



To: Development Permit Panel
From: Brian J. Jackson, MCIP
Director of Development
Date: November 20, 2009
File: DP 09-471758
Re: **Application by Valencia Garden Limited Partnership for a Development Permit at 9460 and 9480 Westminster Highway**

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of 18 Unit Townhouse units plus 3 secondary units at 9460 and 9480 Westminster Highway on a site zoned "Town Housing (ZT 69) – North McLennan (City Centre)" in Zoning Bylaw 8500; and
2. Vary the provisions of the Zoning Bylaw to:
 - a) Allow for tandem parking in eight (8) townhouse units.
 - b) Increase the allowable porch projection from 2.0 to 2.2 meters to allow for the front porch of unit 8D1 to wrap around the corner of the building.

Brian J. Jackson, MCIP
Director of Development

DJ:cs
Att.

Staff Report

Origin

Valencia Garden Limited Partnership has applied to the City of Richmond for permission to develop an 18-unit Townhouse complex plus 3 secondary units at 9460 and 9480 Westminster Highway on a site zoned Town Housing (ZT 69) – North McLennan (City Centre). The site currently contains a single family dwelling on each lot.

The site is being rezoned from Residential “Single Detached District, Subdivision Area F (RS1/F)” to “Town Housing District (ZT 69) – North McLennan (City Centre)” for this project under Bylaw 8460 (RZ 08-427931).

A Servicing Agreement for the construction of Alder frontage improvements to Westminister Highway and City utility upgrades is a condition of the rezoning.

Development Information

Please refer to attached Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant Bylaw requirements. Overall, the proposed massing of the subject development responds well to the Multiple Family Design Guidelines

Background

Development surrounding the subject site is as follows:

To the north: Westminister Highway with the undeveloped Garden City Lands beyond;

To the east: A single-family lot consisting of a single family home at 9500 Westminister Highway on a site zoned “Single Detached (RS1/F)”;

To the south: Two single family lots at 9451 and 9471 Ferndale Road, each consisting of a single-family home. A recent rezoning application (RZ 09-498765) for a 20-unit townhouse project was received by the City from the same applicant as the subject site. The rezoning application is currently being reviewed by City Staff; and

To the west: Across from the partially completed Alder Street, the recently completed 52 unit multi-family development by Western Ferndale Holdings on a site zoned “Town Housing (ZT63)”.

Rezoning and Public Hearing Results

During the rezoning process, staff identified the following design issues to be resolved at the Development Permit stage (staff comments are in *bold italics*):

1. Overall appropriateness of the landscaping design, including a 2:1 tree replacement ratio.
 - *The applicant has responded by providing:*
 - *a strong separation of public and private space through the use of low walls and fencing as well as landscaped edge work;*
 - *Separation from Westminister highway through the use of hedging and other low types of plantings in addition to a trellis feature running parallel with the highway that will partially screen views to the internal drive aisle;*
 - *Separation between the internal pathway and the perimeter fencing to give a more functional and pleasing appearance; and*

- *trees planted along the internal drive-aisle soften the appearance of the north-south road.*
 - *A arborist report was submitted at the rezoning application stage and was reviewed by City staff. The report called for the removal of twenty-three (23) on-site trees. In accordance to City policy, the applicant must supply at least forty-six (46) trees to meet the 2:1 replacement ratio. The applicant is proposing to meet this requirement with the planting of fifty-one (51) trees in accordance to the submitted landscaping plan. The trees are to be planted throughout the site.*
2. Design of the play area within the amenity space.
 - *The applicant has provided the outdoor amenity area with ample space for a play area located at the visual end of the driveway to the site. The play area is protected by perimeter landscaping and is accessed through the mail area off the internal drive-aisle and from the pathway along the eastern edge of the property.*
 3. Location of the Hydro kiosk and landscaping showing how it will be screened from view.
 - *The proposal identifies two kiosk locations on along the eastern side of the property; both are screened from views by landscaping.*
 4. Building elevation refinement, especially along the street fronting elevation in accordance with the area plan Development Permit guidelines.
 - *The applicant has addressed the building frontage along Alder Street, including the highly visible corner of Alder Street and Westminster Highway by wrapping the front porch around the corner as well as enhancing the street fronting verandas that provide direct access to the units from the City sidewalk.*
 5. During the rezoning stage, staff received a letter from a neighbour at 9500 Westminster Highway concerned about the impact of this development and the amount of privacy of their back yard.
 - *The landscape architect has addressed this issue by planting a series of 4m high Austrian Pine trees along the south east property line in addition to a 6 foot high wood fence combined with vines and climbers. A copy and a description of the plan was sent to the neighbours of 9500 Westminster Highway with an invitation to comment, but none was received.*

The Public Hearing for the rezoning of this site was held on December 15, 2008. At the Public Hearing, no concerns about rezoning the property were expressed.

Staff Comments

The proposed development has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with Zoning Bylaw 8500 except for the zoning variances noted below.

Zoning Compliance/Variiances (staff comments in **bold**)

The applicant requests to vary the provisions of the Zoning Bylaw 8500 to:

- a) Allow for tandem parking in eight (8) townhouse units.

Staff supports the proposed variance as it will lessen the visual impact of large garage doors within the site while providing the same number of parking spaces on the site. The proposed tandem configuration are contained within each unit and will not negatively affect other units in the complex.

- b) Increase the allowable porch projection from 2.0 to 2.2 meters to allow for the front porch of unit 8D1 to wrap around the corner of the building.

Staff supports the proposed variance as it is a minor variance that will substantially improve the appearance of a highly visible corner.

Advisory Design Panel Comments

The Advisory Design Panel was favourable to the design presented to them at the July 8, 2009 meeting. A copy of the relevant excerpt from the Advisory Design Panel Minutes from the July 8, 2009 meeting is attached for reference (**Attachment 2**). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '***bold italics***'.

Analysis

Conditions of Adjacency

- The site is located on the corner of Westminster Highway and Alder Street and encompasses two existing residential lots. Adjacent to the site are the Garden City Lands across Westminster Highway to the north and the 52 unit multi-family development by Western Ferndale Holdings across Alder Street are to the west. The large, two-level single family home to the east at 9500 Westminster Highway is a more recent development. The City recently received a rezoning application for the two single-family lots to the south to develop a 20 unit Townhouse (RZ 09-498765) which proposes to be of the same massing and density. This application is currently under staff review.
- To address massing of 9500 Westminster Highway, the applicant has provided two separate buildings consisting of a triplex and a duplex along the eastern edge of the site. The size of each of these buildings is comparable to a larger single-family home.
- Overall, the proposed massing of the subject development responds well to the Multiple Family Design Guidelines.
- The provision of landscaping features provides good separation between public and private space and soften the interface area with adjacent properties.
- Vehicle access is off Alder Street and is identified through the permeable paving system.
- Metal fencing and gates with brick finished posts are used in combination with the landscaped edge in front of the units that face Alder Street. In addition, the metal fencing is used in combination with soft landscaping, and a trellis structure at the end of the drive-aisle toward Westminster Highway helps breaking the long sight line along the internal driveway from Westminster Highway.
- In accordance with the Aircraft Noise Sensitive Development Policy, the site is located within Area 4 which requires an acoustic report to be submitted at the time of applying for a Building Permit. A noise sensitive covenant requirement is secured at the rezoning stage.

Urban Design and Site Planning

- The buildings are grouped into five different clusters within the site. Two clusters containing four units front Alder street and have direct pedestrian access to the street through a front porch and veranda. A triplex and duplex are located along the eastern edge of the site at the

interface with the single detached swelling at 9500 Westminster Highway and a five-unit building along the southern end of the site abutting the two single detached sites to the south, which is currently under rezoning review for a townhouse development.

- Emphasis has been placed to separate vehicular and pedestrian access to the units. Pedestrian access to the units is proposed along the perimeter of the site with Alder Street and internal paths along the eastern and southern edges of the property. The central drive aisle is accessed off Alder Street, leading to the garages and carports of the units and is well screened from the perimeter views with the buildings and landscaping. A future access point to the adjacent property to the east at 9500 Westminster Highway is provided at the end of the east-west drive aisle and the access covenant requirement will be secured through rezoning.
- A 2.5 meter wide right-of-way is provided to allow for a two-meter wide sidewalk along Westminster Highway. The sidewalk shifts slightly to the north at the area where the drive-aisle ends to allow for a landscaping edge and a slightly softer appearance along the street frontage.
- The garbage collection is to be door-to-door and the recycling enclosure is located close to the entrance of the complex, along the north side of the drive-aisle at the south end of Building 1. The elongated wood enclosure for recycling has sliding doors to avoid door swing out onto the aisle. An alternative garbage location is provided next to the enclosure and is intended as a possible location should the future strata corporation wish to have a central garbage location instead of individual unit pickup.
- Pedestrian access to the units fronting Alder Street is provided through a metal gate and an entry porch which provides some private outdoor space for the residents and achieves an attractive street front as well.
- Parking requirements have been met. Each unit provides for two vehicles in a side-by-side configuration as well as a tandem arrangement for Buildings One and Two. A variance is required for the tandem arrangement and a covenant to prevent conversion to habitable space is required to be registered prior to the issuance of the Development Permit. Visitor parking meets the required number and the stalls are identified by a permeable paving system.
- The applicant has provided one unit for easy conversion for universal access through a designated parking stall, easy access to the outdoor amenity and the conversion potential of unit 18G.
- The applicant is also proposing ground level secondary units in each of the three units in Building Three. The units are about 200 sq. feet in size and provide a self-contained kitchen and bathroom. There are no parking concerns related to these suites which comply with the B.C. Building Code regarding secondary units in townhouse developments.

Architectural Form and Character

- The overall character of the proposal is conventional and conforms with the design guidelines of the North McLennan area. The proposal should fit in well to the surrounding area.
- This proposal provides a good transition to the smaller densities on the eastern side of Alder Street with the inclusion of two building clusters containing four units each. Each street front unit provides direct access to the unit through a front porch and veranda.

- The choice of finishing materials includes the use of hardi-board at the lower levels with horizontal vinyl board and shake vinyl on the upper levels. The front porch consists of a wood railing between columns supported by a stone base. The roofing material is weathered wood finished asphalt. Colour choice meets the heritage theme outlined in the Development Permit Guidelines of the McLennan North area plan through the use of warmer tones that should help the buildings blend in with its surroundings. The colour scheme is accented by the entry doors to the units where the colours differ from building to building to provide easy identification.
- Wood trim separates the material types of the façade in addition to providing a separation of the different levels of the units. The articulation on the building footprint as well as projections on the upper levels help break up some of the massing and help provide additional interest to the six unit buildings that front the street.

Landscape Design and Open Space Design

- An arborist report was submitted at the rezoning application stage and was reviewed by City staff. It was determined that because the required land dedication, the development footprint and grading requirements, none of the twenty-three (23) on-site trees could be retained and are therefore subject to the 2:1 replacement ratio as determined by policy. In response, the applicant is supplying an appropriate number of replacement trees as indicated in the chart below.

| Number of trees to be removed | Required number of trees to be replaced | Proposed number of trees to be planted | Surplus/Deficit |
|-------------------------------|---|--|-----------------|
| 23 | 46 | 51 | 5 (surplus) |

- The submitted landscape plan identifies a mixture of soft and hard landscaping to help identify edge treatments throughout the site. Hard surfaced landscaping through a permeable paving system is proposed to help soften the appearance of the internal drive-aisle and help identify areas of interest such as the amenity area and visitor parking.
- A mixture of plantings are shown along the street frontages of the site to provide a soft transition between public and private spaces.
- Some of the landscaping structures include low perimeter fencing around the play area, end of road trellis to help screen the long views to the site along Westminster Highway and perimeter wood fencing with hanging vines along the south and east edge of the property. The internal pathway along this perimeter fence is separated by 18" from the fence to allow for opportunities for planting to help make the path more functional and visually pleasing.
- The applicant has chosen to make a voluntary cash-in-lieu payment of \$18,000 instead of providing an indoor amenity space. Payment will be secured through the rezoning process.
- The applicant has provided a lighting plan to illustrate how the site is to be illuminated during evening hours. The fixtures themselves will provide downward casting illumination to avoid illumination of adjacent properties.
- The applicant is to provide security for landscaping through the Development Permit process.

Crime Prevention Through Environmental Design

- The proposed plan provides good edge treatments along the site to separate public and private space, establishing a good sense of territoriality.
- The submitted lighting plan should provide good nighttime illumination as well as not extending unwanted illumination onto adjacent properties.
- Building orientation and landscaping features provide good sight lines and view angles throughout the site.
- The units adjacent to the amenity area have windows on the ground and upper levels to help provide natural surveillance to this space.

Affordable Housing

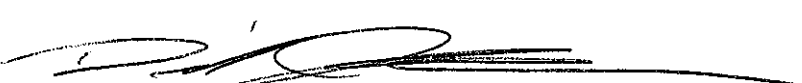
- The applicant is making a voluntary contribution of \$48,379.50 to affordable housing in accordance to the Affordable Housing Strategy. It is payable prior to the formal adoption of the rezoning application.

Sustainability indicators

- The proposed plan is reusing an existing site to increase living density in the neighbourhood, utilizing existing and proposed infrastructure more efficiently.
- The applicant is proposing a pedestrian-scale streetscape along Alder Street and Westminster Highway to add value to neighbourhood and the extensive landscaping that will improve over time.
- The proposed lighting plan will focus on illuminating the subject site and not add unnecessary illumination to adjacent properties and reduce light pollution.
- The residential units will provide energy efficient appliances and water saving faucets.
- The site is close to a major transit corridor for convenient use.
- A permeable paving system covering approximately 50% of the hard surfaces are proposed on areas where the concrete pavers are located.

Conclusions

Valencia Garden Limited Partnership has applied to the City of Richmond for permission to develop an 18 unit Townhouse complex plus 3 secondary units at 9460 and 9480 Westminster Highway. The design has gone through some modifications with staff and have now come up with a design that is satisfactory to the design guidelines for the area. Staff supports the recommendation of approving this Development Permit application, as the proposed design should fit well within the streetscape and the rest of the neighbourhood.



David Johnson
Planner

DJ:cas

The following are to be met prior to forwarding this application to Council for approval:

- Receipt of a Letter-of-Credit for landscaping in the amount of \$48,362.00 (based on total floor area of 24,181 sq. feet).
- Registration of a covenant to prevent tandem parking areas to be converted to habitable space.

Prior to future Building Permit issuance, the developer is required to complete the following:

- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Division at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Division (<http://www.richmond.ca/services/tp/special.htm>).
- Submission of an acoustical report identifying indoor sound mitigation methods to the building components (e.g. floors, walls) to achieve the following indoor sound levels (with doors and windows closed):

| Portions of Dwelling Units | Noise Levels (decibels) |
|--|-------------------------|
| Bedrooms | 35 dB |
| Living, dining and recreation rooms | 40 dB |
| Kitchen, bath, hallways, and utility rooms | 45 dB |



City of Richmond

6911 No. 3 Road
 Richmond, BC V6Y 2C1
 www.richmond.ca
 604-276-4000

**Development Application
 Data Sheet**
 Development Applications Division

DP 09-471758

Attachment 1

Address: 9460 and 9480 Westminster Highway

Applicant: Valencia Garden Limited Partnership Owner: Valencia Garden Ltd. Partnership

Planning Area(s): City Centre - McLennan North Sub-Area (OCP 2.10C)

Floor Area Gross: 2,247 m² Floor Area Net: same

| | Existing | Proposed |
|------------------|---|---|
| Site Area: | 3,691 m ² | 2,996 m ² |
| Land Uses: | Single-Family | Multi-Family |
| OCP Designation: | Residential Area 3, 0.65 base FAR Two-Family Dwelling / 2 & 3-storey Townhouses | No change |
| Zoning: | Single-Family Housing District, Subdivision Area F (R1/F) | Town Housing (ZT 69) – North McLennan (City Centre) |
| Number of Units: | 2 | 18 plus 3 Secondary Units |

| | Bylaw Requirement | Proposed | Variance |
|---|--------------------------|----------------------------------|----------------------------------|
| Floor Area Ratio: | 0.75 | 0.75 | none permitted |
| Lot Coverage: | Max. 41% | 41% | none |
| Setback – Westminster Highway: | Min. 6.0 m | 6.0 m | Porch Projection |
| Setback – Alder Street: | Min. 4.5 m | 4.5 m | Porch Projection |
| Setback – Side Yard: | Min. 3.0 m | 5.5 m | none |
| Setback – Rear Yard: | Min. 3.0 m | 4.7 m | none |
| Height (m): | Max. 13.2 m | 12.0 m | none |
| Lot Size: | N/A | N/A | N/A |
| Off-street Parking Spaces – Regular/Visitor: | 30 regular and 4 visitor | 36 regular and 4 visitor | none |
| Off-street Parking Spaces – Accessible: | 1 | 1 | none |
| Total off-street Spaces: | 34 | 40 | none |
| Tandem Parking Spaces | not permitted | 8 tandem stalls (16 vehicles) | 8 tandem stalls (16 vehicles) |

| | | | |
|--------------------------|-------------------------|----------------------|------|
| Amenity Space – Indoor: | Min. 70 m ² | cash-in-lieu payment | none |
| Amenity Space – Outdoor: | Min. 108 m ² | 111 m ² | none |

**Excerpt from the Minutes from
The Design Panel Meeting**

**Wednesday, July 8, 2009 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall**

**DEVELOPMENT PERMIT 09-471758 – DEVELOPMENT OF A 18 UNIT
TOWNHOUSE COMPLEX**

APPLICANT: Valencia Garden Limited Partnership

PROPERTY LOCATION: 9460/9480 Westminster Highway

Planner David Johnson presented the site context and provided background information.

Panel Discussion

Comments from the Panel were as follows:

- consider shifting the gateway to one side or the other in order to have a more contiguous lawn area at the back of the play area; consider greater landscape species diversity; consider pulling back the arc in an effort to match the raised planter;
- like the porch configuration on Alder Street as it has a nice relationship to the street; ensure that the outer edge along Alder Street is well planted and that the hedging defines the private and public space;
- this is a nice project for its size; the building massing and scale has sufficient detail and a nice color scheme; enjoy the hip-roofs and the departure from Craftsman style buildings; reconsider the location of the extended garage in Blocks 1 and 2, consider flipping the locations with the shorter units; the facing of the main entries and the perimeter of the site is well done; consider combining Building 1 and 2 to increase the scale of the remaining outdoor space;
- the site planning is well done; the amenity space is adequate for the size of the proposed development and is well located; the materials proposed compliment the neighbourhood; support for the Alder Street elevation, particularly the porches; consider relocating the electrical closet so it is not facing Alder Street (Building 5); concerned with privacy issues related to the separation between Building 1 and 2 and the bay windows;
- the rental spaces in A units are very desirable for someone with mobility issues; consider sliding doors vs. wide-hinged doors as it provides better access; the den on the ground floor for units C and D could be used as office space if the floor space permits suitable furniture; G unit provides a good opportunity for additional amenities on the main floor, it is an excellent, very adaptable unit; and

- this is a good design on a compact site; as there are rental suites, consider reducing parking requirements as it would further open the site.

Panel Decision

It was moved and seconded

That DP 09-471758 move forward to the Development Permit Panel taking into consideration the following comments of the Advisory Design Panel:

1. consider the geometry of the raised planters and the immediate shape of the drive-aisle;
The planter has been removed and the plaza reshaped.
2. consider diversification of tree species;
Trees have been diversified.
3. ensure strong articulation of planting on Alder Street to define public and private spaces;
The fence line and planting have been modified.
4. reconsider the location of the extended units in Building 1 and 2;
We decided the original solution was the best decision for this project.
(staff comment: it was felt that having the tandem garages at the end of the buildings provided an 'anchoring' effect to each building)
5. consider relocating electrical closets, particularly the electrical closet located on the west façade of Building 5;
The Building 5 electrical closet has been moved as were the kiosks on Alder Street.
6. reconsider the number of hydro kiosks for the development, one may be sufficient instead of two;
The electrical engineer has reconsidered the kiosk requirements. While two are still needed, they have been relocated on the site.
7. consider the configuration of the bay windows in relation to privacy concerns and the separation between Building 1 and 2;
We have reshaped the bays and offset the windows to increase privacy between bedroom windows.
8. consider sliding doors for washroom in rental units;
A sliding door was considered but electrical switch and outlet locations preclude the change.
9. consider more floor space for C and D units to allow for a home office;
There is no additional floor area available to add to these units. We reviewed the unit layouts and note that a simple office arrangement will fit in these ground floor spaces.

10. consider placing amenities on the main floor of G unit; and
There is no additional floor area available to add to these units.
11. consider a reduction in parking requirements in order to reduce impacts to the site.
We prefer to maintain all the proposed parking.

CARRIED



No. DP 09-471758

To the Holder: VALENCIA GARDEN LIMITED PARTNERSHIP

Property Address: 9460 AND 9480 WESTMINSTER HIGHWAY

Address: 250 – 8833 ODLIN CRESCENT
 RICHMOND, BC V6X 3Z7

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) Allow for tandem parking in eight (8) townhouse units.
 - b) Increase the allowable porch projection from 2.0 to 2.2 meters to allow for the front porch of unit 8D1 to wrap around the corner of the building.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #14 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$48,362.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 09-471758

To the Holder: VALENCIA GARDEN LIMITED PARTNERSHIP
Property Address: 9460 AND 9480 WESTMINSTER HIGHWAY
Address: 250 – 8833 ODLIN CRESCENT
RICHMOND, BC V6X 3Z7

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF

ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

MAYOR

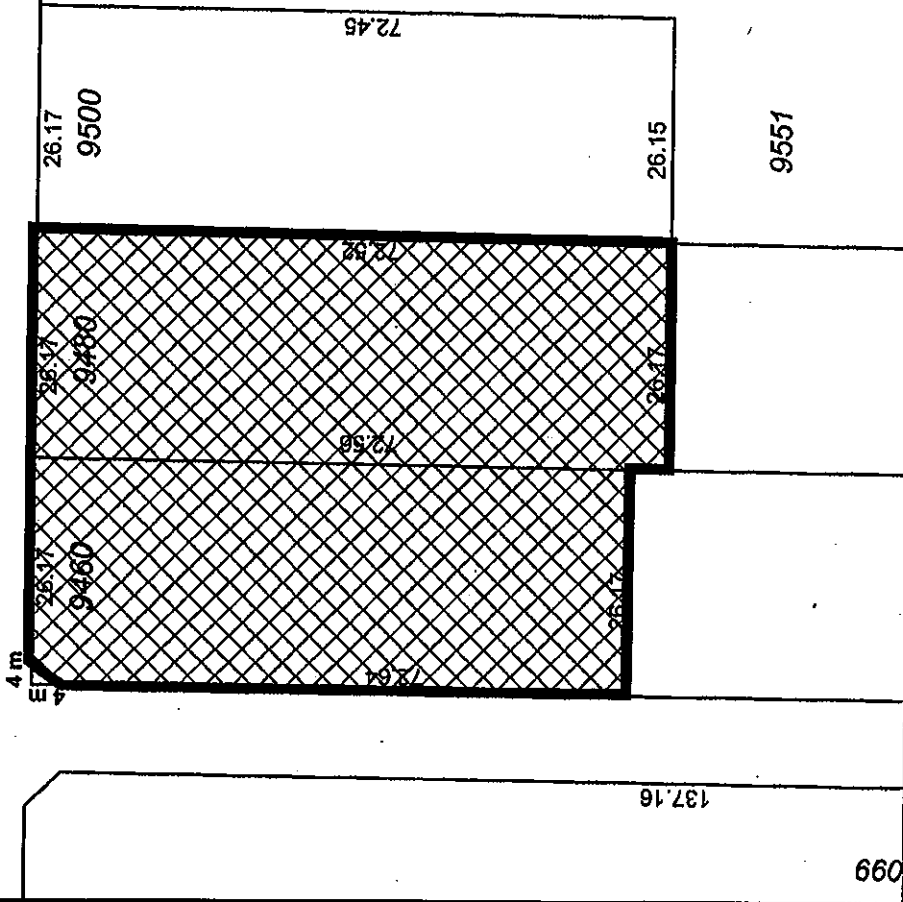


City of Richmond

9111
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SITE

WESTMINSTER HWY

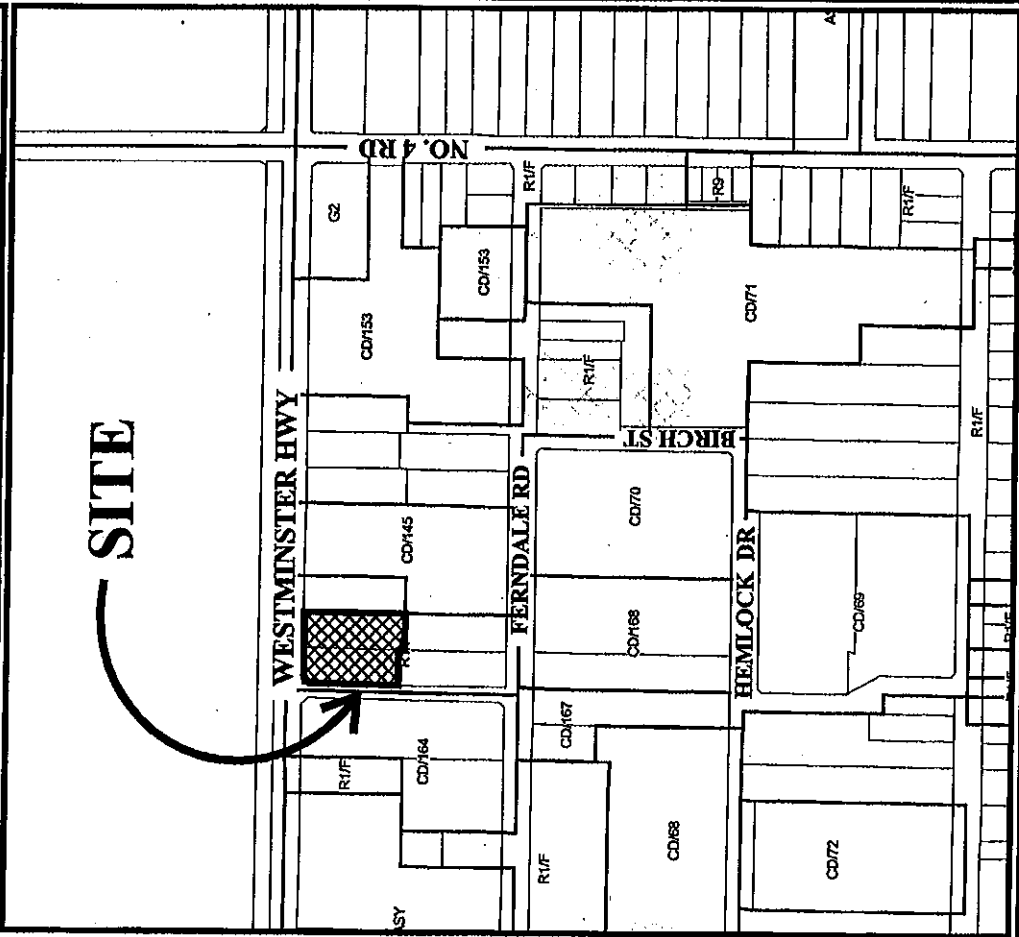
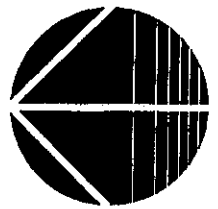


Original Date: 06/03/09

Revision Date:

Note: Dimensions are in METRES

DP 09-471758 SCHEDULE "A"



SITE ADDRESS

9460/9480 WESTMINSTER HIGHWAY, RICHMOND, B.C.

LEGAL DESCRIPTION

Section 10, BLK4N, RG6W PL 1305 Lot W1/2 B,
Suburban Block A, Except Plan S 251 & Section 10,
BLK4N, RG6W PL 1305 Parcel C, Suburban Block A,
Subsidiy Lot E1/2 8, EXP 18827

SITE DATA

Existing Zoning R1/F
Proposed Zoning CD / 202

Site Area 32,253 sf (2,996 sm)
(0.740 Acres)

Unit count 18 plus 3 optional rental suites
Proposed Density 24.3 upa

| Unit Area Calculation | |
|--------------------------|-----------------------|
| 2 A1 | 1,615 sf = 3,230 sf |
| 1 A2 | @ 1,604 sf = 1,604 sf |
| 4 C | @ 1,144 sf = 4,576 sf |
| 2 D1 | @ 1,434 sf = 2,868 sf |
| 2 D2 | @ 1,437 sf = 2,874 sf |
| 3 E | @ 1,291 sf = 3,873 sf |
| 3 F | @ 1,208 sf = 3,624 sf |
| 1 G | @ 1,532 sf = 1,532 sf |
| 18 Units | = 24,181 sf |
| Maximum FAR Proposed FAR | 0.750 0.750 |

Maximum Off-Street Parking Floor Area 50.0 sm/unit
Provided Off-Street Parking Floor Area 41.6 sm/unit

| Coverage Calculation | |
|----------------------|---------------------|
| 4 A1 | @ 802 sf = 1,604 sf |
| 1 A2 | @ 792 sf = 792 sf |
| 4 C | @ 576 sf = 2,304 sf |
| 2 D | @ 873 sf = 3,492 sf |
| 3 E | @ 663 sf = 1,989 sf |
| 3 F | @ 630 sf = 1,890 sf |
| 1 G | @ 973 sf = 973 sf |
| 2 Elec. Room | @ 40 sf = 80 sf |
| Total | = 13,124 sf |

Maximum Site Coverage 41.0 %
Proposed Site Coverage 40.7 %

Maximum Building Height 13.20 m
Proposed Height 13.09 m

Minimum Setbacks
Westminster Highway 6.0 m
Alder Street 4.5 m
Side Yard 3.0 m
Rear Yard 3.0 m

Parking Requirements
Residential 1.5 cars/unit for 18 units 27 Stalls
Suites 1.0 car/unit for 3 suites 3 Stalls
Visitor 0.2 cars/unit for 18 units 4 Stalls

Total Required 34 Stalls
Parking Provided
Residential 33 Stalls
Visitor 3 Stalls
Total Provided 40 Stalls

Small Car Count 28 Stalls
Standard Spaces Required (70%) 33 Stalls
Standard Spaces Provided (83%)

Open Space Required (6 m2 x 18) = 108 m2
Open Space Provided 111 m2

Garbage / Recycling Door to Door

DRAWING LIST

| SHEET | TITLE | SCALE |
|-------|------------------------|--------------|
| 0 | SITE DATA | NTS |
| 1 | SITE PLAN | 1/8" = 1'-0" |
| 2 | LANDSCAPE PLAN | 1/8" = 1'-0" |
| 3a | LANDSCAPE PLAN | 1/8" = 1'-0" |
| 3b | PLANT LIST AND DETAILS | 1/8" = 1'-0" |
| 3c | DETAILS | 1/8" = 1'-0" |
| 3d | LIGHTING CONCEPT PLAN | 1/8" = 1'-0" |
| 4 | ELEVATIONS - BLOCK 1 | 1/8" = 1'-0" |
| 5 | ELEVATIONS - BLOCK 2 | 1/8" = 1'-0" |
| 6 | ELEVATIONS - BLOCK 3 | 1/8" = 1'-0" |
| 7 | ELEVATIONS - BLOCK 4 | 1/8" = 1'-0" |
| 8 | ELEVATIONS - BLOCK 5 | 1/8" = 1'-0" |
| 9 | STREETSCAPE | 1/8" = 1'-0" |
| 10 | UNIT PLANS G | 1/4" = 1'-0" |

DEVELOPMENT
PERMIT NO.
DP-09-471758

**VALENCIA
GARDEN**

BY VALENCIA GARDEN LIMITED PARTNERSHIP

DP REEXAMINATION
NOVEMBER 10, 2009

**FOUGERE
ARCHITECTURE**

INC.
2501-2525 HALL STREET - 4TH FLOOR
VANCOUVER, BC V6K 1K6
TEL: 604-275-1100 FAX: 604-275-1101

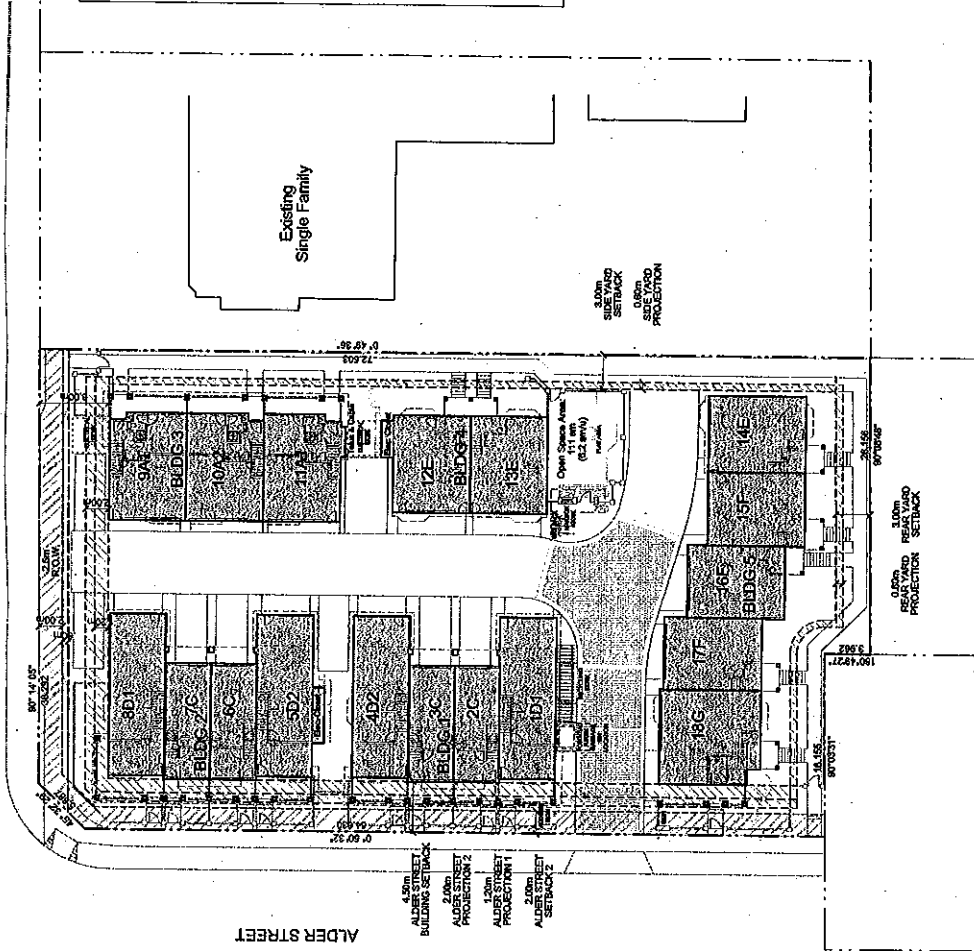
DP 09471758

PAGE #1

PLAN #0

WESTMINSTER HIGHWAY

2.00m WESTMINSTER HIGHWAY AND ALDER STREET PROJECTION 1
 2.00m WESTMINSTER HIGHWAY AND ALDER STREET PROJECTION 2
 6.00m WESTMINSTER HIGHWAY AND ALDER STREET PROJECTION 1
 6.00m WESTMINSTER HIGHWAY AND ALDER STREET PROJECTION 2
 BUILDING SETBACK



LEGEND
 CO/202



- 2.00m WESTMINSTER HIGHWAY AND ALDER STREET PROJECTION 2**
 201.202.451 (f)
 Columns, porches, and other landscape structures that do not screen to an entrance at the building level may be located within the public road setback, but shall be no closer to a property line than 2m (6.5ft).
- 1.50m WESTMINSTER HIGHWAY AND ALDER STREET PROJECTION 1**
 201.202.451 (g)
 Columns, porches, and other landscape structures that do not screen to an entrance at the building level may be located within the public road setback, but shall be no closer to a property line than 1.5m (4.9ft).
- 2.00m WESTMINSTER HIGHWAY AND ALDER STREET PROJECTION 2**
 201.202.451 (h)
 Columns, porches, and other landscape structures that do not screen to an entrance at the building level may be located within the public road setback, but shall be no closer to a property line than 2.0m (6.5ft).
- 0.80m SIDE AND REAR YARD PROJECTION**
 201.202.452 (a)
 Porches, balconies, bay windows, decked decks and other landscape structures that are part of the principal building may project into the side and rear yards for a distance of not more than 0.8m (2.6ft).

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**VALENCIA
 GARDEN**
 by
**FOUGERE
 ARCHITECTURE**
 INC.

VALENCIA GARDEN LIMITED PARTNERSHIP
 09 RESUBMISSION
 NOVEMBER 20, 2008

DP09471758
 PAGE #2

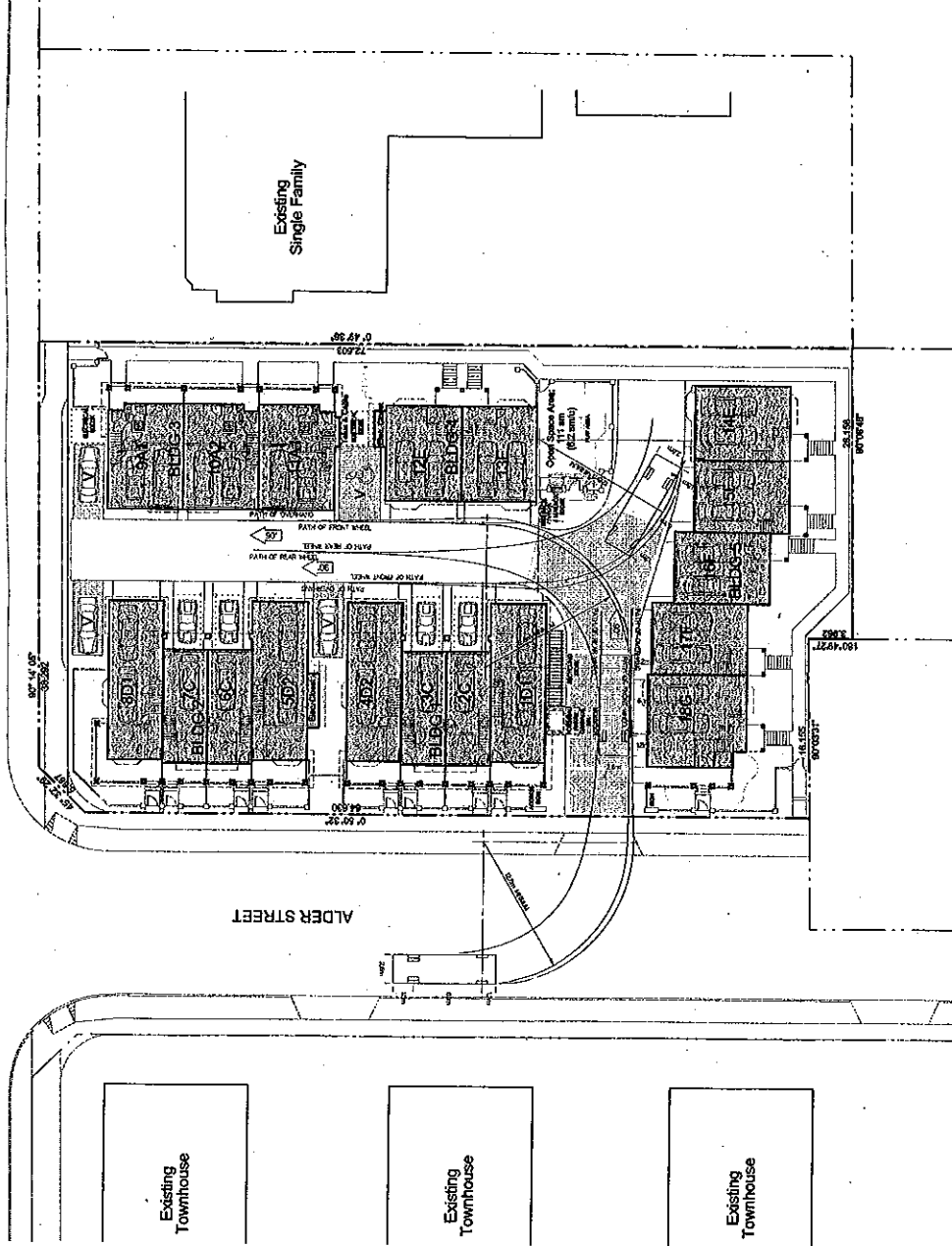


SITE PLAN
 SCALE 1/16" = 1'-0"

PLAN #1

WESTMINSTER HIGHWAY

ALDER STREET



Existing Townhouse

Existing Townhouse

Existing Townhouse

Existing Single Family

DEVELOPMENT PERMIT NO. DP-09-471758

VALENCIA GARDEN by VALENCIA GARDEN LIMITED PARTNERSHIP

DP RESUBMISSION NOVEMBER 20, 2009

FOUGERE ARCHITECTURE INC.

201 - 328 WEST 13TH AVENUE SUITE 100 VANCOUVER, BC V6Z 1Y9 (604) 275-2339

DP 09471758

PAGE #3

PLAN #2

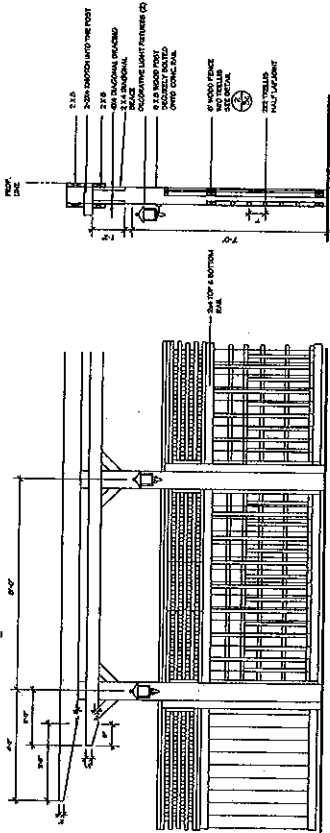
PARKING PLAN SCALE 1/16" = 1'-0"



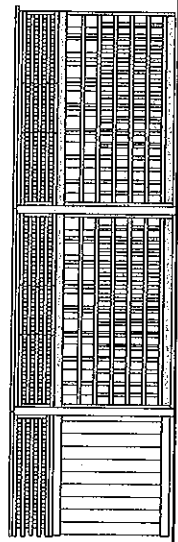
| REPLACEMENT TREE RATIONAL | VALUATION | REQUIRED REPLACEMENT | BALANCE |
|---------------------------|----------------|----------------------|---------|
| 16000-30000 | 32 (60% 3M FT) | 22 (61.1%) | 10 |
| 5000-16000 | 10 (26% 4M FT) | 5 (6.2%) | 5 |
| 2000-5000 | 4 (9%) | 4 (9%) | 0 |

PLANT LIST
PROJECT ADDRESS VALENCIA GARDEN

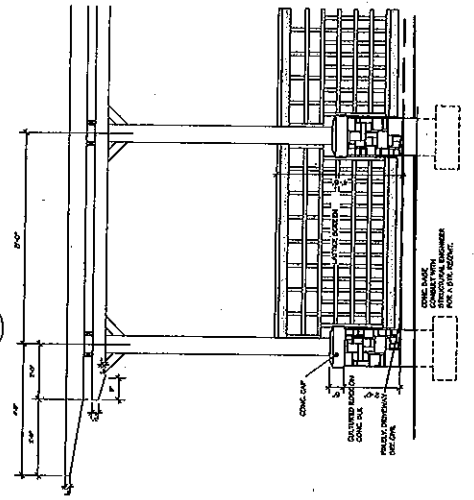
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|------|-----|--------|-------------|
| 1 | 1 | 1 | ARBOREUS |
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| 4 | 1 | 4 | ARBOREUS |
| 5 | 1 | 5 | ARBOREUS |
| 6 | 1 | 6 | ARBOREUS |
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| 97 | 1 | 97 | ARBOREUS |
| 98 | 1 | 98 | ARBOREUS |
| 99 | 1 | 99 | ARBOREUS |
| 100 | 1 | 100 | ARBOREUS |



1 ROAD END TRELLIS
SCALE 1/4\"/>



2 6HT WOOD FENCE W/LATTICE
SCALE 1/4\"/>



3 ARBOR
SCALE 1/4\"/>

NOTES

1. ALL MATERIALS AND SPECIFICATIONS SHALL BE IN ACCORDANCE TO THE MOST RECENT BRITISH COLUMBIA LANDSCAPE STANDARDS.
2. THE DEPTH OF GROWING MEDIUM SHALL BE 18\"/>

ITC
LANDSCAPE ARCHITECTS
8437 FARMWAY ROAD
RICHMOND, BC V6V 1Y5
PHONE: (604) 275-2812
FAX: (604) 275-2818
EMAIL: RICHMOND@ITC.COM

PLANT LIST

| | |
|------------|-----------------|
| DATE | 18/01/17 |
| DRAWN BY | IT |
| CHECKED BY | IT |
| SCALE | AS SHOWN |
| PROJECT | 09471758 |
| CLIENT | VALENCIA GARDEN |
| LOCATION | VALENCIA GARDEN |

09471758
PAGE #5

REV 11/20/08
Issued for IP
Date: 11/20/08
Project: 2008-0001
Drawn by: [Name]
Checked by: [Name]
Date: 11/20/08
Scale: AS SHOWN
Rev: 11/20/08
Date: 11/20/08
Project: 2008-0001
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Project: 2008-0001
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Rev: 11/20/08
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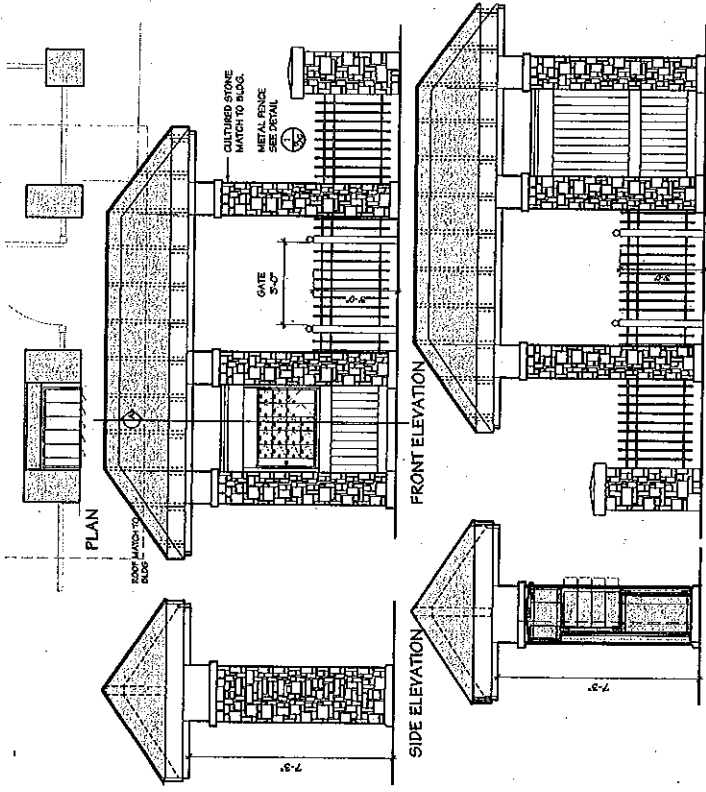


ITO & ASSOCIATES
Landscaping Architects
8455 Highway 66
Richmond, B.C. V6X 1Y5
Vancouver, B.C. V6X 1Y5
Phone: (604) 275-2912
Fax: (604) 277-5288
E-mail: info@itovancouver.com
Website: www.itovancouver.com

9460
WESTMINSTER HWY.
RICHMOND, B.C.
VALENCIA GARDEN

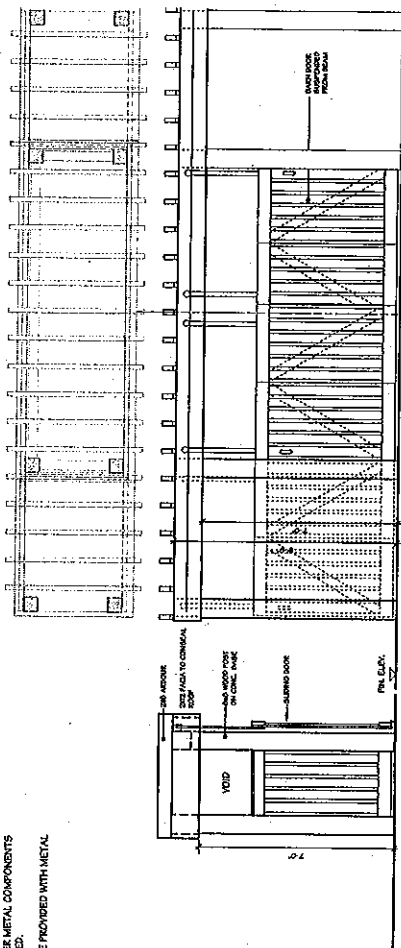
Drawn: [Name]
Details

3C



MAIL KIOSK/ AMENITY ENTRANCE

3C

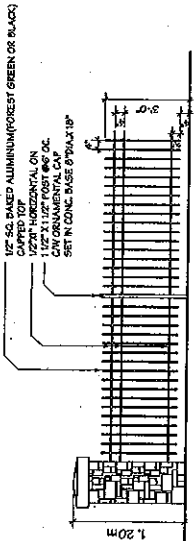


RECYCLE BOX ENCLOSURE

3C

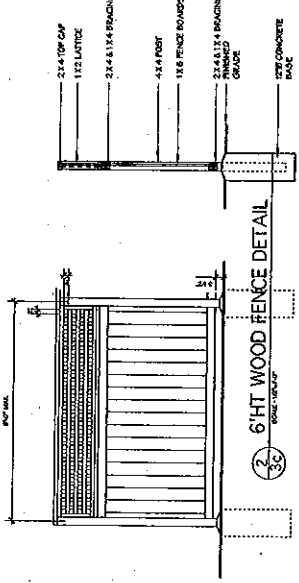
SEE STRUCTURAL ENGINEER FOR
CONCRETE REINFORCEMENT AND
FOUNDATION DETAILS

NOTE
ALL WOOD SHALL BE PRESSURE TREATED FIRE
5-4 S.P.
ALL WOOD SHALL BE STAINED WITH 2 COATS
SOLID STAIN, COLOUR TO BE COORDINATED
WITH THE BUILDING AND APPROVED BY THE
ARCHITECT PRIOR TO
APPLICATION.
ALL NAILS AND OTHER METAL COMPONENTS
SHALL BE GALVANIZED.
ALL GATES SHALL BE PROVIDED WITH METAL
LATCH ASSEMBLIES



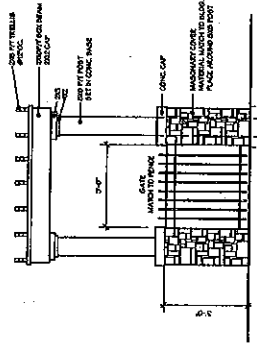
METAL FENCE/POST DETAIL

3C



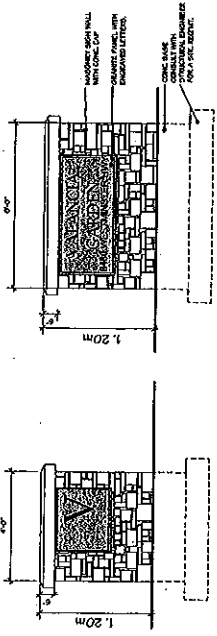
6 IN WOOD FENCE DETAIL

3C



PEDESTRIAN ENTRY

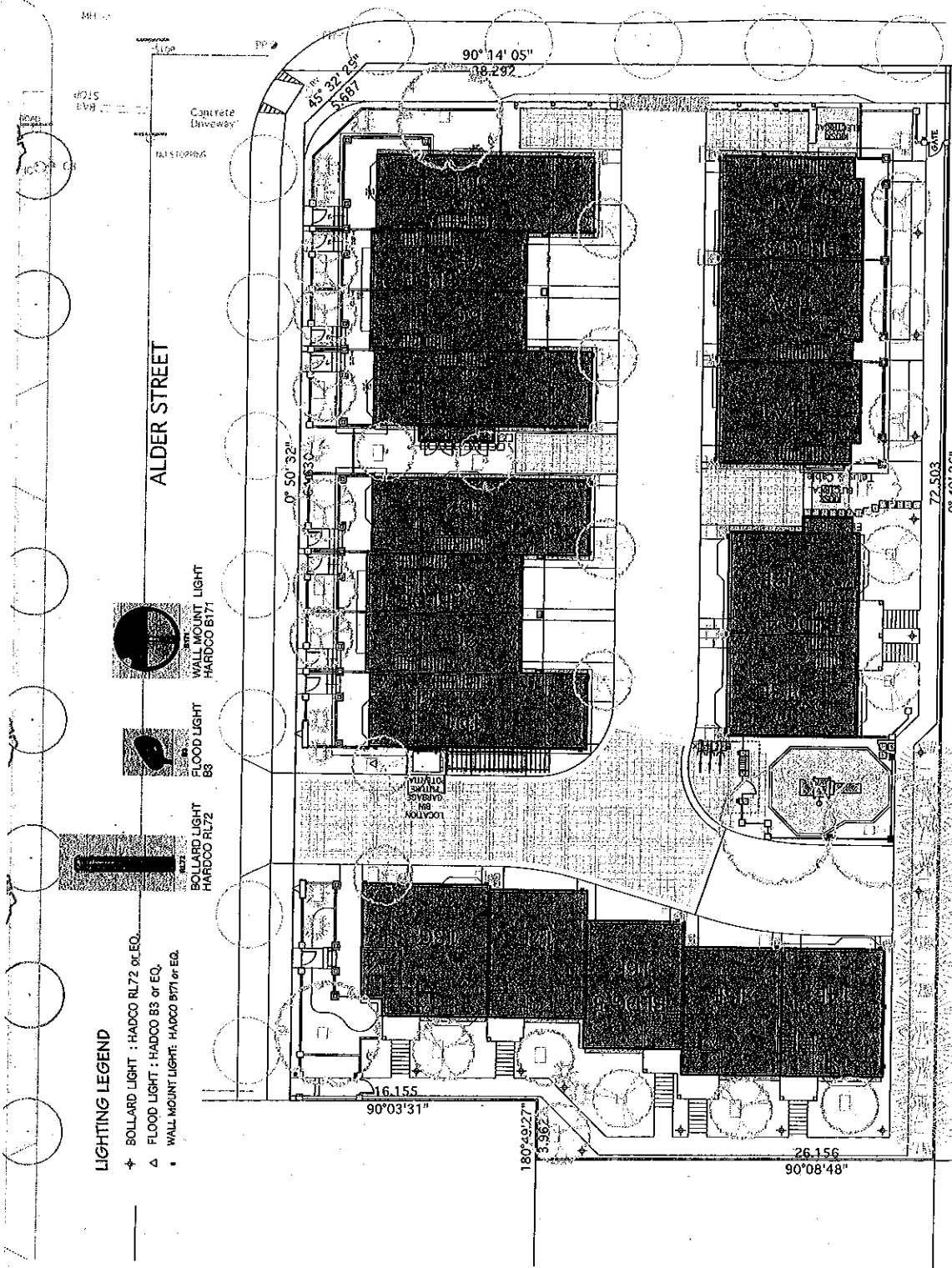
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ENTRY SIGN

3C

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PAGE #11



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HADCO RL72
 HADCO B3
 HADCO B171
 HADCO RL72
 HADCO B3
 HADCO B171
 HADCO RL72
 HADCO B3
 HADCO B171
 HADCO RL72
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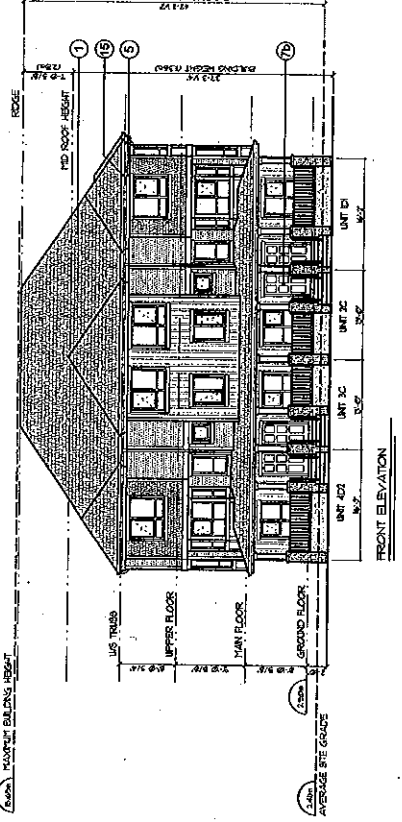
ITO
 & ASSOCIATES
 Landscape Architect
 4511 Fairview Road
 Richmond, B.C. V7C 1Y5
 Voice: (604) 271-9813
 Fax: (604) 271-8866
 Email: ito@itofirm.com

Project:
 9460
 WESTMINSTER HWY.
 RICHMOND, B.C.
 VALENCIA GARDEN

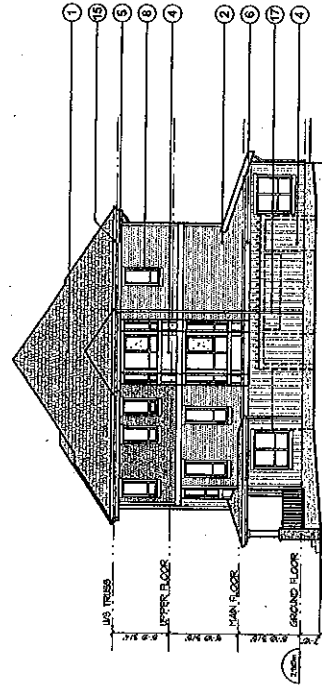
Drawing Title:
 LIGHTING
 CONCEPT PLAN

| NO. | DATE | BY | CHKD. |
|-----|----------|----|-------|
| 1 | 10/11/07 | IT | IT |
| 2 | 10/11/07 | IT | IT |
| 3 | 10/11/07 | IT | IT |
| 4 | 10/11/07 | IT | IT |
| 5 | 10/11/07 | IT | IT |

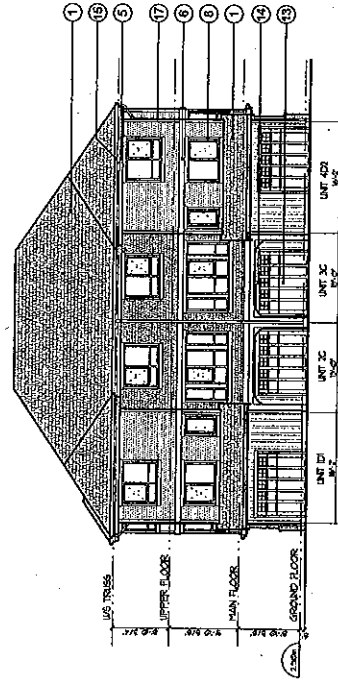
PLAN MONTEBEL BUILDINGS NORTH



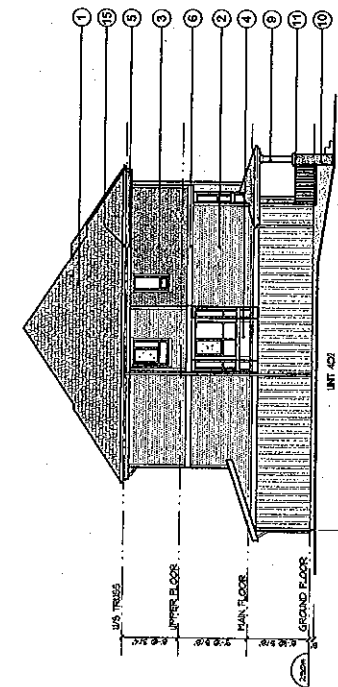
FRONT ELEVATION



SIDE ELEVATION



BACK ELEVATION



SIDE ELEVATION

EXTERIOR FINISHES SCHEDULE

- 1 ROOF FINISH - HORIZONTAL
- 2 VINYL SLIDES
- 3 VINYL SIDING & PANELS
- 4 FASOGA
- 5 ENTRY DOOR (Exterior Only) Building 19.15
- 6 ENTRY DOOR (Exterior Only) Building 17.4
- 7 DOOR CASINGS
- 8 STONE
- 9 MTD PANIC FICKETS
- 10 MTD PANIC FICKETS
- 11 GARAGE DOOR
- 12 GARAGE DOOR TRIM
- 13 GUTTERS
- 14 DOWNSPOUTS
- 15 ALL FLASHING

PAVING: Apache Angles - Weathered Wood
 GENTEK: The Facade - 1245 (Brown)
 SHERRILL WILLIAMS - 50 7534 (White)
 SHERRILL WILLIAMS - 50 7534 Mason Blanche
 SHERRILL WILLIAMS - 50 7534 Mason Blanche
 SHERRILL WILLIAMS - 50 5530 (Natural Stone)
 SHERRILL WILLIAMS - 50 7534 Mason Blanche
 SHERRILL WILLIAMS - 50 7534 Mason Blanche
 SHERRILL WILLIAMS - 50 7534 Mason Blanche
 OVERHEAD DOOR Thermacolor Terra Bronze (All options)
 OVERHEAD DOOR Thermacolor Terra Bronze (All options)
 GENTEK: Cahanna BK
 VENTING: Sanyo
 MATCH TO WINDOWS: BK
 MATCH TO WINDOWS: (GENTEK: Wicker 538)

DEVELOPMENT PERMIT NO. DP-09-471758

VALENCIA GARDEN

DP RESUBMISSION NOVEMBER 18, 2009 VALENCIA GARDEN UNITED PARTNERSHIP

FOUGERE ARCHITECTURE INC.

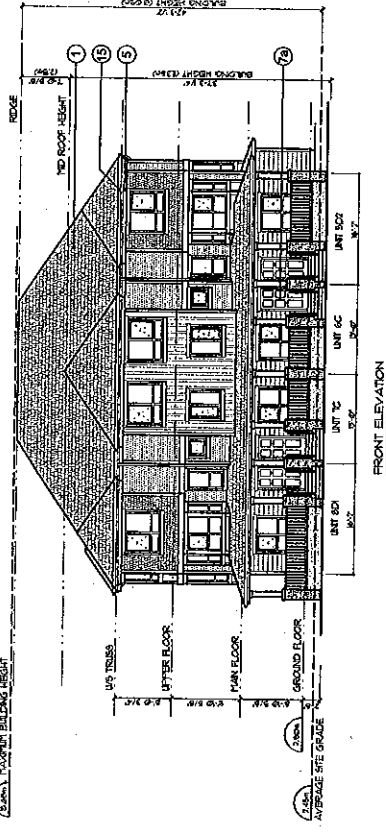
PLAN #4

DP09471758
PAGE #8

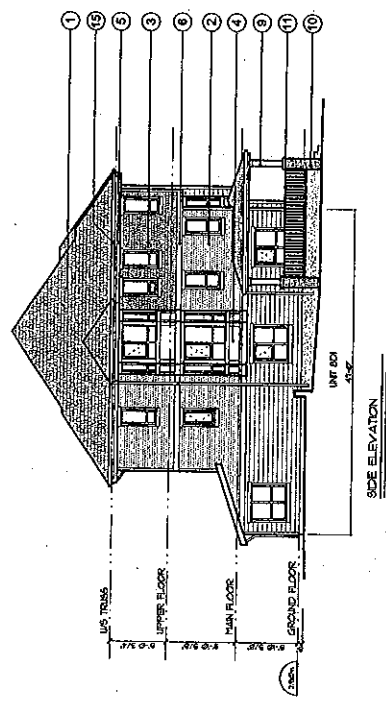
ELEVATIONS BUILDING 1
SCALE 1/8" = 1'-0"



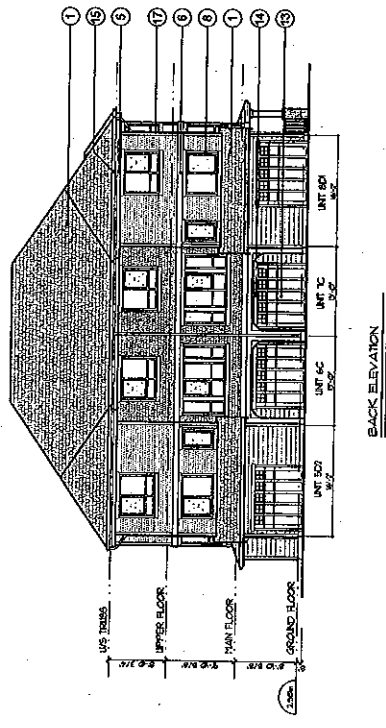
5'-0" MAXIMUM BUILDING HEIGHT



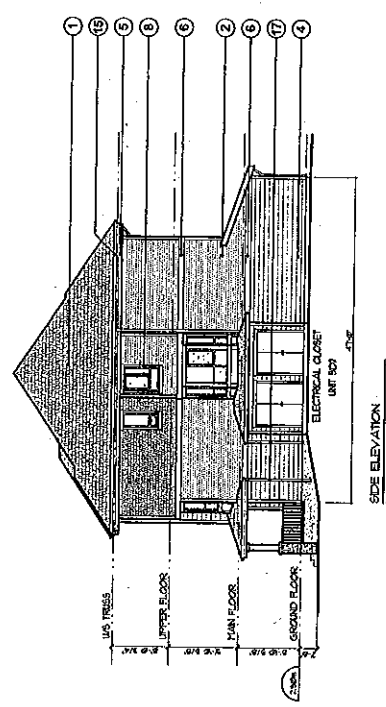
FRONT ELEVATION



SIDE ELEVATION



BACK ELEVATION

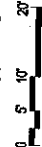


SIDE ELEVATION

EXTERIOR FINISHES SCHEDULE

- 1. ROOF SIDING - HORIZONTAL
 - 2. VINYL SHAKES
 - 3. FAÇO SIDING & PANELS
 - 4. TRIM
 - 5. ENTRY DOOR (Exterior Only) Buildings 2 & 5
 - 6. WINDOW TREATMENTS
 - 7. WINDOW COULINGS
 - 8. STONE COLUMNS
 - 9. WOOD RAIL & PICKETS
 - 10. GARAGE DOOR
 - 11. GARAGE DOOR TRIM
 - 12. GUTTERS
 - 13. SORRITS
 - 14. DOWNSPOUTS
 - 15. ALL FLASHING
- FABCO - Asphalt Shingles - Weathered Wood
 - GENTEK - Copper Clay - #148 (Brown)
 - SHERWIN WILLIAMS - SW 7026 GRAY
 - SHERWIN WILLIAMS - SW 1536 Mason Blanche
 - SHERWIN WILLIAMS - SW 6629 Warm Black
 - SHERWIN WILLIAMS - SW 6585 Sunchd Tomato
 - SHERWIN WILLIAMS - SW 1536 Mason Blanche
 - SHERWIN WILLIAMS - SW 1536 Mason Blanche
 - SHERWIN WILLIAMS - SW 1536 Mason Blanche
 - OVERHEAD DOOR - Thompson-Coleman Terry Brownes (s, ophus)
 - SHERWIN WILLIAMS - SW 1536 Mason Blanche
 - VINYL Siding - Cabriere 54
 - GENTEK - Cabriere 54
 - Flash to windows (GENTEK Ulokar 538)

ELEVATIONS BUILDING 2
SCALE 1/8" = 1'-0"



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PLAN #5

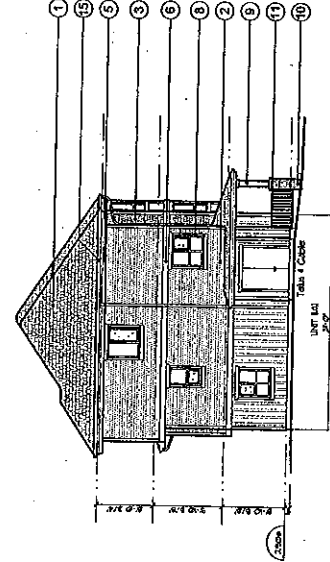
DEVELOPMENT
PERMIT NO.
DP-09-471758

**VALENCIA
GARDEN**

VALENCIA GARDEN LIMITED PARTNERSHIP
DP RESUBMISSION
NOVEMBER 13, 2009

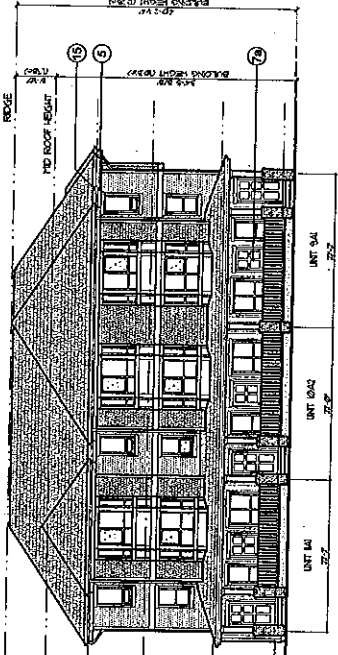
**FOURERE
ARCHITECTURE**
INC.

1100 W. 72nd Street, West Palm Beach, FL 33411
TEL: 561-833-4444 FAX: 561-833-4444



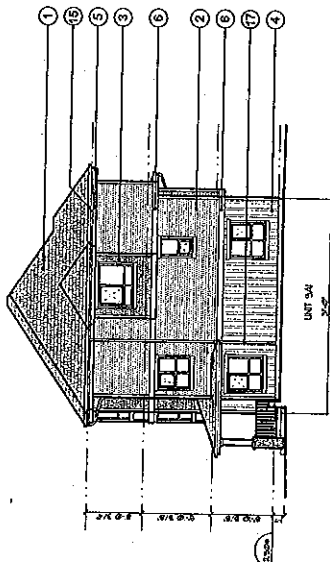
BACK ELEVATION

1/2" HORIZONTAL BUILDING HEIGHT



FRONT ELEVATION

1/2" AVERAGE SITE GRADE



SIDE ELEVATION

DEVELOPMENT PERMIT NO. DP-09-471758

VALENCIA GARDEN

DP RESUBMISSION
UNAPPROVED ELEVATIONS

FOUHERE ARCHITECTURE

201 220 WEST OREGON AVENUE
ANN ARBOR MI 48106-1517 (734) 763-2370

EXTERIOR FINISH SCHEDULE

| | | |
|----|------|-----------------------|
| 1 | ROOF | SHINGLES - WOODSHAKE |
| 2 | ROOF | SHAKES - HORIZONTAL |
| 3 | WALL | SHINGLES - HORIZONTAL |
| 4 | WALL | SHINGLES - HORIZONTAL |
| 5 | WALL | SHINGLES - HORIZONTAL |
| 6 | WALL | SHINGLES - HORIZONTAL |
| 7 | WALL | SHINGLES - HORIZONTAL |
| 8 | WALL | SHINGLES - HORIZONTAL |
| 9 | WALL | SHINGLES - HORIZONTAL |
| 10 | WALL | SHINGLES - HORIZONTAL |
| 11 | WALL | SHINGLES - HORIZONTAL |
| 12 | WALL | SHINGLES - HORIZONTAL |
| 13 | WALL | SHINGLES - HORIZONTAL |
| 14 | WALL | SHINGLES - HORIZONTAL |
| 15 | WALL | SHINGLES - HORIZONTAL |
| 16 | WALL | SHINGLES - HORIZONTAL |
| 17 | WALL | SHINGLES - HORIZONTAL |
| 18 | WALL | SHINGLES - HORIZONTAL |
| 19 | WALL | SHINGLES - HORIZONTAL |

ELEVATIONS BUILDING 3
SCALE 1/8" = 1'-0"



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PLAN #6

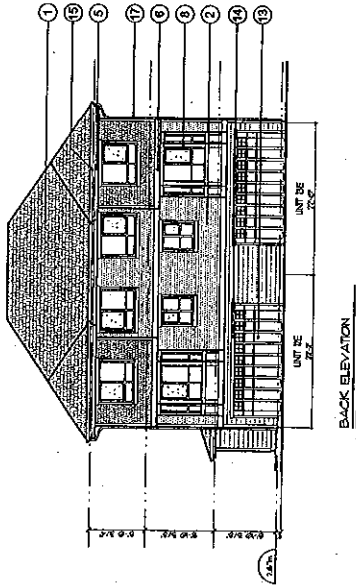
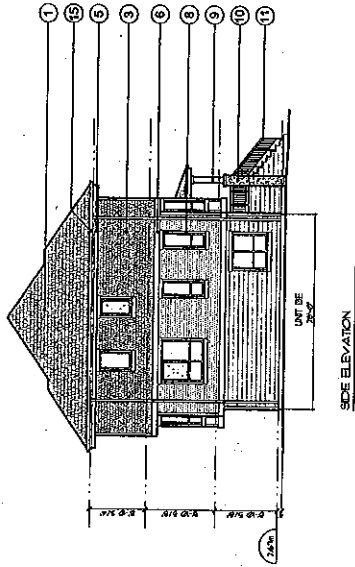
DEVELOPMENT
PERMIT NO.
DP-09-471758

**VALENCIA
GARDEN**

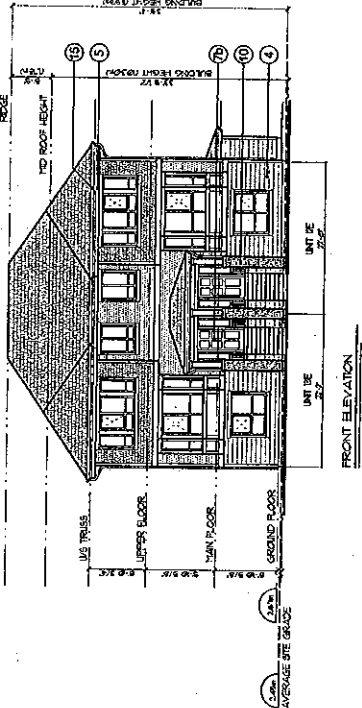
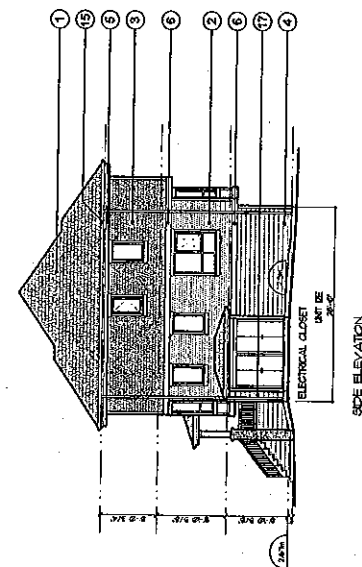
VALENCIA GARDEN LIMITED PARTNERSHIP
DP RESUBMISSION
NOVEMBER 12, 2009

**FOUGIERE
ARCHITECTURE**
INC.
10001 W. 10TH AVENUE, SUITE 100
DENVER, CO 80231
(303) 952-7200

PLAN #7



AVERAGE SITE GRADE



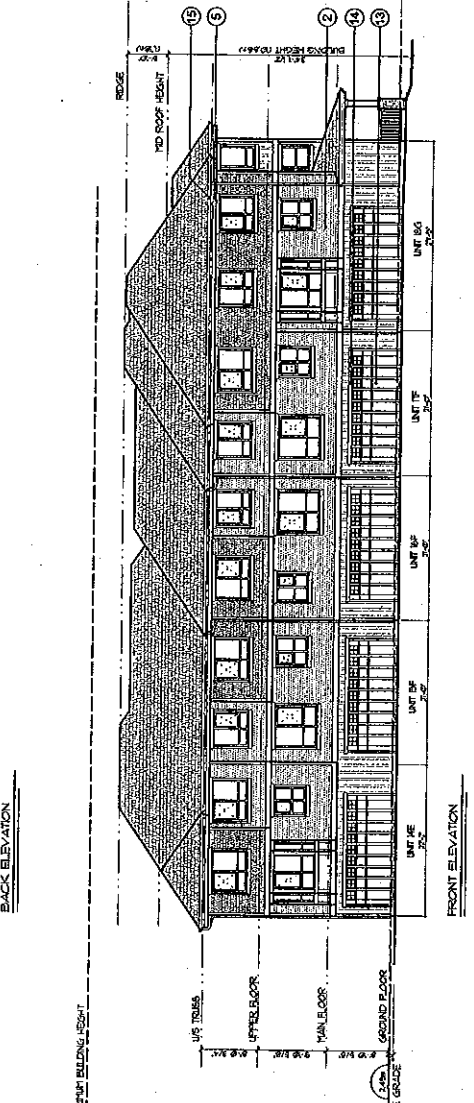
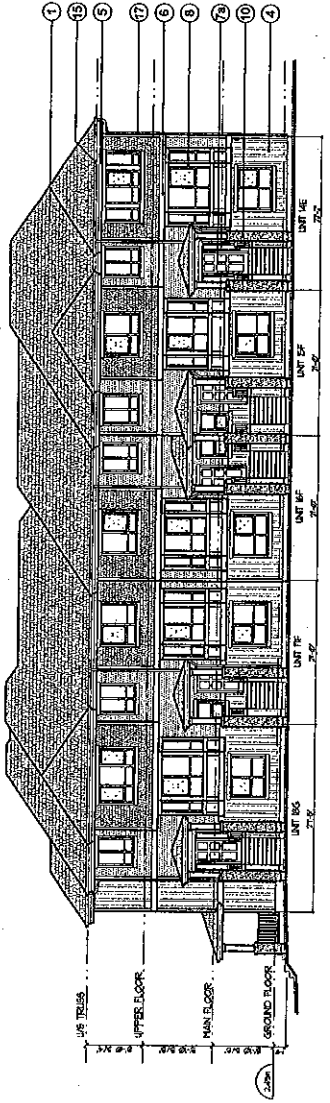
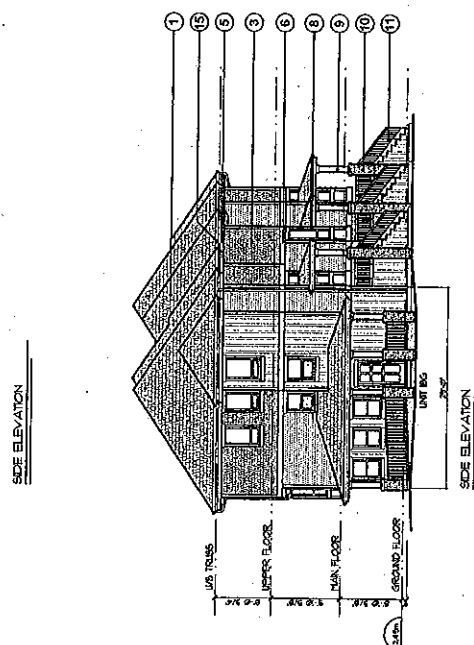
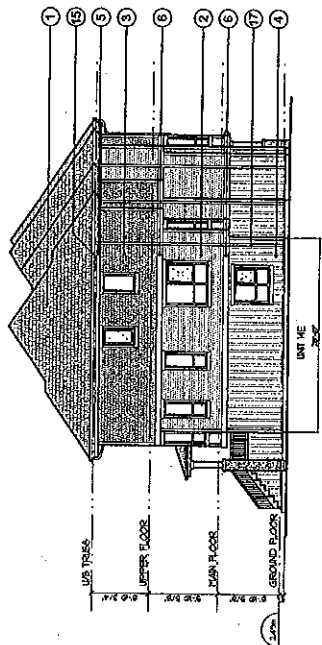
EXTERIOR FINISHES SCHEDULE

| | | |
|----|--|--------------------------------------|
| 1 | ROOF | Asphalt shingles - Weathered Wood |
| 2 | VINYL SIDING - HORIZONTAL | GENTEK - The Lookalike - 2x8 (Green) |
| 3 | VINYL SHAKES | GENTEK - The Lookalike - 2x8 (Green) |
| 4 | FLASCO | GENTEK - The Lookalike - 2x8 (Green) |
| 5 | TRIM | GENTEK - The Lookalike - 2x8 (Green) |
| 6 | ENTRY DOOR (Exterior Only) Building 12.4.5 | GENTEK - The Lookalike - 2x8 (Green) |
| 7 | ENTRY DOOR (Exterior Only) Building 11.4 | GENTEK - The Lookalike - 2x8 (Green) |
| 8 | WINDOW FRAMES | GENTEK - The Lookalike - 2x8 (Green) |
| 9 | STONE COLLARING | GENTEK - The Lookalike - 2x8 (Green) |
| 10 | WOOD RAIL & PICKETS | GENTEK - The Lookalike - 2x8 (Green) |
| 11 | WOOD RAIL & PICKETS | GENTEK - The Lookalike - 2x8 (Green) |
| 12 | WOOD RAIL & PICKETS | GENTEK - The Lookalike - 2x8 (Green) |
| 13 | WOOD RAIL & PICKETS | GENTEK - The Lookalike - 2x8 (Green) |
| 14 | GARAGE DOOR TRIM | GENTEK - The Lookalike - 2x8 (Green) |
| 15 | GATTIERS | GENTEK - The Lookalike - 2x8 (Green) |
| 16 | CONTRAST | GENTEK - The Lookalike - 2x8 (Green) |
| 17 | CONTRAST | GENTEK - The Lookalike - 2x8 (Green) |
| 18 | CONTRAST | GENTEK - The Lookalike - 2x8 (Green) |
| 19 | ALL FLASHING | GENTEK - The Lookalike - 2x8 (Green) |

ELEVATIONS BUILDING 4
SCALE 1/8" = 1'-0"



DP 09471758
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EXTERIOR FINISHES SCHEDULE

| | | |
|-----|---|---|
| 1 | ROOF | GENTEK - Canyon Chrome - Weathered Wood |
| 2 | UPPER FLOOR | GENTEK - The Foundry - 745 (B&W) |
| 3 | MAIN FLOOR | SHERMAN WILLIAMS - 50 755 Mason Blanche |
| 4 | ENTRY DOOR (Elevator Only) Subsets 13.1.5 | SHERMAN WILLIAMS - 50 755 Mason Blanche |
| 5 | ENTRY DOOR (Elevator Only) Subsets 14.4 | SHERMAN WILLIAMS - 50 755 Mason Blanche |
| 6 | STONE | GENTEK - Canyon Chrome - Weathered Wood |
| 7 | STONE | GENTEK - Canyon Chrome - Weathered Wood |
| 8 | STONE | GENTEK - Canyon Chrome - Weathered Wood |
| 9 | STONE | GENTEK - Canyon Chrome - Weathered Wood |
| 10 | STONE | GENTEK - Canyon Chrome - Weathered Wood |
| 11 | STONE | GENTEK - Canyon Chrome - Weathered Wood |
| 12 | STONE | GENTEK - Canyon Chrome - Weathered Wood |
| 13 | STONE | GENTEK - Canyon Chrome - Weathered Wood |
| 14 | STONE | GENTEK - Canyon Chrome - Weathered Wood |
| 15 | STONE | GENTEK - Canyon Chrome - Weathered Wood |
| 16 | STONE | GENTEK - Canyon Chrome - Weathered Wood |
| 17 | STONE | GENTEK - Canyon Chrome - Weathered Wood |
| 18 | STONE | GENTEK - Canyon Chrome - Weathered Wood |
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| 98 | STONE | GENTEK - Canyon Chrome - Weathered Wood |
| 99 | STONE | GENTEK - Canyon Chrome - Weathered Wood |
| 100 | STONE | GENTEK - Canyon Chrome - Weathered Wood |

DEVELOPMENT
PERMIT NO.
DP-09-471758

**VALENCIA
GARDEN**

VALENCIA GARDEN LIMITED PARTNERSHIP
DP RESUBMISSION
NOVEMBER 16, 2009

**FOUGERE
ARCHITECTURE**
INC.

301 N. 25th West, Phoenix, Arizona 85018
(602) 973-2330

DP 09471758
PAGE # 12

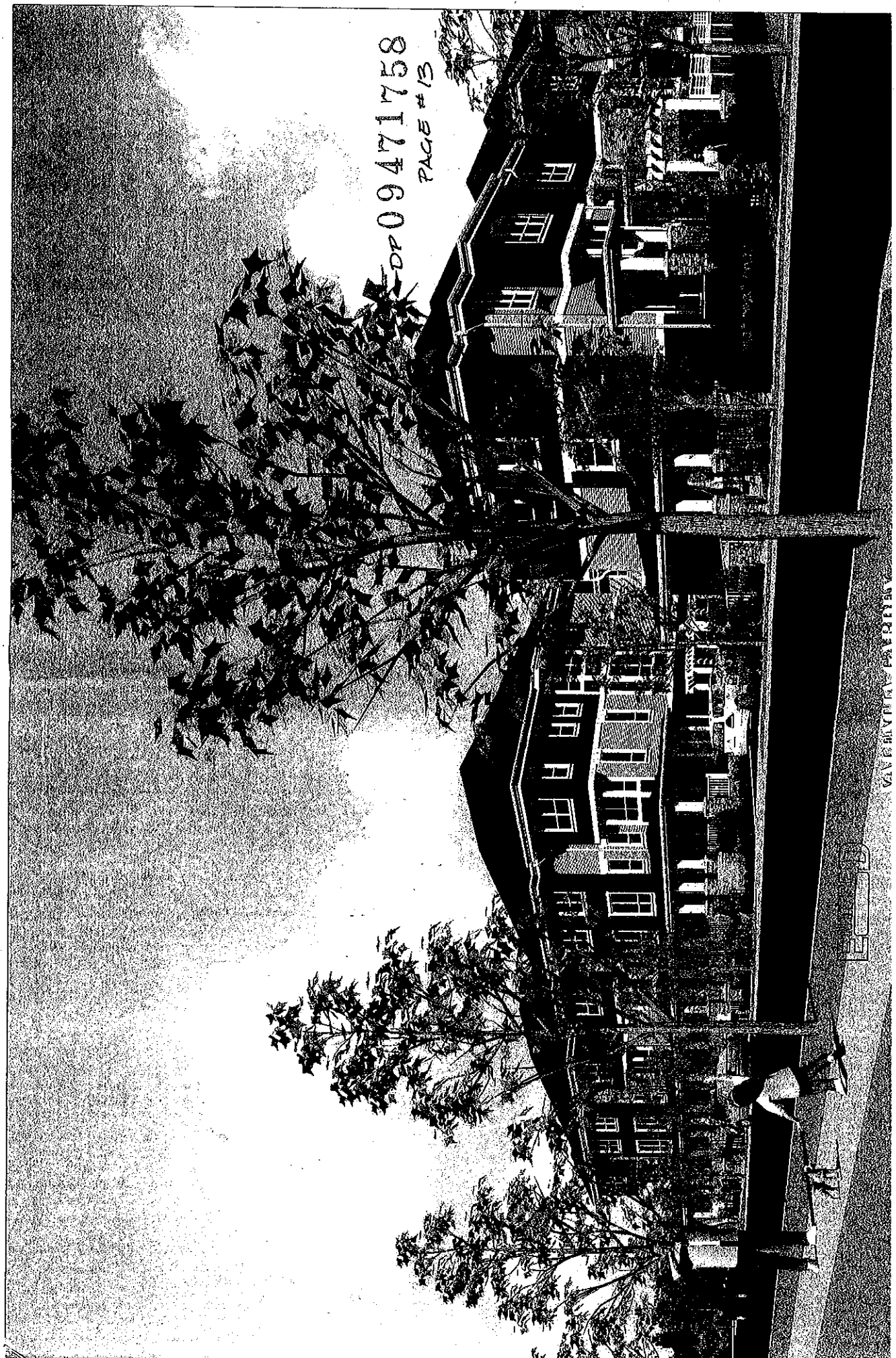
PLAN #8

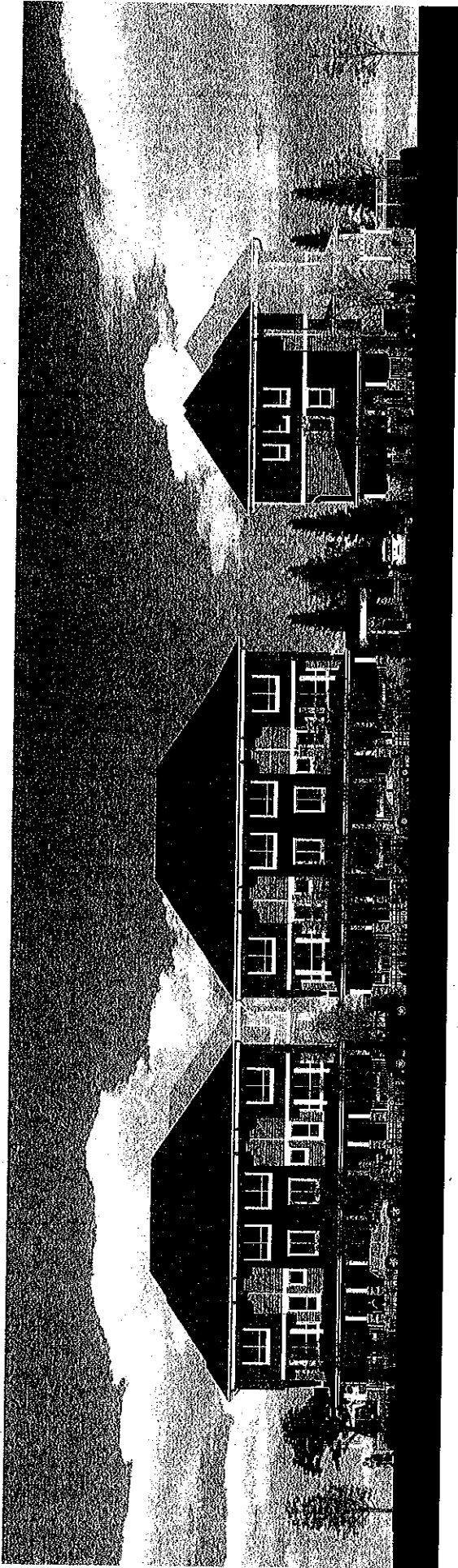
ELEVATIONS BUILDING 5
SCALE 1/8" = 1'-0"



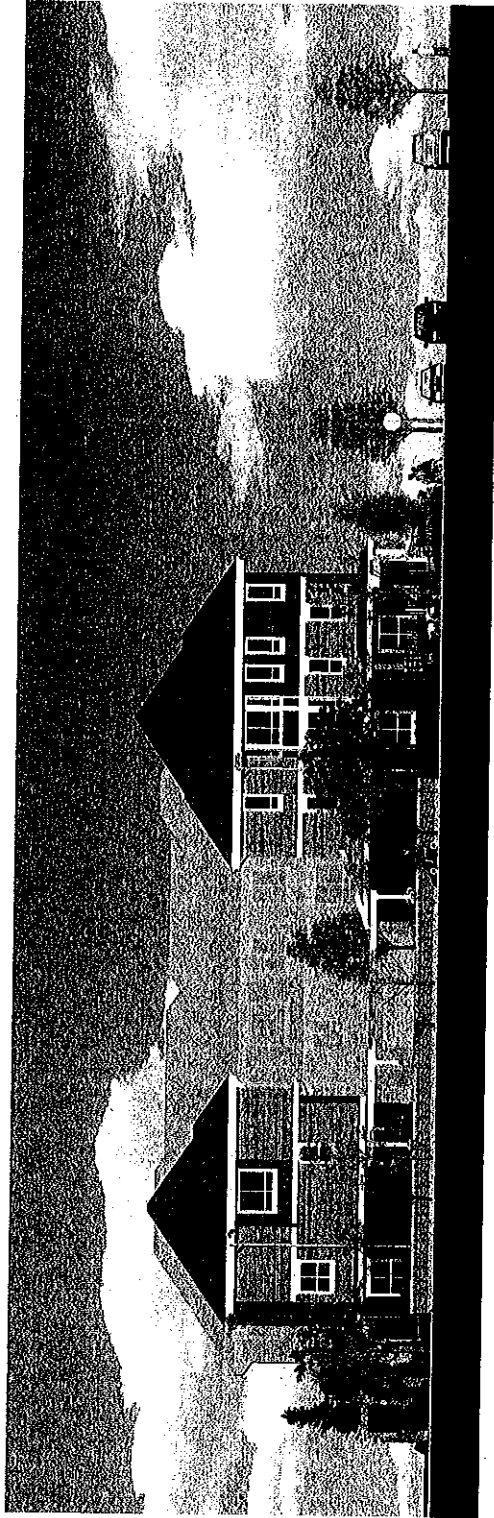
DP 09471758
PAGE #13

RENDERING BY HILLMAN & PARTNERS





ALDER STREET STREETSCAPE
SCALE 1/8" = 1'-0"



WESTMINSTER HIGHWAY STREETSCAPE
SCALE 1/8" = 1'-0"



DEVELOPMENT
PERMIT NO.
DP-09-471758

**VALENCIA
GARDEN**

BY ARCHITECTURAL
PARTNERSHIP
VALENCIA GARDEN LIMITED PARTNERSHIP
SERVICED BY
FOUGERE ARCHITECTURE, INC.

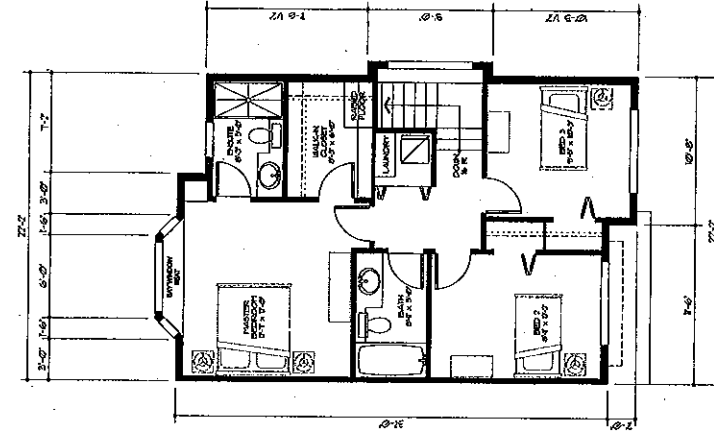
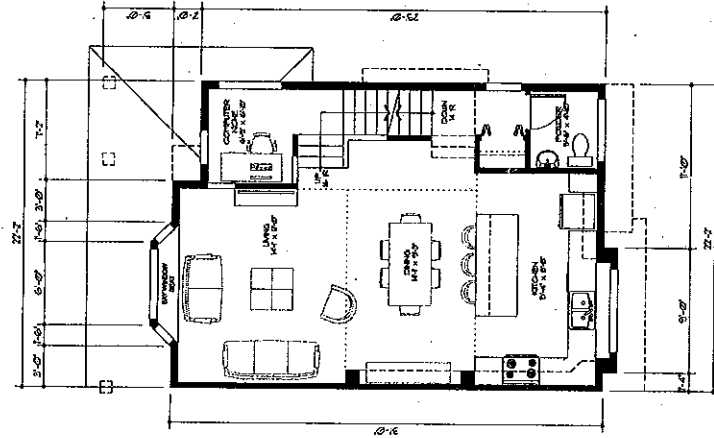
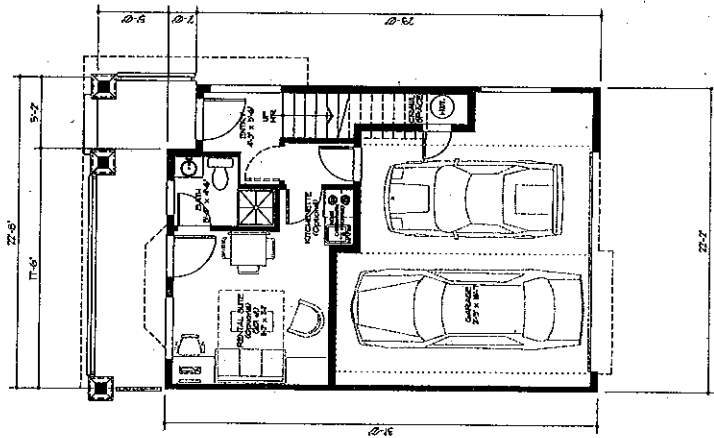
**FOUGERE
ARCHITECTURE
INC.**

2017 - 2018 INTERIOR DESIGN
AWARDS WINNER
2017 - 2018 INTERIOR DESIGN
AWARDS WINNER

DP 09471758

PAGE # 14

PLAN #9



UNIT A1 (3 BED - RENTAL SUITE)

| | |
|--------------|-------|
| FLOOR AREA | 281 # |
| GROUND FLOOR | 281 # |
| MAIN FLOOR | 64 # |
| UPPER FLOOR | 131 # |
| TOTAL | 131 # |
| COVERAGE | 802 # |



DEVELOPMENT
PERMIT NO.
DP-09-471758

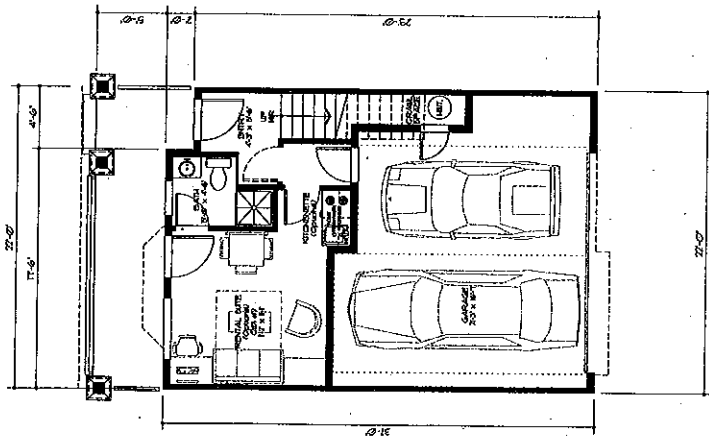
**VALENCIA
GARDEN**

VALENCIA GARDEN LIMITED PARTNERSHIP
DP RESUBMISSION
NOVEMBER 19, 2009

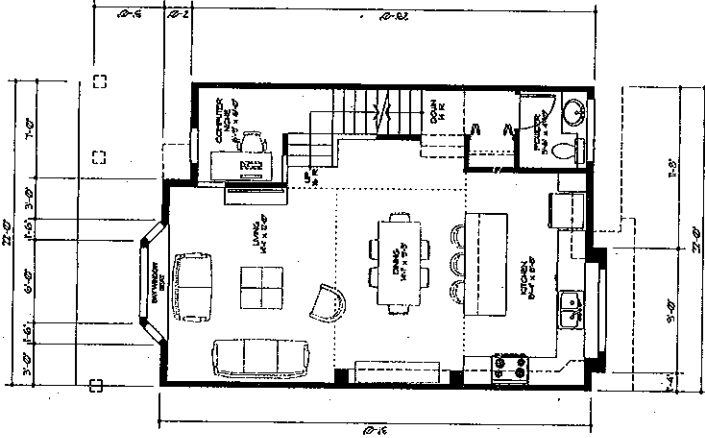
**FOUGERE
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INC.**

DP 09471758

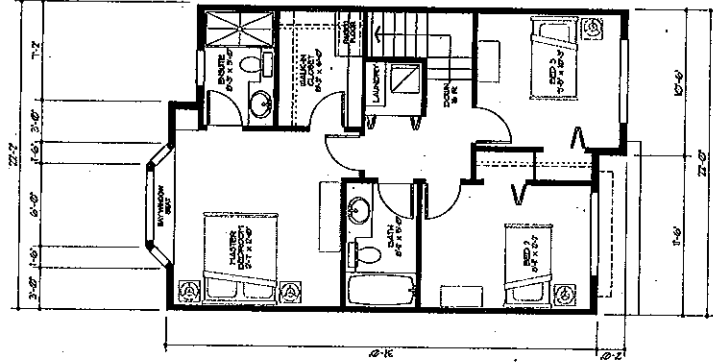
PLAN #9
REFERENCE PLAN #1



GROUND FLOOR



MAIN FLOOR



UPPER FLOOR

UNIT A2 (8 BED - RENTAL SUITE)

FLOOR AREA

| | |
|--------------|--------|
| GROUND FLOOR | 278 # |
| MAIN FLOOR | 850 # |
| UPPER FLOOR | 850 # |
| TOTAL | 1978 # |
| COVERAGE | 762 # |

UNIT G
SCALE 1/4" = 1'-0"



DEVELOPMENT
PERMIT NO.
DP-09-471758

**VALENCIA
GARDEN**

VALENCIA GARDEN LIMITED PARTNERSHIP

DP RESUBMISSION
NOVEMBER 13, 2009

**FOUGERE
ARCHITECTURE**
INC.

1001 S. GARDEN BLVD., SUITE 100, TAMPA, FL 33606
TEL: 813.288.8888 FAX: 813.288.8889
WWW.FOUGEREARCHITECTURE.COM

DP 09471758

PLAN #10
REFERENCE PLAN #2

DEVELOPMENT
PERMIT NO.
DP-09-471758

**VALENCIA
GARDEN**

for VALENCIA GARDEN LIMITED PARTNERSHIP

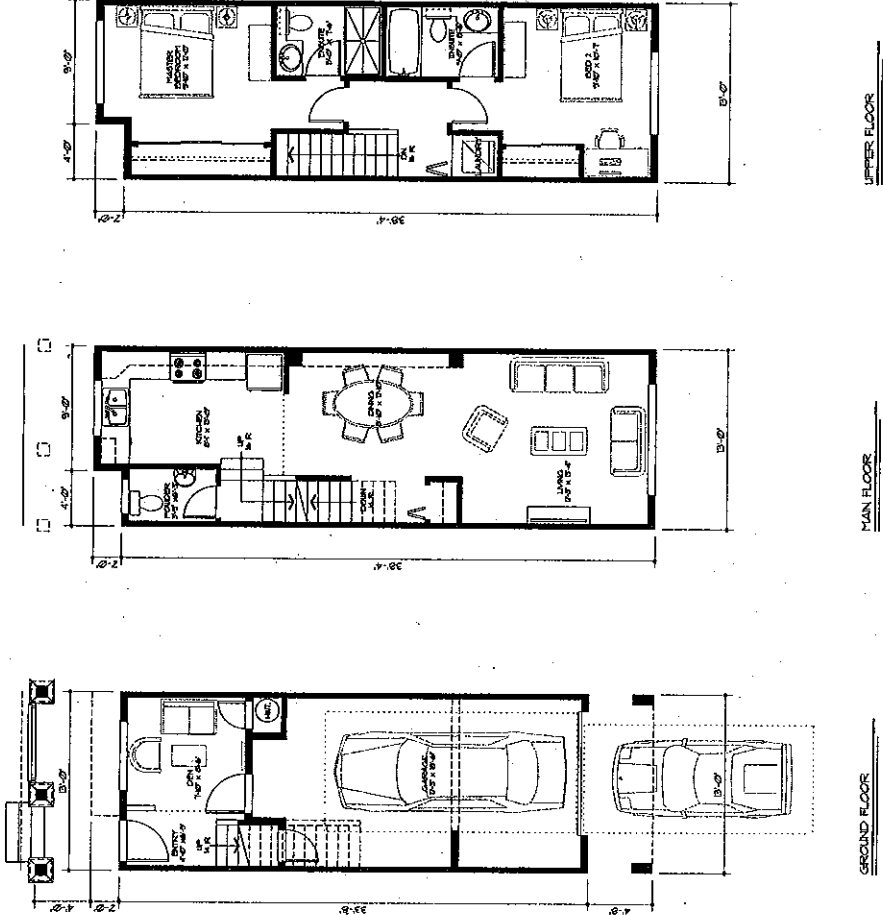
DP REVISION
NOVEMBER 19, 2009

**FOUGERE
ARCHITECTURE
INC.**

301 W. 23rd St., Suite 201
Miami, Florida 33135
Tel: 305.375.1111 Fax: 305.375.1112

DP 09471758

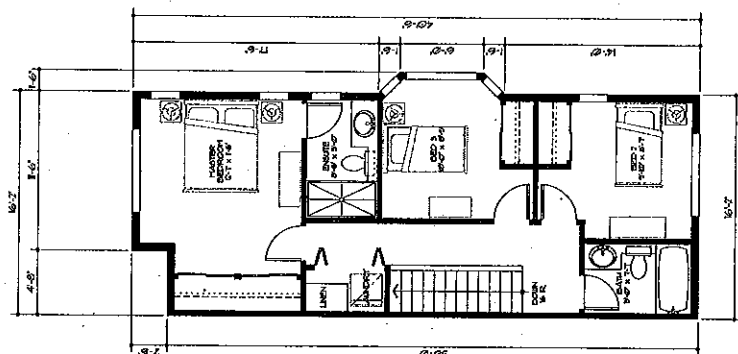
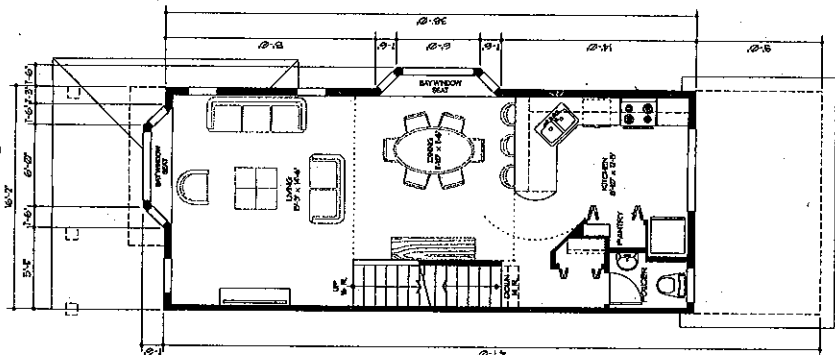
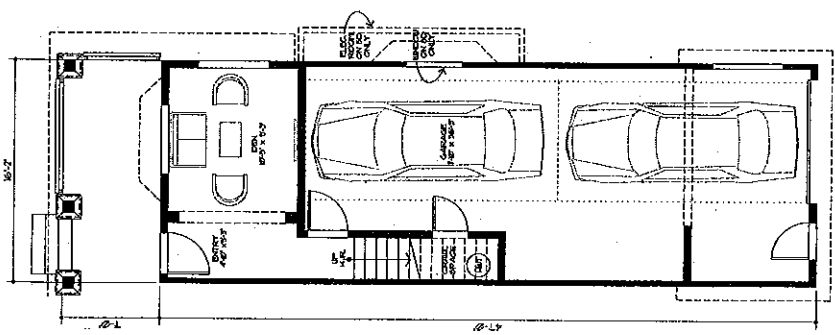
PLAN #11
REFERENCE PLAN #3



UNIT C (2 BED + DEN)

| | |
|--------------|----------|
| FLOOR AREA | |
| GROUND FLOOR | 141 sq |
| MAIN FLOOR | 519 sq |
| UPPER FLOOR | 576 sq |
| TOTAL | 1,236 sq |
| COVERAGE | 57% sq |





DEVELOPMENT
PERMIT NO.
DP-09-471758

**VALENCIA
GARDEN**

VALENCIA GARDEN LIMITED PARTNERSHIP
DP RESUBMISSION
NOVEMBER 13, 2009

**FOUGERE
ARCHITECTURE**

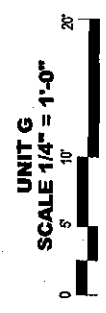
2011 223 WEST BROADWAY SUITE 400
CHICAGO, ILLINOIS 60601-2320
TEL: 312.467.1758 FAX: 312.467.1759

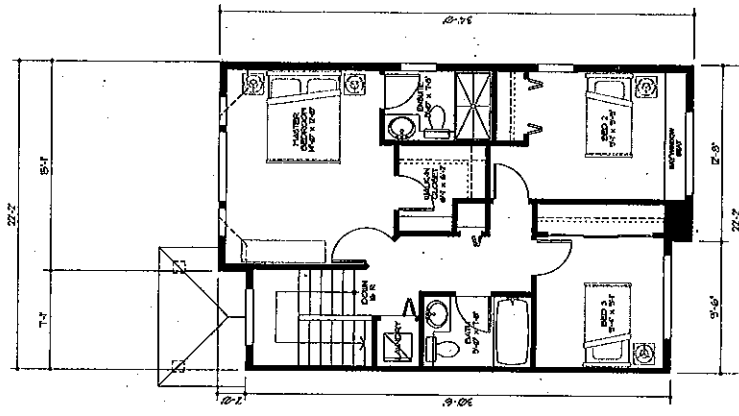
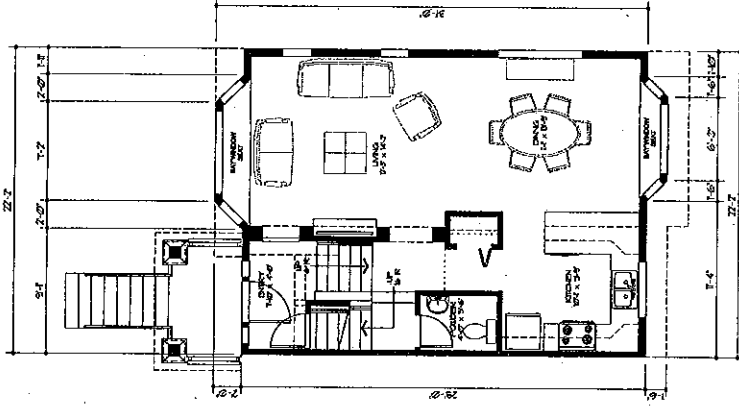
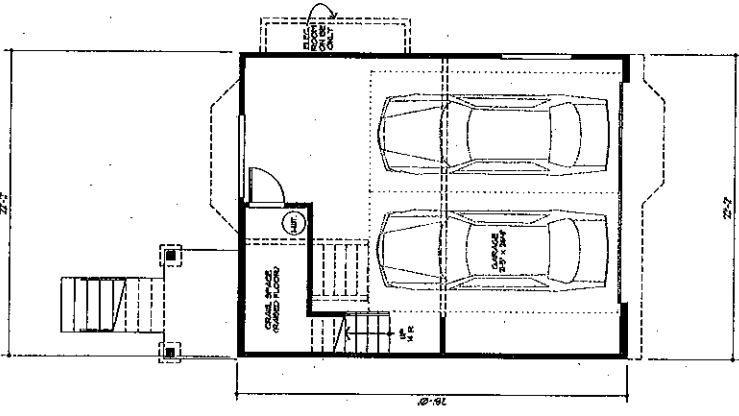
DP 09471758

PLAN #12
REFERENCE PLAN #4

UNIT D (3 BED + DEN)

| | |
|--------------|-------|
| FLOOR AREA | |
| GROUND FLOOR | 184 # |
| UPPER FLOOR | 82 # |
| TOTAL | 266 # |
| COVERAGE | 873 # |





GROUND FLOOR

MAIN FLOOR

UPPER FLOOR

DEVELOPMENT PERMIT NO. DP-09-471758

VALENCIA GARDEN

VALENCIA GARDEN LIMITED PARTNERSHIP
 500 RESUMPTION AVENUE
 NOVEMBER 13, 2009

FOUGERE ARCHITECTURE
 220 W. 12TH STREET, SUITE 200
 AUSTIN, TEXAS 78701
 TEL: 512.222.5200

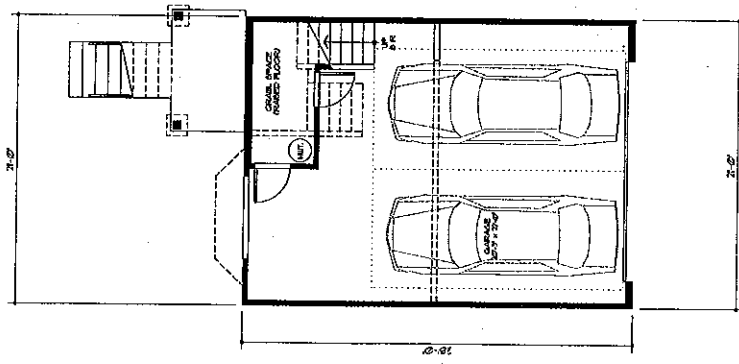
DP 09471758

UNIT G
 SCALE 1/4" = 1'-0"

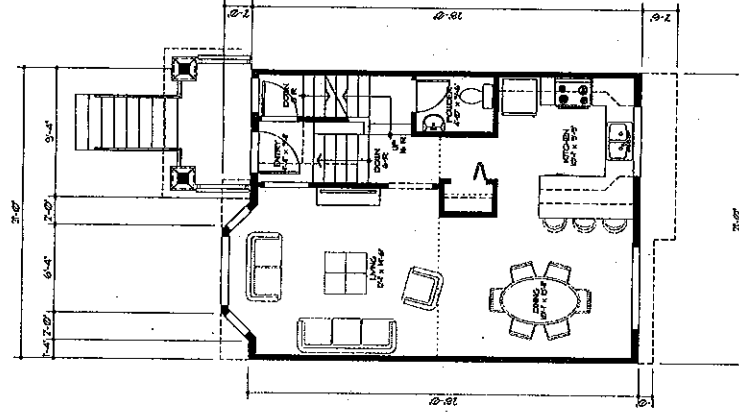


PLAN #13

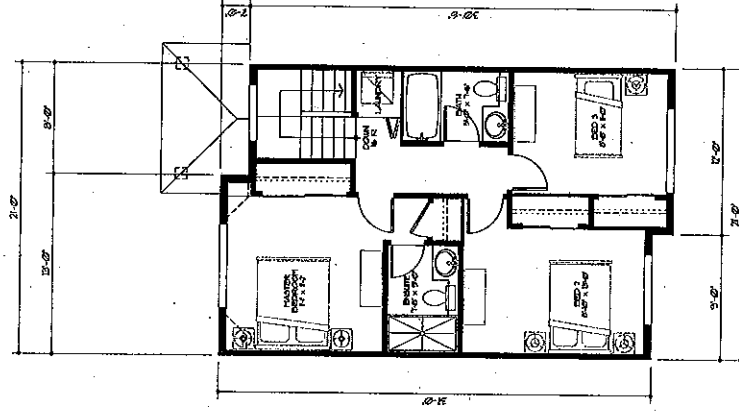
REFERENCE PLAN #5



GROUND FLOOR



MAIN FLOOR



UPPER FLOOR

DEVELOPMENT
PERMIT NO.
DP-09-471758

**VALENCIA
GARDEN**

BY
VALERIA GARDEN LIMITED PARTNERSHIP
DP-09-471758
NOVEMBER 18, 2009

**FOUGERE
ARCHITECTURE
INC.**
1000 AVENUE OF THE ARTS, SUITE 1000
HOUSTON, TEXAS 77002
TEL: 713.865.1100 FAX: 713.865.1101

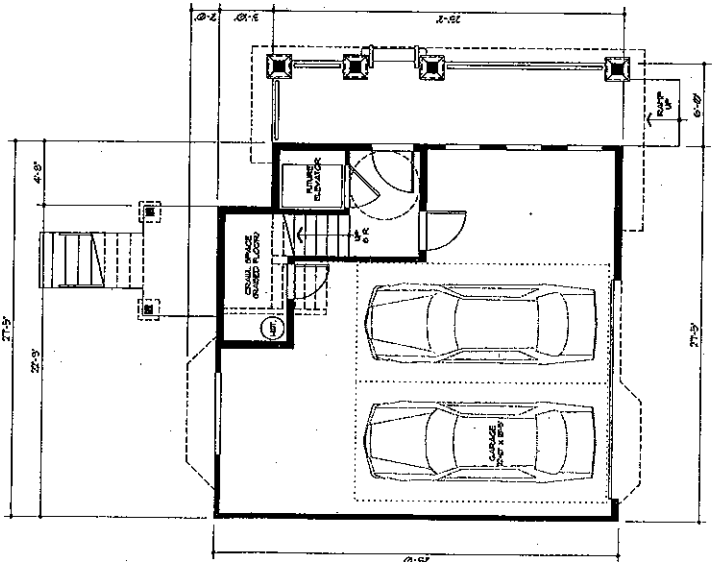
DP 09471758

PLAN #14
REFERENCE PLAN #0

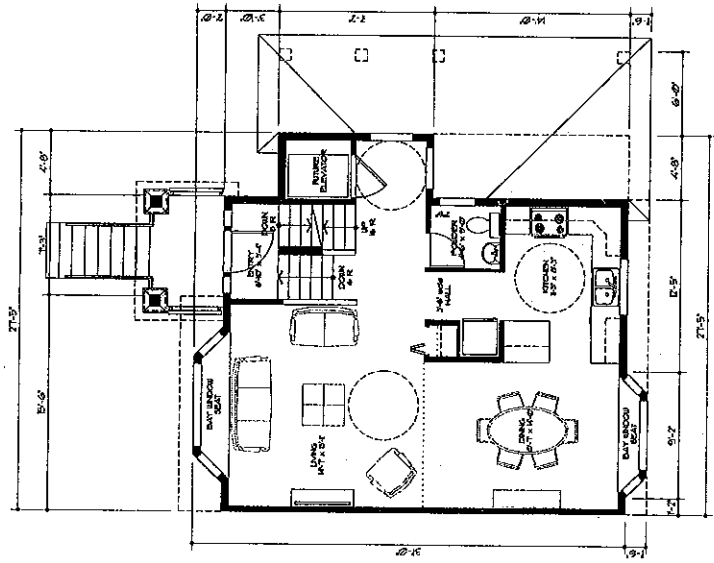
UNIT F (0 BED)

| FLOOR AREA | sq ft |
|--------------|-------|
| GROUND FLOOR | 800 |
| UPPER FLOOR | 800 |
| TOTAL | 1,600 |
| COVERAGE | 800 |

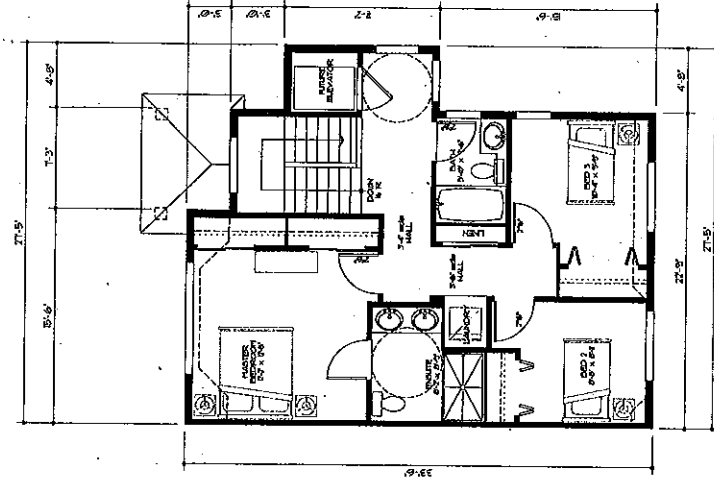




GROUND FLOOR



MAIN FLOOR



UPPER FLOOR

DEVELOPMENT
PERMIT NO.
DP-09-471758

**VALENCIA
GARDEN**

VALENCIA GARDEN LIMITED PARTNERSHIP
DB REGISTRATION
NOVEMBER 13, 2009

**FOUGERE
ARCHITECTURE
INC.**

DP 09471758



PLAN #15
REFERENCE PLAN #7

UNIT G (3 BD)

| | |
|--------------|-------|
| FLOOR AREA | 89 # |
| GROUND FLOOR | 72 # |
| MAIN FLOOR | 72 # |
| TOTAL FLOOR | 144 # |
| COVERAGE | 87% # |