

Presentation Team:

Robin Glover - Polygon Homes

Greg Voute - RLA Architects

Jergus Oprsal - PWL Partnership Landscape Architects



TALISMAN
AFFORDABLE & RENTAL HOUSING

CAMBIE ROAD & GARDEN CITY ROAD, RICHMOND, B.C.
DEVELOPMENT PERMIT RESUBMISSION

Development Permit Panel Presentation - June 28, 2023



Project Context



Phase 1
of a four phase
development

Offsites
delivered
concurrently with
Phase 1
occupancy

Future city park
to the south

Project Context

Site Plan & Aerial Overlay - Scale: 1:1000 Metric



Accessible connection through the site from north to south via ramps

Accessible connection to new park west of site

6-storey wood frame construction on a single level parkade

Massing organized around a central amenity courtyard

Active edges with patios & homes overlooking public spaces

Indoor amenities close to entries and connected to exterior common areas

Roof top amenity See Landscape

Access to entries and parkade from New Road

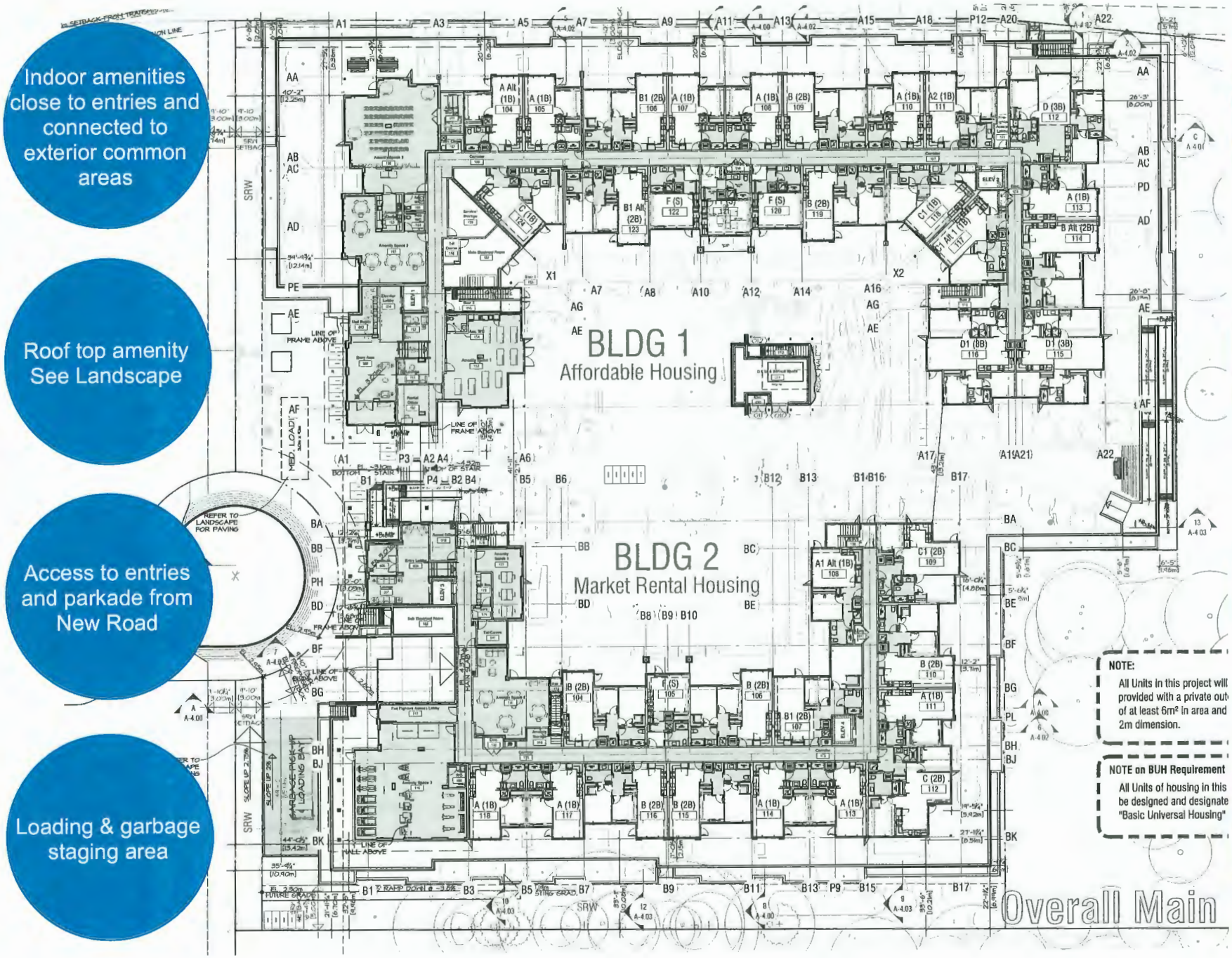
Loading & garbage staging area

156 Affordable Rental homes in Building 1

120 Market Rental homes in Building 2

Accessible ramp connection to future City park

All homes to meet Richmond's Basic Universal Housing standards



NOTE:
All Units in this project will provided with a private out of at least 6m² in area and 2m dimension.

NOTE on BUH Requirement
All Units of housing in this be designed and designate "Basic Universal Housing"

Overall Main

Artistic Visualizations

Overall Development

Significant corners expressed with frames

Largest building frames located at entry points

Entry canopies expressed with warm wood colour

Ramp added to connect the podium with the future park via accessible route



Building 1 & 2 Entry from East Road Roundabout.



Building 1 & 2 Courtyard facing Proposed Park looking North



Aerial View of Building 1 & 2 Entries towards South

Artistic Visualizations

Overall Context

Overall development starts with lower massing to the south...

...taller massing located to the north and west

Accessible ramp connection from podium to future park



Building 1&2 South view from new park

Artistic Visualizations

Building 1

Parkade visually reduced through planting, stepping, material treatment, and guardrail style

Roof pop-ups create roof line articulation to correspond with building steps

DEU plant for future connection adds animation to the courtyard...

...and placed to provide optimal open space for outdoor amenity



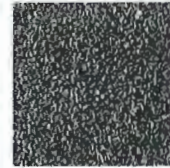
Northeast Corner along Garden City Road



Southeast Corner along Garden City Road



Building 1 Courtyard looking Southeast



Roofing
2-Ply SBS Roofing
Coloured Light Grey



Fascia & Trim: Dark
1" Fibre Cement
B.M. 2120-30 Witching Hour



Trim & Panel: Neutral
Fibre Cement
B.M. 2119-40 Silver Strak



Feature Cladding: Warm
6" Exposure Wood-like Fibre Cement
Woodlone Summer Wheat



Siding & Trims: Light
2" Exposure Fibre Cement
B.M. OC-66 Snow White



Siding & Trims: Neutral
2" Exposure Fibre Cement
B.M. OC-68 Raindance



Soffit: Typical
Light Coloured Fibre Cement
B.M. OC-66 Snow White



Feature Cladding: Neutral
6" Exposure Wood-like Fibre Cement
Woodlone Cascade Slate



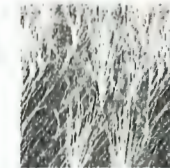
Panel: Light
2" Exposure Fibre Cement
B.M. OC-66 Snow White



Feature Panel:
Fibre Cement - Blue/Green/Yellow
See A-3.27 for Colour & Details



Metal & Glass Guardrails
Light Coloured: Cascadia Metals Polar White
Dark Coloured: Cascadia Metals Iron Ore



Glass Guard Panel
Laminated Safety Glass Panels
With Custom Etched or Fritted Design



Brick: Dark
Manganese Ironspot
Horman Size - Half Running Bond



Heavy Timber Columns
Colour match Woodlone Summer Wheat



Concrete Lintels: Neutral
Natural Concrete Colour



Windows
Light Coloured: White
Dark Coloured: Match Cascadia Metals Iron Ore

Colour palette

Light colours above dark brick base

Dark fascia, guardrails, and trim

Colour & Material Board



Art district expressed by feature colours and unique guard design

Bird friendly frit pattern, inspired by Richmond fields, applied to guardrail of corner frames

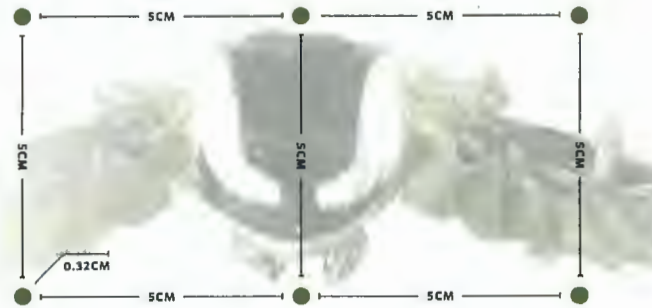
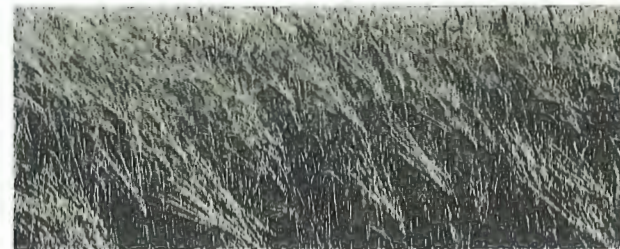


FIG 1) Diagram of bird friendly glazing pattern with visual markers at maximum 5cm x 5cm spacing IMAGE SOURCE: FLAP CANADA

11c Bird Friendly Glazing

Project will adhere to bird-friendly glazing by utilizing the following techniques as outlined in the UBC bird Friendly Design Guidelines for Buildings.

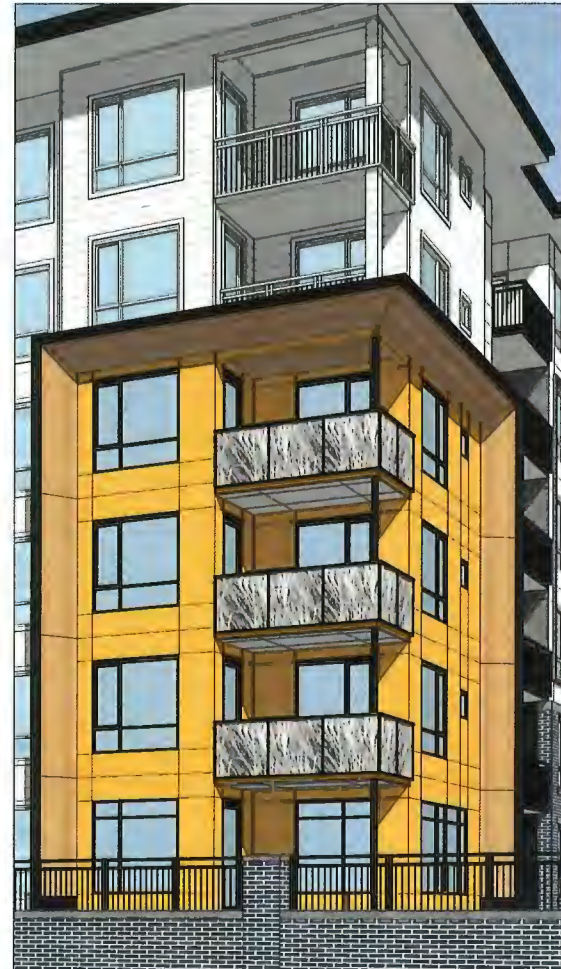
- The use of an adhesive film, acid-etch, or frit pattern. Pattern to be high contrast and dense: spacing at maximum 5cm x 5cm apart with markers no more than 0.32cm in size.
- Application of patterns to the exterior surface of glazing to minimize reflections
- Application of fritted grass pattern to all glazed guardrailings
- Application of dotted pattern (Fig 1) to all standard vision glass on the first four storeys.



Example of "grass" pattern on glazed balcony railings

Glass windows of first four floors to include bird friendly dot-matrix frit pattern

Bird Friendly Glazing



Feature Panel: Blue
 Fiber Cement
 B.M. 831 Stratford Blue



Feature Panel: Green
 Fiber Cement
 B.M. 669 Garden Oasis

Art district
 expressed by
 feature colours and
 unique guard
 design



Feature Panel: Yellow
 Fiber Cement
 S.W. 6632 June Day



Feature Colour Map

Feature Frame Colours

Material Legend

Provide samples of all exterior colours & materials for review & approval

- 1 **Roofing**
2-Ply SBS Roofing
Coloured Light Grey
- 2 **Fascia & Trim: Dark**
1" Fibre Cement
B.M. 2120-30 Witching Hour
- 3 **Trim & Panel: Neutral**
Fibre Cement
B.M. 2119-40 Silver Streak
- 4 **Feature Cladding: Warm**
6" Exposure Wood-like Fibre Cement
Woodstone Summer Wheat
- 5 **Siding & Trims: Light**
8" Exposure Fibre Cement
B.M. OC-66 Snow White
- 6 **Siding & Trims: Neutral**
8" Exposure Fibre Cement
B.M. CC-818 Alhabasca
- 7 **Soffit: Light**
Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 8 **Feature Cladding: Neutral**
6" Exposure Wood-like Fibre Cement
Woodlone Cascade Slate
- 9 **Panel: Light**
Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 10a **Feature Panel: Blue**
Fibre Cement Panel, 1/2" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. B.M. AF-580 Luxe
- 10b **Feature Panel: Green**
Fibre Cement Panel, 1/2" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. B.M. 699 Garden Oasis
- 10c **Feature Panel: Yellow**
Fibre Cement Panel, 1/2" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. S.W. 6882 June Day
- 11a **Dark Coloured Metal Guardrails**
Cascadia Metals Iron One
- 11b **Light Coloured Metal Guardrail**
Cascadia Metals Polar White
- 11c **Glass Guard Panel**
Laminated Safety Glass Panels
with Custom Etched or Filled Design
- 12 **Heavy Timber Columns**
Colour Match Woodstone Summer Wheat
- 13 **Brick: Dark**
Manganese Ironspot
Norman Size - Half Running Bond
- 14 **Concrete Lintels: Neutral**
Natural Concrete Colour
- 15 **Windows**
Light Coloured: White
Dark Coloured: Match Cascadia Metals Iron One
- 16 **Architectural Concrete**
Painted
B.M. Pigeon Gray Elastomeric Paint
- 17 **Mechanical Equipment Screen**
Painted Aluminum
Colour white



A Building 1 - Lobby Elevation
A-3.19 SCALE: NTS



B Building 2 - Lobby Elevation
A-3.19 SCALE: NTS

Warm wood tones and pedestrian scale at residential building entries

Lobby Elevations

Material Legend - DEU

Provide samples of all exterior colours & materials for review & approval

- | | | |
|--|--|---|
| 1 Roofing
2-Ply SBS Roofing
Coloured Light Grey | 4 Soffit: Warm
8" Exposure Wood-like Fibre Cement
Woodtone Summer Wheel | 7 Windows
Aluminum Window Wall, Single Glazed.
Dark Coloured: Match Cascadia Metals Lion One |
| 2 Fascia & Trim: Dark
1" Fibre Cement, Double Fascia
B.M. 2120-30 Witching Hour | 5 Brick: Dark
Manganese Ironspot
Norman Size - Running Bond | 8 Feature Climbing Wall
Concrete Free-Formed Faux Rock |
| 3 Feature Panel: Yellow
Fibre Cement
B.M. Wenge AF-190 | 6 Concrete: Neutral
Natural Concrete Colour | 9 Siding & Trims: Light
8" Exposure Fibre Cement
B.M. OC-66 Snow White |

DEU building
re-imagined with
character to match
residential
lobbies

Climbing wall to
south face of DEU
building



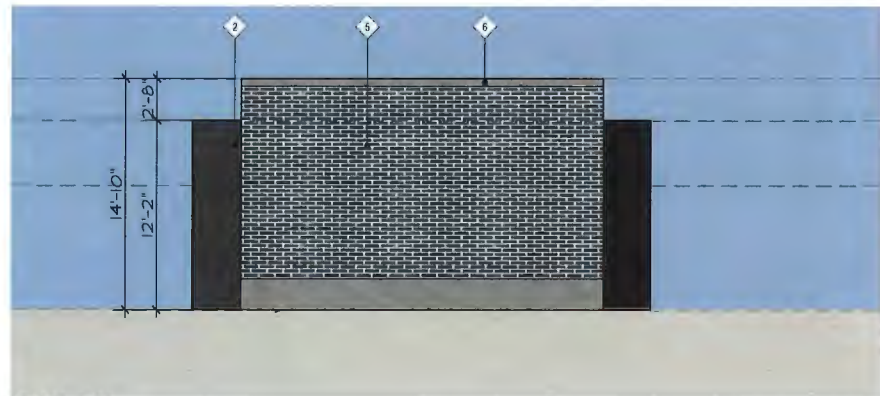
West Elevation



South Elevation



East Elevation



North Elevation

DEU Elevations

Decorative metal
guardrail at
parkade steps

Parkade material
change at
recesses

Parkade visually
reduced through
planting at at
parkade steps



Enlarge View of Decorative Art Railing along Garden City Road



Alternating Series of Decorative Art Guard Rails as viewed from street level



ARCHITECTS INCORPORATED

1434 - West 8th Avenue, Vancouver BC V6H 1Y4

Copyright: All rights reserved. Reproduction in whole or in part is prohibited. This drawing is an instrument of service in the property of the architect and may not be used in any way without the written permission of the architect. Dimensions, what have you said, are not scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job. Architect shall be informed of any discrepancies or variations such the dimensions and conditions on the drawing.

Revisions:

Dec 4, 2020

Based for Rezoning

Dec 23, 2020

Update 2: Issued for Rezoning

June 17, 2022

Development Permit

Submission

November 21, 2022

Resubmission for

Development Permit

January 12, 2023

Resubmission #2 for

Development Permit

March 8, 2023

Resubmission #3 for

Development Permit

May 30, 2023

Response to comments from

Resubmission #3 for

Development Permit

DP Plan#

May 30, 2023

DP 22-015851

For



POLYGON HOMES

Project

TALISMAN

AFFORDABLE & RENTAL HOUSING

Cambie & Garden City Rd.

Richmond, B.C.

Art Railing Detail

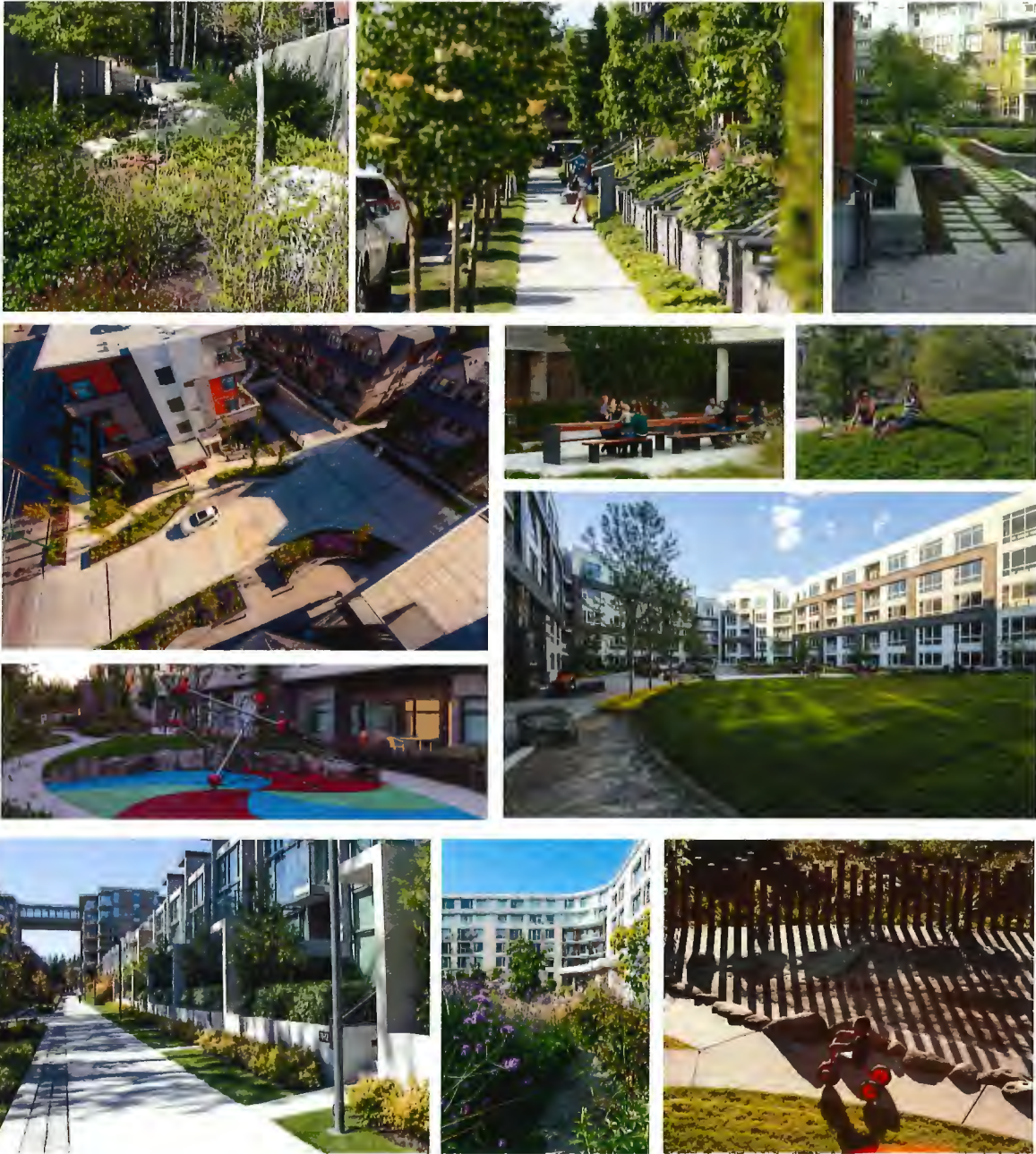
Scale: NTS

June 21, 2023

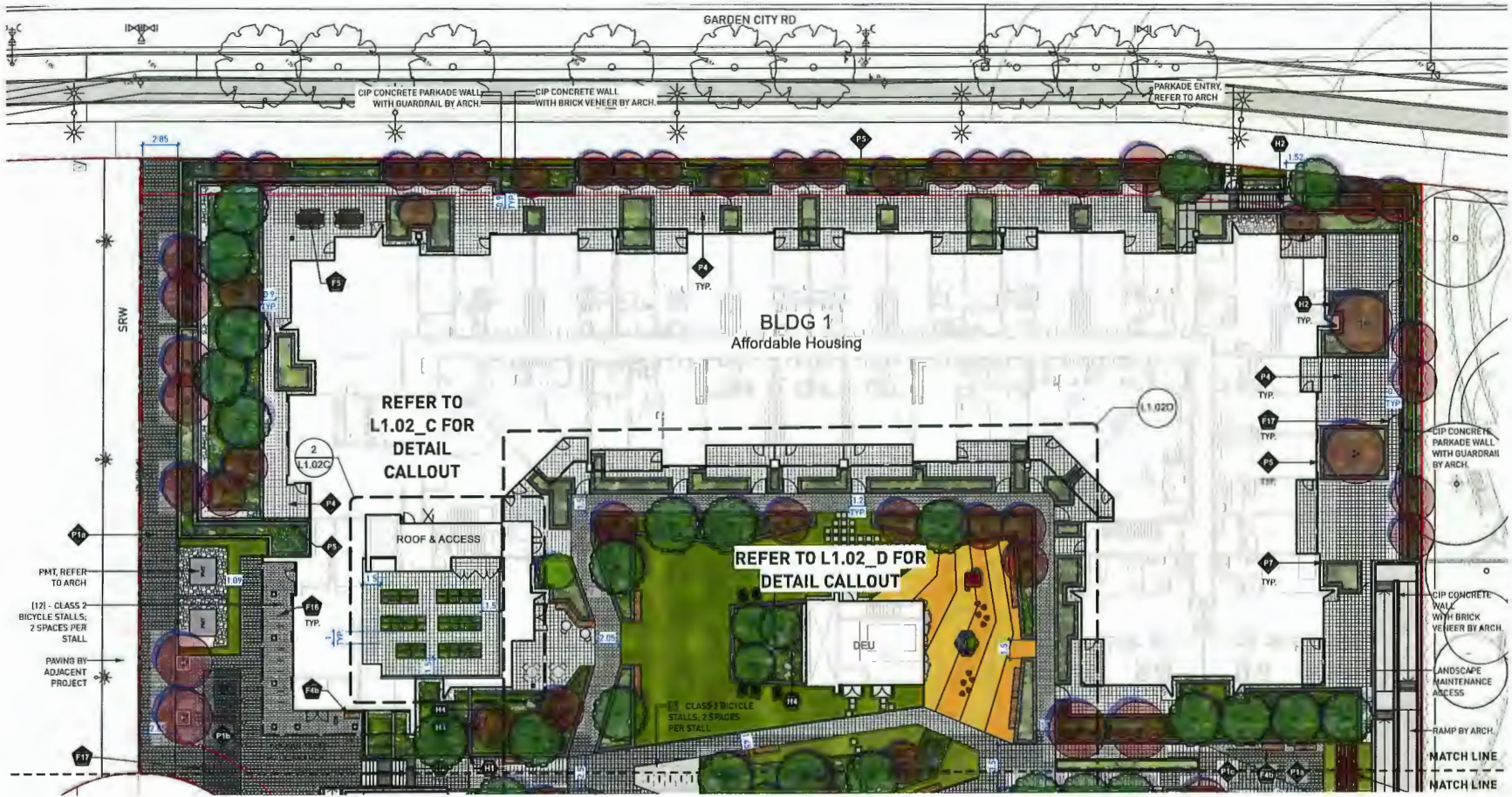
A-3.29

Landscape

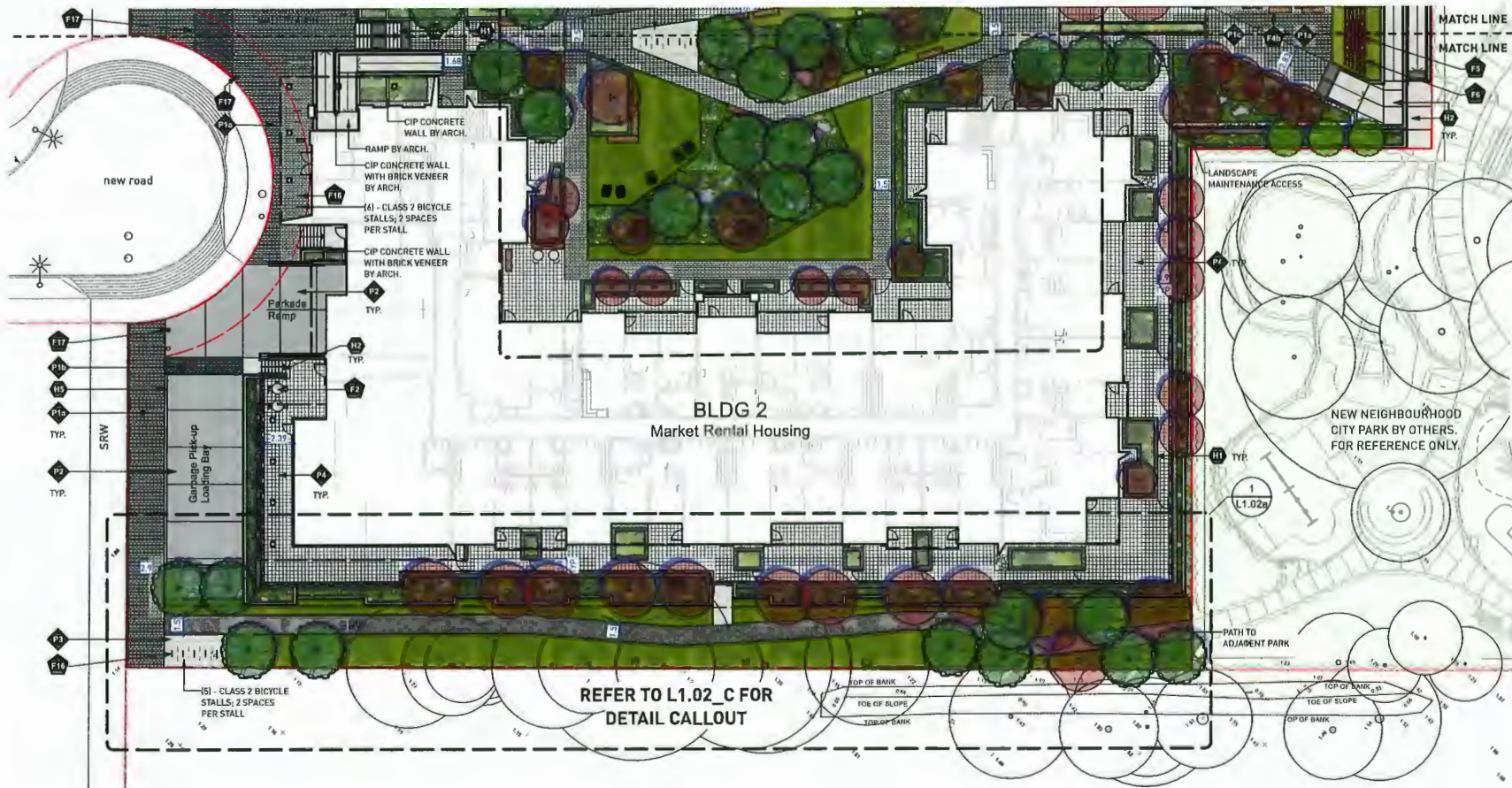




Landscape Precedents



0 10 20 m
Layout & Materials: East



0 10 20 m
Layout & Materials: West



F7 - KOMPAN - PLAYHOUSE



F9 - KOMPAN - BLOQX



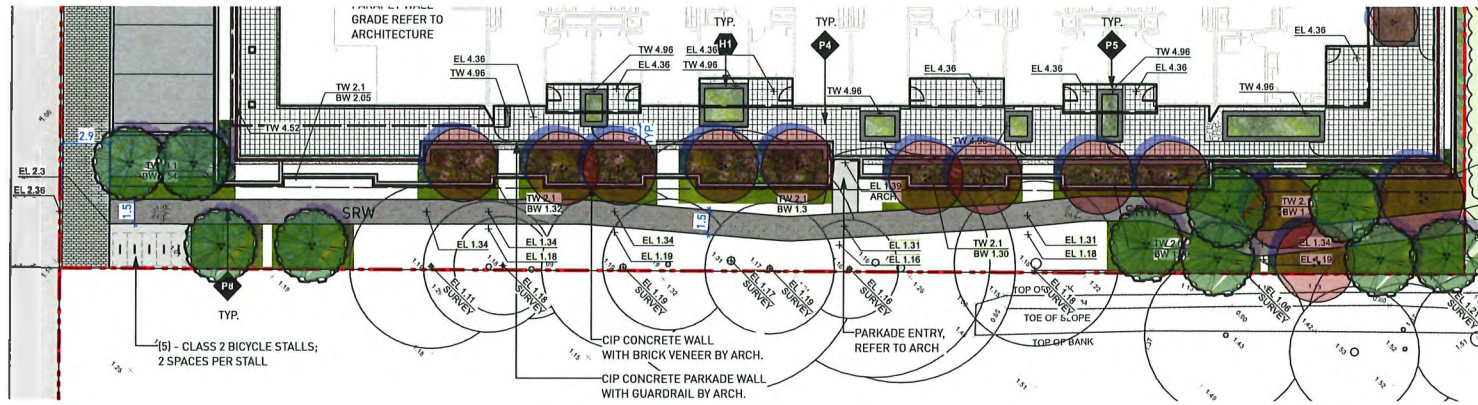
F8 - KOMPAN - WATERLILIES



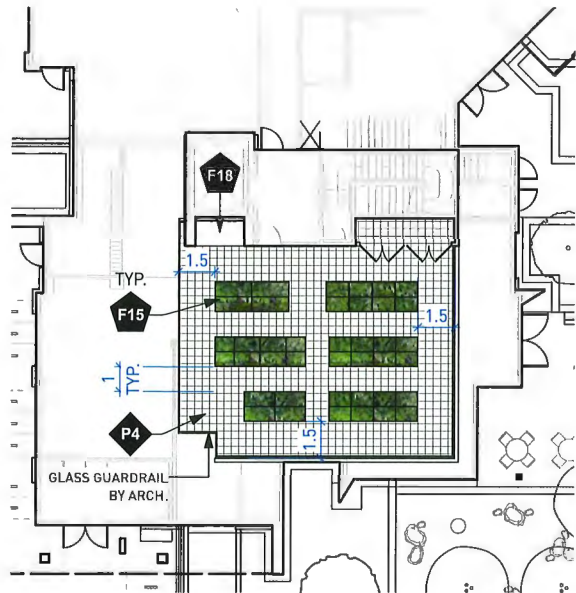
F12 - CLIMBING WALL

FOR LEGENDS AND NOTES REFER TO DRAWING L1.01

Layout & Materials: Central



1 WEST PUBLIC WALKWAY
Scale: 1:300



2 ROOF URBAN AGRICULTURE AREA
Scale: 1:200

Layout & Materials: West Pathway & Rooftop



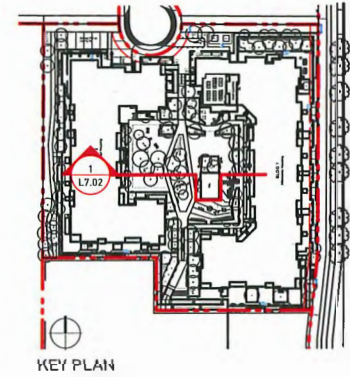
Courtyard Experience



Landscape Mound



Planter with Seating

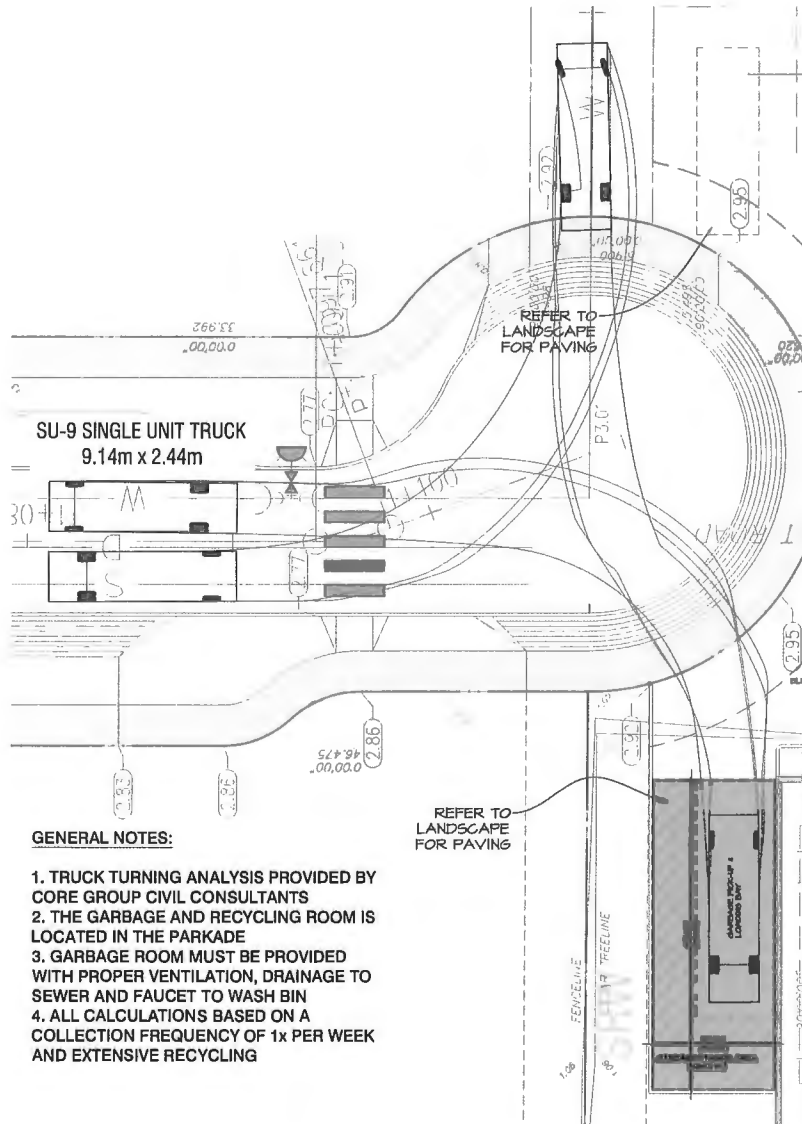


1 North Courtyard Elevation
Scale: 1:200

East-West Section

Extra Sheets





1 Garbage Truck Turning Radius
SCALE: 1" = 30'-0"

City of Richmond - Waste Management Requirements

Number of Bins Required

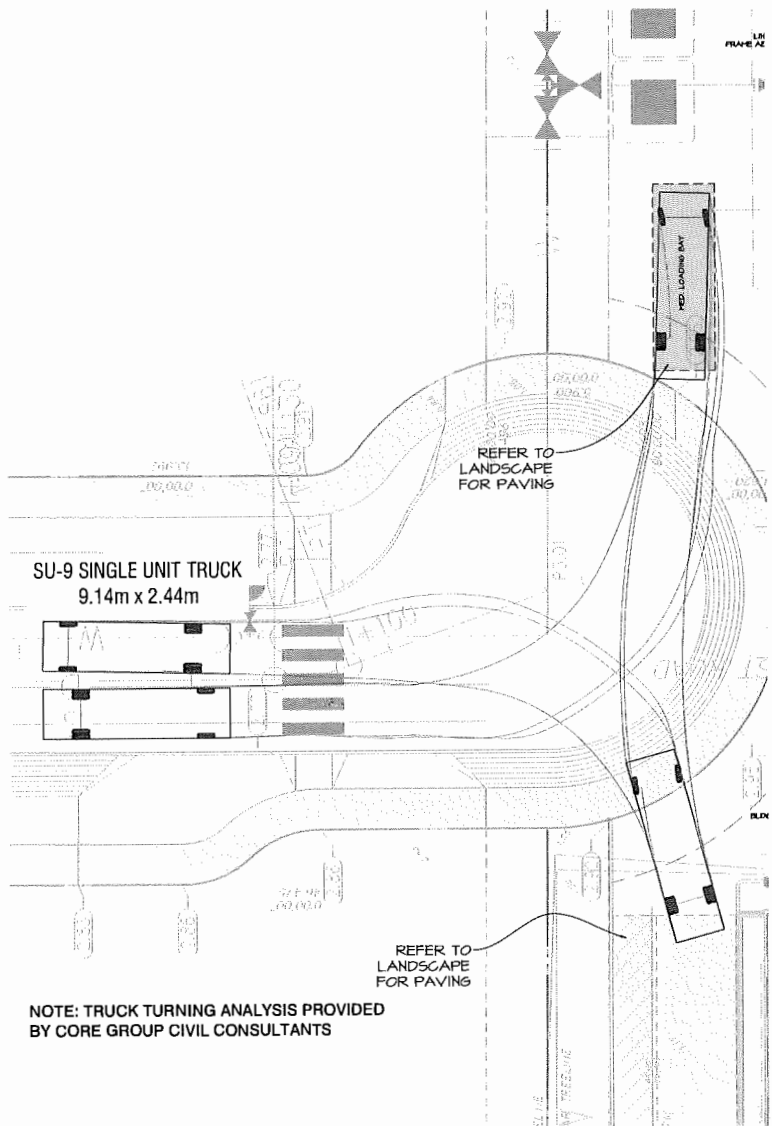
Waste Type	Quantity	Bin Type	Footprint of Bin (m ²)
Mixed Containers	12	360L Cart	0.56
Mixed Paper	8	360L Cart	0.56
Food Scraps	11	240L Cart	0.43
Glass	2	120L Cart	0.26
Cardboard	2	4yd ³ Bin	2.51
Garbage	6	4yd ³ Bin	2.51

Storage Space

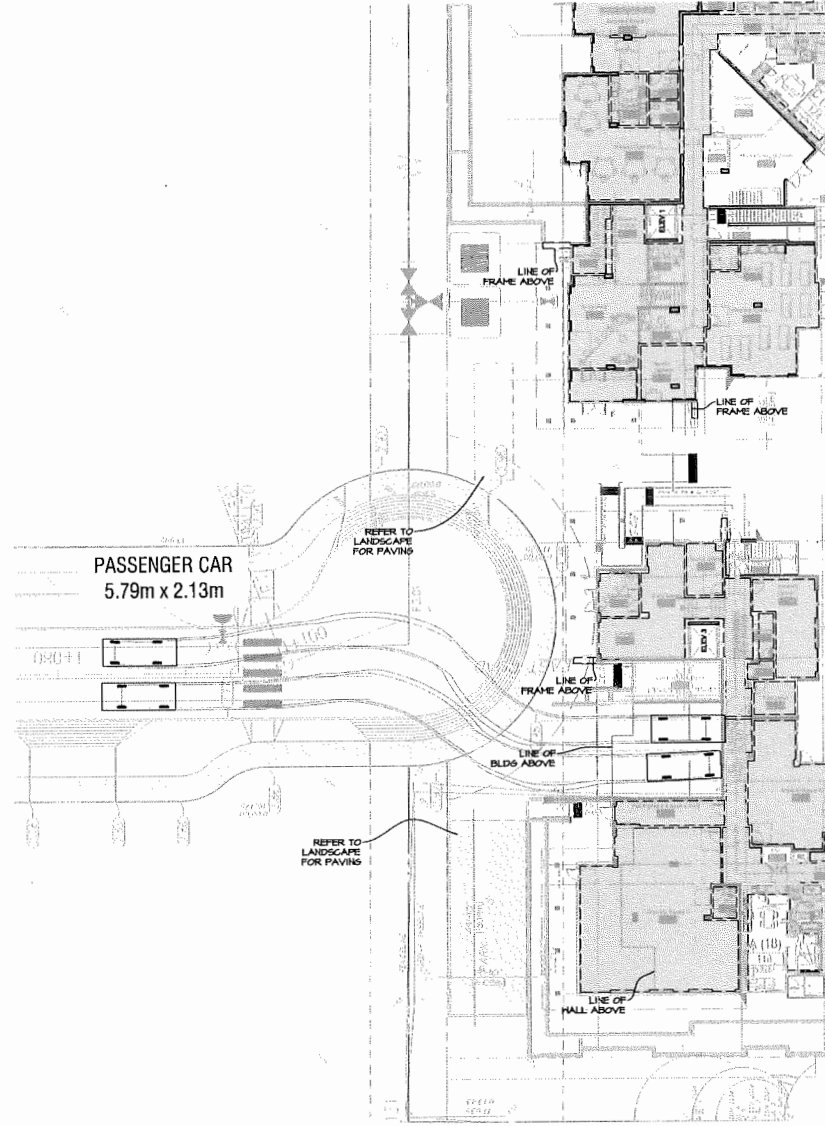
Space Required	Space Proposed
82.2 m ² / 884.7 ft ²	92.6 m ² / 998.7 ft ²



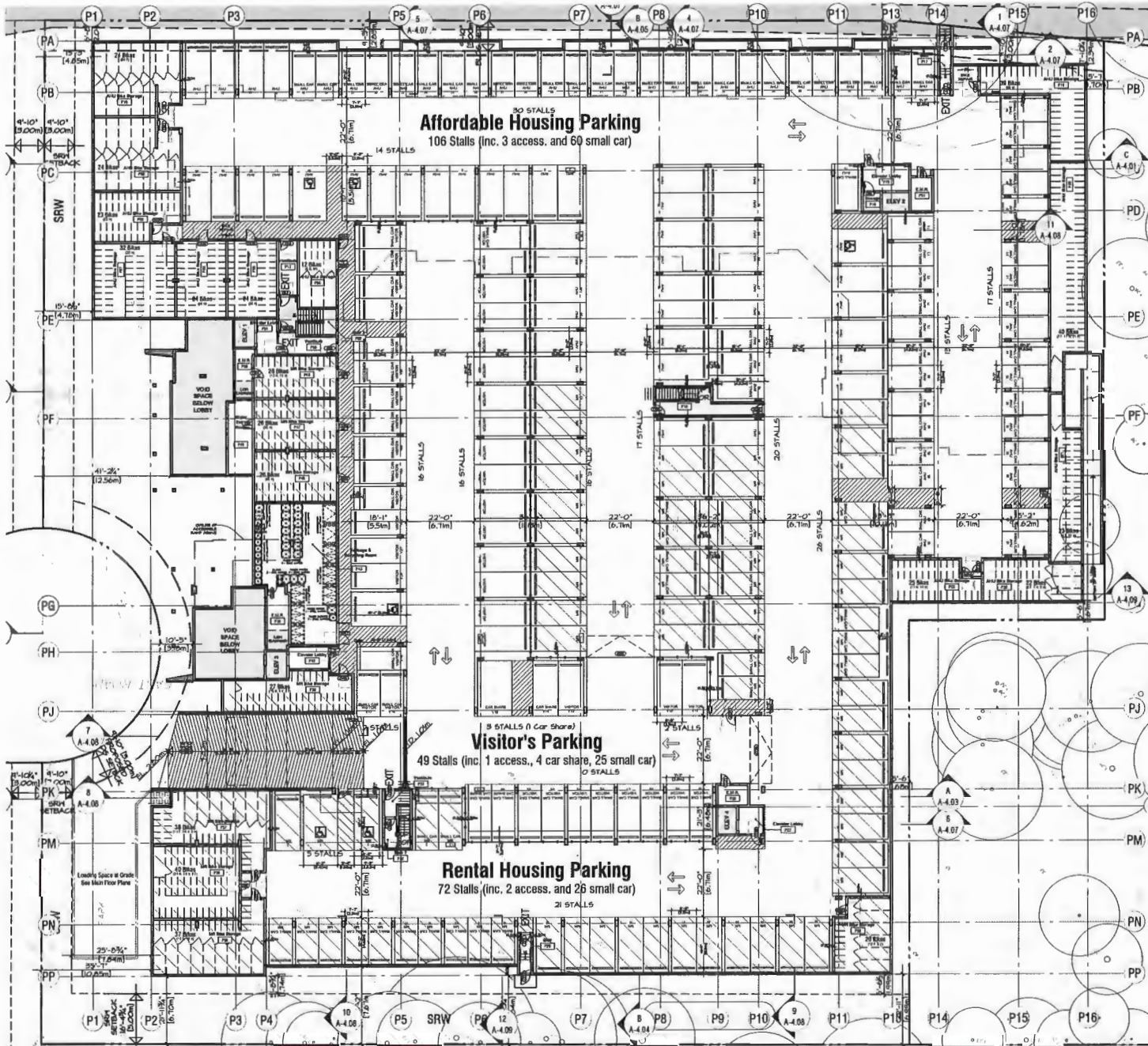
2 Garbage & Recycling Room Plan
SCALE: 1/8" = 1'-0"



1 Loading Bay Turning Radius
SCALE: 1" = 20'-0"



2 Parkade Turning Radius
SCALE: 1/8" = 1'-0"



Parking Legend

Parking Stalls & Loading Bays:

Small Car Typical Typical Accessible

Med. Loading Bay Van Accessible

Garbage Pick-Up & Loading Bay

Bike Storage:

Family Stall 4'-0" x 9'-10" (1.2m x 3.0m)
Horizontal Stall 2'-0" x 6'-0" (0.6m x 1.8m)
Vertical Stall 2'-0" x 3'-4" (0.6m x 1.0m)

Uses:

- Diagonal Hatch designates Stalls and Bike rooms for Market Rental Housing
- Diagonal Cross Hatch designates Stalls and Bike rooms for Affordable Housing
- Alternate Diagonal Hatch designates Stalls for Visitors



Copyright: All rights reserved. Reproduction in whole or in part is prohibited. This drawing is an instrument of service as the property of the architect and may not be used in any way without the written permission of the architect. Dimensions, scale, location, and conditions on the job. Architect shall be deemed to have approved or verified the dimensions and conditions on the drawing.

Rev. No. 1
Dec 4, 2023
Issued for Permitting
Dec 23, 2020
Update 2: Issued for Permitting
June 17, 2022
Development Permit
Submission
November 21, 2022
Re-submission #2 for
Development Permit
January 12, 2023
Re-submission #2 for
Development Permit
March 8, 2023
Re-submission #3 for
Development Permit
May 30, 2023
Response to comments from
Re-submission #3 for
Development Permit

DP Plan#
May 30, 2023
DP 22-015851



TALISMAN
AFFORDABLE & RENTAL HOUSING
Cambie & Garden City Rd.
Richmond, B.C.

Parking
Overall Plan

Scale: 1/2" = 1'-0"
June 21, 2023

A-1.00



1 NORTH ELEVATION
SCALE: 1/32" = 1'-0"



2 WEST ELEVATION
SCALE: 1/32" = 1'-0"



ARCHITECTS INCORPORATED

1430 WARD BL AVENUE, RICHMOND, BC V6V 1A8

Copyright. All rights reserved. Reproduction in whole or in part is prohibited. This drawing is an instrument of service in the practice of the architect and may not be used in any way without the written permission of the architect. The architect assumes no liability for construction or other errors, omissions, or delays. The architect shall not be responsible for any construction or other errors, omissions, or delays from the construction and architects on the drawing.

Revisions:
Dec 4, 2020
based for Rezoning
Dec 23, 2020
Update 2: Issued for Rezoning
June 17, 2022
Development Permit
Submission
November 21, 2022
Re-submission #2 for
Development Permit
January 12, 2023
Re-submission #2 for
Development Permit
March 6, 2023
Re-submission #3 for
Development Permit
May 30, 2023
Response to comments from
Re-submission #3 for
Development Permit

DP Plan#
May 30, 2023
DP 22-015851

Key Plan @



For



Provided

TALISMAN
AFFORDABLE & RENTAL HOUSING

Cambie & Garden City Rd,
Richmond, B.C.

Overall Elevations
North and West

Scale: 1/32" = 1'-0"
May 30, 2023

A-1.10



3 SOUTH ELEVATION
SCALE: 1/32" = 1'-0"



4 EAST ELEVATION
SCALE: 1/32" = 1'-0"



ARCHITECTS INCORPORATED
1234 Main Street, Richmond, VA 23219

Copyright. All rights reserved. Reproduction in whole or in part is prohibited. This drawing is an instrument of service in the practice of architecture and may not be used in any way without the written permission of the architect. Contractors shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job. Architect shall be informed of any dimensions or conditions both the dimensions and conditions on the drawing.

Revised:
Dec 4, 2020
Issued for Reasoning
Dec 23, 2020
Update 2: Issued for Reasoning
June 17, 2022
Development Permit
Submission
November 21, 2022
Resubmission #2 for
Development Permit
January 12, 2023
Resubmission #3 for
Development Permit
March 6, 2023
Resubmission #3 for
Development Permit
May 30, 2023
Response to comments from
Resubmission #3 for
Development Permit

DP Plan#
May 30, 2023
DP 22-015851



TALISMAN
AFFORDABLE & RENTAL HOUSING
Cambie & Garden City Rd.
Richmond, B.C.

Overall Elevations
South and East

Scale: 1/32" = 1'-0"
May 30, 2023

A-1.11



B Overall Section & East Courtyard Elevation
 A-1.12 SCALE: 1/32" = 1'-0"



A Overall Section & West Courtyard Elevation
 A-1.12 SCALE: 1/32" = 1'-0"



ARCHITECTS INCORPORATED

1451 West 8th Avenue, Vancouver, BC V6H 1Y4

Copyright: All rights reserved. Reproduction in whole or in part is prohibited. This drawing is an instrument of service in the property of the architect and may not be used in any way without the written permission of the architect. Dimensions shown shall prevail over verbal dimensions. Corrections shall verify and be responsible for all omissions and conditions on the job. Architect shall be informed of any discrepancies or variations from the dimensions and functions on the drawing.

- Revisions:
- Dec 4, 2020 Issued for Razing
 - Dec 23, 2020 Update 2: Issued for Razing
 - June 17, 2022 Development Permit Submission
 - November 21, 2022 Resubmission for Development Permit
 - January 12, 2023 Resubmission #2 for Development Permit
 - March 8, 2023 Resubmission #3 for Development Permit
 - May 30, 2023 Response to comments from Resubmission #3 for Development Permit

DP Plan#
 May 30, 2023
 DP 22-015851

Key Plan: 08



For:



Notes:

TALISMAN
 AFFORDABLE & RENTAL HOUSING
 Cambie & Garden City Rd.
 Richmond, B.C.

Overall Elevations
 Courtyard

Scale: 1/32" = 1'-0"
 May 30, 2023

A-1.12