

# 2 DUPLEXES

8220 GILBERT ROAD

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Developer

Rick Bowal

Architect

Matthew Cheng Architect Inc

Landscape Architect

PMG Landscape Architects Ltd



2 Duplexes Development  
8220 Gilbert Rd.

## Location

- Located along Gilbert Road between Blundell and Lucas
- 28.99m frontage and 1390.60 sm. area
- Wider and larger than other single family lots in this block



# Project Data

## NORTH LOT

	EXISTING	PROPOSED:
SITE AREA:	1390.60SM (14967.89SF)	695.40SM (7485.04SF)
LAND USES:	SINGLE-FAMILY DWELLING	DUPLEXES
OCP DESIGNATION:	RESIDENTIAL	NO CHANGE
ZONING:	RS1/E	RDA ARTERIAL ROAD DUPLEX
NUMBER OF UNITS:	1	2
	ALLOWED/REQUIREMENTS:	PROPOSED:
FLOOR AREA RATIO: (NET)	0.600 (417.24SM) MAX. (334.5SM)	0.481 334.3SM(3598.57SF)
LOT COVERAGE:	BLDGS: 0.450 (312.93SM)	0.367 (255.32SM)
SETBACK-FRONT (WEST)	6.0m (19.68')	6.020m (19.69')
SETBACK-REAR (EAST)	60% GF: 20% LOT DEPTH(9.583m) REST: MAX.10.7m	9.583m (31.44') & 10.726m (35.19')
SETBACK-SIDE (NORTH)	1.2m (3.94')	1.250m (4.10')
SETBACK-SIDE (SOUTH)	1.2m (3.94')	1.219m (4.01')
HEIGHT: (m)	9.000m (29.527')	7.650m (25.10')
LOT SIZE:	28.99m X 47.897m	14.496m X 47.894m
OFF-STREET PARKING RESIDENTIAL/COMMERCIAL:	4 AND 1	4 AND 1(SHARED)
OFF-STREET PARKING ACCESSIBLE:	N/A	0
OFF-STREET PARKING TOTAL	5	5
TANDEM PARKING SPACES:	NONE	NONE

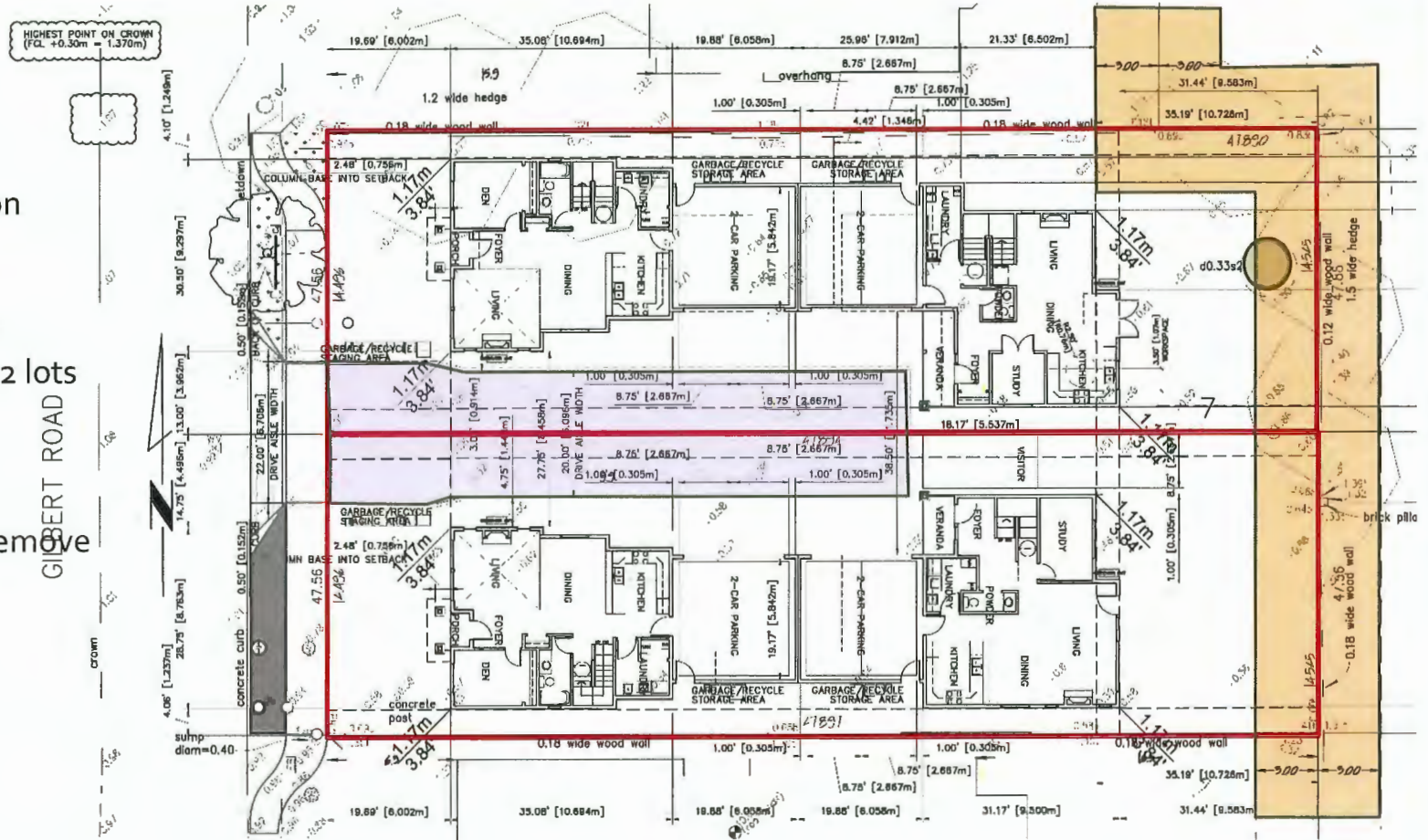
## SOUTH LOT

	EXISTING	PROPOSED:
SITE AREA:	1390.60SM (14967.89SF)	695.50SM (7486.12SF)
LAND USES:	SINGLE-FAMILY DWELLING	DUPLEXES
OCP DESIGNATION:	RESIDENTIAL	NO CHANGE
ZONING:	RS1/E	RDA ARTERIAL ROAD DUPLEX
NUMBER OF UNITS:	1	2
	ALLOWED/REQUIREMENTS:	PROPOSED:
FLOOR AREA RATIO: (NET)	0.600 (416.53SM) MAX. (334.5SM)	0.480 333.66SM (3591.48SF)
LOT COVERAGE:	BLDGS: 0.450 (308.87SM)	0.370(257.57SM)
SETBACK-FRONT (WEST)	6.0m (19.68')	6.020m (19.69')
SETBACK-REAR (EAST)	60% GF: 20% LOT DEPTH(9.583m) REST: MAX.10.7m	9.583m (31.44') & 10.70m (35.10')
SETBACK-SIDE (NORTH)	1.2m (3.94')	1.237m (4.06')
SETBACK-SIDE (SOUTH)	1.2m (3.94')	1.219m (4.01')
HEIGHT: (m)	9.000m (29.527')	7.638m (25.06')
LOT SIZE:	28.99m X 47.897m	14.496m X 47.894m
OFF-STREET PARKING RESIDENTIAL/COMMERCIAL:	4 AND 1	4 AND 1(SHARED)
OFF-STREET PARKING ACCESSIBLE:	N/A	0
OFF-STREET PARKING TOTAL	5	5
TANDEM PARKING SPACES:	NONE	NONE

- Rezone from RS1 / E to RDA (Arterial Road Duplex)
- Subdivide into two lots (14.496m frontage & 695.40 sm.) - (Quite large)
- FAR 0.481 (Quite low) since RDA max. floor area (334.5 sm.)

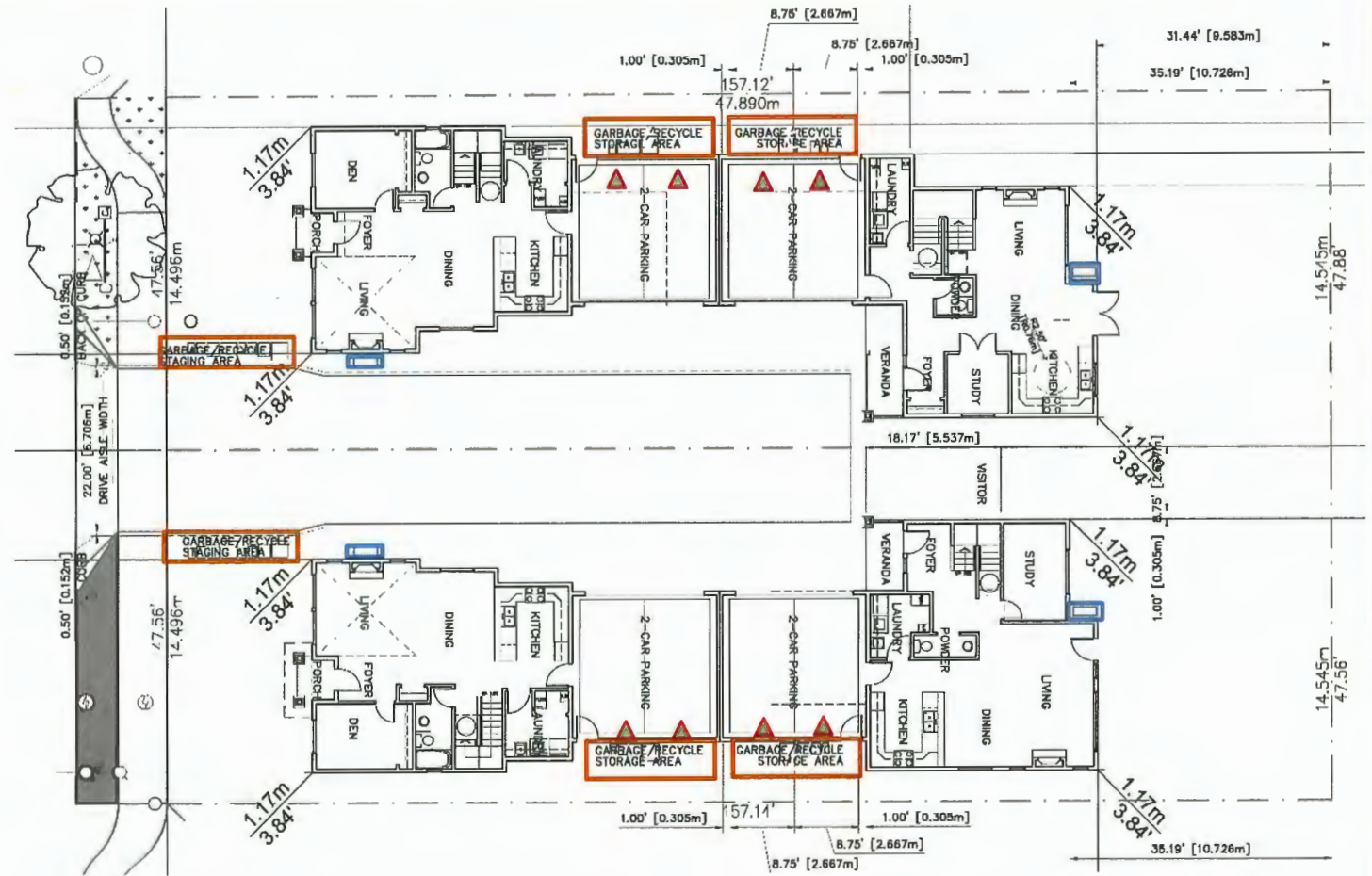
# Site Plan

- Front & back units on each lot
- Shared driveway on easement between 2 lots
- SRW at back yard
- One dead trees to remove



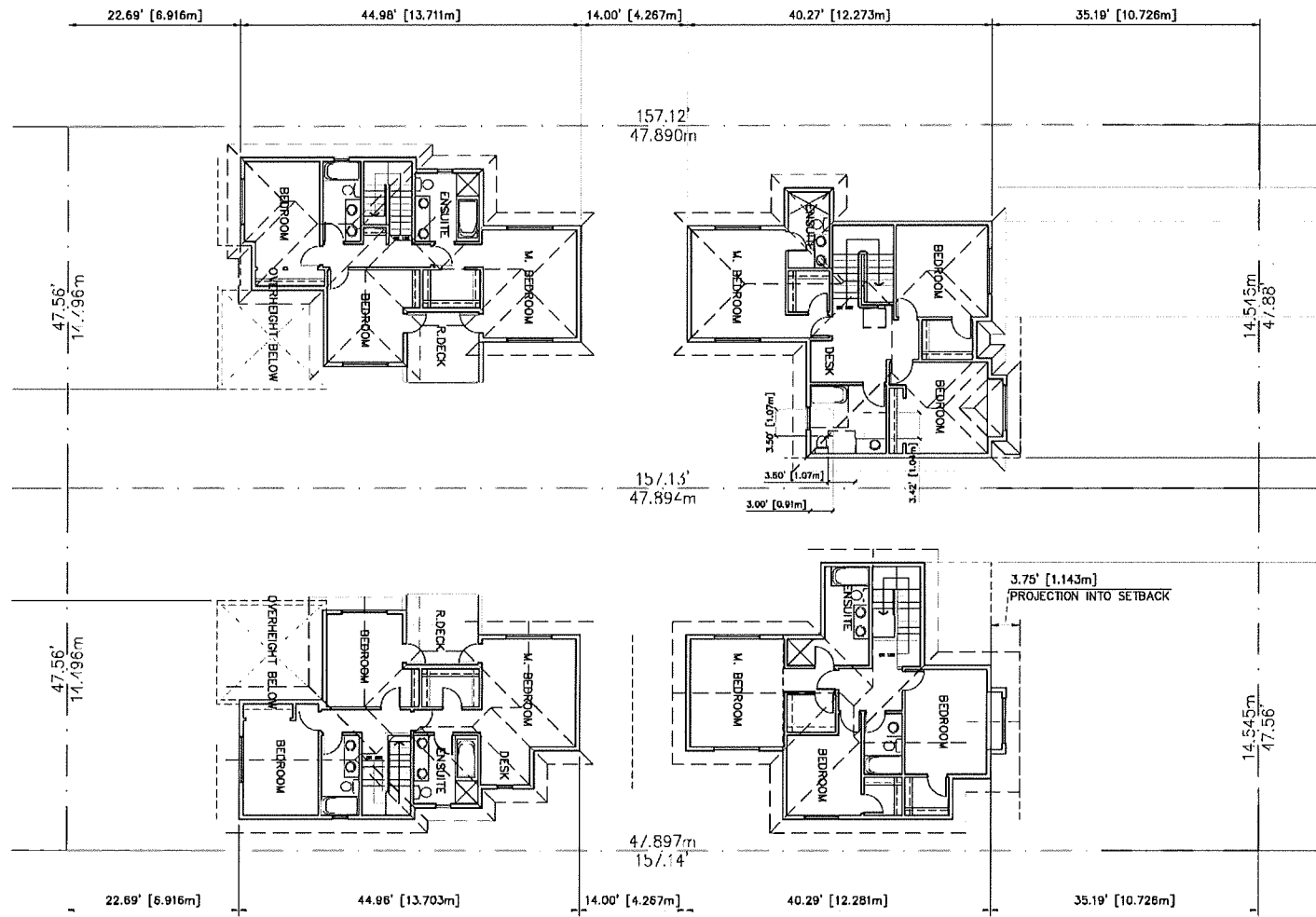
# G/F Plan

- Garbage and recycle behind garages
- Staging area on either side of entry driveway
- EV chargers for all parking spaces
- Condensing units in back yard and either side of driveway (screened)

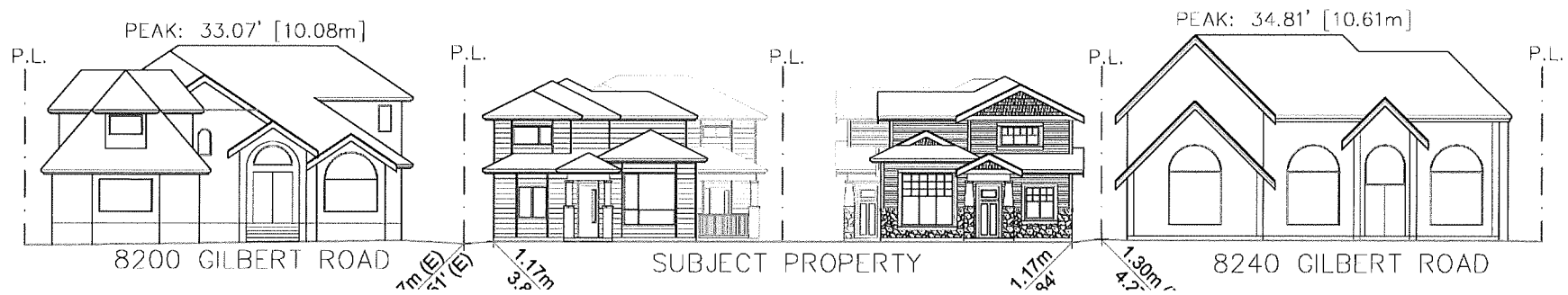


# 2/F Plan

- 3 bedrooms, 2 baths each unit



# Streetscape



## Gilbert Road

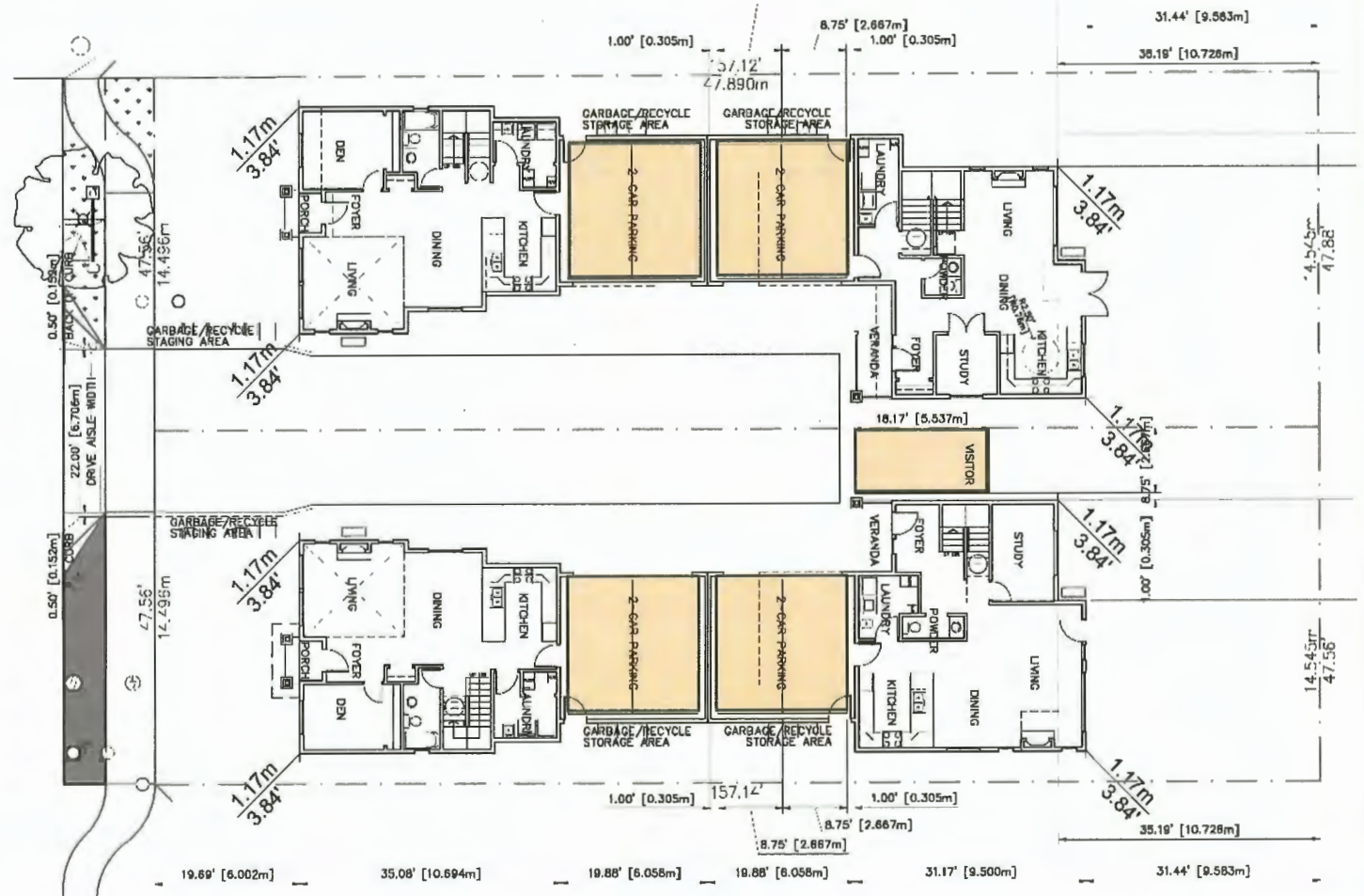
- Single family houses along Gilbert Road
- Building massing, height, setbacks compatible





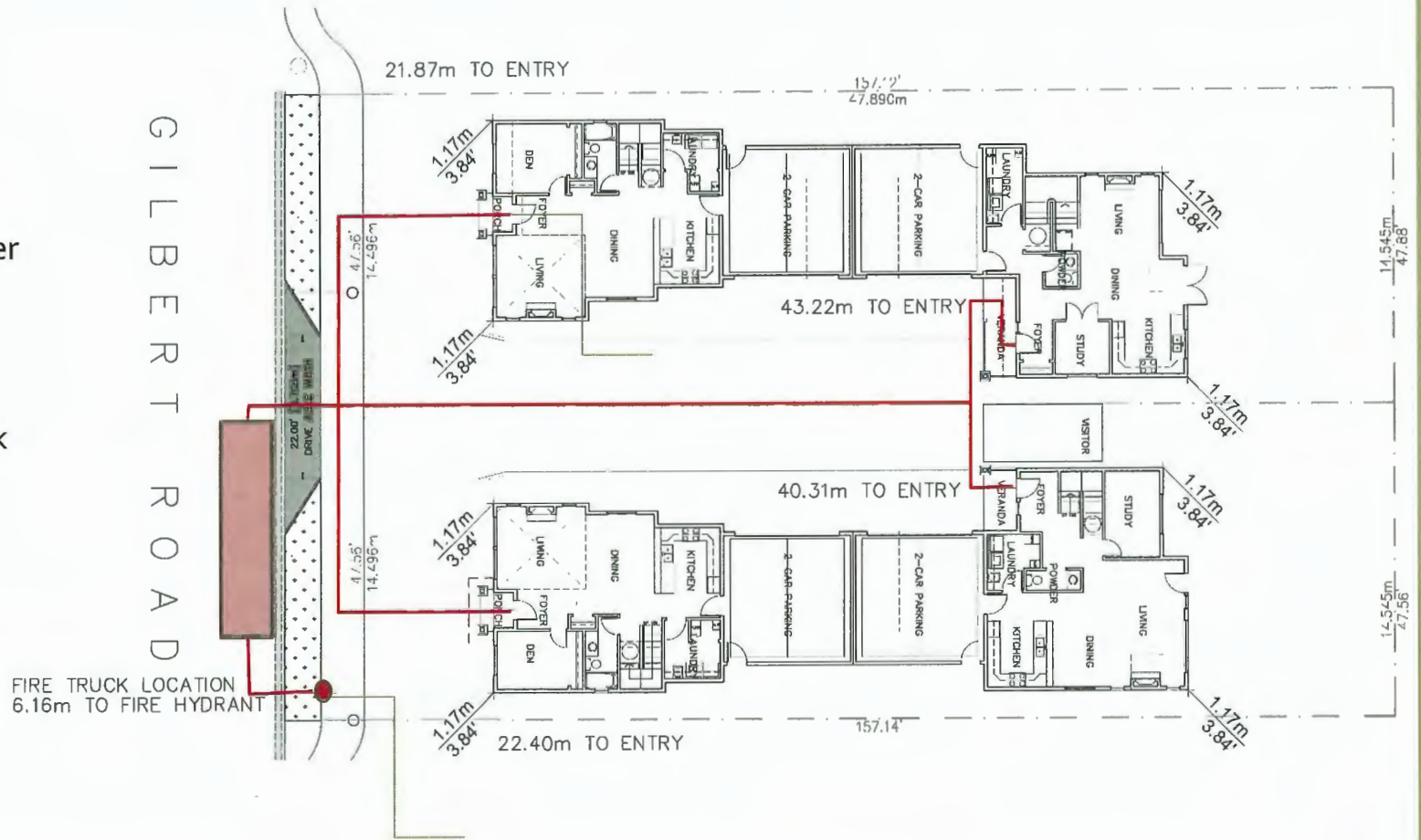
# Parking

- 2 side by side parking per unit
- 1 visitor parking



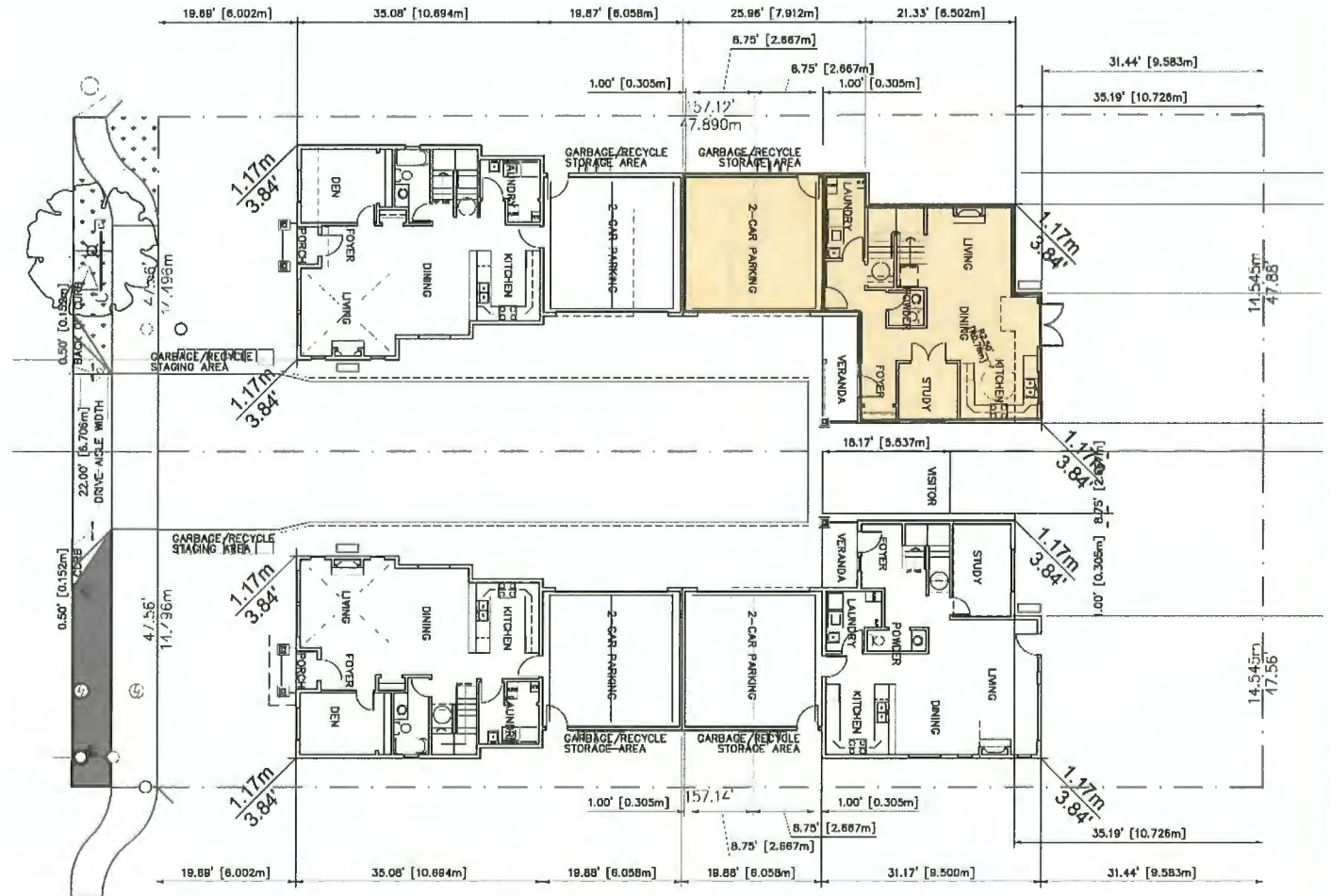
# Fire Truck Access Plan

- Hydrant at SW corner of site
- Hydrant to Fire truck less than 45m
- Fire truck to front doors of all units less than 45m



# Accessibility

- 1 convertible unit
- Rear unit of north property





# Sustainability

- **Step Code 3 LCES** (Low Carbon Energy System)
- **Certified Energy Advisor**
- **Air source heat pump**
- **Electric hot water tank**  
(min. 0.85 EF)
- **HRV** (min 65% SRE @ 0 c)
- **Insulation** fulfill advisor's requirements
- **Windows** (U- 1.38)
- **Doors** (Fiberglass polystyrene core)
- **Airtightness** (2.5 ACH @50 Pa)

## **Water Conservation**

- Dual flush toilets
- Drought tolerant plants

## **Energy Conservation**

- Energy star appliances
- LED lighting
- Electric car charging
- Programmable thermostats
- Motion sensing light in power rm and master ensuites
- Low E glass windows

## **Building materials**

- Renewable materials – wood
- Local building materials
- Durable building materials

## **Waste Reduction**

- 3 stream waste bins for construction
- Compost bins in kitchen
- Garbage and recycle bins in garage

## **Health and Air quality**

- Retain and plant perimeter trees
- LOC paints, adhesives and floorings

## Form & Character



- North and south building different style but compliment each other

## Form & Character



- Entry doors of rear units could be seen from driveway entrance



## Form & Character



- Front and back unit of each building  
Different color to give identity

# Exterior colors and materials



## COLOR SCHEME FOR NORTH BUILDING



HARDIE ASPYRE SHIPLAP (PEARL GRAY)



HARDIE ASPYRE SHIPLAP (GRAY SLATE)



HARDIE ASPYRE SHIPLAP (EVENING BLUE)



HARDIE ASPYRE SHIPLAP (COUNTRYLANE RED)



FASCIA, GUTTER CHARCOAL



DOOR, RAILING COLOUMS WHITE



CULTURED STONE COUNTRY LEDGESTONE GINNISON

## COLOR SCHEME FOR SOUTH BUILDING



JAMES HARDIE SIDING (MOUNTEREY TAUPE)



JAMES HARDIE SIDING (TIMBERBARK)



JAMES HARDIE SIDING, SHINGLE (PEARL GRAY)



TRIMS, FASCIA, GUTTER, DOOR, RAILING (COBBLESTONE)



CULTURED STONE COUNTRY LEDGESTONE GINNISON

# Landscape Plan 1



GILBERT ROAD

NOTE: FRONTAGE IMPROVEMENTS FINAL DESIGN TO BE DETERMINED THROUGH SERVICE AGREEMENT REVIEW PROCESS

**PLANTING SPECIFICATIONS**

ALL PLANTING TO BE PERFORMED BY A QUALIFIED CONTRACTOR

ALL PLANTING TO BE INSTALLED AT THE TIME OF CONSTRUCTION

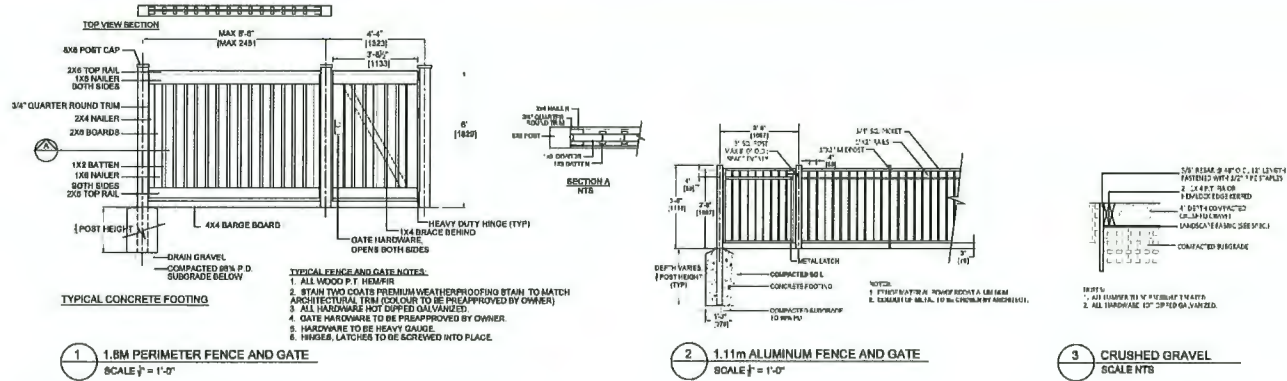
ALL PLANTING TO BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD

NO.	SYMBOL	PLANT NAME	SIZE	QUANTITY
1	(Symbol)	SYRINGA	150cm	1
2	(Symbol)	PINUS NIGRA	150cm	1
3	(Symbol)	MAGNOLIA GALAXY	150cm	1
4	(Symbol)	ACER ORISEUM	150cm	1
5	(Symbol)	FAGUS S. DAWYCK PURPLE	150cm	1
6	(Symbol)	1.2m WIDE HEDGE	1.2m	1
7	(Symbol)	1.8m WOOD FENCE	1.8m	1
8	(Symbol)	1.8m WOOD GATE	1.8m	1
9	(Symbol)	CRUSHED GRAVEL	100mm	1
10	(Symbol)	PAVER SIDEWALK	150x150	1
11	(Symbol)	HEAT PUMP	1.8m	1
12	(Symbol)	CO2M CONDUIT	1.8m	1
13	(Symbol)	18x18 PAVERS, INSET	18x18	1
14	(Symbol)	EXISTING FENCE ON NEIGHBOURING PROPERTY TO REMAIN	1.8m	1
15	(Symbol)	1.8m WOOD FENCE TO MEET EXISTING FENCE AT PROPERTY LINE	1.8m	1
16	(Symbol)	1.8m WOOD GATE, LOCKABLE	1.8m	1
17	(Symbol)	1.8m WOOD GATE, LOCKABLE	1.8m	1
18	(Symbol)	REMOVE EXISTING WOOD FENCE WITH NEIGHBOUR'S WRITTEN APPROVAL, REPLACE WITH NEW 1.8m WOOD PERIMETER FENCE	1.8m	1
19	(Symbol)	MAGNOLIA GALAXY	150cm	1
20	(Symbol)	START OF NEW 1.8m WOOD PERIMETER FENCE	1.8m	1

1 TREE PROTECTION FENCE SCALE 1:1

**SITE PLAN**  
SCALE 1/8"=1'-0"

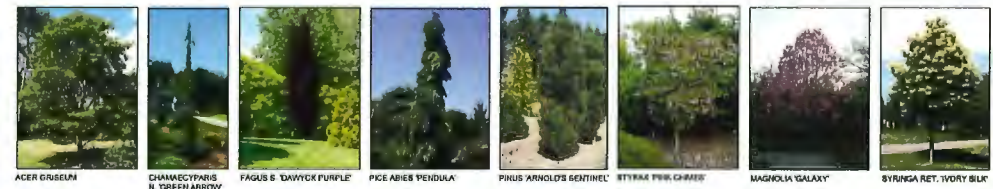
# Landscape Plan 2



SY	QTY	DESCRIPTION	COMMENTS	PLANT SCHEDULE	PLANT SCHEDULE
1	1	ACER FRUITLESS	PLANT SCHEDULE	ACER FRUITLESS	ACER FRUITLESS
2	1	CHAMAECYPARIS N. GREEN ARROW	PLANT SCHEDULE	CHAMAECYPARIS N. GREEN ARROW	CHAMAECYPARIS N. GREEN ARROW
3	1	FAGUS S. 'DAWYCK PURPLE'	PLANT SCHEDULE	FAGUS S. 'DAWYCK PURPLE'	FAGUS S. 'DAWYCK PURPLE'
4	1	PICE ABIES 'PENDULA'	PLANT SCHEDULE	PICE ABIES 'PENDULA'	PICE ABIES 'PENDULA'
5	1	PIRUS 'ARNOLD'S GENTLE'	PLANT SCHEDULE	PIRUS 'ARNOLD'S GENTLE'	PIRUS 'ARNOLD'S GENTLE'
6	1	STYRAX FRUITLESS	PLANT SCHEDULE	STYRAX FRUITLESS	STYRAX FRUITLESS
7	1	MAGNOLIA 'GALAXY'	PLANT SCHEDULE	MAGNOLIA 'GALAXY'	MAGNOLIA 'GALAXY'
8	1	SYRINGA RET. 'IVORY BELL'	PLANT SCHEDULE	SYRINGA RET. 'IVORY BELL'	SYRINGA RET. 'IVORY BELL'

NOTES: PLANT SCHEDULE IS SUBJECT TO CHANGE. ALL PLANTS TO BE SUPPLIED BY THE LANDSCAPE CONTRACTOR. ALL PLANTS TO BE SUPPLIED BY THE LANDSCAPE CONTRACTOR. ALL PLANTS TO BE SUPPLIED BY THE LANDSCAPE CONTRACTOR.

## PROPOSED TREES



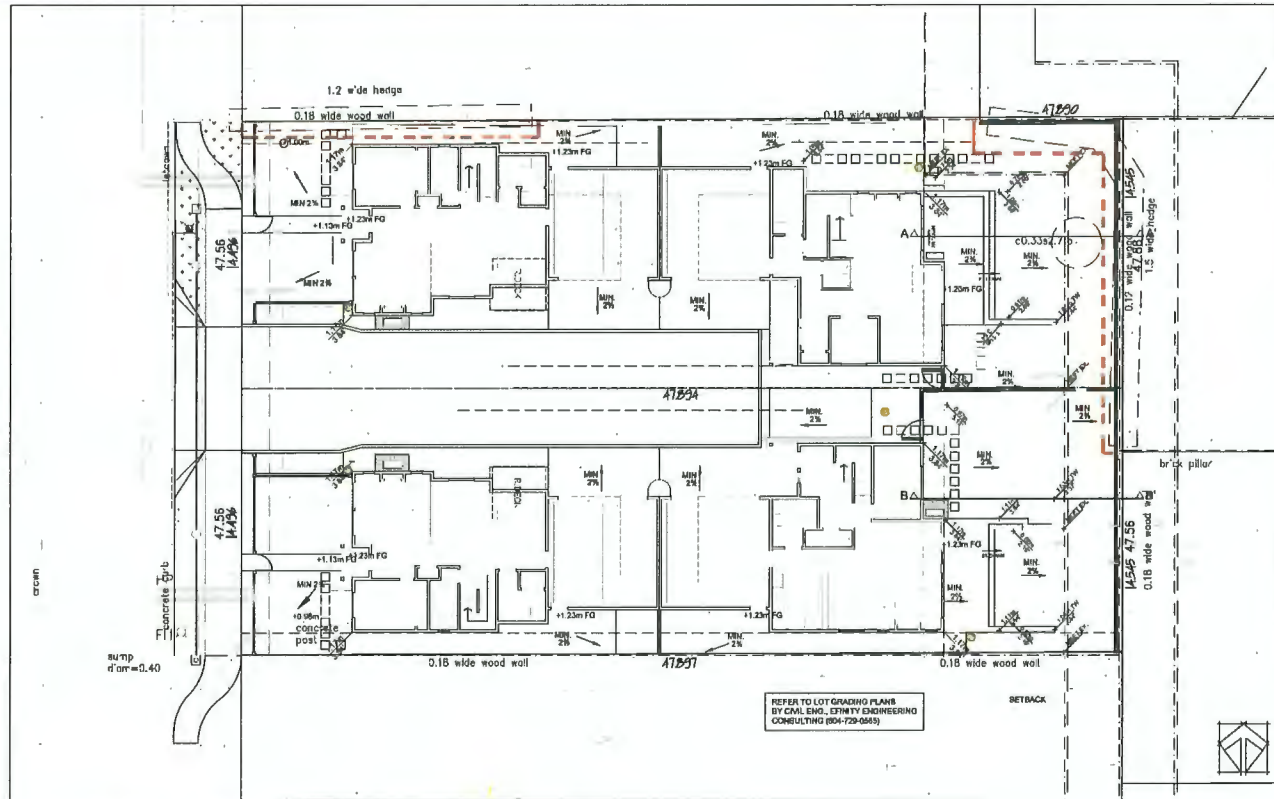
ACER FRUITLESS CHAMAECYPARIS N. GREEN ARROW FAGUS S. 'DAWYCK PURPLE' PICE ABIES 'PENDULA' PIRUS 'ARNOLD'S GENTLE' STYRAX FRUITLESS MAGNOLIA 'GALAXY' SYRINGA RET. 'IVORY BELL'

**PAVING KEY:**

- PATTERN A:** AQUAPAVE VEGE-TAN PAVERS 80mm TH. ABRUPT EDGE BRAND FOR BIKELANE. RANDOM ASHLAR PATTERN ALIGNED AT 0 DEG. SANDALWOOD COLOUR. PAVERS EDGED WITH SINGLE SOLDNER COURSE AND HIDDEN CONCRETE CURB.
- PATTERN B:** AQUAPAVE VEGE-TAN PAVERS 80mm TH. ABRUPT EDGE BRAND FOR BIKELANE. RANDOM ASHLAR PATTERN ALIGNED AT 0 DEG. CHAMOIS COLOUR. ROAD PAVERS EDGING. 1" WIDE SMOOTH TROMEL FINISH CONCRETE BANDING DRIVEWAY EDGING. SINGLE SOLDNER COURSE WITH HIDDEN CONCRETE CURB.
- PATTERN C:** AQUAPAVE OLD COUNTRY STONE PAVERS 80mm TH. ABRUPT EDGE BRAND FOR BIKELANE. RUNNING BOND, RANDOMIZED SIZES. SHADOW COLOUR 80% CHARCOAL 10% RANDOMIZED COLOUR DISTRIBUTION. PROVIDE BLACK ALUMINUM PERMALOC EDGE TO ALL SIDEWALKS AND PATIOS.

- GENERAL IRRIGATION NOTES:**
- LANDSCAPE CONTRACTOR TO PROVIDE SEPARATE CONTRACT TO LANDSCAPE INSTALLATION.
  - ALL SOFT LANDSCAPE TO BE IRRIGATED WITH LOW FLOW IRRIGATION TO PLANTER BEDS, AND IN-GROUND SPRINKLER IRRIGATION TO LAWN AREAS.
  - IRRIGATION CONTRACTOR TO PROVIDE AN EFFICIENT DESIGN-BUILD AUTOMATIC SYSTEM TO IASG STANDARDS, WITH MOISTURE SENSORS, AUTOMATIC RAIN GAUGE.
  - SYSTEM ACCESSED WITHIN BUILDING, WITH A MAIN CONTROLLER.
  - REFER TO MECHANICAL AND ELECTRICAL CONSULTANT DRAWINGS FOR COORDINATION & FOR IRRIGATION STUB-OUT LOCATIONS.
  - IRRIGATION PLAN TO MEET OR EXCEED ALL RELEVANT REQUIREMENTS FOR MUNICIPAL APPROVAL.
  - IRRIGATION DESIGN TO BE REVIEWED AND APPROVED BY LANDSCAPE ARCHITECT.

# Landscape Plan 3

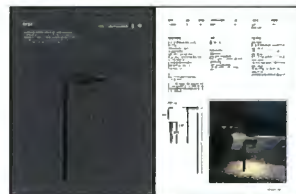


### REAR YARD RETAINING WALLS & STAIRS



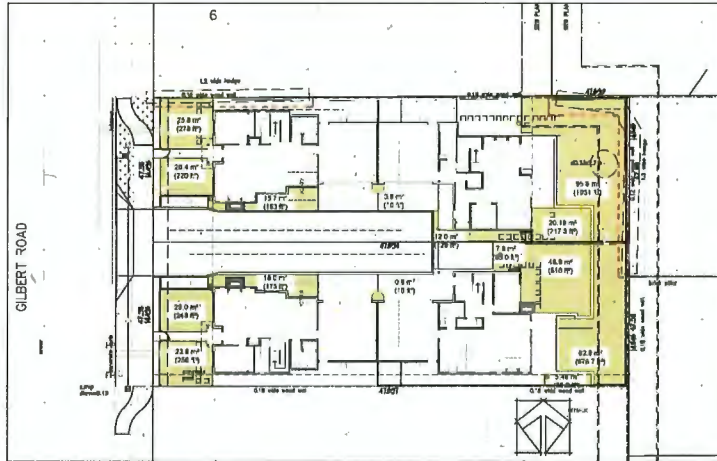
REAR YARD GARDEN RETAINING WALLS AND STAIRS  
 PISA ONESTONE CONCRETE BLOCKS  
 ABSORPTION BRAND (OR EQUIV)  
 PATTERN 2 GRANITE COLOUR  
 INSTALLED PER MANUFACTURER'S SPECIFICATIONS

### LANDSCAPE LIGHTING KEY

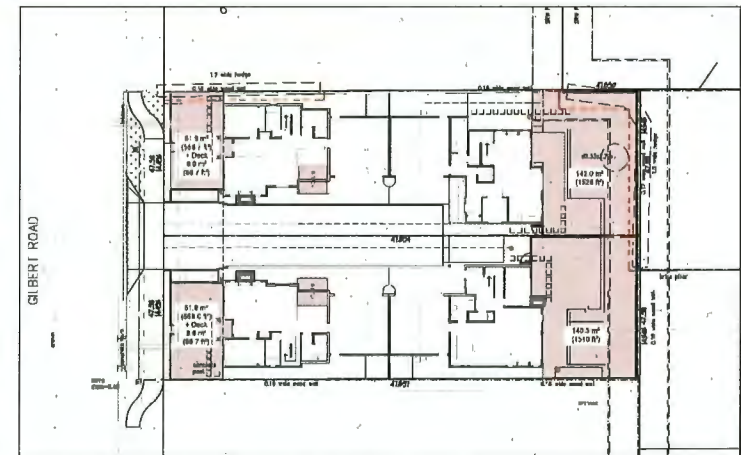


(P) PATH LIGHT  
 DALR EDGE LIGHT MODEL 180A-CD-RN1

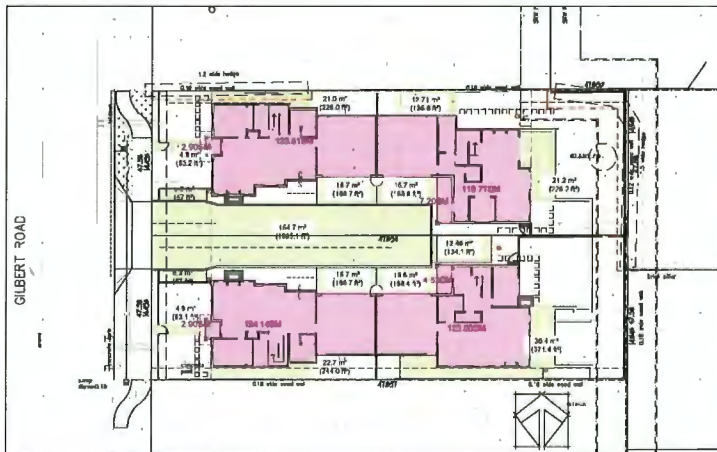
# Landscape Plan 4



**OVERLAY A: LIVE LANDSCAPE AREAS**  
SCALE 1"=10'-0"



**OVERLAY B: PRIVATE UNOBSTRUCTED OUTDOOR SPACE**  
SCALE 1"=10'-0"

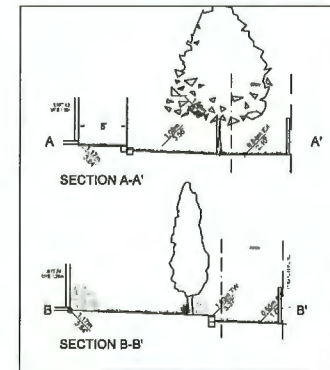


**OVERLAY C: NON POROUS MATERIAL COVERAGE**  
SCALE 1"=10'-0"

LIVE LANDSCAPE AREA CALCULATION	NORTH PROPERTY	SOUTH PROPERTY
REQUIRED	20% OF 696.4M <sup>2</sup> = 139.28M <sup>2</sup> (161.3 FTS)	20% OF 688.8 = 137.76M <sup>2</sup> (149.6 FTS)
PROVIDED	190.8M <sup>2</sup> (206.7 FTS)	188.4M <sup>2</sup> (205.6 FTS)

NON-POROUS LOT COVERAGE CALCULATION	NORTH PROPERTY	SOUTH PROPERTY
REQUIRED	70% OF 696.4M <sup>2</sup> = 487.48M <sup>2</sup>	70% OF 688.8 = 482.16M <sup>2</sup>
PROVIDED	864.5M <sup>2</sup>	297.8M <sup>2</sup>

- NON-POROUS SURFACES AND BUILDINGS STRUCTURES
- POROUS HARD SURFACES (PERMEABLE PAVING)



**SECTIONS: REAR YARDS**  
SCALE 1/8"=1'-0"



THANK YOU