



City of Richmond
Planning and Development Department

Report to Development Permit Panel

To: Development Permit Panel
From: Brian J. Jackson, MCIP
Director of Development
Date: May 25, 2010
File: DP 07-361642
Re: Application by Denis Turco Architect Inc. for a Development Permit at
22331 Westminster Highway

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of a six (6) unit townhouse complex at 22331 Westminster Highway on a site zoned "Town Housing (ZT61) – Hamilton"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - a) Permit a 2.5 m west side yard setback; and
 - b) Reduce the minimum front and side yard setbacks for accessory structures to permit the garbage and recycling enclosure to be located in the southwest corner of the property.

Brian J. Jackson, MCIP
Director of Development

CL:blg
Att.

Staff Report

Origin

Denis Turco Architect Inc. has applied to the City of Richmond for permission to develop a six (6) unit townhouse complex at 22331 Westminster Highway on a site zoned "Town Housing (ZT61) – Hamilton". The subject site is currently vacant.

The site is being rezoned from "Agriculture (AG1)" to "Town Housing (ZT61) – Hamilton" under Bylaw 8575 (RZ 07-361639).

Development Information

Please refer to the attached Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant bylaw requirements.

Background

The subject site is located within the Lower Westminster Sub-Area of the Hamilton Planning Area, generally bounded by Sharpe Avenue, Muir Drive, Westminster Highway, and Highway 91 (**Attachment 2**). Development immediately surrounding the subject site is as follows:

- To the north, west, and east, are newly constructed low-density townhouses at 22380 and 22386 Sharpe Avenue, both zoned "Town Housing (ZT61) – Hamilton"; and
- To the south, is the north arm of Westminster Highway, as well as Highway 91 beyond.

Rezoning and Public Hearing Results

During the rezoning process, minor technical concerns noted by staff were addressed by the applicant and commitments agreed to through the Rezoning Considerations concurrence. Staff worked with the applicant to:

- develop an acceptable site plan that generally meets all zoning and policy requirements, despite the size constraints of the subject site;
- ensure that the form and character of the proposed development conforms with the multi-family Development Permit Guidelines contained within the Official Community Plan (OCP) and the Hamilton Area Plan; and
- review the requested variances to permit a 2.5 m west side yard setback and to reduce the minimum front and side yard setbacks for accessory structures to permit the garbage and recycling enclosure to be located in the southwest corner of the property.

Staff also identified that refinements to site planning, landscape planning, and architectural character be made at the Development Permit stage, and that bylaw compliance be demonstrated as it relates to proposed grading and building height.

At the Public Hearing for the rezoning of this site, held on March 15, 2010, residents of the adjacent townhouse complex at 22380 Sharpe Avenue were in attendance to express concerns about several issues:

- obstruction of the development application signage on the subject site, limiting visibility to the public;
- potential noise impacts associated with project construction at future development stage;

- proposed vehicle access through their common property to the subject site; and
- design compatibility of the proposed development with existing townhouse developments in the neighbourhood.

The applicant committed to addressing concerns regarding obstruction of the development application signage on-site by ensuring no vehicles are parked on the boulevard in front of the site, and committed to addressing potential noise by ensuring that construction is undertaken during the hours permitted in the noise bylaw at future development stage.

The proposed vehicle access to the subject site through the common property of 22380 Sharpe Avenue is permitted through cross-access easement registered on Title.

Through the review of this Development Permit application, staff have worked with the applicant to ensure that the proposed architectural form and character is consistent with the design guidelines contained within the Official Community Plan (OCP), is compatible with that of existing townhouse developments in the neighbourhood, and is of a high quality. Specifically, the applicant has addressed the following issues through this Development Permit application:

- refined on-site pedestrian circulation and exterior cladding materials;
- improved architectural details of on-site structures and entrance markers;
- incorporated aging-in-place features into the design of all units; and
- demonstrated bylaw compliance as it relates to proposed grading and building height.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues, the issues raised at the Public Hearing, and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the "Town Housing (ZT61) – Hamilton" district except for the zoning variances noted below.

Zoning Compliance/Variiances (staff comments in *bold*)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) permit a 2.5 m west side yard setback.

(Adjacency issues on the west side of the site have been addressed through architectural design improvements to the west elevations and through the existing 9 m wide buffer on the adjacent property to the west, consisting of an internal drive aisle, emergency access route, landscaping, and fencing).

- 2) Reduce the minimum front and side yard setbacks for accessory structures to permit the garbage and recycling enclosure to be located in the southwest corner of the property.

(The location of the garbage/recycling enclosure within the front and side yard setbacks is supportable due to its location immediately next to the garbage/recycling enclosure for the adjacent townhouse development to the west, its integration into the front yard landscaping treatment, and due to its proximity to the pullout on Westminster Highway from where collection for both sites will occur. In addition, proposed frontage improvements will provide an increased distance from the road.)

These variances were identified in the rezoning report and no related concerns were raised during the Public Hearing.

Advisory Design Panel Comments

Due to the small scale of the proposed development, the application was not presented to the Advisory Design Panel.

Analysis

Policy

- Broad criteria and policies for the issuance of Development Permits appear in the following sections of the City's Official Community Plan (OCP):

Schedule 1: 9.2 General Guidelines
 9.3 Multiple-Family Guidelines (Townhouses)

Schedule 2: 2.14 Hamilton Area Plan

The proposed form and character of development conforms with the design guidelines provided in these policies.

Conditions of Adjacency

- The proposed height, siting, orientation, and design of the buildings respect the existing character of development in the surrounding neighbourhood.
- Architectural design improvements have been made to east and west elevations and landscaping improvements made within side yard setbacks. North and south elevations are pedestrian-scaled through the use of a small number of entrance steps and a front porch landing, with well-landscaped yards and adequate setbacks to existing development on the adjacent site to the north and to Westminster Highway to the south.

Urban Design and Site Planning

- Site planning is tightly constrained by the small site size. Despite this, a site layout and overall design that is consistent with the existing character of development in the neighbourhood is achieved. The layout of the units consists of two (2) triplexes, positioned north and south of an east-west drive aisle that bisects the site.

- Vehicle access to the site is proposed from Sharpe Avenue via a north-south drive aisle through the adjacent property to the west, on which a cross-access easement was secured through rezoning (22380 Sharpe Avenue; RZ 04-271668/DP 04-286809). Vehicle and pedestrian access to the site requires the creation of both a large and small opening in the existing perimeter fencing of the adjacent site to the west. The openings will be enhanced on the subject site through stone entrance posts at the drive-aisle entrance and a pedestrian gate providing access to the north units.
- Two (2) visitors' vehicle parking spaces will be provided within the west side yard setback at the end of the drive-aisle, while a visitor's bicycle rack for three (3) bicycles will be provided at the drive-aisle entrance. Within the ground-level garage of each unit, 12 resident vehicle parking spaces will be provided in a tandem arrangement (2 spaces per unit), and 12 resident bicycle parking spaces will be provided (2 spaces per unit). A restrictive covenant preventing the conversion of tandem parking area into storage or habitable space is required to be registered on Title as a condition of rezoning.
- On-site pedestrian circulation has been carefully integrated into the design of the site plan, with primary walkways to unit entrances emphasized. Secondary pathways were also added to improve circulation throughout the site in response to the design review.
- Consistent with design guidelines in the Official Community Plan (OCP), outdoor amenity space and a children's play structure will be provided on-site, which has been incorporated into an enlarged front yard to maximize the use of this space.

Architectural Form and Character

- Consistent with existing architectural form in the neighbourhood, the units are all three - storeys in height, consisting of two (2) residential levels above a ground-floor tandem parking level, visible only from the internal drive aisle.
- The proposed form and site layout, with its varied building mass emphasized by dominant gable roof forms, varied materials and subtle contrast in colours provides for an attractive streetscape along Westminster Highway and rear façade to the adjacent townhouse development to the north (i.e. sage vinyl siding, dark green hardi-board and batten, painted white wood trim, brackets, and railings).
- Pedestrian unit entrances are clearly defined with entrance stairs and front porch landings, with the south facing unit entrances being visible from the street.
- The appearance of vertical building mass along the side elevations has been reduced through the addition of horizontal features on the top two (2) levels and through the addition of contrasting materials at garage level. Side elevations were also enhanced by creating visual interest with the addition of window openings and gables above windows.

Landscape Design and Open Space Design

- On-site tree retention and removal was assessed during the rezoning application review process. The City's Tree Preservation Coordinator concurred with the recommendation by the project Arborist on the removal of four (4) bylaw-sized trees from the subject site on the basis of poor condition. Tree replacement is proposed in excess of the 2:1 tree replacement ratio goal stated in the Official Community Plan (OCP).

- The Landscape Plan illustrates that a mix of 13 deciduous and coniferous trees are proposed to be planted on-site, which includes the required eight (8) replacement trees (i.e. Birch, Maple, Magnolia, and Spruce). Additional small and medium-sized Evergreen shrubs and other vegetation will also be planted (i.e. Azalea, Rhododendron, Heather, Hedging Cedars, and various perennials and ground cover).
- In addition to including an abundance and variety of soft landscaping throughout the site, the Landscape Plan has been designed and improved to achieve a balance between creating a pedestrian-oriented street-fronting character of development along Westminster Highway and buffering against noise impacts from Highway 91 to the south. A landscaped buffer will be provided along the Westminster Highway frontage, adjacent to the outdoor amenity space on-site for this purpose. In addition, required off-site improvements along this frontage will include a treed and grassed boulevard with sidewalk, further enhancing the streetscape and providing an additional road setback. As a condition of rezoning, a restrictive covenant will be registered on Title to ensure that the on-site landscaped buffer will be planted, maintained, and not removed. (Noise impacts will also be mitigated through the registration of a covenant as a condition of rezoning to ensure noise attenuation is incorporated into dwelling unit design and construction to achieve the indoor sound level mitigation criteria specified in the OCP guidelines).
- The Landscape Plan also provides for decorative treatment of hard surfaces on the internal drive-aisle, garage aprons, and visitor parking spaces through the use of patterned unit pavers of contrasting colours.
- Existing perimeter fencing on adjacent properties abutting the west, north, and east property lines of the subject site is to remain, with the exception of the large and small openings required for the proposed vehicle and pedestrian access to the site.

Aging in Place/ Accessibility/Affordability

- The subject proposal addresses affordability through small unit sizes. The City's current Affordable Housing Strategy is not applicable to this application, which was received before July 1, 2007. As a condition of rezoning, the applicant has proposed a voluntary cash-in-lieu contribution in the amount of \$5,361 ($\$0.60/\text{ft}^2$) to the City's Affordable Housing Reserve Fund.
- During the review of the rezoning application, the applicant proposed one (1) convertible unit designed with the potential to accommodate a future resident in a wheelchair. The applicant has reconsidered this proposal in light of the relatively small scale of the proposed development, and the substantial additional costs associated with achieving a convertible unit design with the proposed three-storey housing form. Therefore a convertible unit will not be provided.
- Consistent with the design guidelines in the OCP, aging-in-place features will be provided in all units (i.e. inclusion of blocking to bathroom walls for future grab-bar installation, provision of lever handles for plumbing fixtures and doors, and stairwell handrails).

Indoor/Outdoor Amenity Space

- The applicant is proposing a contribution in-lieu of on-site indoor amenity space in the amount of \$6,000, consistent with the design guidelines in the OCP and Council Policy 5041.

- An outdoor amenity space, which includes a children's play area, will be provided on-site and is adequately sized, located, and designed to satisfy OCP guidelines.

Crime Prevention Through Environmental Design

- Natural access control is ensured through separation of vehicle and pedestrian access, well-defined pedestrian walkways throughout the site, and landscaping that defines borders and respects sightlines. Main unit entrances are also designed to be clearly defined and visible from the street or from the adjacent development to the north. Secondary unit entrances are also visible from the internal drive aisle, which is marked by subtle entrance structures at the main access point.
- Natural surveillance has been achieved through grade elevation changes, and windows and balconies that overlook yards, walkways, the vehicle drive-aisle, and the outdoor amenity space.
- Lighting is proposed at main unit entrances, and at garage doors in the central courtyard. Overall site lighting will minimize glare to the adjacent sites. Pedestrian-scale lighting will also be harmoniously integrated into the landscape along pathways and within side yards.

Sustainability

- Lot coverage with buildings is 34%. The remainder of the lot is treated with a combination of soft and hard landscaping (i.e. lawn, topsoil, ground-cover, river rock, standard pavers, and concrete). Interlocking pavers, instead of continuous asphalt, will assist in increasing overall on-site permeability.
- The front yard is heavily landscaped with live plant material, and exceeds the minimum setback requirement of the zoning district.
- Low-maintenance plant material has been incorporated into landscape design, and the number of trees proposed to be planted exceeds the number of required replacement trees.

Flood Management


- The proposed development complies with the Flood Plain Designation and Protection Bylaw by raising living areas up to the second and third floors. A Flood Plain Covenant is required to be registered on Title as a condition of rezoning specifying a Flood Construction Level of 3.5 m GSC.

Conclusions

This proposal is for a six-unit, three-storey townhouse development fronting Westminster Highway on an orphan lot located between two (2) newly developed sites in the Hamilton Planning Area.

The applicant has addressed design issues identified through the rezoning process, as well as additional staff comments regarding site planning, urban design, architectural form and character and landscape design. The development proposal is attractive, fits into the existing context, and conforms to the design guidelines of applicable sections of the Official Community Plan (OCP). The development proposal is generally in compliance with the requirements of the "Town Housing (ZT61) – Hamilton" district except for the zoning variances discussed.

On this basis, staff recommends support for this Development Permit application.



Cynthia Lussier
Planning Technician
(604-276-4108)

CL:blg

The following are to be met prior to forwarding this application to Council for approval:

- Receipt of a Letter-of-Credit for landscaping in the amount of \$24,314 (based on \$2.00/ft² of gross floor area, i.e. 12,157 ft²).

Prior to future Building Permit issuance, the developer is required to:

- Incorporate accessibility measures for aging-in-place in Building Permit drawings for all units, including lever handles for doors and plumbing fixtures, blocking in all washroom walls to facilitate future potential installation of grab bars, and stairwell handrails.
- Obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Division at 604-276-4285.*
- Submit a construction traffic and parking management plan to the satisfaction of the City's Transportation Division (<http://www.richmond.ca/services/ttp/special.htm>).



City of Richmond

6911 No. 3 Road
 Richmond, BC V6Y 2C1
 www.richmond.ca
 604-276-4000

**Development Application
 Data Sheet
 Development Applications Division**

DP 07-361642 **Attachment 1**

Address: 22331 Westminster Highway
 Applicant: Denis Turco Architect Inc. Owner: AA Poonia Construction Ltd
 Planning Area(s): Hamilton (Lower Westminster Sub Area)
 Floor Area Gross: 1,129 m² (12,157 ft²) Floor Area Net: 830 m² (8,935 ft²)

	Existing	Proposed
Site Area:	1,185.77 m ² (12,764 ft ²)	No change
Land Uses:	Single-family dwelling (demolished)	Town housing
OCP Designation:	Generalized Land Use Map Designation – Neighbourhood Residential	No change
Area Plan Designation:	Townhouse Residential	No change
Zoning:	Agriculture (AG1)	Town Housing (ZT61) - Hamilton
Number of Units:	One (1)	Six (6)

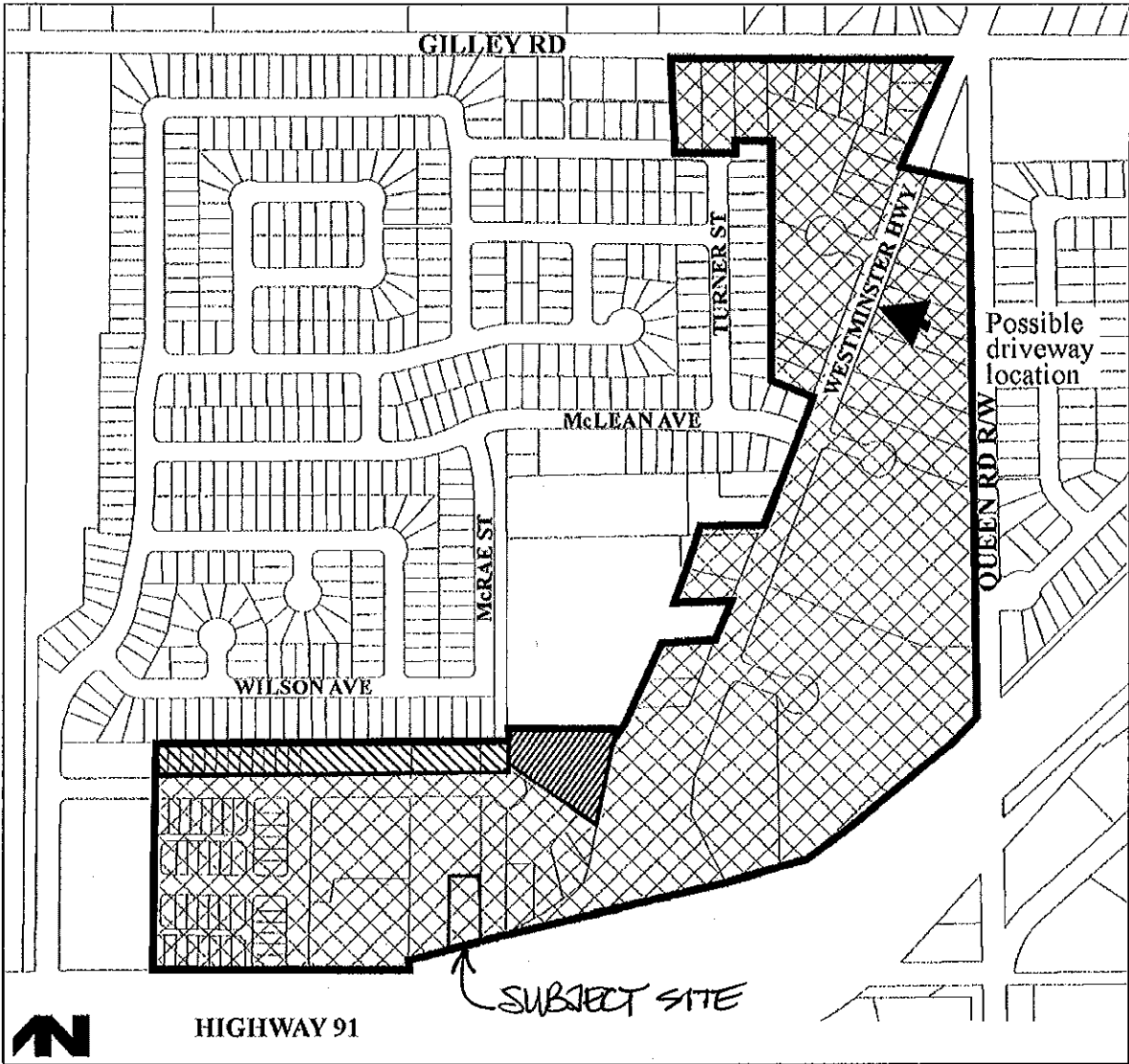
	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.7	Max. 0.7	none permitted
Lot Coverage - Building:	Max. 38%	34%	none
Lot Size (min. dimensions):	400 m ²	1,185.77 m ²	none
Setback – Front Yard:	Min. 6.0 m	9.75 m	none
Setback – West Side Yard:	Min. 3.0 m	2.5 m	2.5 m
Setback – East Side Yard:	Min. 3.0 m	3.0 m	none
Setback – Rear Yard:	Min. 4.5 m	4.5 m	none
Setback – Accessory Structures	Min. 2.0 m	Garbage/recycling enclosure in southwest corner of property	Garbage/recycling enclosure in southwest corner of property
Height (m):	Max. 12 m	9.388 m	none
Vehicle Parking Spaces:	Resident – 2 spaces (per unit) Visitor – 0.2 spaces (per unit) Total: 12 Resident & 2 Visitor	12 Resident & 2 Visitor	none
Vehicle Parking Spaces – Accessible:	N/A	N/A	none
Tandem Parking Spaces:	permitted	12 spaces	none
Amenity Space – Indoor:	Min. 70 m ²	Cash-in-lieu (\$6,000)	none
Amenity Space - Outdoor	Min. 36 m ² (6 m ² per unit x 6 units)	Approx. 60 m ²	none




Other: Tree replacement compensation required for loss of bylaw-sized trees.

City of Richmond

Lower Westminster Sub-Area Land Use Map

Bylaw 7561
2007/06/25



 Small and Large Lot Single Family Residential; Two Family Residential; Townhouse Residential; & Institutional	 Single-Family Residential and/or Duplex Residential Only
Permitted Density: A range of 11 to 25 units per acre to a maximum of 700 dwelling units in the sub-area.	
 Community Facilities Use	



No. DP 07-361642

To the Holder: DENIS TURCO ARCHITECT INC.
Property Address: 22331 WESTMINSTER HIGHWAY
Address: DENIS TURCO/ELENA OANTA
C/O DENIS TURCO ARCHITECT INC.
SUITE 277 - 780 BEATTY STREET
VANCOUVER, BC V6B 2M1

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) Permit a 2.5 m west side yard setback; and,
 - b) Reduce the minimum front and side yard setbacks for accessory structures to permit the garbage and recycling enclosure to be located in the southwest corner of the property.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #3 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$24,314 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 07-361642

To the Holder: DENIS TURCO ARCHITECT INC.
Property Address: 22331 WESTMINSTER HIGHWAY
Address: DENIS TURCO/ELENA OANTA
C/O DENIS TURCO ARCHITECT INC.
SUITE 277 - 780 BEATTY STREET
VANCOUVER, BC V6B 2M1

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF

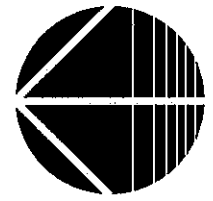
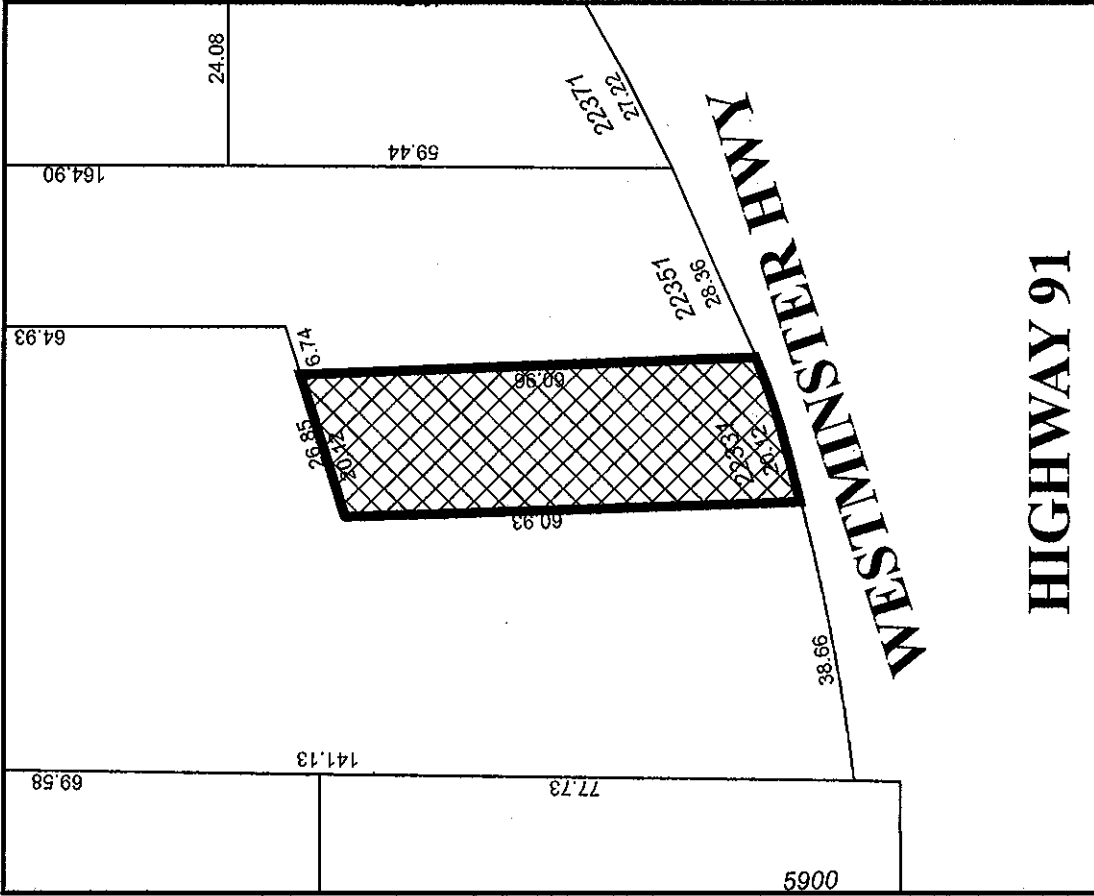
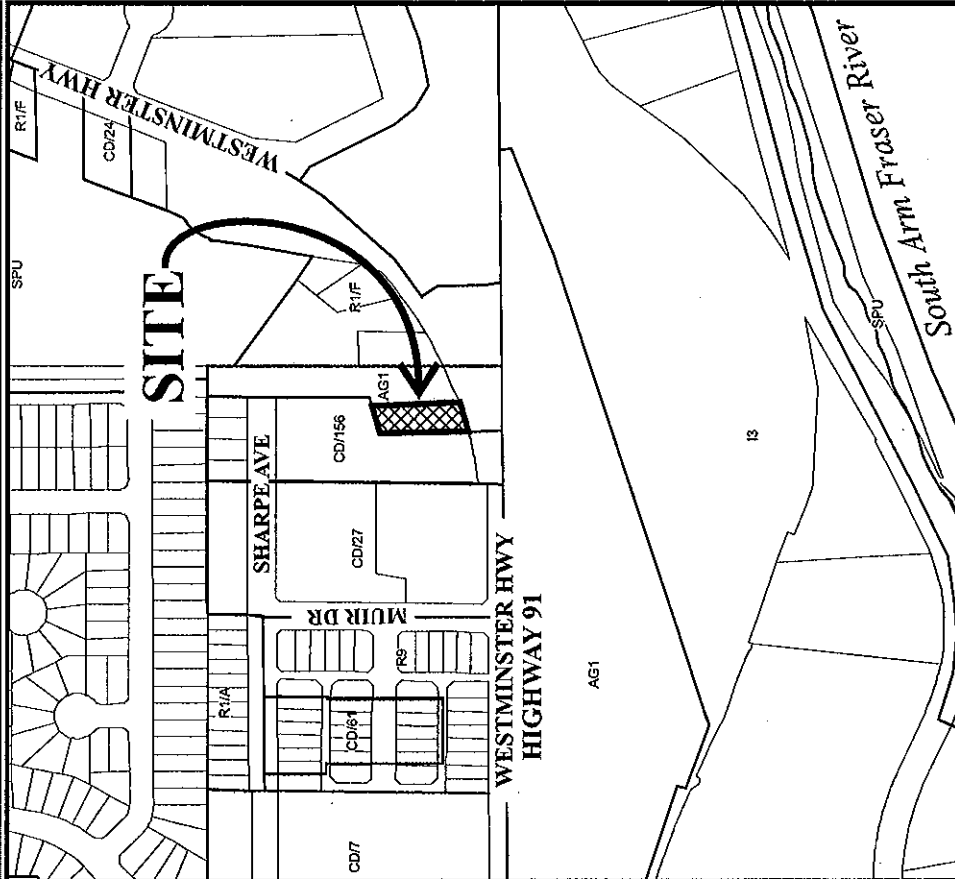
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

MAYOR



City of Richmond



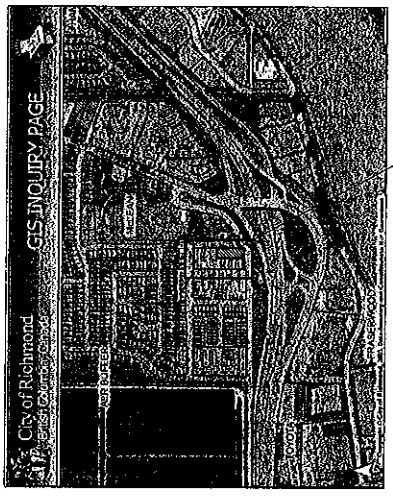
DP 07-361642 SCHEDULE "A"

Original Date: 02/22/07

Revision Date:

Note: Dimensions are in METRES

PROPOSED TOWNHOUSES FOR SIGMA DEVELOPMENTS

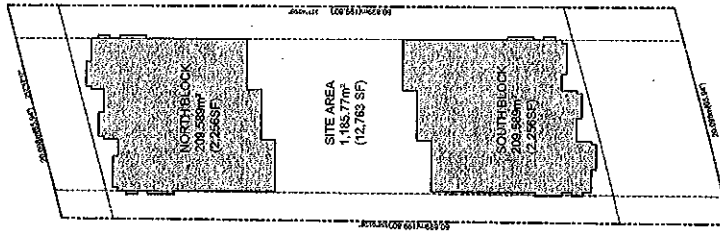


CONTEXT PLAN

PROJECT DATA	PROPOSED	REVISIONS	DATE	BY
TOTAL AREA	1,185.77 SF			
LOT 2 AREA	1,185.77 SF			
LOT 3 AREA	1,185.77 SF			
TOTAL FLOOR AREA	2,371.54 SF			
NET AREA	1,185.77 SF			
PERCENTAGE	100%			
REMARKS				
PARKING				
ADVISORY				
REVISIONS				

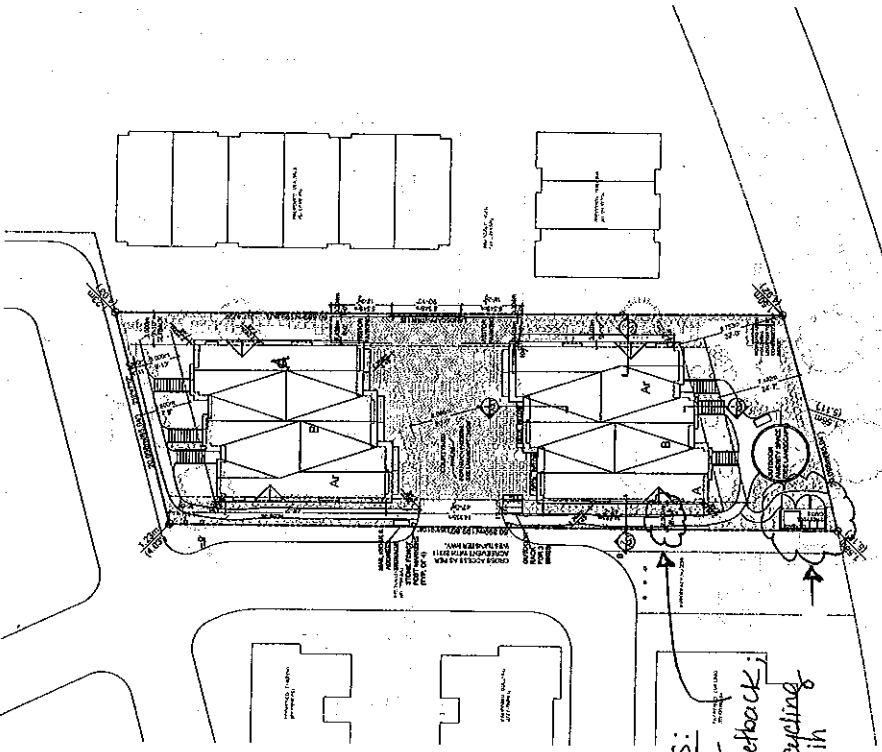
CONTEXT PLAN
 NORTH BLOCK 208,388 SF
 SOUTH BLOCK 210,388 SF
 SITE AREA 1,185.77 SF
 TOTAL FLOOR AREA 2,371.54 SF
 NET AREA 1,185.77 SF
 PERCENTAGE 100%

2 Units 1 Bedroom + 2 visitor



LOT COVERAGE OVERLAY

NOTES:
 1) ALL SITE INFORMATION BASED ON SURVEY PREPARED BY GREWAL AND ASSOCIATES, 2000 WATSON LAND SURVEYS, DATED SEP. 26, 2000. 2) ALL DIMENSIONS ARE IN METERS. 3) DRAWING BY CDR. GROUP CONSULTING, DATED FEB. 21, 2006. 4) ALL DIMENSIONS ARE IN METERS. 5) LANDSCAPE LAYOUT BASED ON DRAWINGS PROVIDED BY JAL DESIGN GROUP INC. FOR SOFT LANDSCAPE (DWS, L-1).



VARIANCES:
 1) 2.5m West Side Yard Setback;
 2) Garbage/recycling Enclosure in Setback.

Notes:
 • Permit Plans to include:
 • Aging-in-place features in all units (See "Project Data")
 • Lighting in Amenity Area/Pathways.

1 SITE PLAN 1/16"=1'-0"

City of Richmond
 GIS Inquiry Page

DATE: 11/16/06

DATE: 11/16/06
 BY: [Signature]

DIA
 DENIS TUNCO ARCHITECT INC.

22331 WESTMINSTER HWY.
 PROPOSED TOWNHOUSES

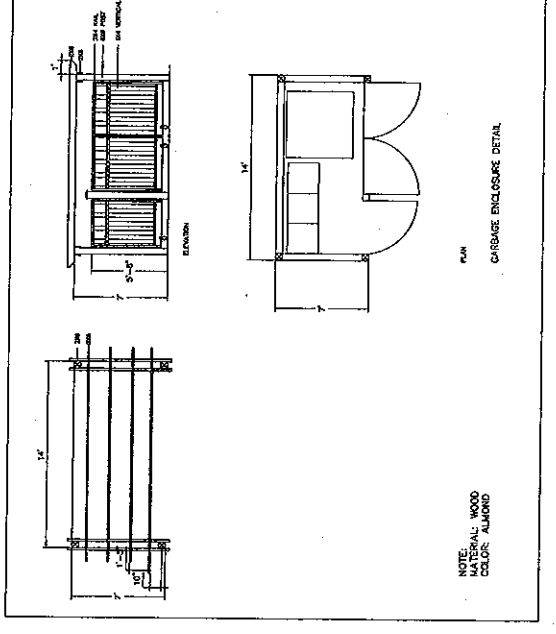
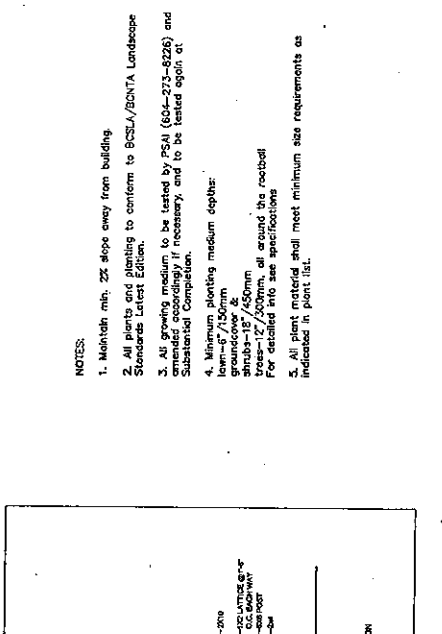
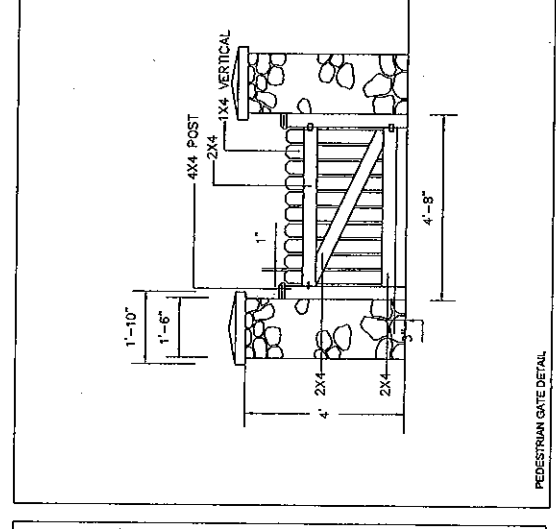
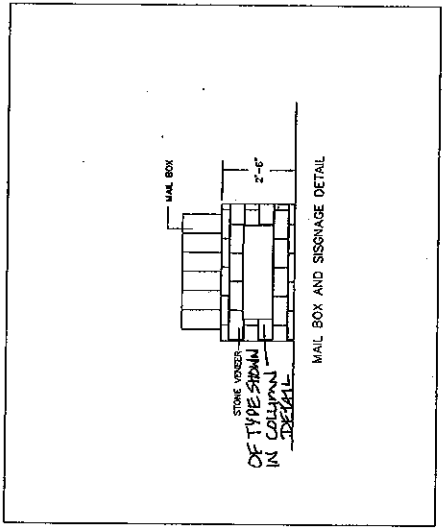
PROJECT TITLE:
 22331 WESTMINSTER HWY.
 PROPOSED TOWNHOUSES

FILE NO.: 06155
 DATE: NOV 2006
 SCALE: AS NOTED
 DRAWN BY: EO
 CHECKED BY: DT

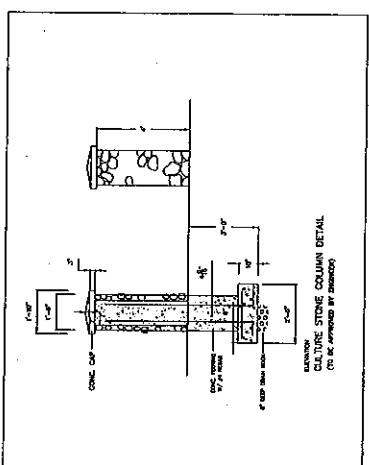
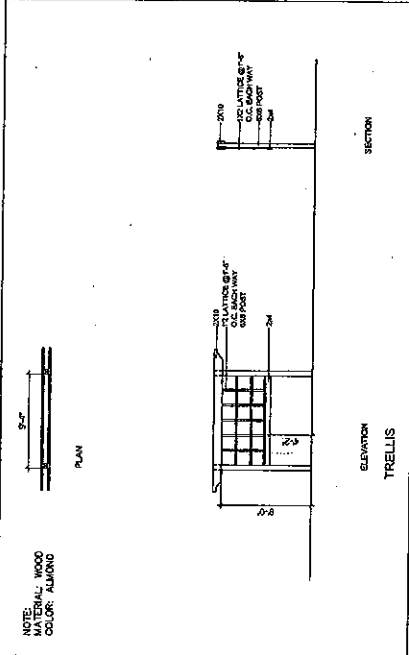
DP 07-361642
 PLAN # 1

SHEET NO.: A.0.1

RECEIVED
MAY 21 2010
BY: [Signature]



- NOTES:
1. Maintain min. 2x slope away from building
 2. All plants and planting to conform to BCSLA/BCNTA Landscape Standards Latest Edition.
 3. All growing medium to be tested by PSAI (604-273-8226) and amended accordingly if necessary, and to be tested again at Substantial Completion.
 4. Minimum planting medium depths:
 - Perennials/750mm
 - Shrubs/1200mm
 - Shrubs-18"/450mm
 - Trees-12"/300mm, all around the rootball
 For detailed info see specifications
 5. All plant material shall meet minimum size requirements as indicated in plant list.



NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
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PROJECT TITLE: PROPOSED TOWNHOUSE DEVELOPMENT
2331 Westminister Highway, Richmond, BC

SCALE: 1/8"=1'-0"
DATE: May, 2010

JHL Design Group Inc.
Landscape Architecture + Urban Design
4374 Maple Street, Vancouver, BC
Tel: 604-273-8833
Fax: 604-273-8833

DR: 07-361642
PLAN #2

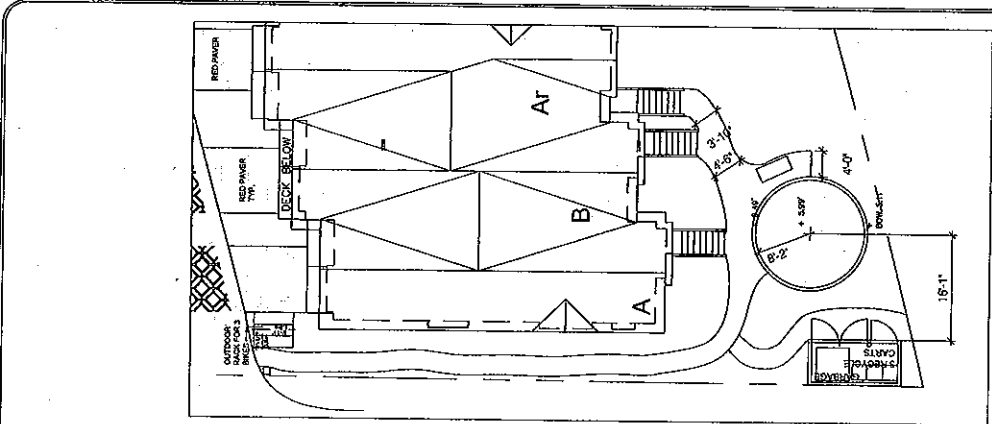
DETAILS/PLANT LIST/NOTES

DATE: _____

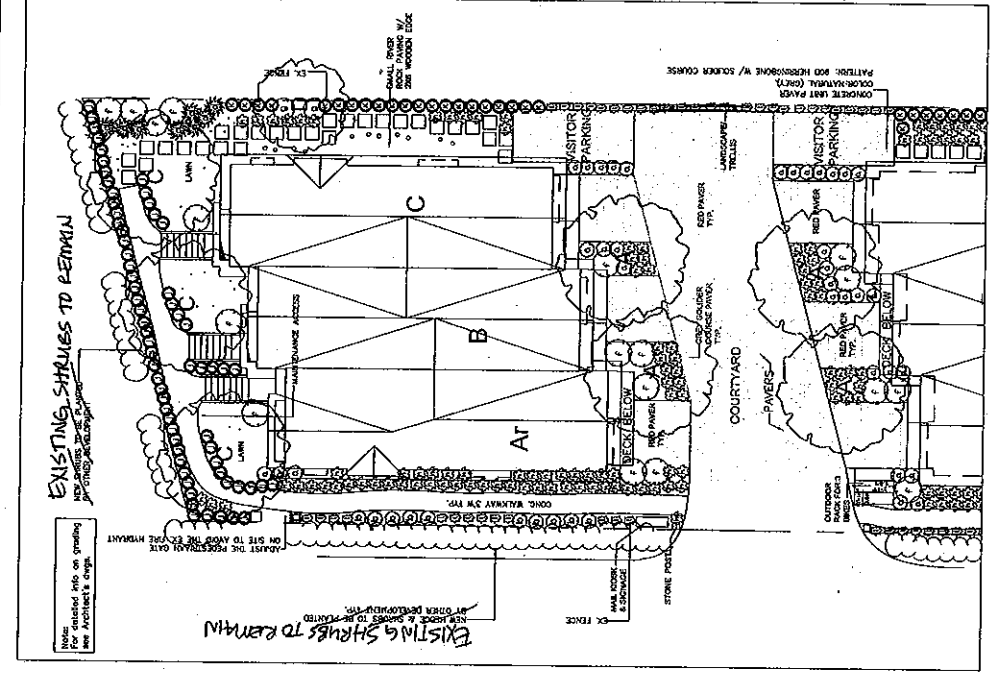
REVISIONS:

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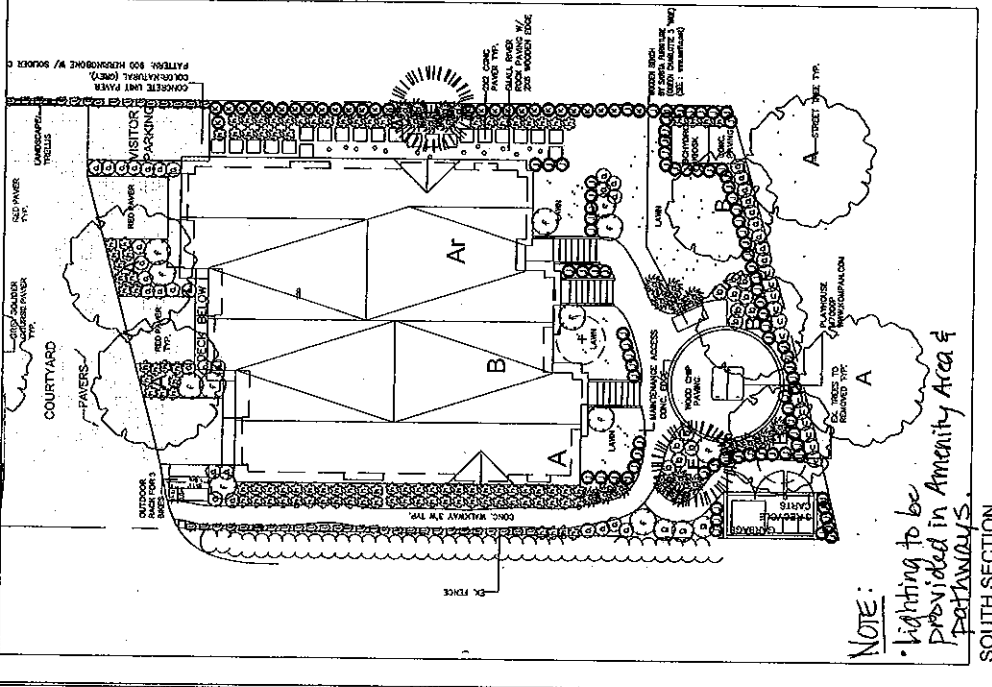
RECEIVED
MAY 2 2010
BY: [Signature]



LAYOUT PLAN



NORTH SECTION



SOUTH SECTION

<p>PROPOSED TOWNHOUSE DEVELOPMENT 22301 Westminster Highway, Richmond, BC</p>		<p>DATE: May, 2010</p>	<p>SCALE: 1/8" = 1'-0"</p>	<p>PROJECT NO: L-2</p>
<p>JHL Design Group Inc. Landscape Architecture + Urban Design 1000 West Beaver Creek Rd., Richmond, BC Tel: 604-273-8833 Fax: 604-273-8837 Email: jhl@jhlgroup.com</p>		<p>DATE: [Blank]</p>	<p>PROJECT NO: [Blank]</p>	<p>PROJECT NAME: L-2</p>
<p>LANDSCAPE PLAN / LAYOUT PLAN</p>		<p>PLAN #2A</p>		

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1. The architect shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

 2. The architect shall be responsible for coordinating with the contractor to ensure that the construction of the building complies with all applicable codes and regulations.

 3. The architect shall be responsible for providing the contractor with all necessary information and documents to complete the construction of the building.

 4. The architect shall be responsible for reviewing the contractor's work to ensure that it meets the design intent and quality standards of the project.

 5. The architect shall be responsible for providing the contractor with all necessary information and documents to complete the construction of the building.

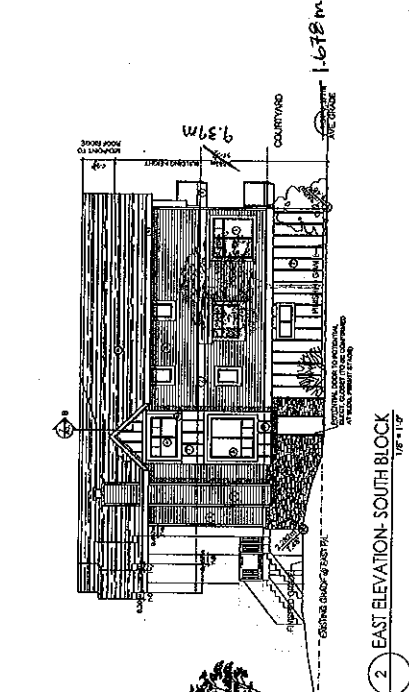
 6. The architect shall be responsible for reviewing the contractor's work to ensure that it meets the design intent and quality standards of the project.

 7. The architect shall be responsible for providing the contractor with all necessary information and documents to complete the construction of the building.

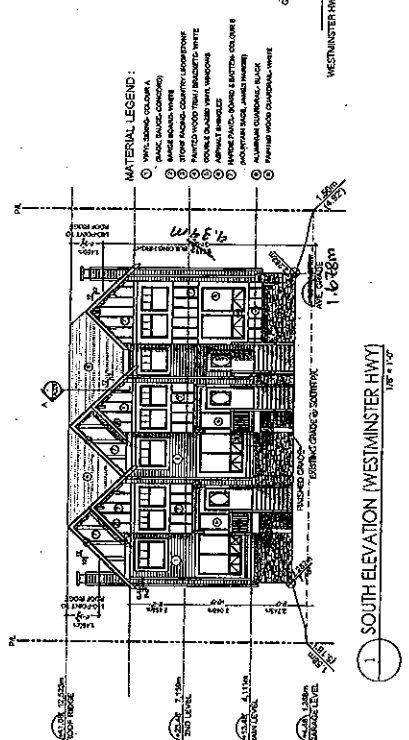
 8. The architect shall be responsible for reviewing the contractor's work to ensure that it meets the design intent and quality standards of the project.

 9. The architect shall be responsible for providing the contractor with all necessary information and documents to complete the construction of the building.

 10. The architect shall be responsible for reviewing the contractor's work to ensure that it meets the design intent and quality standards of the project.

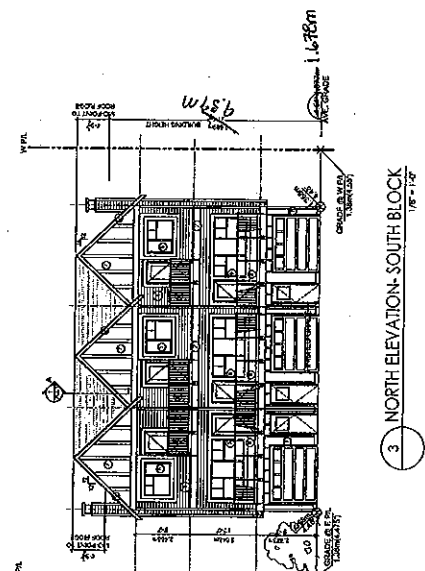


2 EAST ELEVATION- SOUTH BLOCK
 1/8" = 1'-0"

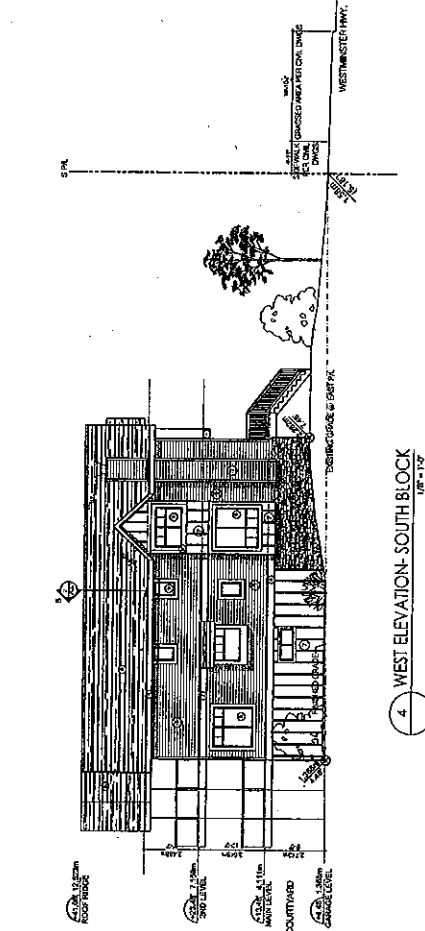


1 SOUTH ELEVATION (WESTMINSTER HWY)
 1/8" = 1'-0"

- MATERIAL LEGEND:
- 1 VINYL SIDING- COLUMN A
 - 2 BRICK (RANDOM COLOR)
 - 3 STYRENE FOAM INSULATION
 - 4 PAINTED WOOD TRIM / BENCHES / WHITE
 - 5 COARSE SANDSTONE / BRICK
 - 6 PAINTED WOOD TRIM / BENCHES / WHITE
 - 7 PAINTED WOOD TRIM / BENCHES / WHITE
 - 8 PAINTED WOOD TRIM / BENCHES / WHITE
 - 9 PAINTED WOOD TRIM / BENCHES / WHITE
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 - 15 PAINTED WOOD TRIM / BENCHES / WHITE
 - 16 PAINTED WOOD TRIM / BENCHES / WHITE
 - 17 PAINTED WOOD TRIM / BENCHES / WHITE
 - 18 PAINTED WOOD TRIM / BENCHES / WHITE
 - 19 PAINTED WOOD TRIM / BENCHES / WHITE
 - 20 PAINTED WOOD TRIM / BENCHES / WHITE



3 NORTH ELEVATION- SOUTH BLOCK
 1/8" = 1'-0"



4 WEST ELEVATION- SOUTH BLOCK
 1/8" = 1'-0"

DATE	BY	REVISIONS
11/15/08	DT	PLANNING PERMITS
11/15/08	DT	PERMITS
11/15/08	DT	PERMITS
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DIA
 DENIS TURCO ARCHITECT INC.
 3400 WESTMINSTER HWY. SUITE 200
 WESTMINSTER, CO 80057
 TEL: 303.441.1111 FAX: 303.441.1112
 WWW.DIAARCHITECT.COM

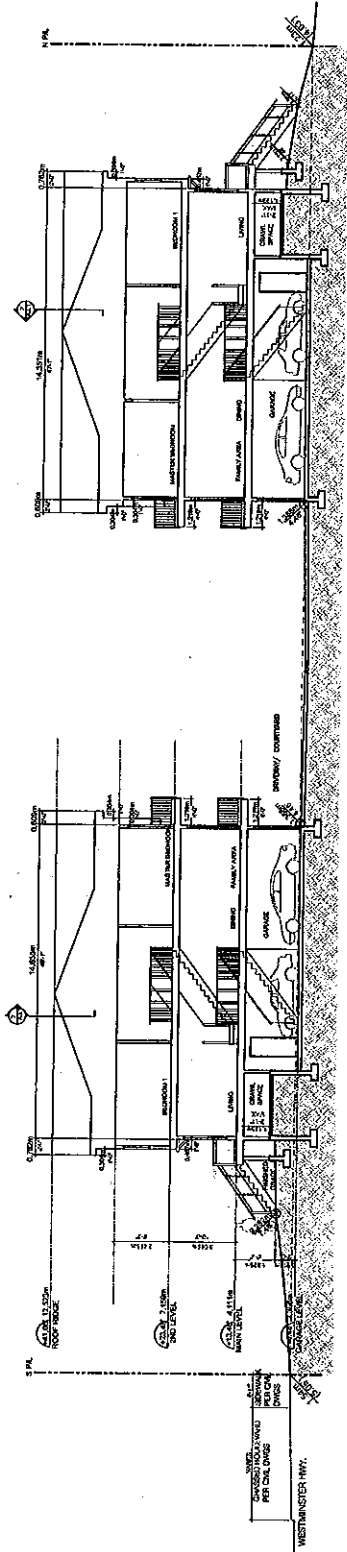
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 22331 WESTMINSTER HWY.
 PROPOSED TOWNHOUSES
 WESTMINSTER, CO

SHEET TITLE:
 ELEVATIONS

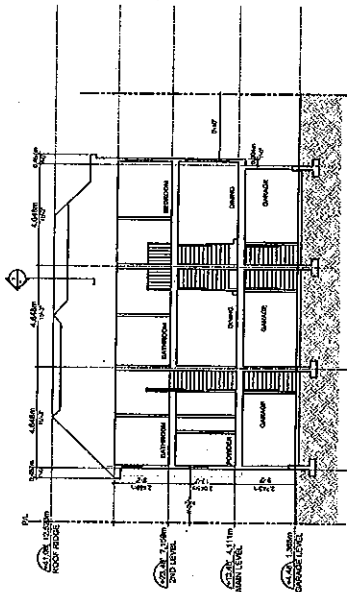
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 DATE: NOV 2008
 SCALE: AS NOTED
 DRAWN BY: ED
 CHECKED BY: DT
 PROJECT MANAGER: DENIS TURCO
 PROJECT NO.: A2.1
 DATE LAST REVISED: 11/15/08

DP 07-361642
 PLAN # 3

NOT TO SCALE
 ALL DIMENSIONS ARE IN FEET AND INCHES
 UNLESS OTHERWISE NOTED TO THE CONTRARY
 ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE ELEMENT UNLESS OTHERWISE NOTED
 ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED
 ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE ELEMENT UNLESS OTHERWISE NOTED
 ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED



SECTION A-A
 1/8" = 1'-0"



SECTION B-B
 1/8" = 1'-0"

CITY OF WESTMINSTER

DATE	REVISIONS	BY
06/15/07	1	DT
08/15/07	2	DT
10/15/07	3	DT
12/15/07	4	DT
02/15/08	5	DT
04/15/08	6	DT
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10/15/23	99	DT
12/15/23	100	DT



DOMESTICO ARCHITECT INC.
 22331 WESTMINSTER HWY.
 WESTMINSTER, CO 80057
 TEL: (303) 441-1111
 FAX: (303) 441-1112
 E: domestico@domestico.com

PROJECT TITLE
 22331 WESTMINSTER HWY.
 PROPOSED TOWNHOUSES

Revision: 00

SHEET TITLE
 SECTIONS

FILE NO: 00155
 DATE: NOV 2008
 SCALE: AS NOTED
 DRAWN BY: EO
 CHECKED BY: DT
 DATE: 11/15/08
 PROJECT LOCATION: WESTMINSTER, CO
 SHEET NO: A 3.1

DATE PLOTTED: 11/15/08

DP 07-361642
 PLAN # 3A

PROJECT NO. 06155
 DATE: NOV 2008
 SCALE: AS NOTED
 DRAWN BY: EC
 CHECKED BY: DT
 PROJECT TITLE: 2220 WESTMINSTER WAY, PROPOSED TOWNHOUSES
 SHEET TITLE: FLOOR PLANS
 FILE NO.: 06155
 DATE: NOV 2008
 SCALE: AS NOTED
 DRAWN BY: EC
 CHECKED BY: DT
 PROJECT TITLE: 2220 WESTMINSTER WAY, PROPOSED TOWNHOUSES
 SHEET TITLE: FLOOR PLANS

NOTE: AGING-IN-PLACE FEATURES TO BE INCLUDED IN ALL 4 UNITS

- BLOCKING IN WASHROOM WALLS FOR FUTURE GRABS BAR INSTALL.
- LEVER HANDLES FOR PLUMBING & FIXTURES.
- DOORS.
- STAIRWELL HANDRAIL

DPO7-361642

REFERENCE PLAN

DATE: 11/17/08

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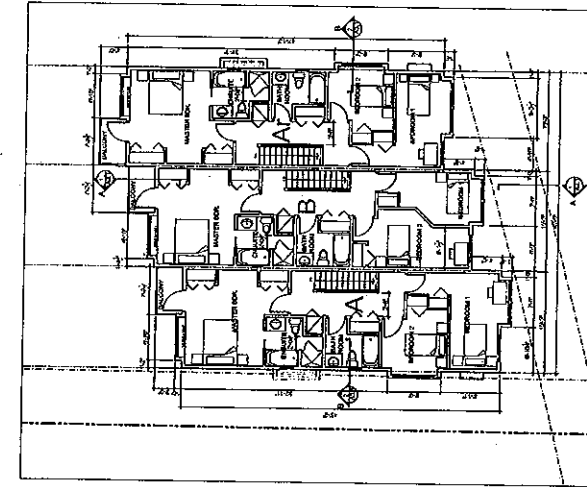
DPA
 DONIS TUDOR ARCHITECT INC.
 2220 WESTMINSTER WAY, SUITE 200
 WESTMINSTER, CO 80540
 TEL: 303.440.1111 FAX: 303.440.1112
 WWW.DONISTUDOR.COM

PROJECT TITLE: 2220 WESTMINSTER WAY, PROPOSED TOWNHOUSES
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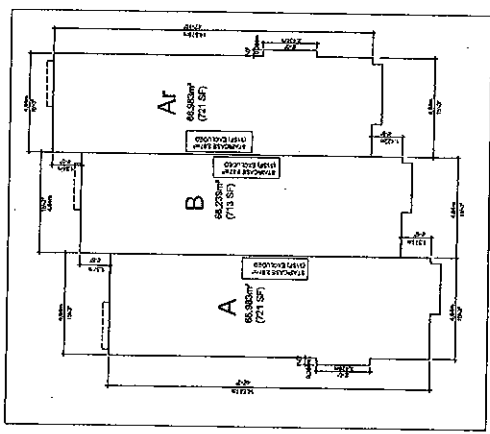
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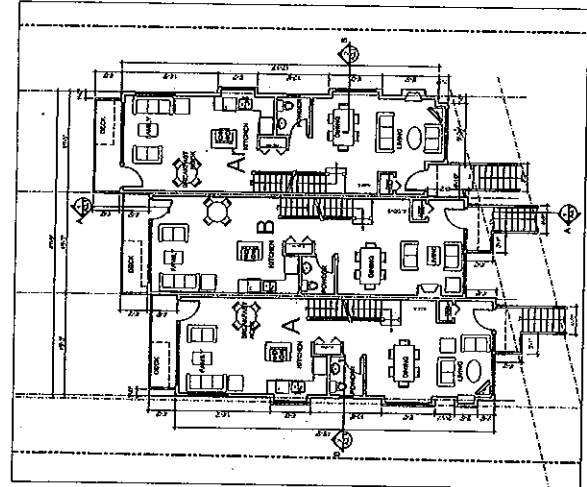
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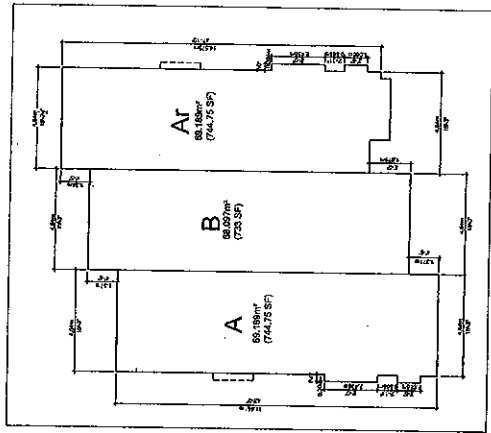
3 TYP. 2ND LEVEL (SOUTH BLOCK) (NORTH BLOCK SIMILAR) 1/8" = 1'-0"



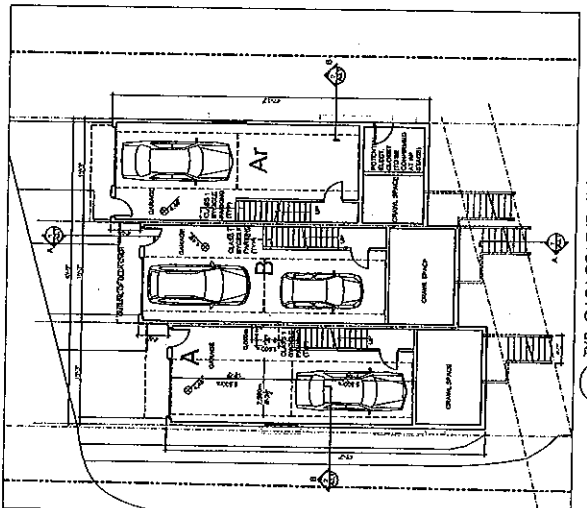
6 F.A.R. OVERLAY - 2ND FLOOR (SOUTH BLOCK)



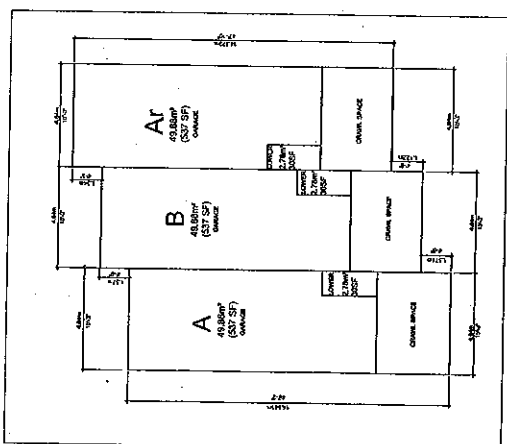
2 TYP. MAIN LEVEL (SOUTH BLOCK) (NORTH BLOCK SIMILAR) 1/8" = 1'-0"



5 F.A.R. OVERLAY - MAIN FLOOR (SOUTH BLOCK)



1 TYP. GARAGE LEVEL (SOUTH BLOCK) (NORTH BLOCK SIMILAR) 1/8" = 1'-0"



4 F.A.R. OVERLAY - GARAGE LEVEL (SOUTH BLOCK)