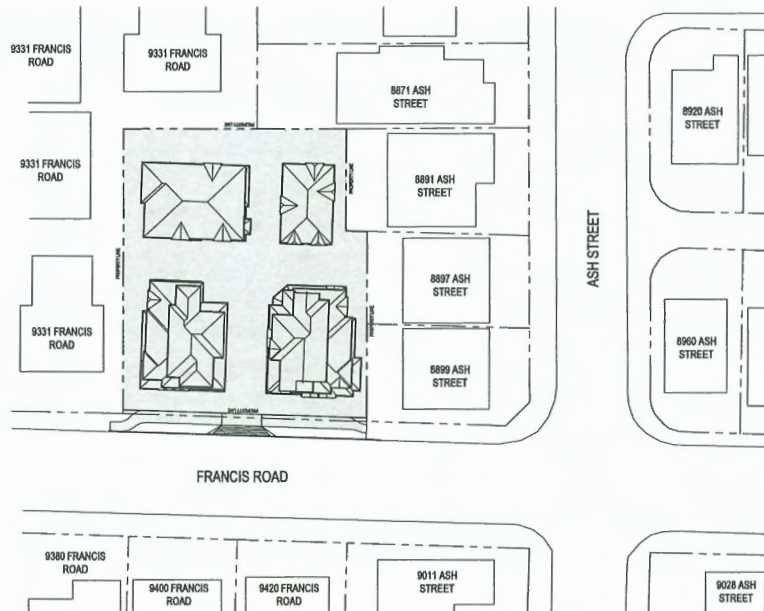




TOWNHOUSE DEVELOPMENT AT 9371 & 9391 FRANCIS ROAD, RICHMOND, BC
(RZ 22-005593 / DP 23-029303)

ISSUED FOR DDP REVIEW 2025-03-26





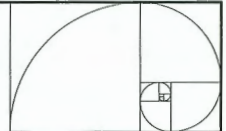
1 CONTEXT SITE PLAN
A0.5 SCALE: 1"=30'-0"



2 STREETScape SITE PHOTO
A0.5 SCALE: N.T.S.



3 STREETScape ELEVATION
A0.5 SCALE: 1"=20'-0"



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REVISION FOR CITY REVIEW	11	11	2013.03.15
REVISION FOR CITY REVIEW	12	12	2013.03.15
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REVISION FOR CITY REVIEW	100	100	2013.03.15

Client/Project	TOWNHOUSE DEVELOPMENT
Address	9371 / 9391 FRANCIS ROAD RICHMOND, BC (R2-22-005593, DP-23-029303)
Title	SITE CONTEXT PLAN & STREETSCAPE
Project No.	#8272
Revision	AS NOTED
Drawing No.	A0.5
Sheet	of

Project Data				
Lot	Chic Address	Legal Description	PID	
Lot 1	9371 Francis Road, Richmond, BC	PARCELA LOT 58 EXCEPT: PART SUBDIVIDED BY PLAN 76875, PLAN B147, SECTION 22, BLOCK 4, NORTH RANGE 6 WEST, NEWWESTMINSTER DISTRICT	003-977-421	
Lot 2	9391 Francis Road, Richmond, BC	LOT 551 PLAN 58919, SECTION 12, BLOCK 4, NORTH RANGE 6 WEST, NEWWESTMINSTER DISTRICT	003-907-422	
Planning Area	05 Broadmoor			
Gross Site Area	20850.34 SF	=	1912.00 SM	
Road Dedication	268.68 SF	=	24.96 SM	
Net Site Area	20581.66 SF	=	1887.04 SM	
Max. FSR Allowed (ITLA Zone)	0.6			
Floor Area Allowed	12187.14 SF	=	1132.22 SM	
Total Net Floor Area Provided	12181.90 SF	=	1131.74 SM	
Total FSR Provided	0.60	<=	0.6	

Project Statistics					
	Existing		Proposed		Notes
Zoning	RS1E		R1A		
Land Use	Single Family Detached		Townhouse		
GCP Designation	Neighborhood Residential		Neighborhood Residential		
Amount of Unit	2		9		
	Required / Allowed		Proposed		Notes
Floor Area Ratio	0.6		0.6		
Lot Coverage (Building & Porch)	40% Max.		39%		
Lot Coverage (Non Porous Materials)	65% Max.		63%		
Lot Coverage (Landscaping)	25% Max.		25%		
Setback - Front Yard (North)	6.00	Meters	4.57	Meters	Variance Required
Setback - Interior Side Yard (West)	3.00	Meters	3.04	Meters	
Setback - Interior Side Yard (East)	3.00	Meters	3.04	Meters	
Setback - Rear Yard (North)	3.00	Meters	6.01	Meters	
Building Height - 3-Storey (Meters)	12.00	Meters	11.16	Meters	
Building Height - 2-Storey (Meters)	9.00	Meters	8.72	Meters	

Average Grading Calculation				
Points	Location	Existing Grade	Proposed Grade	Notes
1	Southwest	1.18 Meter	1.18 Meter	Adjacent to City's New Sidewalk
2	Southeast	1.02 Meter	1.02 Meter	Adjacent to City's New Sidewalk
3	Northeast	0.86 Meter	0.86 Meter	Within SWW and adjacent to neighboring properties
4	Northwest	0.88 Meter	0.88 Meter	Adjacent to neighboring properties
5	Building A Southeast		1.21 Meter	
6	Building A Northeast		1.21 Meter	
7	Building A Northwest		1.21 Meter	
8	Building A Southwest		1.21 Meter	
9	Building B Southeast		1.21 Meter	
10	Building B Northeast		1.21 Meter	
11	Building B Northwest		1.21 Meter	
12	Building B Southwest		1.21 Meter	
13	Building C Southeast		1.21 Meter	
14	Building C Northeast		1.21 Meter	
15	Building C Northwest		1.21 Meter	
16	Building C Southwest		1.21 Meter	
17	Building D Southeast		1.21 Meter	
18	Building D Northeast		1.21 Meter	
19	Building D Northwest		1.21 Meter	
20	Building D Southwest		1.21 Meter	
Total			23.30 Meter	
Average Grade			1.17 Meter	# 25.60' 10"

Ground Floor Interior Elevation Calculation			
Highest Point of Crown of adjacent Street	1.13	Meter	
Flood Protection Requirements for L1 Living Space	0.3	Meter	
Established L1 Interior elevation for Living Space	1.43	Meter	

Building A Area Calculation			
Level 1		211.13	234.63
Subtotal Gross Floor Area			
Level 2		214.84	195.63
Subtotal Gross Floor Area			
Level 3		110.93	108.24
Subtotal Gross Floor Area			
Building A		536.90	538.50
Subtotal Gross Floor Area			
Level 4		177.62	161.79
Subtotal Gross Floor Area			
Level 5		107.62	105.56
Subtotal Gross Floor Area			
Level 6		105.56	111.72
Subtotal Gross Floor Area			
Level 7		18.00	2.46
Subtotal Gross Floor Area			
Level 8		11.71	14.43
Subtotal Gross Floor Area			
Level 9		100.81	14.43
Subtotal Gross Floor Area			
Level 10		7.96	7.05
Subtotal Gross Floor Area			
Level 11		100.81	14.43
Subtotal Gross Floor Area			
Level 12		100.81	14.43
Subtotal Gross Floor Area			
Level 13		100.81	14.43
Subtotal Gross Floor Area			
Level 14		100.81	14.43
Subtotal Gross Floor Area			
Level 15		100.81	14.43
Subtotal Gross Floor Area			
Level 16		100.81	14.43
Subtotal Gross Floor Area			
Level 17		100.81	14.43
Subtotal Gross Floor Area			
Level 18		100.81	14.43
Subtotal Gross Floor Area			
Level 19		100.81	14.43
Subtotal Gross Floor Area			
Level 20		100.81	14.43
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Level 21		100.81	14.43
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Level 22		100.81	14.43
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Subtotal Gross Floor Area			
Level 48		100.81	14.43
Subtotal Gross Floor Area			
Level 49		100.81	14.43
Subtotal Gross Floor Area			
Level 50		100.81	14.43
Subtotal Gross Floor Area			
Level 51		100.81	14.43
Subtotal Gross Floor Area			
Level 52			

Building D Area Calculation			
Level 1	2811.32 SF	234.02 SF	
Subtotal Gross Floor Area			
Level 2	2118.26 SF	197.53 SF	
Subtotal Gross Floor Area			
Level 3	1132.17 SF	107.24 SF	
Subtotal Gross Floor Area			
Level 4	1669.17 SF	138.80 SF	
Subtotal Gross Floor Area			
Level 5	61.73	25.72 SF	
Subtotal Gross Floor Area			
Level 6	347.74	113.47 SF	
Subtotal Gross Floor Area			
Level 7	15.00	2.40 SF	
Subtotal Gross Floor Area			
Level 8	42.62	13.15 SF	
Subtotal Gross Floor Area			
Level 9	58.79	5.40 SF	
Subtotal Gross Floor Area			
Level 10	25.30	7.20 SF	
Subtotal Gross Floor Area			
Level 11	17.00	144.63 SF	
Subtotal Gross Floor Area			
Level 12	1089.50 SF	961.90 SF	
Subtotal Gross Floor Area			
Level 13	17.00	144.63 SF	
Subtotal Gross Floor Area			
Level 14	1089.50 SF	961.90 SF	
Subtotal Gross Floor Area			
Level 15	17.00	144.63 SF	
Subtotal Gross Floor Area			
Level 16	1089.50 SF	961.90 SF	
Subtotal Gross Floor Area			
Level 17	17.00	144.63 SF	
Subtotal Gross Floor Area			
Level 18	1089.50 SF	961.90 SF	
Subtotal Gross Floor Area			
Level 19	17.00	144.63 SF	
Subtotal Gross Floor Area			
Level 20	1089.50 SF	961.90 SF	
Subtotal Gross Floor Area			
Level 21	17.00	144.63 SF	
Subtotal Gross Floor Area			
Level 22	1089.50 SF	961.90 SF	
Subtotal Gross Floor Area			
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Level 45	17.00	144.63 SF	
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Level 46	1089.50 SF	961.90 SF	
Subtotal Gross Floor Area			
Level 47	17.00	144.63 SF	
Subtotal Gross Floor Area			
Level 48	1089.50 SF	961.90 SF	
Subtotal Gross Floor Area			
Level 49	17.00	144.63 SF	
Subtotal Gross Floor Area			
Level 50	1089.50 SF	961.90 SF	
Subtotal Gross Floor Area			
Level 51	17.00	144.63 SF	
Subtotal Gross			

Building B Area Calculation			
Isolated Green Floor Area	Level 1	104,621.17	97.43 MA
Isolated Green Floor Area	Level 2	104,620.19	97.43 MA
Isolated Green Area	Building B	209,241.36	194.79 MA
11.517 Air Area exemption		102,422.57	10.00 MA
Garage Area exemption		296,244.37	84.81 MA
Overhead Truck and Container Area exemption		32,473.57	2.18 MA
Green Total Area exemption		57,848.17	5.34 MA
Utility Room Area exemption		0.0000	0.00 MA
Green Building System Area Exemption		25,300.57	2.83 MA
Green Building System Area Exemption		810.73	0.01 MA
Total Green Area	Building B	146,681.13	138.97 MA

Building C Area Calculation			
Subtotal Gross Floor Area	Level 1	2136.187	198.433
Subtotal Gross Floor Area	Level 2	199.117	199.833
Total Gross Area	Building C	4331.197	399.833
1.5 Air Area exemption	107.81	107.81	13.119
Storage Area exemption	188.51	188.89	77.245
Garage & Booth Area exemption	34.32	0.00	34.317
Greenhouse Area exemption	57.11	57.11	114.222
Utility Room Area exemption	0.00	0.00	0.000
Green Building System Area Exemption	25.30	25.30	9.565
Total 1.5% Floor Area	Building C	298.527	274.584

Parking Calculation									
Residential Parking Required	2 Stalls / Unit	X	9 Unit	=	18 Stalls				
Residential Parking (Standard) Provided					12 Stalls				
Residential Parking (Small Car) Provided					6 Units				
Total Residential Parking Provided					18 Stalls				Variance Required
Level 2 @ 240V EV Charger Provided	2 Outlets / Unit	X	9 Unit	=	18 Outlets				
Visitor Parking Required	0.2 Stalls / Unit	X	9 Unit	=	1.8 Stalls				
Visitor Parking Provided					2 Stalls				
Tandem Parking Allowed	50%	X	9 Stalls	=	4.5 Stalls				
Tandem Parking Provided					0 Stalls				
Lock-off Unit Parking Required *					0 Stalls				
Lock-off Unit Parking Provided *					0 Stalls				
* Lock off Unit Parking Requirement	No additional parking stall required when side by side double parking stalls provided in projects located on arterial roads								
H/C Visitor Parking Required					0 Stalls				
H/C Visitor Parking Provided					0 Stalls				
Class 1 Bike Storage Required	1.25 Spaces / Unit	X	9 Unit	=	11.25 Spaces				
Class 1 Bike Storage Provided					10 Spaces				
Class 2 Bike Parking Required	0.2 Spaces / Unit	X	9 Unit	=	1.8 Spaces				
Class 2 Bike Parking Provided					2 Spaces				

[illegible]

Floor Area Calculation									
	Building A		Building B		Building C		Building D		
	(SF)	(SM)	(SF)	(SM)	(SF)	(SM)	(SF)	(SM)	(SF) Total
Gross Floor Area	2725.51	533.92	2075.66	394.79	1433.29	383.89	2488.7	528.59	17648.16
Floor Area Exemption	1881.58	174.80	610.51	56.73	1173.77	109.23	1793.40	166.61	5461.36
Net Floor Area	1843.93	357.13	1466.15	138.07	2655.57	274.66	3895.30	361.98	12186.80

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Outdoor Amenity Area Calculation				
Total Amount of Unit	9 Unit			
Required Outdoor Amenity Area Ratio	6.0 M ² /Unit	=	64.58 SF/Unit	
Total Outdoor Amenity Area Required	54.00 SM	=	581.25 SF	
Provided Outdoor Amenity Provided	109.48 SM	=	1178.44 SF	

Covered Porch Area Calculation										
Unit #	Building A			Building B		Building C		Building D		Total
Convertible Unit	Unit #1	Unit #2	Unit #3	Unit #4	Unit #5	Unit #6	Unit #7	Unit #8	Unit #9	Units
Lock-off Unit				✓	✓					
Covered Porch Area per Unit	0.00	26.50	0.00	23.47	21.33	0.00	0.00	26.50	0.00	99.80 SF
Total Covered Porch Area Allowed	2031.19 SF			@ 10%						
Total Covered Porch Area Provided										99.80 SF
Total Covered Porch Ratio	0.5%	<	10%	Allowed						

Building Coverage Calculation											Note
	Building A		Building B		Building C		Building D		Total		
	(SF)	(SM)	(SF)	(SM)	(SF)	(SM)	(SF)	(SM)	(SF)	(SM)	
Building Area Provided	7411.88	224.02	1048.61	97.43	2136.18	198.46	2411.36	224.02	8007.51	743.93	
Total Building Area Allowed	8124.76		@	40%							
Total Building Area Provided	8007.51	SF	<	8124.76	SF						
Total Building Coverage Ratio Provided	39%		<	40%	Allowed						



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Dimensions

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TOWNHOUSE DEVELOPMENT

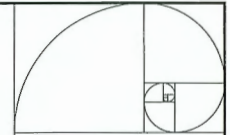
9371 / 9391 FRANCIS ROAD
RICHMOND, BC
(RZ 22-005593, DP 23-029303)

PROJECT DATA & STATISTICS

Project No.	Scale
#8272	N.T.S.

Drawing No.
A 0.3

1. HIGH PROFILE ASPHALT SHINGLES (LIGHT GREY)
2. PAINTED COMPOSITE CEMENT-HARDIPLA SIDING (GREY)
3. PAINTED COMPOSITE CEMENT-HARDIPLA SIDING (BROWN)
4. BRICK CLADDING (RED)
5. VINYL WINDOW W/ CLEAR DOUBLE GLAZING & LIGHT WHITE FRAME
6. PAINTED WOOD FASCIA BOARD / TRIM / STEEL DOOR GUARDRAIL (DARK GREY)
7. PAINTED WOOD UNIT ENTRY DOOR (NATURAL WOOD COLOR)
8. VINYL WINDOW W/ CLEAR DOUBLE GLAZING & DARK BROWN FRAME
9. PAINTED COMPOSITE CEMENT SHEET PANEL (WHITE)
10. METAL GARAGE DOOR (LIGHT GREY)
11. PAINTED WOOD UNIT ENTRY DOOR (WHITE COLOR)



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ClientProjid

TOWNHOUSE DEVELOPMENT
9371 / 9391 FRANCIS ROAD
RICHMOND, BC
(RZ 22-005593, DP 23-029303)

**COLORED EXTERIOR FINISH
MATERIAL SAMPLE BOARD**

Project No.	Scale
#8272	N.T.S.

Drawing No.	Sheet	Revision
A 0.8	of	

GENERAL NOTES:

1. AGING IN PLACE FEATURES SUCH AS "STAIRWELL HANDRAILS, SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILET, BATHROOM AND SHOWER" AND "ELEVATOR HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES" WILL BE PROVIDED IN ALL UNITS.
2. UNIT #4 IS THE CONVERTIBLE UNIT. ITS DESIGN IS IN FULL COMPLIANCE WITH CITY'S CONVERTIBLE DESIGN GUIDELINE / CHECKLIST.
3. UNIT #5 CONTAINS A LOCK-OFF UNIT.
4. TWO EV CHARGERS TO BE PROVIDED IN EACH RESIDENTIAL GARAGE (2 PER EACH UNIT).
5. THE DESIGN OF THE PROJECT WILL COMPLY WITH CITY'S STEP CODE REQUIREMENTS.

- VARIANCE REQUIRED:**
1. TO ALLOW 6 SMALL CAR PARKING STALLS
 2. TO ALLOW 4.52 M FRONT YARD SETBACK PRE RECOMMENDATION IN OCP DESIGN GUIDELINE

- ROAD DEDICATION
- PROPERTY LINE
- SETBACK LINE PER RTLA
- SRW BOUNDARIES
- TPZ, SEE LANDSCAPE TREE MANAGEMENT PLAN

ELECTRICAL LEGEND

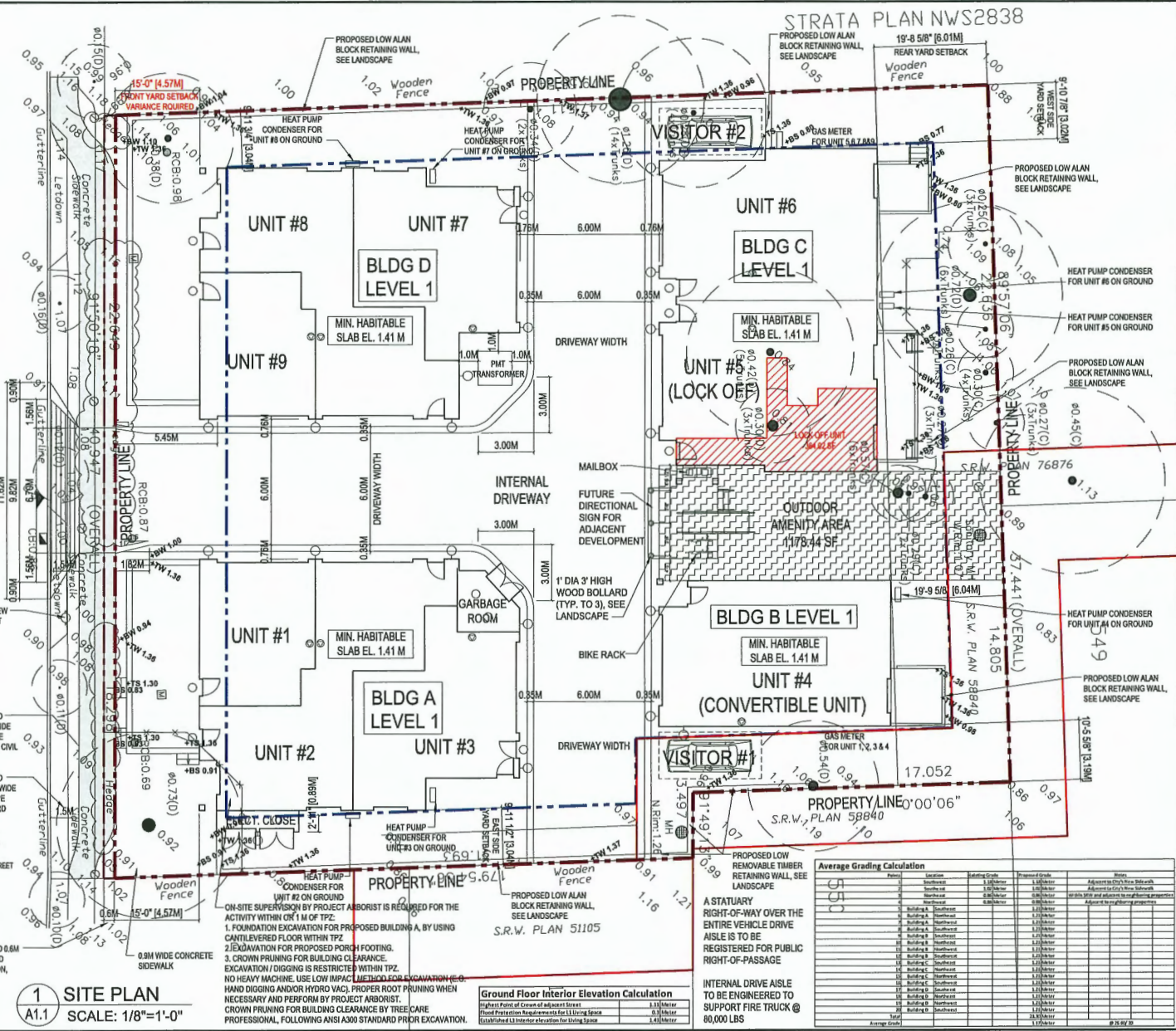
- WALL MOUNTED COMPACT LED LIGHT, OPT. LENS, SUITABLE FOR EXTERIOR USE.
- SURFACE MOUNTED CEILING LED FIXTURE, 3000K TEMP, SUITABLE FOR EXTERIOR USE, SIMILAR TO SUPPLY LIGHTING SUB-SURFACE.
- DUPLEX LEVEL 2 EV CHARGER CHARGING METHOD IS DEFINED AS VOLTAGE OF 200V TO 240V AC AND CURRENT OF 60A TO 80A.

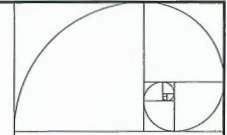
REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPE LIGHTS IN OUTDOOR AMENITY AREA



PLAN #1

1 SITE PLAN
A1.1 SCALE: 1/8"=1'-0"





**IMPERIAL
ARCHITECTURE**

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TELEPHONE: 710-69-4001

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Dimensional	
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The Contractor shall verify all dimensions, and immediately report any errors and/or omissions to Interior Architecture. (X) NOT SCALE DRAWINGS.

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Client/Project	
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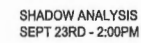
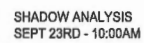
TOWNHOUSE DEVELOPMENT
9371 / 9391 FRANCIS ROAD
RICHMOND, BC
(RZ 22-005593, DP 23-029303)

Tue

SHADOW ANALYSIS

Project No.	Scale
#8272	N.T.S.

Drawing No.	Sheet	Revision
A 0.6	of	



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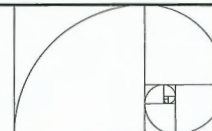
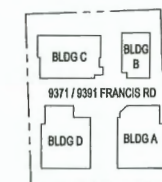
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SHADOW ANALYSIS

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RENDER FOR TOP VIEW	1/2"	1/4"	22.50.00
RENDER FOR SIDE VIEW	1/2"	1/4"	22.50.00
RENDER FOR FRONT VIEW	1/2"	1/4"	22.50.00
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RENDER FOR PLAN VIEW	1/2"	1/4"	22.50.00
RENDER FOR ELEVATION VIEW	1/2"	1/4"	22.50.00
RENDER FOR SECTION VIEW	1/2"	1/4"	22.50.00
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RENDER FOR ANNOTATION VIEW	1/2"	1/4"	22.50.00
RENDER FOR FINISH VIEW	1/2"	1/4"	22.50.00
RENDER FOR MATERIAL VIEW	1/2"	1/4"	22.50.00
RENDER FOR COLOR VIEW	1/2"	1/4"	22.50.00
RENDER FOR LIGHTING VIEW	1/2"	1/4"	22.50.00
RENDER FOR FURNITURE VIEW	1/2"	1/4"	22.50.00
RENDER FOR LANDSCAPE VIEW	1/2"	1/4"	22.50.00
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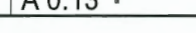
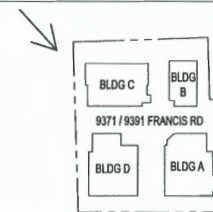
Sheet 1 of 1

Client/Project
TOWNHOUSE DEVELOPMENT
9371 / 9391 FRANCIS ROAD
RICHMOND, BC
(RZ 22-005593, DP 23-029303)

Title
COLOR RENDERING

Project No. 88272 Scale N.T.S.

Drawing No. A.0.11





info@jrsengineering.com
604.320.1999
jrsengineering.com

October 29, 2024

Project Number: VR23318

Development Permit Document
Drawing Requirements
Development Applications Department
City of Richmond
6911 No. 3 Road, Richmond, BC V6Y 2C1

Re: 9371 Francis Road Townhouse Development – Development Permit Application

- Sustainability Strategy

As a part of the Development Permit Application for the 9371 Francis Road Townhouse Development Project, JRS Engineering (JRS) hereby commits to assisting the project team in implementing sustainability strategies. The proposed project is located at 9371 / 9391 Francis Road, Richmond, BC, and the project will be developed as a 10-unit townhouse development with 4 (four) 2-3 storey buildings (including one lock-off unit).

The following sustainability strategies have been analyzed and included in the building designs in order to reduce energy consumption and greenhouse gas emissions, and thus achieve the BC Energy Step Code compliance:

- Step 3 + EL-4. Effective October 31, 2023, Energy Step Code requirements for Part 9 Residential Buildings in Richmond include Step 5^(a) + EL-2, Step 4^(b) + EL-3, or Step 3^(b) + EL-4. The project will target Step 3^(b) + EL-4.
 - (a) Building envelope performance requirements can be achieved using all compliance pathways defined in BCBC.
 - (b) Building envelope performance requirements must be achieved using adjusted TEDI compliance pathways.
 - EL-2: Annual limit of ≤ 1050 kg CO_{2e} per housing unit, or ≤ 6 kg CO_{2e}/m² of conditioned floor area and ≤ 2400 kg CO_{2e} per housing unit
 - EL-3: Annual limit of ≤ 440 kg CO_{2e} per housing unit, or ≤ 2.5 kg CO_{2e}/m² of conditioned floor area and ≤ 800 kg CO_{2e} per housing unit
 - EL-4: Annual limit of ≤ 265 kg CO_{2e} per housing unit, or ≤ 1.5 kg CO_{2e}/m² of conditioned floor area and ≤ 500 kg CO_{2e} per housing unit
- **Note:** Natural gas fueled systems are not allowed to be backup heating system after Oct 31, 2023.
- The proposed building skin is listed in Appendix A.
- Air source heat pump to reduce heating and cooling energy.
- ERV to reduce heating/cooling energy for conditioning ventilation air.
- Energy Star appliances to reduce energy consumption.
- Electric hot water tank to further reduce the greenhouse gas emissions.



October 29, 2024

The project team will coordinate to incorporate the measures required to meet all requirements of the Richmond's BC Energy Step Code for Part 9 Townhomes.

Please contact the undersigned if you should require any additional information.

Sincerely,

JRS ENGINEERING
EGBC Permit to Practice #1002484

Per:

Jack Cui, M.Sc., P.Eng., LEED AP
Principal, Energy and Sustainability
Division Manager

Encl: Appendix A – Proposed Building Skin

List of additional sustainability features that is not a part of the step code requirements proposed in this development:

EV charger,
Low-E double glazing windows,
Energy star certified appliances

APPENDIX A

PROPOSED BUILDING SKIN

PROPOSED BUILDING SKIN

The following building skin performance has been proposed to achieve Step 3 + EL-4:

- R-16.9 Wall
- R-35.3 Roof
- R-26.0 Floor
- Window Performance: $U=0.25$, $SHGC=0.35$
- Window to wall ratios:
 - Building A: 10%
 - Building B: 10%
 - Building C: 13%
 - Building D: 10%
- Airtight air barrier system

9371/9391 FRANCIS ROAD TOWNHOUSE DEVELOPMENT
LANDSCAPE SET: ISSUED FOR DP
MARCH 3, 2025

LANDSCAPE DRAWING INDEX

DRAWING INDEX	
SHEET No.	SHEET NAME
L 0.0	LANDSCAPE COVER SHEET AND DESIGN RATIONALE
L 0.1	EXISTING TREE MANAGEMENT PLAN
L 0.2	LANDSCAPE REPLACEMENT TREE PLAN
L 1.0	LANDSCAPE LAYOUT AND MATERIALS PLAN
L 1.1	LANDSCAPE GRADING PLAN
L 1.2a	LANDSCAPE PLANTING PLAN - SOUTHWEST AREA
L 1.2b	LANDSCAPE PLANTING PLAN - NORTHWEST AREA
L 1.2c	LANDSCAPE PLANTING PLAN - SOUTHEAST AREA
L 1.2d	LANDSCAPE PLANTING PLAN - NORTHEAST AREA
L 1.3	LANDSCAPE PLANT LIST
L 1.4	LANDSCAPE SOIL VOLUME DIAGRAM
L 2.0	OUTDOOR AMENITY AREA ENLARGEMENT PLAN
L 2.1	POROUS SURFACE DIAGRAM
L 2.2	LANDSCAPE SECTIONS
L 2.3	DESIGN-BUILD IRRIGATION PLAN
L 2.4	CONCEPTUAL LANDSCAPE LIGHTING PLAN
L 2.5	RIGHT OF WAY AREA ENLARGEMENT PLAN
L 2.6	TREE PROTECTION AREA PROFILE
L 3.0	HARDSCAPE DETAILS
L 3.1	FURNISHING DETAILS
L 3.2	FURNISHING DETAILS
L 3.3	SOFTSCAPE DETAILS

GENERAL NOTES

ALL LANDSCAPE ARCHITECTURAL DRAWINGS IN THIS PACKAGE SHALL BE READ IN CONJUNCTION WITH ALL OTHER LANDSCAPE ARCHITECTURAL DRAWINGS, DETAILS, SPECIFICATIONS, AND OTHER CORRESPONDANCE THAT MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.

IF A DISCREPANCY OCCURS BETWEEN THE DRAWINGS AND THE SPECIFICATIONS OR ANY OTHER DOCUMENT ASSOCIATED WITH THE PROJECT, THE CONFLICT SHALL BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT TO OBTAIN CLARIFICATION AND APPROVAL BEFORE PROCEEDING WITH WORKS.

THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY THE TRUE EXISTING CONDITIONS. ANY UNCLEAR ISSUES SHALL BE CLARIFIED WITH THE LANDSCAPE ARCHITECT. NO CLAIM SHALL BE ALLOWED FOR EXTRAS WHICH MAY ARISE THROUGH NEGLIGENCE OF THIS ADVISE.

ALL EXISTING INFORMATION IS BASED ON AVAILABLE RECORDS AND SHALL NOT BE CONSTRUED TO BE COMPLETE OR ACCURATE.

LAYOUT OF HARDSCAPE, SITE FURNITURE, SOIL, PLANTING, AND ALL OTHER MATERIALS IS TO BE STAKED OUT AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

ALL PLANTING SHALL BE IN ACCORDANCE WITH CSLA LANDSCAPE STANDARD, LATEST EDITION.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

HOMING LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES OR CONCEALED STRUCTURES AT THE PROJECT SITE.

FINAL SELECTION AND APPROVAL OF ALL STREET TREES TO BE DONE BY THE CITY OF RICHMOND.

LANDSCAPE DESIGN RATIONALE

The site is facing Francis Road on the south side, so the landscape design intends to balance the public interest with the privacy along the south side. The front yards facing Francis Road are one or two steps higher than the sidewalk, and the grade difference helps to separate the public sidewalk with the private yards. Four feet high fence is proposed in the front yards of most street-facing units to ensure privacy and safety, and landscape buffer comprised of trees and shrubs there not only improves the privacy for the residents, but also creates a green and beautiful street frontage landscape for the public.

The site is surrounded by residential buildings on the north, west and east sides, so protecting the privacy for both the residents and the neighbours is the design goal. The existing trees in healthy conditions along the north property line will be retained to create a dense landscape buffer which addresses any potential privacy and overlook concerns. New evergreen and deciduous trees, yew hedge and solid 6' high privacy fences are also proposed along the property lines to improve privacy and prevent overlook.

The landscape design provides outdoor patios in individual yards for flexible outdoor activities. Each unit has a large outdoor patio surrounded by lawn, shrubs, and a mixed of deciduous and evergreen trees, which brings nature close to each resident. The heat pump condensers in private yards are also screened by 4 feet high wood screen with gate to minimize their visual impact on the natural yard landscape.

An outdoor amenity space is located at the T-intersection of the internal driveways, which is easily accessible for all residents and highly visible from the main driveway entry. Three removable bollards are designed at the entry of the outdoor amenity area to stop vehicles and ensure pedestrian's safety. There is also an outdoor gathering and social space that has mailboxes, bike racks and picnic table and benches. A playground including chalkboard, sandbox, small play structure, playhouse, game lawn and benches for parents to sit, is proposed in the north part of outdoor amenity space that is a relatively sunny spot. The slide and game lawn will promote active play activities. Sandbox, playhouse, and chalkboard creates a dramatic play zone where children use their creativity and imagination to play and learn. Large man-made play structures are not considered in the nature-inspired playground for two reasons: first the play area is not wide enough in the west-east direction to accommodate a play structure with large fall protection zone; second the playground in the Heather Dolphin Neighbourhood Park north of the site already offers large play structure and swings, and the Park is only 5-minute walk from the site without crossing any streets. Therefore, the playground design on our site intends to create a flexible play area to encourage children to design their own play.



HOMING
LANDSCAPE
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LANDSCAPE ARCHITECT TO OBTAIN
CLARIFICATION AND APPROVAL BEFORE
PROCEEDING WITH WORKS.

Revisions		
NO.	Date	Note
B	2023-03-15	ISSUED FOR REZONING & DP
C	2023-06-29	ISSUED FOR REZONING & DP
D	2023-09-12	ISSUED FOR REZONING & DP
E	2023-09-18	ISSUED FOR DP
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I	2024-11-04	ISSUED FOR ADP
J	2025-01-06	ISSUED FOR ADP COMMENTS
K	2025-03-03	ISSUED FOR DP

9371/9391 FRANCIS
ROAD TOWNHOUSE
DEVELOPMENT

PROJECT ADDRESS:
9371/9391 FRANCIS ROAD
RICHMOND, BC, CANADA

PROJECT NUMBER: 22-34

SCALE: N/A

DRAWN BY: EL

REVIEWED BY: EL

Landscape Cover
Page & Design
Rationale

L0.0

TREE MANAGEMENT LEGEND



EXISTING TREE TO BE RETAINED, REFER TO ARBORIST REPORT AND TREE MANAGEMENT PLAN PREPARED BY ARBORIST

EXISTING TREE AND TREE STUMP TO BE REMOVED, REFER TO ARBORIST REPORT AND TREE MANAGEMENT PLAN PREPARED BY ARBORIST, TO BE CONFIRMED PER ARBORIST ON-SITE WITH CITY OF RICHMOND ARBORIST PRIOR TO REMOVAL



TREE PROTECTION FENCING TO BE INSTALLED PER CITY OF RICHMOND STANDARDS AND TREE MANAGEMENT PLAN PREPARED BY ARBORIST



EXTEND TREE PROTECTION BARRIER AFTER EXISTING GARAGE DEMOLITION

TREE MANAGEMENT NOTES

- DO NOT REMOVE OR RELOCATE ANY TREE, EXCEPT AS INDICATED ON PLANS.
- DO NOT ALTER EXISTING GRADE OR STORE MATERIALS UNDER THE DRIP LINE OR WITHIN TREE PROTECTION ZONE. EXCAVATION WITHIN DRIP LINES OF TREES ONLY WHERE INDICATED ON PLANS.
- INFORM ARBORIST WHEN ALL TREE BARRIERS HAVE BEEN INSTALLED. ARBORIST TO PROVIDE WRITTEN INSPECTION AND APPROVAL OF ALL BARRIERS AND SUBMIT INSPECTION REPORT TO CITY OF RICHMOND STAFF FOR REVIEW AND APPROVAL PRIOR TO DEMOLITION / MOBILIZATION CONSTRUCTION ACTIVITY.
- CONTRACTOR TO CONTACT CITY ARBORIST, PROJECT ARBORIST AND LANDSCAPE ARCHITECT 48 HOURS PRIOR TO ANY CONSTRUCTION WORK AFFECTING THE DRIP LINE OF TREES.
- CONSTRUCTION WORK WITHIN THE DRIP LINES OF TREES SHALL MINIMIZE DISTURBANCE TO TREES AND ROOTS.
- ALL ROOTS GREATER THAN 2cm IN DIAMETER SHOULD BE HAND PRUNED.
- ADEQUATELY CARE FOR TREES THROUGHOUT CONSTRUCTION.



Fig. 2 - Tree Protection Zone Sign

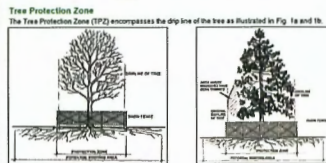


Fig. 3a - Example of a drip line on a tree

Fig. 3b - Example of a drip line on a tree with one side pruned

On-site supervision by Project Arborist is required for the activity within or 1m of TPZ:

- (1) Removal of existing hedge.
- (2) Installation of proposed concrete sidewalk.
- (3) Final landscaping activities (e.g. lawn, planting, fence) within TPZ.

Do not remove hedge with excavator within TPZ. Remove manually and cut at grade.

Do not grind the roots after hedge removal within TPZ. Project Arborist on-site supervision is required if stump removal is needed.

The proposed sidewalk to be installed at or near existing grade. The proposed lawn that encroaches into the TPZ must be installed at or near existing grade. No more than 3" of additional good quality landscape soil (not construction fill) can be added into the TPZ.

Ensuring that new planting in the Critical Root Zone is no greater than #1 container.

On-site supervision by Project Arborist is required for the activity within or 1m of TPZ:

- (1) Foundation excavation for proposed Building A, by using cantilevered floor within TPZ
- (2) Excavation for proposed porch footing and proposed retaining wall of Building A (along the South property line)
- (3) Crown pruning for building clearance.

Excavation / digging is restricted within TPZ. No heavy machine. Use low impact method for excavation (e.g. hand digging and/or Hydro Vac).

Proper root pruning when necessary and perform by Project Arborist.

Crown pruning for building clearance by tree care professional, following ANSI A300 standard prior excavation.

Pruning is recommended to be carried out in Winter or Spring to allow tree recovery.

It is the builder/homeowner responsibility to ensure that the development does not adversely affect any neighboring plantings.

Demolish the existing garage with caution and NO ground excavation. Extend tree protection barrier after existing garage demolished.

On-site supervision by Project Arborist is required for the activity within or 1m of TPZ:

- (1) Tree removal of #18, #19 and #21 (if approved)
- (2) Foundation excavation of proposed building
- (3) Final landscaping activities (e.g. lawn, fence, planting, stepping stones) within TPZ

If tree #18, #19 and #21 removal is approved, cut at grade only. Do not remove and rip out by excavator, removal manually.

No heavy machine within TPZ. Handle manually or by other low impact construction method.

Proper root pruning when necessary and perform by Project Arborist.

The proposed stepping stones must be installed at or near existing grade.

The proposed lawn that encroaches into the TPZ must be installed at or near existing grade. No more than 3" of additional good quality landscape soil (not construction fill) can be added into the TPZ.

Ensuring that new planting in the Critical Root Zone is no greater than #1 container.

HOMING LANDSCAPE ARCHITECTURE

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Revisions

NO.	Date	Note
B	2023-03-15	ISSUED FOR REZONING & DP
C	2023-08-29	ISSUED FOR REZONING & DP
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K	2025-03-03	ISSUED FOR DP

9371/9391 FRANCIS ROAD TOWNHOUSE DEVELOPMENT

PROJECT ADDRESS:
9371/9391 FRANCIS ROAD
RICHMOND, BC, CANADA

PROJECT NUMBER: 22-34

SCALE: 1:100

DRAWN BY: EL






REVIEWED BY: EL

Existing Tree Management Plan

L0.1

REPLACEMENT TREES SUMMARY

REPLACEMENT TREES LEGEND

	LATIN NAME	COMMON NAME	QUANTITY	SIZE
	Acer griseum	Paperbark Maple	4	8cm CAL.
	Fagus sylvatica 'Dawyck Gold'	Dawyck Gold Beech	5	8cm CAL.
	Pinus contorta var. contorta	Shore pine	7	4 meters High
	Styrex japonicus	Japanese snowbell	11	8cm CAL.
	Acer palmatum	Japanese maple	2	8cm CAL.

TOTAL 29 REPLACEMENT TREES ARE DESIGNED AND PROVIDED ON SITE.

ALL REPLACEMENT TREES TO BE LOCATED A MINIMUM 1.5M(5FT.) FROM A PROPERTY LINE.



**HOMING
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**9371/9391 FRANCIS
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PROJECT ADDRESS:
9371/9391 FRANCIS ROAD
RICHMOND, BC, CANADA

PROJECT NUMBER: 22-34

SCALE: 1:100

DRAWN BY: EL

REVIEWED BY: EL

**Landscape
Replacement Tree
Plan**

L0.2

SYMBOL	MATERIALS	DETAILS
--------	-----------	---------

	PEDESTRIAN CONCRETE UNIT PAVERS	2/L3.0
	CONCRETE SLAB PAVING	6/L3.0
	CIP CONCRETE PAVING	1/L3.0
	80MM AQUA PAVES STANDARD PERMEABLE PAVERS FOR DRIVEWAY & PARKING	3/L3.0
	80MM AQUA PAVES STANDARD PERMEABLE PAVERS FOR PEDESTRIAN PATH	3/L3.0
	POURED IN PLACE RUBBER SURFACE	
	LAWN	4/L3.3
	PLANTING BED	2/L3.3
	GRAVEL	4/L3.0
	BIKE RACK	1/L3.1
	WOOD TRELLIS	6/L3.2
	PICNIC TABLE AND BENCHES	6/L3.2
	BENCH	4/L3.1
	SENSORY MULTI PLAY PANEL	1/L3.2
	PRIVACY FENCE	3/L3.1
	4' HIGH METAL FENCE	2/L3.1
	STEPPING STONE PATH	
	EXISTING TREES TO BE RETAINED	

2. DO NOT SCALE DRAWINGS.
3. LAYOUT DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANT DRAWINGS.
4. ALL EXISTING INFORMATION APPROXIMATE ONLY. VERIFY ALL EXISTING GRADES AND DIMENSIONS WITH SITE CONDITIONS. REPORT DISCREPANCIES TO CONSULTANT TEAM PRIOR TO PROCEEDING.
5. THE CONTRACTOR IS TO PROTECT ALL EXISTING UTILITIES, HARD SURFACES, STRUCTURES, WALLS, AND TREES FOR DURATION OF CONSTRUCTION.
6. THE LOCATION OF ALL PROPOSED HARDSCAPE AND SITE FURNISHINGS ARE TO BE FLAGGED OUT ON-SITE BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
7. ALL OFF-SITE WORKS TO CONFORM TO CITY OF RICHMOND STANDARDS.
8. LAYOUT OF ALL OFF-SITE WORKS, INCLUDING FURNISHINGS, PATHWAYS, ETC., TO BE CONFIRMED WITH CITY OF RICHMOND PRIOR TO INSTALLATION.



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**9371/9391 FRANCIS
ROAD TOWNHOUSE
DEVELOPMENT**

PROJECT ADDRESS:
9371/9391 FRANCIS ROAD
RICHMOND, BC, CANADA

PROJECT NUMBER: 22-34

SCALE: 1:100

DRAWN BY: EL

REVIEWED BY: E

Landscape Layout and Materials Plan

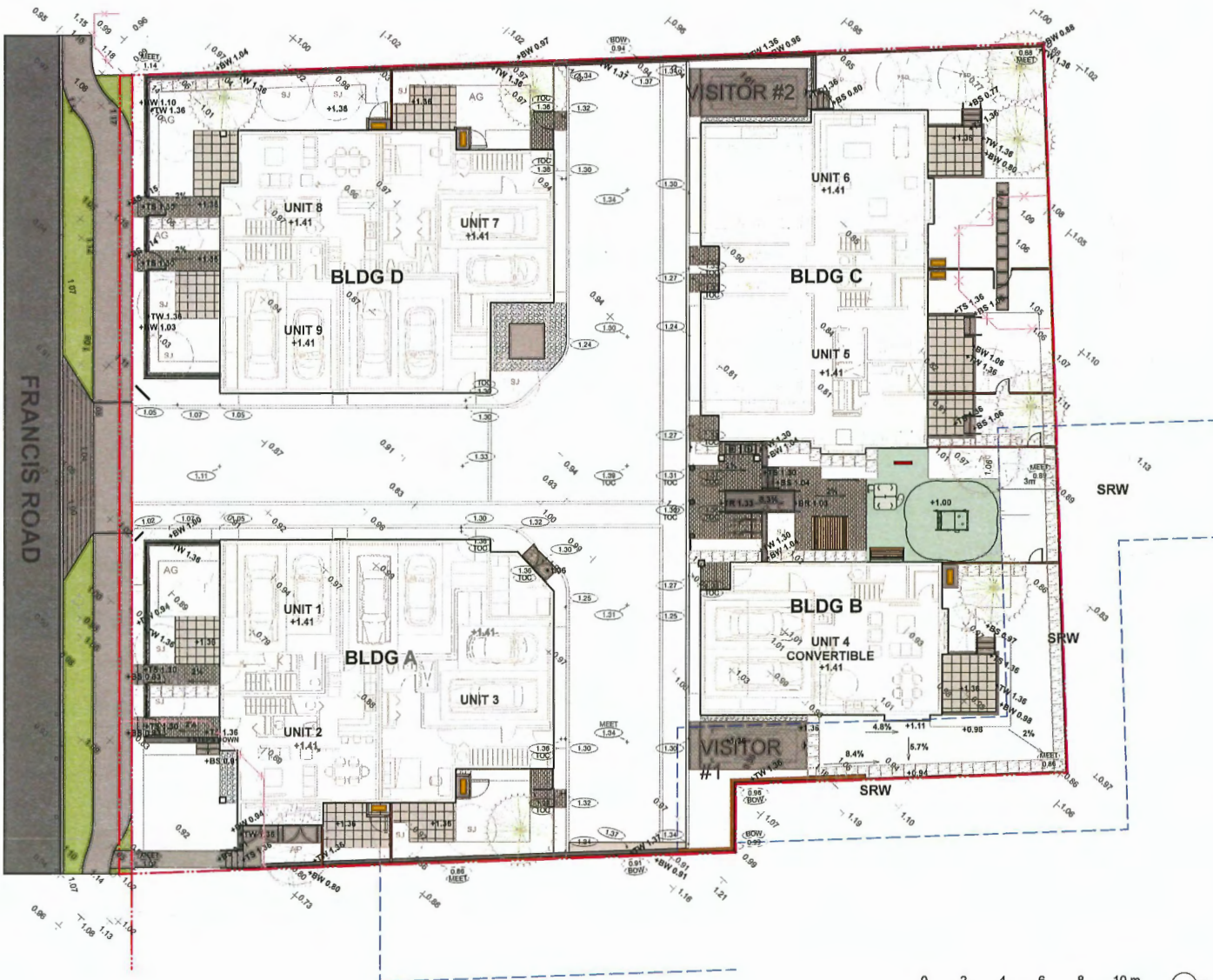
L1.0

GRADING LEGEND

KEY	DESCRIPTION
+1.41	PROPOSED SPOT ELEVATIONS
+TW 1.36	PROPOSED TOP OF WALL ELEVATION
+BW 1.04	PROPOSED BOTTOM OF WALL ELEVATION
+TS 1.38	PROPOSED TOP OF STAIR ELEVATION
+BS 0.91	PROPOSED BOTTOM OF STAIR ELEVATION
2%	SLOPE PERCENTAGE
-0.87	EXISTING ELEVATIONS, PER SURVEY
1.24 1.00	CIVIL ELEVATIONS, PER CIVIL

GRADING NOTES

1. ALL DIMENSIONS/ELEVATIONS ARE METRIC (METER, UNLESS OTHERWISE NOTED). DO NOT SCALE DRAWINGS.
2. ALL GRADING INFORMATION IS PRELIMINARY ONLY.
3. REFER TO CIVIL DRAWINGS FOR INTERNAL DRIVE AISLE AND OFF-SITE ROAD GRADING INFORMATION.
4. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING ELEVATIONS.
5. ALL EXISTING SURVEY INFORMATION APPROXIMATE. VERIFY ALL EXISTING GRADES WITH SITE CONDITIONS. REPORT DISCREPANCIES TO CONSULTANT TEAM PRIOR TO PROCEEDING.
6. THE CONTRACTOR SHALL IDENTIFY AND PROTECT ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. ANY CONFLICTS FOUND WITH UTILITIES SHALL BE CLARIFIED WITH THE CONSULTANT TEAM PRIOR TO PROCEEDING.
7. UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM 2% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND TO DRAINAGE STRUCTURES. SOFT LANDSCAPE AREAS TO BE A MAXIMUM 3:1 SLOPE.



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**9371/9391 FRANCIS
ROAD TOWNHOUSE
DEVELOPMENT**

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9371/9391 FRANCIS ROAD
RICHMOND, BC, CANADA

PROJECT NUMBER: 22-34

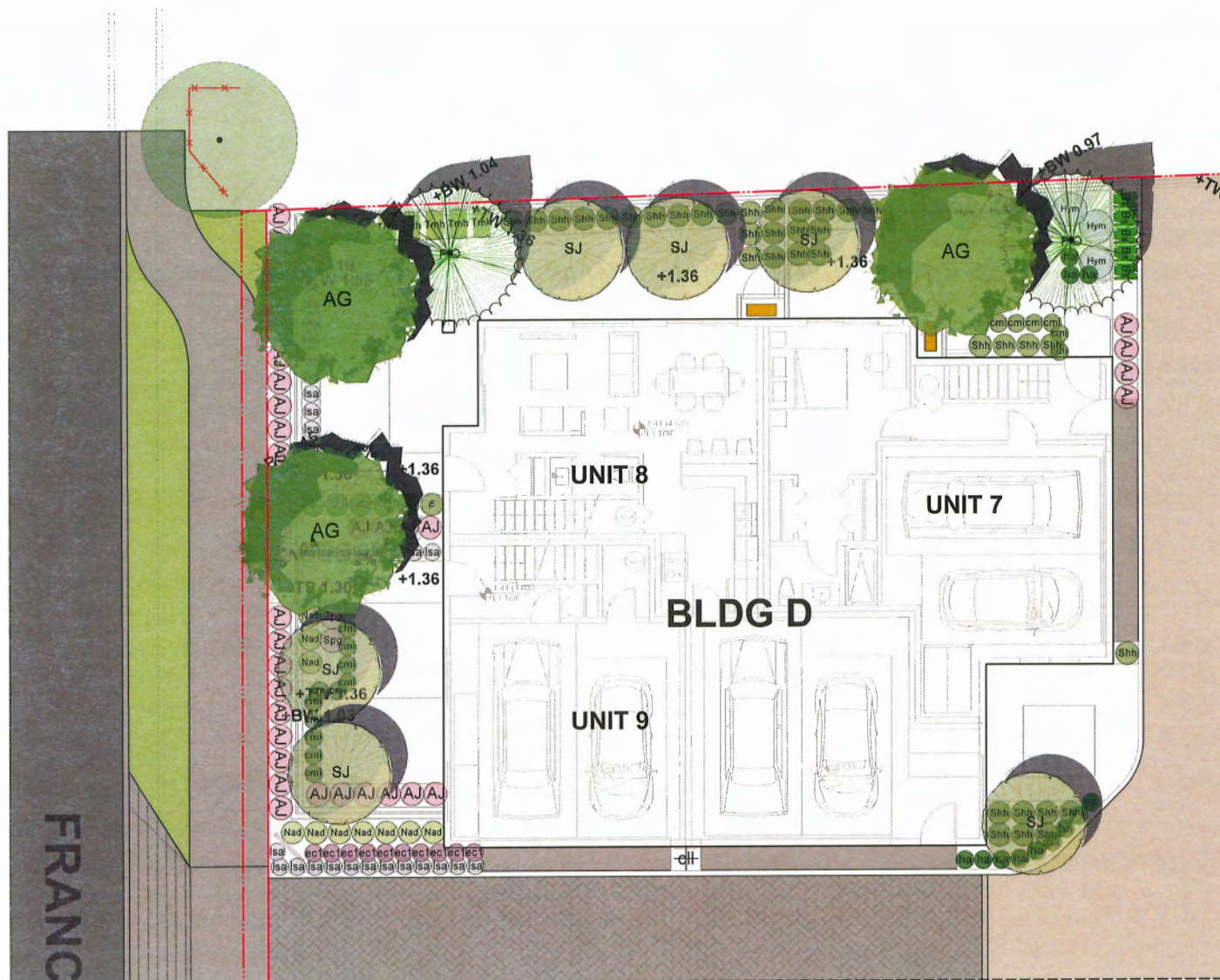
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REVIEWED BY: EL

**Landscape
Grading Plan**

L1.1



SEE PLAN L1.2c

0 2 4 6 8 10 m



SEE PLAN L1.2b



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9371/9391 FRANCIS ROAD TOWNHOUSE DEVELOPMENT

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PROJECT NUMBER: 22-34

SCALE: 1:50

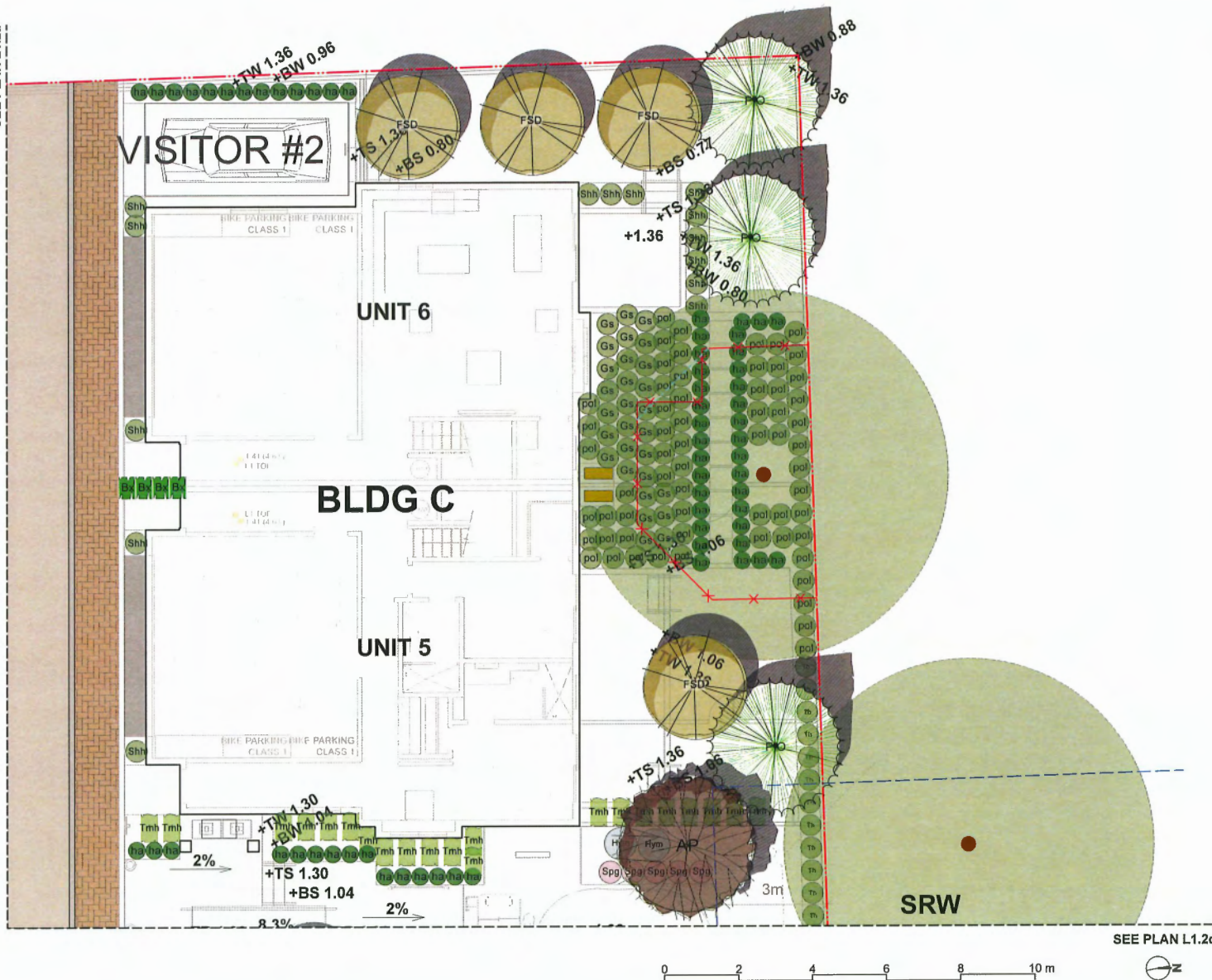
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Landscape
Planting Plan -
Southwest Area

L1.2a

SEE PLAN L1.2a



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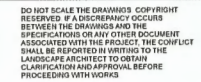
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**Landscape
Planting Plan -
Northwest Area**

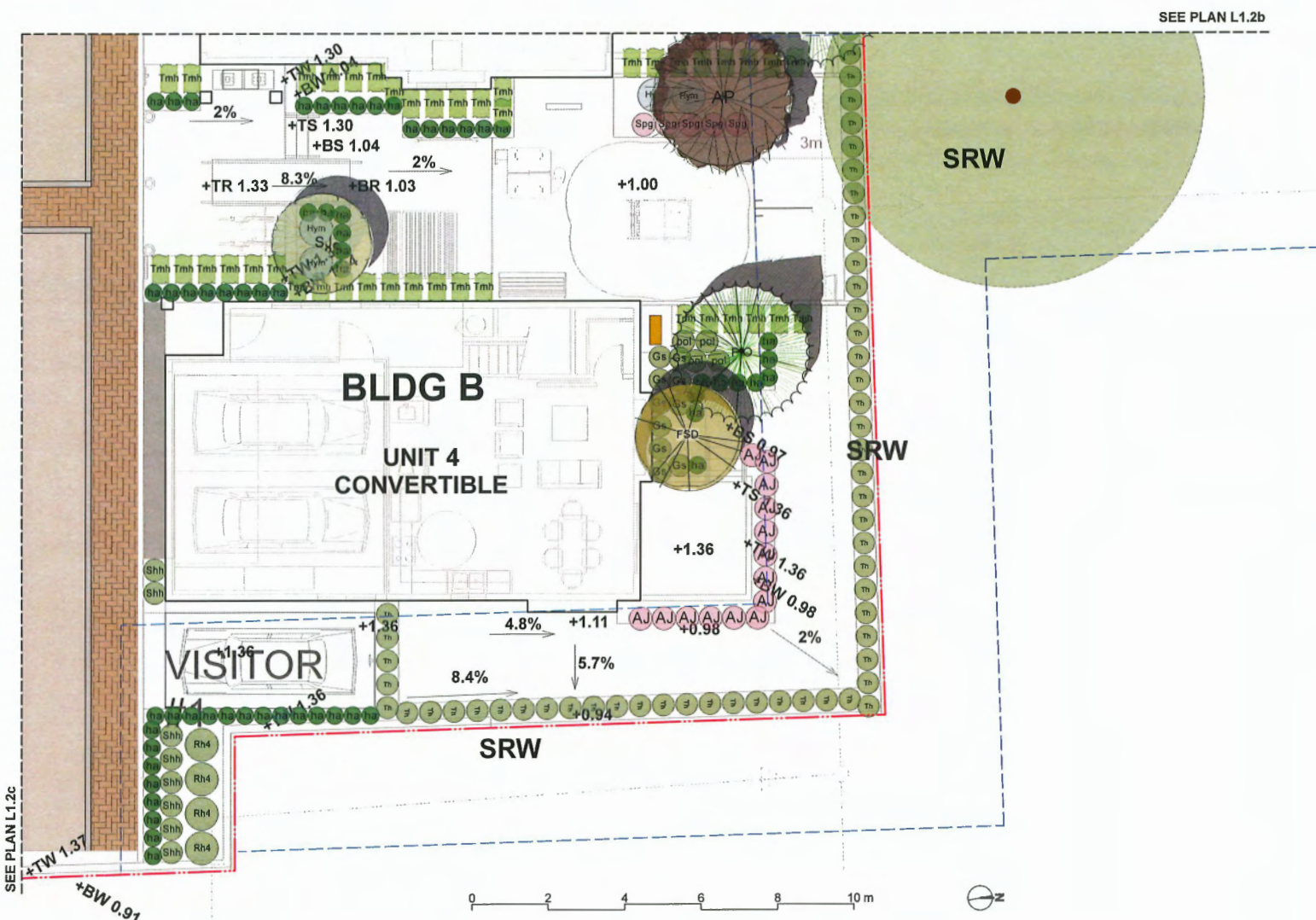
L1.2b

The site plan for BLDG A shows three units (UNIT 1, UNIT 2, UNIT 3) and a GARAGE ROOM. Landscaping includes trees (AG, SJ, AP), shrubs (Shh), and groundcover (Nad, Spg, emi). Elevation markers include +1.36, +BS 0.83, +TS 1.30, +TS 1.36, +BS 0.91, +BW 0.80, +BW 0.94, and +TW 1.36. A scale bar at the bottom indicates 0 to 10 meters.

A horizontal beam of length 10 m is shown. The left end is labeled 0, and the right end is labeled 10 m. Intermediate points are marked at 2, 4, 6, and 8. A coordinate system z is indicated by a circle with an arrow pointing to the right, starting from the left end.



L1.2c




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**Landscape
Planting Plan -
Northeast Area**

L1.2d



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9371/9391 FRANCIS ROAD TOWNHOUSE DEVELOPMENT

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SCALE: 1:100

DRAWN BY: EL

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Landscape Plant List

L1.3

ONSITE PLANT LIST					
ID	Latin Name	Common Name	Quantity	Scheduled Size	Notes
TREES (DECIDUOUS & CONIFEROUS)					
AG	Acer griseum	Paperbark Maple	4	8cm cal.	
AP	Acer palmatum	Japanese Maple	2	8cm cal.	
FSD	Fagus sylvatica 'Dawyck Gold'	Dawyck Gold Beech	5	8cm cal.	
PIO	Pinus contorta var. contorta	Shore Pine	7	4m high.	
SJ	Styrax japonicus	Japanese Snowbell Tree	11	8cm cal.	
SHRUBS					
Bx	Buxus microphylla	Littleleaf Boxwood	14	#2 pot	
ec1	Erica carnea	Spring Heath	21	#1 pot	
Gs	Gaultheria shallon	Salal	39	#2 pot	
Hym	Hydrangea macrophylla	Bigleaf Hydrangea	11	#3 pot	
Nad	Nandina domestica	Heavenly Bamboo	26	#2 pot	
AJ	Perfecto Mundo® Double Pink	Reblooming Azalea	69	#2 pot	
Rh4	Rhododendron 'PJM'	PJM Rhododendron	7	#3 pot	
Shh	Sarcococca hookeriana var. humilis	Sweet Box	97	#2 pot	
Spq	Spiraea x bumalda 'Goldflame'	Goldflame Spirea	9	#2 pot	
Tmh	Taxus x media 'Hicksii'	Hick's Yew	50	5' High	
Th	Thuja occidentalis 'Smaragd'	Emerald Cedar	72	5' High	
PERENNIALS & GROUNDCOVERS					
lsa	Lavandula angustifolia	English Spike Lavender	45	#1 pot	
pol	Polystichum munitum	Western sword fern	80	#1 pot	
cmi	Carex morrowii 'Ice Dance'	Ice Dance Japanese Sedge	49	#1 pot	
ha	Hakonechloa macra 'Aureola'	Golden Japanese Forest Grass	135	#1 pot	
VINES					
cll	Clematis ligusticifolia	Western White Clematis	2	#1 pot	

OFFSITE PLANT LIST					
ID	Latin Name	Common Name	Quantity	Scheduled Size	Notes
TREES (DECIDUOUS & CONIFEROUS)					
SJ	Styrax japonicus	Japanese Snowbell Tree	6	8cm cal.	

PLANTING NOTES:

1) In case of discrepancy between plant numbers on this list and on the plan, the latter shall prevail.

2) All planting shall be in accordance with CSLA Landscape Standard, latest edition.




3) The Landscape Contractor shall ensure that the on-site planting medium/soil meets the specification & recommendations of the soil analysis taken at the time of Substantial Completion. All recommendations of the soil analysis shall be executed prior to Final Acceptance of the landscape works by the Consultant and the municipal authorities.

4) Minimum planting medium depths:
lawn - 6"/150mm
groundcover - 18"/450 mm
shrubs - 18"/450 mm
trees - 24"/600 mm (around & beneath rootball)

5) All plant material to be supplied on the job site must be obtained from a nursery participating in the BCLNA Phytophthora ramorum Certification Program.

SOIL VOLUME LEGENDS

SYMBOL MATERIALS SOIL DEPTH

	LAWN	6" / 150mm
	SHRUB & GROUND COVER	18" / 450mm
	TREE	24" / 600 mm (around & beneath rootball)



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9371/9391 FRANCIS ROAD TOWNHOUSE DEVELOPMENT

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SCALE: 1:100

DRAWN BY: EL

REVIEWED BY: EL

Landscape Soil Volume Diagram

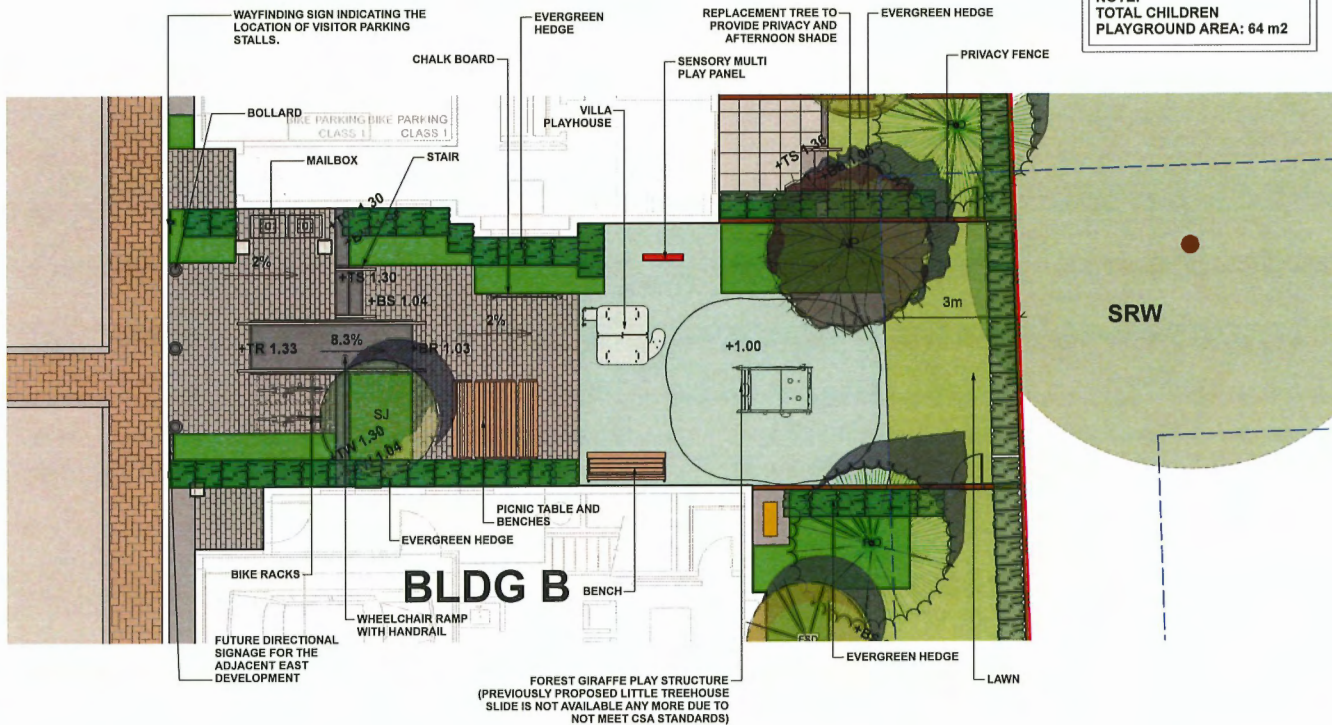
L1.4

LANDSCAPE LEGENDS

SYMBOL	MATERIALS	DETAILS
	PEDESTRIAN CONCRETE UNIT PAVERS	2/L3.0
	CONCRETE SLAB PAVING	6/L3.0
	CIP CONCRETE PAVING	1/L3.0
	80MM AQUA PAVES STANDARD PERMEABLE PAVERS FOR DRIVEWAY & PARKING	3/L3.0
	80MM AQUA PAVES STANDARD PERMEABLE PAVERS FOR PEDESTRIAN PATH	3/L3.0
	POURED IN PLACE RUBBER SURFACE	
	LAWN	4/L3.3
	PLANTING BED	2/L3.3
	GRAVEL	4/L3.0
	BIKE RACK	1/L3.1
	WOOD TRELLIS	6/L3.2
	PICNIC TABLE AND BENCHES	6/L3.2
	BENCH	4/L3.1
	SENSORY MULTI PLAY PANEL	1/L3.2
	PRIVACY FENCE	3/L3.1
	4' HIGH METAL FENCE	2/L3.1
	STEPPING STONE PATH	
	EXISTING TREES TO BE RETAINED	

LANDSCAPE NOTES

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- ALL EXISTING INFORMATION APPROXIMATE ONLY. VERIFY ALL EXISTING GRADES AND DIMENSIONS WITH SITE CONDITIONS. REPORT DISCREPANCIES TO CONSULTANT TEAM PRIOR TO PROCEEDING.
- THE CONTRACTOR IS TO PROTECT ALL EXISTING UTILITIES, HARD SURFACES, STRUCTURES, WALLS, AND TREES FOR DURATION OF CONSTRUCTION.
- THE LOCATION OF ALL PROPOSED HARDSCAPE AND SITE FURNISHINGS ARE TO BE FLAGGED OUT ON SITE BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL OFF-SITE WORKS TO CONFORM TO CITY OF RICHMOND STANDARDS.
- LAYOUT OF ALL OFF-SITE WORKS, INCLUDING FURNISHINGS, PATHWAYS, WALLS, PLANTING, ETC., TO BE CONFIRMED WITH CITY OF RICHMOND PRIOR TO INSTALLATION.

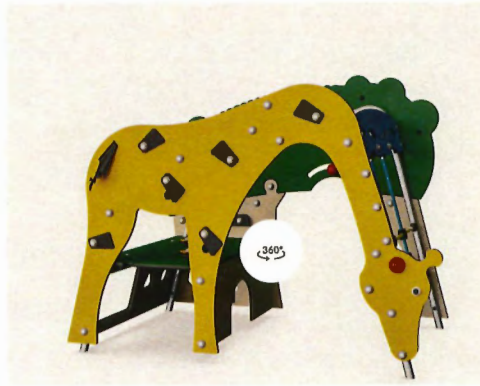


1 OUTDOOR AMENITY AREA ENLARGEMENT PLAN
1:50

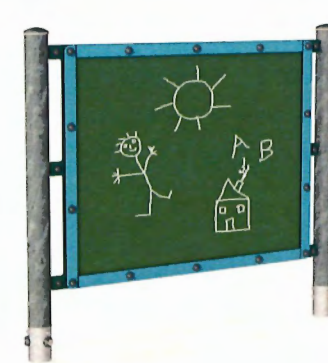
VILLA PLAYHOUSE



FOREST GIRAFFE PLAY STRUCTURE



CHALK BOARD



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REVIEWED BY: EL


Outdoor Amenity
Area Enlargement
Plan

L2.0

POROUS SURFACE LEGENDS

SYMBOL MATERIALS AREA

 POROUS LANDSCAPING WITH LIVE PLANT MATERIAL: LAWN, GROUND COVER & SHRUB 466 sq m / 5006 sq ft

 POROUS HARDSCAPE MATERIAL: PERMEABLE PAVER & GRAVEL & RUBBER 249 sq m / 2680 sq ft

TOTAL POROUS SURFACE AREA: 714 sq m / 7686 sq ft

TOTAL LOT AREA: 1887 sq m / 20311 sq ft

TOTAL POROUS SURFACE AREA COVERAGE PERCENTAGE: 37.8%

TOTAL NON-POROUS SURFACE AREA COVERAGE PERCENTAGE: 62.2%

TOTAL POROUS LANDSCAPING AREA COVERAGE PERCENTAGE: 25%

FRANCIS ROAD



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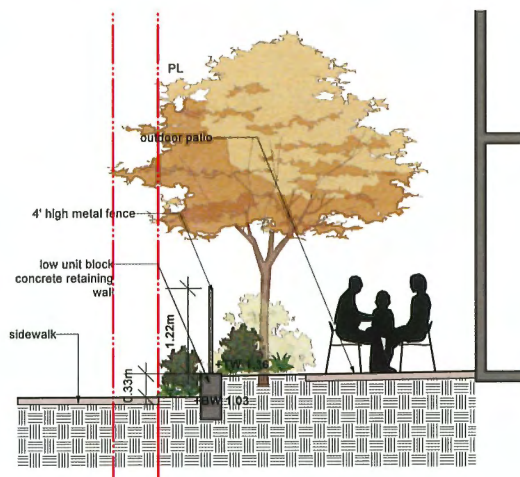
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Porous Surface Diagram

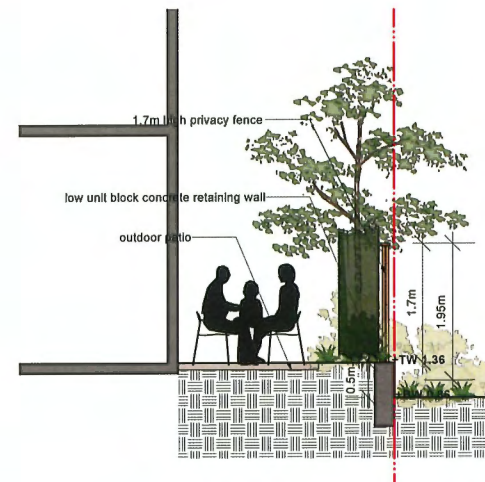
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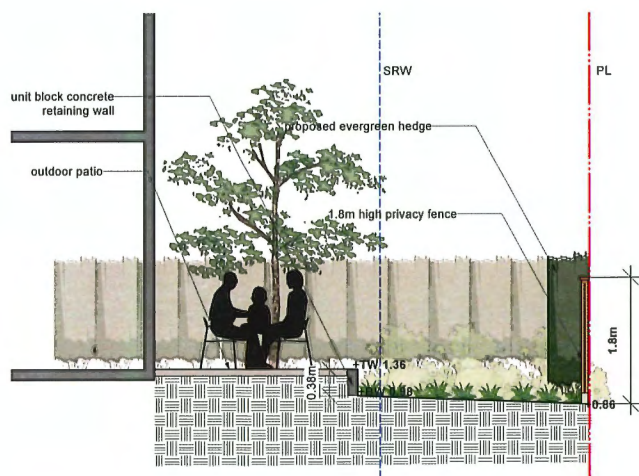
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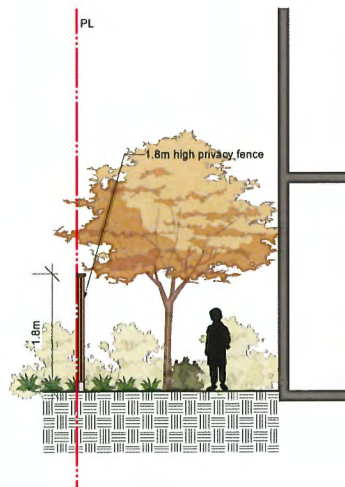
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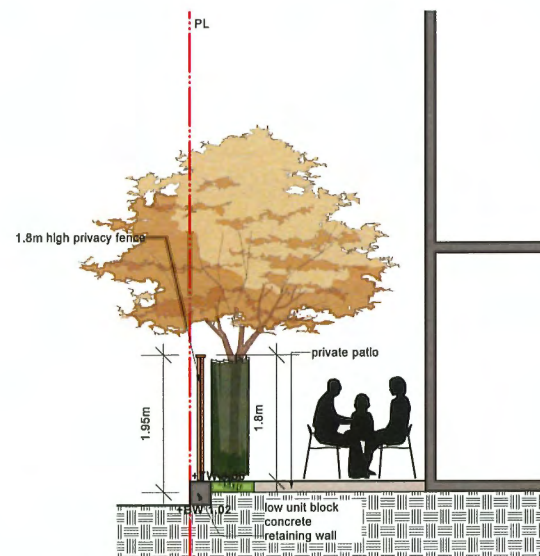
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1:32



C SECTION C
1:32



D SECTION D
1:32



E SECTION E
1:32



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9371/9391 FRANCIS ROAD TOWNHOUSE DEVELOPMENT

PROJECT ADDRESS:
9371/9391 FRANCIS ROAD
RICHMOND, BC, CANADA

PROJECT NUMBER: 22-34

SCALE: AS SHOWN

DRAWN BY: EL

REVIEWED BY: EL

Landscape Sections

L2.2

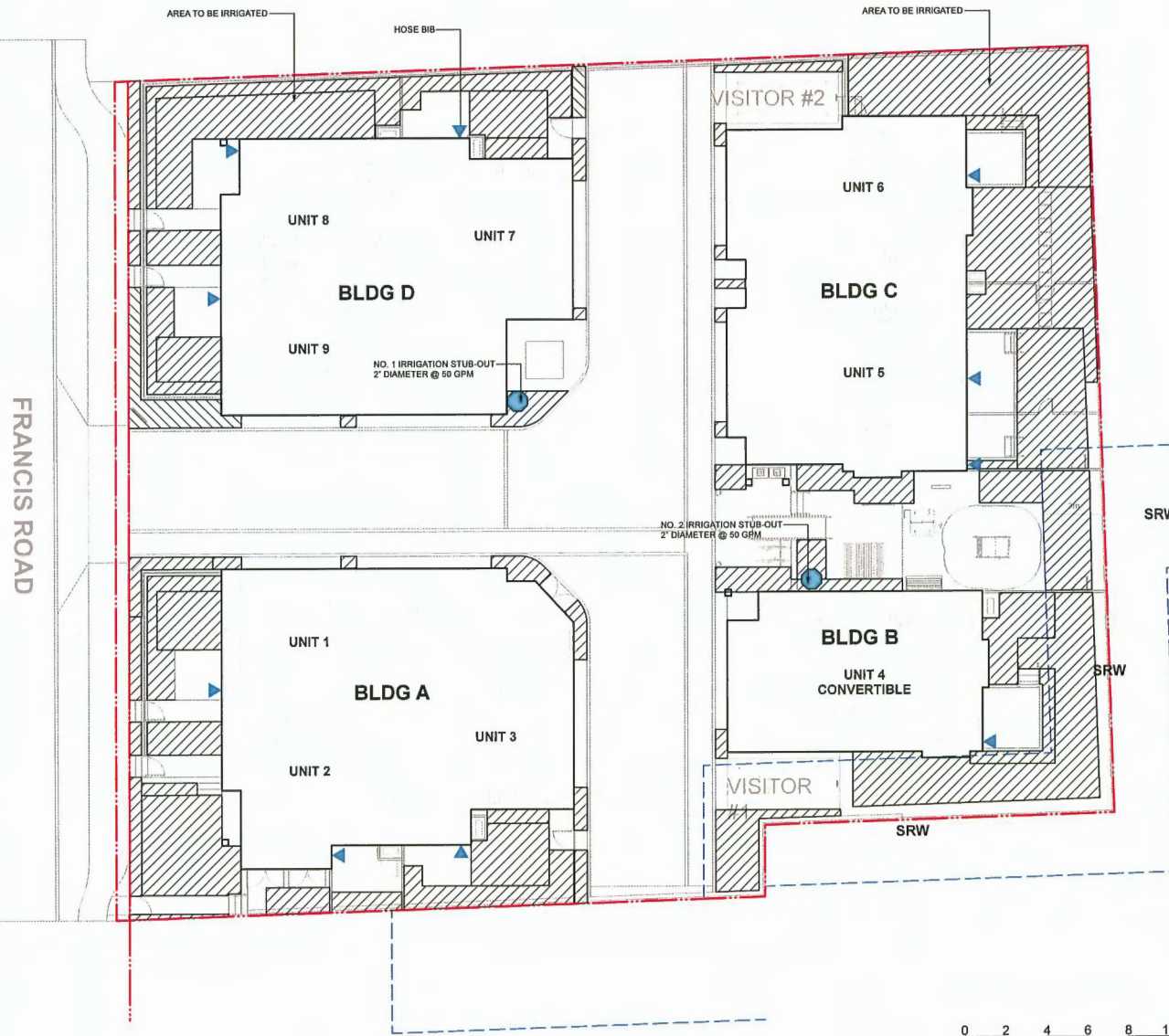
IRRIGATION DIAGRAM LEGEND

KEY DESCRIPTION

- AREA TO BE IRRIGATED
- IRRIGATION STUB OUT
- HOSE BIB

DESIGN-BUILD IRRIGATION NOTES:

- LANDSCAPE CONTRACTOR TO PROVIDE COMPLETE DESIGN-BUILD SERVICES FOR ALL AUTOMATIC SITE IRRIGATION WORKS.
- IRRIGATION CONTRACTOR PERFORMING THE WORK MUST HAVE MINIMUM (5) FIVE YEARS DOCUMENTED EXPERIENCE, AND A MEMBER IN GOOD STANDING OF THE IABC (IRRIGATION INDUSTRY ASSOCIATION OF BC).
- IRRIGATION TO CONFORM TO ALL LOCAL PLUMBING AND ELECTRICAL CODE REQUIREMENTS. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH MECHANICAL AND ELECTRICAL CONSULTANTS AND TRADES.
- IRRIGATION TO CONFORM TO ALL IABC STANDARDS WITH THE FOLLOWING EXCEPTIONS:
 - MATERIALS SECTION 8B: ALL PIPE TO BE MINIMUM CLASS 200
 - MATERIALS SECTION 5G: NO WIRE SMALLER THAN 14 GAUGE DIRECT BURIAL
- COORDINATE WITH CIVIL CONTRACTOR TO PROVIDE PVC SLEEVING WHERE REQUIRED.
- IRRIGATION STUB-OUTS AND HOSE BIBS PER MECHANICAL PLANS.
- PROVIDE SHOP DRAWINGS FOR IRRIGATION LAYOUT TO CONSULTANT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION AND INSTALLATION. INCLUDE SLEEVING, DRIP LINE, PIPE SIZE, VALVE BOXES, ETC., AND ALL IRRIGATION COMPONENT SPECIFICATIONS. VALVE BOXES TO BE LOCATED IN LOW-VISIBLE, PLANTED AREAS ONLY AND LOCATIONS TO BE APPROVED.
- HIGH EFFICIENCY IRRIGATION TECHNOLOGY TO BE EMPLOYED INCLUDE, BUT ARE NOT LIMITED TO: CENTRAL SHUT-OFF VALVE, HIGH EFFICIENCY DRIP IRRIGATION LINES AND MOTION SENSOR/RAIN DELAY CONTROLLER
- TEST SYSTEM PRIOR TO COMPLETION OF LANDSCAPE WORKS TO ENSURE NO LEAKAGE AND SPECIFIED PSI IS MET. PROVIDE WRITTEN NOTICE THAT PRESSURE TESTING HAS MET STANDARDS (LEAKS SHALL NOT BE REPAIRED BY PATCHING).
- PROVIDE COVERAGE AND CONTROLLER TEST WHEN SYSTEM IS COMPLETE AND MAKE ADJUSTMENTS AS REQUIRED.
- PROVIDE AS-BUILT RECORD DRAWINGS TO SCALE SHOWING LOCATIONS OF ALL CONCEALED COMPONENTS, PIPING SYSTEM AND CONDUIT.
- MAINTAIN AND OPERATE IRRIGATION PER MANUFACTURER'S RECOMMENDATIONS THROUGHOUT WARRANTY PERIOD - WINTERIZE AS REQUIRED.
- PROVIDE (3) COPIES OF INSTRUCTIONS MANUALS FOR OPERATION AND MAINTENANCE OF SYSTEM AND CONTROLS, SEASONAL ACTIVITY AND SHUTDOWN AND MANUFACTURER'S PARTS CATALOGUE.
- INSTRUCT OWNER'S PERSONNEL IN THE OPERATION AND MAINTENANCE OF SYSTEM, INCLUDING ADJUSTING OF SPRINKLER HEADS, USE OPERATION AND MAINTENANCE MATERIALS AS BASIS FOR DEMONSTRATION.



**HOMING
LANDSCAPE
ARCHITECTURE**

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RICHMOND, BC, CANADA

PROJECT NUMBER: 22-34

SCALE: 1:100

DRAWN BY: EL

REVIEWED BY: EL

Design-Build Irrigation Plan

L2.3

LANDSCAPE LIGHTING LEGENDS

SYMBOL MATERIALS



LIGHTING NOTES

1. LIGHTING PLANS PROVIDED FOR INFORMATION ONLY. ALL EXTERIOR LIGHT FIXTURES, QUANTITIES, AND LOCATIONS TO BE APPROVED BY THE CLIENTS PRIOR TO ORDERING AND INSTALLATION.
2. CONTRACTOR TO COORDINATE RECESSED FORMING, ELECTRICAL CONDUIT, AND LOCATION LOGISTICS WITH OTHER TRADES AS REQUIRED.
3. SUBSTITUTIONS OF SPECIFIED MATERIALS TO BE APPROVED BY THE CLIENTS PRIOR TO ORDERING AND INSTALLATION.
4. CONTRACTOR TO ENSURE ALL LIGHTING WIRE AND FIXTURES MUST BE INSTALLED TO MEET THE LOCAL ELECTRICAL REGULATIONS AND SAFETY REQUIREMENTS.



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DRAWN BY: EL

REVIEWED BY: EL

Conceptual Landscape Lighting Plan

L2.4

LANDSCAPE LEGENDS

SYMBOL MATERIALS DETAILS

	PEDESTRIAN CONCRETE UNIT PAVERS	2/L3.0
	CONCRETE SLAB PAVING	6/L3.0
	CIP CONCRETE PAVING	1/L3.0
	80MM AQUA PAYER STANDARD PERMEABLE PAVERS FOR DRIVEWAY & PARKING	3/L3.0
	80MM AQUA PAYER STANDARD PERMEABLE PAVERS FOR PEDESTRIAN PATH	3/L3.0
	POURED IN PLACE RUBBER SURFACE	
	LAWN	4/L3.3
	PLANTING BED	2/L3.3
	GRAVEL	4/L3.0
	BIKE RACK	1/L3.1
	WOOD TRELLIS	6/L3.2
	PICNIC TABLE AND BENCHES	6/L3.2
	BENCH	4/L3.1
	SENSORY MULTI PLAY PANEL	1/L3.2
	PRIVACY FENCE	3/L3.1
	4' HIGH METAL FENCE	2/L3.1
	STEPPING STONE PATH	
	EXISTING TREES TO BE RETAINED	

LANDSCAPE NOTES

- DO NOT SCALE DRAWINGS.
- LAYOUT DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANT DRAWINGS.
- ALL EXISTING INFORMATION APPROXIMATE ONLY. VERIFY ALL EXISTING GRADES AND DIMENSIONS WITH SITE CONDITIONS. REPORT DISCREPANCIES TO CONSULTANT TEAM PRIOR TO PROCEEDING.
- THE CONTRACTOR IS TO PROTECT ALL EXISTING UTILITIES, HARD SURFACES, STRUCTURES, WALLS, AND TREES FOR DURATION OF CONSTRUCTION.
- THE LOCATION OF ALL PROPOSED HARDSCAPE AND SITE FURNISHINGS ARE TO BE FLAGGED OUT ONSITE BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL OFF-SITE WORKS TO CONFORM TO CITY OF RICHMOND STANDARDS.
- LAYOUT OF ALL OFF-SITE WORKS, INCLUDING FURNISHINGS, PATHWAYS, WALLS, PLANTING, ETC., TO BE FURNISHED WITH CITY OF RICHMOND PRIOR TO INSTALLATION.



1 RIGHT OF WAY AREA ENLARGEMENT PLAN
1:50

0 2 4 6 8 10 m



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SCALE: 1:50

DRAWN BY: EL

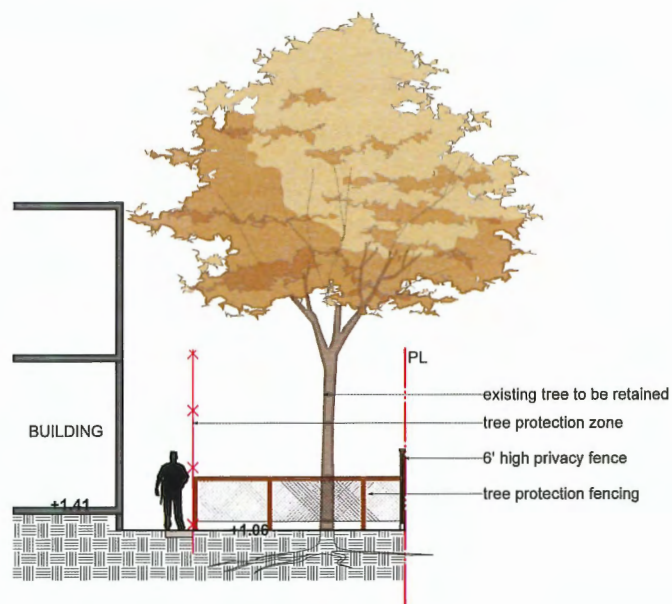
REVIEWED BY: EL

Right of Way Area Enlargement Plan

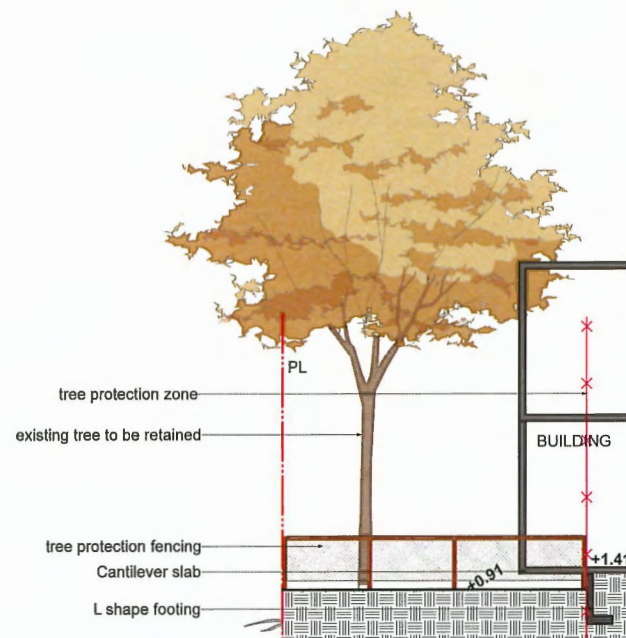
L2.5



SECTIONS KEY PLAN



1 SECTION A
1:50



2 SECTION B
1:50



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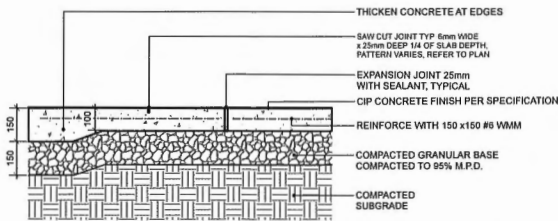
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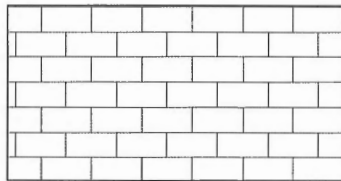
Tree Protection Area Profile

L2.6

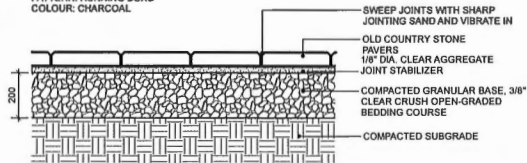


NOTES:
1. EXPANSION JOINTS 8m O.C. MAX. CONTROL JOINTS @ 1.5m O.C. ADJUST TO SUIT SITE LAYOUT PLAN.
2. ALL SCORELINES TO BE APPROVED BY LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION.

1 CIP CONCRETE ON GRADE (TYPICAL)
Scale: 1:10



PLAN
CLASSIC STANDARD PAVERS - STANDARD SIZE BY
ABBOTSFORD CONCRETE (1-800-663-4091)
DIMENSIONS: STANDARD 225(L) x 112.5(W) x 60(T) mm (8-7/8" x
4-7/16" x 2-3/8")
PATTERN: RUNNING BOND
COLOUR: CHARCOAL



NOTE:
USE CONCRETE HIDDEN EDGE RESTRAINT WHEN PAVERS ARE NOT ADJACENT TO A SOLID EDGE CONDITION.

2 CONCRETE UNIT PAVING ON GRADE
Scale: 1:10

AQUAPAVE STANDARD PAVES
BY ABBOTSFORD CONCRETE PRODUCTS

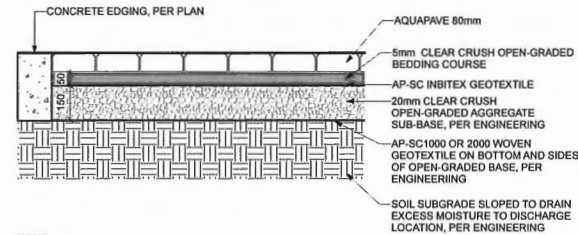
PATTERN: RUNNING BOND
LENGTH: 8-3/8" (211MM)
WIDTH: 4-5/16" (110MM)
THICKNESS: 3-1/8" (86MM)



COLOR: CHARCOAL
DRIVEWAY & VISITOR PARKING

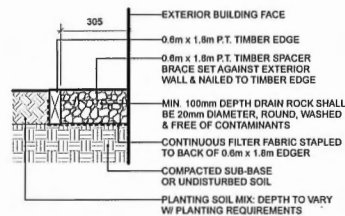


COLOR: DESERT SAND
PEDESTRIAN PATH



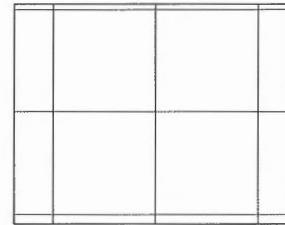
NOTE:
1. REFER TO ENGINEERING DRAWINGS FOR THE BASE MATERIALS INSTALLED UNDERNEATH THE PAVERS.
2. THE CONDITIONS UNDER THE PAVERS SHALL BE APPROVED BY ENGINEERS BEFORE PAVERS INSTALLATION.

3 AQUAPAVE PERMEABLE PAVES
Scale: 1:10

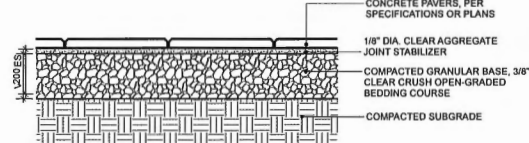


NOTE: ALL LUMBER SIZES ARE SHOWN AS NOMINAL

4 GRAVEL DRAIN STRIP - ON GRADE
Scale: 1:10



PLAN
TEXADA HYDRAPRESSED SLABS BY ABBOTSFORD CONCRETE PRODUCTS (1-800-663-4091)
DIMENSIONS: 497 mm x 497 mm x 40 mm
COLOUR: NATURAL
PATTERN: GRID



NOTE:
1. USE CONCRETE HIDDEN EDGE RESTRAINT WHEN PAVERS ARE NOT ADJACENT TO A SOLID EDGE CONDITION.
2. BLACKJACK PEDESTAL SYSTEM AVAILABLE FROM ABBOTSFORD CONCRETE PRODUCTS, INSTALLATION PER MANUFACTURER'S INSTRUCTIONS.

5 CONCRETE SLAB PAVING
Scale: 1:10



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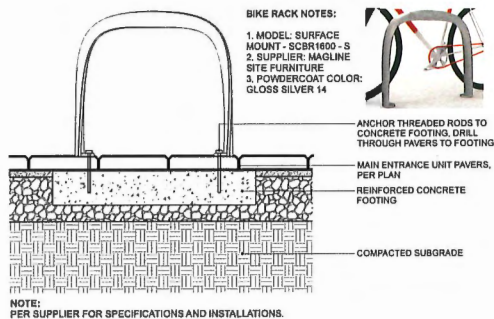
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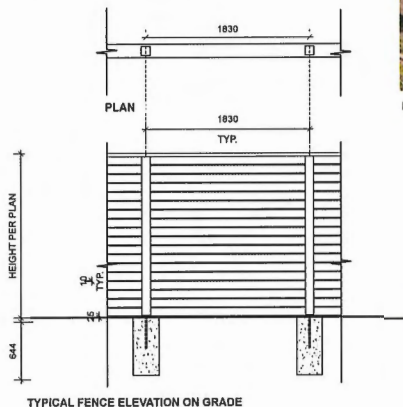
HARDSCAPE DETAILS

L3.0



1 BIKE RACK
Scale: 1:10

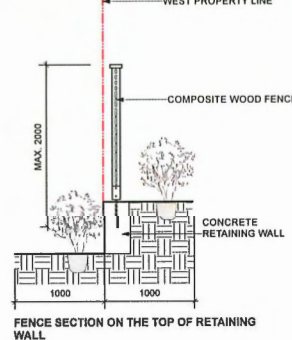
NOTE:
MAX. 2.0m HIGH FENCE IS MEASURED FROM THE AVERAGE FINISHED SITE GRADE (MEASURED AT A POINT 1.0m FROM BOTH SIDES OF THE PROPERTY LINE) TO THE TOP OF THE FENCE.



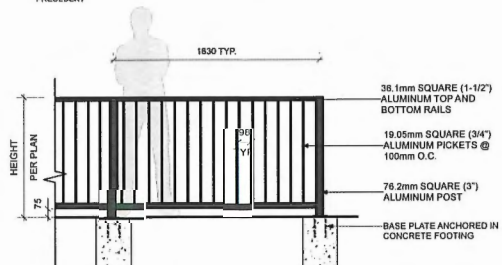
3 COMPOSITE WOOD PRIVACY FENCE
Scale: 1:25



PRECEDENT
WEST PROPERTY LINE



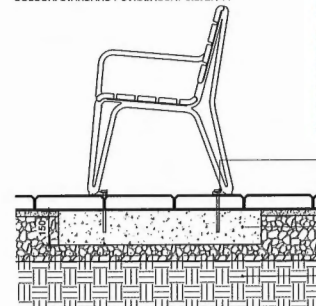
PRECEDENT



2 METAL FENCE
Scale: 1:25

2300 ICONIC BACKED BENCH BY MAGLIN SITE FURNITURE (1-800-716-6508)

MODEL: M5C-0300-00017
LENGTH: 70" (177.8cm)
HEIGHT: 33.3" (84.8cm)
DEPTH: 25.5" (64.8cm)
SEAT HEIGHT: 18" (45.7cm)
WEIGHT: 122.5lbs (55.8kg)
COLOUR: STANDARD POWDERCOAT SILVER 14



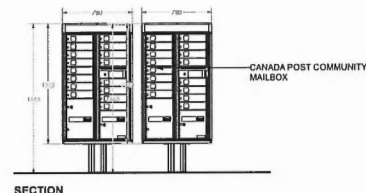
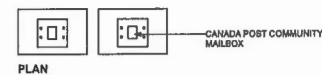
4 BENCH
Scale: 1:10



ANCHOR THREADED RODS TO CONCRETE FOOTING, DRILL THROUGH PAVERS TO FOOTING

REINFORCED CONCRETE FOOTING

COMPACTED SUBGRADE



6 CANADA POST MAILBOX
Scale: 1:25



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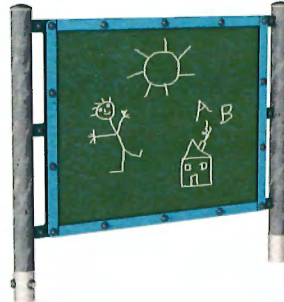
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FURNITURING DETAILS

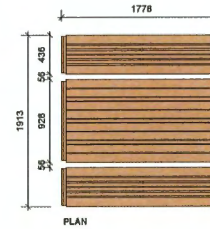
L3.1



1 SENSORY MULTI PLAY PANEL



4 CHALK BOARD BY KOMPAN



NOTES:
1. TYPE: 720 CLUSTER SEATING BY MAGLIN (1-800-716-6606) OR APPROVED ALTERNATIVE.
2. MODEL: MTB-0720-00002. SURFACE MOUNT, IPE WOOD
3. COLOR: POWDERCOAT GLOSS COLLECTION SILVER 14

5 PICNIC TABLE AND BENCHES
Scale: 1:25



ANCHOR THREADED RODS TO
CONCRETE FOOTING, DRILL
THROUGH PAVERS TO FOOTING
REINFORCED CONCRETE
FOOTING
COMPACTED SUBGRADE

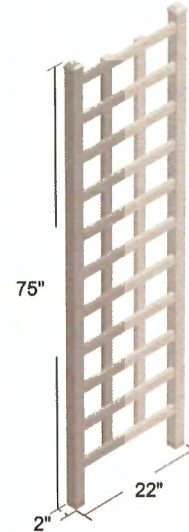


2 VILLA PLAYHOUSE



NOTE: REINHART 75"H X 22"W VINYL LATTICE PANEL TRELLIS

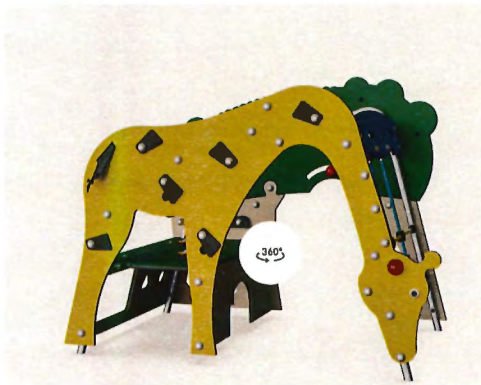
6 LATTICE PANEL TRELLIS
N/A



75"

22"

2"



3 FOREST GIRAFFE PLAY STRUCTURE BY KOMPAN



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D	2023-09-12	ISSUED FOR REZONING & DP
E	2023-09-18	ISSUED FOR DP
F	2024-06-24	ISSUED FOR DP
G	2024-10-09	ISSUED FOR DP
H	2024-10-31	ISSUED FOR ADP REVIEW
I	2024-11-04	ISSUED FOR ADP
J	2025-01-06	ISSUED FOR ADP COMMENTS
K	2025-03-03	ISSUED FOR DP

**9371/9391 FRANCIS
ROAD TOWNHOUSE
DEVELOPMENT**

PROJECT ADDRESS:
9371/9391 FRANCIS ROAD
RICHMOND, BC, CANADA

PROJECT NUMBER: 22-34

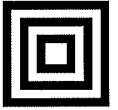
SCALE: AS SHOWN

DRAWN BY: EL

REVIEWED BY: EL

**FURNITURING
DETAILS**

L3.2



**HOMING
LANDSCAPE
ARCHITECTURE**

ADDRESS: 1423 11TH AVENUE,
VANCOUVER, BC, CANADA V6M 1H9
CELL: 778-323-3539
EMAIL: HOMINGLANDSCAPE@GMAIL.COM

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BETWEEN THE DRAWINGS AND THE
SPECIFICATIONS OR ANY OTHER DOCUMENT
ASSOCIATED WITH THE PROJECT, THE CONFLICT
SHALL BE REPORTED BY VISITOR TO THE
LANDSCAPE ARCHITECT TO OBTAIN
CLARIFICATION AND APPROVAL BEFORE
PROCEEDING WITH WORK.

Revisions

NO.	Date	Note
B	2023-03-15	ISSUED FOR REZONING & DP
C	2023-08-29	ISSUED FOR REZONING & DP
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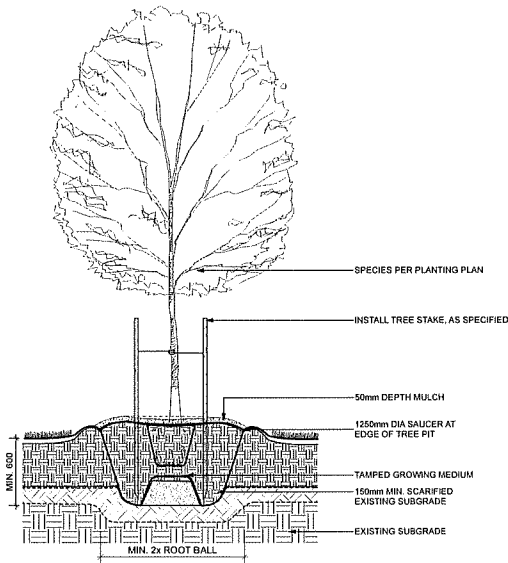
**9371/9391 FRANCIS
ROAD TOWNHOUSE
DEVELOPMENT**

PROJECT ADDRESS:
9371/9391 FRANCIS ROAD
RICHMOND, BC, CANADA

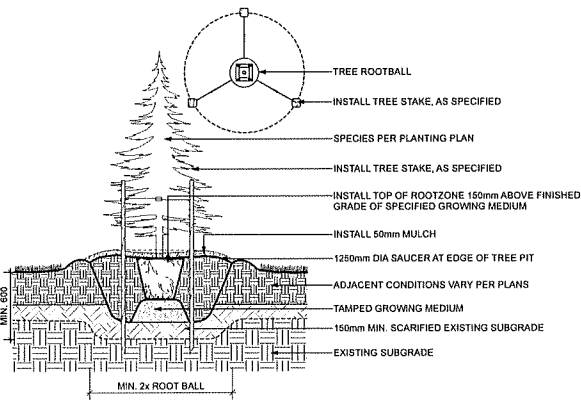
PROJECT NUMBER: 22-34
SCALE: AS SHOWN
DRAWN BY: EL
REVIEWED BY: EL

**SOFTSCAPE
DETAILS**

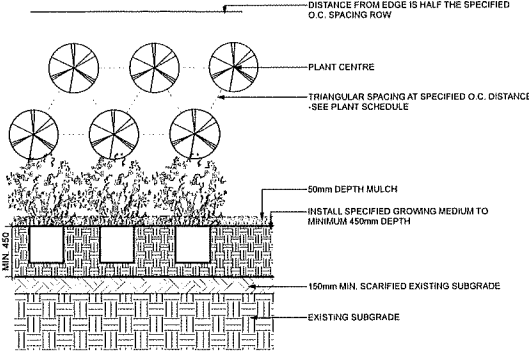
L3.3



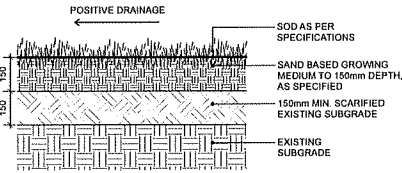
1 DECIDUOUS TREE PLANTING ON GRADE (TYPICAL)
Scale: 1:20



3 CONIFEROUS TREE PLANTING ON GRADE (TYPICAL)
Scale: 1:20



2 PLANTING ON GRADE (TYPICAL)
Scale: 1:20



4 SOD LAWN (TYPICAL)
Scale: 1:10