



To: Development Permit Panel
From: Brian J. Jackson, MCIP
Director of Development

Date: March 20, 2012
File: DP 11-564405

Re: **Application by Oris Development (River Drive) Corporation for a Development Permit at 10011 & 10111 River Drive and portion of 10199 River Drive (Phase 1)**

Staff Recommendation

That a Development Permit be issued, which would:

1. Permit the construction of five (5) residential buildings, one (1) mixed-use commercial residential building and one (1) resident amenity/commercial use building (Phase 1) at 10011 and 10111 River Drive and portion of 10199 River Drive on a site zoned "Residential Mixed-Use Commercial (ZMU17)-River Drive/No.4 Road (Bridgeport)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - a) Increase the maximum permitted building height between 20.0 m and 36.0 m of the lot line abutting River Drive, from 15.0 m to 26.0 m for the southernmost 5.0 m of the upper two floors of Building "G"
 - b) Reduce the Building "B" setback to the proposed west property line of West Park from 6.0 m to 2.7 m for roof support columns; and
 - c) Reduce the Building "C" setback to the proposed internal site east property line from 6.0 m to 4.0 m for a partial building and roof projection and allow the Building "E" entry canopy to project into the internal side yard setback.

Brian J. Jackson, MCIP
Director of Development

FM/BG:blg
Att.

Staff Report

Origin

Oris Development (River Drive) Corporation has applied to the City of Richmond for permission to develop five (5) residential buildings, one (1) mixed-use commercial residential building and one (1) resident amenity/commercial use building (Phase 1) at 10011 and 10111 River Drive and portion of 10199 River Drive on a site zoned “Residential Mixed-Use Commercial (ZMU17)-River Drive/No.4 Road (Bridgeport)”. The six (6) residential buildings contain a total of 383 residential units and the amenity/commercial building includes 236 m² (2,540 ft²) of commercial-retail uses at ground level, 291 m² (3,132 ft²) office space on the second level and 412 m² (4,435 ft²) of indoor amenity space for resident use. Building “A” at the corner of No. 4 Road and River Road contains 67 units of affordable housing, 426 m² (4,585 ft²) of restaurant use and 541 m² (5,823 ft²) of office space. Parking for 733 cars is provided on one level, slightly below River Drive elevation.

The subject development is Phase 1 of an 8.1 acre comprehensive development at 10011 and 10111 River Drive and a portion of 10199 River Drive on a site zoned “Residential Mixed-Use Commercial (ZMU17)-River Drive/No.4 Road (Bridgeport)”.

Bylaw 8522 (RZ 07-380169) was adopted in October, 2011 and there are various Servicing Agreements (SA) associated with development of Phase 1 including: SA 10-542184 for Road and Utility upgrades (including River Drive from No. 4 Road to McLennan Road), SA 11-587071 for upgrade of the west dike/riverfront linear park and SA 11-587136 for design and construction of the West Park.

Development Information

For a comparison between the relevant Bylaw requirements and the development proposal see **Attachment 1 - Development Application Data Sheet.**

Background

This large comprehensive development extends along the North Arm of the Fraser River between No. 4 Road and Shell Road (excluding the two most easterly lots). The proposed development is located at the boundary of the City Centre Area, approximately 1.2 km from the Canada Line Bridgeport Station. The development site is bounded by ‘West Park’ that forms part of Phase 1 development at the west end of the site. Phase 2 of the proposed development extends to the east of Phase 1 between the North Arm of the Fraser River and River Drive while the North Arm of the Fraser River extends along the entire north edge of this proposed development and River Drive bounds the entire development site to the south.

Development surrounding the subject site is as follows:

To the North: City road and dike with two (2) narrow lots that extend along the riverfront between the dike and the North Arm of the Fraser River, from No. 4 Road to Shell Road. Across the river, is the western extent of Mitchell/Twigg Island zoned as “Industrial District (I);

To the West: Across the No. 4 Road right-of-way (ROW), which forms part of the proposed West Park, an informal truck parking area under the BC Hydro transmission lines and supporting towers on a large parcel zoned “Light Industrial District (IL);

To the South: Across River Drive, single-family houses on lots zoned “Single Detached Residential (RS1/C and RS1/D)”; and

To the East: Lot 4 at 10191 River Drive (Phase 2) of the proposed development site that ultimately will extend from No. 4 Road eastward close to Shell Road, on lots zoned “Residential Mixed-Use Commercial (ZMU17)-River Drive/No. 4 Road (Bridgeport)” and “School & Public Use District (SI)”

Rezoning and Public Hearing Results

During the rezoning and Development Permit review process, staff identified several design issues that needed addressing and resolution. Staff and the applicant have worked cooperatively in refining the subject proposal to address the several important issues. These design issues are identified below followed by the applicant’s design highlighted in *bold Italics*.

1. Reinforce transition areas and articulation of the various open spaces along the riverfront.

The proposal includes undulating bioswale planting areas, which include a series of native and ornamental grasses that follow the soft changes in alignment of the dike trail and serve as a buffer/transition area between the dike trail and the proposed residential buildings.

The publicly accessible main courtyard space between Buildings “F” and “G” and the West Park establish a strong articulation of open spaces along the dike trail, which in association with the buffer areas, contribute to reinforcing the park-like experience of these spaces as visual/functional public open spaces linked to the riverfront pedestrian/bike trail

2. Variation in building setbacks from the riverfront trail and transitioning of building heights down toward the riverfront.

Although building setbacks have not changed, the setback of the building upper floors has been increased and the architectural treatment of the north facades of these buildings has been carefully crafted to reinforce the stepping down of the built form massing toward the water. The result is a lower (4-storey) built form massing along the riverfront pedestrian/bike trail. Wood soffits will provide appropriate architectural accents to views from the dike trail.

The increased setback of the top two floors has been provided at the north end of Building “G” and the mass of this building has been shifted south. This shifting of mass will reduce the massive presence of this long building at the east end of Phase 1 and facilitate an easier transition of building mass for future development phases to the east.

3. Design development of entry areas to the pedestrian corridors and public use open space courtyards from River Drive.

A more appropriate massing and separation has been achieved between townhouse clusters along River Drive, in the proximity of the entry plaza to the north-south Sequoia Walk public pedestrian corridor to the riverfront and main courtyard. The entry to the Sequoia Walk is highlighted by the mature existing sequoia tree to be retained as a landmark along River Drive. Wide sidewalks alongside the two vehicular access driveways into the site provide important secondary access routes from the neighbourhood to the riverfront.

4. Construction of plaza/entry area to Sequoia Walk along River Drive to be included in Phase 1.

This plaza/entry area and the southern portion of Sequoia Walk, which provides public access from the areas south of the proposed development to the riverfront and publicly accessible central courtyard will be developed as part of the proposed Phase 1 development. A legal agreement will be registered on title to include development of this area, which is on the adjacent development site (Phase 2), as part of Phase 1 development in order to secure public access (Sketch "C" in Attachment 2C).

5. Design development of the plaza/entry area to Sequoia Walk to create a wider access to this pedestrian corridor. Relocation of electrical substation and improving wheelchair accessibility.

The electrical substation previously located in this area has been removed and a geothermal energy centre will now to be located here. This new energy centre will feature a glazed wall allowing direct views into the facility from the Sequoia Plaza to the equipment and operation of the plant that will provide geothermal energy to this development along the riverfront. This design component responds to the industrial history of the site and the surrounding area.

6. Reinforce the relationship and connection between the retail-commercial ground floor deck and the West Park (i.e. grade change and abrupt edge condition).

Design and treatment of this interface area has been refined to achieve a more seamless transition between the West Park and the retail-commercial building frontage while also increasing opportunities for social interaction. As private space seamlessly interfaces with the West Park public areas along this edge of the subject development, a public right-of-passage (PROP) right-of-way (ROW) will be established along the west property line of the proposed Phase 1 development site (Sketch "A" in Attachment 2A).

7. Refine building mass articulation and design development of the architectural expression at the corner of Building "A" at the entrance to the West Park near the River Drive/No. 4 Road intersection.

The revised architectural expression at the west end of this building and the increased amount of vision glass achieves a stronger visual connection between the commercial activities within the building and the adjacent outdoor public spaces. Furthermore the 2 simple horizontal slab projections across the glazing and at the parapet level achieve better integration with the architectural expression along the River Drive facade of the building by creating two thin frames that extend the architectural expression around this corner and in front of the park.

8. Design development of the River Drive townhouse streetfront architectural character.

The proposal includes four 2-storey four-plex and five-plex townhouses along River Drive across from the existing single-family residential area to the south. The revised massing and enhanced architectural character of these cluster units achieve an improved relationship and compatibility with the character of the neighbourhood on the opposite side of the street. Landscape design and the treatment of the grade transition up from the street level, better resolve the interface area between public sidewalk and these proposed housing units.

Revisions to the 4-storey apartment building at the west end of the site, near No. 4 Road now fits better into the existing context with its proximity to the open areas provided by the West Park and the River Drive/No. 4 Road intersection.

The Public Hearing for the rezoning of this site was held on September 9, 2009. At the Public Hearing, some very positive comments regarding the proposed development were received together with the following concerns about this proposed rezoning:

1. Concerns regarding the loss of industrial land to residential uses.
2. Allowing housing near the airport flight path.
3. Proposed development not near transit (i.e. the site is ¾ mile from Bridgeport Station).
4. Concerns regarding children's safety as many trucks use No. 4 Road.
5. Increased traffic on River Drive would exacerbate the current problem of traffic regularly impeding access from driveways due to the stop sign at Shell Road.
6. Flooding may occur due to the proposed development's impact on property drainage.
7. Any increase in the road height would make it difficult to manoeuvre out of driveways during the winter.

Staff worked with the applicant to address these issues in the following ways:

1. ***Loss of Industrial Land:*** *The current Official Community Plan (OCP) already identifies the area of this proposed development as residential. Therefore there is no loss of industrial land that results from this proposed development.*
2. ***Housing near YVR Flight Path:*** *The Vancouver International Airport (YVR) flight path noise requirements for this contemplated residential area were discussed and evaluated during the consultation process associated with the OCP preparation. The applicant has submitted a noise study from a certified professional indicating that the acoustical design of the proposed development will comply with the maximum interior noise levels for all the relevant portions of these units. In addition, the applicant has indicated that this proposed development will incorporate geothermal heating and cooling which meets the thermal design requirements (i.e. acceptable unit interior temperature control with the windows closed for noise reduction during the summer).*
3. ***Transit Accessibility:*** *Since the development site is located within ¾ of a mile of the Bridgeport Station, this is considered an acceptable walking distance. In addition, to encourage alternative modes of transportation to the Station, the proposed development includes construction of a bike lane extending the along the entire frontage of the site on River Drive, sidewalk improvements along No. 4 Road to Bridgeport Road and construction of a portion of the dike bike/pedestrian trail along the riverfront.*
4. ***Child Safety:*** *To improve safety and support the residential character of the area, the proposed development includes re-routing of truck traffic away from this residential area and traffic calming devices including traffic circles and parking pockets/curb bulges.*
5. ***Traffic Calming Measures:*** *As part of the River Drive upgrade the following traffic calming measures will be incorporated into the design:*
 - *a raised intersection at No. 4 Road*
 - *a traffic circle at McLennan Avenue*
 - *curb extensions at intersections*
 - *mid-block pedestrian crossings*
 - *truck traffic restrictions*
 - *on-street parking pockets*
 - *a north-side bike lane and a south side shared sidewalk/bike path on River Drive.*

Ultimately, the full build out of the proposed development will trigger traffic signal improvements at the Bridgeport/Shell intersection and the Bridgeport/McLennan intersection. River Drive will continue to operate within the required and acceptable traffic capacity limits including this proposed development.

6. *Impacts to Fronting Properties: It was the applicant's preference to upgrade (raise and widen) River Drive but this also supports the City's long term goal to improve this road. Through the Servicing Agreement process, the applicant will be required to:*
- *Identify all anticipated impacts to fronting properties such as proposed driveway grade alterations, drainage and removal of vegetation during the design stage;*
 - *Notify all affected fronting property owners providing information regarding the proposed roadway design and the anticipated extent of impacts to fronting properties, prior to any roadway construction;*
 - *Consult with all affected property owners to discuss reasonable remediation or compensation, prior to any road construction;*
 - *Make minor adjustment to the roadway design, prior to any road construction; and*
 - *Satisfy the Director of Engineering that all reasonable accommodations have been incorporated into the proposed design, prior to any roadway construction.*

The applicant will be required to complete the consultation process with fronting property owners, according to City Engineering specifications, bylaws and requirements but ultimately, to the final approval of the Director of Engineering.

7. *River Drive Upgrades: Upgrades to River Drive include raising the road grade approximately 0.4 m and widening the road surface to approximately 11 m, which requires a low retaining wall, approximately 1 m high on the south side of the road. Other improvements include the insertion of an on-road bike lane and recessed pocket parking along the north side plus a boulevard planting strip, street trees and sidewalk. Upgrades on the south side of the street include new curb and gutter, boulevard planting strip with street trees and a shared pedestrian bike path. With the introduction of a 4.5 m wide boulevard (1.5 m side boulevard planting strip and a 3.0 m wide shared pedestrian/bike path) on the south side of River Drive, there will be a relatively flat transition zone for vehicles from fronting properties to safely access River Drive.*

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the urban design issues and other staff comments identified as part of the review of this Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the "Residential Mixed-Use Commercial (ZMU17)-River Drive/No. 4 Road (Bridgeport)" zone, except for the zoning variances noted below.

Zoning Compliance/Variations (staff comments in bold)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Increase the maximum permitted building height between 20.0 m and 36.0 m of the lot line abutting River Drive, from 15.0 m to 26.0 m for the southernmost 5.0 m of the upper two (2) floors of Building "G".

Staff supports the proposed variance, since the additional height is limited to a small portion at the south end of the building (5.0 m length) and there will be no substantial difference to the height and mass of the proposed building as the Zoning Bylaw allows at this specific location. The required variance at the south end of the building results from terracing down the building at the north end toward the riverfront in order to achieve a more desirable lower scale of the building mass along the riverfront dike/linear park.

- 2) Reduce the Building “B” setback to the proposed west property line of West Park from 6.0 m to 2.7 m for roof support columns.

Staff supports the proposed variance, since there is continuous public access along the west side of Building “B” and the interface between this building and the proposed West Park are enhanced by a more transparent and integrated design approach.

- 3) Reduce the Building “C” setback to the proposed internal site east property line from 6.0 m to 4.0 m for a partial building and roof projection and allow the Building “E” entry canopy to project into the internal side yard setback.

Staff supports these proposed variances, since they relate to internal site proposed property lines, have minimal effect on the condition of adjacency between the various proposed buildings and have little or not affect the public realm.

Advisory Design Panel Comments

The proposed Phase 1 development was submitted to the Advisory Design Panel for review on February 8, 2012. A copy of the relevant excerpt from the Advisory Design Panel Minutes is attached for reference (**Attachment 3**). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in *‘bold italics’*.

Analysis

Conditions of Adjacency

1. This development proposes a gradual height transition to the single-family area on the south through stepping the buildings down from 6-storey apartment buildings located on the north portion of the site to lower 3-storey ground oriented townhouses in the middle of the site and the 2-storey townhouses (four and five-plexes) along River Drive. The north-south siting of the 6-storey apartment buildings also creates an improved transition for the single-family area.
2. A strong inter-relationship of spaces is achieved between the proposed development and the West Park by the appropriate design of the outdoor areas adjacent to the retail-commercial and amenity components of the proposed development that provide a seamless transition between public use private spaces and park public spaces.

Transportation & Traffic

Servicing Agreement (SA 10-542184) covers the frontage improvements along River Drive from No. 4 Road to McLennan Road.

1. Pedestrian circulation to and through the development site is accessible via pedestrian mid-block crosswalks combined with curb extensions proposed on River Drive. These crosswalks are aligned and directly associated with the pedestrian corridors that provide access from the existing residential neighbourhood on the south side of River Drive to the riverfront.

2. Various measures to achieve both traffic calming and a pedestrian-friendly circulation network contribute to reinforce the pedestrian oriented character of the proposal. Parking pockets for on-street parking and curb extensions are provided along the north side of River Drive in front of the townhouses. These street features will help traffic calming and reinforce street activity.
3. This pedestrian friendly character is also reinforced with the improvements to the section of the sidewalk along the west side of No. 4 Road, from Bridgeport Road to the development site and with the proposed sidewalk/bike path provided along the south side of River Drive, which will improve access to the Canada Line Bridge.
4. Maintenance and emergency vehicle access to the dike and pump station is provided at the north end of the proposed No. 4 Road pedestrian promenade along the west boundary, and integrated into the West Park through the existing No. 4 Road ROW. Eight (8) temporary parking spaces for park use and special events are provided at the southern end of this promenade.
5. Access to the parking level that serves the residential buildings proposed in Phase 1 is provided via two (2) driveways from River Drive; one (1) near the middle of the site and one (1) at the eastern end of the proposed Phase 1 development site.
6. The proposed 733 visitor and residents parking spaces plus the 496 Class 1 as well as the 90 Class 2 bicycle parking spaces provided by this proposal meet the parking requirements of the Zoning Bylaw.
7. The west driveway also provides access to a small surface parking area for visitors and commercial land uses behind the amenity building and Building "A" and to the loading spaces and residential recycling pick-up holding areas that serve the various buildings at the west end of the development site.
8. The east driveway provides a second access/egress to the parking level as well as being the access route to the loading spaces and residential recycling pick-up/holding area for the various buildings on the east side of Phase 1, located on the east side of Building "G".
9. As the east driveway, adjacent to the Phase 1 east property line is located on the adjacent lot at 10199 River Drive that will be developed as Phase 2 of this development in the future, a legal agreement for an easement to provide access to the parking level and loading/service areas associated with the development of Phase 1 (Sketch "B" **Attachment 2B**).

Engineering & Servicing

The applicant is under three (3) separate Servicing Agreements (SA) for this proposal including SA 10-542184 for Road /Utility upgrades (River Drive from No 4 to McLennan Road), SA 11-587071 for upgrade of the west dike/riverfront linear park and SA 11-587136 for design and construction of the West Park. Legal agreements are in place to secure development of the Central Park, the remainder of the Dike/Trail and River Drive from McLennan Drive to the east. For River Drive upgrades and impacts to fronting properties see Rezoning and Public Hearing section above.

Urban Design & Site Planning

1. The three 6-storey residential buildings are oriented perpendicular to the riverfront and are aligned at the 30 m ESA setback. The four and five-plex building (Building "C") and the stacked townhouse plus the mixed-use building containing residential (affordable housing) and commercial (offices) uses is situated parallel to River Drive with the amenity/commercial building fronting the proposed West Park at the west end of the development site.

2. The four and five-plex townhouses are sited along River Drive and have direct access from the street, which assists in the creation of a pedestrian-friendly, street frontage that relates well to the existing single-family housing units on the south side of the street.
3. Within Building "B" (amenity/commercial building), there is a 412 m² (4,435 ft²) indoor amenity space that includes a lap pool, hot pool, exercise room and lounge room for use by the residents plus 291 m² (3,132 ft²) of office space on the second level including the mezzanine.
4. The mixed-use residential (affordable housing) - commercial building on River Drive at No. 4 Rd. includes 67 affordable housing units, a 426 m² (4,585 ft²) restaurant at ground floor, at the corner, and 541 m² (5,823 ft²) of office space on the second level, including a mezzanine. A Housing Agreement is already in place for these affordable housing units.
5. Parking is provided on one (1) level slightly below the proposed elevation of River Drive. The parkade is hidden from street views by the four and five-plex townhouse buildings and the mixed-use residential (affordable housing) - commercial building on River Drive. The landscape grade transitions and stepped planters along the sidewalk in combination with the parking pockets and grass boulevard on the north side of River Drive will create pleasant pedestrian character for the public realm on River Drive.
6. Vehicular access to the site and residential parking/loading areas in Phase 1 are proposed at:
 - near the middle of the Phase 1 along River Drive; and
 - the east end of the development site at the east property line near McLennan Road.The site access locations minimize and disperse vehicular traffic to and from this site.
7. Adjustments have been made to the design and overall treatment of the proposed Sequoia Plaza on River Drive that improve the landscape experience and reinforce the gateway function of this space. The former electrical substation has been relocated but the site history of this industrial facility is referenced in the plaza design and integrates better with the space around the existing sequoia tree that is to be retained.
8. Universal pedestrian access to Sequoia Walk, the lobby of Building "G" and all buildings on the internal east-west "Magnolia Mews" will be provided along the west side of the driveway that has been established along an easement in Phase 2.

Landscape & Amenity Space

1. Outdoor amenity and landscaped courtyards are located between the three 6-storey residential buildings (Buildings "E", "F" and "G") that are oriented perpendicular to the dike/Riverfront linear park with alternating private outdoor areas and public use outdoor areas under private ownership.
2. Residents and the general public will have access to use the large central outdoor amenity space located between Buildings "F" and "G". This outdoor amenity area includes a generous children play area and lawn adjacent to the dike/linear park along the riverfront, which is inviting to visitors and children due to the overall design of the courtyard area and the specific location of the amenity area.
3. The central courtyard amenity space is accessible via the Sequoia Walk, a wide public pedestrian corridor along on the east side that traverses the proposed development from south to north and connects River Drive with the riverfront.

4. The Sequoia Walk entry on River Drive is identified and highlighted by a plaza area around a large existing Sequoia tree that will be retained. Although this entry area is located on 10199 River Road in the Phase 2 portion of the development site, it will be constructed as integral part of Phase 1. A legal agreement will be registered on title to allow its construction on a portion of adjacent site at 10199 River Drive in Phase 2. Public use of the central courtyard (Sequoia Plaza and Sequoia Walk pedestrian corridor) will be secured via a PROP-ROW. The extent of this PROP-ROW is shown on Sketch "C" (see **Attachment 2C**).
5. The indoor amenity areas for use by the residents are provided at the ground floor level of the proposed amenity/commercial building at the east edge of the proposed West Park and include a lap pool, hot tub, fitness room and a lounge/meeting space. The amenity building also contains 236 m² (2,540 ft²) of commercial-retail uses at the ground floor level allowing the extension of commercial uses to extend onto an outdoor deck at the edge of the park and encourages social interaction along the interface.
6. River Drive Vegetation Impacts: The applicant is required to identify all anticipated vegetation (i.e. tree and hedge) impacts along fronting properties on the south side of River Drive associated with the proposed raising and widening of this existing road. In addition, the applicant is required to notify and consult with affected fronting property owners in order to negotiate reasonable remediation/compensation for the proposed removal of vegetation straddling front property lines along the south side of River Drive or located on private property. The applicant will have to demonstrate to the satisfaction of the Director of Engineering that reasonable remediation/compensation has been provided to fronting property owners on the south side of River Drive, prior to the commencement of any roadway construction.

West Park & Riverfront Dike/Linear Park

1. The portion of the riverfront trail within this development will contribute to the establishment of a future link to the City Centre area and the future hotel/entertainment district along the Tait neighbourhood riverfront.
2. The landscape design of the riverfront dike/linear park along the north edge of the site creates a high-quality public open space pedestrian corridor that includes bioswale planting areas as a buffer between the buildings and the dike/park path along the river edge.
3. Parks staff support the proposed West Park and the riverfront dike/linear park trail design concept. Final design development, detailed design and construction will be coordinated through two separate Servicing Agreements (SA 11-587071 for the riverfront dike/linear park and SA 11-587136 for design and construction of the West Park).
4. Legal agreements will require that the West Park and the western portion of the riverfront dike/linear park will be developed in conjunction with the proposed Phase 1 residential development to ensure that park space is available to meet the needs of both the new and existing residents in the Tait neighbourhood.

Affordable Housing

As per the Richmond Affordable Housing Strategy applicable to developments that include more than 80 residential units, this proposal includes a building (Building "A") allocated to affordable housing. The 67 affordable housing units (low-end market rental) provided in Building "A" within Phase 1 include a total habitable floor area of 4,268 m² (45,940 ft²), which is equivalent to 5% of the total residential floor area permitted on the entire development site extending from No. 4 Road to Shell Road.

Accessibility

This development proposal includes barrier-free access from the street to the lobby of the residential buildings and from the apartment units to the various amenity spaces (outdoor and indoor) included within the development.

1. A total of six (6) units (2 units in each of the 3 mid-rise residential buildings) will be designed as universally accessible units as defined under City of Richmond Zoning Bylaw 8500 Section 4.16 and have been designed and shown as such on the floor plans. Several unit types in the buildings can be converted into accessible units. If a purchaser indicates the desire for an accessible layout in a unit that has not been designed as an accessible unit, the applicant has agreed to make the necessary adjustments to create an accessible unit.
2. Furthermore, each unit in this development proposal incorporates measures that facilitate "aging-in-place". Specific aging-in-place measures that will be incorporated into all units include but are not limited to:
 - a) Doors
 - All door hardware to be easily operated by users (i.e. with minimum physical effort, typically lever type handles).
 - Minimum clear opening width of the main entry door to be 2 ft. 10 in.
 - Minimum clear opening width of the in-suite privacy doors to be 2 ft. 8 in.
 - Minimum clear open width of 2 ft. 10 in. for at least one (1) balcony and/or patio door.
 - All suite doorsill thresholds shall be ½ in. or less in height.
 - b) Windows
 - Windows to be accessible (i.e. minimum one per bedroom and living room shall be provided with a minimum sill height of 2 ft. 6 in. complete with easily operated window hardware).
 - c) Bathrooms
 - Provide adequate reinforcement at walls (i.e. plywood) immediately adjacent to the water closet and bathtub to allow the installation of grab bars in the future.
 - Bathroom faucets to be easily operated (i.e. lever type).
 - Centerline of water closet to be minimum 1 ft. 6 in. from exterior face of drywall.
 - d) Electrical / Accessories
 - Rough-in wiring to be provided for an automatic door opener at the unit entry door.
 - Thermostats to be mounted at a height between 3 ft. 0 in. and 4 ft. 6 in.
 - Intercom and electrical panels to be mounted at maximum height of 4 ft. 0 in.
 - Lights switches shall be paddle type and mounted at a maximum height of 4 ft. 0 in.

Public Art

The applicant has agreed to provide a voluntary Public Art contribution phased in over time totalling \$574,695.00. The Public Art Plan for this proposed development has been present to and supported by the Public Art Advisory Committee. The applicant has already purchased the sculpture entitled "Water #10" by Jun Ren costing \$448,000.00. This sculpture was exhibited in Richmond as part of the recent Public Art Biennale along the Fraser River at the intersection of River Road and Capstan Way. This sculpture will be relocated in the future to the Central Park, east of Phase 1 within this development as a key focal element of the park design. The remaining portions of the Public Art contribution are related to City administration of the Public Art process, some additional consultation with the artist regarding siting the sculpture, together with the demounting, transportation and installation costs associated with relocated the sculpture.

Sustainability

The subject development proposal responds to the City's commitment to long-term environmental, financial and social sustainability by the inclusion of the following sustainable strategies:

Site Planning and Neighbourhood Design

1. Provision of a higher density, walkable built environment with adequate green open space areas located a relative short distance from a major transit corridor.
2. Offering an improved and safer infrastructure for walking, cycling and easy access to transit, in addition to driving.
3. Linkages throughout the site connecting the Tait Neighbourhood to the riverfront.
4. The applicant has indicated that this proposal will include a geothermal energy centre on-site plus a geothermal ground source heat pump system to provide energy for heating and cooling to all the buildings and residential units within this development. As such the proposed residential units in this development will comply with the ASHRAE 55-2004 "Thermal Environmental Conditions for Human Occupancy" standard for interior living spaces. A letter of assurance will be required from a certified professional at the Building Permit stage to verify that the required acoustical and thermal design measures have been incorporated into all buildings including all residential units.
5. Variety in housing types includes studio to three bedroom condominium units, as well as four and five-plex ground-oriented townhouses. One (1) of the buildings (Building "A") provides 67 affordable housing units that contribute to widening the income levels that may live in this neighbourhood.
6. Landscape design includes native species with drought tolerant plants in combination with a system of storm water infiltration irrigation, bioswale planting areas and other measures that may divert the majority of the storm water into these naturalized areas.
7. Green spaces over the parking podium that help reduce the heat island effect. Green space areas also include Privately Owned Public Areas (POPA's or PROP-ROW's) and an upgraded riverfront dike/linear park trail.

Transportation

1. "End of Trip" bicycle facilities are provided for commercial tenants as part of Transportation Demand Management (TDM) measures associated with this development.

2. Bike trail along riverfront and bicycle lane on River Road will extend the City's cycling network in this area, including access to the Canada Line Bridge and bike routes in the City of Vancouver.
3. Upgrading of walking routes to the Canada Line - Bridgeport Station.
4. Provision of bus shelters via the Servicing Agreement on River Drive and a bus shelter on Bridgeport road in future development phases.

Buildings

1. Highly sustainable wood-frame construction (most buildings) over the concrete parkade with a green roof on a portion of the amenity building and locally sourced materials.
2. Pre-ducting within buildings for future solar energy options.
3. Energy star rated windows with low-E glazing.
4. Provision of low-flow toilets, showerheads and faucet aerators in the residential units.
5. Energy star rated appliances including efficient front-loading washers and dryers.
6. Energy efficient lighting in common areas (i.e. CFL's) and energy saving motion sensor lighting, where practical.
7. Occupancy sensors at parkade lighting level (minimum lighting levels will be maintained).
8. Low VOC paints and environmentally friendly bamboo flooring from renewable sources.

Crime Prevention Through Environmental Design (CPTED)

CPTED principles and specific design features of the building(s) that will contribute to crime prevention and increase security for the residents include, among others, the following:

1. Use of reflective white/light paint and maximizing the amount of natural light in the parkade.
2. Glazing in parkade elevator lobbies and vision panels in doors leading to publicly accessible areas (exit stairs).
3. Raised curbs or white/yellow colour painted strips separating vehicles from pedestrians and identification of pedestrian routes to the elevator core.
4. Overhead security gates separating resident parking from visitors/commercial parking.
5. Open views to building lobbies, mailrooms and elevator cores from the street and/or internal pedestrian corridors.
6. Windows in habitable spaces of units oriented to streets or internal pedestrian corridors and outdoor amenity spaces to provide opportunities for informal surveillance of the public realm.
7. Pedestrian scale lighting provided along main pedestrian corridors particularly along Magnolia Mews and Sequoia Walk. This lighting to be incorporated as part of the low retaining walls/planters along these corridors to minimize light pollution for adjacent dwelling units but illuminating the path. Individual entries from courtyards to lower level units delineated by a subtle interruption of planters and landscape planting that mark the boundary between private and semi-public space while achieving a soft transition between these spaces in order to provide an animated and pedestrian-friendly courtyard character that also facilitates passive surveillance.

Conclusions

The proposed development responds well to the urban design objectives identified for this unique area along the North Arm of the Fraser River. This variety of architectural design within this proposed development relates well to the surrounding site context responding to the residential character of the single-family urban fabric along River Drive to the south as well as the working river and the neighbouring industrial character. Phase 1 of this development site will contribute to the vitality and liveability of the Tait neighbourhood. Staff support this development proposal based on the urban design and architectural response of this proposal to its context and the significant overall benefits to the surrounding area associated with this project.



FOR Francisco Molina, MPIBC, IA.AIBC
Senior Planner III, Urban Design

FM/BG:blg

- Attachment 1: Development Application Data Sheet
- Attachment 2A: Required Public Rights of Passage – Statutory Right of Way (PROP-SRW) for Sequoia Plaza and Sequoia Walk (west portion)
- Attachment 2B: Required Easement for emergency access, a second access/egress to the proposed parkade, loading areas and garbage/recycling collection service
- Attachment 2A: Required Public Rights of Passage – Statutory Right of Way (PROP-SRW) for Sequoia Plaza and Sequoia Walk (east portion)
- Attachment 3: Advisory Design Panel Comments and Applicant Responses

The following are to be met prior to forwarding this application to Council for approval:

1. Receipt of a Letter-of-Credit for landscape installation in the amount of \$1,247,000.00 (based on cost estimate prepared by HAPA Collaborative, the Landscape Architect for this project);
2. Registration on title of a Public Rights of Passage – Statutory Right of Way (PROP-SRW) regarding the 3.6 m wide North-South (6.0 at its northern portion) oriented corridor alongside the west property line of Lot 2, extending north from the south property line at River Drive, as per attached Sketch “A” (**Attachment 2A**). Precise boundaries to be defined by a legal survey. Owner will construct, maintain and assume liability over the SRW area.
3. Registration on title of a Statutory Right of Way (SRW) over the portion of Building “B” that contains the mechanical equipment for the water feature in West Park, in favour of the City in order to provide maintenance, repair and replacement access including any ducting or piping that connects the mechanical equipment to the water feature in West Park.
4. Registration on Title of an easement agreement along the west property line of Parcel 4, future Phase 2 development, as indicated in attached Sketch “B” (**Attachment 2B**). This easement is required for the purpose of providing emergency access, a second access/exit to the proposed parkade, required loading areas and garbage/recycling collection service to the proposed development. As this easement ROW falls on portions of Lot 4, the agreement will need to be registered against that lot and should address the fact that a portion of the underground parking extends under a portion of this area. Owner will construct, maintain and assume liability over this area. Precise boundaries of the easement area to be defined by a legal survey.

5. Registration on Title of a Statutory PROP ROW regarding the Sequoia Plaza area (approximately 11.00 m x 12.00 m) located between the easternmost four-plex/five-plex cluster of Building "C" and the future similar cluster on Phase 2 development on Parcel 4, and a 3.6 m wide pedestrian corridor ("Sequoia Walk") extending north property line from the Plaza along the west side of Building "G" and including the approximately 45.50 m x 50.0 m central courtyard area between Buildings "F" and "G", as per attached Sketch "C" (**Attachment 2C**). Precise boundaries to be defined by a legal survey. Owner will construct, maintain and assume liability over the ROW area.
6. Registration on title of a cross-access easement for the amenity space in Building "B" intended to provide communal residential amenity facilities for the entire proposed development including all necessary internal pedestrian access corridors within Building "B" if required plus pedestrian access onto and across the Building "B" subdivided lot in favour of all other subdivided residential lots and residential stratifications that form part of the entire proposed development.
7. Registration on title of a blanket cross access easement over the entire Phase 1 parking structure in favour of each proposed building within Phase 1 (i.e. Buildings "A", "B", "C", "D", "E", "F" and "G") in order to provide vehicle access/egress, vehicle and bicycle storage as well as pedestrian access to and from the respective buildings including space for and access to/from garbage and recycle areas for each respective building.
8. Title summary review of the existing legal agreements registered on Title.
9. Confirmation that the following TDM measures have been incorporated in Phase 1, or adequate arrangements have been made for provision of:
 - a) Provision of co-op Car Arrangement.
 - b) Completion of bike lanes along River Drive in conjunction with frontage improvements required.
 - c) Provision of two bus shelters along Bridgeport Road at completion of Phase 1.
 - d) Complete the sidewalk/pathway along the west side of No. 4 Road between Bridgeport Road and River Drive at completion of Phase 1.

Prior to future Building Permit* issuance, the applicant is required to complete the following:

- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Division at 604-276-4285;*
- Submission of a Letter of Assurance from a certified professional that the noise attenuation measures for all buildings including all residential units have been installed as proposed in the noise study and that the thermal design of all the buildings including all residential units complies with the ASHRAE 55-2004 "Thermal Environmental Conditions for Human Occupancy" standard for interior living spaces; and
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Division (<http://www.richmond.ca/services/ttp/special.htm>).



DP 11-564405

Attachment 1

Address: 10011 & 10111 River Drive and portion of 10199 River Drive (PHASE 1)

Applicant: Oris Development (River Drive) Corporation Owner: Same

Planning Area(s): Bridgeport Area Plan

Floor Area Gross: 36,036 m² Floor Area Net: 34,551 m²

	Existing	Proposed
Site Area:	24,860 m ²	24,860 m ²
Land Uses:	Light Industrial and Storage Uses	Multi-family Residential, Commercial
OCP Designation:	Mixed-Use "Residential Mixed-Use (Max. 6-storey, 1.45 FAR)" and "Potential Park Site" in the West Bridgeport Land Use Map of Bridgeport Area Plan	Mixed-use
Zoning:	"Residential Mixed-Use Commercial (ZMU17)-River Drive/No.4 Road (Bridgeport)"	"Residential Mixed-Use Commercial (ZMU17)-River Drive/No.4 Road (Bridgeport)"
Number of Units:	N/A	383 units

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	1.45 (subject to the provision of not less than 65 affordable housing units)	1.40 (the proposal includes 67 affordable housing units)	none permitted
Lot Coverage:	Max. 40% for buildings	35%	None
Setback – River Drive:	Min. 3.0 m	4.0 m	None
Setback – River Road (Dike ROW)	Min. 7.5 m	13.6 m	None
Setback – Side Yard:	Min. 6.0 m	6.0 m	None
Setback – Rear Yard:	Min. 6.0 m	6.5 m	None
Height (m):	Max. 26.0 m	25.9 m	None
Height (m): (between 20.0 m of the lot line abutting River Drive and beyond 100.0 m from No. 4 Road):	Max. 10.0 m	10.0 m	None
Height (m): (between 20.0 m and 36.0 m of the lot line abutting River Drive and beyond 100.0 m from No. 4 Road):	Max. 15.0 m	26.0 m (for the southernmost 5.0 m of the upper two floors of Building "G")	Variance required
Height (m):	Max. 15.0 m	15.0 m (top of elevator machine room)	None

(within 40.0 m of the lot line abutting River Drive and within 100.0 m of No. 4 Road):			
Lot Size:	N/A	N/A	None
Off-street Parking Spaces – Residents	576	578	None
Off-street Parking Spaces – (Visitor):	77	80	None
Off-street Parking Spaces – (Restaurant and Offices):	70	75	None
Total off-street Spaces:	723	733	None
Off-street Parking Spaces – Accessible:	15	16	None
Tandem Parking Spaces	not permitted	not provided	None
Bicycle Parking. Class 1	482	483	None
Bicycle Parking. Class 2	82	90	None
Loading Spaces (Medium)	2	2	None
Loading Spaces (Large)	2	2	None
Loading Spaces Commercial (Medium)	1	1	None
Amenity Space – Indoor:	Min. 100 m ²	412 m ²	None
Amenity Space – Outdoor:	Min. 600 m ²	2,800 m ²	None

Attachment 2A - Required PROP-SRW

RIVERFRONT OF THE TRAIL:
REFER TO LANDSCAPE
ARCHITECT'S DRAWINGS
FOR DESIGN AND
CONFIGURATION.

UNP
ION

HIGH WATER LINE

30m E.S.A. SETBACK LINE

LINE OF 7.5m SETBACK

WEST PARK DEDICATION:
REFER TO LANDSCAPE
ARCHITECT'S DRAWINGS
FOR DESIGN AND
CONFIGURATION.

BUILDING B
MIXED USE: COMMERCIAL/OFFICE/
RESIDENTIAL AMENITY

BUILDING E
8 STOREY MULTIFAMILY

ROOF OVER MECH AND ELEV. OVERLIN

FLAT ROOF

ENTRY FOR JOINT WOODRUFF
PEDESTRIAN REALM WITH SECONDARY
SURFACE PARKING FOR COMMERCIAL
USE. (PRIMARY COMMERCIAL PARKING
LOCATED IN PARKADE) REFER TO
LANDSCAPE ARCHITECT'S DRAWINGS
FOR DESIGN AND CONFIGURATION.

TEMPORARY
COMMERCIAL
RECYCLING PICKUP
HOODING PAD

3.6m

FLAT ROOF

BUILDING A
MIXED USE: COMMERCIAL/
OFFICE/AFORDABLE HOUSING

FLAT ROOF

FOR FULL RAMP SLOPES AND
INFORMATION SEE SHEETS
A-201, A-201a, A-401, A-402

10.0m

LINE OF 4m SETBACK

A

REQUIRED PROP-ROW

Attachment 2B – Required Easement

KEY PLAN



RIVERFRONT OYKE TRAIL REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR DESIGN AND CONFIGURATION.

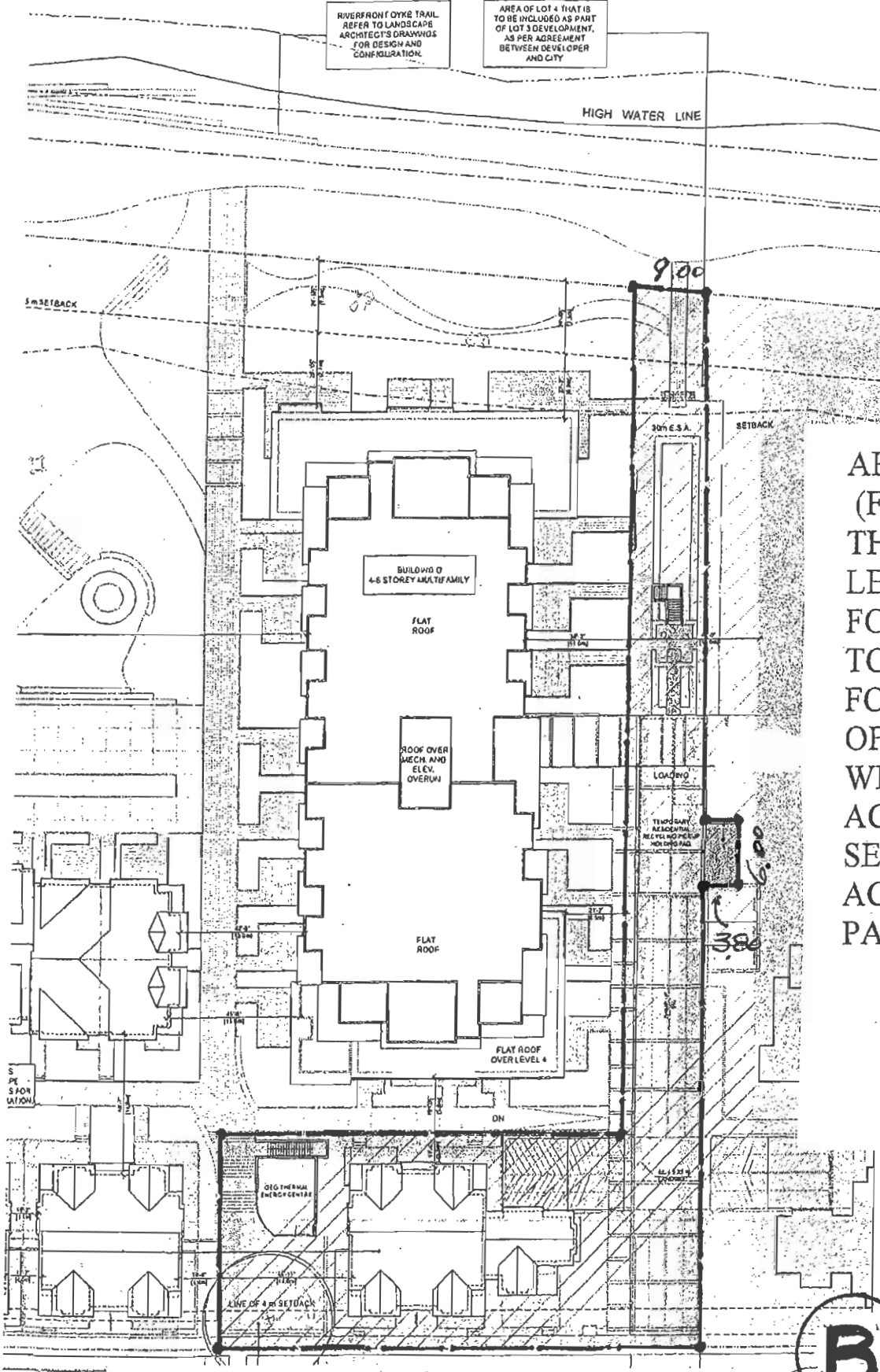
AREA OF LOT 4 THAT IS TO BE INCLUDED AS PART OF LOT 3 DEVELOPMENT, AS PER AGREEMENT BETWEEN DEVELOPER AND CITY

CEPTED PRINCIPLES

- Light is obtained wherever fresh air is needed, circulation is needed or fire needed.
- Provide water pipe in its ducts, leading to perfect use in solar areas.
- Provide drainage to areas for basins.
- Vertical air flow is 1 ft per sq. ft. of area.
- Provide hand held fire extinguishers.
- Provide charge surface drain to range up stair.

NOTES

ALL DIMENSIONS ARE SHOWN FROM BUILDING FACE, NOT FOOTING/POST FOUNDATIONS



AREA OF PARCEL 4 (FUTURE PHASE II) THAT REQUIRES A LEGAL AGREEMENT FOR AN EASEMENT TO BE REGISTERED FOR THE PURPOSE OF PROVIDING PHASE I WITH EMERGENCY ACCESS, LOADING SERVICES AND SECOND ACCESS – EXIT TO PARKING LEVEL

PARC RIVIERA

4 RUE DE LA RIVIERE
Mixed-Use Development
1001 - 1031 River Drive &
1880 No. 4 Road
Richmond, B.C.

Lead
DAVA Development Ltd.
(River Drive) Corp.
Oris Consulting
(River Drive) Corp.

DATE: 2014-07-15

DATE	TO: JC	BY: [Signature]
DATE	TO: [Signature]	BY: [Signature]
DATE	TO: [Signature]	BY: [Signature]
DATE	TO: [Signature]	BY: [Signature]
DATE	TO: [Signature]	BY: [Signature]

PHASE 1B SITE/ROOF PLAN

REQUIRED EASEMENT



EX
SEE

Attachment 2C - Required PROP-SRW

RIVERFRONT DYKE TRAIL.
REFER TO LANDSCAPE
ARCHITECTS DRAWINGS FOR
DESIGN AND CONFIGURATION.

AREA OF LOT 4 THAT IS
TO BE INCLUDED AS PART
OF LOT 3 DEVELOPMENT.
AS PER AGREEMENT
BETWEEN DEVELOPER
AND CITY

HIGH WATER LINE

LINE OF 7.5 M SETBACK

OUTDOOR AMENITY SPACE.
REFER TO LANDSCAPE
ARCHITECTS DRAWINGS FOR
DESIGN AND CONFIGURATION.

P.O.P. AMENITY SPACE
(CRABAPPLE GROVE)
REFER TO LANDSCAPE
ARCHITECTS DRAWINGS FOR
DESIGN AND CONFIGURATION.

BUILDING D
4-8 STOREY MULTIFAMILY

FLAT ROOF

ROOF OVER
MECH. AND
ELEV. OVERUN

FLAT ROOF

FLAT ROOF
OVER LEVEL 4

BUILDING D
3 STOREY DRUM
ORIENTED TOWNHOUSES

PEDESTRIAN MEWS
REFER TO LANDSCAPE
ARCHITECTS DRAWINGS FOR
DESIGN AND CONFIGURATION

BUILDINGS C
OR 5 FIVE PLEX TOWNHOMES

DISTRIBUTION
ENERGY CENTER

2.4m

REQUIRED PROP-ROW



P/
M/
101
181
R/c
D/A
Or
18h
18c
18d
18e
18f
18g
18h
18i
18j
18k
18l
18m
18n
18o
18p
A-

Excerpt from the Minutes from
The Design Panel Meeting

Wednesday, February 8, 2012 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall

Time: 4:00 p.m.

Place: Rm. M.1.003
City of Richmond

Present: Kush Panatch, Chair
Simon Ho, Vice-Chair
Joseph Fry
Tom Parker
Cst. Greg Reimer
Sherri Han
Steve Jedreicich (*arrived at 4:05 p.m.*)
Harold Owens
Shira Standfield (*arrived at 4:15 p.m.*)

Also Present: Sara Badyal, Planner
Francisco Molina, Senior Planner III, Urban Design
Kevin Eng, Planner I
Rustico Agawin, Committee Clerk

Absent: Thomas Leung

The meeting was called to order at 4:00 p.m.

3. DP 11-564405 – MIXED-USE MID-RISE DEVELOPMENT IN 7 BUILDINGS WITH 383 RESIDENTIAL UNITS, 832 SQ.M. OFFICE, 426 SQ.M. RESTAURANT & 236 SQ.M. CRU

APPLICANT: Oris Development (River Drive) Corporation

PROPERTY LOCATION: 1880 No. 4 Road, 10071/10091/10111/10131 River Drive

Applicant's Presentation

Dana Westermarck, Oris Consulting, Simon Ho, Cotter Architects, and Joe Fry, Hapa Collaborative, presented the project on behalf of the applicant.

Panel Discussion

Comments from the Panel were as follows:

- consider man-made materials and appropriate wood species for the boardwalk to

address maintenance issues;

Natural and locally extracted wood products are being considered in the proposal.

- intricate and multi-faceted project; however, the minuscule and colourless model presented to the Panel does not enable members to see the intricacies in the different architectural forms and materials;
- appreciate the lay-out of the project; location and orientation of 6-storey buildings allow for open spaces; open space are up against the water and dike trail and give the public and semi-private spaces a very public feel;
- concerns about the proximity, especially at ground level, between Building E and Building B, and separation of Building F to Building D; back of the amenity building (Building B) is close to the residential units in Building E;

We acknowledge that the conditions where the aforementioned buildings are in close proximity to one another are not ideal. In these limited circumstances this was unavoidable as we attempted to maximize the open areas on site. Regardless we have attempted to minimize any issues of privacy as best as possible.

The NE corner of Building B, neighbouring Building E has been planned in a way that it provides maximum privacy to the bordering ground level residences by locating amenity service/change rooms along this edge minimizing glazing and visual adjacencies. The massing at this corner has also been kept lower. Furthermore planting will be provided adding another layer of screening at the lower levels. At the roof level of Building B, we will be providing a seeded roof treatment that should be visually pleasing for those units that look down upon it.

- Building D is quirky and quite close to the back of Building F; landscape images show the tightness of the space between the two buildings;

Building D was intentionally conceived as a transitional building, bridging the differences in scale and form from the Building C four-plexes and the 6-storey buildings.

- incorporation of different styles gives the project a village feel; like the views; village kind of feel with the different building styles; does not have the same feel as the Olympic Village; appreciate the different styles of the stacked townhomes and four-plexes which complement the existing neighbourhood to the south;

This was an intentional result. Though the buildings are tied together with similar materials and motifs, they were conceived as being distinct from one another creating visual interest and a distinct sense of place.

Separation between Buildings D and F is not as severe. Relocating Building D to the south would only serve to create a distance issue to the south between Buildings D and C. We will instead provide as much landscape screening as possible, which should alleviate the issues at the lower levels. Most of the north facing units impacted in Building D also have oblique views to the adjacent open areas and even to the River. In Building F, there are only 3 south facing units, 2 of which are corner units with visual relief to the east and west. The main living space of the middle units is inset of the building face, providing sunshade and additional screening.

- parkade load in Phase 1 will be shared in Phase 2 of the project; 1,000-plus cars with two entrance points will be a challenge in the long run;

Due to city and neighbourhood concerns about the visual impact of having multiple

parkade entrances along River Drive, we intentionally attempted to minimize the number of curb cuts.

In response to the concerns regarding only one parkade entrance, we have provided a second entry driveway at the southeast corner of the development site, via an easement on the west side of 10199 River Drive, the adjacent parcel to be developed as Phase 2 in the future.

- sketch-up model does not convey the level of detail needed for Building B and the corner of Building A given their public profile; a larger model would have been helpful;
- idea of using various sizes of buildings to transition from single-family dwellings works well;
- wood is used for the structure of the buildings; however, there is no wood expression in the building's exteriors;

While there are constraints due to BC building codes, we will be incorporating wood elements where possible on the buildings as an accent material. On many of the six storey buildings we utilize wood soffits on the major design elements. Additionally on the smaller structures we will incorporate the use of wood trellis' and columns.

- opportunity for big, bold public art is great; should be followed through; can tie in sustainable ideas from the project's environment, e.g. district energy;

The applicant has in consultation with the city arts department, invested in the sculpture Water #10 by Jun Ren currently on display in Richmond for the recent Biennale. This sculpture will be relocated to the Centre Park and become the focal point of the development.

- high level of graphic presentation by the applicant;
- text of the architectural drawings provided by the applicant are very small and difficult to read;
- very nice project; relates well to industrial precedent; lightness and playfulness of character of Building D works in its location; 6-storey towers are not as well-resolved as the lower buildings; hope that some of the character of the lower buildings will be carried to the towers; character of the towers appears a bit lost as it is in between an urban and village look;

Some of the lower buildings' architectural playfulness and details have been incorporated in the 6-storey towers, especially at their northern end.

- lay-out of the site is nice; feels like it has a core that attracts people to the site; appreciate the rich variety of characters of the buildings;
- concern on large parking structure; looks like Metrotown mall parking; consider separation or colour treatment in the parking lot to mitigate the expansive parking area;

We acknowledge the large scale of the parkade. In addition to the extensive signage that will be provided, there are plans to colour code regions within the parkade and identify aisles with names to mitigate any concerns about wayfinding. It should be noted that despite the large scale of the parkade, it would operate very differently from a parkade such as the one at Metrotown, which serves a commercial function with open expanses of unassigned parking. The parkade at Parc Riviera will have predominantly permanently assigned stalls. Residents will not be circling within the parkade looking for parking as at mall but instead entering and leaving in a very defined route.

- stepping of the towers towards the water is not achieved; there is opportunity to visually break down the towers a bit more; towers look chunky from the water;
- impressed with the artistic presentation; provides an idea of what it is like to be in the space;
- adaptability of the units should be emphasized in the information provided to potential buyers; consider offering at least two units per building as completely finished adapted units;

Two universal accessible units that meet the accessibility standards identified in the Richmond Zoning bylaw are provided in each one of the towers. In addition Oris has made provision for any of the units to be converted to accessible unit if requested by the buyer.

- softening some of the hard edges of retaining walls along the mews walk would give an organic feel, as found in other areas of the proposed development, and protect hands of wheelchair users;

Pathway widths along the Mews and other walkways will be a minimum of 2.4m (8 ft) in width and rounded or chamfered corners are been provided for all concrete wall edges.

- affordable units in Building A need to incorporate accessible features for low-income seniors with disabilities;

Noted. Will examine possibilities to include accessible features.

Should the building be built as Affordable Housing, Oris will make provisions to accommodate low-income seniors with disabilities in Building A. Should building "A" be built as market housing, provisions consistent with accessible units' standards shall prevail.

- commend the applicant for an excellent presentation; project is complicated but applicant was able to show how the project works;
- appreciate efforts by the applicant to address grade changes; however, there is only one accessible access to the site which is off the former No. 4 Road; lots of areas in the site with one or two steps which pose a challenge for people, e.g. seniors, people in wheelchairs and strollers, and cyclists going to the park from River Road; more work is needed to make the site flow better and to encourage people to cross from River Road to the park;

Another accessible access has been incorporated on the east side of the site. It provides access to the public use central courtyard/Sequoia Walk from River Drive. It extends alongside the driveway access to the parkade (along the easement ROW to be secured on the west side of 10199 River Drive, site for Phase 2 of the development) and connecting with this pedestrian corridor at the top of Sequoia Plaza.

- like the lantern concept; however, it is not coming across in the project; could be pushed further;

We hope to further develop the concept as we refine the elevations.

- express the use of wood into the buildings;

See related item responded above.

- consider further design development of the play area and integrate universal design to facilitate movement of people and supervision between spaces designated for the younger and older groups;
- like the openness of the site; inviting to the right kind of public; will also encourage residents to go outside of their units into the walkways and provide eyes on the street; will make undesirable people stand out; good site lay-out from a crime prevention

perspective;

- site has not been hospitable to the Tait neighbourhood for many years; great to see the project come forward; will bring some friendliness into the River area;
- project respects the history of the area and site context; however, wood element, which is part of the history of the area, is missing; bring the River into the site;
- make the access to the site from the neighbourhood to the south more pedestrian friendly; provide stronger wayfinding approach and consider signage/special detailing to the site entrance near the sequoia tree to make it noticeable to the public;

We will provide signage that will further clarify the public quality of the Sequoia area. The tree itself should act as a marker given its size and maturity when viewed from a distance. Up close, pedestrians will immediately become aware of the different nature of the space, as the access will occur directly under the canopy of the tree. As a general observation, the bulk of the public will principally access the river from either the West Park or the Centre Park. This is due to the fact that these are at the main circulation nodes. With no mid block access between No.4 Road and McLennan Ave, the only residents who will approach the Sequoia area directly are from the single-family homes directly across the street.

- degree of openness of the site is commendable; building design makes the site very open; no need to step down the towers too much as they do not obstruct the river and mountain views to the north from the proposed development; towers should be closer to the water to have more reflection on the water;
- project integrates the neighbourhood to the south by putting the lower buildings along River Drive and stepping up to higher buildings northward;
- video presentation showed the project has a sense of place and village character; buildings have different design and scales but integrate very well;
- grade changes have been handled quite well; patios and seating areas are on eye level to pedestrians walking on River Drive;
- Building A design is not as refined as the other buildings; great job on the design of Buildings E, F and G; high level of detail presented by the applicant;
- corner of River Drive and old No. 4 Road is a key element of the project; add an element to the corner to give it more presence when turning the corner; bring in the high quality design of the other buildings to the corner;

In response to the comments we have examined Building "A" elevations, in particular the corner commercial element. The intention to create a highly glazed corner, which engenders a strong visual relationship between the commercial activities within the building and the outside public spaces. At grade level we will provide opportunities for the restaurant activities to spill outdoors encouraging further social activity during the warmer seasons.

- like the idea of a wood boardwalk; a wood accent would work better for strollers and rollerblades, e.g. paved central portion; and
- consider using end-grain wood paving blocks on lane; look at precedent in Bastion Square in Victoria.

Panel Decision

It was moved and seconded

That DP 11-564405 move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Panel.

CARRIED



No. DP 11-564405

To the Holder: ORIS DEVELOPMENT (RIVER DRIVE) CORPORATION

Property Address: 10011 & 10111 RIVER DRIVE AND
PORTION OF 10199 RIVER DRIVE

Address: C/O DANA WESTERMARK
ORIS DEVELOPMENT (RIVER DRIVE) CORPORATION
12235 NO. 1 ROAD
RICHMOND, BC
V7E 1T6

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) Increase the maximum permitted building height between 20.0 m and 36.0 m of the lot line abutting River Drive, from 15.0 m to 26.0 m for the southernmost 5.0 m of the upper two floors of Building "G";
 - b) Reduce the Building "B" setback to the proposed west property line of West Park from 6.0 m to 2.7 m for roof support columns; and
 - c) Reduce the Building "C" setback to the proposed internal site east property line from 6.0 m to 4.0 m for a partial building and roof projection and allow the Building "E" entry canopy to project into the internal side yard setback.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #35 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.

Development Permit
No. DP 11-564405

To the Holder: ORIS DEVELOPMENT (RIVER DRIVE) CORPORATION

Property Address: 10011 & 10111 RIVER DRIVE AND
PORTION OF 10199 RIVER DRIVE

Address: C/O DANA WESTERMARK
ORIS DEVELOPMENT (RIVER DRIVE) CORPORATION
12235 NO. 1 ROAD
RICHMOND, BC
V7E 1T6

-
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$1,247,000.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
 7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.
 8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit, which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO. _____
DAY OF _____, _____

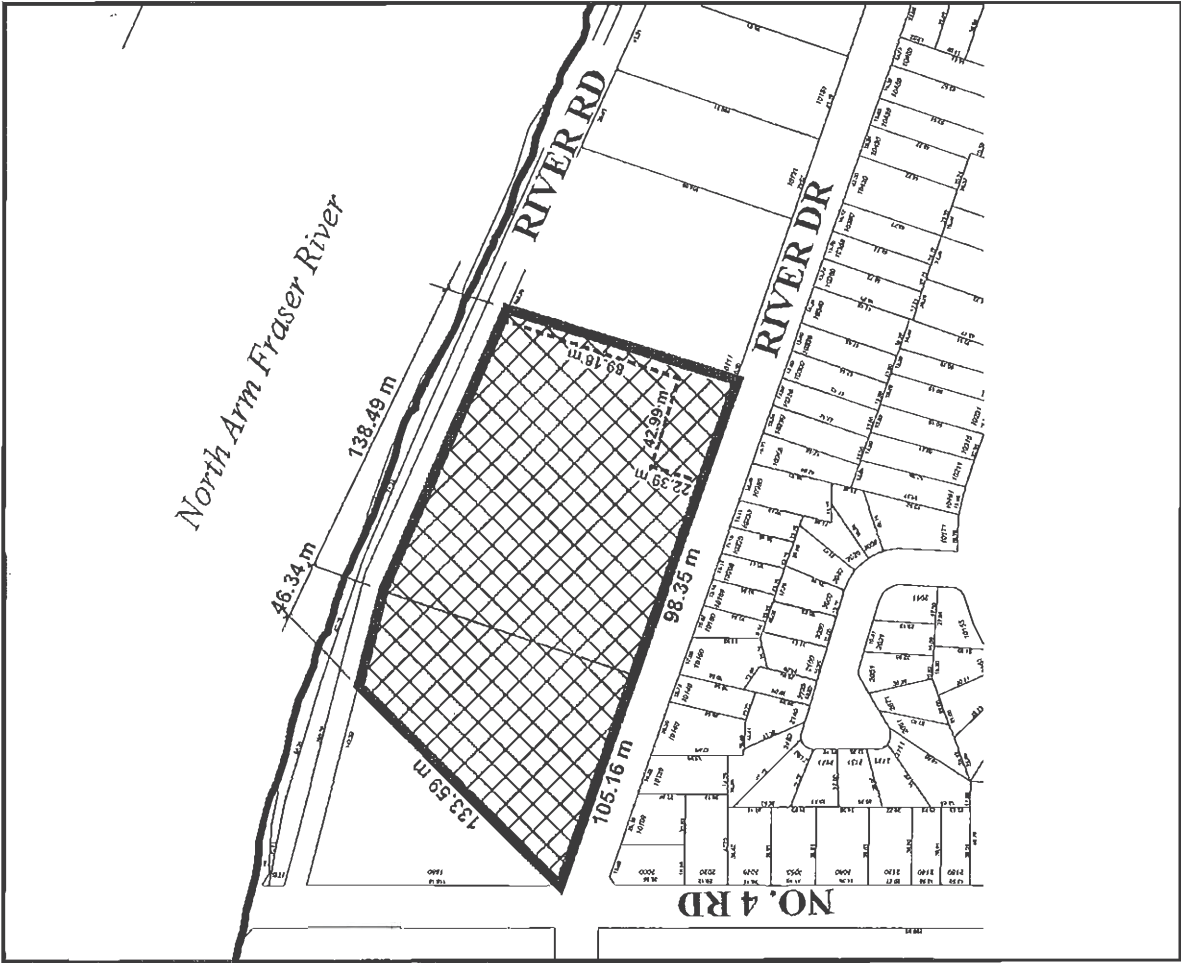
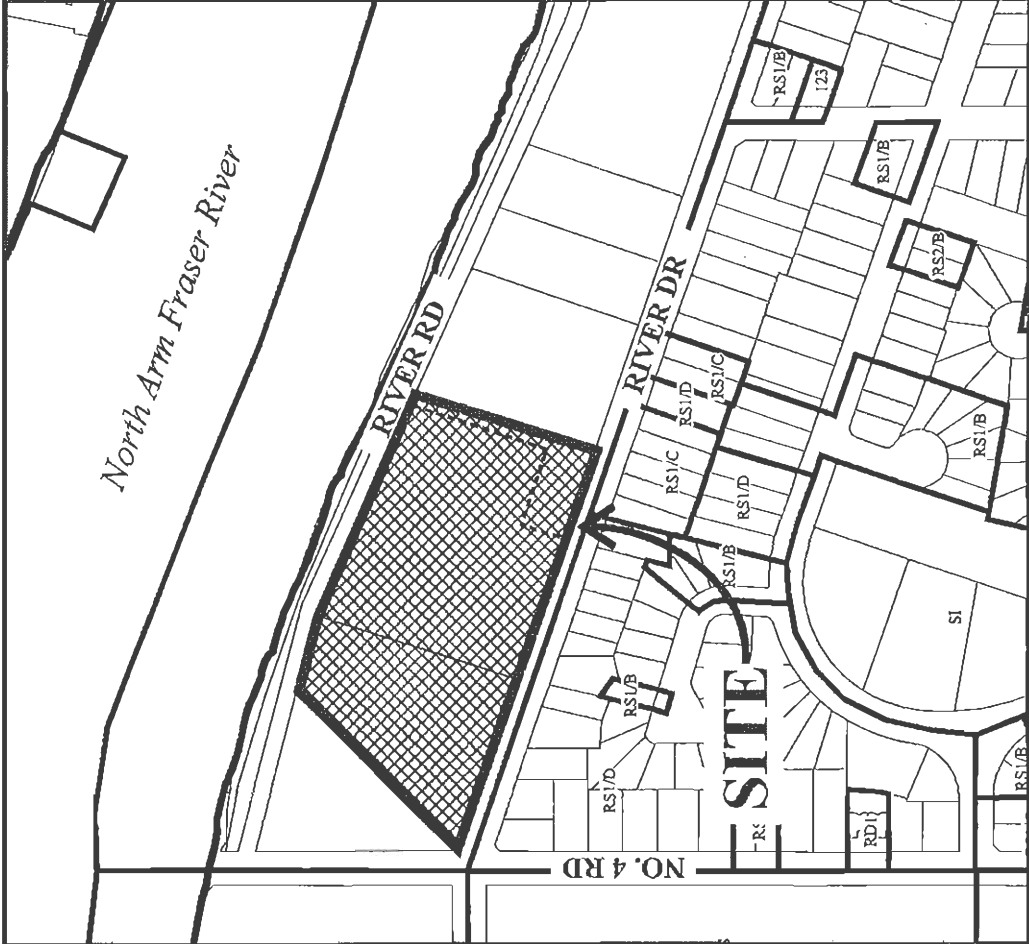
ISSUED BY THE COUNCIL THE

DELIVERED THIS _____ DAY OF _____, _____

MAYOR



City of Richmond



DP 11-564405
 SCHEDULE "A"

Original Date: 02/28/11

Revision Date: 03/09/12

Note: Dimensions are in METRES

PROJECT INFORMATION

CLIENT ADDRESS:
 1001 BENTON DRIVE, SUITE 400, RICHMOND, VA 23220

LOCAL ADDRESS:
 1001 BENTON DRIVE, SUITE 400, RICHMOND, VA 23220

APPLICANT:
 ONE DEVELOPMENT CORP. AND ASSOCIATES

EXISTING ZONING:
 C-1

PROPOSED ZONING:
 C-1

DRAWING LIST

NO.	DESCRIPTION	DATE
1	ARCHITECTURAL	04/11/12
2	CONTRACT DOCUMENTS	04/11/12
3	STRUCTURAL	04/11/12
4	Mechanical	04/11/12
5	Electrical	04/11/12
6	Plumbing	04/11/12
7	Fire Protection	04/11/12
8	Energy	04/11/12
9	Transportation	04/11/12
10	Site	04/11/12
11	Landscaping	04/11/12
12	Other	04/11/12

PROJECT TEAM

OWNER:
 ONE DEVELOPMENT CORP. AND ASSOCIATES

ARCHITECT:
 COTTER ARCHITECTS

STRUCTURAL ENGINEER:
 STRUCTURAL CONSULTANTS

Mechanical ENGINEER:
 MECHANICAL CONSULTANTS

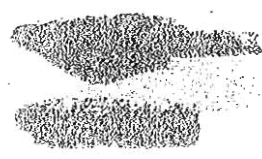
Electrical ENGINEER:
 ELECTRICAL CONSULTANTS

Plumbing ENGINEER:
 PLUMBING CONSULTANTS

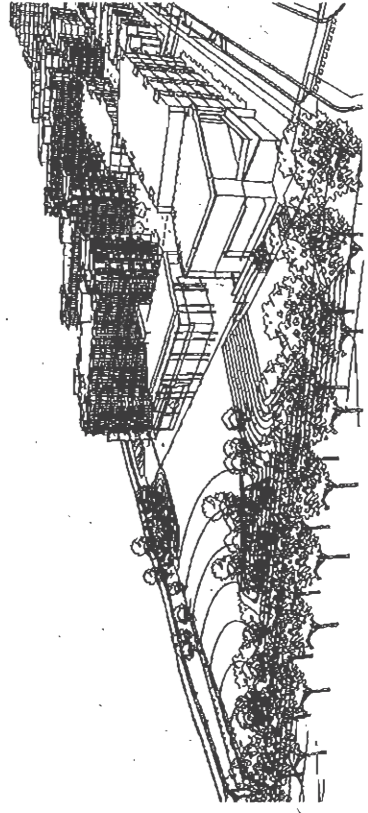
Energy ENGINEER:
 ENERGY CONSULTANTS

Transportation ENGINEER:
 TRANSPORTATION CONSULTANTS

Other ENGINEERS:
 OTHER CONSULTANTS



PARC RIVIERA
 A RIVERFRONT COMMUNITY



cotter
 ARCHITECTS

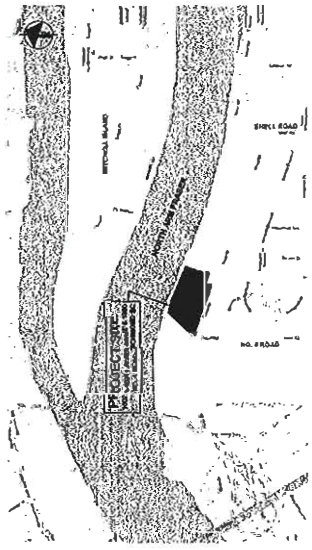
2225 - 1150 BEL JARDON BOULEVARD, E. VALENTIA
 RICHMOND, VIRGINIA 23220

DEVELOPMENT PERMIT APPLICATION RESUBMISSION
 2012/02/29

DP 11564405

MAR 12 2012

LOCATION MAP



2

11564405 MAR 12 2012

DP

cotter ARCHITECTS
 1000 N. ...
PARC RIVIERA
 1000 N. ...
 DEVELOPMENT SUMMARY

A-002 F

Category	Type	Qty	Unit Description	Area	Volume	Weight	Notes
A	1	100	100# Concrete	100	100	100	
	2	200	200# Concrete	200	200	200	
	3	300	300# Concrete	300	300	300	
	4	400	400# Concrete	400	400	400	
	5	500	500# Concrete	500	500	500	
	6	600	600# Concrete	600	600	600	
	7	700	700# Concrete	700	700	700	
	8	800	800# Concrete	800	800	800	
	9	900	900# Concrete	900	900	900	
	10	1000	1000# Concrete	1000	1000	1000	
SUB TOTAL 47							
B	1	100	100# Steel	100	100	100	
	2	200	200# Steel	200	200	200	
	3	300	300# Steel	300	300	300	
	4	400	400# Steel	400	400	400	
	5	500	500# Steel	500	500	500	
	6	600	600# Steel	600	600	600	
	7	700	700# Steel	700	700	700	
	8	800	800# Steel	800	800	800	
	9	900	900# Steel	900	900	900	
	10	1000	1000# Steel	1000	1000	1000	
SUB TOTAL 47							
C	1	100	100# Wood	100	100	100	
	2	200	200# Wood	200	200	200	
	3	300	300# Wood	300	300	300	
	4	400	400# Wood	400	400	400	
	5	500	500# Wood	500	500	500	
	6	600	600# Wood	600	600	600	
	7	700	700# Wood	700	700	700	
	8	800	800# Wood	800	800	800	
	9	900	900# Wood	900	900	900	
	10	1000	1000# Wood	1000	1000	1000	
SUB TOTAL 47							
D	1	100	100# Brick	100	100	100	
	2	200	200# Brick	200	200	200	
	3	300	300# Brick	300	300	300	
	4	400	400# Brick	400	400	400	
	5	500	500# Brick	500	500	500	
	6	600	600# Brick	600	600	600	
	7	700	700# Brick	700	700	700	
	8	800	800# Brick	800	800	800	
	9	900	900# Brick	900	900	900	
	10	1000	1000# Brick	1000	1000	1000	
SUB TOTAL 47							
E	1	100	100# Glass	100	100	100	
	2	200	200# Glass	200	200	200	
	3	300	300# Glass	300	300	300	
	4	400	400# Glass	400	400	400	
	5	500	500# Glass	500	500	500	
	6	600	600# Glass	600	600	600	
	7	700	700# Glass	700	700	700	
	8	800	800# Glass	800	800	800	
	9	900	900# Glass	900	900	900	
	10	1000	1000# Glass	1000	1000	1000	
SUB TOTAL 47							
F	1	100	100# Paint	100	100	100	
	2	200	200# Paint	200	200	200	
	3	300	300# Paint	300	300	300	
	4	400	400# Paint	400	400	400	
	5	500	500# Paint	500	500	500	
	6	600	600# Paint	600	600	600	
	7	700	700# Paint	700	700	700	
	8	800	800# Paint	800	800	800	
	9	900	900# Paint	900	900	900	
	10	1000	1000# Paint	1000	1000	1000	
SUB TOTAL 47							
G	1	100	100# Labor	100	100	100	
	2	200	200# Labor	200	200	200	
	3	300	300# Labor	300	300	300	
	4	400	400# Labor	400	400	400	
	5	500	500# Labor	500	500	500	
	6	600	600# Labor	600	600	600	
	7	700	700# Labor	700	700	700	
	8	800	800# Labor	800	800	800	
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SUB TOTAL 47							
TOTAL 47							

PERMITS AND FEES

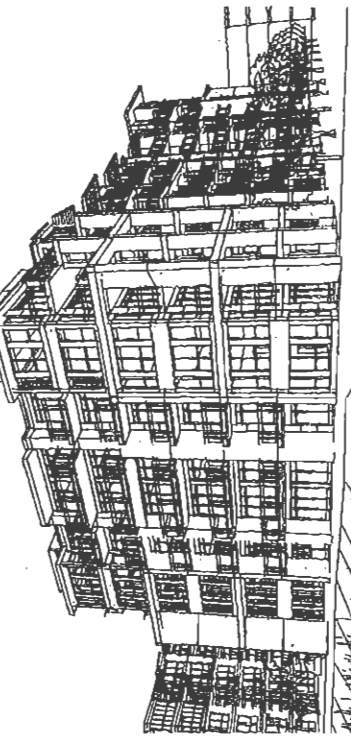
City of
County of
State of
Federal
Local
Professional
Other
TOTAL	...

CONCRETE REQUIREMENTS

Item	Quantity	Unit	Notes
1	100	cu yd	...
2	200	cu yd	...
3	300	cu yd	...
4	400	cu yd	...
5	500	cu yd	...
6	600	cu yd	...
7	700	cu yd	...
8	800	cu yd	...
9	900	cu yd	...
10	1000	cu yd	...
TOTAL

STEEL REQUIREMENTS

Item	Quantity	Unit	Notes
1	100	lb	...
2	200	lb	...
3	300	lb	...
4	400	lb	...
5	500	lb	...
6	600	lb	...
7	700	lb	...
8	800	lb	...
9	900	lb	...
10	1000	lb	...
TOTAL



Architectural notes and specifications for the building structure, including material grades, connection details, and construction methods.

NO. 1	GENERAL NOTES
NO. 2	PROPOSED WORK
NO. 3	EXISTING WORK
NO. 4	PROPOSED FINISHES
NO. 5	EXISTING FINISHES
NO. 6	PROPOSED MATERIALS
NO. 7	EXISTING MATERIALS
NO. 8	PROPOSED EQUIPMENT
NO. 9	EXISTING EQUIPMENT
NO. 10	PROPOSED UTILITIES
NO. 11	EXISTING UTILITIES
NO. 12	PROPOSED LANDSCAPE
NO. 13	EXISTING LANDSCAPE
NO. 14	PROPOSED ROOFING
NO. 15	EXISTING ROOFING
NO. 16	PROPOSED PAINTS
NO. 17	EXISTING PAINTS
NO. 18	PROPOSED GLAZING
NO. 19	EXISTING GLAZING
NO. 20	PROPOSED FLOORING
NO. 21	EXISTING FLOORING
NO. 22	PROPOSED WALLS
NO. 23	EXISTING WALLS
NO. 24	PROPOSED CEILING
NO. 25	EXISTING CEILING
NO. 26	PROPOSED DOORS
NO. 27	EXISTING DOORS
NO. 28	PROPOSED WINDOWS
NO. 29	EXISTING WINDOWS
NO. 30	PROPOSED STAIRS
NO. 31	EXISTING STAIRS
NO. 32	PROPOSED ELEVATORS
NO. 33	EXISTING ELEVATORS
NO. 34	PROPOSED MECHANICAL
NO. 35	EXISTING MECHANICAL
NO. 36	PROPOSED ELECTRICAL
NO. 37	EXISTING ELECTRICAL
NO. 38	PROPOSED PLUMBING
NO. 39	EXISTING PLUMBING
NO. 40	PROPOSED HVAC
NO. 41	EXISTING HVAC
NO. 42	PROPOSED INSULATION
NO. 43	EXISTING INSULATION
NO. 44	PROPOSED SOUND
NO. 45	EXISTING SOUND
NO. 46	PROPOSED VIBRATION
NO. 47	EXISTING VIBRATION
NO. 48	PROPOSED LIGHTING
NO. 49	EXISTING LIGHTING
NO. 50	PROPOSED SECURITY
NO. 51	EXISTING SECURITY
NO. 52	PROPOSED ACCESSIBILITY
NO. 53	EXISTING ACCESSIBILITY
NO. 54	PROPOSED SUSTAINABILITY
NO. 55	EXISTING SUSTAINABILITY

3

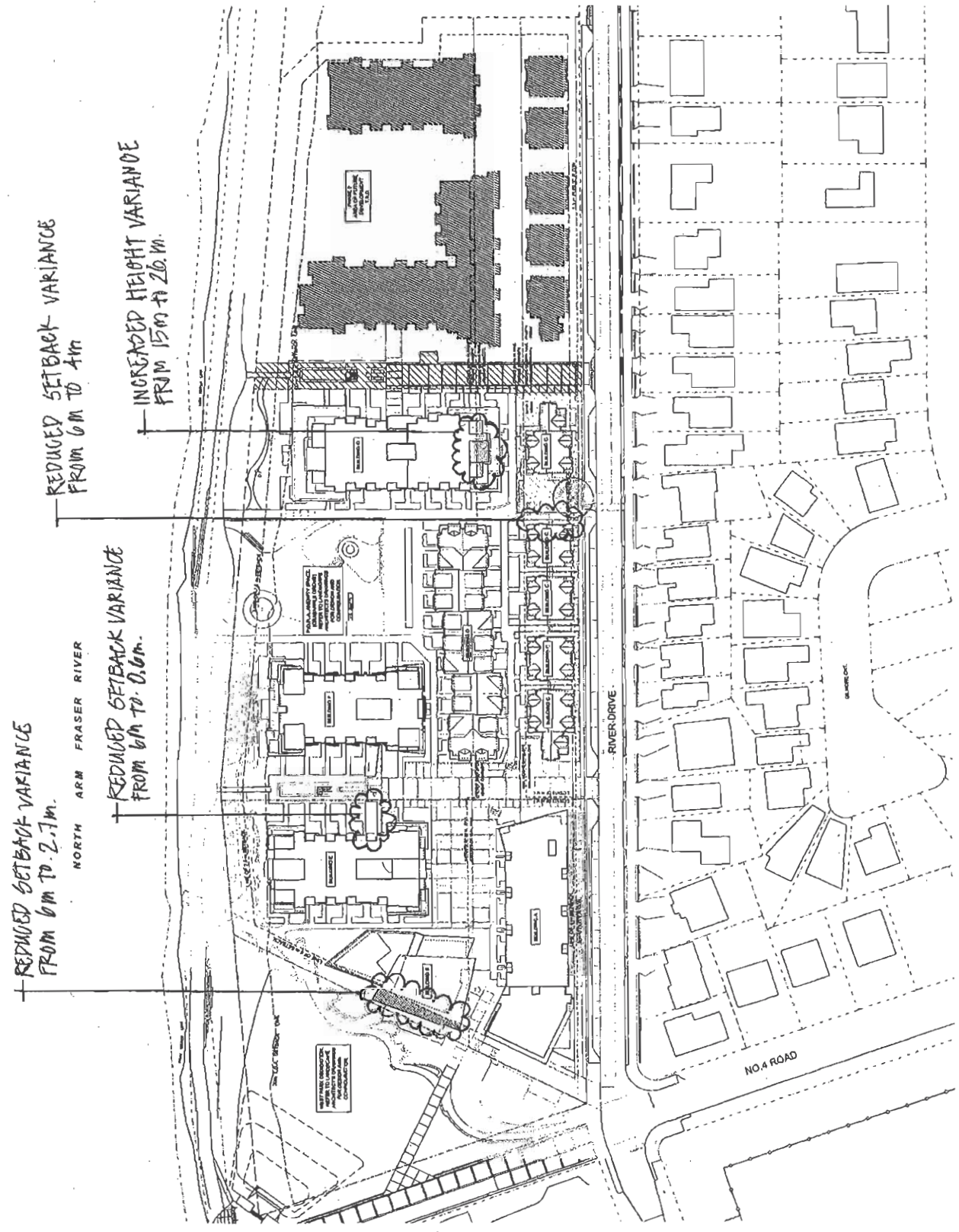
MAR 12 2012

P-11564405

cotter
 2000 W. 10th Street, Suite 100
 Denver, CO 80202
 Phone: 303.733.1111
 Fax: 303.733.1112
 Website: www.cotter.com

PARC RIVIERA
 1000 W. 10th Street, Suite 100
 Denver, CO 80202
 Phone: 303.733.1111
 Fax: 303.733.1112
 Website: www.parcriviera.com

ROOF PLAN
 W/ SETBACKS
 A-110 F



ROOF PLAN
 A-110

5

MAR 12 2012

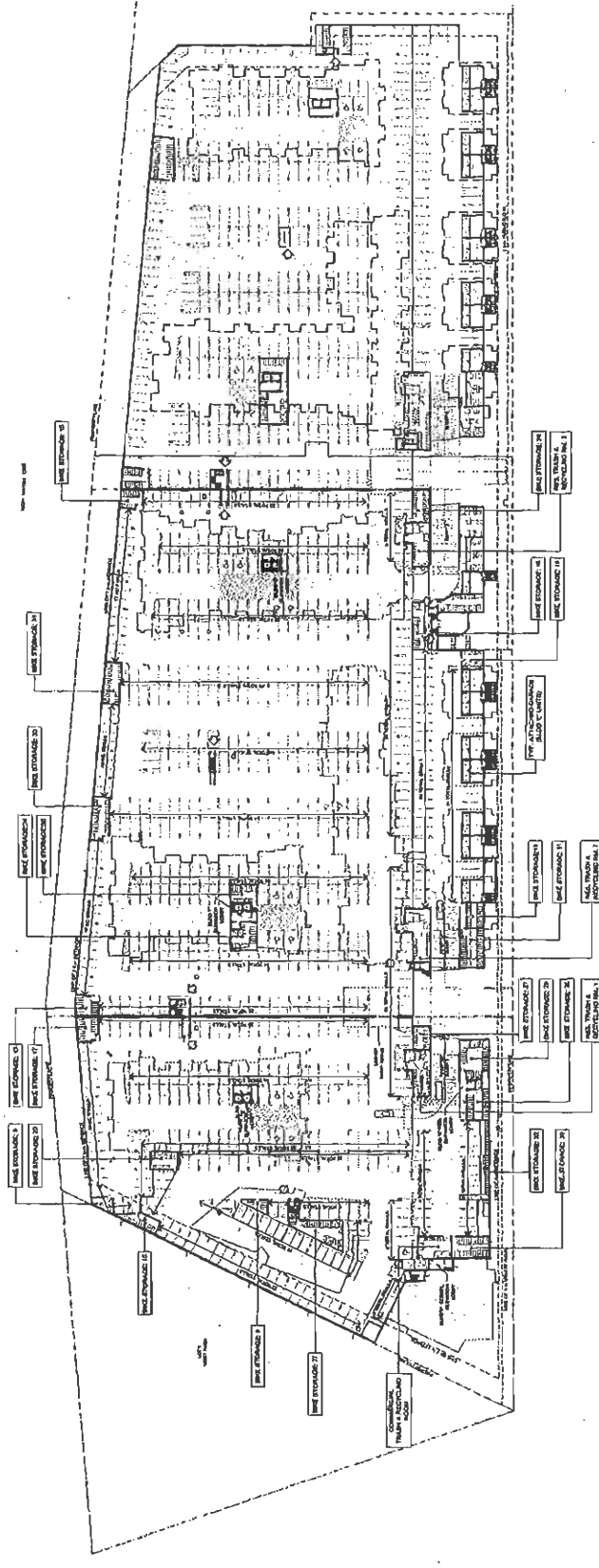
DP-11564405

GENERAL

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- CONCRETE FOUNDATION
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- 99.00 TO 100.00

FRASER RIVER DEVELOPMENT

NORTH ARM FRASER RIVER



cotter
ARCHITECTS

PARC RIVIERA
1000 NORTH BAYVIEW AVENUE
SUITE 1000
SCOTTSDALE, AZ 85258
PH: 480.344.4405
WWW.PARC-RIVIERA.COM

DAVA Development Ltd
1000 North Bayview Avenue
Suite 1000
Scottsdale, AZ 85258
PH: 480.344.4405
WWW.DAVA.COM

LEVEL P1
GENERAL FLOORING PLAN

LEVEL P1 FLOORING PLAN

KEY PLAN

PROPOSED PROJECTS

- EXISTING BUILDING
- NEW BUILDING
- EXISTING DRIVE
- NEW DRIVE
- EXISTING SIDEWALK
- NEW SIDEWALK
- EXISTING LANDSCAPE
- NEW LANDSCAPE
- EXISTING UTILITIES
- NEW UTILITIES

LEGEND

- EXISTING POINT
- EXISTING CONDUIT
- NEW CONDUIT
- EXISTING CURB
- NEW CURB
- EXISTING SIDEWALK
- NEW SIDEWALK
- EXISTING DRIVE
- NEW DRIVE
- EXISTING LANDSCAPE
- NEW LANDSCAPE
- EXISTING UTILITIES
- NEW UTILITIES

MAR 12 2012



11564405

cotter
ARCHITECTS

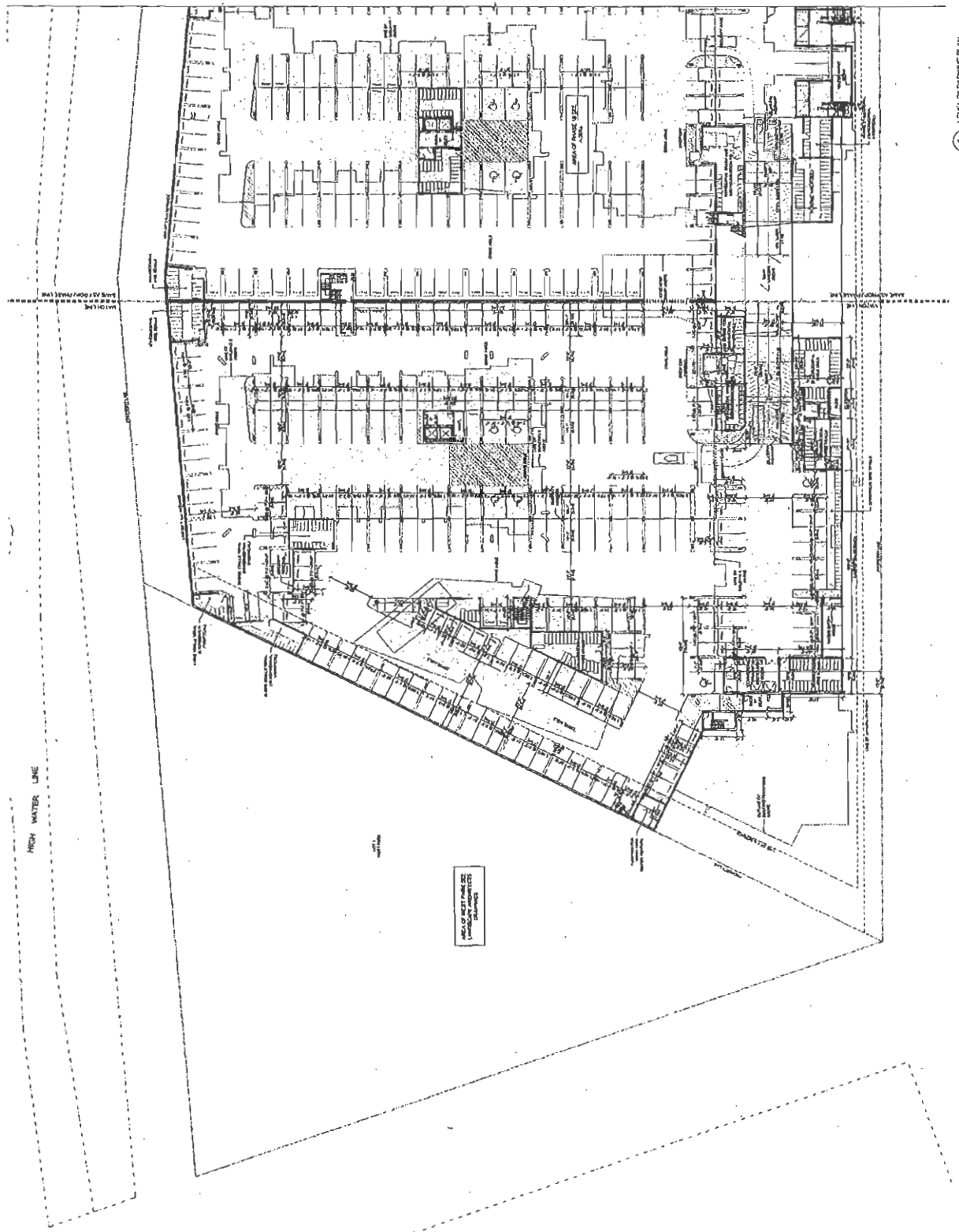
1000 WEST PARK BLVD
SUITE 100
DALLAS, TEXAS 75201
PHONE: 214.760.1234
WWW.COTTERARCHITECTS.COM

PASC RIVIERA
ARCHITECTS
1000 WEST PARK BLVD
SUITE 100
DALLAS, TEXAS 75201
PHONE: 214.760.1234
WWW.PASCARCHITECTS.COM

DVM Development Ltd
1000 WEST PARK BLVD
SUITE 100
DALLAS, TEXAS 75201
PHONE: 214.760.1234
WWW.DVMDEVELOPMENT.COM

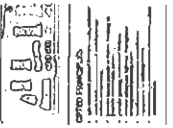
PHASE 1A
LEVEL P1
PARKING PLAN

A 701 F



LEVEL P1 PARKING PLAN

47 PLAN



- LEGEND**
- ◊ CONCRETE
 - ◊ LOW WATER LINE
 - ◊ HIGH WATER LINE
 - ◊ CONCRETE
 - ◊ LOW WATER LINE
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 - ◊ LOW WATER LINE
 - ◊ HIGH WATER LINE
 - ◊ CONCRETE
 - ◊ LOW WATER LINE
 - ◊ HIGH WATER LINE

B

MAR 12 2012



D - 11564405

cotter
ARCHITECTS



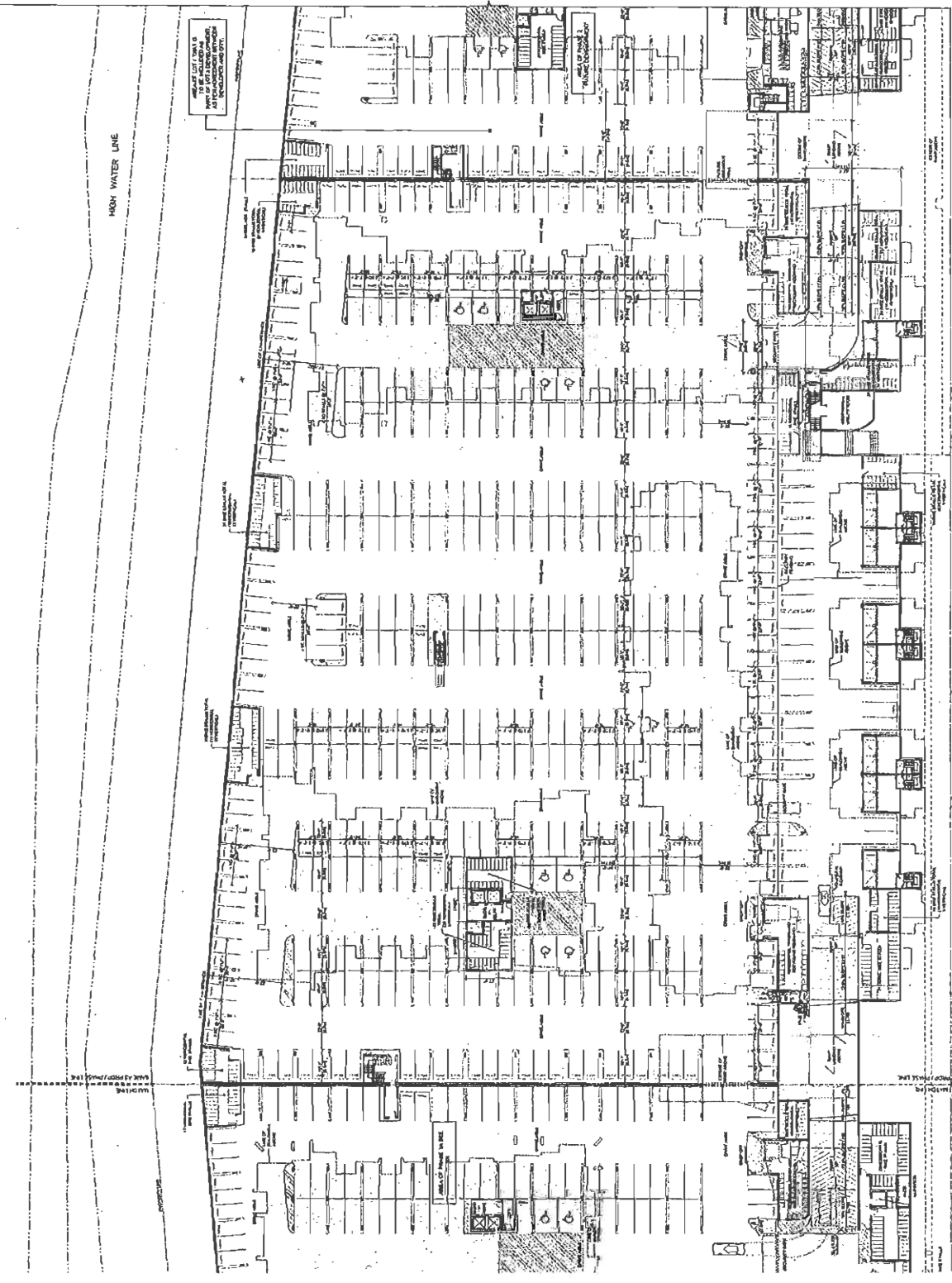
PARC RIVIERA
ARCHITECTS

2555 W. BAYVIEW AVE. SUITE 200
MIAMI BEACH, FL 33133
TEL: 305.556.1111

DELVA Development Ltd.
2555 W. BAYVIEW AVE. SUITE 200
MIAMI BEACH, FL 33133
TEL: 305.556.1111

PHASE 1
PHASE 2
PHASE 3
PHASE 4
PHASE 5
PHASE 6
PHASE 7
PHASE 8
PHASE 9
PHASE 10
PHASE 11
PHASE 12

4.2011
C



9

MAR 20 2012

1-1564405

D

REVISED

NO. 1	DATE	DESCRIPTION
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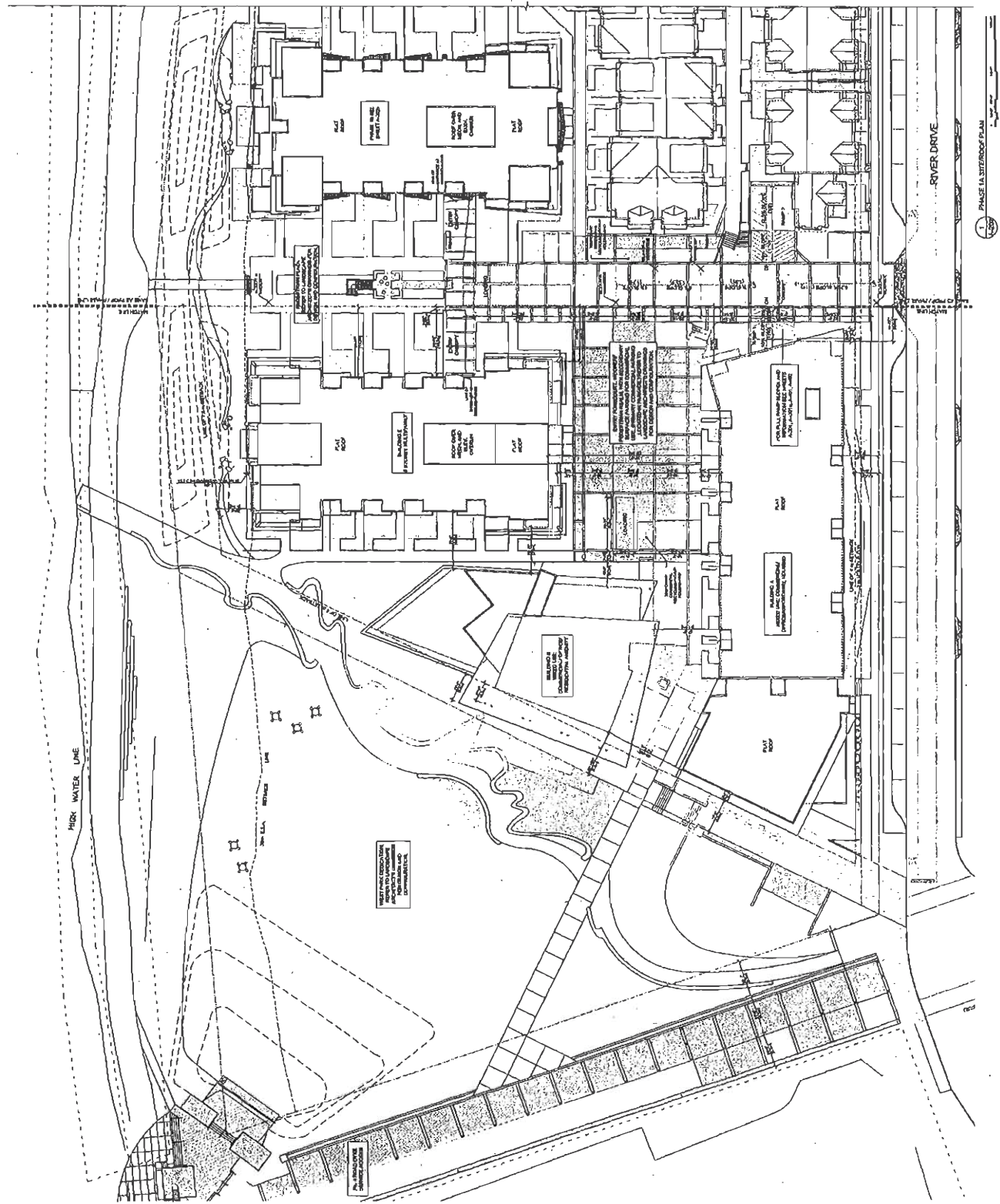
cotter
ARCHITECTS

PARC RIVIERA
10000 Boulevard de la Riviera
Montreal, Quebec H3T 2M4
Canada
Tel: (514) 393-3333
Fax: (514) 393-3334
www.cotter.com

PARC RIVIERA
10000 Boulevard de la Riviera
Montreal, Quebec H3T 2M4
Canada
Tel: (514) 393-3333
Fax: (514) 393-3334
www.cotter.com

PHASE 1A SITE/ROOF PLAN

A-202 F



10

MAR 2 0 2012

11.564405

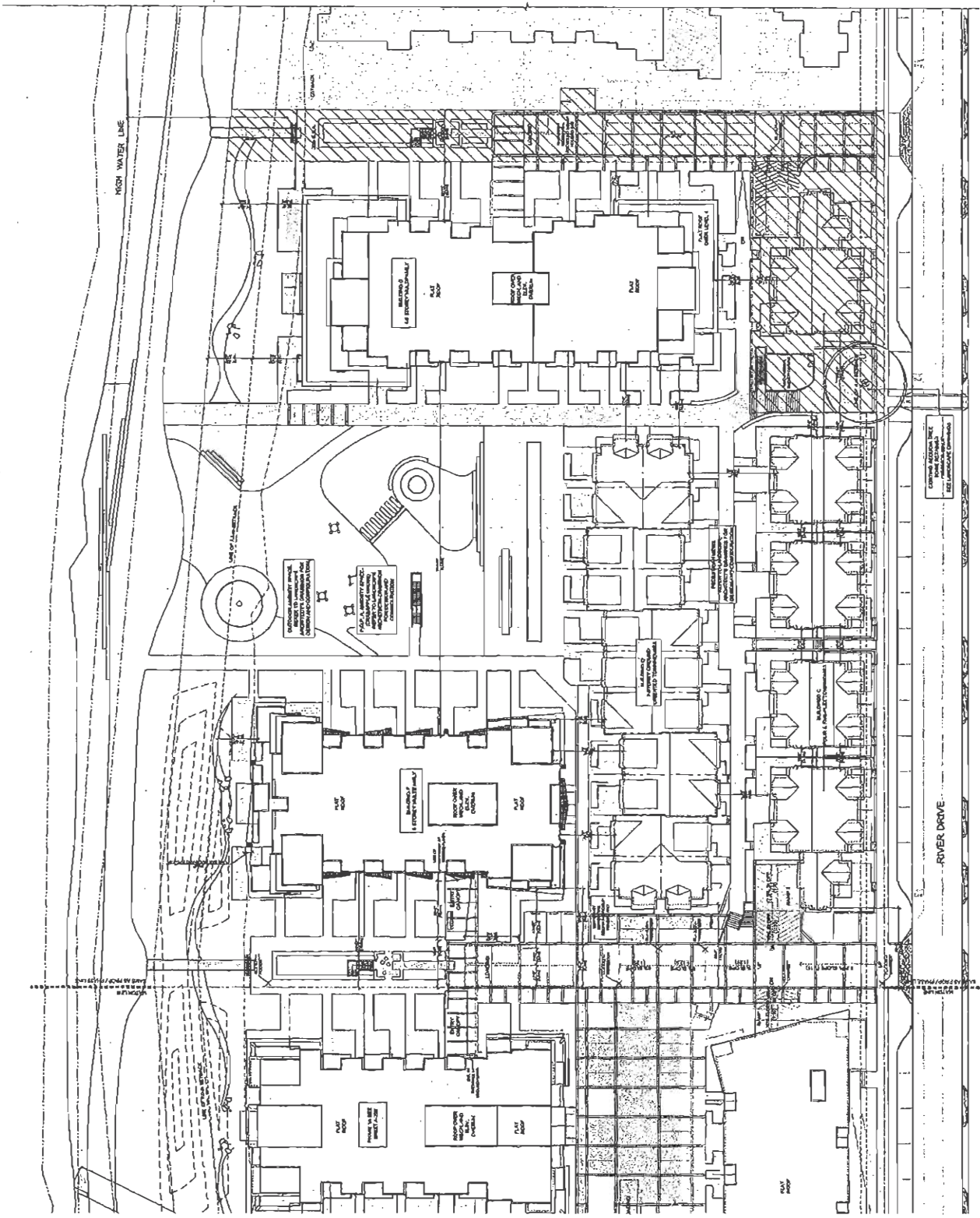
DATE	11/15/11	
PROJECT	11.564405	
DESCRIPTION	18 ENTROOF PLAN	
DESIGNER	COITTER ARCHITECTS	
CLIENT	PARC RIVIERA	
SCALE	AS SHOWN	
STATUS	FOR PERMIT	
REVISIONS		
NO.	DATE	DESCRIPTION
1		ISSUED FOR PERMIT

coitter
ARCHITECTS

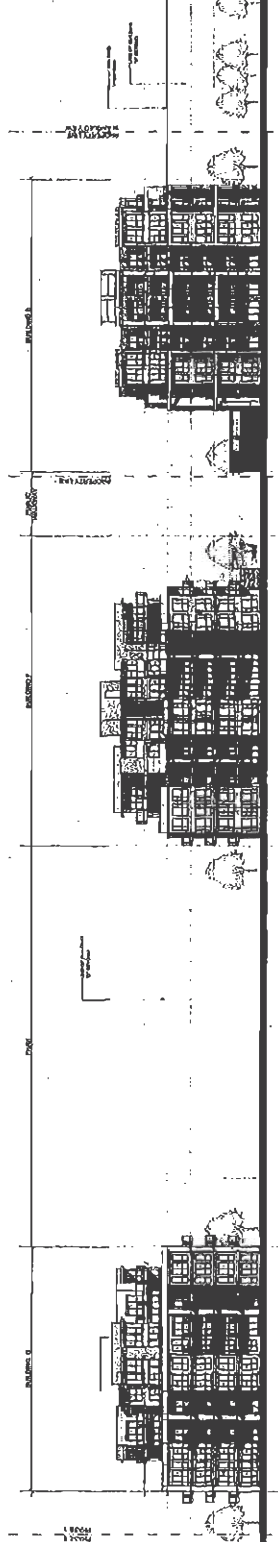
PARC RIVIERA
1100 West 1st Street
North Palm Beach, FL 33409
Tel: 561.840.1100
Fax: 561.840.1101
www.coitter.com

PARC RIVIERA
1100 West 1st Street
North Palm Beach, FL 33409
Tel: 561.840.1100
Fax: 561.840.1101
www.coitter.com

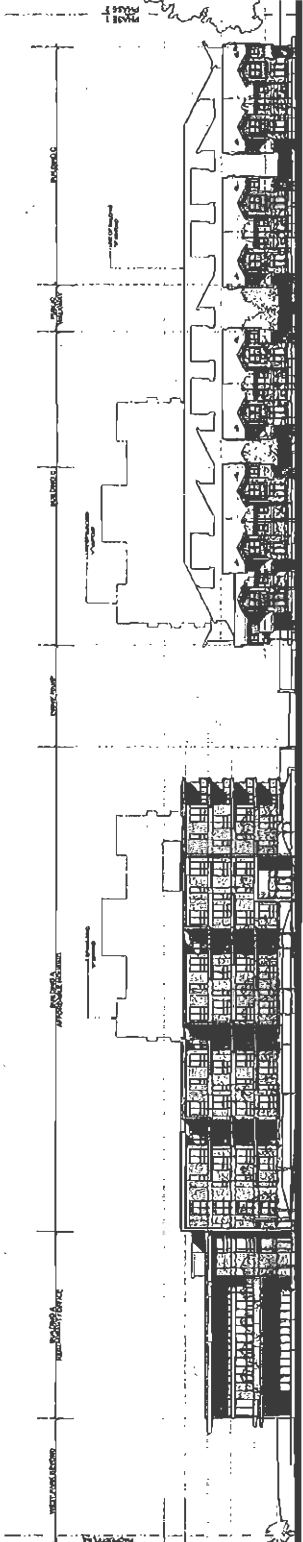
A-202a F



18 ENTROOF PLAN



1 SITE ELEVATION
307 FACING FINCH BLVD



2 SITE ELEVATION
307 FACING BAKER DRIVE

MAR 12 2012

B-11564405



cotter
ARCHITECTS



FABC RIVIERA
FACILITY AND COMMUNITY
MANAGEMENT
SERVICES, LLC
1000 W. UNIVERSITY BLVD
SUITE 100
DALLAS, TX 75270
PH: 972.243.8888
WWW.FABC.COM

NO.	DATE	DESCRIPTION
1	03/12/12	ISSUED FOR PERMITTING
2	03/12/12	ISSUED FOR PERMITTING

SITE ELEVATIONS

A-301 F -

12

MAR 12 2012

B-11564405



LEGEND
1.1A COLOUR
1.1B MATERIAL

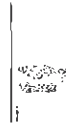
NOTE

- 1.1A COLOUR
- 1.1B MATERIAL
- 1.1C COLOUR
- 1.1D MATERIAL
- 1.1E COLOUR
- 1.1F MATERIAL
- 1.1G COLOUR
- 1.1H MATERIAL
- 1.1I COLOUR
- 1.1J MATERIAL
- 1.1K COLOUR
- 1.1L MATERIAL
- 1.1M COLOUR
- 1.1N MATERIAL
- 1.1O COLOUR
- 1.1P MATERIAL
- 1.1Q COLOUR
- 1.1R MATERIAL
- 1.1S COLOUR
- 1.1T MATERIAL
- 1.1U COLOUR
- 1.1V MATERIAL
- 1.1W COLOUR
- 1.1X MATERIAL
- 1.1Y COLOUR
- 1.1Z MATERIAL

COLOR LIST

- 1.1A COLOUR
- 1.1B MATERIAL
- 1.1C COLOUR
- 1.1D MATERIAL
- 1.1E COLOUR
- 1.1F MATERIAL
- 1.1G COLOUR
- 1.1H MATERIAL
- 1.1I COLOUR
- 1.1J MATERIAL
- 1.1K COLOUR
- 1.1L MATERIAL
- 1.1M COLOUR
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- 1.1O COLOUR
- 1.1P MATERIAL
- 1.1Q COLOUR
- 1.1R MATERIAL
- 1.1S COLOUR
- 1.1T MATERIAL
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- 1.1V MATERIAL
- 1.1W COLOUR
- 1.1X MATERIAL
- 1.1Y COLOUR
- 1.1Z MATERIAL

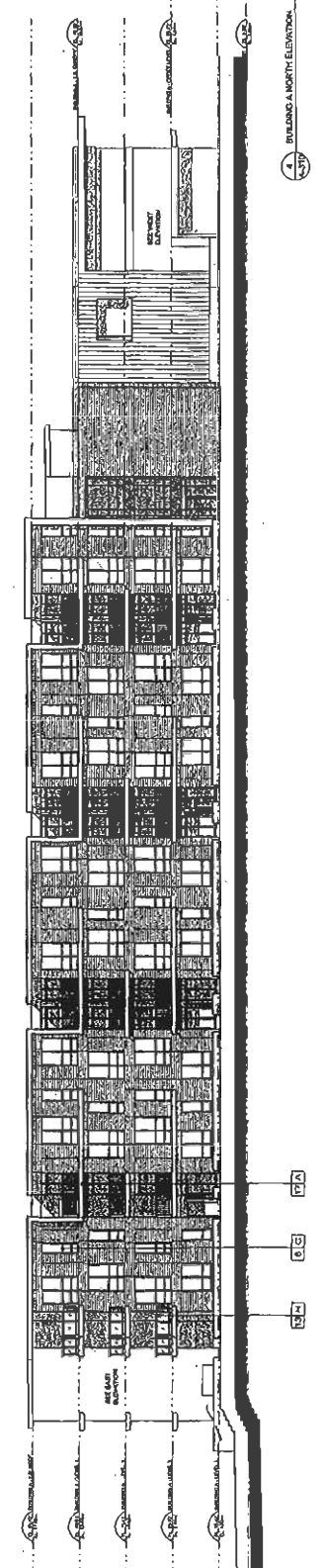
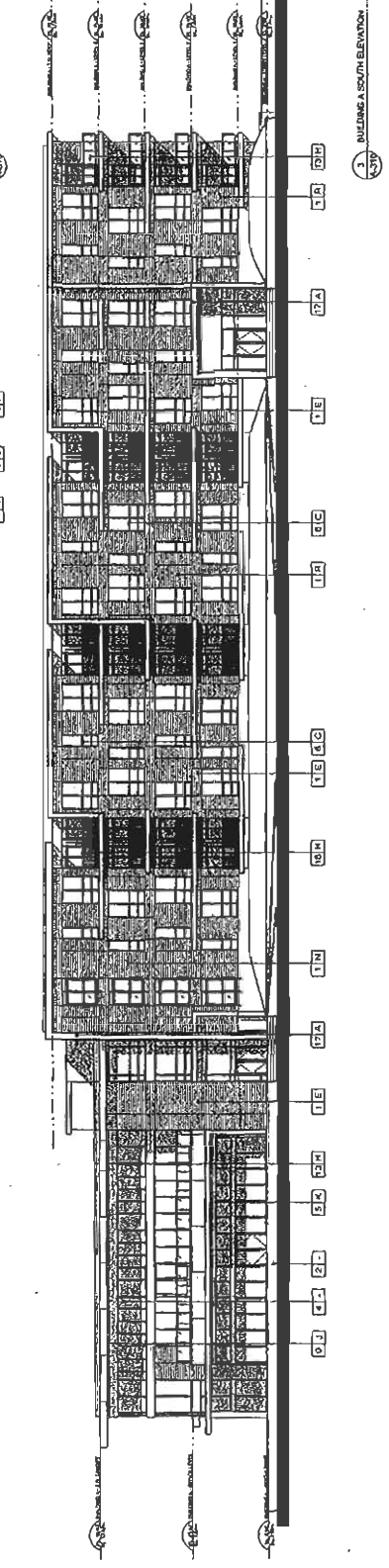
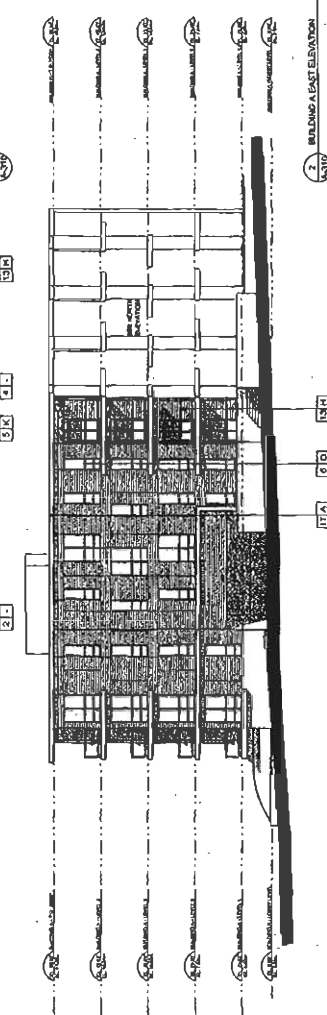
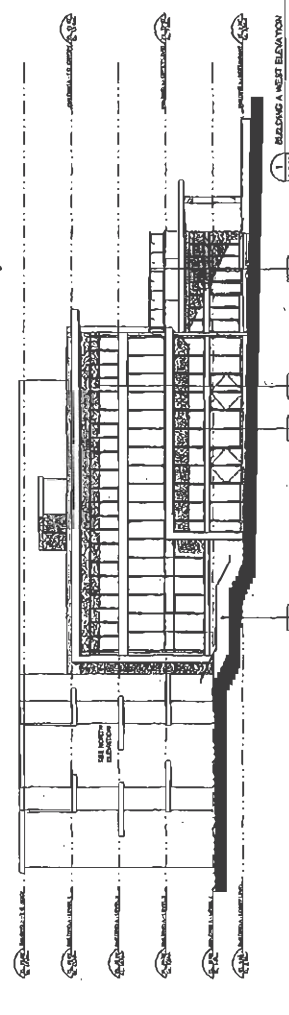
colter ARCHITECTS



PARC RIVIERA
11564405

ONE COMMUNITY
PARC RIVIERA

A-310 F





DATE: 03/12/2012
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 PROJECT: [Project Name]

- 1. EXTERIOR WALLS: [Material]
- 2. ROOFING: [Material]
- 3. FLOORING: [Material]
- 4. CEILING: [Material]
- 5. INTERIOR WALLS: [Material]
- 6. DOORS: [Material]
- 7. WINDOWS: [Material]
- 8. STAIRS: [Material]
- 9. BALCONY: [Material]
- 10. PORCH: [Material]
- 11. DRIVEWAY: [Material]
- 12. LANDSCAPE: [Material]

COLOUR KEY

1	Light Grey
2	Dark Grey
3	White
4	Medium Grey
5	Light Blue
6	Dark Blue
7	Light Green
8	Dark Green
9	Light Brown
10	Dark Brown
11	Light Yellow
12	Dark Yellow

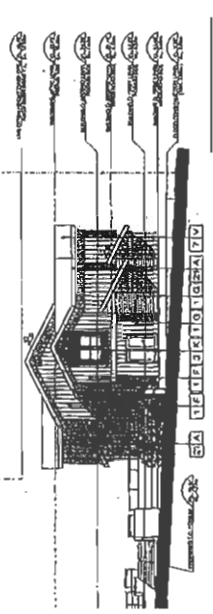


PARC BIVIERA
 10000 Route 100, Suite 100
 St. John's, NL A1B 1X6
 Canada
 Phone: (709) 754-1111
 Fax: (709) 754-1112
 Email: info@coter.ca
 Website: www.coter.ca

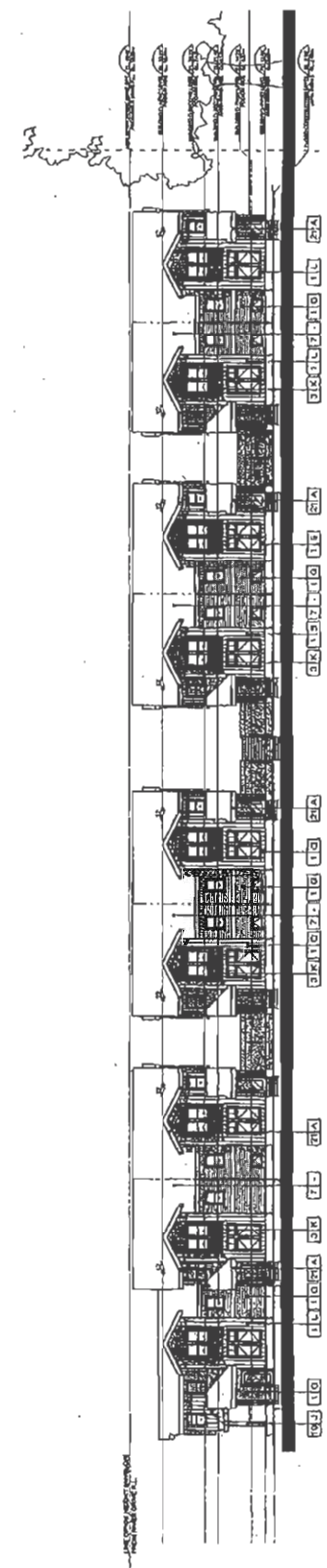
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 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 PROJECT: [Project Name]



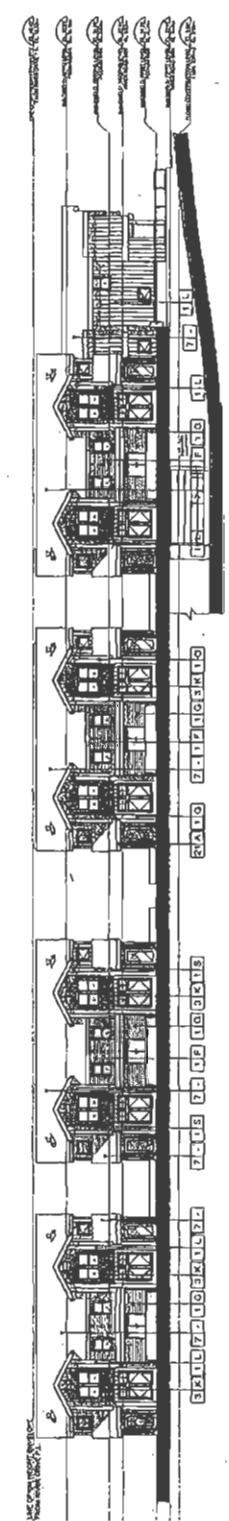
2. BUILDING C TYPICAL SIDE ELEVATION



1. BUILDING C WEST ELEVATION @ DRIVE RAMP



3. BUILDING C SOUTH ELEVATION



4. BUILDING C NORTH ELEVATION PARTIAL SECTION

14

MAR 12 2012

DP-11564405

51

MAR 12 2012

DP-11564405



LEGEND
 1.5 CHALK
 1.6 LINE
 1.7 HATCH
 1.8 MATERIAL
 NOTE

1. INTERIOR FINISH
 2. EXTERIOR FINISH
 3. ROOF FINISH
 4. FLOOR FINISH
 5. WALL FINISH
 6. CEILING FINISH
 7. PAINT
 8. STAIN
 9. GLASS
 10. METAL
 11. WOOD
 12. BRICK
 13. CONCRETE
 14. ASPHALT
 15. GRAVEL
 16. SAND
 17. INSULATION
 18. MECHANICAL
 19. ELECTRICAL
 20. PLUMBING
 21. HVAC
 22. LIGHTING
 23. FURNITURE
 24. APPLIANCES
 25. OTHER

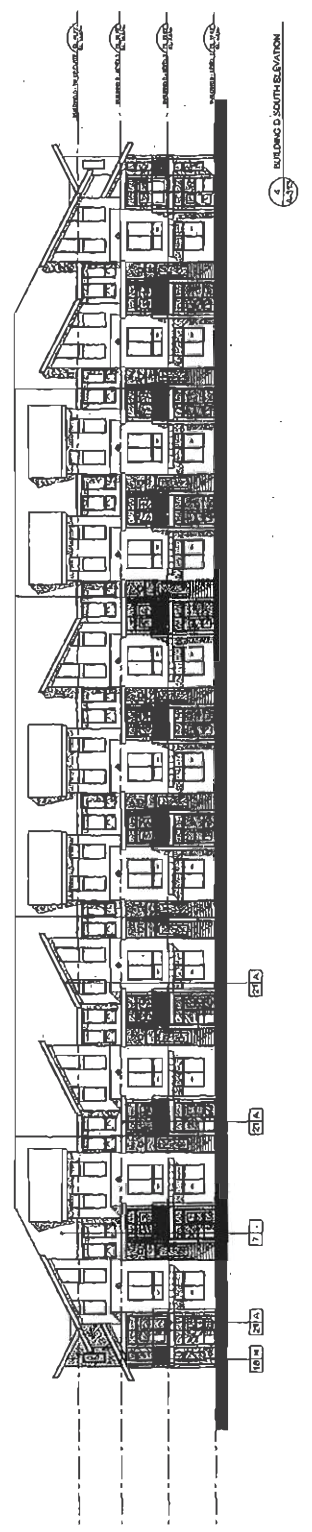
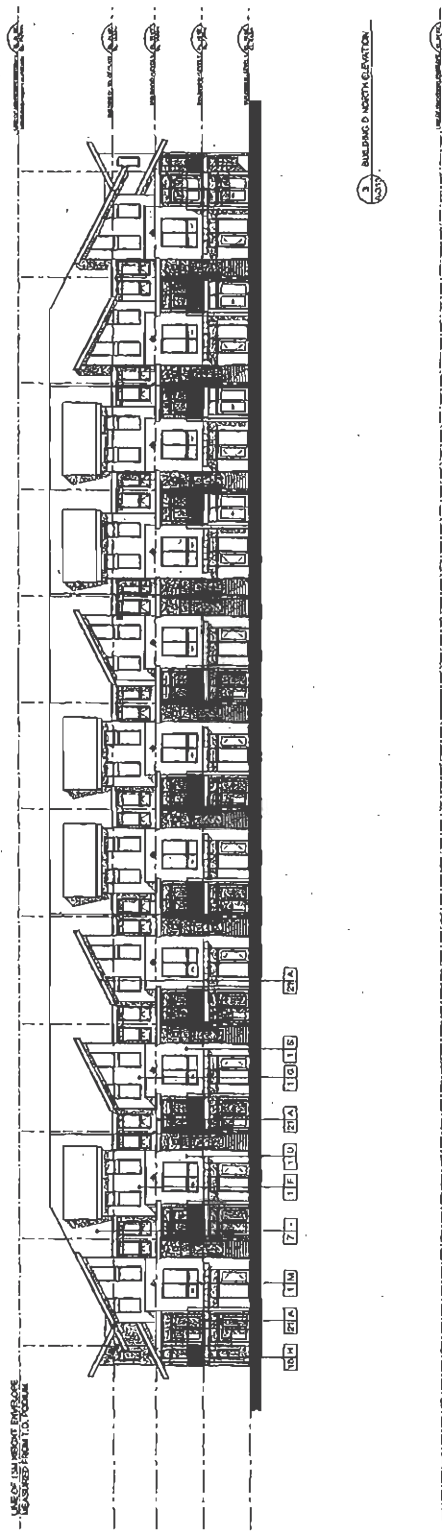
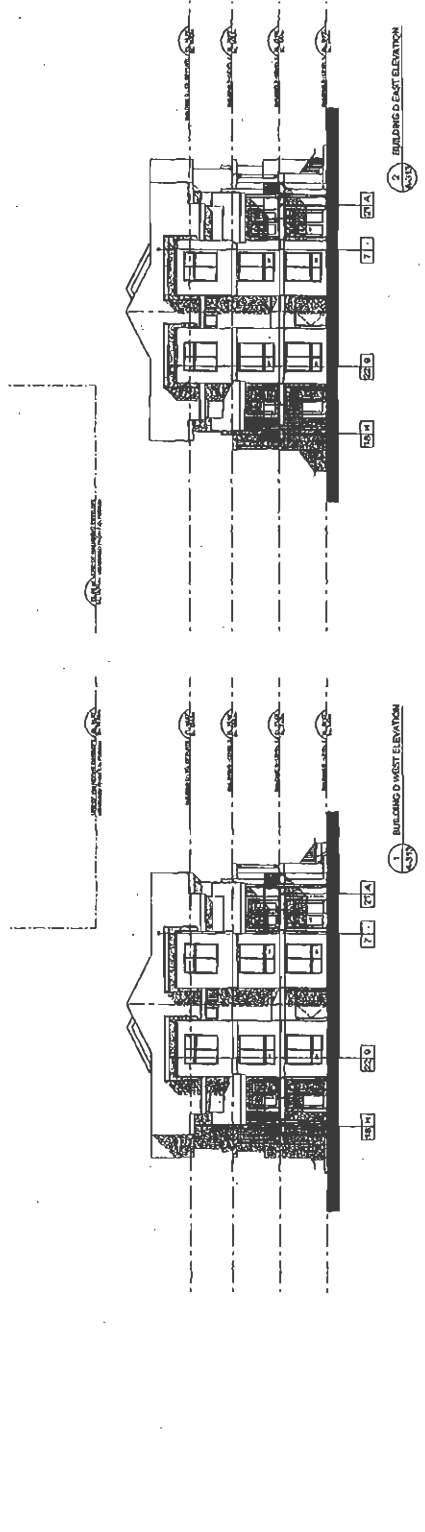
1. EXTERIOR FINISH
 2. INTERIOR FINISH
 3. ROOF FINISH
 4. FLOOR FINISH
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 24. APPLIANCES
 25. OTHER

cotter
 ARCHITECTS
 1000 W. 10TH AVE. SUITE 100
 DENVER, CO 80202
 TEL: 303.733.1000
 WWW.COTTERARCHITECTS.COM

PARC RIVIERA
 A COMMUNITY DEVELOPMENT PROJECT
 1000 W. 10TH AVE. SUITE 100
 DENVER, CO 80202
 TEL: 303.733.1000
 WWW.PARC-RIVIERA.COM

DAVE DEVELOPMENT, L.P.
 ONE CHERRYBROOK PLACE, SUITE 300
 DENVER, CO 80202
 TEL: 303.733.1000
 WWW.DAVE-DEVELOPMENT.COM

A-313 F



ALL DIMENSIONS SHOWN ARE TO FACE UNLESS NOTED OTHERWISE



LEGEND

1	COLOUR
2	TEXTURE
3	LEVEL

NOTES

1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
2. FINISHES TO BE AS SHOWN ON THE DRAWINGS.
3. ALL MATERIALS TO BE APPROVED BY THE ARCHITECT.
4. ALL WORK TO BE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS.
5. ALL WORK TO BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL REGULATIONS.
6. ALL WORK TO BE IN ACCORDANCE WITH THE NATIONAL PLUMBING REGULATIONS.
7. ALL WORK TO BE IN ACCORDANCE WITH THE NATIONAL MECHANICAL REGULATIONS.
8. ALL WORK TO BE IN ACCORDANCE WITH THE NATIONAL FIRE REGULATIONS.
9. ALL WORK TO BE IN ACCORDANCE WITH THE NATIONAL SAFETY REGULATIONS.
10. ALL WORK TO BE IN ACCORDANCE WITH THE NATIONAL ENVIRONMENTAL REGULATIONS.
11. ALL WORK TO BE IN ACCORDANCE WITH THE NATIONAL HEALTH REGULATIONS.
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99. ALL WORK TO BE IN ACCORDANCE WITH THE NATIONAL TOURISM REGULATIONS.
100. ALL WORK TO BE IN ACCORDANCE WITH THE NATIONAL TRANSPORT REGULATIONS.

COLOR LIST

1	White
2	Black
3	Grey
4	Blue
5	Green
6	Yellow
7	Red
8	Pink
9	Orange
10	Brown
11	Gold
12	Silver
13	Dark Blue
14	Dark Green
15	Dark Yellow
16	Dark Red
17	Dark Pink
18	Dark Orange
19	Dark Brown
20	Dark Gold
21	Dark Silver
22	Light Blue
23	Light Green
24	Light Yellow
25	Light Red
26	Light Pink
27	Light Orange
28	Light Brown
29	Light Gold
30	Light Silver

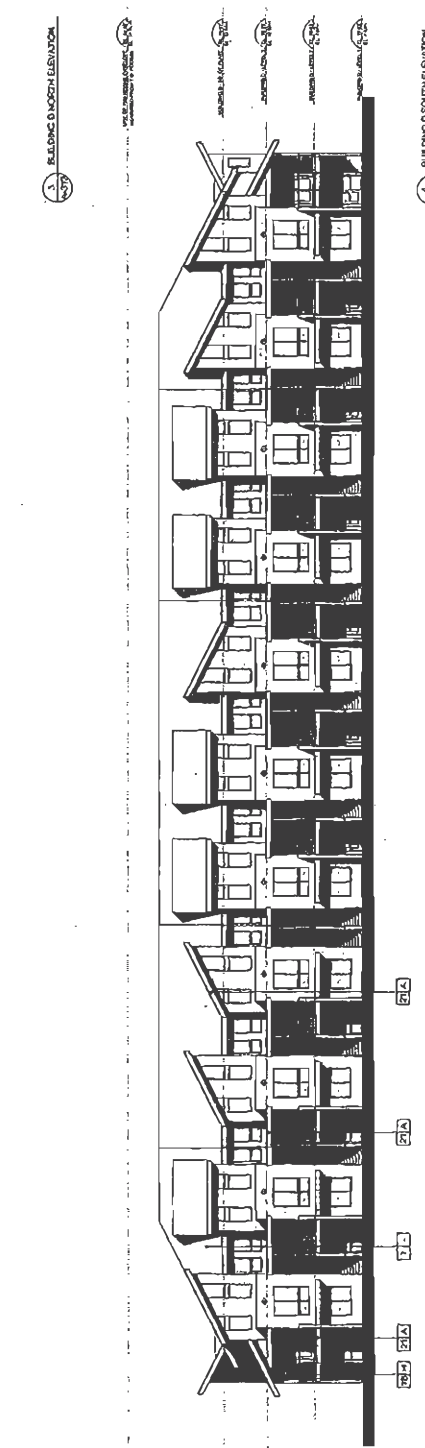
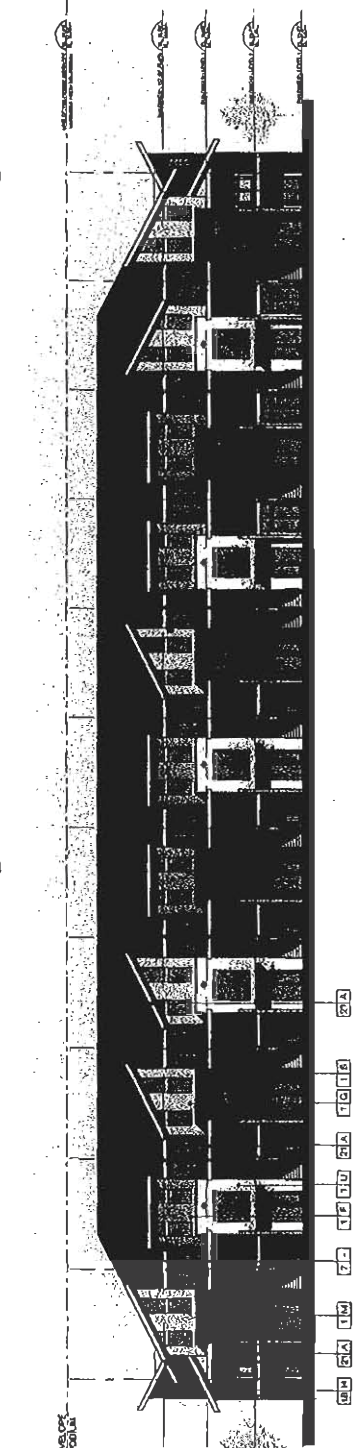
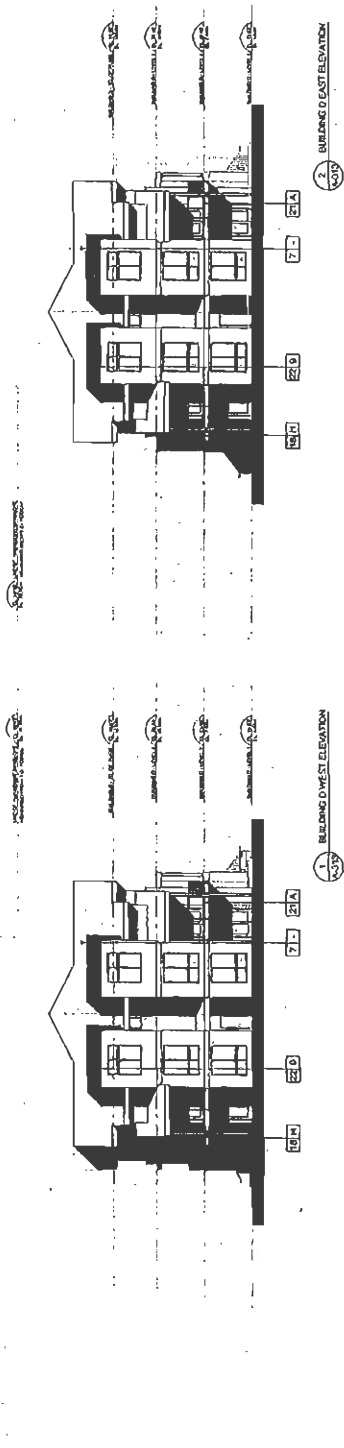
cotter
ARCHITECTS
1000 WEST 10TH AVENUE, SUITE 100
VANCOUVER, BC V6H 2G6
TEL: 604-681-1111
WWW.COTTERARCHITECTS.COM

PARK RIVIERA
Architectural Firm
1000 West 10th Avenue
Suite 100
Vancouver, BC
V6H 2G6
Tel: 604-681-1111
www.parkriviera.com

TABLES & ELEVATIONS

1	SECTION 1
2	SECTION 2
3	SECTION 3
4	SECTION 4
5	SECTION 5
6	SECTION 6
7	SECTION 7
8	SECTION 8
9	SECTION 9
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99	SECTION 99
100	SECTION 100

A 917 C



LINE OF ADJACENT BUILDING
MEASURED FROM L.A. FOOTING

11

MAR 12 2012

DP-11564405

17

MAR 12 2012

DP-11564405



LEGEND
1A COLORED

NOTE

- 1. MATERIAL LIST
- 2. WINDOW SCHEDULE
- 3. DOOR SCHEDULE
- 4. FINISH SCHEDULE
- 5. ELEVATION SCHEDULE
- 6. SIGNAGE SCHEDULE
- 7. LIGHTING SCHEDULE
- 8. MECHANICAL SCHEDULE
- 9. ELECTRICAL SCHEDULE
- 10. PLUMBING SCHEDULE
- 11. HEATING SCHEDULE
- 12. COOLING SCHEDULE
- 13. FURNITURE SCHEDULE
- 14. EQUIPMENT SCHEDULE
- 15. ACCESSORIES SCHEDULE
- 16. OTHER SCHEDULE

- 17. COLOR LIST
- 18. WINDOW SCHEDULE
- 19. DOOR SCHEDULE
- 20. FINISH SCHEDULE
- 21. ELEVATION SCHEDULE
- 22. SIGNAGE SCHEDULE
- 23. LIGHTING SCHEDULE
- 24. MECHANICAL SCHEDULE
- 25. ELECTRICAL SCHEDULE
- 26. PLUMBING SCHEDULE
- 27. HEATING SCHEDULE
- 28. COOLING SCHEDULE
- 29. FURNITURE SCHEDULE
- 30. EQUIPMENT SCHEDULE
- 31. ACCESSORIES SCHEDULE
- 32. OTHER SCHEDULE

1A COLORED

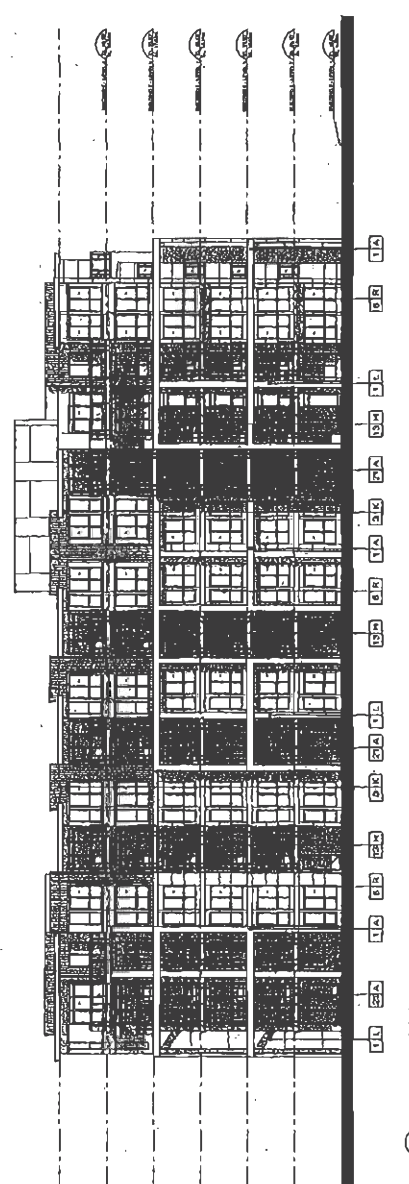
NOTE

- 1. MATERIAL LIST
- 2. WINDOW SCHEDULE
- 3. DOOR SCHEDULE
- 4. FINISH SCHEDULE
- 5. ELEVATION SCHEDULE
- 6. SIGNAGE SCHEDULE
- 7. LIGHTING SCHEDULE
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- 11. HEATING SCHEDULE
- 12. COOLING SCHEDULE
- 13. FURNITURE SCHEDULE
- 14. EQUIPMENT SCHEDULE
- 15. ACCESSORIES SCHEDULE
- 16. OTHER SCHEDULE

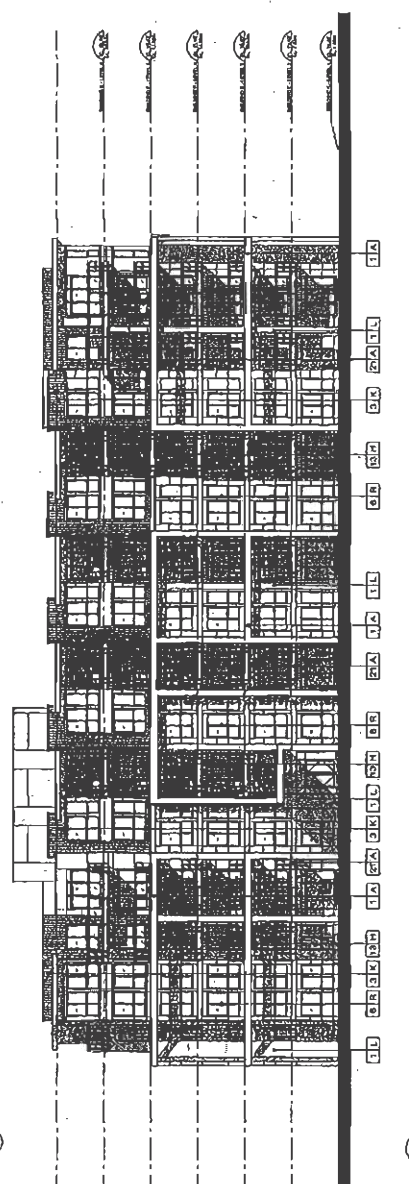
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NOTE

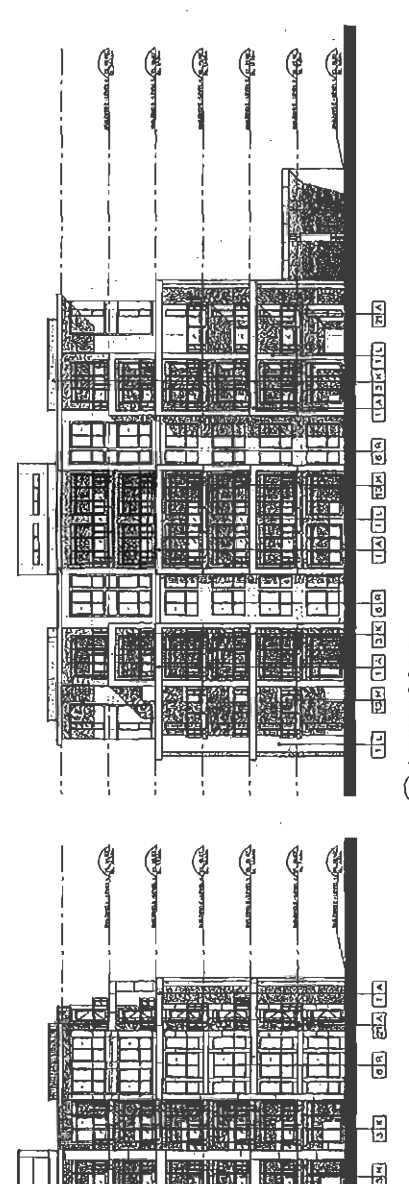
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- 2. WINDOW SCHEDULE
- 3. DOOR SCHEDULE
- 4. FINISH SCHEDULE
- 5. ELEVATION SCHEDULE
- 6. SIGNAGE SCHEDULE
- 7. LIGHTING SCHEDULE
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- 15. ACCESSORIES SCHEDULE
- 16. OTHER SCHEDULE



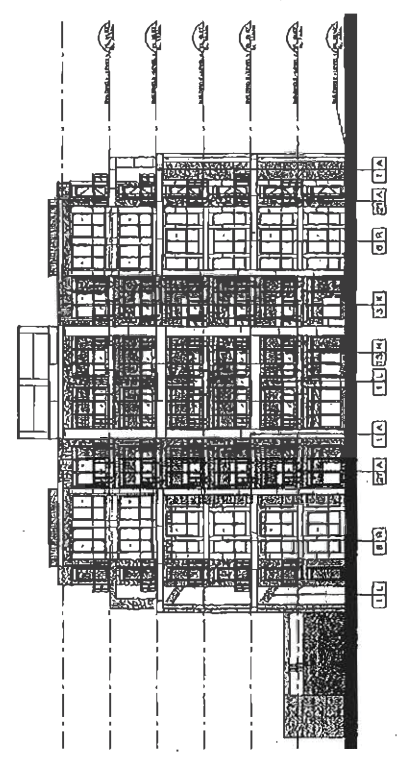
1. BUILDING WEST ELEVATION



2. BUILDING EAST ELEVATION

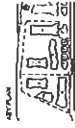


3. BUILDING SOUTH ELEVATION



4. BUILDING NORTH ELEVATION

A-314 F



PROJECT: **11564405**
 LOCATION: **PARC BUIEIRA**
 DATE: **MAR 12 2012**

NOTES:
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE CALIFORNIA BUILDING CODE (CBC).
 2. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE ARCHITECT.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.
 4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
 5. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
 6. THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING ENVIRONMENT AT ALL TIMES.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE ENVIRONMENT AND ALL NECESSARY RESTORATION WORK.
 8. THE CONTRACTOR SHALL MAINTAIN A CLEAN WORKING ENVIRONMENT AT ALL TIMES.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND UTILITIES.
 10. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.

LEGEND:
 1. EXISTING CONCRETE
 2. EXISTING MASONRY
 3. EXISTING METAL DECKING
 4. EXISTING GLASS CURTAIN WALL
 5. EXISTING ROOFING
 6. EXISTING MECHANICAL SYSTEMS
 7. EXISTING ELECTRICAL SYSTEMS
 8. EXISTING PLUMBING SYSTEMS
 9. EXISTING STRUCTURAL STEEL
 10. EXISTING FOUNDATION
 11. EXISTING LANDSCAPE
 12. EXISTING UTILITIES
 13. EXISTING SITEWORK
 14. EXISTING PAVING
 15. EXISTING FENCING
 16. EXISTING SIGNAGE
 17. EXISTING LIGHTING
 18. EXISTING TREES AND PLANTS
 19. EXISTING WATERWAYS
 20. EXISTING ADJACENT PROPERTIES

SECTION CUTS:
 1. SECTION CUT 1
 2. SECTION CUT 2
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 19. SECTION CUT 19
 20. SECTION CUT 20

DETAILS:
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 20. DETAIL 20

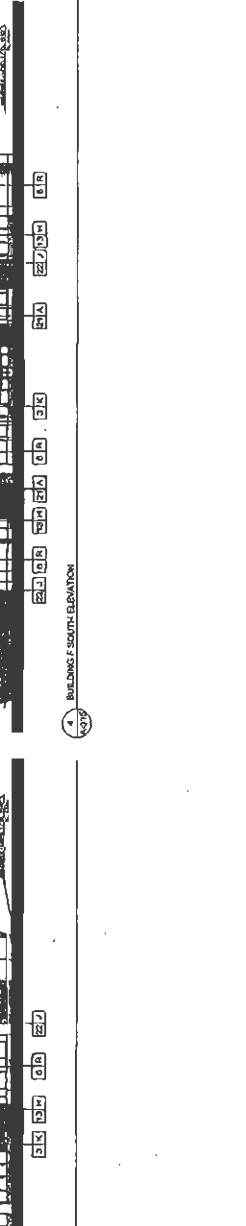
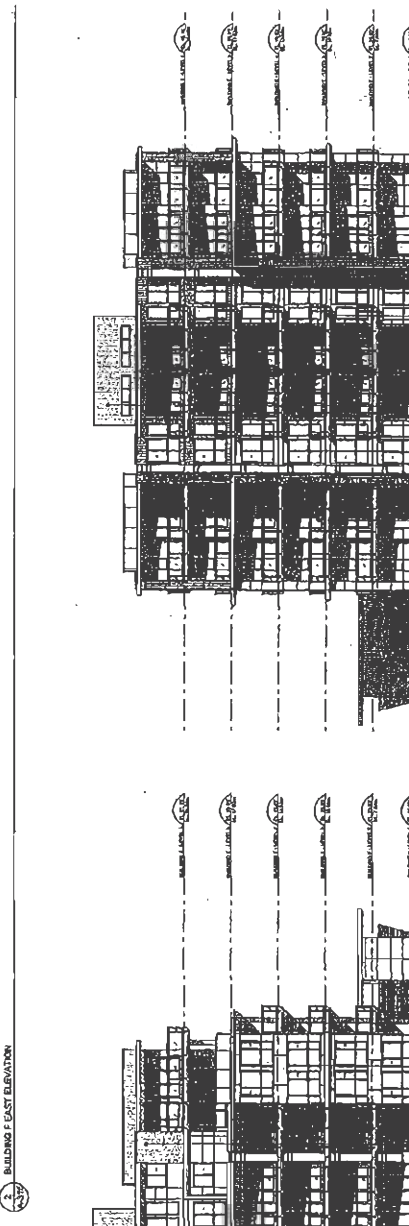
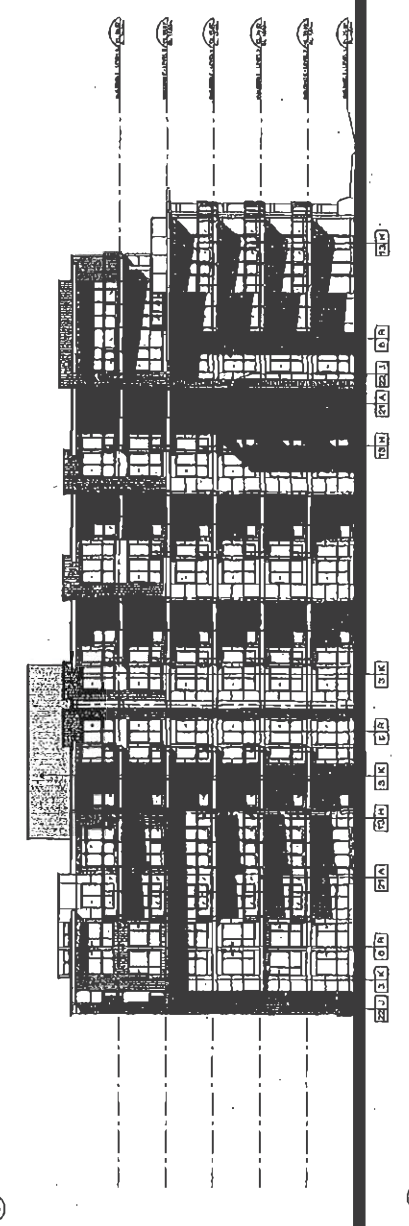
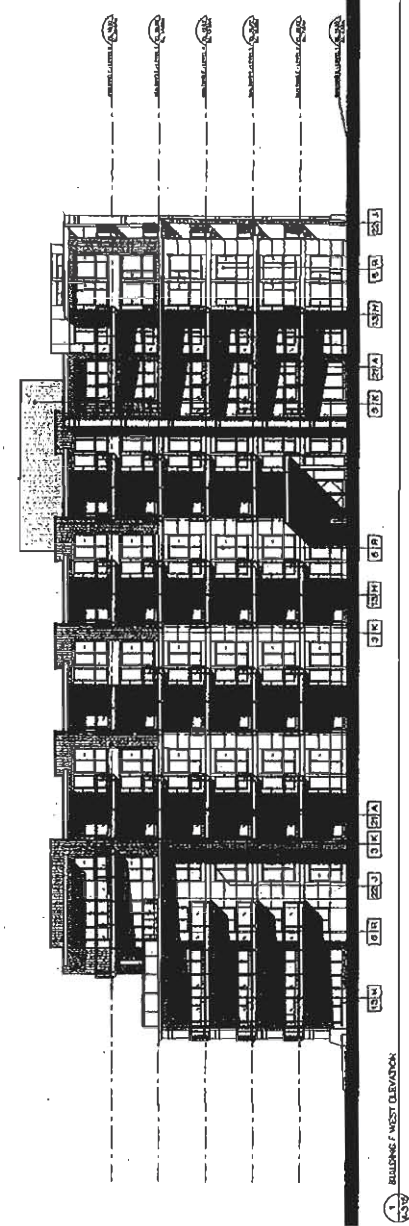
GENERAL NOTES:
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE CALIFORNIA BUILDING CODE (CBC).
 2. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE ARCHITECT.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.
 4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
 5. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
 6. THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING ENVIRONMENT AT ALL TIMES.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE ENVIRONMENT AND ALL NECESSARY RESTORATION WORK.
 8. THE CONTRACTOR SHALL MAINTAIN A CLEAN WORKING ENVIRONMENT AT ALL TIMES.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND UTILITIES.
 10. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.

PROJECT INFORMATION:
 PROJECT NAME: **PARC BUIEIRA**
 PROJECT ADDRESS: **11564405**
 PROJECT LOCATION: **PARC BUIEIRA**
 PROJECT DATE: **MAR 12 2012**

ARCHITECT:
cotter
 ARCHITECTS
 11564405

CLIENT:
PARC BUIEIRA
 DEVELOPMENT, LLC
 11564405

DATE:
MAR 12 2012



18

MAR 12 2012

DP - 11564405

A-315 F

19

MAR 12 2012

EP-11564405

SYMBOL	COLOR	MATERIAL
1		CONCRETE
2		GLASS
3		STEEL
4		BRICK
5		WOOD
6		ASPH/FLT
7		ROOF
8		MECHANICAL
9		FINISH
10		LANDSCAPE
11		PLANTING
12		WATER
13		SEWER
14		ELECTRICAL
15		TELEPHONE
16		PLUMBING
17		MECHANICAL
18		LANDSCAPE
19		PLANTING
20		WATER
21		SEWER
22		ELECTRICAL
23		TELEPHONE
24		PLUMBING
25		MECHANICAL
26		LANDSCAPE
27		PLANTING
28		WATER
29		SEWER
30		ELECTRICAL
31		TELEPHONE
32		PLUMBING
33		MECHANICAL
34		LANDSCAPE
35		PLANTING
36		WATER
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199		TELEPHONE
200		PLUMBING

coffer
ARCHITECTS

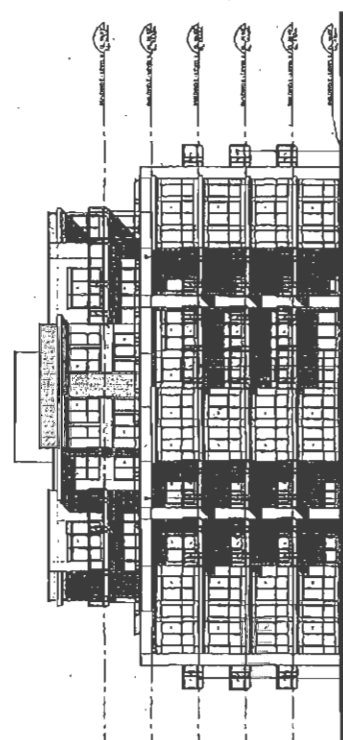
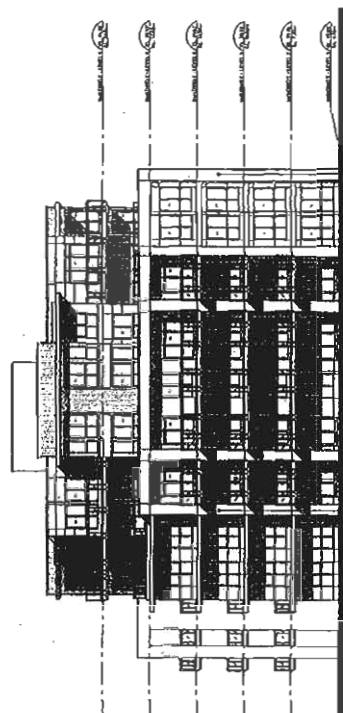
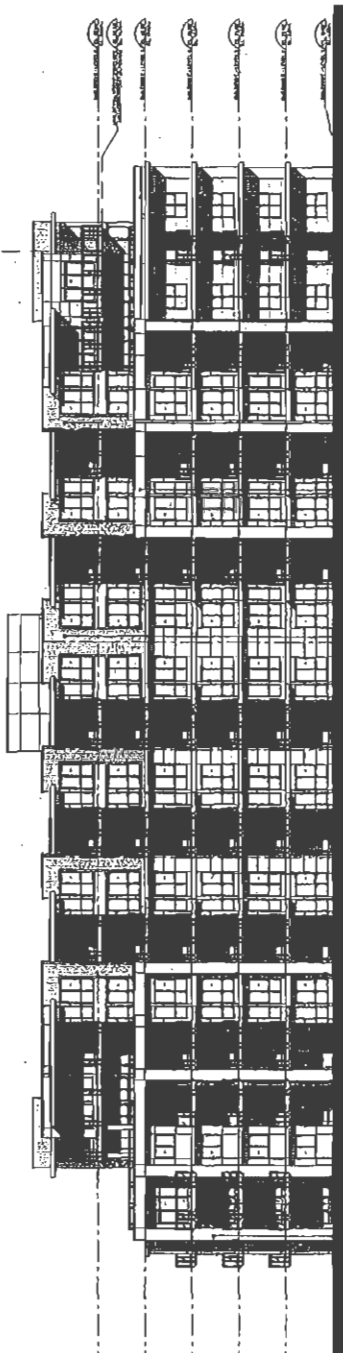
PARC RIVIERA
10000 Blvd. de l'Est
Montreal, Quebec H2P 1B1
Canada

PARC RIVIERA
10000 Blvd. de l'Est
Montreal, Quebec H2P 1B1
Canada

PARC RIVIERA
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Canada

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Montreal, Quebec H2P 1B1
Canada

PARC RIVIERA
10000 Blvd. de l'Est
Montreal, Quebec H2P 1B1
Canada



20

MAR 12 2012



DP-11564405

CONTRACT PRINCIPLES

1.0	GENERAL PRINCIPLES
2.0	PERMITS
3.0	CONSTRUCTION
4.0	OPERATION & MAINTENANCE
5.0	LIABILITY
6.0	TERMINATION
7.0	ASSIGNMENT
8.0	FORCE MAJEURE
9.0	ENTIRE AGREEMENT
10.0	GOVERNING LAW
11.0	DISPUTE RESOLUTION
12.0	NOTICES
13.0	SEVERABILITY
14.0	AMENDMENTS
15.0	INTERPRETATION
16.0	ASSIGNMENT
17.0	FORCE MAJEURE
18.0	ENTIRE AGREEMENT
19.0	GOVERNING LAW
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21.0	NOTICES
22.0	SEVERABILITY
23.0	AMENDMENTS
24.0	INTERPRETATION



cotter
ARCHITECTS



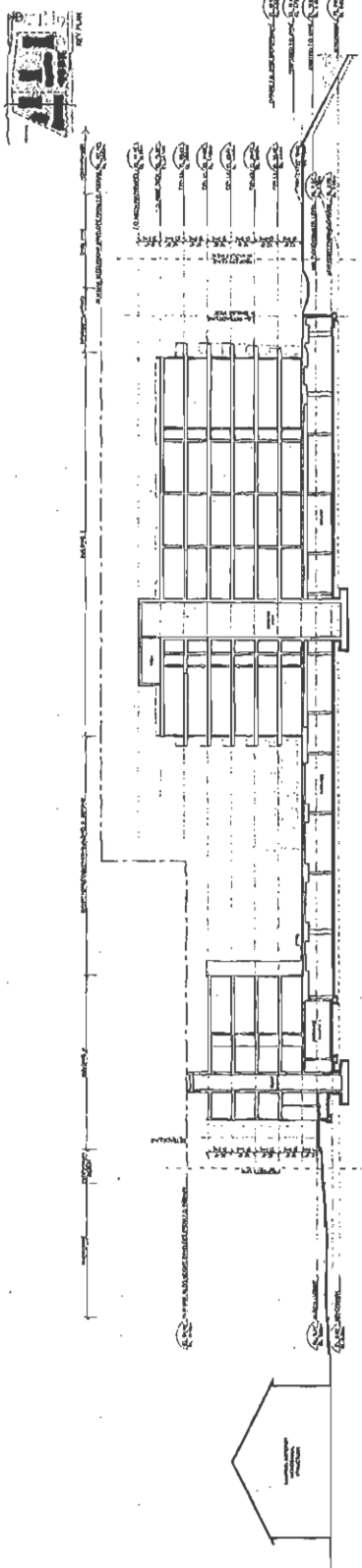
PARC RIVIERA

10000 BAY BLVD, SUITE 100
DALLAS, TEXAS 75244
214.420.1100
www.parc-riviera.com

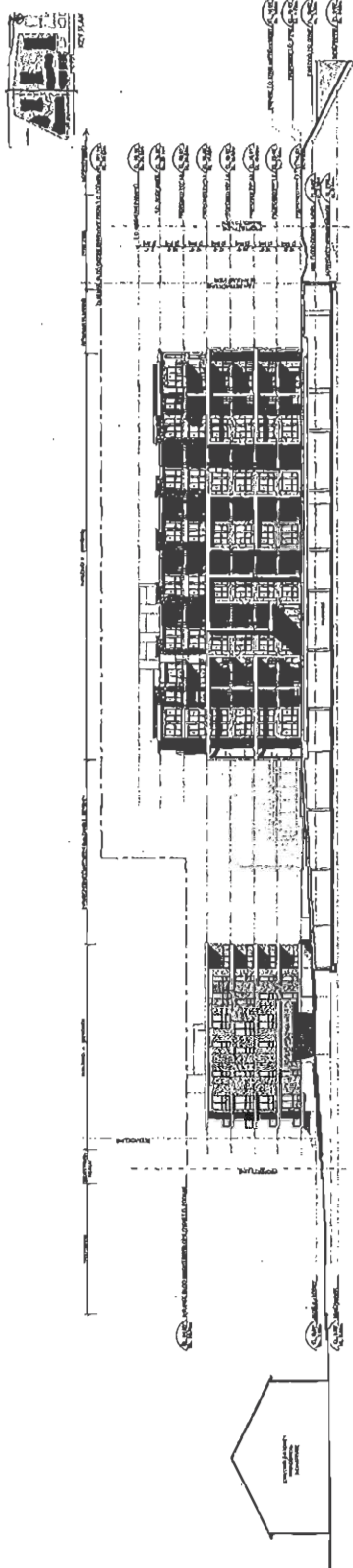
DAVID DEVELOPMENT, LLC
One Commerce
Bent Street City

SITE SECTIONS

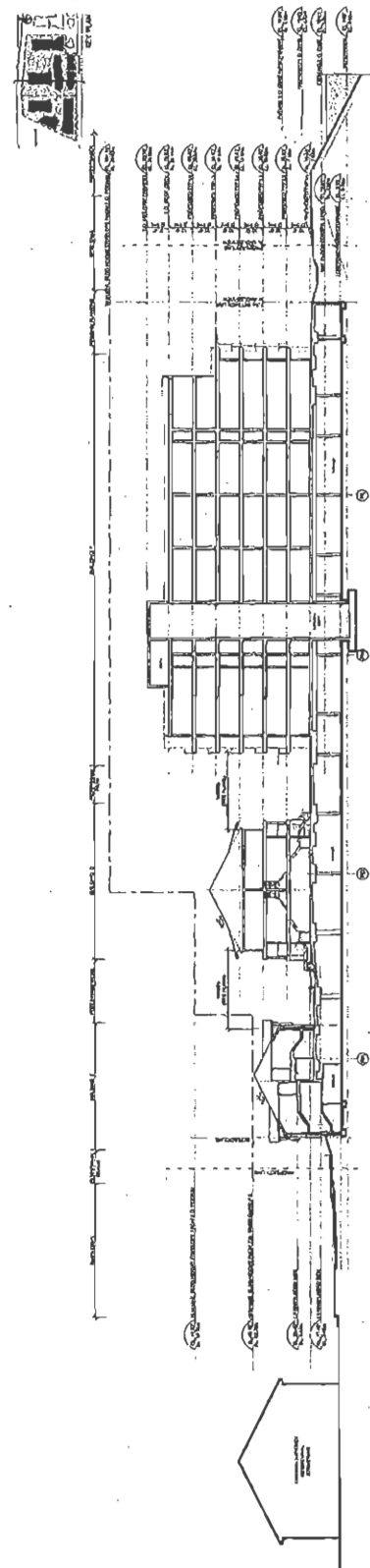
A-401 F



1 SITE SECTION



1 SITE SECTION



1 SITE SECTION

12

MAR 12 2012

DP-11564405

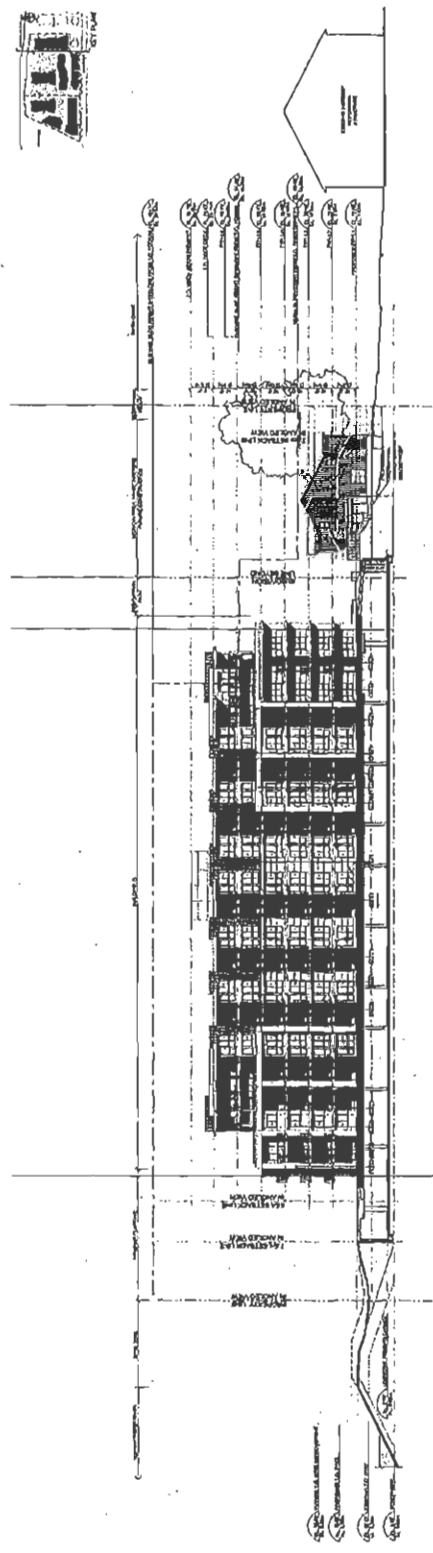
cotter
ARCHITECT
10101 Old Highway 101, Suite 100
Riviera Beach, FL 33413
Tel: 772-286-1100
www.cotterarchitect.com

PARC RIVIERA
10101 Old Highway 101, Suite 100
Riviera Beach, FL 33413
Tel: 772-286-1100
www.cotterarchitect.com

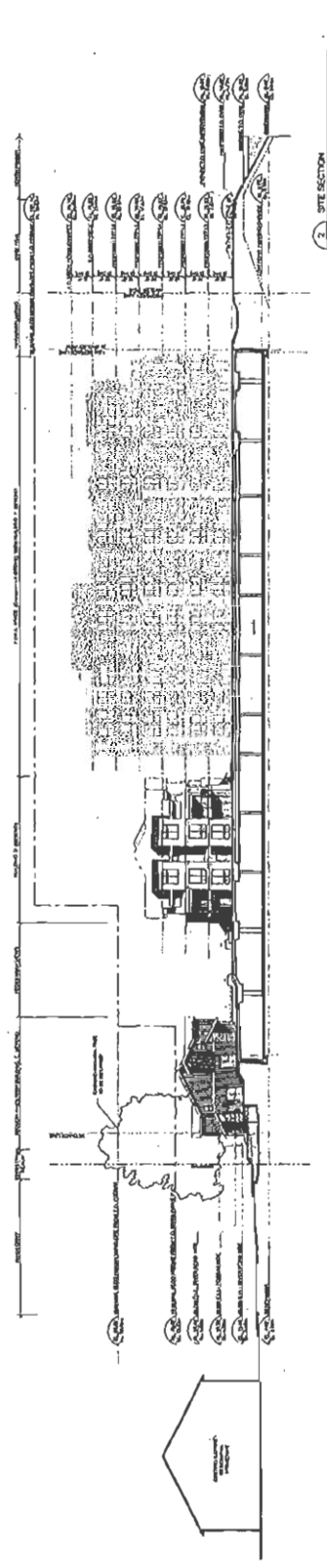
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Client: Cotter Architecture
Architect: Cotter Architecture
Scale: 1/8" = 1'-0"

SITE SECTION

CUV 2 .5



1 SITE SECTION



2 SITE SECTION



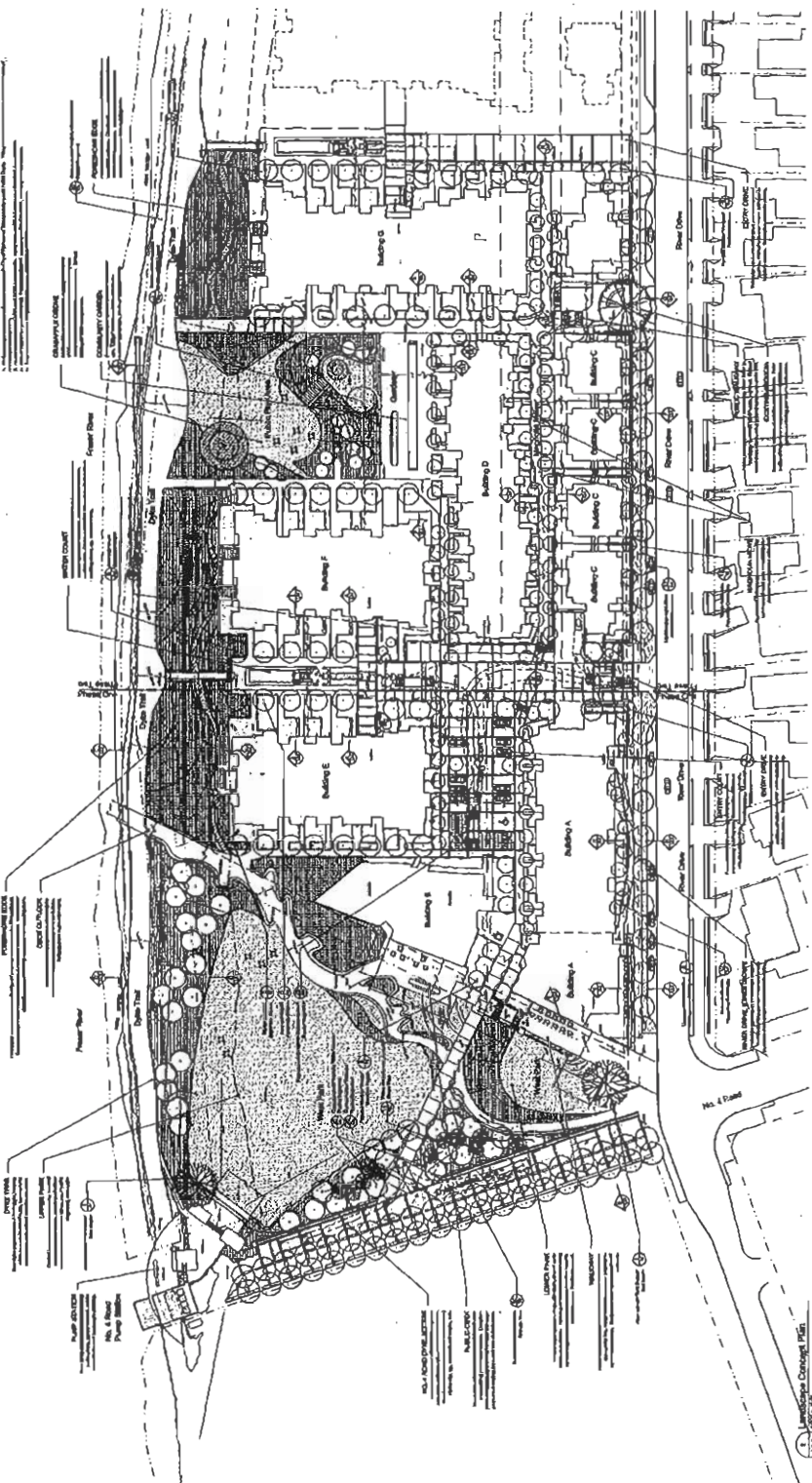
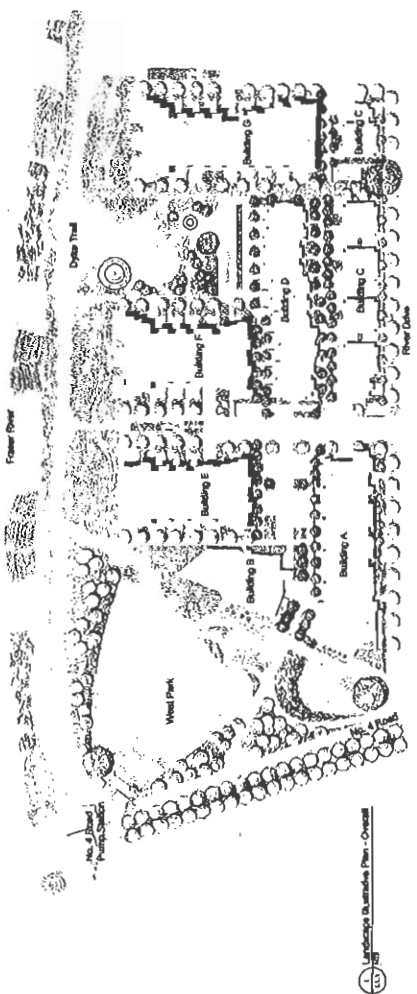
CUTS AND FINISHES

- 1. EXTERIOR WALL FINISHES
- 2. INTERIOR WALL FINISHES
- 3. FLOOR FINISHES
- 4. CEILING FINISHES
- 5. ROOF FINISHES
- 6. LANDSCAPE FINISHES
- 7. PAVING FINISHES
- 8. METALS FINISHES
- 9. GLASS FINISHES
- 10. STAIR FINISHES
- 11. ELEVATOR FINISHES
- 12. MECHANICAL FINISHES
- 13. ELECTRICAL FINISHES
- 14. PLUMBING FINISHES
- 15. HVAC FINISHES
- 16. LIGHTING FINISHES
- 17. SOUNDTREATMENT FINISHES
- 18. SECURITY FINISHES
- 19. ACCESSIBILITY FINISHES
- 20. OTHER FINISHES

22

DATE REVISIONS

NO.	DATE	DESCRIPTION
01		ISSUED FOR PERMITTING
02		REVISIONS TO PERMITTING
03		REVISIONS TO PERMITTING
04		REVISIONS TO PERMITTING
05		REVISIONS TO PERMITTING
06		REVISIONS TO PERMITTING
07		REVISIONS TO PERMITTING
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23

MAR 12 2012

11564405



PARC RIVIERA

ARCHITECTS

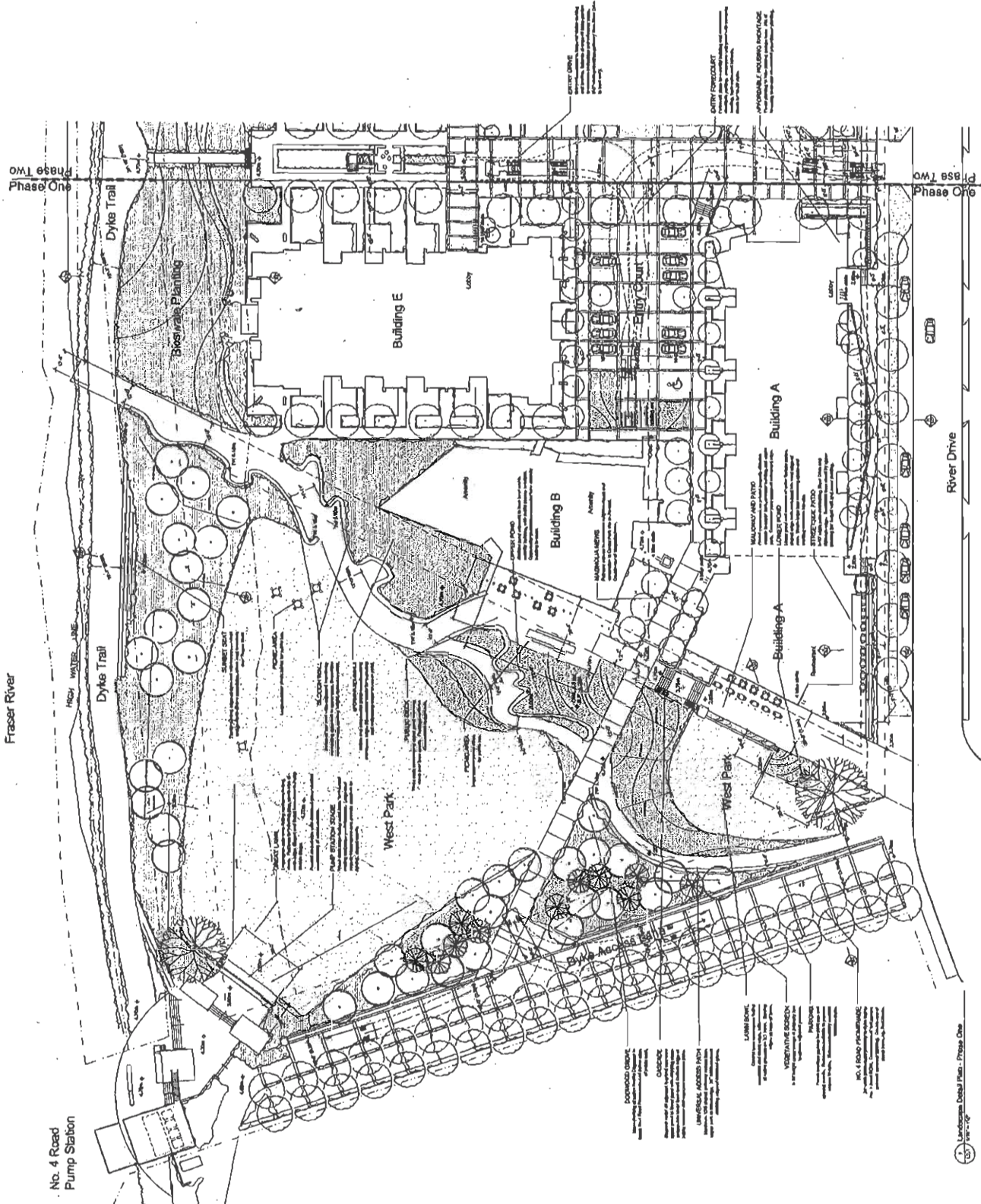
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Client	City of Vancouver
Location	West Vancouver
Scale	1:1000
Date	March 12, 2012
Author	[Name]
Checker	[Name]
Project No.	11564405
Sheet No.	12.1

Phase One

Phase One

Phase One

Phase One



Fraser River

No. 4 Road Pump Station

Phase One
Phase Two

Phase One
Phase Two

12.1 Landscape Detail Plan - Phase One





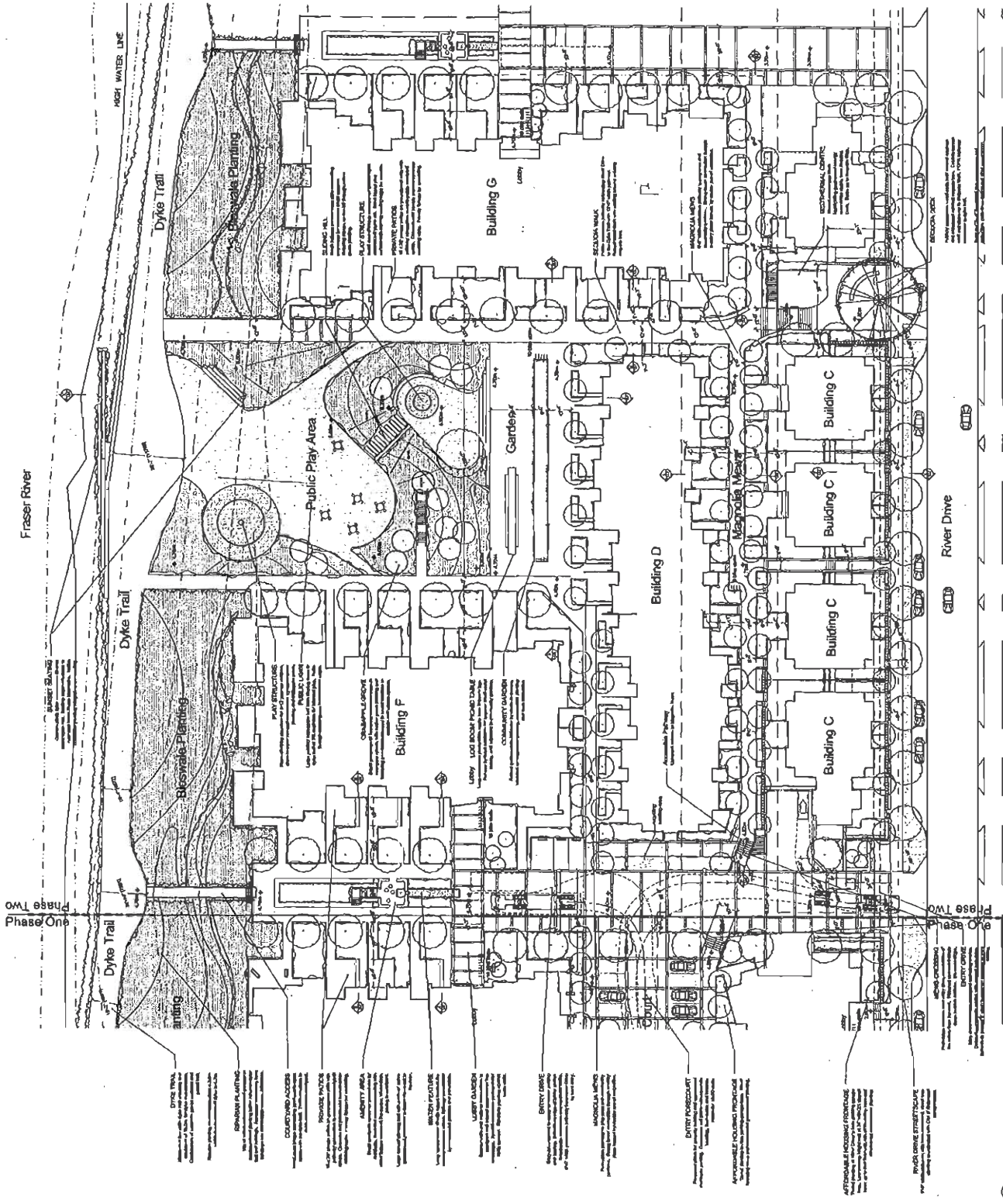
PARC RIVIERA

11564405

Project Name	11564405
Client	Parc Riviera
Location	11564405
Scale	1:1000
Date	11564405
Author	11564405
Reviewer	11564405
Approved	11564405

Parc Riviera
Multi-Use Development
11564405

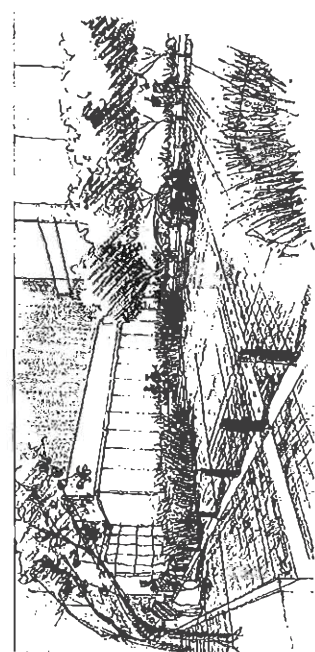
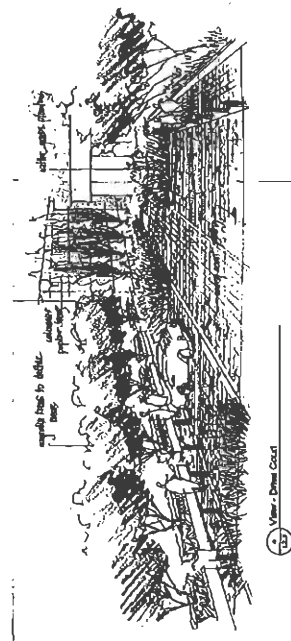
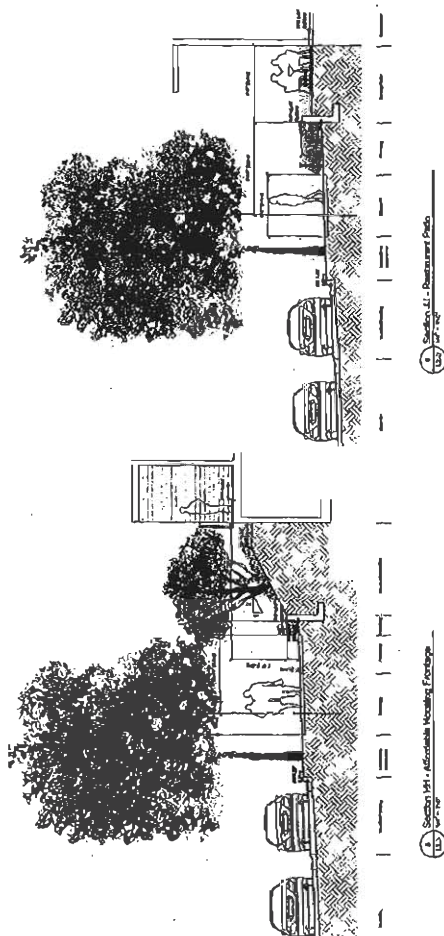
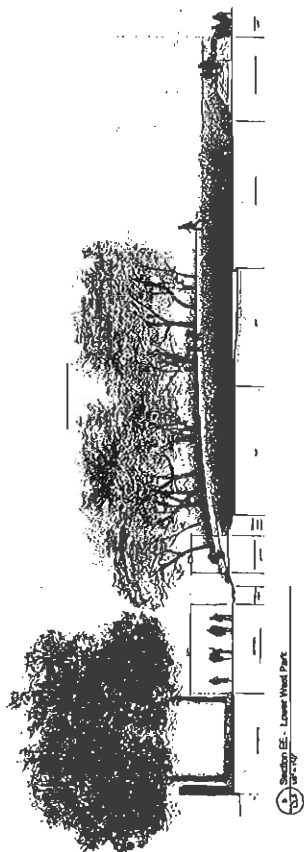
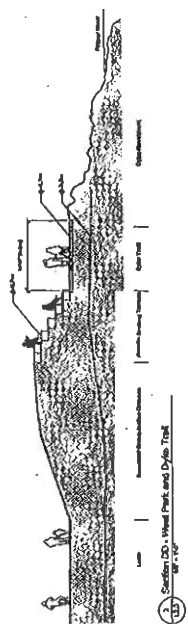
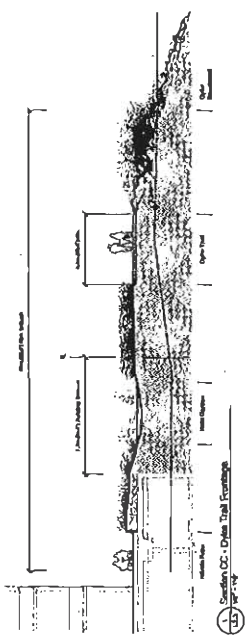
Landmarks
Kestrel Run
Phase Two



Phase One
Phase Two

Phase One
Phase Two

- DYKE TRAIL**
Dyke Trail is a paved path that runs along the Fraser River. It is designed to provide a safe and scenic route for walking and jogging. The trail is bordered by a concrete curb and is planted with native vegetation.
- BIOSWALE PLANTING**
Bioswale planting is a type of landscaping that is designed to manage stormwater runoff. It consists of a shallow, vegetated channel that allows water to infiltrate the ground and filter out pollutants. The planting is designed to be low-maintenance and drought-tolerant.
- CONCRETE CURB**
Concrete curb is a type of curb that is made of concrete. It is used to define the edge of a paved area and to prevent water from flowing onto the pavement. The curb is designed to be durable and long-lasting.
- ROUNDED FINISH**
Rounded finish is a type of finish that is used on concrete surfaces. It is designed to provide a smooth, rounded edge that is safe for walking. The finish is applied to the top and sides of the concrete.
- SECURITY WALL**
Security wall is a type of wall that is designed to provide security and safety. It is made of concrete and is topped with a sharp edge. The wall is used to separate the development from the Fraser River.
- WALKWAY FEATURE**
Walkway feature is a type of feature that is used on walkways. It is designed to provide a safe and comfortable walking surface. The feature is made of concrete and is textured to provide traction.
- ENTRY DRIVE**
Entry drive is a type of drive that is used for entry. It is designed to provide a safe and easy way to enter the development. The drive is paved and has a rounded curb.
- LANDSCAPE**
Landscape is a type of landscaping that is designed to enhance the appearance of a site. It consists of plants, trees, and other natural elements. The landscape is designed to be attractive and low-maintenance.
- ENTRY PORCHCOURT**
Entry porchcourt is a type of porchcourt that is used for entry. It is designed to provide a safe and easy way to enter the building. The porchcourt is paved and has a rounded curb.
- PERIMETER WALKWAY FINISH**
Perimeter walkway finish is a type of finish that is used on perimeter walkways. It is designed to provide a safe and comfortable walking surface. The finish is made of concrete and is textured to provide traction.
- ROUGH CONCRETE FINISH**
Rough concrete finish is a type of finish that is used on concrete surfaces. It is designed to provide a rough, textured surface that is safe for walking. The finish is applied to the top and sides of the concrete.



hapa
Landscape Architecture

PARC RIVIERA
Landscape Architecture

PARC RIVIERA
Multi-Use Development
Landscape Architecture

Project Name	PARC RIVIERA
Project Address	10000 N. ...
Client	...
Scale	...
Date	...
Author	...
Checker	...
Approver	...

Landscape Architecture
Sheet 001

12.3

57

MAR 12 2012

D-11564405

26

MAR 12 2012



D-11564405



PASC RIVIERA

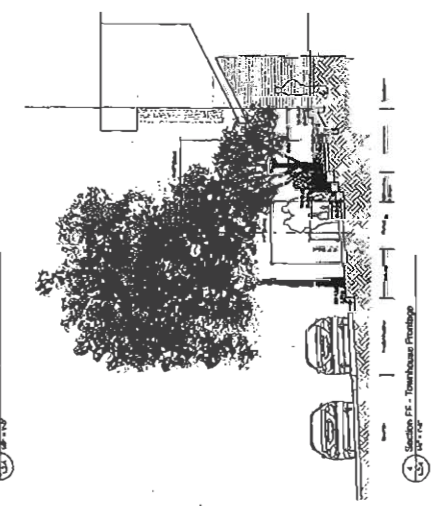
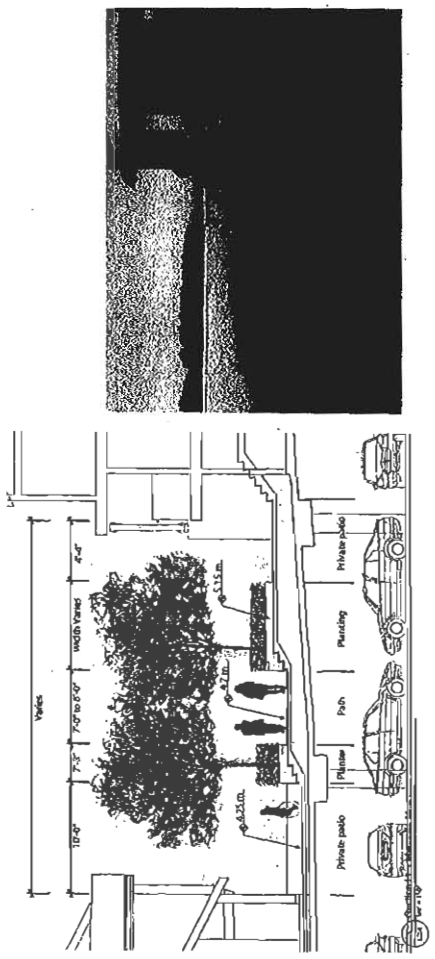
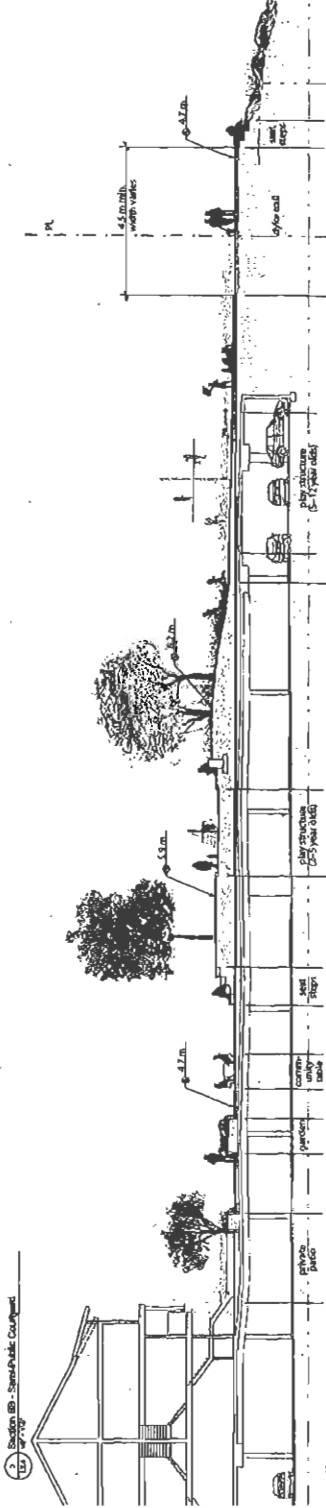
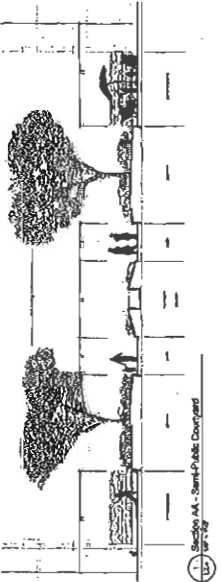
ARCHITECTURAL FIRM

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Client	
Location	
Date	
Scale	
Sheet No.	
Total Sheets	

Plant & Landscape
Architect Development
Miami, FL

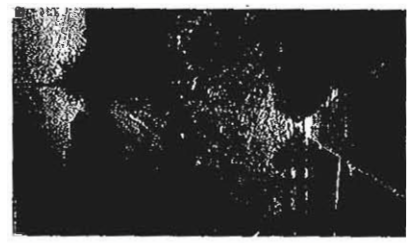
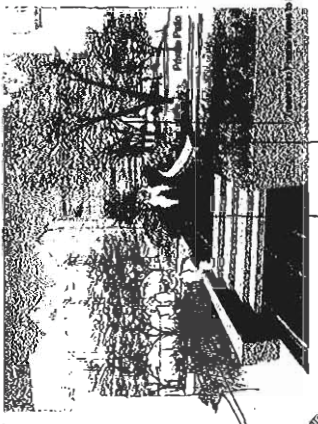
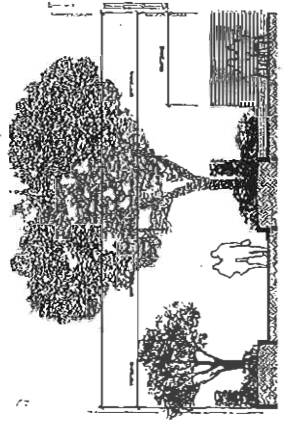
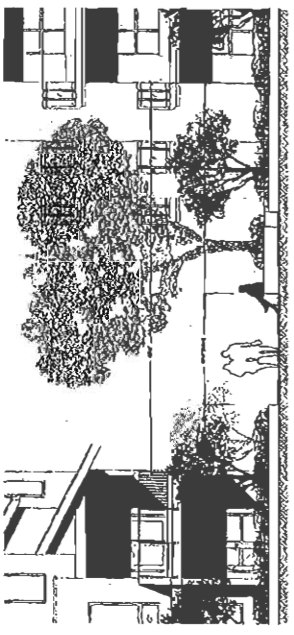
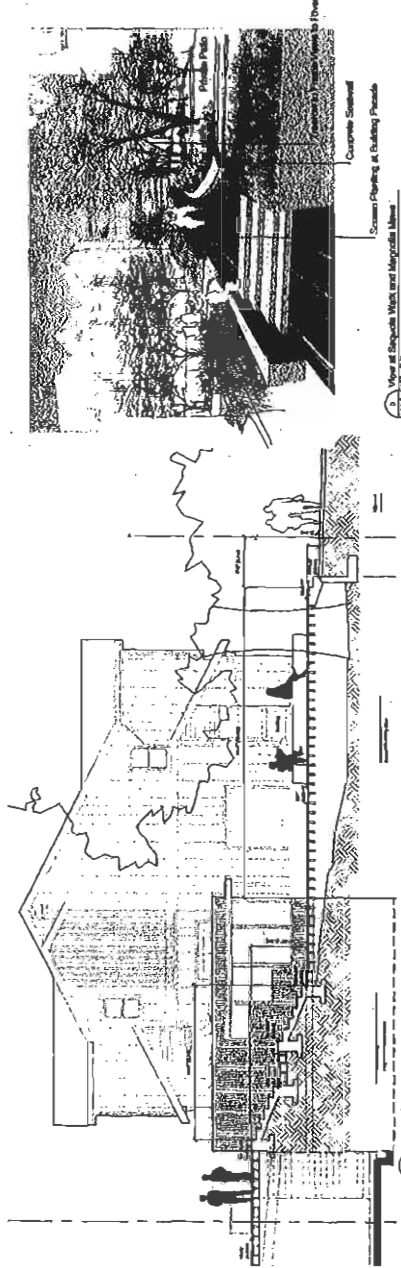
Landscape
Architect
Miami, FL

L2.4



hapa

hapa architects
1000 15th Street NW
Atlanta, GA 30309
404.525.1111
hapa.com



12.5 Skyeville West, Dike Trail

12.5 Section AM - Through Magnolia Avenue

12.5 Section JM - Through Public Walkway

12.5 Section PP - Through Public Corridor

MAR 12 2012

P-11564405



PARC RIVIERA
1000 15th Street NW
Atlanta, GA 30309
404.525.1111
hapa.com

Project Name	PARC RIVIERA
Project Address	1000 15th Street NW, Atlanta, GA 30309
Client	PARC RIVIERA
Architect	hapa architects
Interior Designer	
Structural Engineer	
Mechanical Engineer	
Electrical Engineer	
Plumbing Engineer	
Other	
Project Manager	
Design Manager	
Project Start	
Project End	
Project Status	
Project Budget	
Project Cost	
Project Revenue	
Project Profit	
Project Loss	
Project Net	

PARC RIVIERA
Multi-Use Development
Atlanta, GA

175

17

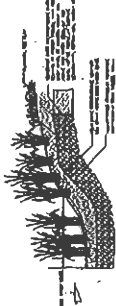


PARC RIVIERA
 Aventura, FL 33154
 1100 W. 15th St., Suite 100
 Miami, FL 33135
 Tel: 305.375.4405
 Fax: 305.375.4406
 www.hapalandscape.com

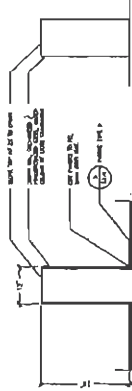
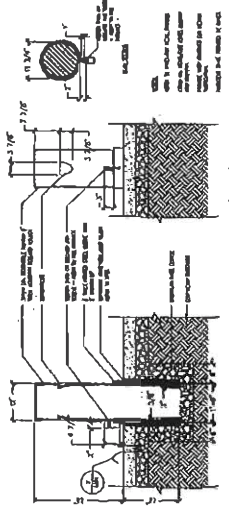
DATE	
REVISION	
DESCRIPTION	
BY	
CHECKED	
DATE	

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 Multi-Use Development
 1100 W. 15th St.
 Aventura, FL 33154

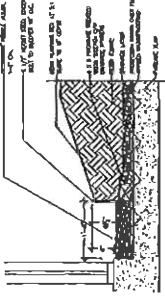
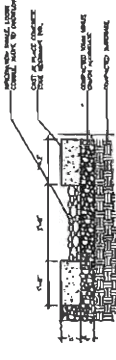
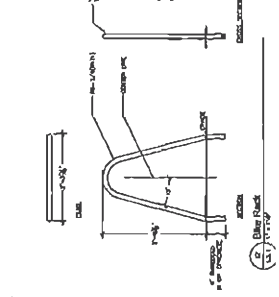
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 Detail
 1100 W. 15th St.
 Aventura, FL 33154



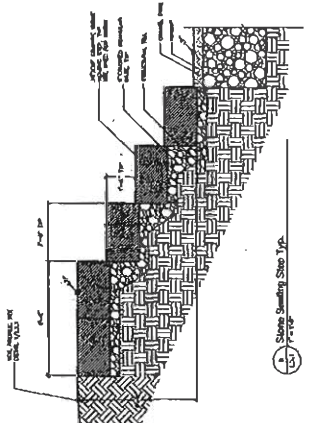
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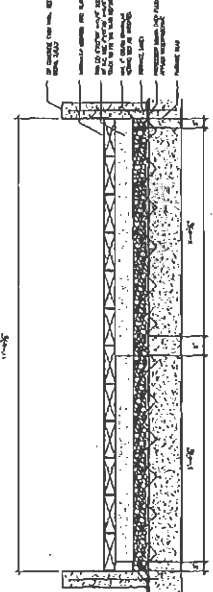
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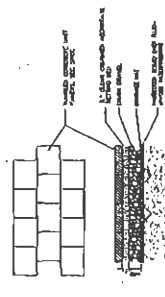
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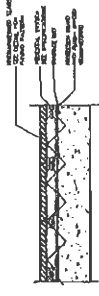
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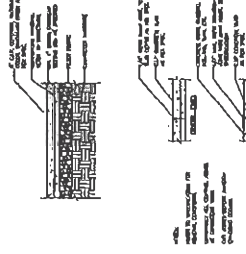
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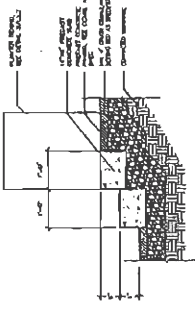
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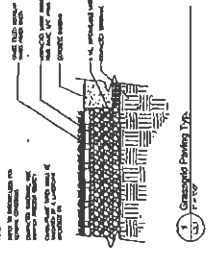
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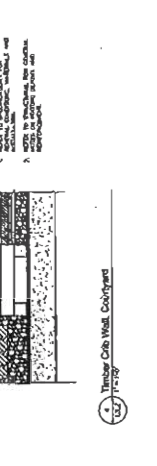
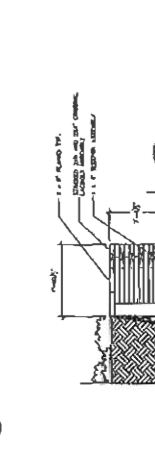
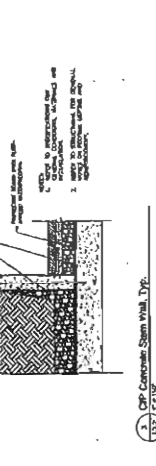
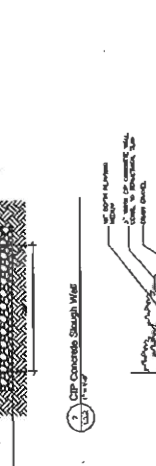
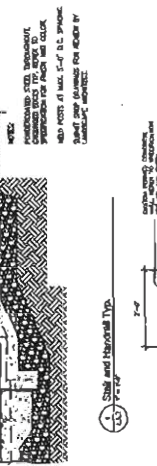
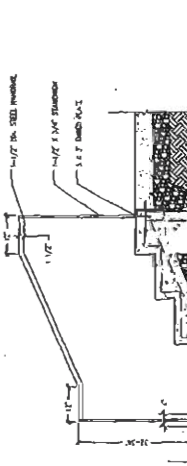
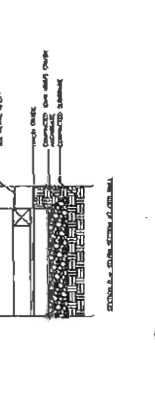
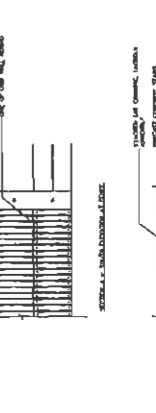
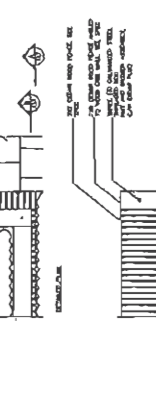
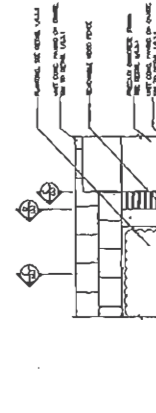
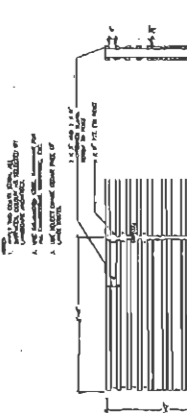
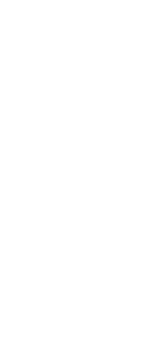
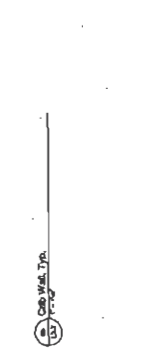
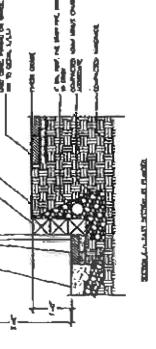
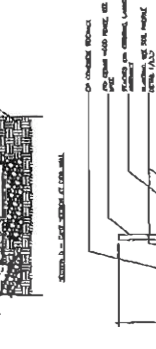
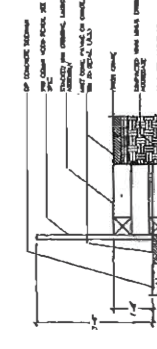
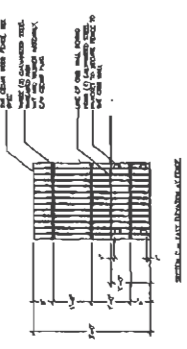
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10. Retaining Wall Detail, Typ.



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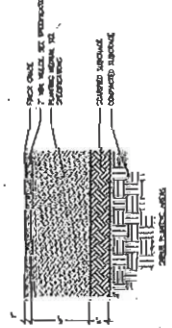
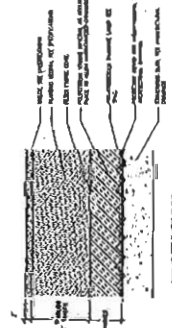
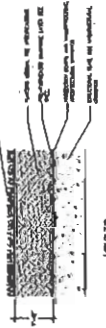
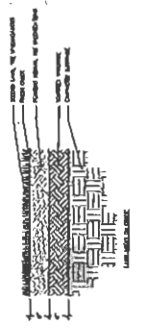
PARC RIVIERA
ARCHITECTURE

1000 Rue de la Riviera
Montreal, Quebec H3B 1Y1
Canada
Tel: 514 875 8888
Fax: 514 875 8889
www.parcriviera.com

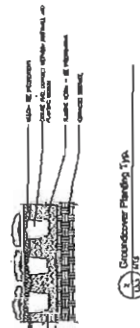
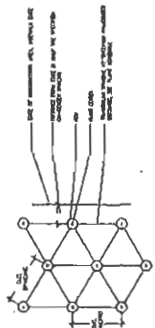
hapa ARCHITECTS
1000 Rue de la Riviera
Montreal, Quebec H3B 1Y1
Canada
Tel: 514 875 8888
Fax: 514 875 8889
www.hapa.com

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Riverside EC

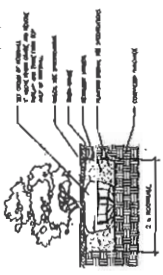
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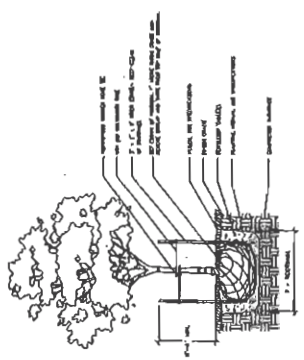
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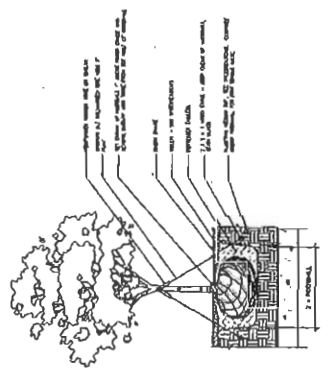
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Standard Planting Type
1. 2\"/>



Tree Planting Type
1. 2\"/>



Tree Planting on Slope Type
1. 2\"/>

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PARC RIVERA
Landscape Architecture
1000 10th Street, Suite 100
New York, NY 10011
Phone: (212) 512-1000
Fax: (212) 512-1001
www.hapa.com

Project Name	PARC RIVERA
Client	PARC RIVERA
Location	PARC RIVERA
Phase	PARC RIVERA
Start Date	PARC RIVERA
End Date	PARC RIVERA
Designer	PARC RIVERA
Architect	PARC RIVERA
Contractor	PARC RIVERA
Other	PARC RIVERA

Project: Parc Rivera
Multiple Development
Normalized IC

Landscape
Design
Planting

Scale: 1/8\"/>

hapa

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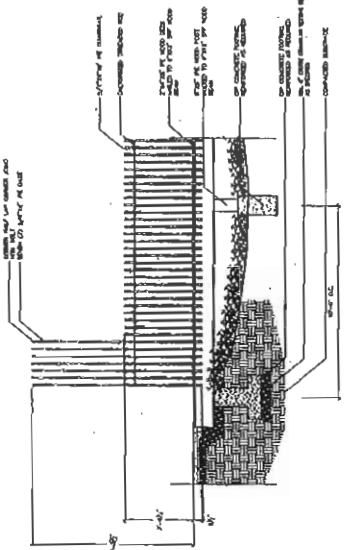


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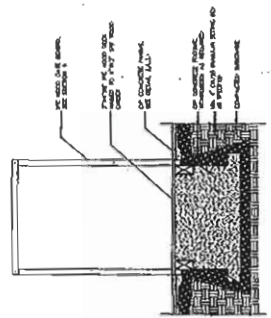
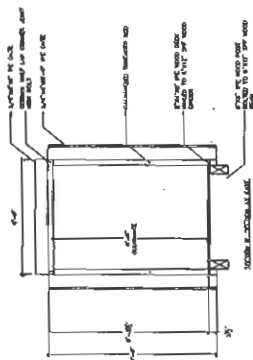
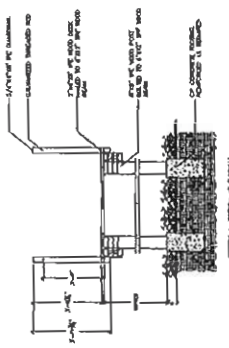
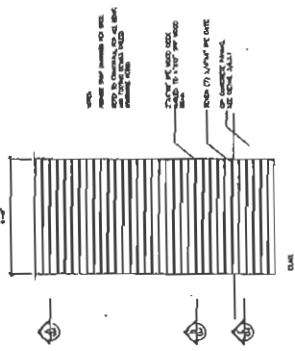
PARC RIVIERA

Landmark



SECTION 11 - SECTION 11

Window Details



Window Details

CPTED PRINCIPLES

- light coloured painted finish to walls, columns.
- avoid hidden corners and install convex mirrors as needed.
- provide vision panels in doors. leading to publicly accessible areas.
- provide glazing to elevator lobbies.
- ensure adequate lighting. throughout underground parking area.
- install hard wired video surveillance equipment to parking areas.
- provide rough surface finish to ramps to deter skateboarders.

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ACCESSIBILITY NOTES

In addition to applying aging-in-place principals to all residential units, a minimum of two (2) units within Buildings E, F & G will be adaptable to an enhanced accessible unit. This will include the provision of at least one wheelchair accessible bathroom. A full listing of accessibility features will be detailed in the Building Permit drawing submission.

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34.

AGING IN PLACE PRINCIPLES (GENERAL NOTES)

Doors

- Minimum clear opening width of unit entry door to be min. 2' - 10";
- Minimum clear opening of in-suite privacy doors to be 2' - 8";
- Balcony/Patio doors shall have a minimum clear opening width of 2' - 10";
- All suite door sills shall be ½" or less in height;
- All door hardware easily articulated by the user (i.e. with minimum physical effort);

Windows

- Windows to be accessible (i.e. 1 per bedroom and living room shall be provided with a minimum sill height of 2' - 6" c/w easily graspable and easy to articulate window hardware);

Bathroom(s)

Provide one bathroom with the following requirements:

- 4' - 0" x 2' - 6" clear area adjacent the sink;
- Provided adequate reinforcement at walls (i.e. plywood) immediately adjacent the water closet and bath tub in anticipation of the installation of grab bars;
- Bathroom faucets to be easily articulated (i.e. lever type);
- Centerline of water closet to be min. 1' - 6" from exterior face of drywall;
- Provide 3' - 0" clear for the full length of the bathtub;

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Kitchen

35

- Provide allowance for 2' - 8" clear vertical height underneath kitchen sink in anticipation of future access under sink for workspace;
- Kitchen faucets to be easily articulated (i.e. lever type);

Bedroom(s)

- Provide one bedroom with the following requirements:
- Provide a minimum 5' - 0" clear turning radius on one side of a standard sized double bed;
- Provide a closet with a minimum clear opening of 3' - 0" and a minimum internal space of 4' - 0" x 2' - 6" and provision for a rod to be lowered to 4' - 0" in height;

Electrical / Accessories

- Rough-in wiring to be provided in anticipation of automatic door opener at unit entry door;
- Thermostats to be mounted at 3' - 0" to 4' - 6" AFF;
- Intercom and Electrical Panels to be mounted maximum 4' - 0" AFF
- Lights switches shall be paddle type and mounted maximum 4' - 0" AFF

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KEY PLAN

UNIT PRINCIPLES

1. All units are to be constructed in accordance with the latest edition of the Building Code of the City of Dallas.
2. All units are to be constructed in accordance with the latest edition of the International Residential Code (IRC).
3. All units are to be constructed in accordance with the latest edition of the International Building Code (IBC).
4. All units are to be constructed in accordance with the latest edition of the International Fire Code (IFC).
5. All units are to be constructed in accordance with the latest edition of the International Energy Conservation Code (IECC).
6. All units are to be constructed in accordance with the latest edition of the International Mechanical Code (IMC).
7. All units are to be constructed in accordance with the latest edition of the International Plumbing Code (IPC).
8. All units are to be constructed in accordance with the latest edition of the International Fuel Gas Code (IFGC).
9. All units are to be constructed in accordance with the latest edition of the International Electrical Code (IEC).
10. All units are to be constructed in accordance with the latest edition of the International Fire and Safety Code (IFSC).

ACCESSIBILITY NOTES

1. All units are to be constructed in accordance with the latest edition of the Americans with Disabilities Act (ADA).
2. All units are to be constructed in accordance with the latest edition of the ADA Standards for Accessible Design.
3. All units are to be constructed in accordance with the latest edition of the ADA Standards for Accessible Design.

REFERENCE

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DP-11564405

cotter

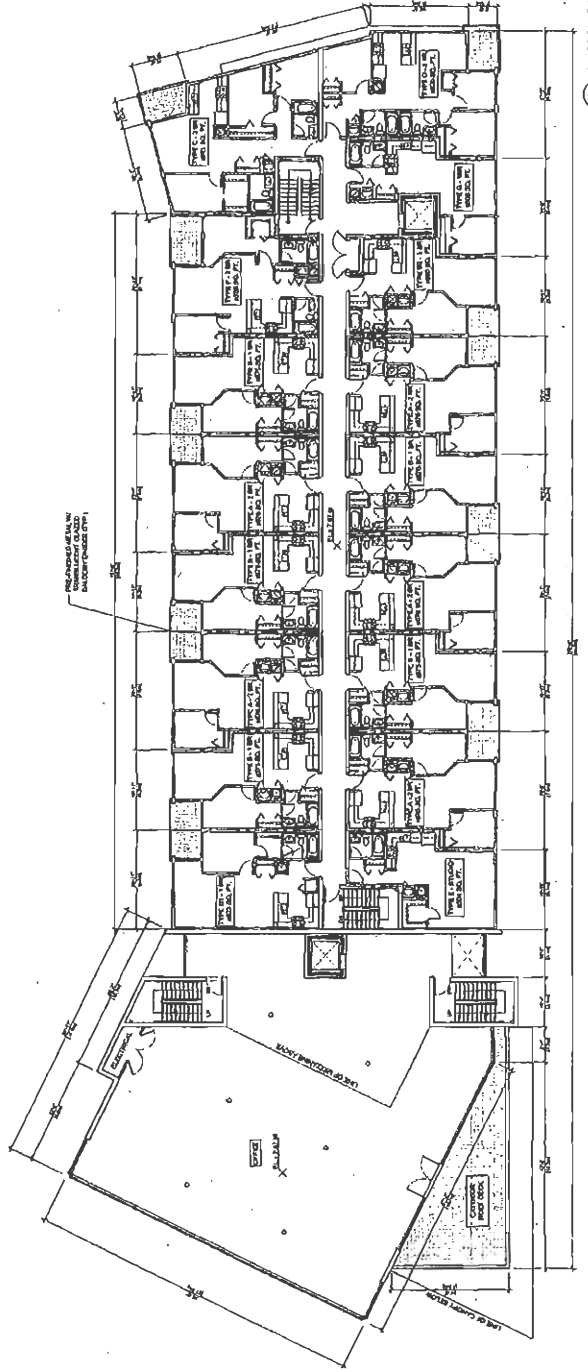
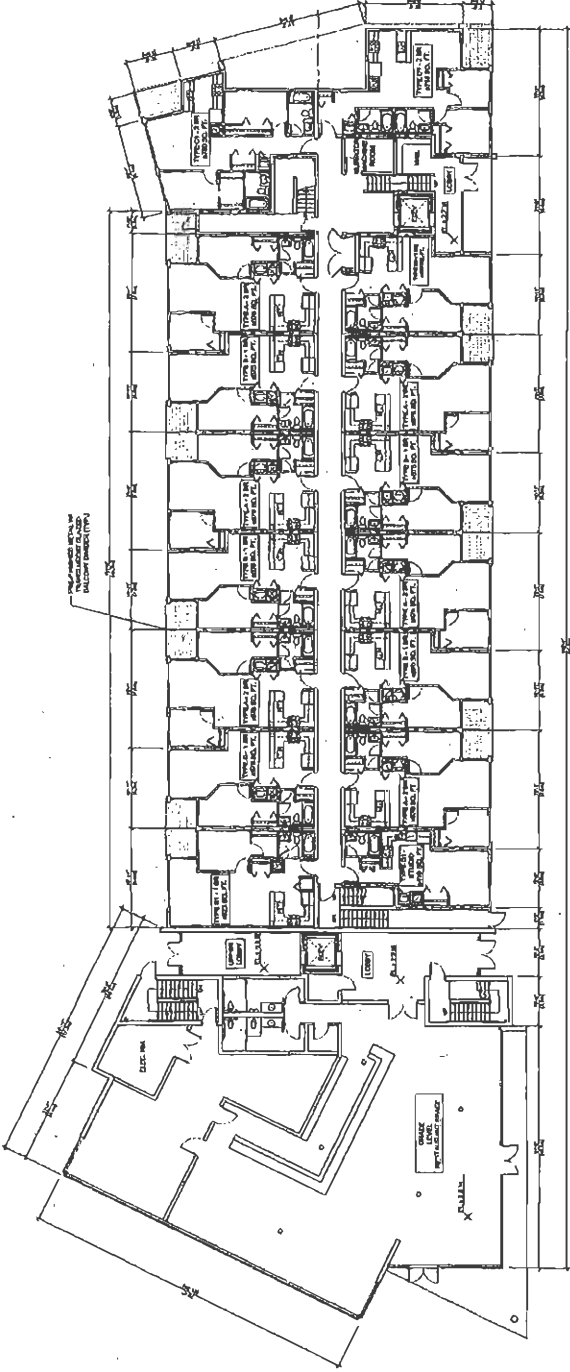
Architectural Firm
1100 W. Ross Ave., Suite 100
Dallas, TX 75208

PARC RIVIERA

1100 W. Ross Ave., Suite 100
Dallas, TX 75208

DAVA Development, Ltd.
1100 W. Ross Ave., Suite 100
Dallas, TX 75208

BUILDING 1 FLOOR PLAN



REFERENT

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GENERAL NOTES	
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.	
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.	
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.	
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SURETY BONDING.	
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES CONNECTIONS.	
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ACCESS TO ADJACENT PROPERTIES.	
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY TRAFFIC CONTROL MEASURES.	
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY NOISE CONTROL MEASURES.	
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ENVIRONMENTAL PROTECTION MEASURES.	
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SAFETY MEASURES.	
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY QUALITY CONTROL MEASURES.	
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORD DRAWINGS.	
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY AS-BUILT DRAWINGS.	
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY FINAL INSPECTION AND APPROVAL.	
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93. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY FINAL SIGNOFF FROM THE OWNER.	
94. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY FINAL RECEIPT FROM THE OWNER.	
95. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY FINAL DELIVERY TO THE OWNER.	
96. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY FINAL HANDOVER TO THE OWNER.	
97. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY FINAL SIGNOFF FROM THE OWNER.	
98. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY FINAL RECEIPT FROM THE OWNER.	
99. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY FINAL DELIVERY TO THE OWNER.	
100. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY FINAL HANDOVER TO THE OWNER.	

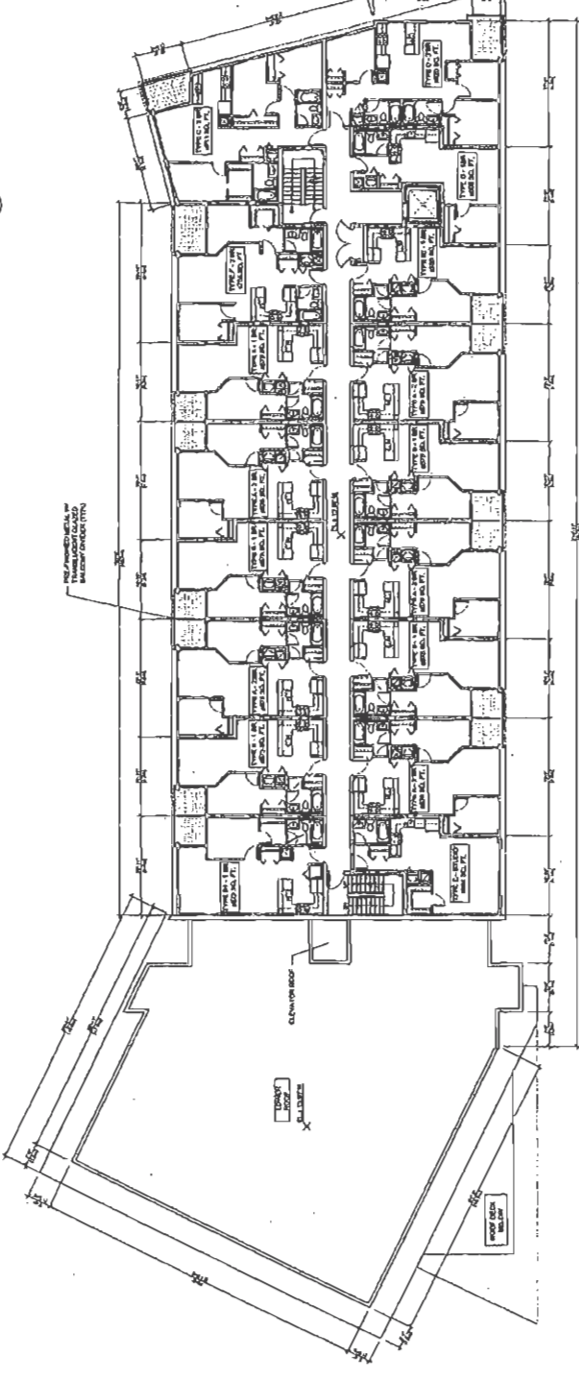
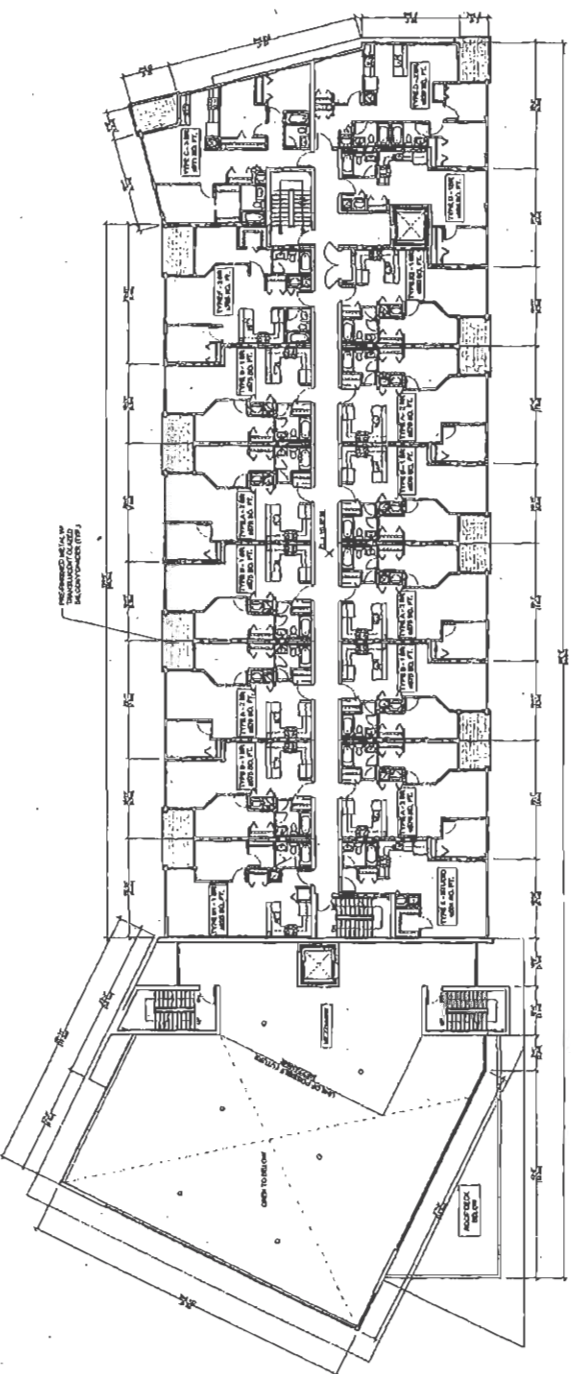
cotter
ARCHITECTS
1100 W. 10TH STREET
DENVER, CO 80202

PASC RIVERA
1100 W. 10TH STREET
DENVER, CO 80202

DAVA Development, Ltd.
1100 W. 10TH STREET
DENVER, CO 80202

Other Contractors:
General Contractor
Mechanical Contractor
Electrical Contractor
Plumbing Contractor
HVAC Contractor
Fire Protection Contractor
Life Safety Contractor
Specialty Contractor

DATE: 03/12/12
SCALE: AS SHOWN
PROJECT: 11564405
SHEET: 3 OF 4 FLOOR PLANS



REFERENCE

MAR 12 2012



D-11564405

BUILDING B - LEVEL 2 FLOOR PLAN
LEVEL 1 & 2 FLOOR PLANS



0 10' 0"



UNITED PRINCIPLES

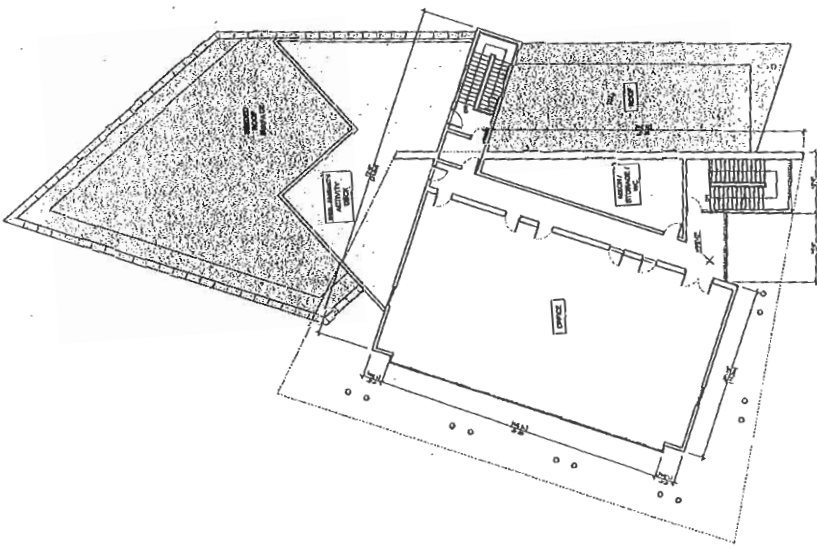
- 1. All work shall be in accordance with the latest editions of the following codes and standards:
 - a. International Building Code (IBC)
 - b. International Fire Code (IFC)
 - c. International Mechanical Code (IMC)
 - d. International Plumbing Code (IPC)
 - e. International Electrical Code (IEC)
 - f. International Energy Conservation Code (IECC)
 - g. American Institute of Steel Construction, Inc. (AISC) Specification for Structural Steel Buildings
 - h. American Concrete Institute (ACI) Code of Practice for Reinforced Concrete
 - i. American Society of Civil Engineers (ASCE) Code of Practice for Steel Decking
 - j. American Society of Civil Engineers (ASCE) Code of Practice for Seismic Design of Steel Moment Resisting Frames
 - k. American Society of Civil Engineers (ASCE) Code of Practice for Seismic Design of Reinforced Concrete and Masonry Buildings
 - l. American Society of Civil Engineers (ASCE) Code of Practice for Seismic Design of Bridges
 - m. American Society of Civil Engineers (ASCE) Code of Practice for Seismic Design of Towers, Chimneys, and Other Structures
 - n. American Society of Civil Engineers (ASCE) Code of Practice for Seismic Design of Steel Decking
 - o. American Society of Civil Engineers (ASCE) Code of Practice for Seismic Design of Steel Moment Resisting Frames
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 - r. American Society of Civil Engineers (ASCE) Code of Practice for Seismic Design of Towers, Chimneys, and Other Structures
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cotter
 ARCHITECTS
 1000 15th Street, Suite 1000
 San Francisco, CA 94103
 Phone: 415.774.4405
 Fax: 415.774.4406
 Website: www.cotterarchitects.com

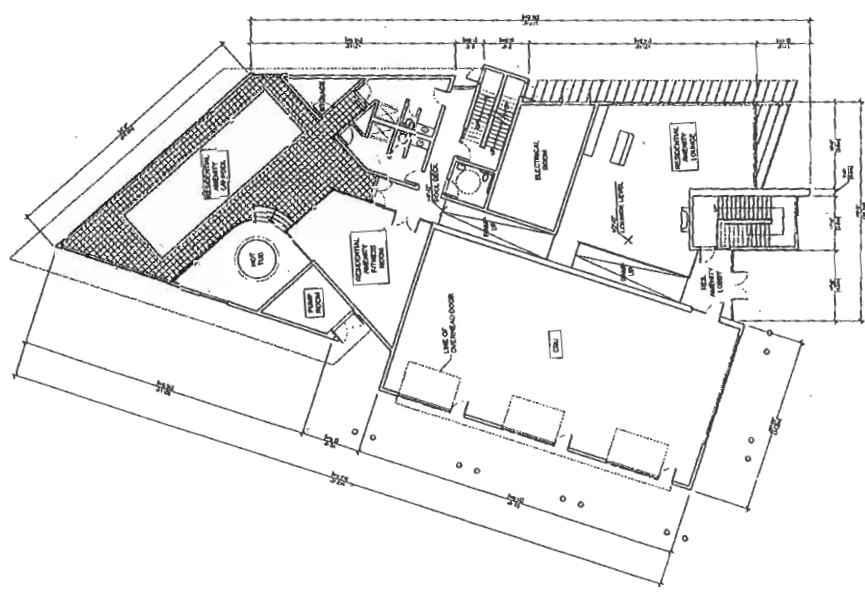
PASC RIVERA
 ARCHITECT
 1000 15th Street, Suite 1000
 San Francisco, CA 94103
 Phone: 415.774.4405
 Fax: 415.774.4406
 Website: www.cotterarchitects.com

PAUL A. DEVELOPMENT, LLC
 1000 15th Street, Suite 1000
 San Francisco, CA 94103
 Phone: 415.774.4405
 Fax: 415.774.4406
 Website: www.cotterarchitects.com

2. BUILDING B - LEVEL 2 FLOOR PLAN



1. BUILDING B - LEVEL 1 FLOOR PLAN



REFERENC

MAR 12 2012

11564405



cotter
ARCHITECTURE
1155 RIVER ST
SUITE 100
BOSTON, MA 02114
TEL: 617.552.1100
WWW.COTTERARCH.COM



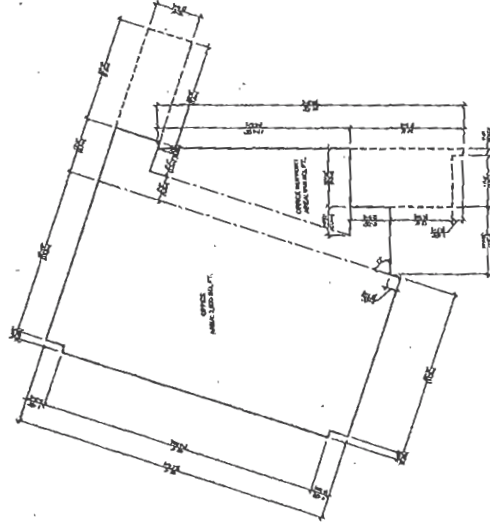
PARC RIVIERA
RENOVATION & ADDITION
1155 RIVER ST
SUITE 100
BOSTON, MA 02114
TEL: 617.552.1100
WWW.COTTERARCH.COM

DATE: 03/12/12
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: AS SHOWN

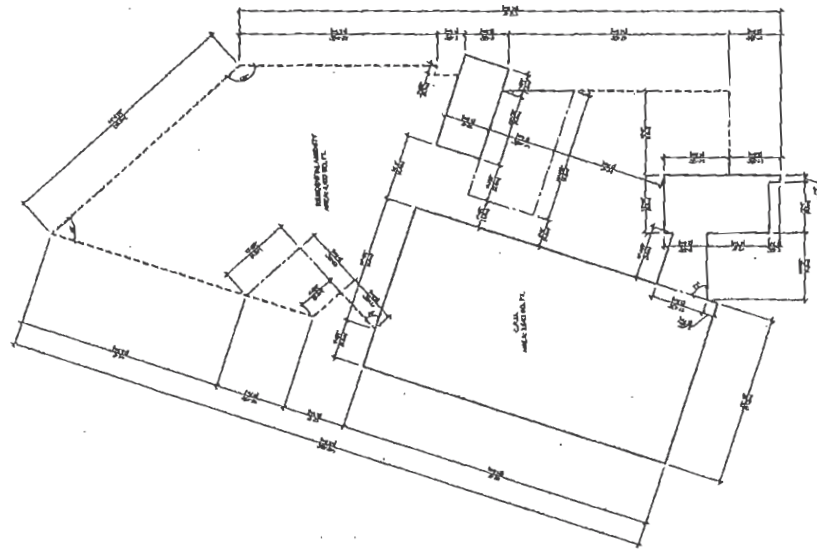
AREA OVERLAY
BUILDING 5 - LEVEL 1 FLOOR PLAN
LEVEL 1, 2

A-212a F

LEVEL 1 FLOOR PLAN
1. AREA OVERLAY
2. AREA OVERLAY
3. AREA OVERLAY
4. AREA OVERLAY



LEVEL 1 FLOOR PLAN
1. AREA OVERLAY
2. AREA OVERLAY
3. AREA OVERLAY
4. AREA OVERLAY



LEVEL 1 FLOOR PLAN
1. AREA OVERLAY
2. AREA OVERLAY
3. AREA OVERLAY
4. AREA OVERLAY

AREA OVERLAY
BUILDING 5 - LEVEL 1 FLOOR PLAN
LEVEL 1, 2

D-11564405

MAR 12 2012

REFERENCE

DATE	DESCRIPTION
03/12/12	REVISED PER COMMENTS
03/08/12	REVISED PER COMMENTS
03/05/12	REVISED PER COMMENTS
03/02/12	REVISED PER COMMENTS
02/28/12	REVISED PER COMMENTS
02/25/12	REVISED PER COMMENTS
02/22/12	REVISED PER COMMENTS
02/19/12	REVISED PER COMMENTS
02/16/12	REVISED PER COMMENTS
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01/13/12	REVISED PER COMMENTS
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01/01/12	REVISED PER COMMENTS

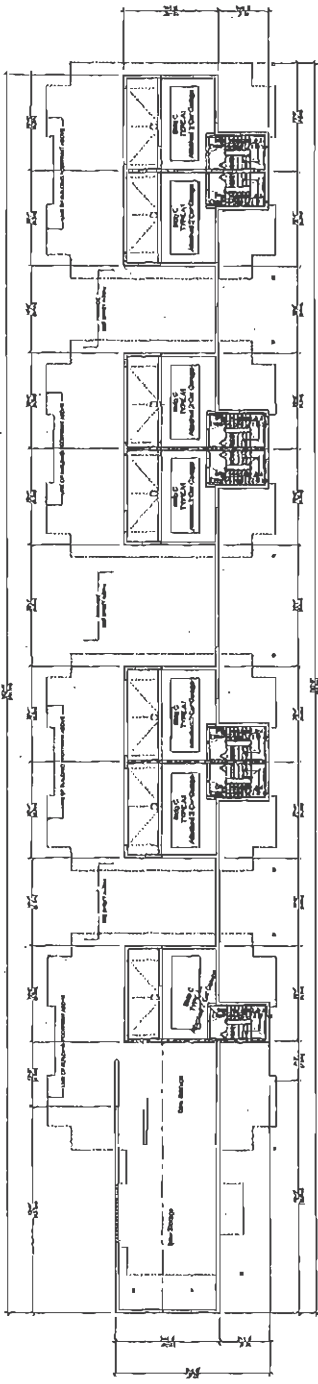
cotter
ARCHITECTS
1000 PINEAPPLE AVENUE, SUITE 100
DALLAS, TEXAS 75201
TEL: 214.760.1000
WWW.COTTERARCHITECTS.COM

PARC RIVIERA
1000 PINEAPPLE AVENUE, SUITE 100
DALLAS, TEXAS 75201
TEL: 214.760.1000
WWW.COTTERARCHITECTS.COM

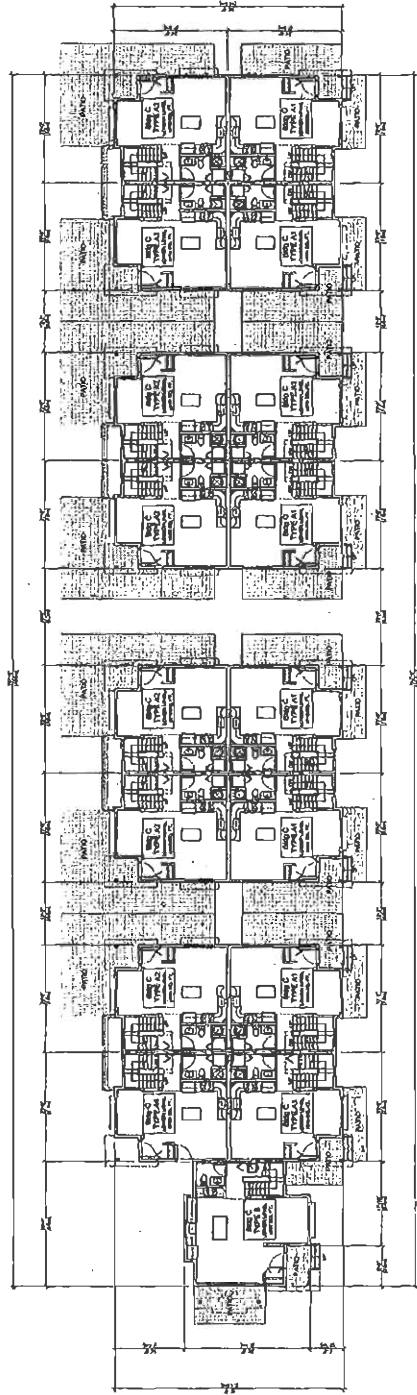
DAVA DEVELOPMENTS, L.P.
1000 PINEAPPLE AVENUE, SUITE 100
DALLAS, TEXAS 75201
TEL: 214.760.1000
WWW.COTTERARCHITECTS.COM

ENGINEER: JAMES W. HARRIS, P.E.
1000 PINEAPPLE AVENUE, SUITE 100
DALLAS, TEXAS 75201
TEL: 214.760.1000
WWW.COTTERARCHITECTS.COM

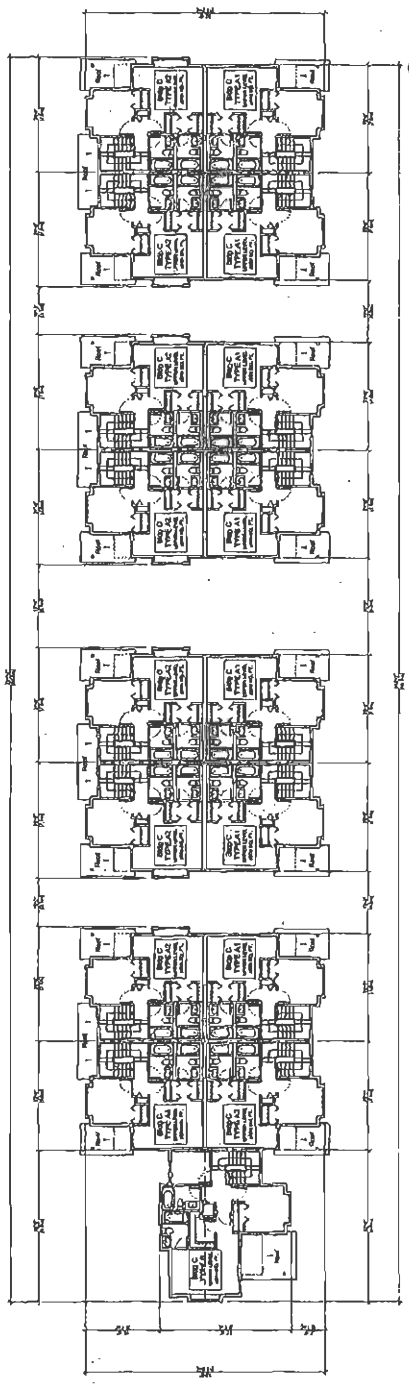
BUILDING C - FIVE FLOOR PLANS



1. BUILDING C - FIVE LEVEL FLOOR PLAN



2. BUILDING C - LEVEL 1 FLOOR PLAN




3. BUILDING C - LEVEL 2 FLOOR PLAN

REFERENCE

MAR 12 2012

P-11564405

KEY PLAN



GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODE (IMC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PLUMBING AND HEATING CODE (IPHC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL FIRE AND ALARM CODE (IFAC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SMOKE CONTROL CODE (ISCC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SAFETY CODE (ISC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL TRANSPORTATION CODE (ITC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL CONSTRUCTION CODE (ICC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL CONSTRUCTION CODE (ICC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.

ACCESSIBILITY NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODE (IMC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
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cotter
ARCHITECTS

PARC RIVIERA
10000 Highway 100
Suite 100
Newport News, VA 23606
Tel: 757/863-1111
Fax: 757/863-1112
www.cotterarchitects.com

PARC RIVIERA
10000 Highway 100
Suite 100
Newport News, VA 23606
Tel: 757/863-1111
Fax: 757/863-1112
www.cotterarchitects.com

DATE: 03/12/12
DRAWN BY: [Name]
CHECKED BY: [Name]
APPROVED BY: [Name]

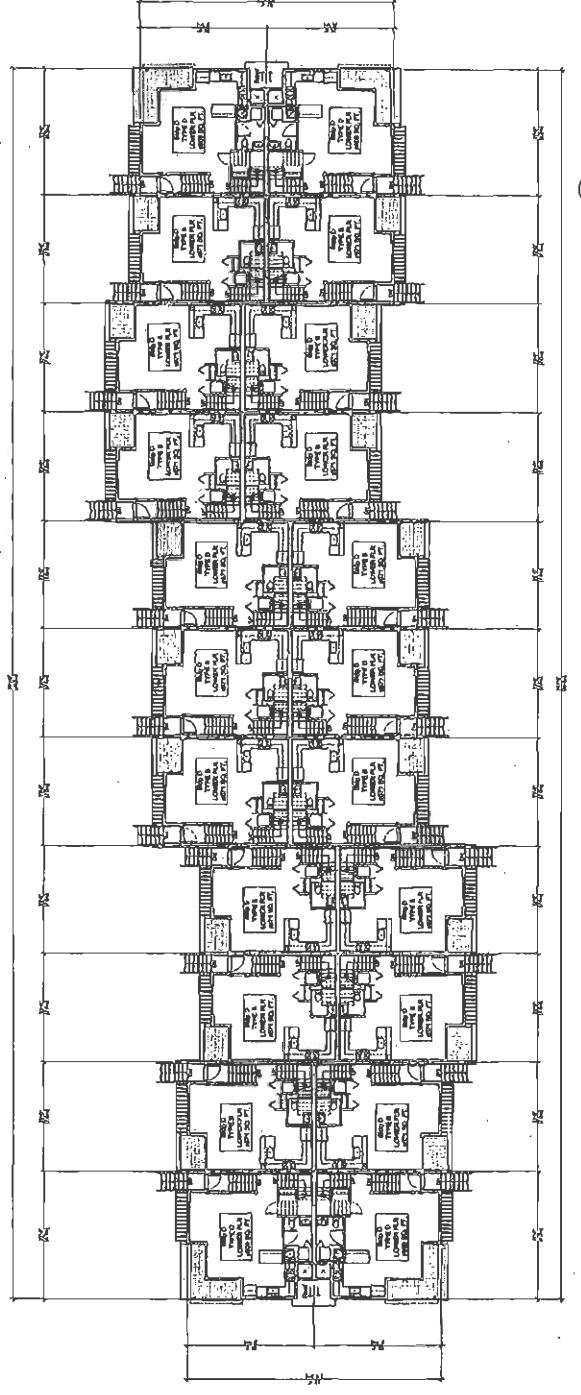
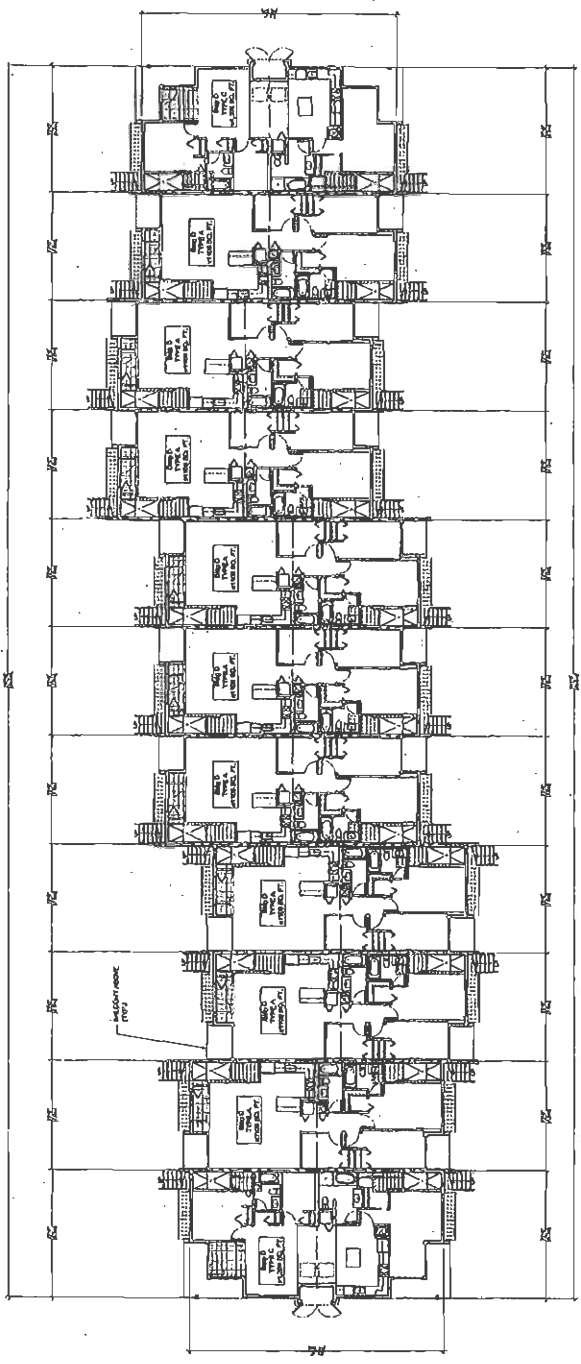
PROJECT: PARC RIVIERA
SHEET: P-11564405
SCALE: AS SHOWN

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	03/12/12

PROJECT LOCATION: PARC RIVIERA
SHEET NO.: P-11564405
SCALE: AS SHOWN

DATE: 03/12/12
DRAWN BY: [Name]
CHECKED BY: [Name]
APPROVED BY: [Name]



REFERENCE

MAR 12 2012

DP-11564405

DATE	12/11/11
PROJECT	PARC BIVIERA
CLIENT	DAVA DEVELOPMENTS LTD.
ARCHITECT	COFTER ARCHITECTS
ENGINEER	COFTER ARCHITECTS
MECHANICAL ENGINEER	COFTER ARCHITECTS
ELECTRICAL ENGINEER	COFTER ARCHITECTS
PLUMBING ENGINEER	COFTER ARCHITECTS
STRUCTURAL ENGINEER	COFTER ARCHITECTS
ENVIRONMENTAL ENGINEER	COFTER ARCHITECTS
LANDSCAPE ARCHITECT	COFTER ARCHITECTS
INTERIOR ARCHITECT	COFTER ARCHITECTS
EXTERIOR ARCHITECT	COFTER ARCHITECTS
CONSTRUCTION MANAGER	COFTER ARCHITECTS
GENERAL CONTRACTOR	COFTER ARCHITECTS
MECHANICAL CONTRACTOR	COFTER ARCHITECTS
ELECTRICAL CONTRACTOR	COFTER ARCHITECTS
PLUMBING CONTRACTOR	COFTER ARCHITECTS
STRUCTURAL CONTRACTOR	COFTER ARCHITECTS
ENVIRONMENTAL CONTRACTOR	COFTER ARCHITECTS
LANDSCAPE CONTRACTOR	COFTER ARCHITECTS
INTERIOR CONTRACTOR	COFTER ARCHITECTS
EXTERIOR CONTRACTOR	COFTER ARCHITECTS
CONSTRUCTION SUPERVISOR	COFTER ARCHITECTS
GENERAL SUPERVISOR	COFTER ARCHITECTS
MECHANICAL SUPERVISOR	COFTER ARCHITECTS
ELECTRICAL SUPERVISOR	COFTER ARCHITECTS
PLUMBING SUPERVISOR	COFTER ARCHITECTS
STRUCTURAL SUPERVISOR	COFTER ARCHITECTS
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EXTERIOR CONTRACTOR	COFTER ARCHITECTS
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GENERAL SUPERVISOR	COFTER ARCHITECTS
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ELECTRICAL SUPERVISOR	COFTER ARCHITECTS
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STRUCTURAL SUPERVISOR	COFTER ARCHITECTS
ENVIRONMENTAL SUPERVISOR	COFTER ARCHITECTS
LANDSCAPE SUPERVISOR	COFTER ARCHITECTS
INTERIOR SUPERVISOR	COFTER ARCHITECTS
EXTERIOR SUPERVISOR	COFTER ARCHITECTS

cofter

ARCHITECTS

PARC BIVIERA

DAVA DEVELOPMENTS LTD.

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ARCHITECTS

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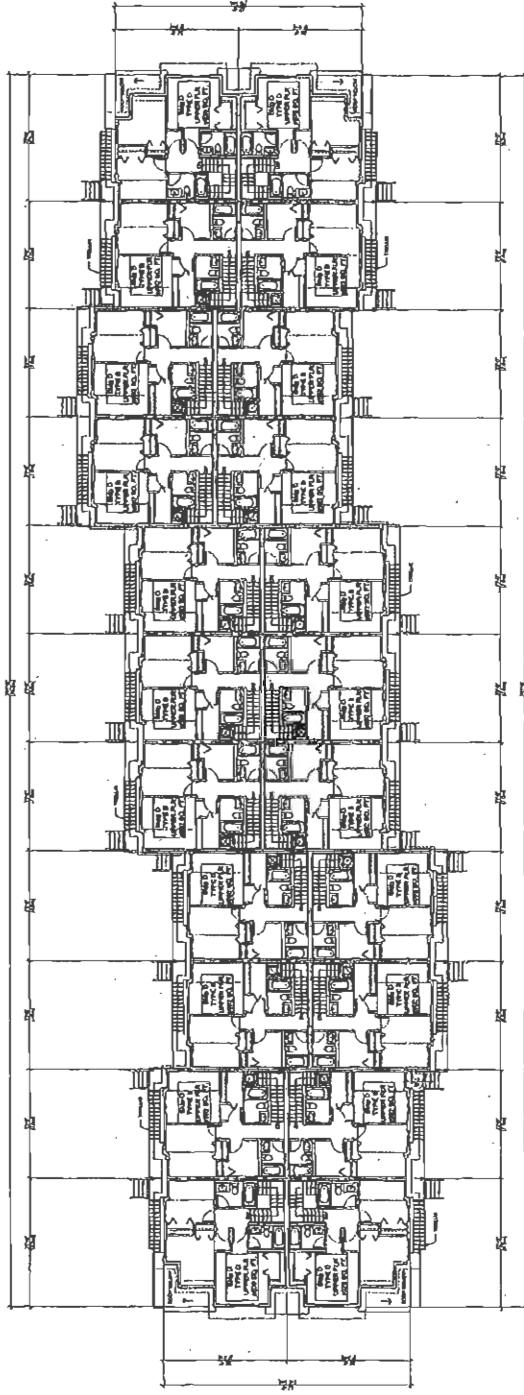
ARCHITECTS

ARCHITECTS

ARCHITECTS

ARCHITECTS

ARCHITECTS



1. BUILDING 0 - LEVEL 3 FLOOR PLAN

REFERENCE

MAR 12 2012



D-11564405

	PROJECT PRINCIPLES
Cotter Architects is pleased to have been selected for this project. We understand the importance of this project and are committed to providing the highest quality of service and design. We will work closely with you throughout the entire process to ensure that your vision is realized and that the project is completed on time and within budget.	
DESIGN PRINCIPLES	
Our design process is based on a thorough understanding of your needs and goals. We will conduct extensive research and analysis to ensure that our design is both functional and aesthetically pleasing. We will also ensure that our design is sustainable and meets all applicable codes and regulations.	
CONSTRUCTION PRINCIPLES	
We will work closely with you and the construction team to ensure that the project is completed on time and within budget. We will provide regular updates and reports throughout the construction process to ensure that you are always informed of the project's progress.	

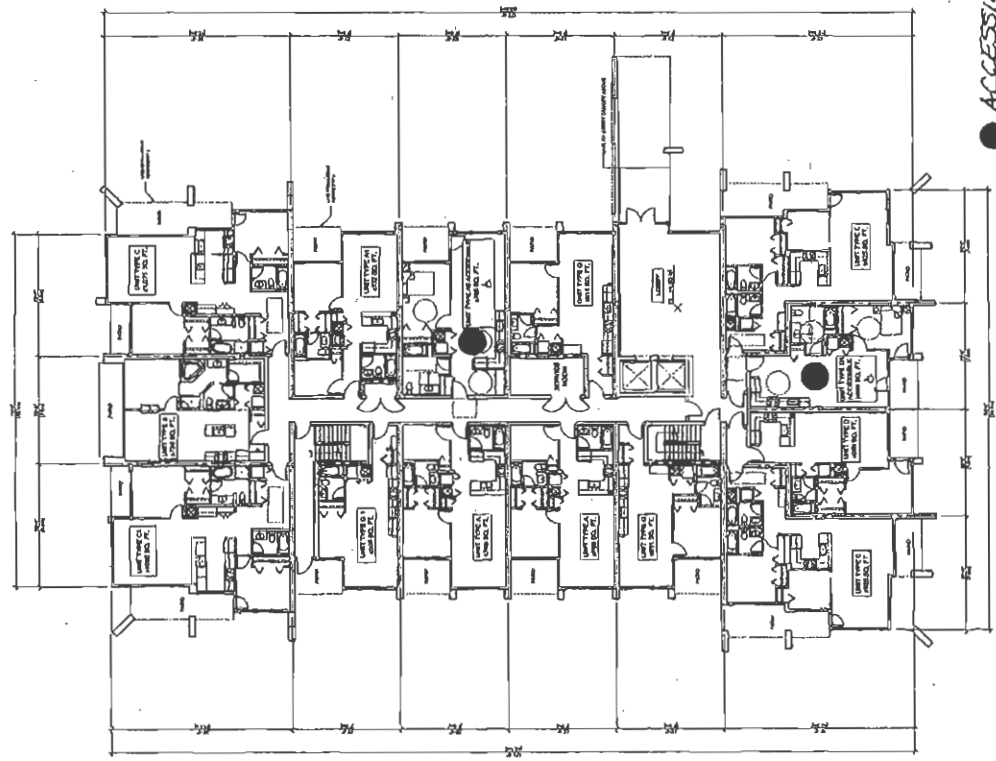
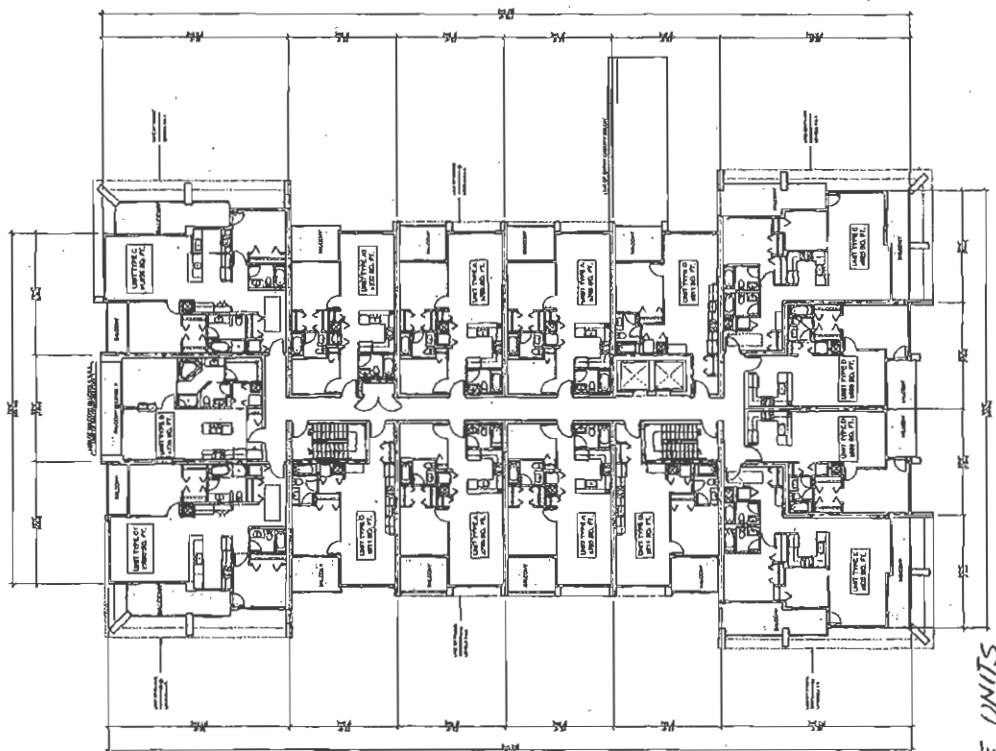
cotter
ARCHITECTS
1000 North Main Street
Northampton, MA 01060
Tel: 413.254.1111
Fax: 413.254.1112
www.cotterarchitects.com

PARC BIVIEA
1000 North Main Street
Northampton, MA 01060
Tel: 413.254.1111
Fax: 413.254.1112
www.parcbiviea.com

DRURY DEVELOPMENT, LLC
One Drury Circle
Northampton, MA 01060
Tel: 413.254.1111
Fax: 413.254.1112
www.drurydevelopment.com

REGISTERED ARCHITECTS LICENSES:
MA: 00000000
VT: 00000000
NH: 00000000
CT: 00000000
RI: 00000000
NY: 00000000
NJ: 00000000
PA: 00000000
MD: 00000000
DE: 00000000
VA: 00000000
NC: 00000000
SC: 00000000
GA: 00000000
FL: 00000000
LA: 00000000
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KS: 00000000
MO: 00000000
IL: 00000000
IN: 00000000
OH: 00000000
MI: 00000000
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NJ: 00000000
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NY: 00000000
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UT: 00000000
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VT: 00000000
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WI: 00000000
WV: 00000000
WY: 00000000
DC: 00000000

A-216 F



ACCESSIBLE UNITS

BUILDING E - LEVELS 1-4 FLOOR PLAN

BUILDING E - LEVEL 1 FLOOR PLAN

REFERENCE

MAR 12 2012

DP-11564405



NO.	REVISION	DATE
1	ISSUE FOR PERMITS	03/12/12
2	ISSUE FOR PERMITS	03/12/12
3	ISSUE FOR PERMITS	03/12/12
4	ISSUE FOR PERMITS	03/12/12
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98	ISSUE FOR PERMITS	03/12/12
99	ISSUE FOR PERMITS	03/12/12
100	ISSUE FOR PERMITS	03/12/12

coffer
ARCHITECTS

200 S. W. 10th Avenue, Suite 100
Fort Lauderdale, FL 33304
Phone: 954.561.1111
Fax: 954.561.1112
www.coffera.com

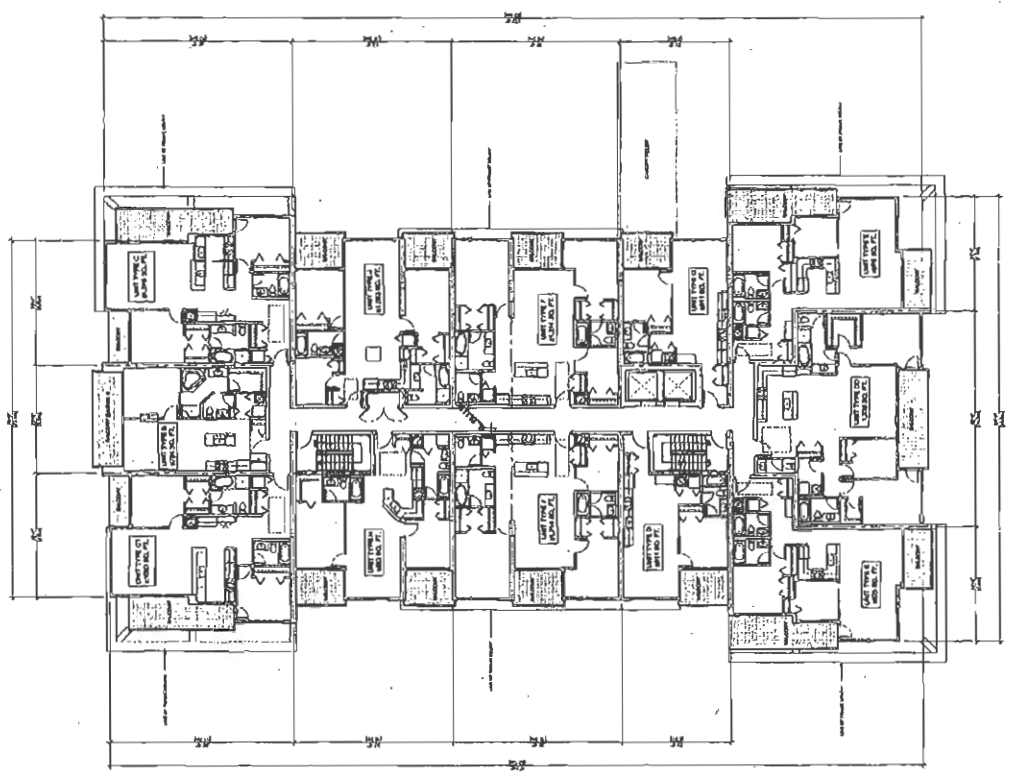


PASC RIVIERA
Principal Architect
1000 S.W. 10th Street, Suite 100
Fort Lauderdale, FL 33304
Phone: 954.561.1111
Fax: 954.561.1112
www.pascriviera.com

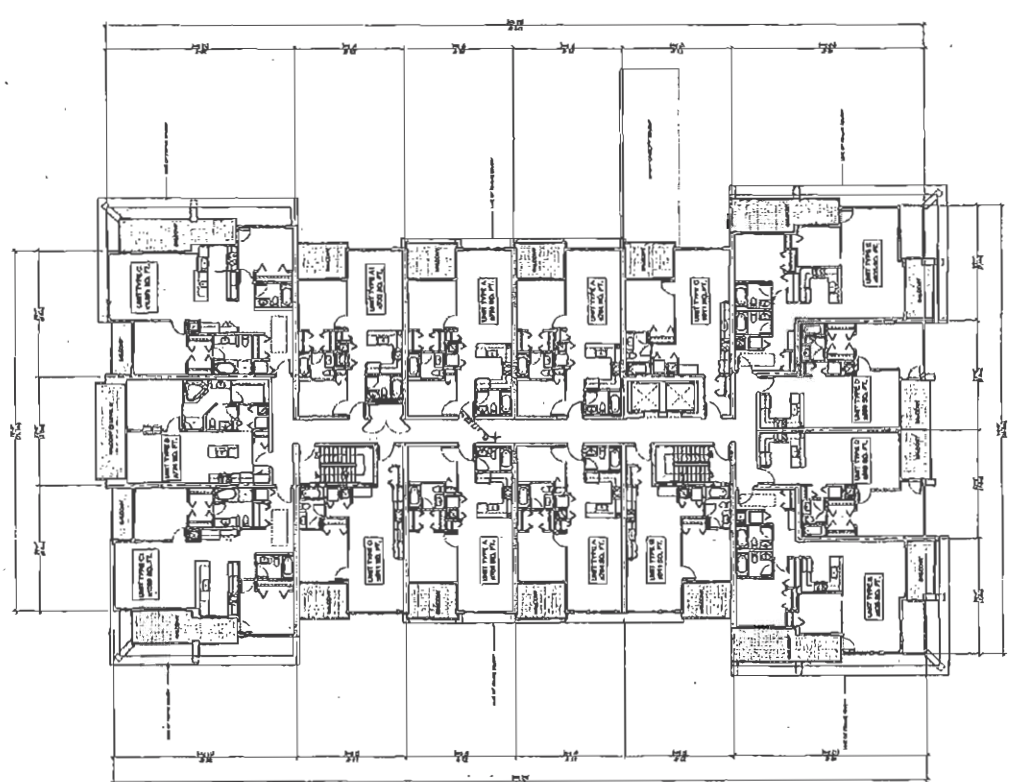
DAVA Development, Ltd.
One Commercial
Other Development

LEVEL 1 FLOOR PLAN
LEVEL 2 FLOOR PLAN

0-2117 E



2 BUILDING LEVEL 2 FLOOR PLAN



1 BUILDING LEVEL 1 FLOOR PLAN

REFEREN CE

MAR 12 2012

D 11564405

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NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODES AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PLUMBING AND HEATING CODES AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL FIRE AND SAFETY CODES AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ENERGY CONSERVATION CODES AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SMOKE CONTROL CODES AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ACCESSIBILITY STANDARDS AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SAFETY STANDARDS AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL HEALTH AND SAFETY STANDARDS AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ENVIRONMENTAL STANDARDS AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.

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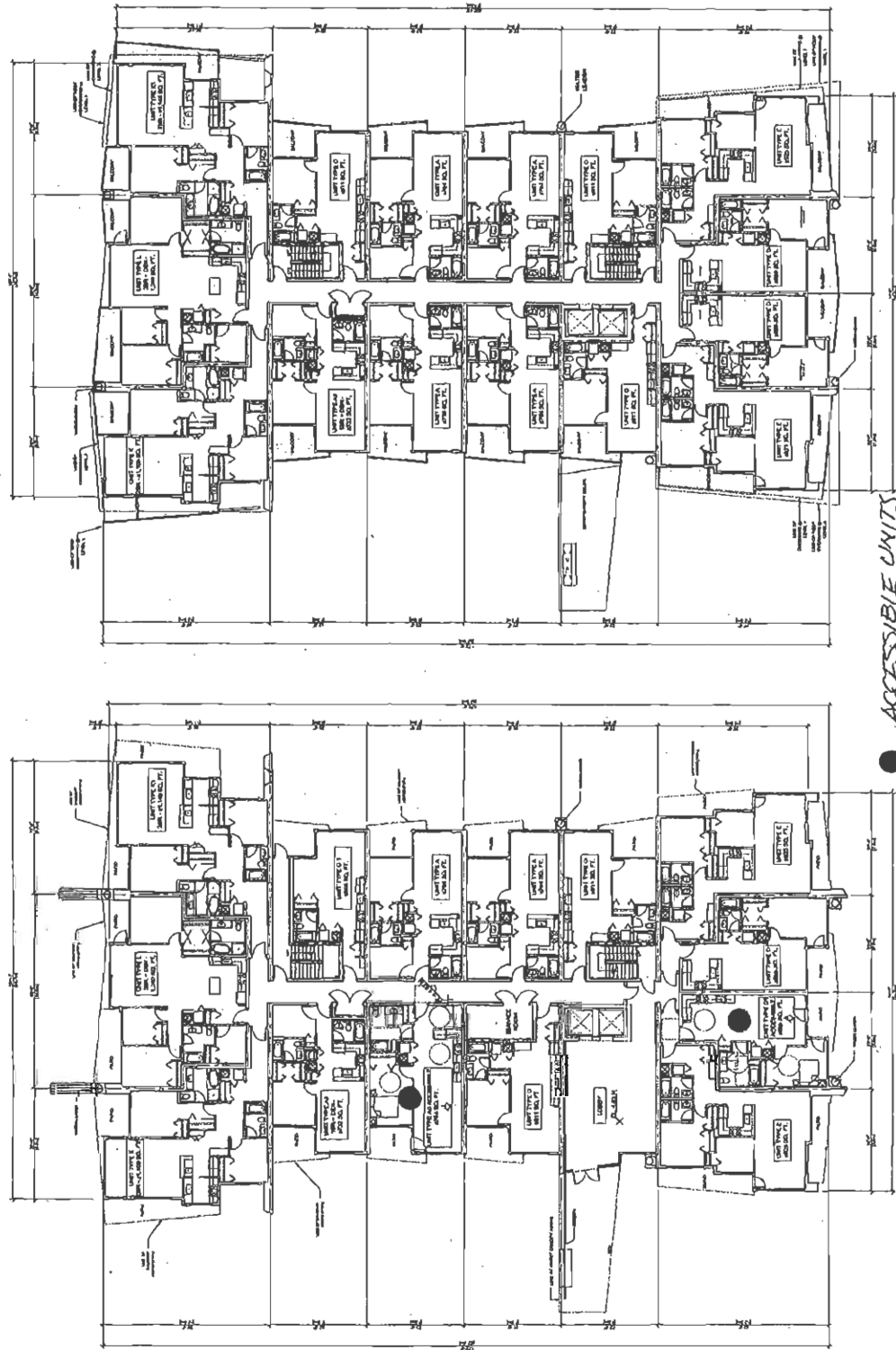
PARC RIVIERA
10000 BAYVIEW BLVD, SUITE 100
DALLAS, TEXAS 75244
TEL: 214-343-1111
WWW.PARCRIVIERA.COM

DAVID DEVELOPMENT LLC
10000 BAYVIEW BLVD, SUITE 100
DALLAS, TEXAS 75244
TEL: 214-343-1111
WWW.PARCRIVIERA.COM

DAVID CONSULTING
10000 BAYVIEW BLVD, SUITE 100
DALLAS, TEXAS 75244
TEL: 214-343-1111
WWW.PARCRIVIERA.COM

LEVEL 14 FLOOR PLANS

A-218 F



ACCESSIBLE UNITS

7 BUILDING F - LEVEL 14 FLOOR PLAN

1 BUILDING F - LEVEL 15 FLOOR PLAN

REFERENCE

MAR 12 2012

D-11564405

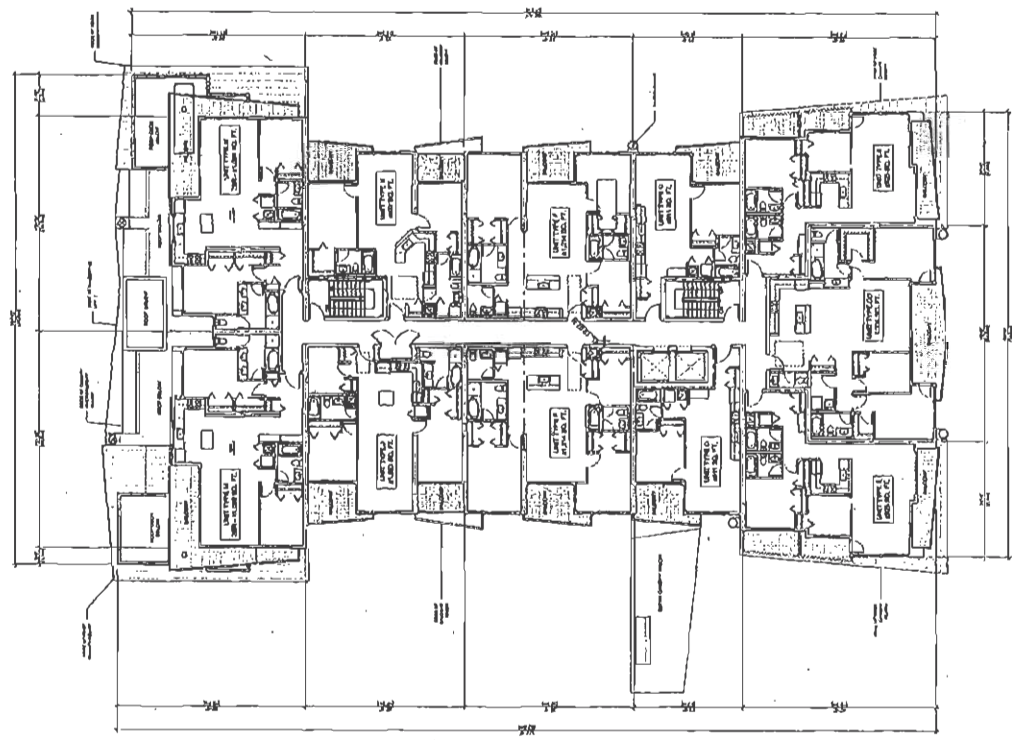
<p>NOTES:</p> <p>1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN NATIONAL STANDARDS (CNS) AND THE CANADIAN BUILDCODE REGULATIONS (CBC).</p> <p>2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN NATIONAL STANDARDS (CNS) AND THE CANADIAN BUILDCODE REGULATIONS (CBC).</p> <p>3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN NATIONAL STANDARDS (CNS) AND THE CANADIAN BUILDCODE REGULATIONS (CBC).</p> <p>4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN NATIONAL STANDARDS (CNS) AND THE CANADIAN BUILDCODE REGULATIONS (CBC).</p> <p>5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN NATIONAL STANDARDS (CNS) AND THE CANADIAN BUILDCODE REGULATIONS (CBC).</p> <p>6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN NATIONAL STANDARDS (CNS) AND THE CANADIAN BUILDCODE REGULATIONS (CBC).</p> <p>7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN NATIONAL STANDARDS (CNS) AND THE CANADIAN BUILDCODE REGULATIONS (CBC).</p> <p>8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN NATIONAL STANDARDS (CNS) AND THE CANADIAN BUILDCODE REGULATIONS (CBC).</p> <p>9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN NATIONAL STANDARDS (CNS) AND THE CANADIAN BUILDCODE REGULATIONS (CBC).</p> <p>10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN NATIONAL STANDARDS (CNS) AND THE CANADIAN BUILDCODE REGULATIONS (CBC).</p>	<p>ACCESSIBILITY NOTES:</p> <p>1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN NATIONAL STANDARDS (CNS) AND THE CANADIAN BUILDCODE REGULATIONS (CBC).</p> <p>2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN NATIONAL STANDARDS (CNS) AND THE CANADIAN BUILDCODE REGULATIONS (CBC).</p> <p>3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN NATIONAL STANDARDS (CNS) AND THE CANADIAN BUILDCODE REGULATIONS (CBC).</p> <p>4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN NATIONAL STANDARDS (CNS) AND THE CANADIAN BUILDCODE REGULATIONS (CBC).</p> <p>5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN NATIONAL STANDARDS (CNS) AND THE CANADIAN BUILDCODE REGULATIONS (CBC).</p> <p>6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN NATIONAL STANDARDS (CNS) AND THE CANADIAN BUILDCODE REGULATIONS (CBC).</p> <p>7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN NATIONAL STANDARDS (CNS) AND THE CANADIAN BUILDCODE REGULATIONS (CBC).</p> <p>8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN NATIONAL STANDARDS (CNS) AND THE CANADIAN BUILDCODE REGULATIONS (CBC).</p> <p>9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN NATIONAL STANDARDS (CNS) AND THE CANADIAN BUILDCODE REGULATIONS (CBC).</p> <p>10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN NATIONAL STANDARDS (CNS) AND THE CANADIAN BUILDCODE REGULATIONS (CBC).</p>
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cotter
 2000 SHEPPARD AVENUE EAST, SUITE 100
 SCARBOROUGH, ONTARIO M1S 1T6
 TEL: (416) 291-1111
 FAX: (416) 291-1112
 WWW.COTTERARCHITECTS.COM

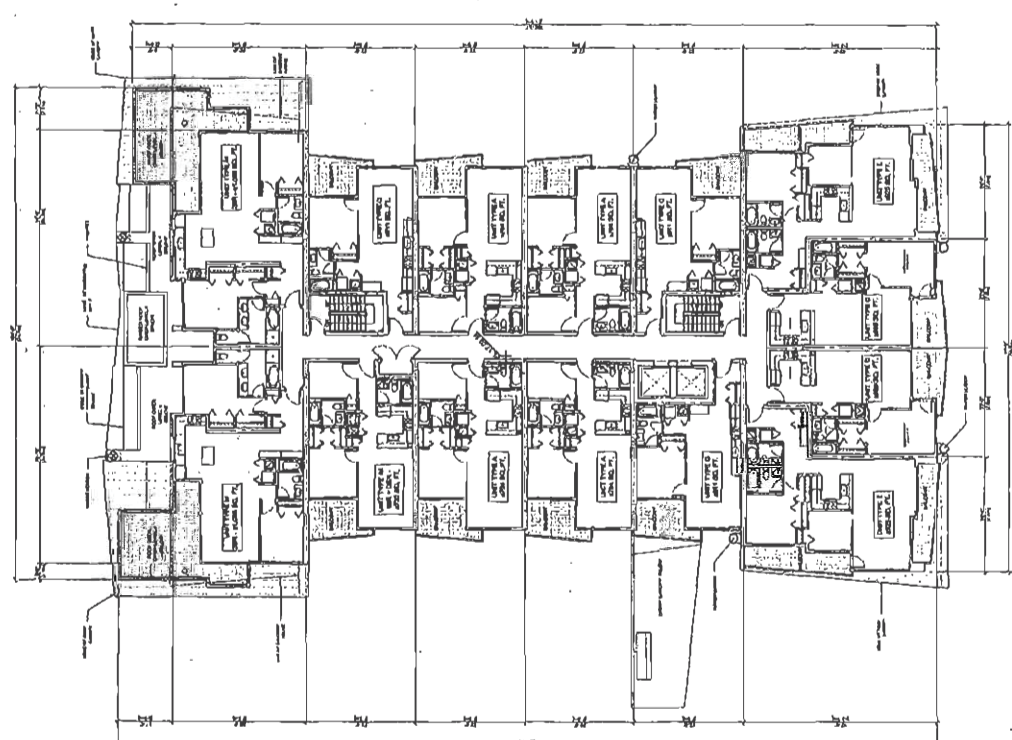
PARC RIVIERA
 1000 SHEPPARD AVENUE EAST, SUITE 100
 SCARBOROUGH, ONTARIO M1S 1T6
 TEL: (416) 291-1111
 FAX: (416) 291-1112
 WWW.PARC-RIVIERA.COM

DAVA Development Ltd.
 1000 SHEPPARD AVENUE EAST, SUITE 100
 SCARBOROUGH, ONTARIO M1S 1T6
 TEL: (416) 291-1111
 FAX: (416) 291-1112
 WWW.DAVA-DEVELOPMENT.COM

BUILDING F - LEVEL 5 FLOOR PLAN
 1/2" = 1'-0"



3 BUILDING F - LEVEL 5 FLOOR PLAN



4 BUILDING F - LEVEL 5 FLOOR PLAN

REFERENCE

MAR 12 2012



DP-11564405



NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL ORDINANCES.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL ORDINANCES.
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GENERAL NOTES:

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10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL ORDINANCES.

cotter
ARCHITECTS

1000 AVENUE OF THE ARTS
SUITE 1000
MIAMI, FL 33136
TEL: 305.375.1100
WWW.COTTERARCHITECTS.COM

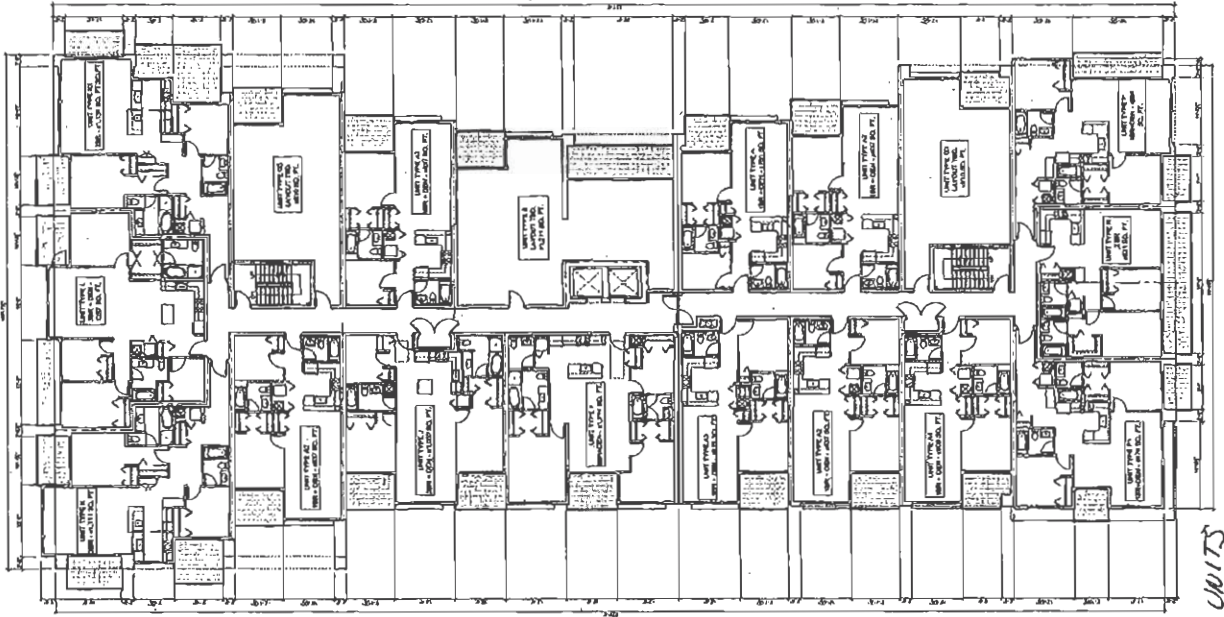


PARC RIVIERA
RESIDENTIAL DEVELOPMENT
1000 AVENUE OF THE ARTS
SUITE 1000
MIAMI, FL 33136
TEL: 305.375.1100
WWW.PARCRIVIERA.COM

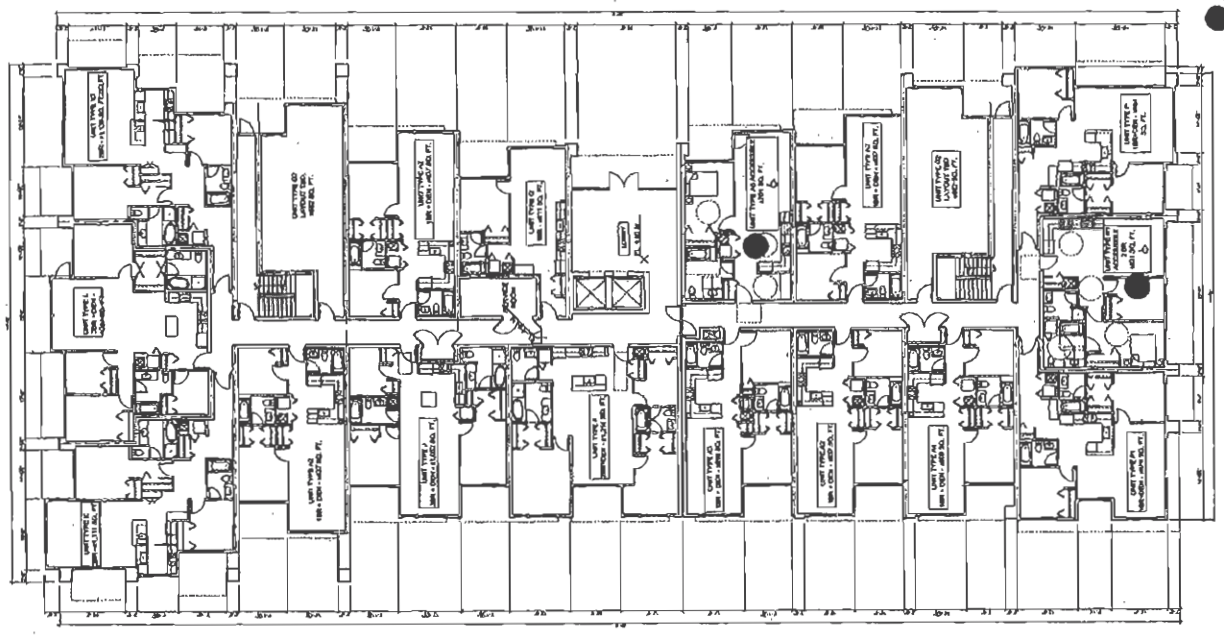
DAVA DEVELOPMENT LLC
1000 AVENUE OF THE ARTS
SUITE 1000
MIAMI, FL 33136
TEL: 305.375.1100
WWW.DAVADEVELOPMENT.COM

DAVA DEVELOPMENT LLC
1000 AVENUE OF THE ARTS
SUITE 1000
MIAMI, FL 33136
TEL: 305.375.1100
WWW.DAVADEVELOPMENT.COM

DAVA DEVELOPMENT LLC
1000 AVENUE OF THE ARTS
SUITE 1000
MIAMI, FL 33136
TEL: 305.375.1100
WWW.DAVADEVELOPMENT.COM



BUILDING G - LEVELS 2 & 4 FLOOR PLAN



BUILDING G - LEVEL 1 FLOOR PLAN

ACCESSIBLE UNITS



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REFERENCE

MAR 12 2012



D-11564405

NOTES

1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE NOTED.
2. ALL WORK IS TO BE ACCORDING TO THE LATEST EDITIONS OF THE BRITISH STANDARDS INSTITUTION (BSI) STANDARDS.
3. ALL WORK IS TO BE ACCORDING TO THE LATEST EDITIONS OF THE BRITISH STANDARDS INSTITUTION (BSI) STANDARDS.
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LEGEND

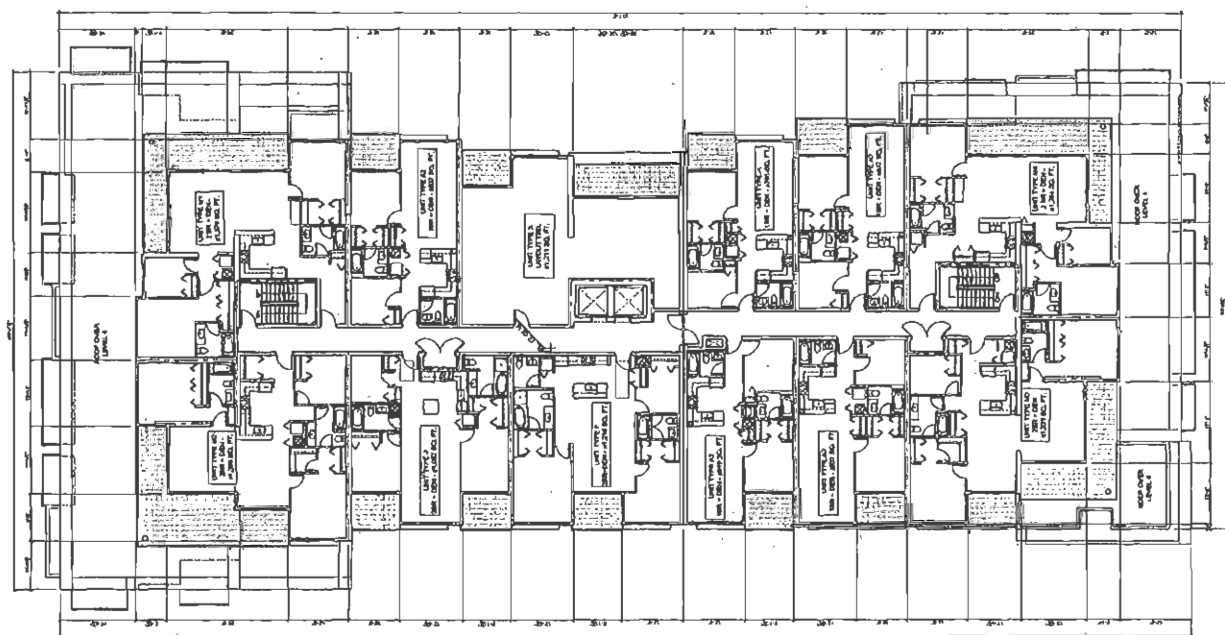
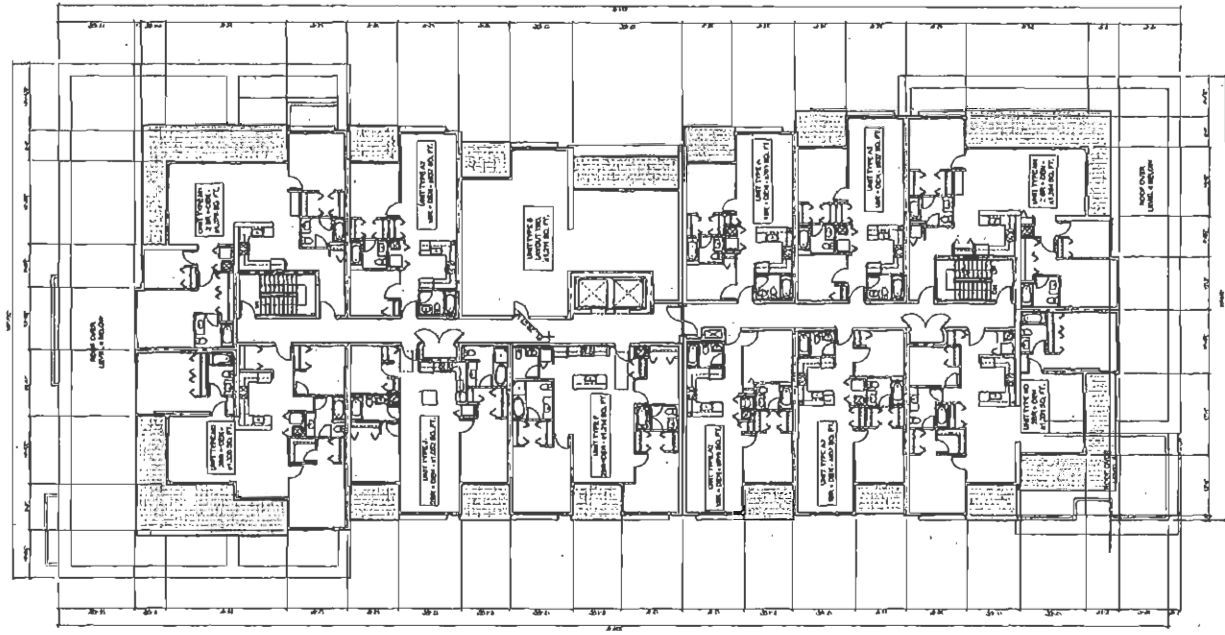
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cotter
ARCHITECTS

PARIC BIVJERA
ARCHITECT
1000-10011, Tower 10, 10th
Floor, 1000-10011, Tower 10,
Aurum, E-11

DMA Development Ltd
1000-10011, Tower 10, 10th
Floor, 1000-10011, Tower 10,
Aurum, E-11

DESIGNING 0
LEVEL 5 & FLOOR PLANS



BUILDING 5 - LEVEL 5 FLOOR PLAN