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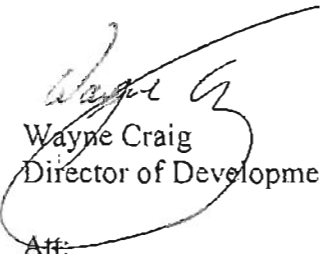
**To:** Planning Committee **Date:** April 8, 2013  
**From:** Wayne Craig **File:** RZ 12-598503  
Director of Development  
**Re:** Application by Polygon Development 269 Ltd for Rezoning at 9311, 9331, 9431, 9451 and 9471 Alexandra Road from "Single Detached (RS1/F)" and 9393 Alexandra Road from "Residential/Limited Commercial (ZMU16) – Alexandra Neighbourhood (West Cambie)" to "Low Rise Apartment (ZLR25) – Alexandra Neighbourhood (West Cambie)"

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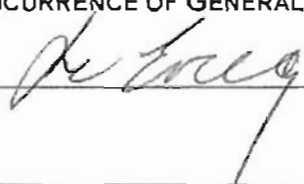
**Staff Recommendation**

1. That Richmond Official Community Plan Bylaw 9000 Amendment Bylaw 9016, to amend the City of Richmond 2041 Land Use Map (Schedule 1) to redesignate 9311, 9331 and the western half of 9393 Alexandra Road from "Mixed Use" to "Apartment Residential" be introduced and given first reading;
2. That Richmond Official Community Plan Bylaw 7100 Amendment Bylaw 9021, to repeal the existing Alexandra Neighbourhood Land Use Map of Schedule 2.11A (West Cambie Area Plan) with "Schedule A attached to and forming part of Bylaw 9021" and amending certain maps and text within the Area Plan, be introduced and given first reading.
3. That Bylaws 9016 and 9021, having been considered in conjunction with:
  - the City's Financial and Capital Program;
  - the Greater Vancouver Regional District Solid Waste and Liquid Waste Management Plans;are hereby deemed to be consistent with said program and plans in accordance with Section 882 (3) of the Local Government Act;
4. That Bylaws 9016 and 9021 having been considered in accordance with OCP Bylaw Preparation Consultation Policy 5043, are hereby deemed not to require further consultation;
5. That Richmond Zoning Bylaw 8500, Amendment Bylaw 9017, to create "Low Rise Apartment (ZLR25) – Alexandra Neighbourhood (West Cambie)", and the rezoning of 9311, 9331, 9431, 9451 and 9471 Alexandra Road from "Single Detached, (RS1/F)" and 9393 Alexandra Road from "Residential/Limited Commercial (ZMU16) – Alexandra Neighbourhood (West Cambie)" to "Low Rise Apartment (ZLR25) – Alexandra Neighbourhood (West Cambie)", be introduced and given first reading;
6. That the affordable housing contribution for the rezoning of 9311, 9331, 9393, 9431, 9451 and 9471 Alexandra Road (RZ 12-598503) be allocated entirely (100%) to the capital Affordable Housing Reserve Fund established by Reserve Fund Establishment Bylaw No. 7812; and

7. That Termination of Housing Agreement at 9393 Alexandra Road (formerly 9371 and 9411 Alexandra Road) Bylaw 9022, to permit the City to terminate a Housing Agreement entered into pursuant to Bylaw 8539, be introduced and given first reading.

  
Wayne Craig  
Director of Development

Att:

REPORT CONCURRENCE		
ROUTED TO:	CONCURRENCE	CONCURRENCE OF GENERAL MANAGER
Affordable Housing	<input checked="" type="checkbox"/>	
Law	<input checked="" type="checkbox"/>	
Policy Planning	<input checked="" type="checkbox"/>	

## Staff Report

### Origin

Polygon Development 269 Ltd. has applied to rezone 9311, 9331, 9431, 9451 and 9471 Alexandra Road from “Single Detached (RS1/F)” and 9393 Alexandra Road from “Residential/Limited Commercial (ZMU16) – Alexandra Neighbourhood (West Cambie)” to “Low Rise Apartment (ZLR25) – Alexandra Neighbourhood (West Cambie)” to permit the development of four (4) residential buildings containing approximately 546 residential apartment units and one indoor amenity building on the subject site (**Attachment 1**). The indoor amenity building includes one concierge suite and one guest suite as well as common areas for all residents. All of this is to be constructed in five and six storey buildings over one level of underground parking (**Attachment 2**).

### Findings Of Fact

Please refer to the attached Development Application Data Sheet (**Attachment 3**) for a comparison of the proposed development data with the relevant Bylaw requirements.

### Surrounding Development

To the North (Across Tomicki Avenue):

- At 9288 Odlin Road, 9199 and 9299 Tomicki Avenue, a 259 unit, 4-storey apartment complex over one level of parking, on a property zoned “Low Rise Apartment (ZLR20) – Alexandra Neighbourhood (West Cambie)”;
- At 9388 Odlin Road (under construction), a 245 unit 4-storey apartment complex over one level of parking, on a property zoned “Low Rise Apartment (ZLR24) – Alexandra Neighbourhood (West Cambie)”;
- At 9500 Odlin Road and 9399 Tomicki Avenue, a 228 unit, 4-storey apartment complex over one level of parking, on a property zoned “Low Rise Apartment (ZLR24) – Alexandra Neighbourhood (West Cambie)”.

To the South: Across Alexandra Road the proposed Smart Centre retail complex. Currently under rezoning review (RZ 10-528877).

To the East: Across the future May Drive, existing Single Family lots, but the City has received a rezoning application (RZ 12-598506) for a low rise apartment complex consisting of approximately 280 units, in a 4-storey apartment complex over one level of parking, which is currently under rezoning review.

To the West: A proposed 132 unit, 4-storey apartment complex over one level of parking, fronted by a small footprint commercial retail unit that has gone through Development Permit Panel and is currently completing their Rezoning and Development Permit considerations.

### Related Policies and Studies

#### Richmond Official Community Plan (OCP) – Schedule 1

The Richmond Official Community Plan (OCP) designates this subject site as both Mixed Use and Apartment Residential in its 2041 Land Use Map. Both permit multiple family housing with the Mixed Use component allowing additional uses such as commercial, industrial, office and

institutional. As the proposal is entirely for residential use, an amendment to the OCP map is needed to remove the “Mixed Use” designation from the affected properties of the subject site and changing it to “Apartment Residential”.

West Cambie Area Plan – Schedule 2.11A

West Cambie Area Plan – Alexandra Neighbourhood

To support this proposal, the Area Plan will require amendments to the following:

**Removal of the High Street** – This Mixed Use designation affects the western half of the subject site and is a component of the neighbourhood High Street, which provides a complementary commercial component to the Smart Centre site, as well as the Mixed Commercial hub of the neighbourhood running up Garden City Road (**Attachment 4**). The High Street is intended to promote people gathering through the use of public open spaces and commercial activity, helping meet the daily needs of local residents. The removal of the Mixed Use designation from the subject site is not anticipated to have a great impact on the High Street. Its location at the eastern end of the High Street combined with the introduction of Alexandra Way, a key pedestrian greenway in the neighbourhood at the western edge of the subject site acts as a logical separation between the residential use of Alexandra Road to the east and the commercial use of the High Street to the west.

**Height** – As the proposed development proposes five (5) and six (6) storey residential buildings, the Area Plan will need amending to increase the height provision that does consider five (5) storey non-combustible and concrete buildings to add six (6) storey combustible and non-combustible buildings as well.

**Density** – The base density in the apartment area of the Alexandra Area is 1.50 FAR with a 0.2 FAR density bonus provision to support affordable housing. The proposed base density of 1.68 FAR is supported to accommodate the commercial adjacency to the Mixed Use Commercial designation to the property to the south of Alexandra Road known as the Smart Centre proposal under (RZ 10-528877). The 0.2 FAR density bonus for a financial contribution to affordable housing will remain.

Floodplain Management Implementation Strategy

In accordance with the West Cambie Area Plan, the minimum allowable elevation for habitable space is 2.6 m GSC. A Flood Plain Covenant is to be registered on title prior to final adoption.

OCP Aircraft Noise Sensitive Development (ANSO) Policy

The site is located in Area 2 of the policy area of the ANSO map and the development is subject to noise mitigation measures and the registration of an Aircraft Noise Sensitive Use Restrictive Covenant prior to final adoption of the rezoning application.

The applicant is required to retain a registered professional qualified in acoustics to prepare a report that recommends site specific methods of mitigating interior noise levels from external sources such as overhead aircraft and other such noise sources that are generated at Vancouver International Airport. Design measures are to keep rooms from exceeding the following noise levels:

Bedrooms	35 decibels
Living, dining, recreation rooms	40 decibels
Kitchen, bathrooms, hallways and utility rooms	45 decibels

A separate report from a heating and cooling specialist is to accompany the acoustic report. The report should include methods of air cooling using the criteria set out in ASHRAE 55-2004 to avoid having residents to open doors and windows which would negate these sound measures.



Both these reports are to be submitted to the City for review during the Development Permit stage.

### **Consultation**

Official Community Plan (OCP): The subject rezoning and OCP amendment is consistent with City policies regarding consultation with the Richmond School District No. 38 and Vancouver International Airport. No consultation with these agencies is necessary. The City will provide a copy of this report to the School board for information purposes only.

General Public: The statutory Public Hearing will provide area residents, businesses and property owners with opportunity to comment on the application.

### **Public Input**

A notice board is posted on the subject property to notify the public of the proposed development. Staff have received no communication from the public in relation to this application. Should this application receive first reading, a public hearing will be scheduled.

### **Analysis**

The analysis is set out in two parts to clarify the proposed OCP and Rezoning Bylaws.

#### **PART 1 – OFFICIAL COMMUNITY PLAN (OCP) AMENDMENT TO THE WEST CAMBIE AREA PLAN (SCHEDULE 2.1D) AMENDMENT (BYLAW 9016 AND 9021)**

The West Cambie Area Plan is designed to establish a complete community where people have the opportunity to live, work and play within the same neighbourhood. One of the unique components of the neighbourhood is the establishment of the High Street, a symbolic centre of the neighbourhood providing commercial space to complement the commercial designated lands to the south of Alexandra Road. The High Street offers a mixed use of predominately residential with a small plate commercial on the ground level fronting the street. The amendment is intended to remove a portion of the High Street from the north side of Alexandra Road from the eastern most part of the High Street and replace it with a Residential designation, without the commercial component.

The change in use is anticipated to have a minor impact as the extent of the High Street along the subject property is a small amount of the overall length of the High Street in the Alexandra Neighbourhood. Its location at the north end of Alexandra Road, east of the Alexandra Way Greenway entrance separates it from any other commercial linkage to the west. There will still be commercial activity south of Alexandra Road and west of the Alexandra Way Greenway.

The High Street concept has been protected to the west at 9251 and 9291 Alexandra Road through the proposed 132 unit apartment complex which has a small plate commercial space.

#### Items Requiring Amendment

The following bylaws will require amendment:

1. OCP (Schedule 1) 2041 Land Use Map to amend the Mixed Use designation of a portion of the subject site and replace it with Apartment Residential;
2. OCP (Schedule 2.11A), West Cambie Area Plan – Alexandra Neighbourhood Land Use Map to amend the subject site from its current land use designation to a new designation and symbol:

#### **Residential Area 1B**

1.68 base FAR (Max. 1.88 FAR with density bonusing for affordable housing contributions). (6 storey maximum).

## 3. OCP (Schedule 2.11A), West Cambie Area Plan :

- a.) Text amendment to Section 8.1.5 (second bullet), to amend the wording “(five storeys may be considered for non-combustible or concrete construction, increased open space, and no additional overshadowing of neighbouring properties)” to “(five **and six** storeys may be considered for **combustible**, non-combustible or concrete construction, increased open space, and no additional overshadowing of neighbouring properties)”;
- b.) Text amendment to Section 8.2.4 (under the Height Section), to amend the wording “(five storeys may be considered for, non-combustible or concrete construction, increased open space, and no additional overshadowing of neighbouring properties)” to “(five **and six** storeys may be considered for **combustible**, non-combustible or concrete construction, increased open space, and no additional overshadowing of neighbouring properties)”;
- c.) Replace the following Area Plan maps to reflect the above changes:

West Cambie Area Plan (page #)	Section/Map to be amended
22	Section 8.2 - Alexandra Neighbourhood Character Areas Map
31	Section 8.2.3 - Character Area 3 – The High Street Map
33	Section 8.2.4 -Character Area 4 – Medium Density Housing Map

**PART 2 – REZONING BYLAW 9017 FOR A 546 UNIT RESIDENTIAL COMPLEX AT 9311, 9331, 9393, 9431, 9451 AND 9471 ALEXANDRA ROAD (BYLAW 9017)**

Proposed Zoning to Low Rise Apartment (ZLR25) – Alexandra Neighbourhood (West Cambie)

The proposed rezoning from RS1/F and ZMU16 to ZLR25 represents an increase in density by allowing more residential units on the site. The proposed amendments to the OCP and the Area Plan outlined above provide the policy basis for the proposed ZLR25 zone, which is anticipated to be a new and specialized zone for this project. Otherwise, the submitted proposal is in general conformance with the OCP and the West Cambie Area Plan - Alexandra Neighbourhood in its transformation toward a medium density neighbourhood through the development of low-rise apartment buildings.

Proposed Site Assembly

The applicant has assembled six (6) lots for this application consisting of approximately 2.8 hectares (7 acres), exceeding the minimum lot size requirements of one hectare (1 ha) in accordance with policy. As the site is either bordered by roads set out in the Area Plan or by an upcoming apartment complex to the west, there were no opportunities to assemble any additional land.

Phasing

The applicant is proposing this application to be done in four (4) phases. The first phase will incorporate the south-east building and its 137 residential units and an indoor amenity building (including a guest suite and a concierge suite). The second and third phases along the west half of the site will contain 136 residential units each, with the fourth and final phase at the north-east quadrant to provide the remaining 137 residential units.

The parkade will be done in two (2) phases with the south half of the structure being constructed during the first phase, with the north half being constructed during the third phase of development.

#### Transportation and Site Access

In accordance with the planned road network through this neighbourhood, the applicant will be dedicating ten (10) metres of land along the northern edge of the site for the purpose of designing and constructing the future Tomicki Avenue. The exception of this dedication is the property at 9393 Alexandra Road which already dedicated ten (10) metres at the northern end when it was granted rezoning to ZMU16 in accordance with its conditions outlined in RZ 08-410760. This dedication and road construction will present a near completion of Tomicki Avenue to its visualized completion as a full width road between May Drive to the east and Dubbert Street to the west. Another land dedication for the purpose of road construction is ten (10) metres off of the entire eastern edge of the subject site to support the development of the western half of May Drive. Triangular corner cuts of four (4) metres by four (4) metres in size will also need to be dedicated at the corners of Alexandra Road and May Drive as well as Tomicki Avenue and May Drive. No dedication requirements are required off of Alexandra Road.

Frontage improvements along all three (3) road frontages (Alexandra Road, May Drive and Tomicki Avenue) will be designed and constructed by the developer and will consist of a curb and gutter, boulevard and sidewalk. These frontage improvements and road construction will be detailed as part of the Servicing Agreement which will be completed prior to the adoption of this rezoning application.

Vehicular access to and from the site to the underground parkade is off both the future May Drive to the east and Tomicki Avenue to the north. Access to these points is provided by the May Drive connection to the existing Alexandra Road to the south and the existing May Drive section that extends from Odlin Road to the north and connecting to the existing portion of Tomicki Avenue that was constructed as part of the Cambridge Park development (RZ 08-408104).

The number of proposed parking stalls falls short of the Zoning Bylaw requirements of 1.5 resident stalls per unit and 0.2 stalls for visitors by around 142 parking spaces. To make up for this shortfall, the City's Transportation staff and the applicant have worked together and agreed on a Transportation Demand Management (TDM) plan that includes:

- Provide 120V electric plug-ins for 20% of all parking stalls;
- Provide 120V electric plug-ins for electric bikes, one for every 40 bicycle storage racks (if there are fewer than 40 bicycle racks in a storage compound, one 120V electric plug-in is required for the same compound);
- Provide minimum three benches along each of the three street frontages (or equivalent cash contribution of \$15,000 total);
- A voluntary cash contribution of \$30,000 towards a bus shelter with an accessible concrete pad in the area;
- A voluntary cash contribution of \$5,000 towards the provision of new benches in the area;
- As per OCP, an additional 25% of the parking stalls be constructed to accommodate the future installation of electric vehicle charging equipment (e.g., pre-ducted for future wiring); and

- A voluntary cash contribution of \$10,000 towards cycling-related infrastructures in the area (e.g., detector loops on Odlin Road at Garden City Road and No. 4 Road, and signage and pavement marking along Odlin Road)

These provisions are supported by the Director of Transportation for a revised parking count of 1.26 parking stalls per unit for residents and 0.18 stalls per unit for visitors (1.44 total stalls per unit). This parking count is consistent with the phasing plan outlined by the developer so that the number of provided stalls will meet the 1.44 total stalls per unit, per phase. The above noted measures will be secured through a legal agreement prior to the adoption of the rezoning application.

The applicant is providing sufficient loading bays to the complex. Confirmation to the manoeuvrability of the larger vehicles to and from this bay will be provided at the Development Permit stage.

The applicant has provided ample long and short term storage for bicycles that meet bylaw requirements.

#### Base Density Considerations

The typical density in the apartment area of the Alexandra Area is 1.50 FAR with a 0.2 FAR density bonus for the provision of affordable housing. The greater base density of 1.68 FAR proposed for the subject site takes into account considerations relating to the adjacency of the site to the proposed Smart Centre development (RZ 10-528877) south of Alexandra Road and affordable housing density reconciliations associated with earlier developments by the same developer.

As the subject site is located directly across from the mixed use retail commercial block to the south of Alexandra Road, additional density provision of 0.18 FAR (above the typical 1.5 FAR for apartment housing in the Alexandra Area) is proposed to be granted for the subject site to help make the retail centre lively and active through additional residents living in close proximity. This would provide for a maximum of an additional 48,557 square feet of residential space on the subject site.

When the Housing Agreements were terminated for developer's Mayfair Place (9399 Odlin Road and 9388 McKim Way) and Cambridge Park (9500 Odlin Road and 9399 Tomicki Avenue) development, the Affordable Housing Value Transfer (AHVT rate) used to calculate the contributions to the City was \$160 per ft<sup>2</sup> (see staff report dated May 30, 2012 from the General Manager, Community Services titled "Project Specific Financial and Policy Considerations for the Proposed Kiwanis Towers Affordable Housing Development at 6251 Minoru Boulevard"). This rate was based on the applicable affordable housing density is not being retained on the development site. Since the affordable housing units were already constructed on the Mayfair Place and Cambridge Park sites (and the density used on those sites), the developer had proposed that the density be reduced at the subject site to account for the excess density at the Mayfair Place and Cambridge Park sites. Also, on two of the developer's other earlier Alexandra area developments, Meridian Gate (9288 Odlin Road and 9199, 9299 Tomicki Avenue) and Hennessey Green (9800 Odlin Road), no affordable housing units were constructed and no density bonuses were provided. As a result, the full density potential of those sites were not achieved at the time of those developments and it is proposed that the density potential for those developments be taken into consideration in determining the base density of the subject site. The chart below identifies the balancing of the excess density at the Mayfair Place and Cambridge Park developments with the potential additional densities for the Meridian

Gate and Hennessey Green sites. It is proposed that the deficit of 4,066 ft<sup>2</sup> be deducted in determining the final base density for the subject site.

Name of Project	Description	Square footage
Meridian Gate	Potential affordable housing bonus density	17,998
Hennessey Green	Potential affordable housing bonus density	8,842
Cambridge Park	Affordable housing density converted to market housing	17,010 (deduct)
Mayfair Place	Affordable housing density converted to market housing	13,896 (deduct)
Total		4,066 (deficit)

The above considerations support a base density increase to 1.68 FAR for the subject site. Further, the increased base density is supported by the Mayfair Place development connecting to the Alexandra DEU, as this development would have been entitled to a base density increase for connecting to the ADEU as identified in the Area Plan. The Mayfair Place development has connected to the ADEU but did not take advantage of the additional density. This density is being applied to the subject site.

#### Affordable Housing

Polygon has identified the subject development as a possible affordable housing “donor site” for which the developer proposes to make a contribution to the City’s capital Affordable Housing Reserve Fund in lieu of building affordable housing units on site. This contribution is based on a recently proposed “Affordable Housing Value Transfer” approach, as per the report from the General Manager, Community Services dated May 30, 2012, which allows for a developer to make a cash contribution towards affordable housing in lieu of constructing affordable housing units in Council approved affordable housing special development circumstances.

The subject application proposes a site specific zone, “Low Rise Apartment (ZLR25) Alexandra Neighbourhood (West Cambie)”, that provides for a voluntary cash-in-lieu developer contribution of \$2,877,448.32 to the City’s Affordable Housing (capital fund) Reserve. The value of this affordable housing contribution is derived from:

- A floor area of 17,984.0 ft<sup>2</sup> (i.e. 1/3 of the 0.20 FAR allocated to affordable housing under the West Cambie Area Plan affordable housing density bonus policy); and
- An AHVT rate of \$160/ft<sup>2</sup> (i.e. as per the report from the General Manager, Community Services dated May 30, 2012, this rate assumes (i) wood construction and (ii) the developer building only 0.13333 FAR (2/3 of the 0.20 FAR) density bonus as a result of providing a cash contribution in lieu of constructing affordable housing units on the subject site).

Staff is supportive of the developer’s proposed voluntary AHVT cash-in-lieu contribution of \$2,877,448.32 to the City’s Capital Affordable Housing Reserve, which contribution shall be secured prior to adoption of the subject rezoning and in the form of:

- A cash sum of \$719,362.08; and
- Letters of Credit totalling \$2,158,068.24 plus CPI.

If Council approves the recommendations contained within this staff report, the proposed cash-in-lieu contribution will be allocated 100% to the City’s Capital Affordable Housing Reserve Fund and may, at the sole discretion of Council, be used to help facilitate the Kiwanis project.

NOTE: Subsequent to Council's consideration of the report from the General Manager, Community Services, dated May 30, 2012, and the Kiwanis rezoning (RZ 11-591685), it was determined that the size of the subject site for density calculation purposes was larger than originally estimated and, therefore, the project's above proposed buildable floor area and related affordable housing cash-in-lieu contribution are greater than previously estimated.

#### Affordable Housing Agreement Termination

The Housing Agreement registered as part of RZ 08-410760 (Bylaw 8539) for 9393 Alexandra Road (formerly 9371 and 9411 Alexandra Road) needs to be discharged.

The agreement was part of a previous rezoning and Development Permit (RZ 08-410760 and DP 09-472862) to secure eight (8) affordable apartment units within a 139 unit mixed-use apartment complex that included a small floor plate commercial unit fronting Alexandra Road. Polygon acquired the property after the rezoning and Development Permit were approved and the Housing Agreement Bylaw adopted. As the site is not considering on-site affordable housing, the Housing Agreement Bylaw and associated covenants (BB1695850 and BB1695851) must be discharged from title. Bylaw 9022 will authorize the City to terminate this Housing Agreement and discharge the associated Land Title charges.

#### Trees

An Arborist Report and survey plan (**Attachment 5**) was submitted to assess the condition and location of the trees both on the subject site and in the immediate area. The number of on-site trees, their condition and recommendations are summarised in the following table:

**Tree Summary Table**

Item	Number of Trees	Tree Compensation Rate	Tree Compensation Required	Comments
<b>Total On Site Trees</b>	49	2:1	98	Trees are in poor condition and not good candidates for retention. It is recommended that they all be removed and replaced in accordance with City policy.
<b>Total Off Site Trees</b>	10	See comment	See comment	All 10 trees were assessed during the review of rezoning application for what is now 9393 Alexandra Road as part of RZ 08-410760.  All 10 trees are selected for removal. Compensation was provided during the previous rezoning process. Therefore, no further compensation is required.
<b>Neighbouring Trees</b>	1	See comment	See comment	In poor condition and identified for removal.  Tree F is located on the adjacent property to the east which is owned by this applicant. The property currently has an application for rezoning (RZ 12-598506) currently under review.

City staff have reviewed the Arborist Report and conducted a site visit. It is recommended that the applicant be allowed to remove all on-site trees and to provide replacements at a 2:1 ratio. A

specific count of how many trees that will need to be planted will be a part of the Development Permit review process.

#### Amenity Space

The proposal provides for both indoor and outdoor amenity space for its residents.

Outdoor amenity space is provided in a central courtyard within the four buildings so it is separated away from the surrounding streets. Some of the main amenities for this space include:

- An entry plaza and court leading to and from Alexandra Road;
- An outdoor swimming pool and hot tub;
- A children's playground, consisting of play structures and lawn space;
- An orchard area, consisting of treed walkways, seating and picnic areas;
- Open lawn space; and
- A rock garden and outdoor recreation space for various uses (e.g. Tai Chi).

Indoor amenities are provided in a separate building within the central courtyard towards the south residential buildings, with direct access through the entry plaza leading to Alexandra Road. The building allows for flexible uses for gathering as well as a guest suite and a concierge suite, all on one level. The guest suite and concierge suite will require a covenant on title to specify that these are to be identified as common area within the strata, and to prevent the conversion and future sale of these units.

Also included in the indoor amenity building is space to support the connection to the City's ADEU.

Both outdoor and indoor amenity spaces meet the minimum requirements in accordance with policy.

#### Local Area Development Cost Charges (DCC)

The implementation of the Area Plan has some unique challenges given the original state of the neighbourhood, mainly in regards to the lack of services in the immediate area. As part of the implementation of the Area Plan, Local Area DCC fees were established to help offset the costs of providing appropriate infrastructure to the increased density the approved Area Plan has in store. These fees are a supplement to the city-wide DCC program.

#### Alexandra Neighbourhood Development Agreement

In accordance with the West Cambie Alexandra Neighbourhood Development Agreement, the applicant will be making a contribution of \$1,836.72 per unit (plus applicable interest) towards the total cost of infrastructure upgrades to the neighbourhood. Payment is due prior to the issuance of the Building Permit.

#### Advisory Design Panel and Proposed Development Permit (DP 13-631492)

The proposal was presented to the Advisory Design Panel (ADP) at the December 5, 2012 meeting for a preliminary review. **Attachment 6** outlines the Panel's comments as well as the Architect's reply in addressing the comments. Overall, the panel supports the direction the project is taking.

The proposal will be going back to ADP as part of the Development Permit process.

#### **Alexandra's Liveability Guidelines**

In addition to guidelines regulating design standards within the West Cambie Area Plan – Alexandra Neighbourhood, the provision of an integrated social infrastructure is also a

requirement. The Plan requires development proposals to respond to elements of well-being and liveability as articulated in the guidelines.

#### Childcare

The City of Richmond's Child Care Policy is included in the Official Community Plan (OCP); access to affordable, flexible, quality childcare is a priority. In response, the developer has agreed to a voluntary contribution toward the provision of childcare facilities at a rate of \$0.60/ft<sup>2</sup> based on the maximum floor area ratio (FAR) (\$304,290.16) in accordance with Council Policy 5044 (West Cambie-Alexandra Interim Amenity Guidelines). The voluntary contribution is payable prior to the adoption of the rezoning application.

#### Community and Engineering Planning Costs

To assist in paying for community planning and engineering costs to plan community land use, services and infrastructure, the developer proposes to provide a voluntary contribution based on a rate of \$0.07/ft<sup>2</sup> based on maximum FAR (\$35,500.52) in accordance with Council Policy 5044 (West Cambie-Alexandra Interim Amenity Guidelines). The voluntary contribution is payable prior to the adoption of the rezoning application.

#### City Public Realm Beautification

To assist in paying for City beautification works, such as High Street landscaping, public realm, walkways, plazas, and feature landscaping, the developer proposes to provide a voluntary contribution based on a rate of \$0.60/ft<sup>2</sup> based on maximum FAR (\$304,290.16) in accordance with Council Policy 5044 (West Cambie-Alexandra Interim Amenity Guidelines). The voluntary contribution is payable prior to the adoption of the rezoning application. This contribution will be reduced for design costs associated with Alexandra Way as determined by the Director of Development.

#### Public Art

In response to the City's commitment to the provision of Public Art, the developer is considering providing a piece of public art to the site. An option is to provide a voluntary contribution at a rate of approximately \$0.77/ft<sup>2</sup> based on maximum FAR (\$390,505.70) to secure participation in the program. The voluntary contribution is payable prior to the adoption of the rezoning application. Provision of Public Art will be done through the coordination between the developer and the City's Public Art coordinator.

#### Universal Access

To assist in ensuring accessibility is an option for residents of the Alexandra area, the applicant has notified the City that is supplying 32 out of the 546 units for conversion to Universal access for wheelchair accessibility in accordance with Section 4.16 of Zoning Bylaw 8500. Some of the items that are included during the construction of these units are:

- Providing wider doors to facilitate wheelchair movement through the unit.
- Set heights for accessing electrical outlets.
- Ensure greater clearances for easier access to items such as bathroom fixtures.
- Pull-out door and cabinets in kitchens.

To help compensate, the Zoning Bylaw allows for an additional 20ft<sup>2</sup> per unit to be excluded from the FAR calculations. To qualify for these, the applicant is to submit detailed floor plans outlining the provisions of Section 4.16 on the unit types they select.



All units are to provide aging in place features such as additional blocking for the future installation of grab bars, door handles, and wide door access to facilitate access for walkers and wheelchairs. Notation of these features is to appear on the Development Permit drawings.

### **Alexandra's Building Sustainability Guidelines**

Similar to the Liveability Guidelines articulated above, the applicant has incorporated a response to the neighbourhood plans commitment to long-term environmental sustainability.

#### Alexandra District Energy Utility (ADEU)

The City encourages efforts to implement environmentally responsible services to new developments. One such service is the City's new District Energy Utility in the Alexandra Neighbourhood of West Cambie, which is now available for connection to new development projects. The developer has agreed to connect this development to the ADEU.

#### Sustainability Features

- Inclusion of water saving faucets and Energy Star appliances.
- Building efficiency measures (increased insulation ratings, weather stripping, and incorporation of LED light fixtures).
- Conscientious on-site storm water management (landscaping plant selection).
- Controllable systems (individual room temperature control).
- Low-emitting materials (selective use of water based paints and low VOC interior paints).
- Construction waste management (management of supplier and trades waste) will be provided at the time of making Building Permit application.
- Provisions to support alternative transportation are provided by the construction of Alexandra Way along the western edge of the property.

#### Alexandra Way Greenway

The development of Alexandra Way is a significant feature of the West Cambie Area Plan – Alexandra Neighbourhood and is intended to promote and facilitate accessibility and the movement of pedestrians, cyclists, wheelchairs and other alternative forms of transportation through the neighbourhood by a landscaped walkway running in-between apartment developments. While the Land Use Map (**Attachment 4**) identifies the conceptual location of Alexandra Way bisecting through the neighbourhood, it has been understood that the actual location of the walkway can and has been adjusted based on the land assemblies for each development project. In this case, the apartment proposal for the site directly to the west at 9251 and 9291 Alexandra Road established the location of the walkway along its eastern edge, with the intent they build half of the walkway on their development site, and provide a design for the future development that would include 9311 Alexandra Way (part of the subject site) so that the developer can complete the walkway to its full and final design.

As described in the Area Plan, Alexandra Way is a privately owned publicly accessible statutory right-of-way (PROP). As a condition of rezoning, the applicant is required to register a 5.0 metre PROP along the western edge of the subject property. In addition, the PROP is to widen at both ends of Alexandra Way by fanning out an additional 3 metres at the intersection of Alexandra Road and Tomicki Avenue, resulting in a wider PROP at both ends of the block to allow for greater visibility and access to the corridor. This extra width is reflected in the Land Use Map in **Attachment 4** where circles represent the widening of the walkway when it intersects the road, and is intended to provide design enhancements at the end of each block to act as a welcoming gateway. In addition, appropriate signage to indicate the permanent nature of

this PROP at each end of the block will be a condition of rezoning. The applicant will also be required to register a midpoint PROP in addition to the 5 meter wide PROP to establish the walkway. The purpose of the 12 metre long and 5 metre deep PROP is to establish a resting point along the walkway, as well as a point of entry into the development site.

The implementation and development of the walkway will be for the developer to contribute the second half of the required width of the walkway along the western edge of the subject site through the registration of the PROP. Combining this with the PROP on the development to the west will establish a full width and final appearance of the walkway along this block of the neighbourhood. A review of the final design of the greenway is currently underway with the review of the submitted Development Permit (DP 13-631492).

#### Discharge of Covenants

This report has outlined some covenants that will need to be registered on the subject site prior to the adoption of this rezoning application. Two of the individual properties that make up the subject site have existing covenants that have charges from the City of Richmond that should be removed as they are made either redundant with this proposal or run the risk of duplication when the new covenants are registered. The following chart outlines the current covenants that are currently registered on 9311 and 9393 Alexandra Road that should be discharged. The covenants to be discharged on 9393 Alexandra Road are similar to the covenants that are to be registered on the subject site, and should be discharged to avoid redundancy or duplication. The recent rezoning adoption and Development Permit issuance was for a project that was never constructed and the project was abandoned when Polygon purchased this property for the inclusion in their land assembly for this proposal.

9311 Alexandra Road	
Document Registration	Description
BN192756	Utility bill for a residential duplex building. Covenant is to recognise only one unit as the other is used for storage. This is considered redundant as the duplex is to be removed in favour of this project.
9393 Alexandra Road	
Document Registration	Description
BB1695855 and BB1695856	Aircraft Noise covenant that recognises the location of the property is in vicinity of Vancouver International Airport. The discharge of this covenant will avoid confusion of a new covenant that is to be registered.
BB1695859	Flood Plan Covenant. The discharge of this covenant will avoid confusion of a new covenant that is to be registered for the subject site.
BB1700224 and 1700225	Canopy encroachment. The previous application proposed a canopy over the commercial frontage of their proposal that extended beyond the property line and onto City property. Redundant as this project has been considered abandoned.
BB1700228	Tandem Parking Covenant. The parking stall configuration in the previous application had tandem parking stalls. The covenant was to ensure these stalls would be registered to the same residential unit. Redundant as this project has been considered abandoned.

Utilities and Site Servicing

A site servicing review has been conducted by the applicant's Engineering consultant and reviewed by the City's Engineering Department. The applicant is to provide upgrades to existing services and install new services and extensions in accordance with the following:

- Sanitary
  - Construct a new sanitary sewer from western property line of 9311 Alexandra Road to May Drive and connect to new system on May Drive.
  - Construct a new sanitary sewer extension along May Drive from Alexandra Road to Tomicki Avenue and connect to existing system on Tomicki Avenue. Existing manhole SMH52070 will need to be shifted approx. 4m to the south to accommodate ultimate alignment of system on Tomicki Avenue.
- Water
  - Replacement of existing AC watermain is required. Additional fire hydrants are required to achieve minimum spacing requirement for the multi-family areas.
  - Construct a new watermain along May Drive extension from Alexandra Road to Tomicki Avenue & connect to new system on Alexandra Road and Tomicki Avenue.
  - Along Tomicki Avenue, construct a new line from the western property line of 9311 Alexandra Road to May Drive and connect to new system on May Drive.
- Storm
  - Along Alexandra Road, the frontage must be upgraded to the greater of:
    - a) 600 mm; and
    - b) OCP size by the developer, as per City requirements.
  - A single storm sewer system is required near the centreline of the road dedication.
  - Construct a new storm sewer extension along May Drive from Alexandra Road to Tomicki Avenue and connect to new system on Alexandra Road and existing system on Tomicki Avenue. If the site drains to this frontage, then a storm analysis is required to the major conveyance.
  - Along Tomicki Avenue, construct a new storm sewer from the western property line of 9311 Alexandra Road to western property line of 9431 Alexandra Road and connect to existing systems on Tomicki Avenue. If the site drains to this frontage, then a storm analysis is required to the major conveyance.

These works will be reviewed as part of the Servicing Agreement, to be finalized prior to the adoption of rezoning.

Servicing Agreement

The applicant is to enter into a separate servicing agreement prior to rezoning adoption. Works include the above servicing improvements and other works, but not limited to the following:

- Frontage improvements along Alexandra Road to accommodate the following (from north to south):
  - 2.0 metre wide sidewalk at the new property line;
  - Minimum 1.5 metre wide treed/grassed boulevard. Exact measurements to be confirmed at the servicing agreement stage;
  - Curb and gutter;
  - Minimum 6.5 metre wide road pavement;
  - Minimum 1.0 metre wide shoulder; and
  - Appropriate side slope and tie-in to the properties to the south.

- May Drive: coordinate with the offsite works via. RZ 12-598506 (under review) the road to the ultimate standards, which include:
  - 2.0 metre wide concrete sidewalks at the new property line;
  - Minimum 2.0 metre wide treed/grassed boulevard; and
  - Curb/gutter on both sides of May Drive and minimum 11.2 metre wide pavement width.
- Tomicki Avenue: construct the road to the following ultimate cross-section (from south to north):
  - 2.0 metre wide concrete sidewalk at the new property line;
  - Minimum 1.5m wide treed/grassed boulevard, exact width to be determined as part of the servicing agreement stage;
  - Curb and gutter;
  - Minimum 8.5 metre pavement width (11.2m desired to accommodate on-street parking); and
  - Reconstruction of the existing curb and widen the existing boulevard along the north side
- Construct the final portion of Alexandra Way, including intersection improvements at the both Alexandra Road and Tomicki Avenue.

### **Development Permit**

A separate Development Permit application has been applied for (DP 13-631492). Staff are working with the applicant on the following items:

1. Design of the final design of the Alexandra Way Greenway. These designs are to include:
  - a) Connection with the units fronting the greenway;
  - b) Connection with the access to the central courtyard;
  - c) Intersection design at both Alexandra Road and Tomicki Avenue; and
  - d) Frontage improvements to and from the intersection to the crosswalk;
2. Overall appropriateness of the landscaping plan – in particular the central amenity area and courtyard.
3. Provide an illustration to show the manoeuvrability of SU9 vehicles to and from the loading bays.
4. Overall appropriateness to the form and character of the buildings and the interaction to the street.

**Financial Impact**

None expected.

**Conclusion**

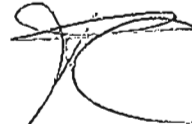
The applicant proposes to rezone the subject site to construct a 546 unit apartment complex over one level of underground parking.

The proposal meets the requirements of the Area Plan, but will require an amendment to redesignate the subject property to support the density and height requirements of this proposal.

The design requirements meet the Area Plan neighbourhood character guidelines and staff is confident the outstanding conditions will be met prior to final adoption (**Attachment 7**). Staff therefore recommend that rezoning application RZ 12-598503 proceed to first reading.



David Johnson  
Planner  
(604-276-4193)

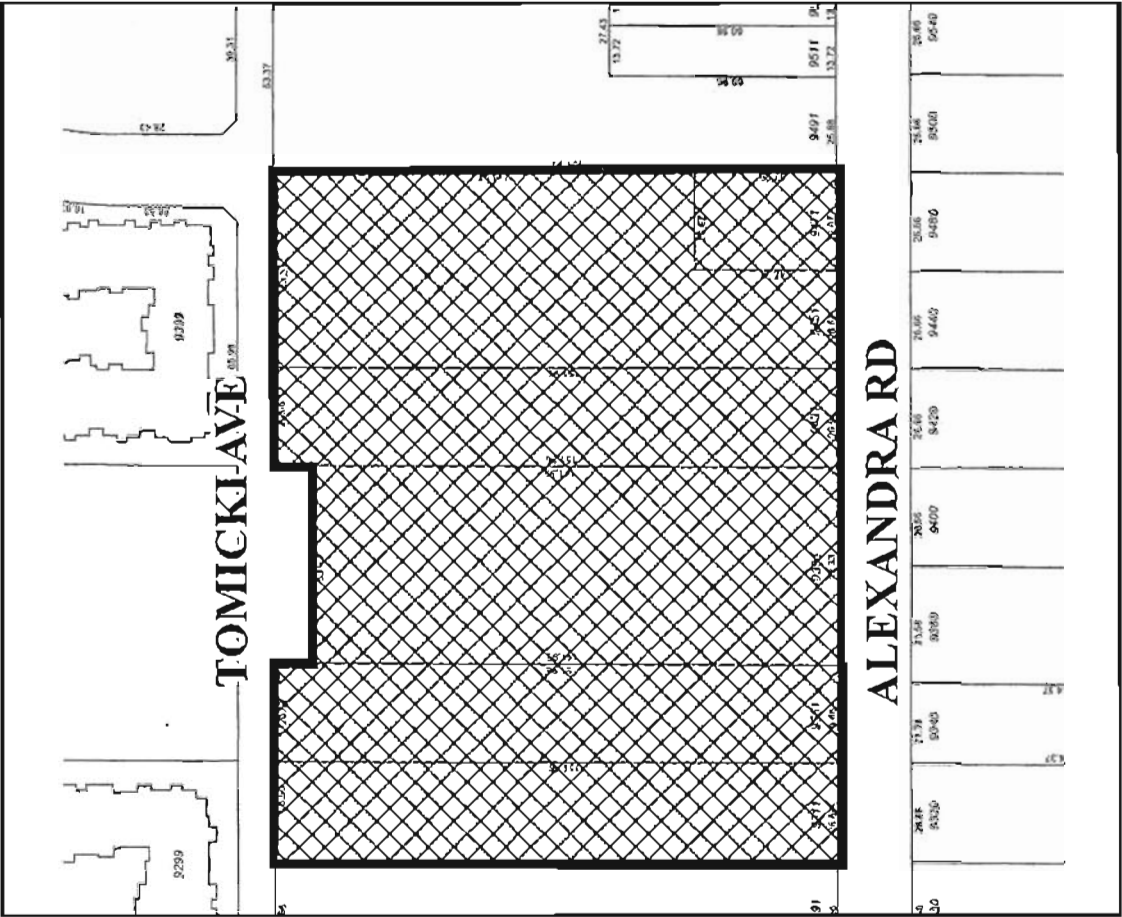
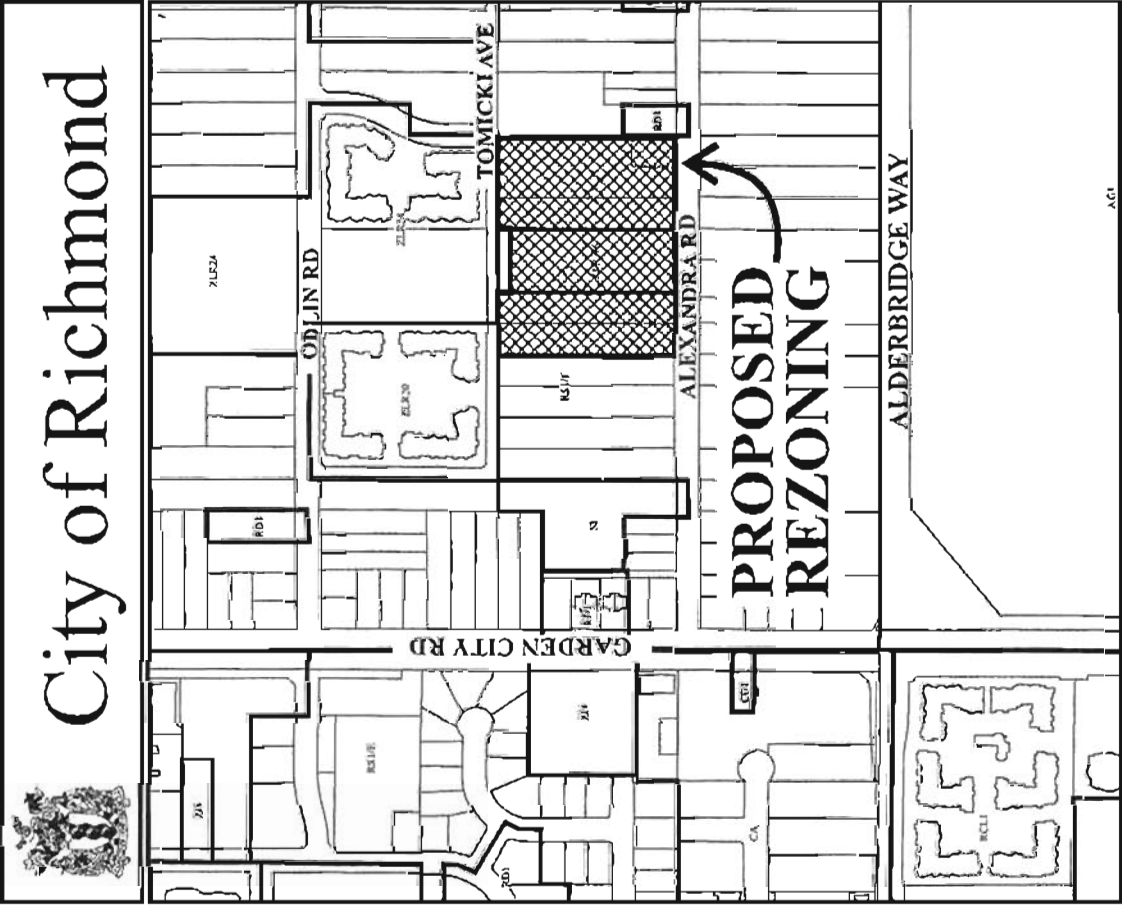


Terry Crowe  
Manager, Policy Planning  
(604-276-4139)

DJ:cas

**List of Attachments**

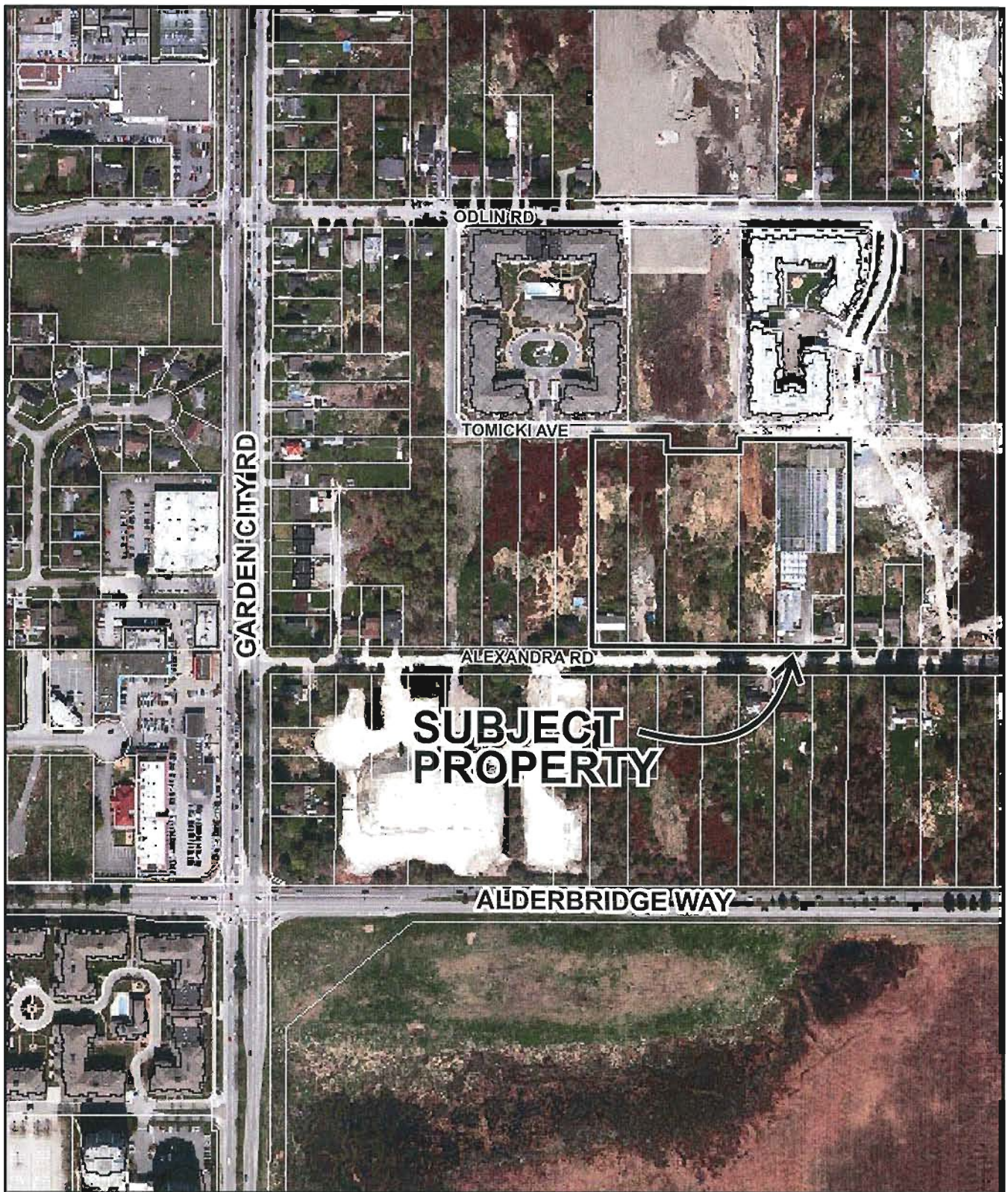
Attachment 1	Location Map, Zoning Site Map and Site Context
Attachment 2	Architectural and Landscaping Drawings
Attachment 3	Development Application Data Sheet
Attachment 4	West Cambie - Alexandra Area Land Use Map
Attachment 5	Arborist Report - Tree Survey Plan
Attachment 6	Advisory Design Panel Comments and the applicant's response from the December 5, 2012 meeting of the Advisory Design Panel
Attachment 7	Conditional Rezoning Requirements



**RZ 12-598503**

Original Date: 01/24/12  
Revision Date: 03/25/13  
Note: Dimensions are in METRES





RZ 12-598503

Original Date: 01/24/12

Amended Date: 03/25/13

Note: Dimensions are in METRES



# ALEXANDRA WEST PROPOSED CONDOMINIUM DEVELOPMENT RE-ISSUED FOR REZONING FEBRUARY 19, 2013

CIVIC ADDRESS:  
LEGAL ADDRESS:

300 W 10TH ALEXANDRA RD, RICHMOND BC  
300 W 10TH A, RICHMOND BC, V6X 1A6  
300 W 10TH A, RICHMOND BC, V6X 1A6  
300 W 10TH A, RICHMOND BC, V6X 1A6  
300 W 10TH A, RICHMOND BC, V6X 1A6

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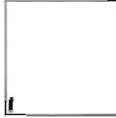
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2	2012.02.19	REVISION FOR REZONING

NO.	DATE	DESCRIPTION
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2	2012.02.19	REVISION FOR REZONING



**PCA**

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www.michaelgossettarchitecture.com



**POLYGON**

**ALEXANDRA WEST**

300 W 10TH ALEXANDRA RD  
RICHMOND BC

ATTACHMENT 2

NO.	DATE	DESCRIPTION
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2	2012.02.19	REVISION FOR REZONING

Cover Sheet (ADP)

- A.O.O



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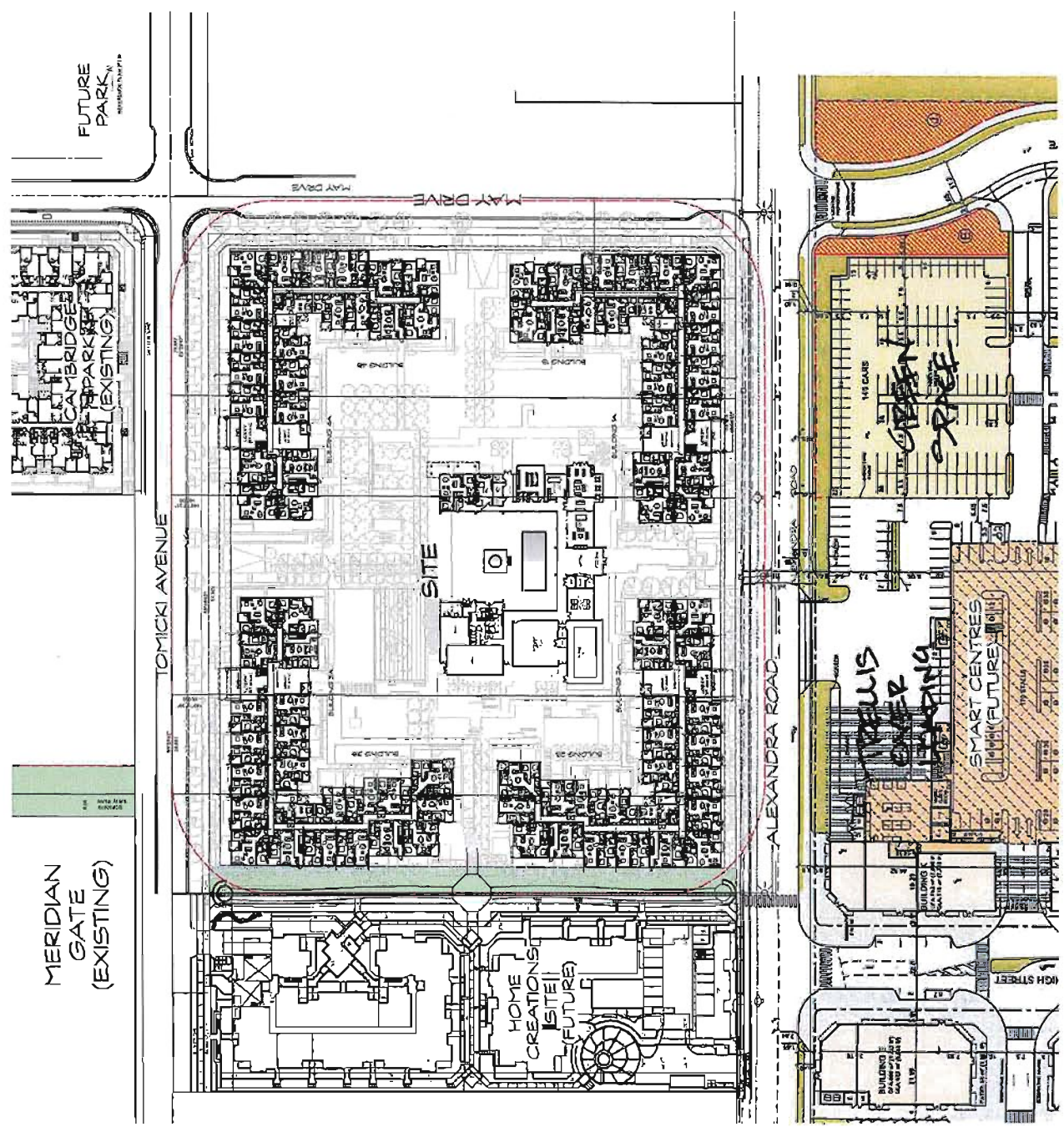
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Fax: (604) 271-1111  
rca@robertcanderson.com



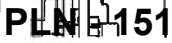
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5231 W. 52ND Avenue  
Richmond B.C.

**Site Context Plan**

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 1 01/15/2015 [Description]



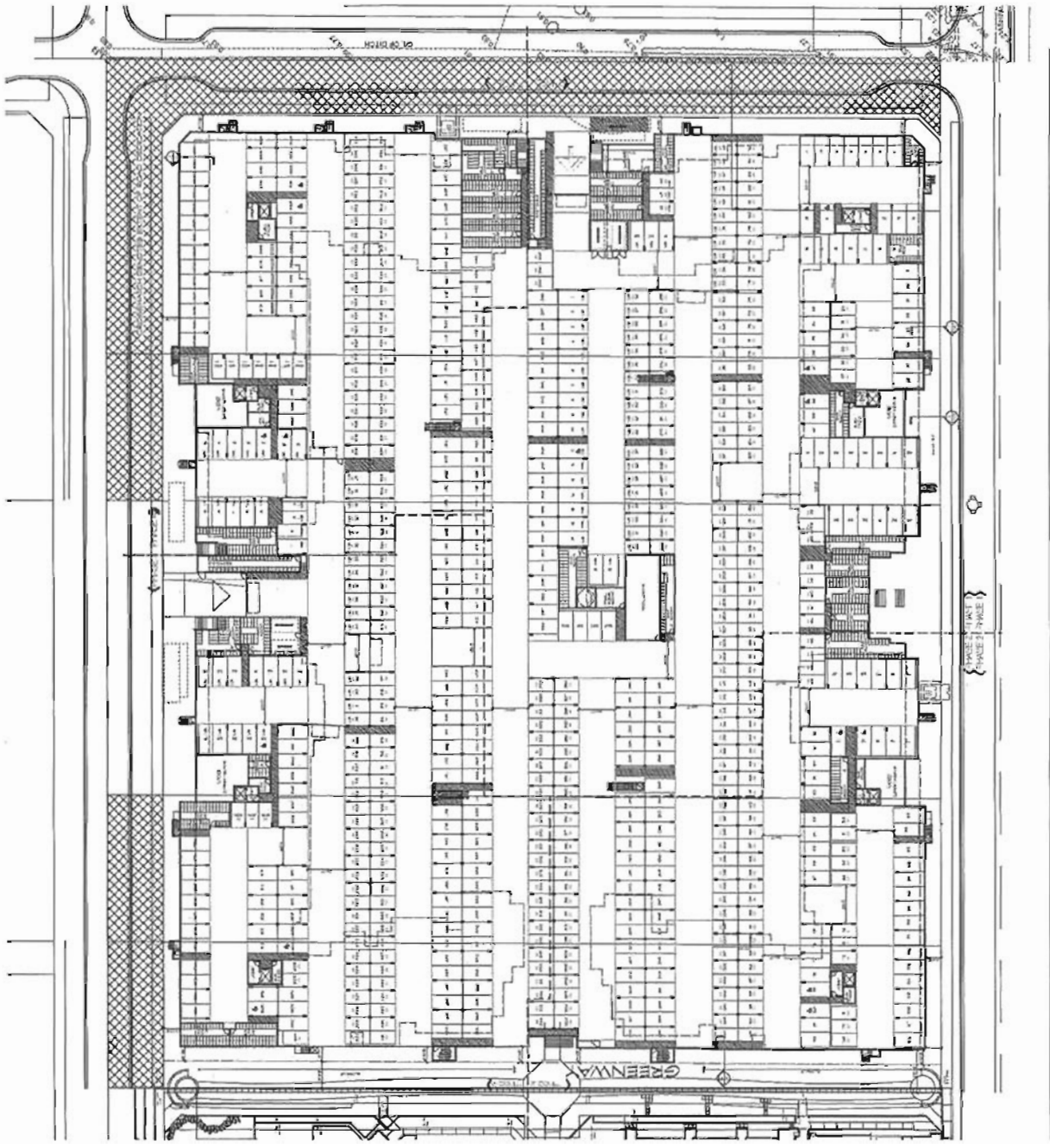
**RCA**  
 Robert C. Anderson Architects Inc.  
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 Victoria, BC V8W 2E1  
 Tel: (250) 383-1111  
 Fax: (250) 383-1112  
 www.rca-architects.com



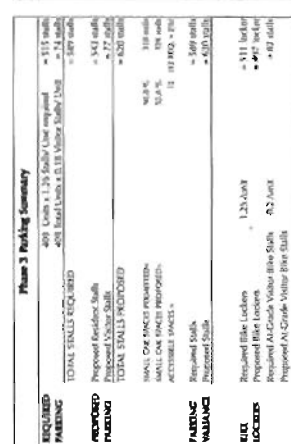
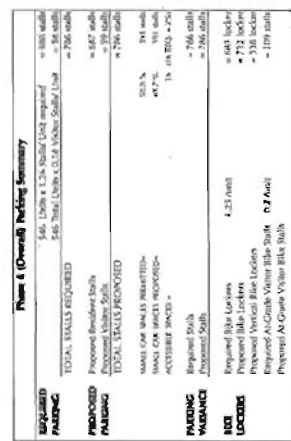
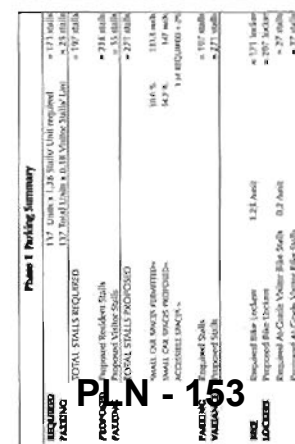
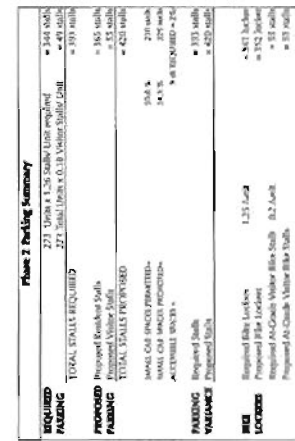
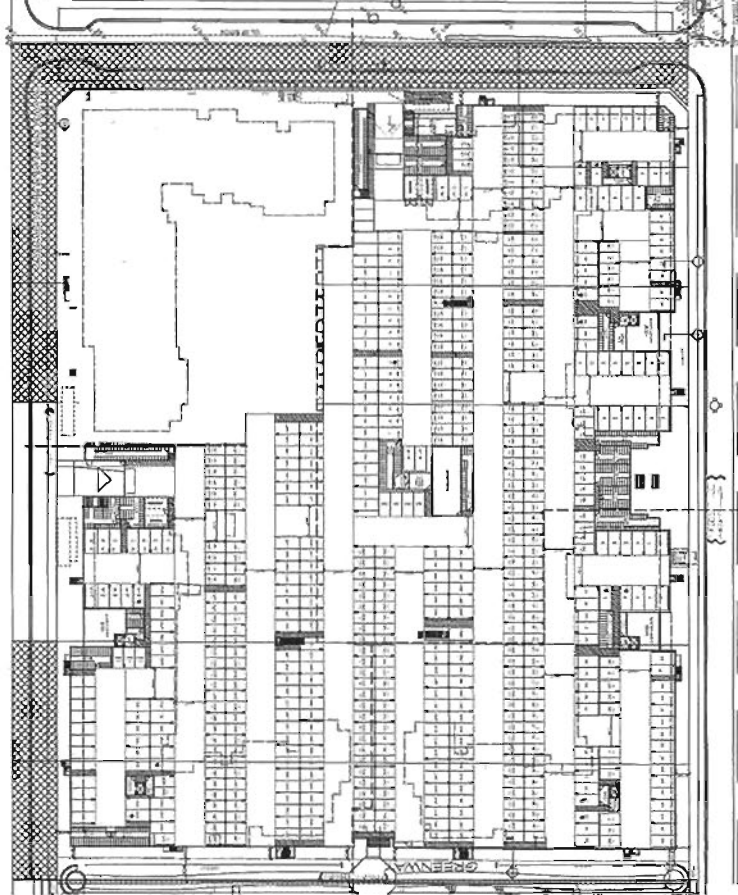
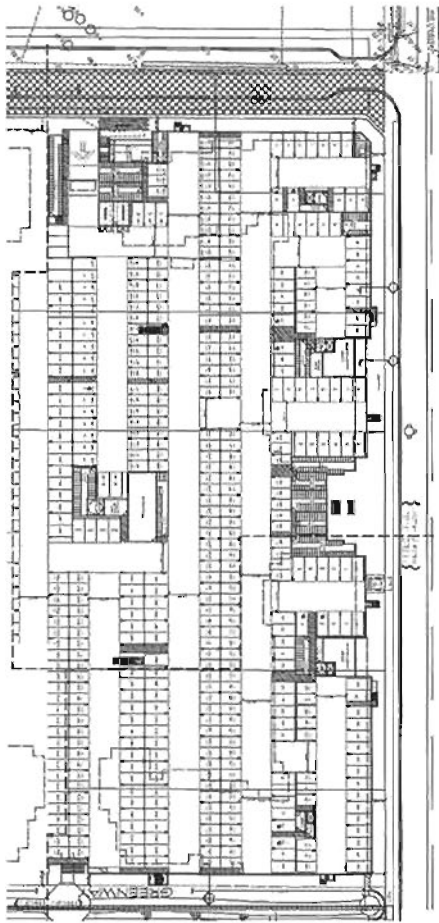
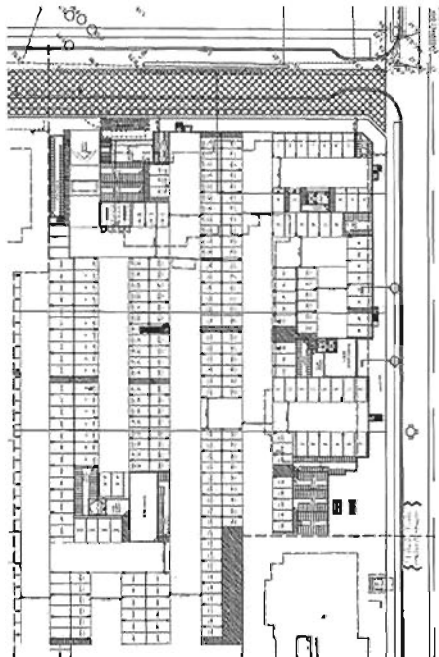
**ALEXANDRA COURT**  
 8371 to 8377 Alexandra Rd.  
 Burnaby, B.C.

**OVERALL PARKING**

Sheet: A11







# PLN - 153

ABC

Labov Records may be used for:

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- Vancouver, B.C.
- Canada V5T 8Y3
- Tel: (604) 687-4761
- Fax: (604) 687-4641



# POLYGON

ALEXANDRA

207 W. 57th Avenue R.  
Richmond, B.C.

의

## PHASED PARKING

A1.2

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DATE: 10/10/2018  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 APPROVED BY: [Name]

PROJECT: [Name]  
 LOCATION: [Name]  
 SCALE: 1:1000

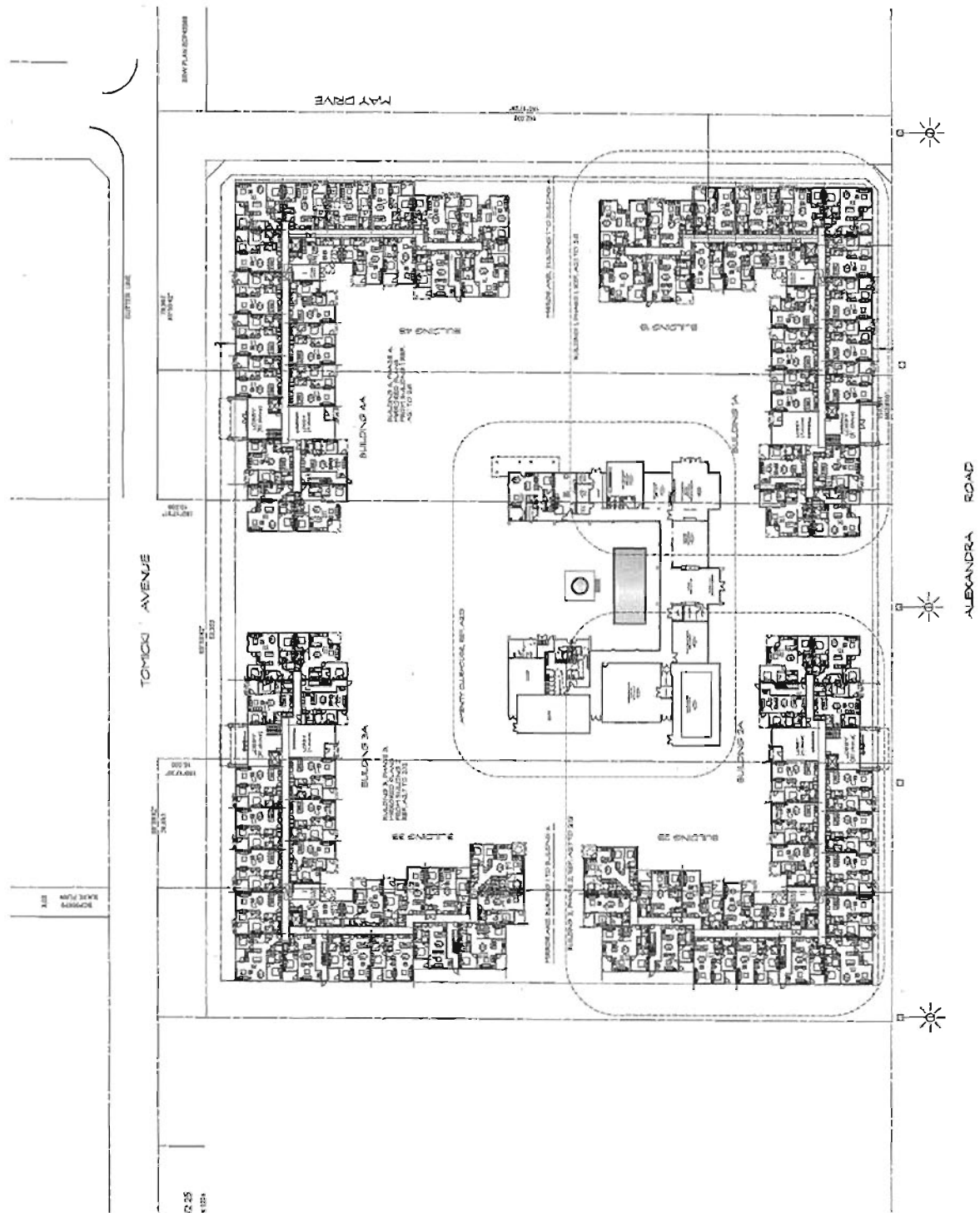


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**ALEXANDRA WEST**  
 2371 W 34TH Avenue S.E.  
 Richmond BC

Overall Plan

A2.0



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REVISIONS

NO.	DATE	DESCRIPTION
1	01/15/10	ISSUED FOR PERMIT

DATE: 01/15/10  
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**ALEXANDRA WEST**  
 8311 W. 247th Avenue Rd.  
 Richmond BC

PROJECT NO.: 100-1007  
 DRAWING NO.: 100-1007-01  
 SHEET NO.: 100-1007-01-01

SCALE: 1/8" = 1'-0"  
 TITLE: Ground Floor Plan  
 BLDG # 1 & 4

BUILDING 1, BUILDING 4, CONTINUED	
1st Floor	
Area	BLDG 1A
Area	BLDG 1B
Area	BLDG 1C
Area	BLDG 1D
Area	BLDG 1E
Area	BLDG 1F
Area	BLDG 1G
Area	BLDG 1H
Area	BLDG 1I
Area	BLDG 1J
Area	BLDG 1K
Area	BLDG 1L
Area	BLDG 1M
Area	BLDG 1N
Area	BLDG 1O
Area	BLDG 1P
Area	BLDG 1Q
Area	BLDG 1R
Area	BLDG 1S
Area	BLDG 1T
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Area	BLDG 1V
Area	BLDG 1W
Area	BLDG 1X
Area	BLDG 1Y
Area	BLDG 1Z
Area	BLDG 1AA
Area	BLDG 1AB
Area	BLDG 1AC
Area	BLDG 1AD
Area	BLDG 1AE
Area	BLDG 1AF
Area	BLDG 1AG
Area	BLDG 1AH
Area	BLDG 1AI
Area	BLDG 1AJ
Area	BLDG 1AK
Area	BLDG 1AL
Area	BLDG 1AM
Area	BLDG 1AN
Area	BLDG 1AO
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Area	BLDG 1AS
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Area	BLDG 1CD
Area	BLDG 1CE
Area	BLDG 1CF
Area	BLDG 1CG
Area	BLDG 1CH
Area	BLDG 1CI
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Area	BLDG 1CK
Area	BLDG 1CL
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Area	BLDG 1SQ
Area	BLDG 1SR
Area	BLDG 1SS
Area	BLDG 1ST
Area	BLDG 1SU
Area	BLDG 1SV
Area	BLDG 1SW
Area	BLDG 1SX
Area	BLDG 1SY
Area	BLDG 1SZ
Area	BLDG 1TA





BUILDING 1A

[illegible]

848

**ALEXANDRA  
WEST**  
6311 49th Avenue S.E.  
Burien WA 98148

DATE	10/1/80	BY	10/1/80
TIME	10:00	TIME	10:00
LOCATION	3rd / 4th Floor Plan	LOCATION	BLDG #1 E 4
DESCRIPTION		DESCRIPTION	
REMARKS		REMARKS	

A23



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NO.	DESCRIPTION
1.	5th Floor Plan

NO.	DESCRIPTION
1.	5th Floor Plan

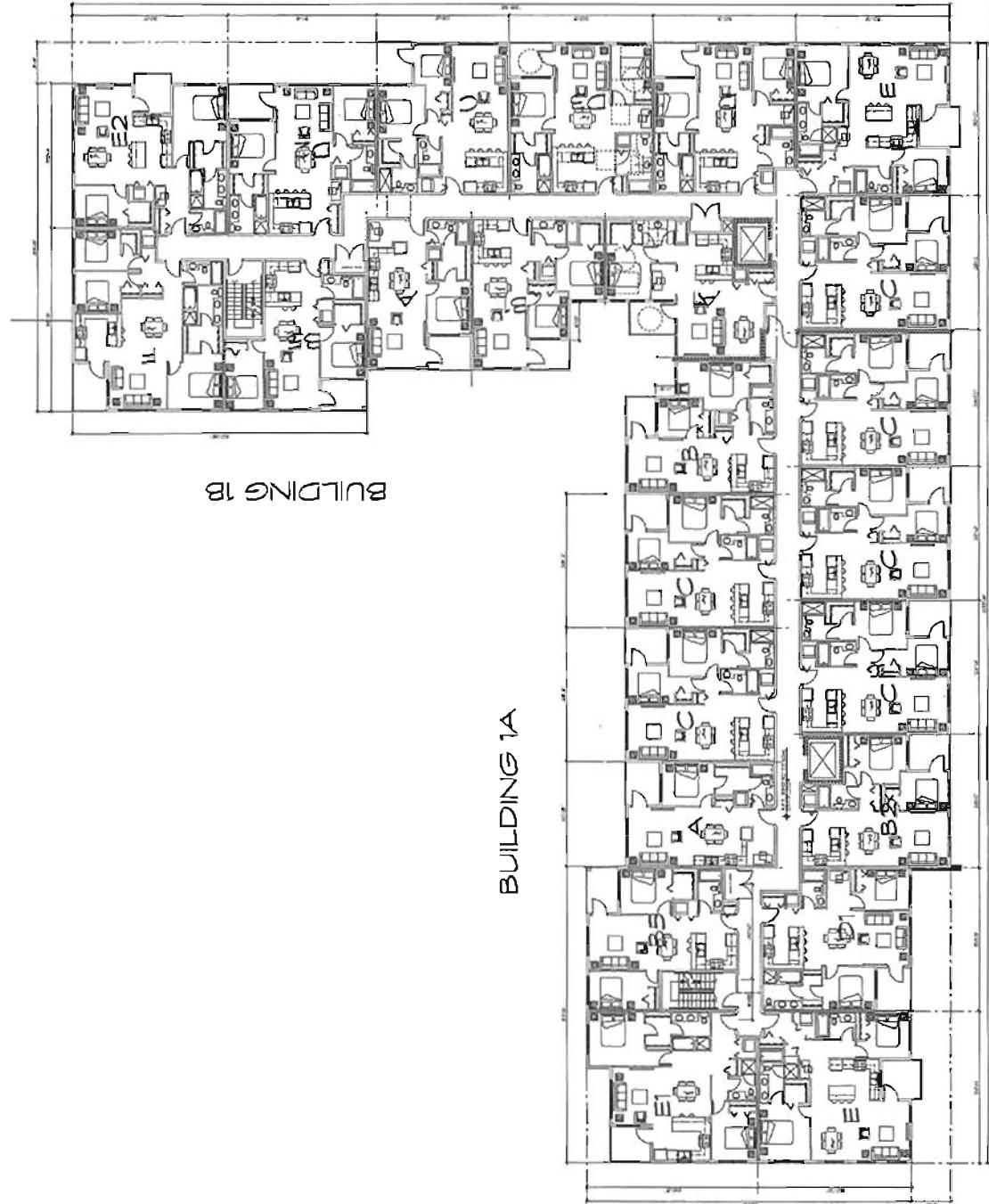


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**ALEXANDRA WEST**  
237 - 3471 Alexandra Rd.  
Richmond BC

NO.	DESCRIPTION
1.	5th Floor Plan

NO.	DESCRIPTION
1.	5th Floor Plan



BUILDING 1B

BUILDING 1A



NOTE: BUILDING 1 PLAN AS SHOWN, BUILDING 4 IS MIRRORED (ABOUT AND EAST/WEST AXIS)

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SCALE:	DATE:	BY:	APP:

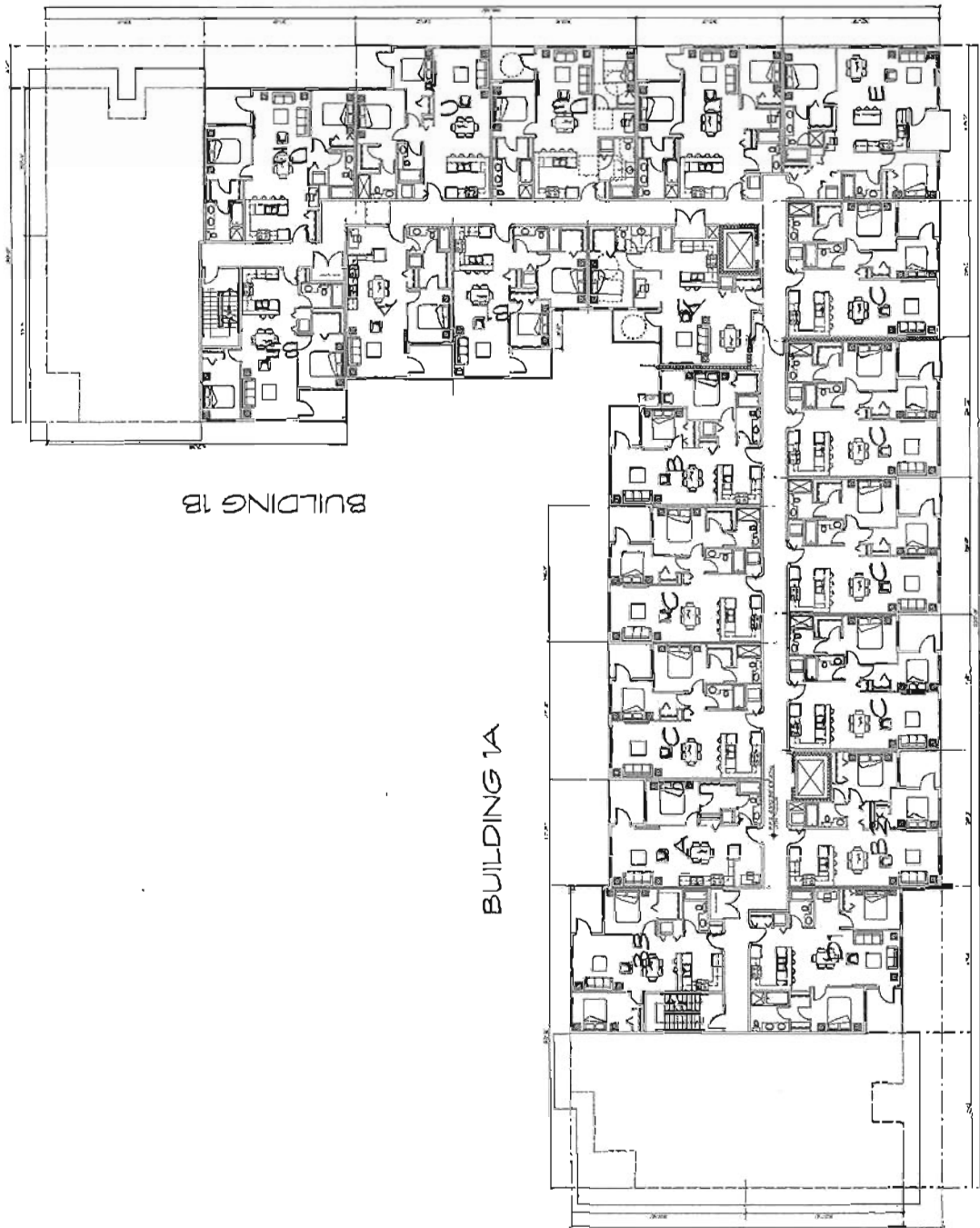


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**ALEXANDRA WEST**  
9381 W 54TH Avenue S.E.  
Richmond BC

PROJECT:	DATE:	BY:	APP:

REVISION:	DATE:	BY:	APP:



BUILDING 1B

BUILDING 1A

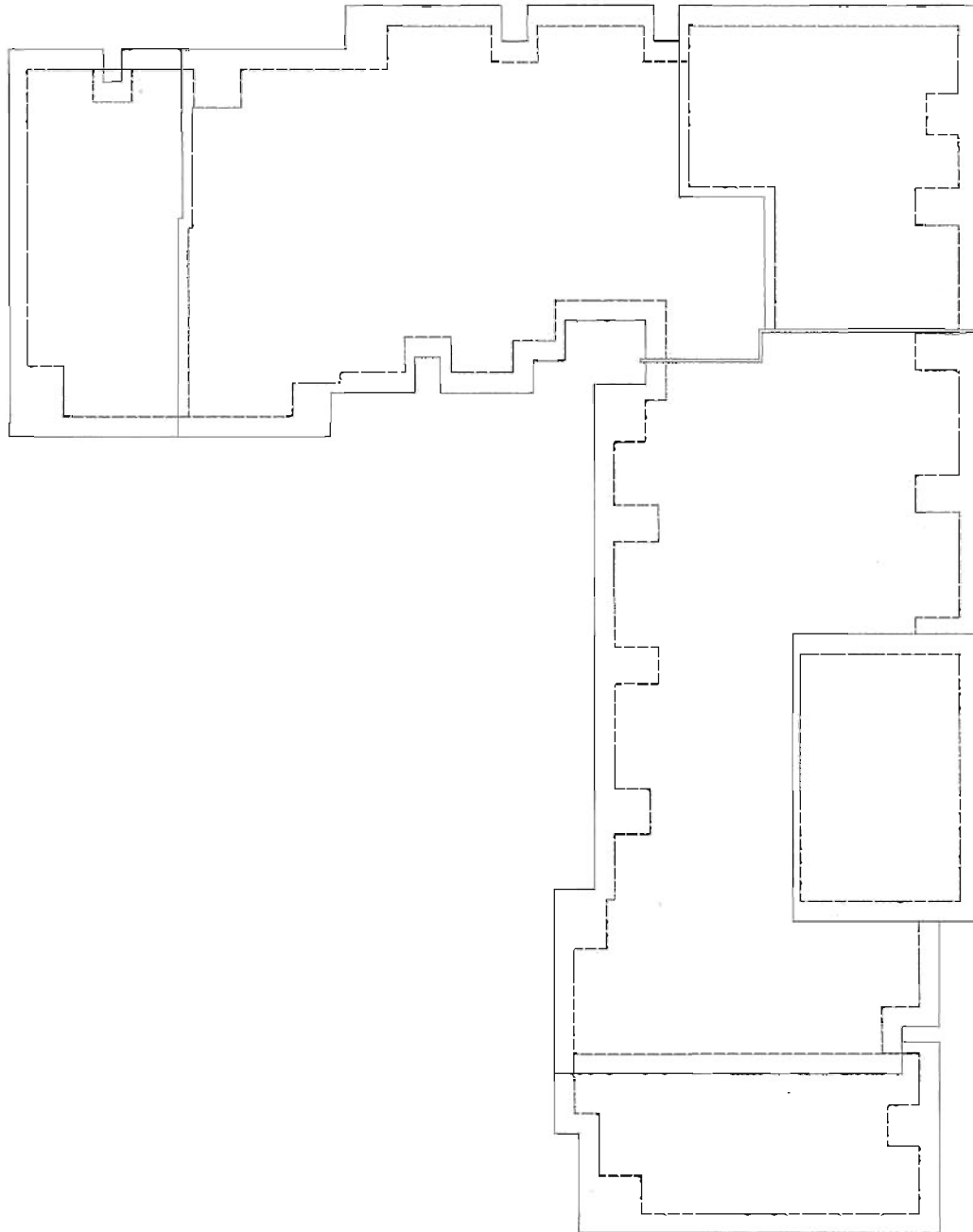
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REVISION	DATE	DESCRIPTION
1	10/10/10	ISSUED FOR PERMIT



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**ALEXANDRA WEST**  
 220 W 54TH Avenue S4  
 Richmond B.C.

REVISION	DATE	DESCRIPTION
1	10/10/10	ISSUED FOR PERMIT

**A2.16**

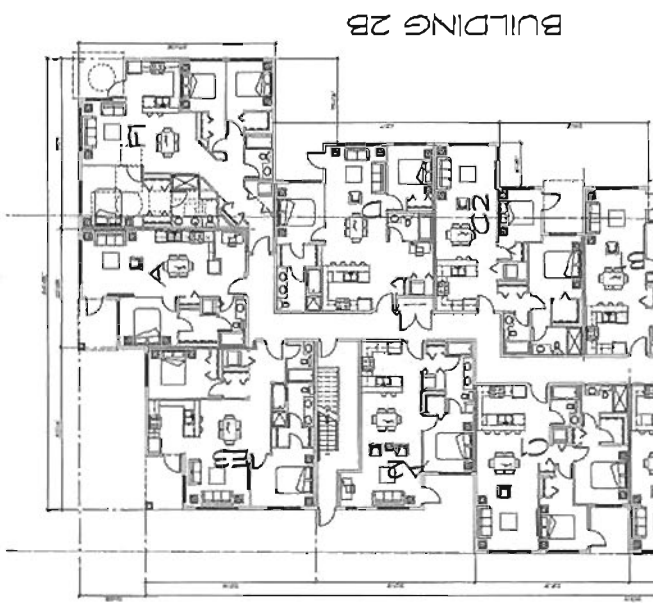
NOTE: BUILDING 1 PLAN AS SHOWN BUILDING 4 IS MIRRORED (ABOUT AND EAST/WEST AXIS)



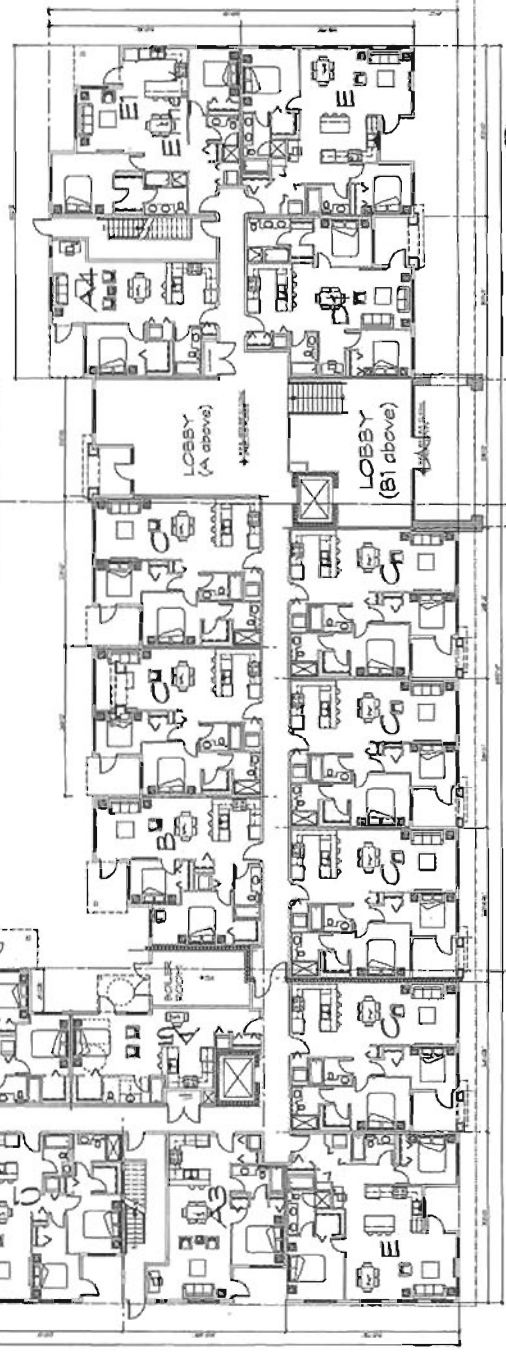
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BUILDING 2 BUILDING 3 CRITICAL			
Room No.	Room Name	Area (sq. ft.)	Area (sq. m.)
201	201	12,345.67	1,138.01
202	202	12,345.67	1,138.01
203	203	12,345.67	1,138.01
204	204	12,345.67	1,138.01
205	205	12,345.67	1,138.01
206	206	12,345.67	1,138.01
207	207	12,345.67	1,138.01
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BUILDING 2B

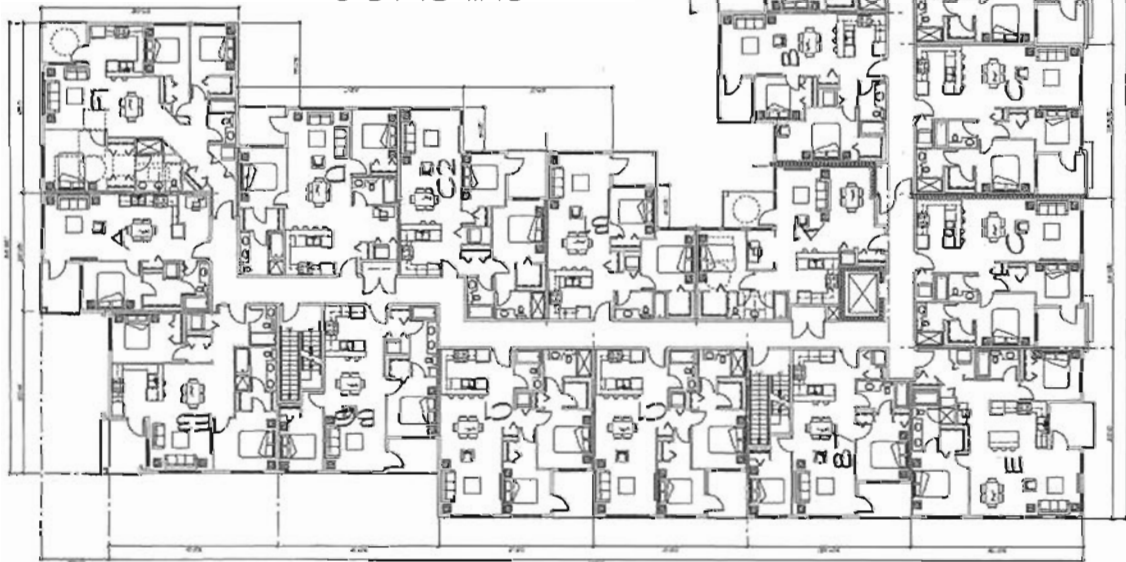


BUILDING 2A

NOTE: BUILDING 2 PLAN AS SHOWN. BUILDING 3 IS MISSED (ABOUT AND EAST/WEST ANS)



DESIGNED BY: R. C. C. ARCHITECTS  
 DRAWN BY: R. C. C. ARCHITECTS  
 CHECKED BY: R. C. C. ARCHITECTS  
 DATE: 10/10/2010  
 PROJECT: 1000 WEST 10TH AVENUE, RICHMOND, B.C.



BUILDING 2A

BUILDING 2B

**RCA**  
 Robert C. C. Architects Inc.  
 100 - 2230 Columbia Street  
 Suite 100  
 Richmond, B.C. V6V 1Y1  
 Tel: (604) 271-4441  
 Fax: (604) 271-4442  
 info@rccarchitects.com

**ALEXANDRA WEST**  
 1000 West 10th Avenue  
 Richmond, B.C.

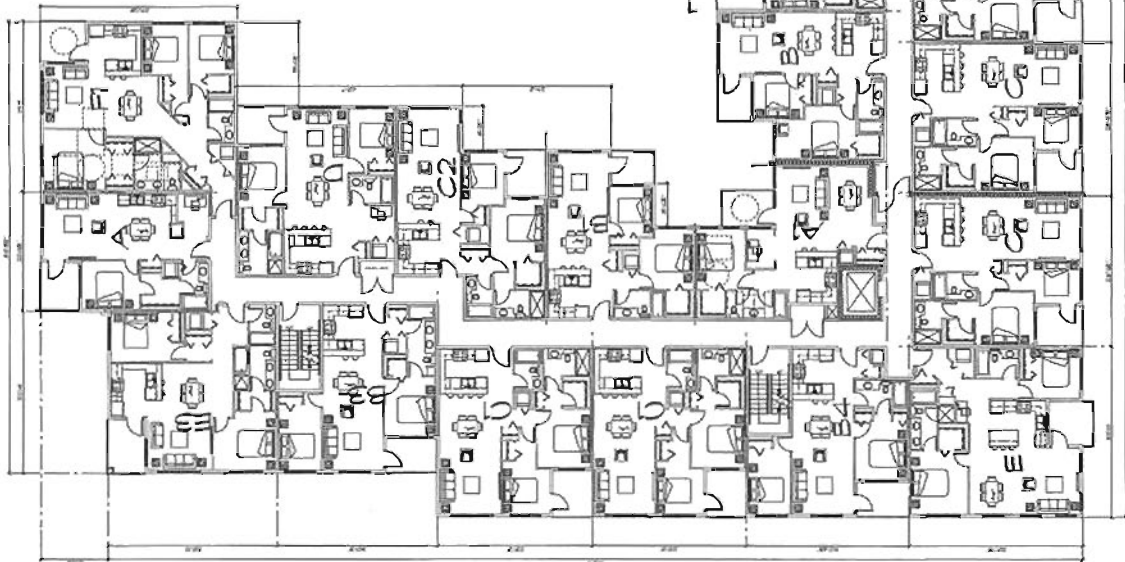
2nd Floor Plan  
 BLDG # 2 & 3

A2.8

NOTE: BUILDING 2 PLAN AS SHOWN, BUILDING 3 IS MIRROR IMAGE (ABOUT EAST/WEST AXIS)



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BUILDING 2A

BUILDING 2B

DATE	DESCRIPTION
10/20/11	REVISED FOR 2D
10/20/11	REVISED FOR 2D
10/20/11	REVISED FOR 2D



**RCA**  
Robert C. Anderson Architects Inc.  
200 - 2200 Columbia Street  
Vancouver, BC V6J 1A1  
Canada V6J 1A1  
Tel: (604) 687-4641  
Fax: (604) 687-4641  
info@rcaarchitects.com

**ALEXANDRA WEST**  
237 to 247 Alexandra Rd.  
Richmond BC

DATE	DESCRIPTION
10/20/11	REVISED FOR 2D
10/20/11	REVISED FOR 2D
10/20/11	REVISED FOR 2D

3rd / 4th Floor Plan  
BLDG # 2 & 3

NOTE: BUILDING 2 PLAN AS SHOWN. BUILDING 3 IS MIRRORED (ABOUT AND EAST/WEST AXIS)





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DATE: 14.03.14  
 DRAWN BY: J. K. J. J.  
 CHECKED BY: J. K. J. J.  
 APPROVED BY: J. K. J. J.

DATE: 14.03.14  
 DRAWN BY: J. K. J. J.  
 CHECKED BY: J. K. J. J.  
 APPROVED BY: J. K. J. J.

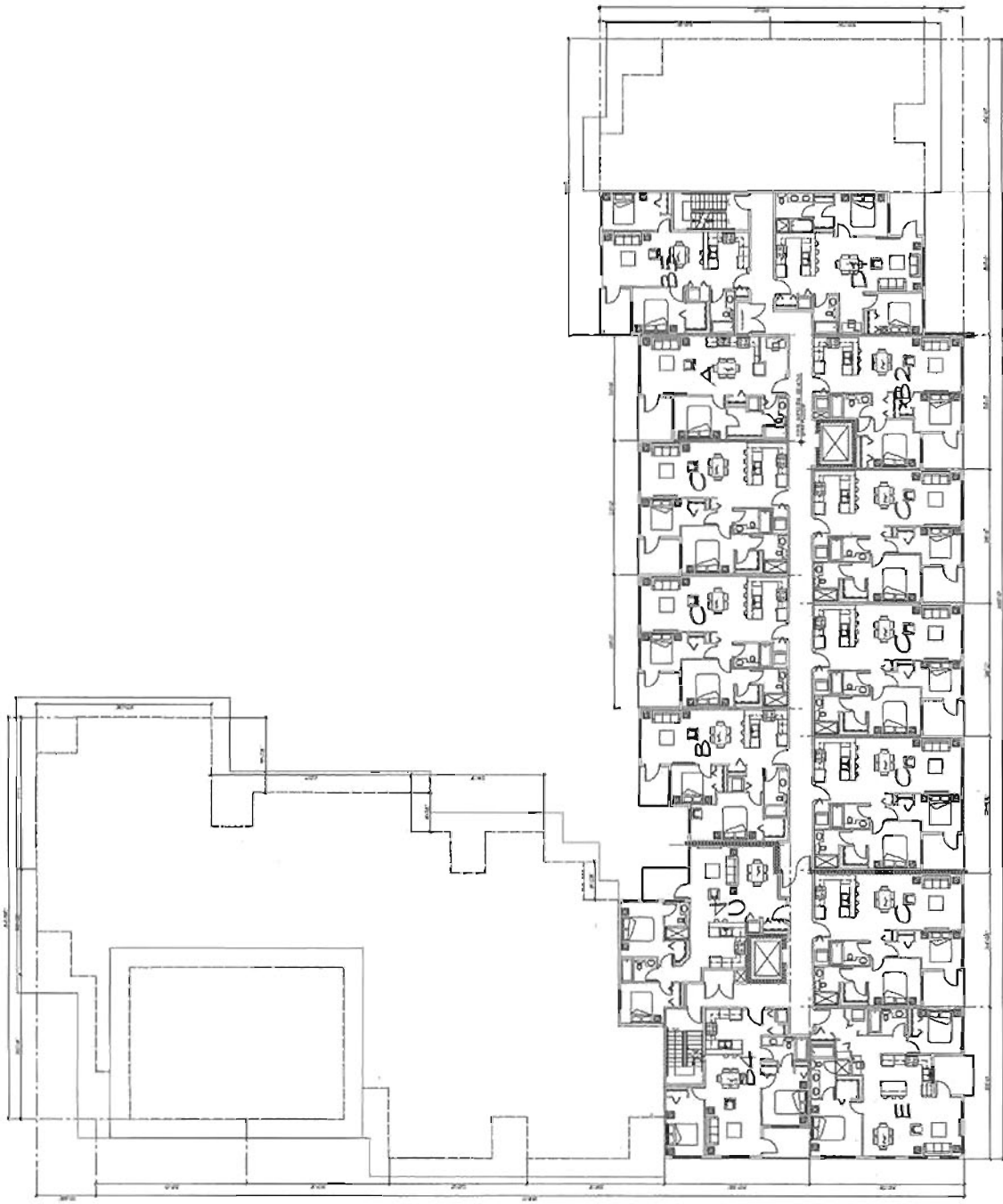


**RCA**  
 Robert Cloward Inc. Architects Inc.  
 201 - 2335 Columbia Street  
 Vancouver, BC V6J 1A1  
 Canada V6J 1A1  
 Tel: (604) 687-4441  
 Fax: (604) 687-4441  
 email@clowardarchitects.com

**ALEXANDRA WEST**  
 9311 W 9477 Alexandra Rd.  
 Richmond BC

DATE: 14.03.14  
 DRAWN BY: J. K. J. J.  
 CHECKED BY: J. K. J. J.  
 APPROVED BY: J. K. J. J.

DATE: 14.03.14  
 DRAWN BY: J. K. J. J.  
 CHECKED BY: J. K. J. J.  
 APPROVED BY: J. K. J. J.



NOTE: BUILDING 2 PLAN AS SHOWN. BUILDING 3 IS MIRRORED (ABOUT AND EAST/WEST AXIS)

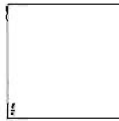


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REVISION	
No.	Description
1	Issue

PROJECT	
NAME	ALEXANDRA WEST
ADDRESS	2271 MOUNT ALEXANDER RD, Burnaby BC
DATE	2017-07-17
BY	ARCHITECT
FOR	CLIENT



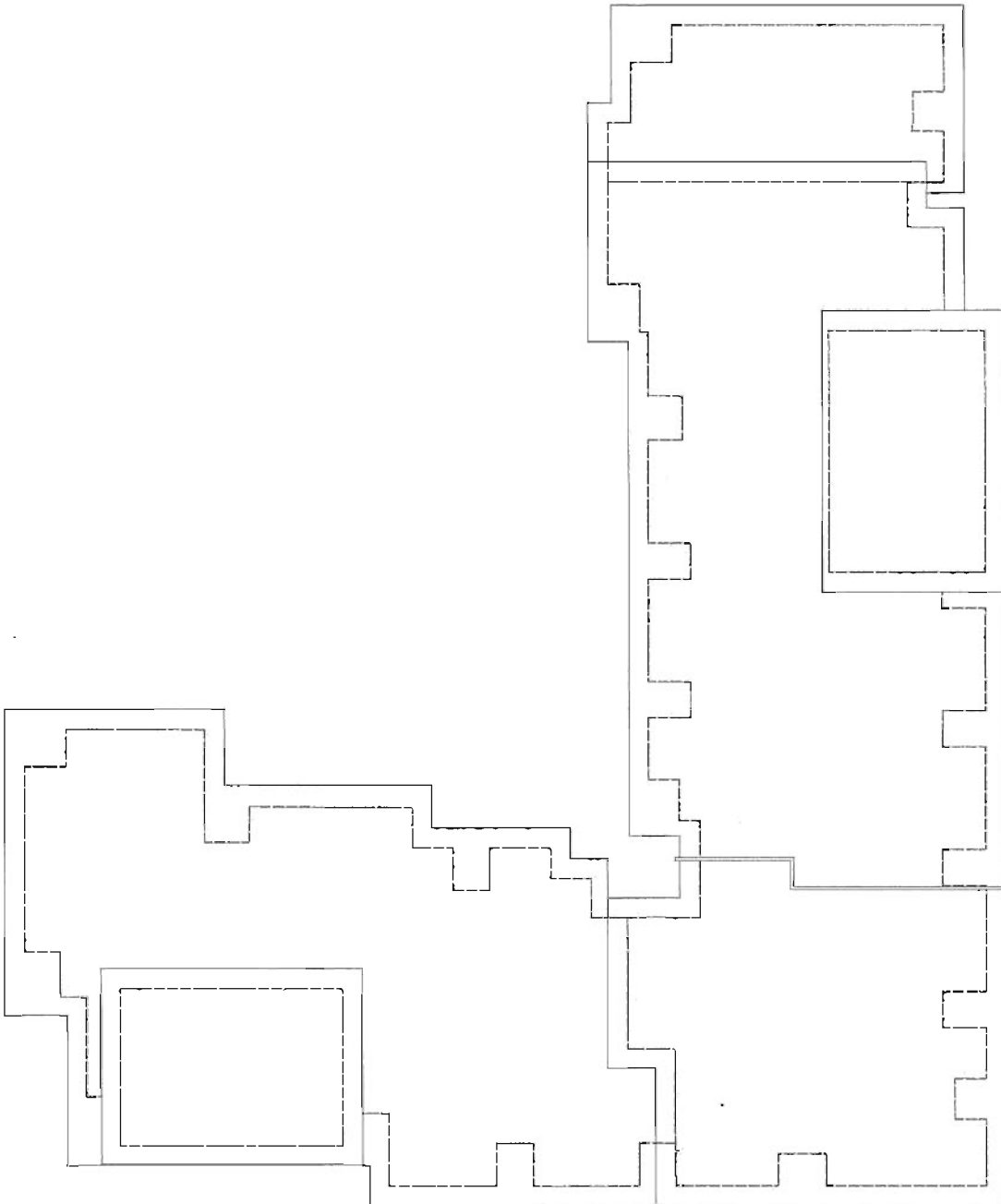
**RCA**

RCA Architectural Inc.  
200 - 2235 Columbia Street  
Vancouver, B.C.  
Canada V6T 3T3  
Tel: (604) 681-4441  
Fax: (604) 681-4441  
admin@rcaarchitect.com

**ALEXANDRA WEST**  
2271 MOUNT ALEXANDER RD  
Burnaby BC

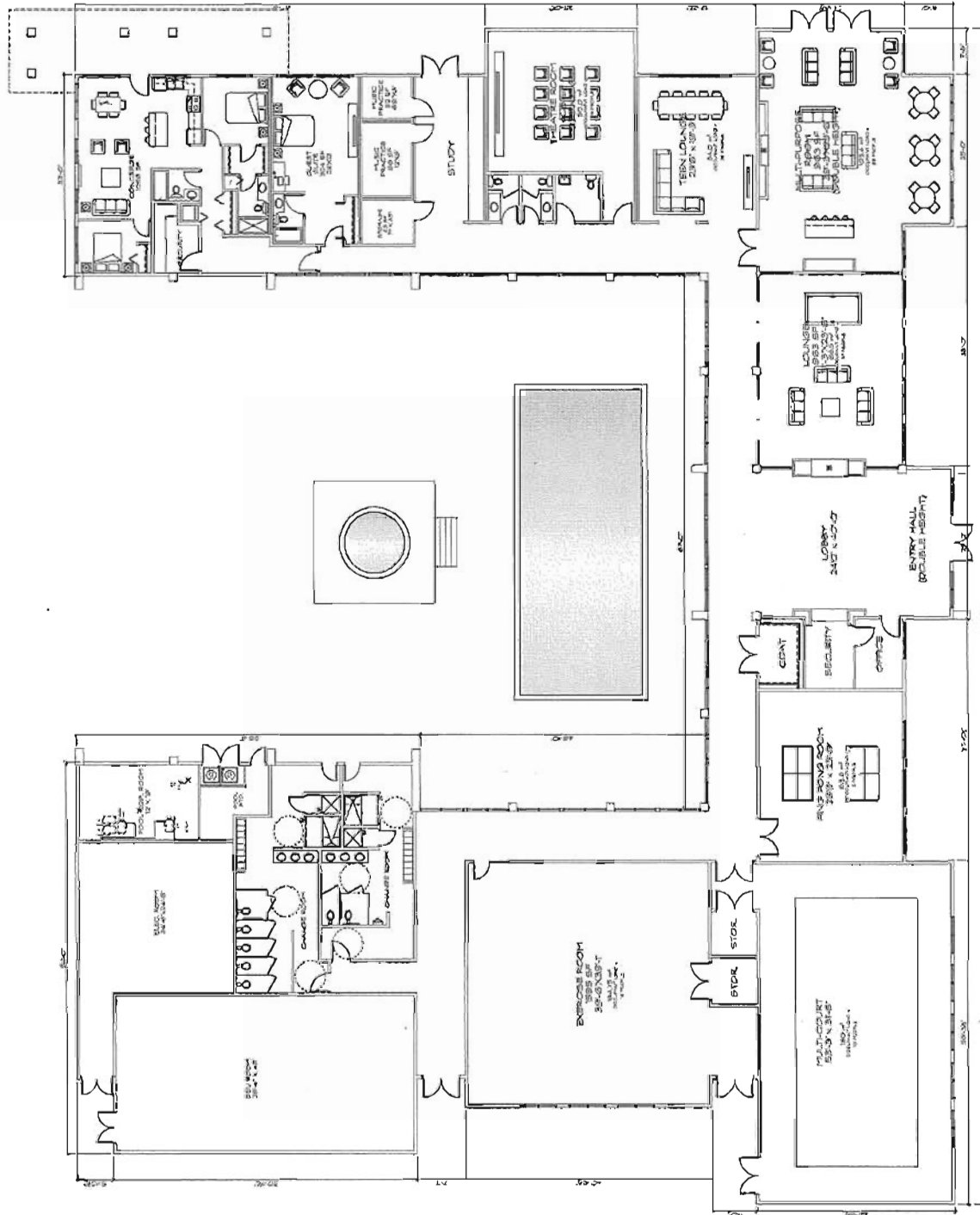
PROJECT	
NAME	ALEXANDRA WEST
ADDRESS	2271 MOUNT ALEXANDER RD, Burnaby BC
DATE	2017-07-17
BY	ARCHITECT
FOR	CLIENT

**A2.12**



NOTE: BUILDING 2 PLAN AS SHOWN, BUILDING 3 IS MIRRORRED (ABOUT AND EAST/WEST AXIS)



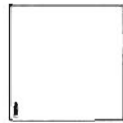


**AMENITY CLIPPING**  
 13'0" x 21'7" H  
 13'0" x 21'7" H  
 13'0" x 21'7" H  
 13'0" x 21'7" H

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**REVISION**

**REVISION**



**RCA**

Robert Conrad Architecture Inc.  
 200 - 2222 Columbia Street  
 Vancouver, B.C.  
 Canada V6T 2T7  
 Tel: (604) 687-4441  
 Fax: (604) 687-4441  
 www.rca-architects.com



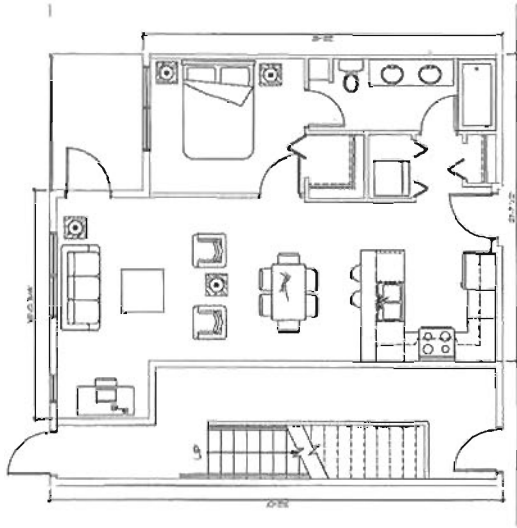
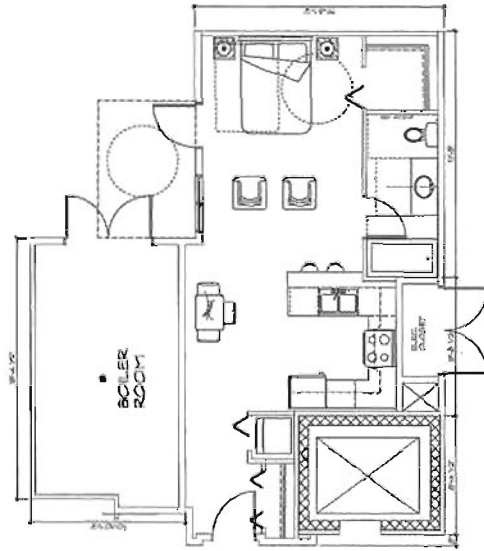
**POLYCON**

**ALEXANDRA WEST**

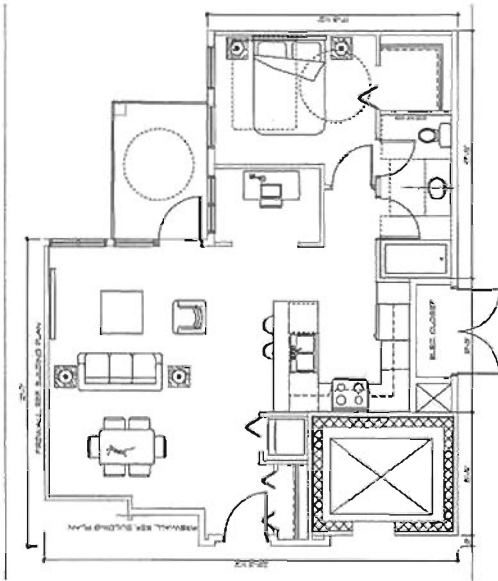
9311 to 9321 Alexandra Rd.  
 Richmond BC

**AMENITY PLAN**

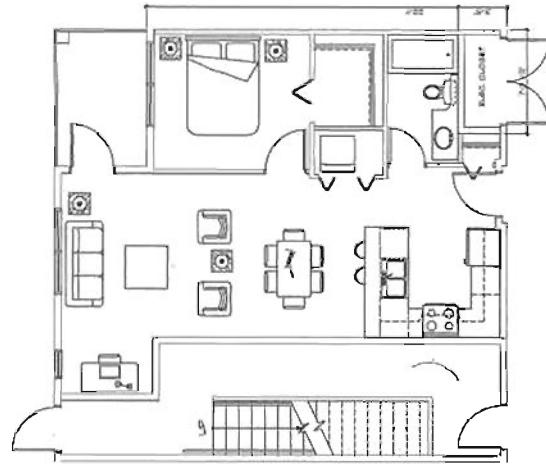
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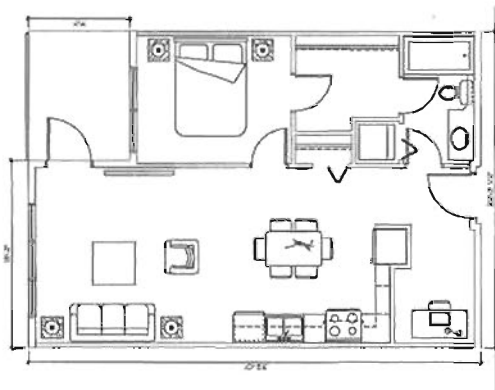
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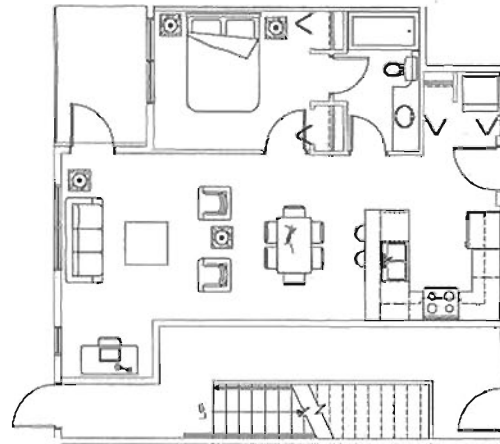
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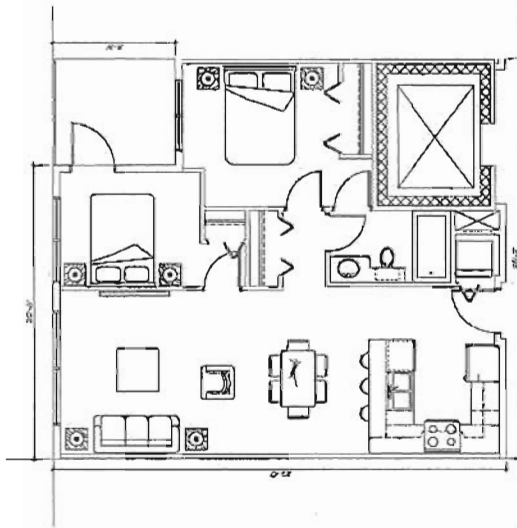
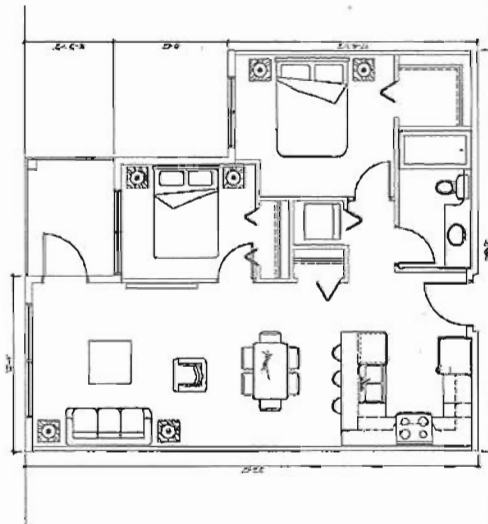
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 802.3.10 + 1.27 (1000000, 2000, 4000, 8000)



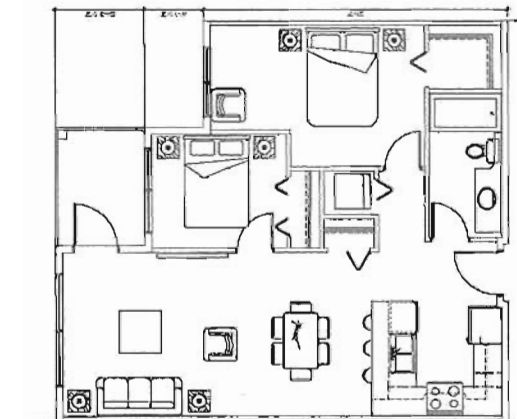
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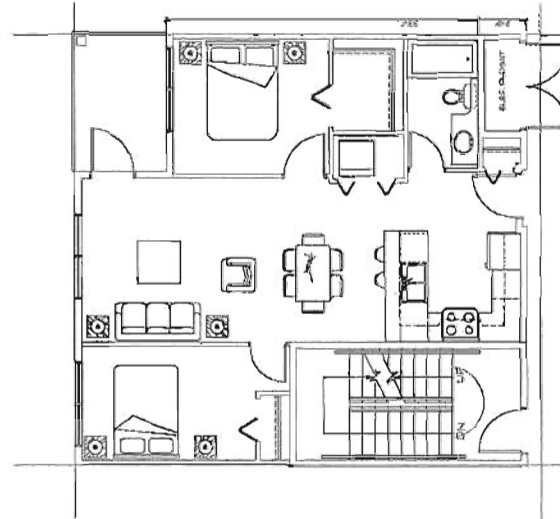
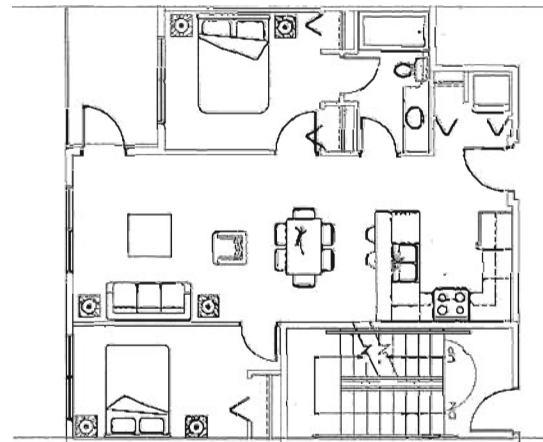
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UNIT TYPE: B2  
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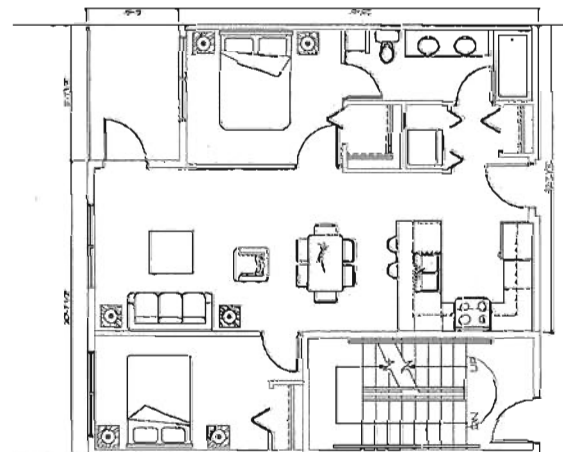
UNIT TYPE: B1



### UNIT TYPE: B.


$$= \frac{\text{UNIT TYPE} \cdot 25}{\text{DAILY UNIT} \cdot (\text{BIDDINGS} \cdot 100 \cdot 10)}$$


UNIT 104



UNIT TYPE: B3

NOT TO SCALE  
 ALL DIMENSIONS ARE IN METERS  
 ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED  
 ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED  
 ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED

REVISION	DATE	DESCRIPTION
1	10/10/2019	ISSUED FOR ACP

PROJECT  
 200 - 2381 Columbia Street  
 Richmond BC V6V 1K7  
 604-271-1111  
 604-271-1111



**RCA**  
 Robert Clouston Architects Inc.  
 200 - 2381 Columbia Street  
 Richmond BC V6V 1K7  
 Tel: (604) 271-1111  
 Fax: (604) 271-1111  
 info@robertcloustonarchitects.com

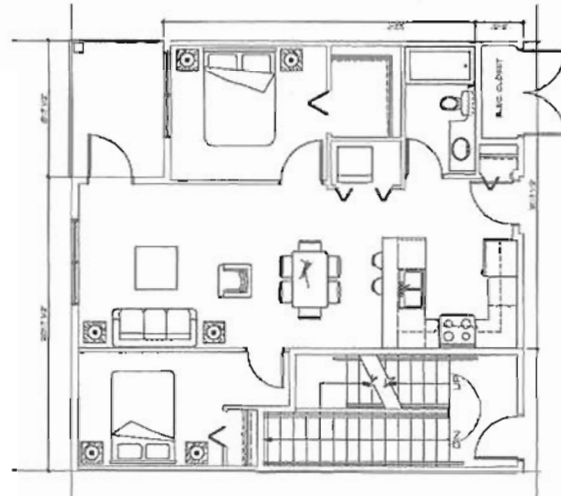


**POLYGON**

**ALEXANDRA COURT**  
 2381 to 2401 Alexandra Rd.  
 Richmond BC

UNIT	DATE	DESCRIPTION
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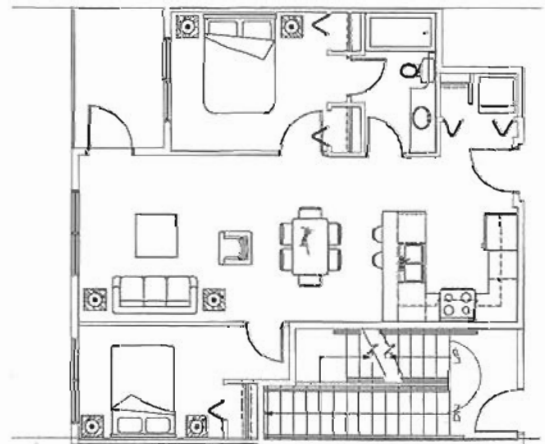
**UNIT PLANS**  
 A3.2



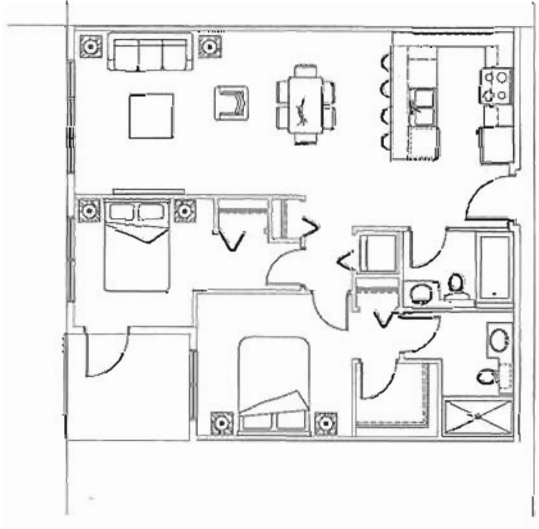
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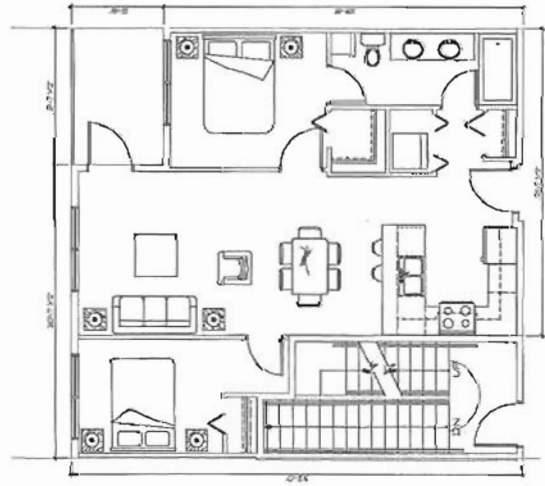
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 30'0" x 12'0" (2 BEDROOM - 982 S.F.)



3 UNIT TYPE: B7  
 30'0" x 12'0" (2 BEDROOM - 982 S.F.)



4 UNIT TYPE: C1  
 30'0" x 12'0" (2 BEDROOM - 982 S.F.)



5 UNIT TYPE: B6  
 30'0" x 12'0" (2 BEDROOM - 982 S.F.)



6 UNIT TYPE: C3  
 30'0" x 12'0" (2 BEDROOM - 982 S.F.)

UNITS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING ACT AND THE BUILDING REGULATIONS. THE PLANS ARE TO BE USED FOR THE CONSTRUCTION OF THE BUILDING. THE PLANS ARE NOT TO BE USED FOR ANY OTHER PURPOSES. THE PLANS ARE NOT TO BE USED FOR ANY OTHER PURPOSES.

REVISIONS

DATE: 10/10/2018  
BY: [Signature]  
FOR: [Signature]



**RCA**  
Robert Clouston Architects Inc.  
300 - 2230 Columbia Street  
Vancouver, BC V6H 2Y1  
Tel: (604) 687-4441  
info@rca-architects.com



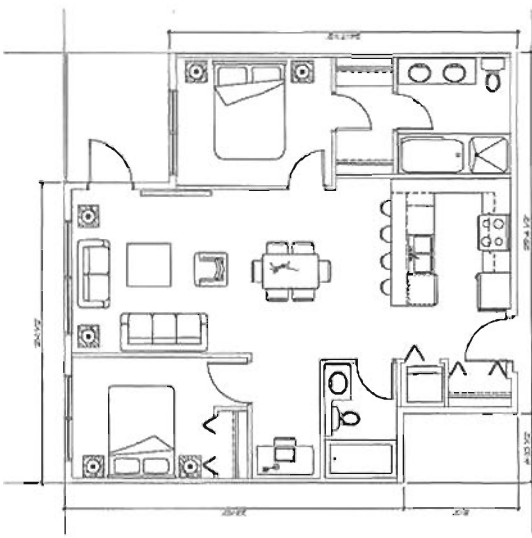
**POLYGON**

**ALEXANDRA COURT**  
3071 W. 84TH Avenue, S.E.  
Richmond, BC

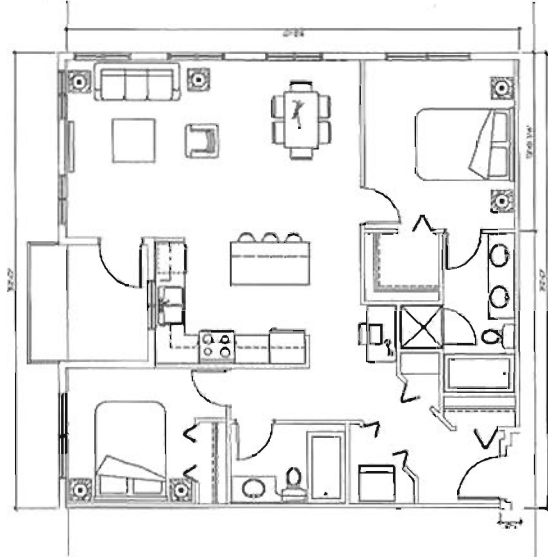
UNIT	TYPE	NO.	DATE
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**UNIT PLANS**

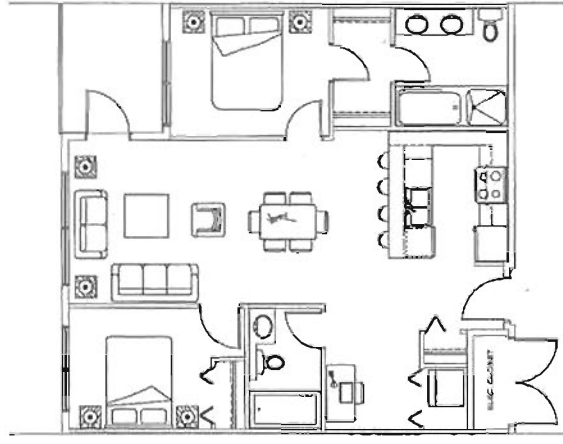
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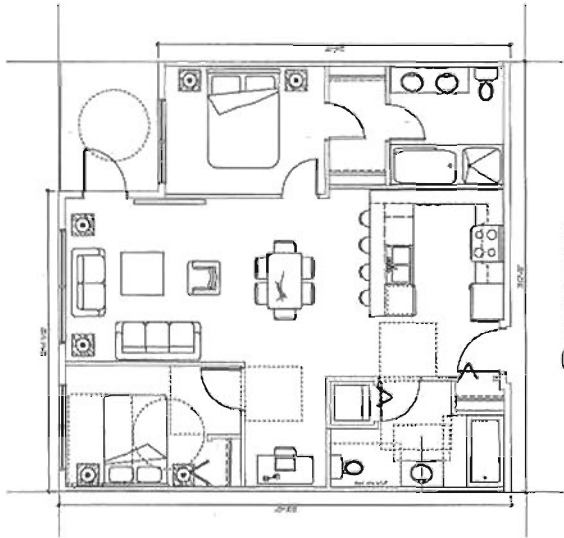
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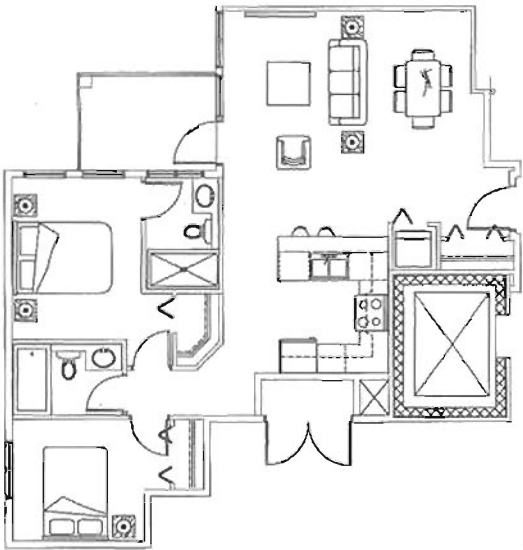
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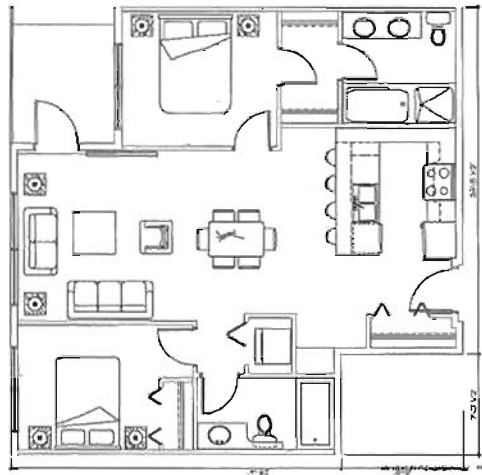
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**UNIT TYPE 'D3'**  
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**UNIT TYPE 'C3'**  
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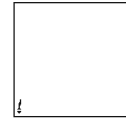
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CONTRACTOR SHALL VERIFY THE DIMENSIONS OF ALL UNITS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY UPON RECEIPT OF THE UNITS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS OF THE UNITS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS OF THE UNITS.

REVISION	DATE	DESCRIPTION
1	10/1/2018	ISSUED FOR PERMIT

DATE	DESCRIPTION
10/1/2018	ISSUED FOR PERMIT
10/1/2018	ISSUED FOR PERMIT



**RCA**

Robert Chiriac Architecture Inc.  
200 - 2080 Columbia Street  
Montreal, Quebec H3H 2R4  
Canada V5H 2V9  
Tel: (514) 866-4444  
Fax: (514) 866-4444  
admin@robertchiriacarchitecture.com



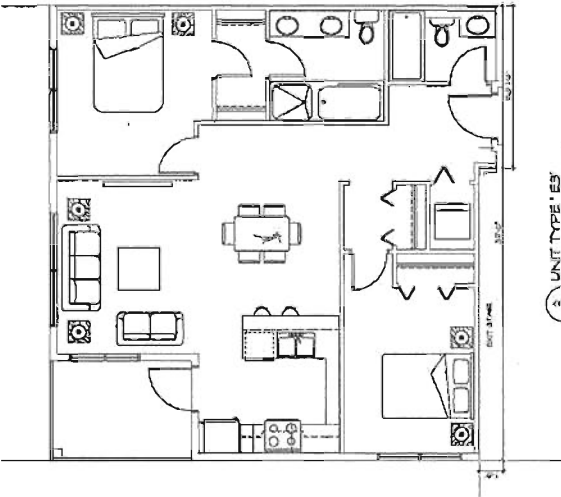
**POLYGON**

**ALEXANDRA COURT**

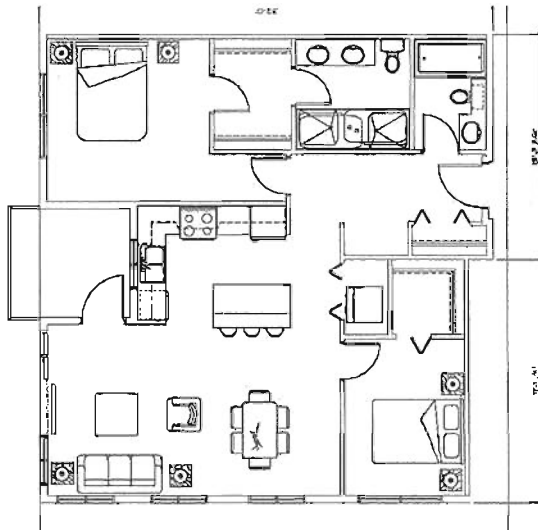
80th to 82nd Ave, Aurora, ON  
L4R 1A9

UNIT	DATE	DESCRIPTION
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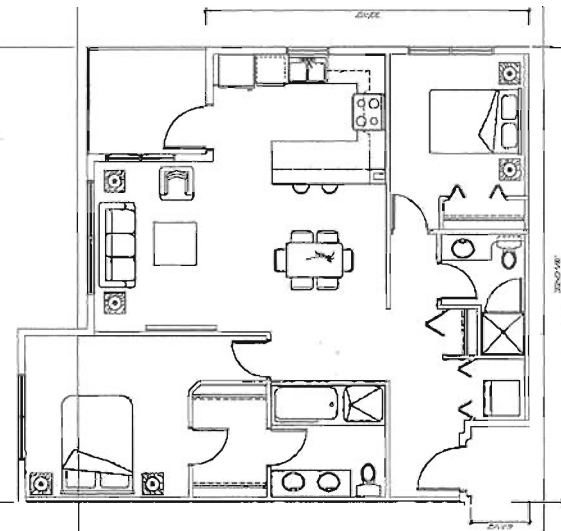
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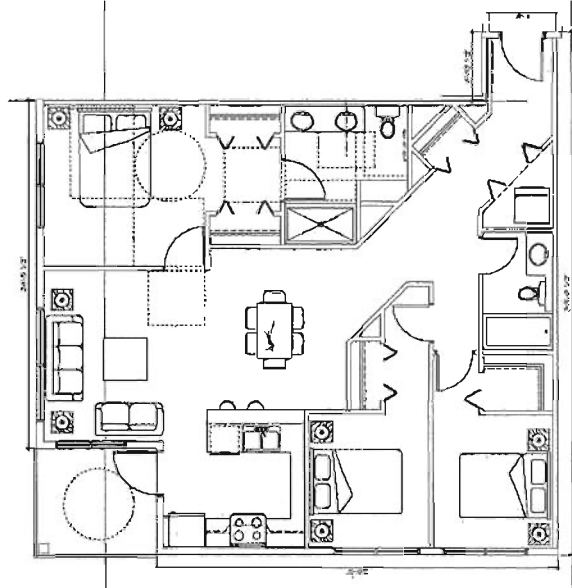
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24'-0" x 31'-0" (2 BEDROOM - 1000 sq. ft.)



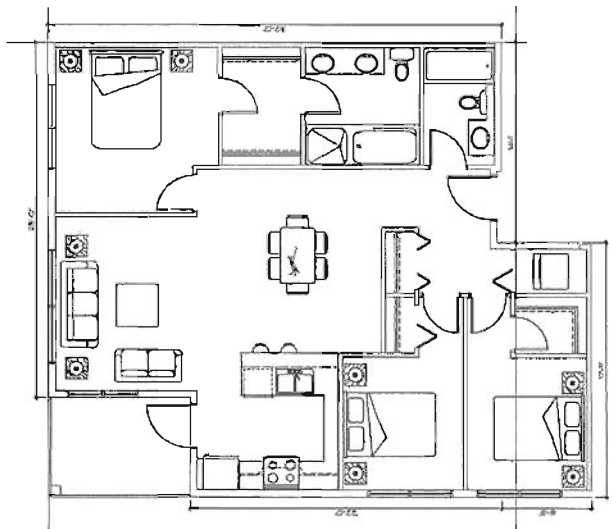
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2 UNIT TYPE B1  
24'-0" x 31'-0" (2 BEDROOM - 1000 sq. ft.)



2 UNIT TYPE B1  
24'-0" x 31'-0" (2 BEDROOM - 1000 sq. ft.)



2 UNIT TYPE B1  
24'-0" x 31'-0" (2 BEDROOM - 1000 sq. ft.)

CONTRACT AGREEMENT: THE DESIGNER HAS BEEN ENGAGED BY THE CLIENT FOR THE DESIGN OF THE PROJECT. THE DESIGNER'S OBLIGATIONS ARE LIMITED TO THE DESIGN OF THE PROJECT AND DO NOT INCLUDE THE PREPARATION OF PERMITS, THE OBTAINING OF PERMITS, OR THE CONSTRUCTION OF THE PROJECT. THE CLIENT IS RESPONSIBLE FOR THE OBTAINING OF PERMITS, THE OBTAINING OF PERMITS, OR THE CONSTRUCTION OF THE PROJECT. THE CLIENT IS RESPONSIBLE FOR THE OBTAINING OF PERMITS, THE OBTAINING OF PERMITS, OR THE CONSTRUCTION OF THE PROJECT.

NO.	REVISION	DATE
1	ISSUED FOR PERMITS	10/10/2023

PROJECT	ALEXANDRA WEST
CLIENT	POLYGON
DESIGNER	RCA
DATE	10/10/2023



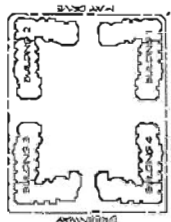
**RCA**  
Robert Clark Architects Inc.  
400 - 1000 Columbia Street  
Montreal, QC H3A 2B4  
Canada TEL 514 393 7777  
FAX 514 393 7777  
www.rca-architects.com



**ALEXANDRA WEST**  
3230 TO BAYVIEW RD  
Kirkland, QC

**PERSPECTIVE**

**A4.0**



1 BUILDING ONE FROM ALEXANDRA ROAD AND MAY DRIVE  
SCALE 1/8" = 1'-0"



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DATE	BY	REVISION
2/1/20	1000	REVISION 1000

DATE	BY	REVISION
2/1/20	1000	REVISION 1000



**RCA**

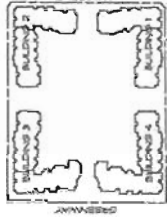
Robert Stead Architects Inc.  
200 - 200 Columbia Street  
North Vancouver, B.C.  
Canada V7Y 1T3  
Phone: (604) 967-2471  
Fax: (604) 967-2471  
www.steadarchitects.com



**POLYGON**

**ALEXANDRA WEST**

8337 TD 2471 Cole Rd  
Kamloops BC



**PERSPECTIVE**

A4:1



BUILDING ONE FROM ALEXANDRA ROAD

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NO.	DATE	REVISION
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2	01/15/2020	ISSUED FOR PERMIT

DATE	01/15/2020
BY	ARCHITECT
CHECKED BY	ARCHITECT



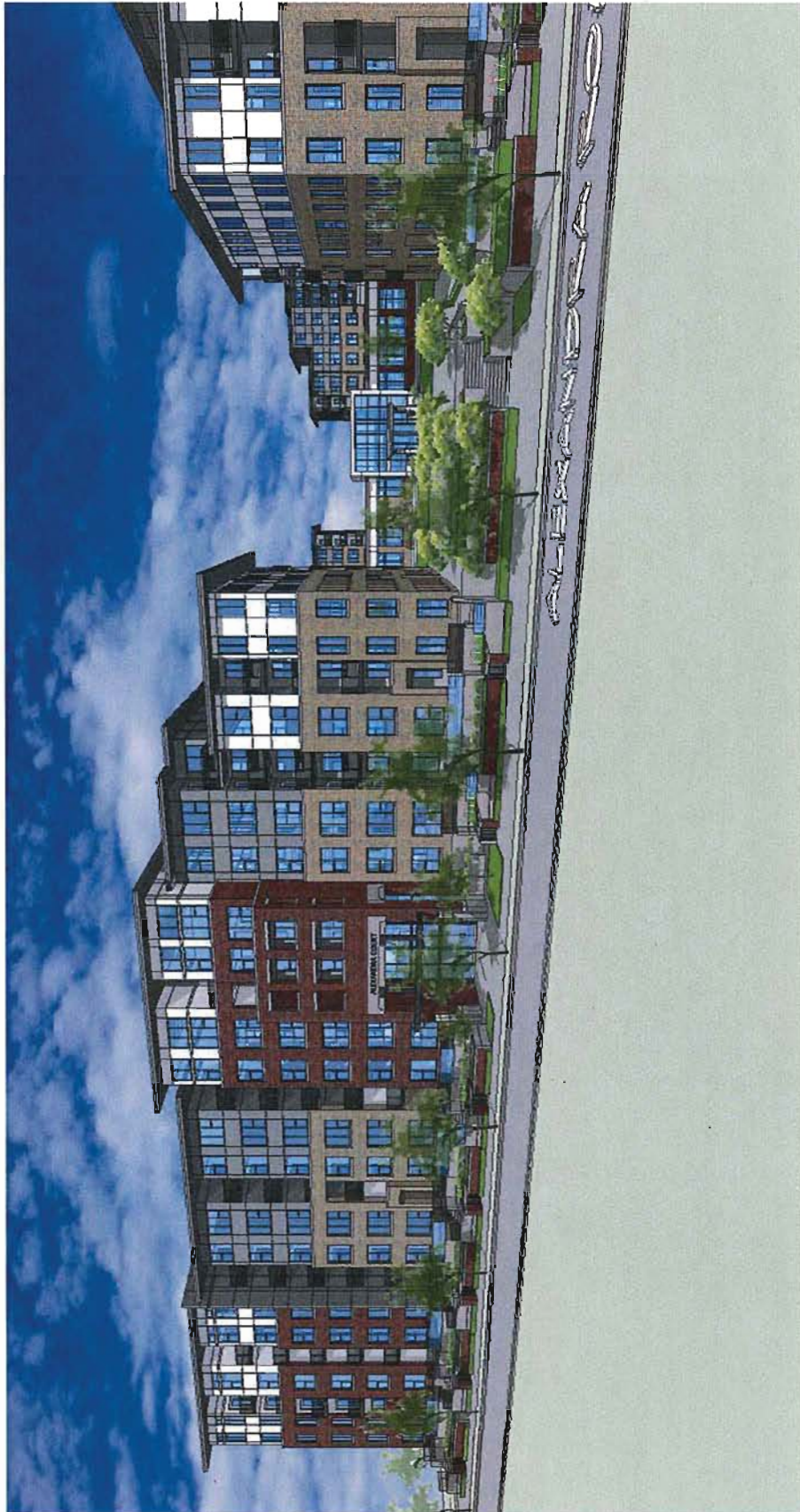
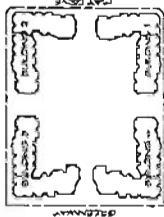
**RCA**  
 Robert Conrad Architects Inc.  
 100 - 1000 Columbia Street  
 Chicago, IL 60601  
 Tel: (312) 321-1000  
 Fax: (312) 321-1001  
 www.rcaarchitects.com



**ALEXANDRA WEST**  
 9301 TO 9307 66th Rd  
 Richmond, BC

**PERSPECTIVE**

**A4.2**



1 BUILDING FOUR E AMENITY BUILDING FROM ALEXANDRA ROAD  
 A4.2 SCALE: 1/8" = 1'-0"



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2	REVISION		

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2	REVISION		



**BCA**

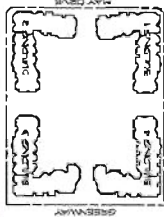
Robert Cloward Architecture Inc.  
250 - 2000 Columbia Street  
Calgary, AB T2T 2T7  
Phone: (403) 243-1111  
Fax: (403) 243-1112  
www.cloward.ca



**POLYGON**

**ALEXANDRA WEST**

3500 17th Ave SW  
Calgary, AB T2M 0K6



**PERSPECTIVE**

**A4.3**



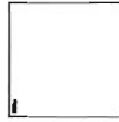
1. BUILDING ONE LOBBY ENTRANCE  
2. SCALE: 1/8" = 1'-0"



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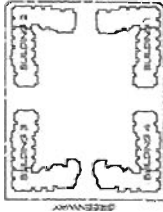
**PCA**  
 POLYCON ARCHITECTURE, INC.  
 1001 10th Avenue, Suite 100  
 Chicago, IL 60610  
 Tel: (773) 467-4611  
 Fax: (773) 467-4611



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 Burien, WA 98148

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**ALEXANDRA WEST**



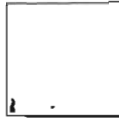
1. BUILDING ONE FROM ALEXANDRA ROAD  
 SCALE: 1/8" = 1'-0"



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DATE	DESCRIPTION
10/15/2023	REVISED PER PLAN
10/15/2023	REVISED PER PLAN

DATE	DESCRIPTION
10/15/2023	REVISED PER PLAN
10/15/2023	REVISED PER PLAN



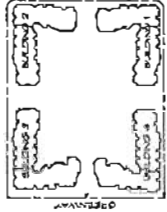
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Fax: (604) 681-1002  
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**ALEXANDRA WEST**  
3000 107 Street, Suite 100  
Richmond BC

DATE	DESCRIPTION
10/15/2023	REVISED PER PLAN
10/15/2023	REVISED PER PLAN

**A4.5**



1. BUILDING RENDER FROM GREENWAY  
DATE: 10/15/2023



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2	10/1/18	ISSUED FOR PERMIT
3	10/1/18	ISSUED FOR PERMIT



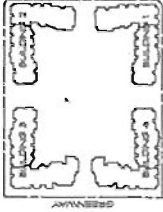
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FAX 514 377-7778  
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1	10/1/18	ISSUED FOR PERMIT
2	10/1/18	ISSUED FOR PERMIT
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**A4.6**



1 BUILDING FOUR FROM COURTYARD  
1/8" SCALE 1/8"

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REVISION	10/10/2018

DATE	10/10/2018
BY	10/10/2018
REVISION	10/10/2018



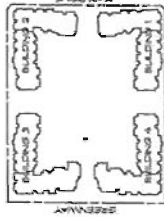
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**ALEXANDRA WEST**  
8331 TO 8411 104th St  
Richmond BC

DATE	10/10/2018
BY	10/10/2018
REVISION	10/10/2018

**A4.7**



1 BUILDING FOUR FROM COURTYARD  
AT SCALE: 1/8" = 1'-0"

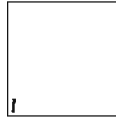
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DATE	DESCRIPTION
10/1/2018	ISSUED FOR PERMIT
10/1/2018	ISSUED FOR PERMIT



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1000 - 1000  
1000 - 1000  
1000 - 1000



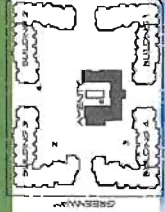
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5531 17th Ave SW  
Edmonton AB

DATE	DESCRIPTION
10/1/2018	ISSUED FOR PERMIT
10/1/2018	ISSUED FOR PERMIT

**PERSPECTIVE**



1. VIEW OF GYM LOOKING NORTHEAST  
1/8" SCALE



2. VIEW OF POOL / HOT TUB LOOKING SOUTH  
1/8" SCALE



3. VIEW OF AMENITY ENTRY LOOKING NORTH  
1/8" SCALE



4. VIEW OF DEU. / BLDG. ROOMS LOOKING SOUTHEAST  
1/8" SCALE



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DATE	DESCRIPTION
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10/18/18	REVISED PER A/E

DATE	DESCRIPTION
10/18/18	REVISED PER A/E
10/18/18	REVISED PER A/E



**RCA**

Robert C. Calkins, Architect  
 10000 1st Avenue, Suite 100  
 Richmond, BC V6V 1K1  
 Tel: (604) 271-4444  
 Fax: (604) 271-4445  
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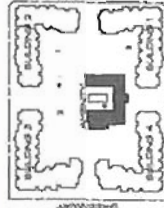
**ALEXANDRA WEST**

8881 TO 8971 GLEN RD  
 RICHMOND BC

DATE	DESCRIPTION
10/18/18	REVISED PER A/E
10/18/18	REVISED PER A/E

DATE	DESCRIPTION
10/18/18	REVISED PER A/E
10/18/18	REVISED PER A/E

**A4.9**



1 VIEW OF LOUNGE / MULTIPURPOSE ROOMS LOOKING NORTHWEST  
 1/8" = 1'-0"



2 VIEW OF POOL & CHANGE / POOL EQUIP. ROOMS LOOKING SOUTHWEST  
 1/8" = 1'-0"



3 VIEW OF CONCIERGE / GUEST SUITES LOOKING SOUTHWEST  
 1/8" = 1'-0"



4 VIEW OF CONCIERGE / GUEST SUITES / POOL LOOKING SOUTHWEST  
 1/8" = 1'-0"



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2013	2013	2013
2013	2013	2013

2013	2013	2013
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2013	2013	2013
2013	2013	2013



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DATE	BY	REVISION
2013	2013	2013
2013	2013	2013
2013	2013	2013

DATE	BY	REVISION
2013	2013	2013
2013	2013	2013
2013	2013	2013



1. BIRD'S EYE VIEW OF AMENITY BUILDING LOOKING SOUTHWEST  
 1/32 SCALE 1/8"



2. BIRD'S EYE VIEW OF AMENITY BUILDING LOOKING SOUTHEAST  
 1/32 SCALE 1/8"



3. BIRD'S EYE VIEW OF AMENITY BUILDING LOOKING NORTHWEST  
 1/32 SCALE 1/8"



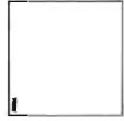
4. BIRD'S EYE VIEW OF AMENITY BUILDING LOOKING NORTHEAST  
 1/32 SCALE 1/8"



SHADOW STUDY: THIS STUDY WAS CONDUCTED FOR THE PURPOSE OF DETERMINING THE SHADOWS CAST BY THE PROPOSED DEVELOPMENT ON THE ADJACENT EXISTING DEVELOPMENT. THE SHADOWS CAST BY THE PROPOSED DEVELOPMENT ON THE ADJACENT EXISTING DEVELOPMENT ARE SHOWN IN THE SHADOW STUDY. THE SHADOWS CAST BY THE PROPOSED DEVELOPMENT ON THE ADJACENT EXISTING DEVELOPMENT ARE SHOWN IN THE SHADOW STUDY. THE SHADOWS CAST BY THE PROPOSED DEVELOPMENT ON THE ADJACENT EXISTING DEVELOPMENT ARE SHOWN IN THE SHADOW STUDY.

DATE	BY	REVISION
2023	2023	2023

DATE	BY	REVISION
2023	2023	2023



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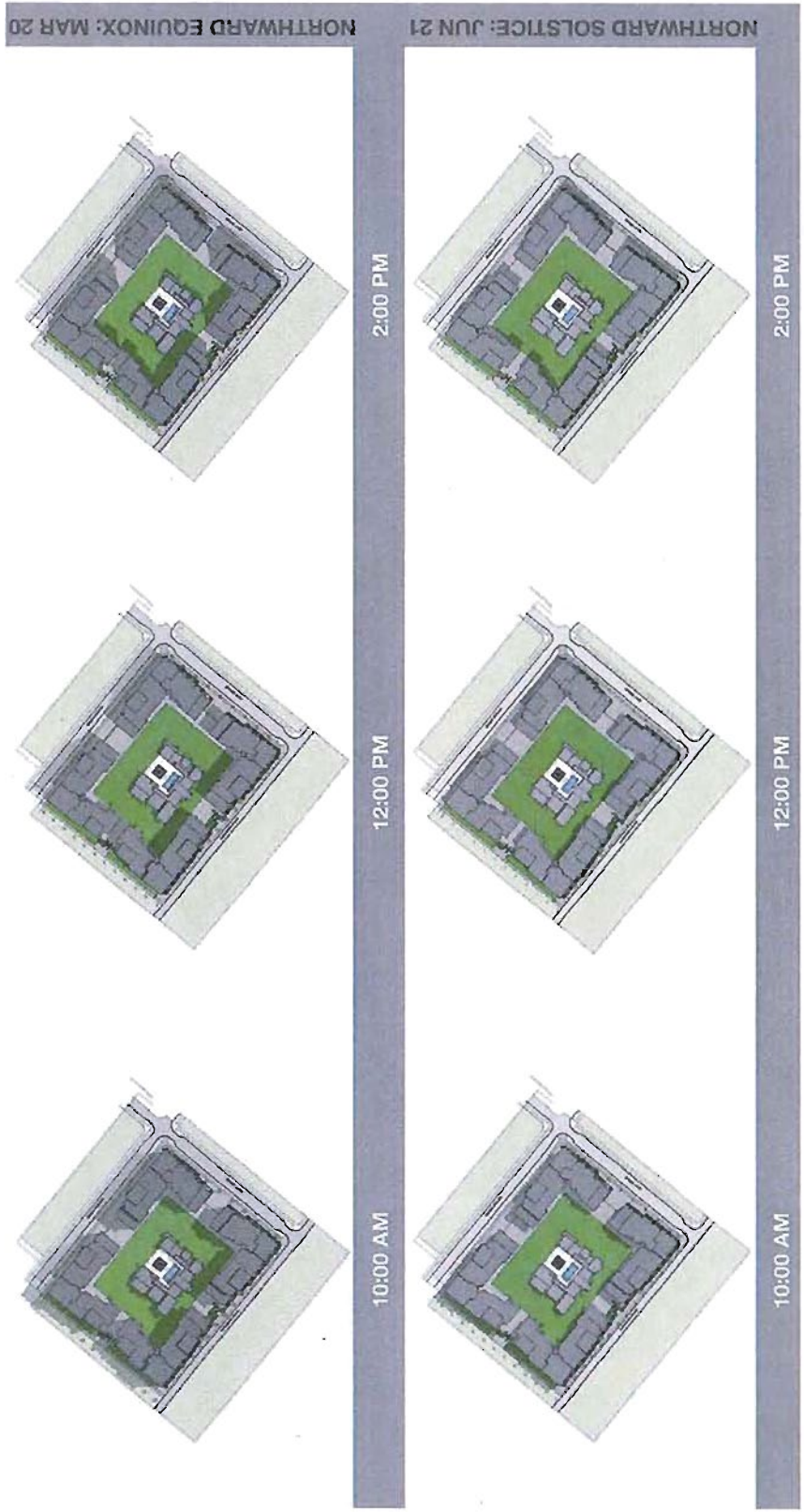


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#331 TO #337 Oak Rd  
Stamford BC

DATE	BY	REVISION
2023	2023	2023

**SHADOW STUDY**

- A4.11

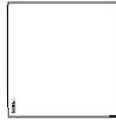


1. SHADOW STUDY NORTHWARD EQUINOX AND NORTHWARD SOLSTICE  
SCALE: 1/8" = 1'-0"



population:		total population
age	sex	

DATE	20/07/18
DESCRIPTION	RECEIVED FROM @BANK OF CHINA



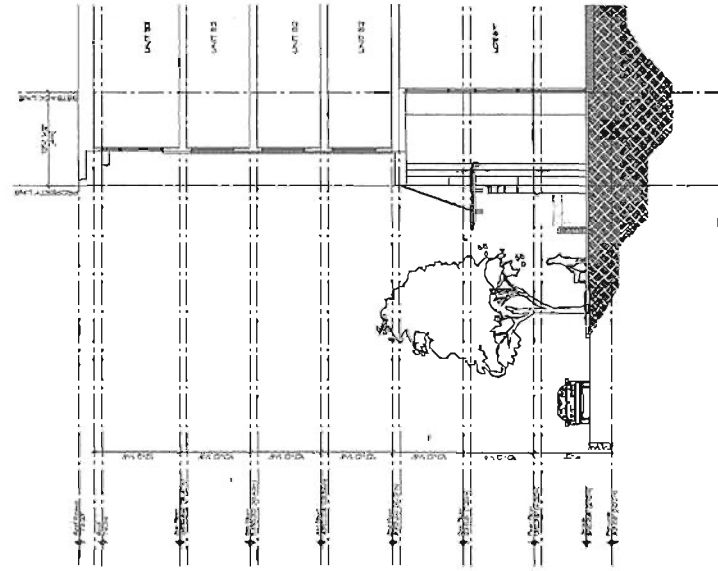
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Canada V6V 3V3  
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Fax: (604) 687-4841  
admin@robertc.crippsarchitect.com



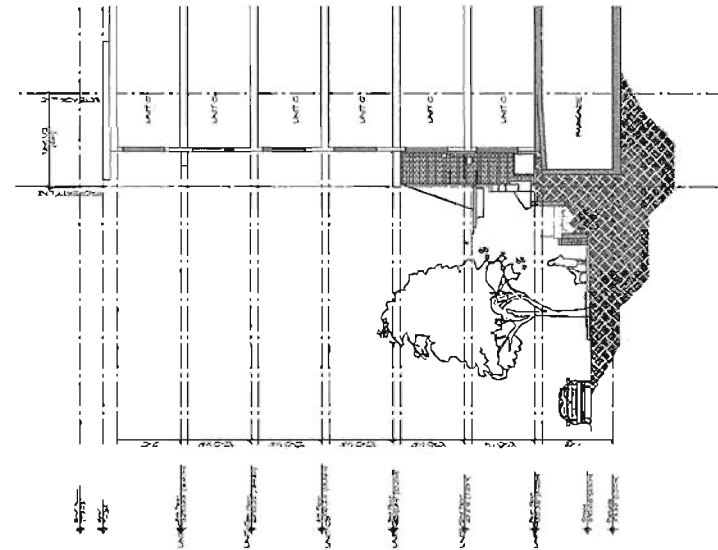
ALEXANDRA  
WEST

<b>Wall Sections</b>		<b>Page Number</b>
<b>CORNER</b>	<b>Q-6 + Jib</b>	<b>4780</b>
<b>Top Section</b>		
<b>Bottom Section</b>		



2 LOBBY AT ALEXANDRIA



SECTION C UNIT AT ALEXANDRA PICKIN SIMILAR

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NO.	DATE	DESCRIPTION
1	2024-01-15	Initial Design
2	2024-02-01	Revised Design
3	2024-02-15	Final Design

PROJECT NO.	2024-01-15
CLIENT	ABC COMPANY
LOCATION	12345 MAIN ST, VANCOUVER, BC
DATE	2024-01-15



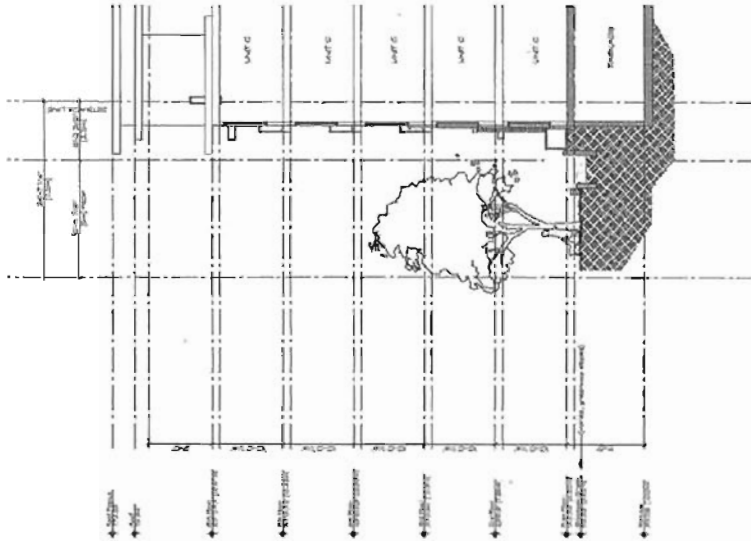
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Vancouver, BC V6J 1A1  
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info@robertchiswell.com



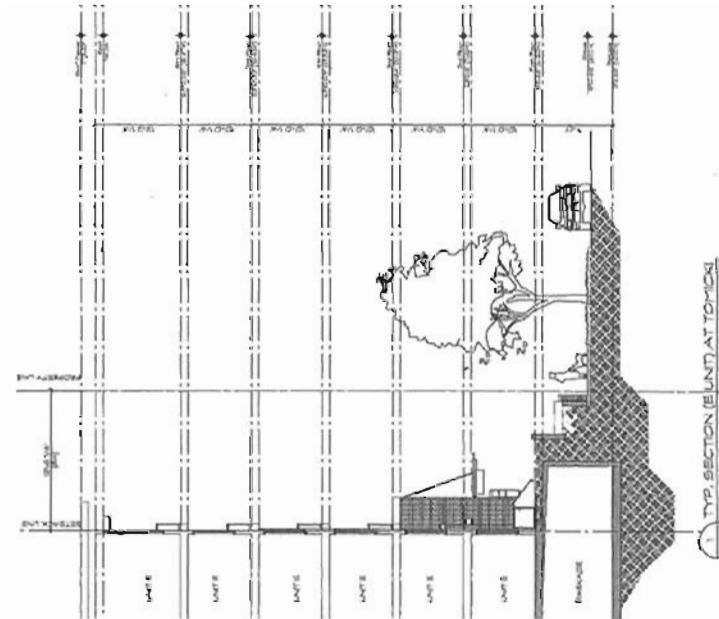
**ALEXANDRA WEST**  
8371 to 8471 Alexandra Rd.  
Burnaby BC

DATE	2024-01-15
SCALE	1/8" = 1'-0"
PROJECT	ABC PROJECT
SECTION	Wall Sections

SECTION	-
SCALE	A5.1



2 TYP. SECTION AT GREENWAY  
A5.1 SCALE 1/8" = 1'-0"



1 TYP. SECTION (E UNIT) AT TOMCO  
A5.1 SCALE 1/8" = 1'-0"





**PLN - 189**





PROPERTY OF THE UNITED STATES DEPARTMENT OF THE INTERIOR		BUREAU OF LAND MANAGEMENT		WYOMING	
SECTION 16		TOWNSHIP 10 N		RANGE 10 E	
COUNTY OF SHERIDAN		STATE OF WYOMING		SECTION 16	
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Canada V5Y 3Y3  
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ALEXANDRA WEST  
RICHMOND, BC

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Year	1990	1991	1992	1993	1994	1995	1996	1997	1998	1999	2000	2001	2002	2003	2004	2005	2006	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056	2057	2058	2059	2060	2061	2062	2063	2064	2065	2066	2067	2068	2069	2070	2071	2072	2073	2074	2075	2076	2077	2078	2079	2080	2081	2082	2083	2084	2085	2086	2087	2088	2089	2090	2091	2092	2093	2094	2095	2096	2097	2098	2099	2100
1990	1991	1992	1993	1994	1995	1996	1997	1998	1999	2000	2001	2002	2003	2004	2005	2006	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056	2057	2058	2059	2060	2061	2062	2063	2064	2065	2066	2067	2068	2069	2070	2071	2072	2073	2074	2075	2076	2077	2078	2079	2080	2081	2082	2083	2084	2085	2086	2087	2088	2089	2090	2091	2092	2093	2094	2095	2096	2097	2098	2099	2100	

## TYPICAL SECTIONS

### L1.1





NOTES:

1. SPECIAL PAVING	1. SPECIAL PAVING
2. STREET FURNITURE	2. STREET FURNITURE
3. PLANTER	3. PLANTER
4. 5' WIDE CIP SIDEWALK	4. 5' WIDE CIP SIDEWALK
5. STREET TREE	5. STREET TREE
6. SOD BOULEVARD	6. SOD BOULEVARD
7. PARKADE ENTRY	7. PARKADE ENTRY
8. UNIT ENTRY STAIR W/ LANDING	8. UNIT ENTRY STAIR W/ LANDING
9. STEPPED PLANTER	9. STEPPED PLANTER
10. UNIT PATIO	10. UNIT PATIO
11. INTERCOM	11. INTERCOM
12. BIKE RACK	12. BIKE RACK
13. ADDRESS MARKER + ENTRY GATE	13. ADDRESS MARKER + ENTRY GATE
14. STEPPED PLANTER WITH SMALL TREE	14. STEPPED PLANTER WITH SMALL TREE



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TEL: (773) 462-4444  
FAX: (773) 462-4444  
WWW.SHARPD.COM

**RCA**  
RCA GROUP OF COMPANIES  
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FAX: (773) 462-4444  
WWW.RCAGROUP.COM

**ALEXANDRA WEST**  
REHOBOTH, NC

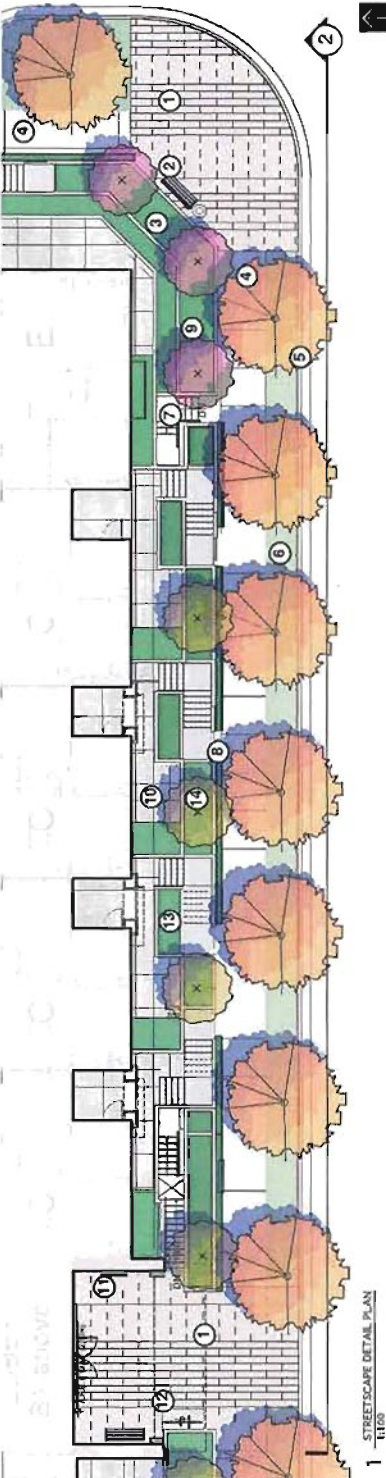


**POLYGON**  
LANDSCAPE ARCHITECTURE, INC.  
200 - 2000 CALDWELL STREET  
CHICAGO, IL 60614  
TEL: (773) 462-4444  
FAX: (773) 462-4444  
WWW.POLYGONL.A.COM

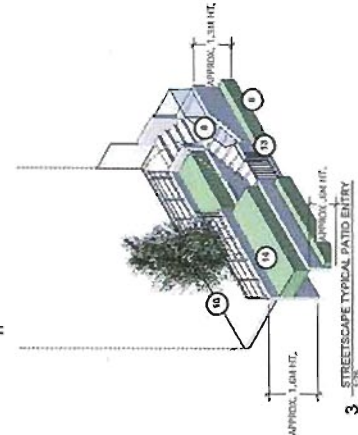
1. SPECIAL PAVING	1. SPECIAL PAVING
2. STREET FURNITURE	2. STREET FURNITURE
3. PLANTER	3. PLANTER
4. 5' WIDE CIP SIDEWALK	4. 5' WIDE CIP SIDEWALK
5. STREET TREE	5. STREET TREE
6. SOD BOULEVARD	6. SOD BOULEVARD
7. PARKADE ENTRY	7. PARKADE ENTRY
8. UNIT ENTRY STAIR W/ LANDING	8. UNIT ENTRY STAIR W/ LANDING
9. STEPPED PLANTER	9. STEPPED PLANTER
10. UNIT PATIO	10. UNIT PATIO
11. INTERCOM	11. INTERCOM
12. BIKE RACK	12. BIKE RACK
13. ADDRESS MARKER + ENTRY GATE	13. ADDRESS MARKER + ENTRY GATE
14. STEPPED PLANTER WITH SMALL TREE	14. STEPPED PLANTER WITH SMALL TREE

**LOBBY + STREETSCAPE**  
**TYPICAL**

**L1.2**



2 - BLOWUP ELEVATION THREE  
1/100



3 - STREETSCAPE TYPICAL PATIO ENTRY  
1/5







NOTES:

NO.	DATE	DESCRIPTION
1	2018.01.01	PRELIMINARY PLAN
2	2018.01.01	REVISION
3	2018.01.01	REVISION
4	2018.01.01	REVISION
5	2018.01.01	REVISION
6	2018.01.01	REVISION
7	2018.01.01	REVISION
8	2018.01.01	REVISION
9	2018.01.01	REVISION
10	2018.01.01	REVISION



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LANDSCAPE ARCHITECTURE INC.  
100-10000 100th Ave. S.E.  
Richmond, BC V6X 1A1  
Tel: (604) 271-1111  
Fax: (604) 271-1112  
www.sharpsdiamond.ca



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100-10000 100th Ave. S.E.  
Richmond, BC V6X 1A1  
Tel: (604) 271-1111  
Fax: (604) 271-1112  
www.rca.ca

**ALEXANDRA WEST**  
RICHMOND, BC

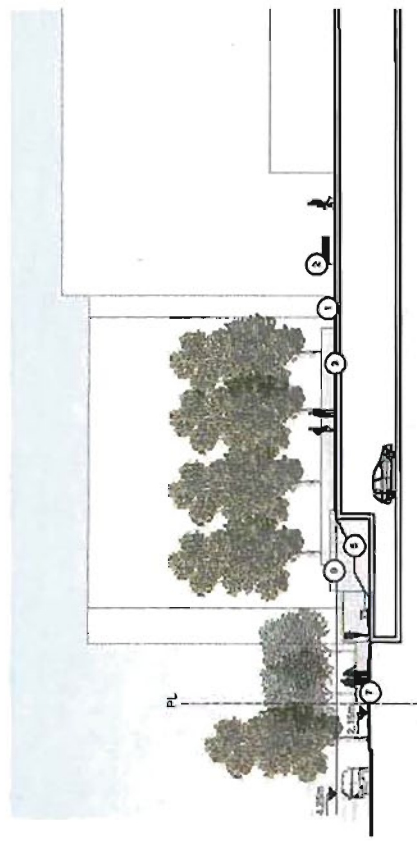


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Richmond, BC V6X 1A1  
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Fax: (604) 271-1112  
www.polygon.ca

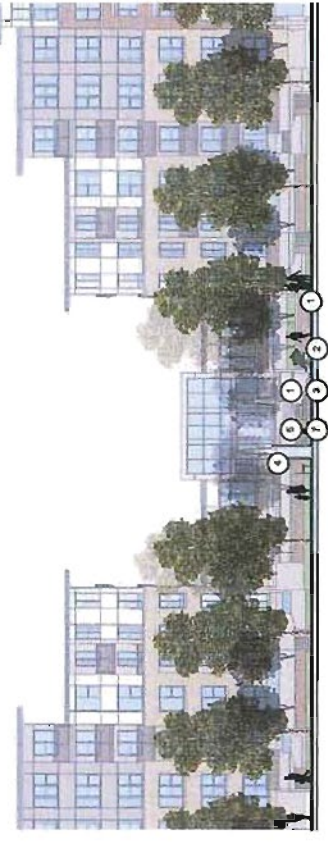
NO.	DATE	DESCRIPTION
1	2018.01.01	PRELIMINARY PLAN
2	2018.01.01	REVISION
3	2018.01.01	REVISION
4	2018.01.01	REVISION
5	2018.01.01	REVISION
6	2018.01.01	REVISION
7	2018.01.01	REVISION
8	2018.01.01	REVISION
9	2018.01.01	REVISION
10	2018.01.01	REVISION

**PRELIMINARY ENTRY  
COURT / PLAZA DETAIL  
ENTRY PLAZA PLAN**

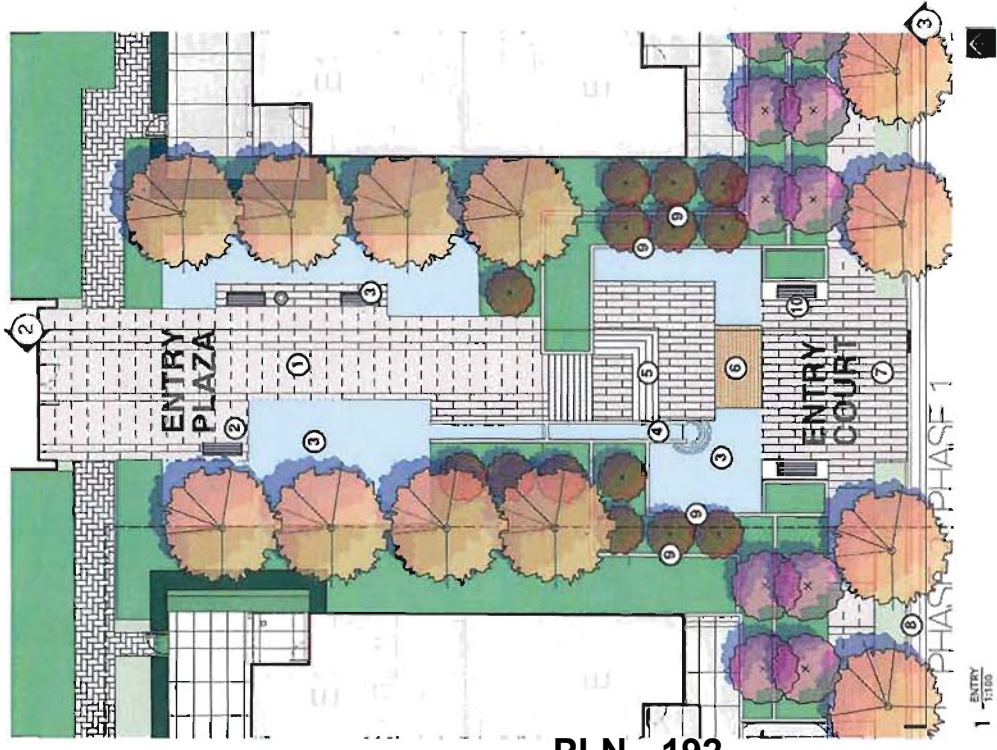
**L1.3**



**2 BLOWUP ELEVATION ONE**  
1:11.50



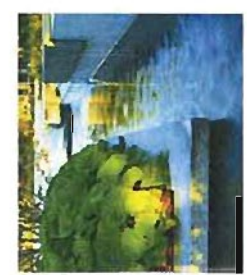
**3 BLOWUP ELEVATION THREE**  
1:11.50



**PLN - 192**

**LEGEND**

1. ENTRY PLAZA
2. SITE FURNISHING
3. REFLECTING POOL
4. WATERFALL
5. ENTRY STAIR
6. STONE ENTRY BRIDGE
7. ENTRY COURT
8. PLAZA TREES
9. STONE PLANTER WALL
10. BENCH







NOTES:

1	PLAY AREA	1:1750
2	BLOWUP ELEVATION ONE	1:1125
3	BLOWUP ELEVATION TWO	1:1130
4	PLAY AREA	1:1750
5	PLAY AREA	1:1750
6	PLAY AREA	1:1750
7	PLAY AREA	1:1750
8	PLAY AREA	1:1750
9	PLAY AREA	1:1750
10	PLAY AREA	1:1750
11	PLAY AREA	1:1750
12	PLAY AREA	1:1750
13	PLAY AREA	1:1750
14	PLAY AREA	1:1750
15	PLAY AREA	1:1750
16	PLAY AREA	1:1750
17	PLAY AREA	1:1750
18	PLAY AREA	1:1750



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200 - 2200 Columbia Street  
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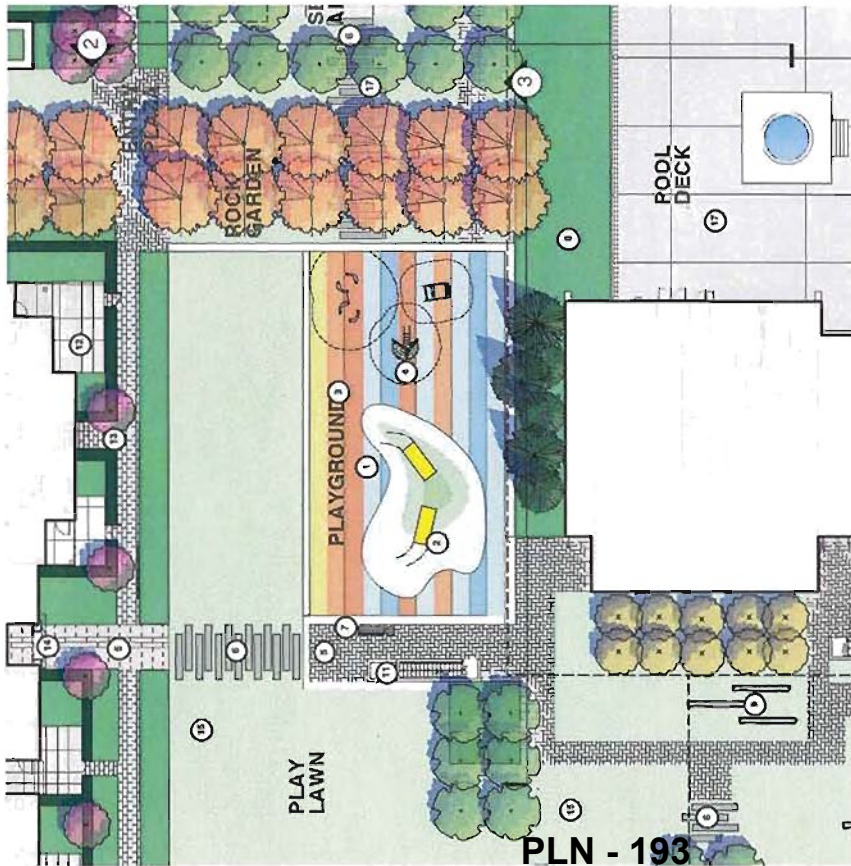


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Calgary, Alberta T2C 2T2  
Phone: (403) 243-1111  
Fax: (403) 243-1112  
www.polygon.ca

DATE	2017
PROJECT	101
CLIENT	101
DESIGN	101
CONSTRUCTION	101
PHASE	101
SCALE	101
PROJECT FILE	101

**PLAY AREA PLAN**

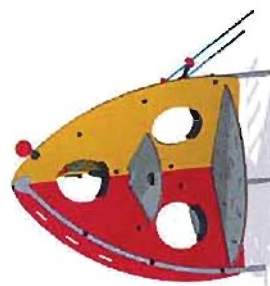
**L1.4**



**3 BLOWUP ELEVATION TWO**  
1:1130

**LEGEND**

- 1. PLAY BERM
- 2. PLAY SLIDE
- 3. MULTICOLOUR FALL PROTECTION SURFACING
- 4. WATERPLAY TOYS
- 5. SPECIAL PAVING PLAZA
- 6. CIP CONCRETE STEP SLABS
- 7. SITE FURNISHINGS
- 8. 42" FENCE
- 9. BASALT SLABS IN ROCK GARDEN
- 10. FEATURE PLANTING
- 11. PARADE ENTRY
- 12. UNIT ENTRY & PATIO
- 13. AUXILIARY ENTRY
- 14. LOBBY
- 15. LAWN
- 16. BUFFER PLANTING
- 17. CIP CONCRETE POOL DECK WITH PERIM FENCE
- 18. RAISED PLANTER







1 BOSQUE AND ORCHARD PICNIC/SEATING AREA  
11106



2 BLOWUP ELEVATION ONE  
11106



NOTES:

1	PRECAST CONCRETE SLAB
2	UNIT PAVEMENT
3	CIP CONCRETE PAD
4	SITE FURNISHING
5	BANQUET TABLE
6	BUFFER PLANTING
7	PARKAGE ENTRY
8	LAWN
9	FRUIT TREE BOSQUE
10	SPECIAL PAVING
11	LOBBY
12	UNIT PATIOS

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www.rca-landscaping.com

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RICHMOND, BC

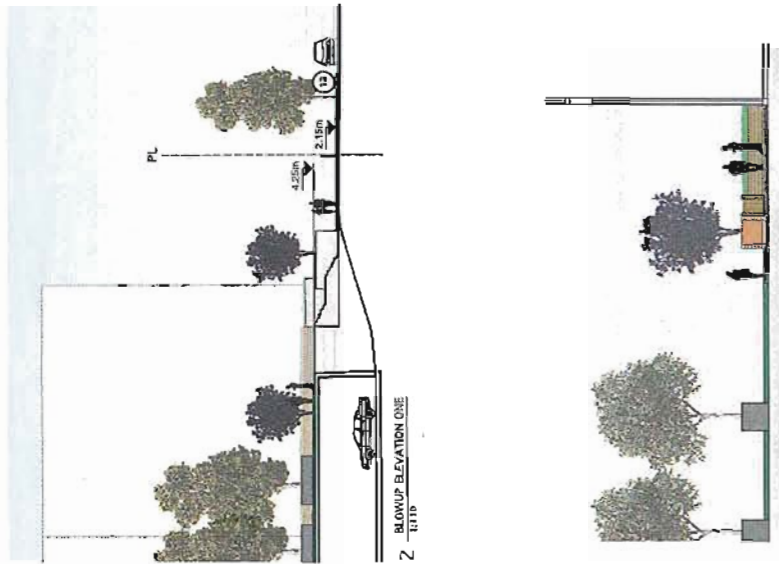
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Richmond, BC V6X 3Y3  
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1	PRECAST CONCRETE SLAB
2	UNIT PAVEMENT
3	CIP CONCRETE PAD
4	SITE FURNISHING
5	BANQUET TABLE
6	BUFFER PLANTING
7	PARKAGE ENTRY
8	LAWN
9	FRUIT TREE BOSQUE
10	SPECIAL PAVING
11	LOBBY
12	UNIT PATIOS

**ORCHARD / PICNIC  
PLAN**

**L1.5**





TYPICAL LOADING BAY

## 2 TYPICAL PATHO ENTITIES

- LEGEND**
1. LOADING ZONE
  2. BOLLARD
  3. UNIT PATO
  4. SITE FURNISHING
  5. ALLEE
  6. STREET FACE
  7. PARKADE ENTRY
  8. LAWN
  9. UNIT PAVEMENT
  10. RECYCLING
  11. BOLLARD
  12. 5' SIDEWALK
  13. BOULEVARD STRIP

TYPICAL PATIAL LOADING

L1.6

NOTES

[illegible]

**EMAP & DIAMOND**  
L'Espresso, Available for

BA

**Robert Gordon Architecture Inc.**  
300 - 1000 Columbia Street  
Vancouver, B.C.  
Canada V6J 3T2  
Tel: (604) 681-4788  
Fax: (604) 687-6181

ALEXANDRA WEST  
RICHMOND, BC



Ref. No.	Author	Year	Country	Sample Size	Study Design	Outcome Measure	Results
1	Smith et al.	2001	USA	1000	Case-control	Prevalence of disease	15%
2	Johnson et al.	2002	UK	500	Cohort	Incidence of disease	8%
3	Chen et al.	2003	China	2000	Case-control	Prevalence of disease	22%
4	Lee et al.	2004	Canada	750	Cohort	Incidence of disease	12%
5	Kim et al.	2005	South Korea	1500	Case-control	Prevalence of disease	18%
6	Wilson et al.	2006	Australia	900	Cohort	Incidence of disease	10%
7	Patel et al.	2007	India	1200	Case-control	Prevalence of disease	20%
8	Nguyen et al.	2008	Vietnam	800	Cohort	Incidence of disease	9%
9	Al-Sayid et al.	2009	Saudi Arabia	1100	Case-control	Prevalence of disease	17%
10	Okada et al.	2010	Japan	1300	Cohort	Incidence of disease	11%





NOTES:

1	TAI CHI PLAZA	1:100
2	ROCK GARDEN	1:100
3	BOISQUE AND ORCHARD PLAZA/SEATING AREA	1:100
4	TAI CHI PLAZA ELEVATIONS	1:100
5	ROCK GARDEN ELEVATIONS	1:100
6	BOISQUE AND ORCHARD PLAZA/SEATING AREA ELEVATIONS	1:100
7	TAI CHI PLAZA ELEVATIONS	1:100
8	ROCK GARDEN ELEVATIONS	1:100
9	BOISQUE AND ORCHARD PLAZA/SEATING AREA ELEVATIONS	1:100

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ARCHITECTS, INC.  
10000 BAYVIEW AVENUE  
SUITE 100  
BAYVIEW, ONTARIO M2H 3M9  
CANADA  
TEL: (416) 491-1111  
FAX: (416) 491-1112  
WWW.SHARPANDDIAMOND.COM

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Robert Clough Architects Inc.  
200 - 2200 College Avenue  
Toronto, Ontario M6P 1A6  
Canada M6P 1A6  
Tel: (416) 593-7373  
Fax: (416) 593-7374  
www.rca.ca

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RICHMOND, BC



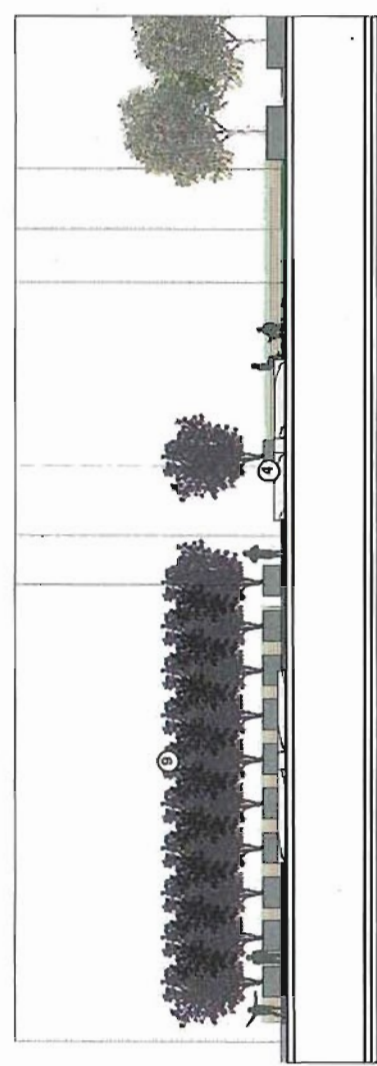
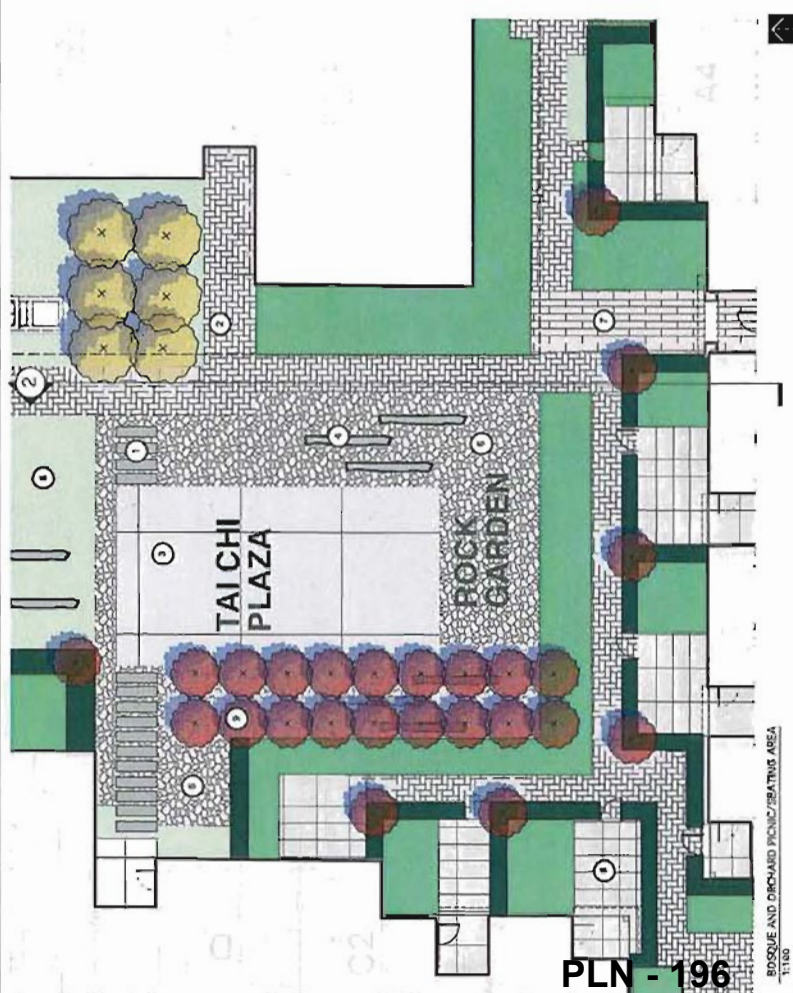
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2	ROCK GARDEN	1:100
3	BOISQUE AND ORCHARD PLAZA/SEATING AREA	1:100
4	TAI CHI PLAZA ELEVATIONS	1:100
5	ROCK GARDEN ELEVATIONS	1:100
6	BOISQUE AND ORCHARD PLAZA/SEATING AREA ELEVATIONS	1:100
7	TAI CHI PLAZA ELEVATIONS	1:100
8	ROCK GARDEN ELEVATIONS	1:100
9	BOISQUE AND ORCHARD PLAZA/SEATING AREA ELEVATIONS	1:100

**TAI CHI**

**L1.7**



- LEGEND**
- 1. PRECAST CONCRETE SLABS
  - 2. UNIT PAVING PATH
  - 3. CIP CONCRETE PAD
  - 4. ROCK SLAB
  - 5. ROCK GARDEN
  - 6. LAWN
  - 7. SPECIAL PAVING
  - 8. UNIT PATIOS
  - 9. ORNAMENTAL BOISQUE





NOTES:

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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 10000 W. 10th Avenue  
 Suite 100  
 Golden, CO 80401  
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 www.sharpsdiamond.com

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 Robert C. Anderson  
 10000 W. 10th Avenue  
 Suite 100  
 Golden, CO 80401  
 (303) 440-1000  
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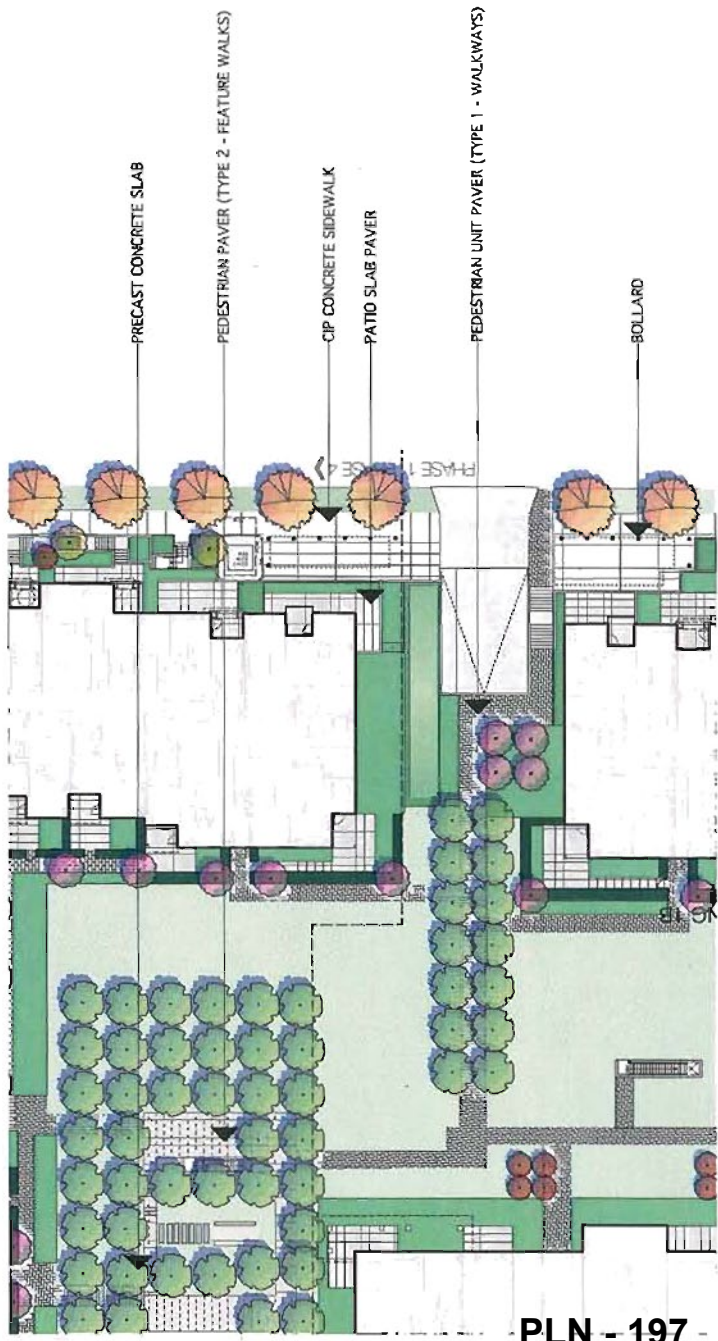
**ALEXANDRA WEST**  
 RICHMOND, BC



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**HARDSCAPE IMAGES**

**L1.9**



**PLN - 197**

**FURNISHING AND MATERIALS**  
 12000



**BENCH - MAGLIN**



**BIKE RACK - MAGLIN**



**BOLLARD - MAGLIN**



**TREE GRATE**



**PRECAST CONCRETE SLAB**



**PATIO SLAB PAVERS  
 12" X 12"  
 GRID PATTERN**



**PEDESTRIAN PAVEMENT TYPE 2  
 BARKMAN 'BOARDWALK' PAVEMENT  
 RUNNING BOND PATTERN**



**PEDESTRIAN PAVEMENT TYPE 1  
 BARKMAN 'HOLLAND' PAVEMENT  
 HERRINGBONE PATTERN**





NOTES

NO.	REVISION	DATE	BY	CHKD.
1	ISSUED FOR PERMIT	01/11/2017	W. J. JONES	W. J. JONES
2	REVISION	01/11/2017	W. J. JONES	W. J. JONES
3	REVISION	01/11/2017	W. J. JONES	W. J. JONES
4	REVISION	01/11/2017	W. J. JONES	W. J. JONES
5	REVISION	01/11/2017	W. J. JONES	W. J. JONES
6	REVISION	01/11/2017	W. J. JONES	W. J. JONES
7	REVISION	01/11/2017	W. J. JONES	W. J. JONES
8	REVISION	01/11/2017	W. J. JONES	W. J. JONES
9	REVISION	01/11/2017	W. J. JONES	W. J. JONES
10	REVISION	01/11/2017	W. J. JONES	W. J. JONES

**PHARP & DIAMOND**  
 ARCHITECTS  
 1000 10th Street, NW  
 Washington, DC 20004  
 Tel: 202.462.1000  
 Fax: 202.462.1001  
 www.pharpanddiamond.com

**RCA**  
 Robert C. Alexander, Inc.  
 3000 20th Street, NW  
 Washington, DC 20007  
 Tel: 202.462.1000  
 Fax: 202.462.1001  
 www.rca.com

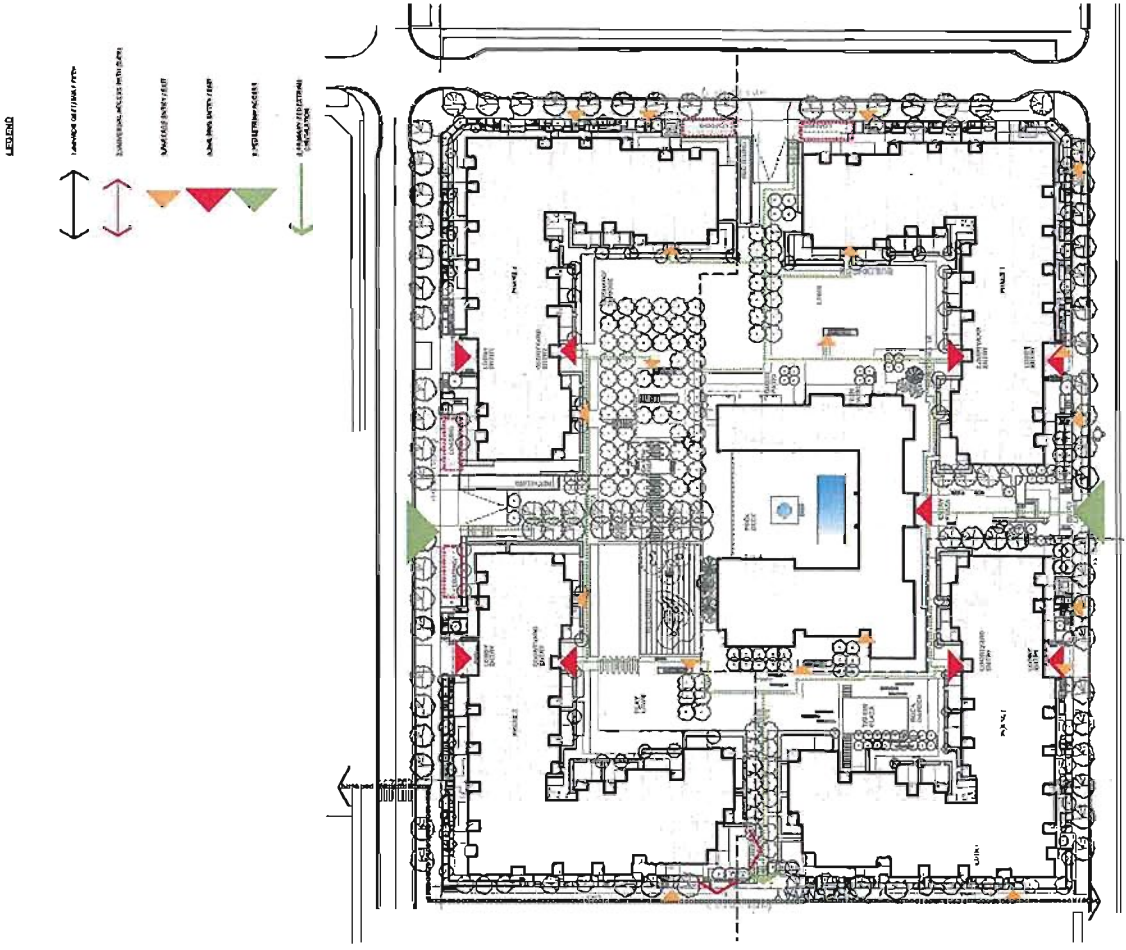
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 1000 10th Street, NW  
 Washington, DC 20004  
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 Fax: 202.462.1001  
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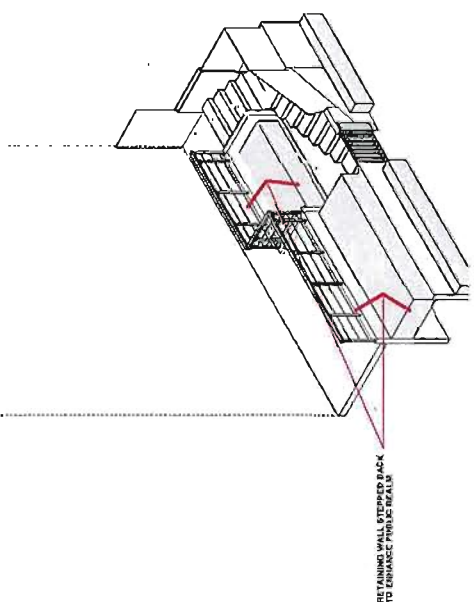
DATE	NO.	BY	CHKD.
01/11/2017	1	W. J. JONES	W. J. JONES
01/11/2017	2	W. J. JONES	W. J. JONES
01/11/2017	3	W. J. JONES	W. J. JONES
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01/11/2017	6	W. J. JONES	W. J. JONES
01/11/2017	7	W. J. JONES	W. J. JONES
01/11/2017	8	W. J. JONES	W. J. JONES
01/11/2017	9	W. J. JONES	W. J. JONES
01/11/2017	10	W. J. JONES	W. J. JONES

**CPTED + OPEN SPACE**  
**DIAGRAMS**

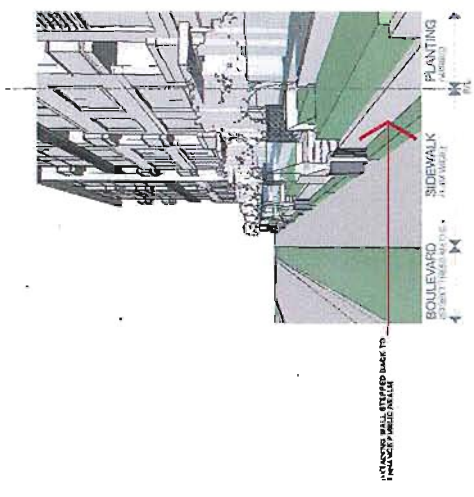
L1.8



3 CIRCULATION DIAGRAM 1350



PLN - 198



2 STREETSCAPE TYPICAL PATIO ENTRY 1350







## City of Richmond

6911 No. 3 Road  
Richmond, BC V6Y 2C1  
www.richmond.ca  
604-276-4000

## Development Application Data Sheet

**RZ 12-598503**

Address: 9311, 9331, 9393, 9431, 9451 and 9471 Alexandra Road

Applicant: Polygon Development 269 Ltd.

Planning

Area(s): West Cambie Area Plan – Alexandra Neighbourhood (Schedule 2.11A)

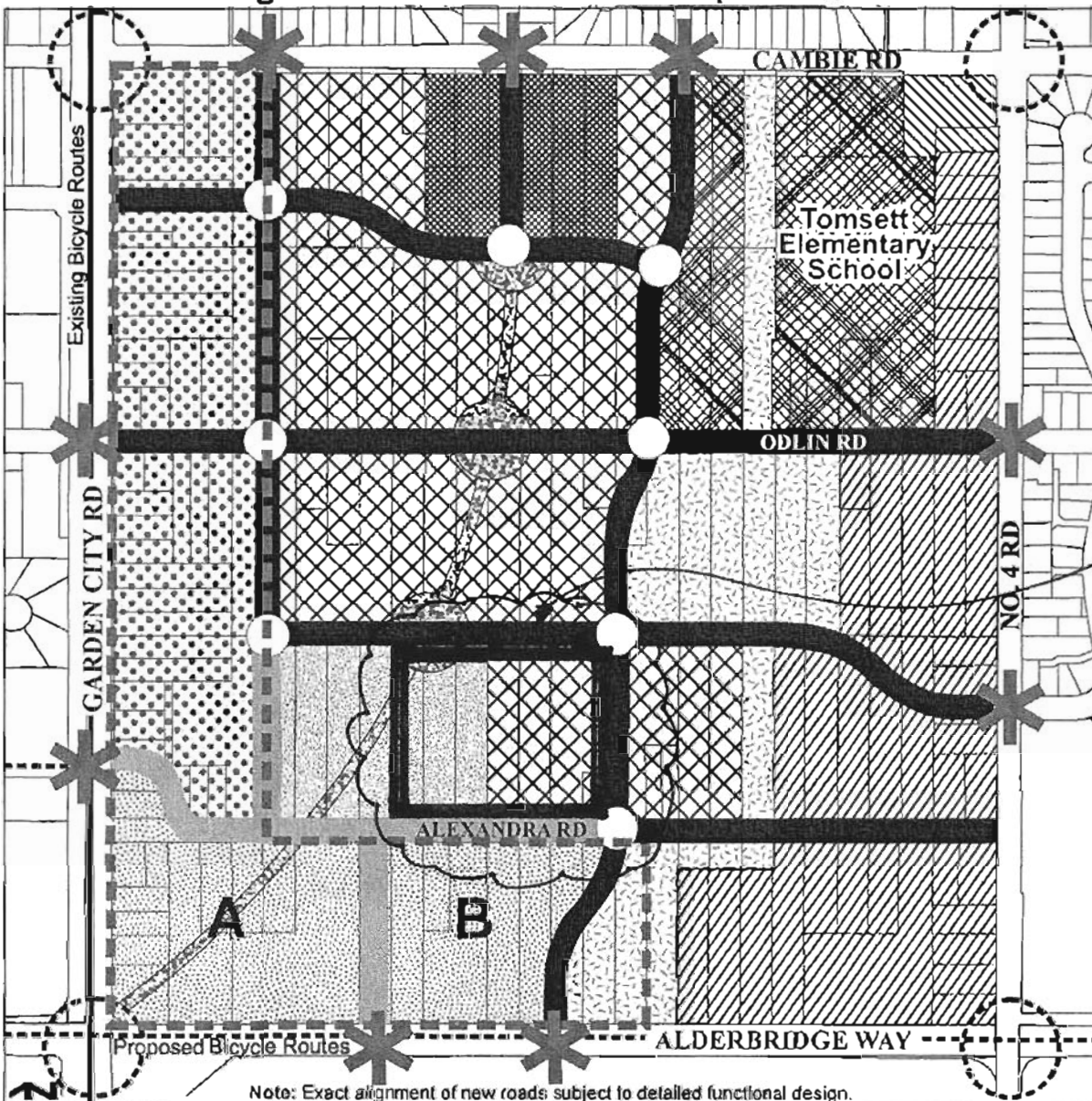
	Existing	Proposed
<b>Civic Address:</b>	9311 Alexandra Road 9331 Alexandra Road 9393 Alexandra Road 9431 Alexandra Road 9451 Alexandra Road 9471 Alexandra Road	To Be Determined
<b>Owner or Applicant:</b>	Polygon Development 269 Ltd.	No Change
<b>Site Size (m<sup>2</sup>):</b>	2.838 ha (28,376.46m <sup>2</sup> )	2.51 ha (25,060.78m <sup>2</sup> after land dedication)
<b>Land Uses:</b>	Single Detached	Apartment Residential
<b>OCP Designation</b>	Apartment Residential Mixed Use	Apartment Residential
<b>Area Plan Designation:</b>	Mixed Use: <ul style="list-style-type: none"> <li>Abutting the High Street, medium density residential over retail;</li> <li>Not abutting the High Street, medium density residential.</li> </ul> 1.25 base FAR. Building heights low to mid-rise. (Max. 1.50 FAR with density bonusing for affordable housing)  Residential Area 1 – 1.50 base FAR (Max. 1.70 FAR with density bonusing for affordable housing) Townhouse, low-rise Apartments (4 storey typical).	Residential Area 18 – 1.68 base FAR (Max. 1.88 FAR with density bonusing for affordable housing contributions) (6 storeys maximum)
<b>Zoning:</b>	Single Detached (RS1/F)  Residential / Limited Commercial (ZMU16) – Alexandra Neighbourhood (West Cambie)	Low-Rise Apartment (ZLR25) – Alexandra Neighbourhood (West Cambie)  Permits Apartments at 1.88 F.A.R. with Density Bonusing if contributions toward affordable housing units provided.
<b>Number of Units:</b>	1 Single-Detached Dwelling per existing lot.	546 Apartment Units on a consolidated lot.

	<b>Bylaw Requirement</b>	<b>Proposed</b>	<b>Variance</b>
Density (FAR):	Site Area = 25,060.78m <sup>2</sup> (1.88) = <b>47,114.26m<sup>2</sup></b>	46,916.70m <sup>2</sup> (1.87 FAR)	none permitted
Density (Indoor Amenity)	Site Area = 25,060.78m <sup>2</sup> (0.10) = <b>2,506.07m<sup>2</sup></b> Maximum	1,198.61m <sup>2</sup> (0.048 FAR)	none permitted
Lot Coverage – Building:	45% Max.	38.3%	none
Lot Size:	No lot size requirements	N/A	N/A
<u>Road Front Setback</u> Alexandra Road Parkade	4.0m Min. 3.0m Min.	4.0m 3.0m	none
<u>Road Front Setback</u> May Drive Parkade	4.0m Min. 3.0m Min.	4.0m 3.0m	none
<u>Road Front Setback</u> Tomicki Avenue Parkade	6.0m Min. 3.0m Min.	6.0m 3.0m	none
<u>Setback</u> West side yard Parkade	7.5m Min. 5.0m Min.	7.5m 5.0m	none
Height:	21.5m (max.)	21.45m	none
Off-street Parking Requirements:	Resident – <b>819</b> Visitor – <b>110</b> <b>929 spaces required (min.)</b>	<b>786 spaces (142 shortfall)</b>	None TDM measures accepted by Transportation
Assessable Parking Spaces	16	16	none
Small Car Ratio:	50% (min.) to be standard size spaces	50.3% standard size spaces	none
Amenity Space – Indoor:	100.0m <sup>2</sup>	1,198.61m <sup>2</sup>	none
Amenity Space – Outdoor:	6m <sup>2</sup> minimum per unit x 546 units = 3,276.0m <sup>2</sup>	Approximately 12,000.0m <sup>2</sup>	none

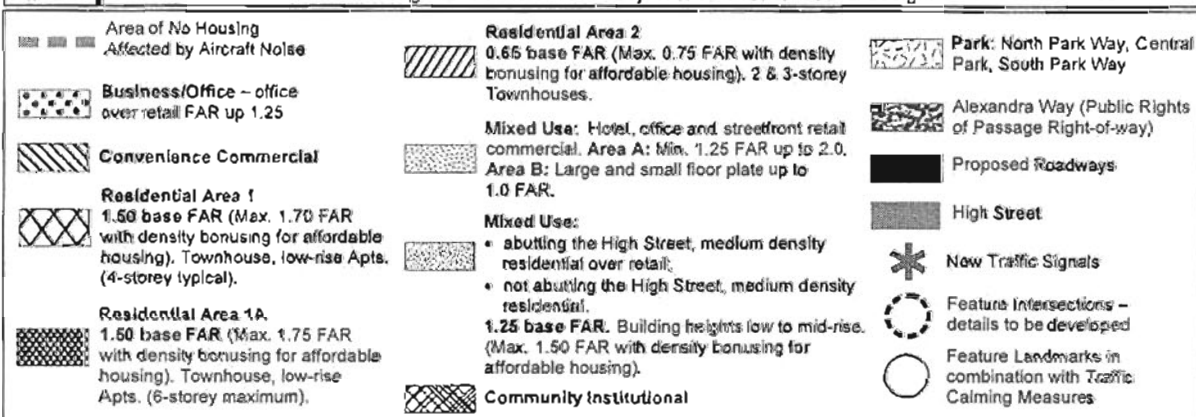


City of Richmond

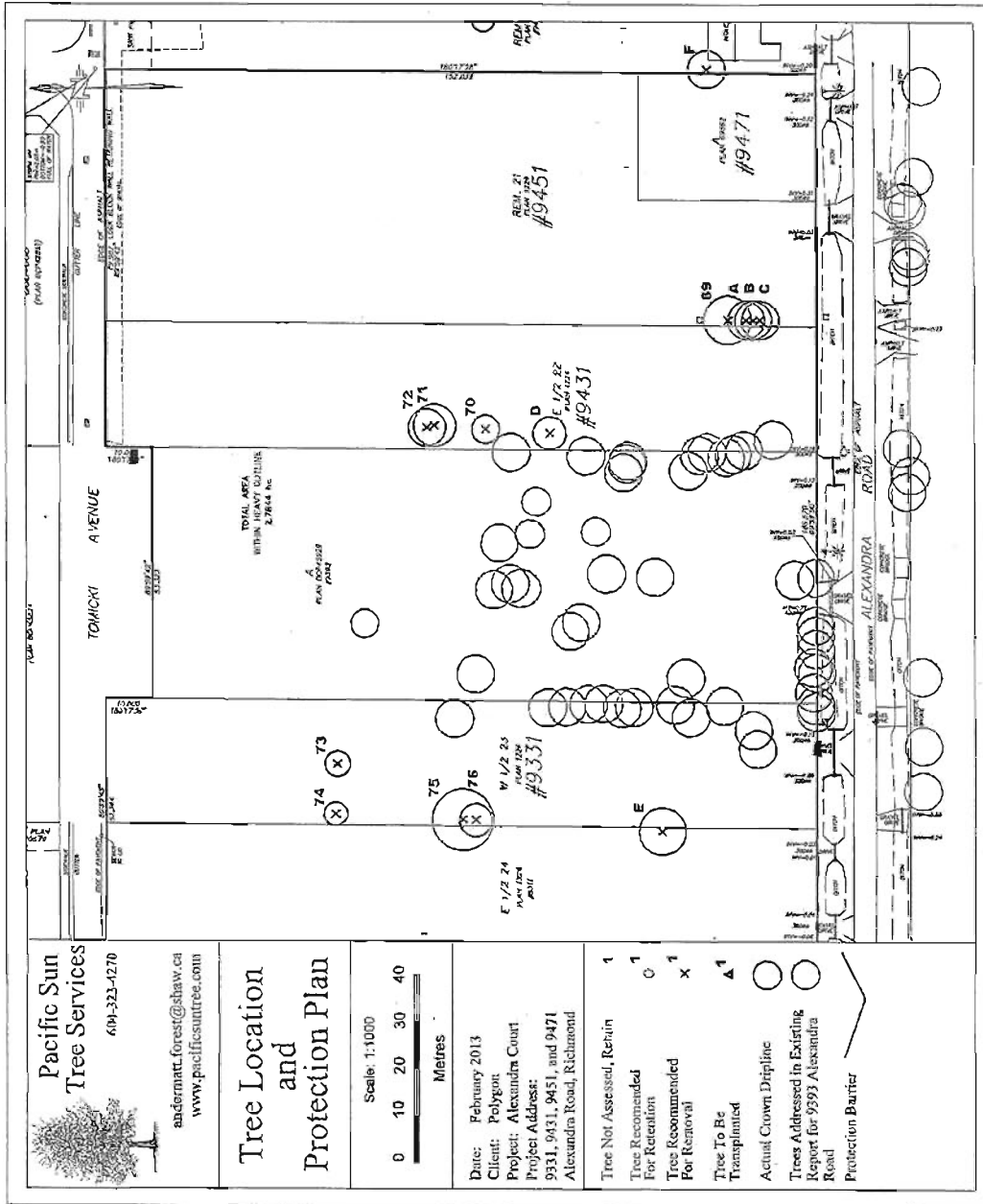
## Alexandra Neighbourhood Land Use Map

Bylaw 8945  
2012/10/15

SUBJECT SITE



Also refer to Section 8.4.5 - Alexandra District Energy Unit regarding district energy density bonusing policies.



**RZ 12-598503 – 5-6 STOREY APARTMENT COMPLEX WITH 546 UNITS IN 4 BUILDINGS AND ONE INDOOR AMENITY BUILDING**

APPLICANT: Polygon Development 269 Ltd.

PROPERTY LOCATION: 9311, 9331, 9393, 9431, 9451 & 9471 Alexandra Road

**Applicant's Presentation**

Robert Ciccozzi and Karen Smith, Robert Ciccozzi Architecture, Inc., Robin Glover, Polygon, and Bruce Gauthier, Sharp and Diamond Landscape Architecture, Inc., provided a preliminary presentation of the project and replied to queries from the members of the Panel.

**Panel Discussion**

*Comments from the Panel were as follows:*

- building massing provides an urban streetscape;
- good rationale for the street wall; provides moments of pause;
- articulation and materials of the buildings are a little bit fuzzy; they respond more to the end of the buildings and the front door;
- inner courtyard looks formal; curious about the present orientation of the pool deck ; should be oriented to the west to allow for maximum sun exposure;
- entry to the amenity building/central courtyard off Alexandra Road may not be utilized by a lot of people; consider integrating the amenity building in one of the four buildings and ensure that the surrounding residual landscaped areas will not have the same proportions;
- landscaped areas in the central courtyard appear to be the same; would like to see the asymmetrical scenarios mentioned by the applicant;
- water feature on the north side of Buildings 1 and 4 helps reflectivity and lighten up their north edges; curious about the pool which is facing north;
- like the layout of the buildings which provides maximum “eyes on the street” and no deadspots; appreciate the natural set-up and surveillance;
- provide ramping at the four main entry/exit points for the central courtyard and amenity area to facilitate movement of families with strollers and people with disabilities;
- suggest that the applicant work with City staff to provide taxi/visitor onloading/offloading laybys near each building lobby;

- look forward to seeing more details in the formal presentation of the project to the Panel;
- consider use of sliding doors for ensuite washrooms to facilitate movement of seniors and people with disabilities and maximize the use of unit space;
- showers and washrooms in the amenity building should be designed to be accessible;
- proposed project is difficult to review as dimensions are not provided; request Planning to advise applicants to provide dimensions in plans for future submissions;
- congratulate the applicant for coming up with a six-storey wood framed building that is not trying to look like concrete;
- formality of the project and strong facades provide opportunity to create something fun and playful in the internal courtyard; a successful internal courtyard design will make the buildings work; internal courtyard space needs programming; like the idea of introducing water in the internal courtyard but consider redistributing it;
- the amenity building should be completely different from the rest of the project, i.e. almost a folly, in order to stand out; consider also rotating the amenity building a little bit to provide visual relief;
- consider raising the corners of the buildings and making the posts of balconies bigger to make the building corners become more prominent at the street intersections;
- consider stepping back building ends and immediate areas near the breaks between buildings to provide visual relief going into the internal courtyard;
- layout of the buildings is challenging; appears introverted and looks like a fort;
- understand the concept and advantages of providing one big amenity space but pose challenges to building treatment and landscaping; applicant is trying to visually break up the massing of four big identical buildings and creating four different zones in the internal courtyard space; concern that landscaping of the internal courtyard may not work;
- landscaping is not consistent with the style of the buildings; buildings are very symmetrical while the landscaping is curvy; landscaping and building design are going in different directions;

- overall concept in visually breaking down the massing of the building is not clear; would like to see a stronger concept; consider a different treatment for areas adjacent to the entry points to the internal courtyard to make them stand out and more visible in the elevation;
- consider enlarging and further landscaping at the four entries to the internal courtyard to provide better connection between the entry points and the internal courtyard;
- corner treatments are weak; could use a better design language; corner treatments should be differentiated from the rest of the buildings to make them stand out more;
- the greenway is the most important thing to consider in terms of the urban context of the project; the applicant should explain and describe the character of the greenway adjacent to the subject development and the responsibility of the adjacent development to the west; would like to see a more detailed section of the greenway from property line to property line in the formal presentation of the project;
- the Alexandra Way greenway should not take on the character of the development adjacent to it; the character of the greenway should be consistent throughout the neighbourhood; i.e., should be civic and public and not residential;
- the greenway adjacent to the subject development should be more public in character in view of the proposed development to the south (i.e. Walmart); furnishings and lighting along the whole length of the Alexandra Way greenway should also be consistent; Planning could provide advice to the applicant;
- consider further treatment at the ends of the greenway at the subject development to the north and the south to make them stand out better and more welcoming to pedestrians entering the greenway;
- would like to see a bigger section with dimensions to show the relationship of the public and private realms, e.g. wall heights relative to the sidewalk and the grade difference between the sidewalk and the floor level;
- the applicant needs to show the universal access points and a hierarchy of entrances to the internal courtyard;
- further design development is needed for the internal courtyard to create a relationship between the programmatic elements, e.g. the pool and the playground, so that parents lounging at the pool would have kids in view; the orchard appears isolated; could be integrated with other elements;



- the ponds at the north edges of Buildings 1 and 4 are a dramatic move; however, might create a claustrophobic effect to the north-facing units; consider reconfiguring the water feature and relate it to the pool or the main entrance;
- materials and massing seem to work well in the amenity building than in the main buildings; the applicant is advised to get some cues from the amenity buildings in terms of design, massing and articulation for the main buildings;
- corner conditions at street intersections need further investigation; don't appear to anchor the corners well and don't make the corners special or iconic; applicant is encouraged to do something completely different at the corners;
- applicant should consider the context of the proposed development, i.e. the future location of Walmart to the south of the subject development, and the developing May Drive entry gateway to the neighbourhood;
- the greenway is an important element of the project; staff is requested to make a presentation regarding the status and updates of the overall plan for the Alexandra Way greenway;
- applicant may just have to accept the fact that the buildings are long and repetitious; need not visually break them up too much but just keep the design clean and simple; consider emphasizing just one area, e.g. a stronger main entry off Alexandra Road, and make it a high point of the project with steps or changes to the buildings;
- the amenity area is close to Buildings 1 and 4; look at conditions of the amenity area during cloudy and sunny days; consider effects of shadows and tight spaces; consider opening up the area to provide more sun exposure to the southern part of the amenity building;
- the amenity building is an interesting design element looking from Alexandra Road; consider emphasizing it, e.g. using lighting to produce a lantern effect at night; the amenity building will help provide a gateway feature to the Alexandra Road entrance and visually break down the design of the large complex; and
- agree with comments on further design development to emphasize the north and south entry points to the greenway, e.g. through landscaping, lighting or signage.

David Johnson  
Policy Planning Division  
City of Richmond  
6911 No.3 Road  
Richmond BC

February 25, 2013

David,

RE: Alexandra Court: Updates since ADP

We have undertaken a number of substantial changes to the design since the preliminary ADP in response to the main comments from the Panel.

- General refinement and simplification of elevations. A number of design elements have been stripped out entirely to give better sense of clarity and allow the main mass of the building to recede while bringing the elevations to the forefront.
- Material changes and massing details continue to break down blocks into a series of smaller elements. Greater hierarchy of details and scale have added prominence to the lobby
- Lobbies redesigned to better highlight the set back in the building at that location (addresses the corner condition). More character and detail have been developed to bring visual prominence to the lobbies.
- New unit type has been designed for the outside corner conditions: corner now presents a strong, squared off brick mass by moving the balcony inboard. Material changes further reinforce the corners as a prominent element, secondary only to the lobbies.
- Buildings now step down to 5 stories at all mid-block breaks. Reduction in height reinforces the gaps between blocks. The west elevation of buildings along May Drive are now more consistently 6 stories, with only the end conditions stepping down. The stronger edge addresses the gateway aspect of May Drive. By contrast the east side of the buildings along the greenway remain mostly 5 storey massing to better address the scale of the greenway.
- Universal housing units have been identified (44 units total). They represent a range of studio, 1, 2 and 3 bedroom unit types and dispersed throughout all 4 buildings. Further notation and details of these units will be identified prior to Development Permit submission. Amenity facilities have been

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designed to provide accessibility throughout. Ramp access will be provided to the courtyard from the greenway; grade separation makes ramped access at other points unfeasible. Elevator access is provided at all building lobbies.

- The amenity clubhouse has undergone some redesign; as it was generally more well-received by the panel than the adjacent buildings and so most of its essential character has been maintained. The glazed entrance has been enlarged to provide a lantern like aspect from the street. Shadow studies have been provided to address concerns about access to light at the pool deck. As shown by these studies, during the summer months when the pool will be in use, the single-storey clubhouse overshadows the pool and deck very little.
- Sustainability features (ie. 20% plug-in stalls, low-flow fixtures, energy star appliances, recycling bins in all units) have been better clarified with client.
- All loading on Alexandra Road has been relocated to create an improved entry experience to the central courtyard, the greenway, and the building lobbies.
- Overall dimensions have been added to the building plans and site plan for clarity.
- Greenway design has been clarified by Planning as the responsibility of the applicant to the west. Therefore ADP comments pertaining to the greenway can be addressed only insofar as design elements at the edge of the greenway itself. We will work with the applicant to the west to coordinate elements on our property with their design.

Landscape has also been substantially redesigned throughout the courtyard to respond to ADP comments. The following is a summary from Sharp and Diamond of their updates:

- Overall concept is more orthogonal and less free form. More direct pathways and connections created.
- Ponds fronting units have been eliminated; water feature is concentrated around south courtyard entry.
- Trees and planting have been arranged to create a series of smaller, more pedestrian-friendly spaces.
- Area for outdoor amenity is 5000m<sup>2</sup>
- Sustainability features in the landscape include:
  - urban agriculture in the form of an Edible Bosque of trees;
  - a planted roof deck and deep planters for storm water detention and treatment
  - a low maintenance plant pallet that requires minimal water or fertilizing
  - an emphasis on native and adaptive plant species that create habitat opportunities for native species, while also providing strong aesthetics.

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- An emphasis on tree planting both on the roof deck and on grade that when mature will form a healthy tree canopy
- Overall dimensions have been added to landscape drawings for clarity.
- Paving materials have been added, to clearly define open spaces, entries, etc.
- Detail sections and elevations studies at a range of scales to more clearly illustrate grade changes, streetscape, unit patios, slab conditions and general relationship to the proposed architecture.
- Entries have been more clearly defined by introducing special paving, site furnishings, special plant spaces.
- More specific programming has been added; spaces are better defined and more diverse in use. Program elements include:
  - An Edible Bosque of Fruit Trees
  - An Outdoor Eating Area under the Fruit Tree Bosque.
  - A Tai Chi area separate from other activities.
  - An expanded children's play area that incorporates slides, a berm, a lawn area and several small play toys.
  - Several small seating areas meant to take advantage of internal views
  - A Water Feature at the main entry, designed to give the entry more prominence.
  - A passive lawn area that gets sun throughout most of the day.
  - An extension of the water feature above the Entry Plaza to create a more dramatic entry to the amenity building. Also an opportunity for a more pedestrian scale of seating, planting and paving.

We trust the above will assist in your review of the drawing resubmission and serve as a response to the design comments from the preliminary ADP. Please do not hesitate to contact us if you need further clarification of any of these revisions.

Regards,



Karen Smith Architect AIBC MRAIC

Project Architect

Robert Ciccozzi Architecture Inc.



**Conditional Zoning Requirements  
9311, 9331, 9393, 9431, 9451 and 9471 Alexandra Road  
RZ 12-598503**

**Prior to final adoption of Zoning Amendment Bylaw 9017, the developer is required to complete the following:**

1. Final Adoption of OCP Amendment Bylaws 9016 and 9021.
2. Final Adoption of Bylaw 9022 to terminate the housing agreement registered on 9393 Alexandra Road (formerly 9371 and 9411 Alexandra Road), including the owner executing a consent to the adoption of Bylaw 9022, entering into a legal agreement to terminate the Housing Agreement and discharge of Covenant BB1695850 and BB1695851.
3. Ten (10) metre road dedication along the entire northern edge of the subject site, except for 9393 Alexandra Road.
4. Ten (10) metre road dedication along the entire eastern edge of the subject site.
5. In addition to the above land dedications, four metre by four metre (4m by 4m) corner cuts at the corners of Alexandra Road and May Drive, and Tomicki Avenue and May Drive.
6. Consolidation of all the lots into one development parcel (which will require the demolition of the existing dwellings).
7. The granting of a 5.0 metre wide statutory privately owned public accessible right-of-way (PROP) along the western property line for the purpose of the developer contributing to the construction of the eastern portion of Alexandra Way. The developer will construct the PROP and the future strata corporation will maintain the soft landscaping and the City will maintain the paved walkway.
8. In addition, a 12.0 metre long and 5.0 metre deep PROP be located at the midpoint, directly next and attached at the eastern edge of the 5.0 metre PROP listed above, for the purpose of the developer constructing a mid-point resting area and entrance to the complex. The developer will construct the PROP and the future strata corporation will maintain the soft landscaping and the City will maintain the paved walkway.
9. In addition to the above and located at each intersection of Alexandra Way, an additional 3.0 metre wide PROP to the east of the 5.0 m wide PROP (listed in 7), and at the entrance of Alexandra Way at the south and north property line, narrowing to zero at a 1:1 angle to provide a wider entrance to Alexandra Way, for the purpose of a wider entrance to the walkway. The developer will construct the PROP and the future strata corporation will maintain the soft landscaping and the City will maintain the paved walkway.
10. Registration of an aircraft noise sensitive use covenant on title.
11. Registration of a flood plain covenant on title identifying a minimum habitable elevation of 2.6 m GSC.
12. Registration of a restrictive covenant to ensure guest and concierge suites are registered as common property and to prevent future sale or conversion of the units.
13. City acceptance of the developer's offer to voluntarily contribute \$0.77 per buildable square foot (e.g. \$390,505.70) to the City's public art fund.
14. City acceptance of the developer's offer to voluntarily contribute \$0.07 per buildable square foot (e.g. \$35,500.52) to the City's Community and Engineering Costs.
15. City acceptance of the developer's offer to voluntarily contribute \$0.60 per buildable square foot (e.g. \$304,290.16) to the City's Child Care program.
16. City acceptance of the developer's offer to voluntarily contribute \$0.60 per buildable square foot (e.g. \$304,290.16) to the City's Beautification program. The total voluntary contribution will be reduced

by the amount of the design costs associated with Alexandra Way Greenway as determined by the Director of Development.

17. City acceptance of the developer's offer to voluntarily contribute \$2,877,448.32 to the City's capital Affordable Housing Reserve Fund (derived based on the 1/3 of the 0.2 FAR (0.06666 FAR) density bonusing provision of the gross building area of 269,760.78 ft<sup>2</sup> of the subject site (17,984.0 ft<sup>2</sup>) multiplied by \$160 / ft<sup>2</sup>), such contribution to be in the form of the developer providing, prior to rezoning adoption, a cash contribution of \$719,362.08 together with a Letter of Credit, satisfactory to the City, for \$2,158,086.24 plus:
- a) An amount equal to \$719,362.08 multiplied by the estimated consumer price index (CPI) for the period between the issuance of the Letter of Credit and September 30, 2014 or an alternative later date, as determined at the sole discretion of the City;
  - b) A further amount of \$719,362.08 multiplied by the estimated consumer price index (CPI) for the period between the issuance of the Letter of Credit and September 30, 2015 or an alternative later date, as determined at the sole discretion of the City; and
  - c) A further amount of \$719,362.08 multiplied by the estimated consumer price index (CPI) for the period between the issuance of the Letter of Credit and September 30, 2016 or an alternative later date, as determined at the sole discretion of the City.

Final Letter of Credit amount is to be determined by the City in its sole discretion.

100% of the contribution under this rezoning consideration (#17) will be allocated to the City's Capital Affordable Housing Reserve Fund.

18. Registration of a legal agreement, to the satisfaction of the City, on title of the subject site, specifying that in respect to:

Second Building on the Subject Development

- a) No Building Permit for a second building on the subject development will be issued until the developer provides to the City a cash contribution of a further \$719,362.08 (beyond the initial cash contribution set out in Rezoning Consideration 17) and if this cash contribution is made, the City will permit the Letter of Credit provided under Rezoning Consideration 17 to be reduced by this amount and the portion of the CPI attributable to this amount; and
- b) If the cash contribution of \$719,362.08 payable under Rezoning Consideration 18(a) is not made prior to September 30, 2014 or an alternative later date, as determined at the sole discretion of the City, the City may, in its sole discretion, draw upon all or a portion of the Letter of Credit provided under Rezoning Consideration 17, including at the discretion of the Director of Development and Manager, Community Social Development, that amount equivalent to CPI attributable to this contribution, and use such funds for any City purpose related to affordable housing (irrespective of whether or not a Building Permit has been applied for on the subject development);

Third Building on the Subject Development

- c) No Building Permit for a third building on the subject development will be issued until the developer provides to the City a cash contribution of a further \$719,362.08 (beyond the contributions made pursuant to Rezoning Considerations 17 and 18(a)) and if this cash contribution is made, the City will permit the Letter of Credit provided under Rezoning Consideration 17 to be reduced by this amount and the portion of the CPI attributable to this amount; and
- d) If the cash contribution of \$719,362.08 payable under Rezoning Consideration 18(c) is not made prior to September 30, 2015 or an alternative later date, as determined at the sole discretion of the City, the City may, in its sole discretion, draw upon all or a portion of the Letter of Credit provided under Rezoning Consideration 17, including at the discretion of the Director of Development and Manager, Community Social Development, that amount equivalent to CPI

attributable to this contribution, and use such funds for any City purpose related to affordable housing (irrespective of whether or not a Building Permit has been applied for on the subject development);

#### Fourth Building on the Subject Development

- e) No Building Permit for a fourth building on the subject development will be issued until the developer provides to the City a cash contribution of a further \$719,362.08 (beyond cash contributions made pursuant to Rezoning Considerations 17, 18(a) and 18(c)) and if this cash contribution is made, the City will permit the Letter of Credit provided under Rezoning Consideration 17 to be reduced by this amount and the portion of the CPI attributable to this amount; and
  - f) If the cash contribution of \$719,362.08 payable under Rezoning Consideration 18(e) is not made prior to September 30, 2016 or an alternative later date, as determined at the sole discretion of the City, the City may, in its sole discretion, draw upon all or a portion of the Letter of Credit provided under Rezoning Consideration 17, including at the discretion of the Director of Development and Manager, Community Social Development, that amount equivalent to CPI attributable to this contribution, and use such funds for any City purpose related to affordable housing (irrespective of whether or not a Building Permit has been applied for on the subject development);
- 19. Discharge of Land Title Charges BN192756 from 9311 Alexandra Road and, BB1695855, BB1695856, BB1695859, BB1700224, BB1700225 and BB1700228 from 9393 Alexandra Road.
  - 20. Voluntary contribution of \$30,000.00 to go towards development of a bus shelter and an accessible landing pad in the area.
  - 21. Voluntary contribution of \$5,000.00 towards the provision of new benches in the area.
  - 22. Voluntary contribution of \$10,000.00 to go towards cycling related infrastructure development in the area.
  - 23. Voluntary contribution of \$15,000.00, or the installation benches along each of the street frontages, or the provision and installation of one bench to be installed along each of the three street frontages.
  - 24. Registration of a legal agreement(s) regarding the developer's commitment to implement the Transportation Demand Management (TDM) plan to install electrical plug-ins and infrastructure as follows:
    - a) Provide 120V electric plug-ins for 20% of all parking stalls; and
    - b) Provide 120V electric plug-ins for electric bikes, one for every 40 bicycle storage racks (if there are fewer than 40 bicycle racks in a storage compound, one 120V electric plug-in is required for the same compound).
    - c) An additional 25% of the parking stalls be constructed to accommodate the future installation of electric vehicle charging equipment (e.g., pre-ducted for future wiring).
  - 25. Registration of a legal agreement(s) regarding the developer's commitment to connect to the West Cambie Alexandra District Energy Utility (ADEU), including the use of the ADEU and all associated obligations and agreement as determined by the Director of Engineering.
  - 26. The submission and processing of a Development Permit\* completed to a level deemed acceptable by the Director of Development.
  - 27. Enter into a Servicing Agreement\* for the design and construction of frontage improvements along all three street frontages, utility installation and connection to the apartment development. Works include, but may not be limited to:
    - Frontage improvements along Alexandra Road to accommodate the following (from north to south):
      - 2.0 metre wide sidewalk at the new property line.

- Min. 1.5 metre wide treed/grassed boulevard. Exact measurements to be confirmed at the servicing agreement stage.
- Curb and gutter.
- Minimum 6.5 metre wide road pavement.
- Minimum 1.0 metre wide shoulder.
- Appropriate side slope and tie-in to the properties to the south.
- May Drive: coordinate with the offsite works via RZ 12-598506 (under review) the road to the ultimate standards, which include:
  - 2.0 metre wide concrete sidewalks at the new property line;
  - Minimum 2.0 metre wide treed/grassed boulevard; and
  - Curb/gutter on both sides of May Drive and minimum 11.2 metre wide pavement width.
- Tomicki Avenue: construct the road to the following ultimate cross-section (from south to north):
  - 2m wide concrete sidewalk at the new property line;
  - min. 1.5m wide treed/grassed boulevard, exact width to be determined as part of the SA process;
  - curb/gutter;
  - minimum 8.5m pavement width (11.2m desired to accommodate on-street parking); and
  - reconstruction of the existing curb and widen the existing boulevard along the north side.
- Construct the final portion of Alexandra Way, including intersection improvements at the both Alexandra Road and Tomicki Avenue

**Prior to a Development Permit\* being forwarded to the Development Permit Panel for consideration, the developer is required to:**

1. Complete acoustical and thermal reports and recommendations prepared by an appropriate registered professional, which demonstrates that the interior noise levels and noise mitigation standards comply with the City's Official Community Plan and Noise Bylaw requirements. The standard required for air conditioning systems and their alternatives (e.g. ground source heat pumps, heat exchangers and acoustic ducting) is the ASHRAE 55-2004 "Thermal Environmental Conditions for Human Occupancy" standard and subsequent updates as they may occur. Maximum interior noise levels (decibels) within the dwelling units must achieve CMHC standards follows:

Portions of Dwelling Units	Noise Levels (decibels)
Bedrooms	35 decibels
Living, dining, recreation rooms	40 decibels
Kitchen, bathrooms, hallways, and utility rooms	45 decibels

**Prior to Building Permit Issuance, the developer must complete the following requirements:**

1. Submission of a Construction Parking and Traffic Management Plan to the Transportation Division. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
2. Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
3. Payment of the Supplementary Local Area DCC for the Alexandra Neighbourhood.
4. Payment of the \$1,836.72 per unit plus applicable interest, in accordance with the Alexandra Neighbourhood Development Agreement.



5. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Division at 604-276-4285.

**Note:**

- \* This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.  
  
All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.  
  
The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.
- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

[Original signed on File]

Signed \_\_\_\_\_

Date \_\_\_\_\_



**Richmond Official Community Plan Bylaw 9000  
Amendment Bylaw 9016  
(RZ 12-598503)  
9311, 9331 and Western Half of 9393 Alexandra Road**

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Official Community Plan Bylaw 9000 (Schedule 1) 2041 Land Use Map is amended to redesignate 9311, 9331 and the western half of 9393 Alexandra Road from "Mixed Use" to "Apartment Residential".
2. This Bylaw may be cited as **"Richmond Official Community Plan Bylaw 9000 Amendment Bylaw 9016"**.

FIRST READING

A PUBLIC HEARING WAS HELD ON

SECOND READING

THIRD READING

OTHER CONDITIONS SATISFIED

ADOPTED

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MAYOR

\_\_\_\_\_  
CORPORATE OFFICER



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**Richmond Official Community Plan Bylaw 7100  
Amendment Bylaw 9021  
(RZ 12-598503)  
9311, 9331, 9393, 9431, 9451 and 9471 Alexandra Road**

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Schedule 2.11A (West Cambie Area Plan) of Richmond Official Community Plan Bylaw 7100 is amended at:
  - a) Section 8.1.5 by repealing the second bullet and replacing it with:
    - “With the exception of a potential hotel within the south-west commercial area, building heights will generally vary between two to four storeys (above one level of parking) — neither single storey nor tower development is appropriate within the residential areas (five and six storeys may be considered for combustible, non-combustible or concrete construction, increased open space, and no additional overshadowing of neighbouring properties).”; and
  - b) Section 8.2.4 by repealing the bullet under Height and replacing it with:
    - “Building heights should be primarily between two and four (five and six storeys may be considered for combustible, non-combustible or concrete construction, increased open space, and no additional overshadowing of neighbouring properties); no single storey or tower developments are appropriate.”
2. Schedule 2.11A (West Cambie Area Plan) of Richmond Official Community Plan Bylaw 7100 is amended by repealing the existing “Alexandra Neighbourhood Land Use Map”, and replacing it with “Schedule A attached to and forming part of Bylaw No. 9021”;
3. Schedule 2.11A (West Cambie Area Plan) of Richmond Official Community Plan Bylaw 7100 is amended by repealing the existing “Alexandra Neighbourhood Character Areas Map” on page 22 of the Area Plan, and replacing it with “Schedule B attached to and forming part of Bylaw No. 9021”;
4. Schedule 2.11A (West Cambie Area Plan) of Richmond Official Community Plan Bylaw 7100 is amended by repealing the existing “Character Area 3 – The High Street” map on page 31 of the Area Plan, and replacing it with “Schedule C attached to and forming part of Bylaw No. 9021”;



5. Schedule 2.11 A (West Cambie Area Plan) of Richmond Official Community Plan Bylaw 7100 is amended by repealing the existing "Character Area 4 – Medium Density Housing" on page 33 of the Area Plan, and replacing it with "Schedule D attached to and forming part of Bylaw No. 9021";
6. This Bylaw may be cited as "**Richmond Official Community Plan Bylaw 7100, Amendment Bylaw 9021**".

FIRST READING

A PUBLIC HEARING WAS HELD ON

SECOND READING

THIRD READING

OTHER CONDITIONS SATISFIED

ADOPTED

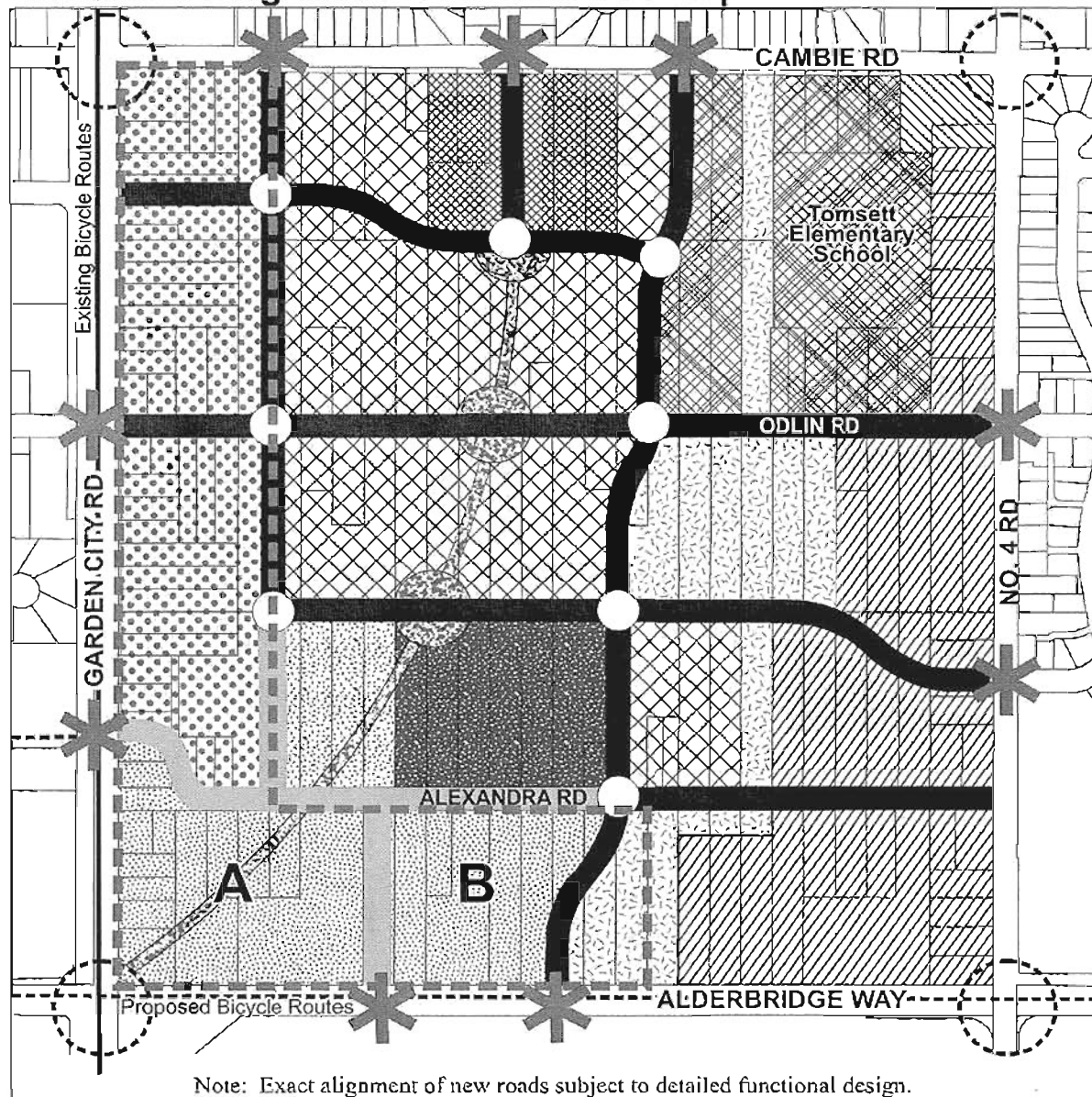
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CITY OF RICHMOND
APPROVED by 
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CORPORATE OFFICER

## Alexandra Neighbourhood Land Use Map



Area of No Housing Affected by Aircraft Noise	Residential Area 2 0.65 base FAR (Max. 0.75 FAR with density bonusing for affordable housing). 2 & 3-storey Townhouses	Park: North Park Way, Central Park, South Park Way
Business/Office - office over retail FAR up to 1.25	Mixed Use: Hotel, office and streetfront retail commercial. Area A: Min. 1.25 FAR up to 2.0 Area B: Large and small floor plate up to 1.0 FAR	Alexandra Way (Public Rights of Passage Right-of-way)
Convenience Commercial	Mixed Use: • abutting the High Street, medium density residential over retail; • not abutting the High Street, medium density residential. 1.25 base FAR. Building heights low to mid-rise (Max. 1.50 FAR with density bonusing for affordable housing).	Proposed Roadways
Residential Area 1 1.50 base FAR (Max. 1.70 FAR with density bonusing for affordable housing). Townhouse, low-rise Apts. (4-storey typical)	Community Institutional	High Street
Residential Area 1A 1.50 base FAR (Max. 1.75 FAR with density bonusing for affordable housing). Townhouse, low-rise Apts. (6-storey maximum).		New Traffic Signals
Residential Area 1B 1.68 base FAR (Max. 1.88 FAR with density bonusing for affordable housing) (6-storey maximum).		Feature Intersections - details to be developed
		Feature Landmarks in Combination with Traffic Calming Measures

## Alexandra Neighbourhood Character Areas Map



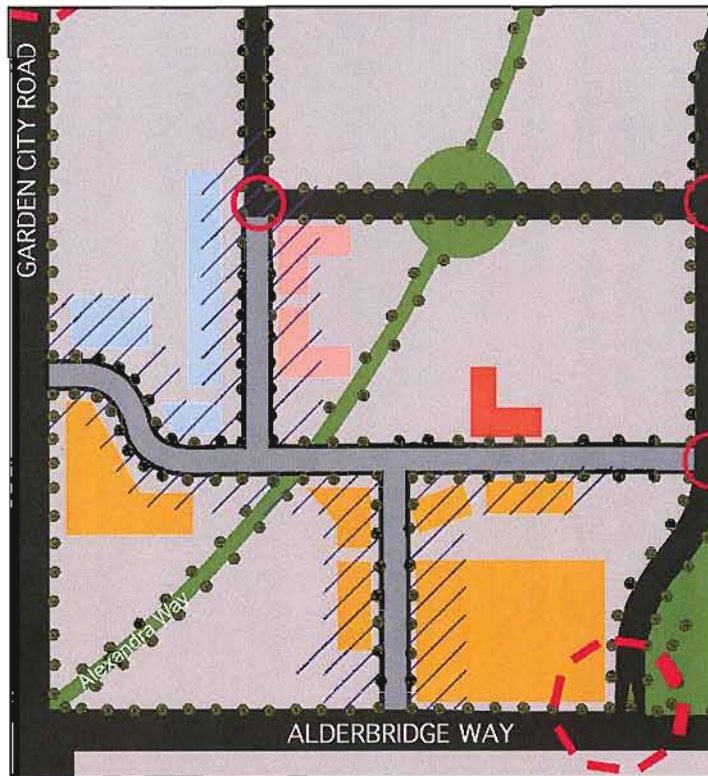
### LEGEND









1	Business Office	5	Low Density Housing	Proposed Trails & Greenways	Gateway Intersection
2	Mixed Use (Retail/Office/Hotel)	Mixed Use:	Existing Cycle Routes		
3	The High Street	• abutting the High Street, medium density residential over retail;	Proposed Cycle Routes		
4	Medium Density Housing	• not abutting the High Street, medium density residential.	Traffic Calming		
		Open Space System			

The images in this figure illustrate the range of built forms and open spaces that are envisioned for Alexandra. Each of the six character areas is described in the text and illustrated in more detail on Figures 3 through 8.

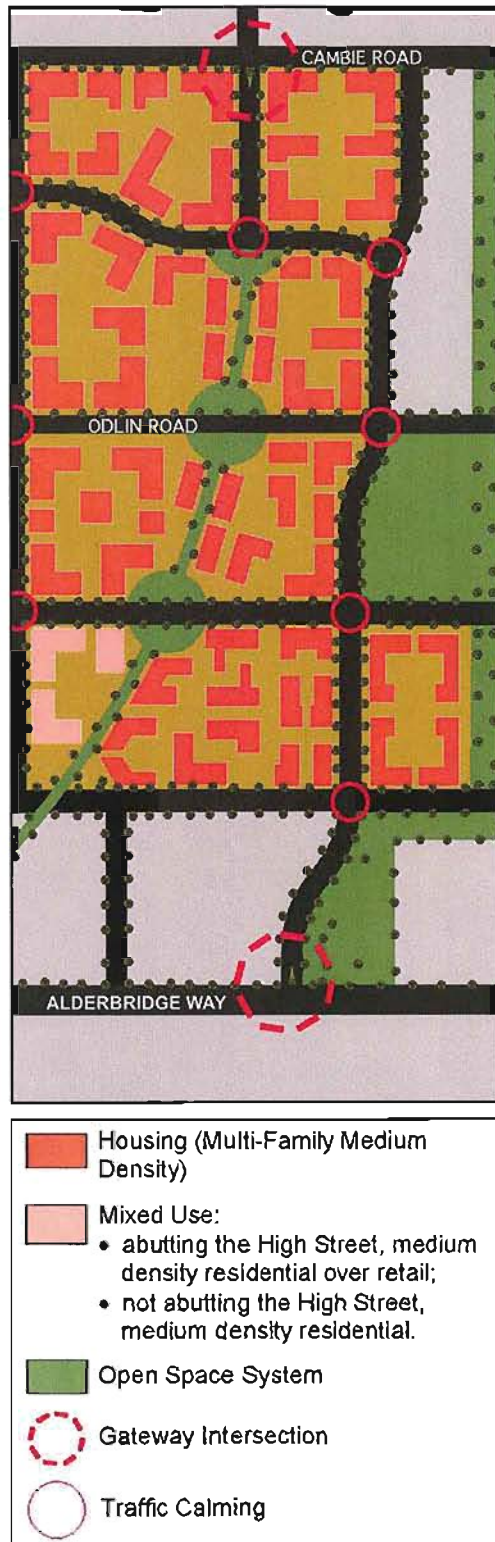


## Character Area 3 – The High Street



-  Mixed Use (hotel, office, retail, institutional)
-  Housing (Multi-Family Medium Density)
-  Mixed Use:
  - abutting the High Street, medium density residential over retail;
  - not abutting the High Street, medium density residential.
-  Business Office
-  The High Street
-  Open Space System
-  Gateway Intersection
-  Traffic Calming

## Character Area 4 – Medium Density Housing





**Richmond Zoning Bylaw 8500,  
Amendment Bylaw 9017 (RZ 12-598503)  
9311, 9331, 9393, 9431, 9451 and 9471 Alexandra Road**

The Council of the City of Richmond enacts as follows:

1. Richmond Zoning Bylaw 8500, as amended, is further amended by inserting as Section 18.25 thereof the following:

"18.25 Low Rise Apartment (ZLR25) – Alexandra Neighbourhood (West Cambie)"

**18.25.1 PURPOSE**

The zone provides for residential **development** with a **density bonus** for a monetary contribution to the City's capital Affordable Housing Reserve Fund.

**18.25.2 PERMITTED USES**

- housing, apartment
- housing, town

**18.25.3 SECONDARY USES**

- boarding and lodging
- community care facility, minor
- home business

**18.25.4 PERMITTED DENSITY**

1. The maximum **floor area ratio** is 1.68, together with an additional 0.1 **floor area ratio** provided that it is entirely used to accommodate **amenity space**.
2. Notwithstanding Section 18.25.4.1, the reference to "1.68" is increased to a higher **density** of "1.88" if the **owner** has paid or secured to the satisfaction of the **City** a monetary contribution of \$2,877,448.32 to the **City's** capital Affordable Housing Reserve Fund established pursuant to Reserve Fund Establishment Bylaw No. 7812.

**18.25.5 MAXIMUM LOT COVERAGE**

1. Maximum Lot Coverage: 45%

**18.25.6 MINIMUM SETBACKS FROM PROPERTY LINES**

1. **Public Road Setback:**
  - a) 4.0 m from Alexandra Road
  - b) 4.0 m from May Drive
  - c) 6.0 m from Tomicki Avenue
2. Common entry features and unenclosed **balconies** may project into the public road **setback** for a maximum distance of 1.0 m.

3. A parking **structure** may project into the public **road setback**, provided that such encroachment is landscaped or screened by a combination of trees, shrubs, ornamental plants or lawn as specified by a Development Permit approved by the **City**, but no closer than 3.0 m.
4. The minimum **setback** from the west **property line** is 7.5 m, with the parking **structure** being no closer than 5.0 m.

#### 18.25.7 MAXIMUM HEIGHTS

1. **Buildings:** 21.50 m
2. **Accessory Buildings & Structures:** 9.0 m

#### 18.25.8 SUBDIVISION PROVISIONS/MINIMUM LOT SIZE

1. There are no minimum **lot width**, **lot depth** or **lot area** requirements.

#### 18.25.9 LANDSCAPING AND SCREENING

1. **Landscaping** and **screening** shall be provided according to the provisions of Section 6.0.

#### 18.25.10 ON-SITE PARKING AND LOADING

1. On-site **vehicle** and bicycle parking and loading shall be provided according to the standards set out in Section 7.0, except that the number of on-site **parking spaces** required for **apartment housing** shall be:
  - a. 1.26 spaces per **dwelling unit** for residents; and
  - b. 0.18 spaces per **dwelling unit** for visitors.

#### 18.25.11 OTHER REGULATIONS

1. In addition to the regulations listed above, the General Development Regulations in Section 4.0 and the Specific Use Regulations in Section 5.0 apply."
2. Richmond Zoning Bylaw 8500, as amended, is further amended by repealing Section 20.16 Residential/Limited Commercial (ZMU16) – Alexandra Neighbourhood (West Cambie).
3. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, is amended by repealing the existing zoning designation of the following areas and by designating it "**Low Rise Apartment (ZLR25) – Alexandra Neighbourhood (West Cambie)**".

P.I.D 012-032-417

East Half Lot 24 Block "B" Section 34 Block 5 North Range 6 West New Westminster District Plan 1224

P.I.D 004-882-547

West Half Lot 23 Block "B" Section 34 Block 5 North Range 6 West New Westminster District Plan 1224

P.I.D 028-325-150

Lot A Section 34 Block 5 North Range 6 West New Westminster District Plan BCP45929



P.I.D 003-659-691

East Half Lot 22 Block "B" Section 34 Block 5 North Range 6 West New Westminster District Plan 1224

P.I.D 000-841-005

Lot 21 Except: Plan 69562, Block B Section 34 Block 5 North Range 6 West New Westminster District Plan 1224

P.I.D 001-715-330

Lot A Section 34 Block 5 North Range 6 West New Westminster District Plan 69562

4. This Bylaw is cited as "**Richmond Zoning Bylaw 8500, Amendment Bylaw 9017**".

FIRST READING

A PUBLIC HEARING WAS HELD ON

SECOND READING

THIRD READING

OTHER REQUIREMENTS SATISFIED

ADOPTED

CITY OF RICHMOND
APPROVED by 
APPROVED by Director or Solicitor 

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MAYOR

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CORPORATE OFFICE



**Termination of Housing Agreement at 9393 Alexandra Road (formerly  
9371 and 9411 Alexandra Road) Bylaw 9022**

The Council of the City of Richmond enacts as follows:

1. The Mayor and Corporate Officer for the City of Richmond are authorized:
  - a) to execute an agreement to terminate the housing agreements referred to in **Housing Agreement (9371 & 9411 Alexandra Road) Bylaw No. 8539** (the "Housing Agreement");
  - b) to cause notices and other charges registered at the Land Title Office in respect to the Housing Agreement to be discharged from title; and
  - c) to execute such other documentation required to effect the termination of the Housing Agreement.
2. This Bylaw is cited as "**Termination of Housing Agreement at 9393 Alexandra Road (formerly 9371 and 9411 Alexandra Road) Bylaw 9022**".

FIRST READING

SECOND READING

THIRD READING

PUBLIC HEARING

OTHER CONDITIONS SATISFIED

ADOPTED

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CITY OF RICHMOND
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APPROVED by Director or Solicitor <i>ry</i>

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MAYOR

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CORPORATE OFFICER