

# 19 TOWNHOUSES

10340, 10360, 10380, 10400, 10420 NO 4 RD

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Developer

Kadium No 4 Development Ltd.

Architect

Matthew Cheng Architect Inc

Landscape Architect

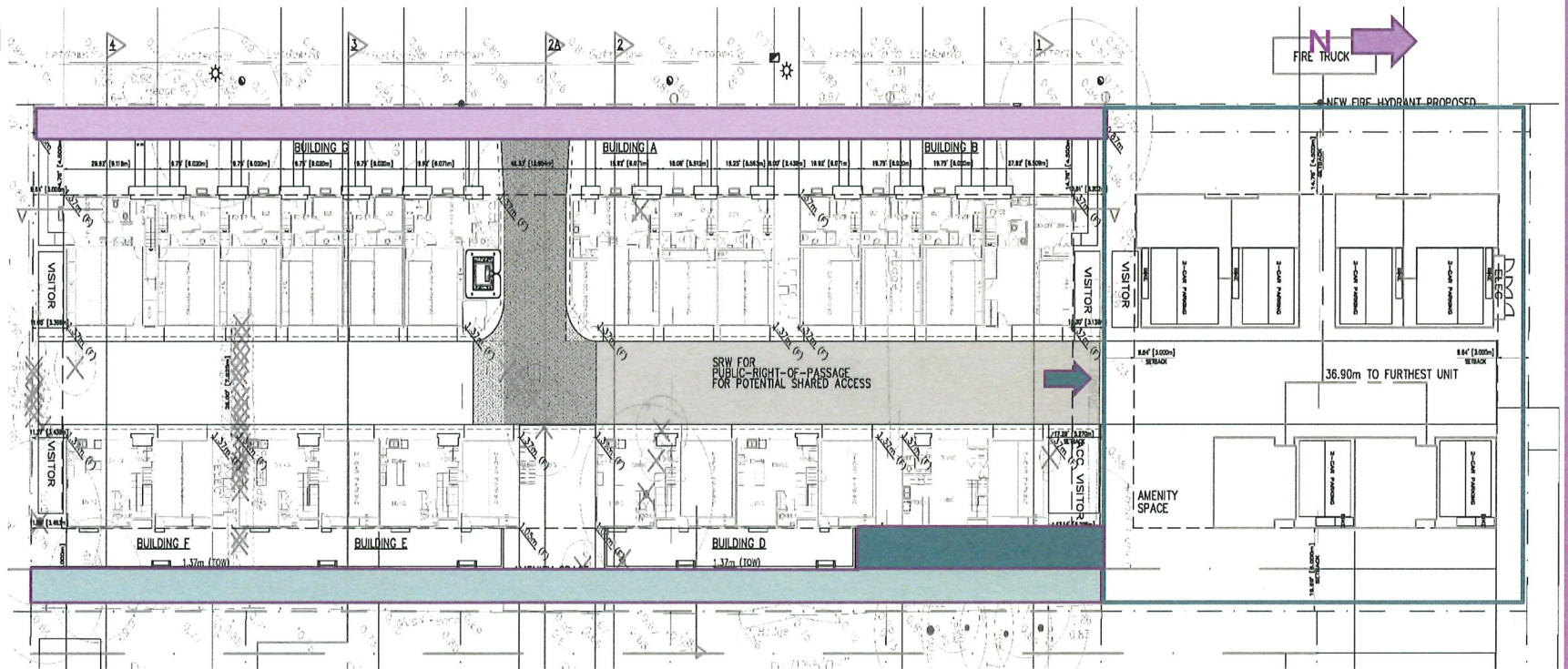
PMG Landscape Architects Ltd



19 Townhouse Development  
10340, 10360, 10380, 10400, 10420 No. 4 Rd.

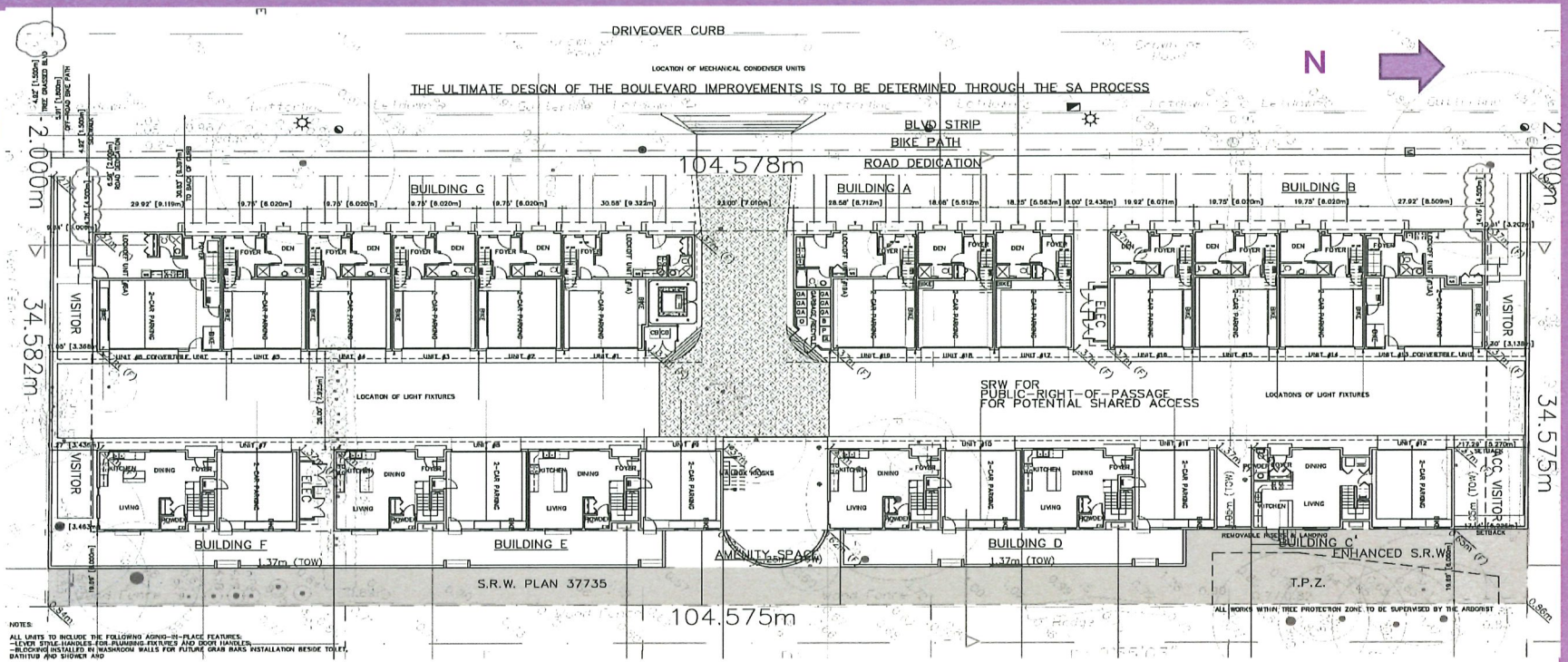


# Site Plan



- 2m dedication along No 4 Rd. frontage for bike lane (Light purple)
- Existing 3m SRW at east property line. (Light Blue)
- SRW Enlarged to 6m @ north east corner (Dark Blue) for rerouting the utility in order to save trees on property to east with TPZ inside SRW
- Cross access easement to 2 properties to north (Neighbors < 50m frontage requirement for major arterial road)

# Site, G/F Plan



- Propose 19 unit townhouses in front and back rows
- 3 buildings in front row & 4 buildings in back row
- Front yard setback 4.5m after dedication
- Rear yard setback 6m
- Side yard setback 3m

# Streetscape

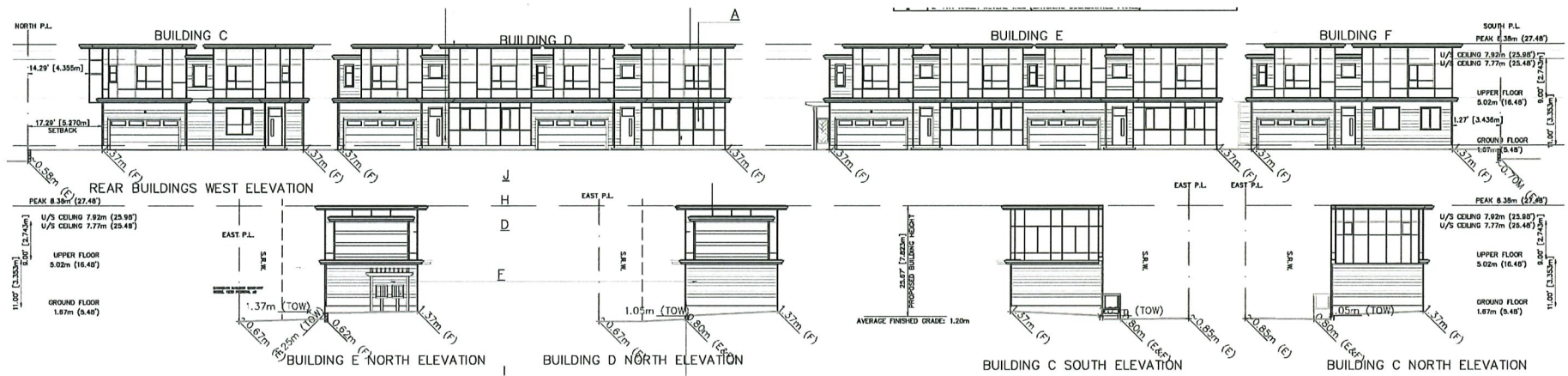


## STREETSCAPE ALONG NO. 4 ROAD

### Front row along No 4 Road

- 3 buildings of 3 story
- One building w/ 4 units, one bldg. w/ 3 units and one bldg. w/ 6 units to give variation of scale along No 4 Rd.
- Step down to 2 story within 7.5m (25 ft) against single family houses to north and south
- Also step down to 2 story on either side of entrance driveway

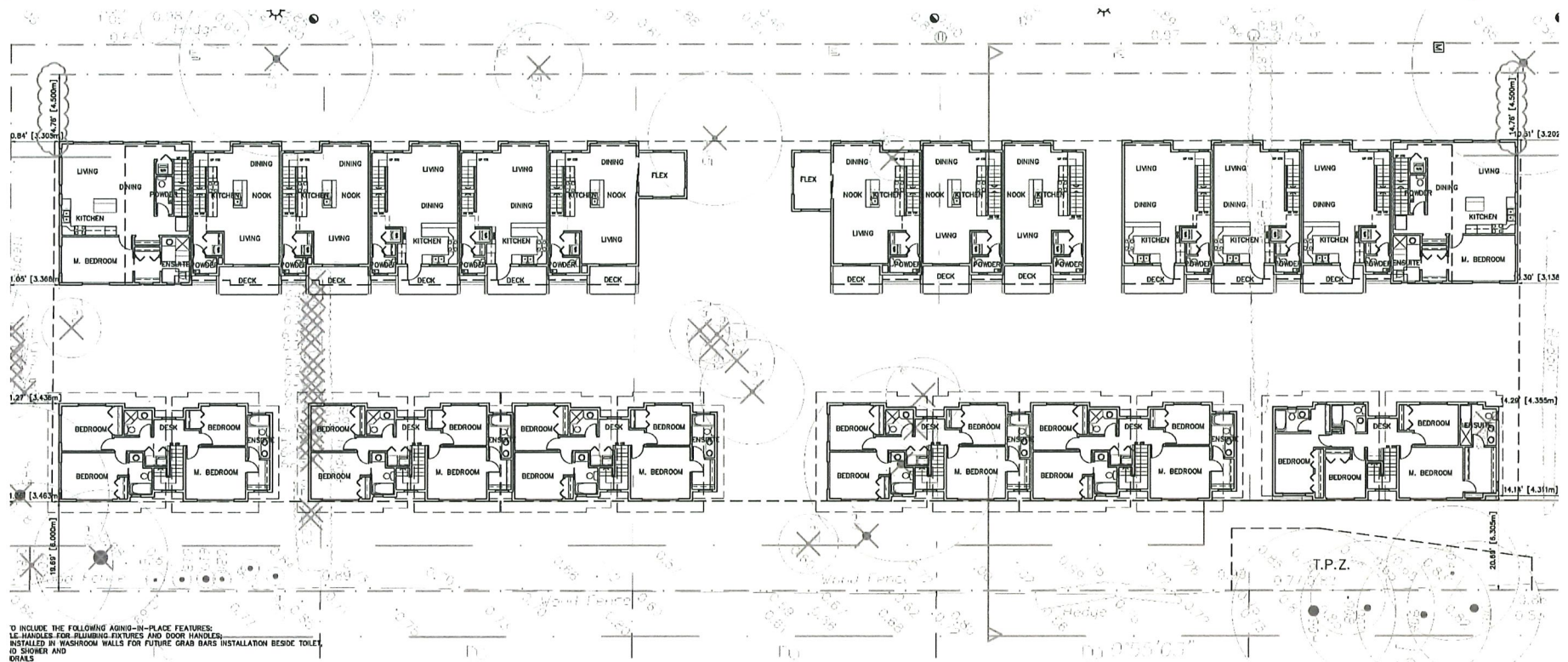
# Elevations



## Rear row

- 4 buildings
- 2 duplexes and 2 single family unit buildings
- 2 story height
- Provide transition to single family dwellings behind
- Wall mount light fixtures at top or side of garage doors to provide lighting for driveway

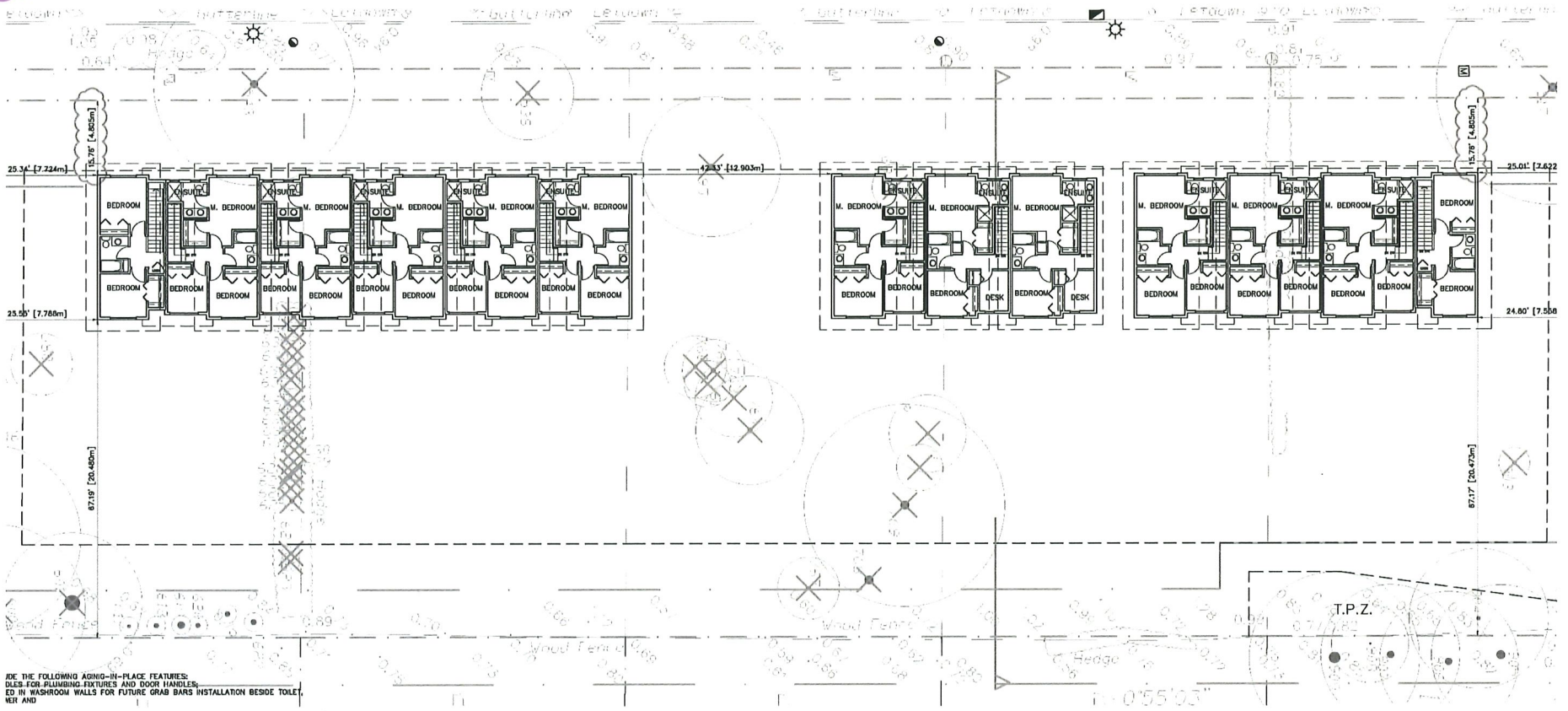
## 2/F Plan



- Decks provided on 2/F of front buildings off living area on driveway side (Fulfills unit outdoor space of 30 sm. together with front yard outdoor space)



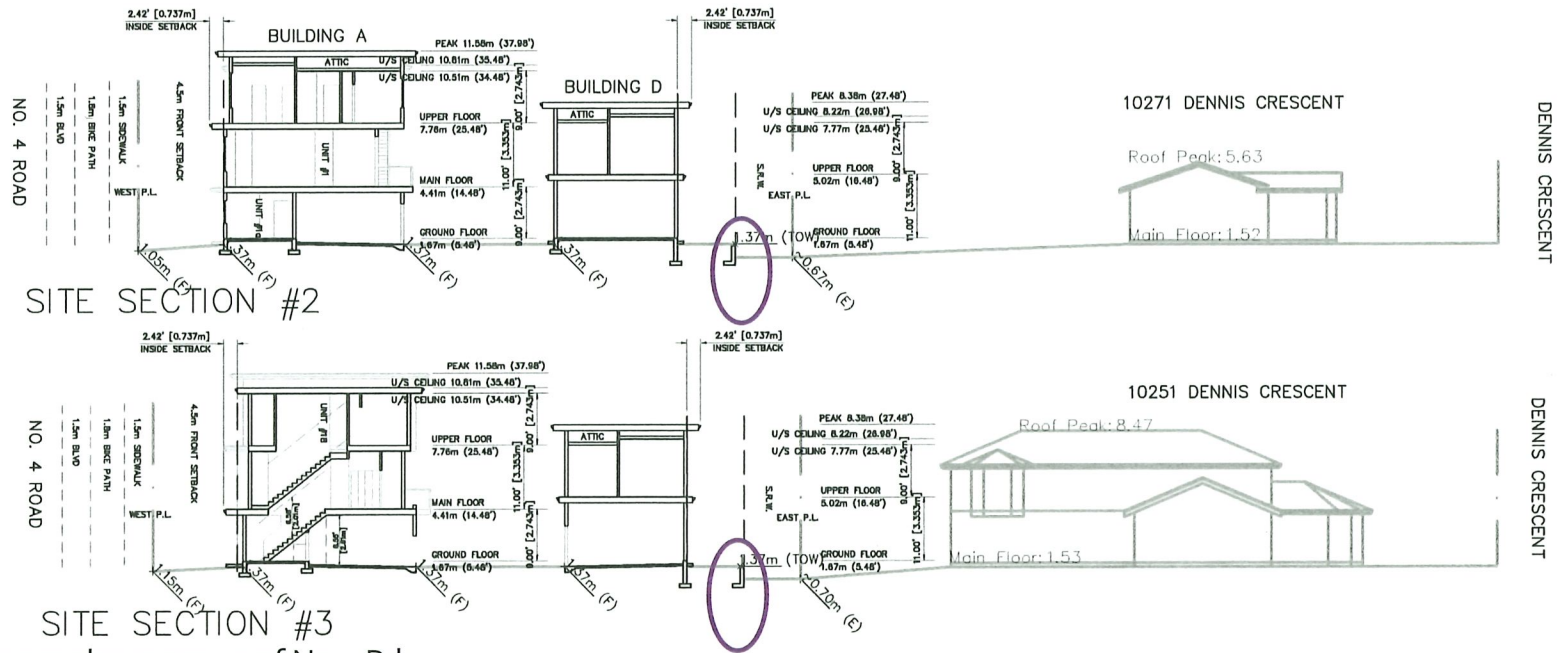
# 3/F Plan



DO THE FOLLOWING AGING-IN-PLACE FEATURES:  
DESIGN FOR PLUMBING FIXTURES AND DOOR HANDLES;  
DESIGN IN WASHROOM WALLS FOR FUTURE GRAB BARS INSTALLATION BESIDE TOILET,  
NET AND

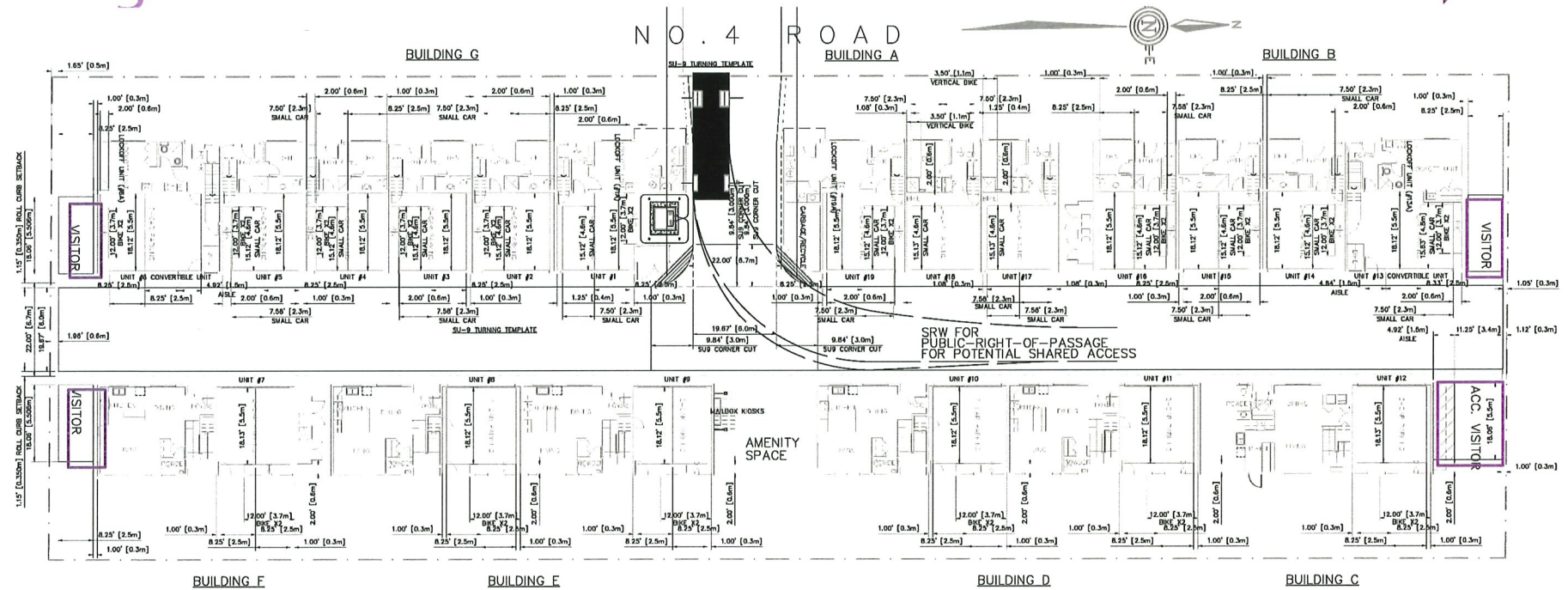
To mitigate impact of unit along street frontage-  
3/F setback 1' from lower floor of front buildings facing No. 4 Rd.

# Grading @ PL



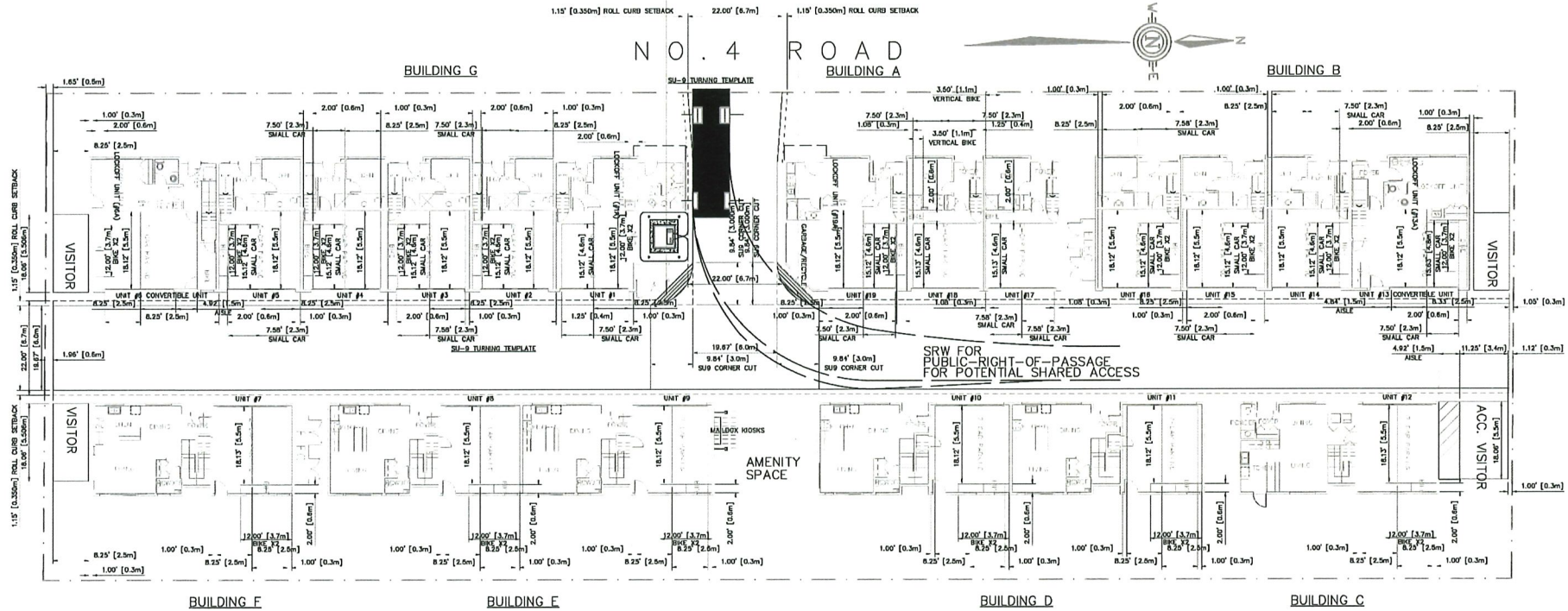
- Main floor min 0.3m above crown of No 4 Rd.
- Finish grade slightly sloped to No 4 Rd and N & S property lines so no retaining walls is required on three sides.
- Finish grade at east property line is 0.6 – 0.7m above single family houses to east
- Grade of 3m SRW @ east PL could not be altered and also there are trees and TPZ inside the SRW
- Low retaining wall proposed at west edge of SRW to split the back yard of rear units into 2 tiers. Upper tier accessible from units

# Parking



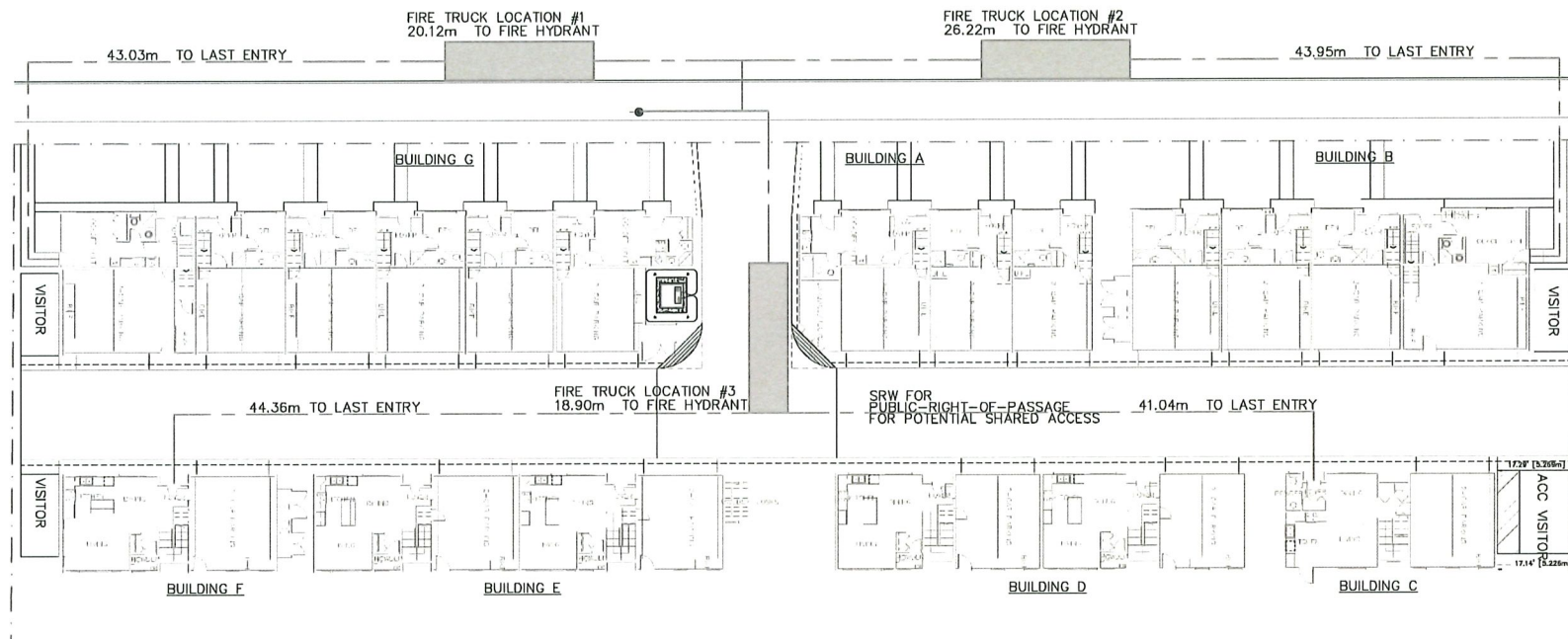
- All side by side garages (38)
- 4 visitor parking spaces (includes 1 accessible space for accessible van (4.9m wide))
- 11 small cars (29% < 50% permitted)
- 2 accessible parking spaces (4m wide) in both convertible units
- Class 1 bike in garages (36 > 24 req.)
- Class 2 bike between building C & D off driveway (4)

# SU-g Turning Plan



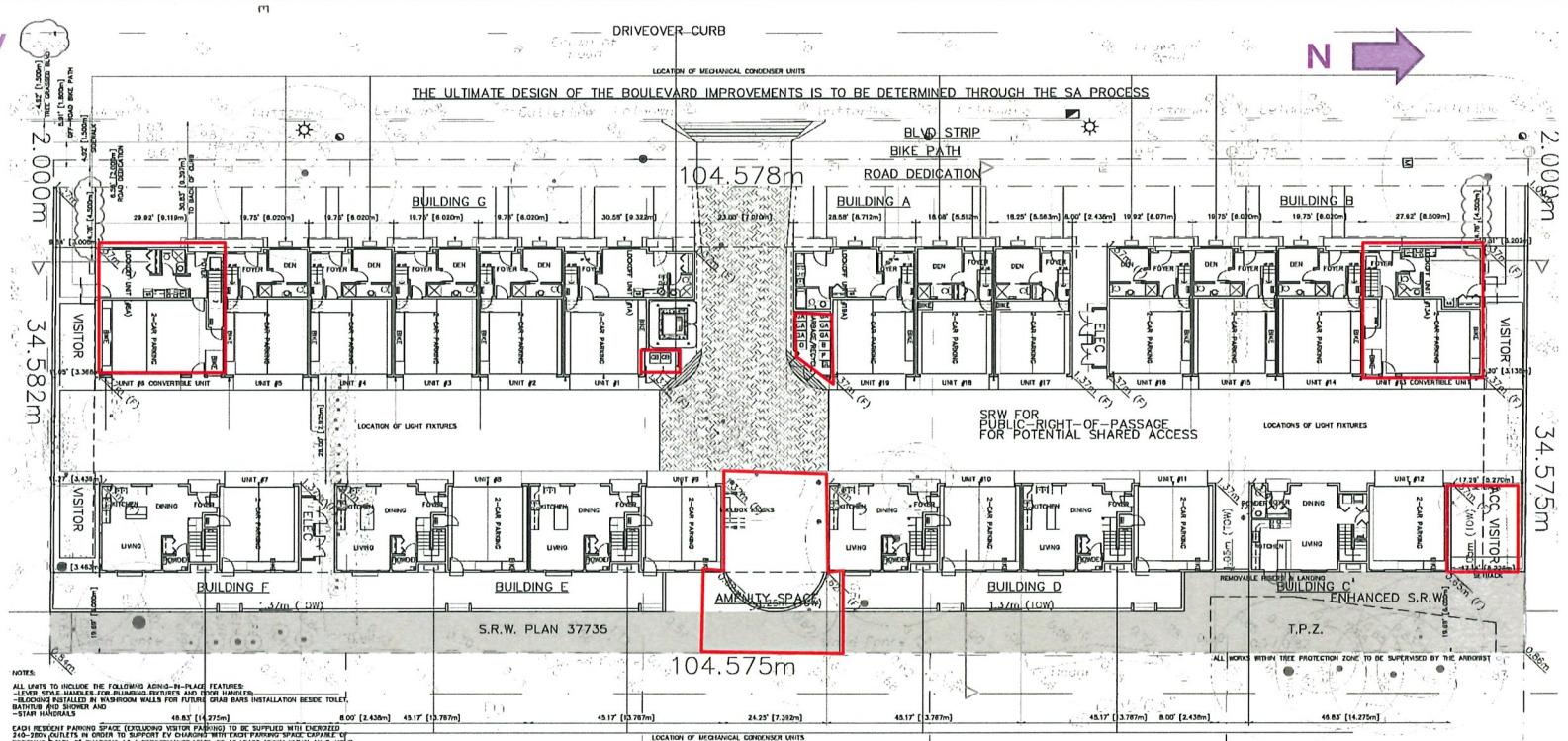
- Fulfills SU-g turning radius
- PMT on south side of entrance driveway (Location approved by Hydro)

# Fire Truck Access Plan



- New hydrant on south side of entry driveway
- Max 45m from hydrant to fire truck
- Max 45m from fire truck to every unit entry doors
- Measured in lines parallel to driveways

# Accessibility



- 2 convertible units provided at N & S ends of front buildings
- Site fully accessible
- 1 accessible visitor van parking
- Outdoor amenity space centrally located (Fulfill 6 sm. per unit (114 sm.))
- Common garbage and recycle room located off entry driveway
- Mailbox kiosk in outdoor amenity space

# Convertible Units

- Accessible bedrooms on 2/F
- Platform style chairlift (to carry wheelchairs) to all levels
- 4m (13'-2") wide accessible parking space provided
- Entry door (2'-10" clear) (Clear space 4' X door width + 2') (No step)
- Interior doors (2'-8" clear) (1 bed & 1 bath)
- Hallway (3'-0")

## WC

- Toilet at side and in front (3'-4")
- Blocking for future grab bars (Toilet, Tub, Shower)
- Lever - style plumbing fixtures
- Cabinets easily removed
- Bath and shower controls accessible

## Kitchen

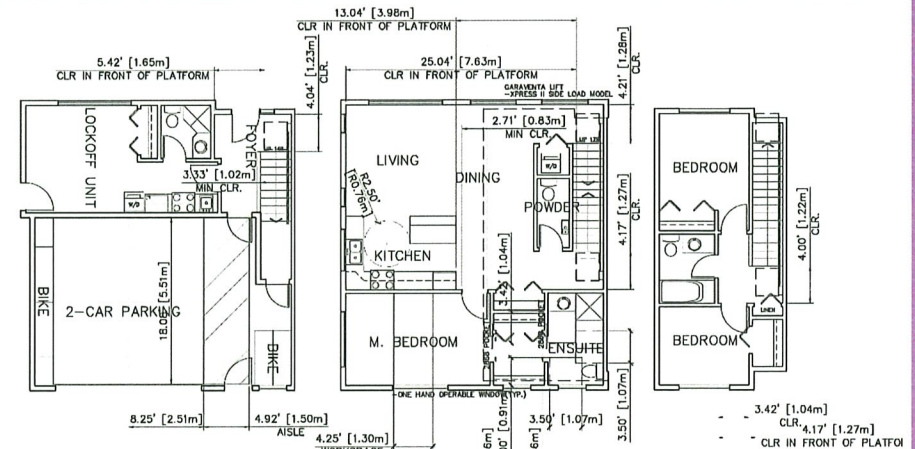
- Plumbing and gas pipes clear of under counter space
- Cabinets easily removed
- 5' turning diameter
- Level-type handles

## Windows

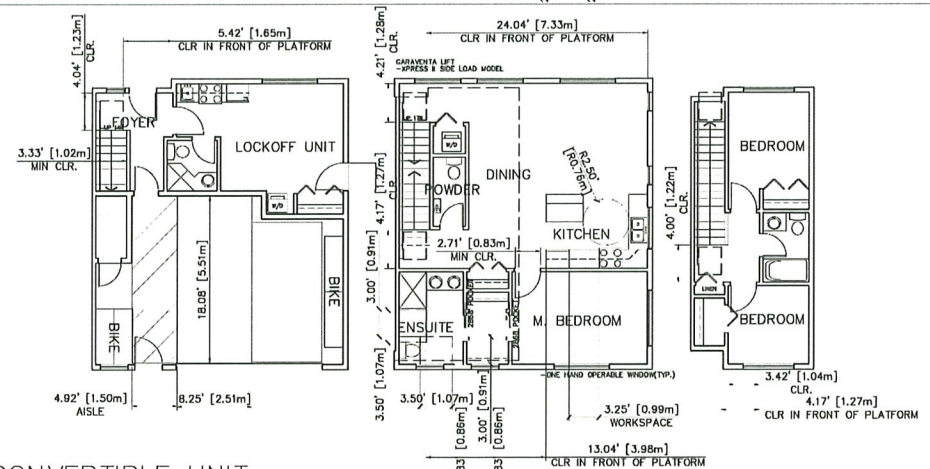
- Opened with 1 hand (Min. 1)

## Outlets and switches

- Outlets beside window, bottom of stair, beside toilet, above exterior door on front kitchen counter
- Within proximity of control center for smart home option
- Upgrades to four-plex outlets in master bed, home office, garage & rec rm



CONVERTIBLE UNIT  
BUILDING G - SEE D00 FOR MORE BUILDING NOTES

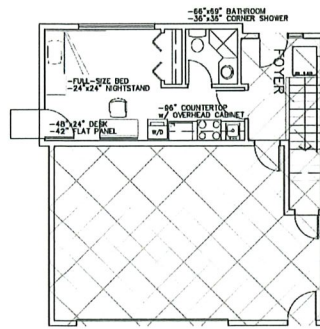


CONVERTIBLE UNIT  
BUILDING B - SEE D00 FOR MORE BUILDING NOTES

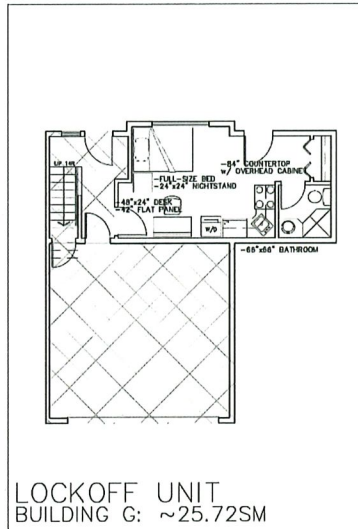




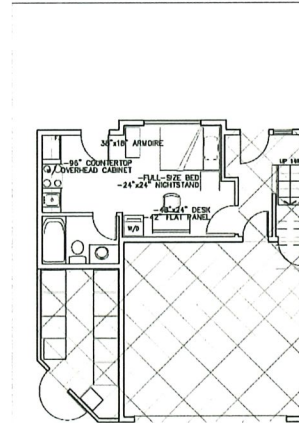
# Lock Off Units



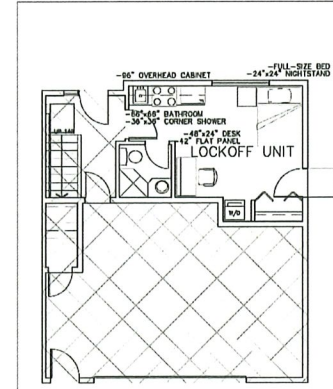
LOCKOFF UNIT  
BUILDING G: ~25.46SM



LOCKOFF UNIT  
BUILDING G: ~25.72SM



LOCKOFF UNIT  
BUILDING A: ~25.96SM



LOCKOFF UNIT  
BUILDING B: ~25.39SM

- 4 lock off units
- Fulfills min 25 sm
- Includes bath, kitchenette, sleeping area and a desk
- Stacked washer / dryer in all units

# Sustainability

- **Step Code 3**
- **Certified Energy Advisor**
- **Air source heat pump**  
10 HSPF for heating & 18 SEER for cooling  
(3'-6" ht. Al Knotwood fence for AC screening  
(Removable for maintenance))
- **Electric hot water tank**  
(min. 0.85 EF)
- **HRV** (min 65% SRE @ 0 c)
- **Insulation** fulfill advisor's requirements
- **Windows** (U- 1.38)
- **Doors** (Fiberglass polystyrene core)
- **Airtightness** (2.5 ACH @50 Pa)

## Water Conservation

- Dual flush toilets
- Drought tolerant plants

## Energy Conservation

- Energy star appliances
- LED lighting
- Electric car charging
- Programmable thermostats
- Motion sensing light in power rm and master ensuite
- Low E glass windows

## Building materials

- Renewable materials – wood
- Local building materials
- Durable building materials

## Waste Reduction

- 3 stream waste bins for construction
- Compost bins in kitchen
- Garbage and recycle bins in garage

## Health and Air quality

- Retain and plant perimeter trees
- LOC paints, adhesives and floorings

## Form & Character



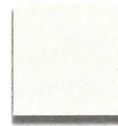
- Westcoast contemporary style
- To provide a clean look including all trims for fiber cement board to be the same color
- More appealing to younger generation families
- Provide 4 lock off units as mortgage helping for young families
- zoom from Community Commercial Center with a daycare / after school

## Form & Character



- Architectural character consistent with other successful projects in Shellmont neighborhood including Five Road by Anthem and Jasmine at the Gardens
- To bring in young families to give energy to this community and improve low enrollment to schools

## Exterior colors and materials - Front buildings



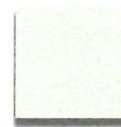
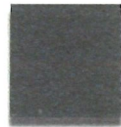
- Fiber cement panels  
(Night Grey , Iron Grey  
and off white painted)
- Gutter, downpipes  
(Charcoal)

Fiber cement siding  
(Nichiha Wood Series  
-Vintagewood cedar)

Windows and garage doors  
(Night Grey , Iron Grey)

Front doors  
(Night Grey , Iron Grey)

## Exterior colors and materials - Rear buildings



- Fiber cement panels  
(Night Grey , Iron Grey  
and off white painted)
- Gutter, downpipes  
(Charcoal)

Fiber cement siding  
(Nichiha Wood Series  
-Vintagewood cedar)

Windows and garage doors  
(Night Grey , Iron Grey)

Front doors  
(Night Grey , Iron Grey)



View from No 4 Road



View at site entrance driveway





View at north-west corner from No 4 Rd



View at south-west corner from No 4 Rd



View at south-east corner from neighboring properties

# Landscape Plan 1



### FURNITURE LEGEND

<p><b>BIKE RACK</b>                  48" H X 18" W                  Made of black 1.5" dia. square                  pipe with 2" x 4" steel                  powdercoat - matt finish                  NOTE:                  BIKE RACKS AND BIKE RACKS TO BE INSTALLED TO MANUFACTURER'S SPECIFICATION 2" THICK CONCRETE PAD BY FANWORKS</p>	<p><b>WOOD BENCH</b>                  Made of black 1.5" dia. square                  pipe with 2" x 4" steel                  powdercoat - matt finish                  NOTE:                  BIKE RACKS AND BIKE RACKS TO BE INSTALLED TO MANUFACTURER'S SPECIFICATION 2" THICK CONCRETE PAD BY FANWORKS</p>	<p><b>PLAY EQUIPMENT</b>                  1. PLAY EQUIPMENT ON                  FIBER RESILIENT SURFACE                  1. BENCH                  1. BIKE RACK FOR 6 BIKES</p>
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### PAVING LEGEND

<p>Permeable paving                  Grey color, hexagonal pattern</p>	<p>Permeable paving                  Custom color hexagonal pattern</p>	<p>Permeable paving                  Custom color hexagonal pattern</p>
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### FENCE LEGEND

<p>4" FT ALUMINUM FENCE WITH GATE</p>	<p>4" FT WOOD FENCE WITH GATE</p>	<p>4" FT WOOD FENCE</p>	<p>4" FT WOOD FENCE</p>	<p>6" FT 400 WOOD AC SCREENING</p>
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### LIGHTING LEGEND

<p>SYMBOL                  1. LIGHT                  2. LIGHT</p>	<p>SYMBOL                  1. LIGHT                  2. LIGHT</p>
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### PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
1	8	STREET TREE	TYPE AND LOCATION BY CITY	700 CAL, 24 STD, 840

NOTE: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE I.C. LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER I.C. STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZE. \*\* REFER TO SPECIFICATION FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS CAN BE WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKE ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO I.C. LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. \* CERTIFICATION OF CONDITIONS OF AVAILABILITY \* ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED I.C. LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. \* ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. \* DO NOT ALLOW PERMITTED IN GROWING MEDIA UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

### PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
1	4	ACER PALMATUM	JAPANESE MAPLE	600 CAL, 140 STD, 840
2	1	ACER PALMATUM ATROPURPUREUM	RED JAPANESE MAPLE	600 CAL, 140 STD, 840
3	1	ACER RUBRUM DOWNY	DOWNY RED MAPLE	600 CAL, 140 STD, 840
4	1	FAUCUS SYLVATICA DANVOK	FAUCON OAK DANVOK	1000 CAL, 140 STD, 840
5	2	FAUCUS SYLVATICA DANVOK PURPLE	DANVOK PURPLE BEECH	1000 CAL, 140 STD, 840
6	1	HONGKONGIA KOREANA	PINK STAR HONGKONGIA	600 CAL, 140 STD, 840
7	1	PICEA CADUCEATA BRUNDA	BRUNDA SPERMAL SPRUCE	500 HT, 840
8	2	PIRUS NIVA ARNOLDI	ARNOLD BERRY PEAR	500 HT, 840
9	1	PRUNUS SPERATA YAMAGISAWA	YAMAGISAWA FLOWERED CHERRY	500 CAL, 140 STD, 840

NOTE: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE I.C. LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER I.C. STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZE. \*\* REFER TO SPECIFICATION FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS CAN BE WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKE ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO I.C. LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. \* CERTIFICATION OF CONDITIONS OF AVAILABILITY \* ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED I.C. LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. \* ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. \* DO NOT ALLOW PERMITTED IN GROWING MEDIA UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

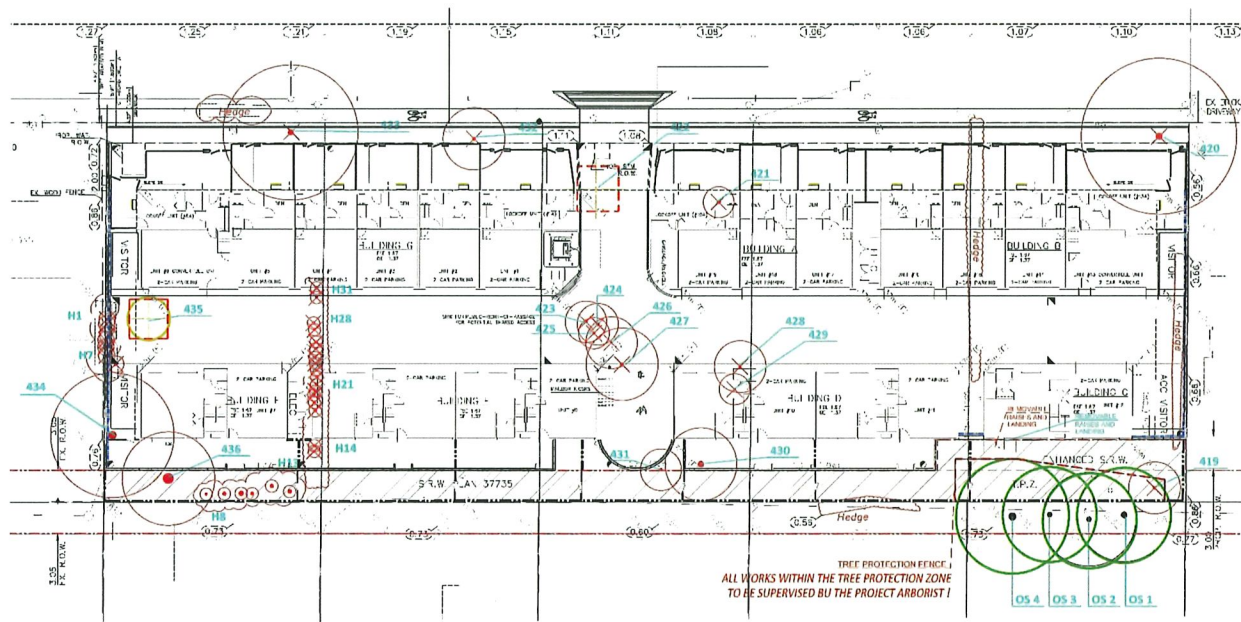
- All landscape areas to be irrigated with an efficient automatic irrigation system with rain sensor. Installation to I.A.B.C. standards, latest edition. Provide design and system plan for review.



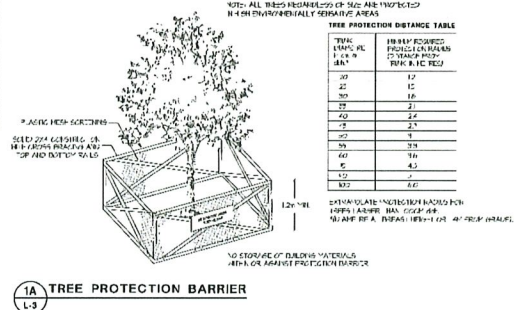
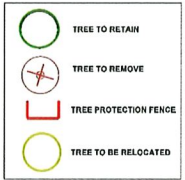




# Landscape Plan 4



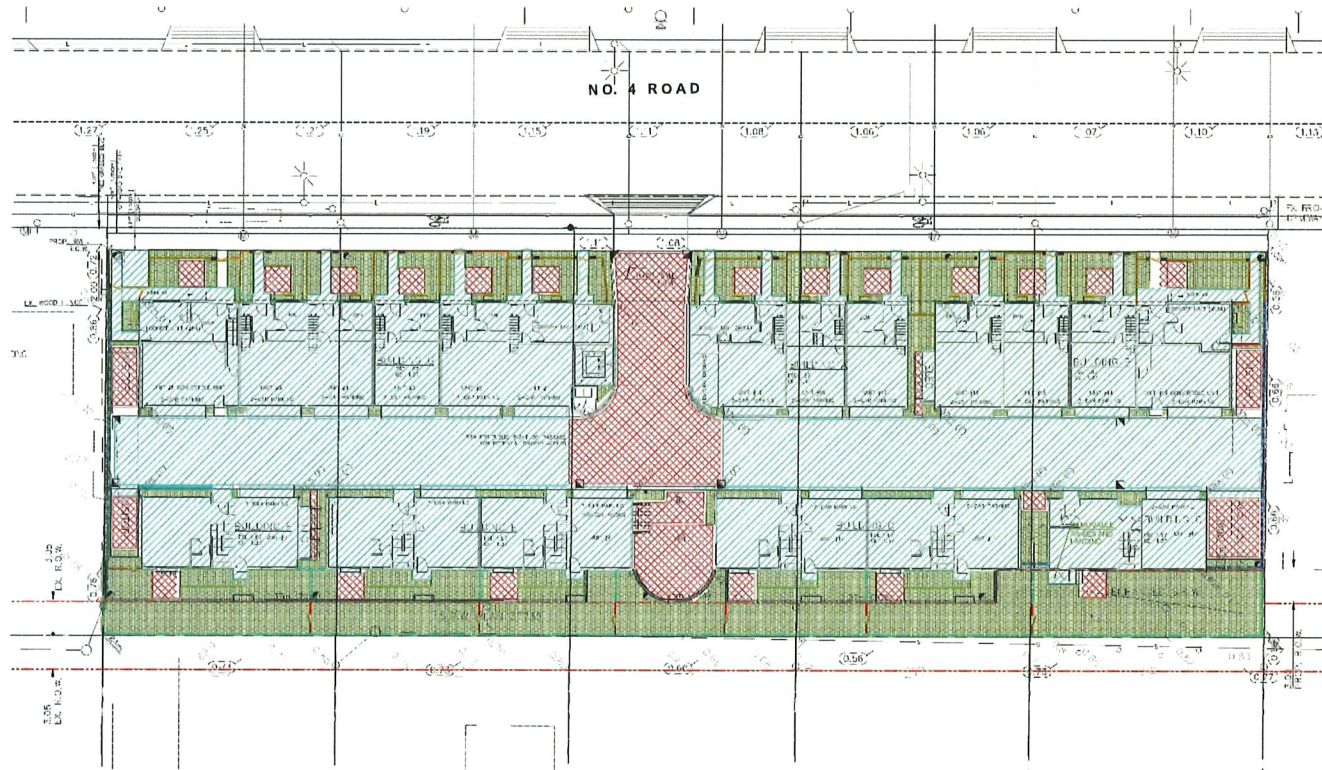
TREE PROTECTION FENCE  
ALL WORKS WITHIN THE TREE PROTECTION ZONE  
TO BE SUPERVISED BY THE PROJECT ARBORIST I






Tag	Species	DBH (cm)	TPZ (m)
419	Fig	40	2.40
420	Deodar cedar	73	4.38
421	Fig	39	2.34
422	Japanese maple	30	1.80
423	Smaragd cedar	36	2.16
424	Smaragd cedar	40	2.40
425	Smaragd cedar	28	1.68
426	Oyama magnolia	24	1.44
427	Japanese maple	36	2.16
428	Himalayan birch	48	2.88
429	Elderberry	24	1.44
430	Apple	43	2.58

431	Apple	21	1.26
432	Cherry	39	2.34
433	Norway maple	57	3.42
434	Flowering cherry	82	4.92
435	Pink snowbell	27	1.62
436	Hazelnut	30	1.80
H1-	Western red cedar	30	1.80
H7	Western red cedar	30	1.80
H8-	Western red cedar	30	1.80
H13	Western red cedar	30	1.80
H14-	Western red cedar	30	1.80
H31	Western red cedar	30	1.80
os1	Hemlock	60	3.60
os2	Hemlock	60	3.60
os3	Hemlock	60	3.60
os4	Western red cedar	85	5.10

# Landscape Plan 5



	<b>COVERAGE WITH LIVE PLANT MATERIALS</b> 21.50% 2800.33 sq ft (81.62 m <sup>2</sup> )
	<b>COVERAGE WITH OF PERMEABLE SURFACE</b> 14.23 5737.90 sq ft
	<b>COVERAGE WITH OF NON-PERMEABLE SURFACE</b> 59.22% 23333.33 sq ft





THANK YOU