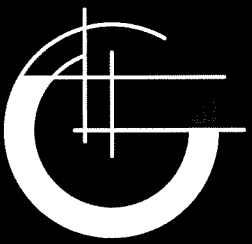


Schedule 3 to the Minutes of the  
Development Permit Panel  
meeting held on Wednesday,  
May 10, 2023



ORION

CONSTRUCTION

# Development Permit Panel

9800 Van Horne Way, Richmond

May 10, 2023

# Introductions.

Jeremy Paquin, Orion Construction

Darcy Forcier, dForce Design/ARCHITECTURE PANEL

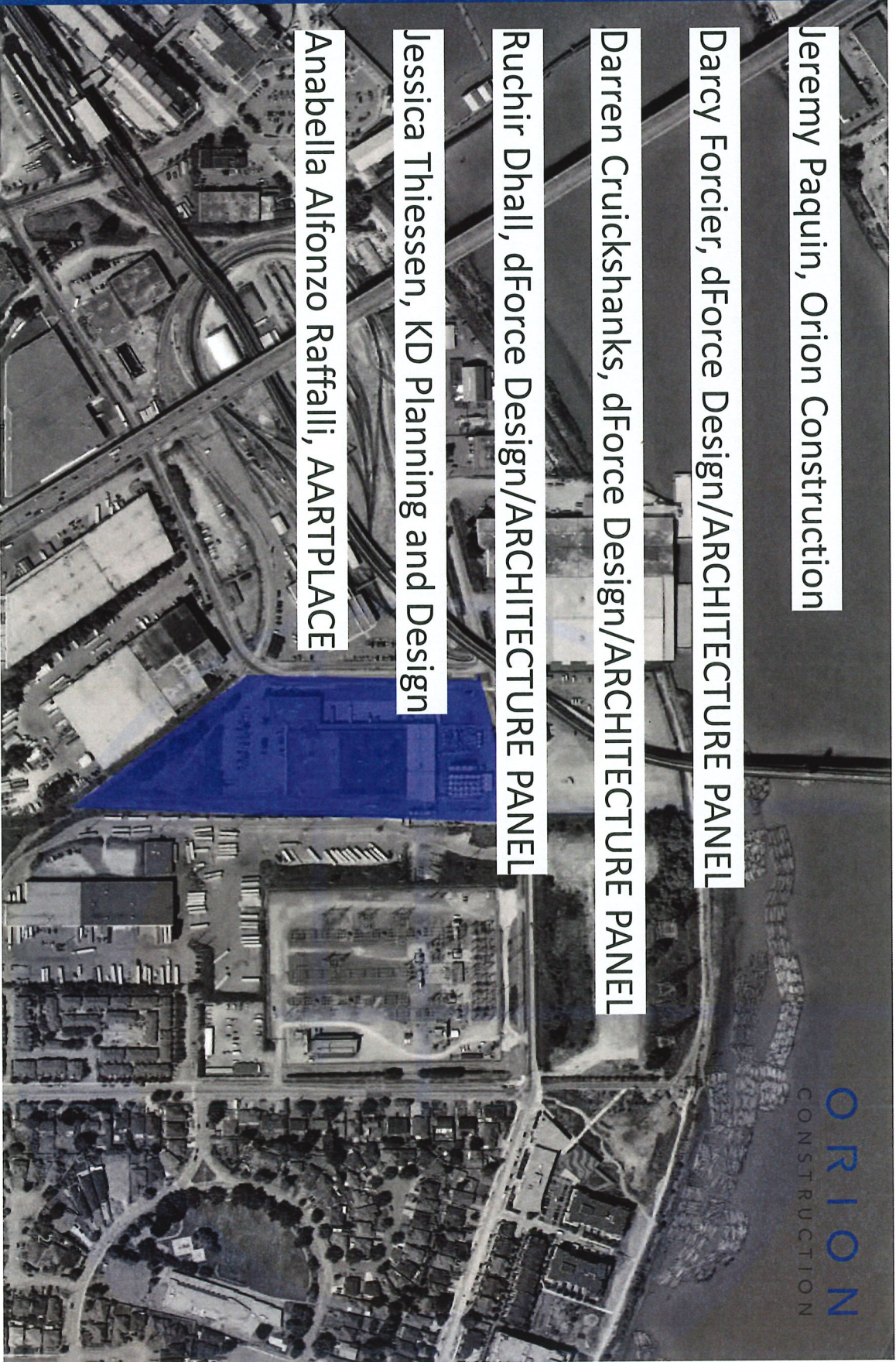
Darren Cruickshanks, dForce Design/ARCHITECTURE PANEL

Ruchir Dhall, dForce Design/ARCHITECTURE PANEL

Jessica Thiessen, KD Planning and Design

Anabella Alfonso Raffalli, AARTPLACE

ORION  
CONSTRUCTION



9800 Van Horne Way

Two Buildings

Zoning: IL (Light Industrial)

Lot Size: 8.99 Acres

Site Coverage: 48.6% / FAR: 0.62

Building 1000:

34 ft tall;

26 Units;

58,936 sq ft of main floor; &

25,761 sq ft of upper floor.

Building 2000:

35 ft tall;

18 Units;

131,668 sq ft of main floor; &

27,418 sq ft of upper floor.

Project.

# Architectural

PROPOSED INDUSTRIAL BUILDINGS FOR:  
**CEDAR COAST**  
**VAN HORNE**  
 9800 VAN HORNE WAY, RICHMOND, BC

LOT A, 562 22 BLK 56 RD 667 PL, LAMBS LOT A, BLOCK 56, PLAN LAMBS, SECTION 22, RANGE 6N, NORTHWESTER LAND DISTRICT, EXCEPT PLAN R07230 14



1-3 BUILDING A FROM NORTHWEST CORNER



2 BUILDING B FROM RIVER DRIVE



3 BUILDING A ENTRANCE



4 BUILDING B TYPICAL UNIT ENTRANCE AND LOADING

**CONSULTANTS LIST:**

<p><b>ARCHITECT</b>  <b>CHIP BARRETT ARCHITECT</b>                  440-5025 22 AVE. BARKER, BC, VAN                  TEL: 604-596-1272                  CONTACT: CHIP BARRETT</p>	<p><b>DEVELOPER</b>  <b>ORION CONSTRUCTION</b>                  104-3983 91 STREET, SURREY                  BC, V2Z 0Y6                  TEL: 604-582-2944                  CONTACT: BRADEN SMITH</p>	<p><b>CIVIL ENGINEER</b>  <b>CENTRAS ENGINEERING LTD.</b>                  1714-3430 GEORGINA DRIVE,                  SURREY, BC, V2Z 0Y6                  TEL: 604-762-5477                  CONTACT: STEVE GOSNELL</p>	<p><b>GEOTECHNICAL ENGINEER</b>  <b>GEOPACIFIC CONSULTANTS LTD.</b>                  1774 W. 75TH AVENUE, VANCOUVER,                  BC, V6P 4Y9                  TEL: 604-449-0422                  CONTACT: HAIT ANSANO</p>	<p><b>LANDSCAPE ARCHITECT</b>  <b>KD PLANNING &amp; DESIGN LTD</b>                  4400-34071 GILBERT AVENUE                  RICHMOND, BC, V6V 1S9                  TEL: 604-585-1800                  CONTACT: ERIKA THRESEN</p>	<p><b>ARBORIST</b>  <b>KD PLANNING &amp; DESIGN LTD</b>                  4400-34071 GILBERT AVENUE                  RICHMOND, BC, V6V 1S9                  TEL: 604-585-1800                  CONTACT: MARK GOODENOUGH</p>
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**ARCHITECTURAL DRAWING LIST**

COVER SHEET	4-00
PROPOSED SITE PLAN	4-01
PROPOSED SITE ELEVATION	4-02
PROPOSED FLOOR PLAN	4-03
PROPOSED EXTERIOR FINISH ELEVATION	4-04
PROPOSED INTERIOR FINISH ELEVATION	4-05
PROPOSED SECTION	4-06
PROPOSED DETAIL	4-07
PROPOSED DETAIL	4-08
PROPOSED DETAIL	4-09
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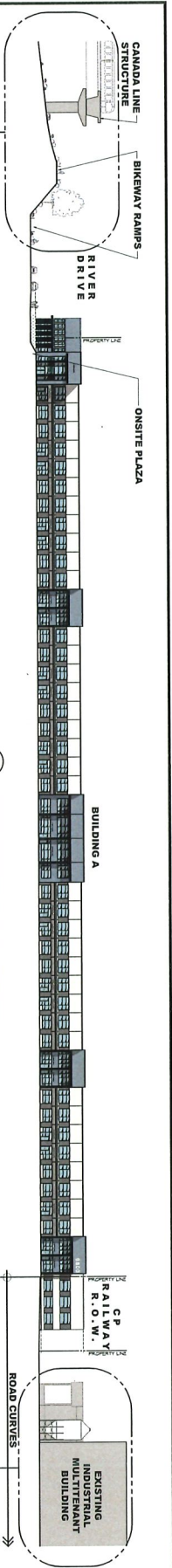
**ARCHITECTURE PAPER**  
 REGISTERED ARCHITECTS  
 14 ASSOCIATION WITH  
**D. FORBES** REGISTERED  
 ARCHITECTS  
 2474 HASTINGS STREET, VANCOUVER, BC V6K 4R2  
 TEL: 604-275-2222 FAX: 604-275-2223  
 WWW.FORBESREGISTEREDARCHITECTS.COM  
 THIS DRAWING IS THE PROPERTY OF D. FORBES REGISTERED ARCHITECTS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, REPRODUCED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF D. FORBES REGISTERED ARCHITECTS. ANY UNAUTHORIZED USE OF THIS DRAWING IS PROHIBITED AND WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

**CEDAR COAST**

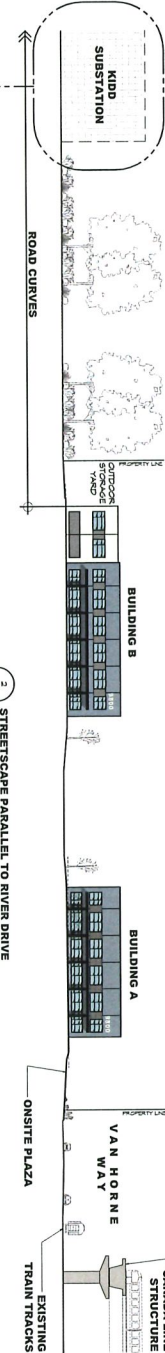
ORION CONSTRUCTION  
 104-3983 91 STREET, SURREY, BC, V2Z 0Y6  
 TEL: 604-582-2944 FAX: 604-582-2944  
 WWW.ORIONCONSTRUCTION.COM

PROJECT MANAGER: BRADEN SMITH  
 ARCHITECT: CHIP BARRETT  
 CIVIL ENGINEER: STEVE GOSNELL  
 GEOTECHNICAL ENGINEER: HAIT ANSANO  
 LANDSCAPE ARCHITECT: ERIKA THRESEN  
 ARBORIST: MARK GOODENOUGH

ADDRESS: 9800 VAN HORNE WAY, RICHMOND, BC  
 VANCOUVER  
 COVER SHEET  
 SHEET NO. A-0.0 OF 4



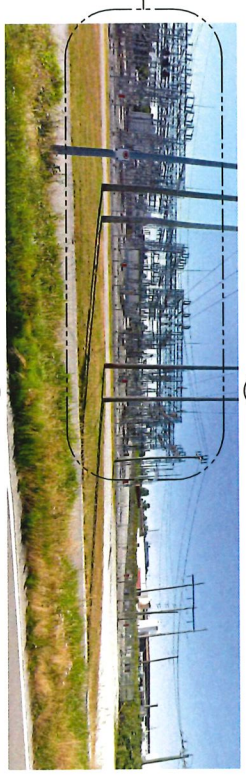
1 STREETScape PARALLEL TO VAN HORNE WAY  
SCALE: 1/8"



2 STREETScape PARALLEL TO RIVER DRIVE  
SCALE: 1/8"  
NOTE: ALL OFFSITE STRUCTURES ARE OPTIONAL ONLY. REFER TO PHOTOGRAPHS FOR ADDITIONAL DETAILS.



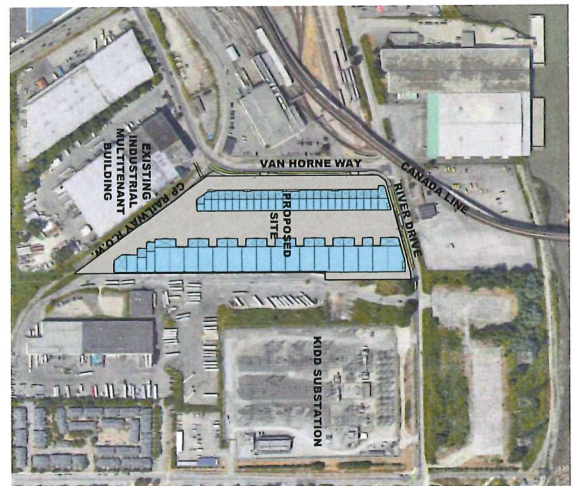
3 VIEW OF NEIGHBOUR TO THE SOUTH  
SCALE: 1/8"



4 VIEW OF NEIGHBOUR TO THE EAST  
SCALE: 1/8"



5 VIEW OF INTERSECTION AT RIVER DR & VAN HORNE WAY  
SCALE: 1/8"



6 CONTEXT PLAN  
SCALE: 1/8"

**ARCHITECTURE FIRM**  
D. FORD  
D. FORD ARCHITECTURE  
1000 WESTERN AVENUE, SUITE 200  
VANCOUVER, BC V6C 2R8  
TEL: 604-681-1111  
WWW.DFORDARCHITECTURE.COM

**CEAR COAST**

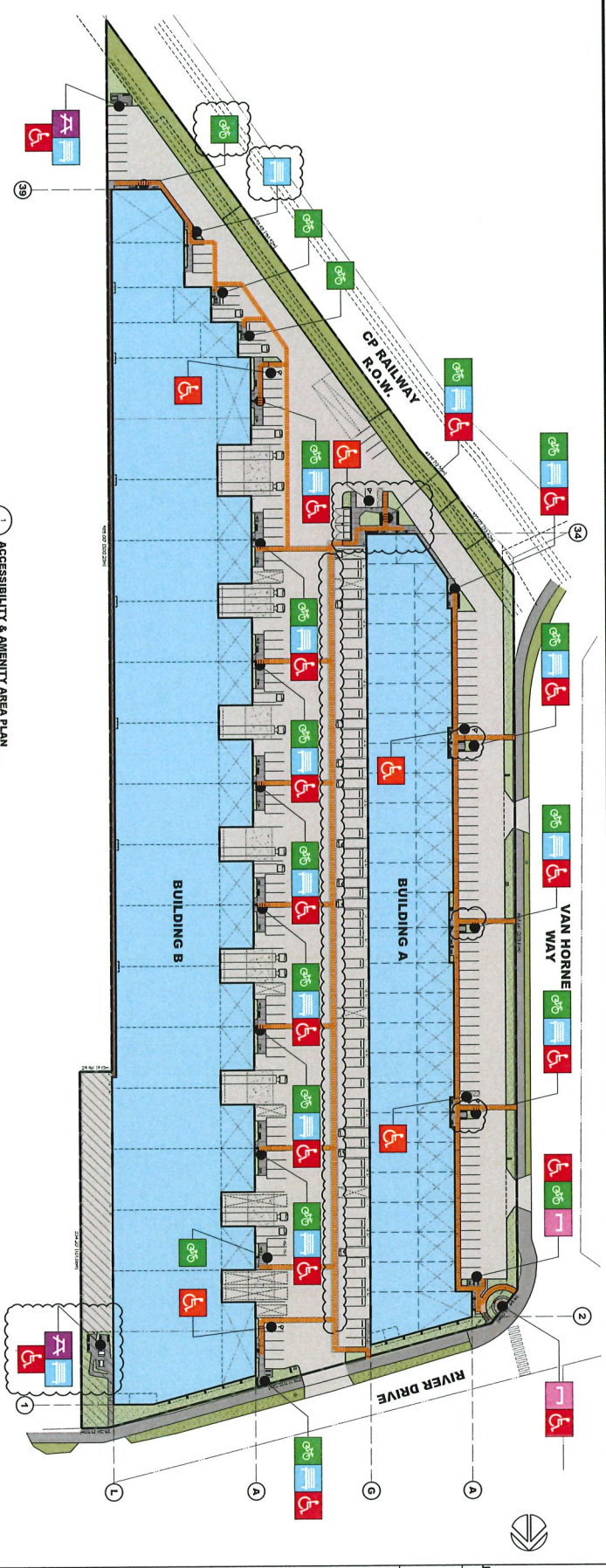
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**CEAR COAST**  
STEETScape  
ELEVATIONS  
2

**DORION**  
CONSTRUCTION

**CEAR COAST**  
VAN HORNE

PROJECT: CEDAR COAST STEETScape ELEVATIONS  
DATE: 2024  
SCALE: 1/8"



1 ACCESSIBILITY & AMENITY AREA PLAN  
 SCALE: 1" = 4'-0"  
 DATE: 10/25/2011

AMENITY PLANNING DESIGN RATIONALE

- .. IDENTIFIED ACCESS FROM VARIOUS UNITS AT THE AND REVERSED TRAVEL DISTANCE FROM UNITS
- .. VARIOUS AMENITY PROVIDING NEEDS OF THE DIFFERENT BUILDING STYLES BY PROVIDING MORE DIVERSE AMENITIES AT BUILDING A
- .. ALL UNITS HAVE A WOODEN BENCH KITCHEN THAN BUILDING B
- .. ACCESS POINTS TO THE SITE HAVE BEEN PROVIDED ALONG BOTH ROAD TO THE SOUTH TO ALLOW FOR MULTIPLE CONNECTIONS TO THE SITE FOR PEDESTRIANS AND CYCLISTS
- .. SOME UNITS HAVE BEEN MADE TO TAKE ADVANTAGE OF THE SITE FOR PEDESTRIANS AND CYCLISTS
- .. ACCESSIBLE STALLS PROVIDED FOR THE CITY OF KIDKOND ZONING BYLAW 17311 & 17314

ACCESSIBILITY RATIONALE

- .. ACCESSIBLE UNIT FOR ROOM 2008 SECTION 3.9.1 BUILDING ACCESS
- .. HANDICAP ACCESSIBLE
- .. ACCESSIBLE VAN LIFT FOR ALL AMENITIES PROVIDED ON VAN LIFT
- .. ACCESSIBLE VAN LIFT FOR ALL AMENITIES PROVIDED ON VAN LIFT
- .. ACCESSIBLE PATH OF TRAVEL PROVIDED FROM ACCESSIBLE PARKING STALLS TO UNIT ENTRANCES - 3.9.2.5
- .. ALL UNITS PROVIDED WITH ONE ACCESSIBLE UNIVERSAL AMENITY ROOM (KITCHEN, BATH, WASHROOMS) TO CONFORM TO THIS SECTION - 3.9.3.12
- .. ALL UNITS PROVIDED WITH STORAGE FOR ACCESSIBLE AMENITIES
- .. ACCESSIBLE STALLS PROVIDED WITH VISIBLE SURFACE INDICATORS - 3.9.3.10.5
- .. ACCESSIBLE STALLS PROVIDED FOR THE CITY OF KIDKOND ZONING BYLAW 17311 & 17314

SYMBOL LEGEND

- CLASS 2 EXTERIOR BIKE PARKING
- PICNIC TABLE
- BENCH
- CONCRETE BENCH SEAT
- ACCESSIBLE PARKING STALL
- ACCESSIBLE ACCESS TO AMENITIES
- ACCESSIBLE PATH OF TRAVEL

ARCHITECTURE PANEL INC. ARCHITECTS  
 2111 UNIVERSITY AVENUE, SUITE 100, WILLOW GROVE, IL 60090  
 TEL: 847.271.0000 FAX: 847.271.0001  
 WWW.ARCHITECTUREPANEL.COM

PROJECT NUMBER: A-0-6

CEAR COAST  
 11111 UNIVERSITY AVENUE, SUITE 100, WILLOW GROVE, IL 60090  
 TEL: 847.271.0000 FAX: 847.271.0001  
 WWW.CEARCOAST.COM

PROJECT NUMBER: A-0-6

NO.	DATE	DESCRIPTION
1	10/25/2011	ISSUED FOR PERMIT
2	11/15/2011	ISSUED FOR PERMIT
3	12/15/2011	ISSUED FOR PERMIT

PROJECT NUMBER: A-0-6

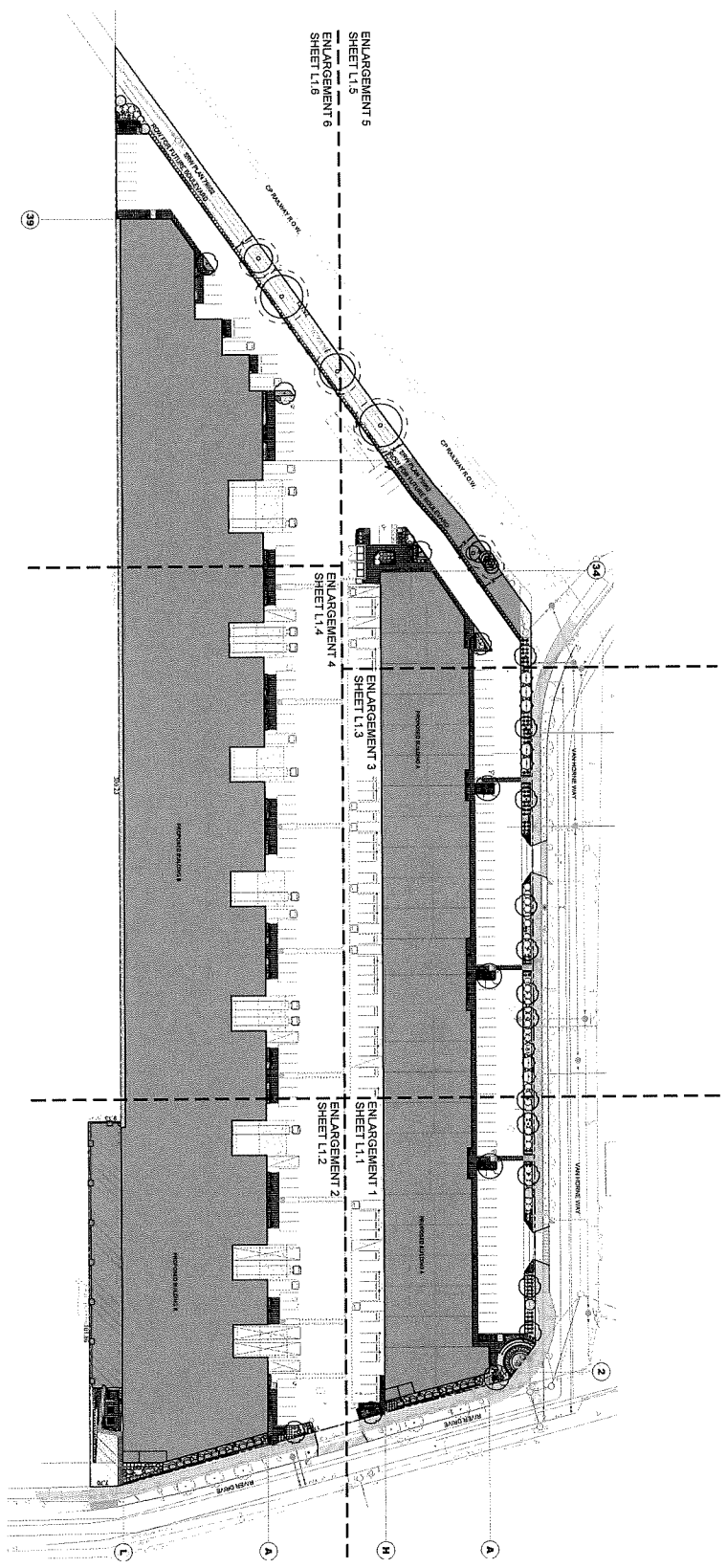
DATE: 10/25/2011







# Landscape Architecture



- PLANNING NOTES**
1. PLANNING SHALL BE REVIEWED BY THE BOARD, CITY AND STAFF.
  2. PLANNING SHALL BE REVIEWED BY THE BOARD, CITY AND STAFF.
  3. PLANNING SHALL BE REVIEWED BY THE BOARD, CITY AND STAFF.
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  14. PLANNING SHALL BE REVIEWED BY THE BOARD, CITY AND STAFF.
  15. PLANNING SHALL BE REVIEWED BY THE BOARD, CITY AND STAFF.

- REVISIONS**
1. CHANGE SITE AND CONSTRUCTION SITE CONDITIONS BEFORE BEGINNING CONSTRUCTION.
  2. CHANGE ALL REVISIONS ON SITE. DO NOT SCALE DRAWINGS.
  3. CONSTRUCTION SHALL BE REVIEWED BY THE BOARD, CITY AND STAFF.
  4. CONSTRUCTION SHALL BE REVIEWED BY THE BOARD, CITY AND STAFF.
  5. CONSTRUCTION SHALL BE REVIEWED BY THE BOARD, CITY AND STAFF.
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  15. CONSTRUCTION SHALL BE REVIEWED BY THE BOARD, CITY AND STAFF.

**KDPlanning**  
 CONSULTING & ARCHITECTURE  
 1000 WEST 10TH AVENUE, SUITE 200  
 DENVER, CO 80202  
 TEL: 303.733.8888  
 WWW.KDPLANNING.COM

**LEGEND**

- UNPAVED AREA
- CONCRETE RETAINMENT WALL
- GRAVEL
- DRIVING TRAIL TO RESERVE
- TYPICAL SIDE WALK
- TYPICAL BENCH
- TYPICAL CONC. RAMP

**NOTES**

1. SEE PLAN FOR ALL DIMENSIONS.
2. SEE PLAN FOR ALL DIMENSIONS.
3. SEE PLAN FOR ALL DIMENSIONS.
4. SEE PLAN FOR ALL DIMENSIONS.
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15. SEE PLAN FOR ALL DIMENSIONS.

**CEDAR COAST VAN HORNE**

800 VAN HORNE WAY  
 NORTHWOOD, SD

**LANDSCAPE KEY & NOTES**

1:500

DATE: 10/15/2024

PROJECT: CEDAR COAST VAN HORNE

SCALE: 1" = 100'

11

# Public Art.

## Mural by Artist Rory Doyle



Perspective Rendering



**Non exhaustive list of sustainability measures:**

- Level 2 EV charging for 10 parking stalls.
- 100% of units are roughed-in for EV charging.
- Include electrical outlets near select bike parking locations to promote charging of e-bikes (locations TBD as building designs are finalized).
- Efficient parking, circulation, and bay design reduces the amount of idling and driving on site.
- Design all outdoor lighting as high efficiency LED to maximise building efficiency.
- Base building electrical will support tenant installation of high efficiency LED interior lighting and mechanical systems.
- Both buildings will be designed as solar ready to allow for future installations by tenants.
- Reduced water usage through selecting drought resistant species.
- Select endemic flora and ensure alien or invasive species are not planted.
- Limiting the removal of trees and planting new trees.
- Provide facilities to encourage three stream waste separation and recycling.
- Limited window-to-wall ratio (WWR) to reduce solar heat gain.
- Selecting materials that have long-life and low maintenance properties to extend the lifespan of the building and reduce future obsolescence of building elements.
- The development is located within walking distance to bus stops and the Bridgeport SkyTrain and contains a pedestrian-only entrance beautified by public art, thus promoting commuting and visits by transit and by foot.

**Sustainability.**



ORION

COMING

2

Thank You