



City of Richmond

Report to Committee Planning and Development Division

To: Planning Committee
From: Wayne Craig
Director of Development

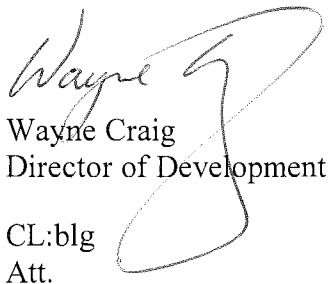
Date: September 24, 2015

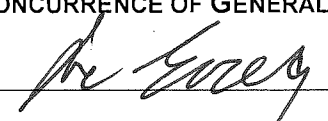
File: RZ 14-670779

Re: Application by 0814948 BC Ltd. for Rezoning at 10551 No. 1 Road from Single Detached (RS1/E) to Coach Houses (RCH1)

Staff Recommendation

That Richmond Zoning Bylaw 8500, Amendment Bylaw 9287, for the rezoning of 10551 No. 1 Road from "Single Detached (RS1/E)" to "Coach Houses (RCH1)", be introduced and given first reading.


Wayne Craig
Director of Development
CL:blg
Att.

| REPORT CONCURRENCE | | |
|--------------------|-------------------------------------|--|
| ROUTED TO: | CONCURRENCE | CONCURRENCE OF GENERAL MANAGER |
| Affordable Housing | <input checked="" type="checkbox"/> |  |

Staff Report

Origin

0814948 BC Ltd. has applied to the City of Richmond for permission to rezone the property at 10551 No. 1 Road from the “Single Detached (RS1/E)” zone to the “Coach Houses (RCH1)” zone, to permit the property to be subdivided to create two (2) lots, each with a principal single-detached dwelling and an accessory coach house above a detached garage, with vehicle access from the existing rear lane (Attachment 1). A survey of the subject site showing the proposed subdivision plan is included in Attachment 2.

Findings of Fact

A Development Application Data Sheet providing details about the development proposal is attached (Attachment 3)

Surrounding Development

The subject site currently contains an older character single-family dwelling. Development immediately surrounding the subject site is as follows:

- To the North, are compact lots zoned “Coach Houses (RCH)”, each containing a principal single-family dwelling and an accessory coach house building.
- To the East, directly across No. 1 Road, are single-family dwellings on lots under Land Use Contract 148.
- To the South, is a single-family dwelling on a lot zoned “Single Detached (RS1/E)”.
- To the West, across the rear lane that parallels No. 1 Road, is a single-family dwelling on a lot zoned “Single Detached (RS1/E)” that fronts Sorrel Drive.

Related Policies & Studies

Official Community Plan (OCP) and Steveston Area Plan Designations

The OCP land use designation for the subject site is “Neighbourhood Residential”. The Steveston Area Plan designation for the subject site is “Single-Family” (Attachment 4). This redevelopment proposal is consistent with these designations.

Arterial Road Policy

The Arterial Road Policy identifies the subject site for redevelopment to compact lots or coach houses, with rear lane access.

Floodplain Management Implementation Strategy

The proposed redevelopment must meet the requirements of the Richmond Flood Plain Designation and Protection Bylaw 8204. Registration of a flood indemnity covenant on Title is required prior to final adoption of the rezoning bylaw.

Public Input

Staff has not received any comments from the public about the development proposal in response to the placement of the rezoning sign on the property.

Analysis

Site Planning, Transportation Requirements and Architectural Character

The applicant's conceptual development plans are included in Attachment 5, which address the significant staff comments identified as part of the rezoning application review process.

The proposed site plan involves a principal dwelling on the east side and an accessory coach house above a detached garage on the west side of each lot proposed. Private open space is proposed in the rear yard in between the principal dwelling and the coach house on each lot proposed, which exceeds the minimum zoning requirement. Private open space for the exclusive use of the coach house is also proposed in the form of a balcony facing the existing rear lane.

Pedestrian access and circulation on-site is proposed to the main dwelling and coach house via a permeable pathway from No. 1 Road, as well as from the rear lane.

Vehicle access to the subject site is required to be from the rear lane only, with no access permitted to No. 1 Road in accordance with Bylaw 7222.

On-site parking is proposed in a garage in accordance with the Zoning Bylaw, and consists of two (2) parking spaces for the principal dwelling, provided in a tandem arrangement, along with one (1) parking space to the side for the coach house, with vehicle access to the site from the existing rear lane. Prior to final adoption of the rezoning bylaw, the applicant must register a restrictive covenant on title to prohibit the conversion of the parking area in the garage into habitable space.

The proposed architectural elevation plans include articulation of the coach house building, differentiation of exterior cladding materials, and appropriate window placement, thereby avoiding blank facades, providing some visual interest, and minimizing overlook onto adjacent properties.

On-site garbage and recycling is proposed to be located in the rear yard, and is setback a minimum of 1.5 m from the rear lot line, in accordance with the RCH1 zone. Screening of on-site garbage and recycling will be reviewed upon receipt of the required Landscape Plan for the site prior to final adoption of the rezoning bylaw.

Prior to final adoption of the rezoning bylaw, minor revisions will be made to the conceptual plans included in Attachment 5. Furthermore, the applicant must register restrictive covenants on title to ensure that:

- The coach house cannot be stratified; and
- The Building Permit application and ensuing development at the site is generally consistent with the plans included in Attachment 5. The Building Permit application

process includes coordination between Building Approvals and Planning staff to ensure that the covenant is adhered to.

Trees and Landscaping

A Certified Arborist's Report was submitted by the applicant, which identifies on and off-site tree species, assesses their structure and condition, and provides recommendations on tree retention and removal relative to the proposed development. The Report assesses:

- Five (5) bylaw-sized trees on the subject property; and,
- Three (3) trees located on the neighbouring property to the south at 10571 No. 1 Road.

The City's Tree Preservation Coordinator has reviewed the Arborist's Report, conducted visual tree assessment, and provides the following comments:

- Three (3) trees on-site have all been severely topped, are visibly dying, and should be removed and replaced (Trees # 999, 1000, 1001).
- Two (2) trees on-site are both in good condition, however, are located within the building envelopes for the coach houses (Trees # 997 and 998).
- Off-site Trees A and B on the adjacent property to the south (10571 No. 1 Road) are required to be retained and protected.
- Off-site Tree C on the adjacent property to the south (10571 No. 1 Road) is in marginal condition and is recommended for removal due to its proximity the building on the proposed south lot at the subject site, subject to neighbouring property owner authorization via a Tree Removal Permit. If the neighbouring property owner authorization is not obtained, Tree C must be protected.

Tree Retention

A total of three (3) off-site trees are to be retained and protected on the adjacent site to the south at 10571 No. 1 Road, and all five (5) trees on the subject site are proposed for removal. The proposed Tree Management Drawing is shown in Attachment 6.

To ensure protection of the off-site trees (Trees A, B, and C), the applicant must complete the following items prior to final adoption of the rezoning bylaw:

- Submit a contract with a Certified Arborist for supervision of all works conducted within close proximity to tree protection zones. The contract must include the scope of work, including the number of monitoring inspections at specified stages of construction, any special measures to ensure tree protection, and a provision for the Arborist to submit a post-construction impact assessment report to the City for review.

Prior to demolition of the existing dwelling on the subject site, the applicant is required to install tree protection fencing around the off-site trees to be retained. Tree protection fencing must be installed to City standard in accordance with the City's Tree Protection Information Bulletin TREE-03 prior to any works being conducted on-site, and must remain in place until construction and landscaping on-site is completed.

Tree Replacement

All five (5) trees on-site are proposed to be removed and replaced. The OCP tree replacement ratio of 2:1 requires that 10 replacement trees be planted and maintained on the subject site. Due to the compact size of the proposed lots, staff recommends that a total of six (6) replacement trees be planted and maintained on the proposed lots at development stage, and that a cash-in-lieu contribution be submitted to the City's Tree Compensation Fund in the amount of \$2,000 for the balance of required replacement trees not planted (\$500/tree). The six (6) replacement trees must be of the following minimum sizes and be located as follows:

- Two (2) 6 cm deciduous or 3.5 m coniferous trees in the front yards.
- Two (2) 8 cm deciduous or 4 m high coniferous trees in the front yards.
- Two (2) 5 m high conifer trees in the rear yards (with a minimum value of \$3,000 each). Suitable trees for the rear yards, as recommended by the project Arborist and the City's Tree Protection Department staff are Serbian Spruce.

To ensure that the required replacement trees are planted and maintained, and that the front and rear yards of the subject site are enhanced, the applicant is required to submit a Landscape Plan prepared by a Registered Landscape Architect, along with a Security in the amount of 100% of a cost estimate for the works provided by the Landscape Architect. The Landscape Plan must respond to the guidelines of the Arterial Road Policy and must comply with the landscaping requirements of the RCH1 zone. The Landscape Plan, Cost Estimate, and Security are required to be submitted prior to final adoption of the rezoning bylaw. The Security will be reduced by 90% after construction and landscaping at the subject site is completed and a landscaping inspection by City staff has been passed. The City will retain 10% of the Security for a one-year maintenance period to ensure that the landscaping survives.

Existing Legal Encumbrances

There is an existing Statutory Right-of-Way (SRW) registered on Title of the subject site for utilities. The applicant is aware that no encroachment into the SRW is permitted.

Affordable Housing Strategy

The Affordable Housing Strategy requires a secondary suite or coach house on 50% of new lots, or a cash-in-lieu contribution of \$1.00/ft² of total building area toward the City's Affordable Housing Reserve Fund for single-family rezoning applications.

This proposal to permit a subdivision to create two (2) lots, each with a principal single detached dwelling and accessory coach house above a detached garage, conforms to the Affordable Housing Strategy.

Site Servicing and Frontage Improvements

There are no servicing concerns with the proposed rezoning. At subdivision and development stage, the applicant is required to:

- Pay Development Cost Charges (City and GVS & DD), School Site Acquisition Charge, Address Assignment Fees, and Servicing Costs.
- Submit a cash-in-lieu contribution for future lane improvements (e.g., full lane width asphalt pavement, lane drainage, roll curb and gutter, and lighting).
- Complete the required servicing works and frontage improvements as described in Attachment 7.

Financial Impact

This rezoning application results in an insignificant Operational Budget Impact (OBI) for off-site City infrastructure (such as roadworks, waterworks, storm sewers, sanitary sewers, street lights, street trees and traffic signals).

Conclusion

The purpose of this rezoning application is to rezone the property at 10551 No. 1 Road from the "Single Detached (RS1/E)" zone to the "Coach Houses (RCH1)" zone, to permit the property to be subdivided to create two (2) lots, each with a principal single-detached dwelling and accessory coach house over a detached garage, with vehicle access to the existing rear lane.

This rezoning application complies with the land use designations and applicable policies contained within the OCP for the subject site.

The list of rezoning considerations associated with this application is included in Attachment 7, which has been agreed to by the applicant (signed concurrence on file).

On this basis, it is recommended that Zoning Bylaw 8500, Amendment Bylaw 9287 be introduced and given first reading.



Cynthia Lussier
Planning Technician
(604-276-4108)

CL:blg

- Attachment 1: Location Map/Aerial Photo
- Attachment 2: Site Survey and Proposed Subdivision Plan
- Attachment 3: Development Application Data Sheet
- Attachment 4: Steveston Area Plan Land Use Map
- Attachment 5: Conceptual Development Plans
- Attachment 6: Proposed Tree Management Drawing
- Attachment 7: Rezoning Considerations

PROPOSED REZONING

SORREL DR

SHUSWAP AVE

STEVESTON HWY

RD1

RCH

RS1/A

CL

CN

CG2

RTL1

056

RTL1

RD1

RD

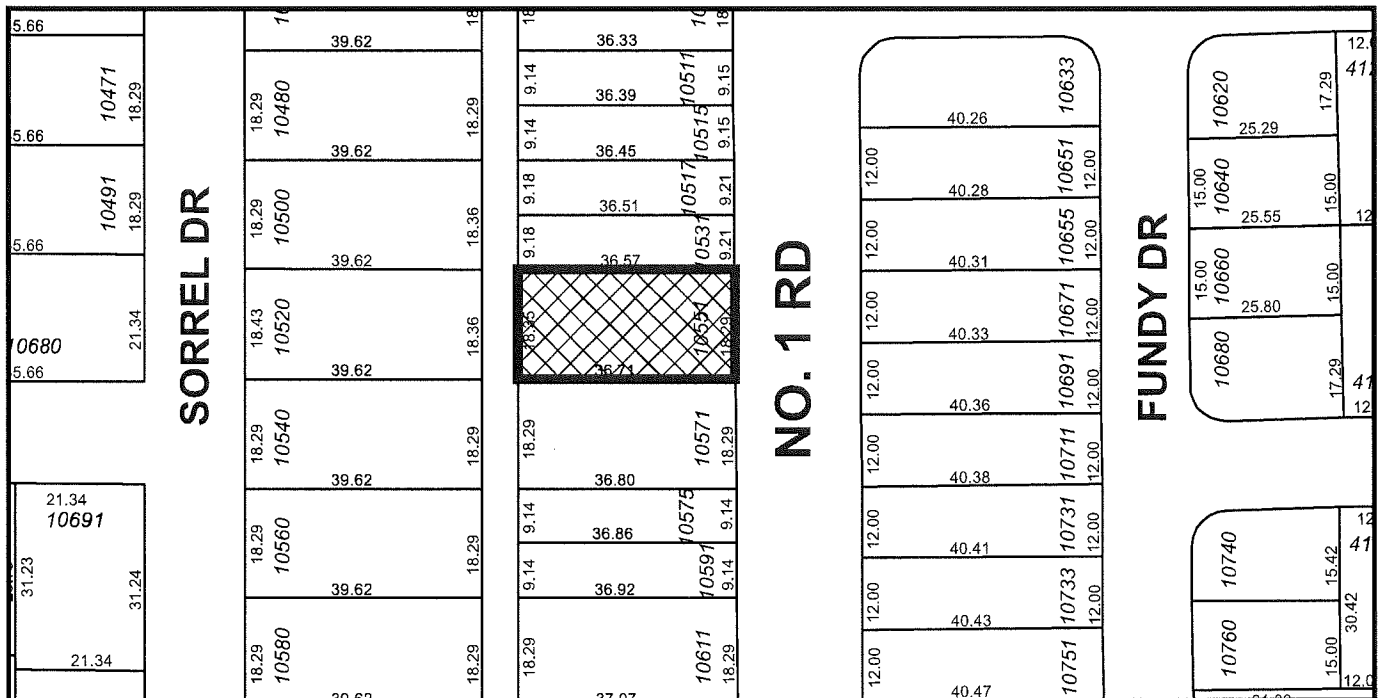
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112

110

RS1/E

RS1/E

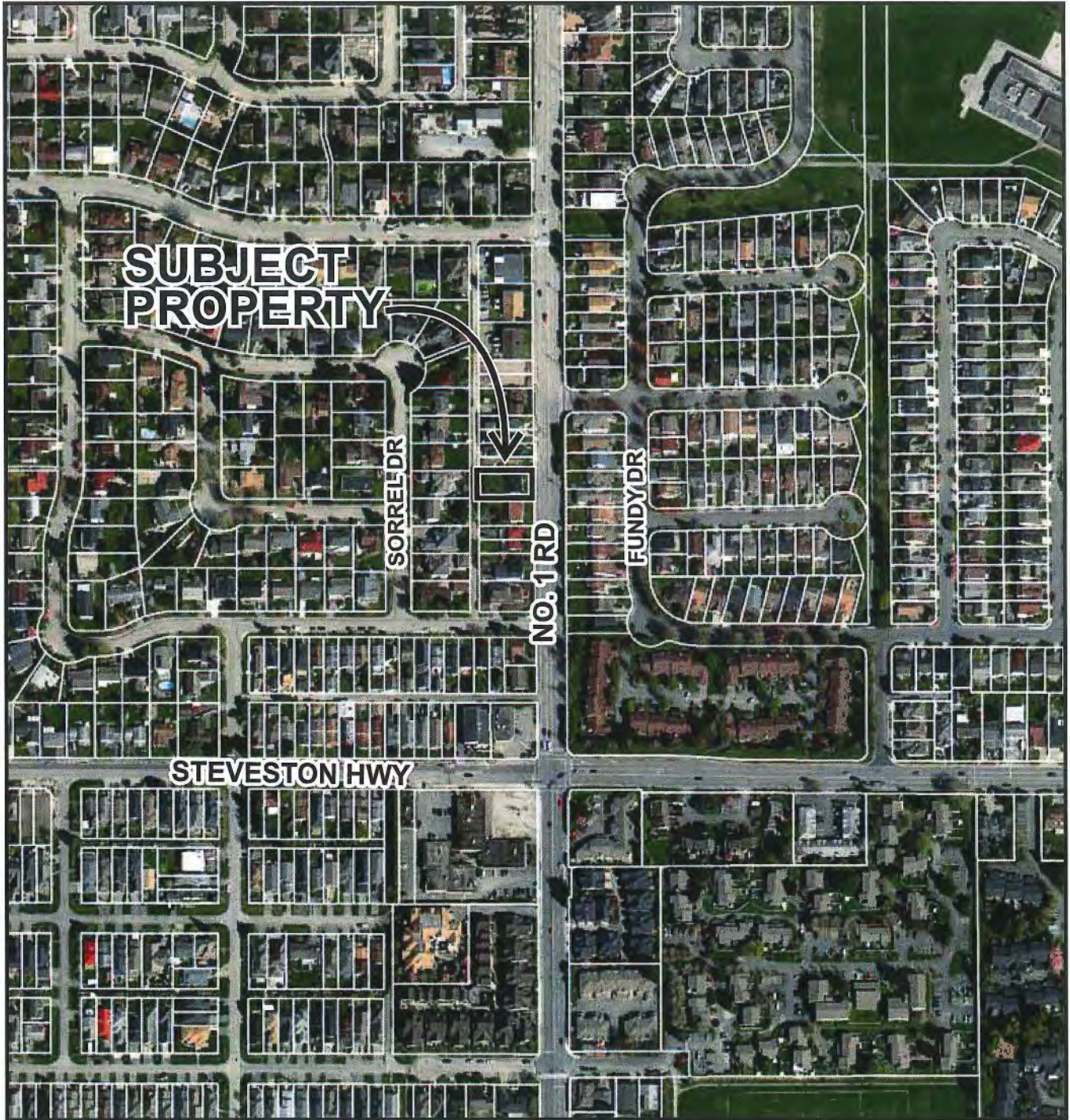


RZ 14-670779

Note: Dimensions are in METRES



City of
Richmond



RZ 14-670779

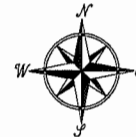
Original Date: 09/08/14

Revision Date:

Note: Dimensions are in METRES

TOPOGRAPHIC SURVEY AND PROPOSED SUBDIVISION OF LOT 593 SECTION 34 BLOCK 4 NORTH RANGE 7 WEST NEW WESTMINSTER DISTRICT PLAN 42890

#10551 NO. 1 ROAD,
RICHMOND, B.C.
P.I.D 008-594-298



SCALE: 1:200

0 5 10 15
ALL DISTANCES ARE IN METRES AND DECIMALS
THEREOF UNLESS OTHERWISE INDICATED

LEGEND:

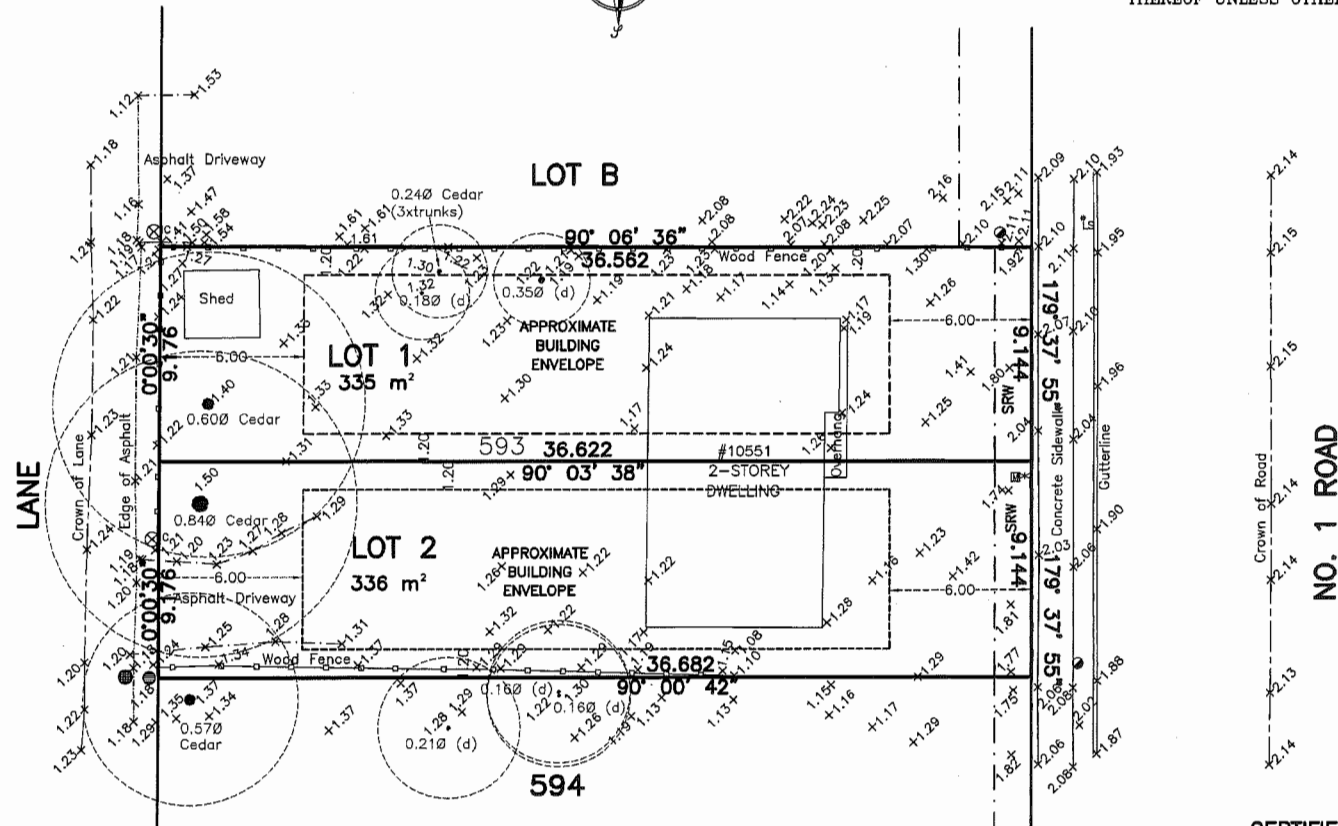
- (d) denotes deciduous
- denotes power pole
- denotes round catch basin
- ⊙ denotes manhole
- ⊗ denotes inspection chamber
- ⊞ denotes water meter
- ⊞ denotes water valve
- CO denotes cleanout
- LS denotes lamp standard

NOTE:

Elevations shown are based on City of
Richmond HPN Benchmark network.
Benchmark: HPN #231,
Control Monument 19713
Located at E side of Dyke, W side
lagoon opp. Mariner Park. Prot. By
4X4 posts
Elevation = 3.419 metres

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J. C. Tam and Associates
Canada and B.C. Land Surveyor
115 - 8833 Odlin Crescent
Richmond, B.C. V6X 3Z7
Telephone: 214-8928
Fax: 214-8929
E-mail: office@jctam.com
Website: www.jctam.com
Job No. 5681
FB-260 P112-113
Drawn By: TH

DWG No. 5681-TOPO



CERTIFIED CORRECT:
LOT DIMENSION ACCORDING TO
FIELD SURVEY.

Johnson C. Tam
JOHNSON C. TAM, B.C.L.S.
AUGUST 6th, 2014



RZ 14-670779

Attachment 3

Address: 10551 No. 1 Road

Applicant: 0814948 BC Ltd.

Planning Area(s): Steveston

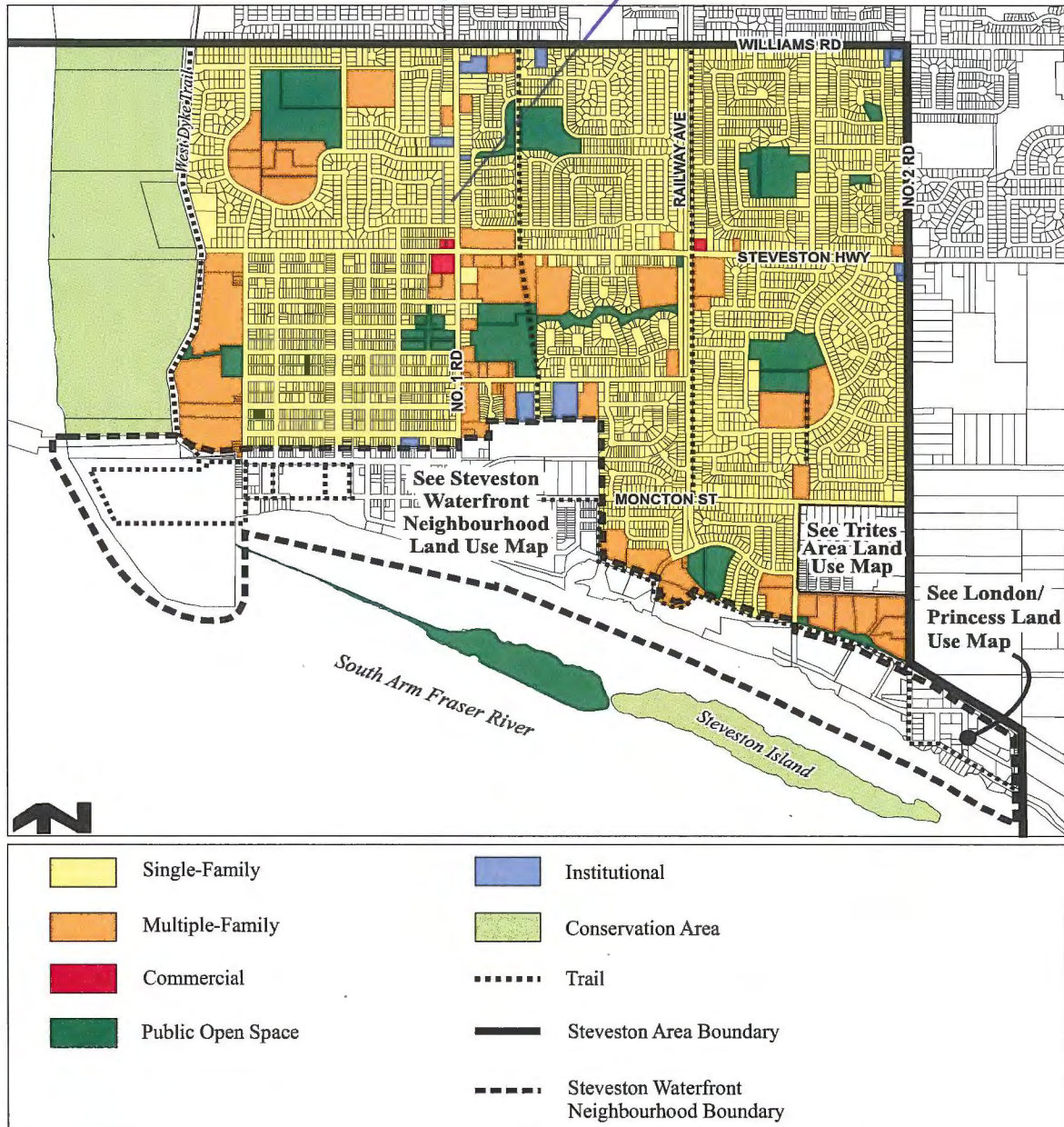
| | Existing | Proposed |
|-----------------------------------|--|--|
| Owner: | Pami Vininder Singh Buttar Amandeep Amy Mander | To be determined |
| Site Size (m²): | 671 m ² | North lot – 335 m ² South lot - 336 m ² |
| Land Uses: | Single detached dwelling | Two (2) residential lots |
| OCP Designation: | Neighbourhood Residential | No change |
| Area Plan Designation: | Single-Family | No change |
| Zoning: | Single Detached (RS1/E) | Coach Houses (RCH1) |
| Other Designations: | The Arterial Road Policy designates the subject site for redevelopment to coach houses with lane access. | No change |

| On Future Subdivided Lots | Bylaw Requirement | | Proposed | | Variance |
|--|--------------------|--------------------|--|--------------------|----------------|
| Floor Area Ratio: | Max. 0.60 | | Max. 0.60 | | none permitted |
| Lot Coverage – Building: | Max. 45% | | Max. 45% | | none |
| Lot Coverage – Buildings, Structures, and Non-Porous Surfaces: | Max. 70% | | Max. 70% | | none |
| Lot Coverage – Live Plant Material: | Min. 20% | | Min. 20% | | none |
| Lot Size (min. dimensions): | 315 m ² | | North lot - 335 m ² South lot - 336 m ² | | none |
| Principal Dwelling Setback – Front & Rear Yards (m): | Min. 6 m | | Min. 6 m | | none |
| Principal Dwelling Setback – Side Yards (m): | Min. 1.2 m | | Min. 1.2 m | | none |
| Coach House Building Setback – Rear Yard (m): | Min. 1.2 m | | Min. 1.2 m | | none |
| Coach House Building Setback – Side Yards (m): | Ground floor | Min. 0.6 & 1.8 m | Ground floor | Min. 0.6 & 1.8 m | none |
| | Second floor | Min. 1.2 m & 1.8 m | Second floor | Min. 1.2 m & 1.8 m | none |
| Principal Dwelling Height (m): | Max. 2 ½ storeys | | Max. 2 ½ storeys | | none |

| On Future Subdivided Lots | Bylaw Requirement | | Proposed | | Variance |
|--|---|-------------------|---|-------------------|----------|
| Coach House Building Height (m): | Max. 2 storeys or 6.0 m, whichever is less, as measured from the highest elevation of the crown of the lane | | Max. 2 storeys or 6.0 m, whichever is less, as measured from the highest elevation of the crown of the lane | | none |
| On-Site Parking Spaces – Principal Dwelling: | 2 | | 2 | | none |
| On-Site Parking Spaces – Coach House: | 1 | | 1 | | none |
| Tandem Parking Spaces: | permitted | | 2 for Principal Dwelling | | none |
| Amenity Space – Outdoor: | Principal Dwelling | 30 m ² | Principal Dwelling | 30 m ² | none |
| | Coach House | No minimum | Coach House | No minimum | none |

Other: Tree replacement compensation required for loss of bylaw-sized trees.

City of Richmond

Steveston Area Land Use MapBylaw 7783
2010/04/12



SCALE: 1/8" = 1'-0"

Crown of Road

www.dmanddesign.com

PRELIMINARY PROPOSAL

ROOF RIDGE EL.: 

ROOF MEAN EL.: 

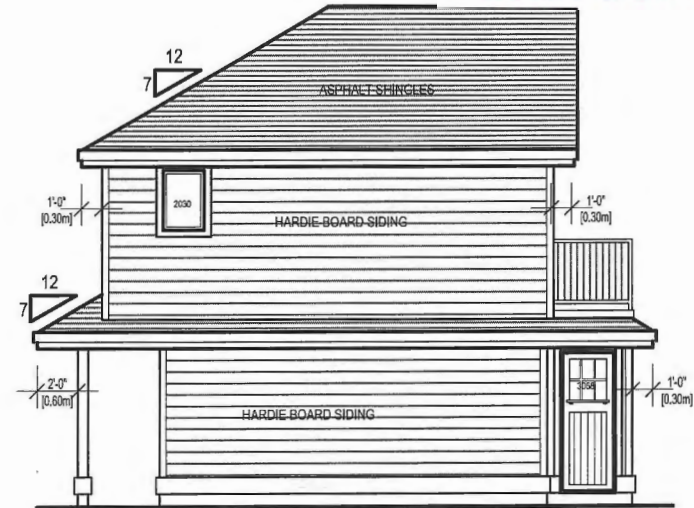
U/S 2nd FLR CEIL. EL.: 

T/O 2nd FLOOR EL.: 

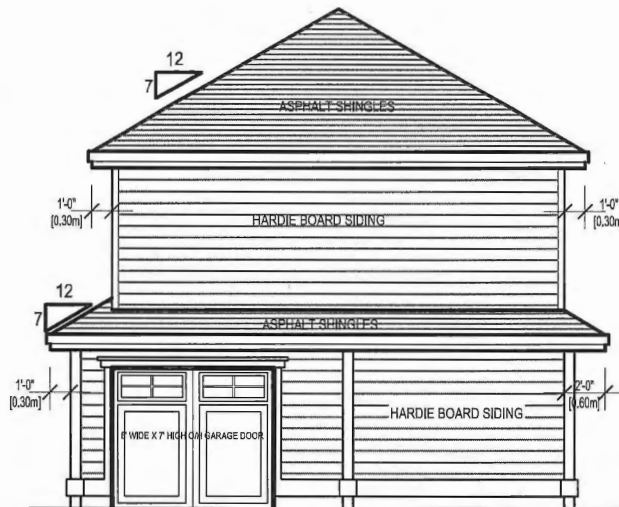
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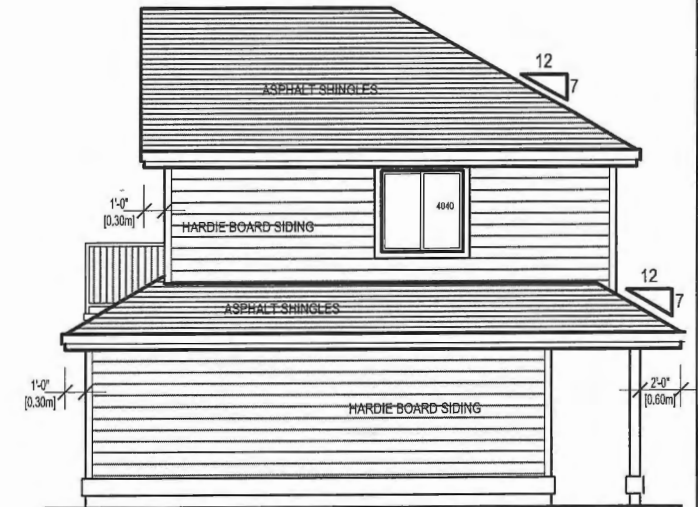
WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION

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- **Tag #** denotes the tag affixed to the tree for reference in report and on drawings.
- **Ht** and **Spr** denote the height and spread (radius of crown) of the tree in metres as measured or estimated by the assessor if applicable. Height and Spread are not applicable for Grove or Forest Stand trees.
- **Dbh** denotes the diameter of the trunk measured at 1.4 m above grade or as per arboricultural standards (i.e. For multi stem trees).
- **Cond** denotes health and structural rating using Visual Tree Assessment (VTA) procedures. **U** denotes Unsuitable, **M** denotes Marginal, **S** denotes Suitable. See report for details.
- **Action** denotes the proposed treatment of the tree within the current development design. See report and drawing for details.

| Tag # | Action | Height | Sp | Dbh (cm) | Tree Type | Condition | Observations | Action |
|-------|--------|--------|----|------------|------------------|-----------|--|-----------------|
| 997 | Remove | | 6 | 74 | Western redcedar | M | Two stems coalescent at base with long bark inclusion above. Small girdling roots over root crown. Leaders well limb-tied. | Remove |
| 998 | | 6 | | 60 | Western redcedar | M | Historically crown raised to 2m via heading cuts. Broken branches over lane. Umbis embedded in stem. | Remove |
| 999 | | 4 | 3 | 21 | Apple | U | Historic partial failure at root mat and regenerated. Severe lean to south. Historically topped at 3m. In health decline. | Remove |
| 1000 | | 4 | 2 | 15+10+8 | Sawara cypress | U | Historically topped at 2m. Replacement leaders weakly attached at topping site and high risk for failure. | Remove |
| 1001 | | 4 | 2 | 29+19 | Cherry | | Dead / Dying. Extensively decayed leaders. Historically topped at 4m and pruned via heading cuts. Large injury at base. | Remove |
| A | | | | 57 | Western redcedar | M | Girdled at 1.5m with a wire supporting the fence. Stem is smaller diameter at girdle than above or below. | Protect |
| B | | 5 | 3 | Approx. 25 | Plum | U | Historically pruned via heading cuts and topped at 3m. Black-knot fungal disease observed throughout crown. | Refer - Protect |
| C | | 5 | 3 | Approx. 16 | Pear | M | Historically topped at 3m. Replacement leaders carry entire crown. | Protect |

TREE PROTECTION ZONE SETBACKS:

The **Tree Protection Zone** (TPZ) applications are established as directed by this office to provide a suitable setback to ensure adequate root protection to maintain tree health and forest stability. These alignments are based on soil type and tree conditions as determined by the project engineer, and may include additional setbacks or other protection setbacks provided by others (including setbacks derived from municipal guidelines), and may be conditional to certain mitigation measures being undertaken (such as, root pruning, compensatory tree(s) to remaining root zone). The Tree Protection guidelines do apply to the overhead portions of the tree (trunk, branches and foliage).

even if those trees part of the TPZ setback.

TREE PROTECTION FENCES (BARRIERS)

Barricade must be erected at the specified dimensions and setbacks, maintained in good condition so that the project reaches substantial completion and the fence remains in place until all work has been completed as detailed herein through to the completion of the landscaping phase. The materials and installation of the fence must meet or exceed the municipal standards. Signs stating "TREE PROTECTION ZONE - NO ENTRY" must be placed on the tree protection fence at a suitable frequency at the direction of the project arboretist. Anywhere where the alignment crosses the road, the project engineer will advise the contractor of the location of the fence and the appropriate signage. All signs should be made aware of the restrictions therein, and consult with this office for any questions. If required, Tree protection fencing must be inspected and approved by the municipality and/or the project arboretist prior to commencement of any demolition, site preparation or construction work.

SURVEY OF FENCES

If any tree protection fences are aligned with or within close proximity to a restrictive covenant, a property line, and/or an environmentally sensitive or protected area, the contractor must undertake a survey of the location of those properties such that the project engineer can determine if there is any conflict between the fences and the covenants.

TREE PROTECTION AND LAND CLEARING OPERATIONS:

A large scale land clearing areas contain a TPZ and therefore is withholding protection required in new forest edge interfaces along the perimeter of the land clearing operation. A TPZ one specified as retained, it is strongly recommended that the land clearing contractor should coordinate with the project arboretist in advance to review their work plan and to identify relevant risks and the protection measures for them, as well as during the clearing process to improve compliance and to assess new lowest risk options to provide the best possible landscape prescription.

For tendering purposes, the proponents should be obligated to provide unit costs for the following treatments (including disposal of waste) in the forest interface zones:

- Removal of defective trees in size categories of small (up to up to 20 cm dbh), medium (ash 21 cm to 45 cm), large (ash 46 to 75 cm) and very large (76 cm and greater), and;
- Pruning services (monthly).

Note that approval for felling chain or large woody debris created by the works of these operations on the site will be investigated and approved by the project engineer and project arboretist.

In certain cases, and subject to municipal approval, interim tree protection measures instead of standard hard protection fence installation may be acceptable, such as but not limited to:

- Establish the several types of barriers to attend and direct the compliance to protection measures during the clearing scope that is in proximity to the TPZ, or
- Installing alternative demarcation of this TPZ such as survey stakes, painting lines on the ground, and/or placing rock and flagging tape.

TREE REMOVAL GUIDELINES:

Any construction related work or activities within or directly adjacent to a TPZ requires advance approval and then on-site direction of the project arboretist. The trunks, branches, foliage and roots of retained trees, as well as the soil within the tree protection zones, must be preserved by the contractor and the project engineer. The removal of trees within the TPZ shall be restricted during site preparation, construction and landscaping phases of the project as follows:

- No restricted low impact methods for the removal of trees and stumps within or adjacent to TPZ.
- No soil disturbance, including trenching for underground services or utilities, shifting of organic soil for hard landscape installation, excavation for building foundations, fill placement, or trenching for irrigation or conduit installation.
- No storage or transport of soil, topsoil, construction materials, waste materials, etc.,
- No piling or working of concrete, masonry, drywall, paint, or other materials that may adversely impact the soil or roots,
- No operation of agricultural machinery or vehicles or equipment,
- No placement of temporary structures or services,
- No afflicting lights, signs, cables or any other devices to retained trees.

Where trees are retained in place, the project engineer will advise the contractor of the treatment of a retained tree must be completed by a qualified arborist or tree service firm employing ISA Certified Arborists and in conformance with ANSI A30 Standards, and/or under the direction of the project Arboretist on this site, and also,

any preservation operations to the IPZ will require the attendance of the project arboretist and root pruning to be undertaken as necessary.

- The use of aerial lifts, cranes or other overhead equipment is restricted in proximity to retained trees and should be planned with the size and height of the crown of the tree free clearance.

It is anticipated that careful coordination with a TPZ may arise that could interfere with the protection of the selected trees; however any encroachment into a TPZ and/or changes to the tree retention scheme are subject to approval in advance by the project arboretist and the municipality. Certain TPZ restrictions or guidelines noted herein may be waived if they are shown to be impractical or impossible, and/or if impacts to the trees can be successfully mitigated by implementing special measures, protection systems, compensatory treatments, and/or follow-up works, as specified and directed by this office.

LANDSCAPING:

The landscaping phase is when retained trees can be severely damaged. The operation of equipment, the placement of growing media, grading and soil base preparation for hard landscape features, i.e., sidewalks and paths), the preparation for retaining walls and excavations, the installation of drainage infrastructure, the installation of lighting, the installation of irrigation systems, the digging of benches for vibration, drainage and seating, and the placement of turf and other finishing works, all have a very high

| | | |
|-------|--------------|---------------------------------|
| 2 | JUL 10, 2015 | ADDED UPSIZED REPLACEMENT TREES |
| 0 | AUG 25, 2014 | INITIAL SUBMISSION |
| REV # | DATE | COMMENTS |

| | | |
|-----------|--------------------------|---------------|
| PROJECT: | TWO LOT SUBDIVISION | |
| ADDRESS: | 10551 NO. 1 RD, RICHMOND | |
| CLIENT: | DAVE MANDER | |
| ACL FILE: | 14289 | SHEET: 1 OF 2 |

PLAN NOTES:
This plan is based on drawings supplied by the project Surveyor (SCS), Engineer (E) and/or Design Professional and is provided for contract only as it relates to the planning and implementing the management of existing trees. This plan does not warrant or certify the accuracy of locations of features or dimensions thereof. Refer to the original drawings from those professionals for those purposes.

ARBORTECH
CONSULTING

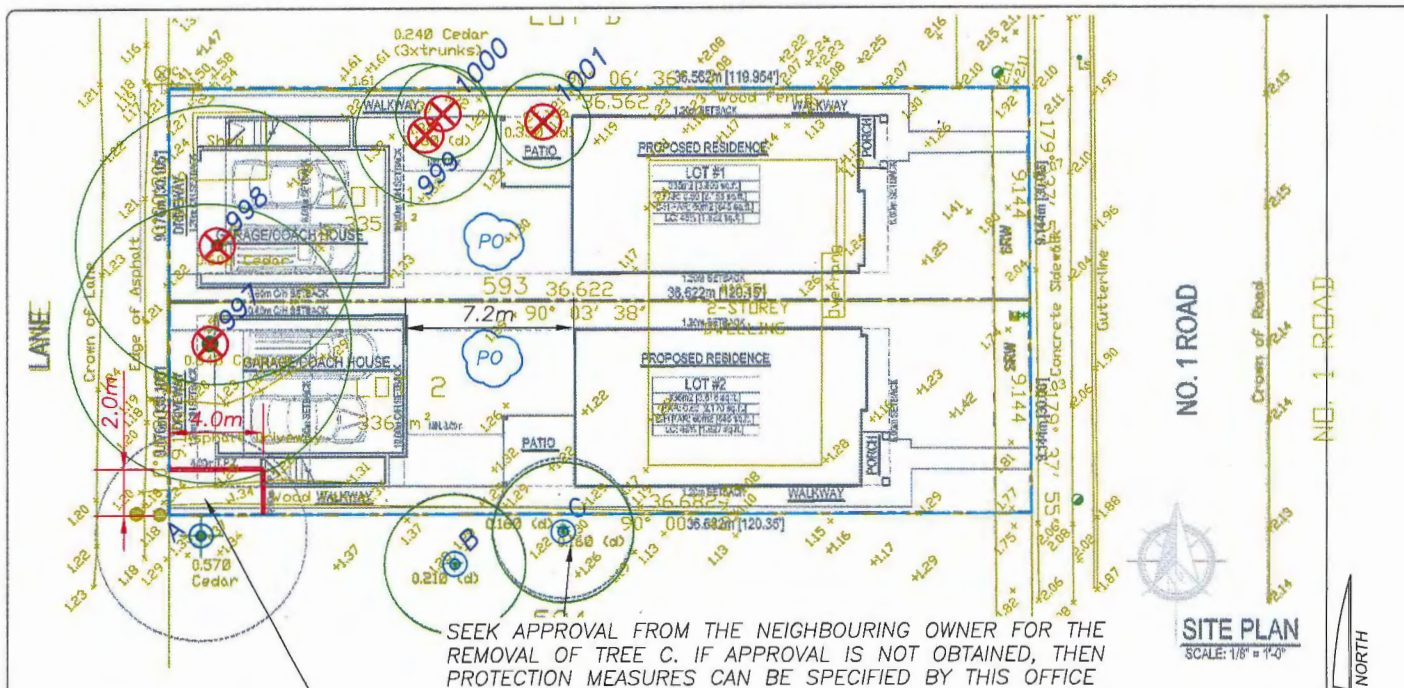
HEAD OFFICE: SERVING METRO VANCOUVER
SUITE 200 - 3740 CHATHAM STREET, RICHMOND, BC CANADA V7E 2Z5
FRASER VALLEY REGIONAL OFFICE:
SUITE 109 - 1528 MCCALLUM ROAD, ABBOTSFORD, BC CANADA V2Y 1A5



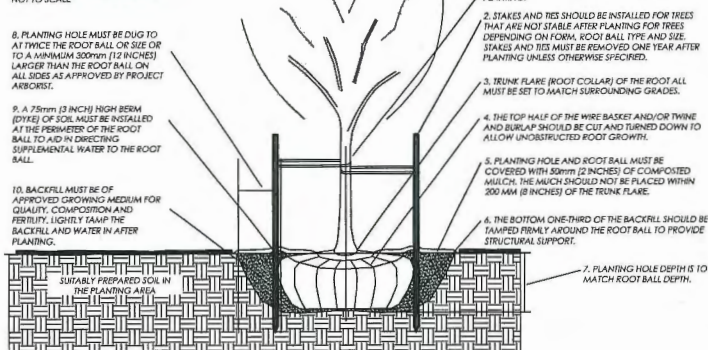
a division of:

604,275,348.

▷ 604.755.713



TREE PLANTING DETAIL



PLAN NOTES:

This plan is based on drawings supplied by the project Surveyor (PCL), Engineer (PCL) and/or Design Professional, and is provided for reference only. It is not to be used for the planning and implementation of the management of existing trees. This plan does not warrant or certify the accuracy of locations of features or dimensions shown. Refer to the original drawings from these professionals for those purposes.

SUGGESTED PLANT LIST:

PLEASE USE BOTANICAL NAME WHEN ORDERING PLANT MATERIAL.
PLANT SITES MUST MEET MUNICIPAL REQUIREMENTS FOR MINIMUM SIZE AND SPECIES.
PLANTING LOCATIONS MUST MEET ARBORICULTURAL BEST MANAGEMENT PRACTICES AND BC S/LA/BCUNA SPECIFICATIONS FOR SELECTION, HANDLING, PLANTING, ESTABLISHMENT AND MAINTENANCE.

| QTY | CODE | CAL/HT | BOTANICAL NAME | COMMON NAME |
|-----|------|---------|----------------|----------------|
| 2 | PD | 5.0m HT | PICEA OMORICA | SERBIAN SPRUCE |

LEGEND:

- ✕ denotes tree TAG NUMBER or ID REFERENCE.
- denotes DRIFLINE (spread of the branches and foliage) of the tree.
- denotes the trunk location of tree proposed to be **RETAINED** and protected.
- denotes the trunk location of tree proposed to be **REMOVED**.
- denotes trunk location of **HIGH RISK** tree for owner to obtain permit and **REMOVE** as soon as possible.
- denotes trunk location of **OFF-SITE** tree to be protected (unless owner/municipal approval for removal is obtained).
- denotes **NON-BY-LAW** underpass tree (measured by project arborist).
- denotes **SITE LIMITS**.
- denotes **TREE PROTECTION ZONE** setback alignments.

| 2 | JUL 10, 2015 | ADDED UPSIZED REPLACEMENT TREES |
|-------|--------------|---------------------------------|
| 0 | AUG 25, 2014 | INITIAL SUBMISSION |
| REV # | DATE | COMMENTS |

TREE MANAGEMENT DRAWING

| | |
|-----------|--------------------------|
| PROJECT: | TWO LOT SUBDIVISION |
| ADDRESS: | 10551 NO. 1 RD, RICHMOND |
| CLIENT: | DAVE MANDER |
| ACL FILE: | 14289 |
| SHEET: | 2 OF 2 |

adgroup.ca

ARBORTECH CONSULTING

HEAD OFFICE: SERVING METRO VANCOUVER
SUITE 200 - 3740 CHATHAM STREET, RICHMOND, BC CANADA V7E 2Z3 p 604.275.3484
FRASER VALLEY REGIONAL OFFICE
SUITE 107 - 1525 MCCALLUM ROAD, ABBOTSFORD, BC CANADA V2S 8A3 p 604.755.7132





Address: 10551 No. 1 Road

File No.: RZ 14-670779

Prior to final adoption of Richmond Zoning Bylaw 8500, Amendment Bylaw 9287, the following items are required to be completed:

1. Submission of a Landscape Plan, prepared by a Registered Landscape Architect, along with a Landscaping Security based on 100% of a cost estimate for the works provided by the Landscape Architect (including 10% contingency, fencing, required trees, all hard and soft landscaping, and installation). The Landscaping Security will be reduced by 90% after construction and landscaping on the subject site is completed and a landscaping inspection by City staff has been passed. The City will retain 10% of the Security for a one-year maintenance period to ensure that the landscaping survives. The Landscape Plan must respond to the guidelines of the Arterial Road Policy and comply with the landscaping requirements of the RCH1 zone, and must include the following six (6) replacement trees:
 - Two (2) 6 cm deciduous or 3.5 m coniferous trees in the front yards.
 - Two (2) 8 cm deciduous or 4 m high coniferous trees in the front yards.
 - Two (2) 5 m high conifer trees in the rear yards (with a minimum value of \$3,000 each). Suitable trees for the rear yards, as recommended by the project Arborist and the City's Tree Protection Department staff are Serbian Spruce.
2. Registration of a restrictive covenant on Title of the lot to ensure that the Building Permit application and ensuing development at the site is generally consistent with the plans included in Attachment 5 to this report.
3. City acceptance of the developer's offer to voluntarily contribute \$2,000 to the City's Tree Compensation Fund for the planting of replacement trees within the City.
4. Submission of a Contract entered into between the applicant and a Certified Arborist for supervision of any on-site works conducted within the tree protection zone of the trees to be retained (Trees A, B, and C on the adjacent site to the south at 10571 No. 1 Road). The Contract must include the scope of work to be undertaken, including: the proposed number of site monitoring inspections, and a provision for the Arborist to submit a post-construction assessment report to the City for review.
5. Registration of a flood indemnity covenant on Title.
6. Registration of a legal agreement on Title ensuring that the coach house cannot be stratified.
7. Registration of a legal agreement on title prohibiting the conversion of the parking area in the garage into habitable space.

Prior to Demolition Permit* issuance, the applicant must complete the following requirements:

- Installation of appropriate tree protection fencing on-site around the trees to be retained (Trees A, B and C on the adjacent property to the south at 10571 No. 1 Road). Tree protection fencing must be installed to City standard in accordance with the City's Tree Protection Information Bulletin TREE-03 prior to any works being conducted on-site, and must remain in place until construction and landscaping on-site is completed.

At Subdivision* and Building Permit* stage, the applicant must complete the following requirements:

- Pay Development Cost Charges (City and GVS & DD), School Site Acquisition Charge, Address Assignment Fees, and Servicing Costs.

- Submit a cash-in-lieu contribution for future lane improvements (e.g., full lane width asphalt pavement, lane drainage, roll curb and gutter, and lighting).
- Complete the following required servicing works and frontage improvements:

Water Works

- Using the OCP Model, there is 396 L/s of water available at a 20 psi residual at the No. 1 Road frontage. Based on your proposed development, your site requires a minimum fire flow of 95 L/s. Once you have confirmed your building design at the Building Permit stage, you must submit fire flow calculations signed and sealed by a professional engineer based on the Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) to confirm that there is adequate available flow.
- At the applicant's cost, the City is to disconnect the existing 20mm water connection, and install two (2) new 25mm diameter water connections complete with meter boxes in the existing right-of-way.

Storm Sewer Works

At the applicant's cost, the City is to:

- Cut and cap the existing storm connection at the southwest corner of the property.
- Install a new storm sewer inspection chamber and two new service connections at the proposed common property line and tie-in to the existing manhole STMH5748 in the rear lane.

Sanitary Sewer Works

- No sanitary sewer upgrade is required.
- The applicant is required to retain and tie-in to the existing sanitary service connections in the rear lane.

Frontage Improvements

- No lane upgrade is required.
- The applicant is required to submit a cash-in-lieu contribution at subdivision stage for future lane improvements (e.g., full lane width asphalt pavement, lane drainage, roll curb & gutter, and lighting).

General Items

- Proposed driveway locations must not conflict with existing street lights and/or utility poles. Requests to relocate street lights and/or utility poles will not be considered other than under exceptional circumstances.
- Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
- Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

(Signed original on file)

Signed

Date



**Richmond Zoning Bylaw 8500
Amendment Bylaw 9287 (RZ 14-670779)
10551 No. 1 Road**

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, is amended by repealing the existing zoning designation of the following area and by designating it **"COACH HOUSES (RCH1)"**.

P.I.D. 006-594-298

Lot 593 Section 34 Block 4 North Range 7 West New Westminster District Plan 42890

2. This Bylaw may be cited as **"Richmond Zoning Bylaw 8500, Amendment Bylaw 9287"**.

FIRST READING

A PUBLIC HEARING WAS HELD ON

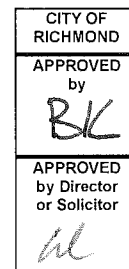
SECOND READING

THIRD READING

OTHER REQUIREMENTS SATISFIED

ADOPTED

OCT 13 2015



MAYOR

CORPORATE OFFICER