



City of Richmond
Planning and Development Department

Report to Development Permit Panel

To: Development Permit Panel
From: Brian J. Jackson, MCIP
Director of Development
Date: March 1, 2010
File: DP 08-429887
Re: **Application by Orion Estates Ltd. for a Development Permit at 7140 Railway Avenue**

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of 12 town houses at 7140 Railway Avenue on a site zoned "Town Housing (ZT23) – Laurelwood"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - a) Reduce the Minimum Public Road Setback from 6 m to 4.5 m and to 4.0 m at the west corner of the northern building for the open porch and second floor open balcony.
 - b) Permit 45% small car parking spaces (12 small car spaces of 27 total parking spaces).

Brian J. Jackson, MCIP
Director of Development

BJJ:sb
Att.

Staff Report

Origin

Orion Estates Ltd. has applied to the City of Richmond for permission to develop 12 town houses at 7140 Railway Avenue on a site zoned "Town Housing (ZT23) – Laurelwood". The site currently contains a single-family home.

The site is being rezoned from "Single-Detached (RS1/E) to "Town Housing (ZT23) – Laurelwood" for this project under Bylaw 8343 (RZ 07-361266). The Bylaw also amends the zoning district to reduce the minimum lot size.

The zoning district names have changed as the rezoning application was submitted under the former Zoning & Development Bylaw No. 5300 to rezone the site from "Single-Family Housing District, Subdivision Area E (R1/E)" to "Comprehensive Development District (CD/54)". The architect has also changed from Zebroski Associates Ltd. Architect to Patrick Cotter Architect Inc.

A Servicing Agreement (SA 09-483426) for frontage improvements, establishment of a public path, lane upgrade, watermain and storm sewer upgrade was secured through the rezoning.

Development Information

Please refer to attached Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

The Blundell Area and Laurelwood Sub-Area lot is located at the curve of the major arterials Granville Avenue and Railway Avenue. Roughly, the northern half of the triangular lot is included in the Laurelwood Sub-Area Plan. Development surrounding the lot includes:

- To the north, across Granville Avenue, is Burnett High School, zoned "School and Institutional Use (SI)". Neighbouring the high school site is Thompson Community Centre and Blair Elementary;
- To the east, is a 155-unit town house development fronting onto Lynwood Road and a vacant City-owned lot at 7117 Lindsay Road, both zoned "Town Housing (ZT23) – Laurelwood". Across the rear lane are single-family homes, under Land Use Contract (LUC 033);
- To the south, are single-family homes, under Land Use Contract (LUC 050) and zoned "Single-Detached (RS1/E)"; and
- To the west, across Railway Avenue is the unused CPR rail right-of-way, and across McCallan Road, strata-titled duplexes and single-family homes, zoned "Two-Unit Dwellings (RD1)" and "Single-Detached (RS1/E)".

Rezoning and Public Hearing Results

During the rezoning process, staff identified the following design issues to be resolved at the Development Permit stage [response included in *'bold italics'*]:

- Detailed review of building form and architectural character. Design development is needed throughout the project to provide articulation, harmonize proportions, rationalize garage design, and emphasize pedestrian orientation – *Design substantially improved through the project redesign process with the new architect.*
- Careful detailing of the building and front yard area adjacent to the Oak tree which is to be protected and retained in the boulevard. As noted previously, Parks Department staff is concerned about compounded impact of construction activity on the long-term health of the Oak tree. Successful protection will need coordination between the contractor, site arborist, engineering design consultant, City Engineering and Parks staff – *The developer, architect, engineering consultant, arborist, and City staff have been working together to protect the existing Oak tree.*

The Public Hearing for the rezoning of this site was held on April 21, 2008. At the Public Hearing, correspondence objecting to the rezoning was received. The following concerns about the architectural form and character of the development were expressed and were responded to during the meeting [response included in *'bold italics'*]:

- Vehicle and pedestrian access to Railway Avenue – *The development includes a new public path connecting to Railway in a Property Right-of-Way (PROP ROW) along the east property line. Vehicle access will be limited to the existing rear lane.*
- Adequacy of off-street parking provision – *Each unit includes a two (2) car garage and visitor parking is provided on-site.*

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the “Town Housing (ZT23) – Laurelwood” except for the zoning variances noted below.

Zoning Compliance/Variances (staff comments in **bold**)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Reduce the Minimum Public Road Setback from 6 m to 4.5 m and to 4.0 m at the west corner of the northern building for the open porch and second floor open balcony.

(Staff supports the proposed variance as it increases the setback to the east property line, and therefore increases the openness of the public pedestrian corridor along the east property line. The variance is a result of the irregular shape of the development site. Greater setbacks are provided at the north and south edges of the site where the project has interfaces to the front yards of the adjacent town house and single-family development. A reduced 4.5 m front yard setback was identified in the data sheet and preliminary concept included in the rezoning staff report and no concerns about the variance were expressed by the Public.)

2) Permit 45% small car parking spaces (12 small car spaces of 27 total parking spaces).

(Staff supports the proposed variance as it allows for the provision of a greater number of parking spaces for the development in standard two (2) car garages. The variance is limited to one small car parking space for each of the 12 town houses inside a standard two (2) car garage.)

Advisory Design Panel Comments

The Advisory Design Panel was supportive of the project and asked the applicant to consider making identified architectural and landscaping design improvements. An annotated copy of the relevant excerpt from the Advisory Design Panel Minutes from July 22, 2009 is attached for reference (**Attachment 2**). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '*bold italics*'.

Analysis

Conditions of Adjacency

- The proposed development includes appropriate interfaces to Granville Avenue and Railway Avenue, enhanced and animated with pedestrian-oriented front entries and landscaped front yards with a mix of Evergreen and deciduous tree planting.
- The development presents an appropriate mix of passive side yards, public path, front yards, green space, drive aisle, and landscape buffer interface to the adjacent town house development to the east and single-family home to the south.
- An appropriate transition in scale is provided with two-storey town houses along the south edge of the development site at the interface with the existing adjacent single-family lot.
- The development includes screening to the adjacent residential properties, with 1.8 m height privacy wood fencing and a mix of shrub and tree planting.

Urban Design and Site Planning

- The proposed development achieves a scale, design, circulation, public pedestrian path, internal road layout, and lane upgrade that addresses and improves the pattern and transportation network of the neighbourhood.
- A public path (PROP ROW) is provided along the east edge of the site, connecting the existing rear lane with the intersection of Railway Avenue and Granville Avenue. This will permanently establish the existing informal path that connects the existing neighbourhood to the southeast with the schools, community centre and park amenities located across Granville Avenue. Registration of a right-of-way (PROP ROW) and construction of a public path through a Servicing Agreement were secured through the rezoning.
- The outdoor amenity space is provided in two (2) areas, both provided along and contributing to the streetscape. A semi-private garden area is provided next to the north end of the internal drive aisle, providing residents with gardening beds in a fenced area. A significant unfenced passive green space is provided at the curve of Railway Avenue, at the north end of the public path along the east property line. The open space provides a sense of openness at the north end of the pedestrian path and a green link to the park space across Granville Avenue.
- The proposed pedestrian-oriented town house mixed-scale massing expression that curves along Railway Avenue and Granville Avenue with predominantly three-storey building height expresses the uniqueness of the site shape. The town house expression along the streetscape defines the edge of the public road.

- The curving property line along Railway Avenue and shifting building orientations provide visual interest along the streetscape and along the internal drive aisle.
- The proposed site layout includes 12 town houses in five (5) separate three-storey buildings including two-storey town houses at the south edge. All town houses along Railway Avenue have pedestrian-oriented front entries and gated front yards facing the streetscape, which are connected to the public sidewalk with either a shared or individual pedestrian path.
- Town house unit entries and vehicle garage entries are located on opposite ends of 10 of the 12 town houses. For two (2) internal units, the front entries and vehicle garage entries are separated from each other on different building faces, reinforcing the pedestrian orientation of the front entries.
- Private pedestrian routes are provided through the site connecting to Railway Avenue.
- Vehicular access is from the existing rear lane which runs from Lindsay Road through to Linfield Gate.
- Transportation infrastructure improvements were secured through the rezoning and provided through a required Servicing Agreement for works including:
 - Railway Avenue: Retention of the two (2) existing Oak boulevard trees and improvements along the entire frontage. Works include, but are not limited to, removing the existing sidewalk and relocating it closer to the property line, around the existing trees, with a new 1.5 m concrete sidewalk located on the same alignment/offset as the existing sidewalk ending at the "bend" of Granville Avenue/Railway Avenue complete with street lighting and a grass boulevard with street trees.
 - Public Path: Construct a new 2 m wide concrete walkway in a new 3 m PROP ROW complete with the required drainage and walkway lighting from Granville Avenue southward to the lane. The path way is to be built by the developer and maintained in the future by the City.
 - Lane: Upgrade existing rear lane with works including, but not limited to, storm sewer, "roll over" curb/gutter (both sides), 5.1 m wide asphalt pavement and lane lighting.
- Off-street parking for residents and visitors complies with the Zoning Bylaw requirements, including accessible parking. Visitor parking is centrally located. Off-street parking is accessed from the internal drive aisles, with the exception of the southeast town house unit, which has garage access directly from the existing rear lane.
- A roofed structure enclosing garbage and recycling is provided near the rear lane vehicle entry. Garbage and recycling collection will be from the existing lane.
- Mailboxes are provided at the side of the garbage and recycling enclosure.

Architectural Form and Character

- The three-storey building massing is appropriate along Railway Avenue and is articulated with: porches, projecting bays, main and secondary roof dormer elements with gable treatment, and a mix of building materials.
- The 12 town houses are provided in five (5) three-storey buildings ranging in size from two (2) to three (3) units each. Two (2) two-storey units are provided along the site's south edge.
- All of the town houses along the Railway streetscape feature frontage character with pedestrian-oriented entries with open porches.

- There are two (2) units located at the interface with the rear lane to the southeast. The unit that is located at the vehicle entry to the development fronts onto the lane and features frontage character pedestrian-oriented entry, upper floor gabled dormer bay projection connecting to pilasters at the entry, and fenced semi-private yard accessed from the internal drive aisle. The second unit at the south edge of the site, features a standard garage as a transition to the single-family lots to the south.
- The proposed building materials are generally consistent with the Official Community Plan (OCP) guidelines, including: HardiePlank fibre cement horizontal siding, HardieShingle fibre cement wall shingles, board and batten with HardiePanel fibre cement board, painted wood trim, and asphalt shingles.
- The colour palette includes a range of taupe, highlighted with white bay and trim elements and muted red for accent colour.
- The impact of blank garage doors has been mitigated with a panel pattern and transom windows, pedestrian entries, small planting areas, and generous building spacing for pedestrian pathways through the development. Natural light is provided into each of the garages, either through windows or transom windows in the garage door.
- One (1) convertible unit is provided, designed with conversion for universal accessibility in mind. Conversion would require installation of a vertical lift, accessed from both the garage and the main floor living area to provide access to both floors of the two-storey unit. The floor framing includes framing for the potential shaft opening. A slab depression is provided for a pit. This unit also includes a layout for a kitchen and bathroom that is appropriate for wheelchair manoeuvring.
- All units include aging in place features, such as handrails, lever handles, and blocking in washroom walls for future grab bar installation.

Tree Retention and Replacement Strategy

- An Arborist report and tree retention and removal strategy was included in the rezoning staff report presented to the public and Council. No concerns were expressed about tree retention at Public Hearing.

Bylaw-sized trees	Existing	Retain	Remove	Compensation
On-site	4	0	4	29 new trees, which exceeds 2:1 replacement ratio
Boulevard	3	2	1	Approximately 10 new street trees, which exceeds 2:1 replacement ratio
Neighbouring	7	Protect	None	

- The removal of four (4) bylaw-sized trees on-site will be replaced with the planting of 29 new trees ranging in size from 6 cm to 10 cm calliper for deciduous trees and 2.5 m height for Evergreen trees. With more than a 7:1 replacement ratio, the proposal exceeds the 2:1 replacement ratio sought in the OCP.
- Two (2) existing Oak trees in the Railway Avenue boulevard will be protected and retained. The Servicing Agreement includes careful engineering design to accommodate the protection of the trees and the needed City infrastructure. A contract with a registered arborist for the protection of the trees was secured through the rezoning.

- One (1) other boulevard tree is proposed for removal due to conflict with required infrastructure improvements secured through the required Servicing Agreement as identified in the rezoning staff report. The frontage improvements will include the planting of approximately 10 new street trees, which exceeds the 2:1 replacement, or two (2) replacement trees that staff would seek.

Landscape Design and Open Space Design

- On-site outdoor amenity space is provided in two (2) locations along the streetscape, both contributing to the streetscape. The amenity areas are generous and meet the OCP requirements for size, location, visual surveillance and access.
- As noted above, an outdoor amenity garden area is provided next the north end of the internal drive aisle providing residents with gardening beds in a fenced area.
- As noted above, a second outdoor amenity area is provided as a significant unfenced passive green space at the north end of the public path along the east property line. The open space provides: a green open space at the intersection of Granville Avenue and Railway Avenue; a sense of openness at the north end of the public pedestrian path; and a green link to the park space across Granville Avenue.
- Children's play equipment is not provided for this small development, which is located across the street from a City Park with significant playgrounds. 9 of the 12 units have private yard areas which provide contained outdoor space for children.
- An open area is provided at the existing Oak City boulevard tree. Planting and fence lines are pulled back to respect the root zone of the mature Oak tree.
- The landscape plan includes communal, and semi-private landscaped spaces. In addition to the new trees noted above, the landscape design includes a variety of shrubs, perennial, ground cover, grasses and lawn planting.
- Fencing will include open rail wood fencing along the streetscape with individual front yard gates, communal entry gates, and the outdoor amenity garden area. 1.8 m height wood privacy fencing will be provided along the interior south property line outside of the road setback, and lower 1.2 m fencing along the lane.
- Paving treatment includes a variety of materials to mark the internal drive aisle entries, improve the internal streetscape, increase site permeability, and differentiate between pedestrian and vehicle areas. Materials include asphalt, concrete, and unit pavers.

Sustainability

The proposal complies with Smart Growth principles of providing denser residential development in close proximity to bus routes and community amenities, such as schools and community centres. The project will incorporate the following sustainable measures:

- Proximity to public transportation (along Granville Avenue and Railway Avenue)
- Drought tolerant/native plant species
- Enhanced on-site permeability in the form of soft landscaping and pavers
- Enhanced pedestrian realm, including new public path, to encourage walking
- Rigid insulation beneath entire slab of ground floor habitable space to improve envelope performance
- Low E glass to improve envelope performance by reducing solar heat gain
- Energy efficient appliances

Floodplain Management

- The proposal complies with Flood Plain Designation and Protection Bylaw No. 8204. The Bylaw requires minimum flood construction level of 2.9 m (geodetic) and includes an exemption that allows the subject 'Area A' site to be developed with habitable area at 0.3 m above the highest crown of road.
- Registration of a flood indemnity covenant was secured through the rezoning.

Servicing Capacity

As noted in the rezoning staff report, a Servicing Agreement was secured through the rezoning, including engineering infrastructure improvements:

- Storm Sewer: Upgrade across the Railway frontage (approximately 96 m of sewer pipe upgraded to 1050mmØ from the existing manhole MH654 to MH652).
- Watermain: Upgrade across Railway Avenue and along the site frontage (approximately 115 m of 100mmØ watermain pipe upgraded to 200mmØ across the frontage and complete with a 200mmØ road crossing connected to the existing 300mmØ watermain along the west side of Railway Avenue at the south edge of the site).

Community Benefits

- As outlined in the rezoning staff report, the proposal includes the following community benefits which were secured through the rezoning:
- Registration of a 3 m wide public path PROP ROW along the east property line for a public access to the intersection of Granville and Railway Avenues, which is to be built by the developer and maintained in the future by the City.
- The provision of \$0.60 per buildable ft² (e.g., \$11,423) towards the City's Affordable Housing Strategy.
- The provision of \$12,000 in-lieu of on-site indoor amenity space for the town house development as per the Official Community Plan (OCP) and Council policy.

Conclusions

The applicant has satisfactorily addressed staff and the Advisory Design Panel's comments regarding conditions of adjacency, site planning and urban design, architectural form and character, and landscape design during the Development Permit review process. The proposal for frontage improvements and the formalization of a well-used public pedestrian path support the vision for this area. The design has improved significantly, and staff are supportive of this multi-family residential development, which is in close proximity to bus routes, a park, two (2) schools, and a community centre. Staff recommend support of this Development Permit application.

Sara Badyal

Sara Badyal, M. Arch, MCIP
Planner 2 (Urban Design)

SB:sb

The following are to be met prior to forwarding this application to Council for approval:

- Receipt of a Letter-of-Credit for landscaping in the amount of \$50,784.00.

Prior to future Building Permit issuance, the developer is required to complete the following:

- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Division at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Division (<http://www.richmond.ca/services/ttp/special.htm>).



City of Richmond

6911 No. 3 Road
 Richmond, BC V6Y 2C1
 www.richmond.ca
 604-276-4000

**Development Application
 Data Sheet**
 Development Applications Division

DP 08-429887 **Attachment 1**

Address: 7140 Railway Avenue

Applicant: Orion Estates Ltd. Owner: 0832892 BC Ltd.

Planning Area(s): Blundell Area (Laurelwood Sub-Area for northern portion of site)

Floor Area Gross: 2,359 m² Floor Area Net: 1,770 m²

	Existing	Proposed
Site Area:	2,680 m ²	Remains the same
Land Uses:	Formerly single-family residential	Town housing residential
OCP Designation:	Neighbourhood residential	Remains the same
Area Plan Designation:	Residential (town houses)	Remains the same
Zoning:	Formerly Single-Detached (RS1/E)	Town Housing (ZT23) – Laurelwood
Number of Units:	Formerly 1 single-family home	12 town houses

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Town houses Max. 0.66	0.66	None permitted
Lot Coverage:	Max. 40%	33%	None
Setback – Public Road:	Min. 6 m	4.0 m to 4.5 m	1.5 m Reduction 2.0 Reduction for unit NW unit porch & balcony
Setback – Side Yard (east):	Min. 3 m	3 m to 3.6 m	None
Setback – South Yard (south):	Min. 3 m	3 m	None
Height (m):	Min. 11 m & 3-storey	Max. 11 m & 3-storey	None
Lot Size:	Min. 1,830 m ²	2,680 m ²	None
Off-street Parking: Resident	24	24	None
Visitor	3	3	
Accessible	(1)	(1)	
Total Spaces	27	27	
Tandem Parking Spaces	Not permitted	None	None
Small Car Parking Spaces	Not permitted	45% (12 spaces)	45% (1 space per unit)
Amenity Space – Indoor:	Min. 70 m ²	Cash-in-lieu	None
Amenity Space – Outdoor:	Min. 72 m ²	183 m ²	None

**Annotated Excerpt from the Minutes from
The Design Panel Meeting**

Wednesday, July 22, 2009 – 4:00 p.m.

Rm. M.1.003

Richmond City Hall

2. Development Permit 08-429887 – 12 unit town house development
APPLICANT: Patrick Cotter, Patrick Cotter Architect Inc.
LOCATION: 7140 Railway Avenue

[The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '*bold italics*'.]

Panel Discussion

Comments from the Panel were as follows:

- this is a good design for a difficult site; concerned with the green space at the triangle area at the north end of the project, consider hard surfaces as this area will see lots of traffic and due to maintenance;
- the front entrance for the self contained garbage enclosure is not very inviting, in particular with the mailboxes directly next door; the duplex seems off from the rest of the streetscape; consider staggering the two units rather than side by side, while continuing to accommodate the drive aisle as it may help soften that corner;
- the duplex positioning is not successful; need to carefully look at this; strongly suggest that sustainability features be incorporated into this project, regardless of its scale; the scale and clustering of the buildings is quite successful, and how the project is conceived on this site; like the elevations along Railway Avenue; the project generally has a nice character;
- there are opportunities to make sustainable gestures i.e., reduce the amount of paving from the driveway to Unit B3 and increase pervious surface along that edge and/or reduce the amount of gravel to the other side of Unit B3; consider using other forms of ground cover versus lawn i.e., west of the mailbox facility and above the parking lot; and
- generally this is a successful project; the site planning for Unit 1 at the south east corner is problematic with the entry being off the lane; consider what can be done to increase surveillance of the entry; consider the relationship for Units 4 and 3 at the south facing property line face the front and backyard of adjacent units; Units 11 and 12, particularly Unit 12, the side walkway faces the existing duplex immediately to the east – there are safety and security concerns; the building forms are generally successful; the side entries seem sparsely detailed and do not give a sense of ownership; consider some trim to articulate the inset balconies; consider articulating the garage doors; need articulation, review the effect of the repeated element for the west elevation of the three block.

Panel Decision

It was moved and seconded

That DP 08-42988 move forward to the Development Permit Panel taking into consideration the following comments of the Advisory Design Panel:

1. consider the unit entries from a CPTED perspective – *Unit entries revised.*
2. consider adding detail to unit entries – *Detail added.*
3. consider adding detail and articulating the inset balconies – *Incorporated.*
4. consider design development to the streetscape elevation articulation – *Detail added.*
5. consider more hard surface at the POPA location due to the frequency of use – *Incorporated.*
6. consider separating the site entry from the garbage area – *Considered, but difficult on small irregular lot. Modest landscape buffer added.*
7. consider staggering units or softening the duplex northwest corner – *Corner further detailed.*
8. consider increasing the setback for the north duplex – *Considered by applicant and staff. Building located to provide setbacks to both streetscape and public path.*
9. consider incorporating sustainable features in the development of the design – *Sustainable features added: rigid insulation for slab and Low E glass.*
10. consider increasing sustainability with increasing landscaping including (i) reducing paving at the northeast edge of the drive aisle; and (ii) reducing gravel on the opposite side of Unit B3 – *Incorporated.*
11. consider increasing sustainability with other ground cover versus lawn i.e., west of the mailbox area and north east of the parking area – *Incorporated.*
12. consider the site planning for Unit 1 facing the lane at the southeast corner – *Revised.*
13. consider the relationship for Units 4 and 3 at the south facing property line – *Revised.*
14. consider safety and security matters in relation to Unit 12, facing the ROW – *Revised.*
15. consider articulating the garage doors – *Incorporated.*
16. consider articulation for the west elevation of the three blocks – *Considered. Articulation provided with projecting bays and recessed porches and balconies. Detail added.*

CARRIED



No. DP 08-429887

To the Holder: ORION ESTATES LTD.
Property Address: 7140 RAILWAY AVENUE
Address: C/O BILL STILLWELL
 5271 FRANCIS ROAD
 RICHMOND, BC V7C 1K2

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) Reduce the Minimum Public Road Setback from 6 m to 4.5 m and to 4.0 m at the west corner of the northern building for the open porch and second floor open balcony.
 - b) Permit 45% small car parking spaces (12 small car spaces of 27 total parking spaces).
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #22 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$50,784.00. to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 08-429887

To the Holder: ORION ESTATES LTD.
Property Address: 7140 RAILWAY AVENUE
Address: C/O BILL STILLWELL
 5271 FRANCIS ROAD
 RICHMOND, BC V7C 1K2

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF

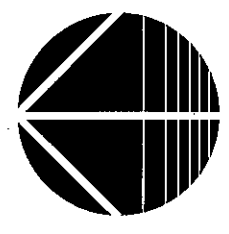
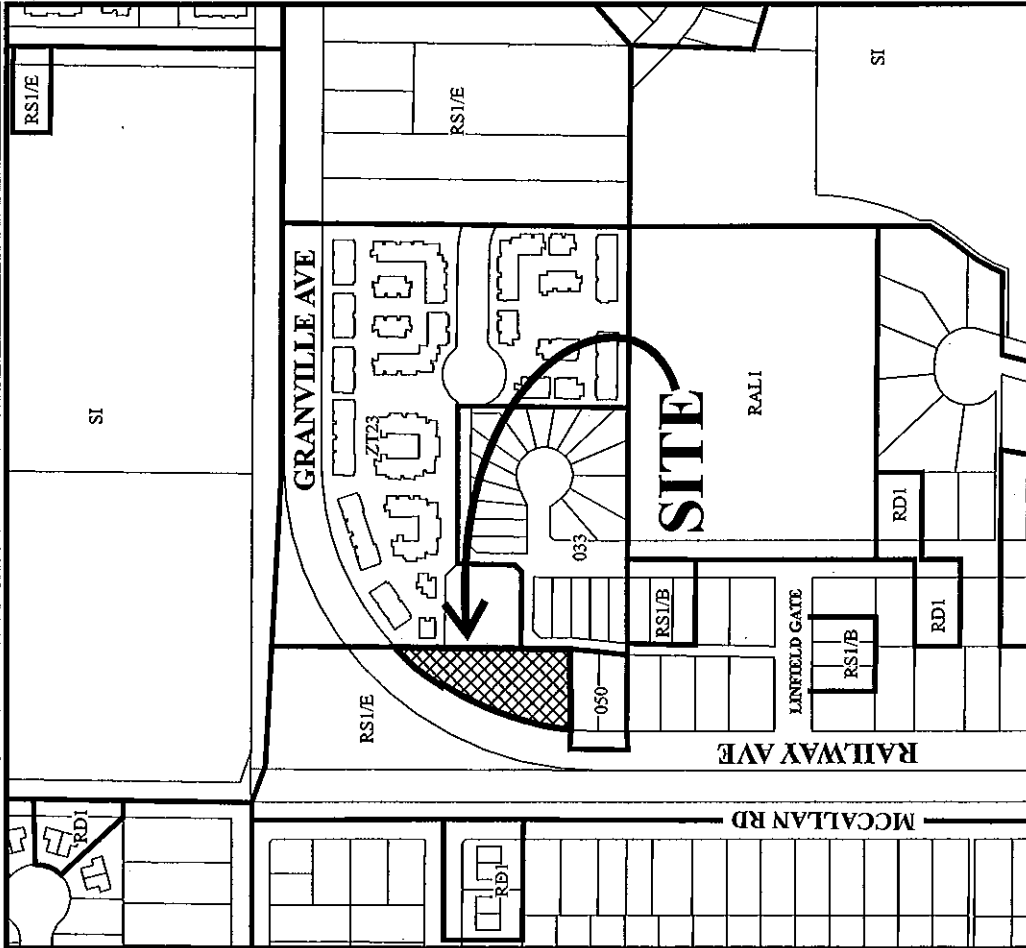
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

MAYOR



City of Richmond

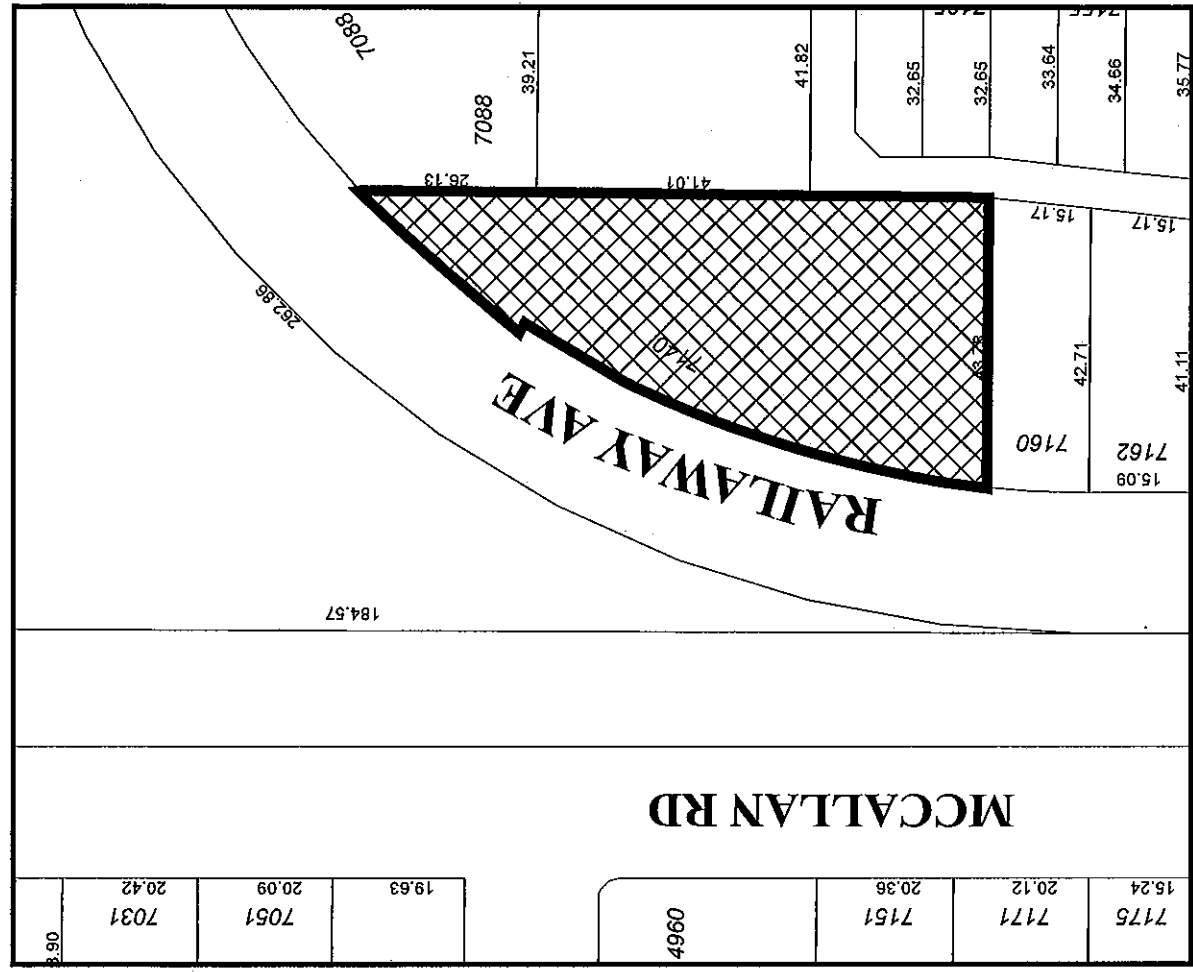


DP 08-429887 SCHEDULE "A"

Original Date: 07/30/08

Revision Date: 01/28/10

Note: Dimensions are in METRES



**7140 RAILWAY AVENUE
RICHMOND, B.C.**

DRAWING LIST:

ARCHITECTURAL

- A-000 COVER SHEET
- A-001 DATA SUMMARY
- A-101 SITE PLAN, LOCATION PLAN
- A-102 SITE PLAN, PARKING PLAN
- A-103 AREA OVERLAY
- A-201a BUILDING R0.1 FLOOR PLANS
- A-201b BUILDING R0.1 FLOOR PLANS
- A-201c BUILDING R0.2 FLOOR PLANS
- A-201d BUILDING R0.3 FLOOR PLANS
- A-201e BUILDING R0.3 FLOOR PLANS
- A-201f BUILDING R0.4 FLOOR PLANS
- A-201g BUILDING R0.4 FLOOR PLANS
- A-201h BUILDING R0.4 FLOOR PLANS
- A-201i BUILDING R0.5 FLOOR PLANS
- A-201j BUILDING R0.5 FLOOR PLANS
- A-201k UNIT AS PLANS (ADAPTABLE)

- A-301a EXTERIOR ELEVATIONS UNITS 1-33
- A-301b EXTERIOR ELEVATIONS UNITS 1-33
- A-301c EXTERIOR ELEVATIONS UNITS 4-5
- A-301d EXTERIOR ELEVATIONS UNITS 4-5
- A-301e EXTERIOR ELEVATIONS UNITS 6-7
- A-301f EXTERIOR ELEVATIONS UNITS 6-7
- A-301g EXTERIOR ELEVATIONS UNITS 8-9-10
- A-301h EXTERIOR ELEVATIONS UNITS 8-9-10
- A-301i EXTERIOR ELEVATIONS UNITS 11-12
- A-301j EXTERIOR ELEVATIONS UNITS 11-12
- A-301k EXTERIOR ELEVATIONS RECYCLING REFUSE AND MAILBOX

- A-401 BUILDING 1 SECTIONS
- A-402 BUILDING 2 SECTIONS
- A-403 BUILDING 3 SECTIONS
- A-404 BUILDING 4 SECTIONS
- A-405 BUILDING 5 SECTIONS

- A-501 DETAILS
- A-502 DETAILS
- A-503 DETAILS
- A-601 WALL ASSEMBLIES

- C-01 FIELD PICK-UP
- C-02 RET PLAN
- C-03 ROAD WORKS
- C-04
- C-05
- C-06
- C-07
- C-08
- C-09
- C-10
- C-11
- C-12
- C-13
- C-14
- C-15

ON-SITE WORK - TO COME

PROJECT DATA:

CIVIC ADDRESS: 7140 RAILWAY AVENUE, RICHMOND, BRITISH COLUMBIA
LEGAL ADDRESS: PARCEL 1006 (REF PLAN 17110), LOT "A", EXCEPTED "A" (REF PLAN 12429), SEC.13, R.4 N. E.7 W. NEW WESTMINSTER DISTRICT PLAN 1343
PROJECT VARIANCES:
 1. SETBACK - PUBLIC ROAD REDUCE TO 4.5M PLUS FURTHER REDUCTION AT UNIT 11 TO 4.0M FOR GF PORCH AND SECOND FLOOR DECK
 2. SETBACK - PUBLIC ROAD ALLOW 12 SMALL CAR SPACES

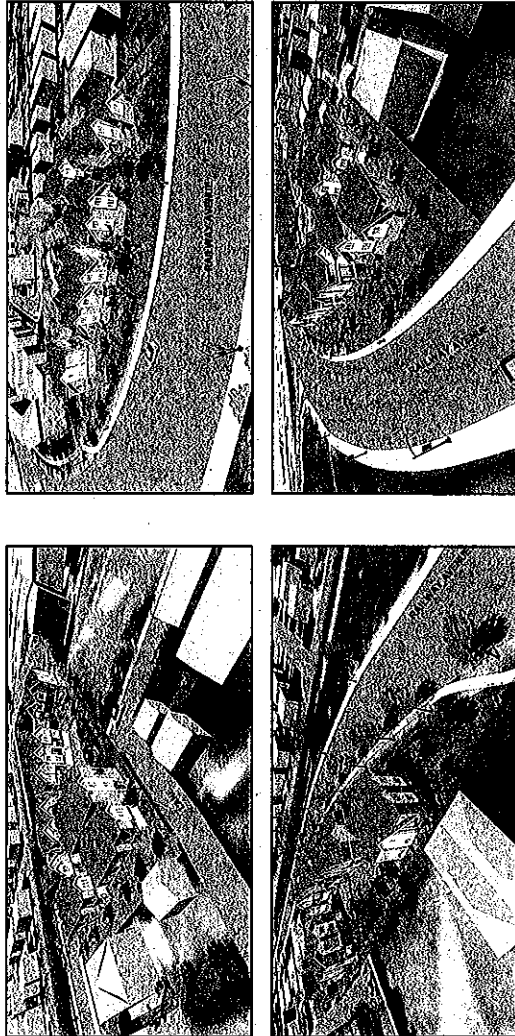
ZONING: RZ # 87-351265
DEVELOPMENT PERMIT: DP # 88-429887
ZT23

PROJECT DIRECTORY

- STRUCTURAL**
 - 11-18353 Oshin Concrete, Richmond, BC V6V 2Z7 (604) 275-0261 / (604) 214-8859
 - 127 West 9th Ave, Unit 103, Vancouver, BC V6P 1K6 (604) 682-1784 / (604) 872-8978
- MECHANICAL**
 - 1552 East 50 Ave, Suite 104, Richmond, BC V6V 1L6 (604) 275-1477 / (604) 275-1971
 - 1552 East 50 Ave, Suite 104, Richmond, BC V6V 1L6 (604) 275-1477 / (604) 275-1971
- ELECTRICAL**
 - 115-8833 Oshin Concrete, Richmond, BC V6V 2Z7 (604) 275-0261 / (604) 214-8859
 - 115-8833 Oshin Concrete, Richmond, BC V6V 2Z7 (604) 275-0261 / (604) 214-8859
- LANDSCAPE**
 - L-1 LANDSCAPING PLAN
 - L-2 LANDSCAPING DETAILS

OFF-SITE WORKS DESIGNED & CONSTRUCTED VIA SEPARATE REQUIRED SERVICING AGREEMENT, INCLUDING PUBLIC PATH PAVING IN TRACE FEATURES IN ALL UNITS INCLUDE: LEVER HANDLES, STAIR HAND RAILS, AND BLOCKING IN ALL WASHROOMS FOR FUTURE GRAB BAR INSTALLATION ONE (1) CONVERTIBLE UNIT PROVIDED

MASSING:



PACKIT CORP
 7140 RAILWAY AVENUE
 RICHMOND, BRITISH COLUMBIA

ORION ESTATES LTD
 5271 FRANCIS ROAD
 RICHMOND, BRITISH COLUMBIA

Plan 1A Mar 2 2010
DP 08-429887
 COVER SHEET

A-000
C

DP: 08-429887

NOTES:

**7140 RAILWAY AVENUE,
RICHMOND B.C.**

PROJECT DATA:

CIVIC ADDRESS: 7140 RAILWAY AVENUE, RICHMOND, BRITISH COLUMBIA ZONING: RZ & 07-561286
 LEGAL ADDRESS: PARCEL "ONE" DEVELOPMENT PERMIT: DP # 08-429887
 (REF. PLAN 7719), LOT "A" EXCEPT "A"
 (REF. PLAN 12429); SEC. 13, B.A.N., R.7 W.
 NEW WESTMINSTER DISTRICT PLAN 1343

DEVELOPMENT DATA

SITE AREA: GROSS:	28,862.90	Sq. Ft.	
NET:	28,862.90	Sq. Ft.	
COVERAGE:	49%	Max. Permitted	33.0% Provided
	11,547.52	Max. Permitted	9,518.30 Provided
FAR:	0.68	Max. Permitted	0.68 Provided
MAX FAR ALLOWED:	19,055.41	Max. Permitted	19,055.41 Provided
ADDITIONS TO FAR:			
Porch/decks:	0.03 FAR	Max. Permitted	854.10 Provided
884.06	Sq. Ft. (Max Permitted)		
OTHER FAR/SAR/Storage:	50m/unit * 12 Unit: Max Permitted		
	6,458.35	Sq. Ft. (Max Permitted)	3,354.20 Provided
OTHER FAR/amenity:	10 FAR	Max. Permitted	0.00 Provided
	2,882.00	Max. Permitted	
PARKING	2.0/unit	24 Required	24 Provided
Visitor	0.2/unit	3 Required	3 Provided
Total		27 Required	27 Provided
Accessible (Included in visitor):		1 Required	1 Provided

Notes - from Bylaw
 (1) An additional 0.03 FAR (0.03 x 14.1) per dwelling unit for the exclusive use of individual units or for the total development for the use as off-street parking, storage, amenity or accessory use.
 (2) 0.03 FAR, which means for residential, storage, amenity or accessory use.
 (3) FAR which are open on one or more sides.
 (4) An additional 0.10 floor area ratio provided that it is entirely used to accommodate amenity space.
 (5) 2% of Available Parking Spaces are to be Accessible.

SITE AND BUILDING DATA - metric

NOTE: SEE SHEET A-103 FOR AREA OVERLAYS

SITE AREA: GROSS:	2,652.00	Sq. Meters	
NET:	2,652.00	Sq. Meters	
COVERAGE:	49%	Max. Permitted	33.0% Provided
	1,072.80	Max. Permitted	884.28 Provided
FAR:	0.68	Max. Permitted	0.68 Provided
MAX FAR ALLOWED:	1,770.12	Max. Permitted	1,770.00 Provided
ADDITIONS TO FAR:			
Porch/decks:	0.03 FAR	Max. Permitted	78.35 Provided
884.06	Sq. Meters (Max Permitted)		
OTHER FAR/SAR/Storage:	50m/unit * 12 Unit: Max Permitted		
	600.00	Sq. Meters (Max Permitted)	314.40 Provided
OTHER FAR/amenity:	10 FAR	Max. Permitted	0.00 Provided
	288.20	Max. Permitted	
PARKING	2.0/unit	24 Required	24 Provided
Visitor	0.2/unit	3 Required	3 Provided
Total		27 Required	27 Provided
Accessible (Included in visitor):		1 Required	1 Provided

SITE AND BUILDING DATA - imperial

UNITS SUMMARY	UNIT A1	UNIT A2	UNIT B-1	UNIT B-2	UNIT B-3	UNIT C	TOTAL
LEVEL 1:	657.8	665.9	284.7	315.8	303.9	282.1	
LEVEL 2:	88.4	386.4	171.1	616.2	644.9	644.9	
LEVEL 3:	0.0	0.0	0.0	68.0	68.0	68.0	
TOTAL UNIT AREAS	1,646.2	1,052.3	1,065.8	1,602.4	1,571.6	1,512.7	
GARAGES	444.7	465.1	383.7	376.8	346.1	389.4	
PORCH/DECKS	0.0	0.0	112.8	35.3	61.9	66.0	
ELECTRICAL/GARAGE (Excluded area)							
QUANTITY OF RES. UNITS:	1	1	5	1	2	2	
AREAS (No units / Area/unit)	1,646.2	1,052.3	1,065.8	1,602.4	1,143.2	1,351.4	
LOT COVERAGE PER UNIT	1,646.2	1,052.3	1,065.8	1,602.4	1,143.2	1,351.4	
COVERAGE (No Units / Coverage/unit)	1,646.2	1,052.3	1,065.8	1,602.4	1,143.2	1,351.4	
TOTAL LOT COVERAGE (No Units / Coverage/unit)	1,646.2	1,052.3	1,065.8	1,602.4	1,143.2	1,351.4	
TOTAL LOT COVERAGE (No Units / Coverage/unit)	1,646.2	1,052.3	1,065.8	1,602.4	1,143.2	1,351.4	

SITE AND BUILDING DATA - metric

NOTE: SEE SHEET A-103 FOR AREA OVERLAYS

UNITS SUMMARY	UNIT A1	UNIT A2	UNIT B-1	UNIT B-2	UNIT B-3	UNIT C	TOTAL
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LEVEL 2:	88.4	386.4	171.1	616.2	644.9	644.9	
LEVEL 3:	0.0	0.0	0.0	68.0	68.0	68.0	
TOTAL UNIT AREAS	1,646.2	1,052.3	1,065.8	1,602.4	1,571.6	1,512.7	
GARAGES	444.7	465.1	383.7	376.8	346.1	389.4	
PORCH/DECKS	0.0	0.0	112.8	35.3	61.9	66.0	
ELECTRICAL/GARAGE (Excluded area)							
QUANTITY OF RES. UNITS:	1	1	5	1	2	2	
AREAS (No units / Area/unit)	1,646.2	1,052.3	1,065.8	1,602.4	1,143.2	1,351.4	
LOT COVERAGE PER UNIT	1,646.2	1,052.3	1,065.8	1,602.4	1,143.2	1,351.4	
COVERAGE (No Units / Coverage/unit)	1,646.2	1,052.3	1,065.8	1,602.4	1,143.2	1,351.4	
TOTAL LOT COVERAGE (No Units / Coverage/unit)	1,646.2	1,052.3	1,065.8	1,602.4	1,143.2	1,351.4	
TOTAL LOT COVERAGE (No Units / Coverage/unit)	1,646.2	1,052.3	1,065.8	1,602.4	1,143.2	1,351.4	

SITE AND BUILDING DATA - imperial

NOTE: SEE SHEET A-103 FOR AREA OVERLAYS

Plan 1B Mar 2 2010
DP 08-429887

COVER SHEET

A-001 C

DP-08-429887

IRON STATES LTD.
 CIVIL ENGINEERS
 RICHMOND, BRITISH COLUMBIA

7140 RAILWAY AVENUE
 RICHMOND, BRITISH COLUMBIA

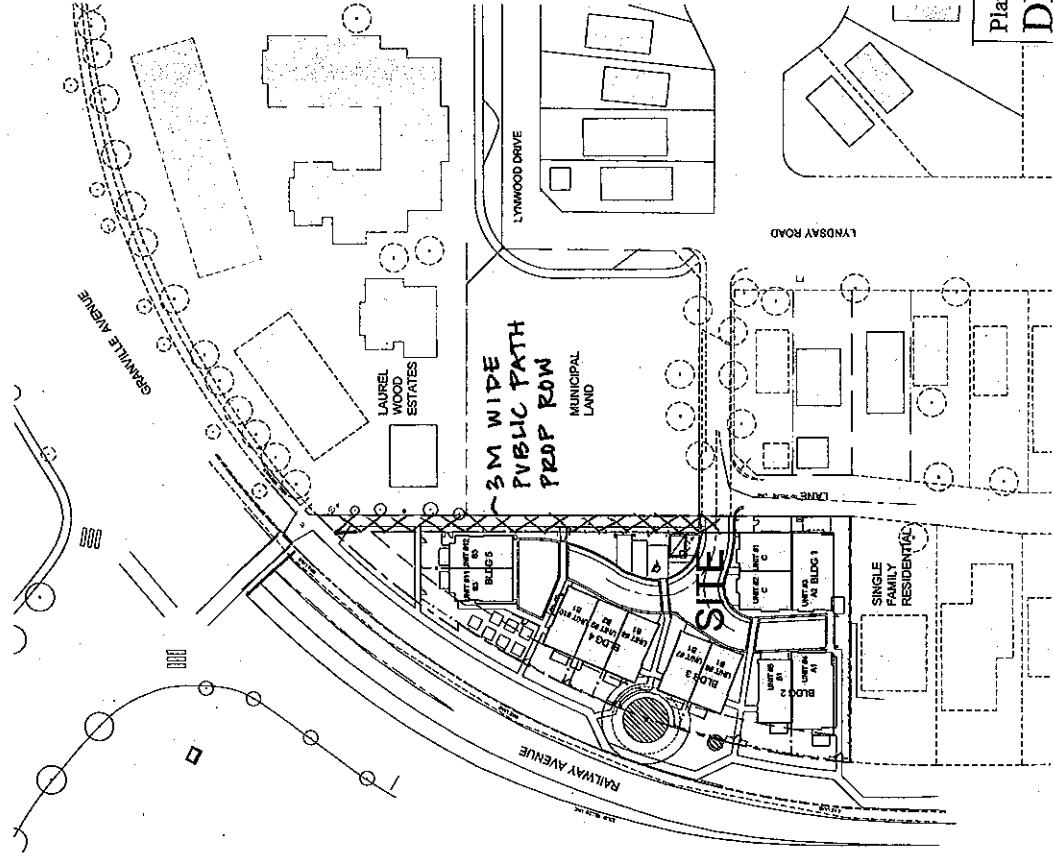
IRON STATES LTD.
 CIVIL ENGINEERS
 RICHMOND, BRITISH COLUMBIA

COVER SHEET

A-001 C

DP-08-429887

NOTES:
 LEGEND:
 ——— PROPERTY LINE
 - - - - - BUILDING SETBACK



NO.	DESCRIPTION	DATE

PAULICK CENTER
 7140 RAILWAY AVENUE
 RICHMOND, BRITISH COLUMBIA

ORION ESTATES LTD.
 5271 FRANCIS ROAD
 RICHMOND, BRITISH COLUMBIA

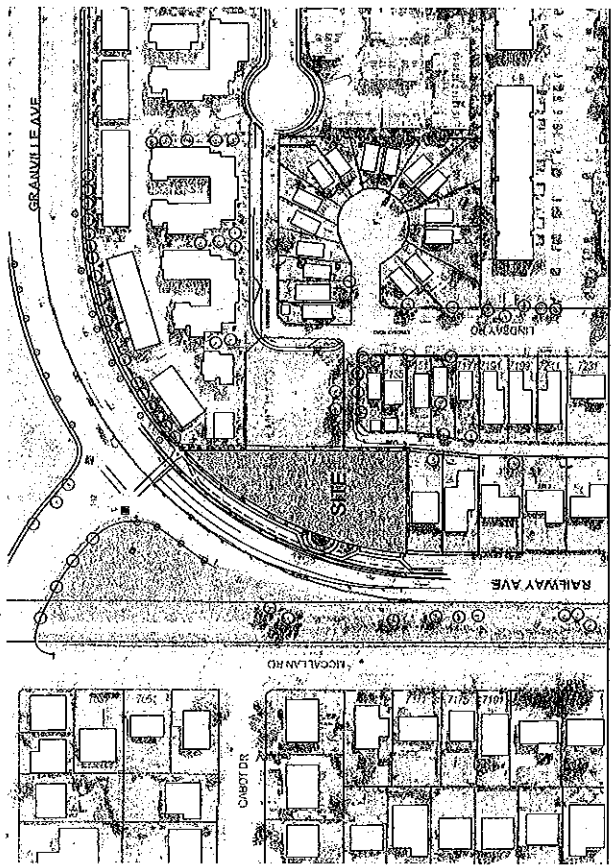
Plan 1C Mar 2 2010
 DP 08-429887

SHEET TITLE
 LOCATION PLAN
 CONTEXT PLAN

PROJECT NO.:
 A-101
 C

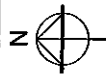
DP : 08-429887

2 CONTEXT PLAN
 MET



1 LOCATION PLAN
 MET

NOTES:



LEGEND:

- PROPERTY LINE
- BUILDING SETBACK
- ASPHALT
- PAVERS
- CONCRETE
- PAVING
- EXISTING GRADE
- NEW GRADE

NO.	DESCRIPTION	UNIT	QTY	REMARKS
1	ASPHALT	SQ. M.		
2	PAVERS	SQ. M.		
3	CONCRETE	SQ. M.		
4	PAVING	SQ. M.		
5	EXISTING GRADE	SQ. M.		
6	NEW GRADE	SQ. M.		

PLAN 2
 7:40 RAILWAY AVENUE
 RICHMOND, BRITISH COLUMBIA

REGION ESTATES LTD.
 5271 FRANCIS ROAD
 RICHMOND, BRITISH COLUMBIA

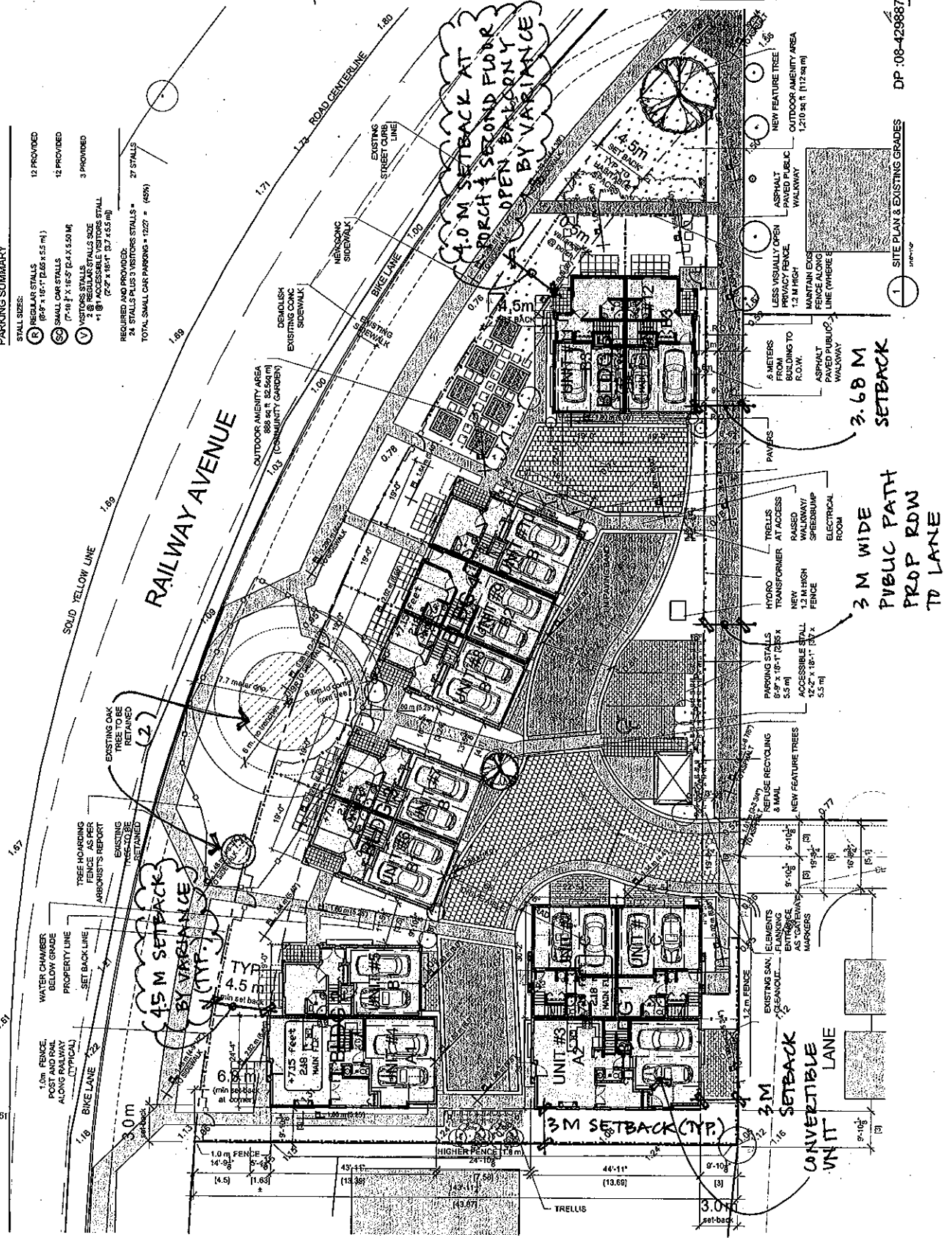
Plan 2 Mar 2 2010
 DP 08-429887

SITE, PARKING
 & SITE GRADING PLANS

A-102b
 C

PARKING SUMMARY

- STALL SIZES:
- (R) REGULAR STALLS (8'6" x 16'7" (2.60 x 5.5 m)) 12 PROVIDED
 - (SC) SMALL CAR STALLS (7'4" x 16'5" (2.24 x 5.0 m)) 12 PROVIDED
 - (V) VISITOR STALLS (8'0" x 16'0" (2.44 x 4.88 m)) 3 PROVIDED
- REQUIRED AND PROVIDED:
- 24 STALLS PLUS VISITOR STALLS = 27 STALLS
 - TOTAL SMALL CAR PARKING = 1227 = (69%)



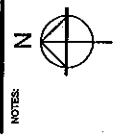
DP :08-429887

1 SITE PLAN & EXISTING GRADES

PARKING SUMMARY

- STALL SIZES:
- (R) REGULAR STALLS (9'0" x 19'1" (2.74 x 5.81 m))
 - (SC) SMALL CAR STALLS (7'10" x 16'6" (2.4 x 5.04 m))
 - (V) VISITORS STALLS (12'0" x 16'6" (3.66 x 5.04 m))
 - (A) ACCESSIBLE VISITORS STALL (2'2" x 18'1" (0.7 x 5.5 m))
- REQUIRED AND PROVIDED:
- 24 STALLS PLUS 3 VISITORS STALLS = 27 STALLS
 - TOTAL SMALL CAR PARKING = 1227 = (45%)
- BIKE STORAGE - CLASS 1
- (B) BIKE STORAGE - CLASS 1 4 PROVIDED
 - (C) BIKE STORAGE - CLASS 1 8 PROVIDED
 - (D) BIKE STORAGE - CLASS 1 1 PROVIDED

** SMALL CAR PARKING SPACES BY VARIANCE*



- LEGEND:
- PROPERTY LINE
 - BUILDING SETBACK
 - ASPHALT
 - PAVERS
 - CONCRETE
 - PAVING

EXISTING GRADE
NEW GRADE

NO.	DESCRIPTION	DATE	BY
1	PRELIMINARY PLAN	10/20/09	W. J. WILSON
2	REVISIONS	11/10/09	W. J. WILSON
3	REVISIONS	11/10/09	W. J. WILSON
4	REVISIONS	11/10/09	W. J. WILSON
5	REVISIONS	11/10/09	W. J. WILSON
6	REVISIONS	11/10/09	W. J. WILSON
7	REVISIONS	11/10/09	W. J. WILSON
8	REVISIONS	11/10/09	W. J. WILSON
9	REVISIONS	11/10/09	W. J. WILSON
10	REVISIONS	11/10/09	W. J. WILSON
11	REVISIONS	11/10/09	W. J. WILSON
12	REVISIONS	11/10/09	W. J. WILSON
13	REVISIONS	11/10/09	W. J. WILSON
14	REVISIONS	11/10/09	W. J. WILSON
15	REVISIONS	11/10/09	W. J. WILSON
16	REVISIONS	11/10/09	W. J. WILSON
17	REVISIONS	11/10/09	W. J. WILSON
18	REVISIONS	11/10/09	W. J. WILSON
19	REVISIONS	11/10/09	W. J. WILSON
20	REVISIONS	11/10/09	W. J. WILSON
21	REVISIONS	11/10/09	W. J. WILSON
22	REVISIONS	11/10/09	W. J. WILSON
23	REVISIONS	11/10/09	W. J. WILSON
24	REVISIONS	11/10/09	W. J. WILSON
25	REVISIONS	11/10/09	W. J. WILSON
26	REVISIONS	11/10/09	W. J. WILSON
27	REVISIONS	11/10/09	W. J. WILSON
28	REVISIONS	11/10/09	W. J. WILSON
29	REVISIONS	11/10/09	W. J. WILSON
30	REVISIONS	11/10/09	W. J. WILSON

Patrick Cochrane
 1100 GARDEN DRIVE, SUITE 100
 RICHMOND, BRITISH COLUMBIA
 V6V 1K6
 TEL: 604-273-2277
 FAX: 604-273-2278
 CELL: 604-273-2279
 WWW: www.patrickcochrane.com

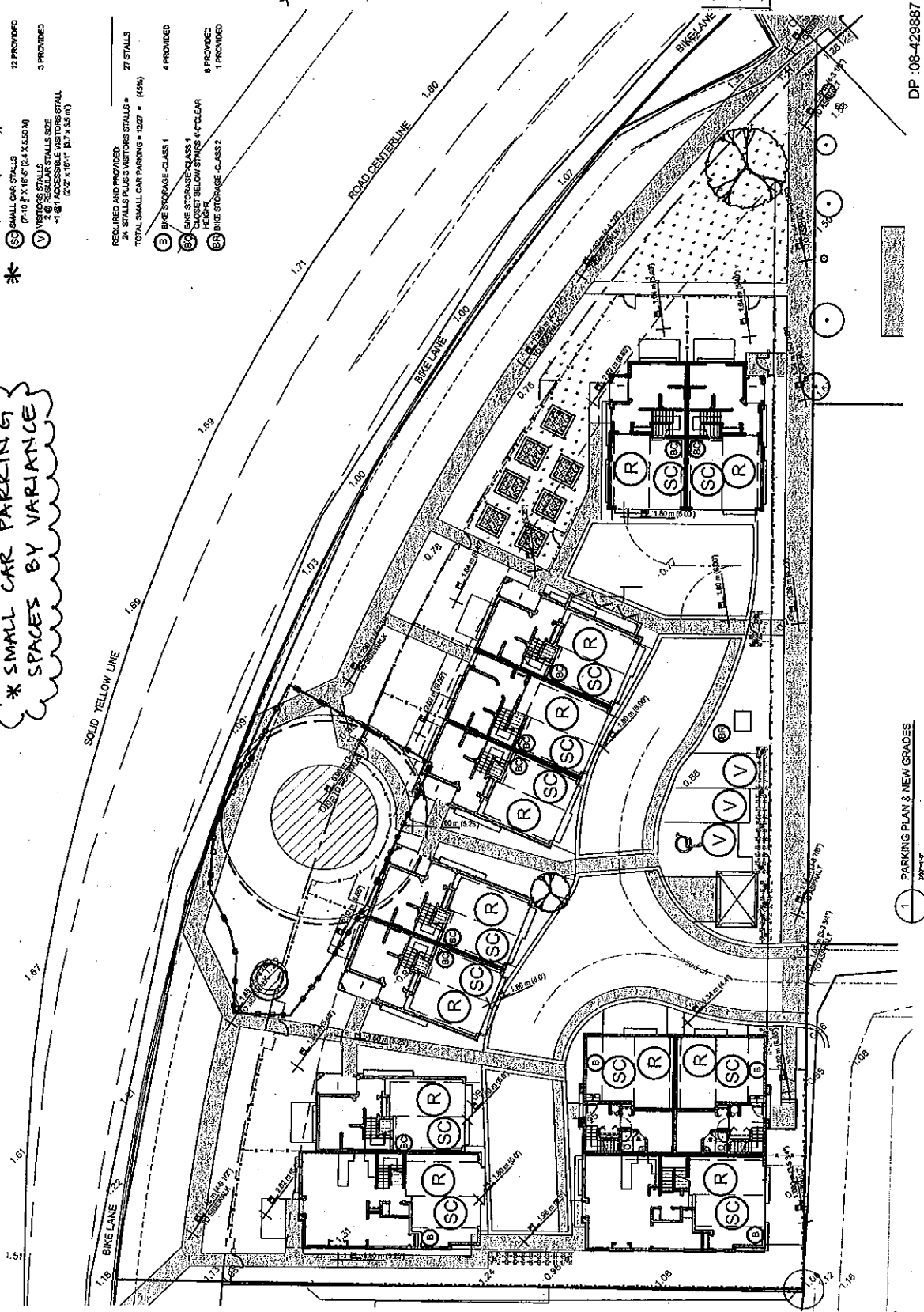
ORION ESTATES LTD.
 5277 FRANCIS ROAD
 RICHMOND, BRITISH COLUMBIA

PLAN 3
 Mar 2 2010
 DP 08-429887

SITE, PARKING & SITE GRADING PLANS

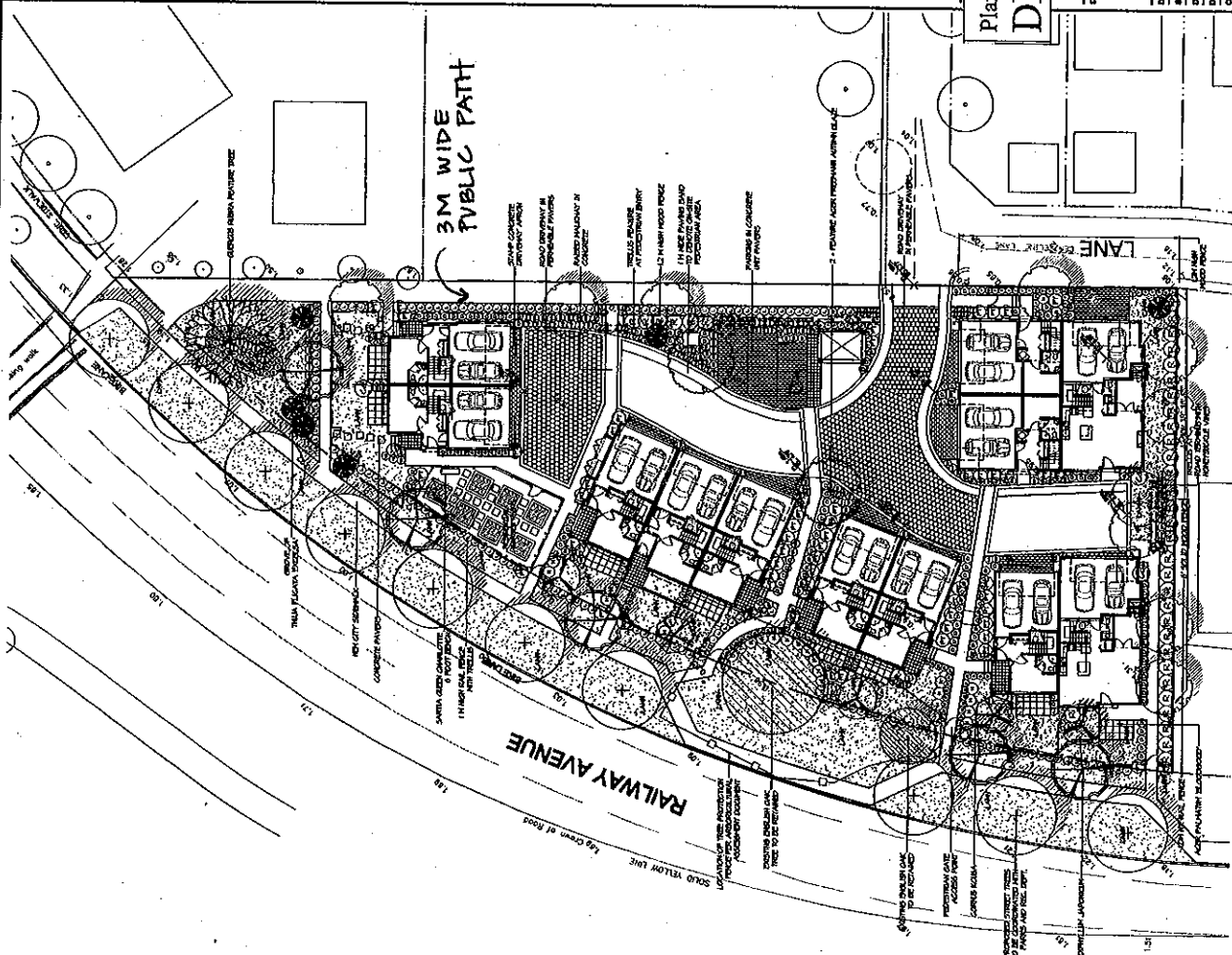
A-102A
 C

DP :08-429887



1. PARKING PLAN & NEW GRADES

PUBLIC PATH (ROW) DESIGN +
CONSTRUCTION, ALONG WITH
OFF-SITE WORKS VIA
SEPARATE AGREEMENT
SERVICING AGREEMENT



DMG
landscape architects

Plan 4A Mar 2 2010
DP 08-429887

LANDSCAPE PLAN

DATE	SCALE	PROJECT NUMBER
03/02/10	1:1	L1
DRAWN BY	CHECKED BY	DATE

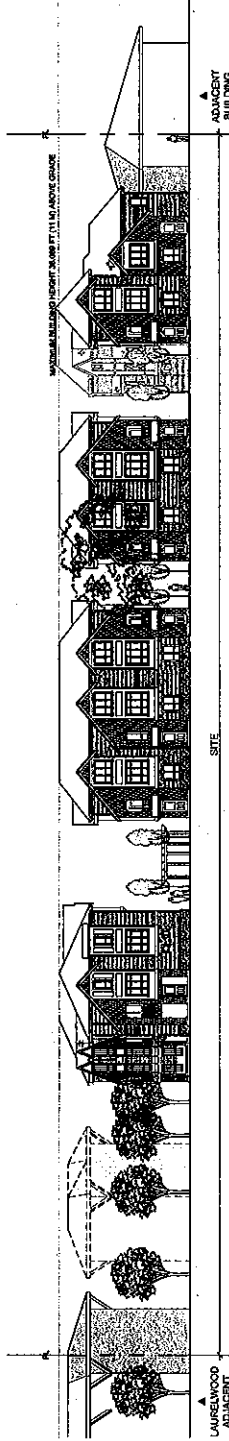
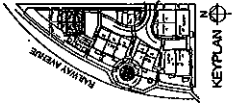
NO.	SYMBOL	BOTANICAL NAME	COMMON NAME	PLANTED SIZE	REMARKS
1	①	AGER PALMARIS 'ELEGANT'	JAPANESE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
2	②	AGER PALMARIS 'ELEGANT'	COLONIAL RED HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
3	③	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
4	④	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
5	⑤	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
6	⑥	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
7	⑦	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
8	⑧	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
9	⑨	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
10	⑩	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
11	⑪	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
12	⑫	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
13	⑬	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
14	⑭	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
15	⑮	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
16	⑯	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
17	⑰	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
18	⑱	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
19	⑲	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
20	⑳	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
21	㉑	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
22	㉒	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
23	㉓	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
24	㉔	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
25	㉕	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
26	㉖	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
27	㉗	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
28	㉘	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
29	㉙	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
30	㉚	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
31	㉛	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
32	㉜	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
33	㉝	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
34	㉞	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
35	㉟	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
36	㊱	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
37	㊲	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
38	㊳	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
39	㊴	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
40	㊵	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
41	㊶	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
42	㊷	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
43	㊸	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
44	㊹	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
45	㊺	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
46	㊻	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
47	㊼	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
48	㊽	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
49	㊾	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE
50	㊿	AGER PALMARIS 'ELEGANT'	ATLANTIC BLUE HAZEL	2.5M HT, 10CM DIA	PLANT 100% IN PLACE

ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON DELIVERY.

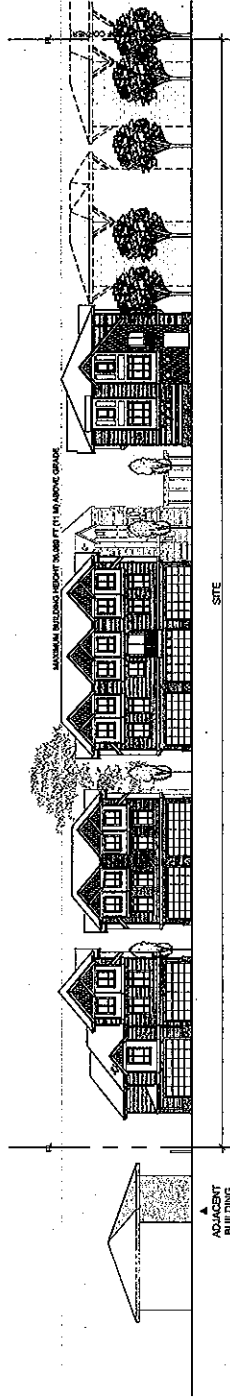
PLANT SCHEDULE

DMG JOB NUMBER: 0804

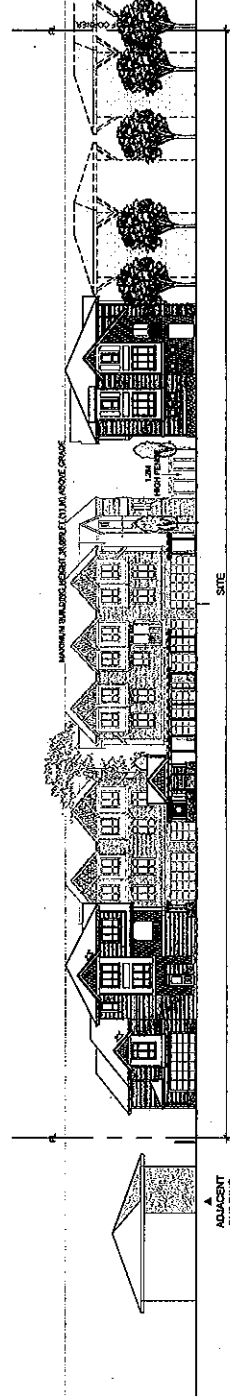
NOTES:



1 WEST ELEVATION ALONG RAILWAY



2 ALONG DRIVE AISLE



3 EAST ELEVATION AT PROPERTY LINE

NO.	DESCRIPTION	DATE
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LISA ZEL, 1260 W. 120th
 TEL: (604) 272-1127
 FAX: (604) 272-1127
 CELL: (604) 272-1127
 WWW: www.zelgroup.com

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 ARCHITECT
 7140 RAILWAY AVENUE
 RICHMOND, BRITISH COLUMBIA

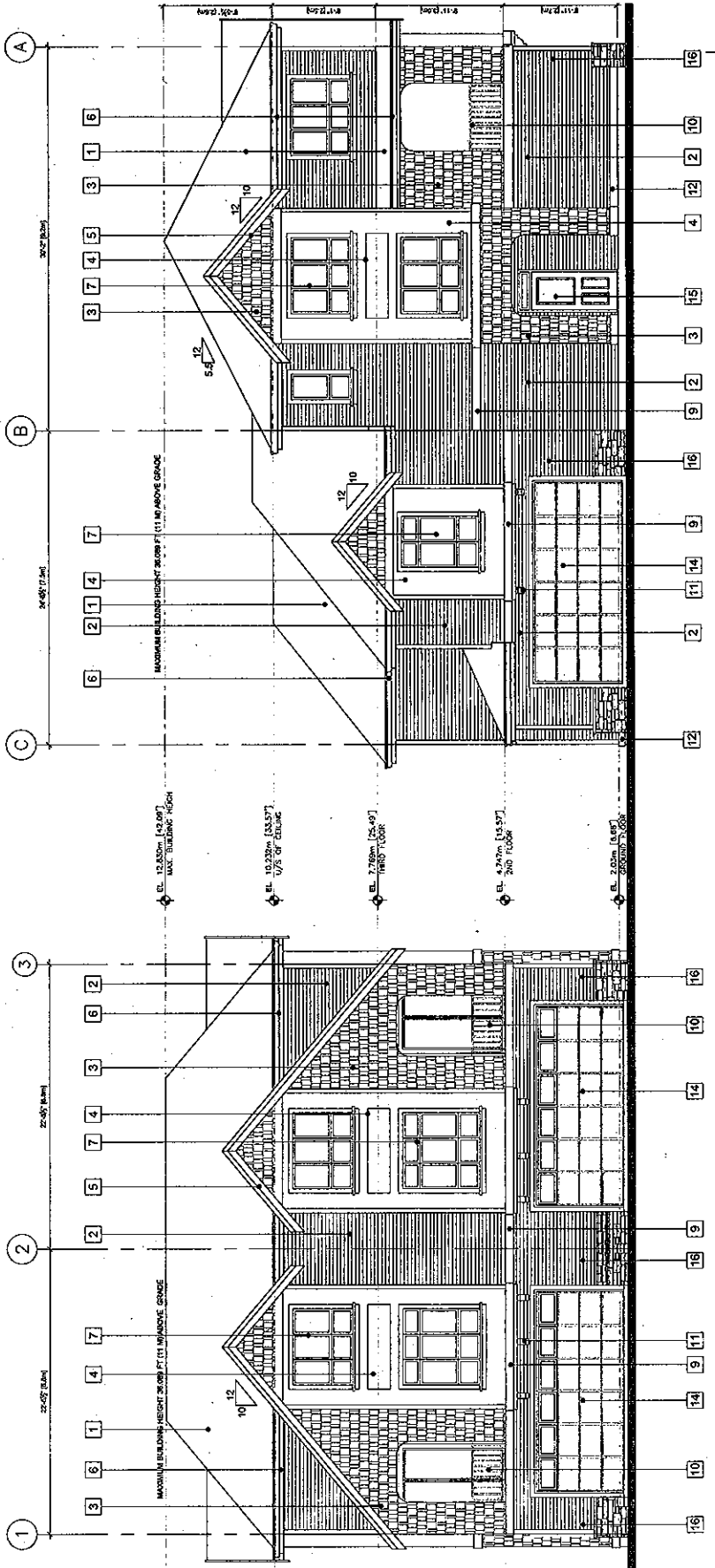
ORION ESTATES LTD.
 5271 FRANCIS ROAD
 RICHMOND, BRITISH COLUMBIA

SHEET TITLE: STREETS CAPES
 PLAN 5 Mar 2 2010
 DP 08-429887

PROJECT NO.: A-300
 SHEET NO.: C

DP-08-429887

- NOTES:**
1. EXTERIOR FINISHES SHALL BE AS SHOWN.
 2. ALL FINISHES SHALL BE TO THE TRADE.
 3. ALL FINISHES SHALL BE TO THE TRADE.
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 30. ALL FINISHES SHALL BE TO THE TRADE.



Plan 6
 Mar 2 2010
DP 08-429887

A-301A C

DP :08-429887

NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	CONCRETE				
2	PAINT				
3	ROOFING				
4	GLASS				
5	WOOD				
6	BRICK				
7	CEILING				
8	FLOORING				
9	MECHANICAL				
10	ELECTRICAL				
11	PLUMBING				
12	LANDSCAPE				
13	CONCRETE				
14	PAINT				
15	ROOFING				
16	GLASS				
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25	CONCRETE				
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30	BRICK				
31	CEILING				
32	FLOORING				
33	MECHANICAL				
34	ELECTRICAL				
35	PLUMBING				
36	LANDSCAPE				

Patrick Coster
 ARCHITECT
 7140 RAILWAY AVENUE
 RICHMOND, BRITISH COLUMBIA

ORION ESTATES, LTD.
 5271 FRANCIS ROAD
 RICHMOND, BRITISH COLUMBIA

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	03/02/2010
2	ISSUED FOR PERMIT	03/02/2010
3	ISSUED FOR PERMIT	03/02/2010
4	ISSUED FOR PERMIT	03/02/2010
5	ISSUED FOR PERMIT	03/02/2010
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34	ISSUED FOR PERMIT	03/02/2010
35	ISSUED FOR PERMIT	03/02/2010
36	ISSUED FOR PERMIT	03/02/2010

- NOTES:**
1. APPROVE FINISH SCHEDULE
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 3. APPROVE FINISH SCHEDULE
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NO.	DESCRIPTION	QUANTITY	UNIT
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ORION ESTATES LTD.
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 RICHMOND, BRITISH COLUMBIA

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 7140 RAILWAY AVENUE
 RICHMOND, BRITISH COLUMBIA

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 5271 FRANCIS ROAD
 RICHMOND, BRITISH COLUMBIA

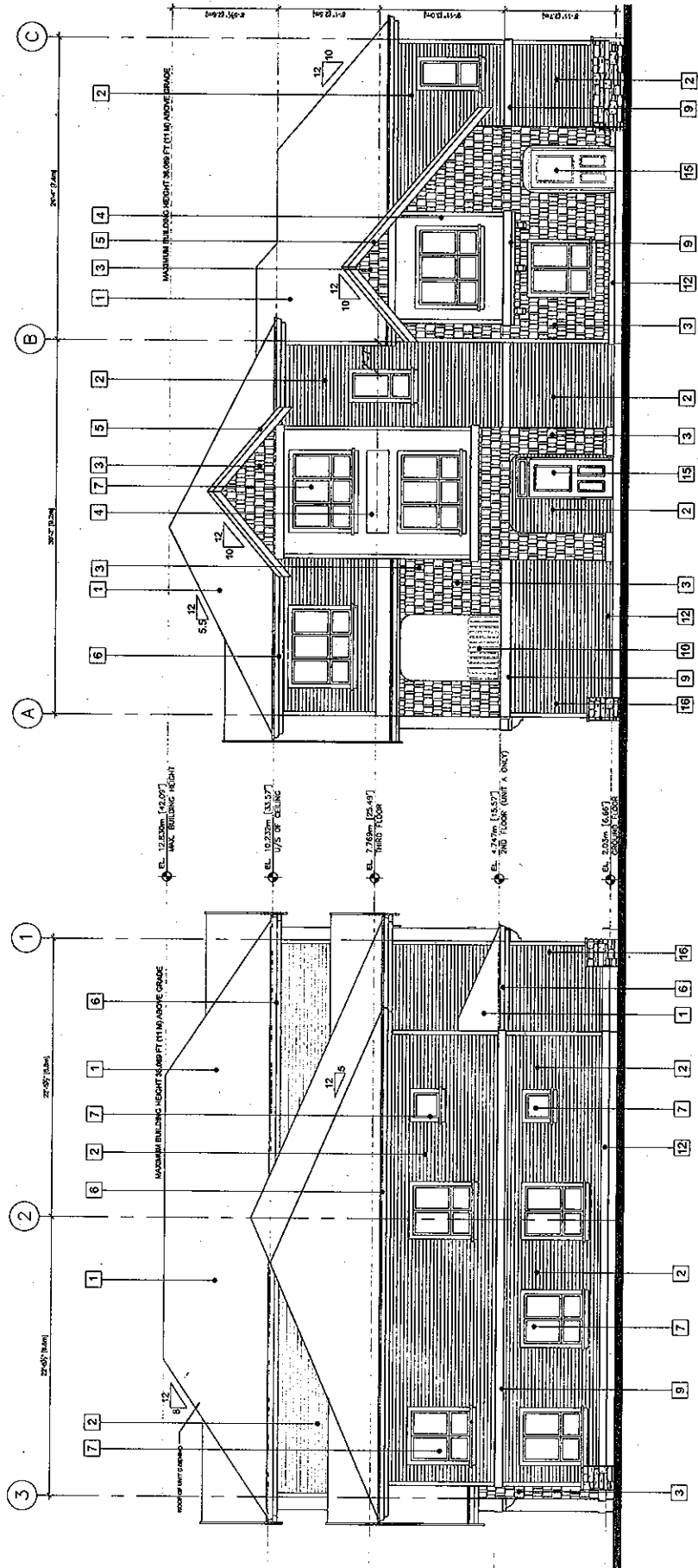
SHEET TITLE
 BUILDING 1
 EXTERIOR ELEVATIONS
 UNITS 1,2,3

PLAN 7
 Mar 2 2010

DP 08-429887

A-301B C

DP :08-429887

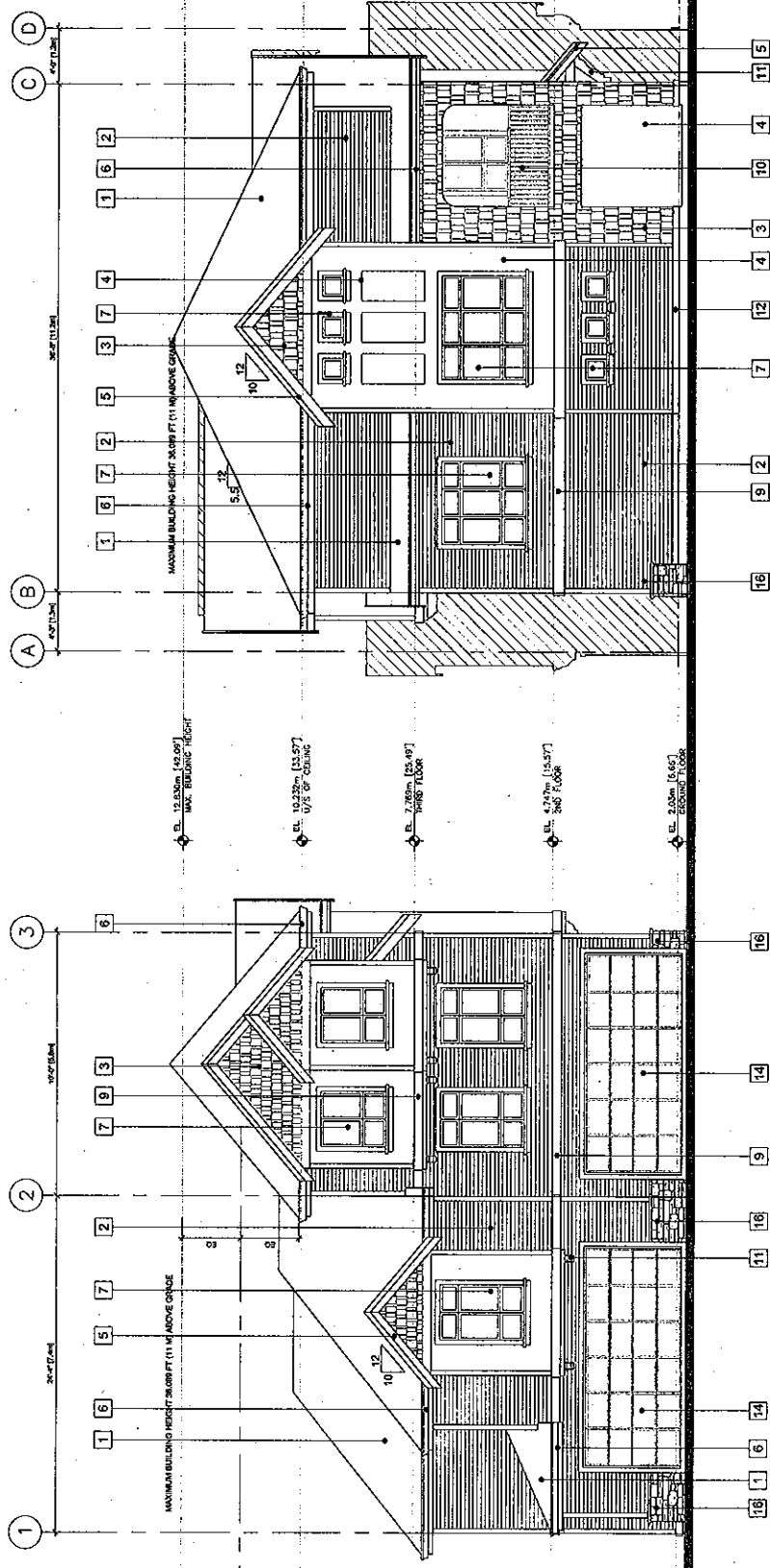


RAILWAY AVE.

NOTES:

EXCELLENCE IN DESIGN

- 1) FINISH WORK (WALLS, FLOORS, CEILING)
- 2) FINISH WORK (WALLS, FLOORS, CEILING)
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- 50) FINISH WORK (WALLS, FLOORS, CEILING)



2 NORTH ELEVATION

1 EAST ELEVATION

NO.	DESCRIPTION	QUANTITY	UNIT
1	FOUNDATION		
2	FRAMES		
3	ROOFING		
4	WALLS		
5	FLOORS		
6	CEILING		
7	DOORS		
8	WINDOWS		
9	STAIRS		
10	MECHANICAL		
11	ELECTRICAL		
12	PLUMBING		
13	PAINT		
14	LANDSCAPE		
15	OTHER		

Patrick Collier
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 RICHMOND, BRITISH COLUMBIA

ORION
 ORION ESTATES LTD.
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 RICHMOND, BRITISH COLUMBIA

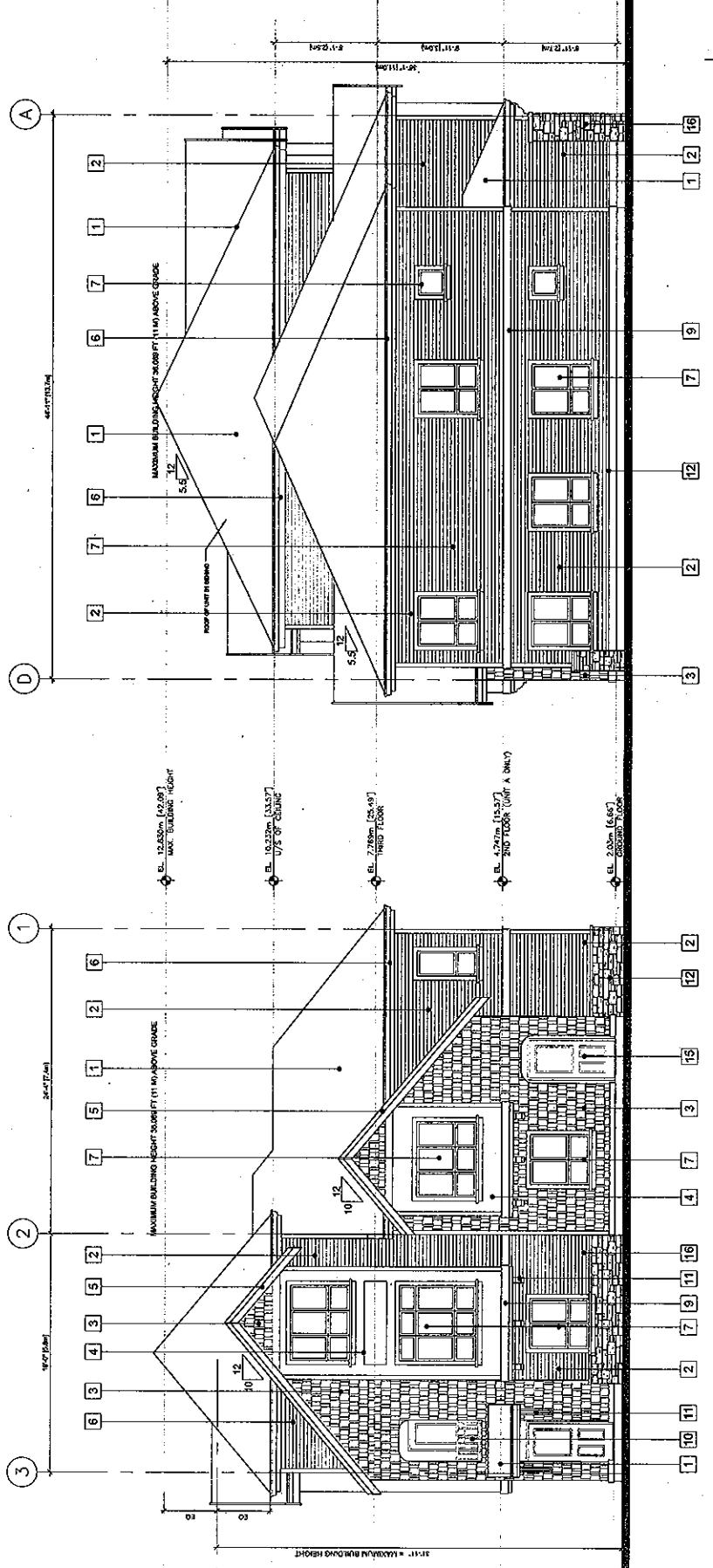
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 DRAWING: 1000-1000-001
 SHEET: 1000-1000-001-001

Plan 8 Mar 2, 2010
DP 08-429887

ORION ESTATES LTD.
 5271 FRANCIS ROAD
 RICHMOND, BRITISH COLUMBIA

DP 08-429887 A-302A C

- NOTES:**
- GENERAL NOTES:**
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE BRITISH COLUMBIAN BUILDING CODE (BCBC) AND ALL APPLICABLE REGULATIONS.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.
 3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
 4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 5. ALL UTILITIES SHALL BE LOCATED AND MARKED PRIOR TO CONSTRUCTION.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND ADJACENT PROPERTIES.
 7. ALL FOUNDATION WORK SHALL BE COMPLETED PRIOR TO THE START OF SUPERSTRUCTURE CONSTRUCTION.
 8. THE CONTRACTOR SHALL MAINTAIN PROPER DRAINAGE AND EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION.
 9. ALL EXTERIOR FINISHES SHALL BE COMPLETED PRIOR TO THE START OF INTERIOR FINISHES.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL EXISTING UTILITIES AND ADJACENT PROPERTIES.
 11. ALL MATERIALS SHALL BE STORED PROPERLY AND PROTECTED FROM WEATHER AND DAMAGE.
 12. THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING ENVIRONMENT AT ALL TIMES.
 13. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
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 99. ALL MATERIALS SHALL BE STORED PROPERLY AND PROTECTED FROM WEATHER AND DAMAGE.
 100. THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING ENVIRONMENT AT ALL TIMES.



Patrick Collier
 7140 RAILWAY AVENUE
 RICHMOND, BRITISH COLUMBIA

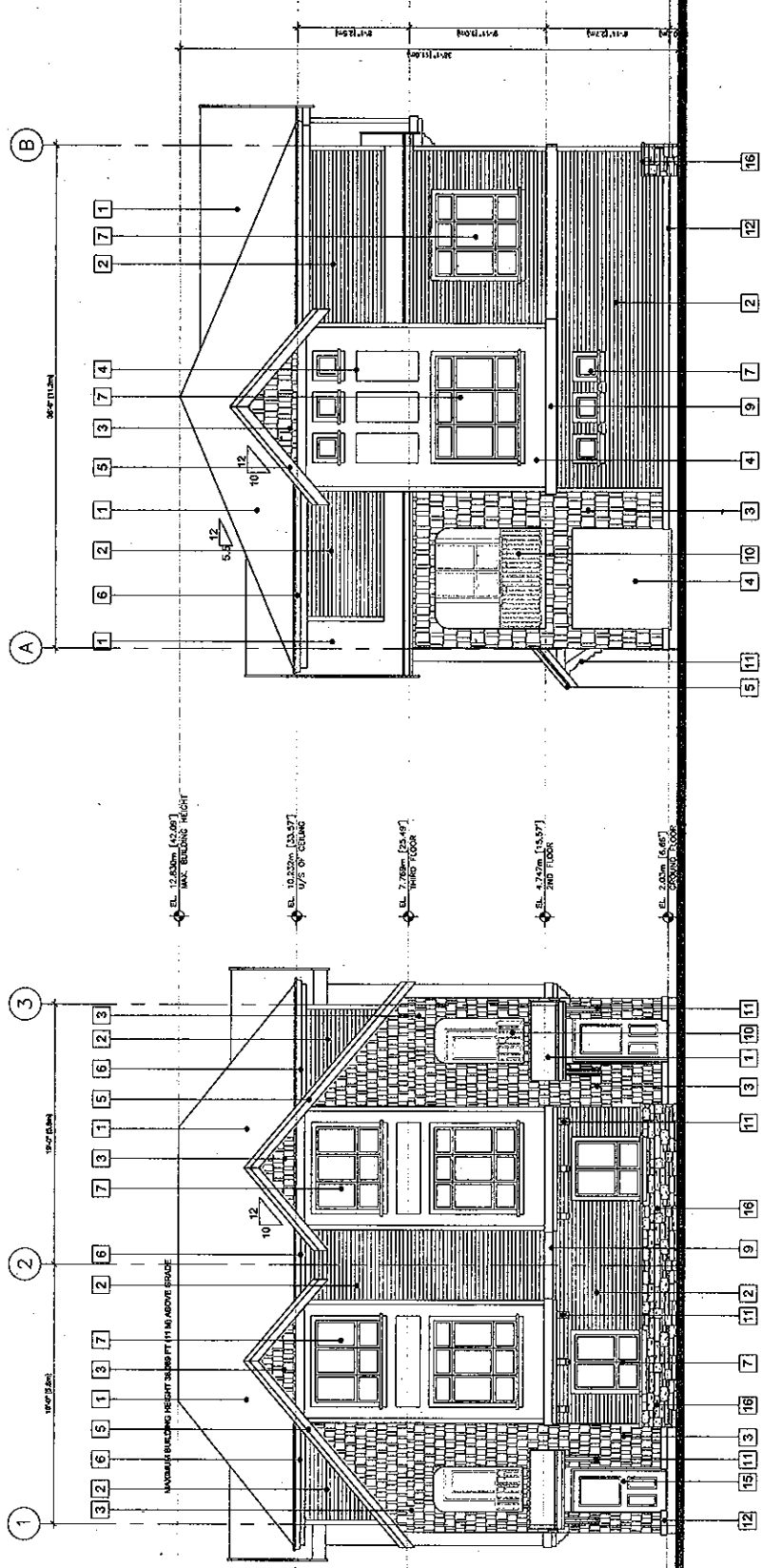
ORION ESTATES LTD.
 5271 FRANCIS ROAD
 RICHMOND, BRITISH COLUMBIA

Plan 9 Mar 2, 2010
DP 08-429887

A-302B C

DP:08-429887

- NOTES:**
- EXTERIOR FINISH SCHEDULE**
- 1. FINISH TO BE DETERMINED BY ARCHITECT
 - 2. FINISH TO BE DETERMINED BY ARCHITECT
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 - 15. FINISH TO BE DETERMINED BY ARCHITECT
 - 16. FINISH TO BE DETERMINED BY ARCHITECT



Plan 10 Mar 2 2010
DP 08-429887

BUILDING 3
 ELEVATIONS -
 UNITS 6-7
 A-303A C
 DP: 08-429887

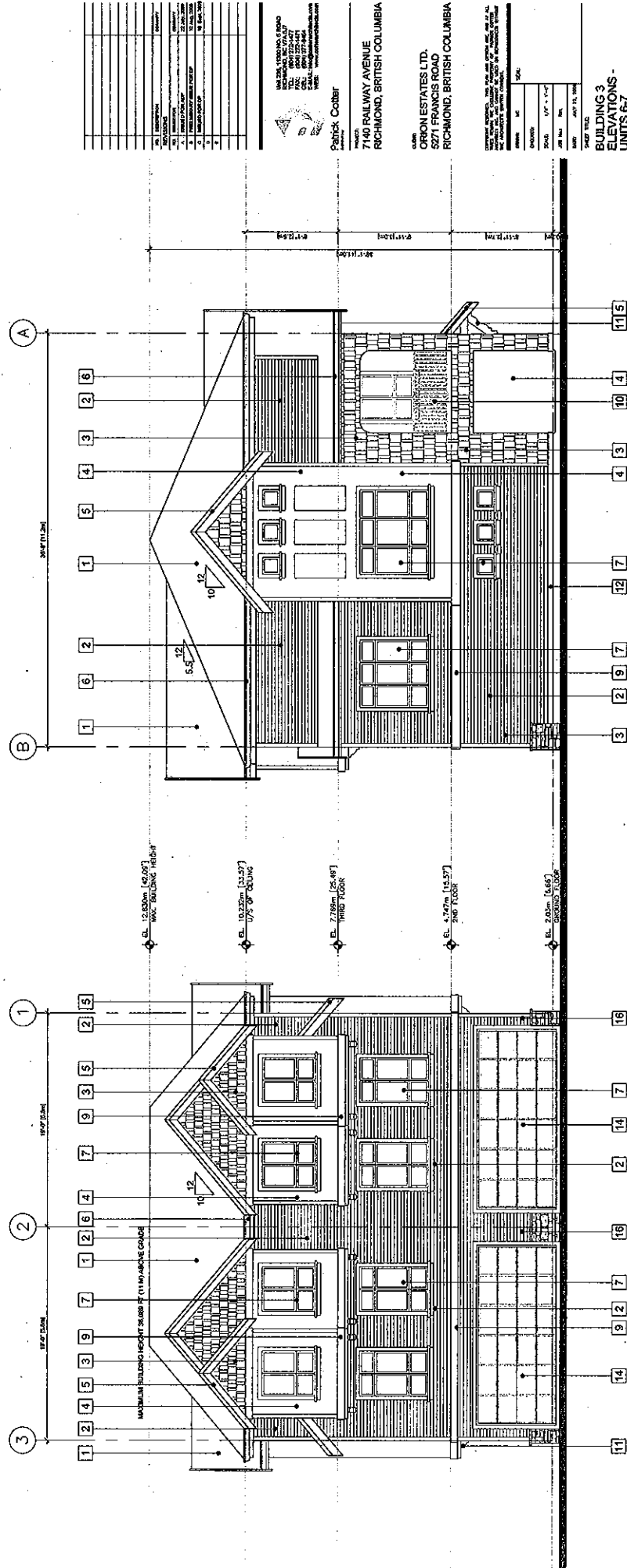
NO.	DESCRIPTION	QUANTITY	UNIT
1	CONCRETE		
2	BRICK		
3	WOOD		
4	GLASS		
5	STEEL		
6	ROOFING		
7	PAINT		
8	MECHANICAL		
9	ELECTRICAL		
10	PLUMBING		
11	LANDSCAPE		
12	OTHER		
13	TOTAL		

Patrick O'Connell
 ARCHITECT
 7140 RAILWAY AVENUE
 RICHMOND, BRITISH COLUMBIA

ORION ESTATES LTD.
 5277 FRANCIS ROAD
 RICHMOND, BRITISH COLUMBIA

DATE	REV.	BY	APP.
08/02/2010	1	PK	PK
08/02/2010	2	PK	PK
08/02/2010	3	PK	PK
08/02/2010	4	PK	PK
08/02/2010	5	PK	PK
08/02/2010	6	PK	PK
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08/02/2010	12	PK	PK
08/02/2010	13	PK	PK
08/02/2010	14	PK	PK
08/02/2010	15	PK	PK
08/02/2010	16	PK	PK

- NOTES:**
EXHIBIT B - FINISH SCHEDULE
- 1. APPLY FINISHES TO INTERIORS ONLY
 - 2. FINISHES TO BE APPLIED TO EXTERIORS ONLY
 - 3. FINISHES TO BE APPLIED TO INTERIORS AND EXTERIORS
 - 4. FINISHES TO BE APPLIED TO INTERIORS AND EXTERIORS
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 - 50. FINISHES TO BE APPLIED TO INTERIORS AND EXTERIORS



PLAN 11 Mar 2 2010
BUILDING 3
ELEVATIONS -
UNITS 6-7
DP 08-429887
A-303B C

DP:08-429887

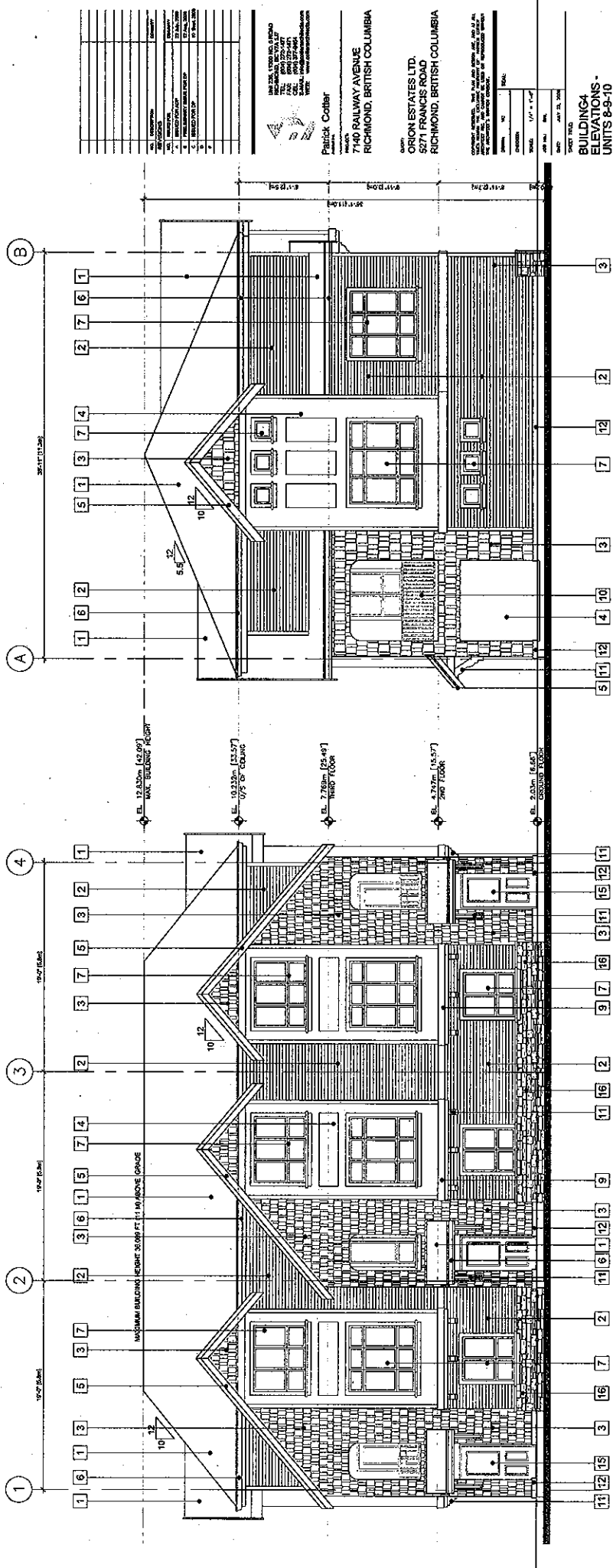
PAIRICK CONCRETE
 7140 RAILWAY AVENUE
 RICHMOND, BRITISH COLUMBIA
 ORION ESTATES LTD.
 5271 FRANCIS ROAD
 RICHMOND, BRITISH COLUMBIA

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	03/02/2010
2	ISSUED FOR PERMIT	03/02/2010
3	ISSUED FOR PERMIT	03/02/2010
4	ISSUED FOR PERMIT	03/02/2010
5	ISSUED FOR PERMIT	03/02/2010
6	ISSUED FOR PERMIT	03/02/2010
7	ISSUED FOR PERMIT	03/02/2010
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47	ISSUED FOR PERMIT	03/02/2010
48	ISSUED FOR PERMIT	03/02/2010
49	ISSUED FOR PERMIT	03/02/2010
50	ISSUED FOR PERMIT	03/02/2010

4 NORTH ELEVATION

3 EAST ELEVATION

- NOTES:**
- 1. EXTENSION SCHEME
 - 2. APPROXIMATE LEVELS
 - 3. MATERIALS TO BE USED
 - 4. FINISHES TO BE USED
 - 5. PAINTS TO BE USED
 - 6. GLAZING TO BE USED
 - 7. ROOFING TO BE USED
 - 8. FLOORING TO BE USED
 - 9. WALLING TO BE USED
 - 10. CEILING TO BE USED
 - 11. LIGHTING TO BE USED
 - 12. OTHER TO BE USED
 - 13. LANDSCAPE TO BE USED
 - 14. FURNITURE TO BE USED
 - 15. PLANTING TO BE USED
 - 16. SIGNAGE TO BE USED
 - 17. SECURITY TO BE USED
 - 18. ACCESSIBILITY TO BE USED
 - 19. SUSTAINABILITY TO BE USED
 - 20. OTHER TO BE USED



NO.	DESCRIPTION	QUANTITY	UNIT
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Patrick Collier
 ARCHITECT
 7140 RAILWAY AVENUE
 RICHMOND, BRITISH COLUMBIA

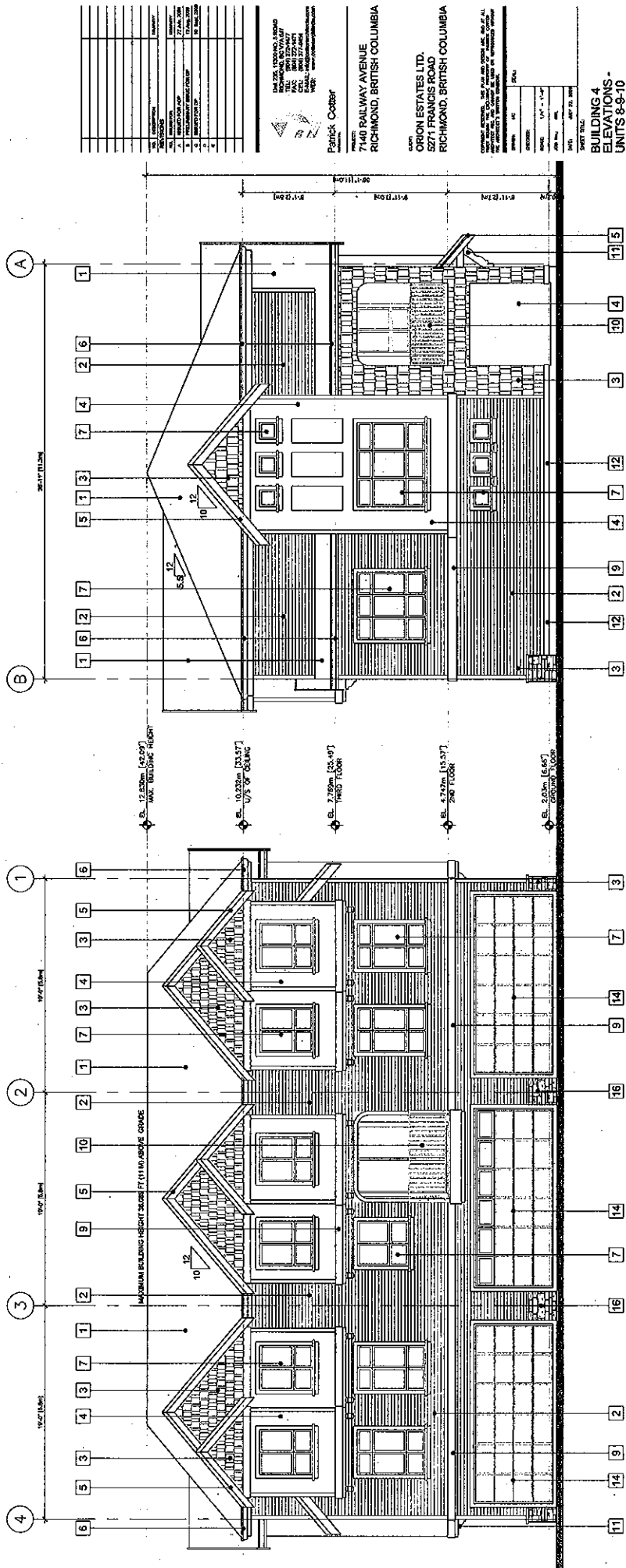
ORION ESTATES LTD.
 5271 FRANCIS ROAD
 RICHMOND, BRITISH COLUMBIA

NO.	DESCRIPTION	QUANTITY	UNIT
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SHEET TITLE: BUILDING4 ELEVATIONS - UNITS 8-9-10
 DATE: Mar 2, 2010
 PLAN: DP 08-429887
 PROJECT: A-304A | C

DP :08-429887

- NOTES:**
- EXTERIOR FINISH SCHEDULE**
1. APPROX. TYPICAL MATERIALS PER FINISH SCHEDULE
 2. FINISHES TO BE DETERMINED BY ARCHITECT
 3. FINISHES TO BE DETERMINED BY ARCHITECT
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 49. FINISHES TO BE DETERMINED BY ARCHITECT
 50. FINISHES TO BE DETERMINED BY ARCHITECT



NO.	DESCRIPTION	UNIT	QUANTITY	REMARKS
1	CONCRETE	m ²		
2	BRICK	m ²		
3	WOOD	m ²		
4	GLASS	m ²		
5	ROOFING	m ²		
6	PAINT	m ²		
7	IRONWORK	m ²		
8	STEEL	m ²		
9	ALUMINUM	m ²		
10	CERAMIC	m ²		
11	PLASTER	m ²		
12	STUCCO	m ²		
13	EIFS	m ²		
14	INSULATION	m ²		
15	MECHANICAL	m ²		
16	ELECTRICAL	m ²		
17	PLUMBING	m ²		
18	MECHANICAL	m ²		
19	ELECTRICAL	m ²		
20	PLUMBING	m ²		
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32	PLUMBING	m ²		
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45	MECHANICAL	m ²		
46	ELECTRICAL	m ²		
47	PLUMBING	m ²		
48	MECHANICAL	m ²		
49	ELECTRICAL	m ²		
50	PLUMBING	m ²		

RAItek CobbF

7148 RAILWAY AVENUE
RICHMOND, BRITISH COLUMBIA

ORION ESTATES LTD.
8271 FRANCIS ROAD
RICHMOND, BRITISH COLUMBIA

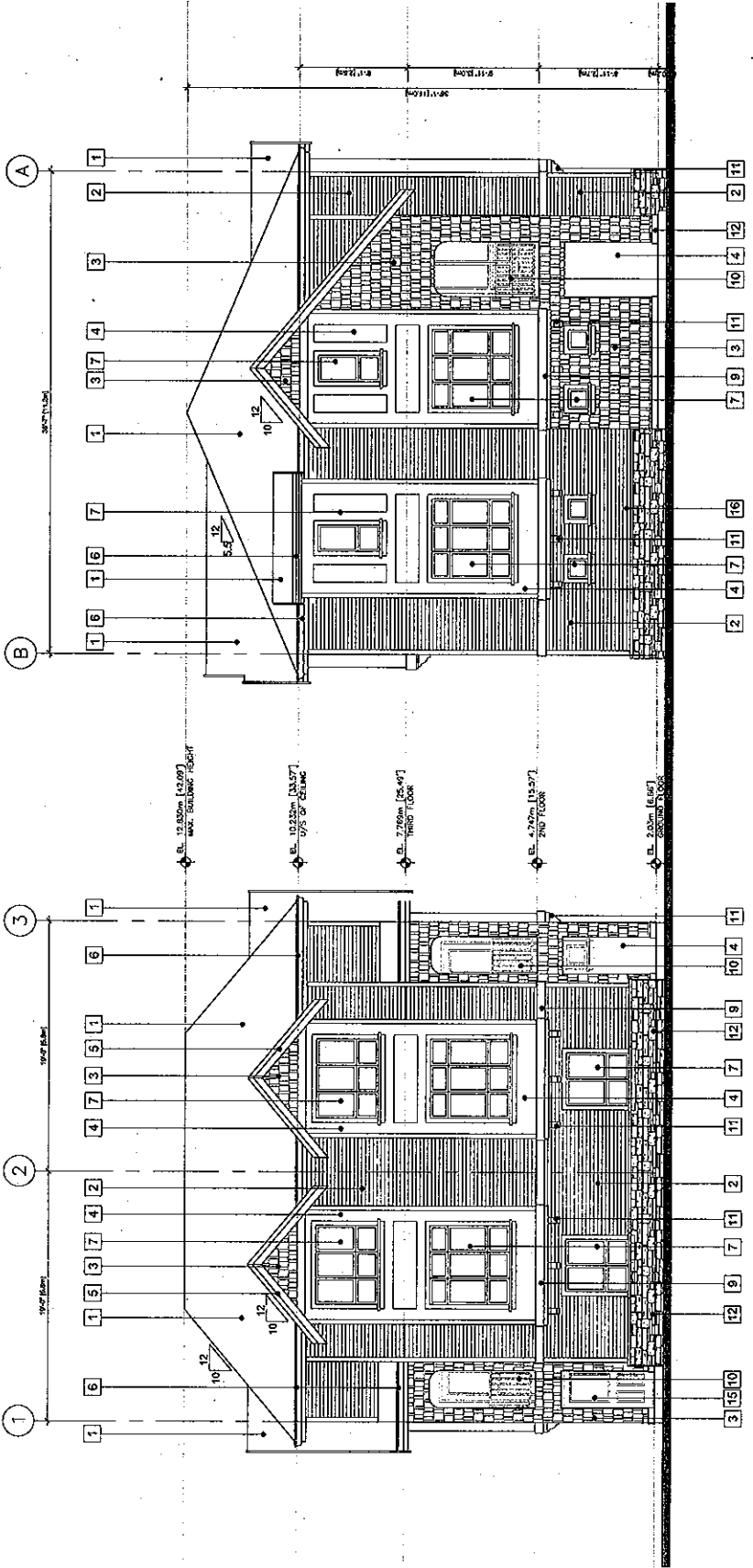
NO.	DESCRIPTION	UNIT	QUANTITY	REMARKS
1	CONCRETE	m ²		
2	BRICK	m ²		
3	WOOD	m ²		
4	GLASS	m ²		
5	ROOFING	m ²		
6	PAINT	m ²		
7	IRONWORK	m ²		
8	STEEL	m ²		
9	ALUMINUM	m ²		
10	CERAMIC	m ²		
11	PLASTER	m ²		
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13	EIFS	m ²		
14	INSULATION	m ²		
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49	ELECTRICAL	m ²		
50	PLUMBING	m ²		

Plan 13 Mar 2 2010
DP 08-429887

A-304B C

DP-08-429887

- NOTES:**
EXTERIOR FINISH SCHEDULE
- 1 ALUMINUM WINDOW FINISHES (ALUMINUM/WOOD)
 - 2 ALUMINUM WINDOW FINISHES (ALUMINUM/ALUMINUM)
 - 3 ALUMINUM WINDOW FINISHES (ALUMINUM/ALUMINUM/ALUMINUM)
 - 4 ALUMINUM WINDOW FINISHES (ALUMINUM/ALUMINUM/ALUMINUM)
 - 5 ALUMINUM WINDOW FINISHES (ALUMINUM/ALUMINUM/ALUMINUM)
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 - 29 ALUMINUM WINDOW FINISHES (ALUMINUM/ALUMINUM/ALUMINUM)
 - 30 ALUMINUM WINDOW FINISHES (ALUMINUM/ALUMINUM/ALUMINUM)



Plan 14 Mar 2 2010
DP 08-429887
 A-305A C
 DP:08-429887

ORION ESTATES LTD.
 5271 FRANCIS ROAD
 RICHMOND, BRITISH COLUMBIA

Paintek Co. Inc.
 7140 RAILWAY AVENUE
 RICHMOND, BRITISH COLUMBIA

ORION ESTATES LTD.
 5271 FRANCIS ROAD
 RICHMOND, BRITISH COLUMBIA

Paintek Co. Inc.
 7140 RAILWAY AVENUE
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 5271 FRANCIS ROAD
 RICHMOND, BRITISH COLUMBIA

Paintek Co. Inc.
 7140 RAILWAY AVENUE
 RICHMOND, BRITISH COLUMBIA

- NOTES:**
GENERAL REQUIREMENTS:
- 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE BRITISH COLUMBIAN BUILDING CODE.
 - 2. ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE SPECIFIED.
 - 3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
 - 4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE TRADE PRACTICES.
 - 5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE TRADE STANDARDS.
 - 6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE TRADE REGULATIONS.
 - 7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE TRADE BY-LAWS.
 - 8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE TRADE ORDINANCES.
 - 9. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE TRADE ACTS.
 - 10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE TRADE STATUTES.
 - 11. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE TRADE REGULATIONS.
 - 12. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE TRADE BY-LAWS.
 - 13. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE TRADE ORDINANCES.
 - 14. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE TRADE ACTS.
 - 15. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE TRADE STATUTES.
 - 16. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE TRADE REGULATIONS.
 - 17. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE TRADE BY-LAWS.
 - 18. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE TRADE ORDINANCES.
 - 19. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE TRADE ACTS.
 - 20. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE TRADE STATUTES.

NO.	DESCRIPTION	QUANTITY	UNIT
1	FOUNDATION		
2	FRAMING		
3	ROOFING		
4	CLADDING		
5	MECHANICAL		
6	ELECTRICAL		
7	PLUMBING		
8	PAINTING		
9	FINISHES		
10	LANDSCAPE		
11	UTILITIES		
12	CONCRETE		
13	STEEL		
14	GLASS		
15	WOOD		
16	BRICK		
17	STONE		
18	ROOFING		
19	MECHANICAL		
20	ELECTRICAL		
21	PLUMBING		
22	PAINTING		
23	FINISHES		
24	LANDSCAPE		
25	UTILITIES		

ORION ESTATES LTD.
 5271 FRANCIS ROAD
 RICHMOND, BRITISH COLUMBIA

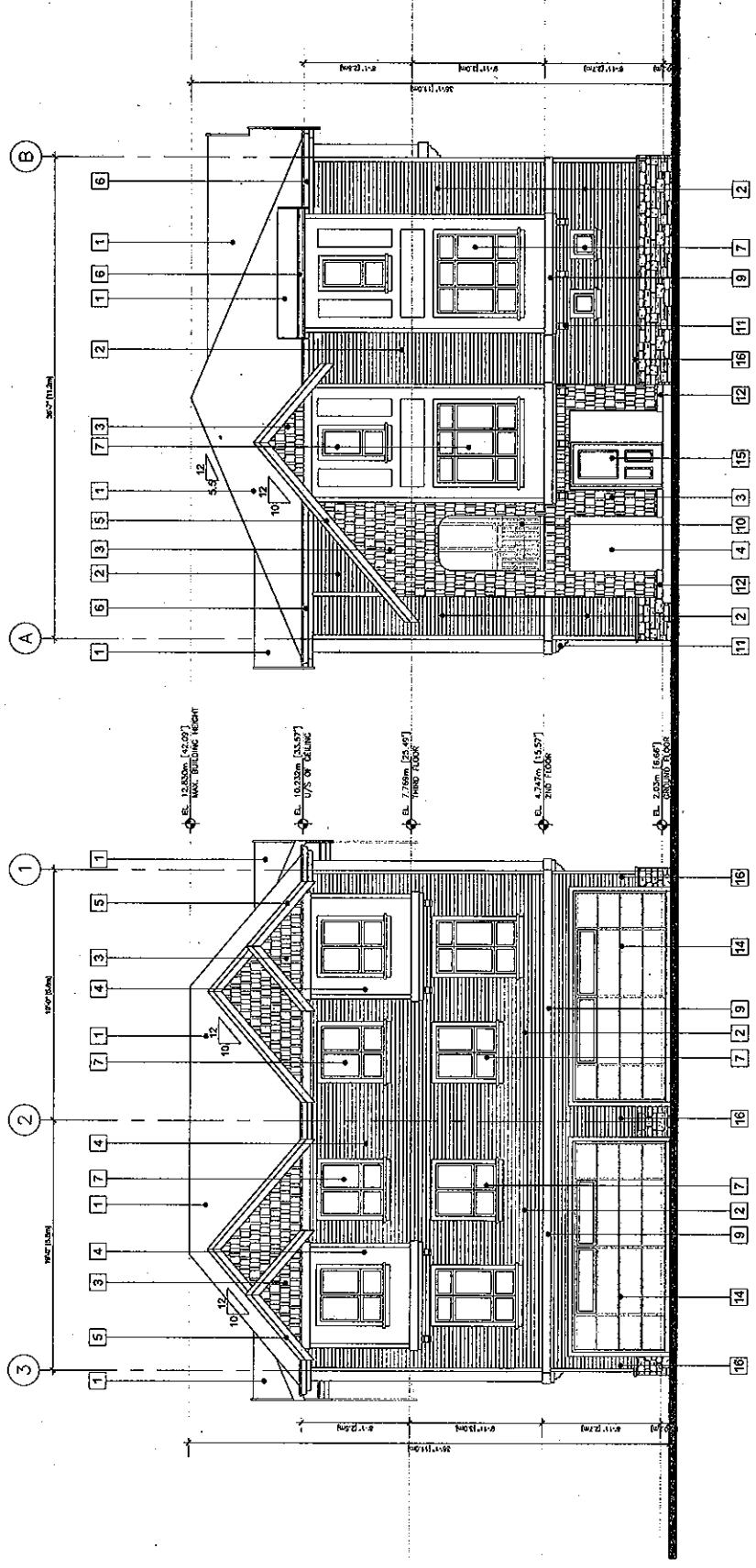
Palack Center
 7140 RAILWAY AVENUE
 RICHMOND, BRITISH COLUMBIA

NO.	DESCRIPTION	DATE
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2	ISSUED FOR CONSTRUCTION	2010.03.02
3	ISSUED FOR OCCUPANCY	2010.03.02
4	ISSUED FOR AS-BUILT	2010.03.02
5	ISSUED FOR FINAL REVIEW	2010.03.02
6	ISSUED FOR ARCHIVE	2010.03.02

ORION ESTATES LTD.
 5271 FRANCIS ROAD
 RICHMOND, BRITISH COLUMBIA

Palack Center
 7140 RAILWAY AVENUE
 RICHMOND, BRITISH COLUMBIA

Plan 1.5 Mar 2 2010
DP 08-429887
A-305B C

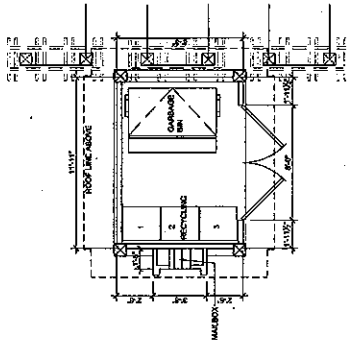


WEST ELEVATION
 RAILWAY AVE

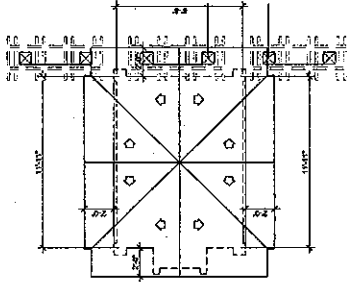
SOUTH ELEVATION

DP-08-429887

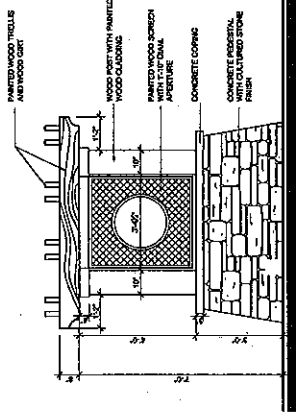
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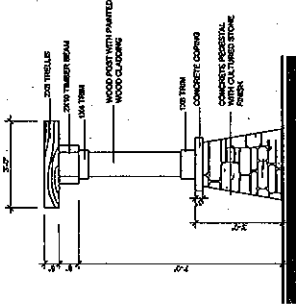
1 PLAN
SCALE: 1/4" = 1'-0"



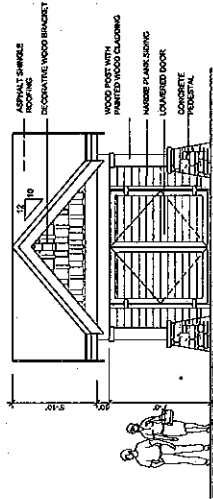
2 ROOF PLAN
SCALE: 1/4" = 1'-0"



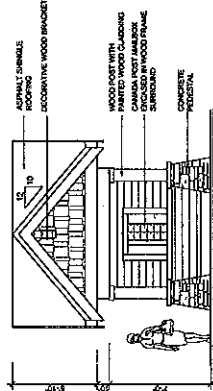
3 TRELLIS FRONT ELEVATION
SCALE: 1/4" = 1'-0"



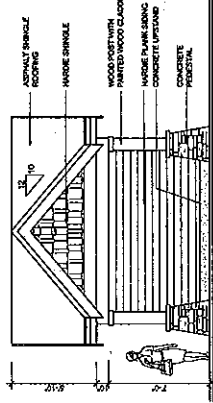
4 TRELLIS SIDE ELEVATION
SCALE: 1/4" = 1'-0"



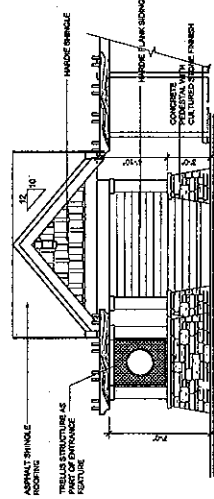
5 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



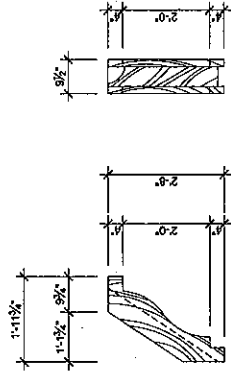
6 WEST ELEVATION
SCALE: 1/4" = 1'-0"



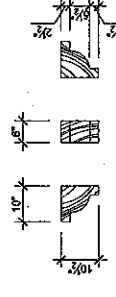
7 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



8 EAST ELEVATION
SCALE: 1/4" = 1'-0"



9 WOOD BRACKET DETAILS
SCALE: 3/4" = 1'-0"



10 WOOD CORBEL DETAILS
SCALE: 3/4" = 1'-0"

NO.	DESCRIPTION	QUANTITY	UNIT
1	ASPHALT SHINGLE ROOFING	12,000	SQ. FT.
2	MADE SHINGLE	1,000	SQ. FT.
3	PAINTED WOOD CLADDING	1,500	SQ. FT.
4	PAINTED WOOD BRACKET	10	PC.
5	PAINTED WOOD CORBEL	10	PC.
6	CONCRETE PEDESTAL	10	PC.
7	CONCRETE FLOOR	1,000	SQ. FT.
8	CONCRETE FOUNDATION	1,000	SQ. FT.
9	CONCRETE CURB	10	PC.
10	CONCRETE WALKWAY	10	PC.
11	CONCRETE STEPS	10	PC.
12	CONCRETE FINISH	1,000	SQ. FT.
13	CONCRETE PAINT	1,000	SQ. FT.
14	CONCRETE STONE	1,000	SQ. FT.
15	CONCRETE TRIM	10	PC.
16	CONCRETE TRIM	10	PC.
17	CONCRETE TRIM	10	PC.
18	CONCRETE TRIM	10	PC.
19	CONCRETE TRIM	10	PC.
20	CONCRETE TRIM	10	PC.
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25	CONCRETE TRIM	10	PC.
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27	CONCRETE TRIM	10	PC.
28	CONCRETE TRIM	10	PC.
29	CONCRETE TRIM	10	PC.
30	CONCRETE TRIM	10	PC.

UNIVERSITY OF BRITISH COLUMBIA
 7140 RAILWAY AVENUE
 RICHMOND, BRITISH COLUMBIA

PRICK COITER
 7140 RAILWAY AVENUE
 RICHMOND, BRITISH COLUMBIA

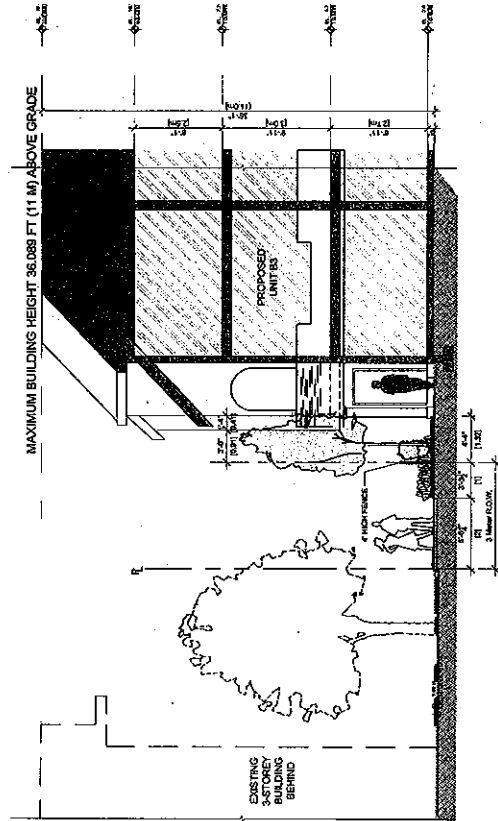
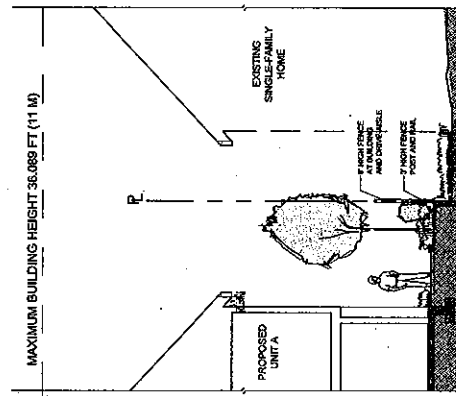
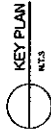
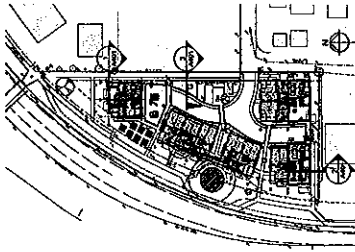
CONSTATES LTD.
 571 FRANCIS ROAD
 RICHMOND, BRITISH COLUMBIA

PLAN 16
 Mar 2 2010
 DP 08-429887

A-306
 C

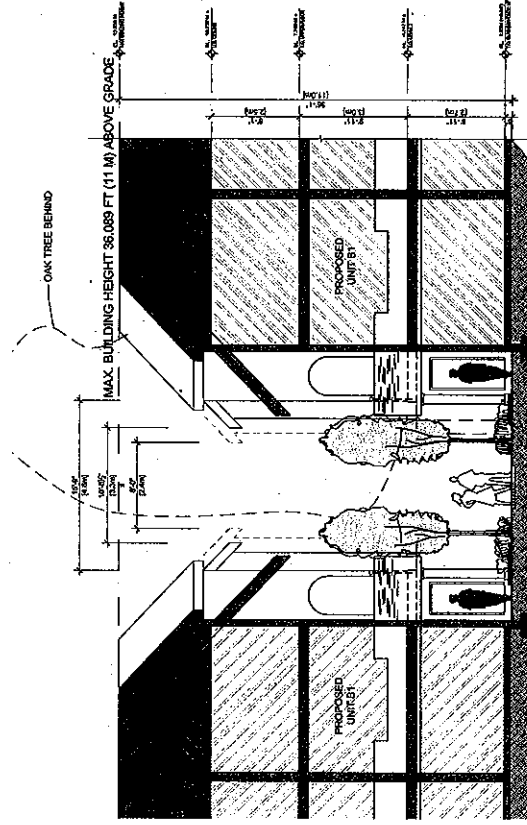
RECYCLING, REFUSE & MAILBOX

NOTES:

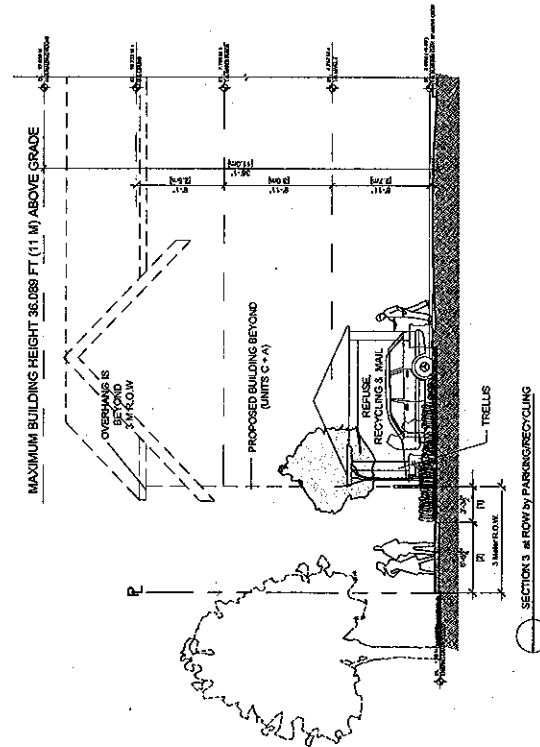


SECTION 1 - THROUGH R.O.W. @ EAST PROPERTY LINE

SECTION 2 - AT UNIT 'A' @ SOUTH PROPERTY LINE



SECTION 3 - AT ROW BY PARKING/RECYCLING



SECTION 4 - AT ACCESS AT OAK TREE

NO.	REVISION	DATE

PROJECT CENTER
 7140 RAILWAY AVENUE
 RICHMOND, BRITISH COLUMBIA
 (604) 273-1111
 (604) 273-1112
 (604) 273-1113
 (604) 273-1114
 (604) 273-1115
 (604) 273-1116
 (604) 273-1117
 (604) 273-1118
 (604) 273-1119
 (604) 273-1120

ORION ESTATES LTD.
 5271 FRANCIS ROAD
 RICHMOND, BRITISH COLUMBIA
 (604) 273-1111
 (604) 273-1112
 (604) 273-1113
 (604) 273-1114
 (604) 273-1115
 (604) 273-1116
 (604) 273-1117
 (604) 273-1118
 (604) 273-1119
 (604) 273-1120

SITE SECTIONS
 Plan 17, Mar 2 2010
 DP 08-429887

SHEET
 A-400 C
 DP-08-429887

NOTES

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	12.14.2010
2	REVISED PER PERMIT	12.14.2010
3	REVISED PER PERMIT	12.14.2010
4	REVISED PER PERMIT	12.14.2010
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19	REVISED PER PERMIT	12.14.2010
20	REVISED PER PERMIT	12.14.2010

140 RAILWAY AVENUE
RICHMOND, BRITISH COLUMBIA
V6V 1R7
TEL: (604) 273-2411
FAX: (604) 273-2411
WWW.PATRICKOCTYER.COM
P.O. BOX 10000, VANCOUVER, BC V6C 3K7
TEL: (604) 681-1111
FAX: (604) 681-1111
WWW.PATRICKOCTYER.COM

Patrick Octyer

PROJECT
140 RAILWAY AVENUE
RICHMOND, BRITISH COLUMBIA

CLIENT
ORION ESTATES LTD.
5271 FRANCIS ROAD
RICHMOND, BRITISH COLUMBIA

DATE
12.14.2010

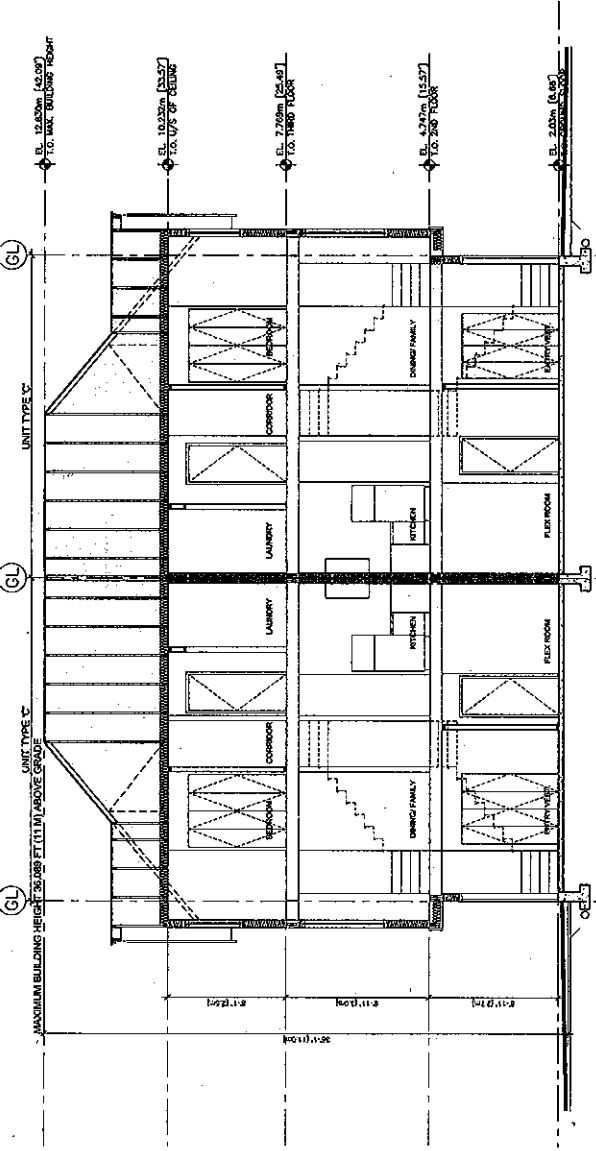
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PROJECT
140 RAILWAY AVENUE
RICHMOND, BRITISH COLUMBIA

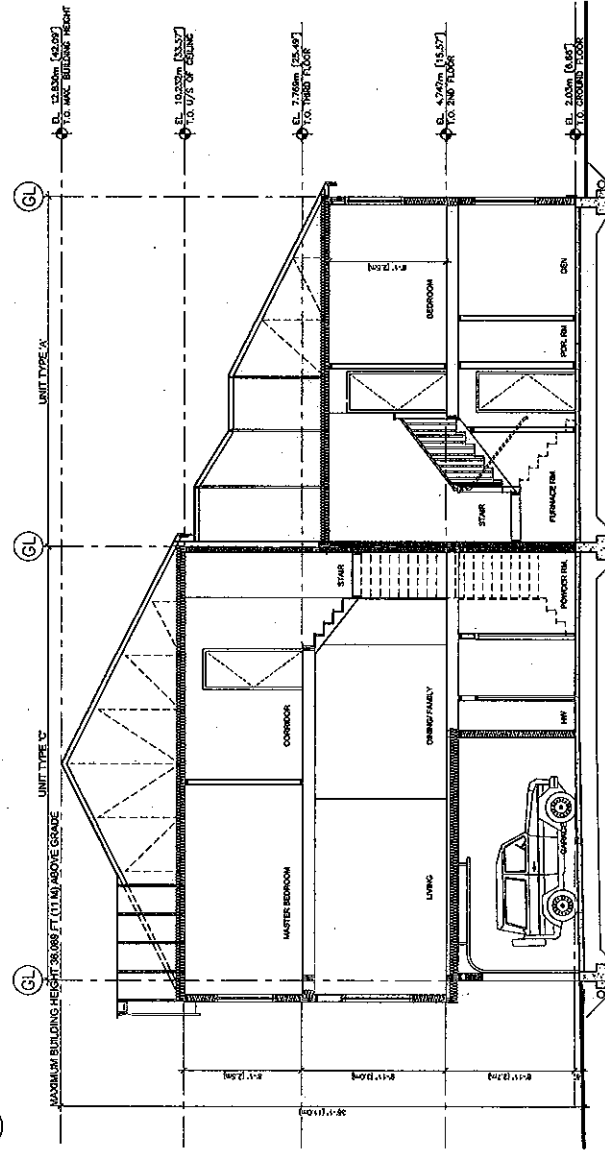
CLIENT
ORION ESTATES LTD.
5271 FRANCIS ROAD
RICHMOND, BRITISH COLUMBIA

DATE
12.14.2010

PROJECT
140 RAILWAY AVENUE
RICHMOND, BRITISH COLUMBIA



1
BUILDING 1
SECTION A
SCALE 1/8"=1'-0"



2
BUILDING 1
SECTION B
SCALE 1/8"=1'-0"

BUILDING SECTIONS
BUILDING 1

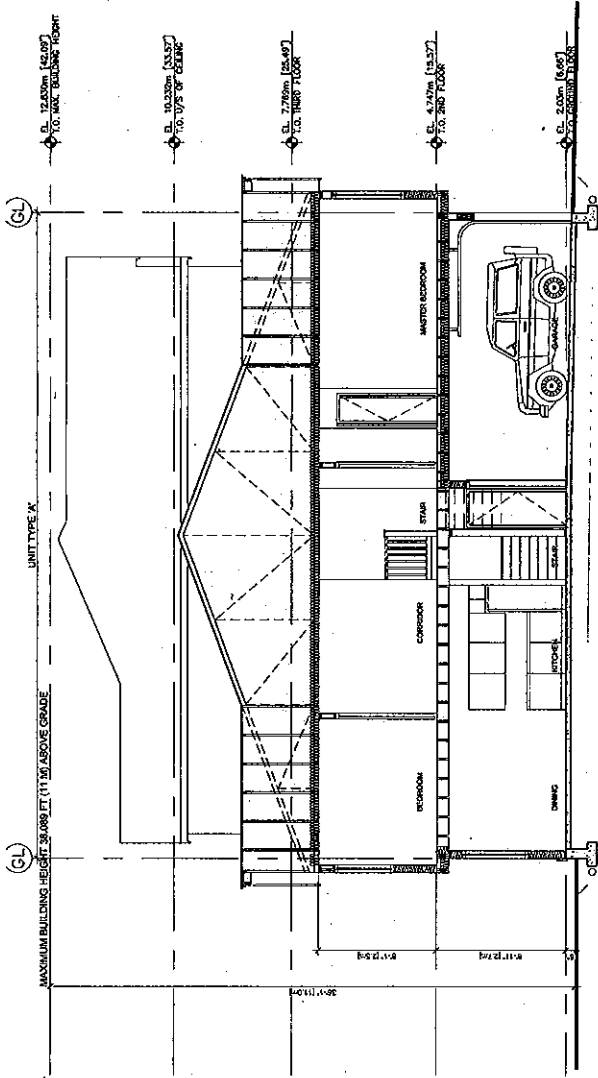
Plan 18 Mar 2 2010
DP 08-429887

A-401

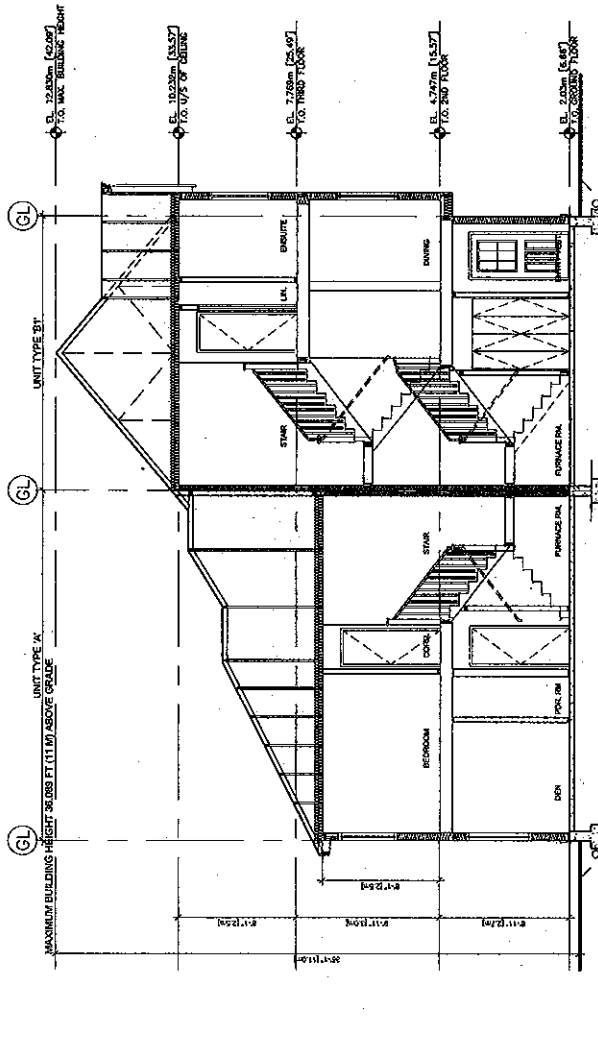
DP-08-429887

C

NOTES:



BUILDING 2 SECTION A
1/8" = 1'-0"



BUILDING 2 SECTION B
1/8" = 1'-0"

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	27 JUN 2010
2	ISSUED FOR PERMIT	18 JUL 2010
3	ISSUED FOR PERMIT	18 JUL 2010
4	ISSUED FOR PERMIT	18 JUL 2010
5	ISSUED FOR PERMIT	18 JUL 2010
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7	ISSUED FOR PERMIT	18 JUL 2010
8	ISSUED FOR PERMIT	18 JUL 2010
9	ISSUED FOR PERMIT	18 JUL 2010
10	ISSUED FOR PERMIT	18 JUL 2010

100 WEST 10TH AVENUE
 RICHMOND, BC V6V 1A7
 TEL: 604.275.2471
 FAX: 604.275.2472
 EMAIL: PATRICK@PATRICKCOLLIER.COM
 WWW: WWW.PATRICKCOLLIER.COM

Patrick Collier
 ARCHITECT
 7100 RAILWAY AVENUE
 RICHMOND, BRITISH COLUMBIA

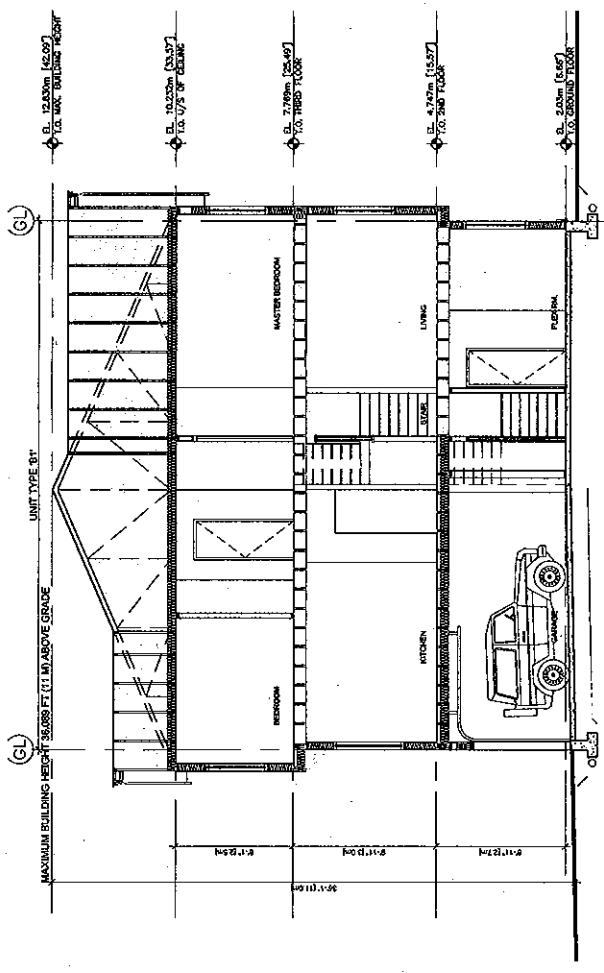
ORION ESTATES LTD.
 5271 FRANCIS ROAD
 RICHMOND, BRITISH COLUMBIA

PROJECT	
NO.	08-429887
NAME	BUILDING SECTIONS
ADDRESS	BUILDING 2
SCALE	1/8" = 1'-0"
DATE	Mar 2 2010
BY	PK
CHECKED	PK
DATE	

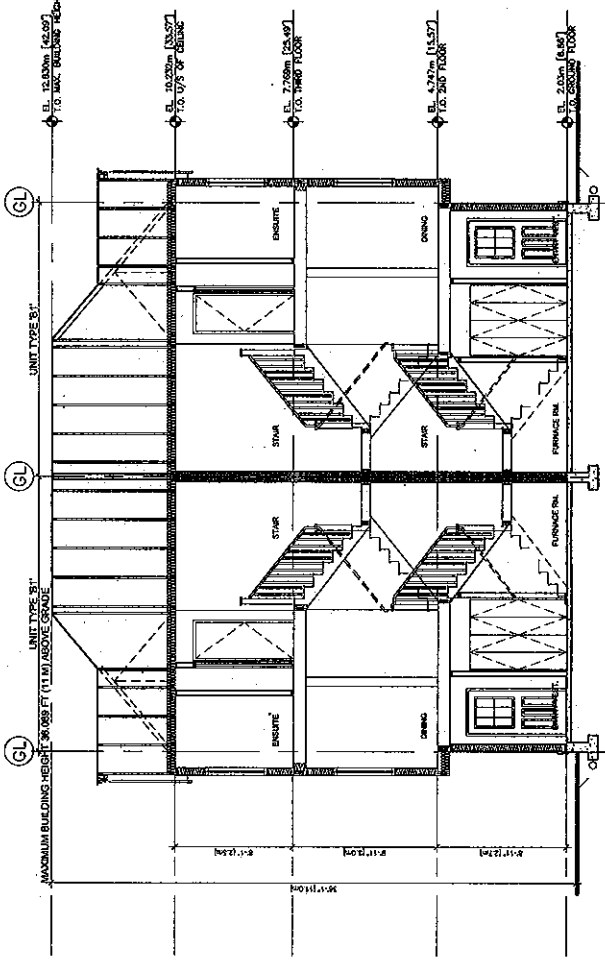
SHEET TITLE
 BUILDING SECTIONS
 BUILDING 2
 Plan 19 Mar 2 2010
 DP 08-429887

A-402 | C
 DP: 08-429887

NOTES:




BUILDING 3
SECTION A
1/4" = 1'-0"



BUILDING 3
SECTION B
1/4" = 1'-0"

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	2010.03.02
2	REVISED PER COMMENTS	2010.03.02
3	REVISED PER COMMENTS	2010.03.02
4	REVISED PER COMMENTS	2010.03.02
5	REVISED PER COMMENTS	2010.03.02
6	REVISED PER COMMENTS	2010.03.02
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 ORION ESTATES LTD.
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 RICHMOND, BRITISH COLUMBIA

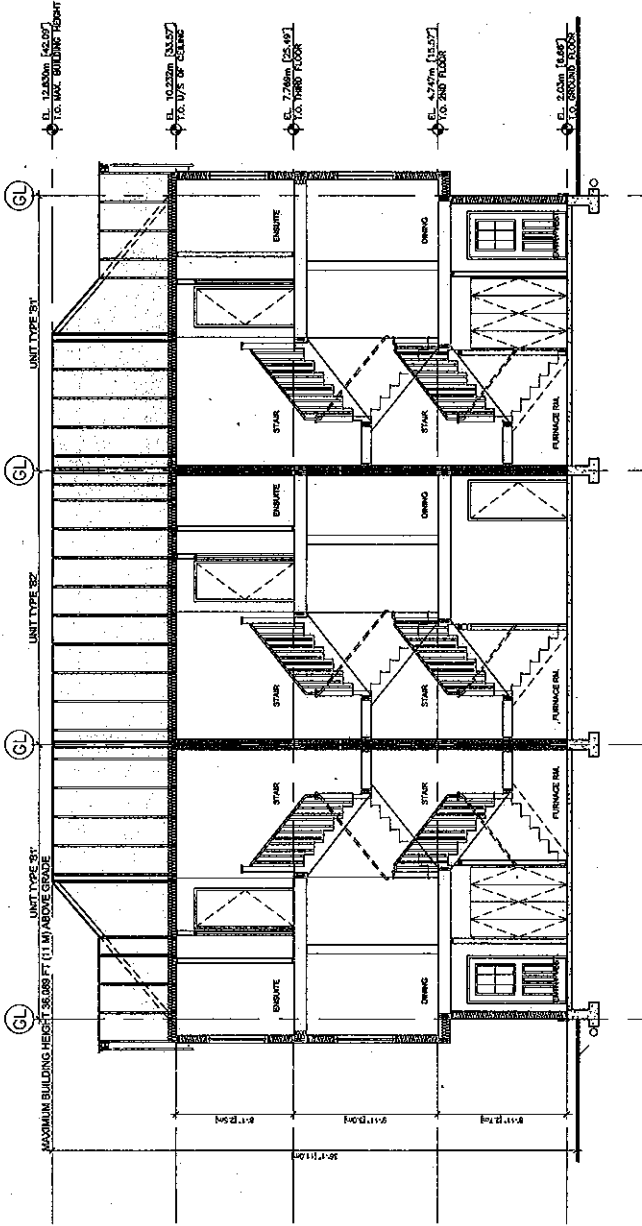
ORION ESTATES LTD.
 7140 RAILWAY AVENUE
 RICHMOND, BRITISH COLUMBIA

BUILDING SECTIONS
 BUILDING 3

Plan 20 Mar 2 2010
 DP 08-429887

A-403 C
 DP:08-429887

NOTES:



1 BUILDING 4 SECTION A 1/4" = 1'-0"

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	03.18.2010
2	ISSUED FOR PERMIT	03.18.2010
3	ISSUED FOR PERMIT	03.18.2010
4	ISSUED FOR PERMIT	03.18.2010
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19	ISSUED FOR PERMIT	03.18.2010
20	ISSUED FOR PERMIT	03.18.2010

1487 ZOE AVENUE, SUITE 200
 VANCOUVER, BC V6L 2G9
 TEL: (604) 275-7417
 FAX: (604) 275-7418
 CELL: (604) 275-7418
 WEB: www.patrickcooper.com

Patrick Cooper
 ARCHITECT
 7140 RAILWAY AVENUE
 RICHMOND, BRITISH COLUMBIA

ORION ESTATES LTD.
 5271 FRANCIS ROAD
 RICHMOND, BRITISH COLUMBIA

CONTRACT NO. 08-429887
 SHEET NO. A-404
 OF 404 SHEETS
 DATE: 03.18.2010

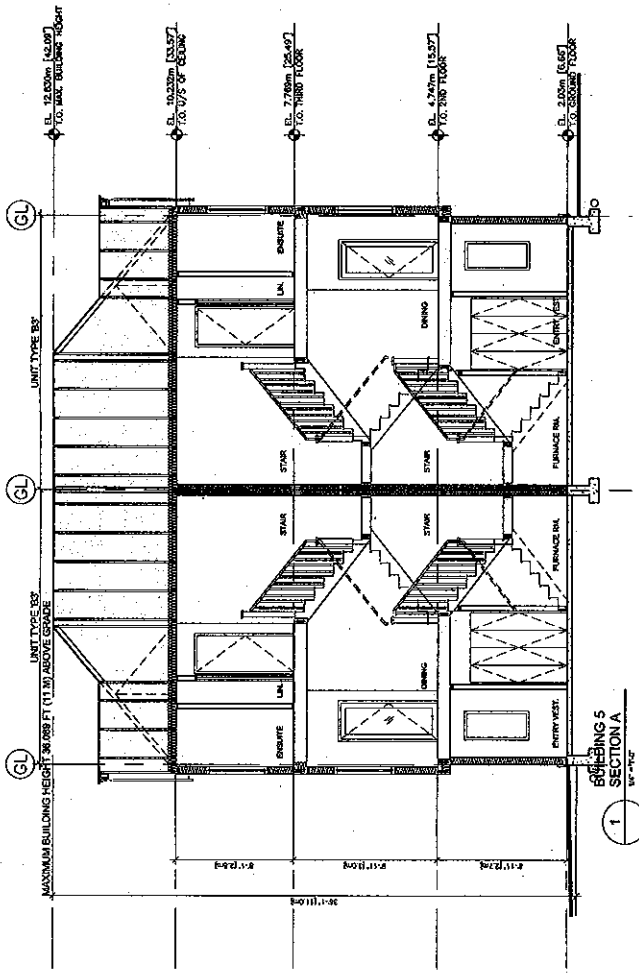
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18	ISSUED FOR PERMIT	03.18.2010
19	ISSUED FOR PERMIT	03.18.2010
20	ISSUED FOR PERMIT	03.18.2010

BUILDING SECTIONS
 BUILDING 4

Plan 21 Mar 2 2010
 DP 08-429887

A-404 C
 DP: 08-429887

NOTES:



NO.	REVISIONS	DATE	BY	CHKD.	DESCRIPTION
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4					
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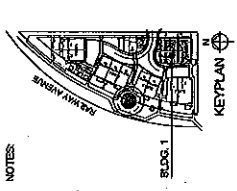
ORION
 7140 RAILWAY AVENUE
 RICHMOND, BRITISH COLUMBIA

ORION ESTATES LTD.
 5271 FRANCIS ROAD
 RICHMOND, BRITISH COLUMBIA

NO.	REVISIONS	DATE	BY	CHKD.	DESCRIPTION
1					
2					
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4					
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11					
12					
13					
14					
15					

BUILDING SECTIONS
BUILDING 5
 Plan 22, Mar 2 2010
DP 08-429887
A-405 C

DP-08-429887
 08-00000



NOTES

SLDGS. 1

1.	SEE SLDGS. 1, 2 AND 3 FOR DIMENSIONS AND FINISHES.
2.	SEE SLDGS. 1, 2 AND 3 FOR DIMENSIONS AND FINISHES.
3.	SEE SLDGS. 1, 2 AND 3 FOR DIMENSIONS AND FINISHES.
4.	SEE SLDGS. 1, 2 AND 3 FOR DIMENSIONS AND FINISHES.
5.	SEE SLDGS. 1, 2 AND 3 FOR DIMENSIONS AND FINISHES.
6.	SEE SLDGS. 1, 2 AND 3 FOR DIMENSIONS AND FINISHES.
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10.	SEE SLDGS. 1, 2 AND 3 FOR DIMENSIONS AND FINISHES.
11.	SEE SLDGS. 1, 2 AND 3 FOR DIMENSIONS AND FINISHES.
12.	SEE SLDGS. 1, 2 AND 3 FOR DIMENSIONS AND FINISHES.
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16.	SEE SLDGS. 1, 2 AND 3 FOR DIMENSIONS AND FINISHES.
17.	SEE SLDGS. 1, 2 AND 3 FOR DIMENSIONS AND FINISHES.
18.	SEE SLDGS. 1, 2 AND 3 FOR DIMENSIONS AND FINISHES.
19.	SEE SLDGS. 1, 2 AND 3 FOR DIMENSIONS AND FINISHES.
20.	SEE SLDGS. 1, 2 AND 3 FOR DIMENSIONS AND FINISHES.

ORION REALTY LTD.
 1000 WEST 10TH AVENUE, SUITE 100
 VANCOUVER, BC V6H 3G7
 TEL: (604) 277-7477
 FAX: (604) 277-7481
 WWW.ORBONESTATES.COM

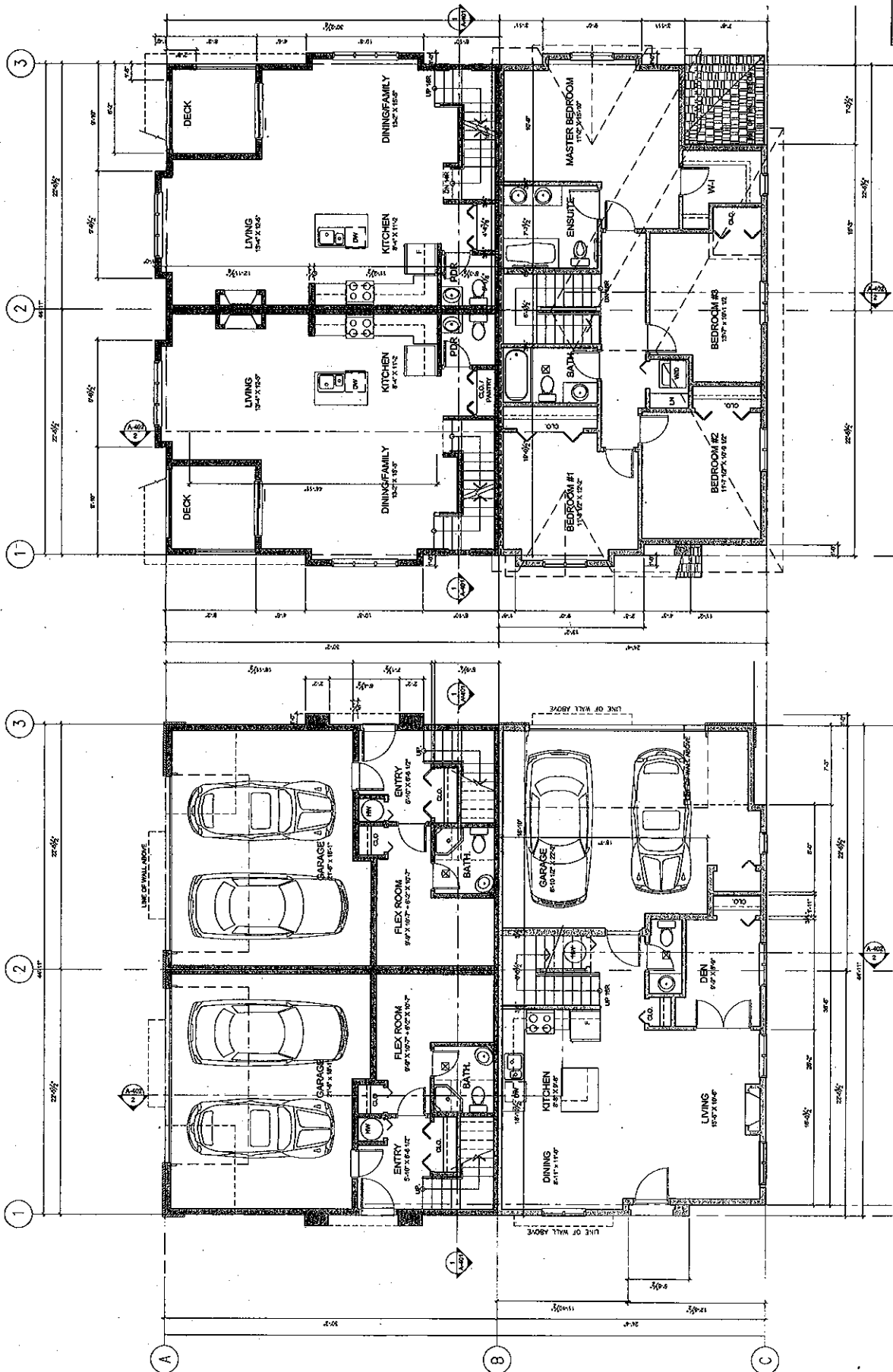
ORBON REALTY LTD.
 7140 RAILWAY AVENUE
 RICHMOND, BRITISH COLUMBIA

ORBON REALTY LTD.
 5271 FRANCIS ROAD
 RICHMOND, BRITISH COLUMBIA

DATE	2010.03.02
PROJECT TITLE	BUILDING NO. 1 FLOOR PLANS LEVEL 1 LEVEL 2
DESIGNER	ORBON REALTY LTD.
CLIENT	ORBON REALTY LTD.
SCALE	AS SHOWN
PROJECT NO.	08-429887
REV.	
BY	
CHKD.	
DATE	

Reference Plan Mar 2 2010
DP 08-429887
 A-201a C

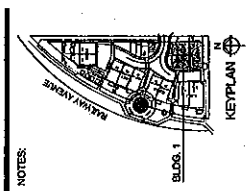
DP-08-429887



UNIT TYPE C-A2-C
 SECOND FLOOR PLAN

UNIT TYPE C-A2-C
 GROUND FLOOR PLAN





NO.	DESCRIPTION	REVISION
1	ISSUED FOR PERMIT	
2	ISSUED FOR PERMIT	
3	ISSUED FOR PERMIT	
4	ISSUED FOR PERMIT	
5	ISSUED FOR PERMIT	
6	ISSUED FOR PERMIT	
7	ISSUED FOR PERMIT	
8	ISSUED FOR PERMIT	
9	ISSUED FOR PERMIT	
10	ISSUED FOR PERMIT	

ORION ESTATES LTD.
 5271 FRANCIS ROAD
 RICHMOND, BRITISH COLUMBIA

Patrick Center
 7140 RAILWAY AVENUE
 RICHMOND, BRITISH COLUMBIA

ORION ESTATES LTD.
 5271 FRANCIS ROAD
 RICHMOND, BRITISH COLUMBIA

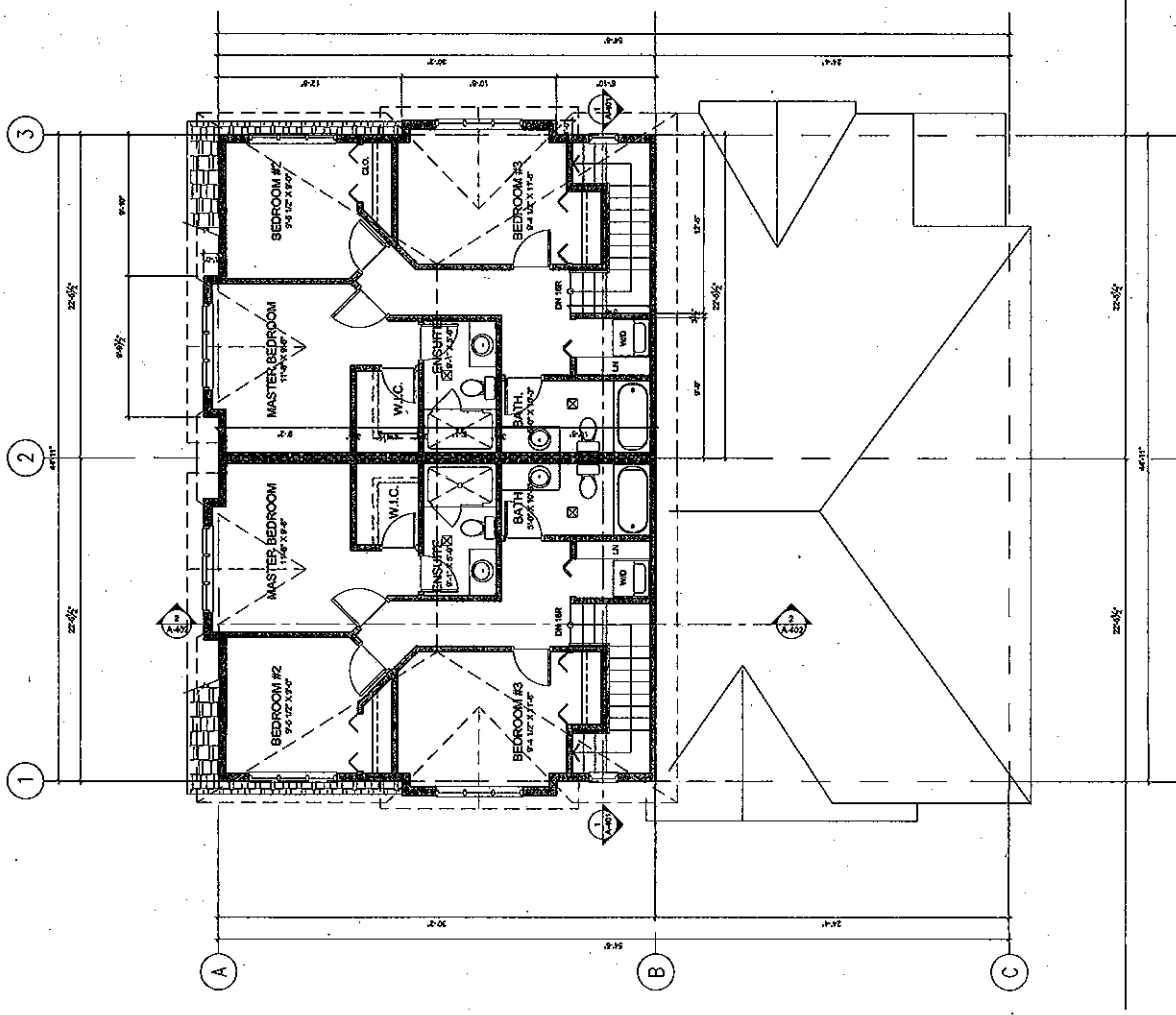
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UNIT TYPES C42-C
 THIRD FLOOR PLAN

Reference Plan Mar 2 2010
 DP 08-429887

A-201b C

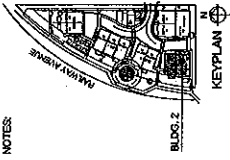
DP :08-429887



UNIT TYPES C42-C
 THIRD FLOOR PLAN



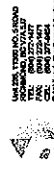
NOTES:



BLDG. 2

KEY PLAN

NO.	DESCRIPTION	DATE
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Patrick Center

7140 RAILWAY AVENUE
RICHMOND, BRITISH COLUMBIA

ORION ESTATES LTD.
5271 FRANCIS ROAD
RICHMOND, BRITISH COLUMBIA

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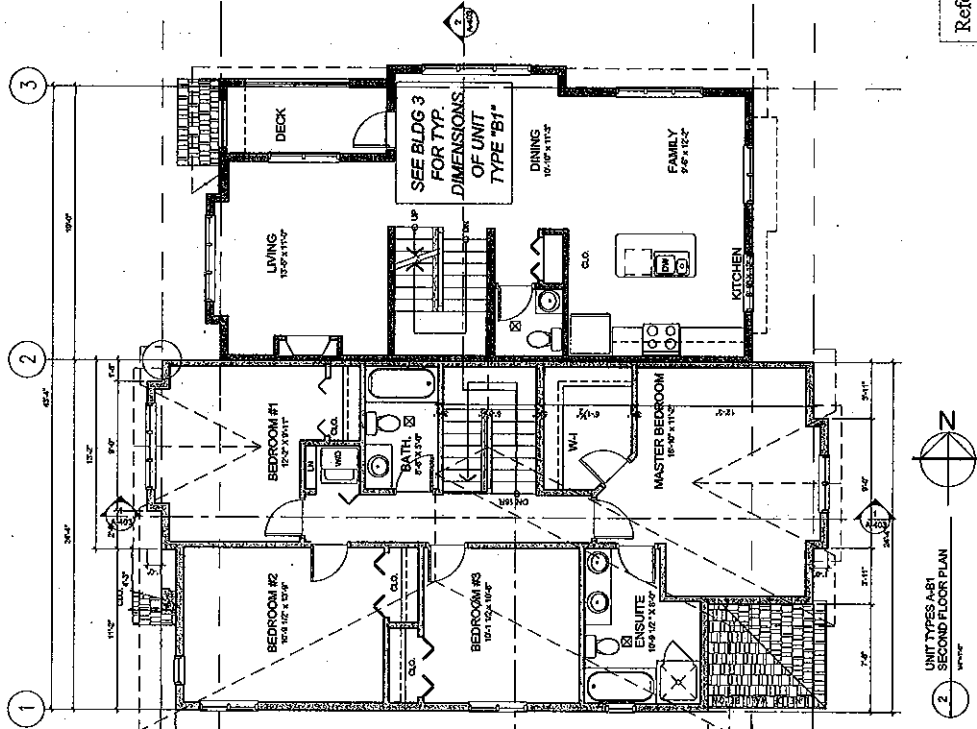
BUILDING NO. 2
FLOOR PLANS (units-4-5)
LEVEL 1
LEVEL 2

Reference Plan Mar 2 2010

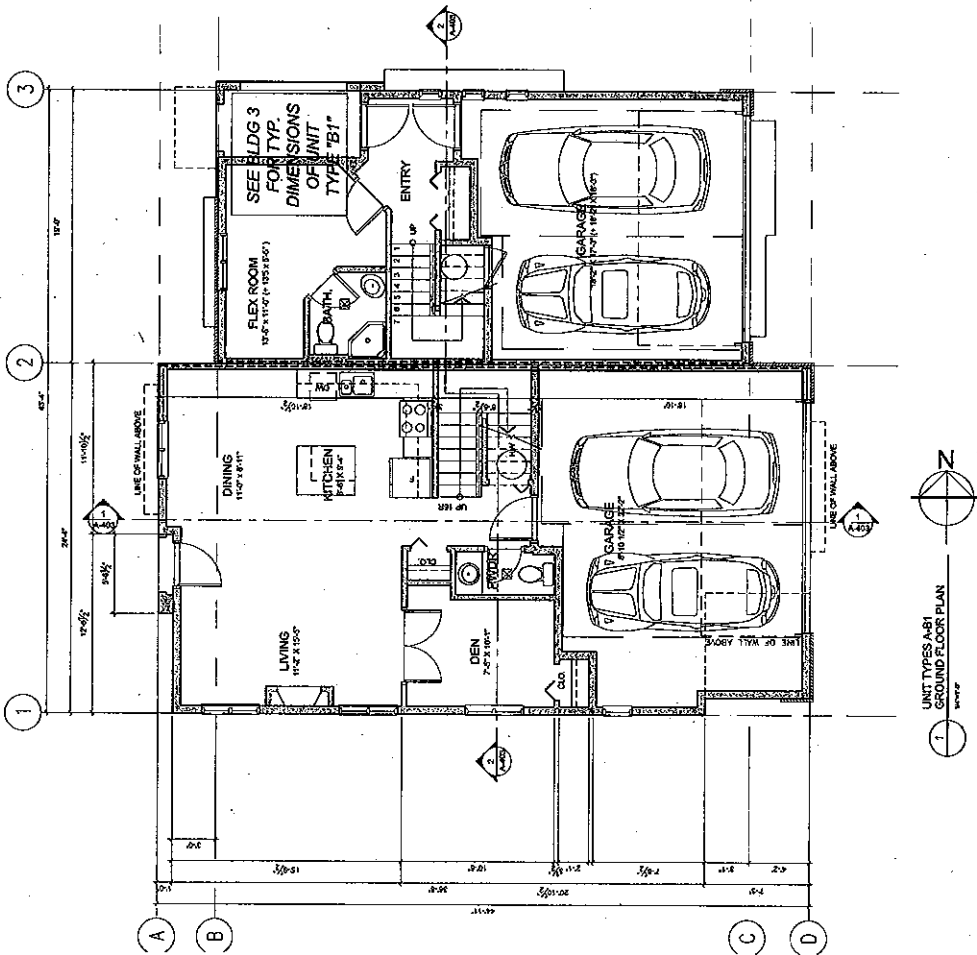
DP 08-429887

A-202a C

DP: 08-429887

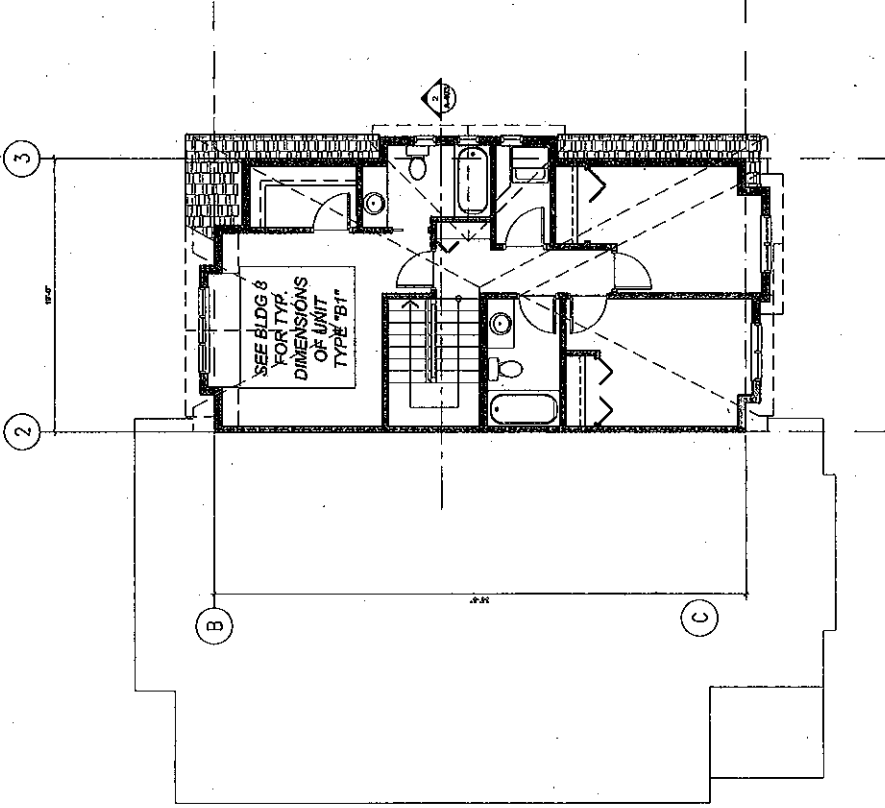
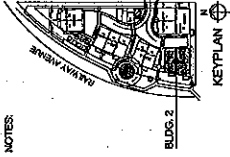


UNIT TYPES A,B1
SECOND FLOOR PLAN



UNIT TYPES A,B1
GROUND FLOOR PLAN

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UNICAL CONSULTING GROUP
 1000 WEST 10TH AVENUE
 VANCOUVER, BC V6H 1A7
 TEL: (604) 273-8844
 FAX: (604) 273-8845
 WWW: www.unicalgroup.com

Pattek Ootter

7140 RAILWAY AVENUE
 RICHMOND, BRITISH COLUMBIA

ORION ESTATES LTD.
 5271 FRANCIS ROAD
 RICHMOND, BRITISH COLUMBIA

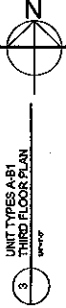
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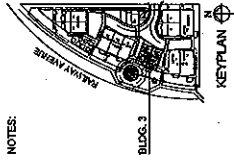
ORION ESTATES LTD.
 5271 FRANCIS ROAD
 RICHMOND, BRITISH COLUMBIA

Reference Plan Mar 2 2010
DP 08-429887

DP :08-429887 **A-202b** | **C**



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5271 FRANCIS ROAD
RICHMOND, BRITISH COLUMBIA

Patrick Collier
7140 RAILWAY AVENUE
RICHMOND, BRITISH COLUMBIA

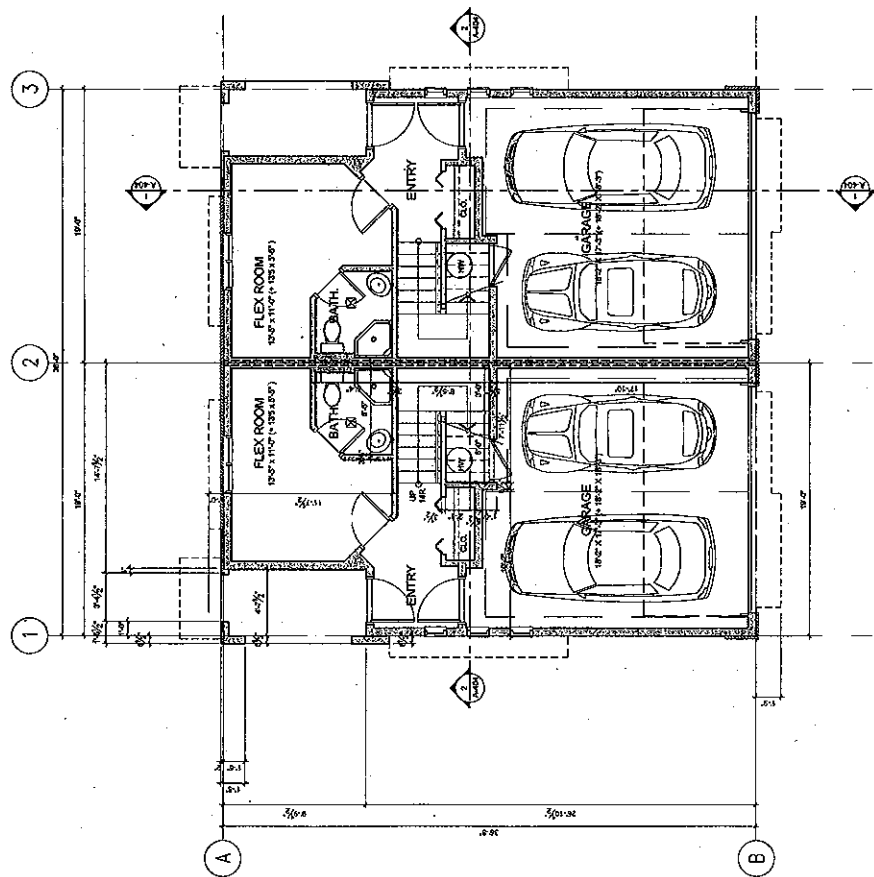
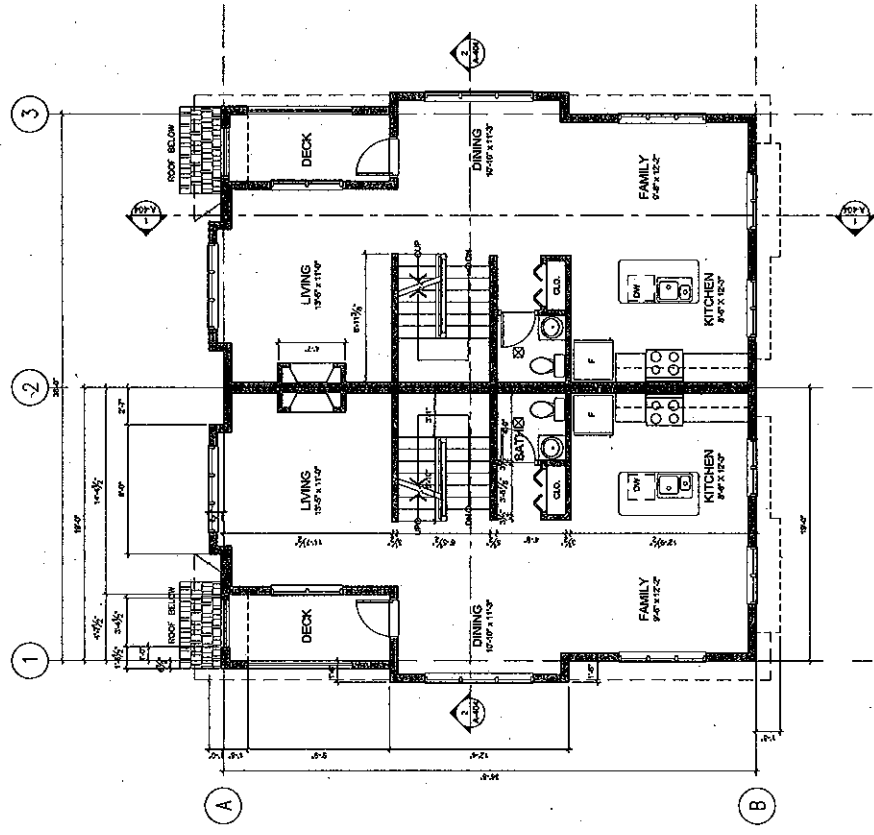
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5271 FRANCIS ROAD
RICHMOND, BRITISH COLUMBIA

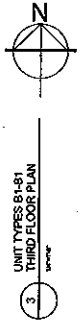
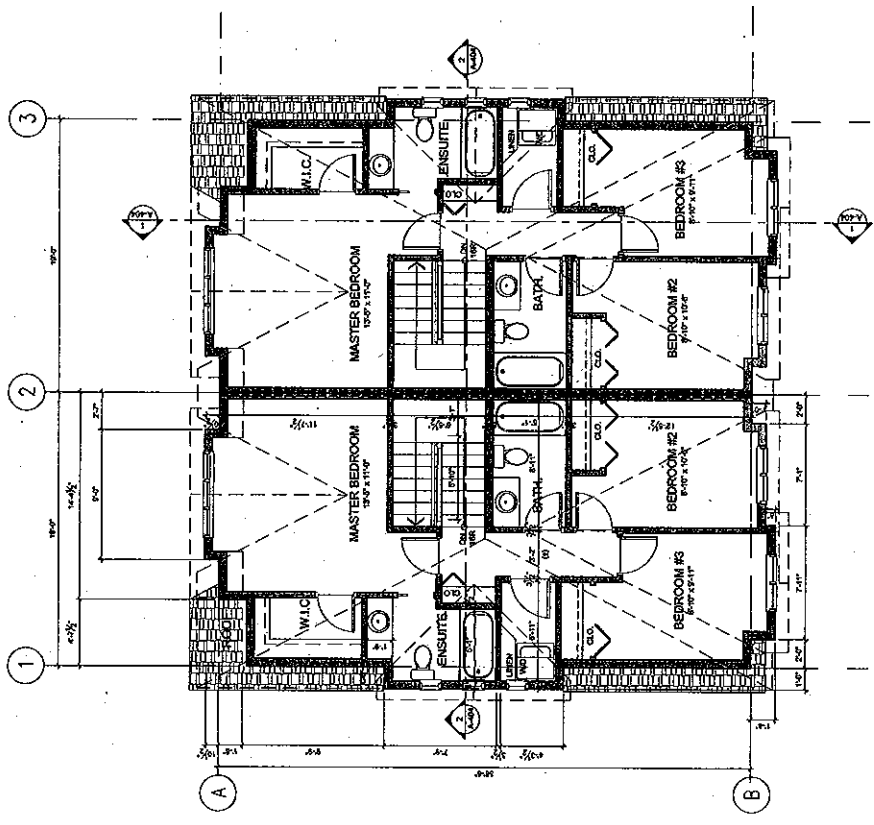
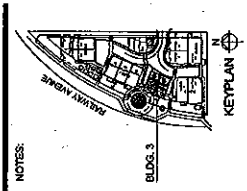
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CHECKED BY: [Name]
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BUILDING NO. 3
FLOOR PLANS
LEVEL 1
LEVEL 2

Reference Plan Mar 2 2010
DP 08-429887
A-203a C

DP:08-429887





NO.	REVISIONS	DATE	BY	CHK.
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DATE: 1/28/10
 TIME: 10:30 AM
 PROJECT: 7140 RAILWAY AVENUE
 CLIENT: CRON ESTATES LTD.
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 CHECKED BY: ...
 PROJECT MANAGER: ...

Patrick Collier
 7140 RAILWAY AVENUE
 RICHMOND, BRITISH COLUMBIA

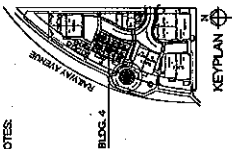
CRON ESTATES LTD.
 5271 FRANCIS ROAD
 RICHMOND, BRITISH COLUMBIA

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Reference Plan Mar 2 2010
DP 08-429887
 A-203b C

DP: 08-429887

NOTES:



NO.	REVISIONS	DATE	BY	APP.

UNIT 204, 1700 NO. 16040
 TEL: 888-377-4477
 FAX: 888-377-4481
 CELL: 888-377-4361
 WWW: www.orsonestates.com

Patrick Cotter
 ARCHITECT
 7140 RAILWAY AVENUE
 RICHMOND, BRITISH COLUMBIA

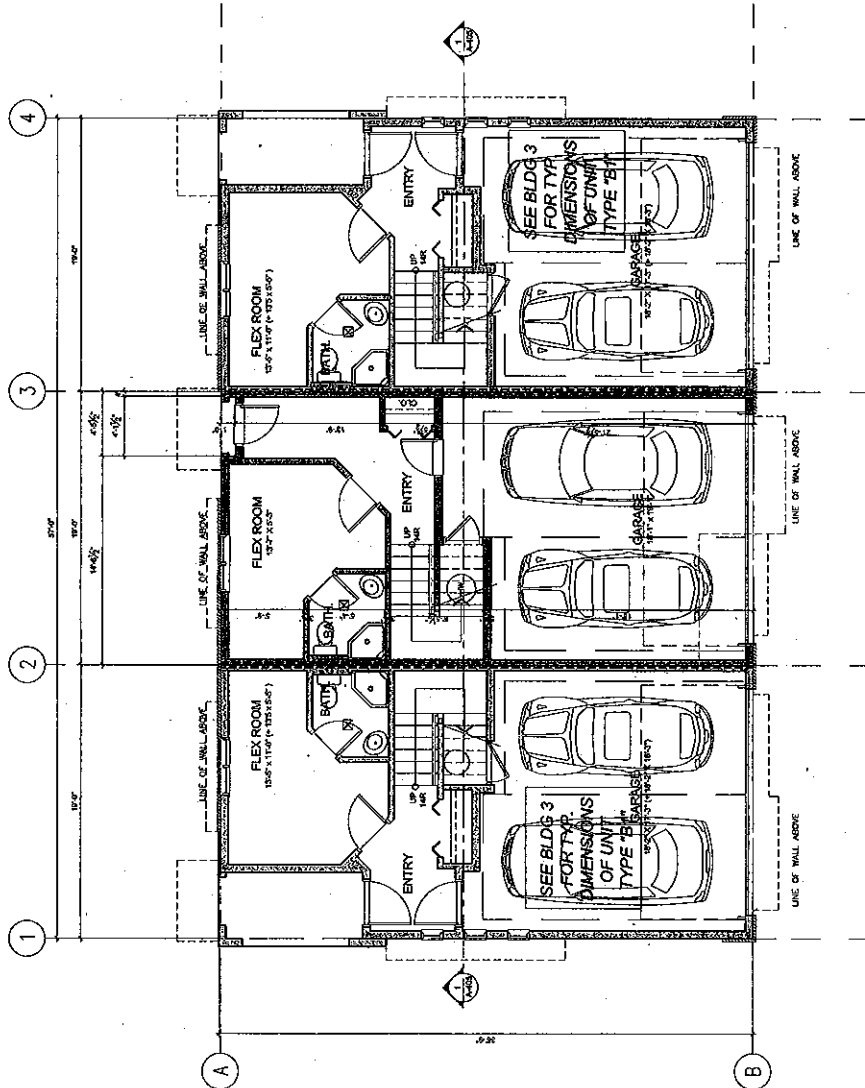
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 5271 FRANCIS ROAD
 RICHMOND, BRITISH COLUMBIA

PROJECT TITLE	
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DATE	11/11/10
SCALE	1/8" = 1'-0"
DATE	11/11/10
BY	Patrick Cotter
CHKD	Patrick Cotter

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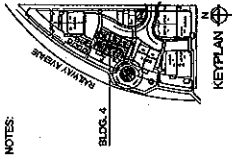
Reference Plan Mar 2 2010
DP 08-429887
 A-204a C

DP-08-429887



UNIT TYPES B1-B2-B3
 GROUND FLOOR PLAN
 1/8"=1'-0"

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ORION ESTATES LTD.
 5271 FRANCIS ROAD
 RICHMOND, BRITISH COLUMBIA
 V6X 3E8
 TEL: (604) 277-7477
 FAX: (604) 277-7478
 CELL: (604) 277-9484
 WWW: www.orionestates.com

Patrick Oehler
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 TEL: (604) 277-7477
 FAX: (604) 277-7478
 CELL: (604) 277-9484
 WWW: www.patrickoehler.com

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 5271 FRANCIS ROAD
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 V6X 3E8
 TEL: (604) 277-7477
 FAX: (604) 277-7478
 CELL: (604) 277-9484
 WWW: www.orionestates.com

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 CHECKED: J. L. ...
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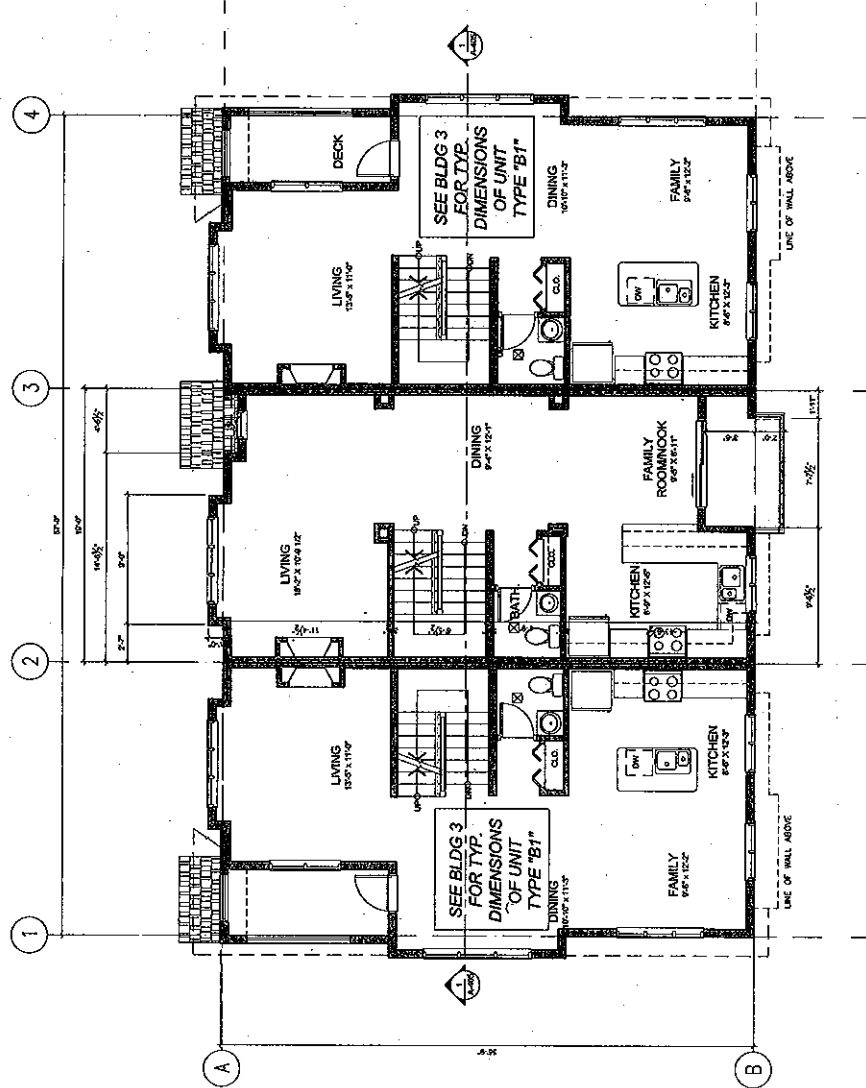
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 FAX: (604) 277-7478
 CELL: (604) 277-9484
 WWW: www.orionestates.com

Reference Plan Mar 2 2010
DP 08-429887

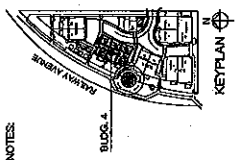
A-204b C

DP:08-429887



UNIT TYPES B1-B2-B1
 SECOND PLAN
 1/8" = 1'-0"

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146 256, 1700 BLD, STANCO
 1700 BLD, STANCO
 TEL: (604) 277-1413
 FAX: (604) 277-1414
 CELL: (604) 277-0400
 WWW: www.foxgroup.com

Pallick Collier
 7140 RAILWAY AVENUE
 RICHMOND, BRITISH COLUMBIA

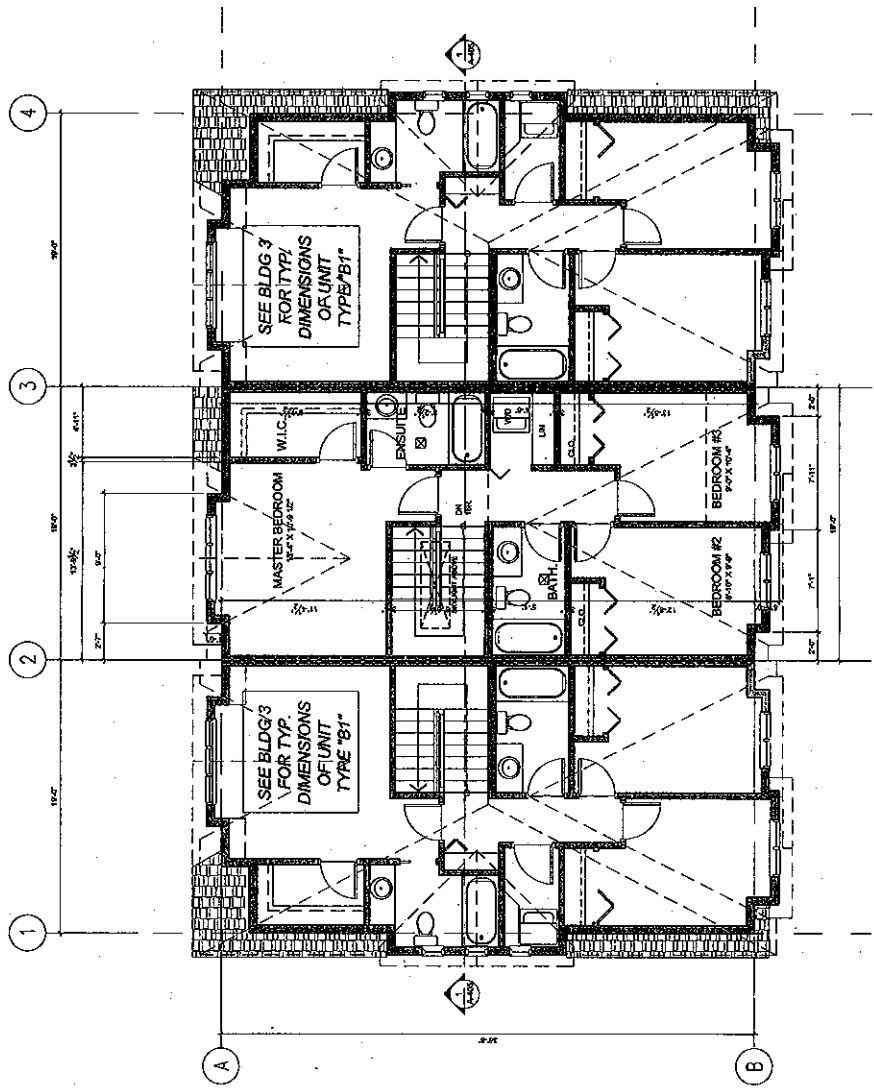
ORION ESTATES LTD.
 5271 FRANCIS ROAD
 RICHMOND, BRITISH COLUMBIA

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 BUILDING NO.4
 FLOOR PLANS
 LEVEL 3
 ROOF

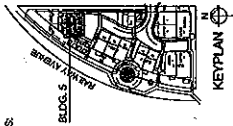
Reference Plan Mar 2 2010
DP 08-429887
A-204c C

DP 08-429887



UNIT TYPES B1-82-81
 THIRD FLOOR PLAN

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UNIT 25, 17500 NO. 5 ROAD
 RICHMOND BC V6V 2P7
 604 273 7441
 604 273 7441
 WWW.PATTECK.COM

Pattek Oetber
 7140 RAILWAY AVENUE
 RICHMOND, BRITISH COLUMBIA

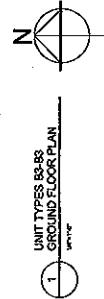
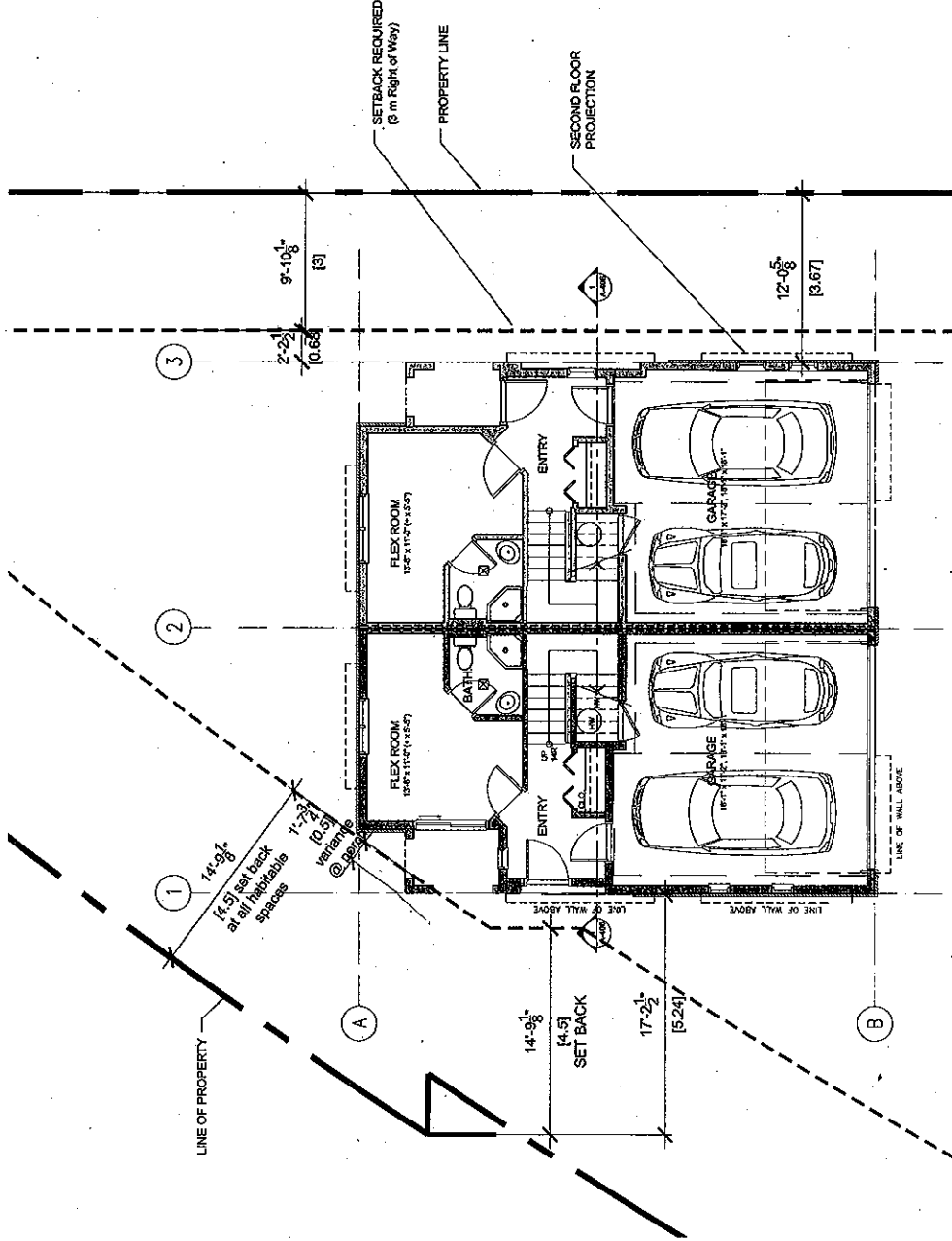
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 5271 FRANCOIS ROAD
 RICHMOND, BRITISH COLUMBIA

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 APPR. BY: [Signature]
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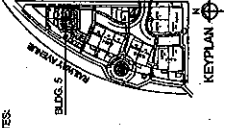
Reference Plan Mar 2 2010
DP 08-429887

A-205a C

DP :08-429887



NOTES



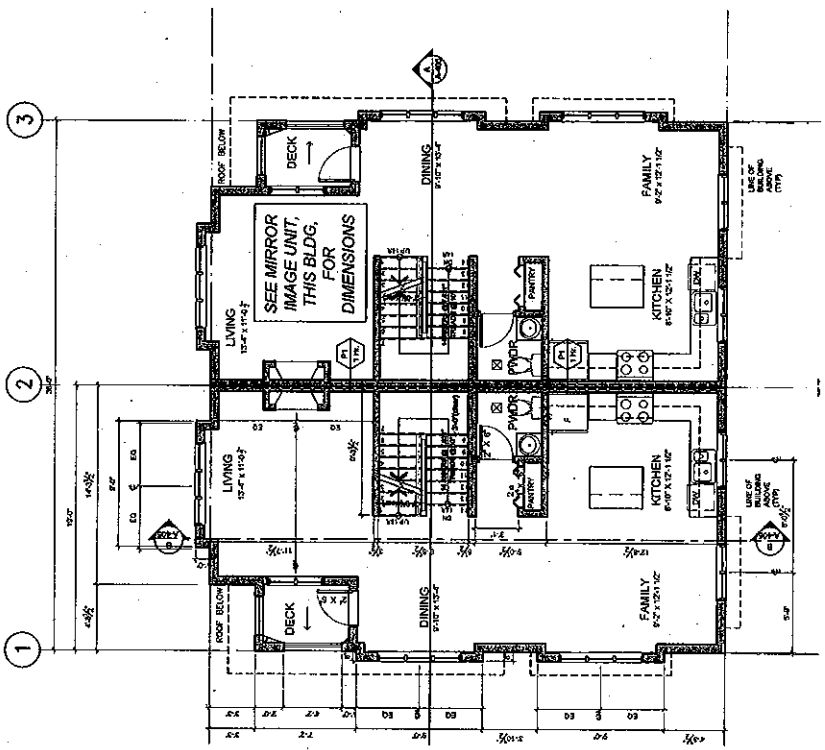
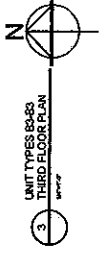
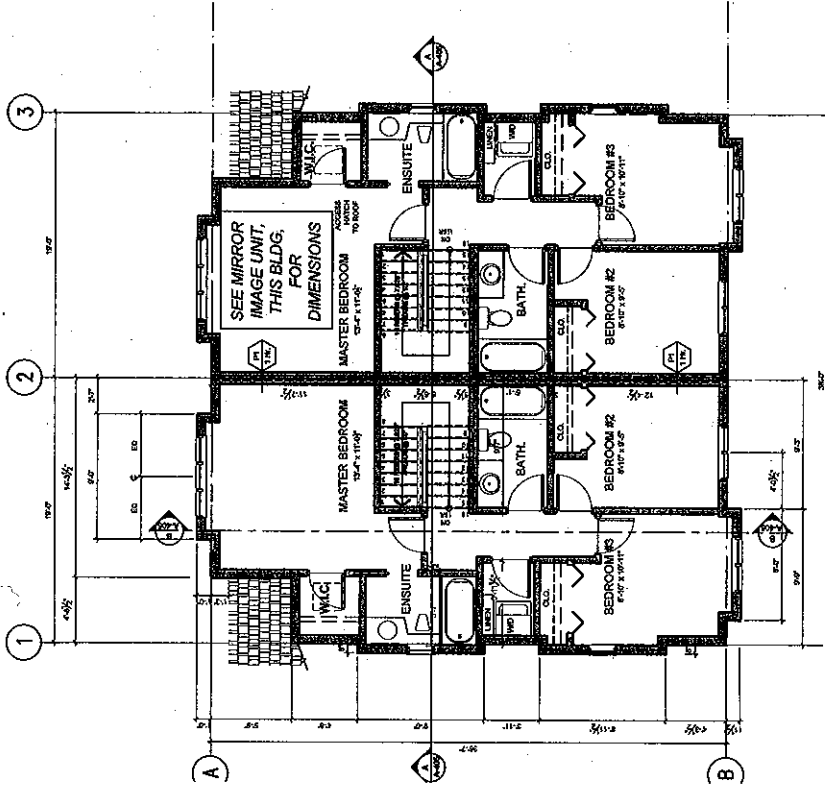
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 7140 RAILWAY AVENUE
 RICHMOND, BRITISH COLUMBIA
 ORION ESTATES LTD.
 5271 FRANCIS ROAD
 RICHMOND, BRITISH COLUMBIA

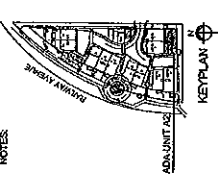
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 LEVEL 2
 LEVEL 3

Reference Plan Mar 2 2010
DP 08-429887
 A-ZUSD C

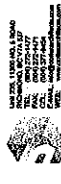
DP :08-429887



NOTES



NO.	REVISIONS	DATE	BY	CHK
1	ISSUED FOR PERMIT	2010.03.02		
2	REVISED FOR PERMIT	2010.03.02		
3	REVISED FOR PERMIT	2010.03.02		
4	REVISED FOR PERMIT	2010.03.02		
5	REVISED FOR PERMIT	2010.03.02		



Patch Cobble
 7140 RAILWAY AVENUE
 RICHMOND, BRITISH COLUMBIA

ORION ESTATES, LTD.
 5271 FRANCIS ROAD
 RICHMOND, BRITISH COLUMBIA

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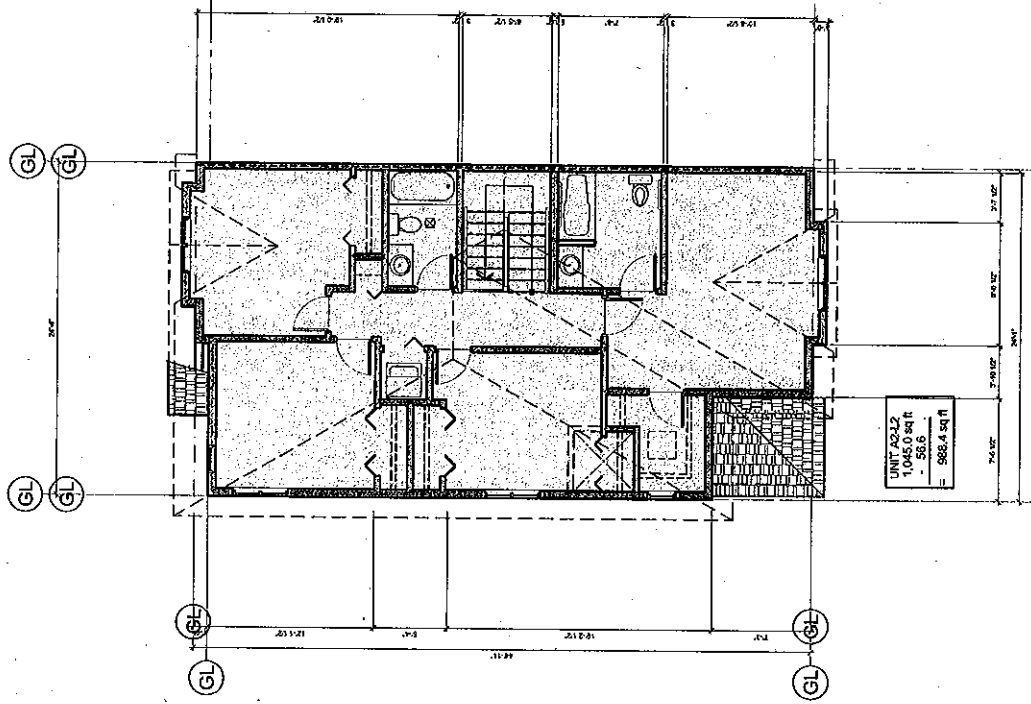
Reference Plan Mar 2 2010
DP 08-429887

**UNIT TYPE A2
 UNIT TYPE A2
 FLOOR PLANS
 (WITHOUT ELEVATOR)**

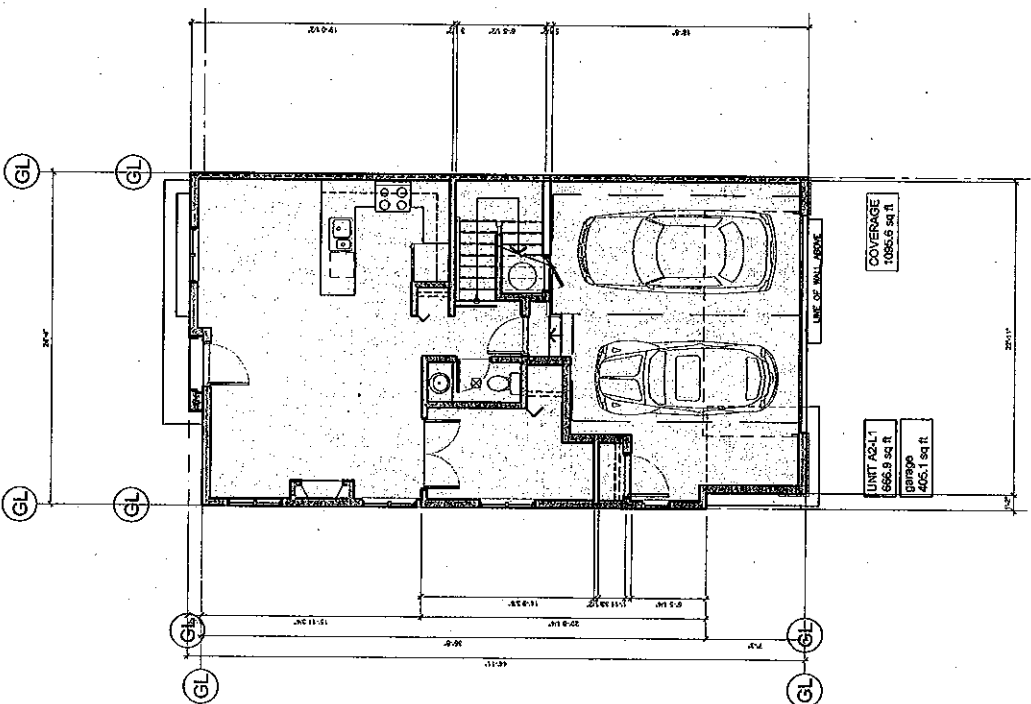
PROJECT NO.	A-251B
PHASE	D

**UNIT A2 (CON)
 TOTAL AREA:
 1655.3 sq ft (153.8 m²)**

DP :08-429887

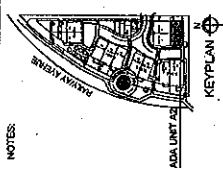


UNIT TYPE 'A' (OPTION: CONVERTIBLE UNIT)
 SECOND FLOOR PLAN (WITHOUT ELEVATOR)



UNIT TYPE 'A' (OPTION: CONVERTIBLE UNIT)
 SECOND FLOOR PLAN (WITHOUT ELEVATOR)

NOTES:



NO.	REVISION	DATE	BY	CHECKED
1	ISSUED FOR PERMIT	2010.03.02
2	ISSUED FOR PERMIT	2010.03.02
3	ISSUED FOR PERMIT	2010.03.02
4	ISSUED FOR PERMIT	2010.03.02
5	ISSUED FOR PERMIT	2010.03.02
6	ISSUED FOR PERMIT	2010.03.02
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10	ISSUED FOR PERMIT	2010.03.02

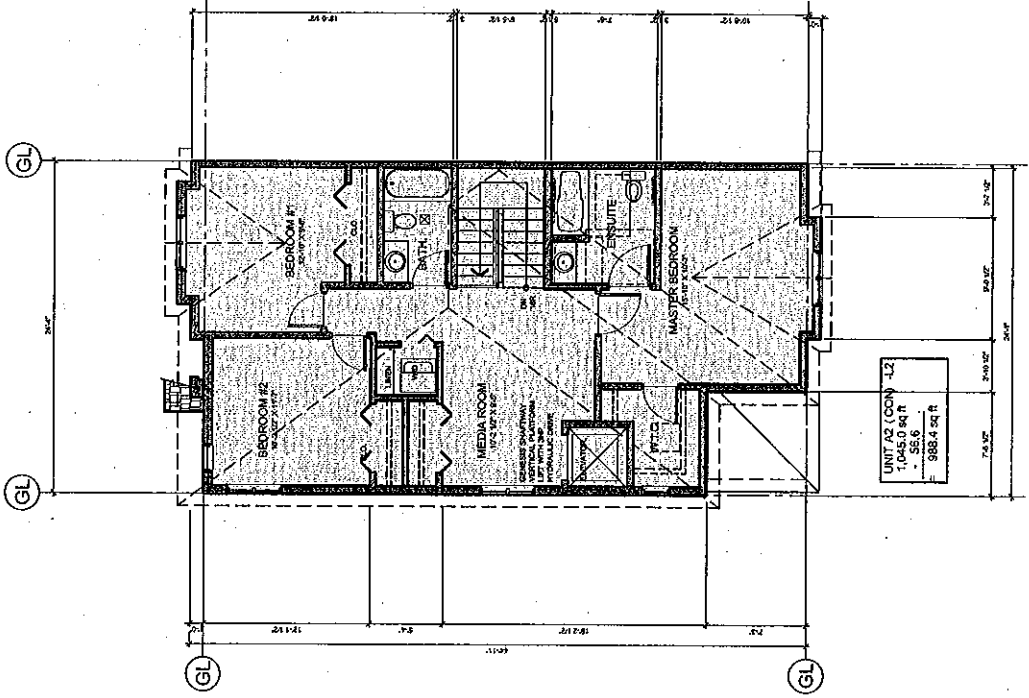
ORION ESTATES LTD.
 7140 RAILWAY AVENUE
 RICHMOND, BRITISH COLUMBIA

Patrick Cobber
 7140 RAILWAY AVENUE
 RICHMOND, BRITISH COLUMBIA

Reference Plan Mar 2 2010
DP 08-429887

UNIT TYPE 'A2'
 CONVERTIBLE UNIT
 FLOOR PLANS
 (WITH ELEVATOR)

A-251A
 D

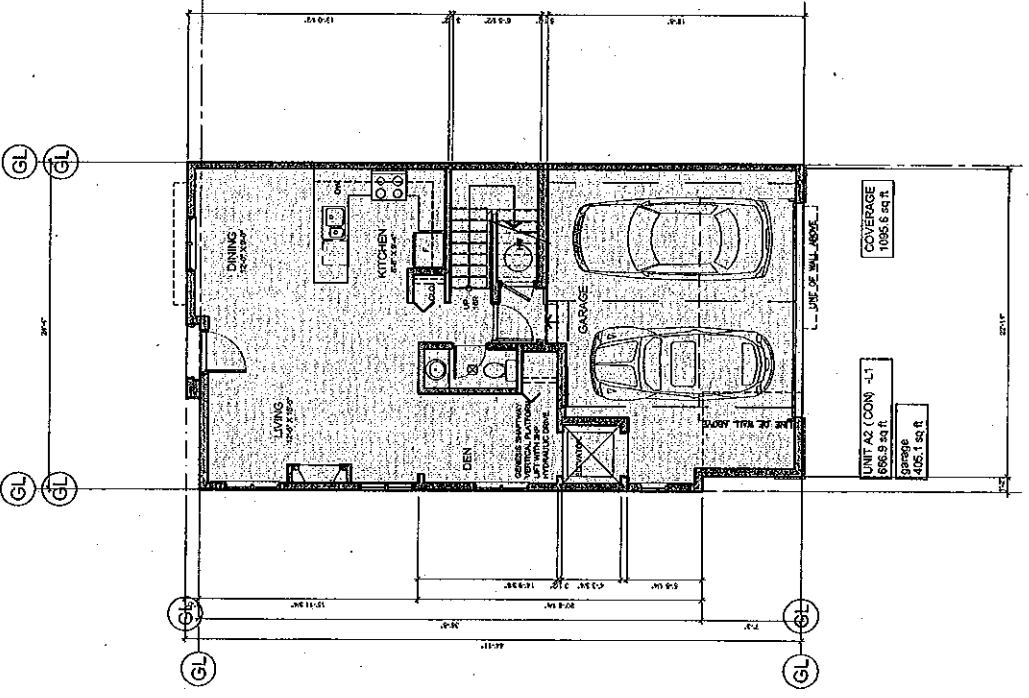


UNIT A2 (CON) -L2
 1,045.0 sq ft
 96.4 sq ft
 = 988.4 sq ft

UNIT A2 (CON)
 TOTAL AREA:
 1,665.3 sq ft (153.8 m²)

DP :08-429887

UNIT TYPE 'A' (OPTION: CONVERTIBLE UNIT)
 SECOND FLOOR PLAN



UNIT A2 (CON) -L1
 666.9 sq ft
 Garage
 405.7 sq ft

COVERAGE
 1058.6 sq ft

UNIT TYPE 'A' (OPTION: CONVERTIBLE UNIT)
 GROUND FLOOR PLAN