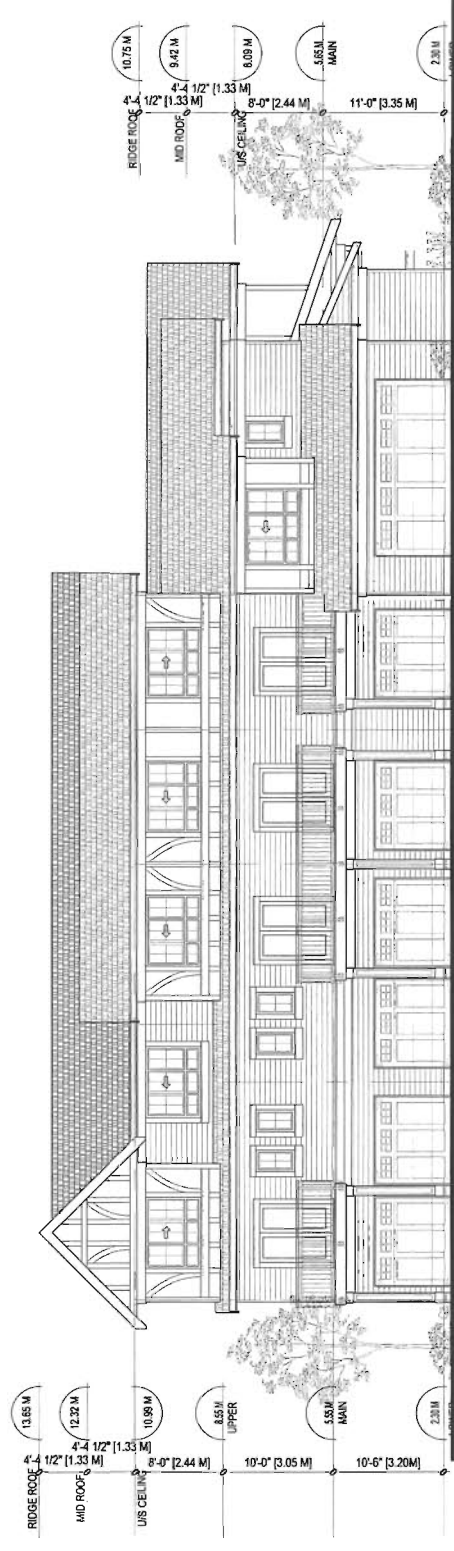
AF1

AF1

C



A1 SIDE ELEVATION



C SIDE ELEVATION

A1

A2

AF1

AF1

C

DP 15-692659-19



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CLIENT:
POLYGON
1100 - 101 - 101 St. W. Suite 1000, Vancouver, BC
Canada (PH: 604-271-1100) (F: 604-271-4100)

PROJECT:
Kingsley Estates
10388 No. 2 Rd. Richmond, BC

DRAWING TITLE:
ELEVATIONS
TOWNHOUSE 4, 5, 8, 12 & 13

DATABASE: 1321-A4.0.dwg

SCALE: 1/8"=1'-0"

PLOTDATE: 21 APRIL 2015

DRAWN: CJ

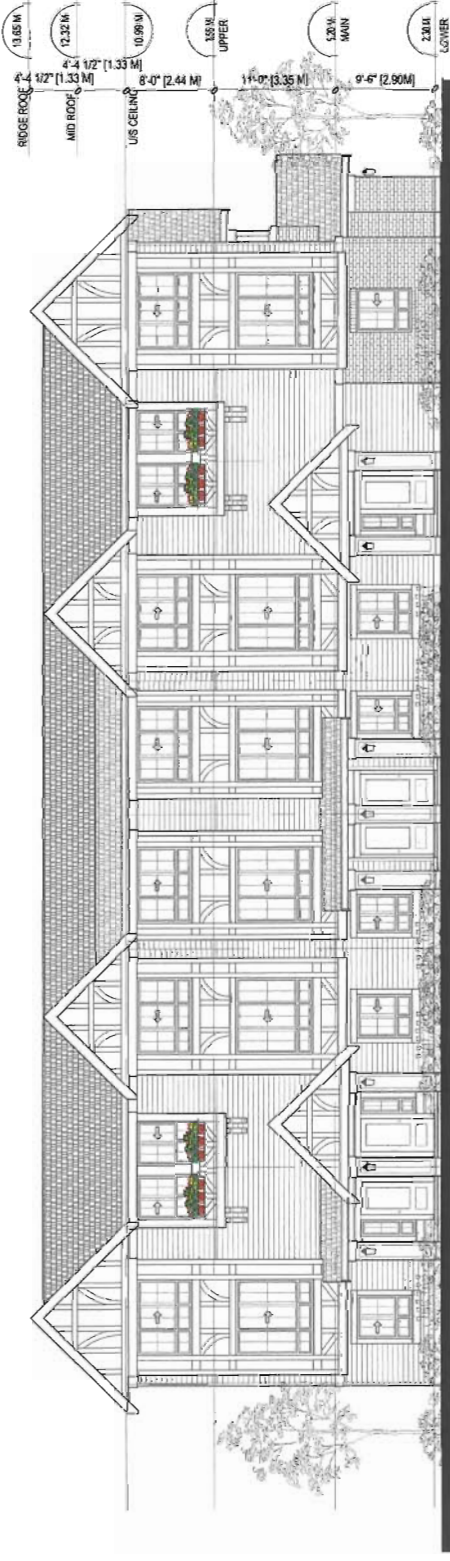
CHECKED: KSH

PROJECT NO. 1321

DWG. NO.

A4.2

D.P. No:
B.P. No:



A1-end

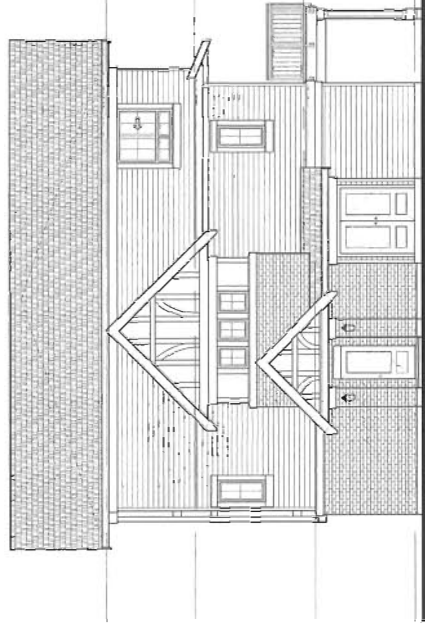
A2

AF1 AF1
MEWS ELEVATION

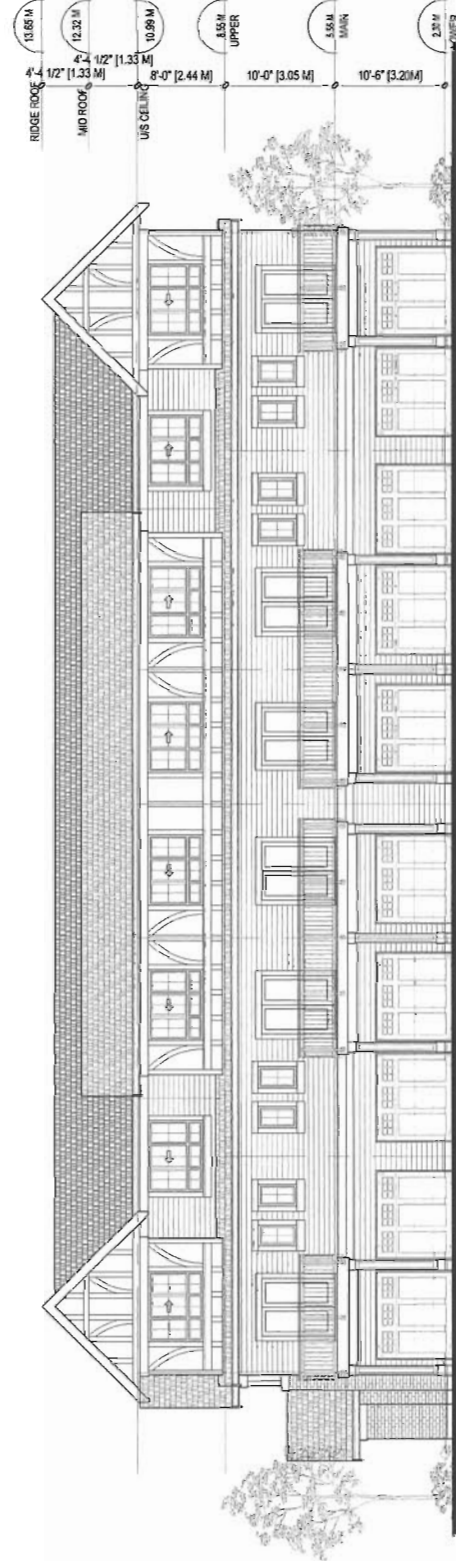
A2

A1

**A1-end SIDE ELEVATION WITH
ELECTRICAL ROOM (TH-5, 8, 12 & 13)**



**A1-end SIDE ELEVATION WITH
ELECTRICAL ROOM (TH-4)**



A1

A2

AF1

AF1

A2

A1-end

INTERNAL ROAD ELEVATION

A1 SIDE ELEVATION

DP 15-692659-20



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ARCHITECTURAL SEAL:



CLIENT:
Kingsley Estates
10388 No. 2 Rd. Richmond, BC

DRAWING TITLE:
ELEVATIONS
TOWNHOUSE 2, 3, 6, 7, 10,
11, 14 & 15

DATABASE: 1321-A4.0.dwg

SCALE: 1/8"=1'-0"

PLOTDATE: 21 APRIL 2015

DRAWN: CJ

CHECKED: KSH

PROJECT NO. 1321

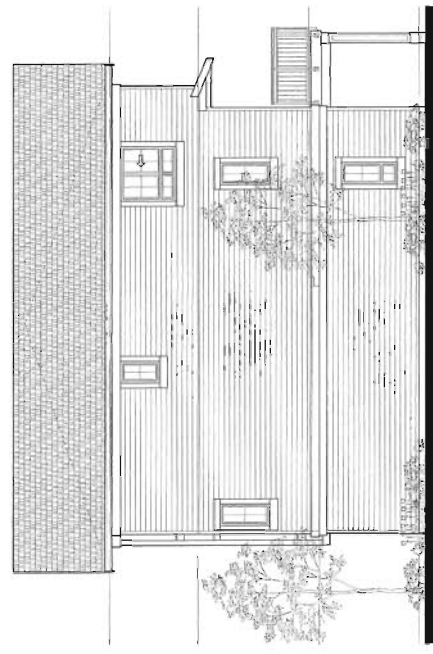
DWG. NO.

A4.4

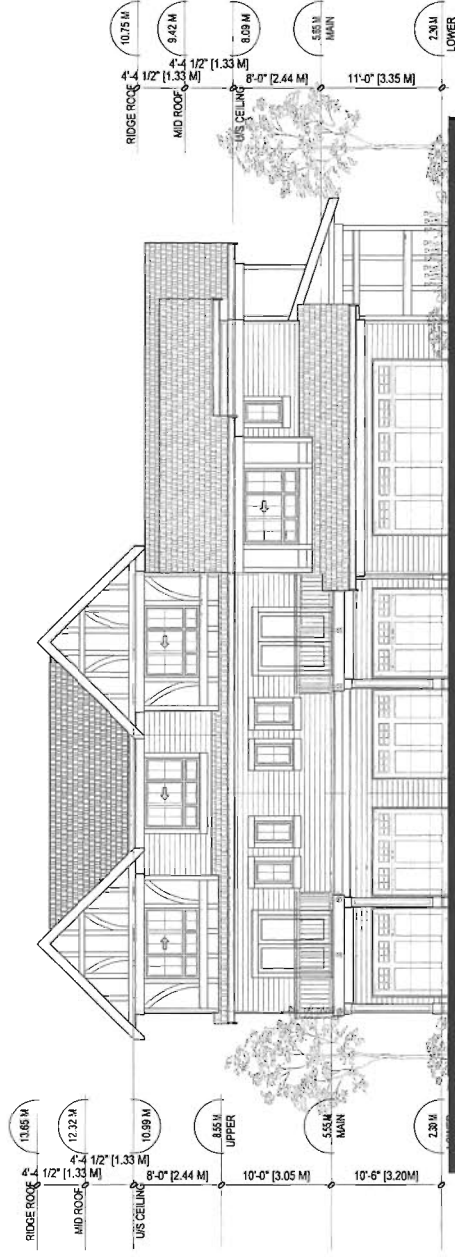
D.P. No:
B.P. No:



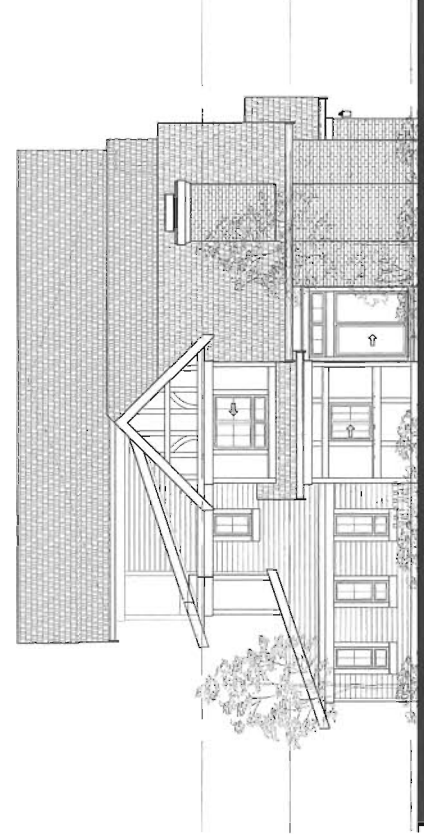
C A1 A1 A2
MEWS ELEVATION



A2 SIDE ELEVATION



A2 A1 C
INTERNAL ROAD ELEVATION



C SIDE ELEVATION

DP 15-692659-22



Rositch Hemphill Architects

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11 FEB 2015

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ARCHITECTURAL SEAL

CLIENT: **POLYGON**
10388 No. 2 Rd. Richmond, BC

PROJECT: **Kingsley Estates**
10388 No. 2 Rd. Richmond, BC

DRAWING TITLE:
**ELEVATIONS
TOWNHOUSE 24, 25, 26,
27 & 28**

DATE: 1321-A4.Dwg

SCALE: 1/8"=1'-0"

PLOT DATE: 21 APRIL 2015

DRAWN: CJ

CHECKED: KSH

PROJECT NO. 1321

DWG. NO.

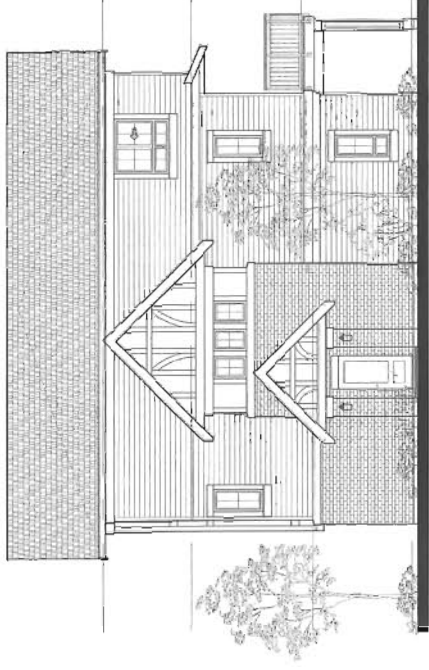
A4.5

D.P. No:

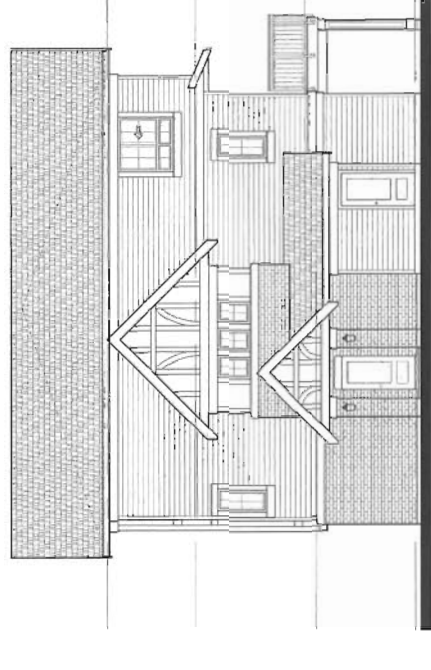
E.P. No:



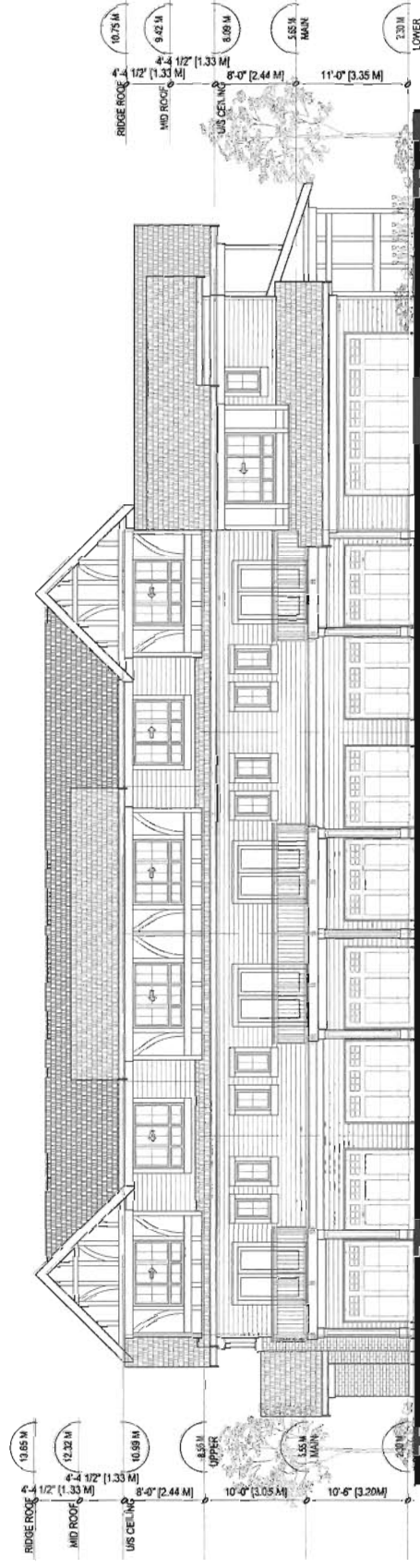
C A1 A2 A2 A1
MEWS ELEVATION A1-END



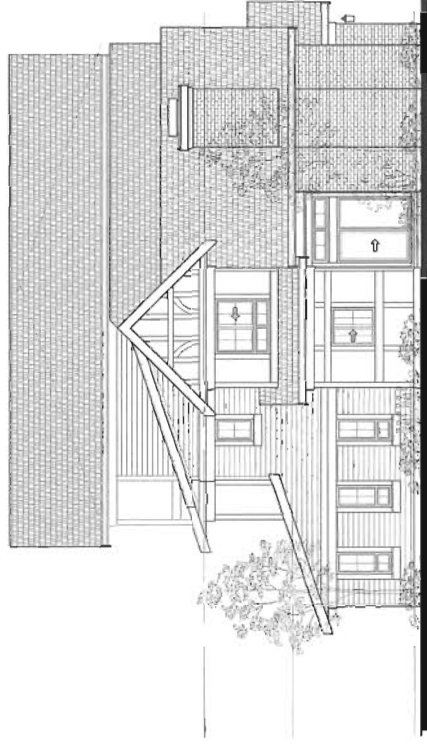
A1-END SIDE ELEVATION (TH-25 & 27)



A1-END SIDE ELEVATION WITH
ELECTRICAL ROOM (TH-24, 26 & 28)



A1-END A2 A2 A1 C
INTERNAL ROAD ELEVATION C



C SIDE ELEVATION

DP 15-692659-23



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Vancouver, BC Canada
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11 FEB 2015

ISSUED FOR
DP UPDATE
20 APRIL 2015

NO. REVISION: DATE:

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ARCHITECTURAL SEAL:



CLIENT:
Kingsley Estates
10986 No. 2 Rd. Richmond, BC

PROJECT:
ELEVATIONS
TOWNHOUSE 18 & 21

DRAWING TITLE:
1321-A4.0.dwg
SCALE: 1/8"=1'-0"
PLOTDATE: 21 APRIL 2015
DRAWN: CJ
CHECKED: KSH

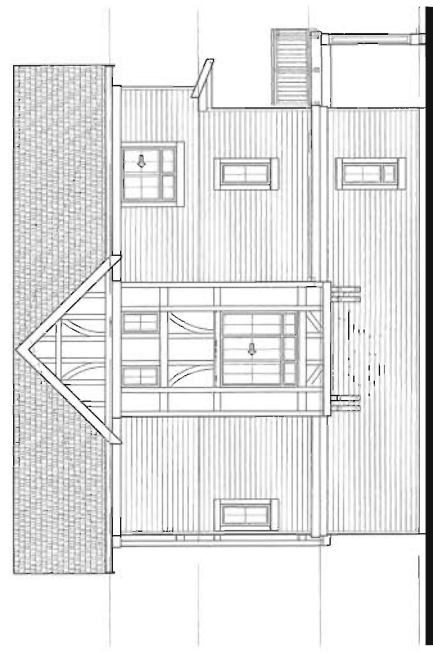
PROJECT NO: **1321**



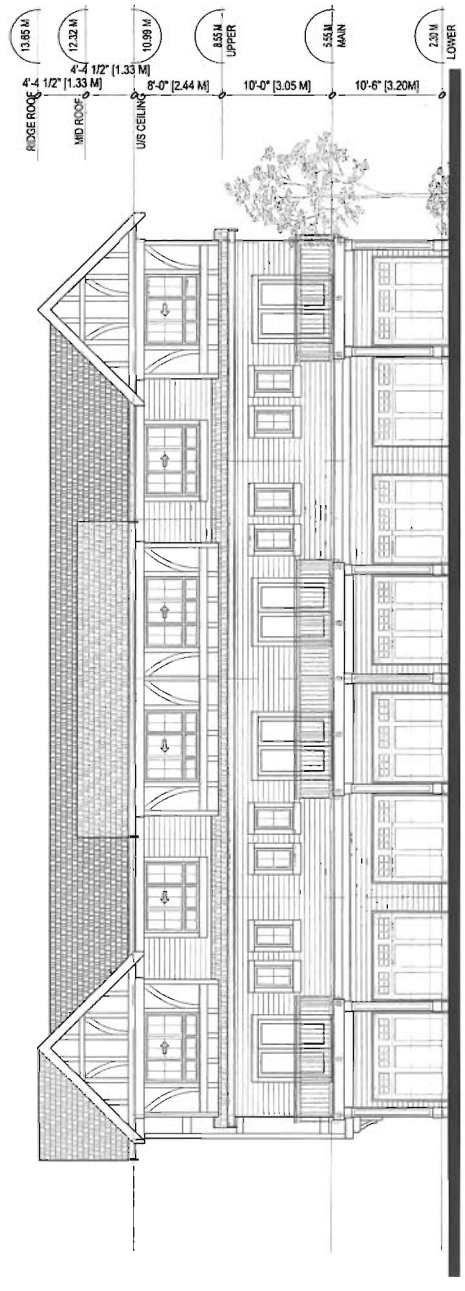
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E.P. No:



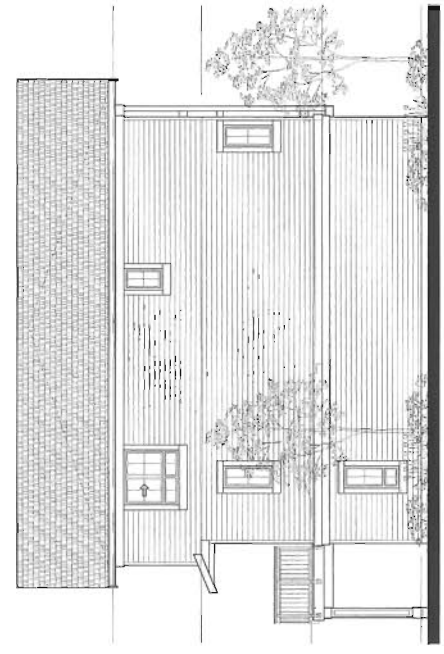
A1 A2 A2 A1b
MEWS ELEVATION



A1b SIDE ELEVATION



A1b A2 A2 A1
INTERNAL ROAD ELEVATION



A1 SIDE ELEVATION

DP 15-692659-24



Rositch Hemphill Architects

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Vancouver, BC Canada
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1. DP APPLICATION

DATE:
11 FEB 2015

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ARCHITECTURAL SEAL

CLIENT:



PROJECT:
Kingsley Estates
10388 No. 2 Rd. Richmond, BC

DRAWING TITLE:
ELEVATIONS
TOWNHOUSE 17, 19 & 23

DATABASE: 1321-A4.D.dwg
SCALE: 1/8"=1'-0"
PLOTDATE: 21 APRIL 2015
DRAWN: CJ
CHECKED: KSH

PROJECT NO.: **1321**

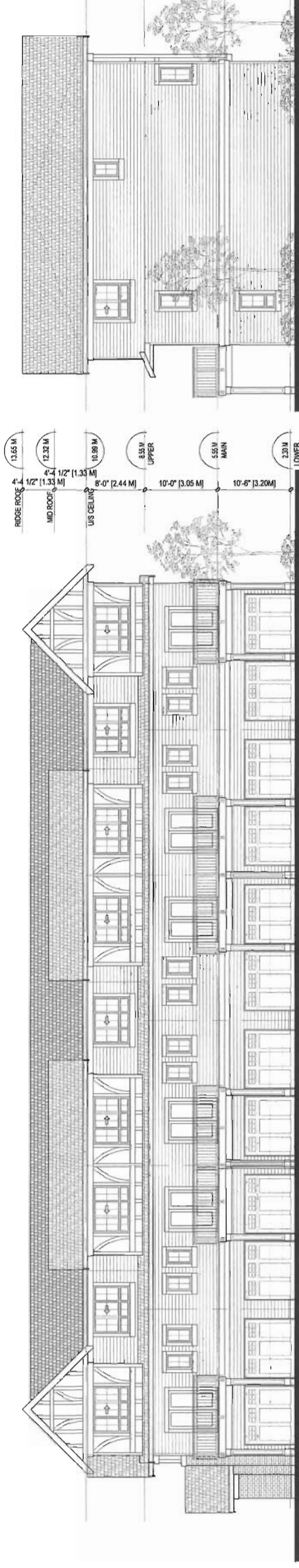
DWG. NO.

A4.8

DP No:
EP No:



A1-END SIDE ELEVATION



A1 SIDE ELEVATION



A1-END A2 A1
INTERNAL ROAD ELEVATION

A1 A2 A1
MEWS ELEVATION

DP 1 A1 SIDE ELEVATION (19) 2659-26



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120 Powell Street, Unit 10
Vancouver, BC Canada
V6A 1G1

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1. DP APPLICATION

DATE:
11 FEB 2015

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DP UPDATE
20 APRIL 2015

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CLIENT:
POLYGON
Suite 100 - 1315 West Broadway, Vancouver, BC
Canada V6H 2K7 | (604) 671-1121 | (604) 671-4105

PROJECT:
Kingsley Estates
10388 No. 2 Rd. Richmond, BC

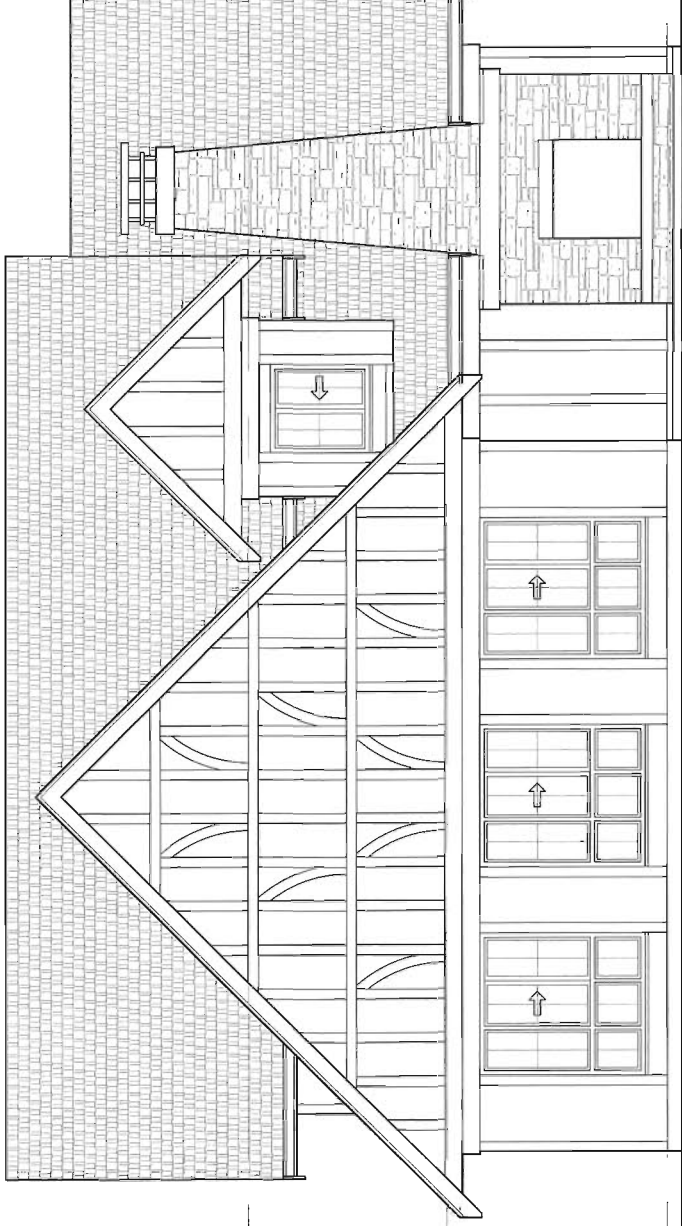
DRAWING TITLE:
ELEVATIONS
AMENITY BUILDING

DATABASE: 1321-A3-4.dwg
SCALE: 1/4"=1'-0"
PLOTDATE: 25 FEBRUARY 2015
DRAWN: CJ
CHECKED: KSH

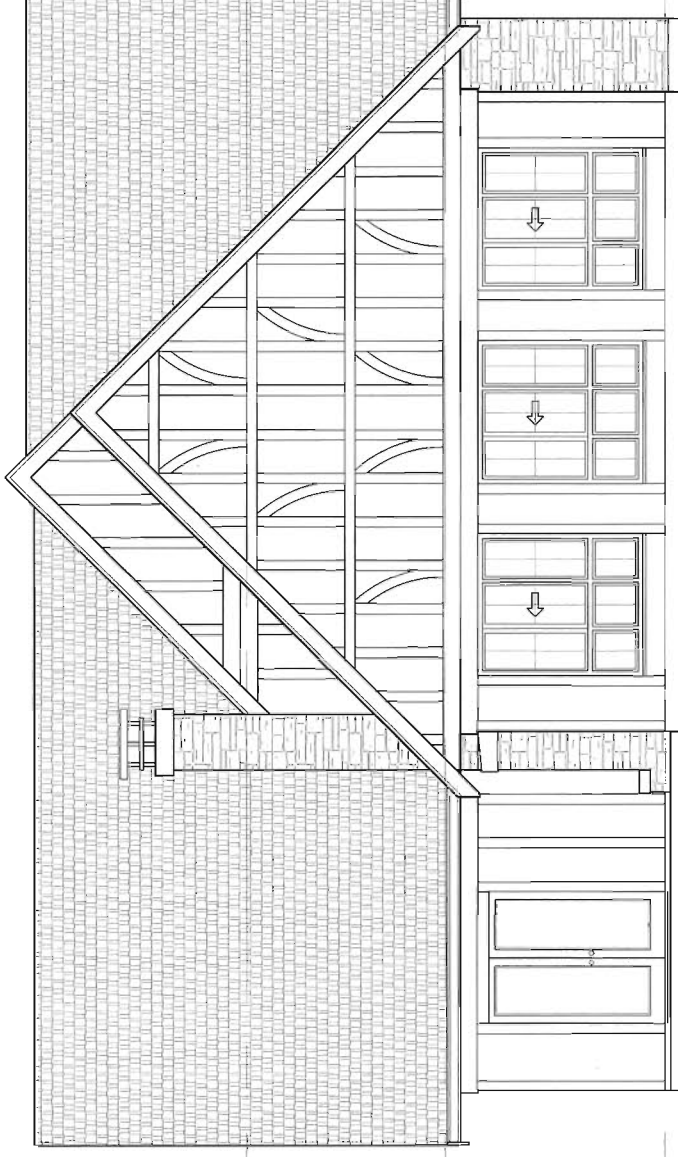
PROJECT NO. **1321**

DWG. NO.
A4.9

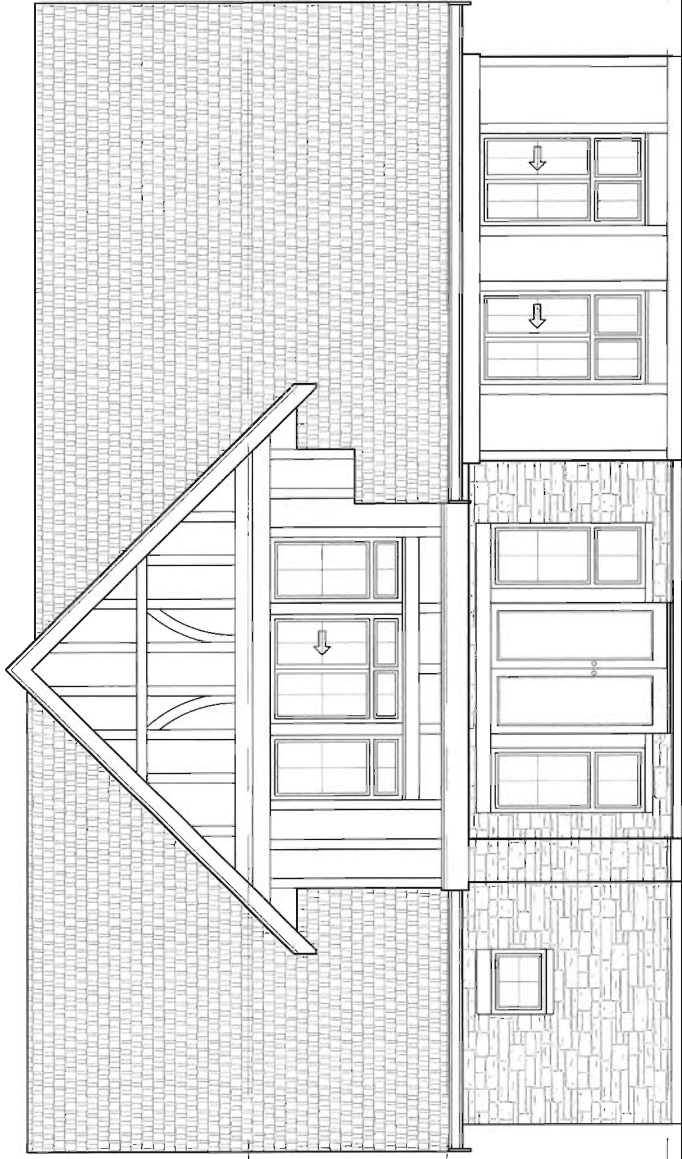
D.P. No:
B.P. No:



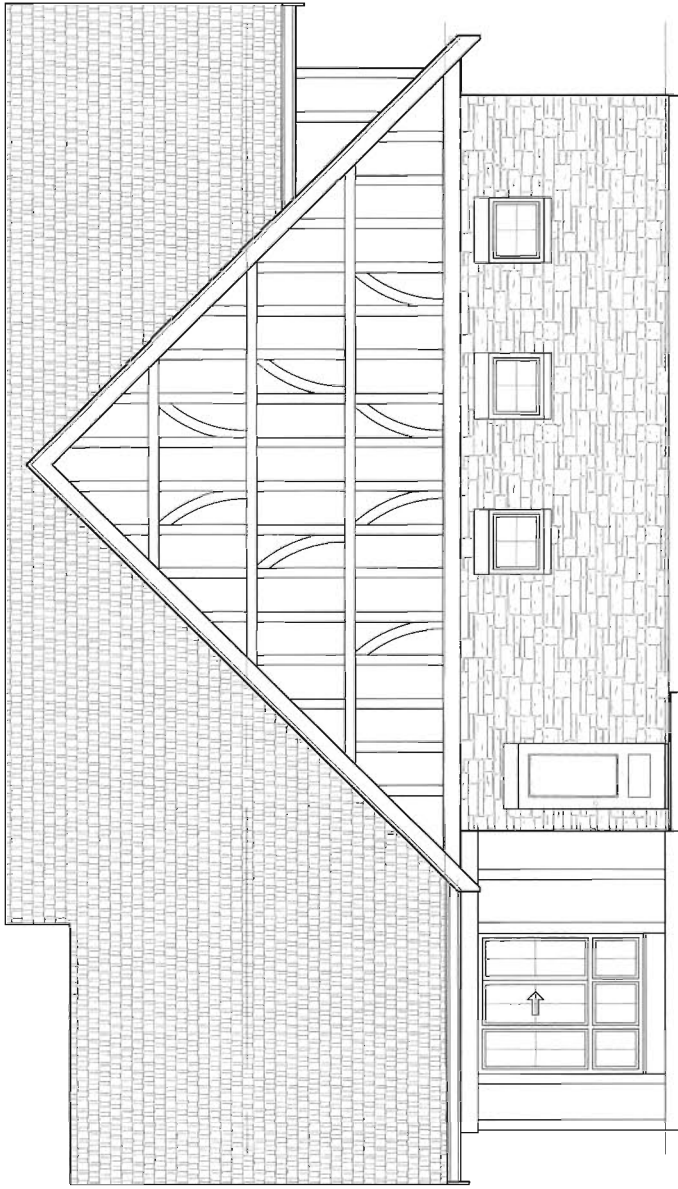
2 SOUTH ELEVATION (INTERNAL ROAD)
SCALE 1/8" = 1'-0"



4 EAST ELEVATION (OUTDOOR AMENITY)
SCALE 1/8" = 1'-0"



1 WEST ELEVATION (TOWARDS No. 2 ROAD)
SCALE 1/8" = 1'-0"



3 NORTH ELEVATION (PATHWAY)
SCALE 1/8" = 1'-0"

DP 15-692659-27



Rositch Hemphill Architects

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Vancouver, BC Canada
V6A 1G1

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1. DP APPLICATION

DATE:
11 FEB 2015

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20 APRIL 2015

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ARCHITECTURAL SEAL:

CLIENT:



10388 No. 2 Rd. Richmond, BC

PROJECT:
Kingsley Estates

10388 No. 2 Rd. Richmond, BC

DRAWING TITLE:

UNIT PLANS
UNIT TYPE A1

DATABASE: 1321-A7.0.dwg

SCALE: 1/4"=1'-0"

PLOTDATE: 25 FEBRUARY 2015

DRAWN: CJ

CHECKED: KSH

PROJECT NO. 1321

DWG. NO.

A7.1



1 1ST FLOOR PLAN
SCALE 1/4" = 1'-0"

2 2ND FLOOR PLAN
SCALE 1/4" = 1'-0"

3 3RD FLOOR PLAN
SCALE 1/4" = 1'-0"

DP 15-692659-28



Rositch Hemphill Architects

120 Powell Street, Unit 10
Vancouver, BC Canada
V6A 1G1

t 604.669.6002
f 604.669.1091

www.rharchitects.ca

ISSUED:
1. DP APPLICATION

DATE:
11 FEB 2015

ISSUED FOR
DP UPDATE
20 APRIL 2015

NO. REVISION:

DATE:

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ARCHITECTURAL SEAL

CLIENT:



POLYGON
3407 7th St - 11th Fl - North Vancouver, BC
Coastal: 604.271.1111 | Fax: 604.271.1112

PROJECT:

Kingsley Estates
10388 No. 2 Rd. Richmond, BC

DRAWING TITLE:

UNIT PLANS
UNIT TYPE A2

DATABASE: 1321-A7.0.dwg

SCALE: 1/4"=1'-0"

PLOTDATE: 25 FEBRUARY 2015

DRAWN: CJ

CHECKED: KSH

PROJECT NO. **1321**

DWG. NO.

A7.3



1 1ST FLOOR PLAN
SCALE 1/4" = 1'-0"

2 2ND FLOOR PLAN
SCALE 1/4" = 1'-0"

3 3RD FLOOR PLAN
SCALE 1/4" = 1'-0"

DP 15-692659-31



Rositch Hemphill Architects

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ARCHITECTURAL SEAL:

CLIENT: POLYGON
1000 West 27th Avenue, Suite 100
Vancouver, BC V6P 6E6
Phone: 984-2188 ext. 1137 fax: 984-4228

PROJECT: Kingsley Estates
10388 No. 2 Rd, Richmond, BC

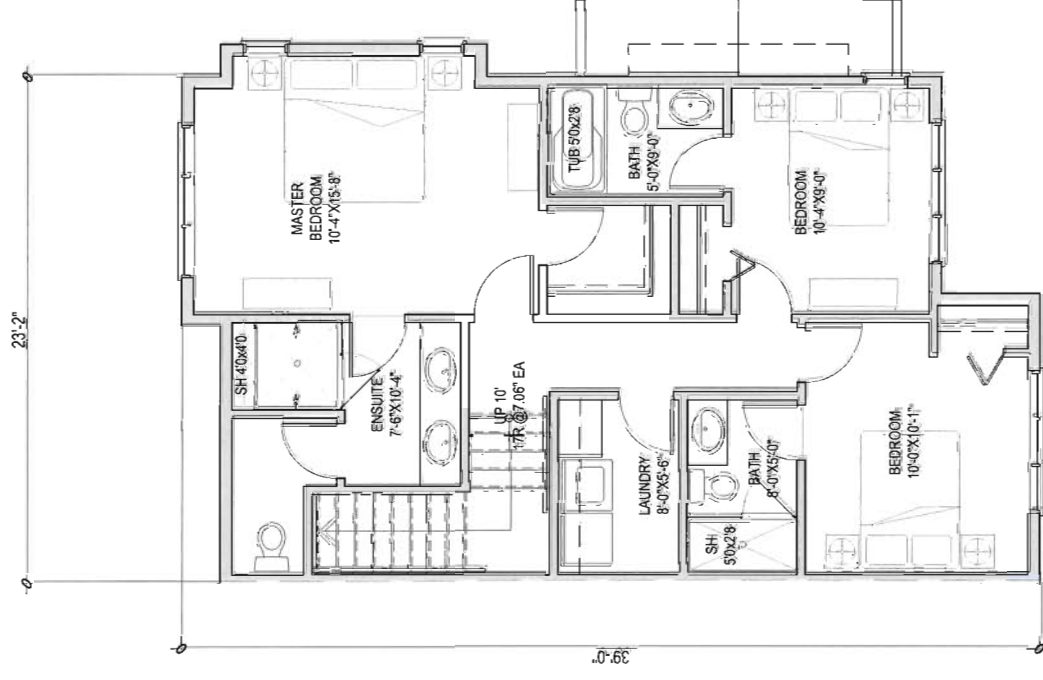
DRAWING TITLE:
UNIT PLANS
UNIT TYPE B

DATABASE: 1321-A7.0.dwg
SCALE: 1/4"=1'-0"
PLOTDATE: 25 FEBRUARY 2015
DRAWN: CJ
CHECKED: KSH

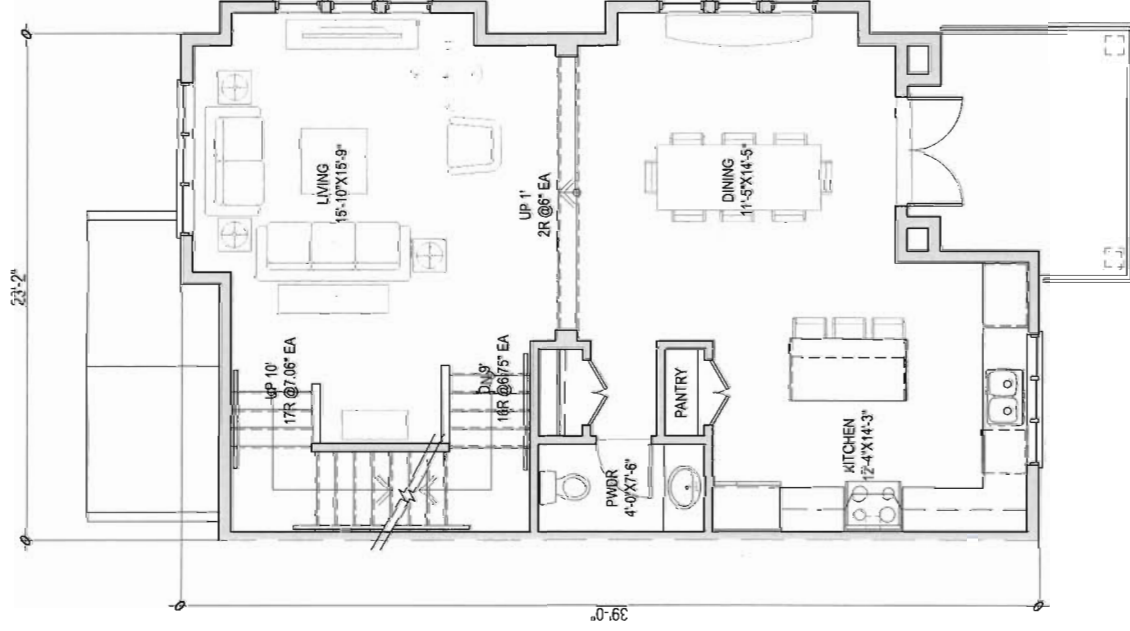
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DWG. NO.

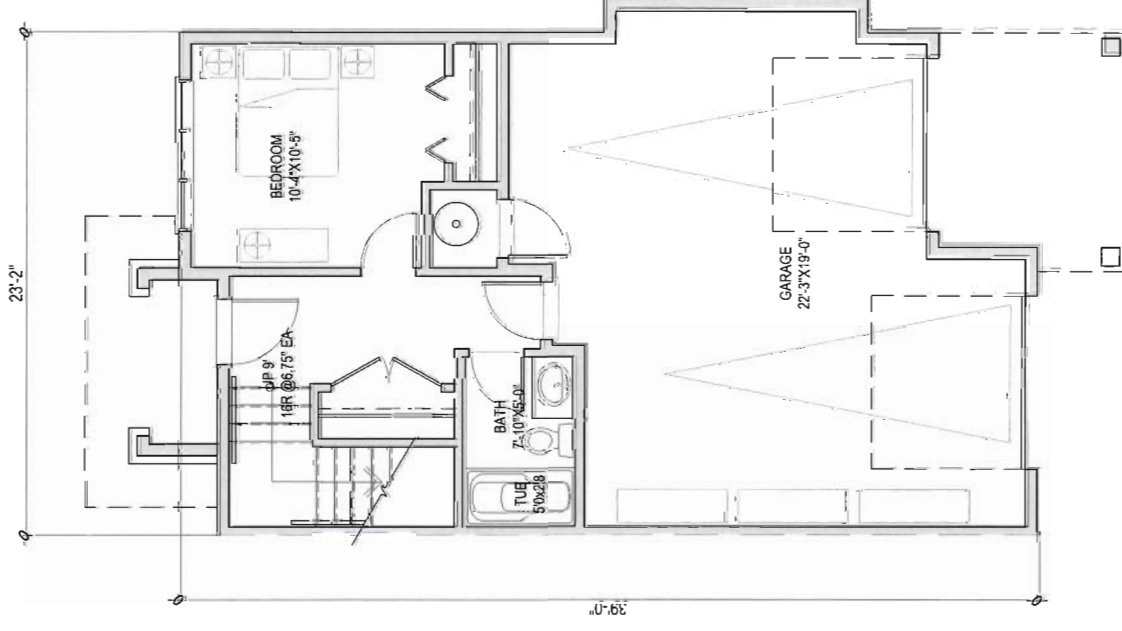
A7.4



3 3RD FLOOR PLAN
SCALE 1/4" = 1'-0"



2 2ND FLOOR PLAN
SCALE 1/4" = 1'-0"



1 1ST FLOOR PLAN
SCALE 1/4" = 1'-0"

DP 15-692659-32



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CLIENT: **POLYGON**
POLYMER GROUP INC.
10388 No. 2 Rd., Richmond, BC
Canada V6V 1K2 (604)271-1137 (604)271-8292

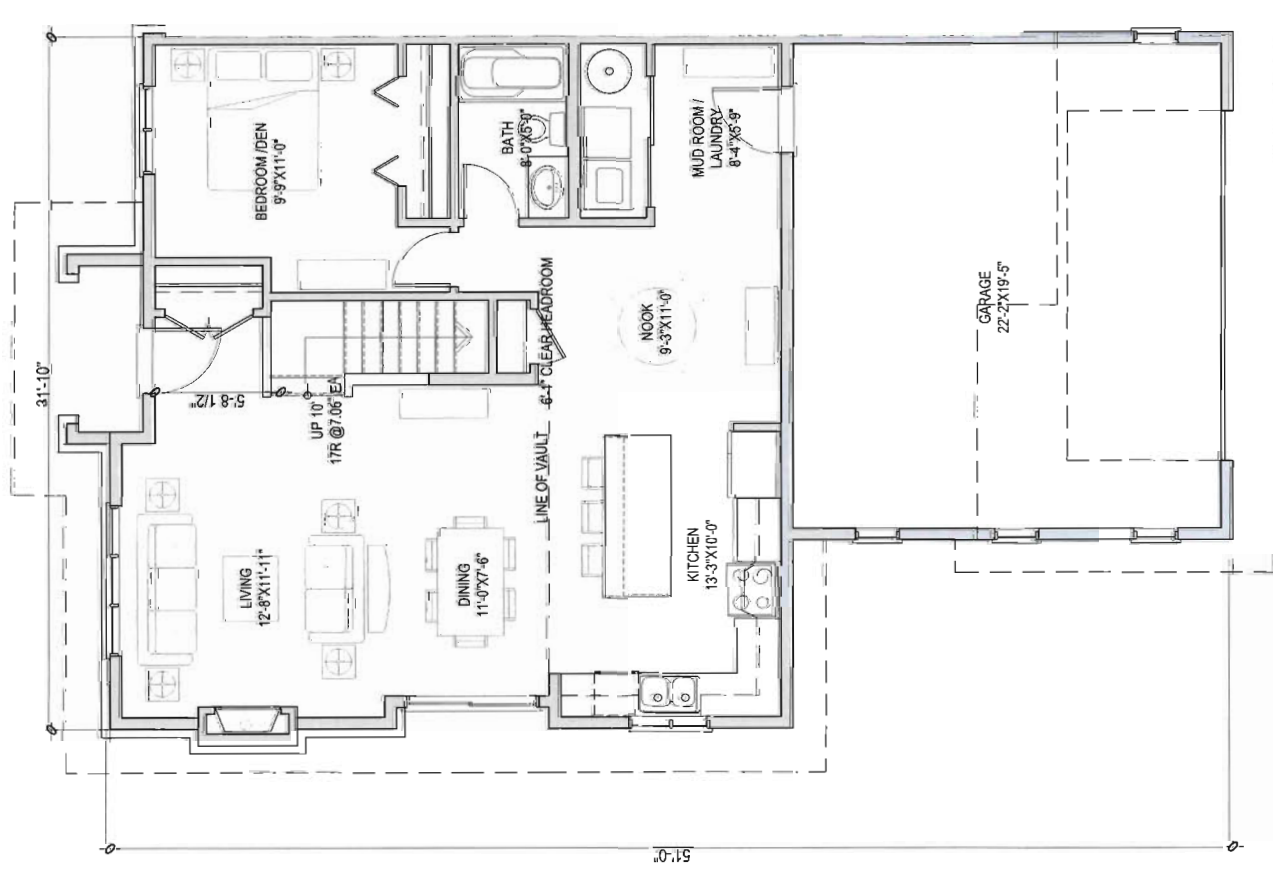
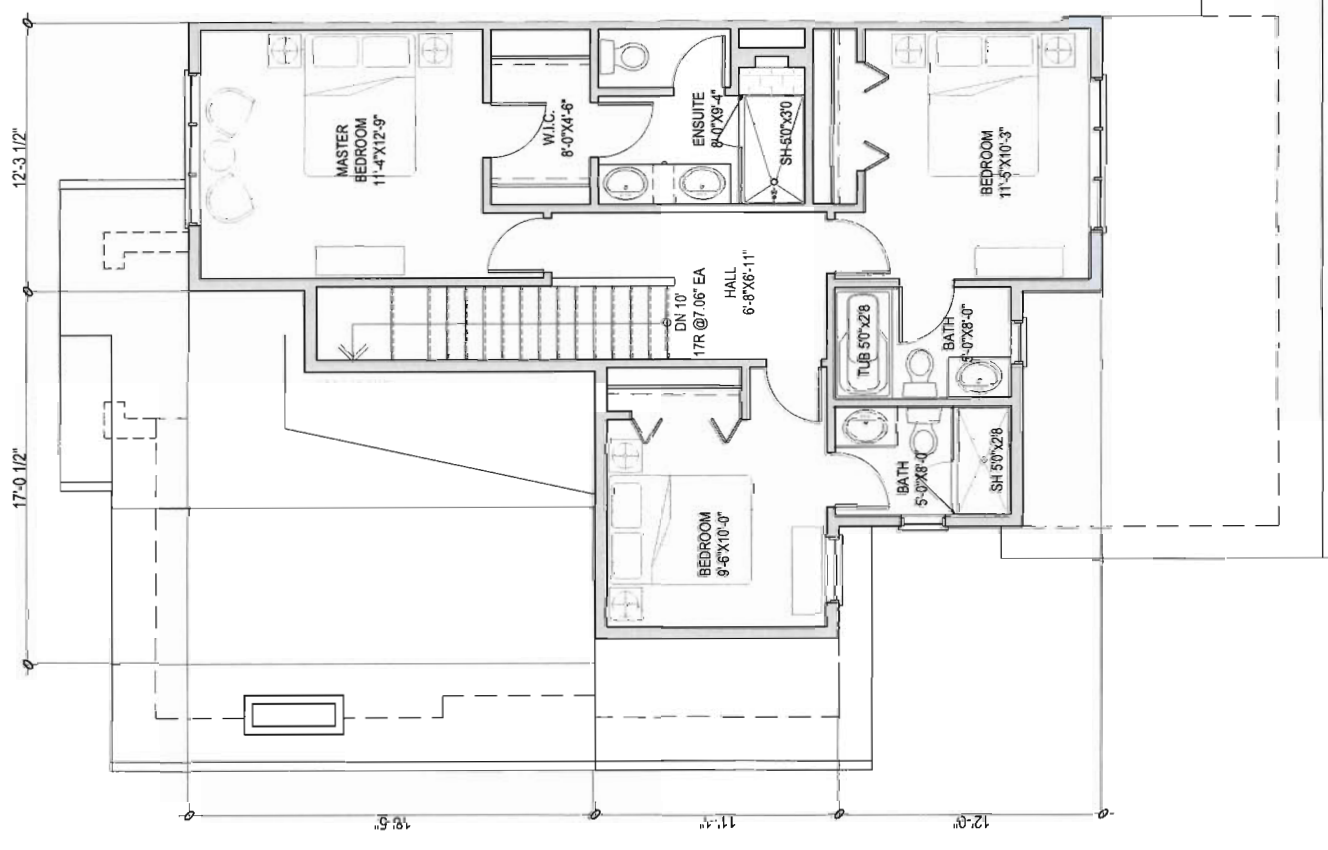
PROJECT: **Kingsley Estates**
10388 No. 2 Rd., Richmond, BC

DRAWING TITLE:
UNIT PLANS
UNIT TYPE C

DATABASE: 1321-A7.0.dwg
SCALE: 1/4"=1'-0"
PLOTDATE: 25 FEBRUARY 2015
DRAWN: CJ
CHECKED: KSH

PROJECT NO. **1321**

DWG. NO. **A7.5**



1. 1ST FLOOR PLAN
SCALE 1/4" = 1'-0"

2. 2ND FLOOR PLAN
SCALE 1/4" = 1'-0"

DP 15-692659-33



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DATE: _____

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ARCHITECTURAL SEAL

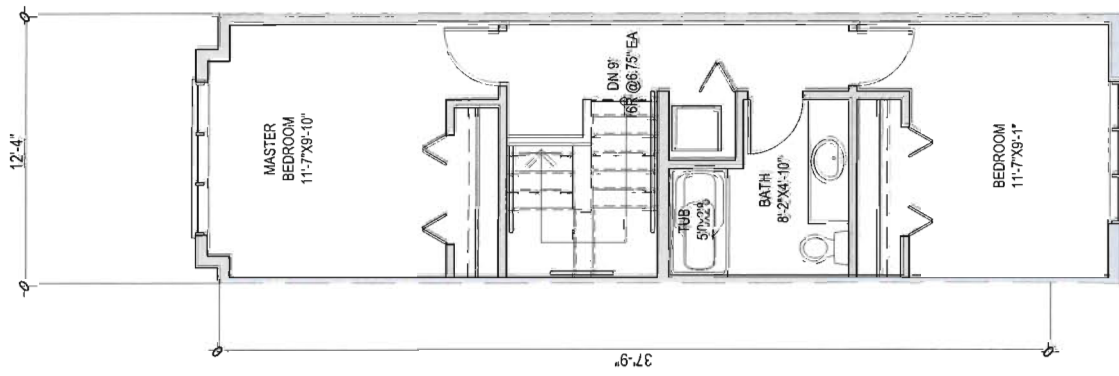
CLIENT: **POLYGON**
10388 No. 2 Rd. Richmond, BC

PROJECT: **Kingsley Estates**
10388 No. 2 Rd. Richmond, BC

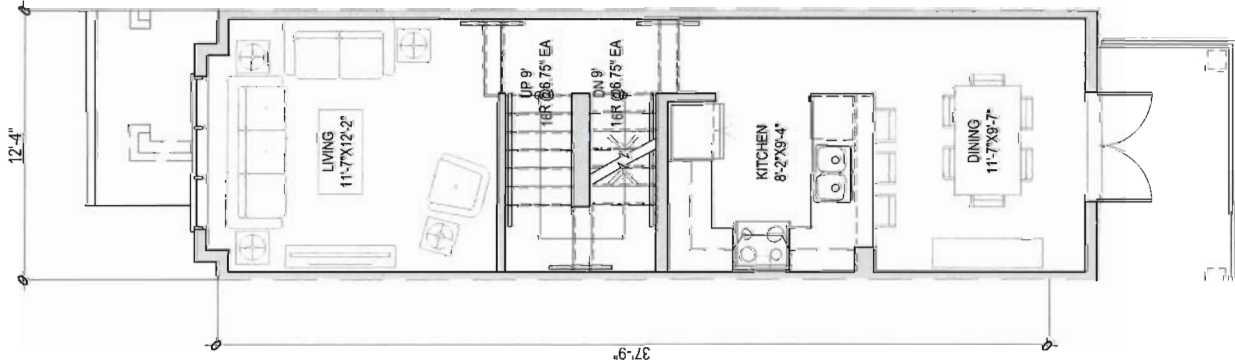
DRAWING TITLE:
UNIT PLANS
UNIT TYPE AF

DATABASE: 1321-A7.0.dwg
SCALE: 1/4"=1'-0"
PLOTDATE: 25 FEBRUARY 2015
DRAWN: CJ
CHECKED: KSH
PROJECT NO. **1321**

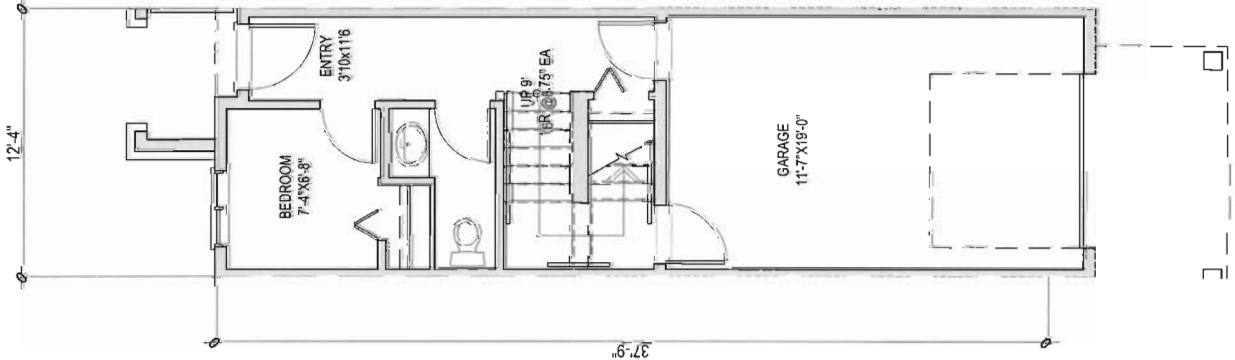
DWG. NO. **A7.6**



3 3RD FLOOR PLAN
SCALE 1/8" = 1'-0"



2 2ND FLOOR PLAN
SCALE 1/8" = 1'-0"



1 1ST FLOOR PLAN
SCALE 1/8" = 1'-0"

DP 15-692659-34

HA A

Landscape Architecture
Urban Design
403 - 375 West Fifth Avenue
Vancouver, BC, V6T 1J6
604.909.4150
hapa.co.com



No.	Description	Date
2.	DP Redaction	May 4, 2015
1.	DP Submission	April 24, 2015



340 905 - 133 7th Street, Vancouver, BC
604.261.2600 ext. 101/102

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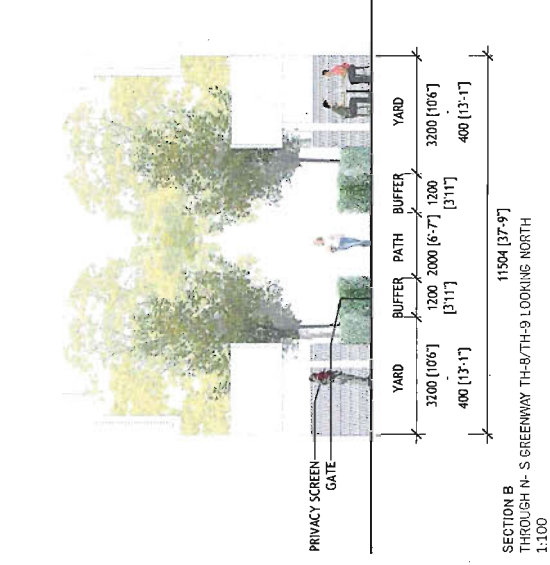
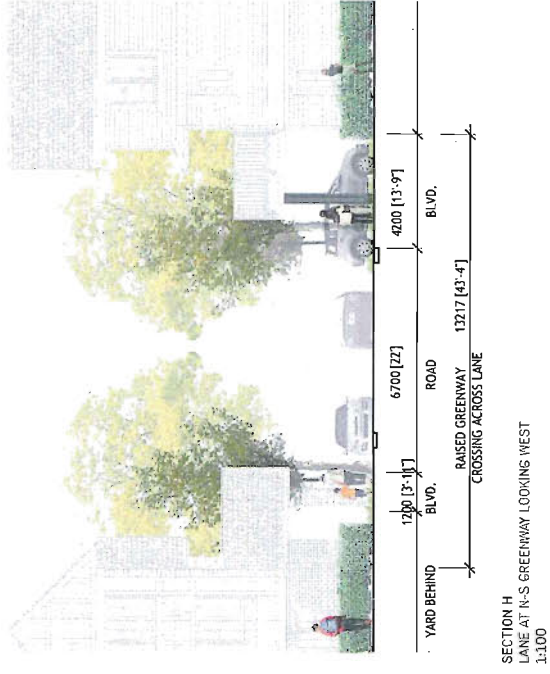
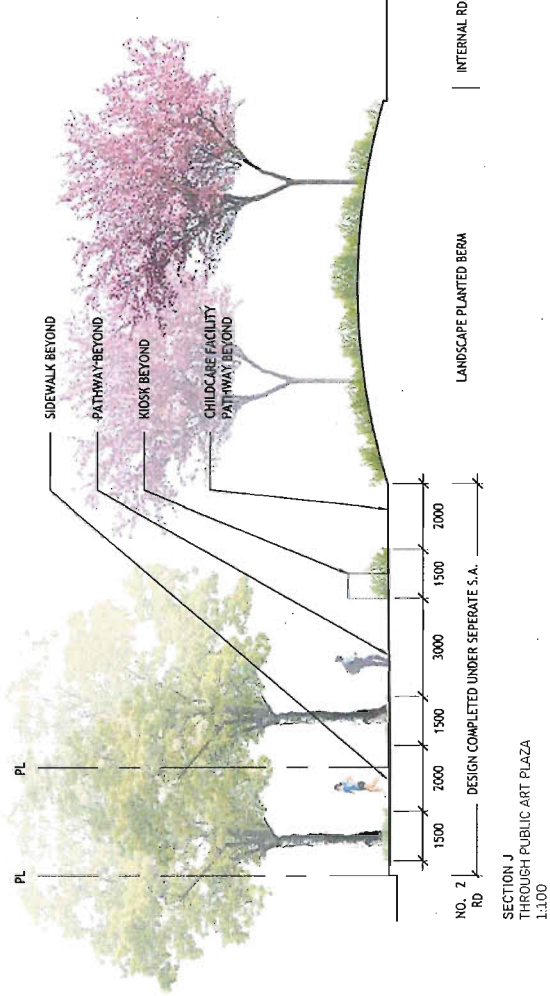
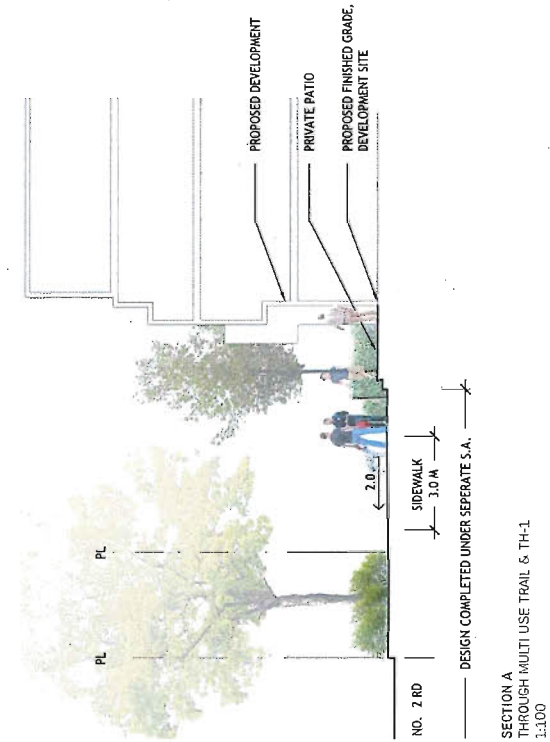
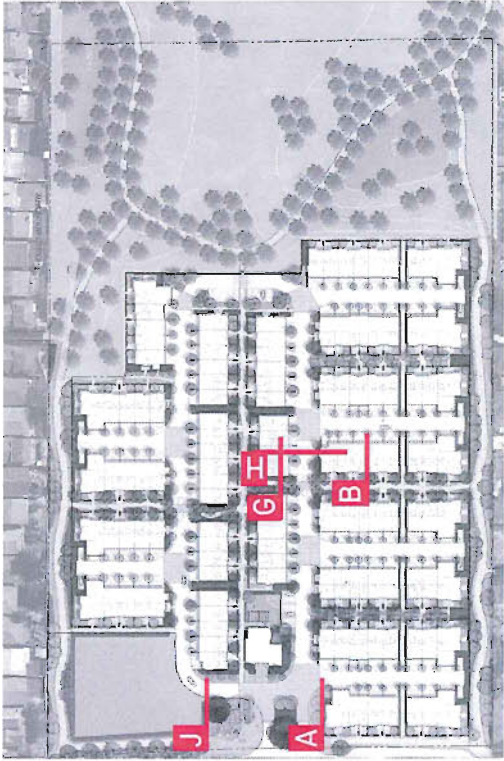
KINGSLEY ESTATES

LANDSCAPE CONCEPT PLAN

Date	April 24, 2015	Drawing Number	
Project No.	1338	Scale	as shown
Author	W. Wong	Drawn by	W. Wong
Checked by	W. Wong	Project Manager	W. Wong

LL.01

DP 15-by 2659-35



LANDSCAPE SECTIONS

HA A
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Urban Design
403 - 375 West Fifth Avenue
Vancouver BC, V5T 1J8
604 909 4150
happacc@co.com

No.	Description	Date
2.	DP Refinement	May 4, 2015
1.	DP Submission	April 21, 2015

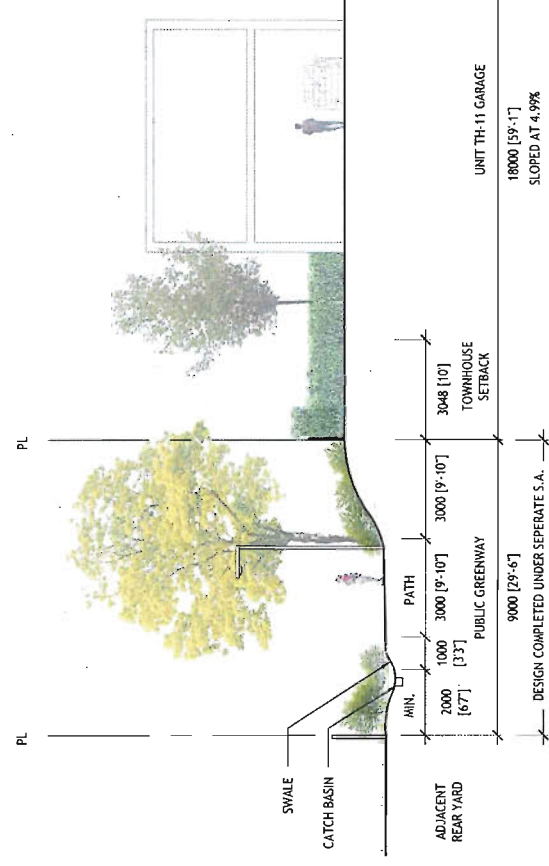
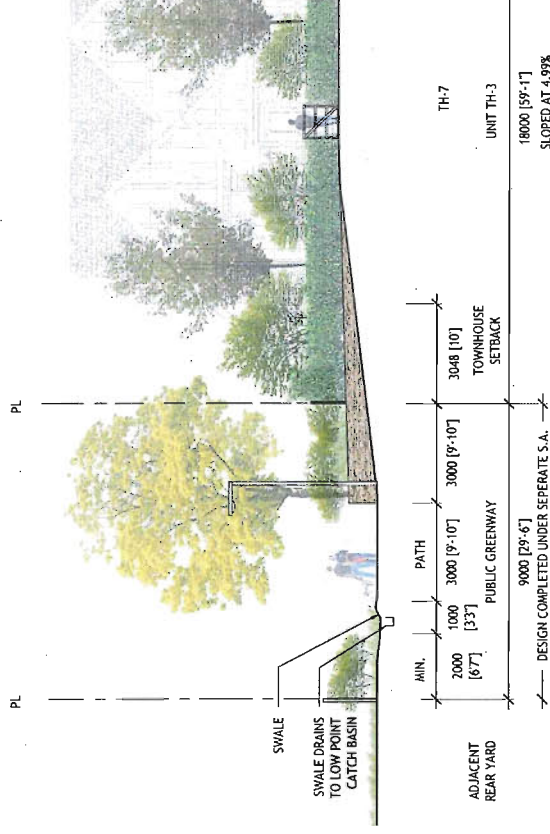
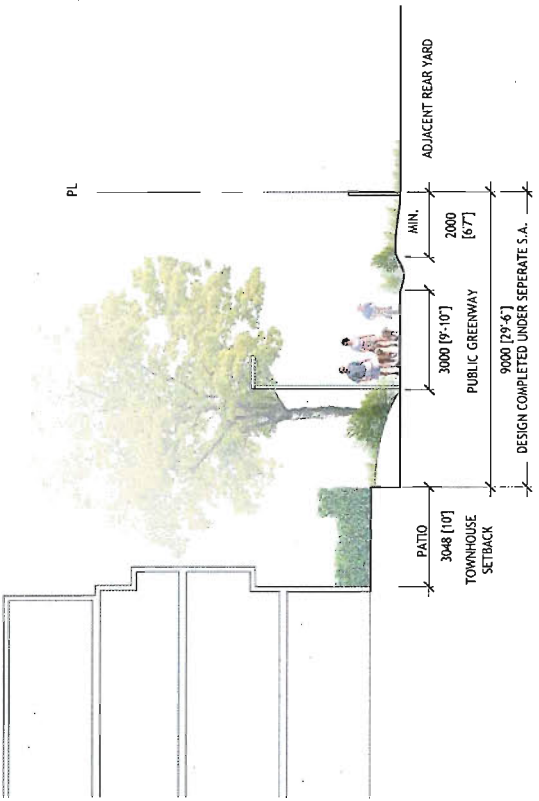
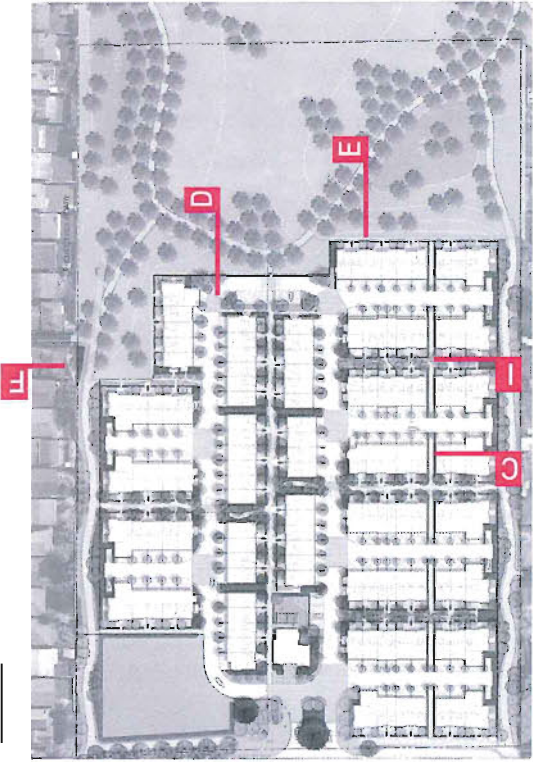
POLYGON
540 902 - 133 West Broadway, Vancouver, BC
Crest #162 1000977-10370401-029

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KINGSLEY ESTATES

Date	April 21, 2015	Drawing Number	
Project No.	1338	Scale	As Shown
Drawn/Checked	WDS	Scale	As Shown

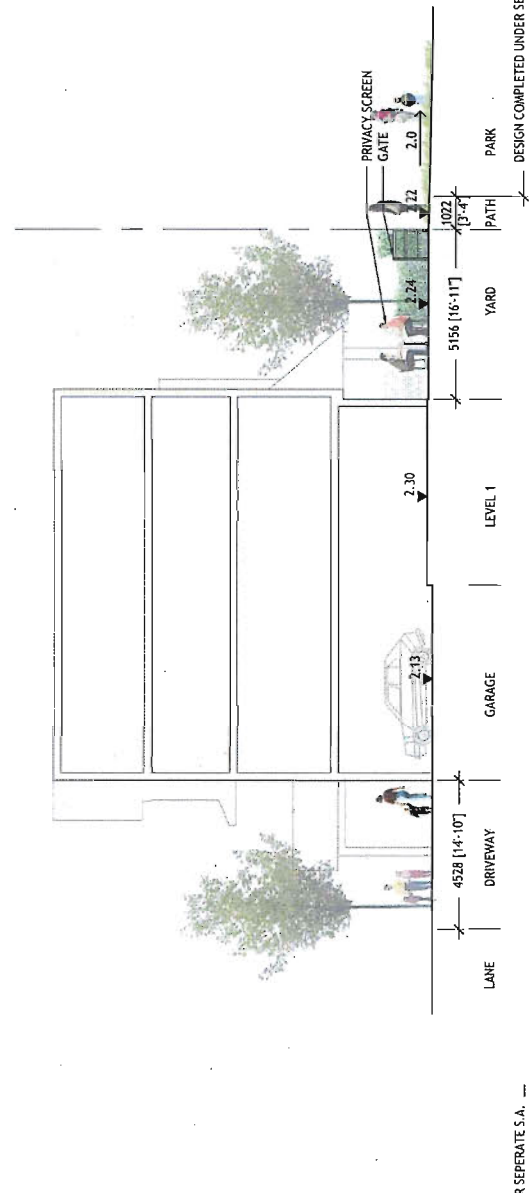
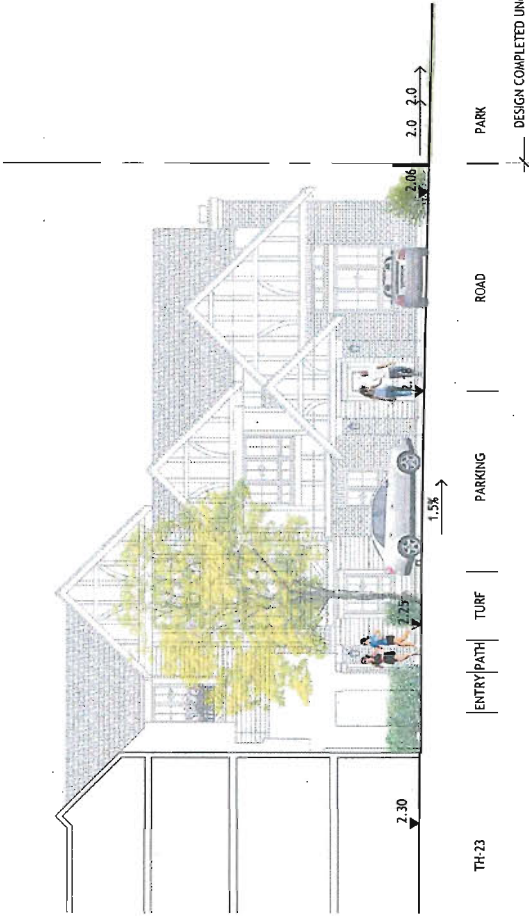
DP 15-692659-36
LL02



SECTION F
 THROUGH NORTH PUBLIC GREENWAY & TH-25 LOOKING WEST
 1:100

SECTION C
 THROUGH SOUTH PUBLIC GREENWAY & TH-7 LOOKING WEST
 1:100

SECTION I
 THROUGH SOUTH PUBLIC GREENWAY & TH-7 LOOKING WEST
 1:100



SECTION D
 THROUGH TH-23, LANE & PARK
 1:100

SECTION E
 THROUGH TH-16 AND PARK LOOKING NORTH
 1:100

No.	Description	Date
2.	DP Re-submission	May 4, 2015
1.	DP Submission	April 21, 2015



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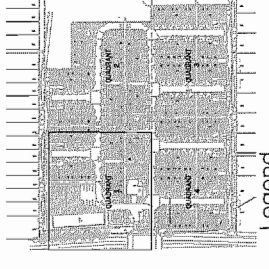
LANDSCAPE SECTIONS
 DEVELOPMENT - PARK

Date:	April 21, 2015	Drawing Number:	L1.03
Project No.:	1138	Scale:	As Shown
Author:	Designing	Drawn/Checked:	VJ/DS

DP 15-692659-37

HAPA

Landscape Architecture
Urban Design
403 - 375 West Fifth Avenue
Wilmington, NC, 28401
910.343.4150
hapa@hapa.com



Legend

400.00	PROPOSED ELEVATION
41W	TOP OF WALL
41B	BOTTOM OF WALL
4FE	FINISH FLOOR ELEVATION
41B	TOP OF BENCH
41D	AREA DRAIN
41S	TRENCH DRAIN
41S	TOP OF STAIRS
41C	BOTTOM OF STAIRS
41C	TOP OF CURB
41C	BOTTOM OF CURB
400.00	FINISH FLOOR ELEVATION AS PER SURVEY
40.0 X	DIRECTION OF SLOPE
41D	PLANTER DRAIN

LEGEND:

(Symbol)	EXTENT OF WORK
(Symbol)	ASPHALT - SEE CIVIL
(Symbol)	PAVING TYPE A TYP. - CLIP CONCRETE
(Symbol)	PAVING TYPE B TYP. - INTERLOCKING CONCRETE
(Symbol)	PAVING TYPE C TYP. - STAMMED ASPHALT

2	DP Submission	May 04, 2015	Date
1	DP Submission	April 21, 2015	Date
No.	Description		Date



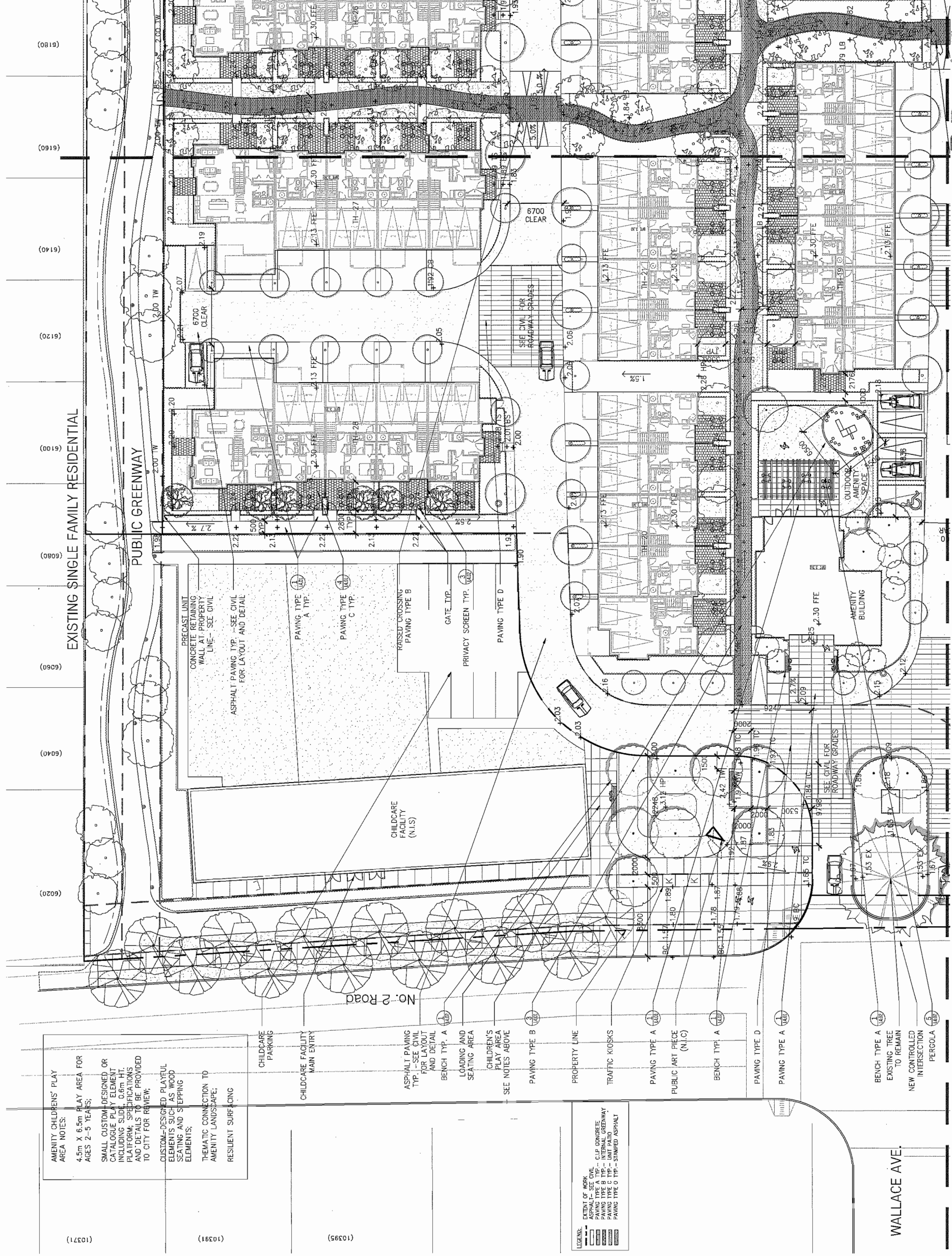
POLYGON
344 W. 133rd Street, Suite 100
Crestwood, MO 63117
631.231.1000

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KINGSLEY ESTATES

LANDSCAPE
LAYOUT, MATERIALS
& GRADING
QUANTIFY 1

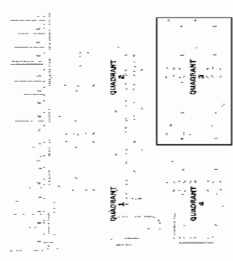
Date	April 21, 2015	Drawing Number	
Project No.	1338	Sheet	L2.01
Scale	AS SHOWN	Drawn/Checked	JMS



DP 15-69 2659-37
 L2.01

HA A

Landscape Architecture
Urban Design
403 - 375 West Fifth Avenue
Vancouver BC, V5Y 1J6
604 969 4150
happacbc.com



Legend

PROPOSED ELEVATION	+10.00
TOP OF WALL	+TW
BOTTOM OF WALL	+BW
FINISH FLOOR ELEVATION	+FE
TOP OF BENCH	+TB
AREA DRAIN	+AD
TRENCH DRAIN	+TD
TOP OF STAIRS	+TS
BOTTOM OF STAIRS	+BS
TOP OF CURB	+TC
BOTTOM OF CURB	+BC
FINISH GRADE ELEVATION AS PER SURVEY	+100.00
DIRECTION OF SLOPE	← 0.0 %
PLANTER DRAIN	+PD

No.	Description	Date
1.	DP Recommendations	May 04, 2015
2.	DP Submittals	April 21, 2015



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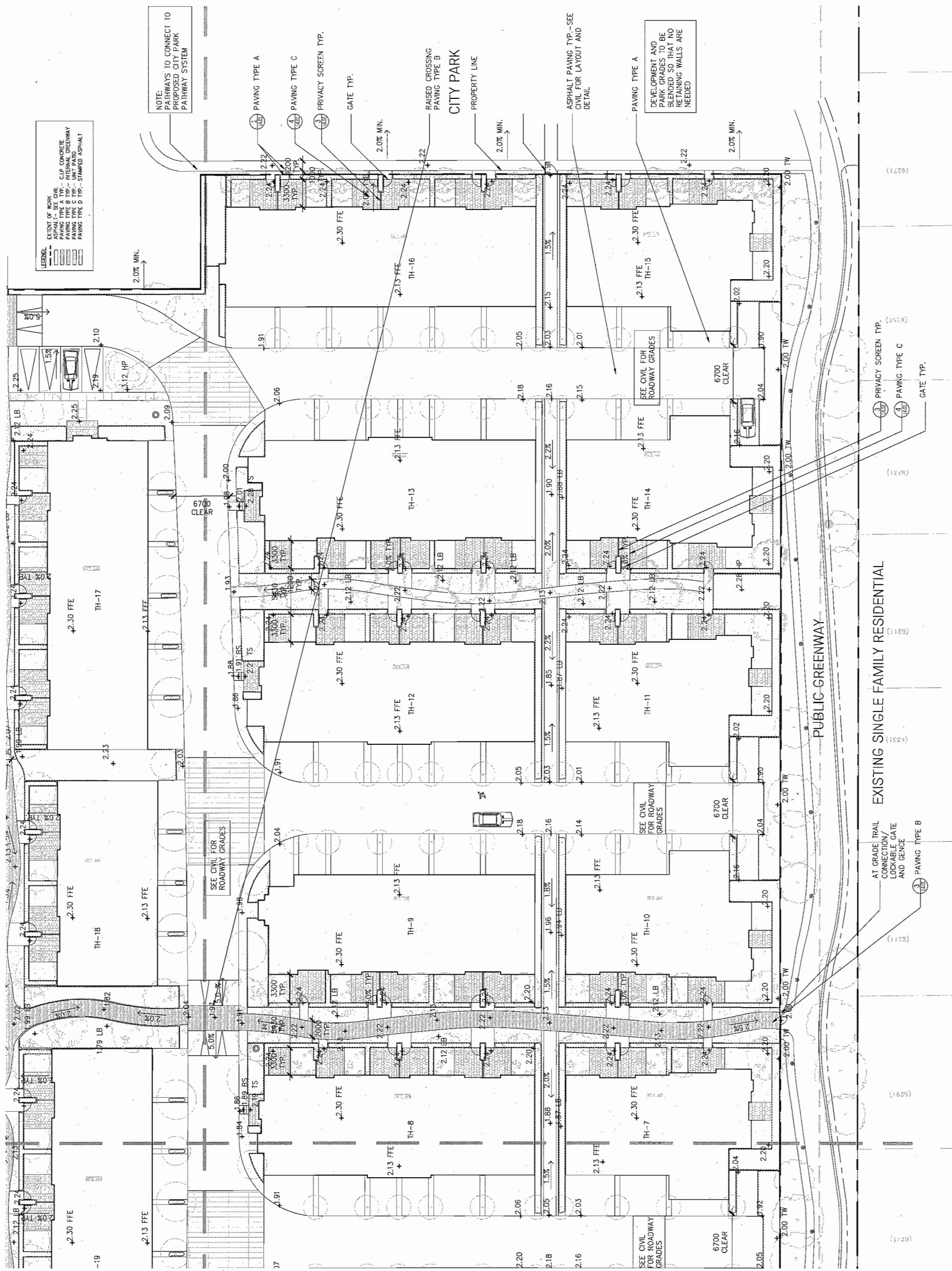
KINGSLEY ESTATES

LANDSCAPE
LAYOUT, MATERIALS
& GRADING
QUADRANT 3

Date	April 21, 2015	Drawing Number	
Project No.	1306	Scale	1:200
Drawn/Checked	WDS	Scale	1:200

L2.03

DP 15-69 2659-40



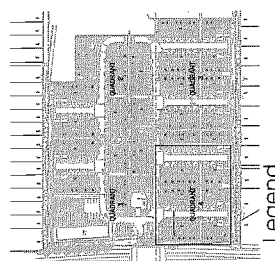
EXISTING SINGLE FAMILY RESIDENTIAL

PUBLIC GREENWAY

CITY PARK

HAPA

Landscape Architecture
Urban Design
403 - 375 West Fifth Avenue
Vancouver BC, V6V 1J6
604 909 4130
hapa@hapa.com



Legend

- PROPOSED ELEVATION
- TOP OF WALL
- BOTTOM OF WALL
- FINISH FLOOR ELEVATION
- TOP OF BENCH
- AREA DRAIN
- TRENCH DRAIN
- TOP OF STAIRS
- BOTTOM OF STAIRS
- TOP OF CURB
- BOTTOM OF CURB
- AS PER SURVEY ELEVATION (400.00)
- DIRECTION OF SLOPE
- PLANTER DRAIN

No.	Description	Date
2	DP Re-submission	May 04, 2015
1	DP Submission	April 23, 2015



POLYGON
Suite 402 - 1333 Red Street, Vancouver, BC
Canada, V6Z 1Y9 (604) 681-1425

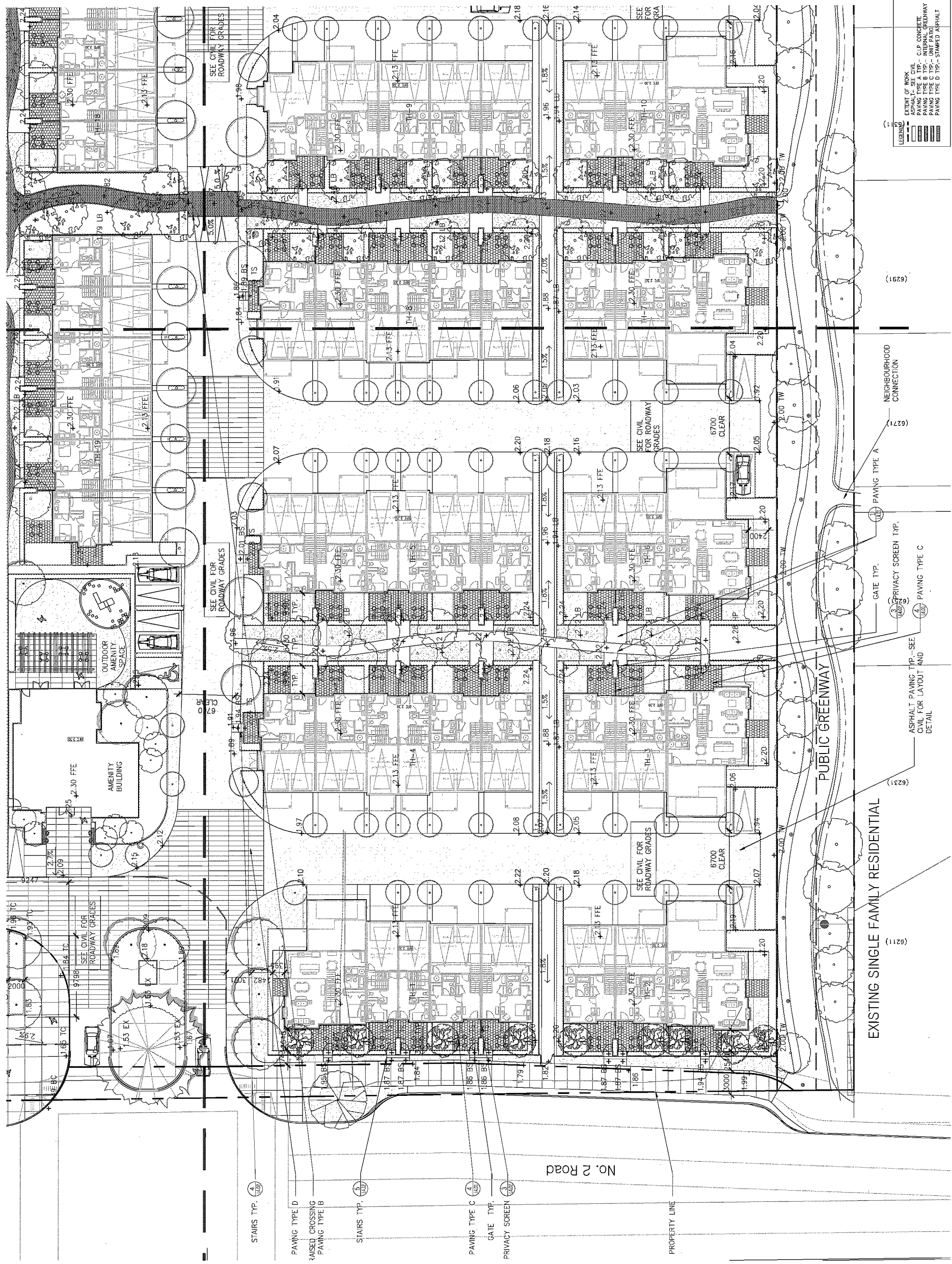
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LANDSCAPE
LAYOUT, MATERIALS
& GRADING
QUADRANT 4

Date	Project No.	Sheet No.	Scale	Drawn/Checked	Revised/Checked
April 23, 2015	2430	2430	1:200		

L2.04



EXTENT OF WORK

Legend	Description
[Symbol]	SEE CIVIL FOR ROADWAY GRADES
[Symbol]	SEE CIVIL FOR ROADWAY GRADES
[Symbol]	SEE CIVIL FOR ROADWAY GRADES
[Symbol]	SEE CIVIL FOR ROADWAY GRADES
[Symbol]	SEE CIVIL FOR ROADWAY GRADES

NEIGHBOURHOOD CONNECTION

PAVING TYPE A

PRIVACY SCREEN TYP.

PAVING TYPE C

ASPHALT PAVING TYP. - SEE CIVIL FOR LAYOUT AND DETAIL

EXISTING SINGLE FAMILY RESIDENTIAL

PUBLIC GREENWAY

No. 2 Road

STAIRS TYP.

PAVING TYPE D
RAISED CROSSING
PAVING TYPE B

STAIRS TYP.

PAVING TYPE C
GATE TYP.
PRIVACY SCREEN

PROPERTY LINE

DP 15-69 2659-41

HA A

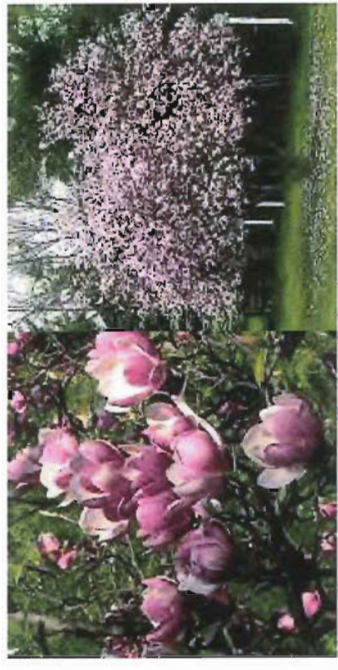
Landscape Architecture
Urban Design
403 - 375 West Fifth Avenue
Vancouver BC, V5Y 1J6
604 909 4150
hagarcaboo.com

PLANTING PALETTE

Plant Schedule	Sym. Qty	Botanical Name	Common Name	Spacing & Size
Trees				
AR	30	Acer rubrum 'Armstrong'	Armstrong maple	5' cal, B&B
AC	9	Acer circinatum	vine maple	6ft. ht. B&B
FD	13	Fraxinus oxycarpa 'Raywood'	raywood ash	5' cal, B&B
MK	18	Magnolia kobus	kobus magnolia	2' cal, B&B
MS	18	M. x soulangiana 'Rustica Rubra'	saucer magnolia	2.5' cal, B&B
PP	37	Parrotia persica	Persian ironwood	2.5' cal, B&B
OP	144	Quercus palustris 'Green Pillar'	green pillar pin oak	5' cal, B&B
PS	9	Prunus serrulata 'Shirofugen'	white goddass cherry	2.5' cal, B&B
SM	48	Stewartia monadelphica	tall stewartia	2.5' cal, B&B
SJ	37	Styrax japonicus	Japanese snowball	2.5' cal, B&B
CD	1	Cedrus deodara	Deodar Cedar	15' ht., B&B
Shrubs				
Eu	-	Euonymus fortunei 'Emerald Gaiety'	wintercreeper	#2 pot, 30" O.C.
Bs	-	Buxus sempervirens	boxwood	#2 pot, 18" O.C.
Ek	-	Enkianthus campanulatus	red-veined enkianthus	#2 pot, 30" O.C.
Ch	-	Choisya ternata	Mexican orange blossom	#2 pot, 30" O.C.
Kl	-	Kalmia latifolia	dwarf mountain laurel	#2 pot, 18" O.C.
Rn	-	Rosa nutkana	nulka rose	#2 pot, 30" O.C.
Fm	-	Fothergilla major	witch alder	#2 pot, accent
Hs	-	Hemamelis x intermedia	witch hazel	#2 pot, accent
Lo	-	Lonicera pileata	privet honeysuckle	#2 pot, 30" O.C.
Os	-	Osmanthus delavayi	DeLavy's osmanthus	#2 pot, 30" O.C.
Po	-	Physocarpus opulifolius 'Dart's Gold'	dart's gold ninebark	#2 pot, accent
La	-	Lavandula angustifolia 'Munstead'	lavender	#1 pot, 18" O.C.
Hedges				
Eg	-	Eleagnus ebbingei	gilt's edge	#2 pot, 30" O.C.
Tm	-	Taxus x media 'Hicksii'	Hick's yew	#2 pot, 30" O.C.
Pl	-	Prunus laurocerasus	common laurel	#2 pot, 30" O.C.
Ln	-	Laurus nobilis	sweet bay	#2 pot, 30" O.C.
Ground covers				
Cc	-	Cornus canadensis	bunchberry	#1 pot, 12" O.C.
Perennials				
Im	-	Liriope muscari	lily turf	#1 pot, 12" O.C.
pa	-	Pennisetum alopecuroides	dwarf fountain grass	#1 pot, 12" O.C.
ey	-	Epimedium x youngianum	illy of the valley	#1 pot, 12" O.C.
aa	-	Convallaria majalis	lily of the valley	#1 pot, 12" O.C.
as	-	Astilbe anensis 'Amethyst'	coneflower	#1 pot, 12" O.C.
ep	-	Echinacea purpurea	coneflower	#1 pot, 12" O.C.
ho	-	Heilbonus orientalis	purple	#1 pot, 12" O.C.
hc	-	Heuchera sp	black-eyed susan	#1 pot, 12" O.C.
rg	-	Rudbeckia goldstrum	black-eyed susan	#1 pot, 12" O.C.

Notes

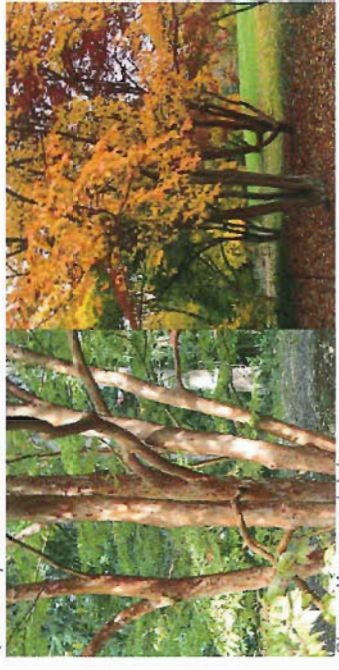
1. All plant material to BCNTA and BCSLA standards. Refer to the BCSLA Landscape Standard.



Magnolia x soulangiana 'Rustica Rubra'



Quercus palustris 'Green Pillar'



Stewartia monadelphica



Parrotia persica



Magnolia kobus



Prunus serrulata 'Shirofugen'



Styrax japonicus



Fraxinus oxycarpa 'Raywood'

No.	Description	Date
2.	DP Re-submission	MAY 4, 2015
1.	DP Submission	April 24, 2015



POLYGON
344 900 - 133 4th Avenue, Vancouver, BC
Crest: WMCZ 250497-131700971-025

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KINGSLEY ESTATES

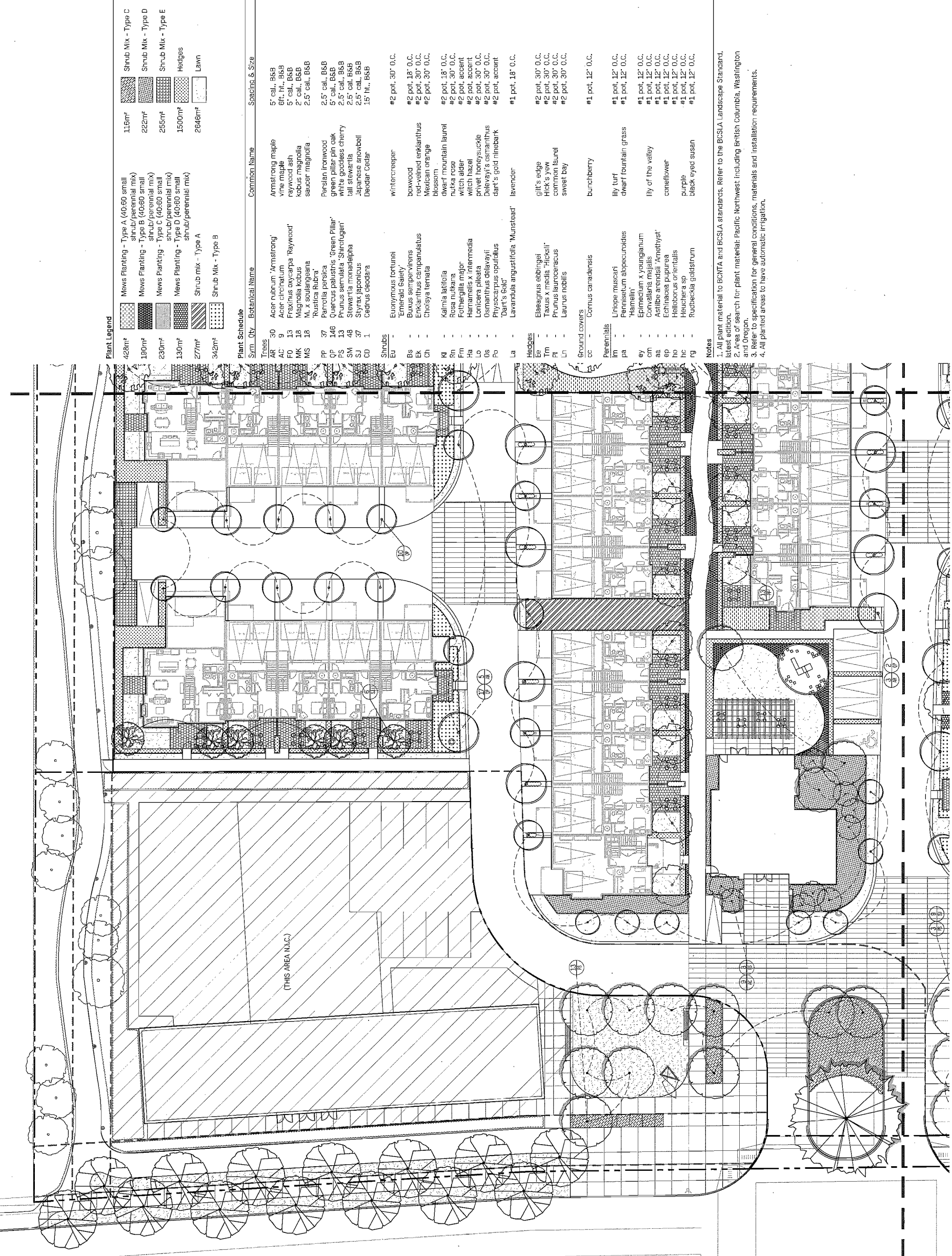
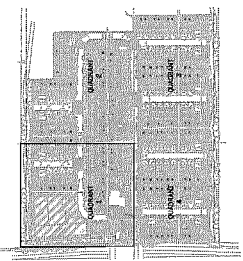
LANDSCAPE PLANTING DESIGN

Date	April 21, 2015	Client's Name
Project No.	1338	
Scale	As Shown	
Drawn/Checked	WCS	L3.00

DP 15-69 2659-42

HAPA

Landscape Architecture
Urban Design
403 - 916 West 41st Avenue
Vancouver, BC, V5Y 1J6
604 969 4150
hapa@hapa.com



Plant Legend

428m ²	Mews Planting - Type A (40/60 small shrub/perennial mix)	116m ²	Shrub Mix - Type C
190m ²	Mews Planting - Type B (40/60 small shrub/perennial mix)	222m ²	Shrub Mix - Type D
230m ²	Mews Planting - Type C (40/60 small shrub/perennial mix)	255m ²	Shrub Mix - Type E
130m ²	Mews Planting - Type D (40/60 small shrub/perennial mix)	1500m ²	Hedges
277m ²	Shrub mix - Type A	2646m ²	Lawn
342m ²	Shrub Mix - Type B		

Plant Schedule

Sym.	Qty.	Botanical Name	Common Name	Spacing & Size
Trees				
AR	30	Acer rubrum 'Armstrong'	Armstrong maple	5' cal, B&B
AC	9	Acer cinnabarinum	vine maple	6ft. Ht. B&B
FD	13	Fraxinus excelsior 'Reywood'	reywood ash	5' cal, B&B
MK	18	Magnolia kobus	Kobus magnolia	2' cal, B&B
MS	18	M. soulangeana	saucer magnolia	2.5' cal., B&B
PP	37	Parrotia persica	Persian ironwood	2.5' cal, B&B
CP	146	Quercus palustris 'Green Pillar'	green pillar pin oak	5' cal, B&B
PS	13	Prunus avium 'Shreefugeni'	white bird cherry	2.5' cal, B&B
SM	48	Stewartia monadelpa	tall star magnolia	2.5' cal, B&B
SJ	37	Styrax japonicus	japanese snowbell	2.5' cal, B&B
CD	1	cedrus cedara	Deodar Cedar	15' Ht. B&B
Shrubs				
Eu		Eunonymus fortunei	wintercreeper	#2 pot, 30" O.C.
Em		'Emerald Gaiety'		
Bs		Buxus sempervirens	boxwood	#2 pot, 18" O.C.
Ek		Erkianthus campanulatus	red-veined enkianthus	#2 pot, 30" O.C.
Ch		Choisya ternata	Mexican orange	#2 pot, 30" O.C.
Kl		Kalmia latifolia	dwaf mountain laurel	#2 pot, 18" O.C.
Rn		Rosa rugosa	nulka rose	#2 pot, 30" O.C.
Fm		Fothergilla major	witch alder	#2 pot, 30" O.C.
Ha		Hemerocallis x intermedia	witch hazel	#2 pot, 30" O.C.
Lo		Lonicera pilaeata	privet honeysuckle	#2 pot, 30" O.C.
Os		Osmanthus delavayi	Delavay's osmanthus	#2 pot, 30" O.C.
Po		Physocarpus opulifolius 'Dart's Gold'	Dart's gold ninebark	#2 pot, 30" O.C.
La		Lavandula angustifolia 'Munstead'	lavender	#1 pot, 18" O.C.
Hedges				
Ee		Elaeagnus ebbingei	gilt's edge	#2 pot, 30" O.C.
Tr		Taxus x media 'Hicksii'	Hick's view	#2 pot, 30" O.C.
Pl		Prunus laurocerasus	common laurel	#2 pot, 30" O.C.
Ln		Laurus nobilis	sweet bay	#2 pot, 30" O.C.
Ground covers				
cc		Cornus canadensis	bunchberry	#1 pot, 12" O.C.
Perennials				
lm		Lilippe muscari	lily turf	#1 pot, 12" O.C.
pa		Pennisetum alopecuroides 'Hamelin'	dwaf fountain grass	#1 pot, 12" O.C.
ey		Eupatorium x youngianum	lily of the valley	#1 pot, 12" O.C.
cm		Convallaria majalis	coneflower	#1 pot, 12" O.C.
aa		Astilbe anemifolia 'Amethyst'	purple	#1 pot, 12" O.C.
ep		Echinacea purpurea	black eyed susan	#1 pot, 12" O.C.
ho		Heiloborus orientalis		
hc		Heuchera sp		
rg		Rubbeckia goldstrum		

Notes

- All plant material to BCRTA and BCSLA standards. Refer to the BCSLA Landscape Standard, latest edition.
- Area of search for plant material: Pacific Northwest including British Columbia, Washington and Oregon.
- Refer to specification for general conditions, materials and installation requirements.
- All planted areas to have automatic irrigation.

No.	Description	Date
2	DP Re-submission	May 14, 2015
1	DP Submission	April 23, 2015



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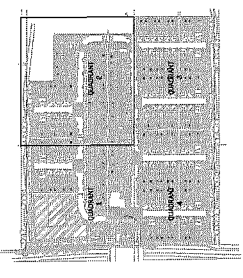
KINGSLEY ESTATES

LANDSCAPE PLANNING PLAN QUADRANT 1

Date	April 23, 2015	Drawing Number	
Project No.	1332	Scale	1:800
Drawn/Checked	WTS		

L3.01

DP 15-by 2059-43



Plant Legend

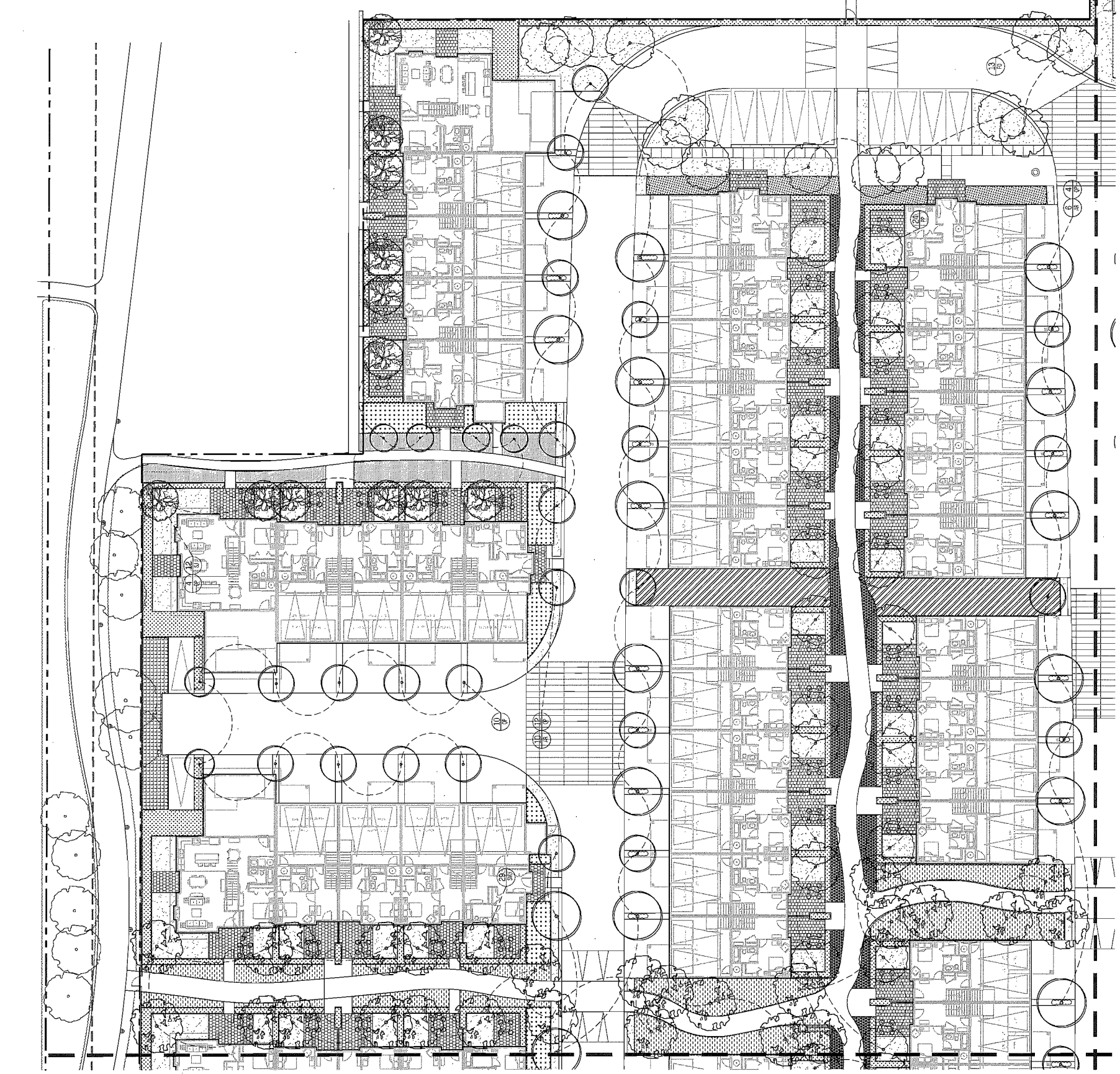
428m ²	Mews Planting - Type A (40-60 small shrub/perennial mix)	116m ²	Shrub Mix - Type C
190m ²	Mews Planting - Type B (40-60 small shrub/perennial mix)	222m ²	Shrub Mix - Type D
230m ²	Mews Planting - Type C (40-60 small shrub/perennial mix)	255m ²	Shrub Mix - Type E
130m ²	Mews Planting - Type D (40-60 small shrub/perennial mix)	1500m ²	Hedges
277m ²	Shrub mix - Type A	2848m ²	Lawn
342m ²	Shrub Mix - Type B		

Plant Schedule

Sym.	Qty	Botanical Name	Common Name	Spacing & Size
Trees				
AR	30	Acer rubrum 'Armstrong'	Armstrong maple	5' cal., B&B
AC	9	Acer circinatum	vine maple	6ft. ht., B&B
FD	13	Fraxinus corymbosa 'Raywood'	raywood ash	5' cal., B&B
MK	18	Magnolia kobus	kobus magnolia	2' cal., B&B
MS	18	M. x soulangiana	saucer magnolia	2.5' cal., B&B
PP	37	Rustica rubra	Persian ironwood	2.5' cal., B&B
QP	146	Quercus palustris 'Green Pillar'	green pillar pin oak	5' cal., B&B
PS	13	Prunus serrulata 'Shirologeni'	white goddess cherry	2.5' cal., B&B
SM	48	Stewartia monadelpha	tall stewartia	2.5' cal., B&B
SJ	37	Styrax japonicus	Japanese snowbell	2.5' cal., B&B
CD	1	Cedrus deodara	Deodar cedar	1.5' ht., B&B
Shrubs				
Eu	-	Eucalyptus fortunei	winter creeper	#2 pot, 30" O.C.
Em	-	Emerald galaxy	boxwood	#2 pot, 18" O.C.
Bs	-	Buxus sempervirens	boxwood	#2 pot, 18" O.C.
Ek	-	Enkianthus campanulatus	red-veined enkianthus	#2 pot, 30" O.C.
Ch	-	Chiosya temata	Mexican orange blossom	#2 pot, 30" O.C.
Kl	-	Kalmia latifolia	dwarf mountain laurel	#2 pot, 18" O.C.
Rn	-	Rosa nutkana	nutka rose	#2 pot, 30" O.C.
Fm	-	Forsythia major	witch alder	#2 pot, accent
Ha	-	Hamamelis x intermedia	witch hazel	#2 pot, accent
Lo	-	Lonicera pileata	privet honeysuckle	#2 pot, 30" O.C.
Os	-	Osmunda delavayi	Delavay's osmanthus	#2 pot, 30" O.C.
Po	-	Physocarpus opulifolius	dar's globe rindebark	#2 pot, accent
La	-	Lavandula angustifolia 'Munstead'	lavender	#1 pot, 18" O.C.
Hedges				
Ed	-	Elaeagnus ebbingei	gilt's edge	#2 pot, 30" O.C.
Tm	-	Taxus x media 'Hicksii'	rick's yew	#2 pot, 30" O.C.
Pl	-	Prunus laurocerasus	common laurel	#2 pot, 30" O.C.
Ln	-	Laurus nobilis	sweet bay	#2 pot, 30" O.C.
Ground covers				
cc	-	Cornus canadensis	bunchberry	#1 pot, 12" O.C.
Perennials				
Ln	-	Liriope muscari	fly turf	#1 pot, 12" O.C.
pa	-	Panicum alpehucoides	dwarf fountain grass	#1 pot, 12" O.C.
cy	-	Cymodocea x youngianum	lily of the valley	#1 pot, 12" O.C.
em	-	Emmenanthe major	lily of the valley	#1 pot, 12" O.C.
az	-	Asplenium platyneuron	coneflower	#1 pot, 12" O.C.
ep	-	Echinops purpureus	coneflower	#1 pot, 12" O.C.
hc	-	Heuchera sp	purple	#1 pot, 12" O.C.
rc	-	Rubus idaeus	black eyed susan	#1 pot, 12" O.C.

Notes

- All plant material to BCNTA and BCSLA standards. Refer to the BCSLA Landscape Standard, latest edition.
- Area of search for plant material: Pacific Northwest including British Columbia, Washington and Oregon.
- Refer to specification for general conditions, materials and installation requirements.
- All planted areas to have automatic irrigation.



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KINGSLEY ESTATES

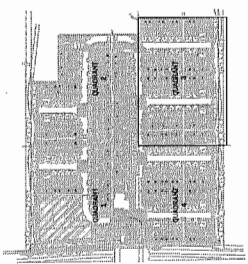
LANDSCAPE
PLANTING PLAN
QUADRANT 2

Date	April 21, 2015	Drawing Number	
Project No.	2338	Scale	AS IS
Drawn/Checked	MSB	Drawn/Checked	MSB

DP 15-692659-44
13.02

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KINGSLEY ESTATES

LANDSCAPE PLANTING PLAN QUADRANT 3

Date	April 23, 2015	Drawing Number	
Project No.	1333	Scale	1:500
Drawn/Checked	AV/DS		

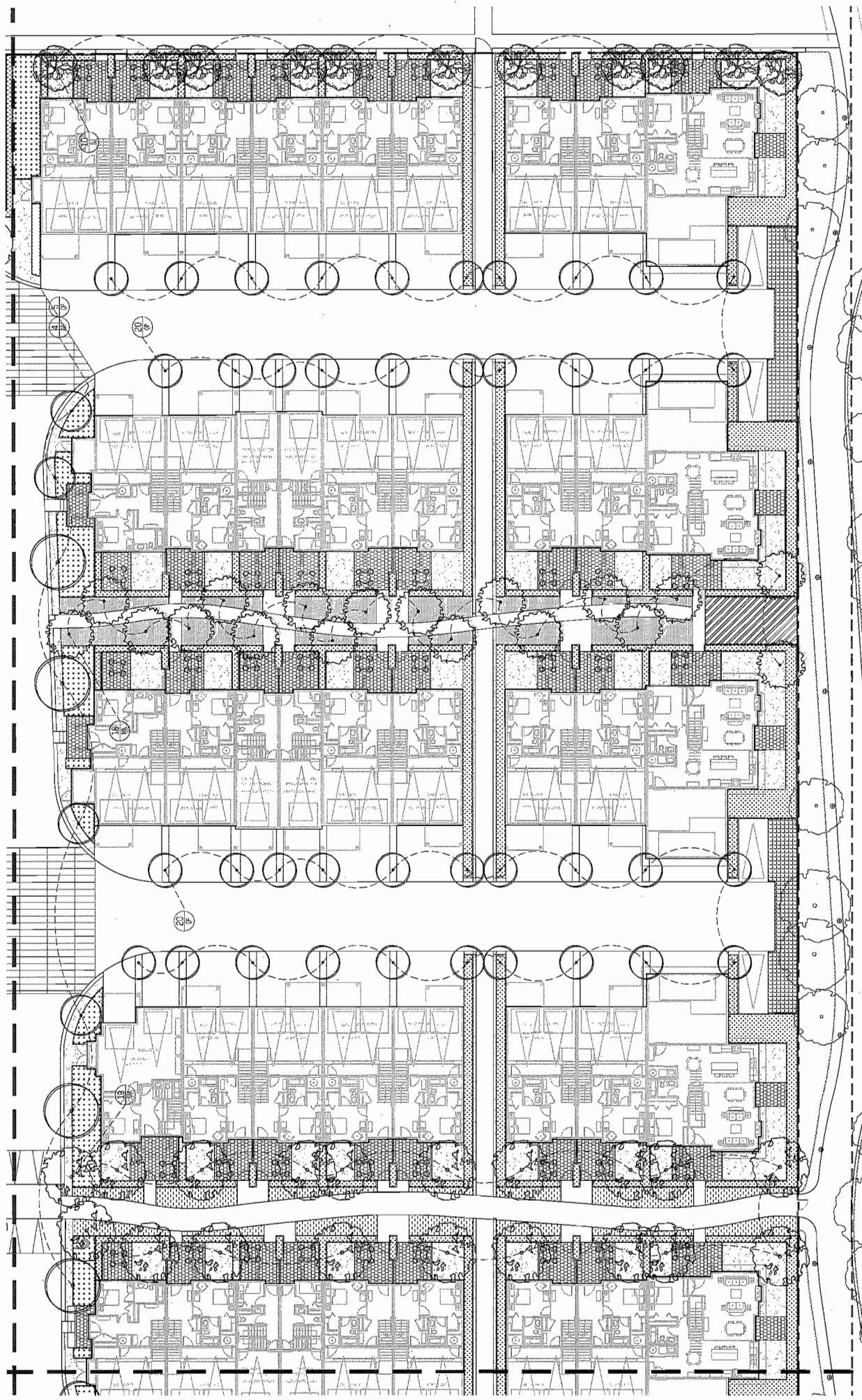
DP 15-04 2699-45 L3.03

Sym.	Qty	Botanical Name	Common Name	Spacing & Size
L2	-	Lararidula angustifolia 'Munstead'	lavender	#1 pot, 18" O.C.
Hedges	-			
E6	-	Elaeagnus ebbingelii	gilt's edge	#2 pot, 30" O.C.
T6	-	Taxus media 'Hicksii'	Hick's yew	#2 pot, 30" O.C.
PI	-	Prunus laurocerasus	common laurel	#2 pot, 30" O.C.
LN	-	Launus nobilis	sweet bay	#2 pot, 30" O.C.
Ground covers	-			
CC	-	Cornus canadensis	bunchberry	#1 pot, 12" O.C.
Perennials	-			
pa	-	Liriope muscari	illy turf	#1 pot, 12" O.C.
pb	-	Pennisetum alopecuroides 'Hamelin'	dwarf fountain grass	#1 pot, 12" O.C.
cy	-	Convolvulium x youngianum	illy of the valley	#1 pot, 12" O.C.
sa	-	Astilbe aronoides 'Amethyst'	coneflower	#1 pot, 12" O.C.
ep	-	Echiracaea purpurea	purple	#1 pot, 12" O.C.
hb	-	Heuchera sp.	black eyed susan	#1 pot, 12" O.C.
hc	-	Heuchera sp.		#1 pot, 12" O.C.
rg	-	Rudbeckia glandulifera		#1 pot, 12" O.C.

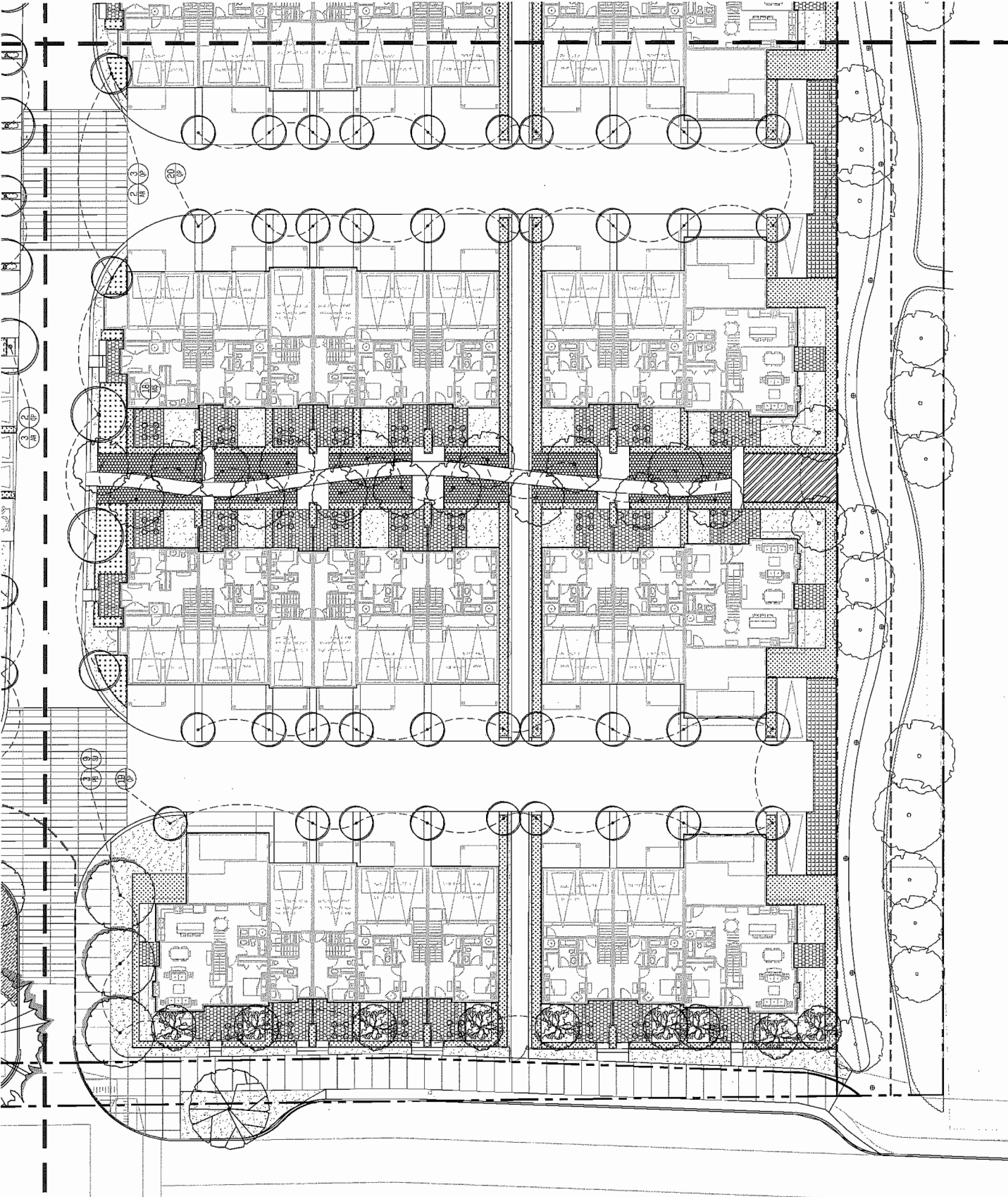
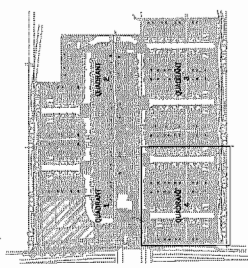
Notes
1. All plant material to BCNTA and BCCLA standards. Refer to the BCCLA Landscape Standard, latest edition.
2. Area of search for plant material: Pacific Northwest including British Columbia, Washington and Oregon.
3. Refer to specification for general conditions, materials and installation requirements.
4. All planted areas to have automatic irrigation.

Sym.	Qty	Botanical Name	Common Name	Spacing & Size
Trees	-			
AR	30	Acer rubrum 'Armstrong'	Armstrong maple	5' cal., B&B
AC	9	Acer circinatum	vine maple	8 1/2" hl., B&B
FO	13	Fraxinus oxycarpa 'Raywood'	raywood ash	5' cal., B&B
MK	18	Magnolia kobus	kobus magnolia	2' cal., B&B
MS	18	M. x soulangeana	saucer magnolia	2.5' cal., B&B
PP	37	Ruscica rubra	Persian ironwood	2.5' cal., B&B
QP	146	Quercus pallustris 'Green Pillar'	green pillar pin oak	5' cal., B&B
PS	13	Prunus serrulata 'Shirofugen'	white goddness cherry	2.5' cal., B&B
SM	48	Stewartia monadelpha	tall stewartia	2.5' cal., B&B
SJ	37	Syrax japonicus	Japanese snowbell	2.5' cal., B&B
CD	1	Cedrus cedara	Decodar Cedar	15' hl., B&B
Shrubs	-			
Eu	-	Euonymus fortunei	wintercreeper	#2 pot, 30" O.C.
Em	-	Emerald Gaiety		
Bs	-	Buxus sempervirens	boxwood	#2 pot, 18" O.C.
EK	-	Erikanthus campanulatus	red-veined eriikanthus	#2 pot, 30" O.C.
Ch	-	Choisya ternata	Mexican orange blossom	#2 pot, 30" O.C.
KI	-	Kalmia latifolia	dwarf mountain laurel	#2 pot, 18" O.C.
Rn	-	Rosa rugosa	rutka rose	#2 pot, 30" O.C.
Pn	-	Pothergilla major	witch alder	#2 pot, accent
Ha	-	Hamelis x intermedia	witch hazel	#2 pot, accent
Lo	-	Lonicera pileata	privet homysuckle	#2 pot, 30" O.C.
Os	-	Osmanthus delavayi/l	Delavay's osmanthus	#2 pot, 30" O.C.
Po	-	Physocarpus opurillus	dart's gold	#2 pot, accent

Planting Type	Area
Mews Planting - Type A (40x60 small shrub/perennial mix)	428m ²
Mews Planting - Type B (40x60 small shrub/perennial mix)	190m ²
Mews Planting - Type C (40x60 small shrub/perennial mix)	230m ²
Mews Planting - Type D (40x60 small shrub/perennial mix)	130m ²
Mews Planting - Type E (40x60 small shrub/perennial mix)	277m ²
Shrub mix - Type A	342m ²
Shrub mix - Type B	
Shrub Mix - Type C	116m ²
Shrub Mix - Type D	222m ²
Shrub Mix - Type E	265m ²
Hedges	1500m ²
Lawn	2646m ²



DP 15-04 2699-45 L3.03



Plant Legend

428m ²	Mews Planting - Type A (40/60 small shrub/perennial mix)	116m ²	Shrub Mix - Type C
190m ²	Mews Planting - Type B (40/60 small shrub/perennial mix)	222m ²	Shrub Mix - Type D
230m ²	Mews Planting - Type C (40/60 small shrub/perennial mix)	255m ²	Shrub Mix - Type E
130m ²	Mews Planting - Type D (40/60 small shrub/perennial mix)	1500m ²	Hedges
277m ²	Shrub mix - Type A	2646m ²	Lawn
342m ²	Shrub Mix - Type B		

Plant Schedule

Siml. Qty	Botanical Name	Common Name	Spacing & Size
AR 30	Acer rubrum 'Armstrong'	Armstrong maple	5' cal, B&B
AC 9	Acer circinnatum	vine maple	6ft. ht. B&B
FR 13	Fraxinus oxycarpa 'Raywood'	raywood ash	5' cal, B&B
MK 18	Magnolia kobus	Kobus magnolia	2' cal, B&B
MS 18	M. soulangeana	saucer magnolia	2.5' cal., B&B
PP 37	Parrotia persica	Persian ironwood	2.5' cal, B&B
OP 148	Quercus palustris 'Green Pillar'	green pillar pin oak	5' cal, B&B
PS 13	Prunus serotina 'Shiroflora'	white ocellus cherry	2.5' cal, B&B
SM 48	Stewartia monadelphica	tall Stewartia	2.5' cal, B&B
SJ 37	Styrax japonicus	Japanese snowbell	2.5' cal., B&B
CD 1	Cedrus deodara	Deodar Cedar	1.5' ht., B&B
EU -	Euonymus fortunei	wintercreeper	#2 pot, 30" O.C.
ER -	'Emerald Gaiety'		
BS -	Buxus sempervirens	boxwood	#2 pot, 18" O.C.
EK -	Enkianthus campanulatus	red-veined enkianthus	#2 pot, 30" O.C.
Ch -	Chelidonium majus	Mexican orange	#2 pot, 30" O.C.
KL -	Kalmia latifolia	blissom	#2 pot, 18" O.C.
Rn -	Rosa rugkana	dwarf mountain laurel	#2 pot, 30" O.C.
FR -	Fothergilla major	ruika rose	#2 pot, 30" O.C.
Ha -	Hamamelis x intermedia	witch alder	#2 pot, accent
Lo -	Lonicera pileata	witch hazel	#2 pot, accent
Os -	Osmanthus delavayi	privet honeysuckle	#2 pot, 30" O.C.
Os -	Osmanthus osmanthus	Daleayi's osmanthus	#2 pot, 30" O.C.
Po -	Physocarpus opulifolius	cart's gold	#2 pot, 30" O.C.
'Dart's Gold'			
La -	Lavandula angustifolia 'Munstead'	lavender	#1 pot, 18" O.C.
Eg -	Eleagnus ebbingei	gilt's edge	#2 pot, 30" O.C.
Tr -	Taxus x media 'Hicksii'	Hick's view	#2 pot, 30" O.C.
Pl -	Prunus laurocaracus	common laurel	#2 pot, 30" O.C.
Ln -	Laurus nobilis	sweet bay	#2 pot, 30" O.C.
cc -	Cornus canadensis	bunchberry	#1 pot, 12" O.C.
Perennials			
lm -	Liriope muscari	fly turf	#1 pot, 12" O.C.
pa -	Pennisetum alopecuroides	dwarf fountain grass	#1 pot, 12" O.C.
ey -	Epimedium x youngianum	fly of the valley	#1 pot, 12" O.C.
aa -	Asilbe arandisi 'Arnehyst'	fly of the valley	#1 pot, 12" O.C.
ep -	Echinacea purpurea	coneflower	#1 pot, 12" O.C.
ho -	Hebe sp.	purple	#1 pot, 12" O.C.
hc -	Heuchera sp.	black eyed susan	#1 pot, 12" O.C.
rg -	Rutbeckia goldstrum	black eyed susan	#1 pot, 12" O.C.

Notes

- All plant material to BCNTA and BCSLA standards. Refer to the BCSLA Landscape Standard, latest edition.
- Area of search for plant material: Pacific Northwest including British Columbia, Washington and Oregon.
- Refer to specification for general conditions, materials and installation requirements.
- All planted areas to have automatic irrigation.

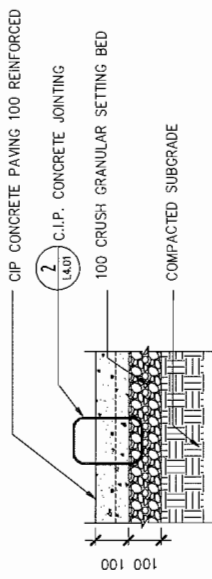
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1.	DP Submission	April 23, 2010



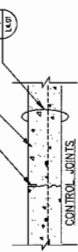
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KINGSLEY ESTATES
LANDSCAPE
PLANTING PLAN
QUADRANT 4

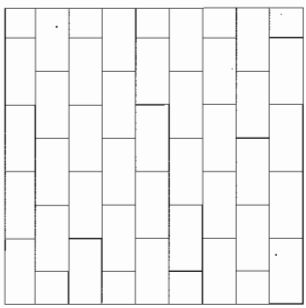
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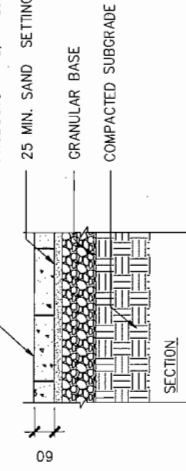
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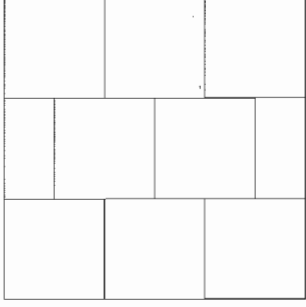
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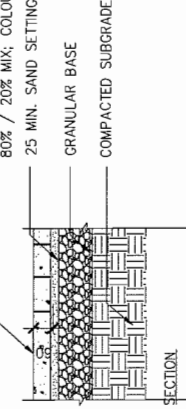
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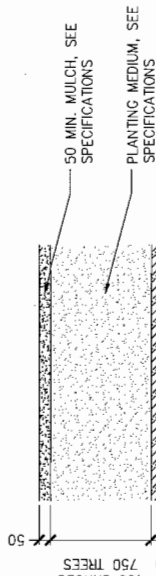
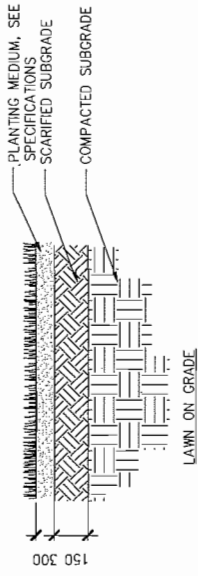
3 PAVING TYPE B - PRECAST CONCRETE PAVER
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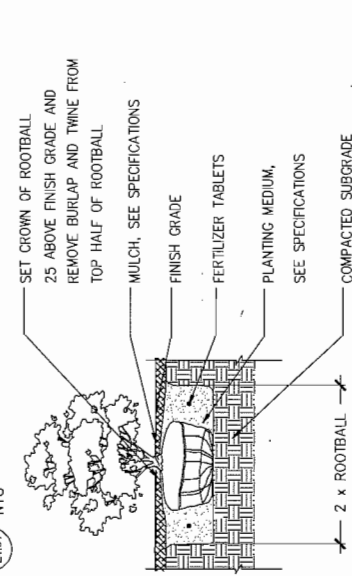
301 X 301 X 60 "NEVADA" PAVER BY ABBOTSFORD CONCRETE PRODUCTS / O.A.E; 2 COLOURS; 80% / 20% MIX; COLOUR T.B.D.



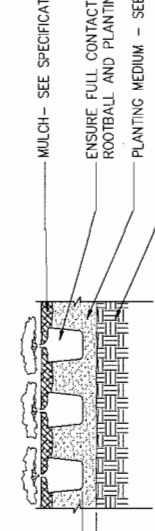
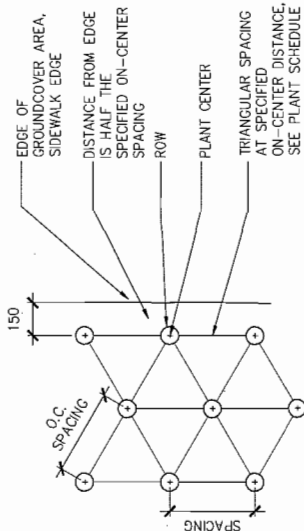
4 PAVING TYPE C - PRECAST CONCRETE PAVER
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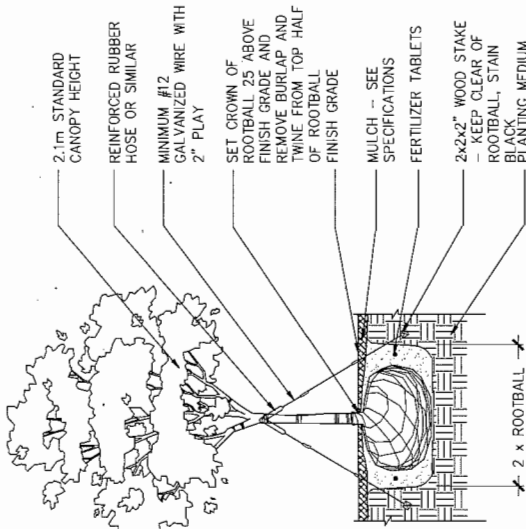
7 SHRUB/TREE PLANTING ON GRADE
 1:10



8 SHRUB PLANTING ON GRADE
 1:10



9 GROUND COVER PLANTING, TYP.
 1:10



9 TREE PLANTING ON GRADE
 1:10

No.	Description	Date
E.	DP Re-submission	May 04, 2015
L.	DP Submission	April 23, 2015

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 Tel: 604.681.1100
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KINGSLEY ESTATES

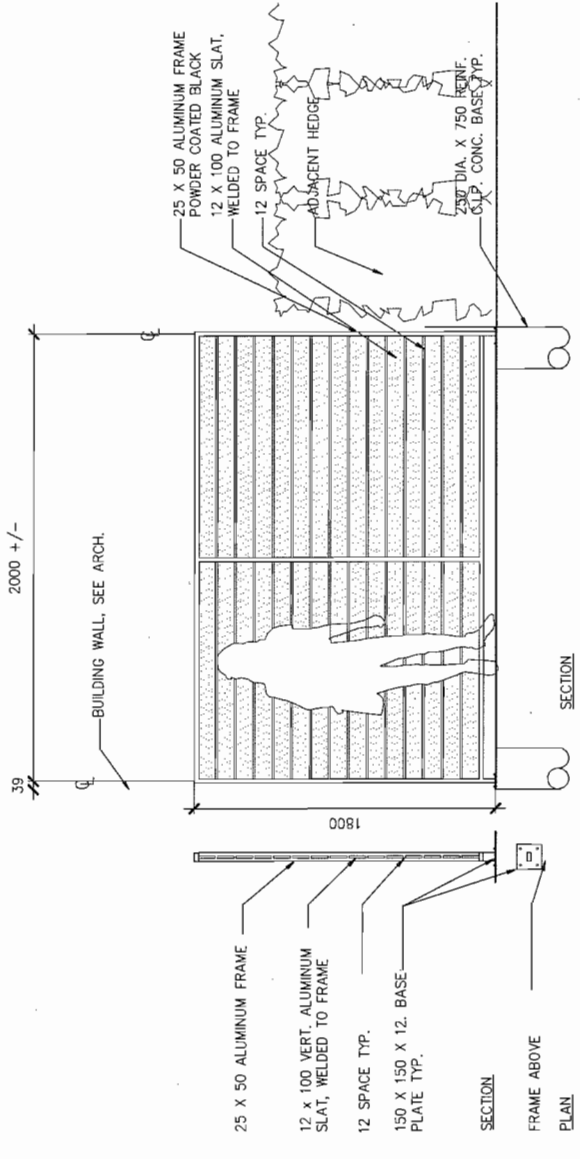
LANDSCAPE DETAILS
 SURFACE TREATMENT &
 PLANTINGS

DRP	April 21, 2015	Drawing Number
Project No.	1338	
Scale	See Drawing	
Drawn/Checked	14.01	

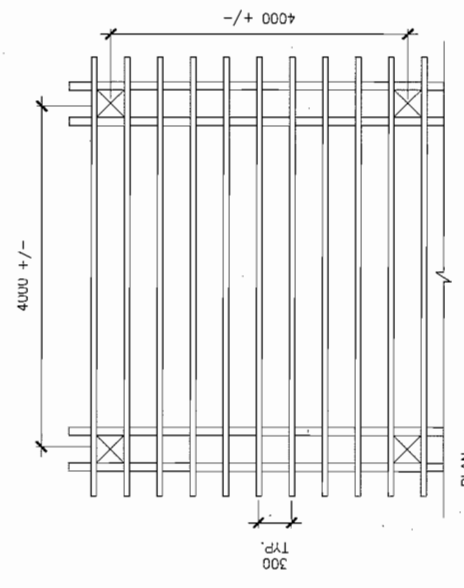
DP 15-692659-47

HA A

Landscape Architecture
Urban Design
403 - 275 West Fifth Avenue
Vancouver BC, V6Y 1L6
604 699 4150
h@pacabo.com

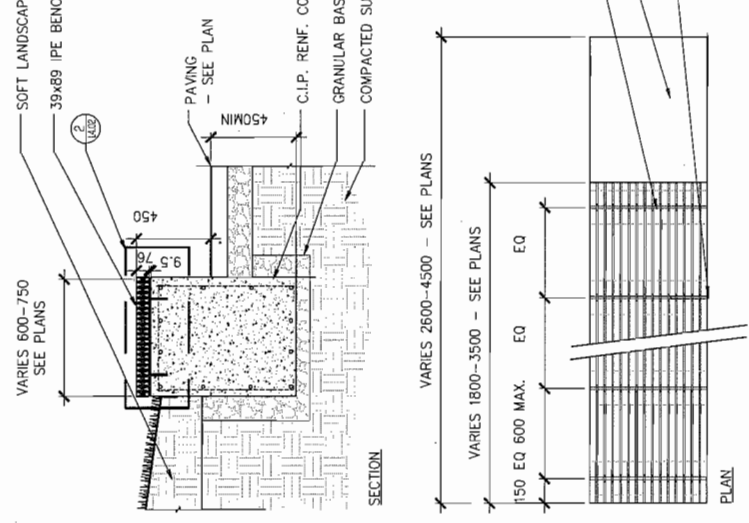


3 PRIVACY SCREEN
L4.02 1:20

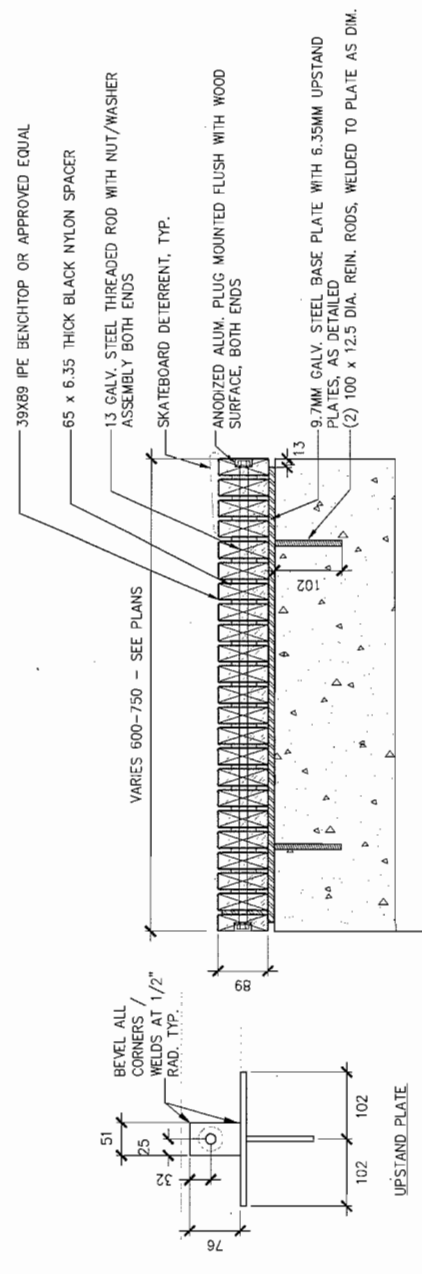


4 AMENITY PERGOLA
L4.11 1:30

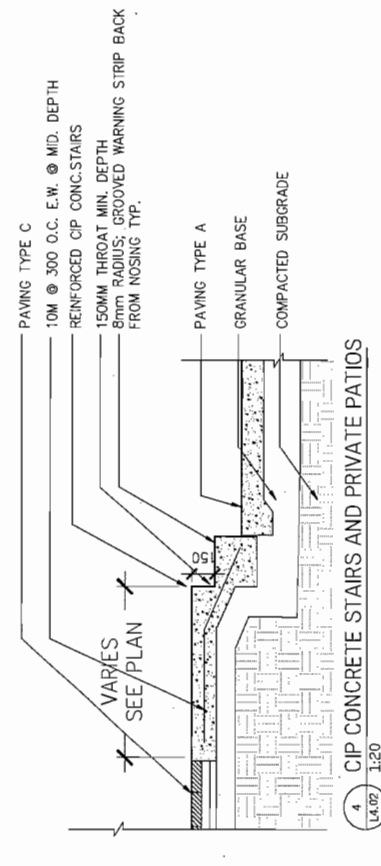
- NOTES:
1. PROVIDE SHOP DRAWINGS FOR BENCH CONSTRUCTION
 2. USE IPE HARDWOOD OR APPROVED EQUAL
 3. USE GALVANIZED STEEL FOR ALL HARDWARE UNLESS OTHERWISE NOTED
 4. REFER TO SPECIFICATIONS FOR CONCRETE FINISHES



1 BENCH TYPE A
L4.02 1:20



2 BENCH ASSEMBLY TYPE A
L4.02 1:5



4 CIP CONCRETE STAIRS AND PRIVATE PATIOS
L4.02 1:20

No.	Description	Date
2.	DP Revisions/Changes	May 04, 2015
1.	DP Submission	April 01, 2015



546 905 - 1333 Red Steeple, Vancouver, BC
Crest West 250(604)-103-0901-105

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KINGSLEY ESTATES

LANDSCAPE DETAILS
SITE FURNISHINGS

Date	April 01, 2015	Drawing Number	L4.02
Project No.	1238	Scale	As Shown
Drawn/Checked	WPS		

DP 15-04629

48

Kingsley Estates

10388 No. 2 Road, Richmond, B.C.



Rositch Hemphill Architects

120 Powell Street, Unit 10
Vancouver, BC Canada
V6A 1G1

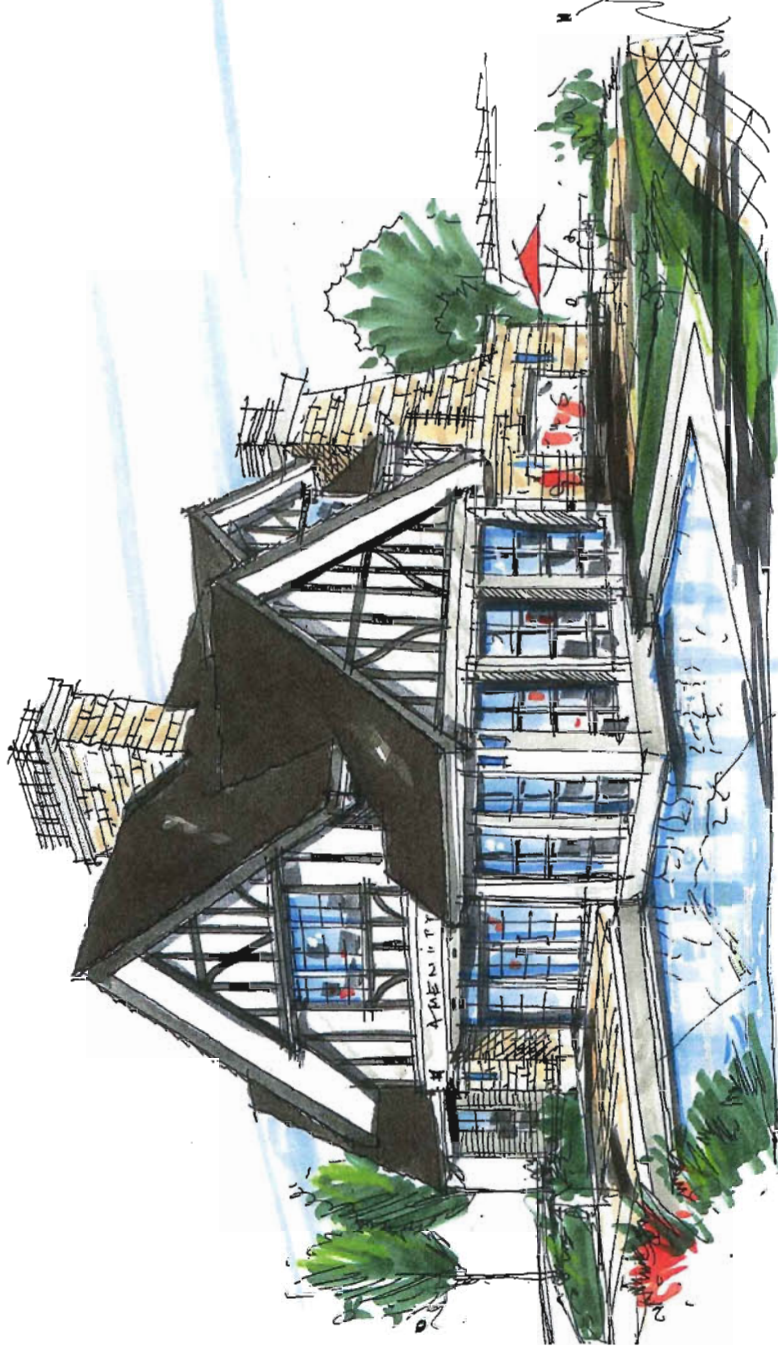
t 604.669.6002
f 604.669.1091

www.rharchitects.ca

ISSUED: 1. DP APPLICATION DATE: 11 FEB 2015

ISSUED FOR
DP UPDATE
20 APRIL 2015

AMENITY BUILDING CHARACTER SKETCH



TYPICAL BUILDING FRONT ELEVATION CHARACTER SKETCH



NO. REVISION: _____ **DATE:** _____
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ARCHITECTURAL SEAL:

CLIENT: **POLYGON**
118 - 1177 West Broadway, Suite 100
Vancouver, BC V6H 1G5

PROJECT: **Kingsley Estates**
10388 No. 2 Rd. Richmond, BC

DRAWING TITLE: **COVER SHEET**

DATABASE: 1321-A0.0.DWG
SCALE: NTS
PLOT DATE: 25 FEBRUARY 2015
DRAWN: CJ
CHECKED: KSH
PROJECT NO. 1321

DWG. NO. **A0.0**

 P.P. NO. _____
 B.P. NO. _____

DP 15-69 2659

Reference

HA A

Landscape Architecture
Urban Design
403 - 275 West Fifth Avenue
Vancouver BC, V5T 1J6
604 969 4150
h@haa.ca



KINGSLEY ESTATES
RICHMOND, BC

DRAWING LIST

- L0.00 COVER SHEET
- L0.01 DESIGN RATIONALE
- L1.01 CONCEPT PLAN
- L1.02 - 03 SECTIONS
- L2.01 LAYOUT, MATERIALS AND GRADING QUADRANT 1
- L2.02 LAYOUT, MATERIALS AND GRADING QUADRANT 2
- L2.03 LAYOUT, MATERIALS AND GRADING QUADRANT 3
- L2.04 LAYOUT, MATERIALS AND GRADING QUADRANT 4
- L3.00 PLANTING DESIGN
- L3.01 PLANTING PLAN QUADRANT 1
- L3.02 PLANTING PLAN QUADRANT 2
- L3.03 PLANTING PLAN QUADRANT 3
- L3.04 PLANTING PLAN QUADRANT 4
- L4.01-02 LANDSCAPE DETAILS

No.	Description	Date
2	DP Submission	May 4, 2015
1	DP Submission	April 21, 2015



POLYGON
Suite 402 - 1333 Red Street, Vancouver, BC
604-261-2100 / 1133REDSTREET-402

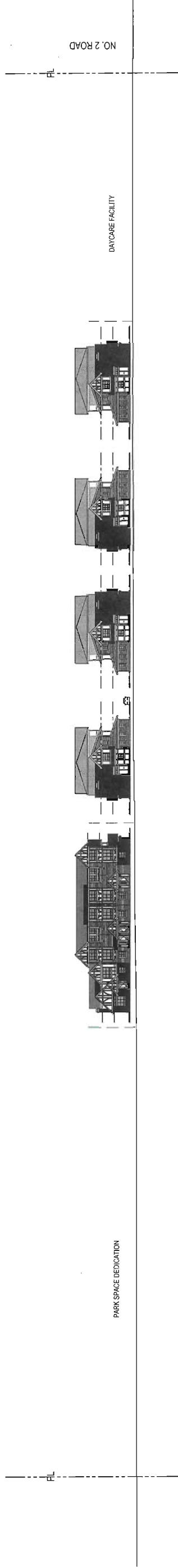
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KINGSLEY ESTATES

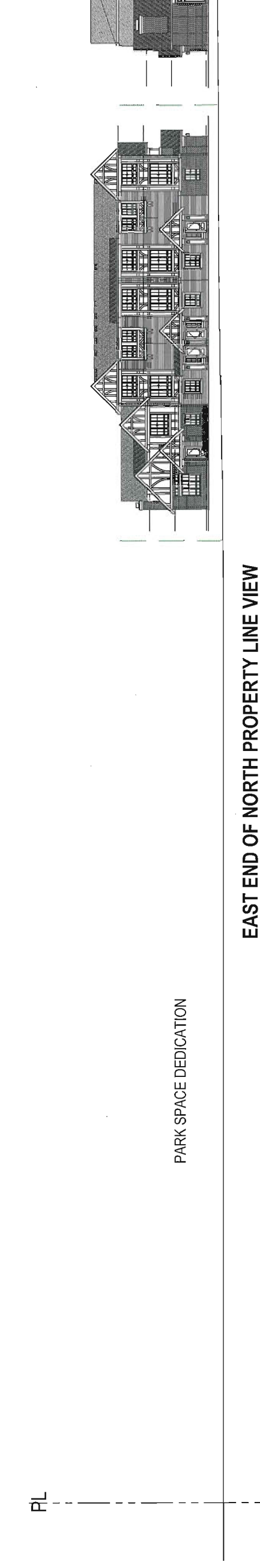
LANDSCAPE
COVER SHEET

Date	April 21, 2015	Drawing Number	
Project No.	1338	Scale	Site Plan
Drawings	1/005	Drawings	1/005

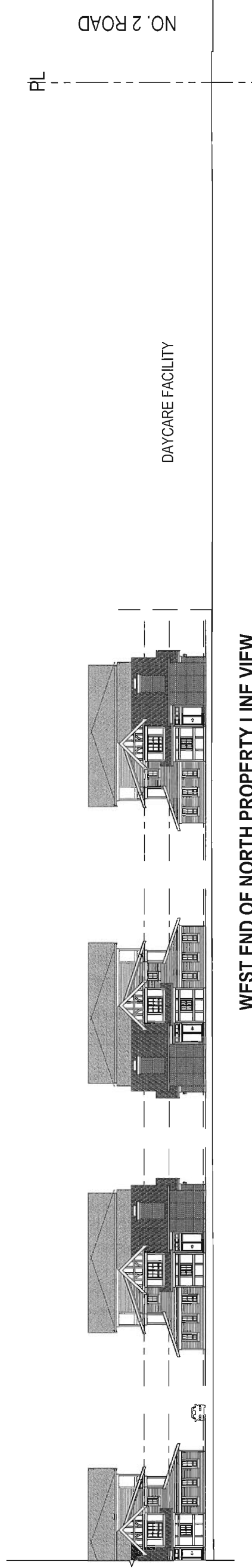
DP 15-692659
Reference



VIEW ALONG OF NORTH PROPERTY LINE
SCALE: 1/32"=1'-0"



EAST END OF NORTH PROPERTY LINE VIEW
SCALE: 1/16"=1'-0"



WEST END OF NORTH PROPERTY LINE VIEW
SCALE: 1/16"=1'-0"



Rositch Hemphill Architects
120 Powell Street, Unit 10 Vancouver, BC Canada V6A 1G1
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PROJECT:
Kingsley Estates
10388 No. 2 Rd., Richmond, BC

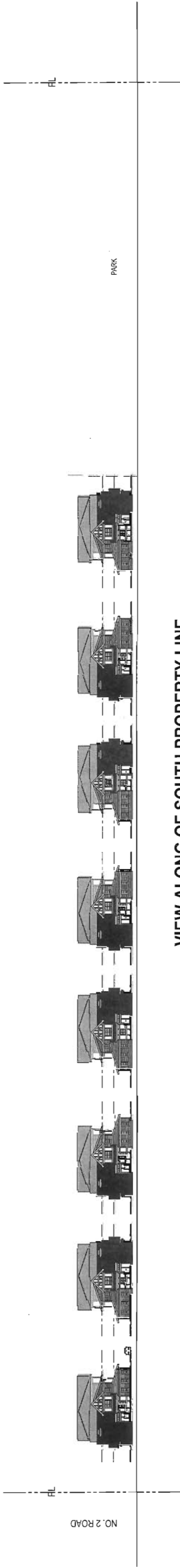
DRAWING TITLE:
PROPERTY LINE VIEWS



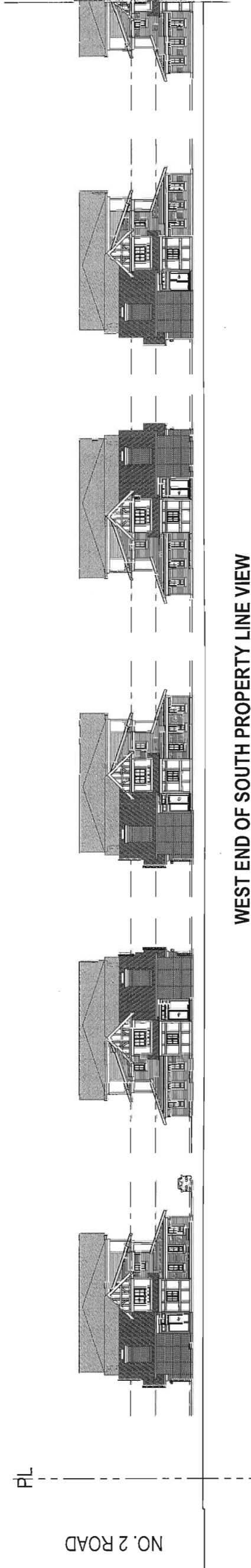
POLYGON
Suite 900, 133 West Broadway, Vancouver, BC
Canada V6K 1K2 t 604.977-1511 f 604.951-1420

DATABASE: 1321-STREET
PROJECT NO: 1321
DATE: 04 MAR 2015
SCALE: 1/16" = 1'-0"

DP 15-07 2059 - Reference



VIEW ALONG OF SOUTH PROPERTY LINE
SCALE: 1/32"=1'-0"



WEST END OF SOUTH PROPERTY LINE VIEW
SCALE: 1/16"=1'-0"



EAST END OF SOUTH PROPERTY LINE VIEW
SCALE: 1/16"=1'-0"



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120 Powell Street, Unit 10 Vancouver, BC Canada V6A 1G1
t 604.669.6002 f 604.669.1091 www.rharchitects.ca

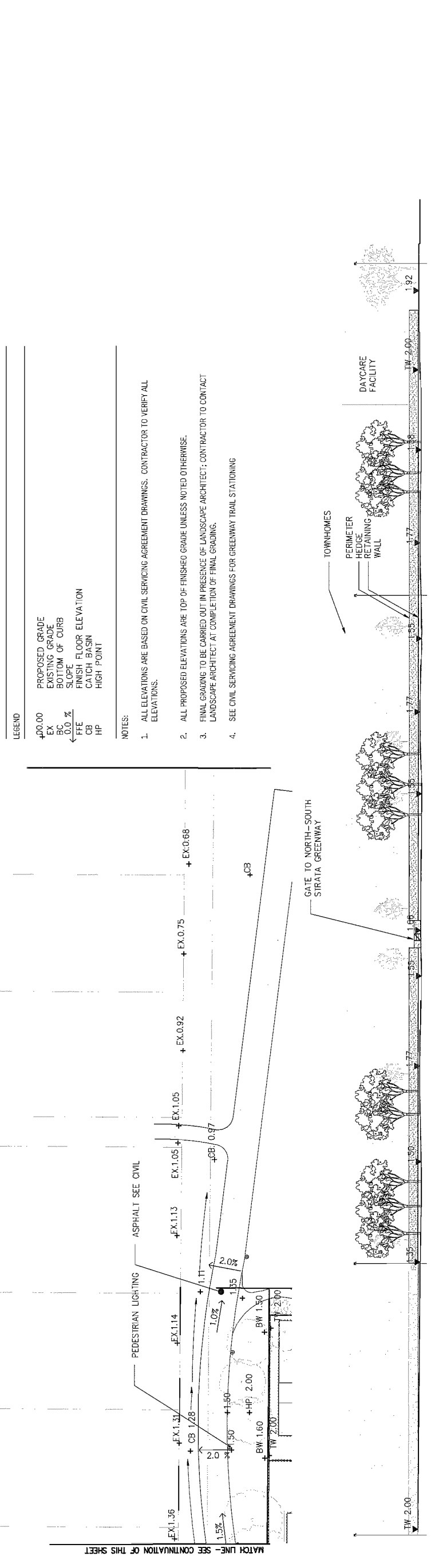
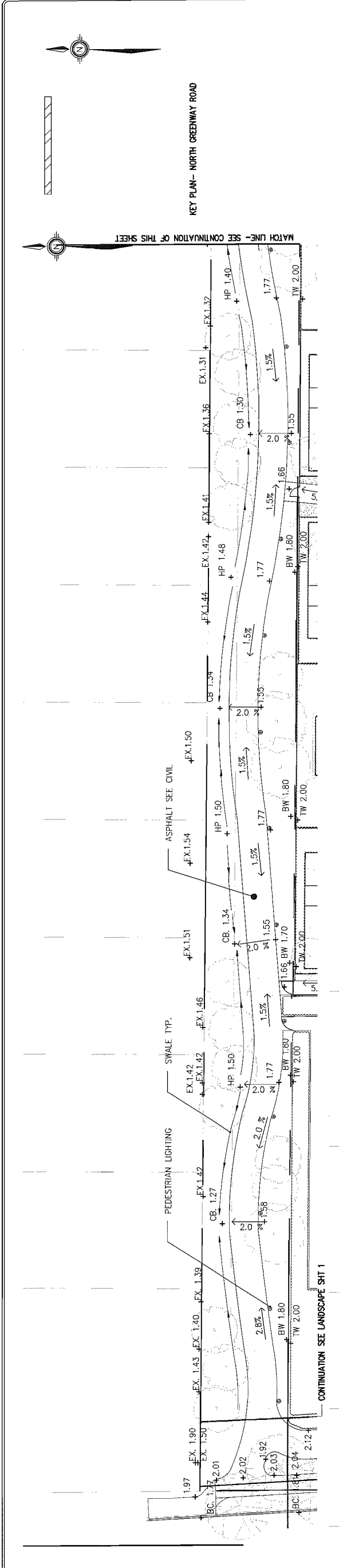
PROJECT:
Kingsley Estates
10388 No. 2 Rd., Richmond, BC

DRAWING TITLE:
PROPERTY LINE VIEWS



DATABASE: 1321-STREET
PROJECT NO: 1321
DATE: 04 MAR 2015
SCALE: 1/16" = 1'-0"

DP 15-092059-Reference



NOTE: CONFIRM LOCATIONS OF ALL EXIST. UTILITIES/SERVICES, PRIOR TO COMMENCING CONSTRUCTION.

BC GAS SERVICES
 THE DEVELOPER OR CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXISTING LOCATION OF GAS SERVICE LINES, AND WHERE NECESSARY FOR THE WORKS SHOWN ON THESE PLANS, A LIST OF SERVICE LINE LOCATIONS MAY BE OBTAINED FROM:
 BC GAS SERVICE RECORDS DEPARTMENT
 TELEPHONE: 293-8552

NOTE: BC GAS REQUIRES 10 DAYS NOTICE PRIOR TO THE COMMENCEMENT OF ANY WORK.

NOTES:

- ALL ELEVATIONS ARE TO GEODETIC DATUM AND REFER TO RICHMOND GEODETIC DATUM (1985) AT CORNER PUMP HOUSE SLAB SOUTH SIDE OF RIVER ROAD EAST OF NO. 5 ROAD ELEV. = 3.337m.
- CONTRACTOR MUST VERIFY BENCHMARK WITH THE ENGINEER PRIOR TO COMMENCING ANY CONSTRUCTION.
- FOR CONSTRUCTION DETAILS SEE RICHMOND STANDARD DWG'S.

REVISIONS

REV#	DATE	BY	CH.	DESCRIPTION
3	4 MAR/15	VH	DS	THIRD SUBMISSION
2	21 APR/15	VH	DS	SECOND SUBMISSION
1	25 MAR/15	VH	DS	FIRST SUBMISSION

DESIGN: DS
 DRAWN: DS/WH
 CHECKED: DS

SCALE: 1:200
 DATE: 25 MARCH /15
 SHEET No.: 2 OF 7

City of Richmond
 811 No. 3 Road Richmond, B.C. V6V 2E1

TITLE: LANDSCAPE LAYOUT, MATERIALS & GRADING PLAN
 NORTH GREENWAY
 10388 NO. 2 ROAD
 CITY FILE: SA #15 695335

HAPA
 KINGSLEY ESTATES,
 RICHMOND, BC
 PROJ. NO 201336

UP 15-09209 - Reference

