



City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: September 26, 2025

From: Joshua Reis
Director, Development

File: DP 25-007857

Re: **Application by Pacific West Architecture Inc. for a Development Permit at
8251 Alexandra Road**

Staff Recommendation

That a Development Permit be issued which would permit exterior renovations to the existing building at 8251 Alexandra Road on a site zoned "Auto-Orientated Commercial (CA)".

Joshua Reis
Director, Development
(604-247-4625)

JR:eml
Att. 2

Staff Report

Origin

Pacific West Architecture Inc., on behalf of owner Bingtao Zhou (1149142 BC Ltd), has applied to the City of Richmond for permission to undertake renovations to the existing building at 8251 Alexandra Road on a site zoned “Auto-Oriented Commercial (CA)”. The subject Development Permit (DP) is limited to the update of exterior building finishes, the addition of weather protection canopies along pedestrian walkways, and the improvement of sidewalks and boulevards, and landscaping on the subject site. A location and aerial map of the subject site is provided in Attachment 1.

A Servicing Agreement (SA) is required prior to Building Permit (BP) issuance and includes, but is not limited to, the construction of a new sidewalk, boulevard and curb and gutter along the subject site’s Alexandra Road frontage and the reconstruction of the site’s existing driveway access. No servicing upgrades are proposed.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 2) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

The subject site contains an existing restaurant building that is not currently in operation.

Development surrounding the subject site is as follows:

- To the North: Single-family lots fronting Leslie Road zoned “Single-Detached (RS1/E)” and designated “Mixed Employment” in the Official Community Plan (OCP). There is a current rezoning application for the subject sites at 8180, 8200, 8220, 8240, 8260, 8280 and 8300 Leslie Road to permit the development of a mixed commercial, industrial and office development (RZ 20-921503) which was granted third reading at the Public Hearing held on May 21, 2024.
- To the East: A two-storey commercial building on a lot zoned “Auto-Orientated Commercial (CA)” and designated “Mixed Employment” in the OCP.
- To the South: Across Alexandra Road is a vacant lot zoned “Auto-Orientated Commercial (CA)” and designated “Commercial” in the OCP.
- To the West: Fronting Alexandra Road is a two-storey commercial building on a lot zoned “Auto-Orientated Commercial (CA)” and designated “Mixed Employment” in the OCP.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the urban design issues and staff comments identified as part of the review of the subject DP application. In addition, it complies with the intent of the applicable sections of the OCP and City Centre Area Plan (CCAP) DP Guidelines and is in compliance with the “Auto-Oriented Commercial (CA)” zone.

The limited scope of the proposed exterior alterations will neither significantly impact the overall existing form of the building nor result in a change in floor area.

Analysis

Flood Protection

- There is currently no flood indemnity covenant registered on title for the subject site. Prior to issuance of the DP, the applicant shall register a flood indemnity covenant to reflect current flood construction standards as outlined in the Richmond Flood Plain and Designation Protection Bylaw 8402.

Conditions of Adjacency

- Given the limited scope of the proposed improvements, there are no anticipated impacts to adjacent properties resulting from the proposed external building renovations and parking lot alterations. There are no changes proposed to the existing building height, the side and rear yard setbacks remain the same and comply with all zoning setbacks.
- The form of development is generally consistent with the adjacent properties to the east and west. The existing building has been constructed to the west property line and abuts the drive isle which provides access to the parking lot for the adjacent property.
- The subject property is screened from the adjacent site to the east by a series of trees that are to be retained.
- The existing building is well setback from the residential properties to the north.
- There are no additional impacts anticipated to the properties to the south across Alexandra Road.

Urban Design and Site Planning

- The existing restaurant is located within the west portion of the subject site with the main building entrance located on the southeast corner of the building. The main entrance is proposed to remain in place.
- The main entrance will see enhancement through weather protection measures, which will extend along the pedestrian walkway on the east portion of the building.
- No changes to the location of surface parking on the site is proposed, except for the removal of five existing parking spaces to the north of the existing building to accommodate a new medium-sized loading space, garbage and recycling storage, and Class 1 bicycle parking. In addition, two trees are proposed to be relocated from the front of the subject site to the parking area. The removal of five parking spaces does not impact the site's compliance with the minimum parking requirements in the Zoning Bylaw.
- The applicant is proposing to enhance pedestrian safety on site with the installation of vehicle wheel stops on parking stalls adjacent to the building.
- Two new Class 1 bicycle parking lockers are provided near the staff entry for ease of use, and three new Class 2 bicycle parking spots will be provided outside the main entrance, for access and visibility.

- A new garbage and recycling enclosure is proposed to the rear of the existing building. The aluminum enclosure, with a black powder coat finish, will screen the waste and recycling from view.

Architectural Form and Character

- The proposed building cladding materials are comprised of metal composite paneling, with yellow-gold tones along the south and east facades, and charcoal at the rear, and are in general alignment with the OCP and CCAP design guidelines. The new materials will replace the existing orange stucco to modernize the buildings appearance.
- The existing white coloured concrete block wall facing the west interior side lot line will be repainted to a charcoal colour in keeping with the overall proposed design approach.
- The existing skylight at the southern most portion of the building is to remain. The existing skylight above the main entrance is proposed to be removed.
- The existing sun-screen at the southern most portion of the building, fronting Alexandra Road, is to be removed replaced with a new metal canopy to provide weather protection for the pedestrian walkway along the east side of the building and the main entrance.

Landscape Design and Open Space Design

- Three on-site trees have been recommended for relocation within the site by the project arborist:
 - Two cherry trees (tag #1 and #2) are to be relocated from the small tree bed fronting Alexandra Road to the north side of the new garbage enclosure to provide clearance for the new concrete sidewalk.
 - One cherry tree (tag #3) is to be relocated 3.0 ft. west of its current location along the Alexandra Road frontage.
 - Prior to BP issuance, the applicant is required to enter into a contract with a Certified Arborist to supervise all tree relocation works and the subsequent installation of tree protection measures.
- Following tree relocation, Tree Protection Zone fencing is to be installed 4.0 ft. from the base on the tree stems for the duration of site renovation works. Installation of tree protection measures are required prior to BP issuance.
- No existing trees are being removed from the subject site's northern, eastern and western edges. The existing landscaping appears to be in good condition and is proposed to be enhanced with additional plantings including a mix of native and non-native shrubs.
- An automatic irrigation system will be provided for the new landscaping areas and the trees that are to be relocated.
- There is an existing row of nine trees located along the east shared property line with the neighbouring site that provides natural screening between the parking lot of the existing restaurant and the adjacent property. Based on the scope of work proposed, there will be no impact to those trees and these trees are to be retained.
- There are three existing trees located along the shared north property line with the neighbouring residential properties that provide natural screening. Based on the scope of work proposed, there will be no impact on those trees and these trees are to be retained.

- There are existing shrubs located along the shared west property line with the neighbouring site between the parking lot and the adjacent property. Based on the scope of work proposed, there will be no impact to those shrubs and these shrubs are to be retained.
- Soffit lighting is proposed within the canopy and along the exterior of the existing building. The applicant proposes spotlighting to highlight the future business signage which is proposed to be located in the southeast corner of the property.
- Bollard lighting is to be located along the front, west exterior and rear lot lines of the subject site. Wall-mounted down-lighting is proposed along the exterior of the rear of the building and on the proposed garbage and recycling structure. Non-glare lighting is proposed to be used in the parking lot. The applicant has confirmed that this proposed lighting will have no spillover onto adjacent properties.
- Low voltage, LED lighting is proposed to be added to the yellow-gold metal composite at the front of the building. The applicant has agreed to register a legal agreement to ensure this lighting feature is installed with a dimmer to control the brightness of the light in the event that there are any concerns or issues arising because of this building element.
- To ensure that the Landscape Plan is adhered to, the applicant is required to submit a Landscape Security in the amount of \$106,414.00 (based on a cost estimate prepared by the Landscape Architect including all materials, installation and a 10 per cent contingency) prior to DP issuance.

Crime Prevention Through Environmental Design

- The building has a single entrance for customers, which is located at the southeast corner of the building and is visible from Alexandra Road.
- Additional site lighting and natural surveillance opportunities are provided in the main parking area of the site, staff areas and the main building entrance.

Accessibility

- Two accessible parking spaces will be provided at a location closest to the main entrance of the building.
- A barrier free path, with a clear width of 1.6 m from the parking area, as well as a pedestrian path from the City sidewalk to the main entrance of the building, will be provided.

Site Servicing and Road Frontage Improvements

The applicant is required to enter into a SA prior to BP issuance for the design and construction of identified frontage improvements on Alexandra Road, which would include, but are not limited to:

- 2.0 m sidewalk;
- Grassed/hardscaped boulevard;
- 0.15 m curb and gutter to be in alignment with the existing; and
- Reconstruction of the site access driveway in its current location.

Conclusions

As the proposed development would meet applicable policies and DP Guidelines, staff recommend that the DP be endorsed, and issuance by Council be recommended.



Emma Lovas
Planning Technician – Design
(604-276-4262)

EML:aa

Att. 1: Location Map
2: Development Application Data Sheet

The following are to be met prior to forwarding this application to Council for approval:

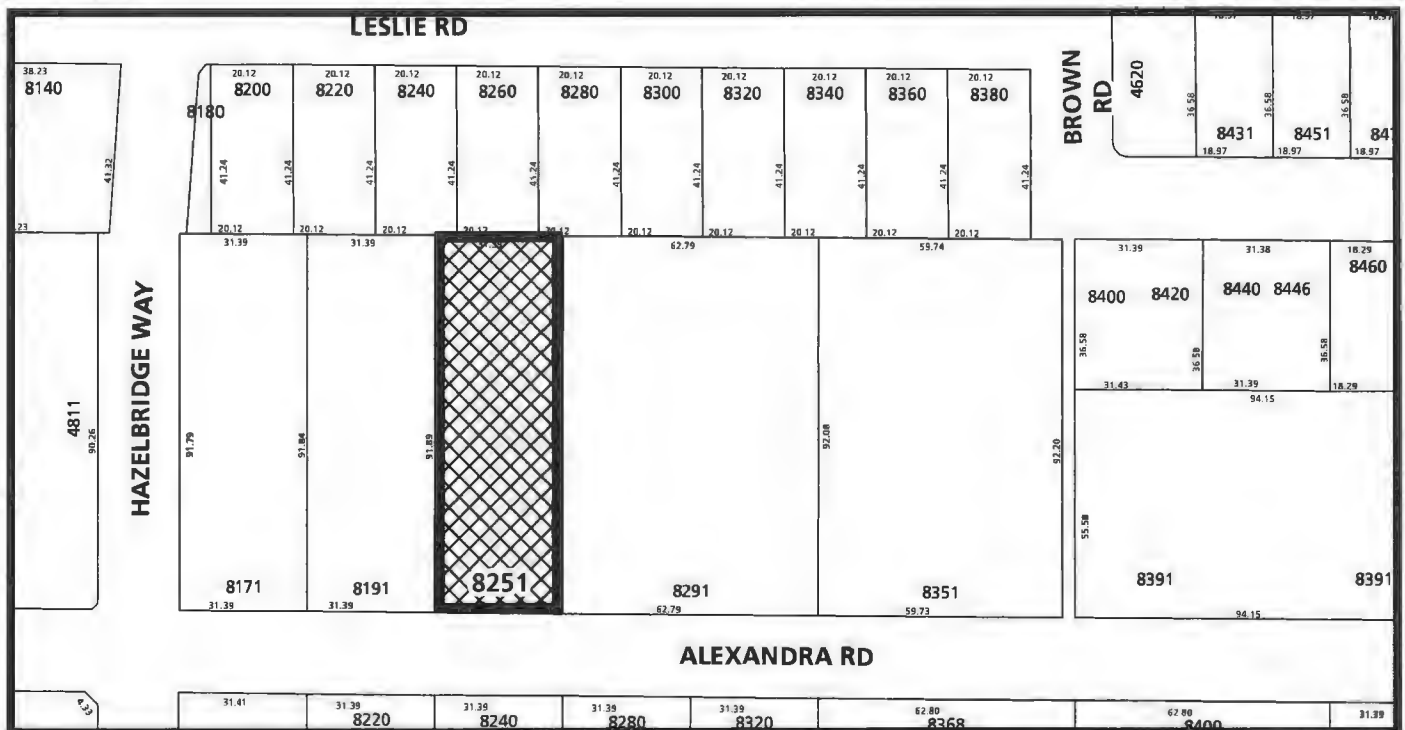
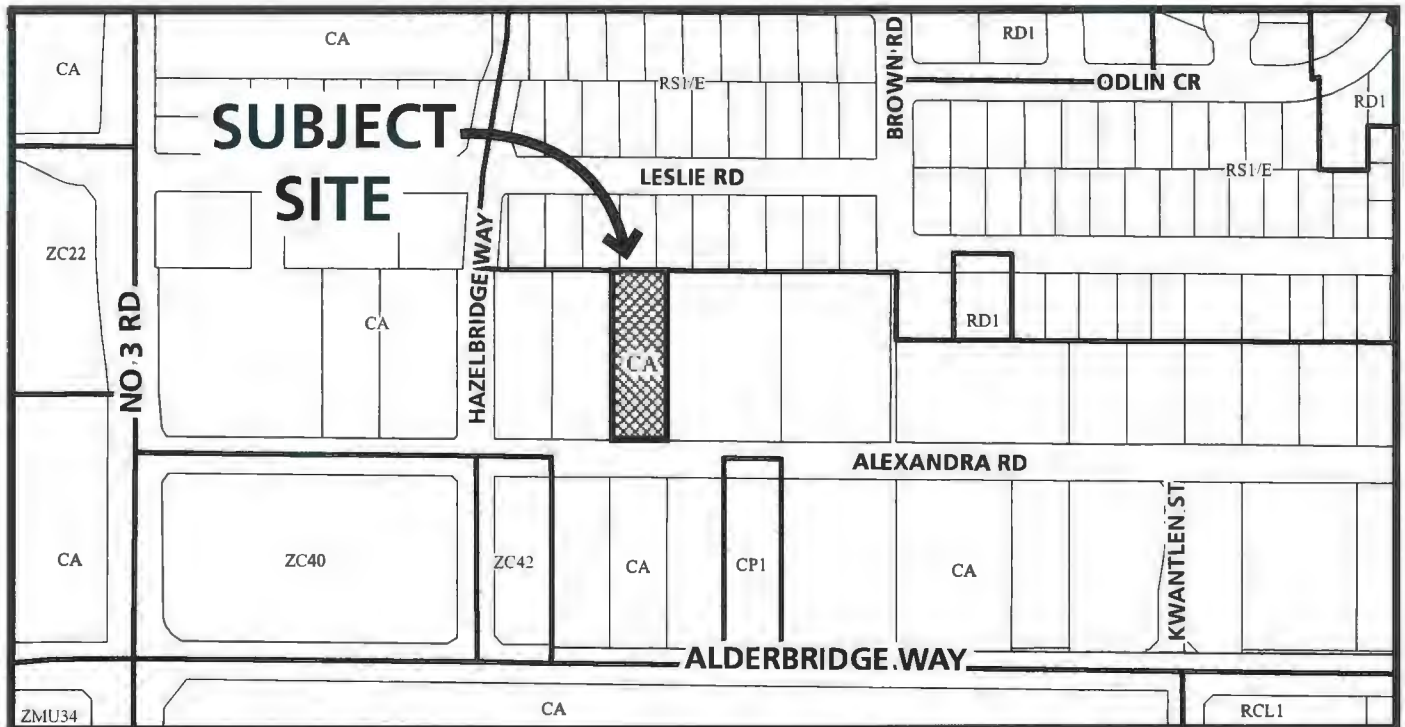
1. Receipt of a Letter-of-Credit for landscaping in the amount of \$106,414.00 (based on the cost estimate provided by a Registered Landscape Architect, including installation costs and 10% contingency), to the satisfaction of the Director of Development.
2. Payment of all fees in full for costs associated with Public Notices
3. Registration of a flood indemnity covenant on title.
4. Registration of a legal agreement on title to ensure that no final Building Permit inspection is granted until a dimming mechanism is incorporated into the lighted curved panel façade.

Prior to future Building Permit issuance, the developer is required to complete the following:

1. The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
2. Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities occurring on-site.
3. Submission of a contract entered into between the applicant and a Certified Arborist supervision of any on-site works conducted within the tree protection zone of the trees to be retained. The contract should include the scope of work to be undertaken, including: the proposed number of site monitoring inspections, and a provision for the arborist to submit a post-construction assessment report for City review.
4. A Servicing Agreement is required for the design and construction of road frontage improvement works. The applicant is required to construct the following along the full frontage of the subject site, at the applicant's cost:
 - a. Alexandra Road from north to south, starting at the property's south property line:
 - i. 2.0 metre sidewalk
 - ii. Grassed/hardscaped boulevard
 - iii. 0.15 metre curb and gutter to be in alignment with the existing
 - b. The new frontage improvements are to be transitioned to meet the existing treatments surrounding the site. Pedestrian access will be provided from the sidewalk.
5. Reconstruction of the site access driveway in its current location is required.
6. Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department.
7. Submission of a contract and parking management plan to the satisfaction of the City's Transportation Department (<http://www.richmond.ca/services/tp/special.htm>).



City of
Richmond



DP 25-007857

Original Date: 02/25/25

Revision Date:

Note: Dimensions are in METRES



DP 25-007857

Attachment 2

Address: 8251 Alexandra Road

Applicant: Pacific West Architecture Inc.

Owner: Bingtao Zhou

Planning Area(s): Aberdeen Village, City Centre Area Plan

	Existing	Proposed
Site Area:	2,885.7m ²	No Change
Land Uses:	Restaurant	No Change
OCP Designation:	Mixed Use Employment	No Change
Zoning:	Auto- Orientated Commercial (CA)	No Change

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	0.5	0.228	None
Lot Coverage:	Max. 50%	22.8%	None
Setback – Front Yard:	Min. 3.0 m	4.1 m (existing)	None
Setback – East Side Yard:	Min. 3.0 m	15.7 m (existing)	None
Setback – West Side Yard:	Min. 3.0 m	0 m (existing)	None*
Setback – Rear Yard:	Min. 3.0 m	38.2 m (existing)	None
Height (m):	Max. 45.0 m	10.2 (existing)	None
Off-Street Parking Spaces - Commercial	22	54	None
Off-street Parking Spaces – Accessible:	2	2	None
Bicycle Parking Spaces:	Class 1: 2 Class 2: 3	Class 1: 2 Class 2: 3	None

*The zoning in place at the time of the original building construction permitted a side yard setback of 0m.



City of
Richmond



DP 25-007857

Original Date: 02/26/25
Revision Date:

Note: Dimensions are in METRES



No. DP 25-007857

To the Holder: Patrick Yang

Property Address: 8251 Alexandra Road

Address: Pacific West Architecture Inc.
Unit #940 - 1200 - W 73rd Avenue
Vancouver, BC V6P 6G5

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #15 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$106,414.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 25-007857

To the Holder: Patrick Yang

Property Address: 8251 Alexandra Road
Address: Pacific West Architecture Inc.
Unit #940 - 1200 - W 73rd Avenue
Vancouver, BC V6P 6G5

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

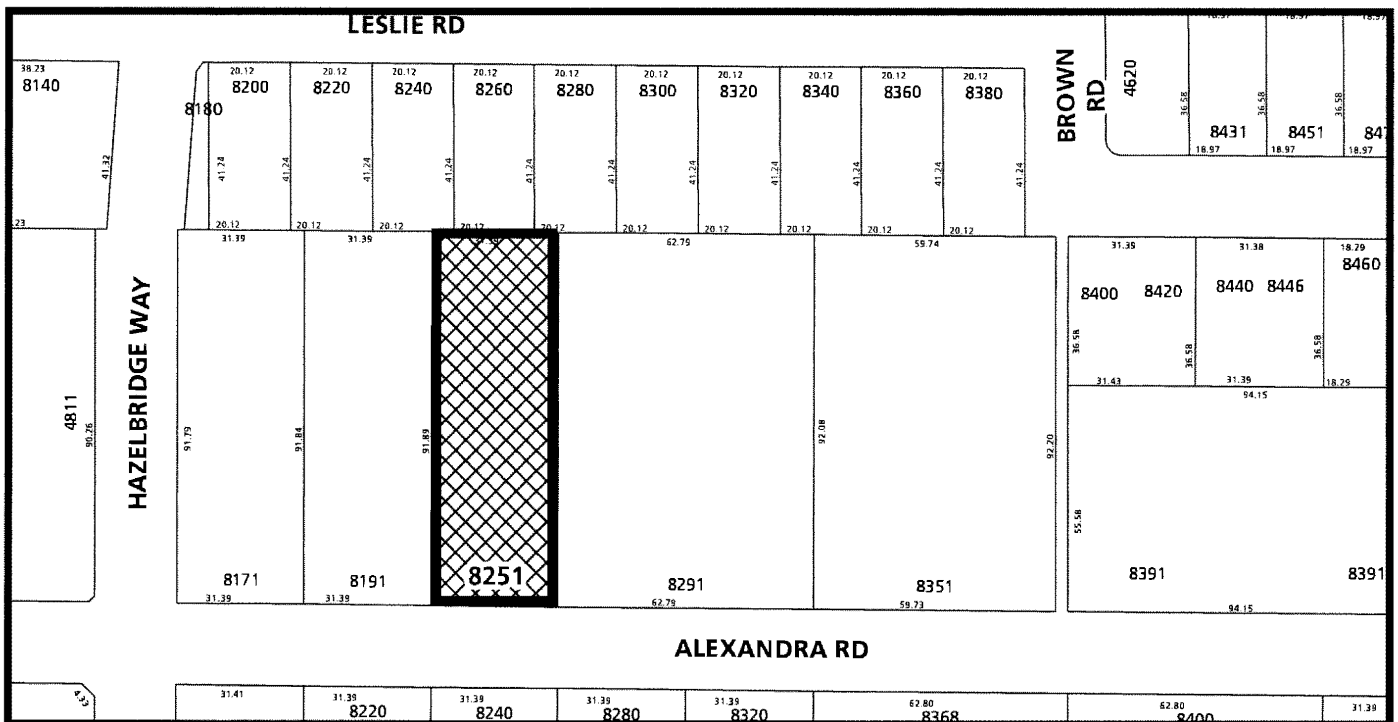
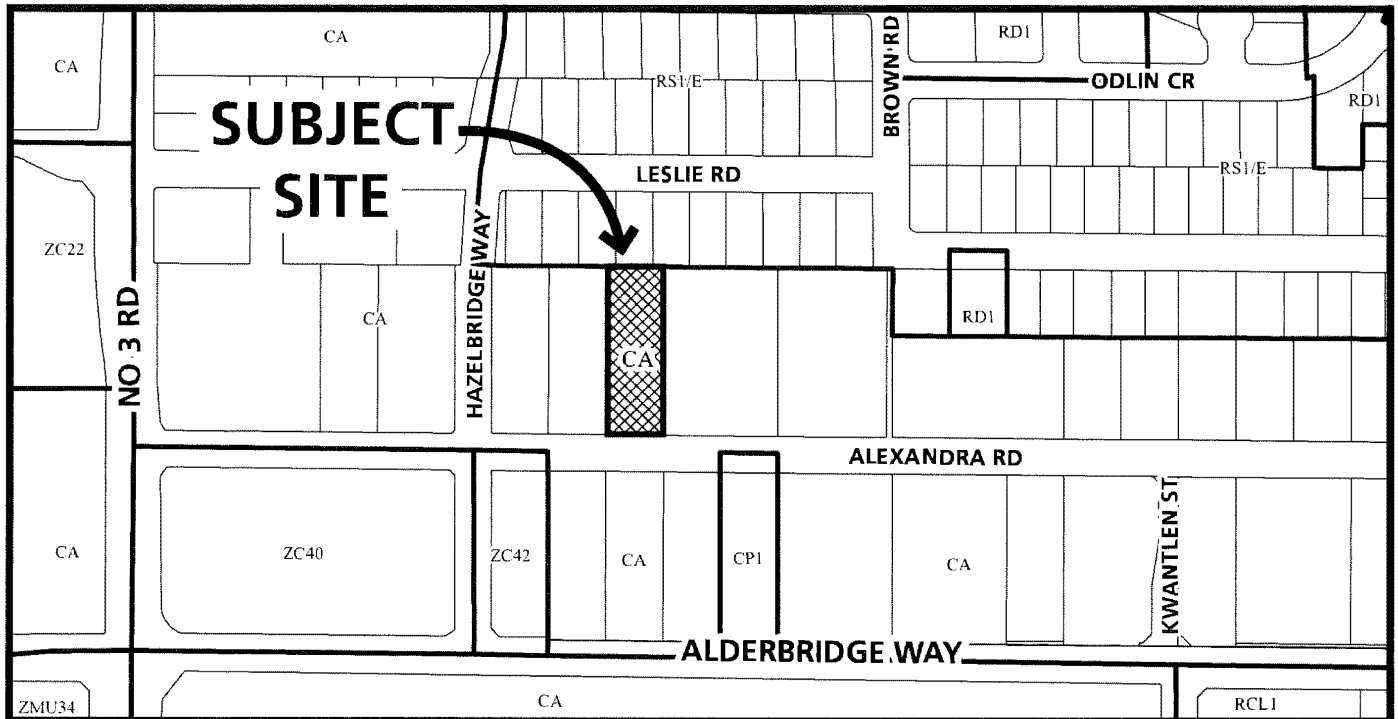
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond



DP 25-007857
SCHEDULE "A"

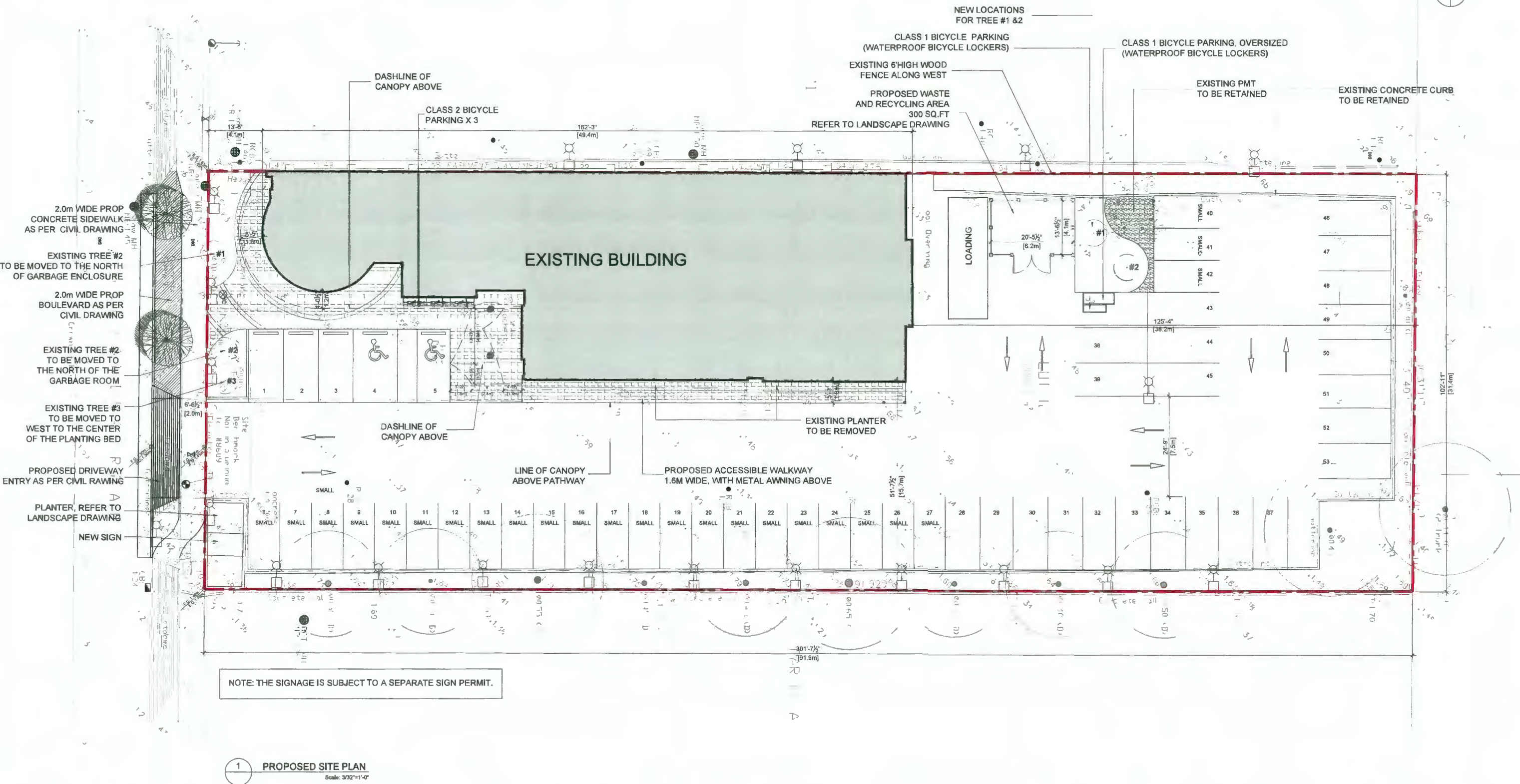
Original Date: 02/25/25

Revision Date:

Note: Dimensions are in METRES

COMMERCIAL BUILDING EXTERIOR RENOVATION

CIVIC ADDRESS: 8251 ALEXANDRA RD, RICHMOND BC



1200 West 73rd Ave (Airport Square)
Suite 940
Vancouver B.C. V6P 6G5

Office: 604 558 3064
www.pwaarchitecture.com



September 25, 2025
DP 25-007857
Plan #1

ISSUES	DATE
4 REISSUED FOR DP APPLICATION	SEP 23 2025
3 REISSUED FOR DP APPLICATION	SEP 11 2025
2 REISSUED FOR DP APPLICATION	JUL 16 2025
1 ISSUED FOR DP APPLICATION	FEB 11 2025

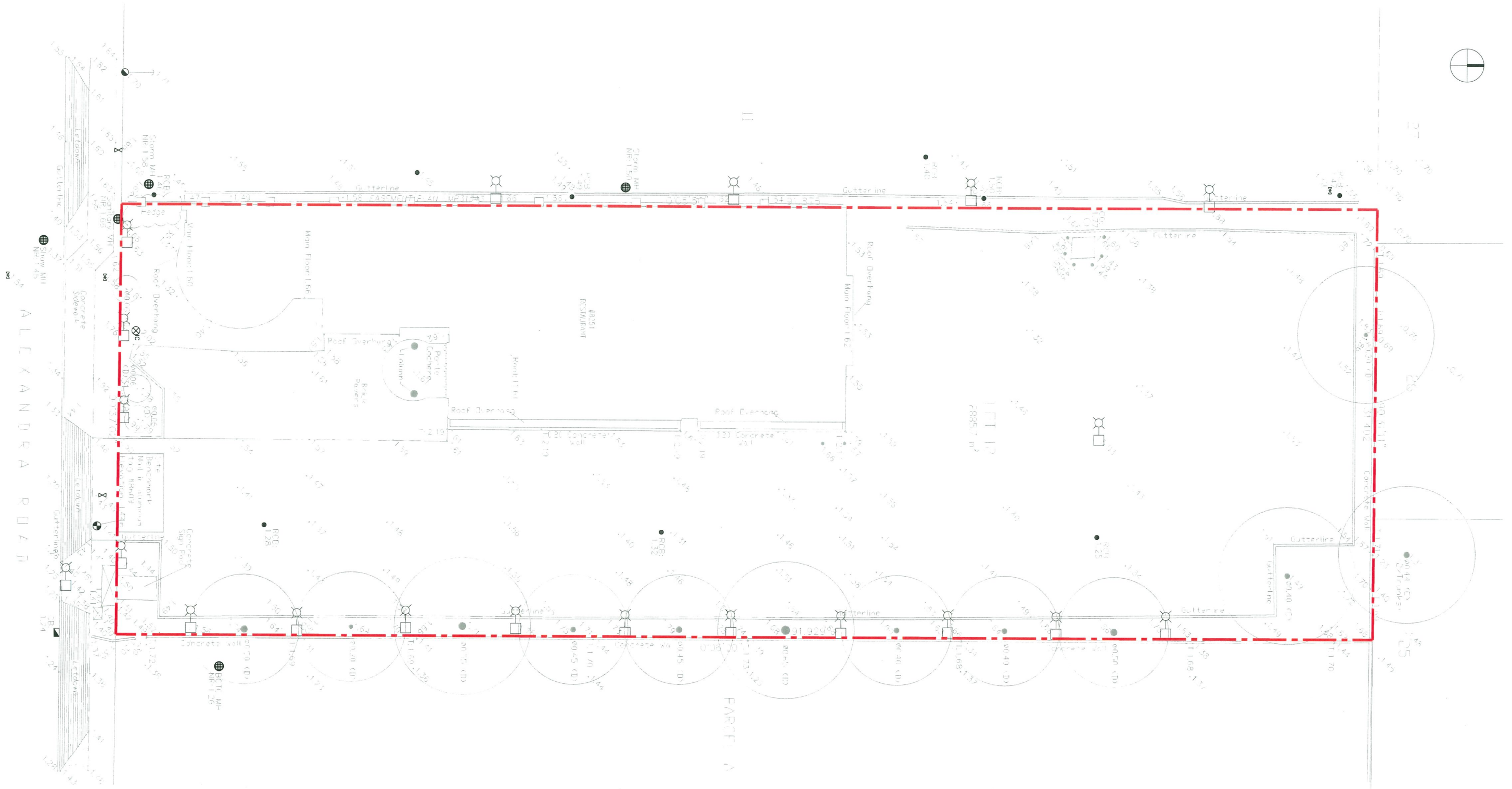
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CHECKED BY	PY

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PROJECT
8251 ALEXANDRA ROAD
RICHMOND, BC

DRAWING TITLE
PROPOSED SITE PLAN

DRAWING No.



1 SITE SURVEY
Scale: 3/32"=1'-0"

September 25, 2025
DP 25-007857
Plan #2

ISSUES	DATE
4 REISSUED FOR DP APPLICATION	SEP 23 2025
3 REISSUED FOR DP APPLICATION	SEP 11 2025
2 REISSUED FOR DP APPLICATION	JUL 18 2025
1 ISSUED FOR DP APPLICATION	FEB 11 2025

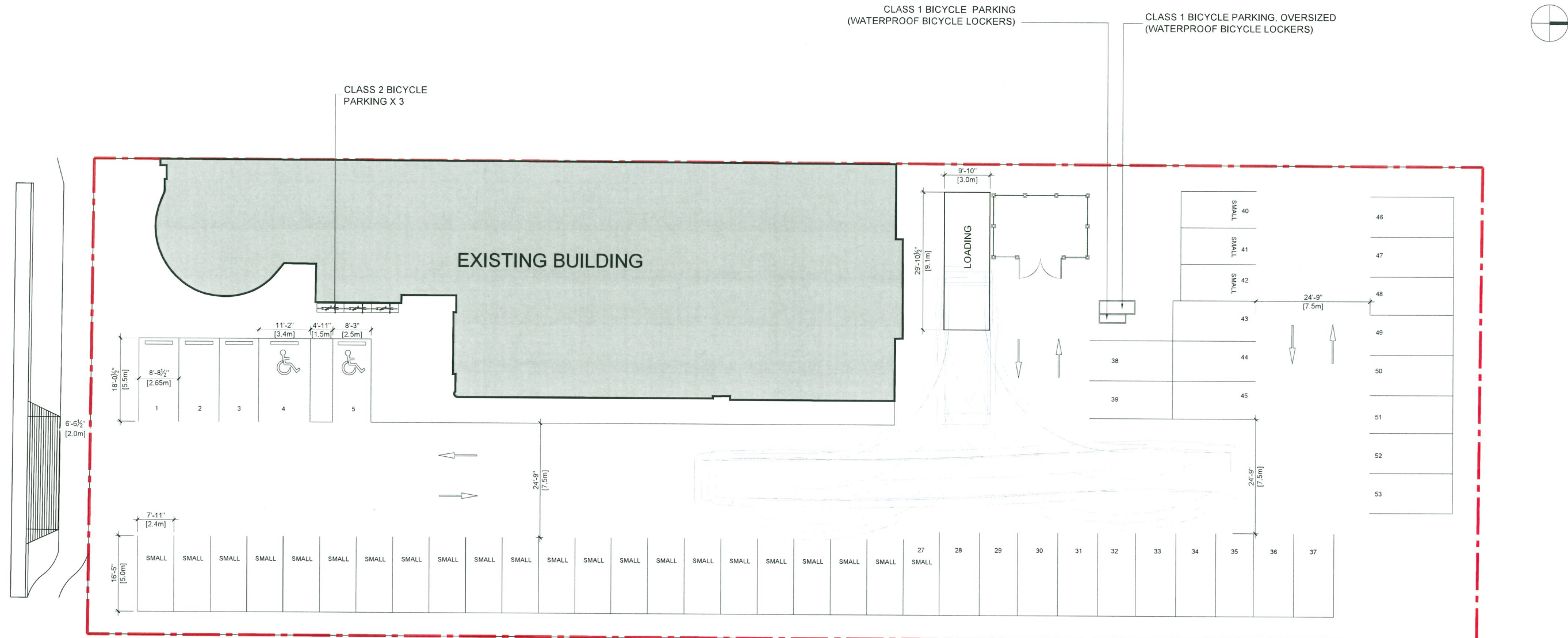
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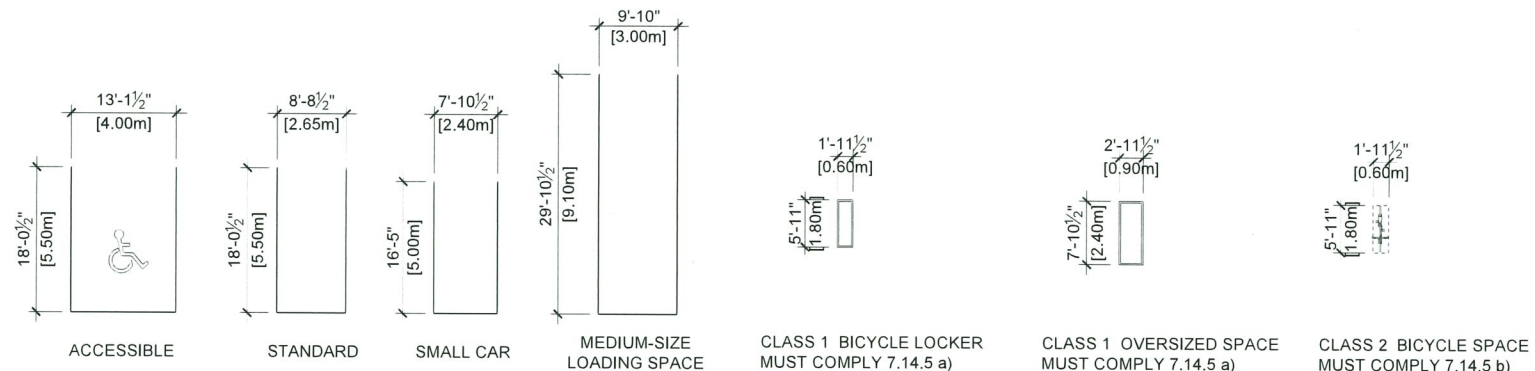
PROJECT
8251 ALEXANDRA ROAD
RICHMOND, BC

DRAWING TITLE
EXISTING SITE SURVEY

DRAWING No.



1 PARKING PLAN
Scale: 3/32" = 1'-0"



	Off-Street Parking, Bicycle Parking, and Loading Requirements		Provided	VARIANCE
Minimum Parking Requirements (Zone 1, City Centre)	3.75 spaces per 100.0 m2 of gross leasable floor area 3.75 x 569.5m2/100=21.3	Total Required: 22	Regular size: 26 Small car: 25 Accessible: 2 Total: 53	None
Accessible Parking	min. 2% when 11 or more 2% x 55=1.1	2	2	None
Parking Stall Dimension	Standard: 2.65m W x 5.5 m L Small: 2.4m W x 5m L Accessible: 2.5m W x 5.5m L + Shared Aisle: 1.5m	Small: max 50% when 31 or more	Small Car: 25 (49%)	None
Drive Aisle Width	7.5m		7.5m	None
Loading requirement	1 Medium size on-site designated		1 Medium size on-site designated	None
Loading space size	Medium: 9.1m L x 3m W x 3.8m H Large: 18.4m L x 3.5m W x 4.3m H		Medium: 9.1m L x 3m W x 3.8m H	None
Bicycle Parking	Class 1: 0.27 / 100.0 m2 gross leasable area greater than 100 m2 0.27 x 569.5/100=1.5	2	2 (including 1 oversized)	None
	Class 1 bicycle spaces shall include 5% as oversized spaces 5% x 2=0.1	1	1	None
	Class 2: 0.4 / 100.0 m2 gross leasable area greater than 100 m2 0.4 x 569.5/100=2.3	3	3	None
Bicycle Dimension	1.8m (horizontal)/1.0m (vertical) L x 0.6m W x 1.9m H		1.8m (horizontal) L x 0.6m W x 1.9m H	None



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September 25, 2025
DP 25-007857
Plan #3

ISSUES	DATE
4 REISSUED FOR DP APPLICATION	SEP 23 2025
3 REISSUED FOR DP APPLICATION	SEP 11 2025
2 REISSUED FOR DP APPLICATION	JUL 18 2025
1 ISSUED FOR DP APPLICATION	FEB 11 2025

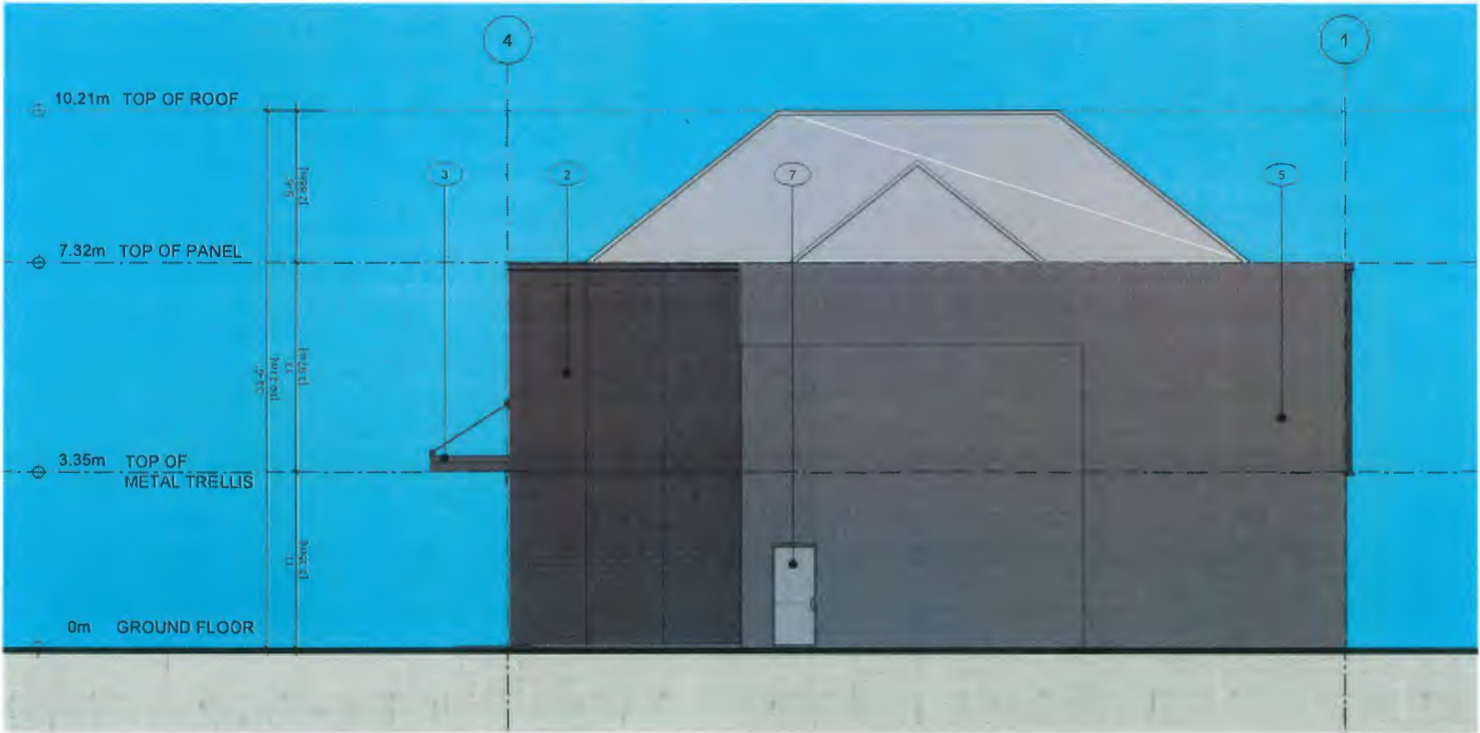
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PROJECT	8251 ALEXANDRA ROAD RICHMOND, BC
DRAWING TITLE	PROPOSED PARKING PLAN

DRAWING No.	
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1 PROPOSED BUILDING ELEVATION-EAST
Scale: 3/16"=1'-0"



2 PROPOSED BUILDING ELEVATION-NORTH
Scale: 3/16"=1'-0"

EXTERIOR MATERIAL LEGEND

- 1 METAL COMPOSITE PANEL - COLOR: YELLOW
- 2 METAL COMPOSITE PANEL - COLOR: CHARCOAL
- 3 METAL CANOPY
- 4 EXISTING CONCRETE BLOCK, PAINTED
- 5 STUCCO, EXISTING - COLOR: DARK GRAY
- 6 GLAZED WINDOW
- 7 HOLLOW METAL DOOR
- 8 STOREFRONT DOOR



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September 25, 2025
DP 25-007857
Plan #4

ISSUES	DATE
4 REISSUED FOR DP APPLICATION	SEP 23 2025
3 REISSUED FOR DP APPLICATION	SEP 11 2025
2 REISSUED FOR DP APPLICATION	JUL 18 2025
1 ISSUED FOR DP APPLICATION	FEB 11 2025

PROJECT NUMBER	A545
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PROJECT
**8251 ALEXANDRA ROAD
RICHMOND, BC**

DRAWING No.

DRAWING TITLE
PROPOSED ELEVATIONS



1 PROPOSED BUILDING ELEVATION-WEST
Scale: 3/16"=1'-0"



2 PROPOSED BUILDING ELEVATION-SOUTH
Scale: 3/16"=1'-0"

EXTERIOR MATERIAL LEGEND

- 1 METAL COMPOSITE PANEL - COLOR: YELLOW
- 2 METAL COMPOSITE PANEL - COLOR: CHARCOAL
- 3 METAL CANOPY
- 4 EXISTING CONCRETE BLOCK, PAINTED
- 5 STUCCO, EXISTING - COLOR: DARK GRAY
- 6 GLAZED WINDOW
- 7 HOLLOW METAL DOOR
- 8 STOREFRONT DOOR



**pacific
west
architecture**

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2025-09-24

September 25, 2025
DP 25-007857
Plan #5

ISSUES	DATE
4 REISSUED FOR DP APPLICATION	SEP 23 2025
3 REISSUED FOR DP APPLICATION	SEP 11 2025
2 REISSUED FOR DP APPLICATION	JUL 18 2025
1 ISSUED FOR DP APPLICATION	FEB 11 2025

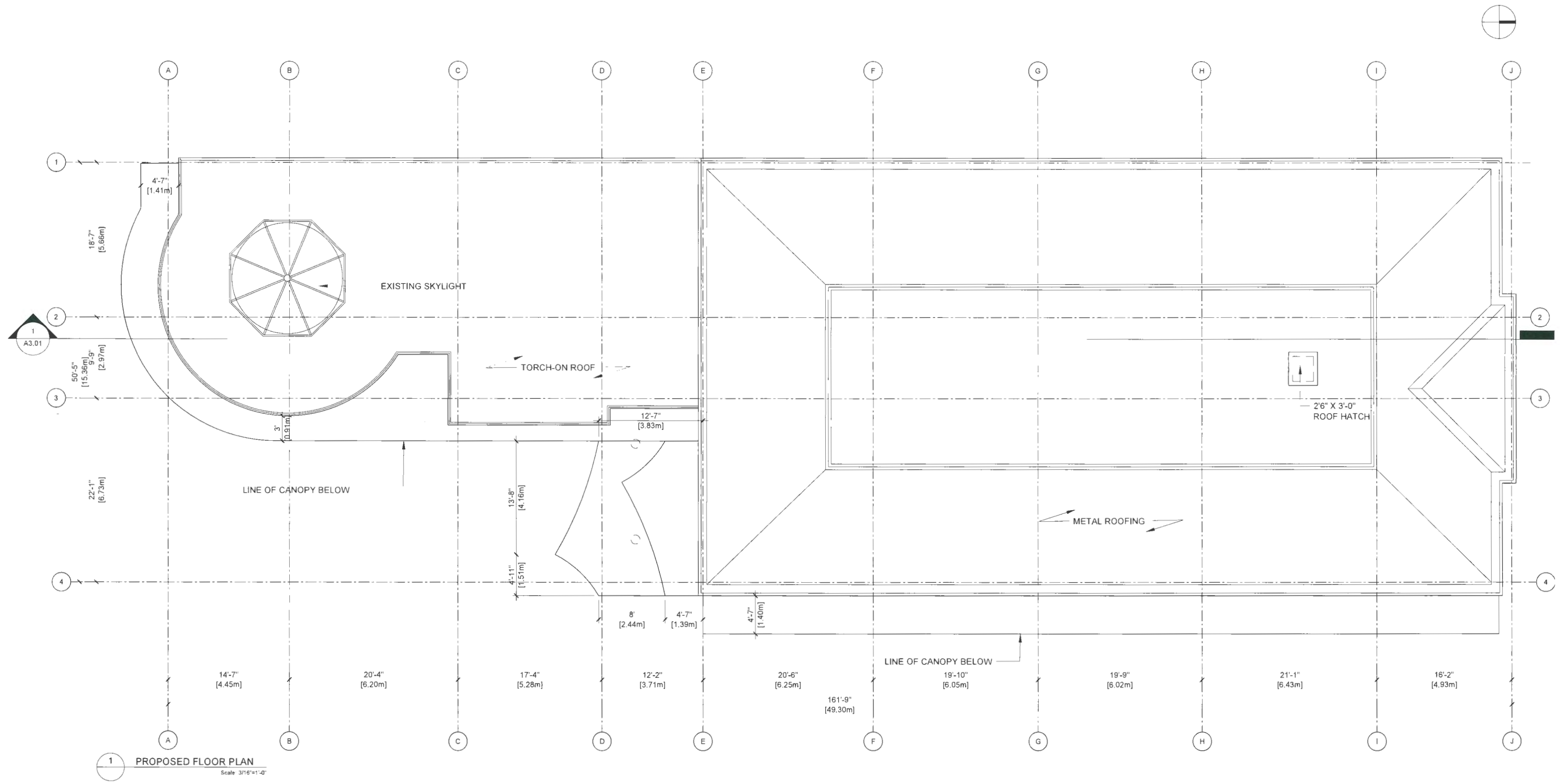
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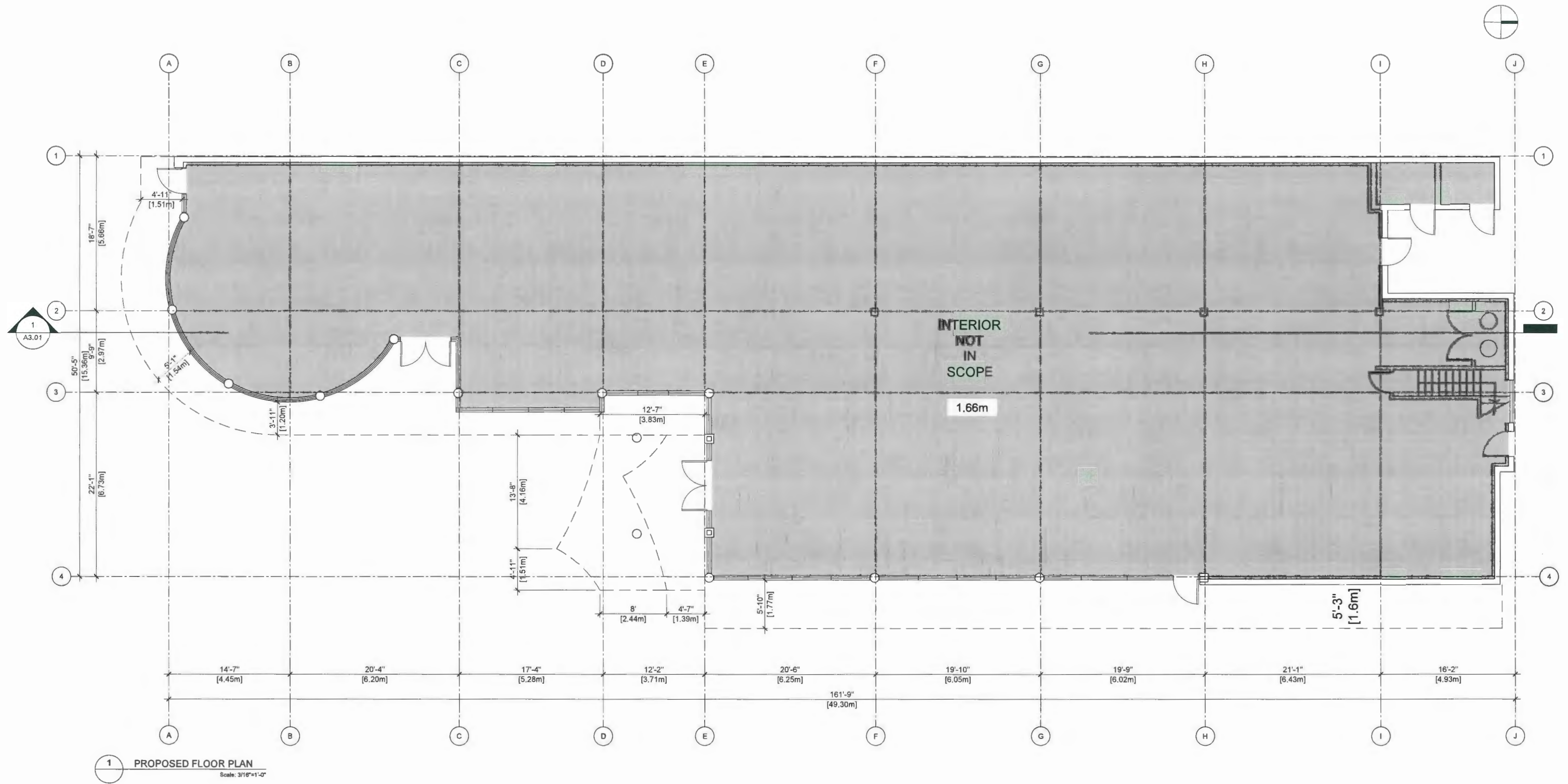
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PROJECT
8251 ALEXANDRA ROAD
RICHMOND, BC

DRAWING TITLE
PROPOSED ELEVATIONS

DRAWING No.





LEGEND	
	EXISTING EXTERIOR WALL
	EXISTING GLAZING PARTITION
	AREA NOT IN SCOPE



1200 West 73rd Ave (Airport Square)
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September 25, 2025
DP 25-007857
Plan #7

ISSUES	DATE
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PROJECT
8251 ALEXANDRA ROAD
RICHMOND, BC

DRAWING TITLE
PROPOSED FLOOR PLAN

DRAWING No.



EXTERIOR MATERIAL LEGEND	
1	METAL COMPOSITE PANEL - COLOR: YELLOW
2	METAL COMPOSITE PANEL - COLOR: CHARCOAL
3	METAL CANOPY
4	EXISTING CONCRETE BLOCK, PAINTED
5	STUCCO, EXISTING - COLOR: DARK GRAY
6	GLAZED WINDOW
7	HOLLOW METAL DOOR
8	STOREFRONT DOOR



LED STRIP LIGHT

1 MATERIAL BOARD
NTS



METAL COMPOSITE PANEL -
COLOR:CHARCOAL



STUCCO
COLOR:DARK GREY



METAL PANEL
COLOR:YELLOW



METAL CANOPY
COLOR:CHARCOAL



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September 25, 2025
DP 25-007857
Plan #8

ISSUES	DATE
4 REISSUED FOR DP APPLICATION	SEP 23 2025
3 REISSUED FOR DP APPLICATION	SEP 11 2025
2 REISSUED FOR DP APPLICATION	JUL 18 2025
1 ISSUED FOR DP APPLICATION	FEB 11 2025

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PROJECT	8251 ALEXANDRA ROAD RICHMOND, BC
DRAWING TITLE	MATERIAL BOARD

DRAWING No.	
-------------	--



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3	2025-09-23	ISSUED FOR DP

8251 ALEXANDRA
ROAD

PROJECT ADDRESS:
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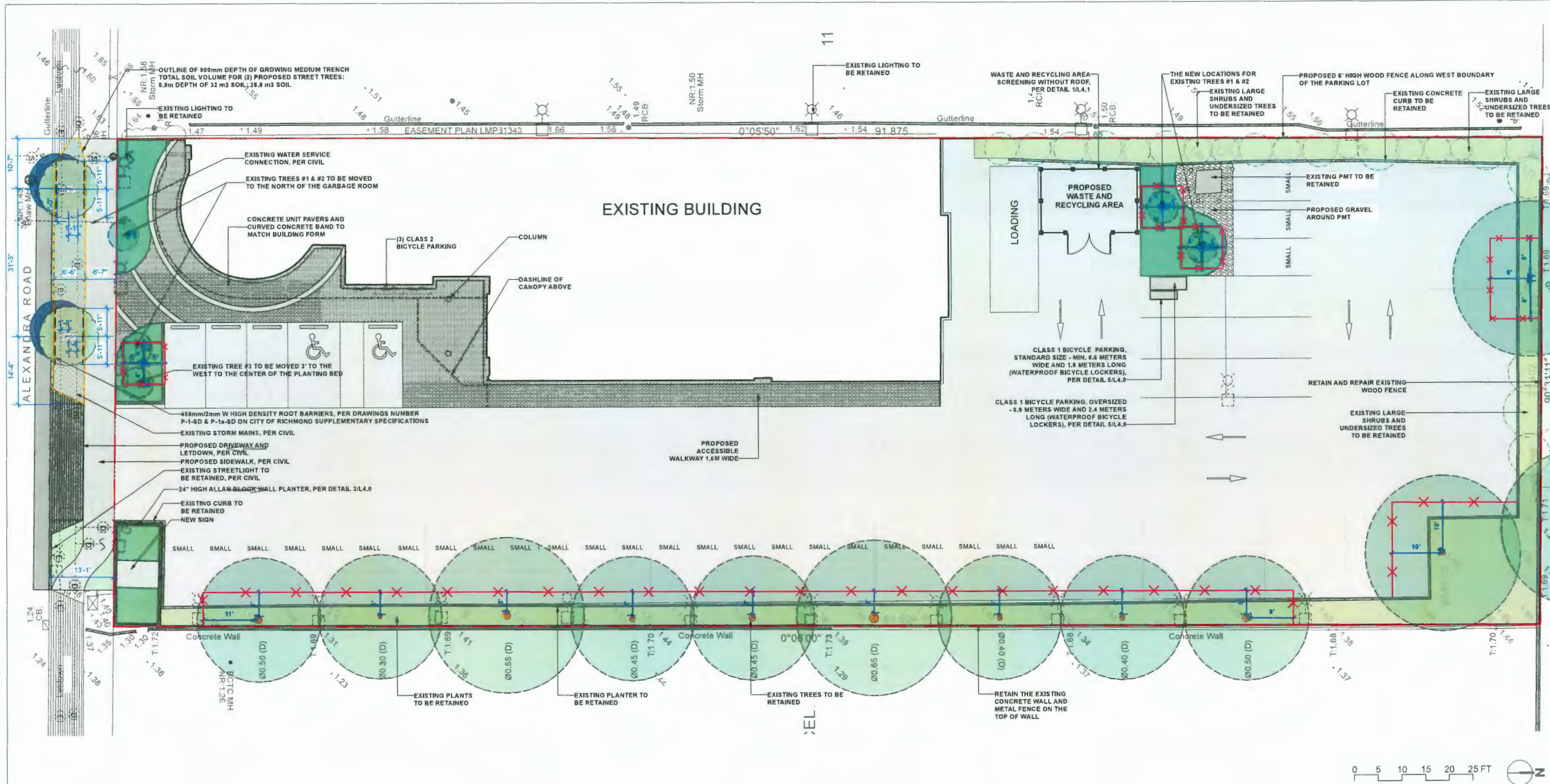
PROJECT NUMBER: 25-23

SCALE: 3/32"=1'0" (1:128)

DRAWN BY: EL

REVIEWED BY: EL

September 25,
2025
DP 25-007857
Plan #9

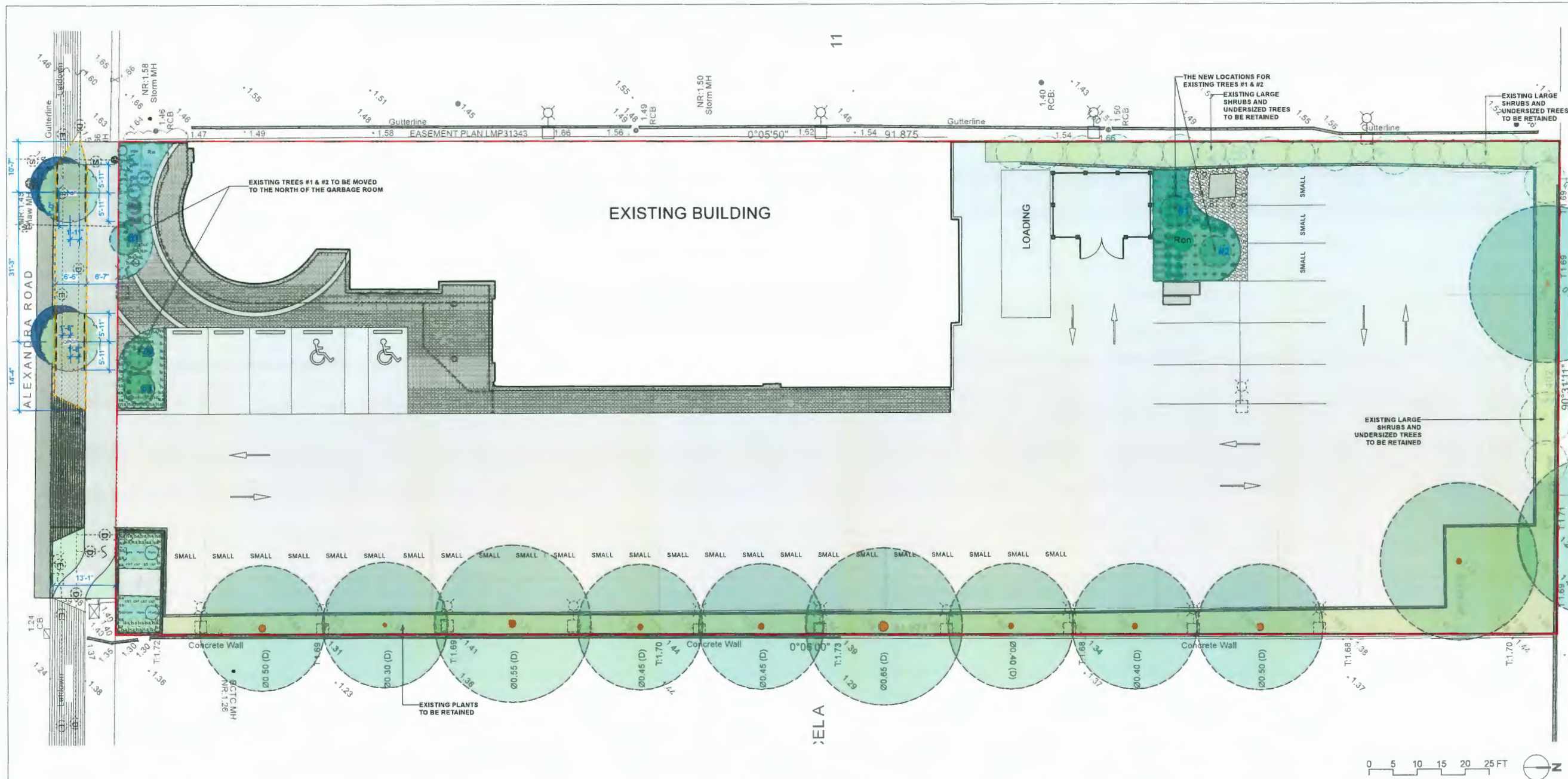


LANDSCAPE LEGENDS

SYMBOL	MATERIALS	DETAILS	SYMBOL	MATERIALS	DETAILS	SYMBOL	MATERIALS	DETAILS
	PEDESTRIAN CONCRETE UNIT PAVERS	1/L4.0		PROPOSED TREES	1&5 /L4.2		EXTENT OF CONTINUOUS 900MM GROWING MEDIUM TRENCH	
	CIP CONCRETE PAVING	2/L4.0		EXISTING TREES TO BE RETAINED	N/A		ROOT BARRIER	
	ASPHALT PAVING	PER CIVIL		PROPOSED BIKE RACKS	4/L4.0		EXISTING LARGE SHRUBS AND UNDERSIZED TREES TO BE RETAINED	
	PROPOSED LAWN	4/L4.2		TREE PROTECTION FENCING	3/L4.0			
	PROPOSED PLANTING BED	3/L4.2						
	EXISTING PLANS IN THE PLANTING AREA TO BE RETAINED	N/A						
	PROPOSED ALLAN BLOCK WALL PLANTER	3/L4.0						

LANDSCAPE NOTES

- DO NOT SCALE DRAWINGS.
- LAYOUT DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANT DRAWINGS.
- ALL EXISTING INFORMATION APPROXIMATE ONLY. VERIFY ALL EXISTING GRADES AND DIMENSIONS WITH SITE CONDITIONS. REPORT DISCREPANCIES TO CONSULTANT TEAM PRIOR TO PROCEEDING.
- THE CONTRACTOR IS TO PROTECT ALL EXISTING UTILITIES, HARD SURFACES, STRUCTURES, WALLS, AND TREES FOR DURATION OF CONSTRUCTION.
- THE LOCATION OF ALL PROPOSED HARDSCAPE AND SITE FURNISHINGS ARE TO BE FLAGGED OUT ONSITE BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL OFF-SITE WORKS TO CONFORM TO CITY OF RICHMOND STANDARDS.
- LAYOUT OF ALL OFF-SITE WORKS, INCLUDING FURNISHINGS, PATHWAYS, WALLS, PLANTING, ETC., TO BE CONFIRMED WITH CITY OF RICHMOND PRIOR TO INSTALLATION.





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**8251 ALEXANDRA
ROAD**

PROJECT ADDRESS:
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PROJECT NUMBER: 25-23
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DP 25-007857
Plan #10

ONSITE PLANT LIST					
ID	Latin Name	Common Name	Quantity	Scheduled Size	Notes
TREES (DECIDUOUS & CONIFEROUS)					
SHRUBS					
Hym	Hydrangea macrophylla	Bigleaf Hydrangea	12	#5 pot	
Ma	Mahonia aquifolium	Oregon Grape Holly	10	#3 pot	native species
Mn	Mahonia nervosa	Dwarf Oregon Grape	18	#1 pot	native species
Nan	Nandina domestica 'Compacta'	Dwarf Heavenly Bamboo	35	#2 pot	
Ris	Ribes sanguineum	Red Flowering Currant	1	#3 pot	native species
Ron	Rosa nutkana	Native Shrub Rose	1	#5 pot	native species
Ro5	Rosa x 'Scarlet Meidiland'	Scarlet Meidiland Rose	3	#3 pot	
PERENNIALS & GROUNDCOVERS					
adp	Adiantum pedatum	American Maidenhair Fern	12	#1 pot	native species
ar	Arctostaphylos uva-ursi 'Vancouver Jade'	Bearberry, Kinnikinnick	42	#1 pot	native species
ble	Blechnum spicant	Deer Fern	12	#1 pot	native species
lsa	Lavandula angustifolia	English Spike Lavender	89	#1 pot	
ORNAMENTAL GRASSES & BAMBOOS					
ckf	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	8	#3 pot	
VINES					

OFFSITE PLANT LIST					
Latin Name	Common Name	ID	Quantity	Scheduled Size	Notes
TREES (DECIDUOUS & CONIFEROUS)					
Quercus palustris 'Green Pillar'	Green Pillar Oak	QPGP	2	6cm cal.	Street trees to be confirmed by the City

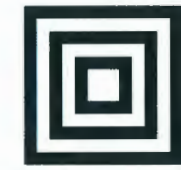
Planting Notes:

1) In case of discrepancy between plant numbers on this list and on the plan, the latter shall prevail.

2) All planting shall be in accordance with CSLA Canadian Landscape Standard, latest edition.

3) The Landscape Contractor shall ensure that the on-site planting medium/soil meets the specification & recommendations of the soil analysis taken at the time of Substantial Completion. All recommendations of the soil analysis shall be executed prior to Final Acceptance of the landscape works by the Consultant and the municipal authorities.

4) All plant material to be supplied on the job site must be obtained from a nursery participating in the BCLNA Phytophthora ramorum Certification Program.



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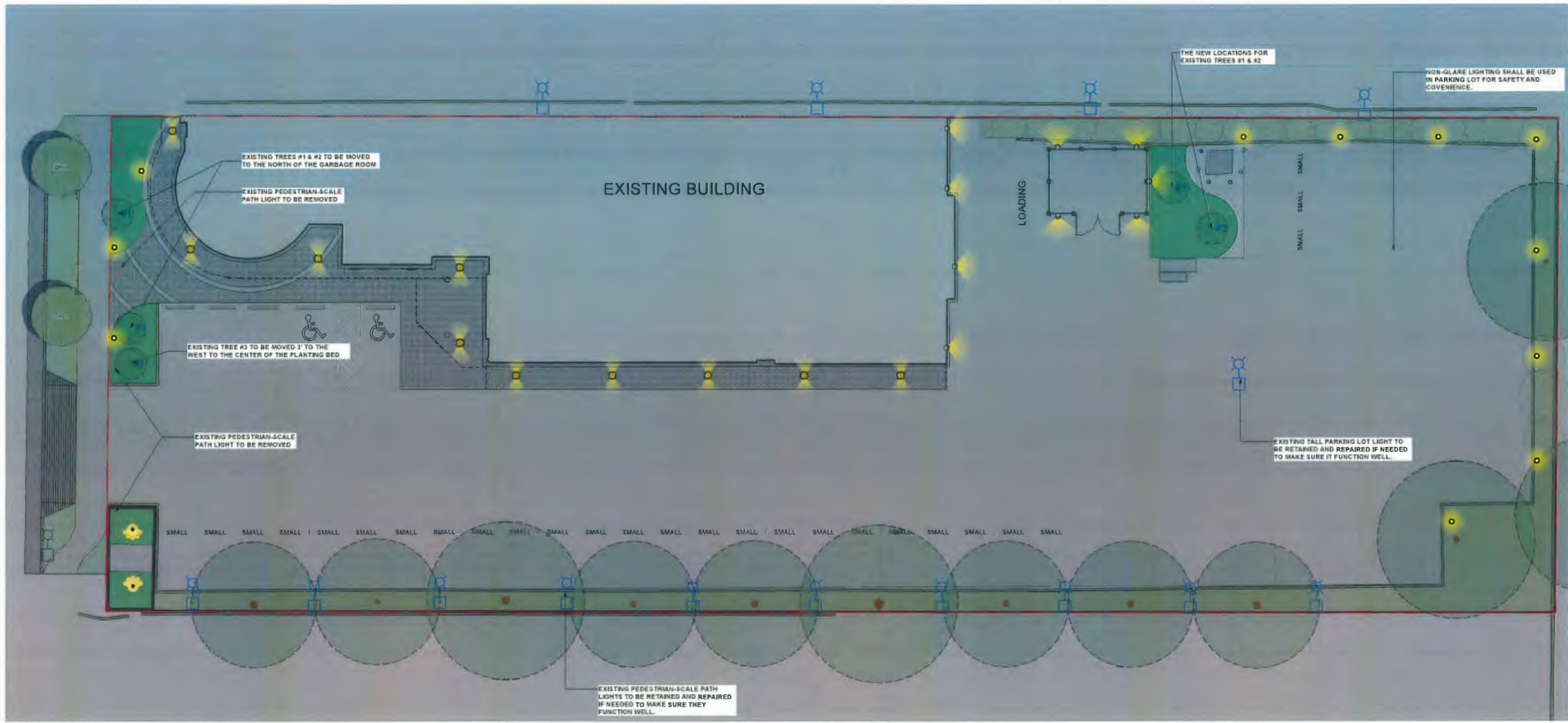
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**8251 ALEXANDRA
ROAD**



LANDSCAPE LIGHTING LEGENDS

SYMBOL	MATERIALS
	PROPOSED UPLIGHT
	BOLLARD LIGHT
	WALL MOUNTED DOWNLIGHT
	SOFFIT LIGHT
	EXISTING LIGHT TO BE RETAINED
	EXISTING LIGHT TO BE REMOVED

LIGHTING NOTES

1. LIGHTING PLANS PROVIDED FOR INFORMATION ONLY. ALL EXTERIOR LIGHT FIXTURES, QUANTITIES, AND LOCATIONS TO BE APPROVED BY THE CLIENTS PRIOR TO ORDERING AND INSTALLATION.
2. CONTRACTOR TO COORDINATE RECESSED FORMING, ELECTRICAL CONDUIT, AND LOCATION LOGISTICS WITH OTHER TRADES AS REQUIRED.
3. SUBSTITUTIONS OF SPECIFIED MATERIALS TO BE APPROVED BY THE CLIENTS PRIOR TO ORDERING AND INSTALLATION.
4. ALL EXTERIOR LIGHT FIXTURE LOCATIONS TO BE STAKED BY CONTRACTOR AND APPROVED BY THE CLIENTS AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
5. CONTRACTOR TO ENSURE ALL LIGHTING WIRE AND FIXTURES MUST BE INSTALLED TO MEET THE LOCAL ELECTRICAL REGULATIONS AND SAFETY REQUIREMENTS.

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PROJECT NUMBER: 25-23

SCALE: 3/32"=1'0" (1:128)

DRAWN BY: EL

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DP 25-007857
Plan #11

IRRIGATION STUB-OUT
2" DIAMETER @ 50 GPM

AREA TO BE IRRIGATED

AREA TO BE IRRIGATED

EXISTING BUILDING

LOADING

SMALL
SMALL
SMALL

AREA TO BE IRRIGATED

IRRIGATION LEGENDS

KEY	DESCRIPTION
*	WATER STUB-OUT SCHEMATIC ONLY. REFER TO MECHANICAL
	IRRIGATION AREA



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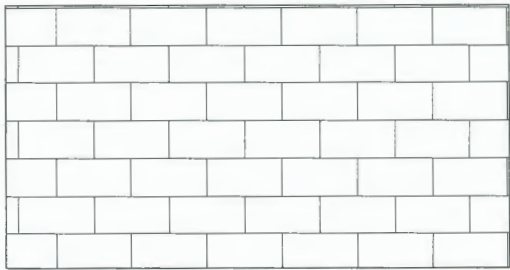
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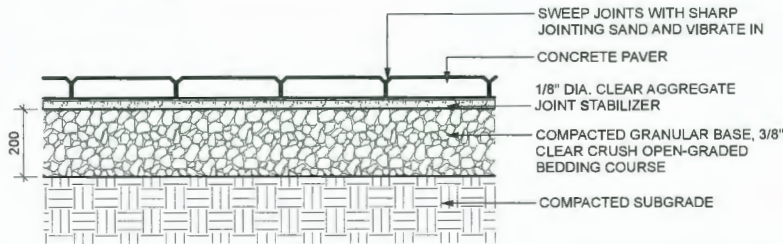
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2025
DP 25-007857
Plan #12

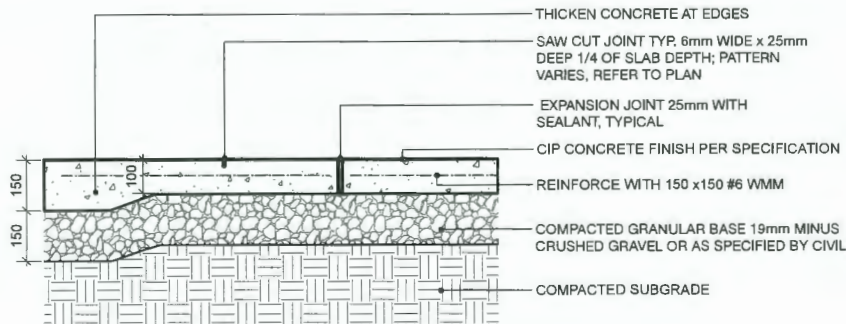


PLAN
CLASSIC STANDARD PAVERS - STANDARD SIZE BY BELGARD (877-235-4273)
DIMENSIONS: STANDARD 225(L) x 112.5(W) x 60(T) mm (8-7/8" x 4-7/16" x 2-3/8")
PATTERN: RUNNING BOND
COLOUR: NATURAL



NOTE:
USE CONCRETE HIDDEN EDGE RESTRAINT WHEN PAVERS ARE NOT ADJACENT TO A SOLID EDGE CONDITION.

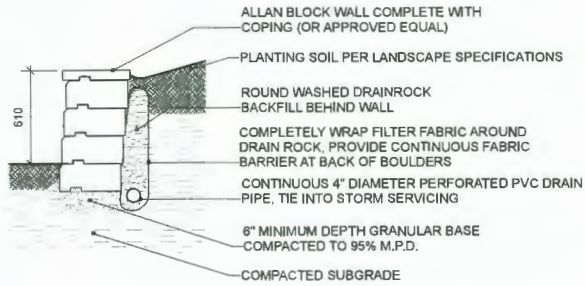
1 CONCRETE UNIT PAVING ON GRADE
Scale: 1:10



NOTES:
1. EXPANSION JOINTS 6m O.C. MAX, CONTROL JOINTS @ 1.5m O.C. ADJUST TO SUIT SITE LAYOUT PLAN.
2. ALL SCORELINES TO BE APPROVED BY LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION.

2 CIP CONCRETE ON GRADE (TYPICAL)
Scale: 1:10

NOTES:
1 - INSTALL WALLS PER MANUFACTURER SPECIFICATIONS.
2 - GLUE CAPS DOWN WITH ADHESIVE RECOMMENDED BY WALL MANUFACTURER.



3 ALLAN BLOCK WALL PLANTER AROUND THE PROJECT SIGN
Scale: 1:25

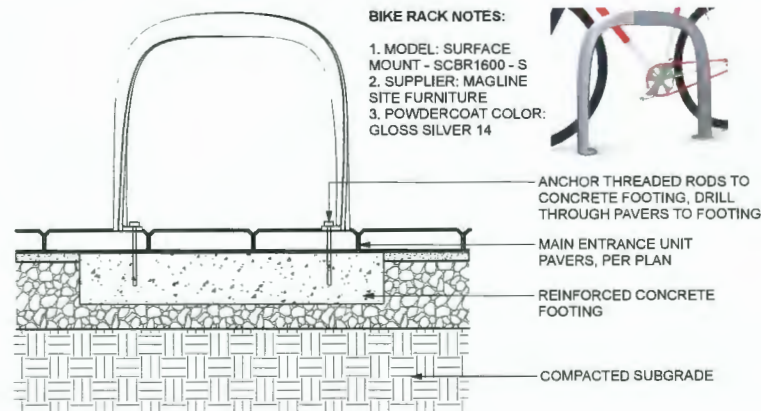


PRECEDENT

NOTES:

1. STANDARD SIZE MODEL: MIN. 0.6 METERS WIDE AND 1.8 METERS LONG
2. OVERSIZED MODEL: 0.9 METERS WIDE AND 2.4 METERS LONG
3. SUPPLIER: CYCLESAFE OR APPROVED ALTERNATIVE SUPPLIER

5 OUTDOOR BIKE LOCKER - STANDARD SIZE & OVERSIZED MODELS
Scale: N/A



BIKE RACK NOTES:

1. MODEL: SURFACE MOUNT - SCBR1600 - S
2. SUPPLIER: MAGLINE SITE FURNITURE
3. POWDERCOAT COLOR: GLOSS SILVER 14

NOTE:
PER SUPPLIER FOR SPECIFICATIONS AND INSTALLATIONS.

4 BIKE RACK
Scale: 1:10



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8251 ALEXANDRA ROAD

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8251 ALEXANDRA RD, RICHMOND,
BC, CANADA

PROJECT NUMBER: 25-23

SCALE: AS SHOWN

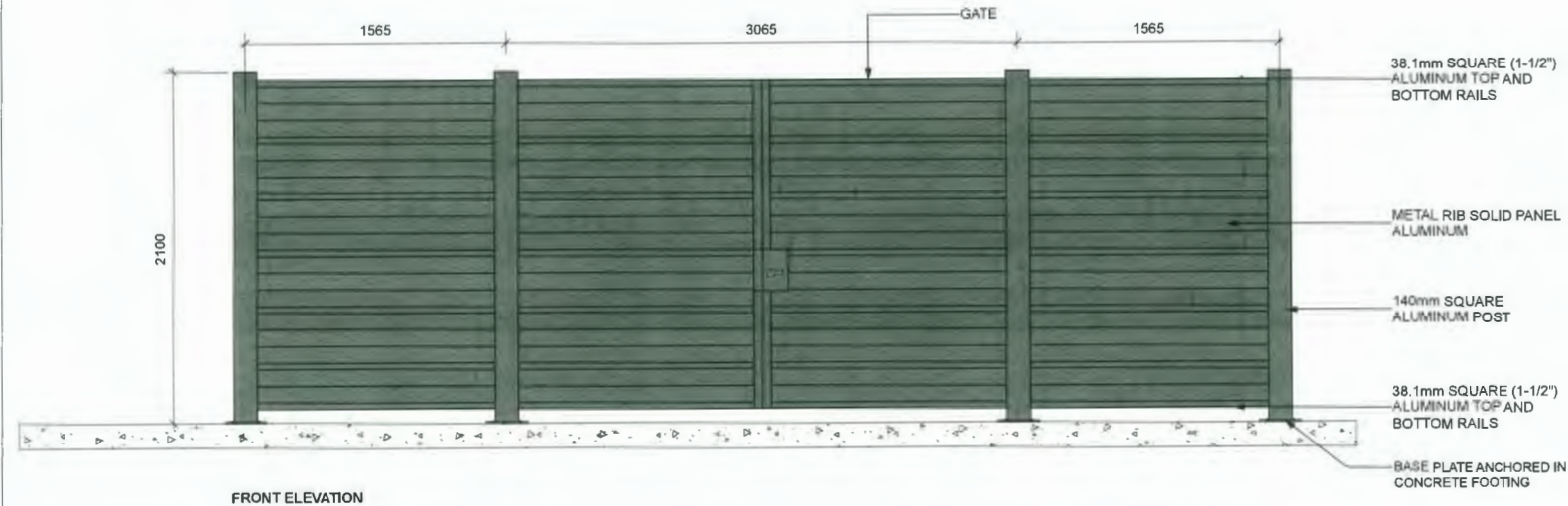
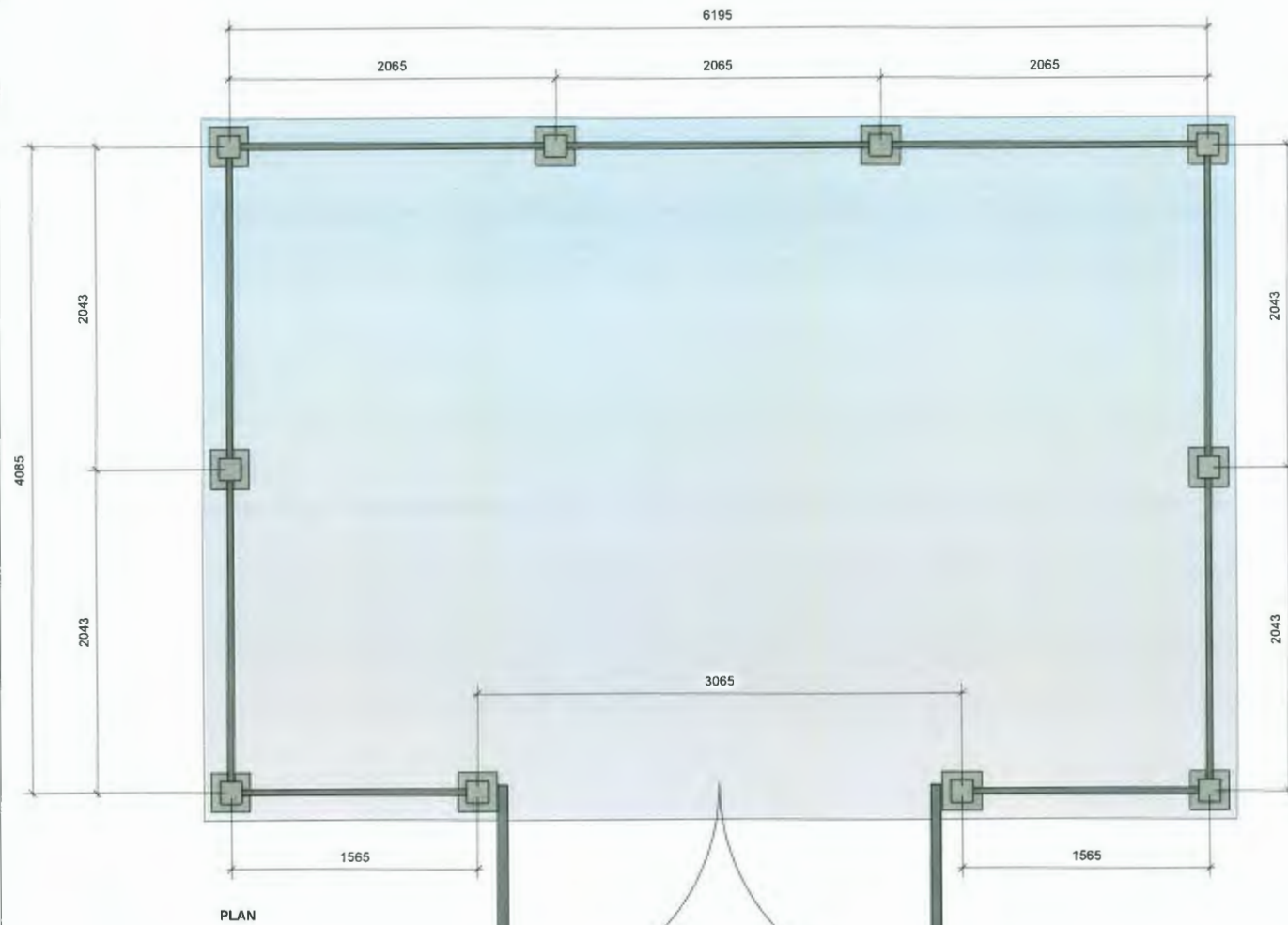
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2025

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Plan #13



- NOTES:
1. ALL METAL ALUMINUM WITH BLACK POWDERCOAT FINISH (TO BE FACTORY APPLIED)
 2. ALL WELDED CONSTRUCTION.
 3. PROVIDE SHOP DRAWINGS FOR APPROVAL.
 4. CONCRETE FOOTING TO BE CONFIRMED BY STRUCTURAL ENGINEER.

1 WASTE AND RECYCLING AREA SCREENING
Scale: 1:20



PRECEDENT

NOTE: THE SCREENING SHALL BE A MINIMUM OF 2.0 METRES IN HEIGHT TO A MAXIMUM HEIGHT THAT IS EQUIVALENT TO THE HEIGHT OF THE REFUSE OR RECYCLING BIN BUT IN NO CASE MORE THAN 2.4 METRES.



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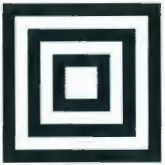
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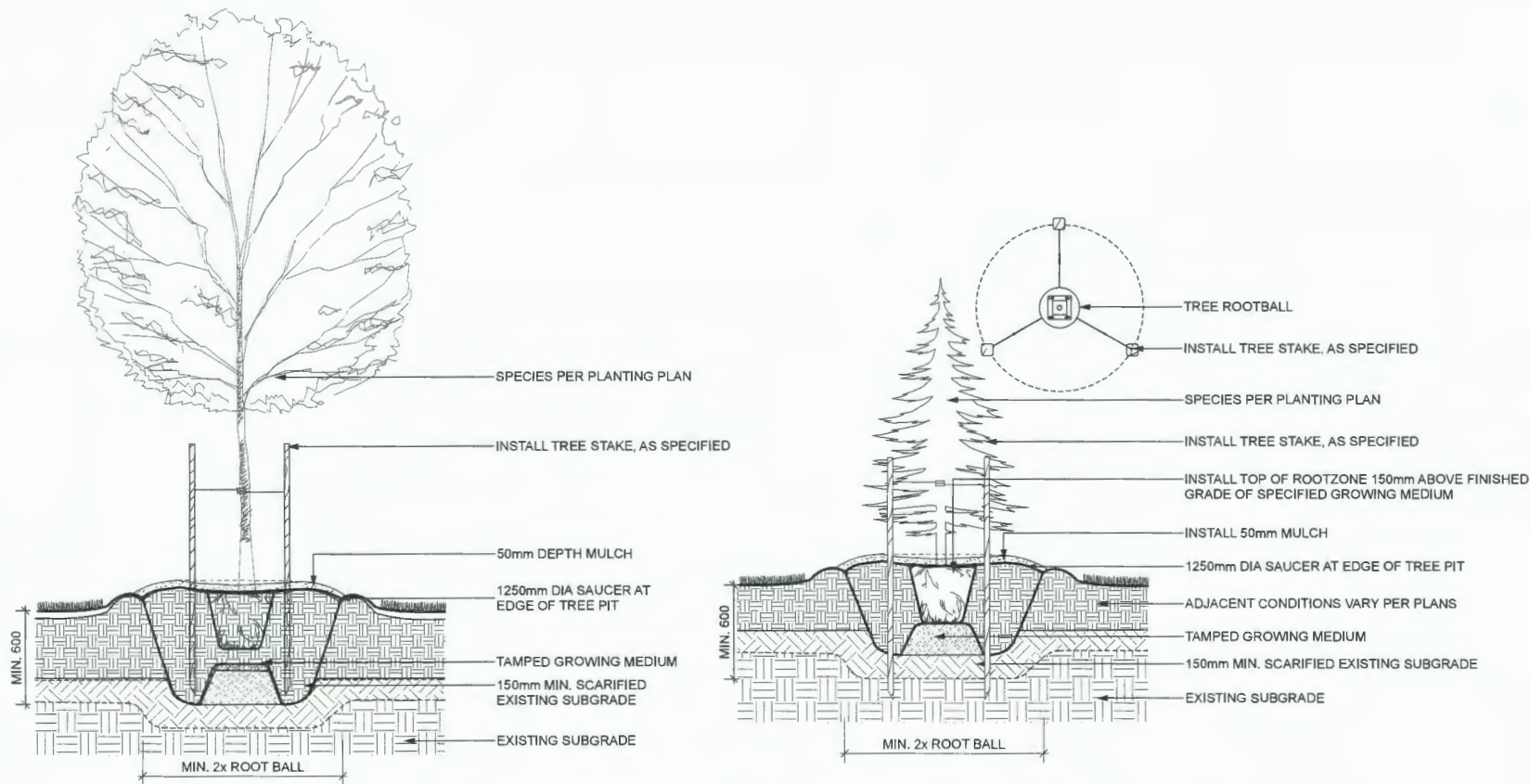
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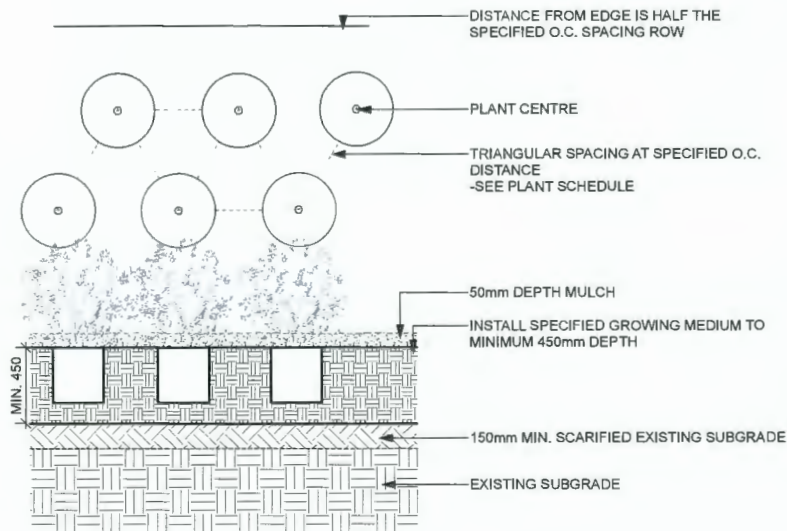
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Plan #15

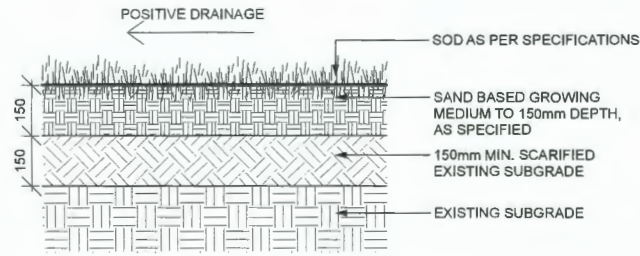


1 DECIDUOUS TREE PLANTING ON GRADE (TYPICAL)
Scale: 1:20

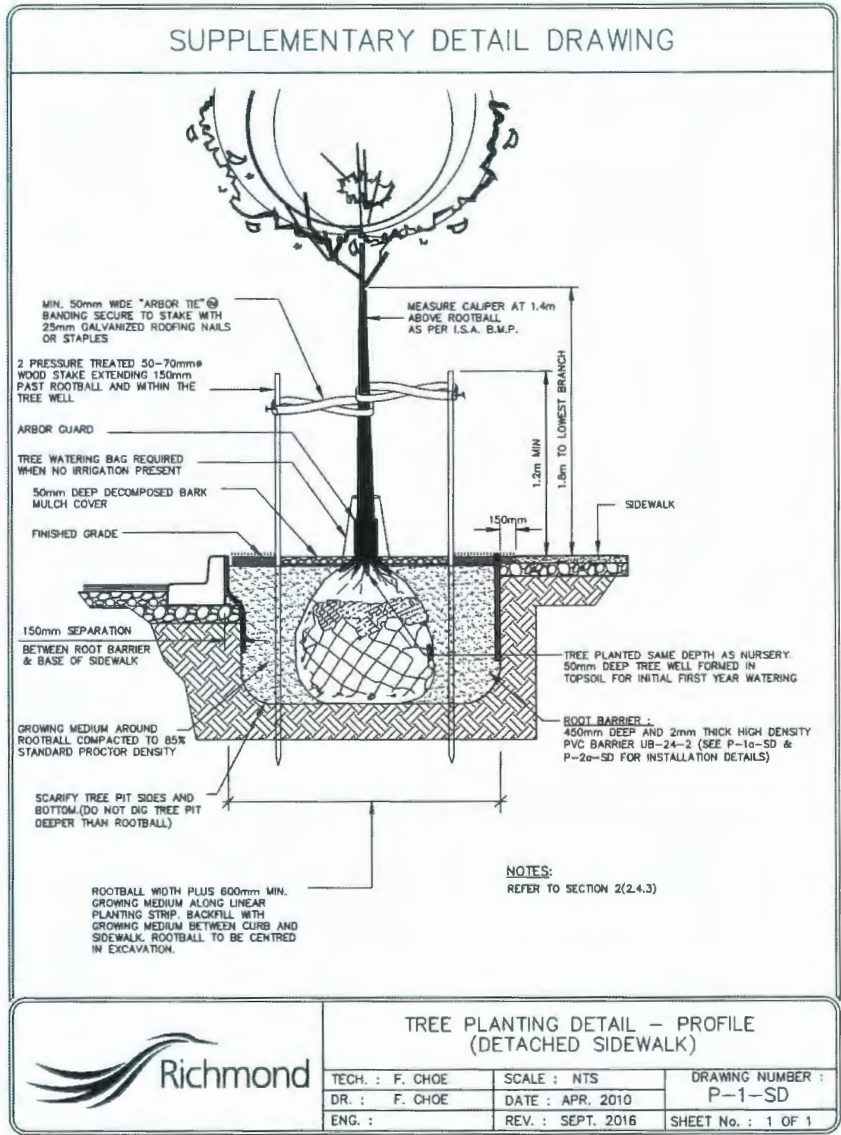
2 CONIFEROUS TREE PLANTING ON GRADE (TYPICAL)
Scale: 1:20



3 PLANTING ON GRADE (TYPICAL)
Scale: 1:20



4 SOD LAWN (TYPICAL)
Scale: 1:10



5 GRASS BOULEVARD TREE PLANTING DETAIL - CITY OF RICHMOND
SCALE: N/A



1 3D PERSPECTIVE
NTS



1200 West 73rd Ave (Airport Square)
Suite 940
Vancouver B.C. V6P 6G5

Office: 604 558 3064
www.pwaarchitecture.com



DP 25-007857

ISSUES	DATE
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PROJECT
8251 ALEXANDRA ROAD
RICHMOND, BC

DRAWING TITLE
3D PERSPECTIVE 1

DRAWING No.

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Plan



1 3D PERSPECTIVE
NTS



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PROJECT
**8251 ALEXANDRA ROAD
RICHMOND, BC**

DRAWING TITLE
3D PERSPECTIVE 2

DRAWING No.
**Reference
Plan**



1 LOCATION PLAN
Scale: N.T.S.

SUBJECT PROPERTY:
8251 ALEXANDRA RD.,
RICHMOND, BC



2 VIEW 1



3 VIEW 2



4 VIEW 3



5 VIEW 4



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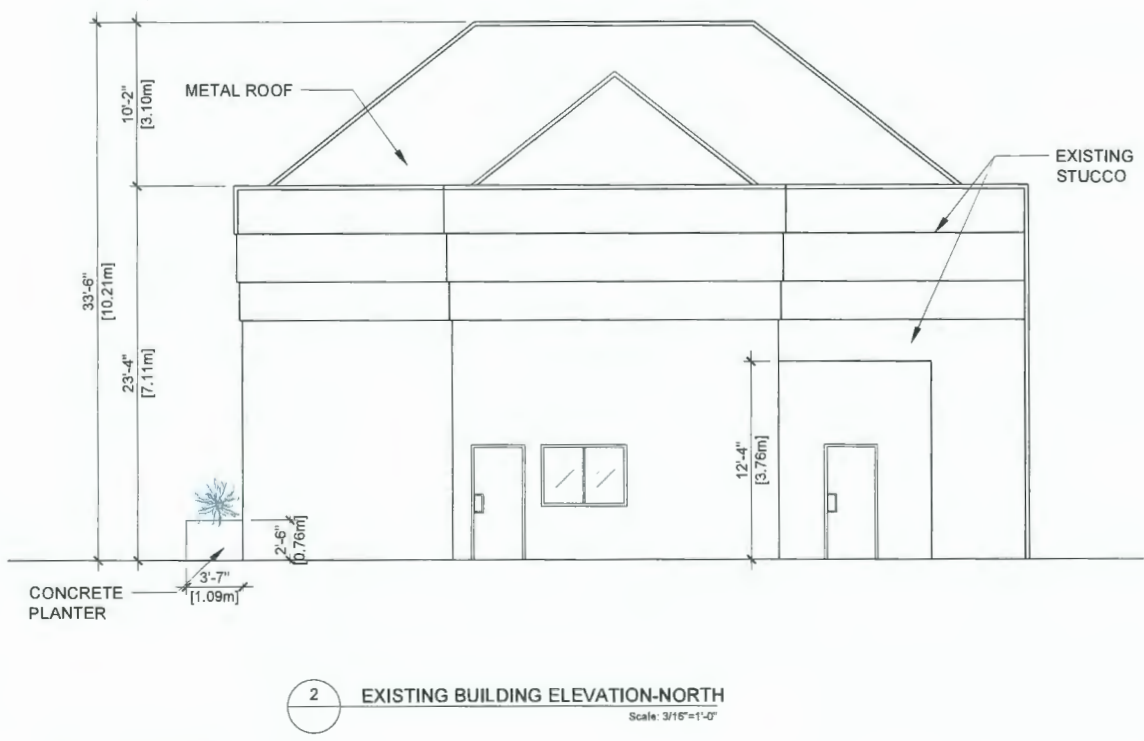
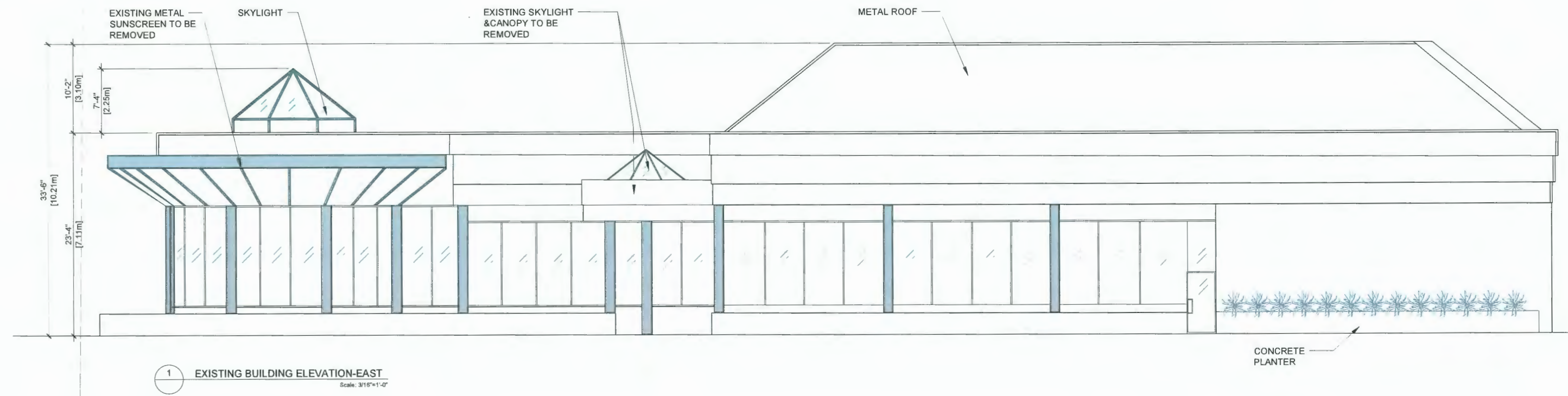
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DRAWING TITLE
SITE CONTEXT

DRAWING No.

**Reference
Plan**



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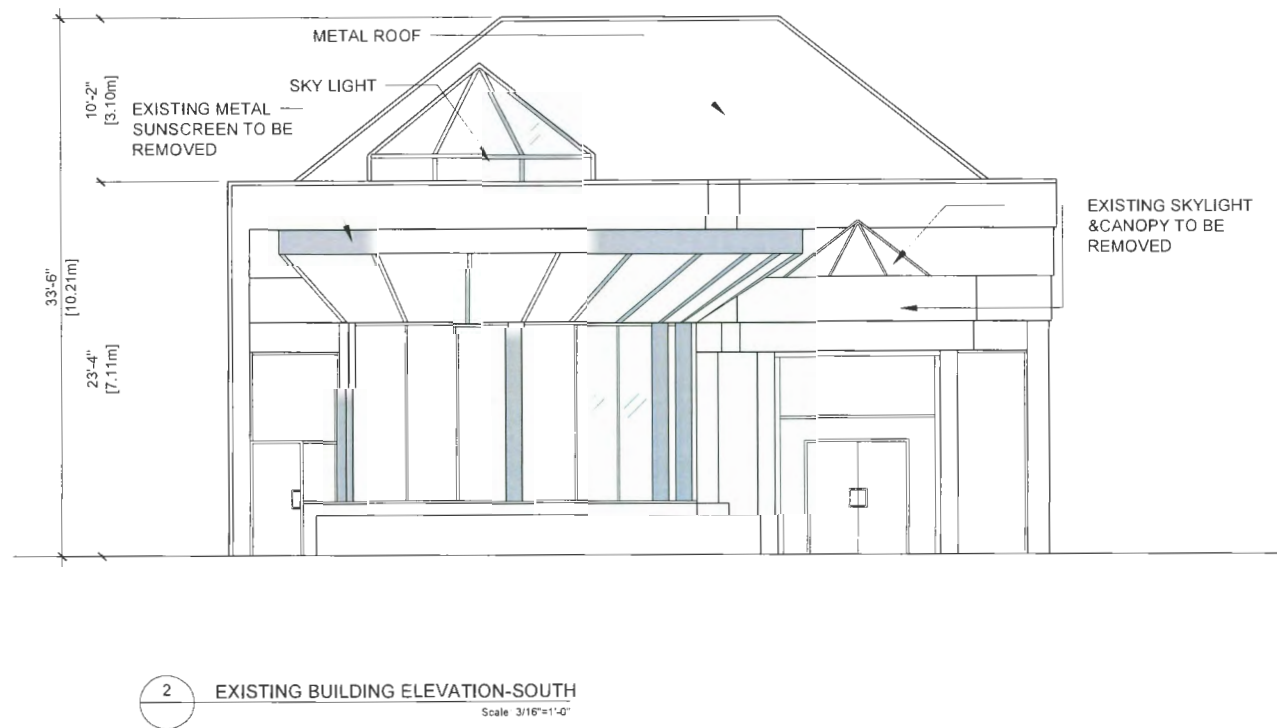
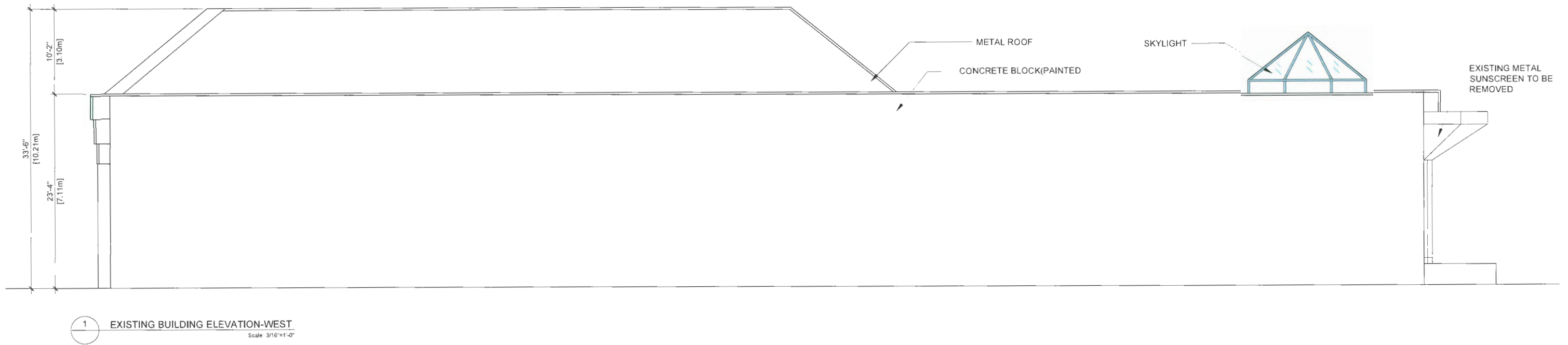
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PROJECT	8251 ALEXANDRA ROAD RICHMOND, BC
DRAWING TITLE	EXISTING ELEVATIONS

DRAWING No. **Reference Plan**



1200 West 73rd Ave (Airport Square)
Suite 940
Vancouver B.C. V6P 6G5

Office: 604 558 3064
www.pwaarchitecture.com



DP 25-007857

ISSUES	DATE
4 REISSUED FOR DP APPLICATION	SEP 23 2025
3 REISSUED FOR DP APPLICATION	SEP 11 2025
2 REISSUED FOR DP APPLICATION	JUL 19 2025
1 ISSUED FOR DP APPLICATION	FEB 11 2025

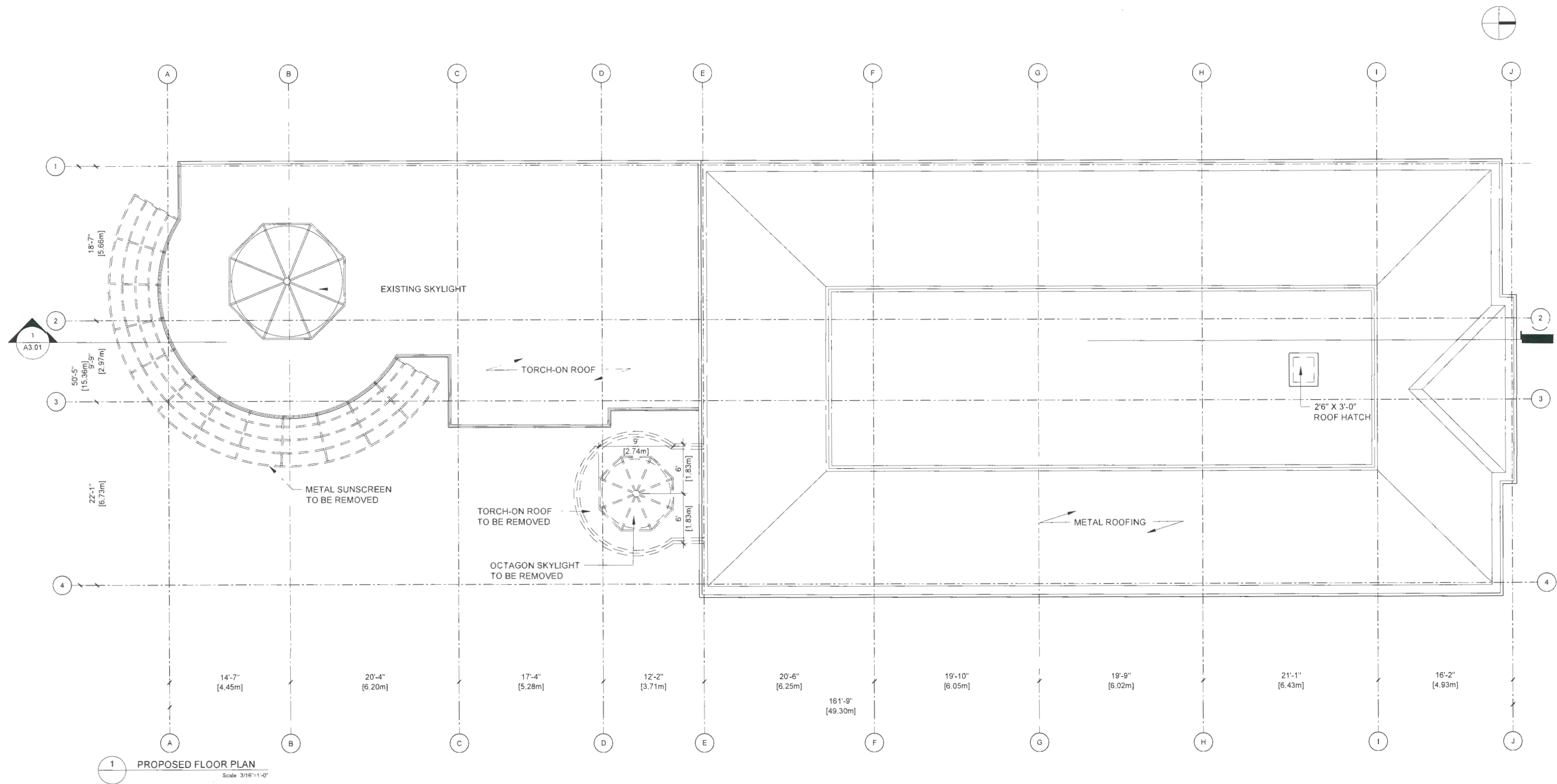
PROJECT NUMBER	AS45
DRAWN BY	FG
CHECKED BY	PV

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PROJECT
8251 ALEXANDRA ROAD
RICHMOND, BC

DRAWING TITLE
EXISTING ELEVATIONS

DRAWING No.
**Reference
Plan**



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2025-09-24

DP 25-007857

ISSUES	DATE
4 REISSUED FOR DP APPLICATION	SEP 23 2025
3 REISSUED FOR DP APPLICATION	SEP 11 2025
2 REISSUED FOR DP APPLICATION	JUL 18 2025
1 ISSUED FOR DP APPLICATION	FEB 11 2025

PROJECT NUMBER	AS-45
DRAWN BY	FC
CHECKED BY	Py

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PROJECT
8251 ALEXANDRA ROAD
RICHMOND, BC

DRAWING TITLE
EXISTING ROOF PLAN

DRAWING No.

Reference
Plan