



City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel
From: Wayne Craig
Director, Development
Date: October 5, 2020
File: DP 19-875398
Re: **Application by Spires Road Development Holdings Ltd. for a Development Permit at 8671, 8691, 8711 and 8731 Spires Road**

Staff Recommendation

That a Development Permit be issued which would permit the construction of 22 townhouse units and two secondary suites at 8671, 8691, 8711 and 8731 Spires Road and the surplus portion of the Spires Road and Cook Crescent road allowance on a site zoned "Parking Structure Townhouses (RTP4)".

Wayne Craig
Director, Development
(604-247-4625)

WC:el
Att. 2

Staff Report

Origin

Spires Road Development Holdings Ltd. (with Incorporation Number BC1099680 and Directors Mark Hannah, Samuel D. Hanson, Wayman Crosby and Brent Hanson) has applied to the City of Richmond for permission to develop 22 residential units with a common parking structure at 8671, 8691, 8711 and 8731 Spires Road and the surplus portion of the Spires Road and Cook Crescent road allowance. The applicant has proposed to purchase the surplus road allowance and consolidate it into the development site. 20 multi-level townhouse units and two single level units will be included in the development. The unit sizes range between 104 m² (1,124 ft²) to 212 m² (2,277ft²), providing a mix of three to four bedroom units. Two of the 20 townhouse units are proposed to contain a secondary suite. Parking will be provided within the parking structure at grade.

The site is being rezoned from the “Single Detached (RS1/E)” zone to the “Parking Structure Townhouses (RTP4)” zone for this project under Bylaw 10058 (RZ 17-790301), which received third reading following the Public Hearing on September 3, 2019. The site is currently vacant but previously contained four single-family dwellings.

Frontage improvements including beautification works along the site frontage, public walkways on-site, as well as storm sewer and sanitary sewer upgrades, and new fire hydrants were secured through the rezoning process and will be constructed through a separate Servicing Agreement (SA 20-890721). The Servicing Agreement must be entered into prior to final adoption of the rezoning bylaw.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

- The Spires Road Neighbourhood is identified in the City Centre Area Plan as an area intended to transition from a predominately single-family neighbourhood toward a higher density neighbourhood through the development of townhouse buildings with parking structures.
- To the North: Single-family homes on lots zoned “Single Detached (RS1/E)”.
- To the South: Across Spires Road, single-family homes on lots zoned “Single Detached (RS1/E)”.
- To the East: Across Cook Crescent, single-family homes on lots zoned “Single Detached (RS1/E)”.
- To the West: Single-family homes on lots zoned “Single Detached (RS1/E)”.

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on September 3, 2019.

At the Public Hearing, the following concerns about rezoning the property were expressed:

- Sight lines, noise, shadows, impacts to neighboring single-family properties.
- Concerns related to increased traffic and lack of legal street parking resulting in illegal parking in the area.
- The impact of increased street parking relating to the local school.
- The lack of continuity in design for new projects in the area.
- The desire for increased park space for the neighborhood.

Staff worked with the applicant to address these issues in the following ways:

- The height of the proposed building is limited to three storeys in order to reduce view and overshadowing disruption. Shadow studies have been undertaken to confirm minimal impact on the neighbouring properties throughout the year. Mechanical and noise generating equipment are designed to meet the City's Bylaw and to be located away from neighbouring properties.
- The subject site is located within the city centre and in close proximity to the skytrain station. The proposed townhouse development aligns with the Official Community Plan (OCP); the proposed form of development and density have been considered with transportation planning as part of the City Centre Area Plan (CCAP). With the proposed redevelopment, the pavement on Spires Road will be widened to facilitate street parking on one side of the road. The current proposal meets the Zoning Bylaw requirements for resident and visitor parking.
- Staff met with School District staff on-site to observe vehicle parking and pedestrian movements in the vicinity of the Cook Elementary School and within the Spires Road area. Some parents were observed parking legally on Spires Road. A new on-site parking lot with a designated drop off/pick up area with access to/from Cook Road has been completed this summer. This new facility is anticipated to alleviate traffic movements in the Spires Road subdivision related to the school.
- A specific architectural style has not been prescribed for this neighborhood. However, in response to the comments received at Public Hearing, the roof design of the proposed development has been revised from flat roof to pitched roof. In addition, the subject proposal also includes many design elements that are similar to the other approved townhouse development in the area (e.g., at grade patios with weather protected entries and preservation of large existing trees along the site frontages).

- Public walkways along the north and west property lines are proposed to provide additional public outdoor space for the community. These walkways will form part of the pedestrian network that will provide access through the site/neighbourhood, and to the future park spaces designated in the OCP. Seating is proposed at the northeast corner where the two pedestrian paths meet; additional seating opportunities are proposed at the southwest and northeast corners of the site, anchoring the public walkway at both ends.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the “Parking Structure Townhouses (RTP4)” zone.

Advisory Design Panel Comments

The Advisory Design Panel (ADP) has reviewed the project and supports it. A copy of the relevant excerpt from the Advisory Design Panel Minutes from Wednesday April 22, 2020 is attached for reference (Attachment 2). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in ‘*bold italics*’.

Analysis

Conditions of Adjacency

- The subject site and surrounding properties are designated for grade-oriented housing in the form of high density townhouses (i.e., low-rise, street wall buildings with common parking structures concealed from public view by non-parking uses) under the City Centre Area Plan (CCAP).
- The proposal satisfies the CCAP’s vision while being sympathetic to the adjacent single-family homes. The three-storey massing of the development bridges between the single-family residential scale of the current neighbourhood and the future vision of the area as a higher density townhouse neighbourhood.
- The proposed townhouse units are set back 6.0 m from the north and west property lines, which is equivalent to the minimum rear yard setback requirement under the Single-Detached (RS) zone.
- To enhance pedestrian circulation within the Spires Road Neighbourhood, a 3.0 m wide Statutory Right-of-Way (SRW) along both the north and west property lines have been secured at rezoning for public walkways. The cross-section of the walkways is to include a 1.5 m wide hard surface pathway and a 1.5 m wide landscaped boulevard.
- While the site grade at the northwest corner of the site will be maintained, the site grade along the north and west property lines will be raised in order to allow the site grades of the pedestrian walkways to meet the proposed site grades of the sidewalks along Spires Road and Cook Crescent. The site grade along the west property line will be raised from 0.8 m to 1.17 m over 36.58 m; the site grade along the north property line will be raised from 0.8 m to 1.29 m over 81.05 m. The maximum height of the proposed retaining wall will be approximately 0.59 m.

- Tree planting plan has been designed to reduce over-look and to provide a green buffer between the proposed development and the existing adjacent single-family homes.
- An interim 1.83 m high solid wood fence will also be installed along the north and west property lines, but will be removed when the neighbouring sites redevelop and provide another 3.0 m wide SRW for public pedestrian access. The site's strata will be responsible for the maintenance of the SRW areas. These arrangements have been secured through the rezoning process.
- Perimeter drainage will be required as part of the Building Permit to ensure storm water is managed and addressed through the development and will not impact the neighbouring properties.

Urban Design and Site Planning

- The development will contain 22 units, including:
 - Two single-level Basic Universal Housing units at grade with direct access to the public walkway along the west property line and direct access to the parking structure.
 - 18 three-storey townhouse units with direct, street level entry from Spires Road or the new public walkways along the north and west property lines; these homes will also have direct access to the parking structure, as well as direct access to the podium.
 - Two two-storey units with their main unit entry located on the podium level.
- Units in this development feature three or four bedrooms, intended for family living. Dwelling sizes are ranging from 104 m² (1,124 ft²) to 212 m² (2,277ft²). Two ground-level secondary suites are also featured in two of the three-storey units fronting onto the new public walkway along the west property line. The typical floor area of these units is approximately 212 m² (2,277ft²), and the size of each secondary suite (one bedroom suites) is approximately 52 m² (562 ft²).
- The proposal provides an attractive streetscape with individual unit entries and landscaped, raised front yards along the Spires Road frontage as well as the public walkway along the north and west property lines.
- Three townhouse blocks are proposed and are positioned to enclose a parking structure at grade. The townhouse blocks are connected by the outdoor courtyard space on the podium, above the parking structure.
- Pedestrian access to the podium (via exterior stairs) will be provided on both the Spires Road and the Cook Crescent frontages.
- An enclosed lobby is also proposed along the Spires Road frontage to provide a secured space for the mailbox kiosk, elevator to the podium level, and access to the enclosed parking area.
- This main entrance to the development, fronting Spires Road, is also located at the terminus point of Cook Gate. Landscaping features including two specimen Magnolia trees and two Weeping Alaskan Yellow Cedar trees are proposed to create a welcoming focal point on the site.
- Vehicular access to the parking structure will be from Cook Crescent.

- 27 residential parking spaces are proposed, which meets the minimum bylaw requirement. No additional parking stall is required for the proposed secondary units since this site is not located on an arterial road.
- A total of three accessible residential parking stalls are to be provided on site; two spaces will be assigned to the two Basic Universal Housing unit proposed, and one space will be designated for visitor parking.
- A total of five visitor parking spaces (including one accessible parking stall) are to be provided throughout the site. The number of visitor parking spaces proposed is in compliance with the minimum bylaw requirement.
- Both internal and external bicycle parking spaces have been incorporated into the proposal and are in compliance with the Zoning Bylaw requirements.
- The enclosed garbage room housing garbage, recycling and organics storage bins is proposed to locate within the parking structure, just behind the security gate, and will be in close proximity to the loading area.
- All of the units will have private outdoor areas at grade and/or on the elevated podium overtop the parking structure. While the configurations of some the proposed yard spaces at grade and/or on the podium level are slightly shallower than what is encouraged under the Development Permit Guidelines, the functionality of those yard spaces has not been compromised. Each of the proposed private outdoor space at grade includes a patio area that is large enough to accommodate a table with seating, a lawn area, and a small garden of perennials, shrubs, with a tree to provide shade. Each of the proposed private outdoor space on the podium level is large enough to host a BBQ and seating area with a table.
- The overall size of the proposed outdoor amenity spaces complies with the Official Community Plan (OCP) requirements (i.e., 6 m² per unit). The locations and sizes of the outdoor amenity spaces are appropriate in providing open landscape and amenity spaces convenient to all units.
- Additional outdoor amenity space (minimum 10% of the site area as per the City Centre Amenity Space Provisions in the City Centre Area Plan) is provided in the form of public and semi-private walkways and landscaped areas throughout the site.
- Indoor amenity space is not proposed on-site. A \$25,000 cash-in-lieu contribution has been secured as a condition of rezoning approval, consistent with the Official Community Plan (OCP).

Architectural Form and Character

- The architecture reflects a contemporary take on traditional design that fits well into this developing and diverse neighbourhood.
- The project follows a roughhouse massing and design to create a more urban presence, following the Design Guidelines in the CCAP, through the use of consistent heights and setbacks.
- Individual peaked roofs cap each unit, reinforce a sense of individuality to the townhouses with a residential typology, and provide variations to the rhythm and scale of the overall project.

- Mirroring unit plans, variation in unit width, alternative brick colour scheme on certain units are proposed to provide differentiation along each block frontage, in order to further break down the overall scale of the townhouse blocks.
- Large glazing areas are proposed on corner elevations to create a design that engages and wraps the corners, as well as to increase the potential for passive surveillance.
- Windows will be detailed to create a sense of depth to the facades.
- The proposed building materials (brick veneer, composite plank siding, composite panel, wood cladding, asphalt shingles, and metal picket guard/canopy) are generally consistent with the Official Community Plan (OCP) Guidelines.
- Brick is the primary front façade material, adding a timeless quality to the development. Plank siding provides a contrast to the brick façade along the projecting roof elements, around the end elevations of units.
- Light siding, coloured to match the brick on the front, is located on the courtyard elevations creating a similar sense of depth based on the contrast as is found on the front.
- The recessed entries, finished with a warm wood tone, reinforce the residential scale of the building.

Tree Preservation

- 15 bylaw-sized trees on the subject development site, seven trees on neighbouring properties, and three street trees on City property were assessed at the rezoning stage.
- A 65 cm caliper Austrian Pine tree and a 45 cm caliper Blue Spruce tree located at the northeast corner of the site are identified in good condition and will be protected and retained on-site.
- 13 bylaw-sized trees on site are identified for removal:
 - three trees are in good condition but are located within the proposed building envelope and in conflict with the proposed pedestrian walkway along the north property line;
 - two trees appear shared with the neighbouring property are at high risk of failure; and
 - eight trees are either dead, dying (sparse canopy foliage), have been previously topped or exhibit structural defects such as cavities at the main branch union and co-dominant stems with inclusions.
- Based on the 2:1 tree replacement ratio goal stated in the Official Community Plan (OCP), 26 replacement trees are required. The applicant is proposing to plant 48 replacement trees on-site, including 19 conifer and 29 deciduous trees.
- Six trees on neighbouring properties are to be protected as per City of Richmond Tree Protection Information Bulletin Tree-03. Pathway alignment within the new public walkway along the north property line has been designed to facilitate tree preservations; certain encroachments into the tree protection zone may be enabled at the discretion of the project arborist via the use of an aeration and drainage system to keep underlying roots viable.
- One Norway Spruce tree (51 cm dbh, specifically tag# N05) located on the adjacent property to the west at 8751 Spires Road is at high risk of failure and was recommended for removal at rezoning; this tree has been removed under TP 19-876515 with the approval of the adjacent owners.

- Three City trees, including two Maple trees (45 cm & 43 cm dbh) and one Plum tree (20 cm dbh), located along the site's Cook Crescent frontage, will be removed due to their poor condition and conflicts with required frontage improvements (i.e., ditch infill and new sidewalk). Compensation of \$3,250 is required for the removal of the three trees has been secured at rezoning stage. New street trees will be planted at a later date as part of the frontage improvements for the site.
- A contract with a Certified Arborist for the supervision of all works conducted within or in close proximity to tree protection zones has been secured as part of the Rezoning application. The contract includes the scope of work required, the number of proposed monitoring inspections at specified stages of construction, special measures required to ensure tree protection, and a provision for the Arborist to submit a post-construction impact assessment to the City for review.
- A Tree Survival Security in the amount of \$20,000 to ensure that the 65 cm caliper Austrian Pine tree (specifically tag# 810) and the 45 cm caliper Blue Spruce tree (specifically tag# 811) has also been secured at Rezoning. No Tree Survival Security will be returned until the post-construction assessment report, confirming the protected trees survived the construction, prepared by the Arborist, is reviewed by staff.
- Tree protection fencing around all trees to be retained has been installed and will remain in place until construction and landscaping on-site is completed.

Landscape Design and Open Space Design

- A pedestrian-oriented streetscape along Spires Road and the new public walkway is proposed with landscaped edge treatment, entry gates and slightly raised patios.
- Each ground-oriented unit will have a private front yard with a small lawn area, a tree and a patio to generate animation along the streetscape. The front yards will be separated with low horizontal panel fence with landscaping to provide privacy for individual units.
- An outdoor amenity space is proposed at the northeast corner of the site, which includes a small plaza with seating by the building and a natural play area under the protected trees. The retaining tree limits the placement of active play equipment within this space in order to minimize disturbance within the tree protection zone.
- An accessible ramp is proposed to connect the plaza at grade and the sunken play space. The ramp has a green translucent screen on one side that can be used as an imaginary play surface for non-permanent markers. An art box containing all types of markers are provided at the end of the ramp. The screen allows for visual access in and out of the site to connect with the public seating node at the intersection of walkways that connect to the neighbourhood.
- The plaza and the play area will be separated with planters filled with berry shrubs for the children to garden. Bench seating mid-way between the play space and circulation pathway creates a small seating node within the amenity space. One bench is lit by LED strip lighting for safety and ambience.
- The sunken open play space includes logs for balance play, climbing, and seating. A small sandbox area encircled with logs at varying heights is also included in this play area.

- The courtyard on the podium level provides private patio spaces for residents, as well as central meeting areas around the elevator for informal opportunities to meet neighbours and have social contact.
- Low wood fence along the shared paver pathway is proposed to establish an appealing and intimate residential character to encourage socialization and provide for casual surveillance of the common outdoor area.
- Another children's play area is proposed on the podium level, adjacent to the entry stair and elevator. Play equipment has been chosen to fit into the play area and to provide different play opportunities (i.e., climbing, social, imagination, balance, motor skills) that can be used by different age groups and for multiple purposes. Benches are also provided for caregivers.
- A play box for loose parts activities including skipping ropes, balls and bean bag will also be provided.
- Chalk boards run the full length of the children's play area, on the planters along the west edge of the area are also proposed to offer open art play opportunities.
- Wall mounted, embedded step lighting, bollard lighting and LED strip lighting are proposed throughout the site at the entrance, various outdoor amenity spaces, stairs, unit entries, and walkways.
- An on-site irrigation system is proposed to ensure continued maintenance of live landscaping.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$ 221,592.41 in association with the Development Permit.

Crime Prevention Through Environmental Design

- The ground-oriented units, outdoor amenity spaces, and public walkways seek to increase passive surveillance of both the development and the surrounding area. The public pathways and sidewalks that surround the site help activate the area by connecting the ground-oriented development to the larger neighbourhood.
- Site lighting and clear sight lines provide unobstructed views of surrounding area.
- Plantings near residential entries are low to maximize views and casual surveillance opportunities of common areas.

Sustainability

- The project will be designed to meet Step Code 3 requirements of the BC Energy Step Code, including energy modelling. Highly insulated roofs and walls will play a key role in moderating the thermal comfort of the residents. Glazing areas will balance design aesthetics and daylight while ensuring an overall high-performing building envelope.
- Plant material proposed will be climate tolerant.

Accessible Housing

- The proposed development includes two basic universal housing units that are designed to be easily renovated to accommodate a future resident in a wheelchair. These single-storey units are required to incorporate all of the accessibility provisions listed in the Basic Universal Housing Features section of the City's Zoning Bylaw, and are permitted a density exclusion of 1.86 m² (20 ft²) per unit.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
 - Stairwell hand rails.
 - Lever-type handles for plumbing fixtures and door handles.
 - Solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



Edwin Lee
Planner 2
(604-276-4121)

EL:blg

Attachments:

Attachment 1: Development Application Data Sheet

Attachment 2: Excerpt from Advisory Design Panel Meeting Minutes (April 22, 2020)

The following are to be met prior to forwarding this application to Council for approval:

- Final adoption of the Zoning Amendment Bylaw 10058.
- Receipt of a Letter-of-Credit for landscaping and tree survival security in the amount of \$221,592.41. No Landscape Letter of Credit will be returned until the Letter of Assurance, confirming the landscaping are installed as per the Development Permit, prepared by the Landscape Architect, is reviewed by staff.

Prior to future Building Permit issuance, the developer is required to complete the following:

- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<http://www.richmond.ca/services/tp/special.htm>).
- If applicable, payment of latecomer agreement charges, plus applicable interest associated with eligible latecomer works.



DP 19-875398 **Attachment 1**

Address: 8671, 8691, 8711 and 8731 Spires Road and the Surplus Portion of the Spires Road and Cook Crescent Road Allowance

Applicant: Spires Road Development Holdings Ltd. Owner: Spires Road Development Holdings Ltd.

Planning Area(s): City Centre

Floor Area Gross: 4,850m² Floor Area Net: 3,662 m²

	Existing	Proposed
Site Area:	2,965.9 m ²	3,203.3 m ²
Land Uses:	Single-Family Residential	Multiple-Family Residential
OCP Designation:	Low-Density Residential	No Change
Area Plan Designation:	City Centre Area Plan: General Urban T4 Sub-Area B.1: Mixed Use – Low-Rise Residential & Limited Commercial	No Change
Zoning:	Single Detached (RS1/E)	Parking Structure Townhouses (RTP4)
Number of Units:	4	22

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max 1.2	1.14	none permitted
Lot Coverage – Building:	Max. 50%	45.3%	none
Lot Coverage – Non-porous Surfaces:	Max. 75%	72.5%	none
Lot Coverage – Landscaping:	Min. 20%	20.4%	none
Setback – Front Yard Cook Crescent (m):	Min. 3.0 m	3.0 m	none
Setback – Exterior Side Yard – South – Spires Road (m):	Min. 3.0 m	3.0 m	none
Setback – Interior Side Yard - North (m):	Min. 3.0 m	6.0 m	none
Setback – Rear - West (m):	Min. 3.0 m	6.0 m	none
Setback – Walkway - North (m):	Min. 3.0 m	3.0 m	none
Setback – Walkway - West (m):	Min. 3.0 m	3.0 m	none
Height (m):	Max. 15.0 m (4 storeys)	13.97 m (3 storeys)	none
Lot Depth:	Min. 30.0 m	83.04 m	none

Site Area:	Min. 2,400 m ²	3,203.3 m ²	none
Off-street Parking Spaces – Regular (R) / Visitor (V):	1.2 (R) and 0.2 (V) per unit	1.2 (R) and 0.2 (V) per unit	none
Off-street Parking Spaces – Total:	27 (R) and 5 (V)	27 (R) and 5 (V)	none
Tandem Parking Spaces:	Max. 50% of required residential spaces (27 x Max. 50% = 13)	0	none
Small Car Parking Spaces	Max. 50% when 31 or more spaces are provided on-site (32 x Max. 50% = 16)	15	none
Handicap Parking Spaces:	Min. 2% when 11 or more spaces are required (32 x 2% = 1 spaces)	3	none
Bicycle Parking Spaces – Class 1 / Class 2:	1.25 (Class 1) and 0.20 (Class 2) per unit	1.27 (Class 1) and 0.27 (Class 2) per unit	none
Off-street Parking Spaces – Total:	28 (Class 1) and 5 (Class 2)	28 (Class 1) and 6 (Class 2)	none
Amenity Space – Indoor:	Min. 100 m ² or Cash-in-lieu	Cash-in-lieu	none
Amenity Space – Outdoor:	Min. 6 m ² x 22 units + 10% of net site area = 452.3 m ²	460 m ²	none

Excerpt from the Minutes from
The Design Panel Meeting

Wednesday, April 22, 2020 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall

Advisory Design Panel

Wednesday, April 22, 2020

Panel Discussion

Comments from Panel members were as follows:

- support the design of the project; like the refreshing look; appreciate the character of the podium level courtyard; like the single-family character of the townhouse units fronting the street; support the provision of two secondary suites which could be used either for affordable rental housing or by a family member;

Noted.

- appreciate the inclusion of two ground level Basic Universal Housing units in the project; consider installing pocket or sliding doors for the washrooms and closets to create more manoeuvring space and enhance accessibility for residents in a wheelchair;

Swing doors were selected for the master bedroom and ensuite as it is a requirement from the Richmond Land Use Bylaw Section 4.16.6. Closet doors in master bedroom changed to sliding doors.

- consider assigning the wider accessible parking stall to Unit 1;
The wider accessible stall has been assigned to Unit 1, and the remaining accessible stall will be the visitor stall. Please refer to A111.

- appreciate the contemporary design of the townhouse units; however, caution that additional details are needed for the style; it is different from the first development in the Spires Road Neighbourhood Area;

Noted.

- review whether project complies with Development Guidelines, particularly with respect to the maximum number of townhouse units in a cluster for whether the long building blocks on the north and south sides provide an appropriate interface with the street to the south and the adjacent single-family dwellings to the north;
The North and South blocks have been designed to accentuate the individuality of each unit, and the blocks have been setback from the adjacent property lines to better interface with the adjacent properties. Each unit has a front patio that is meant to bridge the scale from the project to the street. The longer blocks also have a substantial separation from the west block. Since there is a street to the east, there is no separation issue with an adjacent building or neighbour.
- appreciate that the children's play area will receive adequate southern sun exposure; however, it is not centrally located to be easily accessible to other townhouse units; consider not breaking down the amenity area into two sections;
We have design developed the children's play areas to provide additional play space on the ground level. This play space provides a sunken area adjacent to the retained tree 810. It contains natural play elements such as logs and planting, and also incorporates a sand box. All work in the tree protection zone is noted to be done under the review of the project arborist.
In response to the part of the comment about not breaking down the amenity area into two sections, we reviewed the option of creating a single play space on the upper level, but the circulation requirements from the units and the front stairs meant that the space was small and reduced the options for what could be implemented. We have design developed level 2 to add active play elements that fit with the circulation required in a way that creates a functional space that is easy to supervise.
- consider practicality of provision of wooden deck on the ground level outdoor amenity space on the northeast corner for gathering and tai-chi;
The wood deck has been replaced with an at grade children's amenity space with engineered wood fibre to protect the tree.
- south elevation of the west block fronting Spires Road and at the terminus point of Cook Gate appears blank; consider further articulation to better address the street;
The scale of the building is broken down with the main floor level being treated differently from the upper floor levels. A large glazing area is located at the corner, to create a different façade expression compared with the upper level punched windows. The punched are recessed into the façade, to give an additional sense of depth to the elevation. The landscape in this area includes planting meant to provide privacy for the ground floor, as well as soften the perception of the building from the public realm.

- consider enhancing planting density at the southeast corner of the site to provide an appropriate corner treatment;
At the southeast corner, public and private spaces merge. The planting in this area provides some screening while predominately providing habitat. The planting design strategy is to provide vegetative stratification to achieve these goals. Ground cover is located at the sidewalk edge, with other plants stepping up behind it. The largest plants line the foundation of the building. 4 trees are located in this area. 2 small deciduous, 1 medium deciduous, and 1 tall slim columnar. The spacing of the plant material is tight. There is no additional room for increased density without compromising plant health. The layering of the plant material provides an appropriate edge treatment by providing privacy to the corner unit, while allowing views from the sidewalk for pedestrians and vehicular traffic moving through this area. The specific species chosen for the corner provides a multitude of benefits, including; an impenetrable edge along the property line, seasonal interest with flowering woody plants offering nectar to beneficial insects.
- appreciate the comprehensive package and sustainability information provided by the applicant to the Panel; note that the project meets the BC Energy Step Code 3 requirements and exceeds the requirements for Thermal Energy Demand Intensity and Thermal Energy Use Intensity;
Noted.
- appreciate the distribution of private and public spaces and hard and soft landscaping in the subject site; also appreciate the applicant's efforts to retain and protect existing on-site trees, particularly at the southeast corner, and trees on neighbouring properties; *Noted.*
- consider reviewing the programming of the proposed outdoor amenity areas including (i) the location of the children's play area on the podium level which is in close proximity to two townhouse units, and (ii) consider the ground level outdoor amenity area at the northeast corner of the site for the children's play area location, incorporating natural play elements, to take advantage of existing site conditions and the retention of existing trees;
We have design developed the ground level amenity area to incorporate a children's play area that uses natural materials and takes advantage of the retention of the existing tree. On level 2, we have reviewed the location of the children's play area on the podium. A planted buffer including bamboo (in closed planters so that it doesn't cause damage to the waterproof membrane) creates a separation between the townhouses and the play area. The depth of the planter was doubled in size to provide space and soil quantities.
- review the scale and treatment of courtyard fencing and ensure adequate depth of growing medium in planters on the elevated central courtyard;
600mm of top soil is provided for each planting type and location. Each plant has been selected purposefully to be used in these areas as they thrive in planters. The planters match the height of the fencing.
- support the contemporary design, reinterpretation of traditional style of the townhouse units; overall length of the north and south building blocks are not out of character as they are similar to some townhouse projects previously reviewed and supported by the Panel;
Noted.

- overall framework of the townhouse development with row houses and pitched roofs is successful; however, concerned about the repetition of unit facades as they are identical, except for one unit which is a slightly wider; consider differentiating the units through (i) mirroring some units, (ii) introducing another wider unit, and/or (iii) moving the windows around in some units;

Several of the units are currently mirrored in plan. We have revised the elevations proposing an alternative brick colour scheme on certain units, in order to provide differentiation along each block frontage and some corners. This differentiation will help to further break down the overall scale of the buildings into individual units. Refer to A004 for Perspective Images, and to elevation drawings (A200, A201, A202, A203, A300, and A301) for revised graphics.

- consider making the proposed outdoor amenity space at the northeast corner a public space to tie in with the adjacent public walkway along the north side; the future development to the north of the subject site could also mirror the public space at the northeast corner of the subject site to create public spaces on both sides of the public pedestrian walkway;

As part of the OCP, the area of Cook Crescent directly north from our site is meant to become a public park, which the ADP was unaware of when making their comments. The public pathways provided on the North and West property lines would connect to future pedestrian access through the community and provide access to this new park space. Making this area a public space would also put an undue burden on ownership (short term), and the strata (long term), to maintain this public area in addition of the public walkways system already on the site.

- consider marking the firefighter access points to make them more evident;
We will work with the fire department to ensure that access points and necessary information for them on site is provided and clear.

- the applicant is encouraged to maintain the overall character of the project up to construction stage with consideration of additional needed details including rainwater leaders;
Noted, we are developing the architectural details to ensure the finished built project maintains the character of the development drawings.

- at the southeast corner, consider configuring the dark hardie plank siding all the way down to the ground as a background for the planting; also consider shifting the southeast building block to the west to create a space for a mini public park with seating at the southeast corner;
Building blocks are unable to move currently. Planting in this area has been predominantly designed as habitat. Seating has been provided at the Northwest, Northeast, and Southwest corners of the site, focusing on the public walkway through the site.

- the overall design of the project provides a good pedestrian experience;
Noted.

- appreciate the applicant explaining the project's design process to the Panel;
Noted.

- the project design is attractive and consistent with the character of the developing neighbourhood; the project's modern design with traditional elements fits well with the City Centre Area Public Art Plan;
Noted.
- appreciate the form and scale of the project;
Noted.
- support the Panel comment to make the ground level outdoor amenity area at the northeast corner a public space and integrate with the adjacent public walkway and potential future public space on the adjacent future development to the north of the subject site;
Please see previous response.
- appreciate the applicant's efforts to save some existing on-site trees and on neighbours' properties which help create a traditional neighbourhood character;
Noted.
- overall landscaping concept is clear and well thought out;
Noted.
- consider introducing more planters on the podium level courtyard; support larger patios that could be further landscaped individually by residents;
Larger planters are being used to provide a more substantial buffer between the children's play area and the west block units.
- consider larger-sized planters on the podium level to ensure long-term survivability of trees; and
Planting used on the podium level has been selected for its proven ability to thrive in planters and to ensure the long term health and survivability of these trees.
- investigate opportunities to integrate the podium level children's play area with the outdoor amenity area walkway through further landscaping in order to create more play opportunities.
All play areas adjacent to the walkway is graded at the same level, allowing for extended play space. The walkway circulation route is not part of our children's play area calculations.



No. DP 19-875398

To the Holder: SPIRES ROAD DEVELOPMENT HOLDINGS LTD.

Property Address: 8671, 8691, 8711 AND 8731 SPIRES ROAD

Address: C/O KAI HOTSON
HOTSON ARCHITECTURE INC.
35 WEST 5TH AVENUE, UNIT 215
VANCOUVER, BC V5Y 1H4

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #46 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$221,592.41 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 19-875398

To the Holder: SPIRES ROAD DEVELOPMENT HOLDINGS LTD.
Property Address: 8671, 8691, 8711 AND 8731 SPIRES ROAD
Address: C/O KAI HOTSON
HOTSON ARCHITECTURE INC.
35 WEST 5TH AVENUE, UNIT 215
VANCOUVER, BC V5Y 1H4

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO. ISSUED BY THE COUNCIL THE
DAY OF , .

DELIVERED THIS DAY OF , .

MAYOR

8671-8731 SPIRES ROAD DEVELOPMENT PERMIT APPLICATION SUBMISSION



1 VIEW FROM NORTH SIDE OF SPIRES ROAD AT COOK GATE

Development Statistics

Address:	8671, 8671, 8711, and 8731 Spires Road, Richmond BC		
Legal Description:	Lots 4 and 5, Sections 9 and 10, and Lots 6 and 7, Section 9 Block 4 North Range 6 West New Westminster District, Plan 21489		
Existing Site Area:	31,925 (ft ²) 2,965.9 m ²		
New Site Area:	(with new extended property lines to the South and East)		
		34,565 (ft ²) 3,211.2 m ²	
		-85 (ft ²) 7.9 m ²	
		34,480 (ft ²) 3,203.3 m ²	
Existing Zoning:	Deduction of 4m x 4m SE corner cut: (planning staff have advised area to be deducted from total site area)		
OCF Land Use:	RS1/E	General, Urban T4	
Setback Requirements:	Minimum Requirement	Minimum Proposed	
	North (ft): 19'-8 3/4"	6.0	
	East (ft): 9'-10 1/8"	3.0	
	South (ft): 9'-10 1/8"	3.0	
	West (ft): 19'-8 3/4"	6.0	

Density Calculations

For Calculations see A009

NET Floor Area:	37,422 (ft ²)	3,442 (m ²)
Site Area:	34,480 (ft ²)	3,203 (m ²)
Floor Area Ratio:	1.10	1.10
Total habitable area/Total Site area	1.20	1.14

Lot Coverage:

Covered Areas (excl. enclosed parking & roof above enclosed parking)	
North Block	5,802 539
West Block	4,026 374
South Block	5,802 539
TOTAL	15,430 1,452

Lot Coverage - Building (maximum 50%) = Covered area/Site area = 45.3%
 Lot Coverage - Non-Porous Surfaces (maximum 75%) = 72.6%
 Lot Coverage - Landscape (minimum 20%) Information from L-7a = 20.4%

Maximum Heights

Maximum Allowable	15 (ft)	15 (m)
Proposed	38.08 (ft)	11.6 (m)

Residential Unit Breakdown

Unit Type	Typical Unit Size (ft ²)	# of Units	Lock off Unit Size (ft ²)
Type A1: 3 storey townhouse (typical)	1,786	15	166
Type A2: 3 storey townhouse (typical)	1,766	1	164
Type B: 3 storey townhouse with ground floor lock-off	2,277	2	212
Type C: 2 storey townhouse with courtyard entrance	1,441	2	152
Type D1: Ground only convertible unit	1,124	1	104
Type D2: Ground only convertible unit	1,125	1	105
TOTAL # OF UNITS		22	

Parking & Loading Requirements

as per Table 7.9.3.1 Residential Use City Centre Parking Requirements; Richmond Zoning Bylaw

Off-Street Parking Stalls:			
Disability: 2% of required parking spaces	Required	Proposed	
Residential: 1.2 spaces per unit (rounded up to nearest whole #)	1	3	(1 shared with Visitor total)
Visitor: 0.2 spaces per unit (rounded up to nearest whole #)	27	27	(all standard size, incl. 2 Disability size stalls)
Total Spaces:	5	32	(Including 1 disability space)
Onsite Bicycle Storage Requirements:			
Class 1 long term (1.25 spaces per unit)	Required	Proposed	
Class 2 short term (0.2 per unit)	5	28	
		6	(x31 spaces provided, minimum 50% shall be standard stalls)

LIST OF CONSULTANTS

- DEVELOPER:** South Street Development Group
200-1778 West 2nd Avenue
Vancouver, BC V6J 1H6
T: 604.714.0573
info@southstreet.ca
- ARCHITECT:** HOTSON Architecture Inc.
215-35 West 5th Avenue
Vancouver, BC V6T 1H4
T: 604.689.6726
info@hotson.ca
- LANDSCAPE ARCHITECT:** Prospect & Reluge Landscape Architects
102-1661 West 2nd Avenue
Vancouver, BC V6J 1H3
T: (604) 649-1003
info@prospectandreluge.com
- SURVEYOR:** LNLS - Metro Vancouver Land Surveyors
5922 Victoria Blvd, Vesp 2T6
Vancouver, BC V6P 2T6
T: (604) 327-1535
- ARBORIST:** ACL Group - Arboritech Consulting
145 - 125th Horseshoe Way
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T: (604) 275-3484
- GEOTECHNICAL:** Davies Geotechnical Inc.
2 - 1520 Cireden Avenue
Vancouver, BC V6E 2G6
T: (604) 395-2200
- CIVIL:** MPT Engineering Co. Ltd.
200 - 1172 Horseshoe Way
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T: (604) 270-9371
- STRUCTURAL:** Goodman Simpson Group of Companies
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- CODE:** GHL Consultants Ltd.
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Burnaby, BC V5G 4E1
T: (604) 294-8414
- ELECTRICAL:** Smith + Andersen
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Burnaby, BC V5G 4E1
T: (604) 294-8414
- ENVELOPE - ENERGY MODEL:** BC Building Science
611 Bent Court
New Westminster, BC V3M 1V3
T: (604) 520-4458

DRAWING LIST

- A000 COVER PAGE & DEVELOPMENT DATA
- A001 SITE EXTERIOR AND INTERIOR PHOTOS
- A002 SITE STREET SCAPES
- A003 PROJECT SUMMARY + DESIGN RATIONALE
- A004 PROJECT PERSPECTIVE VIEWS
- A005 PROJECT PERSPECTIVE VIEWS
- A006 SHADOW ANALYSIS
- A007 SURVEY PLAN
- A008 SUBDIVISION PLAN
- A009 SITE PLAN
- A010 LOT AREA & SATIS PLANS
- A011 LOT AREA & SATIS PLANS GROUND LEVEL
- A012 OUTDOOR SPACE OVERLAY PLAN SECOND LEVEL
- A013 WASTE MANAGEMENT PLAN
- A014 PROPOSED LOT COVERAGE OVERLAY
- A015 NON-POROUS SURFACES OVERLAY GROUND LEVEL
- A016 ACCESSIBLE CIRCULATION ROUTES SECOND LEVEL
- A017 DESIGN CONCEPT DIAGRAMS
- A018 MATERIAL PRECEDENTS
- A019 GROUND FLOOR PLAN
- A020 SECOND FLOOR PLAN
- A021 THIRD FLOOR PLAN
- A022 ROOF PLAN
- A023 ENLARGED ENTRY AREA
- A024 ENLARGED ENTRY AREA
- A025 ENLARGED BASIC UNIVERSAL HOUSING UNIT - UNIT TYPE D
- A026 ENLARGED PLAN - UNIT TYPE A
- A027 SOUTH - EAST ELEVATIONS
- A028 ENLARGED TYPICAL UNIT ELEVATION
- A029 ENLARGED STREETSCAPE
- A030 BUILDING SECTIONS + COURTYARD ELEVATIONS
- A031 BUILDING SECTIONS
- A032
- A033
- A034
- A035
- A036
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- A038
- A039
- A040
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- A060

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After the completion of the work the contractor shall verify all measurements and discrepancies between this drawing and the actual construction are to be reported to the architect immediately for the architect's review and approval.

REVISIONS AND ISSUES:	REV	DESCRIPTION	DATE
1	ISSUED FOR RECORDING	MAY 28, 2019	
2	ISSUED FOR DEVELOPMENT PERMIT	FEBRUARY 26, 2020	
3	RE-ISSUED FOR DEVELOPMENT PERMIT	JULY 6, 2020	
4	RE-ISSUED FOR DEVELOPMENT PERMIT	AUGUST 20, 2020	
5	RE-ISSUED FOR DEVELOPMENT PERMIT	SEPTEMBER 11, 2020	

Project: 8671-8731 SPIRES RD
Address: 8671-8731 Spires Road
 Richmond, BC

Title: COVER PAGE + DEVELOPMENT DATA

Scale: AS INDICATED
Date: September 11, 2020
Project #: 1805

Drawing #: A000

HOTSON
 HOTSON ARCHITECTURE INC.
 115-1200 BURNABY STREET
 BURNABY, BC V5A 1S4
 WWW.HOTSONARCHITECTURE.COM

DP 18-875398
PLAN # 1

OCT 05 2020



1 VIEW FROM SPIRES ROAD AT COOK GATE



2 AERIAL VIEW FROM SOUTHWEST



3 VIEW FROM SPIRES ROAD AT COOK CRESCENT

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Please be advised that the architect is not responsible for any errors or omissions in this drawing and that the architect is not responsible for any construction or other work done in reliance on this drawing.

Revisions and Issues:

REV	DESCRIPTION	DATE
1	ISSUED FOR PERMITTING	MAY 23, 2019
2	RE-ISSUED FOR DEVELOPMENT PERMIT	FEBRUARY 7, 2020
3	RE-ISSUED FOR DEVELOPMENT PERMIT	JULY 16, 2020
4	RE-ISSUED FOR DEVELOPMENT PERMIT	AUGUST 20, 2020
5	RE-ISSUED FOR DEVELOPMENT PERMIT	SEPTEMBER 11, 2020

HOTSON

HOESON Architecture Inc.
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Richmond, BC V6V 1K7
Tel: 604-273-8888

PLAN # 3

OCT 05 2020

DP 18-875398

Project: 8471-8751 SPIRES RD
Address: 8471-8751 Spires Road
Richmond, BC

Title: PROJECT PERSPECTIVE
VIEWS

Scale: AS INDICATED
Date: September 11, 2020
Project #: 1805

Drawing #: A004



1 VIEW OF COURTYARD LOOKING EAST



2 VIEW OF ENTRY FROM ACROSS SPIRES ROAD



3 VIEW FROM SPIRES ROAD SIDEWALK LOOKING WEST



4 VIEW OF SOUTH ELEVATION FROM ACROSS SPIRES ROAD

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 Prior to commencement of the Work, the Contractor shall verify all dimensions, details and levels to include any errors and omissions, correct them, and bring them down to the attention of the owner for confirmation.

Revisions and Issues:

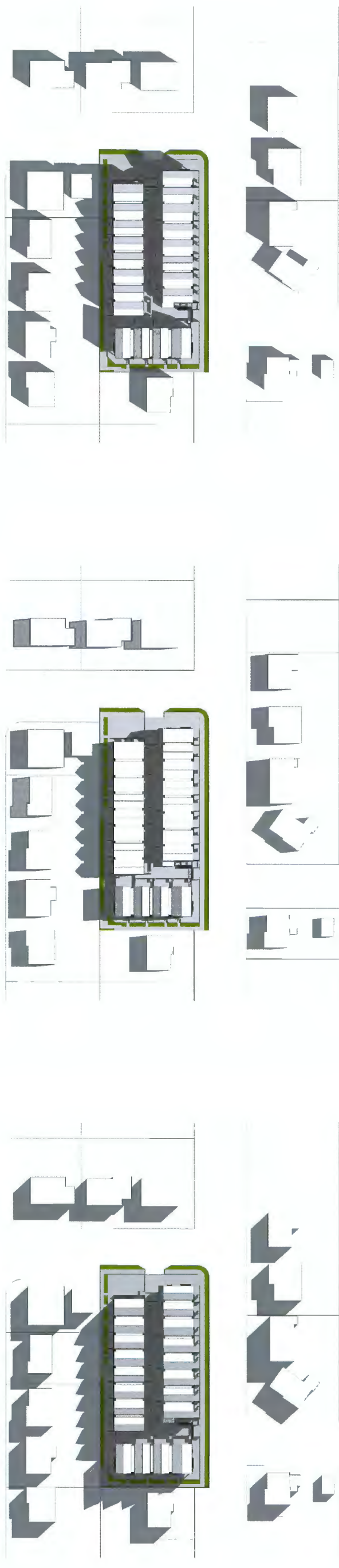
REV	DESCRIPTION	DATE
1	ISSUED FOR REVISION	APR 26, 2019
2	ISSUED FOR DEVELOPMENT PERMIT	FEBRUARY 24, 2020
3	RE-ISSUED FOR DEVELOPMENT PERMIT	JULY 8, 2020
4	RE-ISSUED FOR DEVELOPMENT PERMIT	AUGUST 20, 2020
5	RE-ISSUED FOR DEVELOPMENT PERMIT	SEPTEMBER 11, 2020

HOTSON OCT 05 2020
 125-25 West 5th Street
 Richmond, VA 23298
 www.hotson.com

Project: 8671-8731 SPIRES RD
 8671-8731 Spires Road
 Richmond, BC

Title: PROJECT PERSPECTIVE VIEWS
 Scale: AS INDICATED
 Date: September 11, 2020
 Project #: 1805

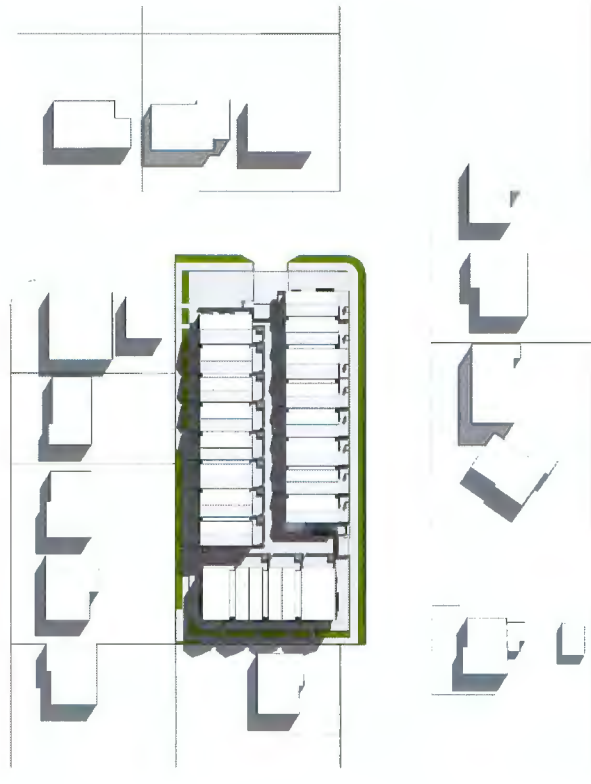
DP 18-875398
 PLAN #4
 Drawing #: A005



March 21: 10am

March 21: 12pm

March 21: 2pm



June 21: 10am

June 21: 12pm

June 21: 2pm

This drawing is not to be used for construction without the written consent of the designer.
 Prior to commencement of the work, the Contractor shall verify all dimensions, values and levels to identify any and all errors. Contractor shall verify that the drawings are in accordance with the latest revision of the drawing for construction.

Revisions and Issues:

REV	DESCRIPTION	DATE
1	ISSUED FOR RECORDING	MAY 26, 2019
2	ISSUED FOR DEVELOPMENT PERMIT	FEBRUARY 16, 2020
3	RE-ISSUED FOR DEVELOPMENT PERMIT	JULY 8, 2020
4	RE-ISSUED FOR DEVELOPMENT PERMIT	AUGUST 20, 2020
5	RE-ISSUED FOR DEVELOPMENT PERMIT	SEPTEMBER 11, 2020

Project: 8671-8751 SPIRES RD
 Address: 8671-8751 Spires Road
 Richmond, BC

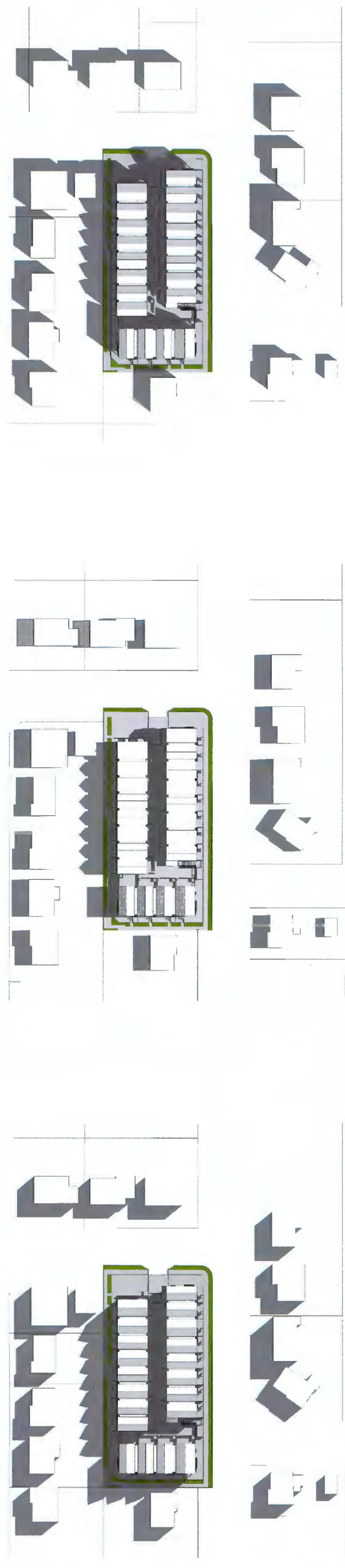
Title: SHADOW ANALYSIS

Scale: NTS
 Date: September 11, 2020
 Project #: 1805

Drawing #: A006

HOTSON
 HOTSON ARCHITECTURE INC.
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 Vancouver, BC V6C 2M7
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OCT 05 2020
 PLAN # 15
 DP 18-875398



September 21: 10am

September 21: 12pm

September 21: 2pm



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 Prior to commencement of the work, the Contractor shall verify all materials and dimensions on the drawings and shall be responsible for any discrepancies between the drawings and the actual construction.
 Errors on drawings and any other issues shall be the attention of the owner for clarification.

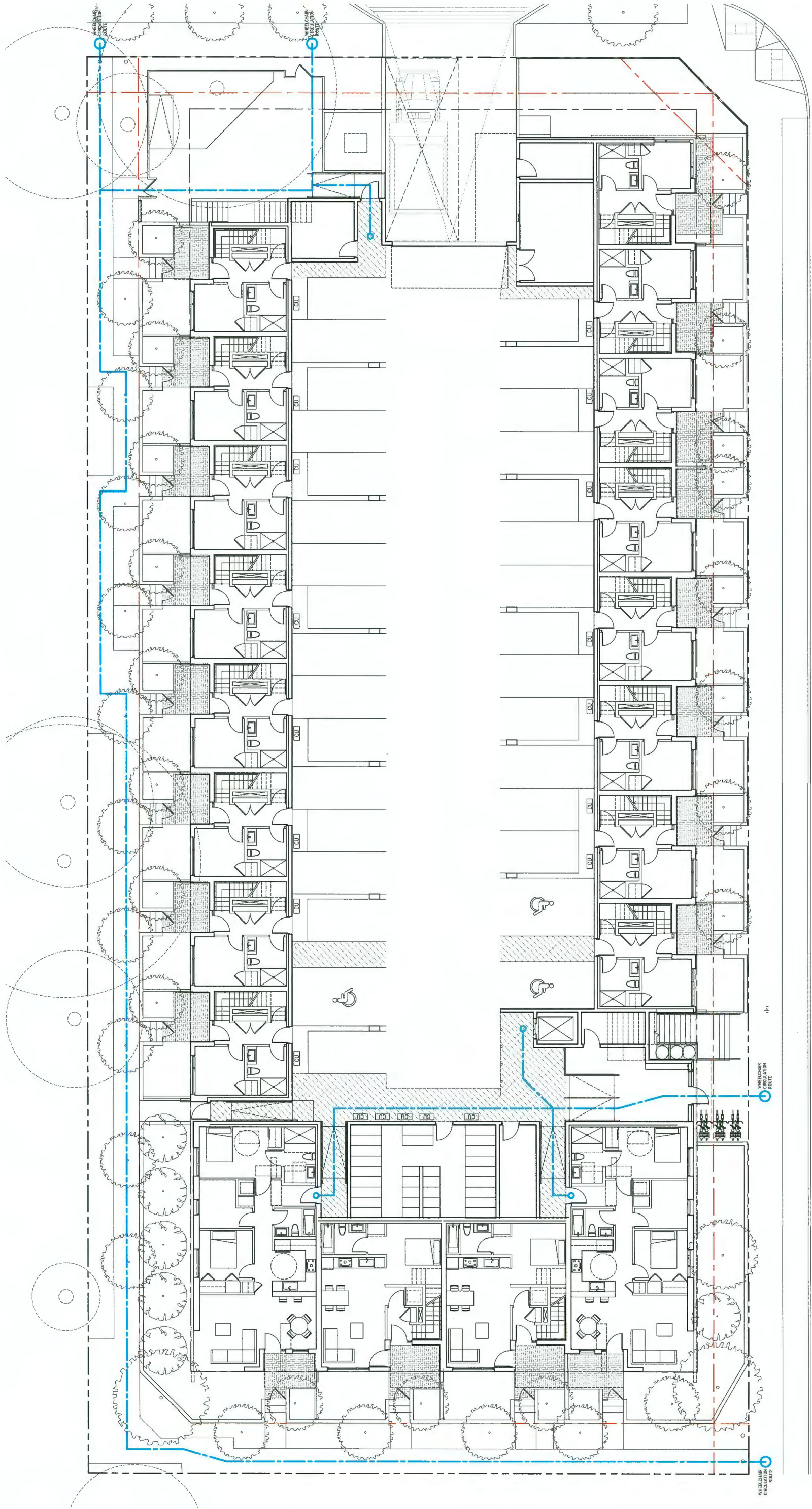
Revisions and Issues:

REV	DESCRIPTION	DATE
1	ISSUED FOR RECORDING	MAY 20, 2017
2	ISSUED FOR DEVELOPMENT PERMIT	FEBRUARY 24, 2020
3	RE-ISSUED FOR DEVELOPMENT PERMIT	JULY 6, 2020
4	RE-ISSUED FOR DEVELOPMENT PERMIT	AUGUST 30, 2020
5	RE-ISSUED FOR DEVELOPMENT PERMIT	SEPTEMBER 11, 2020

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 Fax: 604.273.1585

PLAN #6
 OCT 05 2020
 DP 18-875398

Project: 8671-8731 SPRES RD
 Address: 8671-8731 Spines Road
 Richmond, BC
 Title: SHADOW ANALYSIS
 Scale: NTS
 Date: September 11, 2020
 Project #: 188
 Drawing #: A007



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Revisions and Issues:

REV	DESCRIPTION	DATE
1	ISSUED FOR PERMITTING	JULY 26, 2017
2	ISSUED FOR DEVELOPMENT PERMIT	SEPTEMBER 17, 2020
3	RE-ISSUED FOR DEVELOPMENT PERMIT	JULY 7, 2020
4	RE-ISSUED FOR DEVELOPMENT PERMIT	AUGUST 28, 2020
5	RE-ISSUED FOR DEVELOPMENT PERMIT	SEPTEMBER 11, 2020

Project: 8471-8731 SPIRES RD
 Address: 8471-8731 Spires Road
 Richmond, BC

Title: ACCESSIBLE CIRCULATION
 ROUTES GROUND FLOOR

Scale: 1:100
 Date: September 11, 2020
 Project #: 1605
 Drawing #: A017

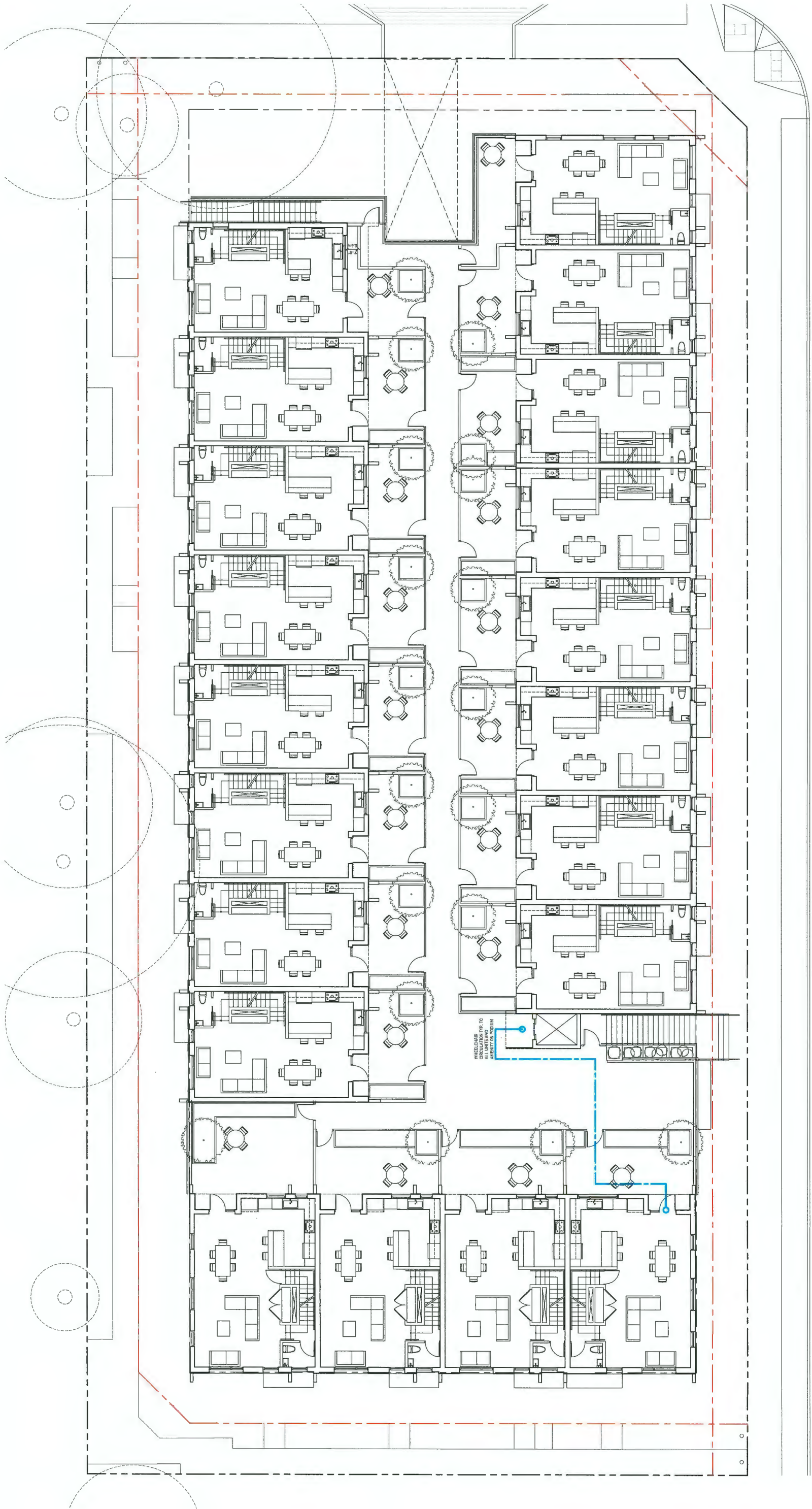
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OCT 05 2020

PLAN # 8

SCALE BAR
 0 5' 10'

DP 18-875398



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Prior to commencement of the work, the contractor shall verify all dimensions and quantities shown on this drawing and shall be responsible for any discrepancy between the drawing and the actual construction. The contractor shall be responsible for any error or omission in the drawing.

Revisions and Issues:

REV	DESCRIPTION	DATE
1	ISSUED FOR REVIEW	MAY 28, 2017
2	ISSUED FOR DEVELOPMENT PERMIT	FEBRUARY 14, 2018
3	RE-ISSUED FOR DEVELOPMENT PERMIT	JULY 9, 2018
4	RE-ISSUED FOR DEVELOPMENT PERMIT	AUGUST 28, 2019
5	RE-ISSUED FOR DEVELOPMENT PERMIT	SEPTEMBER 11, 2020

Project: 8671-8721 SPRING RD
 Address: 8671-8721 Spring Road
 Richmond, BC

Title: ACCESSIBLE CIRCULATION
 ROUTES SECOND FLOOR

Scale: 1:100
 Date: September 11, 2020
 Project #: 1605
 Drawing #: A018

HOTSON
 HOTSON ARCHITECTURE INC.
 1000 UNIVERSITY ST. SUITE 100
 VANCOUVER, BC V6E 2E6
 TEL: 604.278.1144

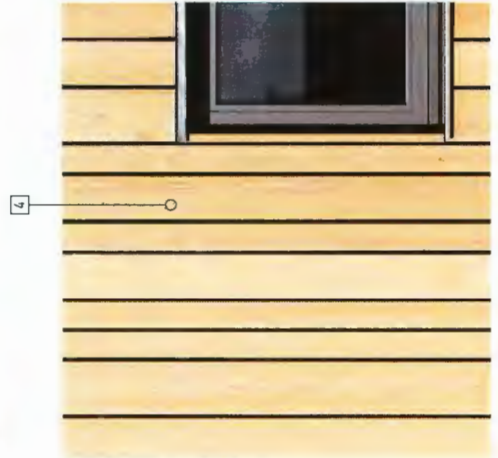
PLAN #9

OCT 05 2020

SCALE BAR
 1" = 5' = 10'

DP 18-875398

MATERIAL LEGEND	
1	COMPOSITE PLANK SIDING
2	WHITE FINISH
3	COMPOSITE PANEL
4	DK GRAY FINISH
5	WOOD CLADDING - TD
6	PAINTED METAL
7	DK GRAY FINISH
8	PRE-FINISHED WINDOWS
9	BLACK FRAME
10	WOOD L.T. DARK STAIN
11	METAL POCKET BOARD
12	DK GRAY FINISH
13	METAL POCKET BOARD
14	FINISHED CONCRETE
15	WOOD CLADDING - TD
16	COMPOSITE PLANK SIDING
17	WHITE FINISH
18	WOOD CLADDING - TD
19	PAINTED METAL
20	DK GRAY FINISH
21	PRE-FINISHED WINDOWS
22	BLACK FRAME
23	WOOD L.T. DARK STAIN
24	METAL POCKET BOARD
25	DK GRAY FINISH
26	METAL POCKET BOARD
27	FINISHED CONCRETE
28	WOOD CLADDING - TD
29	COMPOSITE PLANK SIDING
30	WHITE FINISH
31	WOOD CLADDING - TD
32	PAINTED METAL
33	DK GRAY FINISH
34	PRE-FINISHED WINDOWS
35	BLACK FRAME
36	WOOD L.T. DARK STAIN
37	METAL POCKET BOARD
38	DK GRAY FINISH
39	METAL POCKET BOARD
40	FINISHED CONCRETE
41	WOOD CLADDING - TD
42	COMPOSITE PLANK SIDING
43	WHITE FINISH
44	WOOD CLADDING - TD
45	PAINTED METAL
46	DK GRAY FINISH
47	PRE-FINISHED WINDOWS
48	BLACK FRAME
49	WOOD L.T. DARK STAIN
50	METAL POCKET BOARD
51	DK GRAY FINISH
52	METAL POCKET BOARD
53	FINISHED CONCRETE
54	WOOD CLADDING - TD
55	COMPOSITE PLANK SIDING
56	WHITE FINISH
57	WOOD CLADDING - TD
58	PAINTED METAL
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60	PRE-FINISHED WINDOWS
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63	METAL POCKET BOARD
64	DK GRAY FINISH
65	METAL POCKET BOARD
66	FINISHED CONCRETE
67	WOOD CLADDING - TD
68	COMPOSITE PLANK SIDING
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93	WOOD CLADDING - TD
94	COMPOSITE PLANK SIDING
95	WHITE FINISH
96	WOOD CLADDING - TD
97	PAINTED METAL
98	DK GRAY FINISH
99	PRE-FINISHED WINDOWS
100	BLACK FRAME
101	WOOD L.T. DARK STAIN
102	METAL POCKET BOARD
103	DK GRAY FINISH
104	METAL POCKET BOARD
105	FINISHED CONCRETE
106	WOOD CLADDING - TD
107	COMPOSITE PLANK SIDING
108	WHITE FINISH
109	WOOD CLADDING - TD
110	PAINTED METAL
111	DK GRAY FINISH
112	PRE-FINISHED WINDOWS
113	BLACK FRAME
114	WOOD L.T. DARK STAIN
115	METAL POCKET BOARD
116	DK GRAY FINISH
117	METAL POCKET BOARD
118	FINISHED CONCRETE
119	WOOD CLADDING - TD
120	COMPOSITE PLANK SIDING
121	WHITE FINISH
122	WOOD CLADDING - TD
123	PAINTED METAL
124	DK GRAY FINISH
125	PRE-FINISHED WINDOWS
126	BLACK FRAME
127	WOOD L.T. DARK STAIN
128	METAL POCKET BOARD
129	DK GRAY FINISH
130	METAL POCKET BOARD
131	FINISHED CONCRETE
132	WOOD CLADDING - TD
133	COMPOSITE PLANK SIDING
134	WHITE FINISH
135	WOOD CLADDING - TD
136	PAINTED METAL
137	DK GRAY FINISH
138	PRE-FINISHED WINDOWS
139	BLACK FRAME
140	WOOD L.T. DARK STAIN
141	METAL POCKET BOARD
142	DK GRAY FINISH
143	METAL POCKET BOARD
144	FINISHED CONCRETE
145	WOOD CLADDING - TD
146	COMPOSITE PLANK SIDING
147	WHITE FINISH
148	WOOD CLADDING - TD
149	PAINTED METAL
150	DK GRAY FINISH
151	PRE-FINISHED WINDOWS
152	BLACK FRAME
153	WOOD L.T. DARK STAIN
154	METAL POCKET BOARD
155	DK GRAY FINISH
156	METAL POCKET BOARD
157	FINISHED CONCRETE
158	WOOD CLADDING - TD
159	COMPOSITE PLANK SIDING
160	WHITE FINISH
161	WOOD CLADDING - TD
162	PAINTED METAL
163	DK GRAY FINISH
164	PRE-FINISHED WINDOWS
165	BLACK FRAME
166	WOOD L.T. DARK STAIN
167	METAL POCKET BOARD
168	DK GRAY FINISH
169	METAL POCKET BOARD
170	FINISHED CONCRETE
171	WOOD CLADDING - TD
172	COMPOSITE PLANK SIDING
173	WHITE FINISH
174	WOOD CLADDING - TD
175	PAINTED METAL
176	DK GRAY FINISH
177	PRE-FINISHED WINDOWS
178	BLACK FRAME
179	WOOD L.T. DARK STAIN
180	METAL POCKET BOARD
181	DK GRAY FINISH
182	METAL POCKET BOARD
183	FINISHED CONCRETE
184	WOOD CLADDING - TD
185	COMPOSITE PLANK SIDING
186	WHITE FINISH
187	WOOD CLADDING - TD
188	PAINTED METAL
189	DK GRAY FINISH
190	PRE-FINISHED WINDOWS
191	BLACK FRAME
192	WOOD L.T. DARK STAIN
193	METAL POCKET BOARD
194	DK GRAY FINISH
195	METAL POCKET BOARD
196	FINISHED CONCRETE
197	WOOD CLADDING - TD
198	COMPOSITE PLANK SIDING
199	WHITE FINISH
200	WOOD CLADDING - TD
201	PAINTED METAL
202	DK GRAY FINISH
203	PRE-FINISHED WINDOWS
204	BLACK FRAME
205	WOOD L.T. DARK STAIN
206	METAL POCKET BOARD
207	DK GRAY FINISH
208	METAL POCKET BOARD
209	FINISHED CONCRETE
210	WOOD CLADDING - TD
211	COMPOSITE PLANK SIDING
212	WHITE FINISH
213	WOOD CLADDING - TD
214	PAINTED METAL
215	DK GRAY FINISH
216	PRE-FINISHED WINDOWS
217	BLACK FRAME
218	WOOD L.T. DARK STAIN
219	METAL POCKET BOARD
220	DK GRAY FINISH
221	METAL POCKET BOARD
222	FINISHED CONCRETE
223	WOOD CLADDING - TD
224	COMPOSITE PLANK SIDING
225	WHITE FINISH
226	WOOD CLADDING - TD
227	PAINTED METAL
228	DK GRAY FINISH
229	PRE-FINISHED WINDOWS
230	BLACK FRAME
231	WOOD L.T. DARK STAIN
232	METAL POCKET BOARD
233	DK GRAY FINISH
234	METAL POCKET BOARD
235	FINISHED CONCRETE
236	WOOD CLADDING - TD
237	COMPOSITE PLANK SIDING
238	WHITE FINISH
239	WOOD CLADDING - TD
240	PAINTED METAL
241	DK GRAY FINISH
242	PRE-FINISHED WINDOWS
243	BLACK FRAME
244	WOOD L.T. DARK STAIN
245	METAL POCKET BOARD
246	DK GRAY FINISH
247	METAL POCKET BOARD
248	FINISHED CONCRETE
249	WOOD CLADDING - TD
250	COMPOSITE PLANK SIDING
251	WHITE FINISH
252	WOOD CLADDING - TD
253	PAINTED METAL
254	DK GRAY FINISH
255	PRE-FINISHED WINDOWS
256	BLACK FRAME
257	WOOD L.T. DARK STAIN
258	METAL POCKET BOARD
259	DK GRAY FINISH
260	METAL POCKET BOARD
261	FINISHED CONCRETE
262	WOOD CLADDING - TD
263	COMPOSITE PLANK SIDING
264	WHITE FINISH
265	WOOD CLADDING - TD
266	PAINTED METAL
267	DK GRAY FINISH
268	PRE-FINISHED WINDOWS
269	BLACK FRAME
270	WOOD L.T. DARK STAIN
271	METAL POCKET BOARD
272	DK GRAY FINISH
273	METAL POCKET BOARD
274	FINISHED CONCRETE
275	WOOD CLADDING - TD
276	COMPOSITE PLANK SIDING
277	WHITE FINISH
278	WOOD CLADDING - TD
279	PAINTED METAL
280	DK GRAY FINISH
281	PRE-FINISHED WINDOWS
282	BLACK FRAME
283	WOOD L.T. DARK STAIN
284	METAL POCKET BOARD
285	DK GRAY FINISH
286	METAL POCKET BOARD
287	FINISHED CONCRETE
288	WOOD CLADDING - TD
289	COMPOSITE PLANK SIDING
290	WHITE FINISH
291	WOOD CLADDING - TD
292	PAINTED METAL
293	DK GRAY FINISH
294	PRE-FINISHED WINDOWS
295	BLACK FRAME
296	WOOD L.T. DARK STAIN
297	METAL POCKET BOARD
298	DK GRAY FINISH
299	METAL POCKET BOARD
300	FINISHED CONCRETE



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Revisions and Issues:

REV	DESCRIPTION	DATE
1	ISSUED FOR RECORDING	MAY 24, 2017
2	ISSUED FOR DEVELOPMENT PERMIT	FEBRUARY 14, 2020
3	RE-ISSUED FOR DEVELOPMENT PERMIT	JULY 8, 2020
4	RE-ISSUED FOR DEVELOPMENT PERMIT	AUGUST 20, 2020
5	RE-ISSUED FOR DEVELOPMENT PERMIT	SEPTEMBER 11, 2020

Project: 8471-8731 SPIRES RD
Address: 8471-8731 Spires Road
Richmond, BC

Title: MATERIAL PRECEDENTS

Scale: NTS
Date: September 11, 2020
Project #: 1855

Drawing #: A020

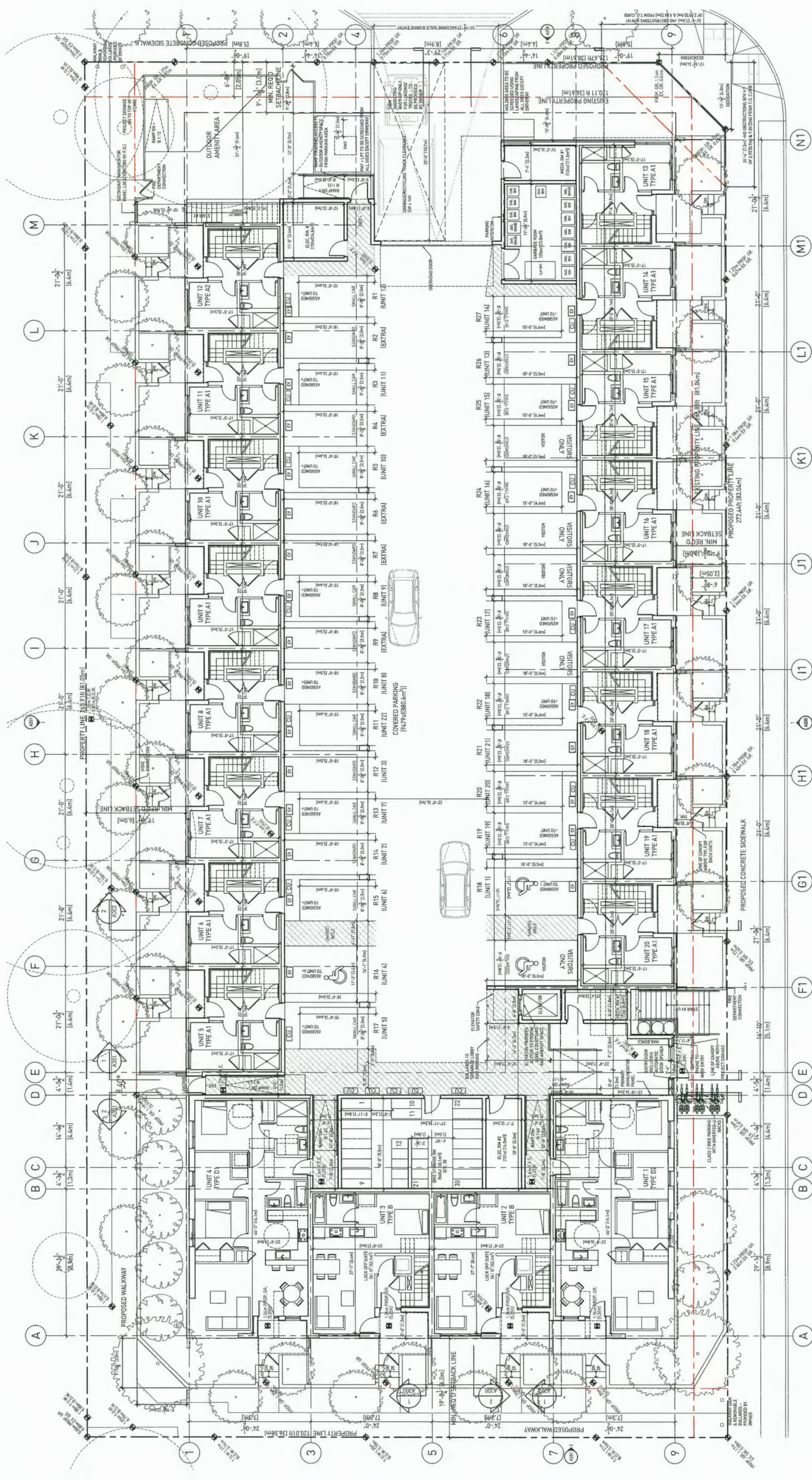
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OCT 05 2020

PLAN #10

DP 18-875398



ALL UNITS TO INCLUDE AGING IN PLACE FEATURES (EG BLOCKING FOR GRAB BARS, BLOCKING FOR STAIR LIFTS, LEVER DOOR HANDLES)

Revisions and Issues:

REV	DESCRIPTION	DATE
1	ISSUED FOR PERMITTING	APR 28, 2017
2	ISSUED FOR DEVELOPMENT PERMIT	FEBRUARY 16, 2020
3	RE-CHECKED FOR DEVELOPMENT PERMIT	JULY 8, 2020
4	RE-CHECKED FOR DEVELOPMENT PERMIT	AUGUST 20, 2020
5	RE-CHECKED FOR DEVELOPMENT PERMIT	SEPTEMBER 11, 2020

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Project: 8471-8731 SPREES RD
 Address: 8471-8731 Sprees Road
 Richmond, BC
 Title: GROUND FLOOR PLAN
 Scale: 1:100
 Date: September 11, 2020
 Project #: 1685
 Drawing #: A100

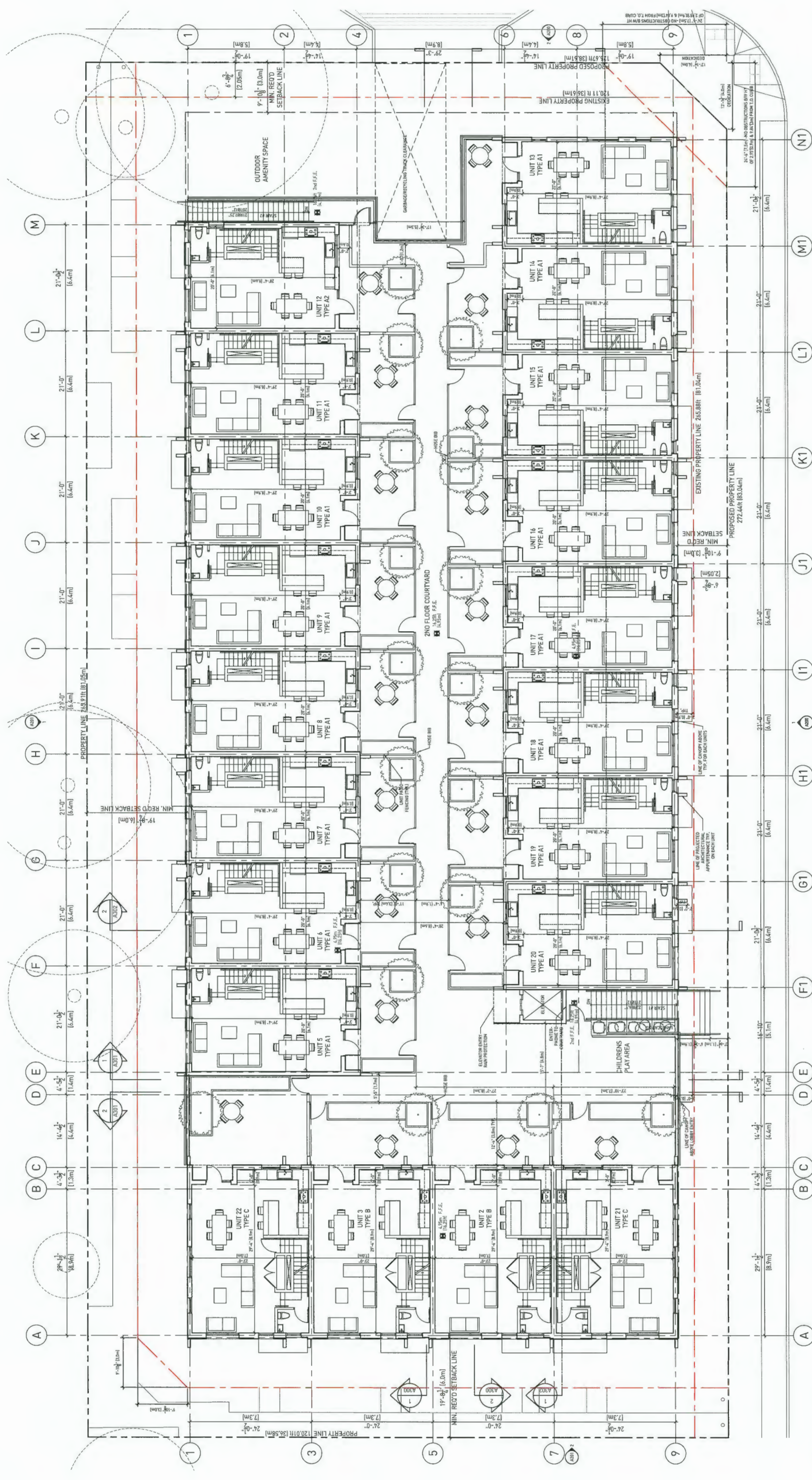
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 ARCHITECTS INC.
 1525 W. 4TH AVENUE
 VANCOUVER, BC V6J 1M8

PLAN #11

OCT 05 2020

SCALE BAR
 0 1' 0" 2' 0" 3' 0" 4' 0" 5' 0" 6' 0" 7' 0" 8' 0" 9' 0" 10' 0"

DP 18-875398



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Revisions and Issues:

REV	OCCUPATION	DATE
1	PROPOSED FOR RECORDING	APR 28, 2020
2	ISSUED FOR DEVELOPMENT PERMIT	FEBRUARY 19, 2020
3	RE-DESIGNED FOR DEVELOPMENT PERMIT	JULY 8, 2020
4	RE-DESIGNED FOR DEVELOPMENT PERMIT	AUGUST 26, 2020
5	RE-DESIGNED FOR DEVELOPMENT PERMIT	SEPTEMBER 11, 2020

ALL UNITS TO INCLUDE AGING IN PLACE FEATURES (EG BLOCKING FOR GRAB BARS, BLOCKING FOR STAIR LIFTS, LEVER DOOR HANDLES)

Project: 8671-8731 SPIRES RD
 Address: 8671-8731 Spires Road
 Richmond, BC
 Title: SECOND FLOOR PLAN
 Scale: 1:100
 Date: September 11, 2020
 Project #: 1605
 Drawing #: A101

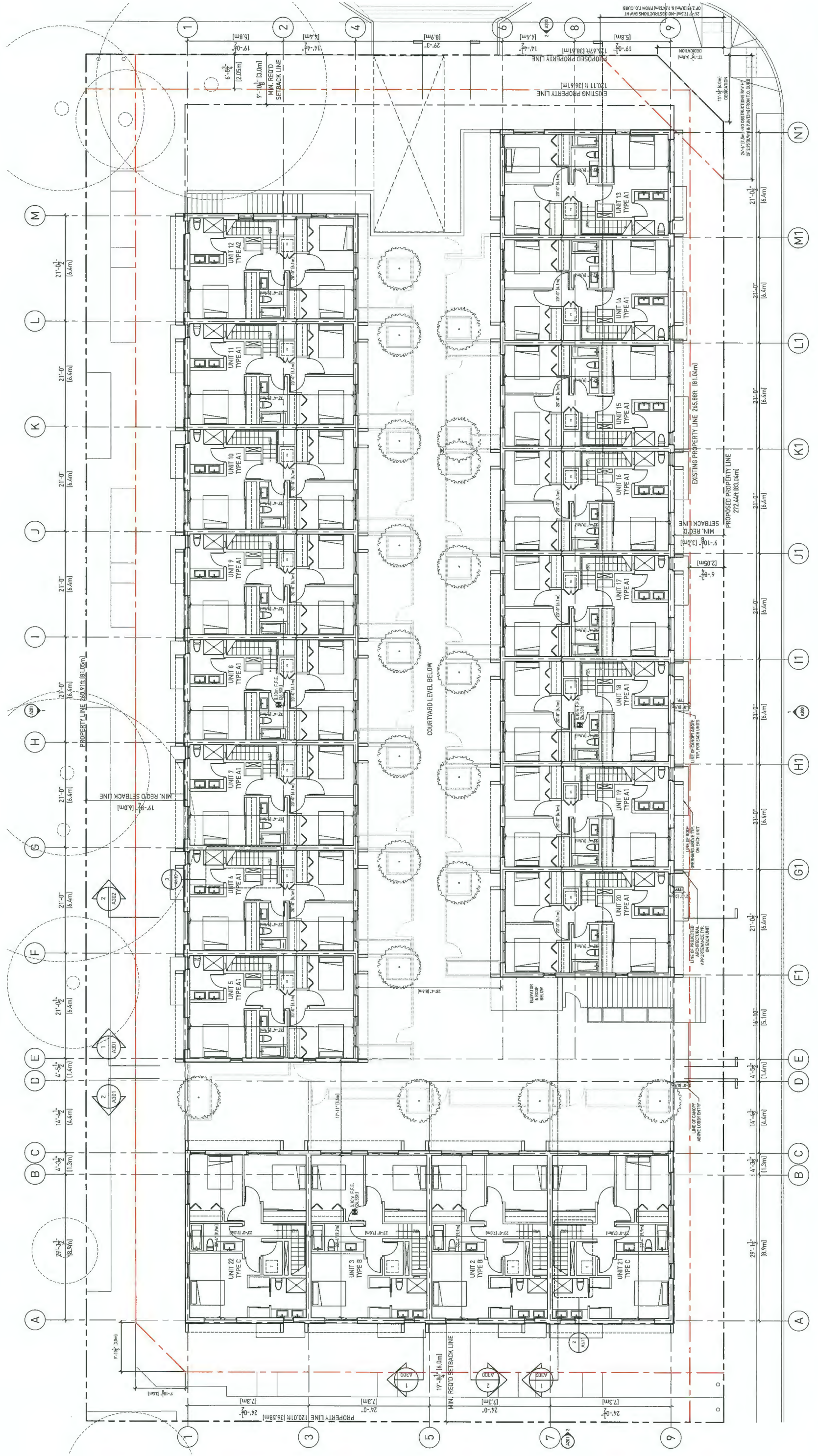
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 1210-1215 STREET 10
 VANCOUVER, BC V6E 2M4
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 WWW.HOTSONARCHITECTURE.COM

PLAN #12

OCT 05 2020

SCALE BAR
 1" = 5' = 10'

DP 18-875398



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Revisions and Issues:

REV	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	MAY 28, 2017
2	ISSUED FOR DEVELOPMENT PERMIT	FEBRUARY 14, 2020
3	RE-ISSUED FOR DEVELOPMENT PERMIT	JULY 18, 2020
4	RE-ISSUED FOR DEVELOPMENT PERMIT	AUGUST 20, 2020
5	RE-ISSUED FOR DEVELOPMENT PERMIT	SEPTEMBER 11, 2020

ALL UNITS TO INCLUDE AGING IN PLACE FEATURES (EG BLOCKING FOR GRAB BARS, BLOCKING FOR STAIR LIFTS, LEVER DOOR HANDLES)

Project: 8471-8721 SPIRES RD
 Address: 8471-8721 Spires Road
 Richmond, BC

Title: THIRD FLOOR PLAN

Scale: 1" = 5' 10"
 Date: September 11, 2020
 Project #: 1805
 Drawing #: A102

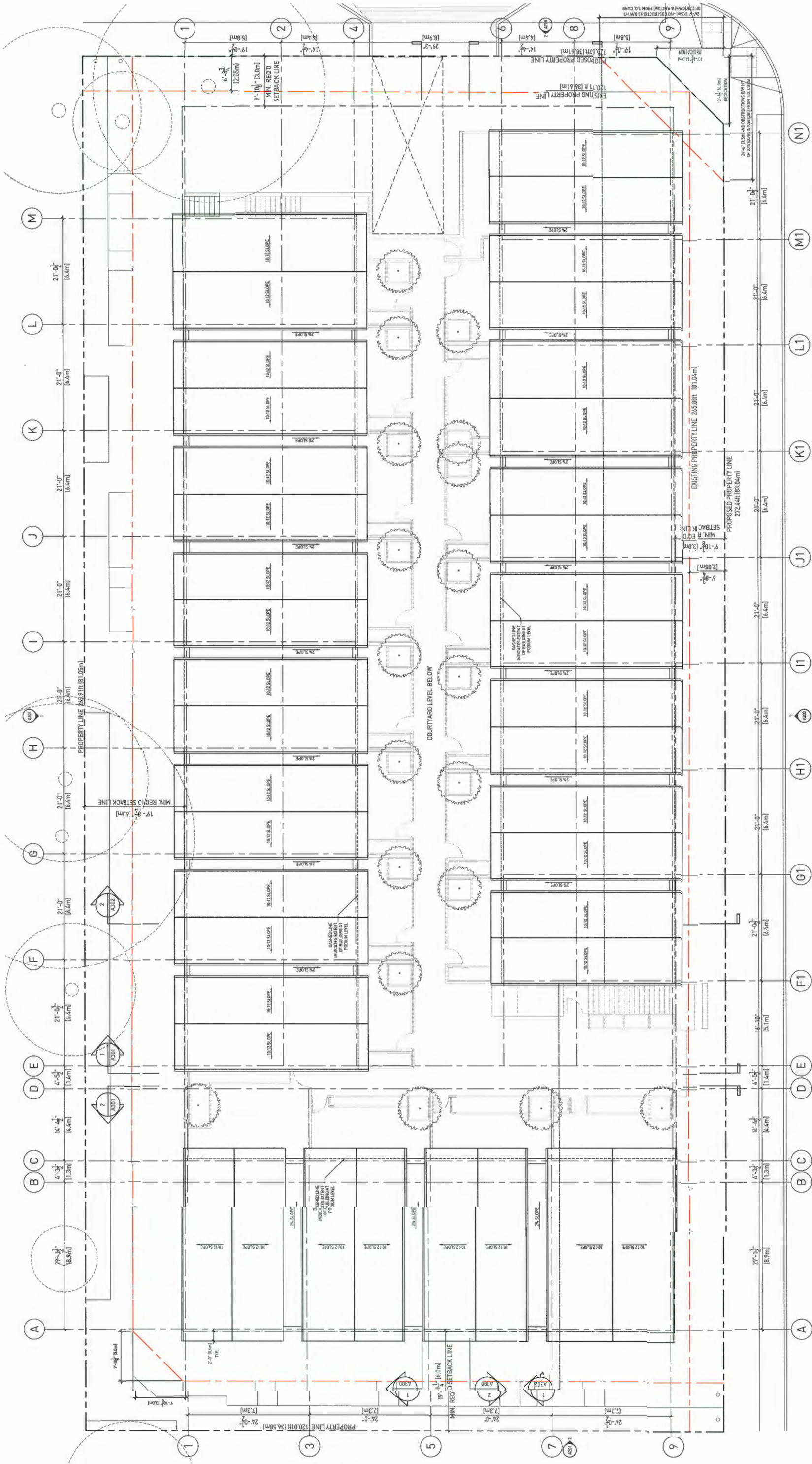
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PLAN # 13

DP

18-875398

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Revisions and Issues:

NO	DESCRIPTION	DATE
1	ISSUED FOR RECORDING	APR 23, 2017
2	ISSUED FOR DEVELOPMENT PERMIT	FEBRUARY 16, 2020
3	RE-ISSUED FOR DEVELOPMENT PERMIT	JULY 8, 2020
4	RE-ISSUED FOR DEVELOPMENT PERMIT	AUGUST 23, 2020
5	RE-ISSUED FOR DEVELOPMENT PERMIT	SEPTEMBER 11, 2020

Project: 8471-8731 SPIRES RD
 Address: 8471-8731 Spires Road
 Richmond, BC

Title: ROOF PLAN

Scale: 1:100
 Date: September 11, 2020
 Project #: 1405
 Drawing #: A103

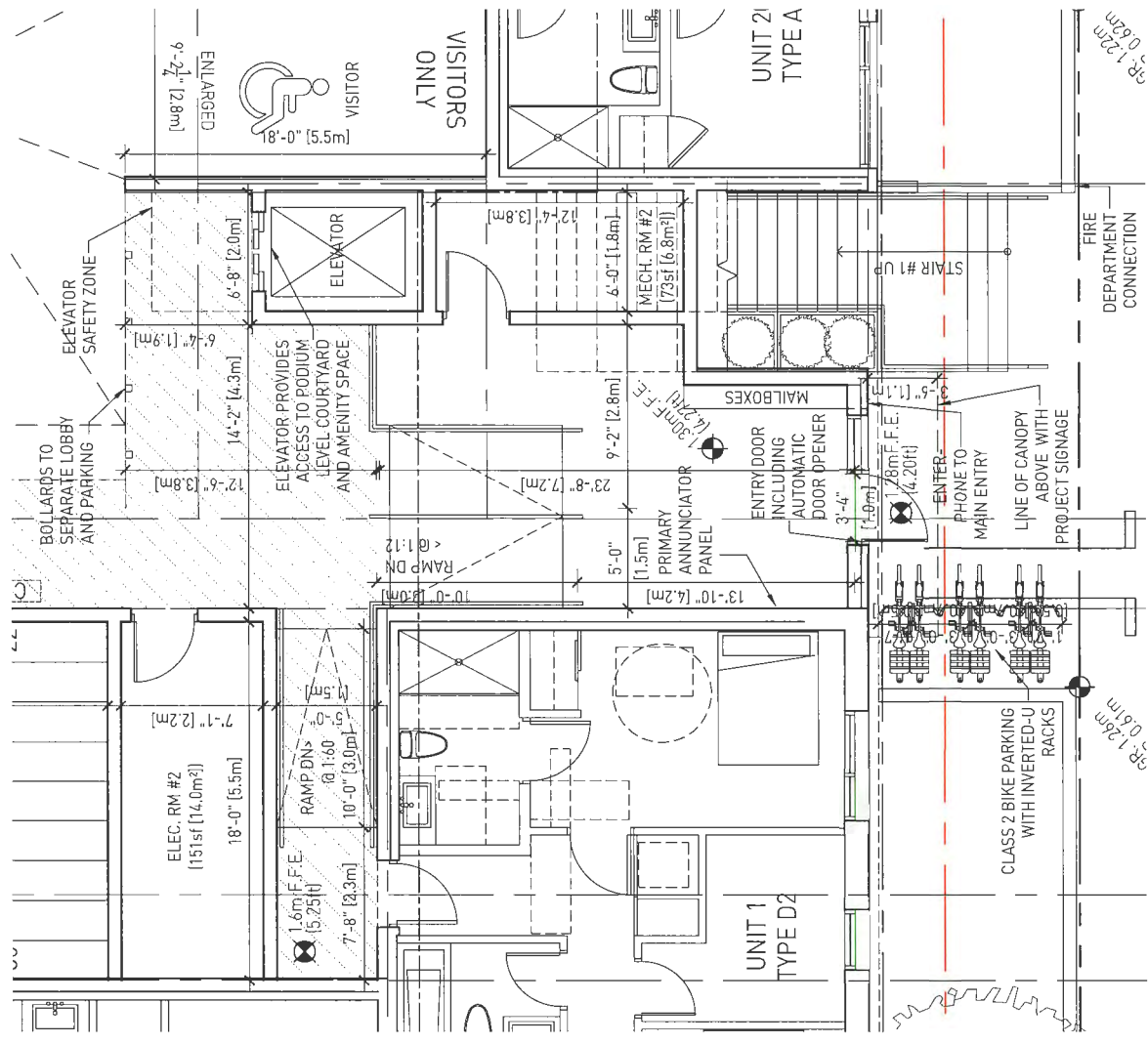
HOTSON
 HOTSON ARCHITECTURE INC.
 1000 AVENUE 66 WEST
 VANCOUVER, BC V6P 6E6
 www.hotson.ca 604.278.4444

SCHEMBAR
 PLAN #14

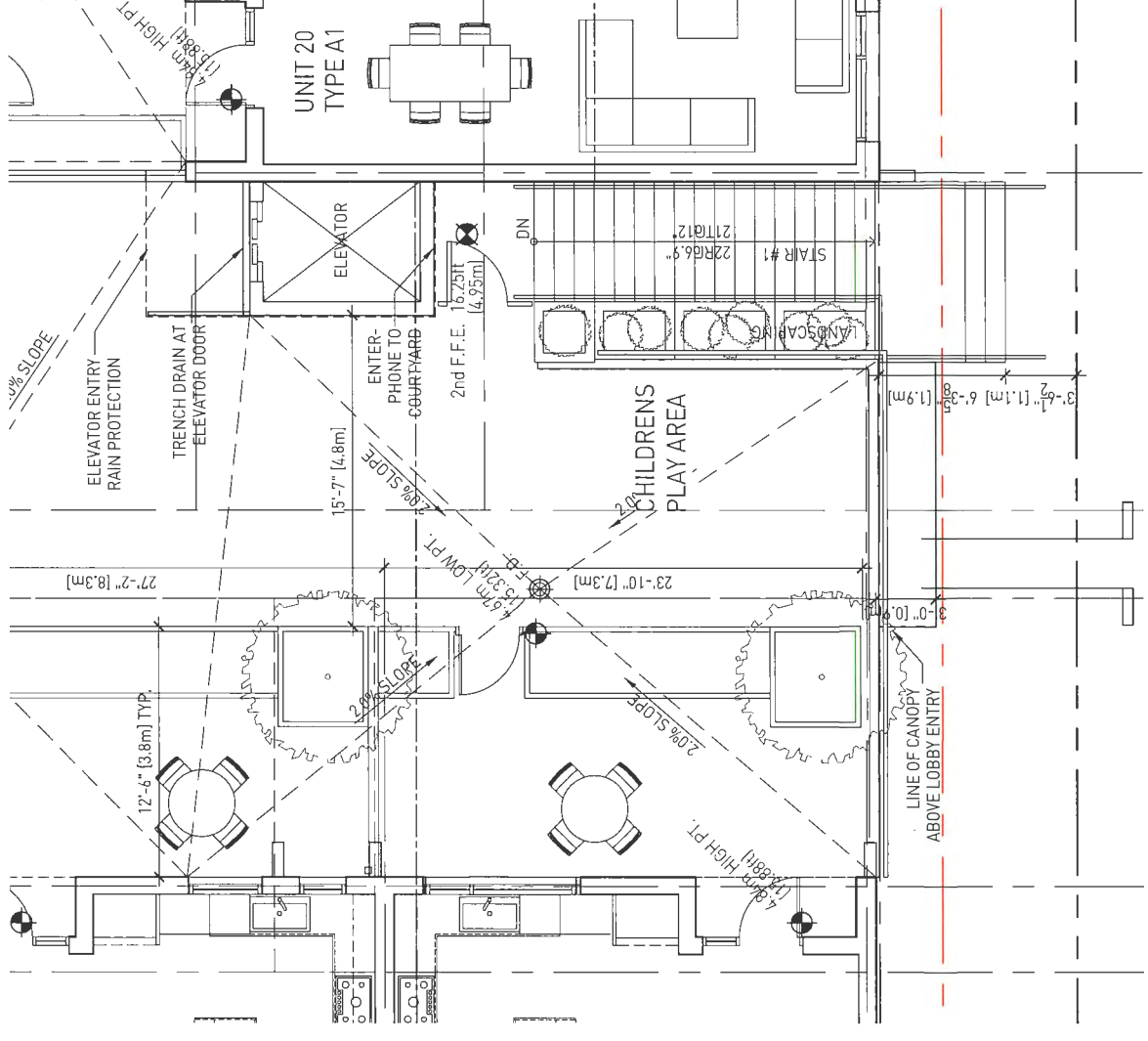
OCT 05 2020

DP 18-875398

1" = 5' = 10'



1 ENLARGED ENTRY AREA AT GROUND LEVEL
1:50



2 ENLARGED ENTRY AREA AT PODIUM LEVEL
1:50

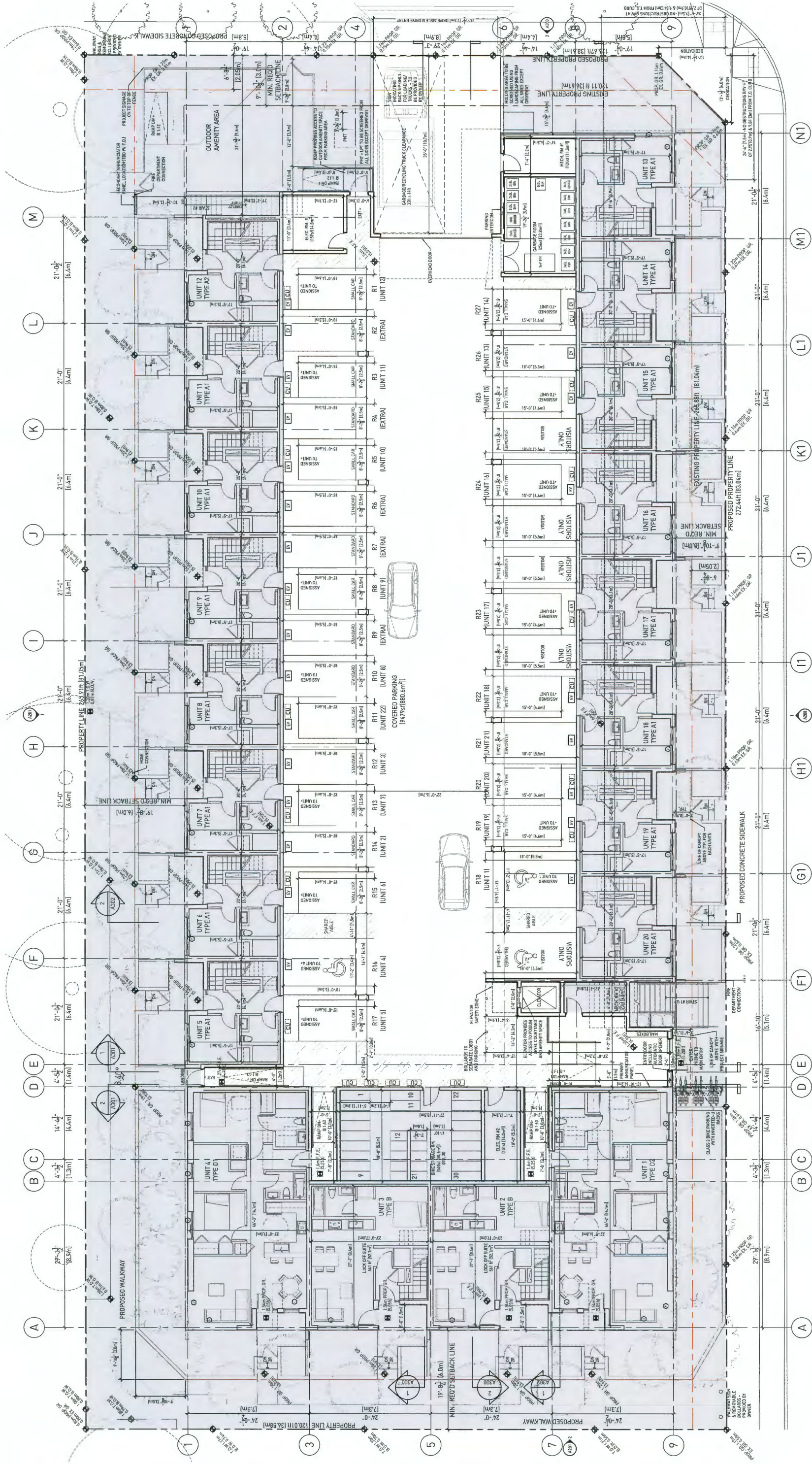
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Revisions and Issues:

REV	DESCRIPTION	DATE
1	ISSUED FOR REVIEWING	MAY 18, 2019
2	ISSUED FOR DEVELOPMENT PERMIT	FEBRUARY 26, 2020
3	RE-ISSUED FOR DEVELOPMENT PERMIT	JULY 8, 2020
4	RE-ISSUED FOR DEVELOPMENT PERMIT	AUGUST 20, 2020
5	RE-ISSUED FOR DEVELOPMENT PERMIT	SEPTEMBER 11, 2020

Project: 8671-8731 SPIRES RD
Address: 8671-8731 Spires Road
Richmond, BC
Title: ENLARGED ENTRY AREA
Scale: 1:50
Date: September 11, 2020
Project #: 1605
Drawing #: A110

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VANCOUVER, BC, CANADA V6Z 1K6
OCT 05 2020
PLAN # 15
SCALE BAR 0' 5' 10'
DP 16875398



Revisions and Issues:

REV	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	MAY 26, 2017
2	ISSUED FOR DEVELOPMENT PERMIT	FEBRUARY 14, 2020
3	RE-ASSED FOR DEVELOPMENT PERMIT	JULY 8, 2020
4	RE-ASSED FOR DEVELOPMENT PERMIT	AUGUST 20, 2020
5	RE-ASSED FOR DEVELOPMENT PERMIT	SEPTEMBER 11, 2020

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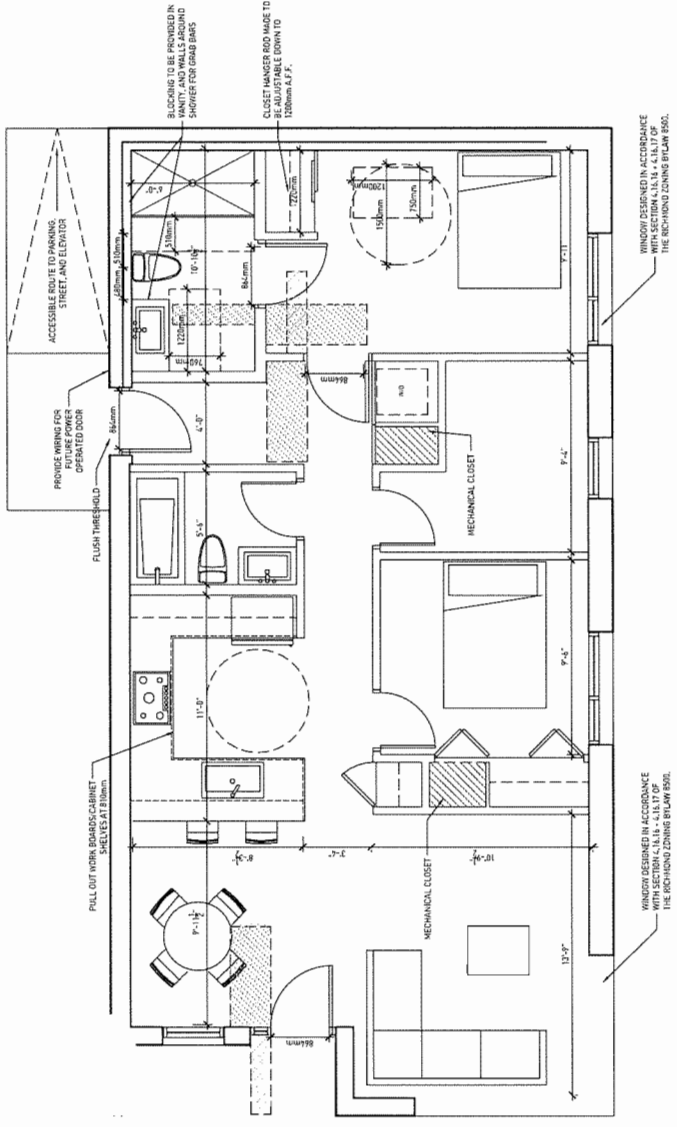
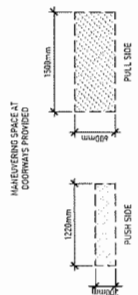
Project: 8471-8731 SPIRES RD
 Address: 8471-8731 Spires Road
 Richmond, BC
 Title: PARKING PLAN
 Scale: 1:100
 Date: September 11, 2020
 Project #: 1805
 Drawing #: A111

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 VANCOUVER, BC V6H 2T6
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OCT 05 2020

PLAN # 16
DP 18-875398
 SCALE: 1" = 5' - 0"
 DATE: OCT 05 2020

BASE UNIVERSAL HOUSING UNIT ARE DESIGNED IN ACCORDANCE WITH SECTION 1.1.3 OF THE PROPOSED ZONING BY-LAW 800.



1 UNIT TYPE D - GROUND FLOOR BASIC UNIVERSAL HOUSING UNIT
1:50

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REV	DESCRIPTION	DATE
1	ISSUED FOR REVISION	MAY 28, 2017
2	ISSUED FOR DEVELOPMENT PERMIT	FEBRUARY 16, 2020
3	RE-CLOSED FOR DEVELOPMENT PERMIT	JULY 8, 2020
4	RE-CLOSED FOR DEVELOPMENT PERMIT	AUGUST 20, 2020
5	RE-CLOSED FOR DEVELOPMENT PERMIT	SEPTEMBER 11, 2020

ALL UNITS TO INCLUDE AGING IN PLACE FEATURES (EG BLOCKING FOR GRAB BARS, BLOCKING FOR STAIR LIFTS, LEVER DOOR HANDLES)

OCT 05 2020

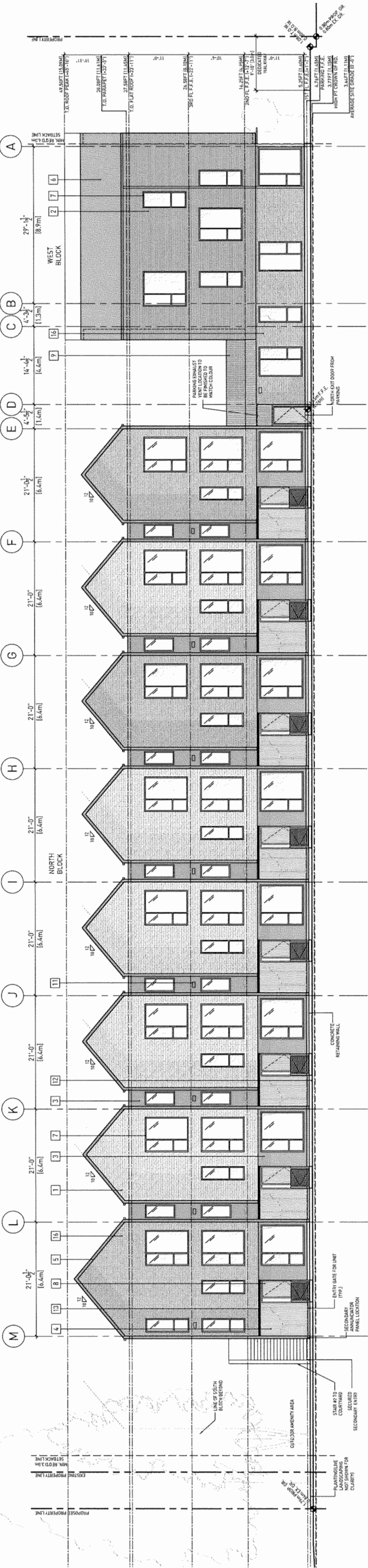
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27-25 WINE ST. SUITE 200
RICHMOND, BC V6V 2K6
TEL: 604-273-1976

PLAN #17

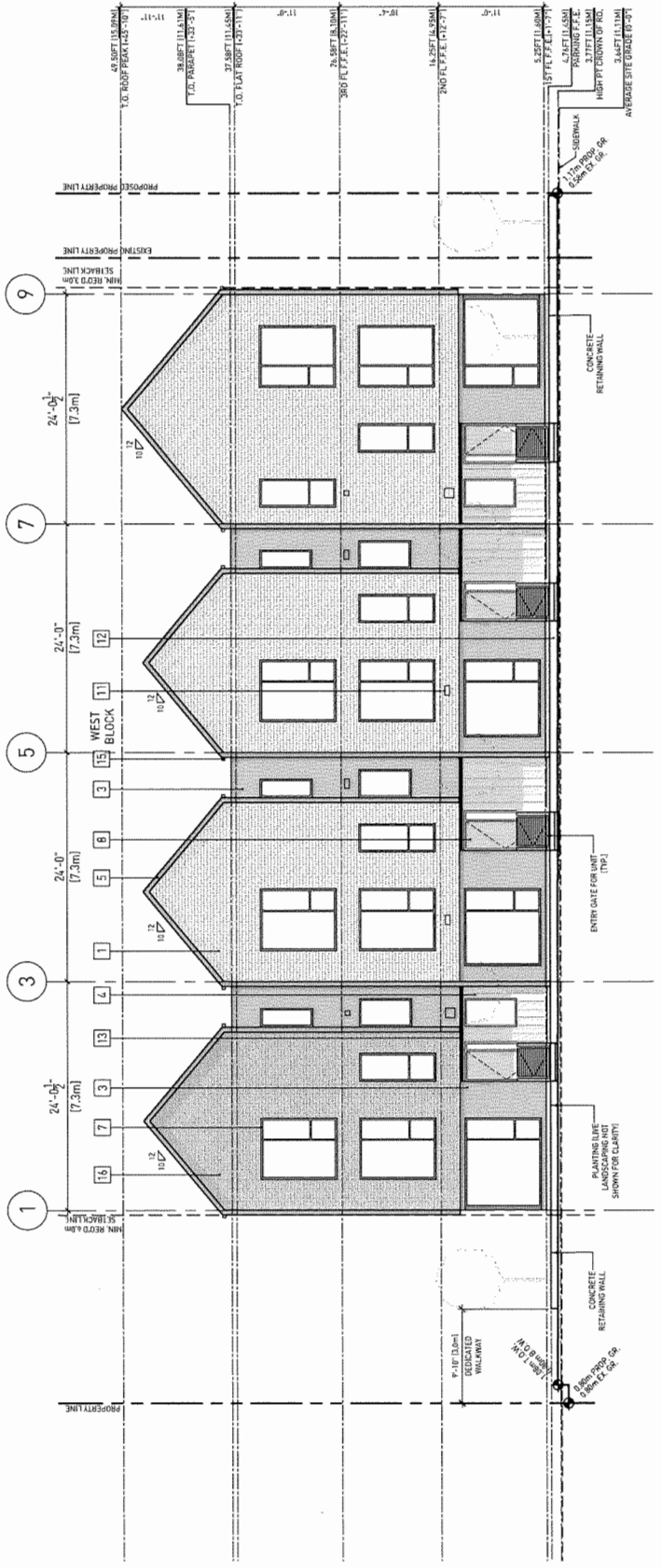
1" = 5' 10"
SCALE BAR
18-875398

DP

Project: B471-8731 SPHRES RD
Address: B471-8731 Sphres Road
Richmond, BC
Title: ENLARGED BASIC UNIVERSAL HOUSING UNIT - UNIT TYPE D
Scale: 1:50
Date: September 11, 2020
Project #: 1805
Drawing #: A112



1 NORTH ELEVATION
1 : 100



2 WEST ELEVATION
1 : 100

MATERIAL LEGEND

1	BRICK VENEER
2	COMPOSITE PLANK SIDING
3	DK GRAY FINISH
4	WOOD CLADDING - 10
5	PAINTED METAL
6	PRE-FINISHED WINDOWS
7	BLACK FRAMING
8	WOOD L. GMA STAIN
9	METAL IMPACT DAMB
10	WOOD SLAT FENCING
11	FINISHED CONCRETE
12	STEEL CLADDING
13	DK GRAY FINISH
14	COMPOSITE PLANK SIDING
15	PRE-FINISHED BUTLER
16	PRE-FINISHED BUTLER
17	COMPOSITE PLANK SIDING

Revisions and Issues:

REV	OCCUPATION	DATE
1	ISSUED FOR RECORDING	MAY 20, 2019
2	ISSUED FOR DEVELOPMENT PERMIT	FEBRUARY 24, 2020
3	RE-CLOSED FOR DEVELOPMENT PERMIT	AUGUST 20, 2020
4	RE-CLOSED FOR DEVELOPMENT PERMIT	AUGUST 20, 2020
5	RE-CLOSED FOR DEVELOPMENT PERMIT	SEPTEMBER 11, 2020

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www.hotson.ca 604.276.1010

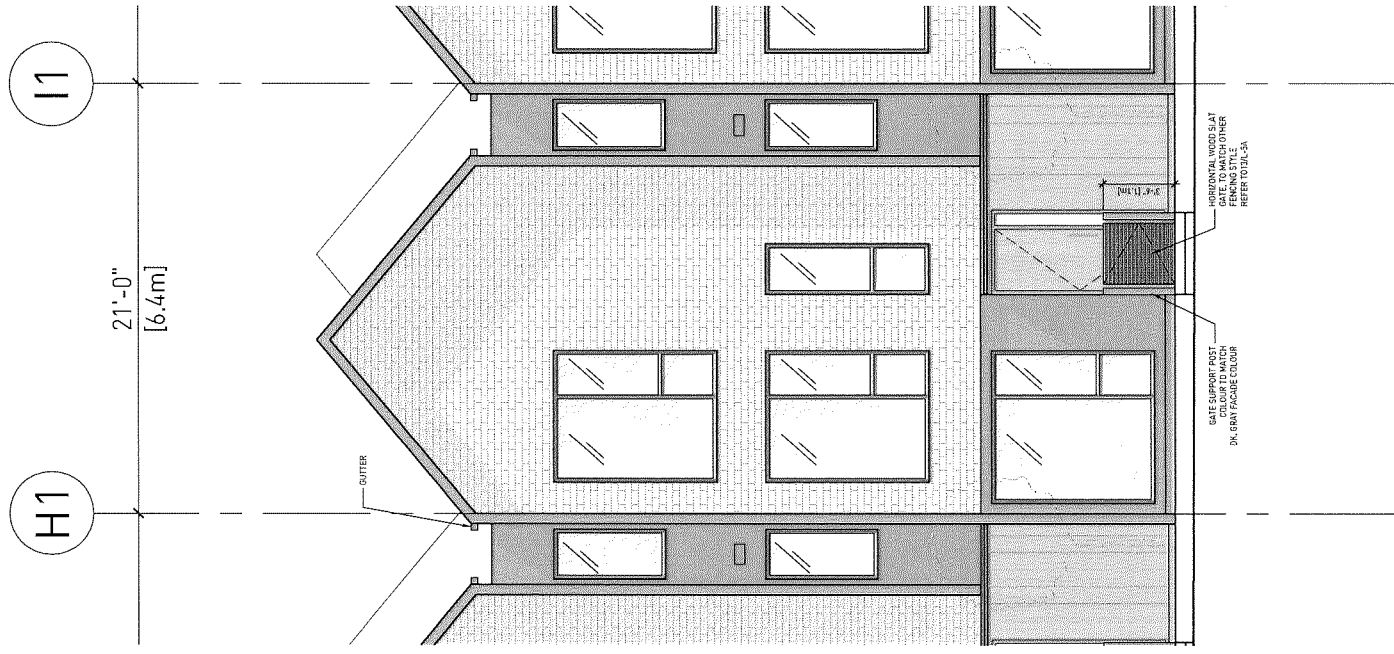
PLAN # 19

SCALE BAR
1" = 5' = 10'

DP 875398

Project: 8871-8731 SPIRES RD
Address: 8871-8731 Spires Road
Richmond, BC
Title: NORTH - WEST ELEVATIONS
Scale: 1 : 100
Date: September 11, 2020
Project #: 1885
Drawing #: A201

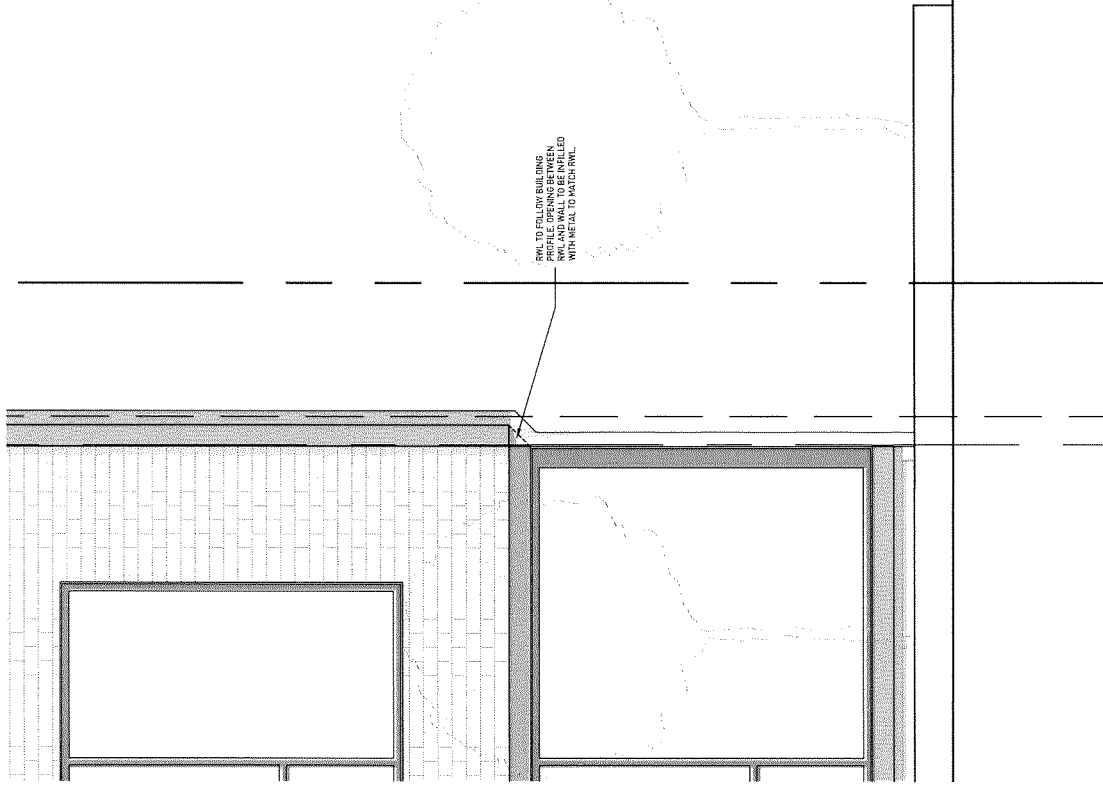
OCT 05 2020



1 SOUTH ELEVATION - UNIT TYPE A1
1 : 50



2 WEST ELEVATION - UNIT TYPE B
1 : 50



3 WEST ELEVATION - UNIT TYPE C+D
1 : 25

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Plan to be implemented at the discretion of the contractor and shall be subject to all applicable laws, regulations and codes to which the contractor is bound. The contractor shall be responsible for obtaining all necessary permits and for providing them to the jurisdiction of the project.

Revisions and Issues:

REV	DESCRIPTION	DATE
1	ISSUED FOR PERMITTING	MAY 25, 2019
2	ISSUED FOR DEVELOPMENT PERMIT	FEBRUARY 24, 2020
3	RE-ISSUED FOR DEVELOPMENT PERMIT	JULY 8, 2020
4	RE-ISSUED FOR DEVELOPMENT PERMIT	AUGUST 20, 2020
5	RE-ISSUED FOR DEVELOPMENT PERMIT	SEPTEMBER 11, 2020

Project: 8471-8731 SPIRES RD
Address: 8471-8731 Spires Road
Richmond, BC
Title: ENLARGED TYPICAL UNIT ELEVATIONS
Scale: AS NOTED
Date: September 11, 2020
Project #: 1669
Drawing #: A202

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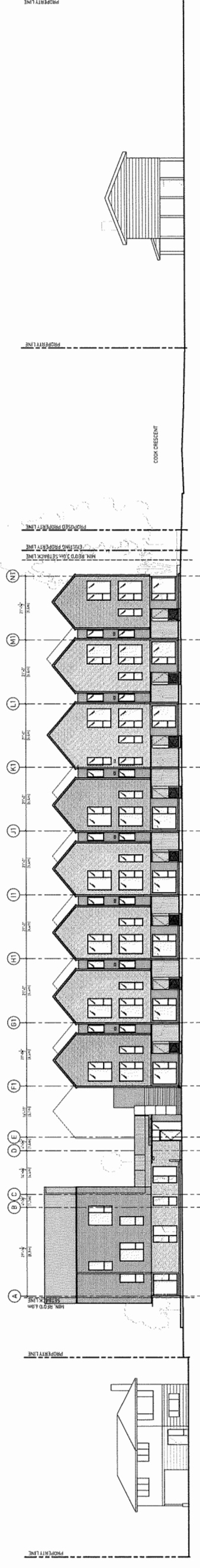
OCT 05 2020

PLAN # 20

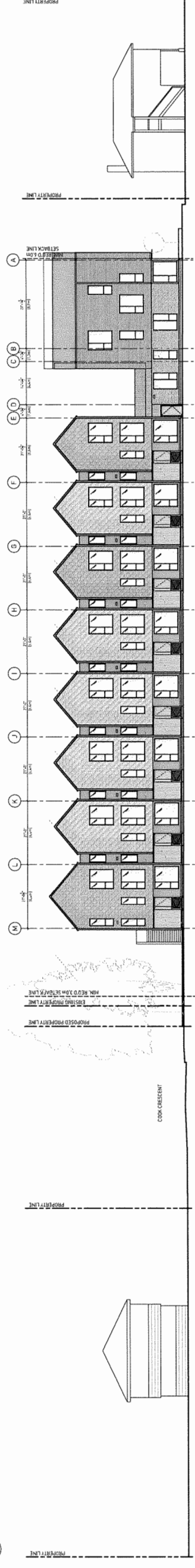
SCALE BAR
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075398

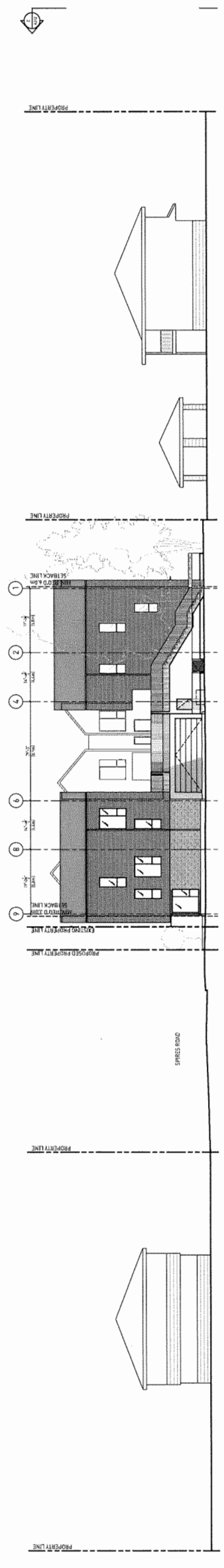
DP



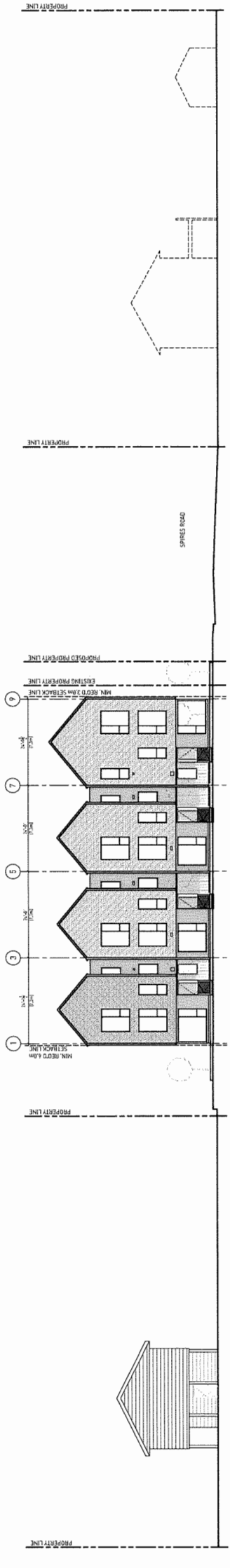
1 SOUTH ELEVATION
1:200



2 NORTH ELEVATION
1:200



3 EAST ELEVATION
1:200



4 WEST ELEVATION
1:200

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Revisions and Issues:

REV	DESCRIPTION	DATE
1	ISSUED FOR RECORDING	MAY 28, 2017
2	ISSUED FOR DEVELOPMENT PERMIT	FEBRUARY 16, 2019
3	RE-ISSUED FOR DEVELOPMENT PERMIT	JULY 8, 2020
4	RE-ISSUED FOR DEVELOPMENT PERMIT	AUGUST 20, 2020
5	RE-ISSUED FOR DEVELOPMENT PERMIT	SEPTEMBER 11, 2020

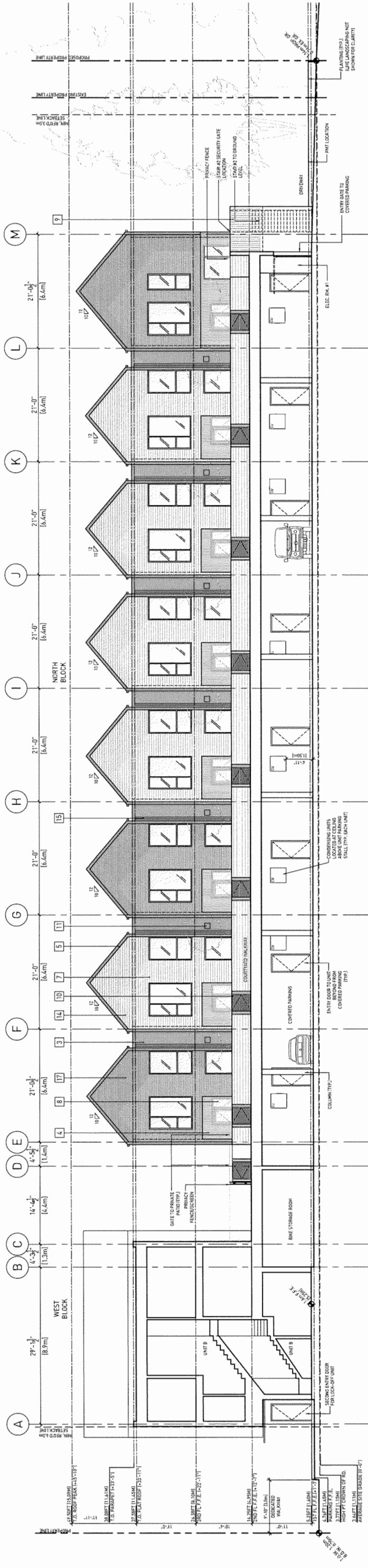
HOTSON
HOTSON Architecture Inc.
270-28 Street 2nd Floor
Richmond, BC V6V 1K6
www.hotson.ca 604.270.1310

OCT 05 2020

PLAN # 21

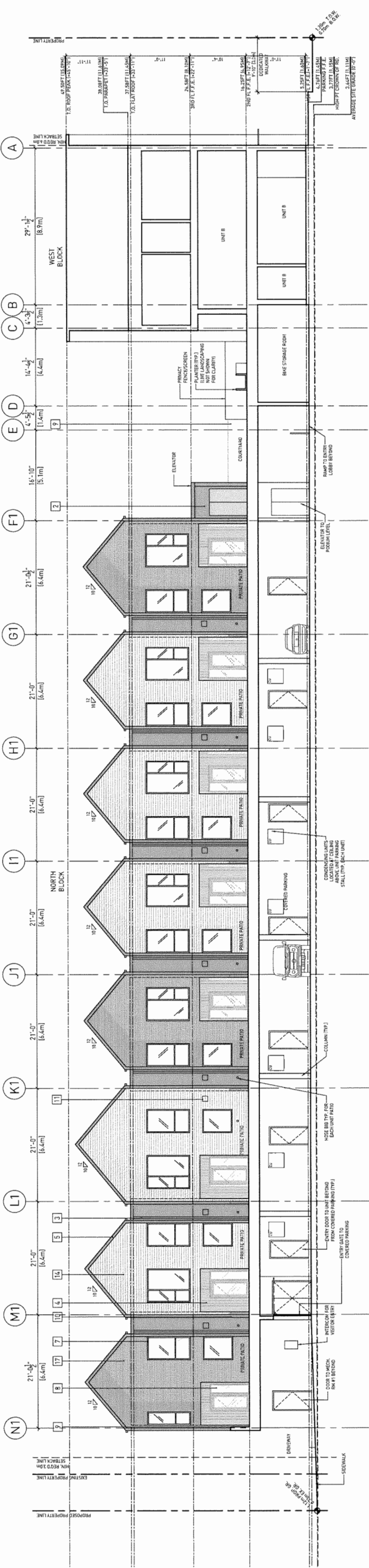
DP 18-875398

Project: 8671-8731 SPICES RD
Address: 8671, 8731 Spices Road
Richmond, BC
Title: RUNNING STREETSCAPES
Scale: 1:200
Date: September 11, 2020
Project #: 1855
Drawing #: A203



1 COURTYARD - SOUTH ELEVATION/SECTION
1 : 100

- MATERIAL LEGEND**
- 1 WHITE FINISH
 - 2 COMPOSITE PLANK SIDING
 - 3 DK GRAY FINISH (HARDWOOD)
 - 4 MATCH ENTRY DOOR
 - 5 PAINTED METAL
 - 6 ASPHALT SHINGLES
 - 7 PRE-FINISHED WINDOWS
 - 8 WOOD 1.5" x 6" x 12"
 - 9 METAL PERFORATED GUARD
 - 10 DK GRAY FINISH
 - 11 COMPOSITE PLANK SIDING
 - 12 MECHANICAL LOWER LEADER - MATCH COLOR
 - 13 FINISHED CONCRETE
 - 14 WOOD SHAKETILING
 - 15 PRE-FINISHED GUTTER/DRAIN
 - 16 MATCH COLOR
 - 17 COMPOSITE PLANK SIDING
 - 18 DK GRAY FINISH (HARDWOOD)



2 COURTYARD - NORTH ELEVATION/SECTION
1 : 100

Copyright reserved. This drawing and its contents are the exclusive property of the architect and shall not be used for any purpose without the written consent of the architect. The drawing is not to be used for construction without the written consent of the architect. Prior to construction of the Work, the Contractor shall verify all dimensions and locations shown on this drawing and the full extent of the Work shall be determined by the architect and the contractor. The contractor shall be responsible for obtaining all necessary permits for the Work.

Revisions and Issues:

REV	DESCRIPTION	DATE
1	ISSUED FOR PERMITTING	MAY 23, 2017
2	ISSUED FOR DEVELOPMENT PERMIT	FEBRUARY 14, 2020
3	RE-DESIGNED FOR DEVELOPMENT PERMIT	JULY 8, 2020
4	RE-DESIGNED FOR DEVELOPMENT PERMIT	AUGUST 20, 2020
5	RE-DESIGNED FOR DEVELOPMENT PERMIT	SEPTEMBER 11, 2020

HOTSON

Architectural Firm
175-25 West 13th Avenue
Richmond, BC V6V 1R9
Tel: 604-273-1111

Project: 8471-8731 SPIRES RD
Address: 8471-8731 Spires Road
Richmond, BC

Title: EASTWEST SECTIONS +
COURTYARD SECTIONS

Scale: 1" = 100'
Date: September 11, 2020
Project #: 1605

Drawing #: A300

OCT 05 2020

PLAN # 22

SCALE BAR 1" = 5' = 10'

DP 18-875398

BENCHMARK NOTES:

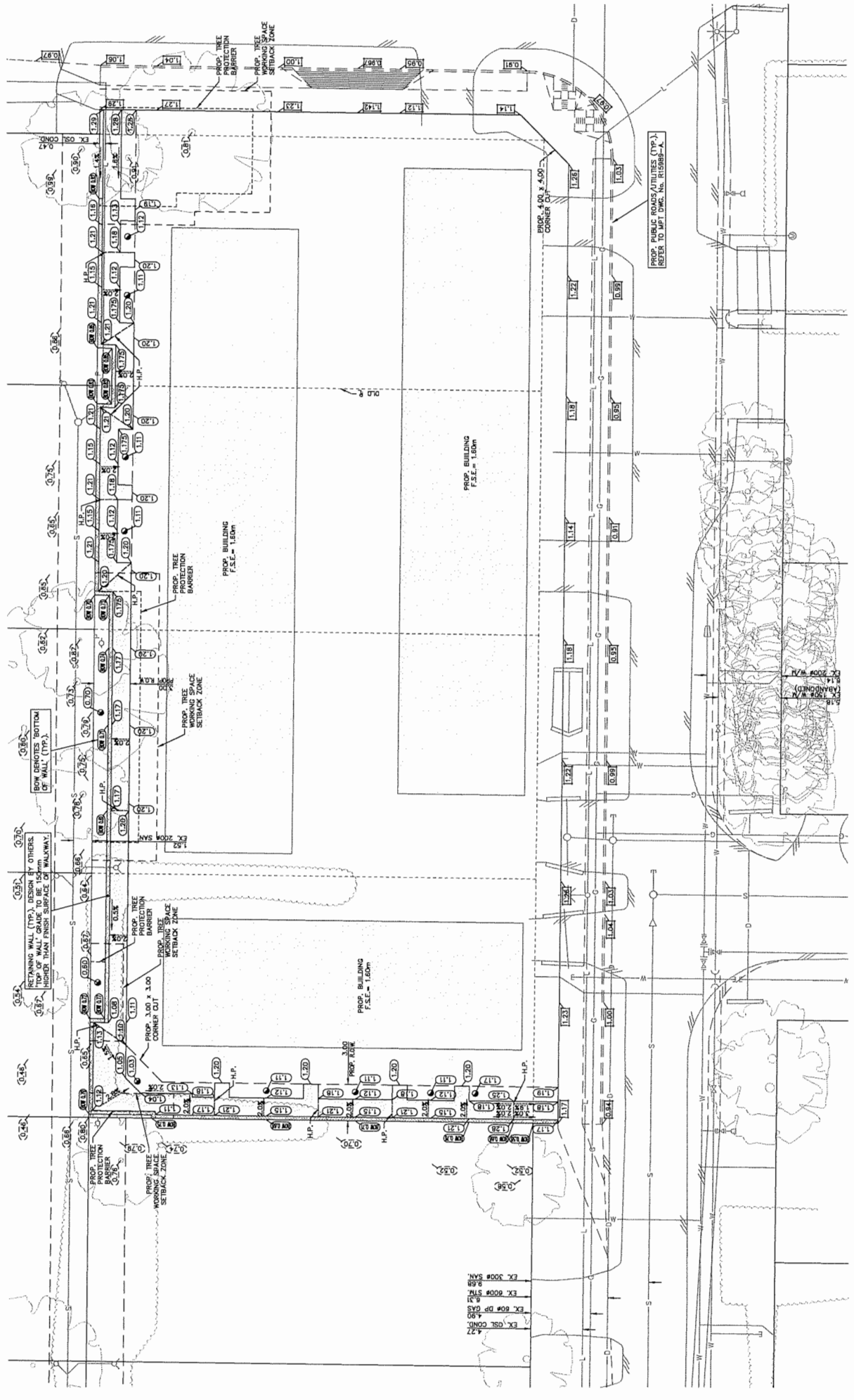
1. ALL CONSTRUCTION SHALL CONFORM TO THE SUBMIT CITY BUILDING PERMITS AND REGULATIONS AND THE CURRENT S.C. BUILDING CODE AND THE CURRENT EDITION OF THE MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (MCMC) AND THE CURRENT EDITION OF THE MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (MCMC).
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TECHNICAL ENGINEER'S RECOMMENDATIONS.
3. ALL FLOOR SLAB ELEVATIONS (F.S.E.) AND FRONT OF GARAGE ELEVATIONS (G.E.) MUST BE REPORTED TO THE CONTRACTOR AND THE ENGINEER PRIOR TO CONSTRUCTION. ANY DISCREPANCIES FROM THESE DRAWINGS MUST BE REPORTED TO THE ENGINEER PRIOR TO CONSTRUCTION.
4. LANDSCAPE ARCHITECT'S DRAWINGS AND DETAILS TO BE IN ACCORDANCE WITH THE ENGINEER'S RECOMMENDATIONS.
5. ALL ELEVATIONS MUST BE REPORTED TO THE CONTRACTOR AND THE ENGINEER PRIOR TO CONSTRUCTION.
6. ALL CHANGES RELATE TO CENTRELINE OF ROAD, UNLESS OTHERWISE NOTED. SEE TYP.
7. ALL ASPHALT GRADES TO BE 1.25% MINIMUM, TOWARDS CATCH BASINS.
8. ALL CONCRETE CURB GUTTER GRABES TO BE 0.4% MINIMUM, TOWARDS CATCH BASINS.
9. ALL CONCRETE CURB GUTTER GRABES TO BE 0.4% MINIMUM, TOWARDS CATCH BASINS.
10. ALL SIDEWALK PAVEMENT SHALL BE 150MM MINIMUM.
11. ALL SIDEWALK PAVEMENT SHALL BE 150MM MINIMUM.
12. ALL ROAD ELEVATIONS ARE PAVEMENT AND/OR CURB GUTTER ELEVATIONS.
13. ALL ELEVATIONS SHOWN AS THIS (E) ARE EXISTING ELEVATIONS.
14. ALL ELEVATIONS SHOWN AS THIS (P) ARE PROPOSED ELEVATIONS.

F.S.E. REFERS TO FLOOR SLAB ELEV. AND G.E. REFERS TO FRONT OF GARAGE ELEV.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE TECHNICAL ENGINEER'S RECOMMENDATIONS.

NOTE, FOR INFORMATION:
 • APPROXIMATE PROPOSED AVERAGE GROUND ELEVATION = 1.11m
 • APPROXIMATE PROPOSED AVERAGE FILL VOLUME = 157.5m³
NOTE, FOR INFORMATION:
 APPROXIMATE PROPOSED FILL VOLUME RELATES TO PROPOSED WALKWAY WORKS WITHIN THE RIGHTS-OF-WAY.

THIS IS A PRELIMINARY LOT GRADING PLAN, FOR GENERAL INFORMATION ONLY. PORTIONS OF ACTUAL GRADING MAY DIFFER. FURTHER, THE DRAWING INFORMATION IS LIMITED TO SURFACE GRADING INFORMATION ONLY AND DOES NOT INCLUDE RELATED ASPECTS SUCH AS, BUT NOT LIMITED TO, ASBESTOS ABANDONMENT, REMOVAL/OFFSITE DISPOSAL, MILLING AND SANCUITING, AS AND IF REQUIRED.



PLAN # 25 OCT 05 2020
 DP 18-875398

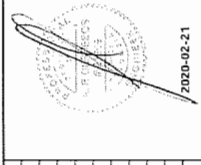
MPT ENGINEERING MUST FIELD REVIEW ALL CONSTRUCTION. CONTRACTOR TO NOTIFY MPT ENGINEERING, A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION.

- NOTES:**
1. ALL ELEVATIONS ARE TO GEODETIC DATUM AND REFER TO RICHMOND HPN#202 (ELEV. = 145m).
 2. CONTRACTOR TO CONFIRM BENCHMARK WITH MPT ENGINEERING, PRIOR TO CONSTRUCTION.
 3. CONTRACTOR TO CONFIRM LOCATIONS OF ALL EXISTING UTILITIES AND REPORT ANY DISCREPANCIES TO MPT ENGINEERING, PRIOR TO CONSTRUCTION.
 4. ALL MATERIALS AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE CURRENT CITY BUILDING DEPARTMENT STANDARDS AND SPECIFICATIONS AND THE CURRENT S.C. BUILDING CODE.

MPT ENGINEERING CO. LTD.
 4320-1120 HORSESHOE WY, RICHMOND, BC V7A 5H7 TEL: 604-270-8331 FAX: 604-270-1437

SOUTH STREET (SPIRES) LP

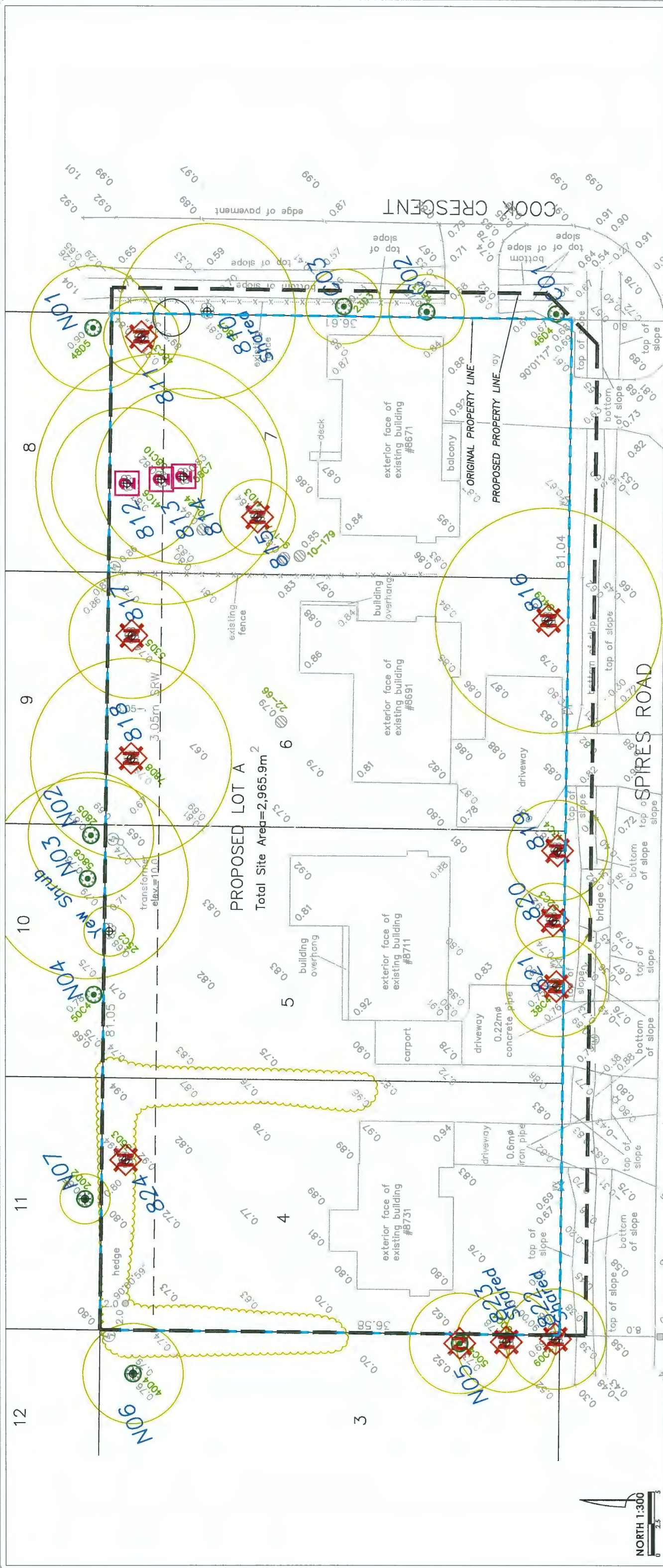
REV#	DATE	BY	CHK	DESCRIPTION
0.	21 FEB/20	RT	AG	ISSUE 'X' - ISSUED FOR DEVELOPMENT PERMIT



TITLE
SURFACE WORKS

8671, 8691, 8711, 8731 SPIRES ROAD
 DRAWING No.: R15989-B
 SHEET No.: 1 OF 1
 SCALE: 1:200

SEE DIMENSIONS AND ELEVATIONS ON ALL PLANS.



LEGEND-TREE ASSESSMENT:

- XXXXX denotes TAG NUMBER or ID REFERENCE
- ① denotes PRIORITY 1 tree SUITABLE for preservation (retainable if design can accommodate it)
- ② denotes PRIORITY 2 tree MARGINAL for preservation. (possible candidate subject to design and other conditions)
- ⊗ denotes PRIORITY NIL tree UNSUITABLE for preservation (not viable)
- ⊗ denotes UNDERSIZE TREE that is smaller than bylaw defined size (consult municipality to determine if it is a bylaw protected tree)
- ⊗ denotes OFF-SITE tree within influencing distance (neighbour or city to be advised or consulted)

Condensed Tree Inventory and Assessment Data:

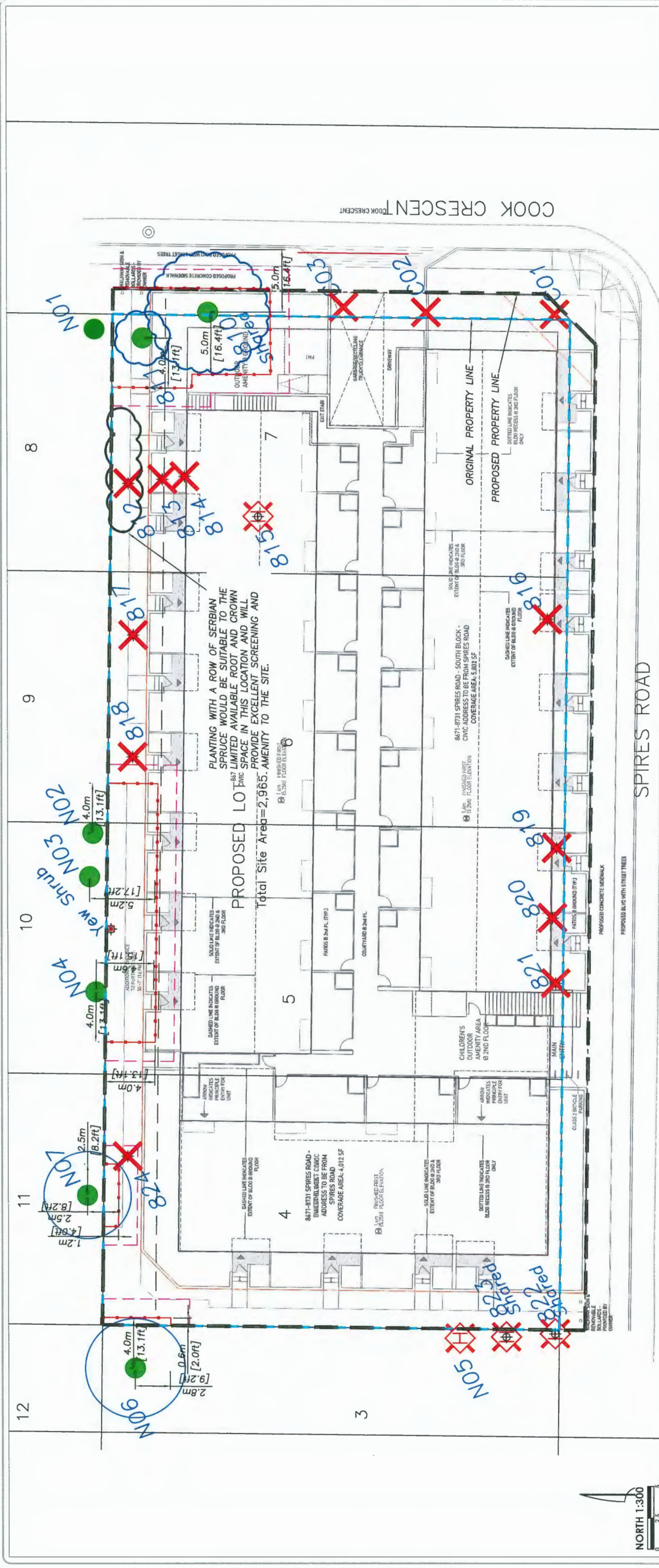
Tag #	Dbh	Tree Type	Ht	Spr	Loc	Viab	Priority	Action
810	65	Austrian pine	19	4	On	U	NIL	Retain - Conditional
811	45	Blue spruce	15	2	On	U	NIL	Retain - Conditional
812	45	Sitka spruce	22	3.5	On	C	2	Remove
813	68	Douglas-fir	25	4	On	C	2	Remove
814	61	Sitka spruce	22	3.5	On	C	2	Remove
815	40	Common plum	6	2	On	U	NIL	Remove
816	90	Deodar cedar	19.6	4.5	On	U	NIL	Remove
817	40	Cherry plum	6	2	On	U	NIL	Remove
818	60	Cherry plum	7	3.5	On	U	NIL	Remove
819	43	Blue spruce	15	2.5	On	U	NIL	Remove
820	39	Sitka spruce	12.2	2	On	U	NIL	Remove
821	38	Blue spruce	12	1.5	On	U	NIL	Remove
822	56	Norway spruce	17	3	On	U	NIL	Remove
823	51	Norway spruce	17	3	On	U	NIL	Remove
824	30	Common pear	7	1.5	On	U	NIL	Remove
N01	49	Cherry	6	3	Off	U	N/A	Protect
N02	25	Japanese maple	5	2	Off	C	N/A	Protect
N03	60	Western redcedar	5	3	Off	C	N/A	Protect
N04	45	Blue spruce	3	Off	C	C	N/A	Protect
N05	51	Norway spruce	11	3	Off	U	N/A	Remove
N06	25	American elm	9.5	2.5	Off	C	N/A	Protect
N07	30	Common plum	5	3	Off	C	N/A	Protect
C01	45	Sycamore maple	11	3	City	U	N/A	Remove
C02	43	Sycamore maple	9.5	2.5	City	U	N/A	Remove
C03		Common plum	4	1.5	City	U	N/A	Remove

PLAN #26 OCT 05 2020
 DP 18-875398

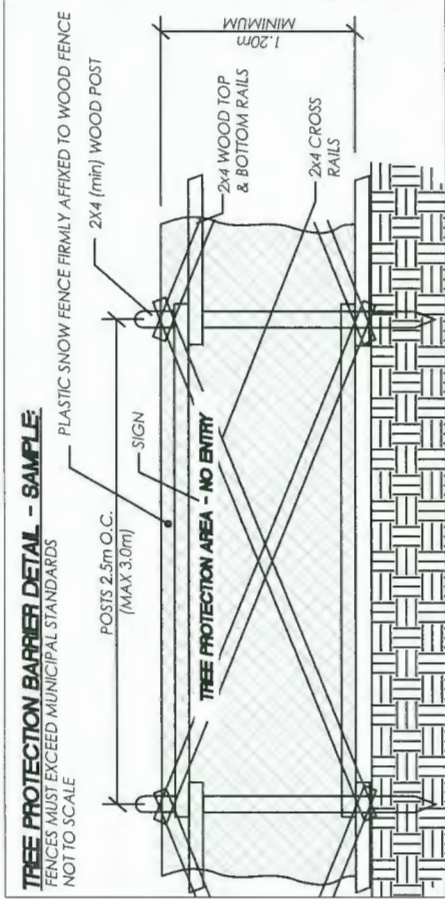
ARBORTECH CONSULTING
 acigroup.ca
 SUITE 145 - 12051 HORSESHOE WAY, RICHMOND, BC V7A 4V4 604.275.3484

APPENDIX C: TREE MANAGEMENT DRAWING - SHEET 1

PROJECT: PROPOSED MULTI-FAMILY DEVELOPMENT
ADDRESS: 8671 - 8731 SPIRES RD RICHMOND BC
CLIENT: SOUTH STREET DEVELOPMENT
CITY REF: ACL FILE: 18252
PLOT SIZE: 11"X17" **REV #:** 8 **DATE:** MAR 3, 2020



LEGEND - TREE MANAGEMENT IN DEVELOPMENT AREA:
 See arborist report for further details.
 X X X X denotes TAG NUMBER or ID REFERENCE (see tree inventory and assessment list)
 ● denotes RETENTION tree (protection measures as specified)
 ○ denotes UNDERSIZE TREE that is smaller than bylaw defined size. To be treated at owner discretion. If retained, consult this office for protection measures. If to be removed, a permit may be required from municipally.
 ○ denotes REMOVAL tree (TAGGED TREE) (municipal permit or approvals may be required)
 ○ denotes HIGH RISK tree to be REMOVED or MODIFIED (see tree inventory and report - permit or approvals required)



SUGGESTED PLANT LIST: REPLACEMENT TREES
 Please use botanical name when ordering.
 Current arboricultural best management practices and BCSPA/BCUNA standards apply to; quality, root ball, health, form, handling, planting, staking and establishment care.

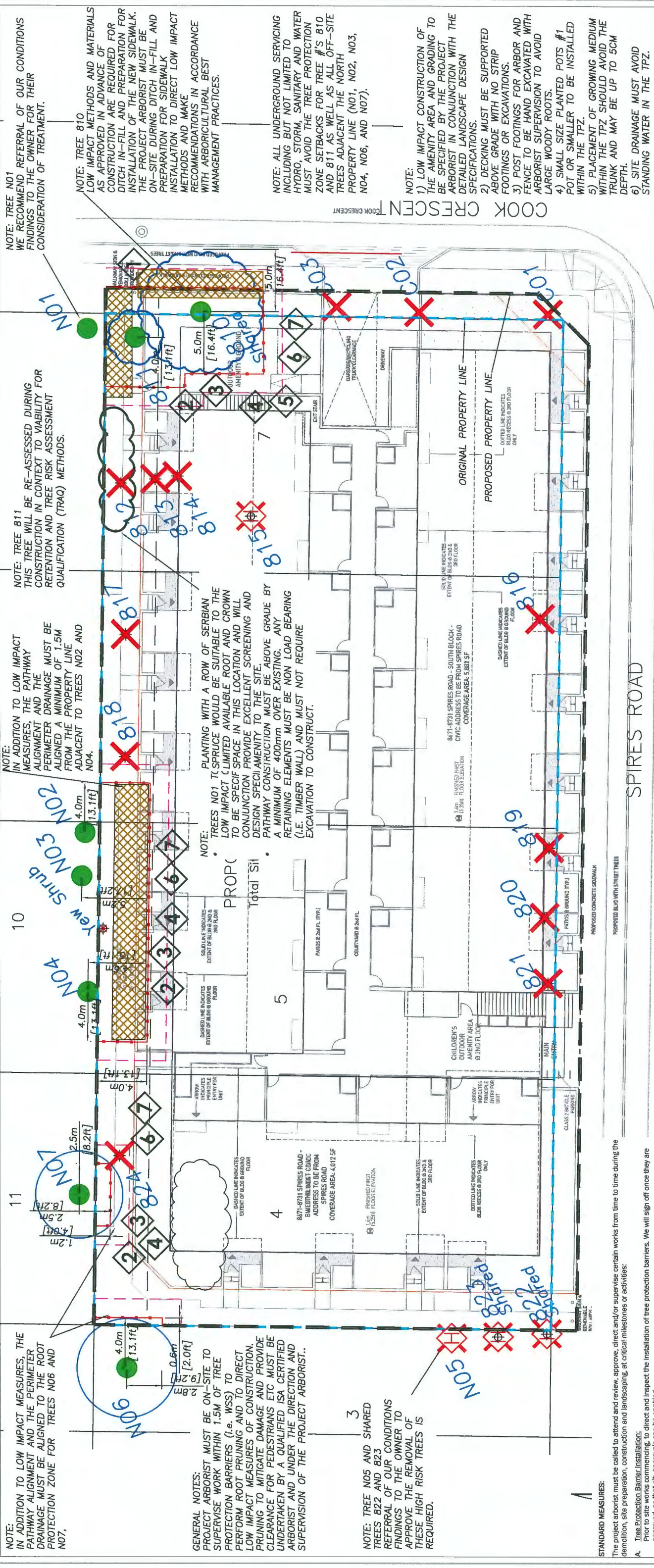
CODE	QTY	Site	BOTANICAL NAME	COMMON NAME
BROADLEAF - SMALL TO MEDIUM SCALE:				
AG	6cm C		Acer glabrum	Paperbark maple
ARB	6cm C		Acer rubrum 'Bowhall'	Bowhall maple
FSD	6cm C		Fagus sylvatica 'Dawyck'	Dawyck beech
MSO	3.5m H		Magnolia soulangiana	Saucer magnolia
SP	6cm C		Stewartia pseudocamellia	Japanese stewartia
AP	6cm C		Acer palmatum	Japanese maple
AU	6cm C		Arbutus unedo	Strawberry tree
CC	3.5m H		Cercis canadensis	Redbud
MGR	6cm C		Magnolia grandiflora	Southern magnolia (evergreen)
MST	6cm C		Magnolia stellata	Star magnolia
SI	6cm C		Syrax japonicus	Japanese snowbell
EVERGREEN - SMALL SCALE:				
APC	3.5m H		Abies procera 'Glaucia'	Noble fir

OCT 05 2020
 PLAN # 27
 DP 18-875398

APPENDIX C: TREE MANAGEMENT DRAWING - SHEET 2
 TREE MANAGEMENT DETAIL
 PROJECT: PROPOSED MULTI-FAMILY DEVELOPMENT
 ADDRESS: 8671 - 8731 SPIRES RD RICHMOND BC
 CLIENT: SOUTH STREET DEVELOPMENT
 CITY REF: 18252
 PLOT SIZE: 11"x17" REV #: 8 DATE: MAR 3, 2020

arborgroup.ca

ARBORTECH CONSULTING
 SUITE 145 - 12051 HORSESHOE WAY, RICHMOND, BC V7A 4V4 604 275 3484



NOTE: TREE NO1 WE RECOMMEND REFERRAL OF OUR CONDITIONS FINDINGS TO THE OWNER FOR THEIR CONSIDERATION OF TREATMENT.

NOTE: TREE 810 LOW IMPACT METHODS AND MATERIALS AS APPROVED IN ADVANCE OF CONSTRUCTION ARE REQUIRED FOR DITCH IN-FILL AND PREPARATION FOR INSTALLATION OF THE NEW SIDEWALK. THE PROJECT ARBORIST MUST BE ON-SITE DURING DITCH IN-FILL AND PREPARATION FOR SIDEWALK INSTALLATION TO DIRECT LOW IMPACT METHODS AND MAKE RECOMMENDATIONS IN ACCORDANCE WITH ARBORICULTURAL BEST MANAGEMENT PRACTICES.

NOTE: ALL UNDERGROUND SERVICING INCLUDING BUT NOT LIMITED TO HYDRO, STORM, SANITARY AND WATER MUST AVOID THE TREE PROTECTION ZONE SETBACKS FOR TREE #'S 810 AND 811 AS WELL AS ALL OFF-SITE TREES ADJACENT TO THE NORTH PROPERTY LINE (NO1, NO2, NO3, NO4, NO6, AND NO7).

NOTE: 1) LOW IMPACT CONSTRUCTION OF THE AMENITY AREA AND GRADING TO BE SPECIFIED BY THE PROJECT ARBORIST IN CONJUNCTION WITH THE DETAILED LANDSCAPE DESIGN SPECIFICATIONS.
 2) DECKING MUST BE SUPPORTED ABOVE GRADE WITH NO STRIP FOOTINGS OR EXCAVATIONS.
 3) POST FOOTINGS FOR ARBOR AND FENCE TO BE HAND EXCAVATED WITH ARBORIST SUPERVISION TO AVOID LARGE WOODY ROOTS.
 4) SMALL SIZE PLANTED POTS #1 POT OR SMALLER TO BE INSTALLED WITHIN THE TPZ.
 5) PLACEMENT OF GROWING MEDIUM WITHIN THE TPZ SHOULD AVOID THE TRUNK AND MAY BE UP TO 5CM DEPTH.
 6) SITE DRAINAGE MUST AVOID STANDING WATER IN THE TPZ.

NOTE: TREE 811 THIS TREE WILL BE RE-ASSESSED DURING CONSTRUCTION IN CONTEXT TO VIABILITY FOR RETENTION AND TREE RISK ASSESSMENT QUALIFICATION (TRAQ) METHODS.

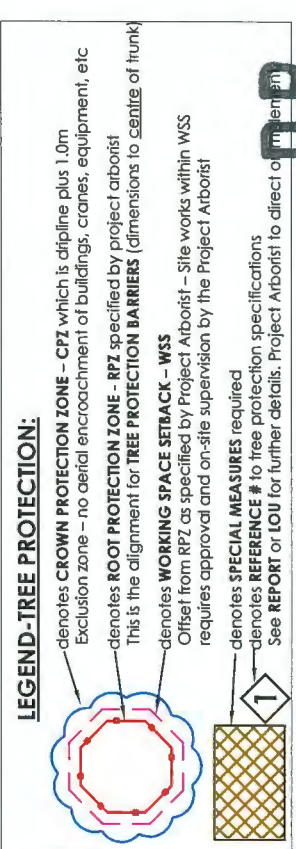
NOTE: IN ADDITION TO LOW IMPACT MEASURES, THE PATHWAY ALIGNMENT AND THE PERIMETER DRAINAGE MUST BE ALIGNED A MINIMUM OF 1.5M FROM THE PROPERTY LINE ADJACENT TO TREES NO2 AND NO4.

NOTE: PLANTING WITH A ROW OF SERBIAN TREES NO1 TO SPRUCE WOULD BE SUITABLE TO THE LOW IMPACT (LIMITED AVAILABLE ROOT AND CROWN TO BE SPECIFIED SPACE IN THIS LOCATION AND WILL CONJUNCTION PROVIDE EXCELLENT SCREENING AND DESIGN SPECI AMENITY TO THE SITE. PATHWAY CONSTRUCTION MUST BE ABOVE GRADE BY A MINIMUM OF 400mm OVER EXISTING. ANY RETAINING ELEMENTS MUST BE NON LOAD BEARING (I.E. TIMBER WALL) AND MUST NOT REQUIRE EXCAVATION TO CONSTRUCT.

NOTE: IN ADDITION TO LOW IMPACT MEASURES, THE PATHWAY ALIGNMENT AND THE PERIMETER DRAINAGE MUST BE ALIGNED TO THE ROOT PROTECTION ZONE FOR TREES NO6 AND NO7.

GENERAL NOTES:
 PROJECT ARBORIST MUST BE ON-SITE TO SUPERVISE WORK WITHIN 1.5M OF TREE PROTECTION BARRIERS (I.E. WSS) TO PERFORM ROOT PRUNING AND TO DIRECT LOW IMPACT MEASURES OF CONSTRUCTION. PRUNING TO MITIGATE DAMAGE AND PROVIDE CLEARANCE FOR PEDESTRIANS ETC MUST BE UNDERTAKEN BY A QUALIFIED ISA CERTIFIED ARBORIST AND UNDER THE DIRECTION AND SUPERVISION OF THE PROJECT ARBORIST..

NOTE: TREE NO5 AND SHARED TREES 822 AND 823 REFERRAL OF OUR CONDITIONS FINDINGS TO THE OWNER TO APPROVE THE REMOVAL OF THESE HIGH RISK TREES IS REQUIRED.



SPECIAL MEASURES:
 The following items within a TPZ require project arborist direction, treatment or supervision/monitoring. See the Tree Management Drawing for additional references to locations where special measures are required.

- Ditch Infill Works:**
 Stripping and excavating for storm pipe and manhole installations, as well as backfilling the ditch, will require low impact methods to protect the roots growing along the slope of the ditch and otherwise within the TPZ. Supervision from the project arborist is required. The upper soil strata within the ditch is to be backfilled using growing medium meeting the specifications of the project arborist so that root regeneration is enabled.
- Building Site Preparation:**
 The project arborist must be on site concurrently with any excavation (site stripping) activities adjacent to the tree protection zones to identify tree roots, provide root protection measures and/or undertake root pruning treatments as necessary. Also when pre-load or fill placement is planned, the project arborist must be contacted to review any measures, including temporary retaining walls and/or drainage.
- Perimeter Drainage, Site Fencing and Retaining Wall Construction:**
 The alignment for the perimeter drainage and associated retaining wall must be outside of the RPZ (as noted above). The installation must be reviewed in advance by the project arborist and in certain cases special measures and supervision will be required. Certain encroachments into the TPZ may be enabled at the discretion of the project arborist via the use of an aeration and drainage system intended to keep underlying roots viable. Details of those measures will be specified as field instructions issued by the project arborist as the work proceeds under their direction.
- Root Pruning for Site Excavation:**
 The project arborist must be on site concurrently with any excavation adjacent to the tree protection zone to identify tree roots, provide root protection measures and/or undertake root pruning treatments as necessary.
- Root Pruning for Services Adjacent to TPZ:**
 The project arborist must approve the method of excavation (i.e. excavator, hydro-vac, air-rec, air spade etc) and also must be on site concurrent with trenching to identify tree roots, provide root protection measures and/or undertake root pruning treatments as necessary.
- Fence Construction:**
 The siting of fence posts and construction of a fence must be reviewed in advance by the project arborist. Low impact digging methods and siting of fence posts may require adjustment depending on the scope of root impacts.
- Landscaping Works:**
 The grade increase and construction of the sidewalk will require consideration of low impact methods in order to enable tree retention. Low impact construction of the amenity area to be specified by the project arborist in conjunction with the detailed landscape design specifications.

STANDARD MEASURES:
 The project arborist must be called to attend and review, approve, direct and/or supervise certain works from time to time during the demolition, site preparation, construction and landscaping, at critical milestones or activities:

- Tree Protection Barrier Installation:**
 Prior to site works commencing, to direct and inspect the installation of tree protection barriers. We will sign off once they are approved, so that city approvals can be enabled.
- Tree Health Management Treatments:**
 Prior to construction, the project arborist will undertake or direct the installation of soil protection and enhancement treatments where deemed necessary or appropriate, such as but not limited to:
 a. Soil amendment may be applied within TPZ (i.e. 10mm-minus well composted bark mulch, Nutri-Mulch, or equivalent) to a depth of 100 mm (or as directed by the Project Arborist).
 b. Interim watering program and system (i.e. manual sprinkler on a timer, temporary irrigation, or truck delivery) by developer/owner or by the project arborist. Note that log books of the watering may be required. The watering shall achieve even coverage within the RPZ to deliver the equivalent of up to 5 cm (2 inches) depth on a twice monthly schedule in April through June and September, and to a weekly schedule for July and August. Watering events will be exempted by the project arborist when natural rainfall for a period is sufficient to sustain the tree.
 c. Access within TPZ.
 Whenever access into the tree protection zone (TPZ) is contemplated or desired for any reason.
 d. Work within TPZ.
 Whenever any grading, trenching, excavation or landscape work occurs within a TPZ as specified by the project arborist.
 e. Pruning.
 Certain retained trees may require pruning as recommended by the project arborist to treat one or more of the following: restoration of form, aesthetics, mitigation of defects(s), building clearance, sight lines, crown raising clearance for vehicles or pedestrians and/or construction access. All tree pruning work is to be carried under the direction of the project arborist from this office and by an ISA Certified Arborist employed by a qualified tree service firm working in conformance with applicable ANSI standards (A300 and Z133), and meeting the city, contractor and/or developer/owner insurance and licensing requirements.
 f. Low Impact Trees or Shrub Removal.
 For any tree removal or stump removal from within a RPZ or WSS.
 g. Landscaping Finishline.
 All landscaping activities must be reviewed by this office in advance of commencing and on-site direction and guidance from the project arborist planned accordingly, such as but not limited to:
 a. Preparation works and construction of landscape finishing works including but not limited to: sidewalks, paths, patios, decks, retaining walls, fencing, irrigation, conduit, benches, patio pavers, soil placement, grass or turf installation, planting or other landscape items.
 b. Turf within TPZ's is discouraged, however, if desired we may support it as long as a suitable mulch zone setback is implemented around the base of the tree.
 c. Certain landscape features may be excluded or will require specific materials and methods to be utilized that meet tree root protection compliance requirements.
 d. Note that the planting of any plants, shrubs or hedges within the TPZ is restricted to small pot sizes (i.e. #1 or #2 depending on species) and using "pocket planting" standards. Planting holes are minimized in size, dug into existing grade to avoid damage to woody roots, and backfilled with minimal addition of growing medium.

OCT 05 2020
 PLAN # 28
 18-875398

APPENDIX C: TREE MANAGEMENT DRAWING - SHEET 3

PROJECT:	PROPOSED MULTI-FAMILY DEVELOPMENT
ADDRESS:	8671 - 8731 SPIRES RD RICHMOND BC
CITY REF:	SOUTH STREET DEVELOPMENT
ACI FILE:	18252
DATE:	MAR 3, 2020
REV #:	8
PLOT SIZE:	11"X17"

acigroup.ca

SUITE 145 - 12051 HORSESHOE WAY, RICHMOND, BC V7A 4V4 604 275 3484

LETTER OF UNDERTAKING REFERENCE

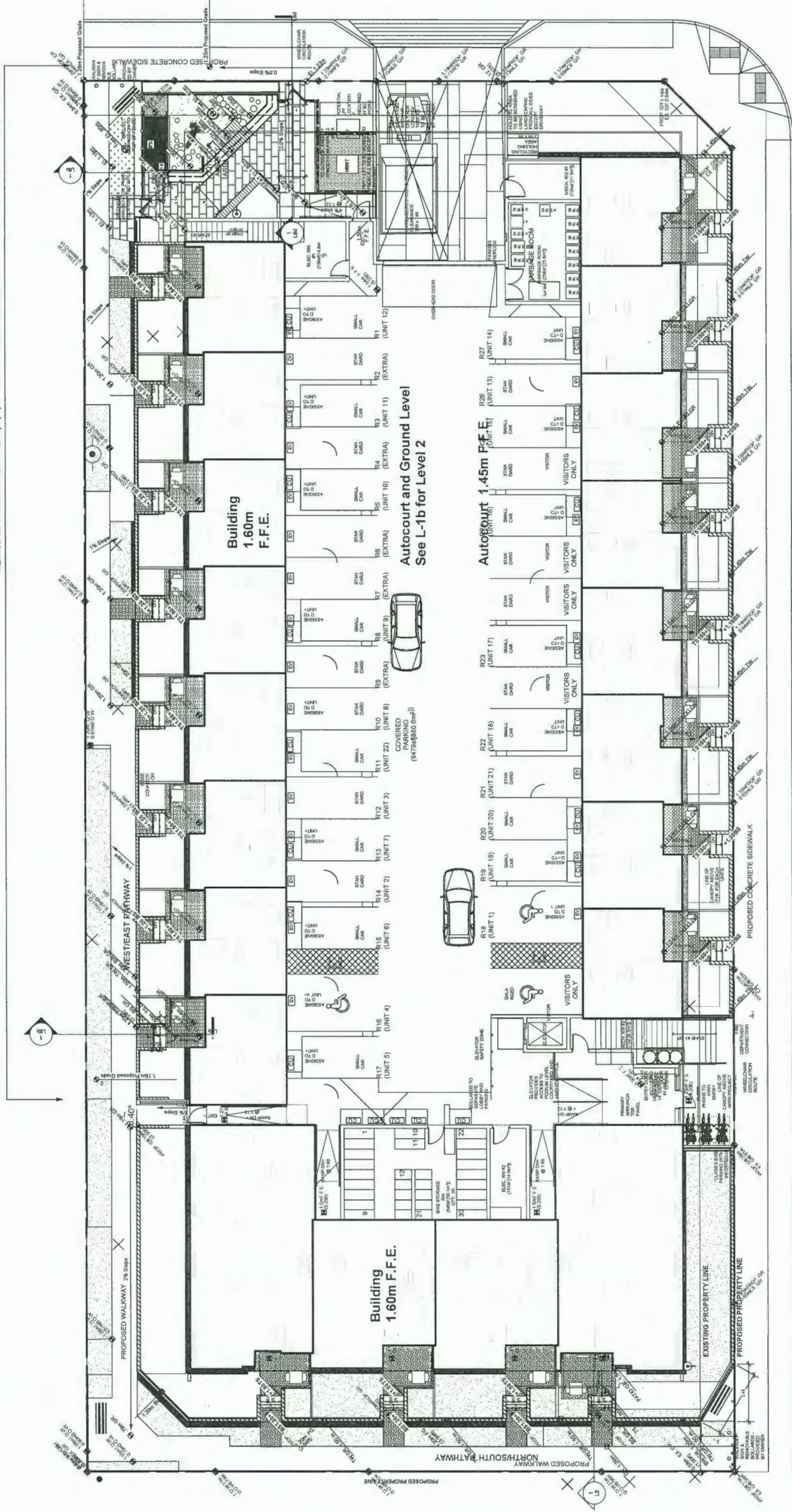
GRADING LEGEND

Landscape (metric):

- EL. 50m
- TW. 85m
- TW. 86m
- TW. 88m
- TW. 20m
- TR. 1.15m
- BR. 50m

- proposed finish grade
- top of wall
- top of stair
- bottom of stair
- top of ramp
- bottom of ramp
- Drain clean out
- Blivet area drain
- Drainage direction

ELEVATED PATHWAY SEE 1/L6 a, b, c, d. FOR DETAILS AND RELATIONSHIP WITH PATIOS AND BUILDING



Date	Issue Notes
Sept 14 2020	Issued for 8th Submission Response
Sept 14 2020	Issue for Pricing
Sept 11 2020	Issued for 4th Submission Response
August 20 2020	Issued for DP Re-submission
August 14 2020	Issued for DP Re-submission
July 01 2020	Issued for DP Re-submission
Sept 24 2019	Issue for Review
Feb 24 2020	Issue For DP, Response to prior to
Oct 03 2019	Issue For DP
May 15 2019	Issue for Review
April 11 2019	Revised Reconciling Submission
Mar 22 2019	Issue for Review
Jan 23 2019	Re-issue for Re-Zoning
Sept 25 2018	Issue for Review
Sept 13 2018	Issue For Re-Zoning



Prospect & Refuge
 LANDSCAPE ARCHITECTS
 603-683-1022 prospectandrefuge.ca
 Building for over 25 years of history in Vancouver, BC, Canada

Project Title and Address:
 Spires Boulevard
 8871-8731 Spires Road, Richmond, BC

Sheet Title:
 Landscape Grading Plan

Project No: 2017-18
 Scale: 1:125
 Drawn By: [blank]
 Checked By: [blank]
 Date: 2020-09-24

OCT 05 2020

PLAN # 30

DP 18-875398

L-1b



Date	Issue Notes
Sept 24, 2020	Issued for 8th Submission: Response
Sept 14, 2020	Issue for Pricing
Sept 11, 2020	Issued for 8th Submission: Response
August 20, 2020	Issued for DP Re-submission
August 04, 2020	Issued for DP Re-submission
July 01, 2020	Issued for DP Re-submission
Sept 24, 2019	Issue for Review
Feb 24, 2020	Issue For DP, Response to prior to
Oct 03, 2018	Issue For DP
Sept 24, 2019	Issue for Review
May 15, 2019	Issue for Review
April 11, 2019	Revised Rezoning Submission
Mar 28, 2019	Issue for Review
Jan 23, 2018	Re-issue for Re-Zoning
Sept 25, 2018	Issue For Review
Sept 13, 2018	Issue For Re-Zoning



Prospect & Refuge
 LANDSCAPE ARCHITECTS
 602-448-1824 2nd Ave Vancouver, BC V6J 1H3
 604-682-1022 alex@prospectandrefuge.ca
 Building on over 25 years of history as Joubert Architects Ltd.

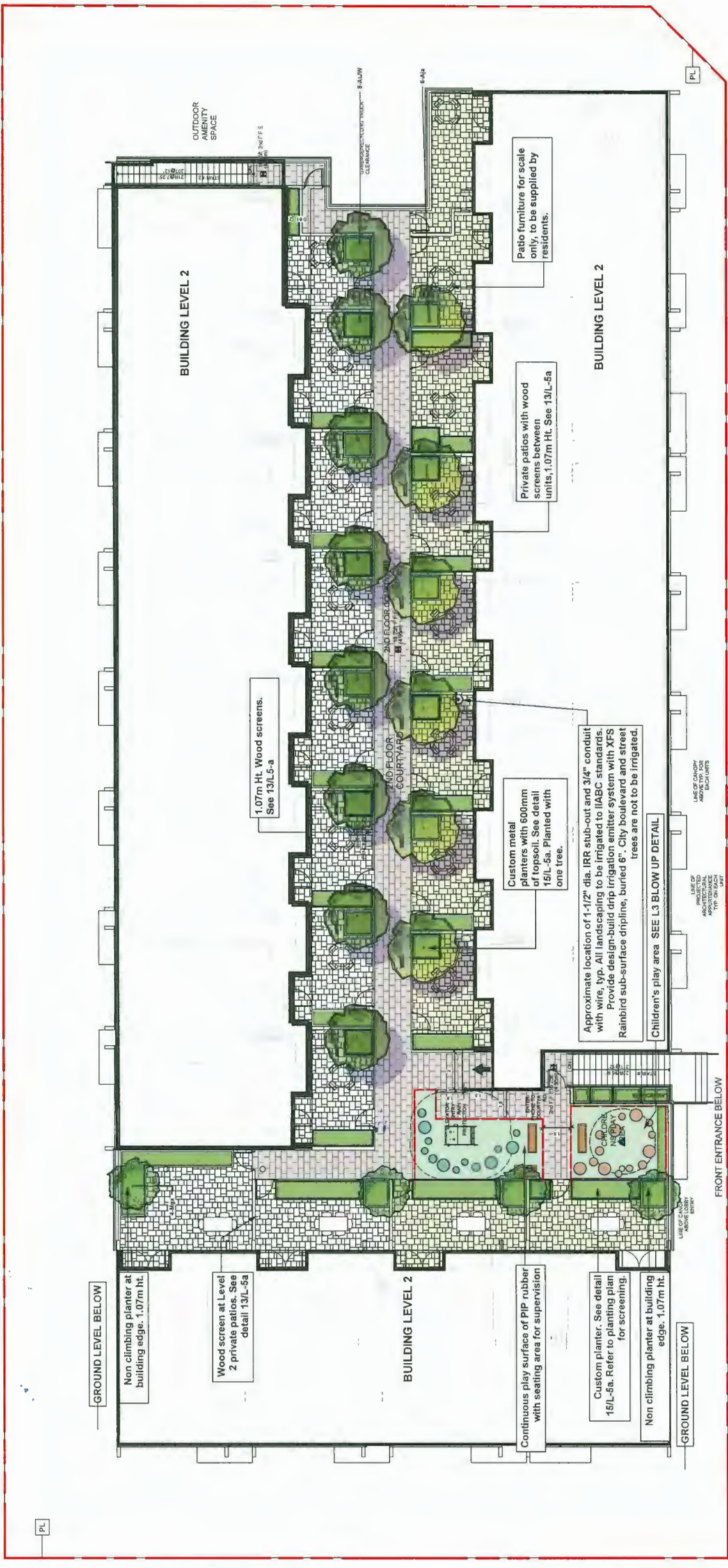
Project Title and Address	
Spires Boulevard 8871-8731 Spires Road, Richmond, BC	
Project No.	2017-18
Drawn By	1.125
Revised By	00
Date	2020-09-24
L-1d	

LIGHTING LEGEND

- Bollard lighting - Refer to details page L5c
- LED strip lighting - Refer to details page L5c
- Embedded step lighting - Refer to details page L5c
- Wall-mounted lighting by Architects

18-875398
 PI AN # 32

OCT 05 2020
DP



MATERIALS LEGEND

	Abbotsford Concrete Pavers.
	Pattern: Ashlar Colour: Grey/ Black
	Abbotsford Concrete Pavers. Pattern: Ashlar Colour: Desert Sand
	Textured Paving in Walkway: 890 X 250 X 51mm Bridgewood by Barkman
	Raised Planters with 600 mm depth top soil
	PIP rubber surfacing in amenity space
	Extent of Children's Amenity Space

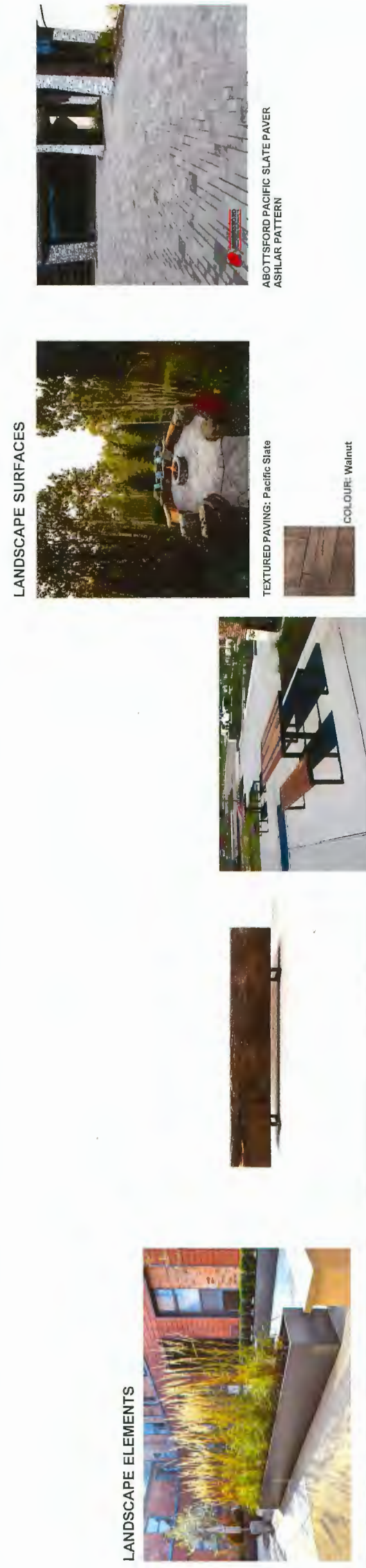
Issue Notes

Sept 14 2020	Issued for 8th Submission Response
Sept 14 2020	Issue for Pricing
Sept 11 2020	Issued for 4th Submission Response
August 20 2020	Issued for DP Re-submission
August 04 2020	Issued for DP Re-submission
July 01 2020	Issued for DP Re-submission
Sept 24 2019	Issue for Review
Feb 24 2020	Issue For DP, Response to prior to Oct 03 2019
Sept 24 2019	Issue For DP
May 15 2019	Issue for Review
April 11 2019	Revised Re-zoning Submission
Mar 29 2019	Issue for Review
Jan 23 2019	Re-issue for Re-zoning
Sept 25 2018	Issue For Review
Sept 13 2018	Issue For Re-zoning

Prospect & Refuge
 LANDSCAPE ARCHITECTS
 8871-8731 Spires Road, Richmond, BC
 Building over 25 years of history in Vancouver, Canada

Spires Boulevard
 8871-8731 Spires Road, Richmond, BC

Project No: 2017-19
 Scale: 1:125
 Revision: 00
 Date: 2020-09-24
 Sheet No: Landscape Layout Level 2
 Project Name: Spires Boulevard
 Project No: 2017-19
 Scale: 1:125
 Revision: 00
 Date: 2020-09-24



DP 18-875398
 PLAN # 33
 OCT 05 2020

L-1e



ID	Latin Name	Common Name	Quantity	Scheduled Size
TREES				
Mgx	Magnolia 'Galaxy'	Hybrid Magnolia		4.7cm cal.
AljW	Acer tegmentosum 'Joe Witt'	Manchurian Snakebark Maple		8.7cm cal.
Aja	Acer japonicum 'acornifolium'	Fulmoon maple		8.2m ht.
SHRUBS				
Cel	Carex 'Eveline'	Golden Sedge Grass	124 #1 pot	
Phn	Phyllostachya nigra	Black Bamboo	120 #5 pot	
Txm	Taxus x media 'Hicksii'	Hills Yew	43 1.25 m ht	
			0	

Prospect & Refuge
 LANDSCAPE ARCHITECTS
 8871-8731 Spire Road, Richmond, BC
 604-273-1020
 info@prospectandrefuge.com

Project No. 2017-10
 Date 11/25
 Sheet No. L-1f
 Drawn By 00
 Reviewed By
 Date 2020-03-06

Project Title and Address
Spire Boulevard
 8871-8731 Spire Road, Richmond, BC

Sheet No. Landscape Planting Plan Level 2
 Project Manager
 Drawn By
 Reviewed By
 Date

Issue No. 2017-10
 Date 11/25
 Sheet No. L-1f
 Drawn By 00
 Reviewed By
 Date 2020-03-06

DP 18-875398

PLAN # 34

OCT 05 2020

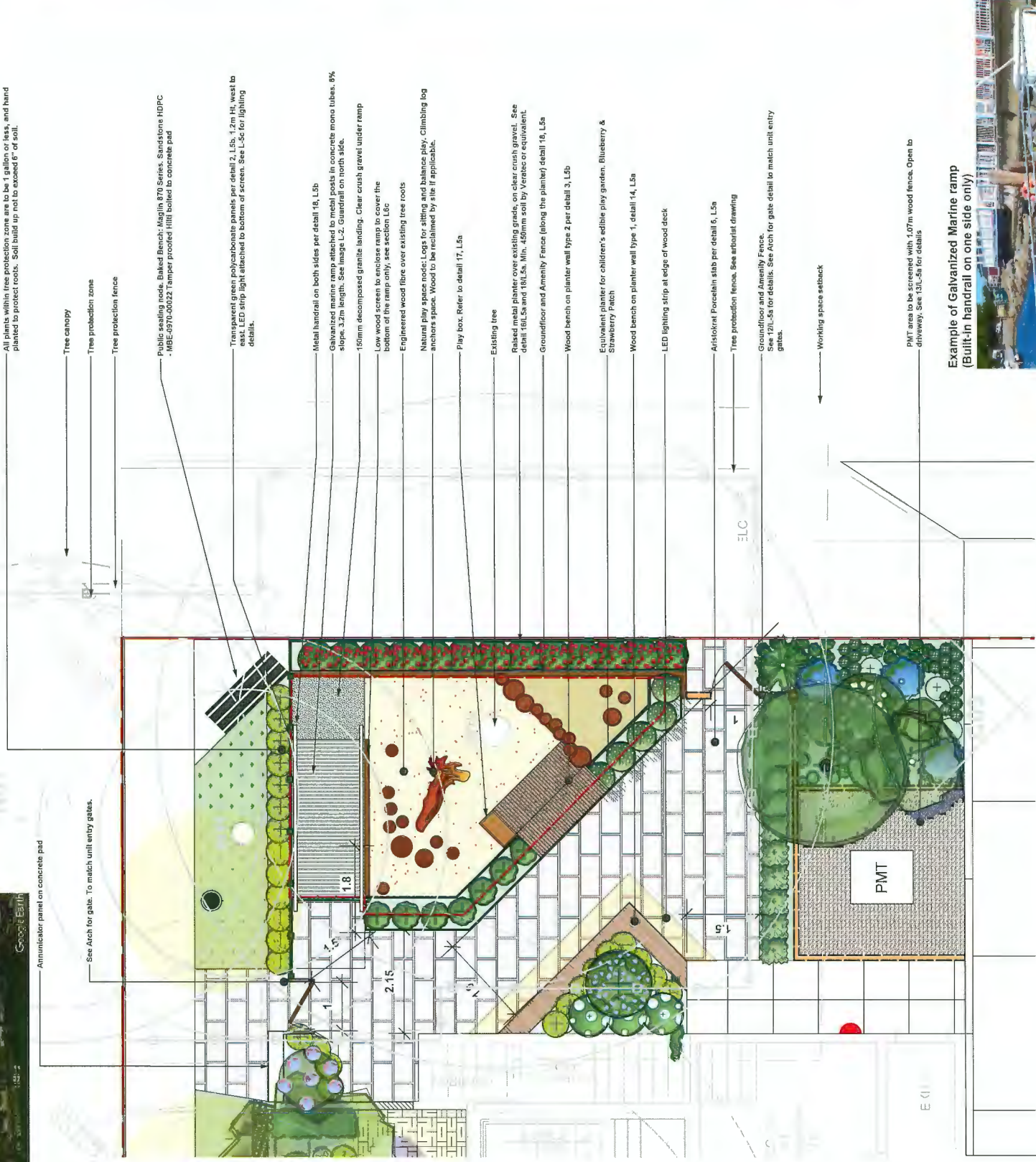
Date	Issue No.	Issue No.
Sept 24 2020	Issued for 8th Submission Response	
Sept 14 2020	Issue for Pricing	
Sept 11 2020	Issue for 4th Submission Response	
August 20 2020	Issued for DP Re-submission	
August 04 2020	Issued for DP Re-submission	
July 01 2020	Issued for DP Re-submission	
Sept 24 2019	Issue for Review	
Feb 24 2020	Issue For DP, Response to prior to	
Oct 03 2019	Issue For DP	
Sept 24 2019	Issue for Review	
May 15 2019	Issue for Review	
April 11 2019	Revised Reasoning Submission	
Mar 28 2019	Issue for Review	
Jan 23 2019	Re-issue for Re-Zoning	
Sept 28 2018	Issue For Review	
Sept 13 2018	Issue For Re-Zoning	

Existing & Protected Austrian Pine



AMENITY SPACE DESIGN RATIONALE:

- Natural Play Area:** A multi zoned active play area is located under the prized and protected Pine tree. A small sandbox is encircled with logs at varying heights. The open play space includes upright logs for seating and balance play. A long log is placed for seating. Anchoring the play space is a climbing log. All wood to be retained by downed trees onsite if appropriate. Upcycle the material into play equipment. The play area is enclosed by a green translucent screen and sealing area on the planter wall. A berry garden is proposed for children's gardening. The green translucent screen along the ramp provides opportunity for imaginative play with a marker play box located at the bottom.
- Public node:** The public node is strategically placed. A translucent green screen is located at this corner to provide maximum visibility between the amenity space and public areas. Public walkways intersect. This type of seating node is complimentary to the two other nodes on the site where pathways cross, providing a welcome respite for fellow neighbours.



Public bench at node



Planters in children's play area include blueberries.



Log edged sandbox to add balance and climbing to imaginative/ dramatic play



Logs for active play



A mix of natural play surfaces for active and imaginative play



Transparent Green Polycarbonate Panels

Date	Issue Notes
Sept 24 2020	Issued for 6th Submission Response
Sept 14 2020	Issue for Pricing
Sept 11 2020	Issued for 4th Submission Response
August 20 2020	Issued for DP Re-submission
August 04 2020	Issued for DP Re-submission
July 01 2020	Issued for DP Re-submission
Sept 24 2019	Issue for Review
Feb 24 2020	Issue For DP, Response to prior to
Oct 02 2019	Issue For DP
Sept 24 2019	Issue for Review
May 15 2019	Issue for Review
April 11 2019	Revised Receiving Submission
Mar 29 2019	Issue for Review
Jan 23 2019	Re-issue for Re-Zoning
Sept 25 2018	Issue For Review
Sept 13 2018	Issue For Re-Zoning

<p>Prospect & Refuge LANDSCAPE ARCHITECTS 4925 166th Ave West, Richmond, BC, V6X 1A3 604-273-1222 info@prospectandrefuge.com Building our way of life into the future of urban living.</p>	
<p>Project Title and Address: Spirese Boulevard 8871-8731 Spirese Road, Richmond, BC</p>	
Sheet No.	Landscaping Amenity Space: Ground Floor
Project No.	2017-18
Scale	1:50
Revision	00
Drawn By	2020-09-24
Checked By	L-2

OCT 05 2020
 PLAN # 35
 DP 18-875398



PIP RUBBER SURFACING WITH CONTRASTING COLOURED POLKA DOTS



ANIMATED WALL SPACE, INCLUDING CHALK WALL SCREEN AND MIRRORED WALL



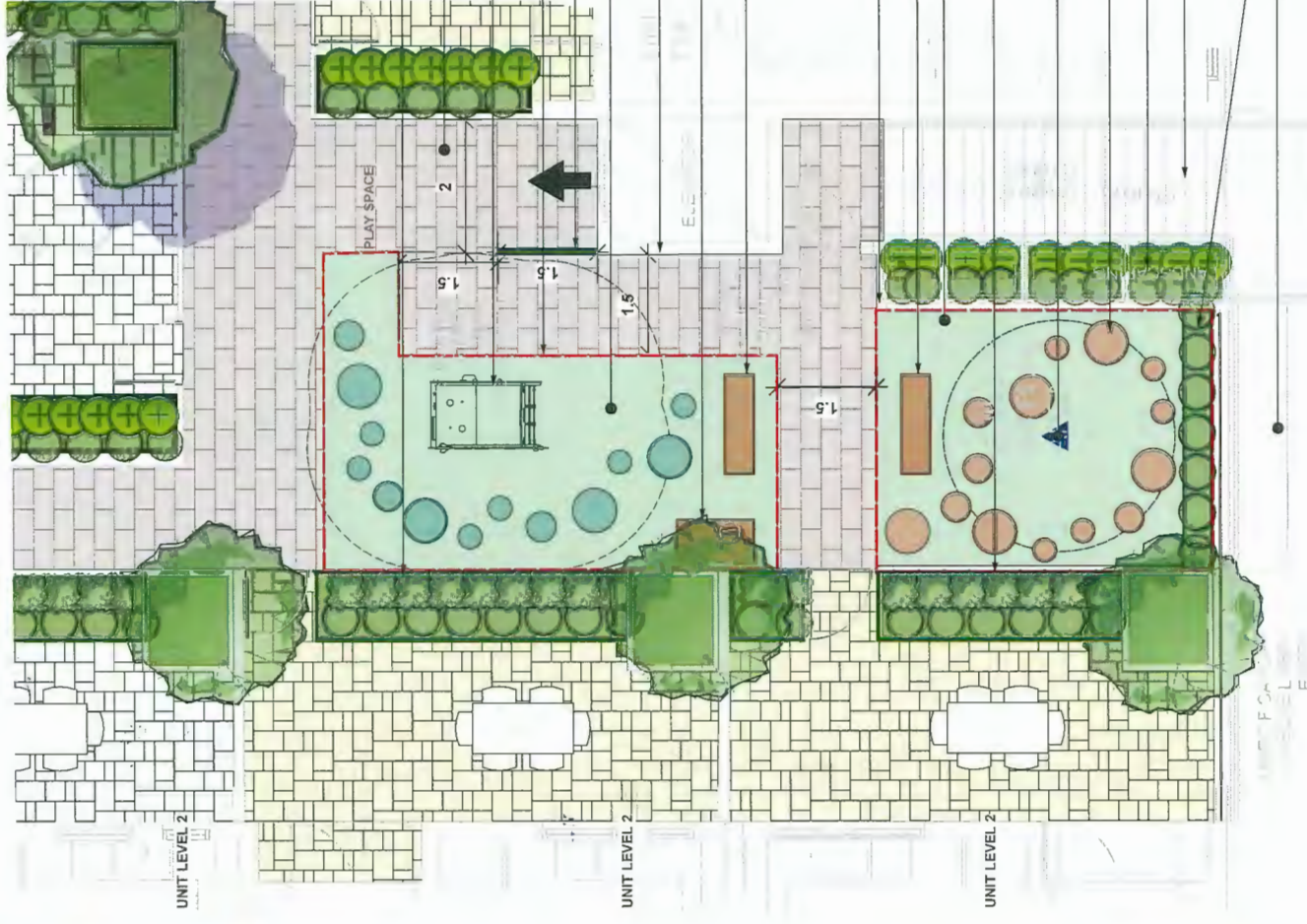
METAL PLANTERS TO SEPARATE PRIVATE FROM PUBLIC SPACES



EXAMPLE OF SOLID WOOD BENCH. DESIGN AND FINISH TBD

AMENITY SPACE DESIGN RATIONALE:

- Natural Play Area:** A multi zoned active play area is located under the prized and protected Pine tree. A small sandbox is encircled with logs at varying heights. The open play space includes upright logs for seating and balance play. A long log is placed for seating. Anchoring the play space is a climbing log. All wood to be retained by downward trees onsite if applicable. Upcycled material. The west boundary garden planners separates the play space from the circulation paths and seating area. A translucent green screen along the ramp provides opportunity for imaginative play with a marker play box located at the bottom.
- Public Node:** The public node is strategically placed. A translucent green screen is located at this corner to provide maximum visibility between the amenity space and public areas. This type of seating node is complimentary to the two other nodes on the site where pathways intersect, providing a welcome respite for fellow neighbours.



- Chalk wall screen 42" along planter face at children's amenity space. Colour: Brown.
- Textured paving. Bridgework by Bateman
- Kompan Under 0.60m (2') play structure. Outline designates circulation zone, not full height zone.
- Red dotted outline of children's play space.
- Elevator rail protection, glazed. See Arch.
- PIP rubber-green with blue polka dots. Refer to detail 4, L5a
- Mirrored surface along elevator west wall. 5" RH (18" thick coloured acrylic. Colour: Green. 2.8m length.
- Active Play Box (including , bean bags, skipping ropes and balls. Refer to detail 17, L5a
- Wood log seating acquired from site reclamation. Refer to detail 17, L5a
- Red dotted outline of children's play space. 21 sqm
- Wood log seating acquired from site reclamation. Refer to detail 4, L5a
- PIP rubber-green with brown/ sand polka dots. Refer to detail 4, L5a
- Chalk wall screen 42" along planter face at children's amenity space. Colour: Brown.
- Spica 3 spin toy
- Dotted line demotes fall zone
- Slatted planters along stairs. See Arch.
- Staircase between ground and second level
- 42" ht planter behind guardrail. Front entrance phase below

FOREST GIRAFFE



The giraffe is a highly recognizable animal. It is a natural choice for a play structure. The giraffe is a highly recognizable animal. It is a natural choice for a play structure. The giraffe is a highly recognizable animal. It is a natural choice for a play structure.



This dual play frame holds an impressively varied offer of physical, social and imaginative play for toddlers. The slightly inclined climbing net stimulates the child's urge for adventure and offers a good framework for safe climbing, cross-coordination, balancing and hand-eye coordination of the toddlers.



Date	Issue Notes
Sept 24 2020	Issued for 3th Submission: Response
Sept 14 2020	Issue for Pricing
Sept 11 2020	Issued for 4th Submission: Response
August 20 2020	Issued for DP Re-submission
August 04 2020	Issued for DP Re-submission
July 01 2020	Issued for DP Re-submission
Sept 24 2019	Issue for Review
Feb 24 2020	Issue For DP , Response to prior to
Oct 03 2019	Issue For DP
Sept 24 2019	Issue for Review
May 15 2019	Issue for Review
April 11 2019	Revised Reasoning Submission
Mar 28 2019	Issue for Review
Jan 23 2019	Re-issue for Re-Zoning
Sep 25 2018	Issue For Review
Sep 13 2018	Issue For Re-Zoning



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Project No	2017-16
Scale	1:50
Drawn By	00
Revised By	00
Date	2020-09-24
Sheet No	L-3



SPICA 3

CITY OF RICHMOND PROGRAM: PLAY BOXES.
 "Live 5-2-10 Playboxes offer parents and caregivers new ideas on how to play with their kids supplying the necessary games and sports equipment and providing unlimited access and opportunities for active play. Playboxes help to enhance environments and remove some of the barriers to access for active outdoor play, as well as foster social connectedness."

Proprioception

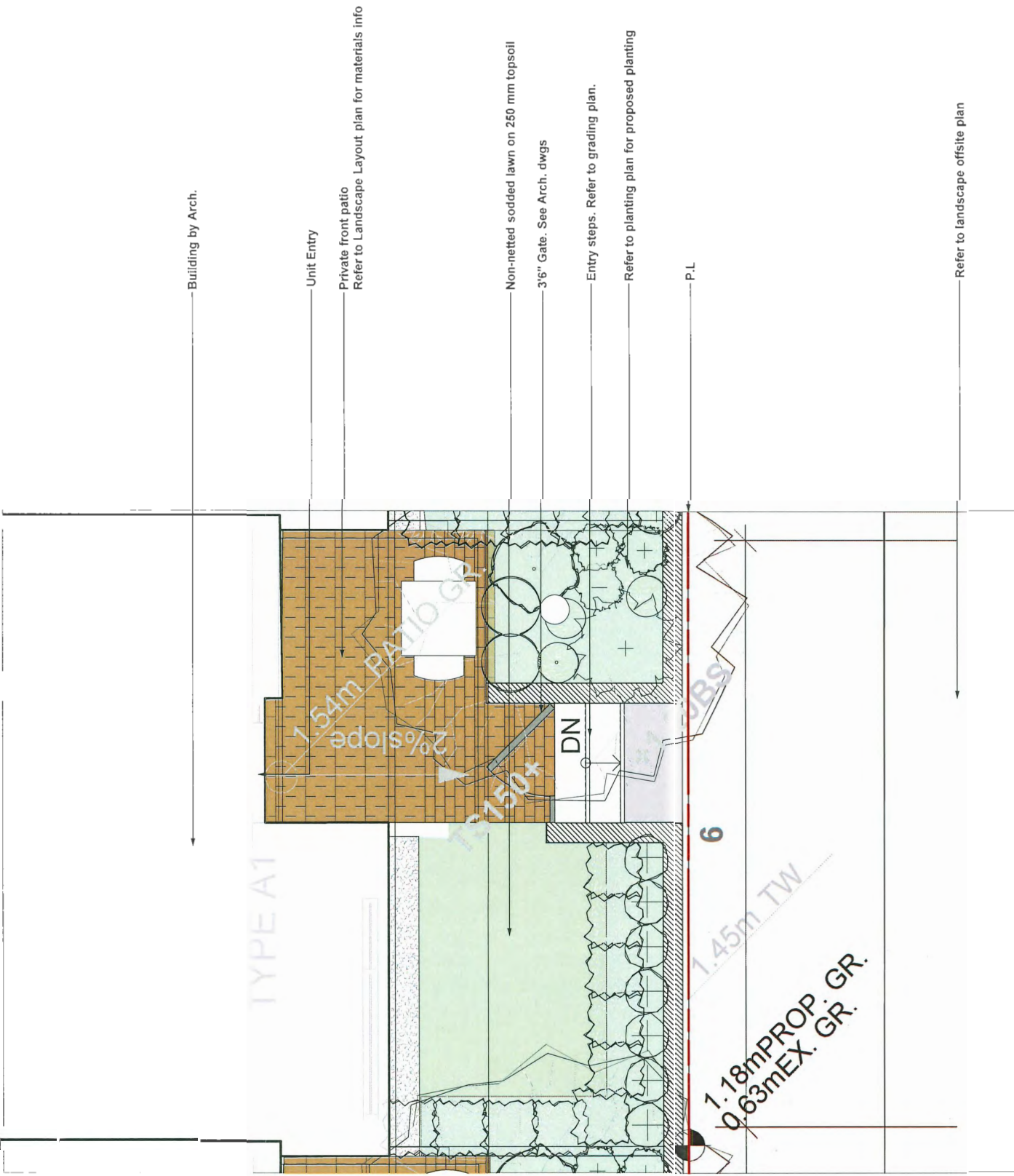


OCT 0 5 2020

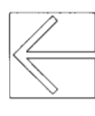
PLAN #36

DP 18-875398

The Spica 3 play structure, booty top and triangle platform invite the curious 6-12 year olds to investigate the Spica. The rotation point of the booty top at the centre and it takes exploration and problem solving to master how to spin. The curved pole can be held on to at any point and the child will figure out that leaning in to the pole will increase the



Date	Issue Notes
Sept 24 2020	Issued for 8th Submission Response
Sept 18 2020	Issue for Pricing
Sept 11 2020	Issued for 4th Submission Response
August 20 2020	Issued for DP Re-submission
August 04 2020	Issued for DP Re-submission
July 07 2020	Issued for DP Re-submission
Sept 24 2019	Issue for Review
Feb 24 2020	Issue For DP, Response to prior to
Oct 03 2019	Issue For DP
Sept 24 2019	Issue for Review
May 15 2019	Issue for Review
April 11 2019	Revised Reasoning Submission
Mar 28 2019	Issue for Review
Jan 23 2019	Re-issue for Re-Zoning
Sept 25 2018	Issue For Review
Sept 13 2018	Issue For Re-Zoning



Prospect & Refuge
 LANDSCAPE ARCHITECTS
 #102-5481 162nd Ave Vancouver, BC V6A 1J4
 604-680-1023
 info@prospectandrefuge.ca
 Building on over 25 years of history at Jonathan Lewis, Ltd.

Project Title and Address	
Spines Boulevard 8671-8731 Spines Road, Richmond, BC	
Sheet No.	Landscape Groundfloor Private Patios
Project No.	2017-16
Drawn By	00
Reviewed By	00
Date	2020-09-24
Scale	1:25
Sheet No.	L-4a

PLAN # 37
 DP 18-875398
 OCT 05 2020



PLAN # 38
 DP 18-875398
 OCT 05 2020

Sept 24 2020	Issued for 8th Submission Response
Sept 14 2020	Issue for Pricing
Sept 11 2020	Issued for 4th Submission Response
August 20 2020	Issued for DP Re-submission
August 04 2020	Issued for DP Re-submission
July 01 2020	Issued for DP Re-submission
Sept 24 2019	Issue for Review
Feb 24 2020	Issue For DP, Response to prior to
Oct 03 2019	Issue For DP
Sept 24 2019	Issue for Review
May 15 2019	Issue for Review
April 11 2019	Revised Rezoning Submission
Mar 28 2019	Issue for Review
Jan 23 2019	Re-issue for Re-Zoning
Sept 25 2018	Issue For Review
Sept 13 2018	Issue For Re-Zoning

Date Issue Notes

Project Title and Address
 Spires Boulevard
 8671-8731 Spires Road, Richmond, BC

Project No. and Address
 Spires Boulevard
 8671-8731 Spires Road, Richmond, BC

Project Manager
 Landscape Level 2 Profile

Project No. 2017-16

Drawn By
 Date 2020-09-24

Reviewed By
 Date 2020-09-24

Scale 1:50

Sheet No. L-4b

Prospect & Refuge
 LANDSCAPE ARCHITECTS
 #102-4418 2nd Ave Vancouver, BC, V6J 1A3
 604-680-1103 info@prospectandrefuge.ca
 Building on over 25 years of history in Javalley Park, Vancouver, BC



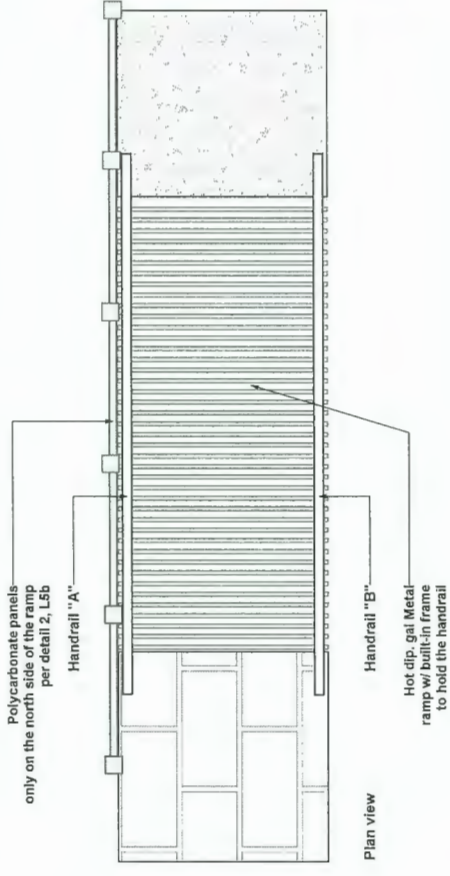
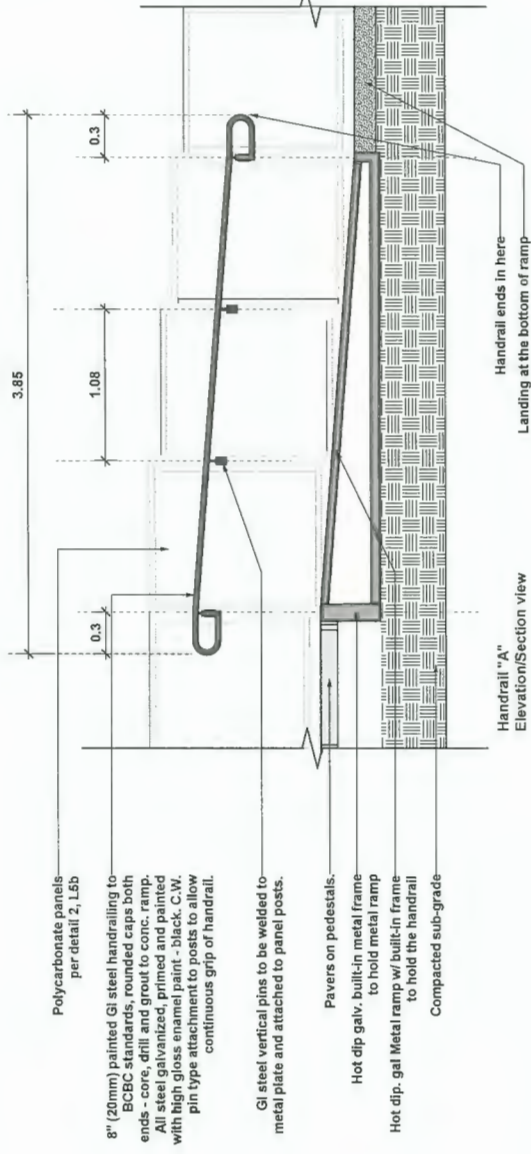
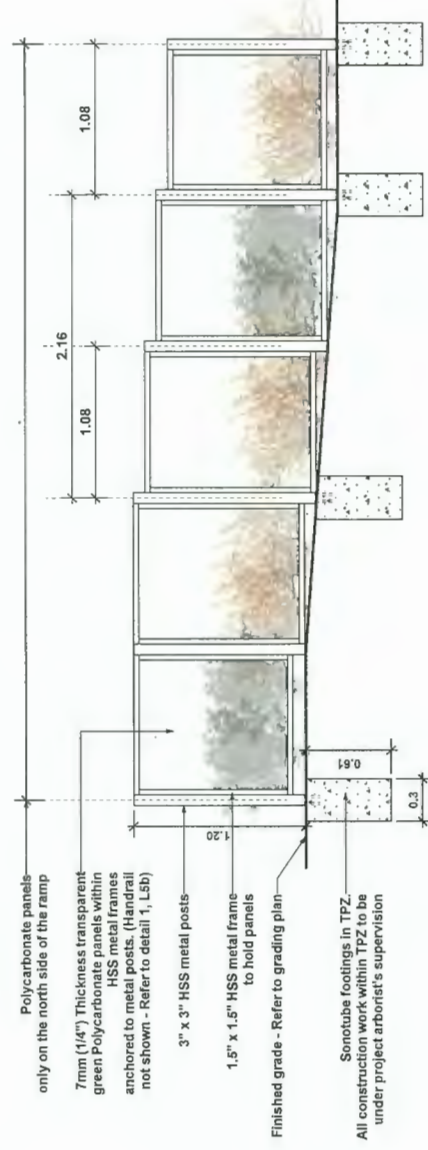


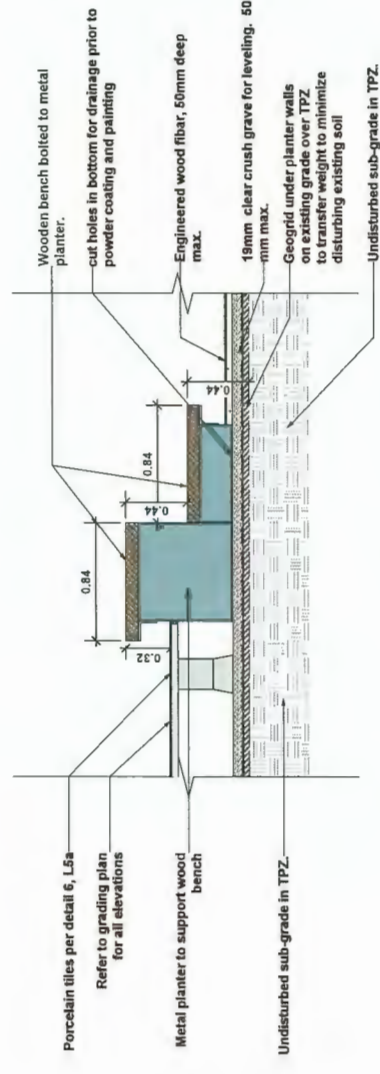
Image for communicating design intent only. Metal handrail to be welded to built-in metal ramp frame (on the other side)



1 Handrail detail L-5b/ Scale: 1:24



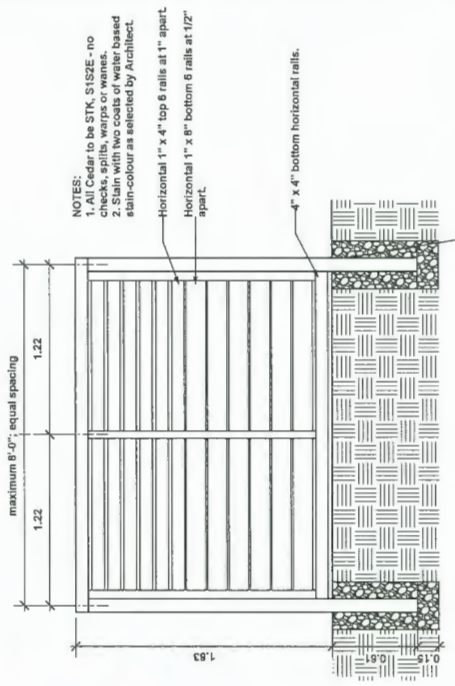
2 Polycarbonate panel L-5b/ Scale: 1:24



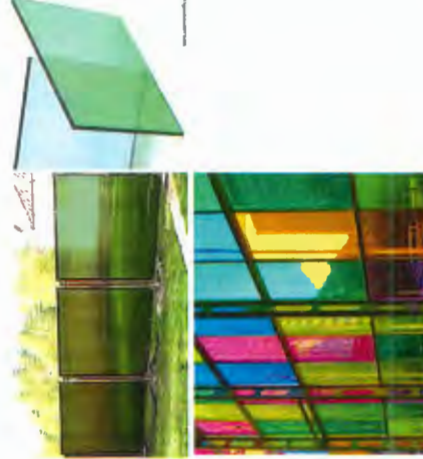
3 Wood bench on planter wall, Type 2 L-5b/ Scale: 1:24

Date	Issue Notes
Sep 14 2020	Issued for 2th Submission Responses
Sep 11 2020	Issue for Pricing
Sep 11 2020	Issued for 4th Submission Responses
August 20 2020	Issued for DP Re-submission
August 04 2020	Issued for DP Re-submission
July 01 2020	Issued for DP Re-submission
Sep 24 2019	Issue for Review
Feb 24 2020	Issue For DP, Response to prior to
Oct 03 2019	Issue For DP
Sep 24 2019	Issue for Review
May 15 2019	Issue for Review
April 11 2019	Revised Reconciling Submission
Mar 28 2019	Issue for Review
Jan 23 2019	Re-issue for Re-Zoning
Sep 25 2018	Issue For Review
Sep 13 2018	Issue For Re-Zoning

NOTES:
 1. All Cedar to be STK, S152E - no knots, white wash stain or water based stain-colour as selected by Architect.
 2. Stain with water based stain-colour as selected by Architect.



4 Temporary fence along West and North side L-5b/ Scale: 1:24



Prospect & Refuge

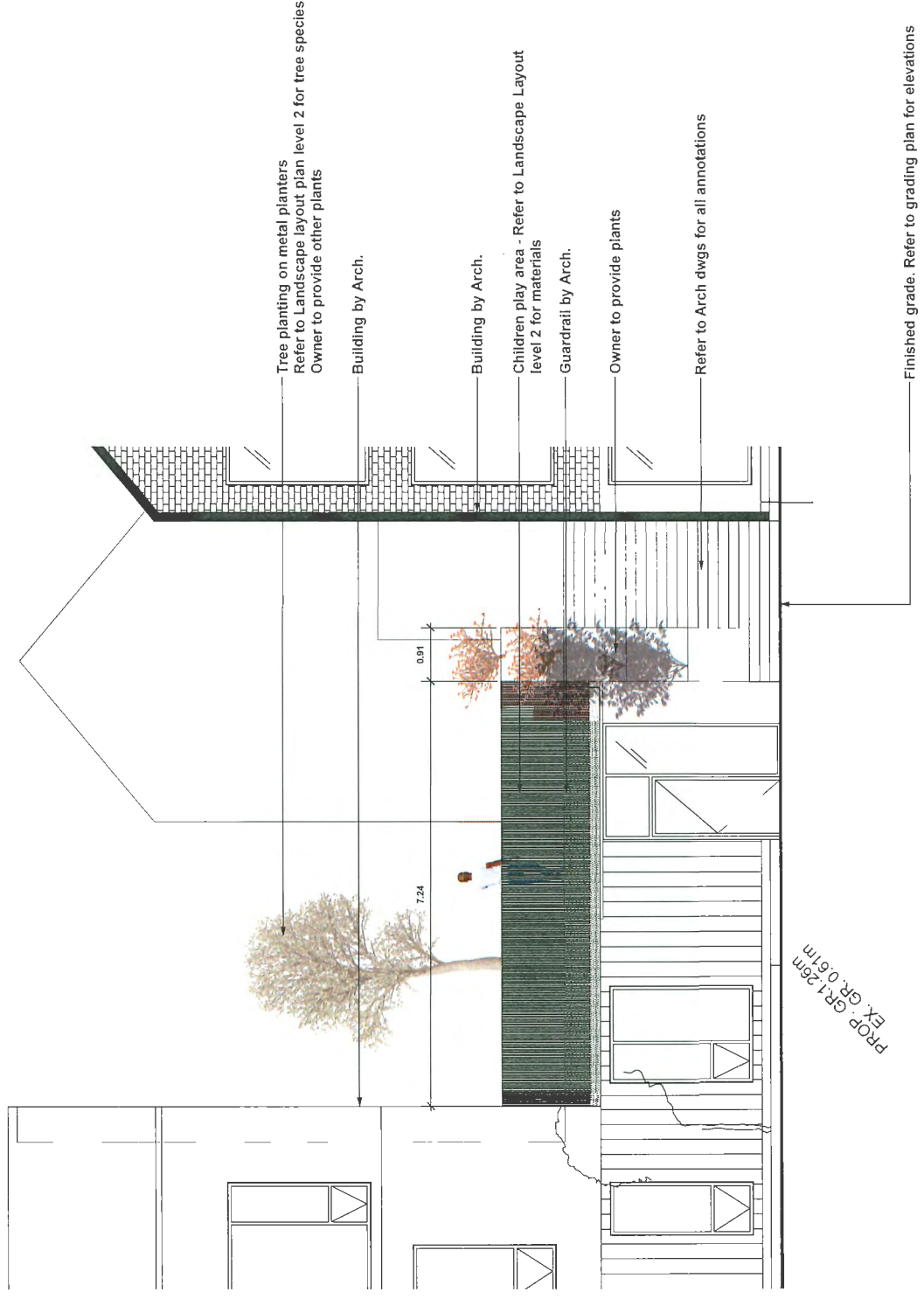
LANDSCAPE ARCHITECTS
 6871-8731 Spiree Road, Richmond, BC
 604-273-1000 | prospectandrefuge.ca
 Building on over 25 years of history in British Columbia

Project Title and Address
 Spiree Boulevard
 6871-8731 Spiree Road, Richmond, BC

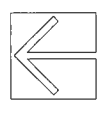
Project Manager
 Landscape Details

Project No.	2017-18
Scale	1:50
Drawn By	
Reviewed By	GD
Date	2020-09-24
Sheet No.	L-5b

DP 18-875398
 OCT 05 2020
 PLAN # 41



Date	Issue Notes
Sep 24 2020	Issue for 8th Submission Response
Sep 14 2020	Issue for Pricing
Sep 11 2020	Issue for 4th Submission Response
August 20 2020	Issued for DP Re-submission
August 04 2020	Issued for DP Re-submission
July 01 2020	Issued for DP Re-submission
Sep 24 2019	Issue for Review
Feb 24 2020	Issue For DP, Response to prior to
Oct 03 2019	Issue For DP
Sep 24 2019	Issue for Review
May 15 2019	Issue for Review
April 11 2019	Revised Rezoning Submission
Mar 28 2019	Issue for Review
Jan 23 2019	Re-issue for Re-Zoning
Sep 25 2018	Issue For Review
Sep 12 2018	Issue For Re-Zoning



Prospect & Refuge
 LANDSCAPE ARCHITECTS
 #102-54818 2nd Ave Vancouver, BC V6J 4H3
 604-680-1023 info@prospectandrefuge.ca
 Building is over 25 years of history at Jouglaque Lane, Ltd.

Project File and Address Spilres Boulevard 8671-8731 Spilres Road, Richmond, BC	
Sheet No. Landscape Level 2 Profile	Project No. 2017-16
Drawn By 00	Scale 1:50
Reviewed By 00	Sheet No. L-4C
Date 2020-09-24	

PLAN # 39 OCT 05 2020
 DP 18-075398



Date: _____ Customer: _____
 Project: _____
 Type: _____ Qty: _____

Inula Bollard LED

Order Code: IBL _____

Series	Height	Light Engine	CCF	Finish	Voltage	Options
IBL	1.5 1.5 ft (457mm)	2020 2x 277 30° Beam 4000K	40 4000K	White	UNV 10-277V	None
IBL	2 2 ft (609mm)	2020 2x 277 30° Beam 4000K	40 4000K	White	UNV 10-277V	None
IBL	2.5 2.5 ft (762mm)	2020 2x 277 30° Beam 4000K	40 4000K	White	UNV 10-277V	None
IBL	3 3 ft (914mm)	2020 2x 277 30° Beam 4000K	40 4000K	White	UNV 10-277V	None
IBL	3.5 3.5 ft (1067mm)	2020 2x 277 30° Beam 4000K	40 4000K	White	UNV 10-277V	None
IBL	4 4 ft (1219mm)	2020 2x 277 30° Beam 4000K	40 4000K	White	UNV 10-277V	None

SEE SPEC CHOICES FOR BOLLARDS

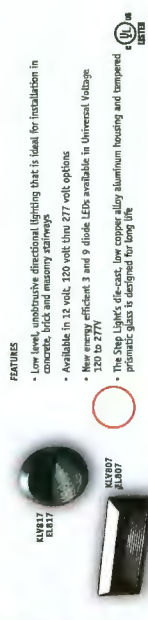
Light Engine: 2020 2x 277 30° Beam 4000K
 CCT: 4000K
 Finish: White
 Voltage: UNV 10-277V
 Options: None

Product Modifications: _____
 Date: _____

Inula Bollard

KLV807/KLV817/EL807/EL817

Rectangular & Round Step Light



- FEATURES**
- Low level, unobtrusive directional lighting that is ideal for installation in concrete, brick and masonry stairways
 - Available in 12 volt, 120 volt thru 277 volt options
 - New energy efficient 3 and 5 diode LEDs available in Universal Voltage 120 to 277V
 - The Step Light's die-cast, low copper alloy aluminum housing and tempered prismatic glass is designed for long life

ORDERING INFORMATION (Example)

FINISH	STEP LIGHT	STEP LIGHT	STEP LIGHT	STEP LIGHT
IBL	EL807	KLV807	KLV817	EL817
IBL	IBL	UV	BL	BL
IBL	IBL	UV	BL	BL

FINISHES

FINISH	FINISH
IBL	IBL
UV	UV
BL	BL



Rectangular
 Round



304

Kim step light

VENUS TC TV IP67 Static White

LED LINEAR lighting solutions



Ordering Process

Fixture Order Code

VENUS TC - Low Output	VENUS TC - High Output
VENUS TC - Low Output	VENUS TC - High Output
VENUS TC - High Output	VENUS TC - Low Output

VENUS TC - Low Output

Color Temperature	Length	Watt	Watt
2700K	90	15	200
3000K	90	15	200
3500K	90	15	200
4000K	90	15	200
5000K	90	15	200

VENUS TC - High Output

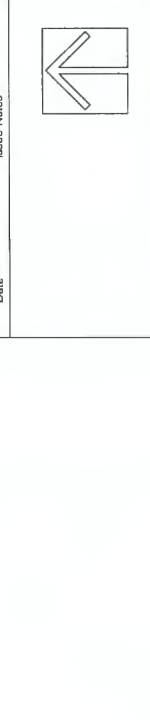
Color Temperature	Length	Watt	Watt
2700K	90	30	400
3000K	90	30	400
3500K	90	30	400
4000K	90	30	400
5000K	90	30	400

LED strip light

LED strip light

Issue Notes

Date	Issue Notes
Sept 14 2018	Issue for 4th Submission Response
Sept 11 2018	Issue for Pricing
August 20 2018	Issue for 4th Submission Response
August 14 2018	Issue for DP Re-submission
July 01 2018	Issue for DP Re-submission
June 24 2018	Issue for Review
June 24 2018	Issue For DP Response to prior Issue For DP
Oct 03 2019	Issue For DP
Sept 24 2019	Issue for Review
May 15 2019	Issue for Review
April 11 2019	Revised Reasoning Submission
Mar 28 2019	Issue for Review
Jan 23 2019	Re-issue for Re-Zoning
Sept 25 2018	Issue For Review
Sept 13 2018	Issue For Re-Zoning



Prospect & Refuge

LANDSCAPE ARCHITECTS
 1902-1468 2nd Ave Vancouver, BC, V6J 1K3
 604-680-1000 vrs@prospectandrefuge.ca
 Building on over 25 years of history in Vancouver, Canada, UK

Project Title and Address
 Spires Boulevard
 8671-8731 Spires Road, Richmond, BC

Project Number
 2017-16

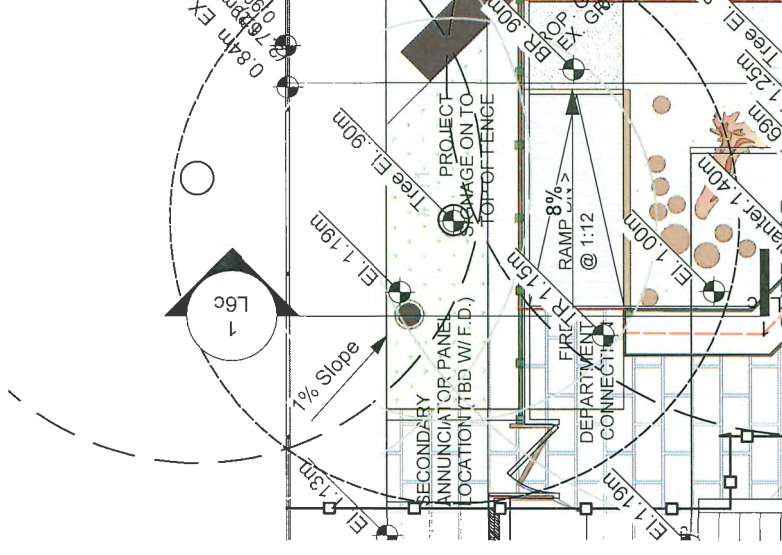
Scale
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Sheet No.
 L-5C

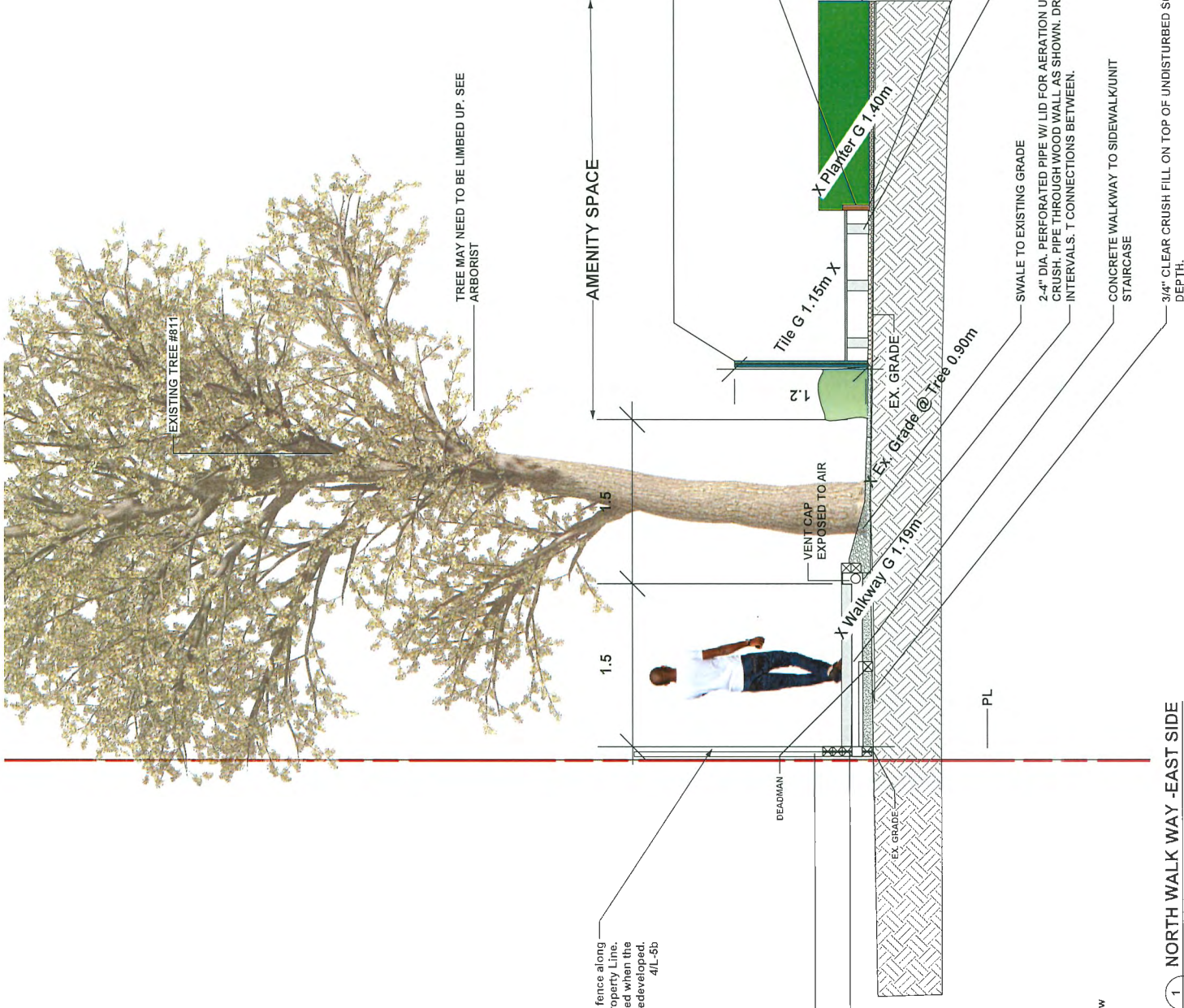
OCT 05 2020

PLAN #42

DP 18-875398



PLAN VIEW
SCALE: 1:50



NOTE:
1. ALL CONSTRUCTION WORK WITHIN TRZ TO BE DONE UNDER PROJECT ARBORIST'S SUPERVISION.

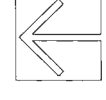
Temporary fence along West and North Property Line. Fence to be removed when the adjacent properties are redeveloped. 4IL-5b

WOOD FENCE.
100 X 100 LUMBER. NON LOAD BEARING WALL WITH DEADMAN. SECURE WITH REBAR. MIN. EDGE 75MM FOR SAFETY.

Detail pertains to access to arborist for existing tree by providing infrastructure under concrete walkway to allow the passing of air through rock material for tree roots. Advised by project arborist

1 NORTH WALKWAY -EAST SIDE
L-6C
SCALE: 1:25

Date	Issue Notes
Sept 24 2020	Issued for 6th Submission Response
Sept 14 2020	Issue for Pricing
Sept 11 2020	Issued for 4th Submission Response
August 28 2020	Issued for DP Re-submission
August 04 2020	Issued for DP Re-submission
July 01 2020	Issued for DP Re-submission
Sep 24 2019	Issue for Review
Feb 24 2020	Issue For DP. Response to prior to
Oct 03 2019	Issue For DP
Sep 24 2019	Issue for Review
May 15 2019	Issue for Review
April 11 2019	Revised Resubmission
Mar 26 2019	Issue for Review
Jan 23 2019	Re-Issue for Re-Zoning
Sep 25 2018	Issue For Review
Sep 13 2018	Issue For Re-Zoning



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LANDSCAPE ARCHITECTS
102-1047 16th Avenue West, Suite 100
Vancouver, BC V6P 4C2
Building over 25 years of history as a Canadian leader.

Project File and Address
Spirex Boulevard
8871-8731 Spirex Road, Richmond, BC

Sheet No	2017-19
Project Manager	2017-19
Drawn By	1:25
Scale	1:25
File Name	00
Date	2020-09-24

PLAN # 45
OCT 05 2020
Pipe Sections/Tree Protection

DP 18-875398
L-6C

