



City of  
Richmond

**Report to Development Permit Panel**  
Planning and Development Department

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**To:** Development Permit Panel

**Date:** February 8, 2012

**From:** Brian J. Jackson, MCIP  
Director of Development

**File:** DP 11-593925

**Re:** **Application by Cotter Architects for a Development Permit at  
14000 Riverport Way**

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**Staff Recommendation**

That a Development Permit be issued which would permit the construction of a mixed-use six-storey building with 55 market rental apartments, approximately 78 m<sup>2</sup> commercial space, approximately 83.6 m<sup>2</sup> community amenity space, and an associated two-level parking structure on a site zoned "Low Rise Apartment (ZLR14) - Riverport".

Brian J. Jackson, MCIP  
Director of Development

SB:blg  
Att.

## Staff Report

### Origin

Cotter Architects has applied to the City of Richmond for permission to develop a mixed-use six-storey building with associated two-level parking structure at 14000 Riverport Way on a site zoned "Low Rise Apartment (ZLR14) - Riverport". The medium-density mid-rise mixed-use proposal includes 55 market rental dwelling units, approximately 78 m<sup>2</sup> commercial space, approximately 83.6 m<sup>2</sup> community amenity space, and a parking structure that is shared with the adjacent existing development at 14088 Riverport Way. The development site currently contains the access ramp to the parking structure at 14088 Riverport Way.

The text of the zoning district is being amended for this project under Bylaw 8811 (ZT 11-565675). The zoning text amendment also introduces a site-specific rental residential parking requirement for the proposed mid-rise building and the recently constructed 80-unit four-storey market rental residential building at 14088 Riverport Way.

A Servicing Agreement (SA 02-218175) was secured through the original rezoning application for this waterfront community (RZ 03-234655) for the new Riverport Way road, Steveston Highway improvements from Entertainment Boulevard to a dike plaza, storm sewer and water distribution systems, dike walkway, viewing piers, float, and walkway and parking area in the City-owned lands to the north. The works are mostly constructed. The subject last remaining development lot is surrounded with temporary frontage works, which will be completed with construction of the development.

A City sanitary sewer does not service the development. This waterfront community, including the proposed building, is tied into the private sewage treatment plant for the Riverport Sports and Entertainment Complex. The owner has confirmed that the private system has sufficient capacity to service the proposed development. The City has no plans to extend sanitary sewer service in the vicinity.

### Development Information

Please refer to the attached Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant bylaw requirements.

### Background

As noted in the August 30, 2011 staff report regarding the zoning text amendment, the sites at 14000 and 14088 Riverport Way together are proposed to provide market rental accommodation for employees in the area, and the general public. The subject vacant site at 14000 Riverport Way is the last development parcel of the former industrial lands at 14791 Steveston Highway to be developed by Legacy Park Lands Limited as part of its waterfront community next to the Fraser River, CNR rail lands, and the Riverport Sports and Entertainment Complex. The waterfront development has been the subject of several development applications. The existing waterfront residential community features three (3) existing four-storey market condominium buildings, a recently constructed four-storey market rental building, dike walkway with viewing piers, new Riverport Way public road, Steveston Highway terminus with plaza, pier and float, and walkway and parking improvements in the City-owned lands to the north.

The original site contained contamination and has undergone soil remediation with each phase of development. The remaining subject site is in the process of applying to have the completed soil remediation work cleared to a residential standard. The requirement for approval from the Ministry of Environment regarding development of this site was secured through the zoning text amendment.

### **Surrounding Development**

Development surrounding the Fraser Lands Planning Area properties at 14000 and 14088 Riverport Way includes:

- To the northeast, is a recently constructed 80-unit four-storey market rental residential building at 14088 Riverport Way and 144-unit Phase 1 of the waterfront community, consisting of three (3) four-storey market residential buildings at 14100, 14200 and 14300 Riverport Way;
- To the east, is dike property owned by the City and a water lot also owned by Legacy Park Lands Limited, and the Fraser River;
- To the west, across Riverport Way, is CN Rail right-of-way (ROW) and the Riverport Sports and Entertainment Complex beyond; and
- To the south, is the Steveston Highway inland dike, and Fraser Wharves land beyond.

### **Rezoning and Public Hearing Results**

#### ***Consultation***

- It was noted in the staff report regarding the zoning text amendment that the development is not envisioned to support families; the closest schools are Woodward Elementary School west of No. 5 Road, and McNair Secondary School on No. 4 Road north of Williams Road. This application was not referred to School District No. 38 (Richmond) because it is consistent with the existing Official Community Plan (OCP) designation and is estimated to generate less than 50 school aged children (e.g. typically around 295 multiple-family housing units would generate 50 school aged children). However, City staff did review the application informally with staff from the School District No. 38 (Richmond) and School District staff did not express any concerns about the proposal.

#### ***Public Input***

The Public Hearing for the zoning text amendment related to this site was held on October 17, 2011. At the Public Hearing, a mix of public input in support and in opposition to the proposal was received. Concerns were raised regarding land use, environmental impact, traffic and street parking. The following concerns regarding the architectural form and character of the development proposal were expressed (response in '***bold italics***'):

- Adequacy of off-street parking provided on-site – ***The development meets the bylaw requirements for on-site parking, accommodates 31 parking spaces for the use of the adjacent market rental building at 14088 Riverport Way, and provides Transportation Demand Management (TDM) measures. There are 108 parking spaces provided onsite (66 spaces for residents, 11 spaces for visitors/commercial, and 31 spaces for 14088 Riverport Way). The shared parking use was secured through the zoning text amendment. The required parking rate for the market rental apartments was established in the ZLR14 zone based on a parking analysis prepared by the owner's transportation consultant and accepted by Transportation staff.***

- Building height – *The proposed six-storey building is taller than the existing neighbouring four-storey buildings along Riverport Way. This building height is considered appropriate in that it achieves the following objectives:*
  - *Maximizes the opportunity to provide much needed market rental housing;*
  - *Reduces the building footprint and minimizes the impact on views from the neighbouring buildings along Riverport Way; and*
  - *Provides a landmark building at the terminus of Steveston Highway.*

### ***Changes Introduced to the Project Through the Development Permit Application***

Due to the geotechnical constraints of the site, the following changes have been made to the proposal:

	Initial Scheme	Current Proposal
Application File	ZT 11-565675	DP 11-593925
Construction	Concrete tower with podium	Five levels of wood-frame over a concrete podium
Building Height	22.5 m & seven-storey	22.5 m & six-storey
Floor Area	1.95 FAR (including amenity)	1.64 FAR (including amenity)
Market Rental Residential	4,966 m <sup>2</sup>	4,137 m <sup>2</sup>
CRU	60 apartments	55 apartments
Amenity	68.3 m <sup>2</sup>	No change
	125.4 m <sup>2</sup>	No change

### **Staff Comments**

The proposed scheme attached to this Report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the “Low Rise Apartment (ZLR14) - Riverport” zone.

### **Advisory Design Panel Comments**

The Advisory Design Panel supported the proposal subject to the applicant considering their comments. A copy of the relevant excerpt from the Advisory Design Panel Minutes from January 4, 2012 is attached for reference (**Attachment 2**). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in ‘***bold italics***’.

### **Analysis**

#### ***Conditions of Adjacency***

- The development provides an appropriate interface to Steveston Highway, consisting of street fronting commercial storefront glazing, two (2) community amenity rooms, and a residential entry lobby.



- The development provides an appropriate interface to Riverport Way, consisting of street fronting commercial storefront glazing with entry, residential entry lobby, and a portion of the ground level of the parking structure. The parking structure is screened with areas of: glazed spandrel panels, sandblasted concrete, painted metal trellis with Evergreen vine planting, and landscaping in raised planters.
- The development provides an appropriate interface to the public dike walkway, consisting of a community amenity room and the ground level of the parking structure is screened with areas of sandblasted concrete, painted metal trellis with evergreen vine planting, and landscaping. Registration of a Dike Maintenance Agreement was secured through the zoning text amendment to address the proximity of the building to the riverfront dike and inland Steveston Highway dike.
- The development presents a sensitive interface to the owner's adjacent market rental development to the north. Approximately one-half of the parking structure abuts the shared property line. The other half is set back from the shared property line behind the open parking access ramp. The abutting parking structure is screened with a one-level solid concrete wall with reveal lines and an area of attached metal screen that provides visual interest. The setback portion of the parking structure is screened with painted metal trellis with Evergreen vine planting, and an open trellis structure over the open parking access ramp. The podium roof exit stair enclosure at the northeast corner of the site is set back from the shared property line and screened with landscaping.
- Registration of a Noise Sensitive Use Restrictive Covenant was secured through the zoning text amendment to ensure appropriate indoor sound level and thermal comfort is provided in the dwelling units. The covenant requires that acoustic and mechanical professional engineers confirm the design and construction of the dwelling units meets appropriate specified standards as discussed later in this report.

### *Urban Design and Site Planning*

- The subject corner site at Riverport Way is the terminus view for Steveston Highway and a gateway to/from the Fraser River. Due to its significant visibility, the project has been designed as a landmark building anchored at the corner and differentiated from the existing four (4) four-storey buildings along Riverport Way. The design provides an architectural contrast to the existing buildings with two (2) additional floors of building height, a simpler building massing that emphasizes the angled nature of the site, horizontal emphasis with eyebrows at each floor level and large horizontal bands of glazing to celebrate the river views.
- The building massing includes a six-storey mid-rise building located along the south Steveston Highway edge of the site and associated parking podium. The two-level parking structure is pushed down into the site to provide one-level below ground, a level at grade and a landscaped outdoor amenity area on the roof. The east-west axis of the mid-rise presents a narrow profile to Riverport Way and maximizes the open space between the new building and the existing buildings along Riverport Way. Ground level views toward the parking podium are softened with a mix of treatments, including: openings in the walls with metal screens with vine planting; pulling back the roof and providing open metal trellises along Riverport Way and a landscaped edge.
- Indoor amenity is provided in two (2) community amenity rooms at the ground level along Steveston Highway for the shared use of the residents in all five (5) of the Riverport Way neighbourhood buildings. The 168 m<sup>2</sup> area exceeds the OCP requirement of 100 m<sup>2</sup> and also exceeds the 74.3 m<sup>2</sup> that was envisioned through the original rezoning (RZ 03-234655).

- Outdoor amenity is provided on the second floor parking structure podium roof. The 436 m<sup>2</sup> area exceeds the OCP requirement of 330 m<sup>2</sup>. The outdoor amenity area includes a barbeque area overlooking the river, a children's play area overlooking Riverport Way, and an attractive landscape treatment that softens views for residents above and in the neighbouring building to the north.
- Three adaptable units are provided: the southwest corner unit on levels 2, 3 & 4. To accommodate future potential renovations for a resident in a wheelchair, this unit design includes wider doors and larger areas in the bathroom, kitchen and hall. Conversion would involve only minor interior works.
- Aging in place features will be provided in all units (e.g. solid blocking in all washroom walls to accommodate future potential grab bar installation, and lever-type handles for faucets and doors).
- There are two (2) separate driveways along Riverport Way, providing vehicle access to the two separate levels of the parking structure.
- The development meets the bylaw requirements for on-site parking, accommodates 31 parking spaces for the use of the adjacent market rental building at 14088 Riverport Way, and provides Transportation Demand Management (TDM) measures that include \$25,000 for a bus shelter and \$45,000 for a special crosswalk. There are 108 parking spaces provided onsite (66 spaces for residents, 11 spaces for visitors/commercial, and 31 spaces for 14088 Riverport Way). There are 3 accessible spaces onsite. The shared access and use of the parking structure was secured through the zoning text amendment.
- Garbage and recycling storage needs have been accommodated onsite, in separate rooms for the commercial unit and residents. A small holding area is located on-site at the space in between the parking access driveways in front of the parking structure and behind the Riverport Way sidewalk. The property manager will be responsible to schedule private collection at different times for residential and commercial garbage and recycling. Garbage and recycling is collected from Riverport Way for this waterfront neighbourhood.

#### *Architectural Form and Character*

- As noted above, the project has been designed as a landmark building, providing a visual contrast to the existing buildings with additional building height and a simpler massing.
- The mid-rise building floor plate is a parallelogram that emphasizes the angled nature of the site with vertically stacked projecting angled balconies at the southwest and northeast corners of the building. A horizontal emphasis is provided with continuous projecting eyebrows at each floor level, bands of solid panelling, and bands of glazing.
- The visual impact of the one level of parking structure above grade is mitigated through architectural and landscaping treatments. The roof edge is pulled back, a continuous planter provided at the perimeter edge, and there are large openings in the street wall to reduce its massing. The parking function is screened from views from the street and dike walkway with painted metal trellis structures planted with Evergreen vines.
- The contemporary design includes continuous storefront type glazing and spandrel panels at the ground level and an exterior cladding panel system for the upper floors. The system includes horizontal bands of glazing and hardi-panel set into a grid of clear anodized aluminium grid (trims and reveals).
- The project features a cool blue, grey and white colour palette with red accent provided at the ground level metal screens and trellises.

- The simplicity of the mid-rise design is accented with an area reserved for Public Art in an indented vertical band facing Riverport Way. The artwork and vertical band are intended to provide a colourful contrast to the cool blue to grey colour scheme. The applicant is committed to participate in the Public Art Program with the Richmond Public Art Advisory Committee.
- Outdoor balconies are provided for 50 of the 55 apartment units. A vertical stack of large projecting angled balconies is provided at the southwest and northeast corners of the building. Smaller balconies are provided in a vertical stack of projecting balconies at the northwest corner of the building, and four (4) vertical stacks of inset balconies along the north and south elevations that provide a subtle massing articulation to the building facades. The indented balconies include frosted glass privacy screens between adjacent units.

### ***Landscape Design and Open Space Design***

- The landscape treatment has been designed in line with the simplified contemporary architectural design approach and opens up toward the river for views from the outdoor amenity space and from the adjacent existing building. The structured approach changes to incorporate organic curves along the riverfront to complement the meandering dike walkway. The plant selection complements the established design along the riverfront and throughout the earlier phases of development. The landscape treatment within the riverfront dike walkway right-of-way (ROW) was secured through the original rezoning for this waterfront community (RZ 03-234655) and associated Servicing Agreement (SA 02-218175).
- The landscape design includes landscape treatment at the second floor podium roof level and also at the ground level fronting onto Riverport Way, Steveston Highway and the riverfront dike walkway. The palette includes; ground covers, ornamental grasses, shrubs, trees, sand, concrete pavers, basalt pavers, blocks and benches.
- The design incorporates some tree planting along the Steveston streetscape and up on the podium roof. Tree planting is not permitted along the riverfront, and only limited small tree planting is permitted along Steveston Highway due to dike adjacency concerns. There are no existing trees on the vacant site.
- The outdoor amenity space on the podium roof includes a variety of passive and active outdoor spaces for use by residents. Programmed spaces include: active play area with children's play equipment (climbing structure and sandbox) and basalt faced seating for supervision; and a large gathering area facing the river, featuring decorative hard surface treatment, a barbeque, tables and seating. Apartment units facing onto the outdoor amenity area have generous semi-private decks on the podium roof. These semi-private decks are separated from the shared outdoor amenity area with soft landscaping and guard railing.
- Riverport Way and Steveston Highway include a variety of landscape treatments that are adequate for the commercial unit, the shared amenity rooms, as well as the residential lobby entries. The streetscape landscape treatment includes street tree planting in the Riverport Way City boulevard, six (6) trees on-site, soft landscaping at grade and in raised beds, two (2) different paving pattern treatments, bike racks, and vine planting over open trellises and slatted screens to buffer views of the one level of the parking structure above grade.
- The landscape treatment fronting onto the riverfront dike walkway is a combination of ornamental grasses, low shrubs, ground covers, and berms to complement the attractive approved dike walkway design. The approved design includes a meandering asphalt path and concrete border with planting highlighted with ornamental grasses.



***Crime Prevention Through Environmental Design (CPTED)***

- The project has been designed to accommodate CPTED principles.
- Natural surveillance is provided throughout the project.
- Clear vision glazing is included in exit stairwell doors and vestibules.
- The lower parking level is secured. Appropriate lighting levels and light coloured paint are provided in both parking levels.
- Boundaries between public, semi-public and private spaces have been clearly defined.

***Transportation***

- Road network and dike improvements were secured through the original rezoning for this waterfront community (RZ 03-234655) and associated Servicing Agreement (SA 02-218175). This included the creation of the new road Riverport Way with landscaped boulevards and sidewalks; a cul-de-sac terminus for Steveston Highway with pedestrian plaza; and a continuous pedestrian dike walkway along the river's edge frontage. Both Riverport Way and the Steveston Highway cul-de-sac accommodate on-street parking.
- The development meets the bylaw requirements for on-site parking, accommodates 31 parking spaces for the use of the adjacent market rental building at 14088 Riverport Way, and provides TDMs. There are 108 parking spaces provided onsite (66 spaces for residents, 11 spaces for visitors/commercial, and 31 spaces for 14088 Riverport Way). There are 3 accessible spaces onsite. The shared access and use of the parking structure was secured through the zoning text amendment.
- The rental residential parking requirement in the ZLR14 zone (1.32 parking spaces per rental apartment, or 1.19 parking spaces per unit with TDMs) was established based on a parking analysis prepared by the owner's transportation consultant and accepted by Transportation staff.
- The proposed TDM strategy supported by Transportation Division includes:
  - Voluntary contribution towards a bus shelter and bus pad at the existing bus stop at Steveston Highway and Entertainment Boulevard (\$25,000), and
  - Voluntary contribution towards a special crosswalk on Steveston Highway at Entertainment Boulevard with wheelchair ramps (\$45,000).

***Servicing Capacity***

- Road network, infrastructure and dike improvements were secured through the original rezoning for this waterfront community (RZ 03-234655) and associated Servicing Agreement (SA 02-218175). The road works included storm sewer and water distribution systems.
- A City sanitary sewer does not service the development. This waterfront community, including the proposed building, is tied into the private sewage treatment plant for the Riverport Sports and Entertainment Complex. The City has no plans to extend sanitary sewer service in the vicinity.

***Noise Sensitive Development***

- As noted above, the subject site is in close proximity to industrial, commercial and railway lands. It is important to address the adjacency for the comfort of the future residents.



- As outlined the staff report regarding the zoning text amendment, registration of a Noise Sensitive Use Restrictive Covenant was secured through the zoning text amendment. The purpose is to ensure residents of the proposed apartment building enjoy appropriate indoor sound levels determined by CMHC, and industry standard thermal comfort throughout the year, including the warmer summer months. The covenant includes notification of nearby industrial, commercial and rail operations. The covenant also ensures that a registered professional confirm compliance of the project design and construction of the dwelling units with the following requirements:
  - a) Indoor sound level criteria (with doors and windows closed):

<b>Portion of Dwelling Unit</b>	<b>Maximum Noise Levels (decibels)</b>
Bedrooms	35 dB
Living, dining, and recreation rooms	40 dB
Kitchen, bath, hallways, and utility rooms	45 dB

- b) Indoor thermal comfort standard (with doors and windows closed throughout all seasons): ASHRAE 55-2004 "Thermal Environmental Conditions for Human Occupancy".
- Detailed acoustic evaluation information has been provided by Brown Strachan Associates Consulting Engineers in Acoustics and has been placed in the Development Permit application file. A sealed report is required at the Building Permit stage. The approach to provide the required indoor sound levels with windows closed is to incorporate specified acoustic attenuation construction measures, including:
    - Riverport and north elevation glazing: in windows and doors, 6 mm laminated glass – 13 mm airspace – 5 mm glass (6Lam-13-5 thermal glazing) rated OITC 32/STC 39.
    - Steveston and west elevation glazing: 6 mm glass – 13 mm airspace – 4 mm glass (6-13-4 thermal glazing) rated OITC 29/STC 36.
    - Riverport elevation: two layers of interior drywall for all bedroom exterior walls.
    - Acoustically lined duct work for any make-up air ducts from the exterior.
    - In addition, acoustic attenuation will be provided through the exterior wall assemblies, exterior doors and air tightness as required by the BC Building Code.
  - Detailed information regarding the mechanical ventilation system and compliance with ASHRAE 55 – 2004 has been provided by DEC design Mechanical Consultants Limited and has been placed in the Development Permit application file. A sealed report is required at the Building Permit stage. The approach to provide the required thermal comfort inside all of the apartments with windows closed throughout the year is to incorporate specified mechanical system measures including:
    - Programmable principal exhaust fan with de-humidistat (sound rating no more than 0.5 sone & sized for 1 air change/hr) in each unit.
    - Acoustic treated manual control air intakes at exterior wall to each room.
    - Variable speed ceiling fan (sound rating no more than 0.5 sones) in each bedroom and living room.
    - Manual window blinds for all exterior glazing.
    - Wall and roof insulation and exterior glazing, as required by the BC Building Code.
    - In addition, winter thermal comfort will be provided with heating systems, as required by the BC Building Code.

### ***Affordable Housing Strategy***

- As noted in the staff report regarding the zoning text amendment, the subject application presents a unique opportunity to provide new rental housing in Richmond (i.e., few developments see a financial incentive in the option). The owner is supporting the community housing needs through providing two purpose-built market rental residential apartment buildings. Purpose-built rental housing provides the following community benefits:
  1. Relieves pressure on market rental vacancy rates in Richmond (i.e., Canada Mortgage Housing Corporation reports that rental vacancy rates have continued to maintain an average low of 1.5 percent consistently over the past 10 years).
  2. Supports the availability of non-market affordable rental housing for low to moderate income households.
  3. Increases housing options for those who do not choose or are not able to purchase a condominium or enter into the homeownership market.
- The requirement for rental use in perpetuity, and associated Housing Agreement, was secured through the zoning text amendment.
- Access to the community meeting space for all residents in the waterfront community's five (5) buildings (14000, 14088, 14100, 14200 & 14300 Riverport Way) was secured through the zoning text amendment.

### ***Environmentally Sensitive Areas (ESAs)***

- The area between Riverport Way and the Fraser River is designated as an ESA, including the subject development site. The ESA aspect of the waterfront community shoreline was resolved through an approved Development Permit (DP 97-122639) prior to the original rezoning, Servicing Agreement, and Development Permit for the waterfront community development. City and Department of Fisheries and Oceans staff agree that the proposed development does not impact the environmentally sensitive shoreline, as it is restricted to the inland side of the existing dike walkway.

### ***Floodplain Management***

- The City's Flood Plain Designation and Protection Bylaw No. 8204 specifies a minimum flood construction level requirement of 3.0 m GSC. Similar to the new building at 14088 Riverport Way, the development proposal for 14000 Riverport Way includes a 4.47 m GSC ground floor elevation to tie into the existing parking structure elevation.
- There is an existing floodplain covenant registered on title that was secured through the original rezoning for this waterfront community (RZ 03-234655) and registered before the current Flood Plain Designation and Protection Bylaw No. 8204 came into effect. The covenant includes a lower minimum flood construction level requirement of 3.5 m GSC. In addition, dike improvements were secured through a Servicing Agreement (SA 02-218175) associated with the rezoning.
- Registration of a Dike Maintenance Agreement was secured through the zoning text amendment to permit the structures to encroach into the required 7.5 m setback from the dike rights-of-way along Steveston Highway and the east edge of the site. The approved Development Permit (DP 04-269797) included an underground parking structure on the 14000 Riverport Way that encroaches into both required dike setbacks. In consultation with City Engineering staff, the applicant has maintained the approved setback along Steveston Highway, and increased the setback by 1.4 m along the east edge of the site. The encroaching structures include a required continuous engineered dike support structure designed to support a future raised dike (5.5 m GSC), subsurface parking and bicycle storage,

mixed-use building, vehicle and pedestrian circulation, and landscaping elements. The agreement will include an Engineering Report and a safeguard right-of-way to for dike integrity.

### ***Community Benefits***

- Construction of a market rental residential building with 55 dwelling units. In total, two (2) market rental apartment housing buildings will be part of this waterfront community, with the recently constructed 80-unit market rental residential building at 14088 Riverport Way. A total of 135 dwelling units will be provided, and both buildings will share parking facilities.
- Transportation Demand Management (TDM) measures that include \$25,000 for a bus shelter and \$45,000 for a special crosswalk.

In addition, the following community benefits were secured through the zoning text amendment:

- A 83.6 m<sup>2</sup> (900 ft<sup>2</sup>) community meeting space for all residents in the waterfront community.
- Voluntarily contribution of \$0.75 per buildable square foot (e.g. \$40,742) to the City's Public Art fund or towards installation of Public Art on-site through participation in the City's Public Art Program. The applicant is investigating opportunities for integrating public artwork into the Riverport Way building façade.
- Statutory Rights-of-Way for utilities and Public Rights-of-Passage over the boulevard and sidewalk at the Steveston Highway and Riverport Way intersection (design and construction of works secured via Servicing Agreement SA 02-218175).

### ***Sustainability Measures for proposed building at 14000 Riverport Way:***

As noted in the staff report regarding the zoning text amendment, the applicant has identified the following sustainability measures for the development proposal:

- Densification with addition of market rental apartment housing and supporting limited commercial space in close proximity to local employment opportunities and recreation amenities.
- Landscape design including indigenous plant species.
- Water efficient low flow fixtures are proposed with dual flush toilets in residential units.
- Energy efficiency - high efficiency boiler proposed for general water heating for the proposed building; efficient lighting throughout building with automated sensors in parking area; efficient LED lighting in corridors; programmable thermostats in commercial and amenity areas, natural day lighting to reduce the need for artificial lighting; and high efficiency heating and ventilation system.
- Passive Solar Design - intensive green roof for raised outdoor amenity space courtyard, and high albedo ('white roof') roofing membrane for upper roof to mitigate heat gain/ urban heat island effect, 30 – 40% solid insulated wall, 60 – 70 % wall glazed with low-E argon filled double glazed window wall system, and partial shading from projections.
- Air quality – low VOC (volatile organic compound) paints, carpeting, and adhesives.
- Recycling – secure common area proposed for newsprint, mixed paper, cardboard, container, and organics recycling along with garbage.
- Alternative forms of transportation – locating market rental apartment housing in close proximity to local employment opportunity; within 200 m of transit service, on-site bicycle storage and proposed transportation demand measures including a bus shelter with pad and special crosswalk.
- The applicant has advised that a geothermal system is not practical for this development.

### ***Legal Agreements***

- Discharge of age restrictive covenant BV459925 from both market rental residential properties (14000 and 14088 Riverport Way) is a condition of the Development Permit. The registered covenant restricts the age of residents to 18 years of age or older.
- It was noted in the staff report regarding the zoning text amendment that the development is not envisioned to support families as the closest schools are Woodward Elementary School west of No. 5 Road, and McNair Secondary School on No. 4 Road north of Williams Road. However, as noted earlier in this report, City staff did review the application informally with staff from the School District No. 38 (Richmond) and School District staff did not express any concerns about the proposal.

### **Conclusions**

The subject proposal will be a landmark building demarcating the east terminus of Steveston Highway, and will complete the Riverport Way waterfront community. The proposal will provide much needed market rental accommodation (55 units) in an attractive contemporary mid-rise project. The applicant has addressed staff and the Advisory Design Panel's comments regarding conditions of adjacency, site planning and urban design, architectural form and character, and landscape. Staff recommends support of this Development Permit application.



Sara Badyal, M. Arch, MCIP  
Planner 2 (Urban Design)  
(604-276-4282)

SB:blg

The following are to be met prior to forwarding this application to Council for approval:

- Discharge age restrictive covenant BV459925 from both market rental residential properties (14000 and 14088 Riverport Way).
- Transportation Demand Management (TDM) Measures:
  - Voluntary contribution in the amount of \$25,000 towards a bus shelter and bus pad at the existing bus stop at Steveston Highway and Entertainment Boulevard.
  - Voluntary contribution in the amount of \$45,000 towards a special crosswalk on Steveston Highway at Entertainment Boulevard with wheelchair ramps.
- Receipt of a Letter-of-Credit for landscaping in the amount of \$297,930.10.

Prior to future Building Permit issuance, the developer is required to complete the following:

- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Division at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Division (<http://www.richmond.ca/services/ttp/special.htm>).
- If applicable, payment of latecomer agreement charges associated with eligible latecomer works.





DP 11-593925

Attachment 1

Address: 14000 Riverport Way

Applicant: Cotter Architects

Owner: Legacy Park Lands Limited

Planning Area(s): Fraser Lands

	Existing	Proposed
Site Area:	2,642.3 m <sup>2</sup>	No Change
Land Uses:	Parking	Market rental apartment housing, community amenity and commercial
OCP Designation:	Limited Mixed Use	No Change
Zoning:	Low Rise Apartment (ZLR14) - Riverport	No Change
Number of Units:	Vacant	Market rental apartments 55 (41 one-bedroom & 14 two-bedroom) CRU 1 Community amenity rooms 2

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 1.91 & 0.1 amenity	1.6 & 0.05 amenity	None permitted
Lot Coverage:	Max. 46%	46 %	None
Building Setbacks: Steveston Highway (south) Riverport Way (west) Side yard (east) Rear yard (north)	Min. 1 m Min. 2 m Min. 8.5 m N/A	3 m 3 m 8.5 m – 16.7 m 0 m	None
Height (m):	Max. 22.5 m	22.5 m	None
Off-street Parking Spaces: Resident Visitor Commercial Accessible For 14088 Riverport Way Total	After TDMs 66 11 (3) (3) 31 108	After TDMs 66 11 (Visitor Spaces) (3) 31 108	None
Small Car Parking Spaces	Max. 50%	47 % (51 spaces)	None
Bicycle Parking Spaces: Class 1 (secure) Class 2 (rack)	69 11	69 11	None
Amenity Space – Indoor	Min. 100 m <sup>2</sup>	168 m <sup>2</sup>	None
Amenity Space – Outdoor	Min. 330 m <sup>2</sup>	436 m <sup>2</sup>	None

## Annotated Excerpt from the Minutes of The Design Panel Meeting

Wednesday, January 4, 2012 – 4:00 p.m.  
Rm. M.1.003

Richmond City Hall

3. DP 11-593925 – SIX-STORY MIXED-USE DEVELOPMENT WITH 55 APARTMENTS  
OVER GROUND LEVEL COMMERCIAL AND AMENITY SPACE  
ARCHITECT: Cotter Architects  
PROPERTY LOCATION: 14000 Riverport Way

### Panel Discussion

Comments from the Panel were as follows:

- like the shape of the building which is suitable for a 5-storey wood frame building;
- concern on the off-site loading; Riverport Way is fairly narrow and loading vehicles are close to Riverport Way and Steveston Highway intersection – *An appropriate setback from the intersection will be provided.*
- concern on firefighting access to units facing the Fraser River (i.e., back of the building); should be addressed by BC Building Code consultant and may include Code equivalences – *Will be addressed through the future Building Permit application.*
- is there an easement in the rear for exit stair egress to neighbouring property? – *a Cross-access easement was secured through the zoning text amendment.*
- suggest increasing the floor-to-floor height of the CRUs to allow for beam depth – *Incorporated.*
- concern on the surface materials on the courtyard area; combination of crushed gravel migrating onto basalt may pose a trip hazard; simplify and minimize transitions – *Gravel removed.*
- provide tables and seating in the barbeque area for residents – *Incorporated.*
- consider larger groupings of ornamental grasses for easier maintenance – *Incorporated.*
- consider adding natural elements to the playground, e.g. logs and planting which can be incorporated to play; will make the play area more useful – *Natural planting, stepping stones and stone benches have been added to complement the active climbing structure.*
- consider providing accessibility features in the diagonally opposite units at the other point of the building; units need not be designated as accessible; consider incorporating sliding doors in the washroom lay-out; will open up some floor space – *Considered. Three adaptable units provided and aging in place features provided in all units.*
- orientation of buildings appears to minimize the mass of buildings; maximizes the green and view for the neighbouring developments;
- character of the building is appropriate to the site;
- concern on the proportion of the massing of the building fronting onto Riverport; consider doing something different from the other parts of the building – *Considered. Simplicity of the massing is maintained in keeping with design intent.*

- consider further treatment to the entry plaza to make it a more welcoming point, e.g water feature in addition to paving treatment; critical point as it is in the intersection of two important roads – *Corner has been re-designed with softer welcoming landscape treatment, accessible ramp and project signage.*
- interesting approach to dealing with the terminus of Riverport Way and Steveston Highway;
- architectural drawings and model appear to be a concrete slab and curtain wall building; however, with wood frame building it may not be constructed exactly as shown – *Design intent is maintained as closely as possible.*
- good incorporation of public art into building design but how it will actually work will rely on details of the actual art which needs resolution; how will it integrate with the public art program? – *The applicant will participate in the process with the Richmond Public Art Advisory Committee to determine the artwork and then will coordinate the details.*
- berm transition at the back of parkade to the dyke is a bit clumsy as shown in section on L-05; context in the drawing on both sides would have been more helpful – *Improved with additional planting and architectural trellis with vine planting. Context included.*
- concern on off-site loading for rental property due to expected high volume of vehicles on moving days – *addressed above.*
- building is well-resolved; nice way of handling transition to a more diagonal arrangement of adjacent buildings; like the austerity and simplicity of the building;
- landscape theme appears severe; basalt pavers seem out of context; spaces on the roof deck are vast and difficult to occupy; adding trees, more planting, tables on the roof deck and other elements will occupy the space and bring down the scale – *Incorporated.*
- concern on the prow of the building at the corner of Riverport Way and Steveston Highway; reconsider basalt paving between the sidewalk and the building face and consider softer treatment to imbed the building into the landscape and mitigate 3 foot difference from sidewalk up to floor level – *Incorporated.*
- bermed planting to cover parkade may not be successful; architectural articulation of the facade combined with planting could be far more effective – *Incorporated.*
- applicant needs to provide information regarding the approved servicing agreement design for dyke walkway and other public realm context to clarify relationship with proposed project – *Incorporated.*
- building has strong form; good slab appeal appropriate for an area near the water;
- balconies are great;
- landscape on the podium seems harsh; appears dry and hard; look at increasing separation with planting between the playground and barbeque area and patios – *Design simplified and improved with added planting areas, reduced paving, and seating areas.*
- advise the applicant to present the public art scheme [to the Public Art Advisory Committee] at the earliest possible time – *The applicant is making arrangements.*

## Panel Decision

It was decided that DP 11-593925 be supported to move forward to the Development Permit Panel subject to the applicant considering the items discussed by the Panel.



No. DP 11-593925

To the Holder: COTTER ARCHITECTS  
Property Address: 14000 RIVERPORT WAY  
Address: C/O MR. SIMON HO  
COTTER ARCHITECTS  
#235 – 11300 NO. 5 ROAD  
RICHMOND, BC V7A 5J7

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #25 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$297,930.10 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.



# Development Permit

No. DP 11-593925

To the Holder: COTTER ARCHITECTS  
Property Address: 14000 RIVERPORT WAY  
Address: C/O MR. SIMON HO  
COTTER ARCHITECTS.  
#235 – 11300 NO. 5 ROAD  
RICHMOND, BC V7A 5J7

---

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.  
DAY OF

ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

---

MAYOR



## PROJECT INFORMATION

**CIVIC ADDRESS:**  
14000 Riverport Way, Richmond, BC

**LEGAL DESCRIPTION:**  
Lot 1 Section 33 Block  
4 North, Range 5 West  
NWD Plan BCP 16162

**PARCEL ID:**  
026-215-357

**APPLICANT:**  
Legacy Park Lands Ltd.  
4540 Agar Drive,  
Richmond, BC, V7C 4N1

**EXISTING ZONING:**  
CD/134

**PROPOSED ZONING:**  
Low Rise Apartment (ZLR14) - Riverport

## DRAWING LIST

### ARCHITECTURAL

- A-001 Cover Sheet Project Info.
- A-002 Development Summary
- A-003 Design Rationale
- A-004 Sketch-Up Views
- A-101 Survey Plan
- A-102 Context Plan
- A-103 Site Plan
- A-201 Parking Level P2
- A-202 Parking Level P1/Level 1
- A-202a Area Overlay P1/L1
- A-203 Residential Level 2
- A-203a Area Overlay Res. L2
- A-204 Residential Level 3-5 (Typical)
- A-204a Area Overlay Res. L3-L6
- A-205 Roof Plan
- A-206 Typ. Adaptable Unit Plan
- A-301 Building Elevations
- A-302 Building Elevations
- A-303 Building Elevations
- A-401 Building Sections
- A-402 Building Sections

### LANDSCAPE ARCHITECTURAL

- L-01 Cover Sheet
- L-02 Landscape Master Plan
- L-03 Lower Level Landscape Plan
- L-04 Upper Level Landscape Plan
- L-05 Cross Sections
- L-01 Details

## PROJECT TEAM

**OWNER:**  
Legacy Park Lands Ltd.  
4540 Agar Drive,  
Richmond, BC V7B 1A3

**ARCHITECTURAL:**  
Cotter Architects Inc.  
Suite #235 11000 No. 5 Road  
Richmond, BC V7A 5J7  
T(604) 272-1477, F(604) 272-1471

**LANDSCAPE:**  
Van Der Zalm & Associates Inc.  
Suite 1, 8938 152nd Street  
Surrey, BC V4N 3W6  
T(604) 882-0024 ext 22, F(604) 882-0042

**STRUCTURAL:**  
Weller Smith Bowers  
118 - 3655 Henning Drive  
Burnaby, BC V5C 6N3  
T(604) 294-3753 F(604) 294-3754

**ELECTRICAL:**  
Nemetz & Associates  
2019 West 4th Ave.  
Vancouver, BC  
T(604) 736-6562

**MECHANICAL:**  
DEC Design Mechanical Consultants LTD.  
309 - 713 Columbia Street  
New Westminster, BC V3M 1E2  
T(604) 525-3341 Ext. 106/107 F(604) 825-3147

**BUILDING CODE CONSULTANTS:**  
LMDG Building Code Consultants Ltd.  
4th Floor, 780 Beatty St.  
Vancouver, BC V6B 2M1  
T(604) 682-7146, F(604) 682-7149

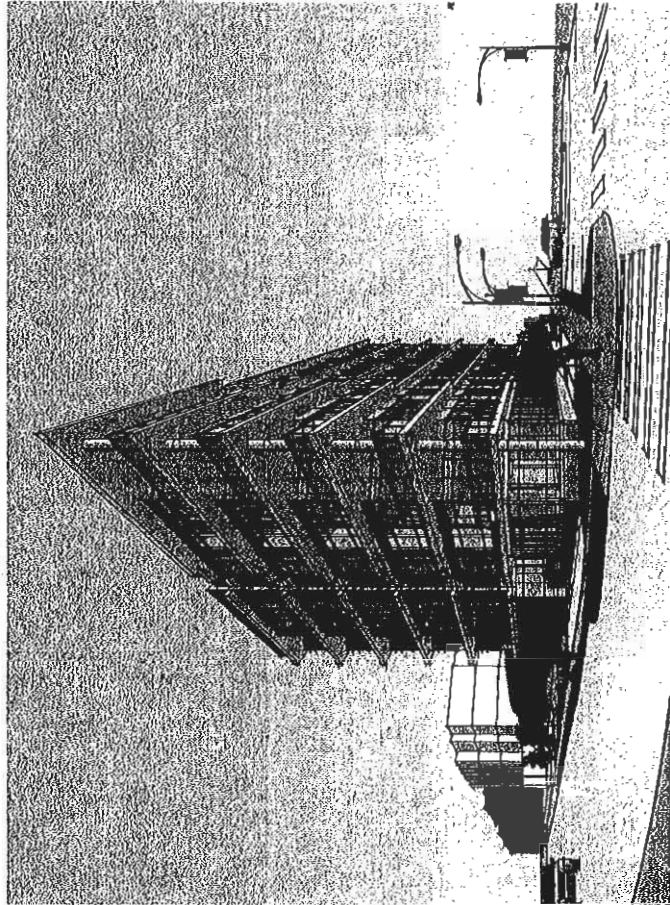
**SURVEYOR:**  
Matson Peck & Toplis  
Surveyors & Engineers  
#520 - 111120 Horseshoe Way  
Richmond, BC V7A 5H7  
T(604) 270-9331, F(604) 270-4137

## LOCATION MAP



## Notes:

- Building construction is required to comply with Noise Sensitive Use Restrictive Covenant registered on Title; including acoustic attenuation to mitigate potential rail and industrial noise; and mechanical systems to provide thermal comfort throughout the year. Future Building Permit is required to include sealed acoustic and mechanical engineering reports.
- Off-site works secured via SA 02-218175
- 3 adaptable units provided
- Aging in place features provided in all units: washroom wall solid blocking for future grab bar installation, and lever type handles for faucets and doors
- Sustainability features:
  - o Water efficient - indigenous plants; low flow fixtures; and dual flush toilets in residential units
  - o Energy efficient - high efficiency boiler; automated parking lighting sensors; LED corridor lighting; programmable thermostats in commercial and amenity areas; and high efficiency heating and ventilation
  - o Passive Solar Design - podium intensive green roof; upper roof high albedo roofing membrane, and low-E argon filled double glazed windows.
  - o Air quality - low VOC (volatile organic compound) paints, carpeting, and adhesives.
- Legal agreement secured for 14088 Riverport Way for:
  - o Parkade access/egress (including NE emergency exit)
  - o 31 parking spaces (15 for residents & 16 for visitors)



cotter

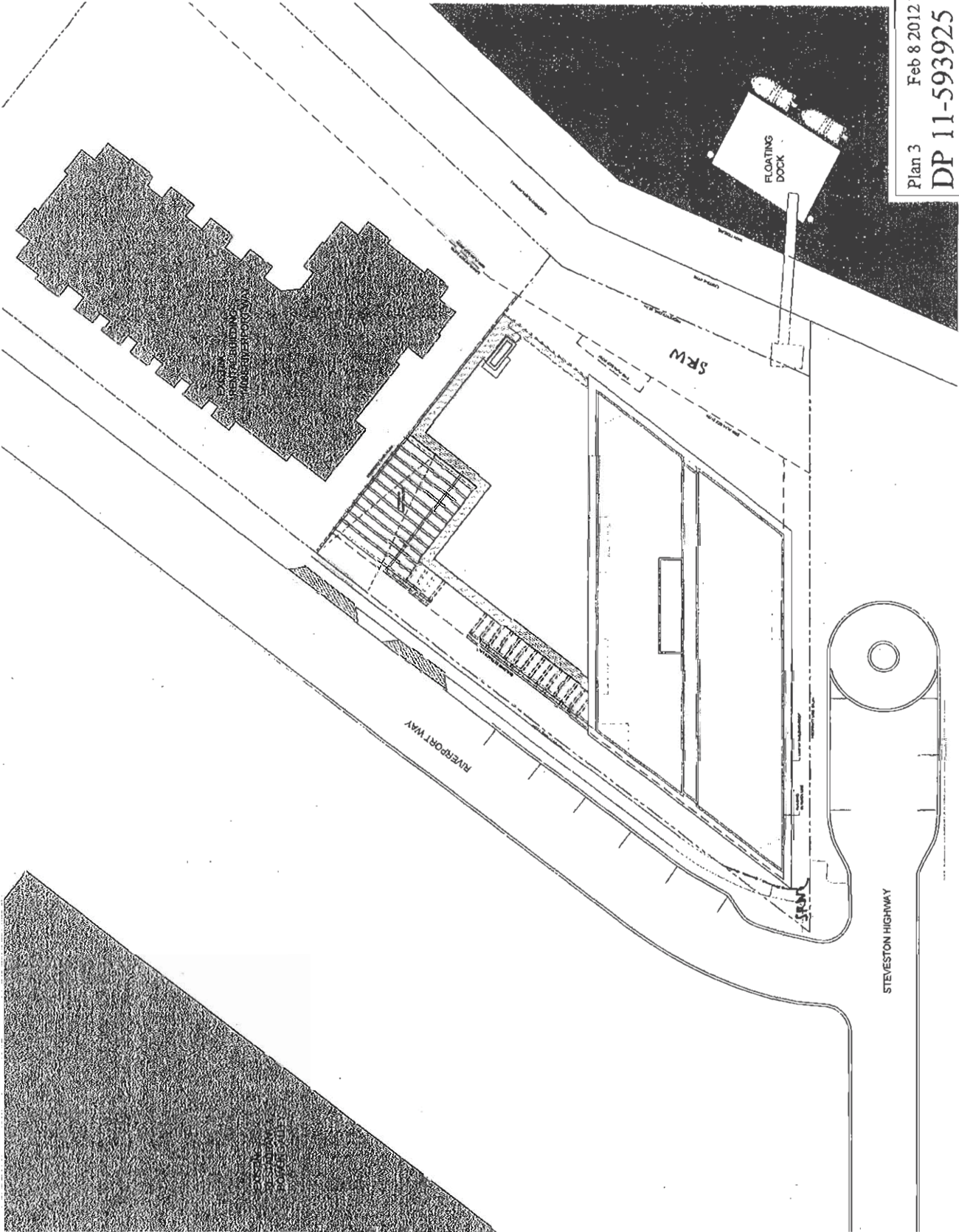
Plan 1 Feb 8 2012  
DP 11-593925

# RIVERPORT flats

WATERFRONT RENTAL HOMES







Plan 3 Feb 8 2012  
 DP 11-593925

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMITTING	2012 FEB 08	MM
2	REVISED PER PERMITTING	2012 FEB 08	MM
3	REVISED PER PERMITTING	2012 FEB 08	MM
4	REVISED PER PERMITTING	2012 FEB 08	MM
5	REVISED PER PERMITTING	2012 FEB 08	MM
6	REVISED PER PERMITTING	2012 FEB 08	MM
7	REVISED PER PERMITTING	2012 FEB 08	MM
8	REVISED PER PERMITTING	2012 FEB 08	MM
9	REVISED PER PERMITTING	2012 FEB 08	MM
10	REVISED PER PERMITTING	2012 FEB 08	MM

**cotter**  
 ARCHITECTS  
 1400 RIVERPORT WAY  
 RICHMOND, BC

**RIVERPORT**  
 1400 RIVERPORT WAY  
 RICHMOND, BC

LEGACY PARK LANDS LTD  
 1400 RIVERPORT WAY  
 RICHMOND, BC

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMITTING	2012 FEB 08	MM
2	REVISED PER PERMITTING	2012 FEB 08	MM
3	REVISED PER PERMITTING	2012 FEB 08	MM
4	REVISED PER PERMITTING	2012 FEB 08	MM
5	REVISED PER PERMITTING	2012 FEB 08	MM
6	REVISED PER PERMITTING	2012 FEB 08	MM
7	REVISED PER PERMITTING	2012 FEB 08	MM
8	REVISED PER PERMITTING	2012 FEB 08	MM
9	REVISED PER PERMITTING	2012 FEB 08	MM
10	REVISED PER PERMITTING	2012 FEB 08	MM

SITE PLAN

A-103





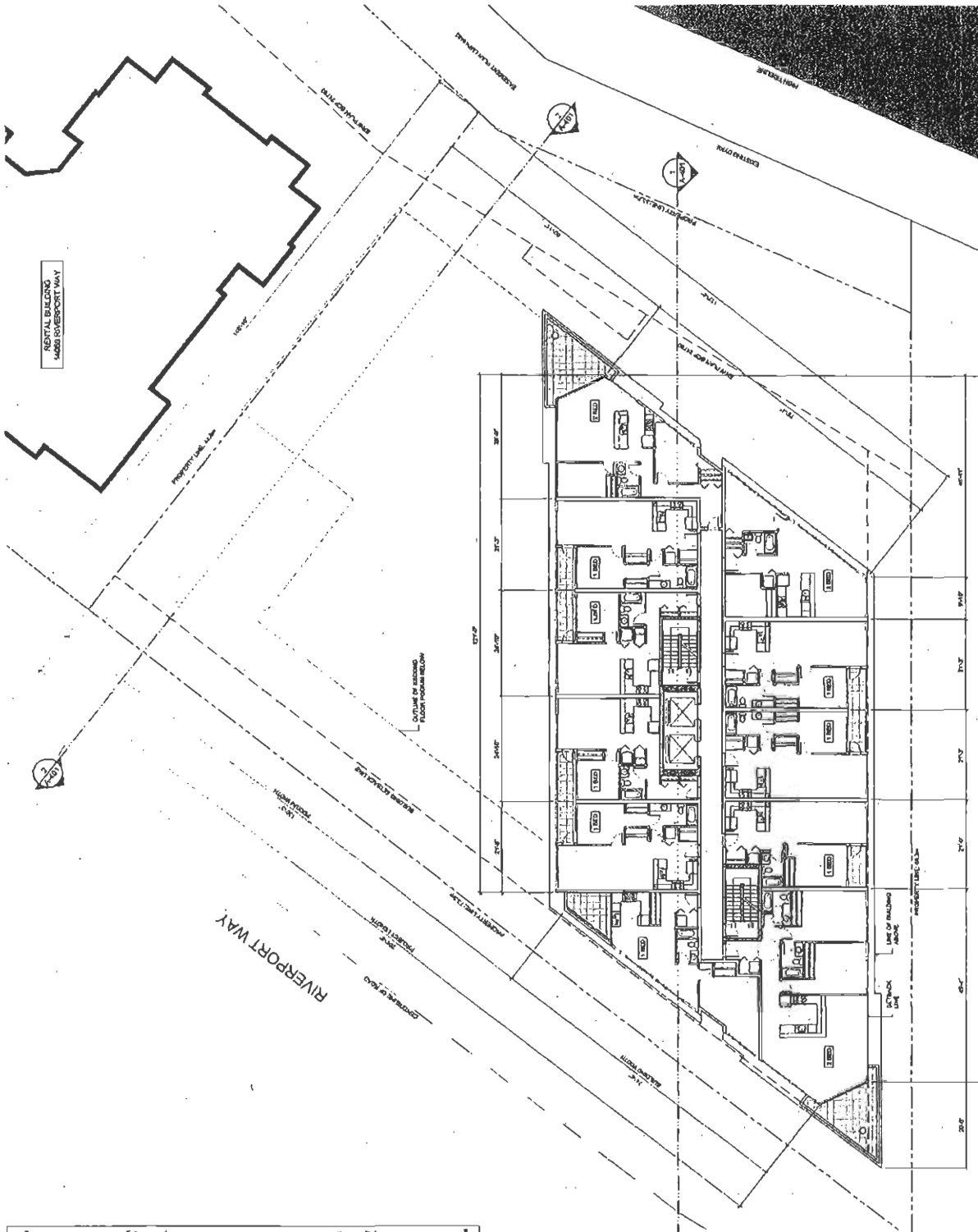






- GENERAL NOTES:**
1. All dimensions are in millimeters unless otherwise specified.
  2. All dimensions are to the centerline of walls and columns.
  3. All dimensions are to the centerline of doors and windows.
  4. All dimensions are to the centerline of stairs.
  5. All dimensions are to the centerline of structural elements.
  6. All dimensions are to the centerline of structural elements.
  7. All dimensions are to the centerline of structural elements.
  8. All dimensions are to the centerline of structural elements.
  9. All dimensions are to the centerline of structural elements.
  10. All dimensions are to the centerline of structural elements.

- NOTED PRINCIPLES:**
1. All dimensions are in millimeters unless otherwise specified.
  2. All dimensions are to the centerline of walls and columns.
  3. All dimensions are to the centerline of doors and windows.
  4. All dimensions are to the centerline of stairs.
  5. All dimensions are to the centerline of structural elements.
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  7. All dimensions are to the centerline of structural elements.
  8. All dimensions are to the centerline of structural elements.
  9. All dimensions are to the centerline of structural elements.
  10. All dimensions are to the centerline of structural elements.



Plan 7 Feb 8 2012  
 DP 11-593925

STEVESTON HIGHWAY

**cotter**  
 ARCHITECTS  
 14000 RIVERPORT WAY  
 RICHMOND, BC

**RIVERPORT**  
 14000 RIVERPORT WAY  
 RICHMOND, BC

LEGACY PARK LANDS LTD  
 14000 RIVERPORT WAY  
 RICHMOND, BC

NO.	DATE	DESCRIPTION
1	2012.02.08	ISSUED FOR PERMIT
2	2012.02.08	ISSUED FOR PERMIT
3	2012.02.08	ISSUED FOR PERMIT
4	2012.02.08	ISSUED FOR PERMIT
5	2012.02.08	ISSUED FOR PERMIT
6	2012.02.08	ISSUED FOR PERMIT
7	2012.02.08	ISSUED FOR PERMIT
8	2012.02.08	ISSUED FOR PERMIT
9	2012.02.08	ISSUED FOR PERMIT
10	2012.02.08	ISSUED FOR PERMIT

RESIDENTIAL LEVEL  
 00-FLOOR PLAN  
 A-204



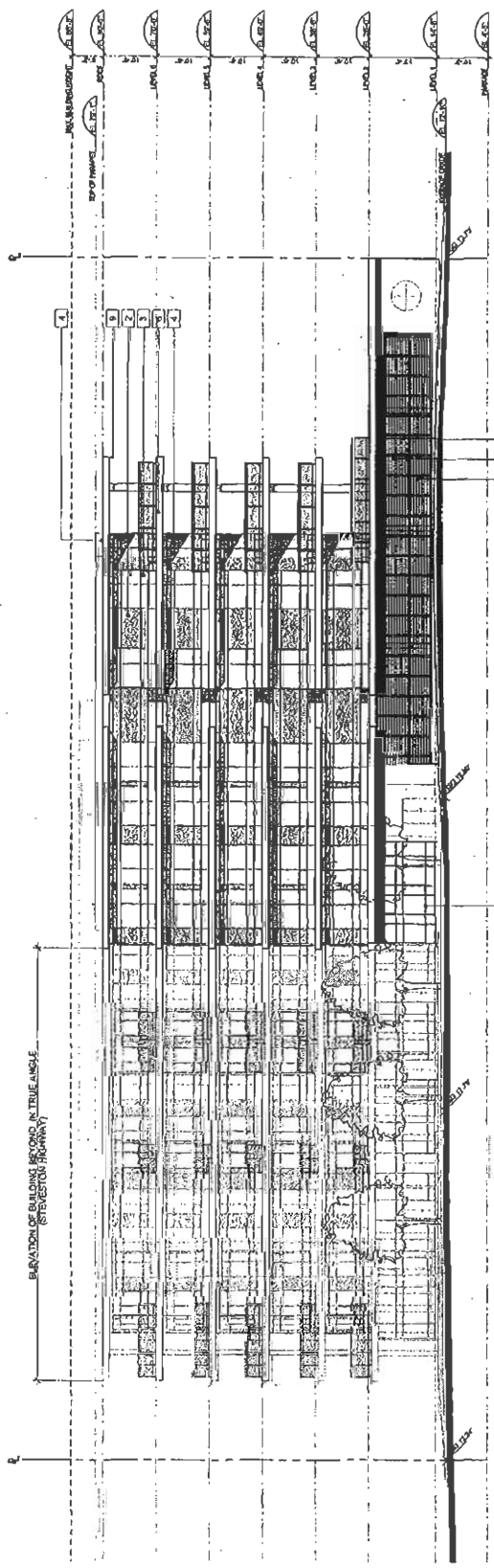




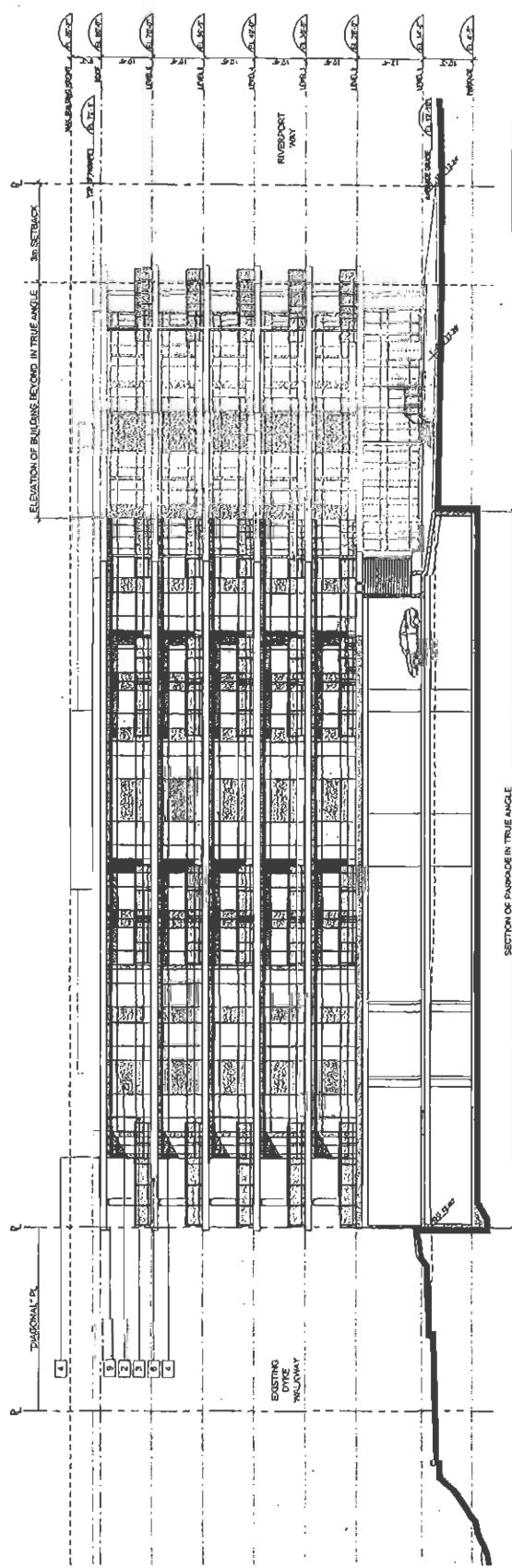


**MATERIALS LEGEND**

1	PREPARED FRAGRANT WOOD WALL
2	PREPARED OAKER EMERALD
3	METAL-GLOSS VINYL WINDOW SYSTEM
4	WOOD-GLOSS ANGLONIA
5	PAINT-FINISHED CONCRETE
6	PAINT-FINISHED CONCRETE
7	METAL TRUSS
8	HORIZONTAL WOOD GULBES
9	PREPARED METAL BUILDING ELEVATION



1 EAST ELEVATION - DIKE WALKWAY



2 NORTH ELEVATION  
SEE ALSO A-303

**cotter ARCHITECTS**  
 425 - 33000 S. ROAD, RICHMOND, VA 23135  
 804-261-1100  
 www.cotterarchitects.com

**RIVERSORT/RIK**  
 14000 RIVERPORT WAY  
 RICHMOND, VA 23186

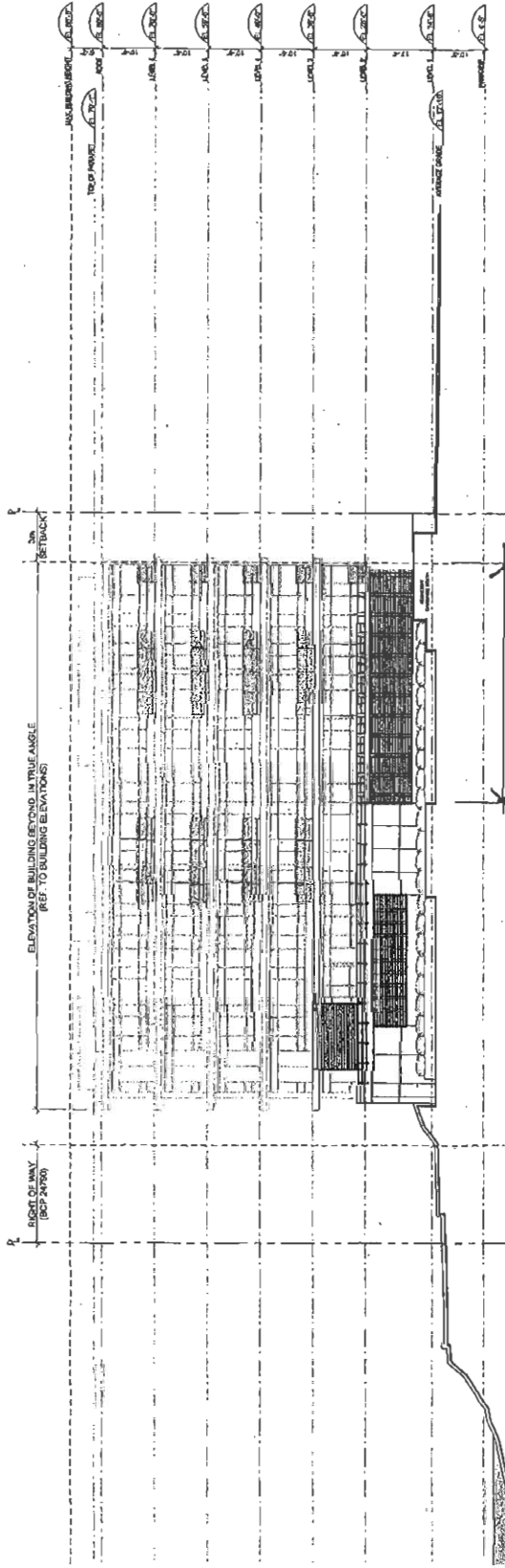
LEGACY PARK LANDS LTD  
 14000 RIVERPORT WAY  
 RICHMOND, VA 23186

PROJECT NO. 11-593925  
 DATE: 02/08/2012  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 SCALE: AS SHOWN

BUILDING ELEVATIONS

Plan 11 Feb 8 2012  
 DP 11-593925  
 A-302

MATERIALS LEGEND	
1	PREPARED 3 TON/CM2 RECONCRETE
2	PREPARED 4000 PSI CONCRETE
3	PREPARED 4000 PSI CONCRETE
4	PREPARED 4000 PSI CONCRETE
5	PREPARED 4000 PSI CONCRETE
6	PREPARED 4000 PSI CONCRETE
7	PREPARED 4000 PSI CONCRETE
8	PREPARED 4000 PSI CONCRETE
9	PREPARED 4000 PSI CONCRETE
10	PREPARED 4000 PSI CONCRETE



① NORTH PODIUM ELEVATION  
SEE ALSO A-302

PORTION OF  
PARKADE WALL  
SETBACK FROM PROPERTY LINE  
BEHIND PARKING  
RAMP

**cotter**  
ARCHITECTS  
14500 RIVERPORT WAY  
RICHMOND, BO

**RIVERPORT**  
RIVERPORT METAL SHOPS  
14500 RIVERPORT WAY  
RICHMOND, BO

LEGACY PARK LANDS LTD  
14500 RIVERPORT WAY  
RICHMOND, BO

Plan 12 Feb 8 2012  
DP 11-593925  
A-303

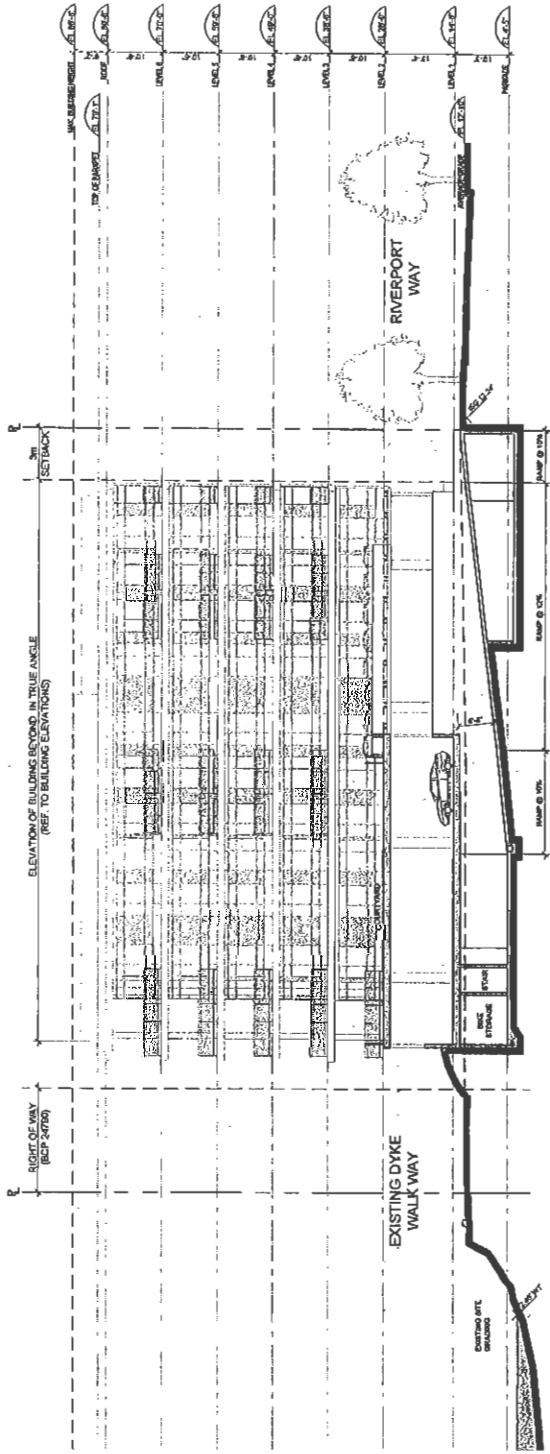






**MATERIALS LEGEND**

1	PRECAST CONCRETE
2	PRECAST CLAZO SPANDREL
3	METAL CLAD WITH WINDOW SYSTEM
4	INSULATED PANELS
5	PAINTED ALUMINUM GLAZED CURTAIN WALL SYSTEM
6	PAINTED ALUMINUM GLAZED CURTAIN WALL SYSTEM
7	METAL TRUSS
8	HORIZONTAL WOOD SCREED
9	PRECAST METAL FLASHING
10	CLADDING



**CROSS-SECTION THRU PARKADE RAMP LOOKING WEST**

2

1	PRECAST CONCRETE
2	PRECAST CLAZO SPANDREL
3	METAL CLAD WITH WINDOW SYSTEM
4	INSULATED PANELS
5	PAINTED ALUMINUM GLAZED CURTAIN WALL SYSTEM
6	PAINTED ALUMINUM GLAZED CURTAIN WALL SYSTEM
7	METAL TRUSS
8	HORIZONTAL WOOD SCREED
9	PRECAST METAL FLASHING
10	CLADDING

**cotter ARCHITECTS**  
 1000 RIVERPORT WAY  
 FARMINGDALE, NC 27534

**RIVERPORTflat**  
 1000 RIVERPORT WAY  
 FARMINGDALE, NC

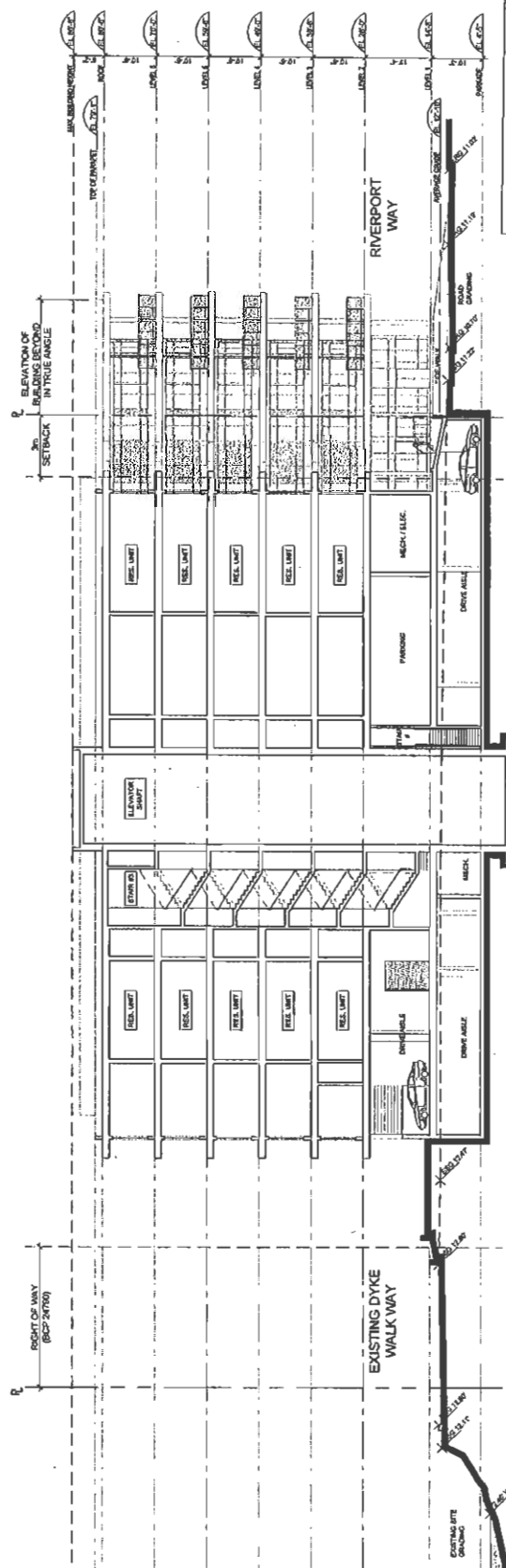
LEGACY PARK LANDS LTD

**BUILDING SECTIONS**

NO.	DATE
1	10/11/12
2	10/11/12
3	10/11/12
4	10/11/12
5	10/11/12
6	10/11/12
7	10/11/12
8	10/11/12
9	10/11/12
10	10/11/12

Plan 14 Feb 8 2012  
 DP 11-593925

A-401

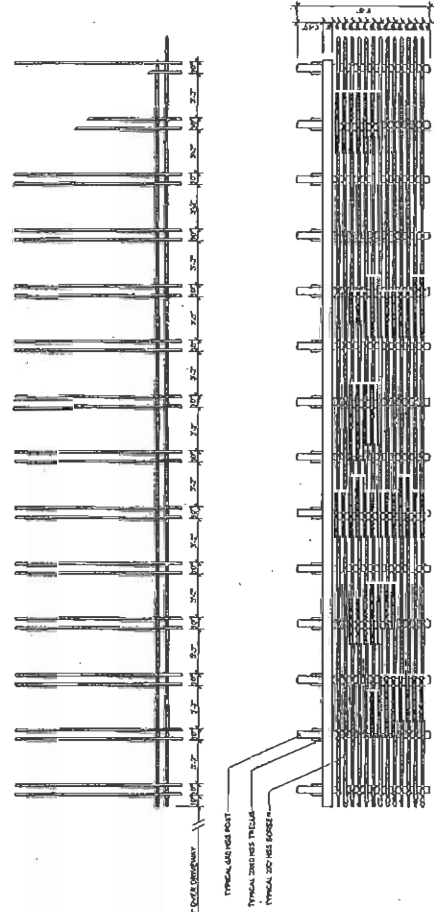
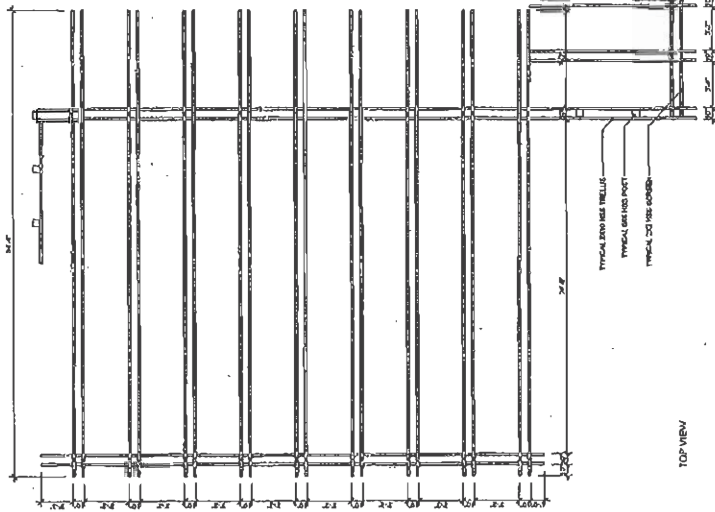
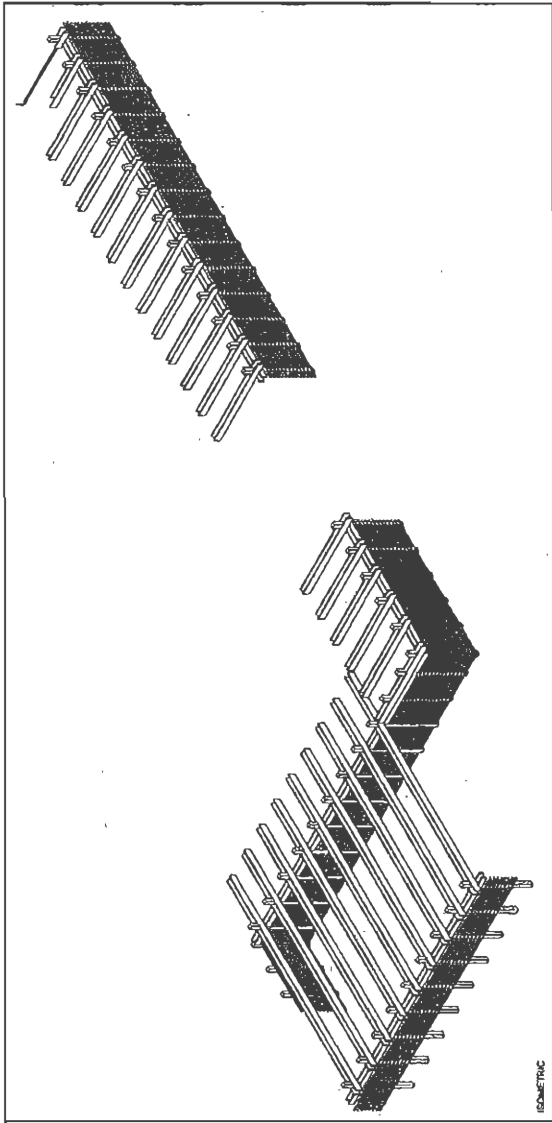


**SECTION THRU BUILDING PROPER**

1







Plan 16 Feb 8 2012  
 DP 11-593925

1 TRELIS DETAILS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITTING	02/08/12
2	ISSUED FOR PERMITTING	02/08/12
3	ISSUED FOR PERMITTING	02/08/12
4	ISSUED FOR PERMITTING	02/08/12
5	ISSUED FOR PERMITTING	02/08/12
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8	ISSUED FOR PERMITTING	02/08/12
9	ISSUED FOR PERMITTING	02/08/12
10	ISSUED FOR PERMITTING	02/08/12

**cotter**  
 ARCHITECTS  
 14000 RIVERPORT WAY  
 RICHMOND, BC  
 LEGACY PARK LANDS LTD

**RIVERPORTflats**  
 14000 RIVERPORT WAY  
 RICHMOND, BC

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITTING	02/08/12
2	ISSUED FOR PERMITTING	02/08/12
3	ISSUED FOR PERMITTING	02/08/12
4	ISSUED FOR PERMITTING	02/08/12
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6	ISSUED FOR PERMITTING	02/08/12
7	ISSUED FOR PERMITTING	02/08/12
8	ISSUED FOR PERMITTING	02/08/12
9	ISSUED FOR PERMITTING	02/08/12
10	ISSUED FOR PERMITTING	02/08/12









# LOWER LEVEL LANDSCAPE PLAN

L-03  
DRAWING NO.

DP2011-08  
PROJECT NO.



CLIENT  
Landscape Plant Landscapes Ltd  
14000 Riverport Richmond, BC, V6X 1G9  
Tel: (604) 273-1411



ARCHITECT  
coter  
14000 Riverport Richmond, BC, V6X 1G9  
Tel: (604) 273-1411

ARCHITECT  
**coter**  
ARCHITECTS  
14000 Riverport Richmond, BC, V6X 1G9  
Tel: (604) 273-1411

NO.	DESCRIPTION	DATE
1	PRELIMINARY DESIGN	Nov. 2, 2007
2	REVISED DESIGN	Nov. 2, 2007
3	REVISED DESIGN	Nov. 2, 2007
4	REVISED DESIGN	Nov. 2, 2007
5	REVISED DESIGN	Nov. 2, 2007
6	REVISED DESIGN	Nov. 2, 2007
7	REVISED DESIGN	Nov. 2, 2007
8	REVISED DESIGN	Nov. 2, 2007
9	REVISED DESIGN	Nov. 2, 2007
10	REVISED DESIGN	Nov. 2, 2007

PROJECT  
14000 RIVERPORT  
Richmond  
DEVELOPMENT PERMIT  
LOCATION  
14000 Riverport  
RICHMOND - BC

DATE  
Feb 8 2012  
DRAWN BY  
CHECKED BY

Plan 19  
Feb 8 2012  
DP 11-593925

SYMBOL	COMMERCIAL NAME	QUANTITY	SIZE	SPACING
1	Grass	10000	1.0m	1.0m
2	Grass	5000	1.0m	1.0m
3	Grass	2500	1.0m	1.0m
4	Grass	1250	1.0m	1.0m
5	Grass	625	1.0m	1.0m
6	Grass	312.5	1.0m	1.0m
7	Grass	156.25	1.0m	1.0m
8	Grass	78.125	1.0m	1.0m
9	Grass	39.0625	1.0m	1.0m
10	Grass	19.53125	1.0m	1.0m
11	Grass	9.765625	1.0m	1.0m
12	Grass	4.8828125	1.0m	1.0m
13	Grass	2.44140625	1.0m	1.0m
14	Grass	1.220703125	1.0m	1.0m
15	Grass	0.6103515625	1.0m	1.0m
16	Grass	0.30517578125	1.0m	1.0m
17	Grass	0.152587890625	1.0m	1.0m
18	Grass	0.0762939453125	1.0m	1.0m
19	Grass	0.03814697265625	1.0m	1.0m
20	Grass	0.019073486328125	1.0m	1.0m

SYMBOL	COMMERCIAL NAME	QUANTITY	SIZE	SPACING
1	Shrub	100	1.0m	1.0m
2	Shrub	50	1.0m	1.0m
3	Shrub	25	1.0m	1.0m
4	Shrub	12.5	1.0m	1.0m
5	Shrub	6.25	1.0m	1.0m
6	Shrub	3.125	1.0m	1.0m
7	Shrub	1.5625	1.0m	1.0m
8	Shrub	0.78125	1.0m	1.0m
9	Shrub	0.390625	1.0m	1.0m
10	Shrub	0.1953125	1.0m	1.0m
11	Shrub	0.09765625	1.0m	1.0m
12	Shrub	0.048828125	1.0m	1.0m
13	Shrub	0.0244140625	1.0m	1.0m
14	Shrub	0.01220703125	1.0m	1.0m
15	Shrub	0.006103515625	1.0m	1.0m
16	Shrub	0.0030517578125	1.0m	1.0m
17	Shrub	0.00152587890625	1.0m	1.0m
18	Shrub	0.000762939453125	1.0m	1.0m
19	Shrub	0.0003814697265625	1.0m	1.0m
20	Shrub	0.00019073486328125	1.0m	1.0m

SYMBOL	COMMERCIAL NAME	QUANTITY	SIZE	SPACING
1	Tree	10	1.0m	1.0m
2	Tree	5	1.0m	1.0m
3	Tree	2.5	1.0m	1.0m
4	Tree	1.25	1.0m	1.0m
5	Tree	0.625	1.0m	1.0m
6	Tree	0.3125	1.0m	1.0m
7	Tree	0.15625	1.0m	1.0m
8	Tree	0.078125	1.0m	1.0m
9	Tree	0.0390625	1.0m	1.0m
10	Tree	0.01953125	1.0m	1.0m
11	Tree	0.009765625	1.0m	1.0m
12	Tree	0.0048828125	1.0m	1.0m
13	Tree	0.00244140625	1.0m	1.0m
14	Tree	0.001220703125	1.0m	1.0m
15	Tree	0.0006103515625	1.0m	1.0m
16	Tree	0.00030517578125	1.0m	1.0m
17	Tree	0.000152587890625	1.0m	1.0m
18	Tree	0.0000762939453125	1.0m	1.0m
19	Tree	0.00003814697265625	1.0m	1.0m
20	Tree	0.000019073486328125	1.0m	1.0m

**KEY**

- PROPOSED BASALT PAVERS (100mm thickness, over 200mm sub-base)
- PROPOSED CONCRETE PATH (Concrete path with 100mm sub-base)
- PROPOSED CONCRETE (Sand/basalt, 50mm to finish adjacent to existing concrete)
- PROPOSED BASALT BLOCKS (300mm x 300mm x 60mm)
- PROPOSED TREES (100mm dia)
- PROPOSED PLANTING (100mm dia)
- EXISTING ASPHALT DRIVE (Range 300mm dia)

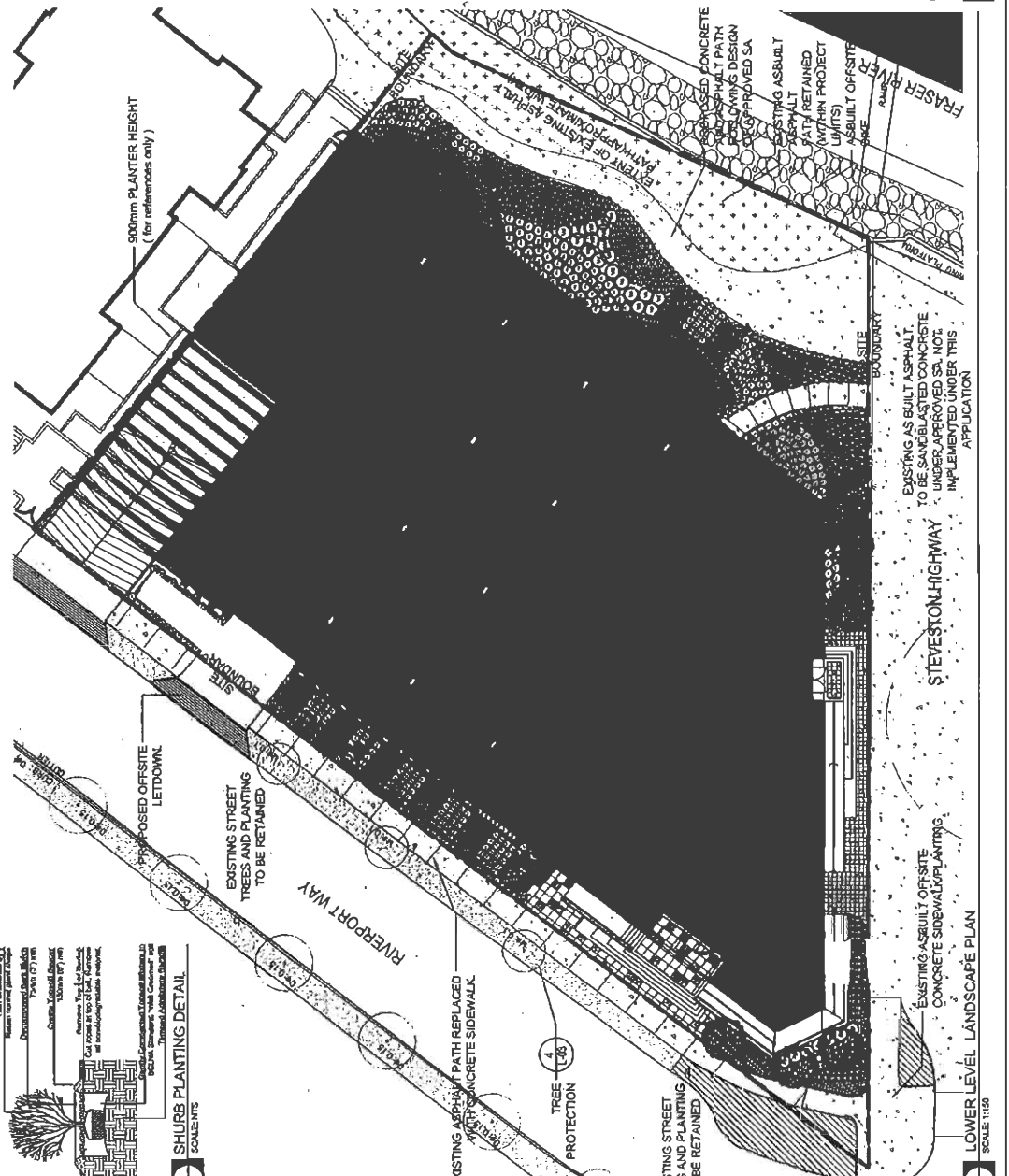
**NOTE**

1. All planting to be approved and cropped to the top of the planting.
2. All trees to be planted within the top 10% of the water table prior to planting.
3. All trees to be planted within the top 10% of the water table prior to planting.

**3 TREE PLANTING DETAIL**  
SCALE: 1:10

**4 TREE PROTECTION DETAIL**  
SCALE: 1:10

**1 LOWER LEVEL LANDSCAPE PLAN**  
SCALE: 1:10



**2 SHRUB PLANTING DETAIL**  
SCALE: 1:10

**3 SHURB PLANTING DETAIL**  
SCALE: 1:10

**4 TREE PROTECTION DETAIL**  
SCALE: 1:10

**5 TREE PLANTING DETAIL**  
SCALE: 1:10

**6 TREE PROTECTION DETAIL**  
SCALE: 1:10

**7 TREE PLANTING DETAIL**  
SCALE: 1:10

**8 TREE PROTECTION DETAIL**  
SCALE: 1:10

**9 TREE PLANTING DETAIL**  
SCALE: 1:10

**10 TREE PROTECTION DETAIL**  
SCALE: 1:10





Plan 20 Feb 8 2012

DP 11-593925







L-04

DP2011-08



CLIENT:  
Legacy Park Lands Ltd  
14000 Riverport Pkwy, Richmond, BC, V6X 1H4  
561-880-8111

**RIVERPORT**  
RICHMOND BC  
ARCHITECTS

ARCHITECT:  
**cotter**  
ARCHITECTS  
1000-1000 West Broadway, Vancouver, BC, V6H 1G5  
604-681-1111

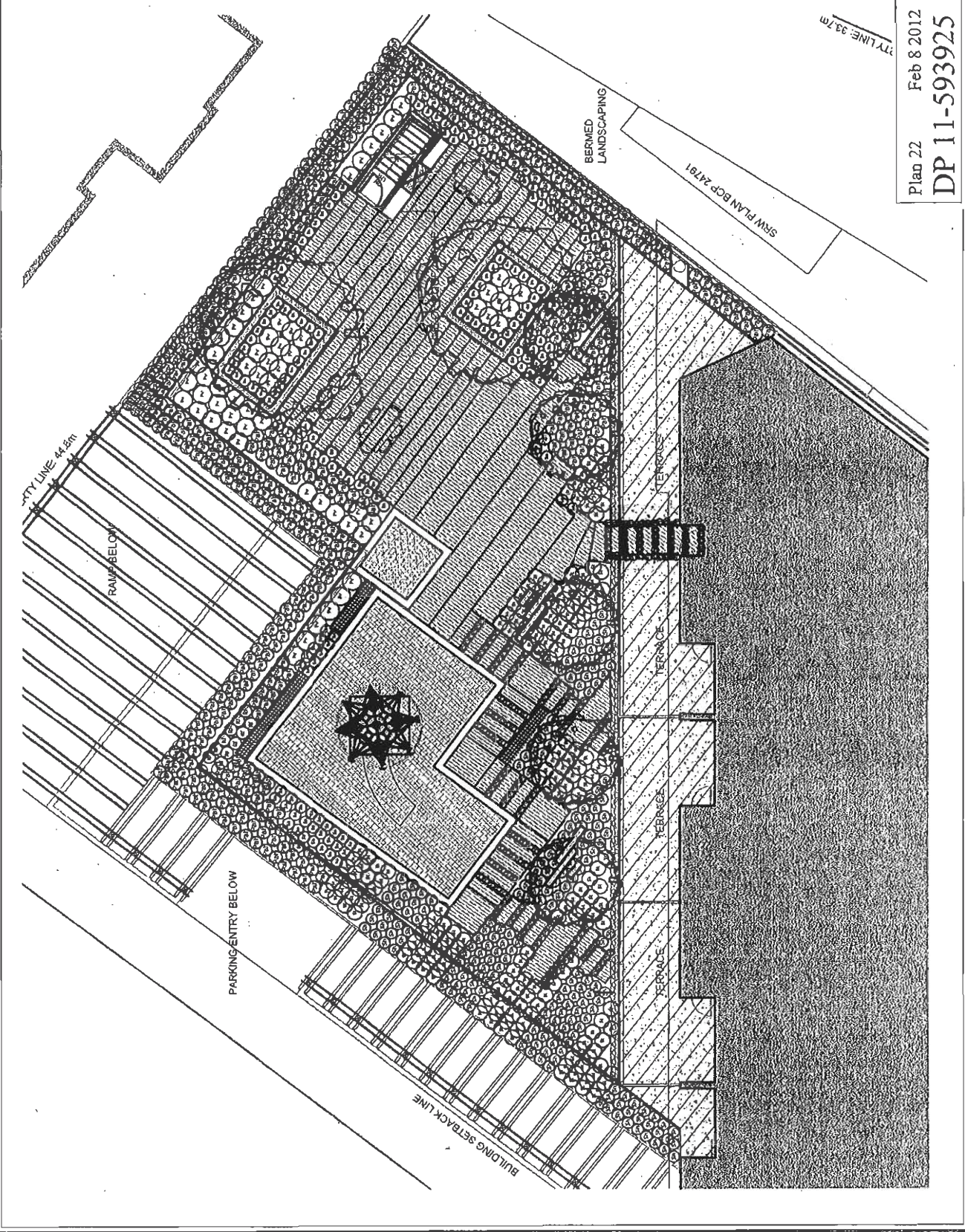
No.	Description	Date
1	For Review	Nov. 4, 2011
2	For Review	Nov. 1, 2011
3	For Review	Oct. 12, 2011
4	For Review	Jan. 26, 2012
5	For Review	Feb. 1, 2012

APPROVED FOR CONSTRUCTION BY THE CITY OF RICHMOND ON FEBRUARY 8, 2012

PROJECT:  
14000 RIVERPORT  
Richmond  
DEVELOPMENT PERMIT

LOCATION:  
14000 Riverport  
RICHMOND - BC

DESIGNER	MS	DATE	NOV 2011
CHECKED BY	AV		
APPROVED BY	RY		
SCALE	NTS		



Plat 22 Feb 8 2012  
DP 11-593925



L-05

DRAWING NO.

DP2011-08

PROJECT NO.

SECTION

DRAWING TITLE

DESIGNER	TOANS	DATE	NOV 2011
CHECKED	HUSBY	APPROVED	JAY
Landscape Architecture		Landscape Architecture	
14000 RIVERPORT		14000 RIVERPORT	
RICHMOND - BC		RICHMOND - BC	

PROJECT: 14000 RIVERPORT  
RICHMOND  
DEVELOPMENT PERMIT

LOCATION: 14000 Riverport  
RICHMOND - BC

NO.	DESCRIPTION	DATE	BY
1	PRELIMINARY	NOV 1, 2011	JAY
2	REVISED	NOV 1, 2011	JAY
3	REVISED	NOV 1, 2011	JAY
4	REVISED	NOV 1, 2011	JAY
5	REVISED	NOV 1, 2011	JAY

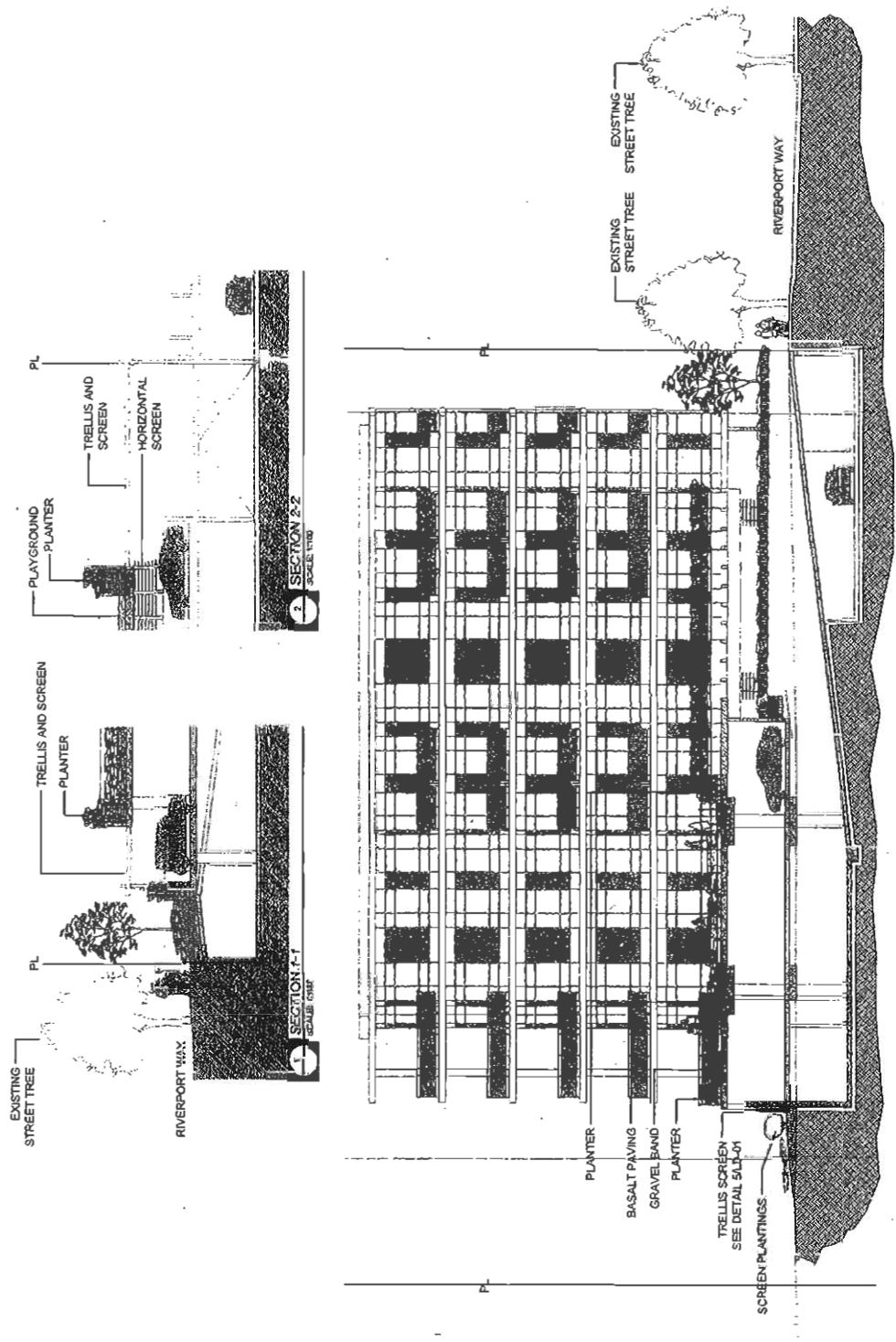
CONSTRUCTION NOTES:  
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC).  
2. ALL MATERIALS SHALL BE APPROVED BY THE LOCAL HEALTH DEPARTMENT.  
3. ALL UTILITIES SHALL BE DEPTH MARKED PRIOR TO CONSTRUCTION.  
4. ALL EXISTING UTILITIES SHALL BE PROTECTED AND NOT TO BE DISRUPTED.  
5. ALL EXISTING TREES SHALL BE PROTECTED AND NOT TO BE REMOVED UNLESS OTHERWISE NOTED.

ARCHITECT: **cotter ARCHITECTS**  
1001 LEXINGTON AVENUE, SUITE 1000, NEW YORK, NY 10017  
TEL: 212 692 1000 FAX: 212 692 1001  
WWW.COTTERARCHITECTS.COM

LANDSCAPE ARCHITECT: **TOANS HUSBY**  
14000 RIVERPORT, RICHMOND, BC  
TEL: 703 444 1000 FAX: 703 444 1001  
WWW.TOANSARCHITECTS.COM

CLIENT: Legacy Park Land, Ltd.  
14000 RIVERPORT, RICHMOND, BC  
TEL: 703 444 1000 FAX: 703 444 1001  
WWW.LEGACYPARKLAND.COM

Plan 23 Feb 8 2012  
DP 11-593925



SECTION 3-3  
SCALE: 1/8" = 1'-0"











**OPTED PRINCIPLES**

- 1. High residential density to be built, consistent with the City's zoning.
- 2. A mix of housing types and unit sizes.
- 3. Building heights to be consistent with the City's zoning.
- 4. Pedestrian friendly streetscape, including a mix of building heights and setbacks.
- 5. Integration with the surrounding context.
- 6. High quality public realm.
- 7. High quality landscaping.

**DESIGN RATIONALE  
RIVERPORT FLATS II**

**INTRODUCTION**

The Development Permit Application is in made in anticipation of the approval for a 6 storey residential building known as "Riverport Flats II". The project will consist of 5 storeys of wood-frame construction on one level of concrete construction. This project will be the largest overall waterfront development of rental accommodation within the City of Richmond, for providing 55 units. The project is governed under The City of Richmond By-Law 8822 (71-11-595975).

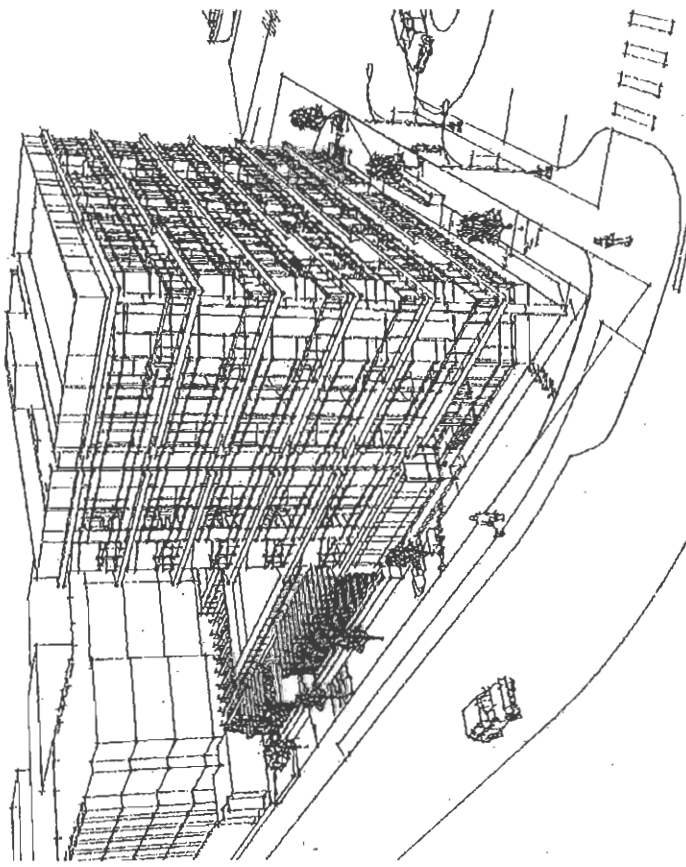
**PROJECT LOCATION**

The site is located at the east-western terminus of Steveston Highway in what is known as the "Riverport" Community. The project is anticipated as an integrated development within the adjacent wood-frame residential project and the surrounding "Old City" environment and commercial developments. Given the various uses of use in the neighbourhood other than residential (schools, libraries, performing arts, etc.) Riverport is considered to be one of the most vibrant communities in the City of Richmond. Additionally, the adjacency to the Fraser River also allows the waterfront development to take advantage of views and vertical parking as well as providing pedestrian accessibility along the waterfront similar to the London Landing and Steveston Village waterfront developments.

**PROJECT FORM OF DEVELOPMENT**

As the urban building in the neighbourhood and given the "gateway" location of the project, the overall form of development for the project needs to be transparent in order to take advantage of the view corridor the Fraser River. The design intent of using "transparency" as a design rationale allows the project to be seen as a "behind" that further emphasizes the "gateway" concept. The resulting building is that of simple proportions which emphasizes and celebrates the shape of the site. The simplicity of the building also provides visual "links" from the surrounding context which is highly detailed and more "traditional" Westcoast in overall form.

Attention for the project is provided through multiple articulation and building "eyelines" (unit extensions). The podium of the project includes terraced parking which will be screened by architectural detailing (i.e. detailed soffits and screens) that will provide a greater pedestrian experience along the perimeter of the project. The historical context and has been designed to complement the existing context through the integration of a residential program of purposes for persons with special abilities, and a language area proposed towards the waterfront to take full advantage of the immediate views.



Project Name	Riverport Flats II
Client	Legacy Park Lands Ltd
Location	14000 Riverport Way, Richmond, BC
Scale	1:500
Date	Feb 8, 2012

**cotter**  
ARCHITECTS  
415 JENNINGS STREET, VANCOUVER, BC V6V 2M9  
Tel: 604.273.1111

**RIVERPORT FLATS**  
14000 RIVERPORT WAY  
RICHMOND, BC

**LEGACY PARK LANDS LTD**

Project Name	Riverport Flats II
Client	Legacy Park Lands Ltd
Location	14000 Riverport Way, Richmond, BC
Scale	1:500
Date	Feb 8, 2012

**DESIGN RATIONALE**

Reference Plan Feb 8 2012  
**DP 11-593925**