



City of Richmond
Planning and Development Department

Report to Development Permit Panel

To: Development Permit Panel
From: Brian J. Jackson, MCIP
Director of Development
Date: June 21, 2010
File: DP 10-519994
Re: **Application by Hi-Quality Properties Ltd. for a Development Permit at 7300,
7340, 7360, 7380 and 7420 Blundell Road**

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of 26 townhouse units at 7300, 7340, 7360, 7380 and 7420 Blundell Road on a site zoned Low Density Townhouses (RTL3); and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - a) reduce the minimum front yard setback from 6.0 m to 4.95 m for Building No. 1;
 - b) reduce the minimum front yard setback from 6.0 m to 5.20 m for Building No. 10; and
 - c) reduce the minimum west side yard setback from 3.0 m to 1.98 m for Building No. 9.

A handwritten signature in cursive script that reads "Brian Jackson".

Brian J. Jackson, MCIP
Director of Development

EL:blg
Att.

Staff Report

Origin

Hi-Quality Properties Ltd. has applied to the City of Richmond for permission to develop 26 townhouse units at 7300, 7340, 7360, 7380 and 7420 Blundell Road. This site is being rezoned from Single Detached (RS1/E) to Low Density Townhouse (RTL3) for this project under Bylaw 8149 (RZ 05-320327, 7300 and 7340 Blundell Road) and Bylaw 8150 (RZ 05-320332, 7360, 7380 and 7420 Blundell Road). The zoning district names have changed as the rezoning applications were submitted under the former Zoning & Development Bylaw No. 5300 to rezone the site from "Single-Family Housing District, Subdivision Area E (R1/E)" to "Townhouse District (R2-0.6)".

Originally, the two (2) sites (7300/7340 Blundell Road and 7360/7380/7420 Blundell Road) were owned by different developers and they were proposing two (2) side-by-side townhouse projects sharing the entry driveway and the amenity space. The two (2) sites have now been purchased by the applicant, and one (1) consolidated townhouse development project is proposed.

The site is currently vacant. There is no City standard Servicing Agreement required in association with this development proposal. Removal of the existing driveways on Blundell Road and re-instating continuity of the sidewalk will be achieved via Works Order at Building Permit stage.

Development Information

Please refer to the attached Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

The subject site is located within the Broadmoor Area – Sunnymede North Sub-Area, Schedule 2.6C of the Official Community Plan (OCP). The Sub-Area Plan promotes a coordinated approach to multi-family housing in the Sunnymede North Sub-Area, controls access onto Blundell Road, and exercises greater control over the form and character of development to ensure a harmonious transition between the medium density residential district to the north in the City Centre and the low density single-family area to the south in Broadmoor. The existing development surrounding the site is described as follows:

To the North: Across Blundell Road, larger apartment buildings typically three-storeys over parking in height, zoned Medium Density Low Rise Apartments (RAM1);

To the East: A 41-unit townhouse development zoned Town Housing (ZT8);

To the South: On the north side of Sunnymede Crescent, are single-family residential lots zoned Single-Family Housing District, Subdivision Area E (R1/E); and

To the West: A 14-unit townhouse development zoned Town Housing (ZT9).

Rezoning and Public Hearing Results

During the rezoning process, staff identified the following design issues to be resolved at the Development Permit stage:

- Location of garbage and recycling facilities, site signage, etc.;
- Opportunities for Convertible Units;
- Final tree retention/replacement strategy; and
- Landscaping design in accordance with the Official Community Plan (OCP).

These issues were carefully reviewed during the Development Permit process. Details are discussed in the "Analysis" section of this report.

The Public Hearing for the rezoning applications was held on April 16, 2007. At the Public Hearing, the residents from the adjacent single-family lots to the south expressed their concerns about the potential damages to the hedges along the common property line.

During the Development Permit process, staff worked with the applicant to ensure that the existing hedge along the south property line will be retained and protected. Tree protection barriers will be installed to protect the existing hedgerow along the south property line and any vegetation on the adjacent properties to the south within 2 m from the property line. The developer is required to provide proof of a contract with a Certified Arborist for supervision of on-site works conducted on the subject site close to the hedgerow along the south property line. A landscaping security in the amount of \$14,000 (in addition to the typical landscaping security for a multiple-family project) is also required to ensure survival of the trees and hedgerow being retained on site.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the Low Density Townhouse (RTL3), except for the zoning variances noted below.

Zoning Compliance/Variations (staff comments in bold)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Reduce the minimum front yard setback from 6.0 m to 4.95 m for Building No. 1.

(Staff supports the proposed variance, as the variance is a result of a dedication of land for public use (a 3 m x 1.05 m bus pad) along the Blundell Road frontage. The setback variance allows for a more consistent streetscape along a major arterial road by maintaining continuity of the sidewalk width and buildings' alignment. Landscaping surrounding the bus pad has been designed with CPTED principles in mind.)

- 2) Reduce the minimum front yard setback from 6.0 m to 5.20 m for Building No. 10.

(Staff supports the proposed variance, as the variance is a result of a road dedication along the Blundell Road frontage. The setback variance allows for a more consistent streetscape along a major arterial road.)

- 3) Reduce the minimum west side yard setback from 3.0 m to 1.98 m for Building No. 9.

(Staff supports the proposed variance, as the reductions to the side yard setback permit a projection to break up a mass of exterior wall and to improve the design of the end unit façade. The variance is not anticipated to result in privacy overlook issues as there is no window proposed at the second floor projection. This variance will not impact tree preservation on site.)

Advisory Design Panel Comments

The original proposal (2 side-by-side townhouse projects) was reviewed by the Advisory Design Panel under previous Development Permit Applications DP 07-374117 (7300 and 7340 Blundell Road) and DP 07-380831 (7360, 7380 and 7420 Blundell Road). The Advisory Design Panel was generally supportive of the proposed developments and decided that the projects should proceed to the Development Permit Panel for consideration.

Since the current proposal follows the design scheme of the original development plans, the current proposal was not presented for a second time to the Advisory Design Panel. A copy of the relevant excerpt from the Advisory Design Panel Minutes from Wednesday, April 9, 2008 is attached for reference (**Attachment 2**). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '**bold italics**'.

Analysis

Conditions of Adjacency

- The proposed height, siting and orientation of the buildings respect the massing of the surrounding existing residential developments.
- The small scale duplex units fit well to existing single-family and small-scale townhouse neighbourhood to the south and along Blundell Road, respectively.
- The increased rear yard setback (5.25 m) provides appropriate private outdoor open space for the units at the back of the site and minimizes the impact of the proposed development to existing single-family houses to the south on Sunnymede Crescent.
- Increased rear yard setback will also facilitate retention of existing hedges along the rear property line to provide a natural screen between the proposed development and the existing single-family development to the south. The lower branches of these hedges will be pruned up to 2.13 m (7 ft.) from the ground to accommodate the installation of a 1.8 m high fence along the south property line.
- Additional trees will be planted in the back yards of the duplex units, outside of the statutory right-of-way (ROW) along the rear property line.
- The site grade within the backyards will be raised to approximately 1.24 m geodetic. Perimeter drainage will be required as part of the Building Permit to ensure storm water remains within the property and will not spill over to neighbouring properties.
- No grade change is proposed along the rear property line where an existing hedgerow is to be retained.

Urban Design and Site Planning

- Seven (7) two-storey duplexes fronting Blundell Road and six (6) duplexes facing the internal driveway are proposed. This form of development fits well into the scale of the immediate urban context.
- Pedestrian frontage character facing Blundell Road, including direct pedestrian entry to the units from the city sidewalk, has been incorporated to enhance the residential streetscape; low metal fence and brick columns are proposed along the front property line.
- The site layout is organized around one (1) driveway providing access to the site from Blundell Road and an east-west drive aisle providing access to the unit garages.
- Every unit has two (2) side-by-side parking spaces. A total of six (6) visitor parking spaces are provided throughout the site, including one (1) accessible parking space.
- The provision of bicycle parking exceeds the bylaw requirement with 52 Class-1 spaces provided within the garages and six (6) Class-2 spaces provided on either sides of the entry driveway.
- The outdoor amenity area is proposed at the entry point for maximum exposure. The size and location of the outdoor amenity space, within the central portion of the site, is appropriate in providing open landscape and amenity convenient to all of the units. Quality of this amenity space is enhanced by incorporating tree retention into the design.
- Mailboxes and short-term bicycle parking spaces are also located at a central location next to the outdoor amenity area.
- The garbage and recycling enclosure is located on the east side of the entry driveway and has been incorporated into the design of the building to minimize its visual impact.

Architectural Form and Character

- The building forms are well articulated.
- The impact of blank garage doors has been mitigated with panel patterned doors, transom windows, overhanging roof skirts, planting islands, and pedestrian entries.
- A pedestrian scale is provided at the ground floor level of the units along the public street and driveway with the inclusion of windows, doors, porches, and landscape features.
- Visual interest and variety has been incorporated with gable roofs, porches, varying material combinations and a range of colour finishes.
- The proposed building materials (cedar shingle siding, hardie panel, hardie-plank siding, wood brackets, split-face granite stone finish, double glazed vinyl framed window with wood side trim and still, and asphalt roof shingles) are generally consistent with the Official Community Plan (OCP) Guidelines.
- The colour palette includes a range of earth tone colours, highlighted with contrasting trims and red or green entry doors.
- Two (2) convertible units have been incorporated into the design. Alternate floor plans demonstrating simple conversion potential to accommodate a person in a wheelchair are provided (see alternative floor plans for units "B1" and "B1a" where an elevator may be installed).

- Accessibility features that allow for aging in place have been incorporated into this development (i.e., blocking in all bathrooms for grab-bars, level handle for all doors, and lever faucet in all bathrooms and powder rooms).

Tree Preservation

- At rezoning stage, 62 bylaw-sized trees were noted on site, and 57 of them were identified for removal.
- The applicant has applied for a Tree Cutting Permit after the rezoning applications for the development proposal achieved Third Reading. A Tree Cutting Permit (TP 07-394362) was issued for the removal of five (5) trees due to impeding of demolition; ten (10) replacement trees were required.
- Tree retention was revisited as part of the Development Permit review process. The City's Tree Preservation Coordinator has reviewed the updated Arborist Report and confirmed that there are 59 bylaw-sized trees left on the development site.
- 23 trees are proposed for removal due to structural defects from previous topping (significant removal of upper canopy due to either hydro line clearance or poor past pruning) resulting in decay at old pruning cuts.
- 20 trees are proposed for removal due to either natural structural defects or bacterial canker and blight infections.
- Nine (9) trees are proposed for removal due to building conflict. It is noted that tree tag #462 (25cm cal. Douglas Fir) is identified as in "good condition" and tree tag #607 (23cm cal. White Pine) is identified as in "fair condition". The City's Tree Preservation Coordinator recommends that these two (2) native trees be relocated or compensated for at a 2:1 ratio with two (2) of the replacement trees at a larger calliper size (a minimum 12-14cm calliper). The applicant has agreed to provide two (2) large replacement trees, which are included in the Landscape Plan.
- Seven (7) trees are to be retained and protected on site.
- Based on the 2:1 tree replacement ratio goal stated in the Official Community Plan (OCP), 104 replacement trees are required.
- The applicant is proposing to remove one (1) bylaw-sized tree located on the south property line due to poor condition. A consent letter from the adjacent property owner (7591 Sunnymede Crescent) is on file. Two (2) replacement trees are required.
- Including the ten (10) replacement trees required as part of the Tree Permit, a total of 116 replacement trees are required for this development. Considering the effort made by the applicant to retain seven (7) bylaw-sized trees on site, staff recommend fourteen (14) replacement trees be exempted. As a condition to Development Permit issuance, the applicant is required to submit a \$14,000 landscaping security (in addition to the typical landscaping security for a multiple-family development) to ensure the successful retention of the seven (7) bylaw-sized tree and the hedgerow along the rear property line.
- The applicant is proposing to plant 80 replacement trees on-site and provide cash-in-lieu in the amount of \$11,000 for off-site planting of the balance of the replacement trees (22 trees) prior to issuance of the Development Permit.
- The applicant has committed to the protection of the hedgerow located along the rear property line and three (3) bylaw-sized trees located on the adjacent property to the east (7600 Blundell Road) within 2 m of the property line. Tree protection fencing on-site around the driplines of all trees to be retained on the neighbouring properties will be

required prior to any construction activities, including building demolition, occurring on-site.

- A contract with a certified arborist to oversee all site preparation activities, inspect tree protection fencing, and supervise any tree removals, and fence installation during various stage of the development will be secured prior to the issuance of the Development Permit.

Landscape Design and Open Space Design

- The landscape design was developed considering tree retention. A good specimen Oak tree and a Western Red Cedar tree are to be preserved on site in the proposed amenity area. Another two (2) Western Red Cedar tree and three (3) Douglas Fir trees are to be retained in the front yard and along the entry driveway.
- The landscape design includes the planting of trees (including large calliper and ornamental species) and a variety of shrubs and ground covers, which meets the Official Community Plan (OCP) guidelines for tree replacement and landscaping. The proposed lot coverage for landscaping with live plant materials is 31.5%.
- Permeable concrete paver is proposed for the patios to improve permeability and to provide flexibility for future residents to increase their lawn or planting area should they desire.
- Paving treatment includes a variety of materials and contrasting colours to mitigate the length of the drive aisle and to differentiate between drive isle, visitor parking, and pedestrian entrances. Permeable concrete paver is proposed on a portion of the drive isle and common areas (i.e. mailbox kiosk, visitor parking) to improve site permeability and minimize the visual impact of large areas of asphalt. The proposed total lot coverage for permeable surface, including landscape area, is 45%.
- The landscape design also includes an outdoor amenity area in excess of the Official Community Plan (OCP) guidelines at a central location.
- A children's play equipment, benches, and a large lawn area under the existing Oak tree is proposed in the outdoor amenity area.
- Cash-in-lieu for indoor amenity has been provided as a condition of rezoning approvals.

Affordable Housing

- A voluntary contribution towards the City's Affordable Housing Reserve Fund was secured through the rezoning applications in the amount of \$0.60 per square foot of maximum floor area ratio. This complies with the interim Affordable Housing Strategy for rezoning applications received prior to July 1, 2007.

Crime Prevention Through Environmental Design

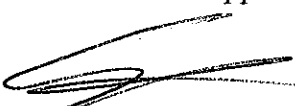
- The site design provides both internal unit privacy and passive surveillance of internal roadways and communal areas to enhance safety for residents;
- Effective lighting of buildings, open spaces, parking areas, and along the drive aisles will be provided; and
- Landscape area is designed to allow visual surveillance between top of low-growing shrubs and tree branches that are approximately 1.8 m above ground level.

Sustainability

- The applicant advises that the project includes the following sustainability features:
 - 2 x 6 exterior walls with R20 insulation;
 - roof insulation to R40 standards;
 - low-E glass for all windows;
 - rigid insulation entirely under concrete slab except in garages;
 - energy star appliances;
 - temperature control switch in each room;
 - water efficient plumbing fixtures;
 - solar powered lighting system in mailbox area and common bicycle rack area;
 - drought tolerant and native planting; and
 - large permeable paving areas.

Conclusions

The applicant has satisfactorily addressed staff's comments regarding conditions of adjacency, site planning and urban design, architectural form and character, and landscape design. The applicant has presented a development that fits into the existing context. Therefore, staff recommend support of this Development Permit application



Edwin Lee
Planning Technician -- Design
(602-276-4121)

EL:blg

The following are to be met prior to forwarding this application to Council for approval:

- Consolidation of 7300, 7340, 7360, 7380, 7420 Blundell Road into one (1) development parcel.
- Payment of cash-in-lieu of on-site indoor amenity space in the amount of \$33,000 as per the Official Community Plan (OCP).
- Receipt of a Letter-of-Credit for landscaping in the amount of \$109,162.54 (typical landscaping security based on total floor area of 47,581.27 ft² plus an additional survival security of \$14,000 for the 7 bylaw sized trees to be retained on site and the existing hedgerow along the south property line).
- City acceptance of the developer's offer to voluntarily contribute \$11,000 to the City's Tree Compensation Fund in-lieu of planting 22 replacement trees on site.
- Provide proof of contract with a Certified Arborist for supervision of on-site works conducted on the subject site close to all trees and the hedgerows to be retained on the subject site and the adjacent properties. This includes overseeing all site preparation activities, inspection of tree protection fencing, and supervision of any tree removals, pruning, and fence installation during various stages of the development. The contract should include provisions for completion of a post-impact assessment report (if applicable) to be reviewed by the City.

Prior to future Building Permit issuance, the developer is required to complete the following:

- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Division at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Division (<http://www.richmond.ca/services/ttp/special.htm>).



City of Richmond

6911 No. 3 Road
Richmond, BC V6Y 2C1
www.richmond.ca
604-276-4000

Development Application Data Sheet Development Applications Division

DP 10-519994

Attachment 1

Address: 7300, 7340, 7360, 7380 and 7420 Blundell Road

Applicant: Hi-Quality Properties Ltd.

Owner: Hi-Quality Properties Ltd.

Planning Area(s): Broadmoor Area – Sunnymede North Sub-Area, Schedule 2.6C

Floor Area Gross: 4,420.3 m²

Floor Area Net: 3,403.0 m²

| | Existing | Proposed |
|-------------------------|------------------------------------|-------------------------------|
| Site Area: | 5,743 m ² | 5,728 m ² |
| Land Uses: | Single-Family Residential | Townhouse Residential |
| OCP Designation: | Low Density Residential | No Change |
| Zoning: | Single Detached (RS1/E) | Low Density Townhouses (RTL3) |
| Number of Units: | Formerly 5 single-family dwellings | 26 townhouse units |

| | Bylaw Requirement | Proposed | Variance |
|---------------------------------------------------------------|----------------------------|------------------------|-----------------------------------------------------------------------------|
| Floor Area Ratio: | 0.6 | 0.594 | none permitted |
| Lot Coverage for Buildings: | Max. 40% | 40% | none |
| Lot Coverage for buildings, structures & non-porous surfaces: | Max. 70% | 55% | none |
| Lot Coverage for Landscaping with Live Plant Material: | Min. 30% | 31.5% | none |
| Setback – Front Yard: | Min. 6.0 m | 4.95 m | max. 1.05 m projection for Bldg. #1 and max. 0.8 m projection for Bldg. #10 |
| Setback – Side Yard (East): | Min. 3.0 m | 3 m | none |
| Setback – Side Yard (West): | Min. 3.0 m | 1.98 m | max. 1.02 m projection for Bldg. # 9 |
| Setback – Rear Yard: | Min. 3.0 m | 5.25 m | none |
| Height (m): | Max. 12.0 m | 8.8 m | none |
| Lot Size: | min. 30 m wide x 35 m deep | 125 m wide x 45 m deep | none |
| Off-street Parking Spaces – Resident/Visitor: | 2 and 0.2 per unit | 2 and 0.23 per unit | none |
| Off-street Parking Spaces – Accessible: | 1 | 1 | none |
| Total off-street Spaces: | 58 | 58 | none |

| | | | |
|---------------------------------|--------------------------------------------------------|--------------------|------|
| Tandem Parking Spaces | not permitted | none | none |
| Bicycle Parking Space - Class-1 | 1.25 spaces per unit = 33 spaces | 52 | none |
| Bicycle Parking Space – Class-2 | 0.2 spaces per unit = 6 spaces | 6 | none |
| Amenity Space – Indoor: | Min. 70 m ² | cash-in-lieu | none |
| Amenity Space – Outdoor: | Min. 6 m ² per unit = 156 m ² | 299 m ² | none |

**Excerpt from the Minutes from
The Design Panel Meeting**

**Wednesday, April 9, 2008 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall**

The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '*bold italics*'.

The comments of the Panel were as follows:

1. Consider further design development of side elevations visible from drive aisle and end units;
More architectural character is added on the side elevations. Granite stone finished fireplace is introduced on street fronting end units. Granite stone finished chimney is introduced on two units at entry driveway area. No vinyl siding is used on the exterior wall through out all buildings.
2. Consider using pavers rather than asphalt over the entire length of the drive aisle;
Pavers are used entirely in the entry driveway area and asphalt paving area is significantly reduced.
3. Consider designating and including provisions to establish Units Bb and Bc as accessible;
Unit name (type) is not matching but we have provided two convertible units near accessible parking stall.
4. Address CPTED concerns with respect to recessed entrances, address illumination, select appropriately sized landscaping and demonstrate adequate sight lines;
The recessed entry area will be illuminated by pot lights under lower roof overhang, motion censored lighting fixture will be installed along the entry walkway. Low growing plants are proposed in the entry walkway area to provide good surveillance and visitor parking stall are provided at 4 locations so that the entry walkway in these area are open to common area. All recessed entries are visible from bedroom windows of the units across the internal road and adjacent townhouse unit.
5. Consider varying garage doors to add character;
Two styles are introduced and wood brackets are added beside garage doors to add character.
6. Introduce greater variety to the plant list; and
*Wider range of plants had been added. These added plant were shown on Plant List with * mark.*
7. Reconsider treatment between buildings, and consider combining walkways between buildings.
We would like to maintain single family home character by providing individual entry walkway. Combining walkways would give apartment like entry and wouldn't reduce the paved area significantly in a small project.



No. DP 10-519994

To the Holder: HI-QUALITY PROPERTIES LTD.
Property Address: 7300, 7340, 7360, 7380 AND 7420 BLUNDELL ROAD
Address: C/O YAMAMOTO ARCHITECTURE INC.
2386 OAK STREET
VANCOUVER, B.C. V6H 4J1

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) reduce the minimum front yard setback from 6.0 m to 4.95 m for Building No. 1;
 - b) reduce the minimum front yard setback from 6.0 m to 5.20 m for Building No. 10; and
 - c) reduce the minimum west side yard setback from 3.0 m to 1.98 m for Building No. 9.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #4 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$109,162.54 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 10-519994

To the Holder: HI-QUALITY PROPERTIES LTD.
Property Address: 7300, 7340, 7360, 7380 AND 7420 BLUNDELL ROAD
Address: C/O YAMAMOTO ARCHITECTURE INC.
2386 OAK STREET
VANCOUVER, B.C. V6H 4J1

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF

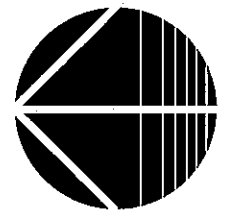
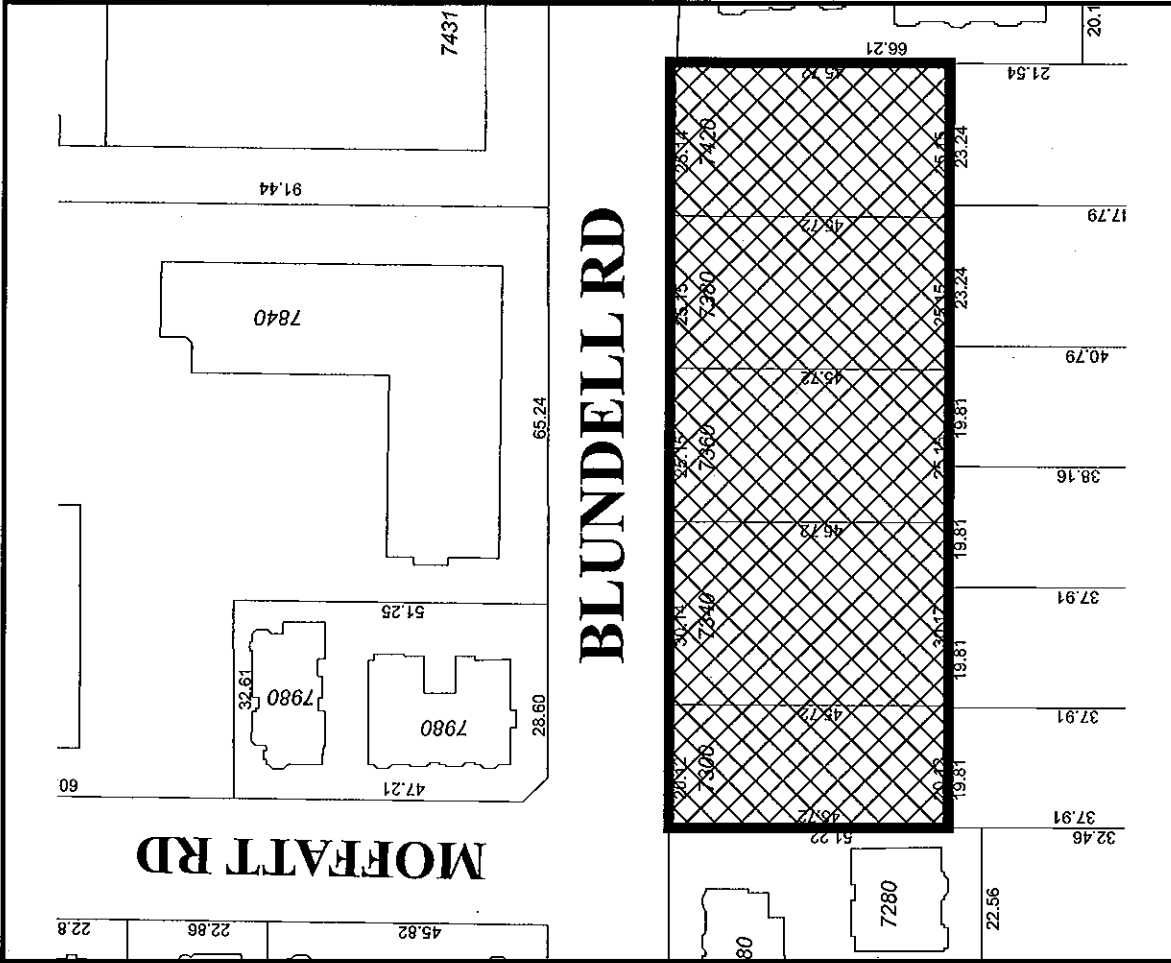
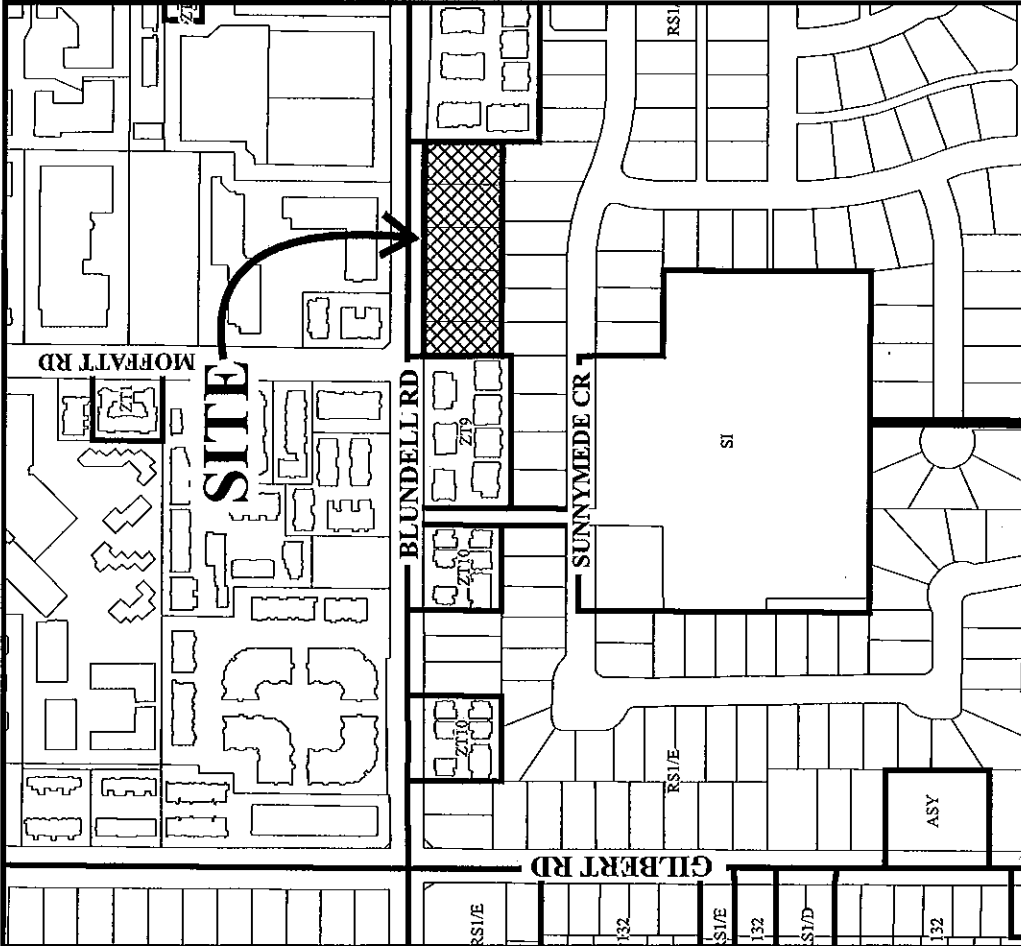
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

MAYOR



City of Richmond



DP 10-519994 SCHEDULE "A"

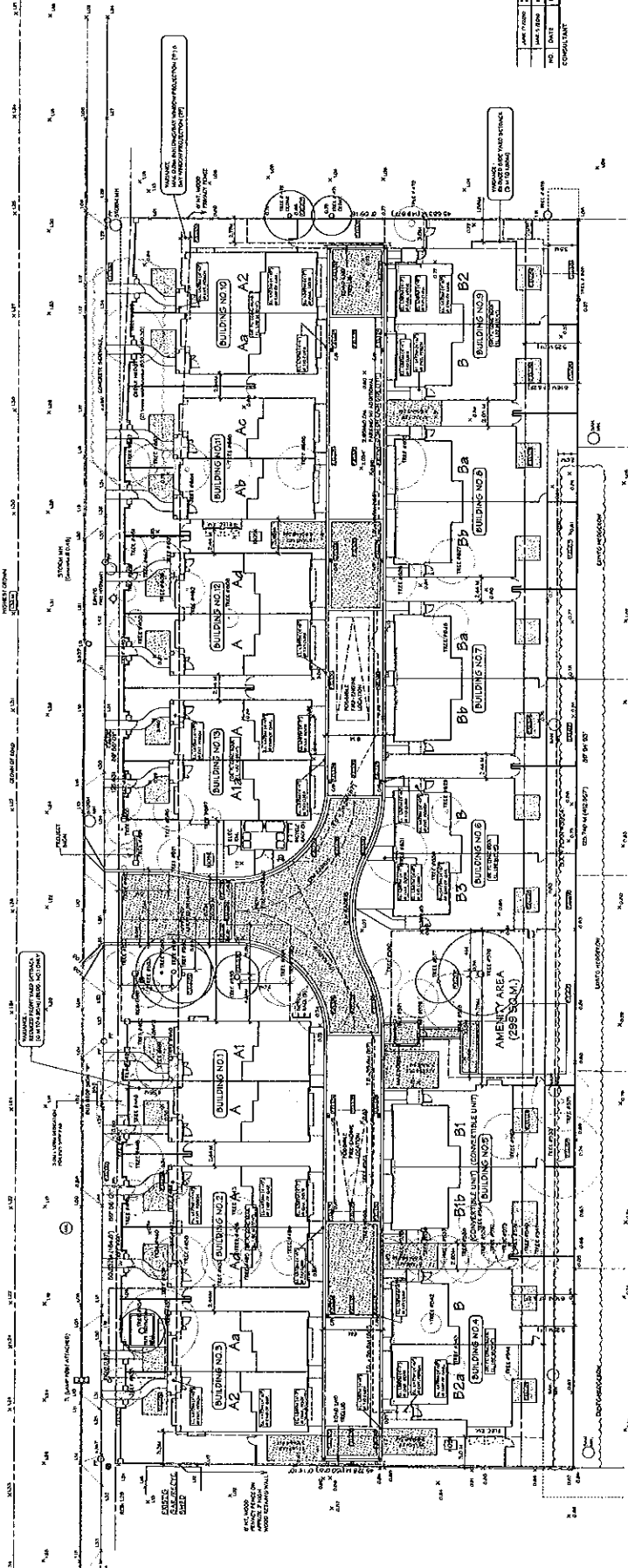
Original Date: 03/16/10

Revision Date: 07/06/10

Note: Dimensions are in METRES

BLUNDELL ROAD

MOFFATT ROAD



| | |
|----------|-------------------|
| DATE | DESCRIPTION |
| 10/10/00 | ISSUED FOR PERMIT |
| 10/10/00 | ISSUED FOR PERMIT |
| 10/10/00 | ISSUED FOR PERMIT |
| 10/10/00 | ISSUED FOR PERMIT |

PROJECT: TOWNHOUSE DEVELOPMENT

26 UNIT

Yamamoto Architecture Inc.

2001, 1000 BLUNDELL ROAD, KILGORE, N.C.

DATE: 10/10/00

SCALE: 1/8" = 1'-0"

DATE: 10/10/00

SCALE: 1/8" = 1'-0"

DATE: 10/10/00

SCALE: 1/8" = 1'-0"

DATE: 10/10/00

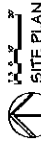
SCALE: 1/8" = 1'-0"

DATE: 10/10/00

SCALE: 1/8" = 1'-0"

DATE: 10/10/00

SCALE: 1/8" = 1'-0"



SITE PLAN

SCALE: 1/8" = 1'-0"

DATE: 10/10/00

SCALE: 1/8" = 1'-0"

DATE: 10/10/00

SCALE: 1/8" = 1'-0"

DATE: 10/10/00

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SCALE: 1/8" = 1'-0"

DATE: 10/10/00

SCALE: 1/8" = 1'-0"

DATE: 10/10/00

SCALE: 1/8" = 1'-0"

STATISTICS

GROSS AREA: 10,000 SQ FT

NET AREA: 8,000 SQ FT

PERCENTAGE COVER: 80%

PERCENTAGE OPEN SPACE: 20%

PERCENTAGE PARKING: 10%

PERCENTAGE AMENITY: 5%

PERCENTAGE LANDSCAPING: 5%

PARKING

TOTAL SPACES: 26

RESERVED SPACES: 10

UNRESERVED SPACES: 16

PERCENTAGE RESERVED: 38%

PERCENTAGE UNRESERVED: 62%

BIKE STORAGE

TOTAL SPACES: 10

PERCENTAGE BIKE STORAGE: 38%

OUTDOOR AMENITY AREA

TOTAL AREA: 299 SQ M

PERCENTAGE AMENITY AREA: 3%

GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.

3. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

4. THE DEVELOPER SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

5. THE DEVELOPER SHALL MAINTAIN ACCESS TO ALL PUBLIC UTILITIES AT ALL TIMES.

6. THE DEVELOPER SHALL MAINTAIN ACCESS TO ALL PUBLIC ROADS AT ALL TIMES.

7. THE DEVELOPER SHALL MAINTAIN ACCESS TO ALL PUBLIC UTILITIES AT ALL TIMES.

8. THE DEVELOPER SHALL MAINTAIN ACCESS TO ALL PUBLIC ROADS AT ALL TIMES.

9. THE DEVELOPER SHALL MAINTAIN ACCESS TO ALL PUBLIC UTILITIES AT ALL TIMES.

10. THE DEVELOPER SHALL MAINTAIN ACCESS TO ALL PUBLIC ROADS AT ALL TIMES.

PROPOSED FLOOR AREA

| UNIT NO. | FLOOR AREA (SQ FT) | FLOOR AREA (SQ M) |
|--------------|--------------------|-------------------|
| A1 | 1,000 | 93 |
| A2 | 1,000 | 93 |
| A3 | 1,000 | 93 |
| A4 | 1,000 | 93 |
| B1 | 1,000 | 93 |
| B2 | 1,000 | 93 |
| B3 | 1,000 | 93 |
| B4 | 1,000 | 93 |
| AMENITY AREA | 299 | 27.6 |
| TOTAL | 10,000 | 930 |

PROPOSED FLOOR AREA

| UNIT NO. | FLOOR AREA (SQ FT) | FLOOR AREA (SQ M) |
|--------------|--------------------|-------------------|
| A1 | 1,000 | 93 |
| A2 | 1,000 | 93 |
| A3 | 1,000 | 93 |
| A4 | 1,000 | 93 |
| B1 | 1,000 | 93 |
| B2 | 1,000 | 93 |
| B3 | 1,000 | 93 |
| B4 | 1,000 | 93 |
| AMENITY AREA | 299 | 27.6 |
| TOTAL | 10,000 | 930 |

PROPOSED FLOOR AREA

| UNIT NO. | FLOOR AREA (SQ FT) | FLOOR AREA (SQ M) |
|--------------|--------------------|-------------------|
| A1 | 1,000 | 93 |
| A2 | 1,000 | 93 |
| A3 | 1,000 | 93 |
| A4 | 1,000 | 93 |
| B1 | 1,000 | 93 |
| B2 | 1,000 | 93 |
| B3 | 1,000 | 93 |
| B4 | 1,000 | 93 |
| AMENITY AREA | 299 | 27.6 |
| TOTAL | 10,000 | 930 |

PROPOSED FLOOR AREA

| UNIT NO. | FLOOR AREA (SQ FT) | FLOOR AREA (SQ M) |
|--------------|--------------------|-------------------|
| A1 | 1,000 | 93 |
| A2 | 1,000 | 93 |
| A3 | 1,000 | 93 |
| A4 | 1,000 | 93 |
| B1 | 1,000 | 93 |
| B2 | 1,000 | 93 |
| B3 | 1,000 | 93 |
| B4 | 1,000 | 93 |
| AMENITY AREA | 299 | 27.6 |
| TOTAL | 10,000 | 930 |

PROPOSED FLOOR AREA

| UNIT NO. | FLOOR AREA (SQ FT) | FLOOR AREA (SQ M) |
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| A3 | 1,000 | 93 |
| A4 | 1,000 | 93 |
| B1 | 1,000 | 93 |
| B2 | 1,000 | 93 |
| B3 | 1,000 | 93 |
| B4 | 1,000 | 93 |
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| TOTAL | 10,000 | 930 |

PROPOSED FLOOR AREA

| UNIT NO. | FLOOR AREA (SQ FT) | FLOOR AREA (SQ M) |
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| A2 | 1,000 | 93 |
| A3 | 1,000 | 93 |
| A4 | 1,000 | 93 |
| B1 | 1,000 | 93 |
| B2 | 1,000 | 93 |
| B3 | 1,000 | 93 |
| B4 | 1,000 | 93 |
| AMENITY AREA | 299 | 27.6 |
| TOTAL | 10,000 | 930 |

PROPOSED FLOOR AREA

| UNIT NO. | FLOOR AREA (SQ FT) | FLOOR AREA (SQ M) |
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| A2 | 1,000 | 93 |
| A3 | 1,000 | 93 |
| A4 | 1,000 | 93 |
| B1 | 1,000 | 93 |
| B2 | 1,000 | 93 |
| B3 | 1,000 | 93 |
| B4 | 1,000 | 93 |
| AMENITY AREA | 299 | 27.6 |
| TOTAL | 10,000 | 930 |

PROPOSED FLOOR AREA

| UNIT NO. | FLOOR AREA (SQ FT) | FLOOR AREA (SQ M) |
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| A2 | 1,000 | 93 |
| A3 | 1,000 | 93 |
| A4 | 1,000 | 93 |
| B1 | 1,000 | 93 |
| B2 | 1,000 | 93 |
| B3 | 1,000 | 93 |
| B4 | 1,000 | 93 |
| AMENITY AREA | 299 | 27.6 |
| TOTAL | 10,000 | 930 |

PROPOSED FLOOR AREA

| UNIT NO. | FLOOR AREA (SQ FT) | FLOOR AREA (SQ M) |
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| A2 | 1,000 | 93 |
| A3 | 1,000 | 93 |
| A4 | 1,000 | 93 |
| B1 | 1,000 | 93 |
| B2 | 1,000 | 93 |
| B3 | 1,000 | 93 |
| B4 | 1,000 | 93 |
| AMENITY AREA | 299 | 27.6 |
| TOTAL | 10,000 | 930 |

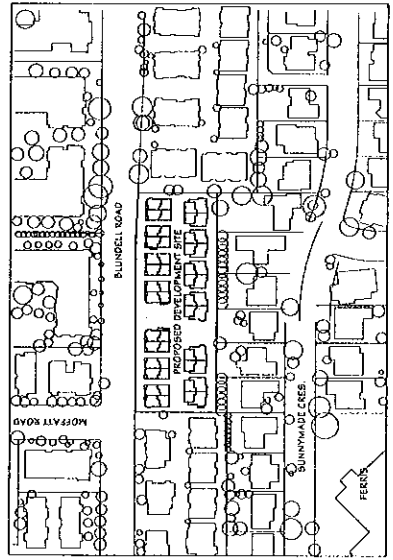
PROPOSED FLOOR AREA

| UNIT NO. | FLOOR AREA (SQ FT) | FLOOR AREA (SQ M) |
|--------------|--------------------|-------------------|
| A1 | 1,000 | 93 |
| A2 | 1,000 | 93 |
| A3 | 1,000 | 93 |
| A4 | 1,000 | 93 |
| B1 | 1,000 | 93 |
| B2 | 1,000 | 93 |
| B3 | 1,000 | 93 |
| B4 | 1,000 | 93 |
| AMENITY AREA | 299 | 27.6 |
| TOTAL | 10,000 | 930 |

JUN 21 2010

PLAN # 1

DP 10 519994

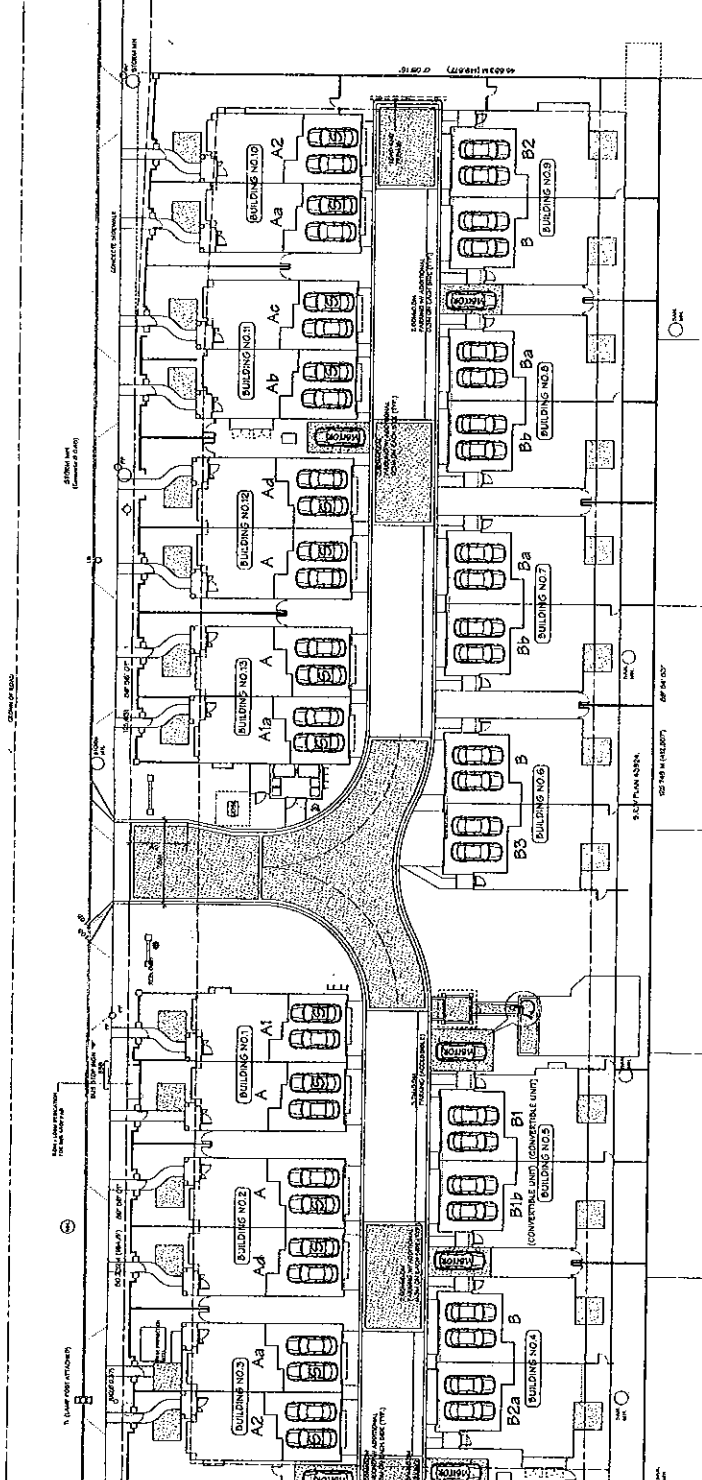


CONTEXT PLAN



BUNDELL ROAD

MOFFATT ROAD



PROJECT: TOWNHOUSE DEVELOPMENT
 DATE: [Blank]
 CONSULTANT: [Blank]

FROM: 1105 BUNDELL ROAD
 BIRMINGHAM, AL
Yamamoto
 Architecture Inc.

| | | | |
|--------------|--------------|------------|---------|
| PARKING PLAN | | | |
| DATE: | JUN 2000 | SHEET NO.: | 2 |
| SCALE: | 1/4" = 1'-0" | DRAWN BY: | [Blank] |
| CHECKED BY: | [Blank] | DATE: | [Blank] |

PARKING:

REQUIRED: 22 SPACES (REQUIREMENTS)
 PROVIDED: 22 SPACES (REQUIREMENTS)

BICYCLE STORAGE:

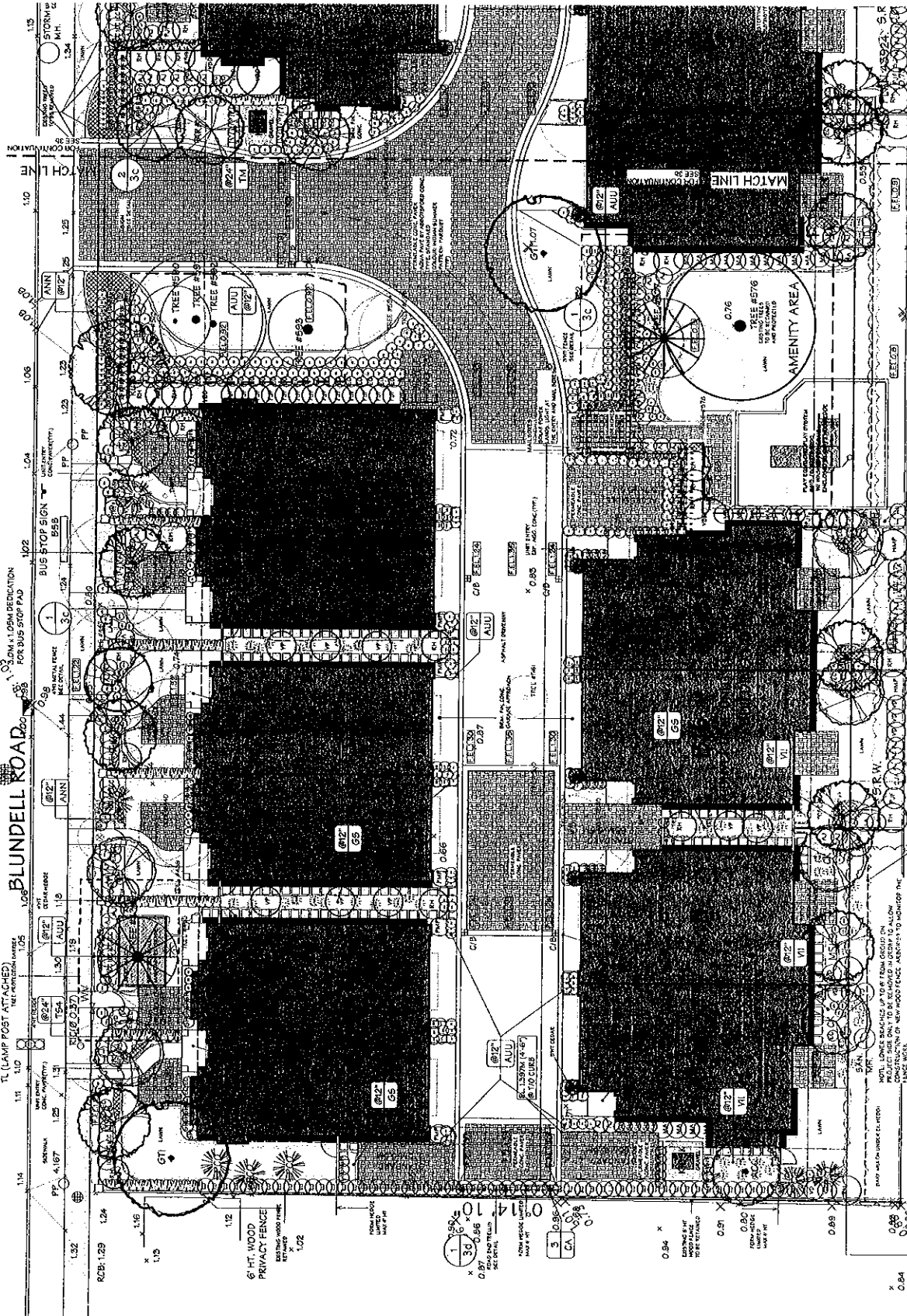
PROVIDED: 20 SPACES

OUTDOOR AMENITY AREA:

PROVIDED: 20 SPACES (REQUIREMENTS)

JUN 21 2000 PLAN # 2
 DP 10 519994

BLUNDELL ROAD
 108' 1.08' CON. 1.08M PERM. DIRECTION FOR BUS STOP PAD



- REVISIONS/NOTES
- JUN 12/2018
 Proposed modification
 based on DR
 - JUN 27/2018
 Proposed modification
 based on DR
 - JUN 27/2018
 Proposed modification
 based on DR
 - JUN 27/2018
 Proposed modification
 based on DR
 - JUN 27/2018
 Proposed modification
 based on DR

ITO
I ASSOCIATES
 Landscape Architects
 843 Emery Road
 Richmond, BC V6V 1Y5
 Phone: (604) 272-2812
 Fax: (604) 272-2820
 Email: info@ito.ca

7300-760
BLUNDELL RD.
RICHMOND B.C.

Drwing No:
LANDSCAPE PLAN

| DATE | BY | NO. |
|----------|----|-----|
| 12/11/17 | AK | 107 |
| 01/17/18 | AK | 107 |
| 06/17/18 | AK | 107 |

3a of 8

DP 1051994
 JUN 27 2018 10:32 AM

NOTE: LINES REACHING UP TO 8 FEET OR MORE SHALL BE REINFORCED TO OBTAIN THE SPECIFIED STRENGTH AND FINISH WORK.

NOTE: SHALL BE REINFORCED TO OBTAIN THE SPECIFIED STRENGTH AND FINISH WORK.

NOTE: SHALL BE REINFORCED TO OBTAIN THE SPECIFIED STRENGTH AND FINISH WORK.

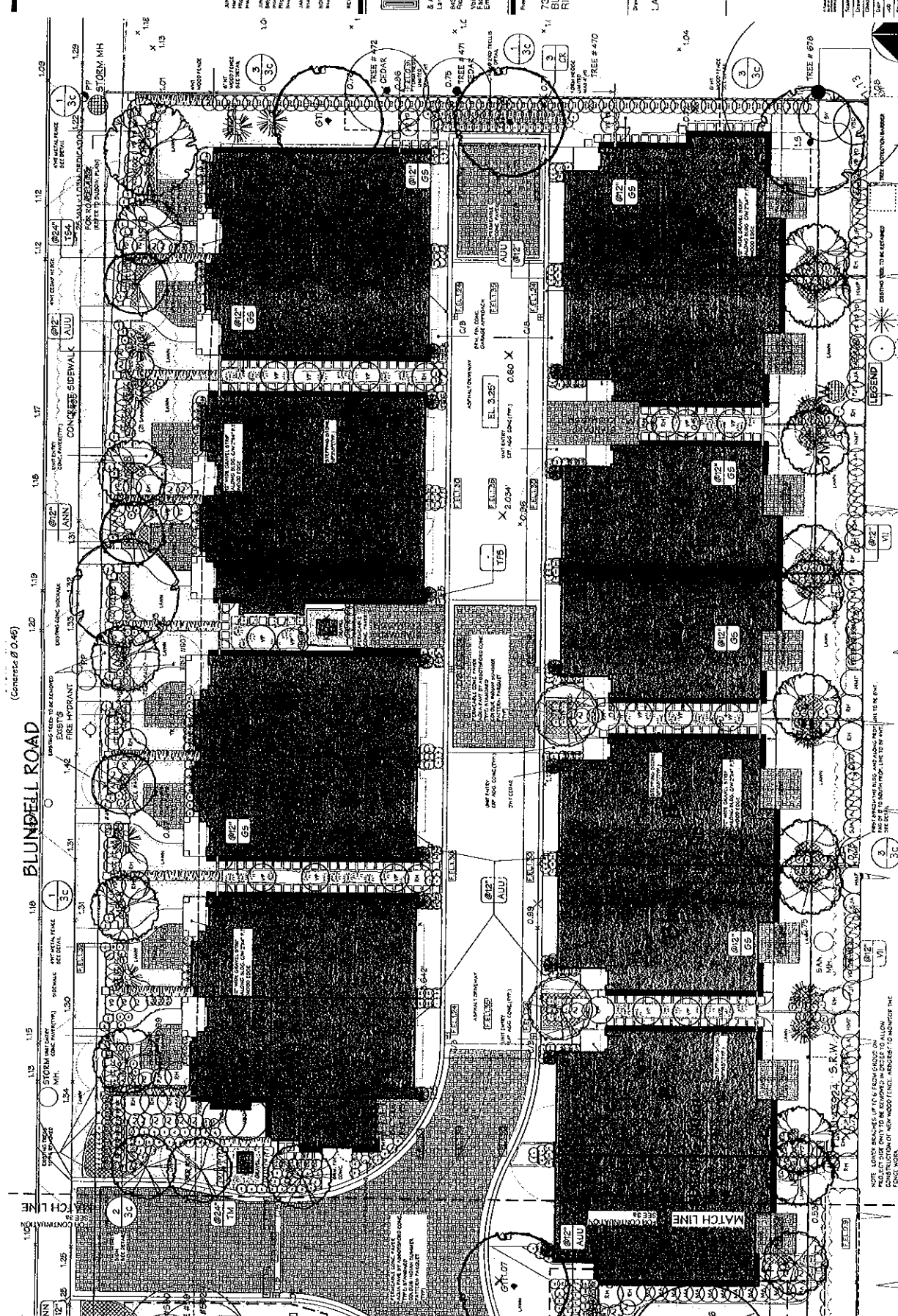
NOTE: SHALL BE REINFORCED TO OBTAIN THE SPECIFIED STRENGTH AND FINISH WORK.

NOTE: SHALL BE REINFORCED TO OBTAIN THE SPECIFIED STRENGTH AND FINISH WORK.

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NOTE: SHALL BE REINFORCED TO OBTAIN THE SPECIFIED STRENGTH AND FINISH WORK.



BLUNDELL ROAD
 (Concrete @ 0.4%)

REVISED REVISIONS
 JUNE 1, 2010 BY [Name] FOR [Client]
 JUNE 2, 2010 BY [Name] FOR [Client]
 JUNE 23, 2010 BY [Name] FOR [Client]
 NOV 6, 2010 BY [Name] FOR [Client]
 REVISED REVISIONS

ITO & ASSOCIATES
 LANDSCAPE ARCHITECTS
 8431 KENNEDY ROAD
 RICHMOND, BC V6V 1V9
 PHONE: (604) 275-2812
 FAX: (604) 275-2813
 EMAIL: info@ito.ca

Project:
 7000-7420
 BLUNDELL RD.
 RICHMOND B.C.

Drawn By: [Name]
 LANDSCAPE PLAN

| | |
|------------|-----------|
| Client | NOV 2010 |
| Scale | 1:100 |
| Author | [Name] |
| Checked | [Name] |
| Date | [Date] |
| Discipline | LANDSCAPE |
| Sheet | 3b of 8 |

3b of 8

DP 10519994
 JUN 21 2010 10:52 AM

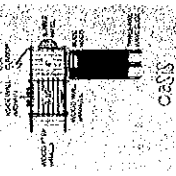
NOTE: LOWER BRANCHES OF TREES BEING REMOVED OR PRUNED TO ALLOW FOR INSTALLATION OF LIGHT FIXTURES AND TO MAINTAIN CLEARANCE TO ADJACENT PROPERTIES. BRANCHES TO BE REMOVED OR PRUNED SHALL BE INDICATED BY A DOTTED LINE WITH AN 'X' MARK.

NOTE: BRANCHES OF TREES BEING REMOVED OR PRUNED TO ALLOW FOR INSTALLATION OF LIGHT FIXTURES AND TO MAINTAIN CLEARANCE TO ADJACENT PROPERTIES. BRANCHES TO BE REMOVED OR PRUNED SHALL BE INDICATED BY A DOTTED LINE WITH AN 'X' MARK.

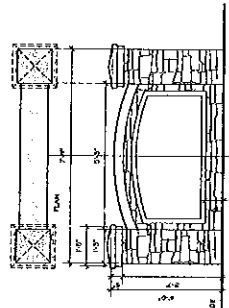
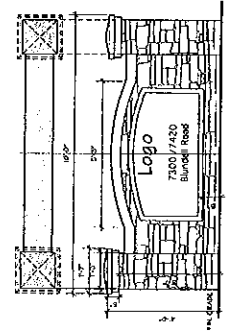
LEGEND
 (I) 1" = 10' (1:120)
 (II) 1" = 10' (1:120)
 (III) 1" = 10' (1:120)
 (IV) 1" = 10' (1:120)
 (V) 1" = 10' (1:120)
 (VI) 1" = 10' (1:120)
 (VII) 1" = 10' (1:120)
 (VIII) 1" = 10' (1:120)
 (IX) 1" = 10' (1:120)
 (X) 1" = 10' (1:120)
 (XI) 1" = 10' (1:120)
 (XII) 1" = 10' (1:120)
 (XIII) 1" = 10' (1:120)
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 (XXVII) 1" = 10' (1:120)
 (XXVIII) 1" = 10' (1:120)
 (XXIX) 1" = 10' (1:120)
 (XXX) 1" = 10' (1:120)



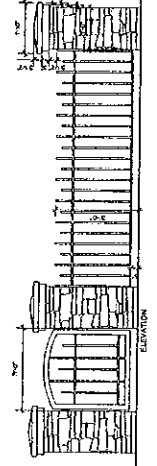
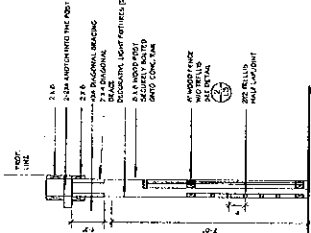
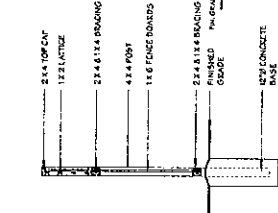
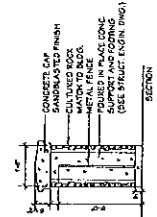
PLAY EQUIPMENT
 MODEL # 7300 / 7420
 BURNING BROS.
 10000 100TH AVENUE S.W. #100
 RICHMOND, BC V6V 2C6
 TEL: 604-272-4808
 FAX: 604-272-4808



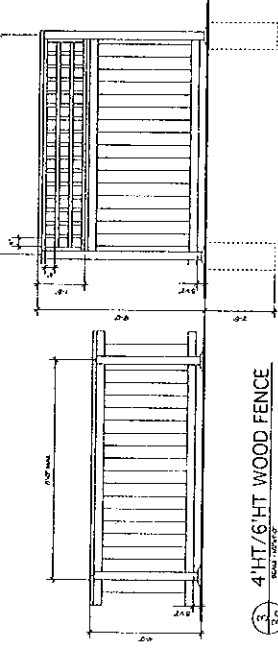
BENCH
 MODEL # 4275 / 4282
 BURNING BROS.
 10000 100TH AVENUE S.W. #100
 RICHMOND, BC V6V 2C6
 TEL: 604-272-4808
 FAX: 604-272-4808



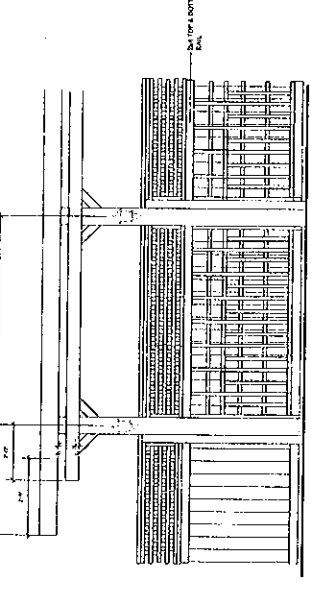
NOTE:
 ALL WOOD USED FOR DETAILS IN THIS DRAWING SET SHALL BE S4S, PULVERIZED, STAINED WITH 2 COATS SOLID STAIN WITH FINISH. ALL METALS SHALL BE GALVANIZED FOR ALL WEATHER APPLICABLE. ALL NAILS AND OTHER METAL COMPONENTS SHALL BE GALVANIZED.



1 METAL FENCE/POST DETAIL
 SCALE 1/4" = 1'-0"



3 4 1/2 HT / 6 HT WOOD FENCE
 SCALE 1/8" = 1'-0"



4 ROAD END TRELLIS
 SCALE 1/8" = 1'-0"

JUNE 1, 2010
 PREPARED FOR: [REDACTED]
 DRAWN BY: [REDACTED]

JUNE 2, 2010
 CHECKED BY: [REDACTED]
 APPROVED BY: [REDACTED]

JUNE 15, 2010
 REVISIONS:
 1. [REDACTED]

NOV 6, 2009
 ISSUED FOR DP

NOV 6, 2009
 ISSUED FOR DP

ITO ASSOCIATES
 LANDSCAPE ARCHITECTS
 8401 FISHCREEK ROAD
 RICHMOND, BC V7C 1Y5
 PHONE: (604) 273-2812
 FACSIMILE: (604) 272-4808
 EMAIL: ITO@ITOAS.COM

7300-7420
BLUNDELL RD.
RICHMOND B.C.

DETAILS

| | |
|---------|----------|
| DATE | 10/21/10 |
| DRAWN | MM |
| CHECKED | TT |
| DATE | NOV 6/09 |
| SCALE | AS SHOWN |

DP 10 519994 3C of 8
 JUN 21 2010 PLAN #3C

TREES

- 1 ACER BREVIFOLIUM
- 2 ACER RUBRUM 'VARIEGATUM'
- 3 ACER RUBRUM 'RED SUNSET'
- 4 ACER RUBRUM 'RED SUNSET'
- 5 ACER RUBRUM 'RED SUNSET'
- 6 ACER RUBRUM 'RED SUNSET'
- 7 ACER RUBRUM 'RED SUNSET'
- 8 ACER RUBRUM 'RED SUNSET'
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- 49 ACER RUBRUM 'RED SUNSET'
- 50 ACER RUBRUM 'RED SUNSET'

SHRUBS

- 100 AZALEA JAPONICA
- 101 AZALEA JAPONICA
- 102 AZALEA JAPONICA
- 103 AZALEA JAPONICA
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- 129 AZALEA JAPONICA
- 130 AZALEA JAPONICA

GROUND COVERS

- 1000 ACROSTACHYA SPICATA
- 1001 ACROSTACHYA SPICATA
- 1002 ACROSTACHYA SPICATA
- 1003 ACROSTACHYA SPICATA
- 1004 ACROSTACHYA SPICATA
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- 1030 ACROSTACHYA SPICATA

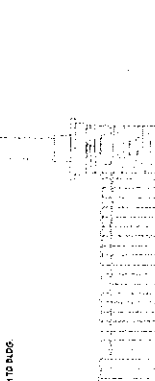
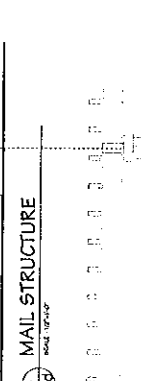
EXISTING TREE REPLACEMENT RATIONAL

| TREES TO BE REMOVED | TREES TO BE REPLACED | PROPOSED BALANCE |
|---------------------|----------------------|------------------|
| 100 CAL | 28 | 11.0 |
| 101 CAL | 24 | 9.0 |
| 102 CAL | 24 | 9.0 |
| 103 CAL | 24 | 9.0 |
| 104 CAL | 24 | 9.0 |
| 105 CAL | 24 | 9.0 |
| 106 CAL | 24 | 9.0 |
| 107 CAL | 24 | 9.0 |
| 108 CAL | 24 | 9.0 |
| 109 CAL | 24 | 9.0 |
| 110 CAL | 24 | 9.0 |
| 111 CAL | 24 | 9.0 |
| 112 CAL | 24 | 9.0 |
| 113 CAL | 24 | 9.0 |
| 114 CAL | 24 | 9.0 |
| 115 CAL | 24 | 9.0 |
| 116 CAL | 24 | 9.0 |
| 117 CAL | 24 | 9.0 |
| 118 CAL | 24 | 9.0 |
| 119 CAL | 24 | 9.0 |
| 120 CAL | 24 | 9.0 |
| 121 CAL | 24 | 9.0 |
| 122 CAL | 24 | 9.0 |
| 123 CAL | 24 | 9.0 |
| 124 CAL | 24 | 9.0 |
| 125 CAL | 24 | 9.0 |
| 126 CAL | 24 | 9.0 |
| 127 CAL | 24 | 9.0 |
| 128 CAL | 24 | 9.0 |
| 129 CAL | 24 | 9.0 |
| 130 CAL | 24 | 9.0 |

- PERENNIALS/ANNUALS/PERNS/GRASSES/AQUATIC PLANTS
- #1 POT: IRIOPHYSALIS
 - #2 POT: IRIOPHYSALIS
 - #3 POT: IRIOPHYSALIS
 - #4 POT: IRIOPHYSALIS
 - #5 POT: IRIOPHYSALIS
 - #6 POT: IRIOPHYSALIS
 - #7 POT: IRIOPHYSALIS
 - #8 POT: IRIOPHYSALIS
 - #9 POT: IRIOPHYSALIS
 - #10 POT: IRIOPHYSALIS
 - #11 POT: IRIOPHYSALIS
 - #12 POT: IRIOPHYSALIS
 - #13 POT: IRIOPHYSALIS
 - #14 POT: IRIOPHYSALIS
 - #15 POT: IRIOPHYSALIS
 - #16 POT: IRIOPHYSALIS
 - #17 POT: IRIOPHYSALIS
 - #18 POT: IRIOPHYSALIS
 - #19 POT: IRIOPHYSALIS
 - #20 POT: IRIOPHYSALIS

- GROUND COVERS
- #1 POT: IRIOPHYSALIS
 - #2 POT: IRIOPHYSALIS
 - #3 POT: IRIOPHYSALIS
 - #4 POT: IRIOPHYSALIS
 - #5 POT: IRIOPHYSALIS
 - #6 POT: IRIOPHYSALIS
 - #7 POT: IRIOPHYSALIS
 - #8 POT: IRIOPHYSALIS
 - #9 POT: IRIOPHYSALIS
 - #10 POT: IRIOPHYSALIS
 - #11 POT: IRIOPHYSALIS
 - #12 POT: IRIOPHYSALIS
 - #13 POT: IRIOPHYSALIS
 - #14 POT: IRIOPHYSALIS
 - #15 POT: IRIOPHYSALIS
 - #16 POT: IRIOPHYSALIS
 - #17 POT: IRIOPHYSALIS
 - #18 POT: IRIOPHYSALIS
 - #19 POT: IRIOPHYSALIS
 - #20 POT: IRIOPHYSALIS

- GROUND COVERS
- #1 POT: IRIOPHYSALIS
 - #2 POT: IRIOPHYSALIS
 - #3 POT: IRIOPHYSALIS
 - #4 POT: IRIOPHYSALIS
 - #5 POT: IRIOPHYSALIS
 - #6 POT: IRIOPHYSALIS
 - #7 POT: IRIOPHYSALIS
 - #8 POT: IRIOPHYSALIS
 - #9 POT: IRIOPHYSALIS
 - #10 POT: IRIOPHYSALIS
 - #11 POT: IRIOPHYSALIS
 - #12 POT: IRIOPHYSALIS
 - #13 POT: IRIOPHYSALIS
 - #14 POT: IRIOPHYSALIS
 - #15 POT: IRIOPHYSALIS
 - #16 POT: IRIOPHYSALIS
 - #17 POT: IRIOPHYSALIS
 - #18 POT: IRIOPHYSALIS
 - #19 POT: IRIOPHYSALIS
 - #20 POT: IRIOPHYSALIS



DRP 10 519994
 JUN 7 1 10 PM '94
 AMENITY AREA ARBOUR
 ELEVATION FROM INTERNAL STREET

DATE: JUNE 16, 2010
 DRAWN BY: [NAME]
 CHECKED BY: [NAME]
 IN CHARGE: [NAME]

DATE: JUNE 16, 2010
 DRAWN BY: [NAME]
 CHECKED BY: [NAME]
 IN CHARGE: [NAME]

DATE: JUNE 16, 2010
 DRAWN BY: [NAME]
 CHECKED BY: [NAME]
 IN CHARGE: [NAME]

DATE: JUNE 16, 2010
 DRAWN BY: [NAME]
 CHECKED BY: [NAME]
 IN CHARGE: [NAME]

DATE: JUNE 16, 2010
 DRAWN BY: [NAME]
 CHECKED BY: [NAME]
 IN CHARGE: [NAME]

DATE: JUNE 16, 2010
 DRAWN BY: [NAME]
 CHECKED BY: [NAME]
 IN CHARGE: [NAME]

DATE: JUNE 16, 2010
 DRAWN BY: [NAME]
 CHECKED BY: [NAME]
 IN CHARGE: [NAME]

DATE: JUNE 16, 2010
 DRAWN BY: [NAME]
 CHECKED BY: [NAME]
 IN CHARGE: [NAME]

DATE: JUNE 16, 2010
 DRAWN BY: [NAME]
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 IN CHARGE: [NAME]

DATE: JUNE 16, 2010
 DRAWN BY: [NAME]
 CHECKED BY: [NAME]
 IN CHARGE: [NAME]

DATE: JUNE 16, 2010
 DRAWN BY: [NAME]
 CHECKED BY: [NAME]
 IN CHARGE: [NAME]

DATE: JUNE 16, 2010
 DRAWN BY: [NAME]
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DATE: JUNE 16, 2010
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DATE: JUNE 16, 2010
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 IN CHARGE: [NAME]

DATE: JUNE 16, 2010
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DATE: JUNE 16, 2010
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DATE: JUNE 16, 2010
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DATE: JUNE 16, 2010
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DATE: JUNE 16, 2010
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DATE: JUNE 16, 2010
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DATE: JUNE 16, 2010
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 IN CHARGE: [NAME]

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 IN CHARGE: [NAME]

DATE: JUNE 16, 2010
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 IN CHARGE: [NAME]

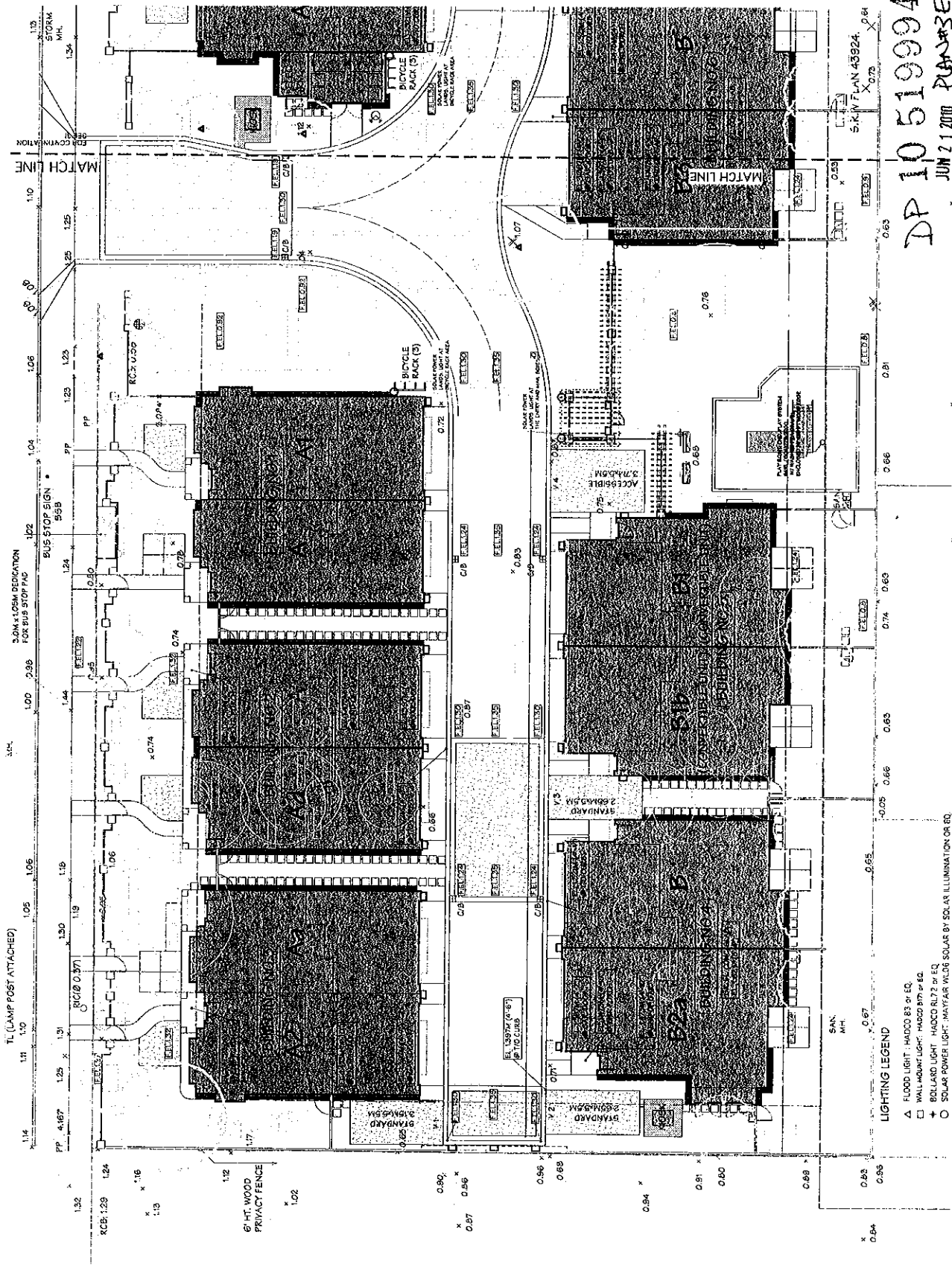
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 IN CHARGE: [NAME]

DATE: JUNE 16, 2010
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 CHECKED BY: [NAME]
 IN CHARGE: [NAME]

DATE: JUNE 16, 2010
 DRAWN BY: [NAME]
 CHECKED BY: [NAME]
 IN CHARGE: [NAME]

DATE: JUNE 16, 2010
 DRAWN BY: [NAME]
 CHECKED BY: [NAME]
 IN CHARGE: [NAME]



TL (LAMP POST ATTACHED)

3.0M x 1.05M DEDICATION FOR BUS STOP PAD

MATCH LINE

- LIGHTING LEGEND**
- ▲ FLOOD LIGHT - HADCO E3 or EQ
 - WALL MOUNT LIGHT - HADCO R77 or EQ
 - ⊕ BOLLARD LIGHT - HADCO RL72 or EQ
 - SOLAR POWER LIGHT - MAYTEAR WLDG SOLAR BY SOLAR ILLUMINATION OR EQ

DP 10519994
 JUN 21 2010
 PLANVERSE

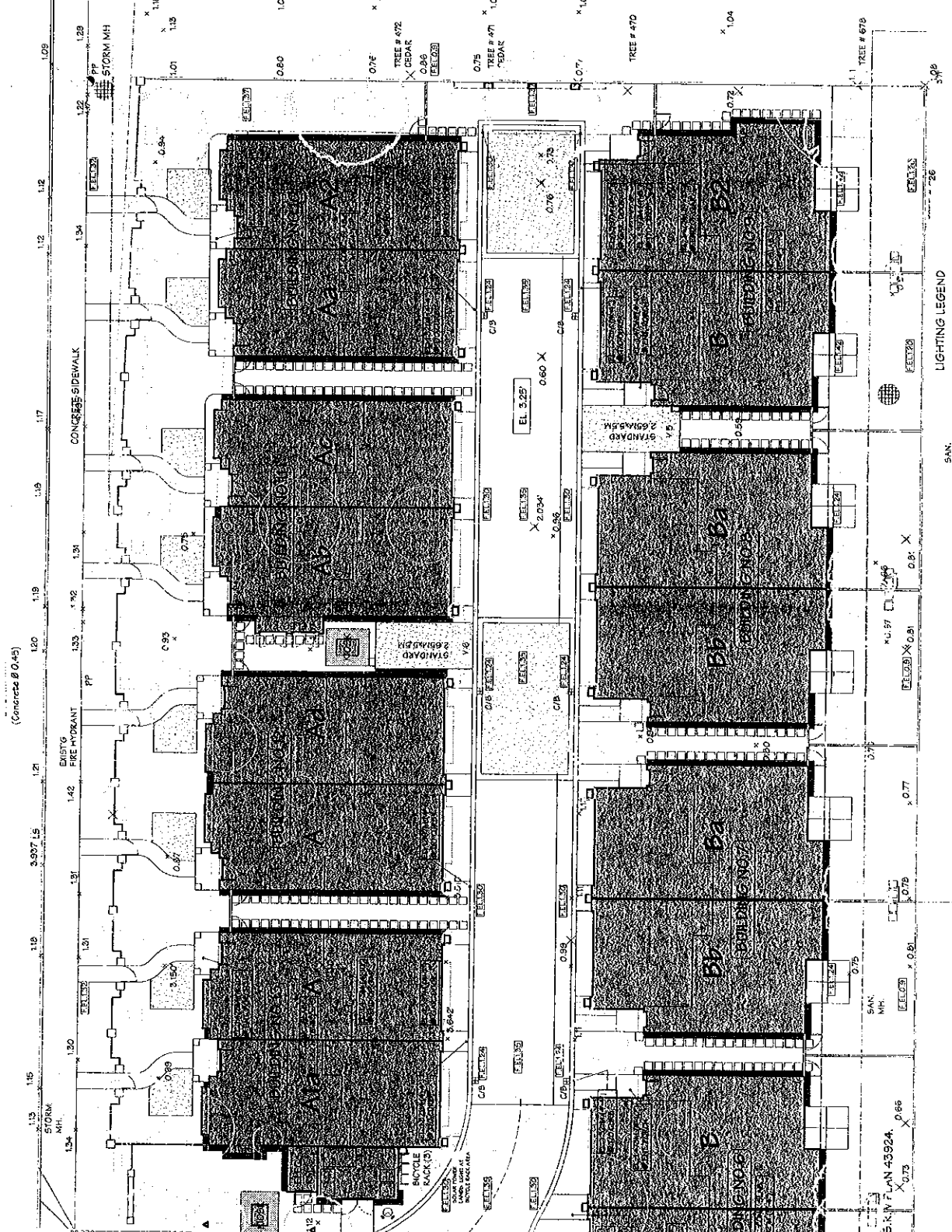
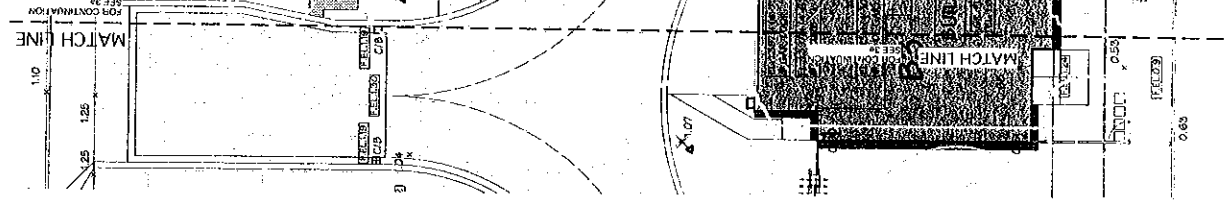
| | | | |
|------|----------|----|----|
| DATE | 10/12/09 | BY | MM |
| DATE | 10/12/09 | BY | MM |
| DATE | 10/12/09 | BY | MM |
| DATE | 10/12/09 | BY | MM |
| DATE | 10/12/09 | BY | MM |

DATE: 10/12/09
 BY: [Name]
 PROJECT: [Name]
 SHEET: [Name]

ITO
 & ASSOCIATES
 Landscape Architects
 8431 Fairway Road
 Richmond, BC V7C 1Y5
 Phone: (604) 275-2812
 Fax: (604) 275-2813
 E-Mail: info@itofac.com

7300-7420
 BLUNDELL RD.
 RICHMOND B.C.

LIGHTING PLAN



ANK 12/07/10
 ALL AREAS SHOWN ARE
 BASED ON THE
 JUNE 22/10
 MEASUREMENTS
 TAKEN FOR THE
 JAN 19/10
 BASED ON THE
 NOV 12/09
 SURVEY FOR THE
 PROJECT/ISSUES

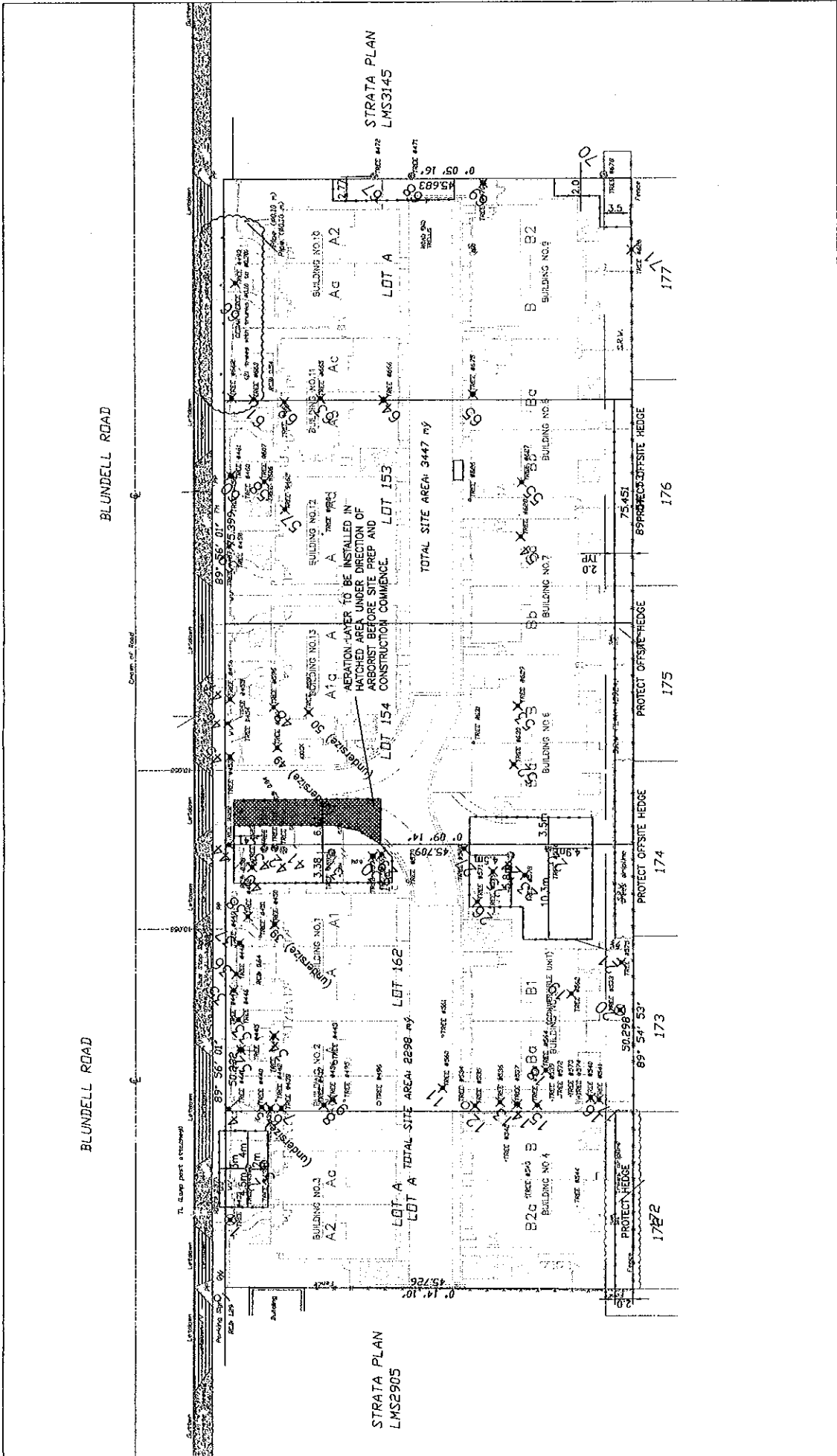
ITO
 ASSOCIATES
 LANDSCAPE ARCHITECTS
 8431 Branch Road
 Richmond, BC V6X 1V5
 Phone: (604) 273-2812
 Facsimile: (604) 273-4258
 Email: info@itoassociates.com

7300-7420
 BLUNDELL RD.
 RICHMOND B.C.

LIGHTING PLAN

JUN 21 2010 PLAN # 3F
 ND IN LITIGATION

LIGHTING LEGEND
 ▲ FLOOD LIGHT - HADCO BS of EQ
 □ WALL MOUNT LIGHT - HADCO BPT of EQ
 + BOLLARD LIGHT - HADCO BL72 of EQ
 ○ SOLAR POWER LIGHT - MAYTEAR MALS SOLAR BY SOLAR ILLUMINATION OF EQ



TREE RETENTION PLAN

Client: SHAO-PING XUAN - TYA - CLEAR CREEK
Project: TOWNHOUSE DEVELOPMENT PROPOSAL
Site: 7300 to 7420 BLUNDELL ROAD, RICHMOND

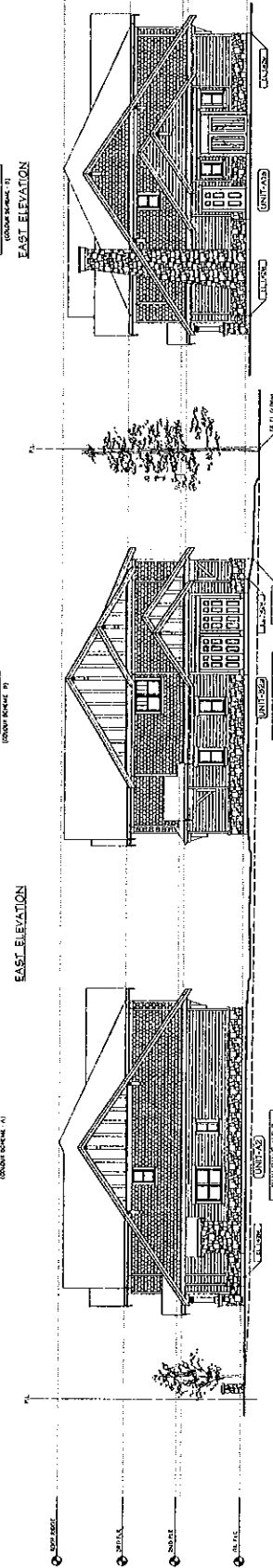
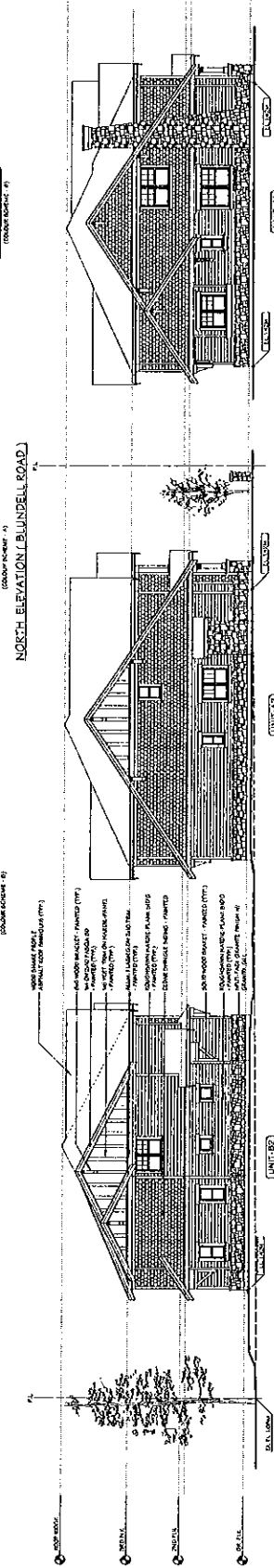
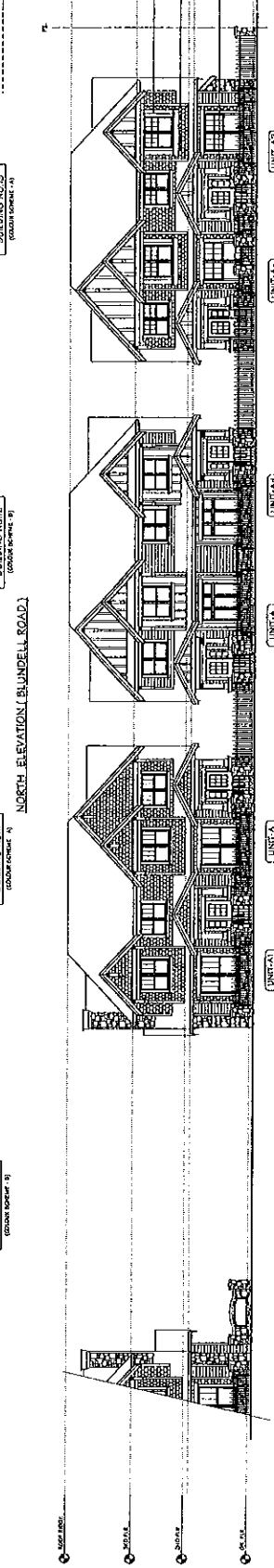
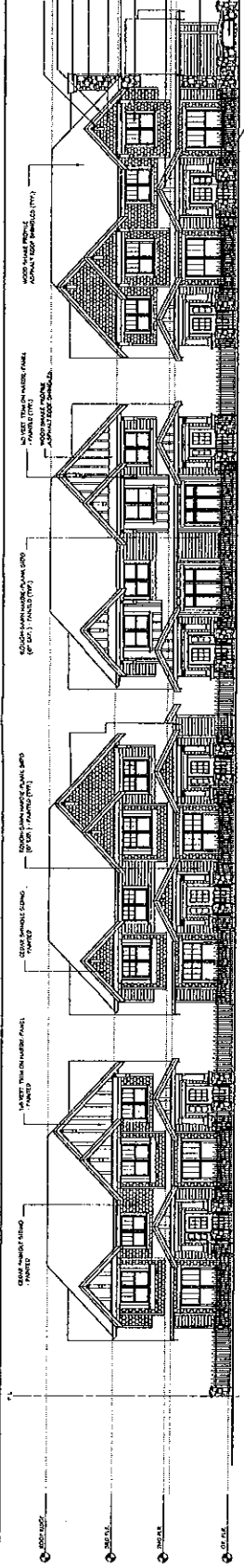
JUN 21 2010 PLAN # 3G
 DP 10 51999A

Scale 1:400

LEGEND:
 (Symbol) TREE NUMBER. Refer to tree inventory for type, size and condition data.
 (Symbol) denotes tree to be RETAINED.
 (Symbol) denotes tree to be REMOVED for hazard mitigation.
 (Symbol) denotes tree to be REMOVED for use on or off site.
 (Symbol) denotes tree to be TRANSPLANTED for use on or off site.
 (Symbol) denotes TREE PROTECTION FENCE to be installed in Tree Retention Area (100% limit).

ARBORTECH CONSULTING LTD.
 Professional Tree & Vegetation Consultant
 Suite 200 - 3740 Chatham Street
 Richmond BC V6V 2G4
 Tel: 604 275 3482 Fax: 604 275 1954
 e-mail: tree@arbortech.bc.ca
 0612379P 18 JUN 2010

DP 10-519994



| | |
|-----------|---------------------------------------------|
| DATE | 10/21/2016 |
| PROJECT | 24 UNIT TOWNHOUSE DEVELOPMENT |
| SCALE | AS SHOWN |
| REVISIONS | NO. DATE BY DESCRIPTION |
| OWNER | YAMAMOTO ARCHITECTURE INC. |
| DESIGNER | YAMAMOTO ARCHITECTURE INC. |
| CONTRACT | 1000 NINE BLUNDELL ROAD MUNICH, GA 30329 |

1000 NINE BLUNDELL ROAD
MUNICH, GA 30329

Yamamoto
Architecture Inc.

1000 NINE BLUNDELL ROAD
MUNICH, GA 30329
ELEVATIONS

| | | | |
|---------|--------------|-------------|-------------------------------|
| SCALE | 1/8" = 1'-0" | SHEET NO. | 4 |
| DATE | 10/21/2016 | PROJECT | 24 UNIT TOWNHOUSE DEVELOPMENT |
| DRAWN | [Signature] | PROJECT NO. | DP 10-519994 |
| CHECKED | [Signature] | SHEET NO. | 4 |

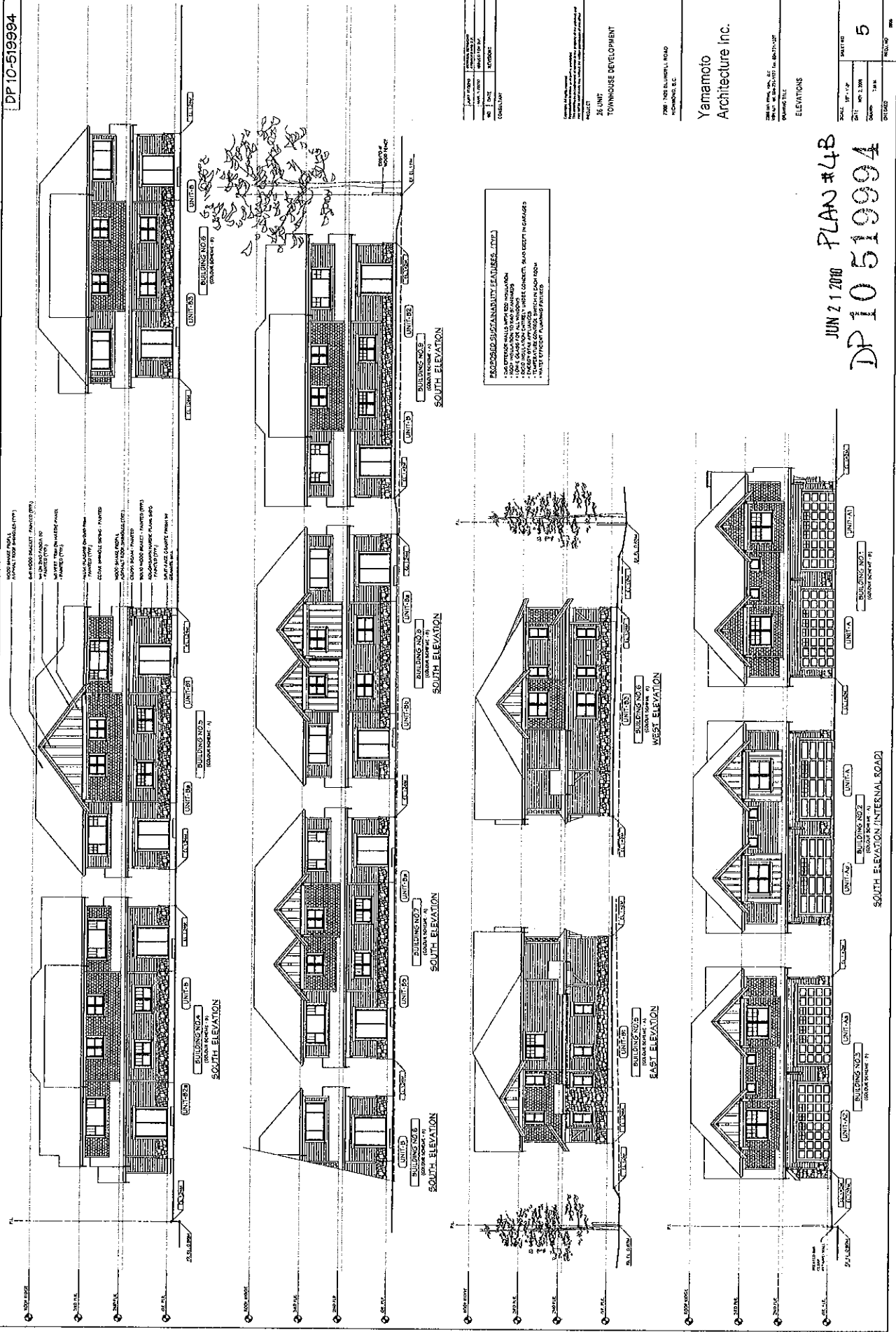
JUN 21 2016
WEST ELEVATION
PLAN #4A
DP 10 519994

WEST ELEVATION

WEST ELEVATION

WEST ELEVATION

DP 10-519994



- VINYL SIDING (UPPER PORTION)
 - VINYL SIDING (LOWER PORTION)
 - 1/2" x 1/2" x 1/2" BRICK (UPPER PORTION)
 - 1/2" x 1/2" x 1/2" BRICK (LOWER PORTION)
 - 1/2" x 1/2" x 1/2" BRICK (UPPER PORTION)
 - 1/2" x 1/2" x 1/2" BRICK (LOWER PORTION)
 - 1/2" x 1/2" x 1/2" BRICK (UPPER PORTION)
 - 1/2" x 1/2" x 1/2" BRICK (LOWER PORTION)
 - 1/2" x 1/2" x 1/2" BRICK (UPPER PORTION)
 - 1/2" x 1/2" x 1/2" BRICK (LOWER PORTION)
 - 1/2" x 1/2" x 1/2" BRICK (UPPER PORTION)
 - 1/2" x 1/2" x 1/2" BRICK (LOWER PORTION)

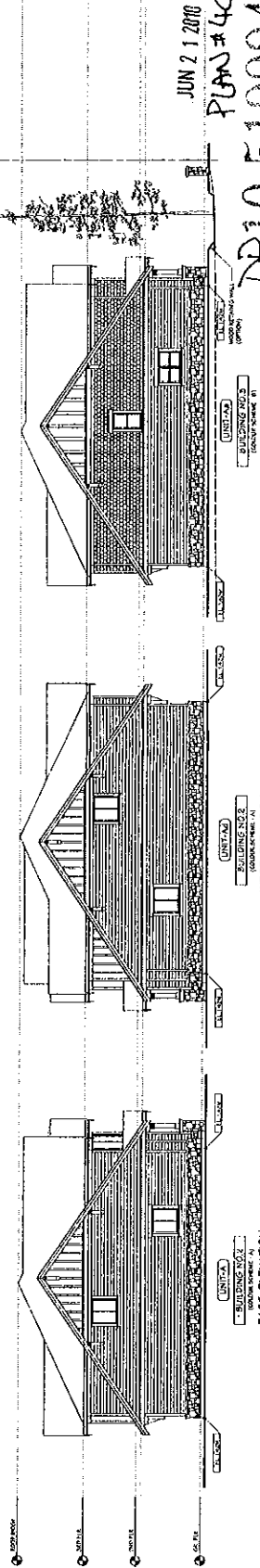
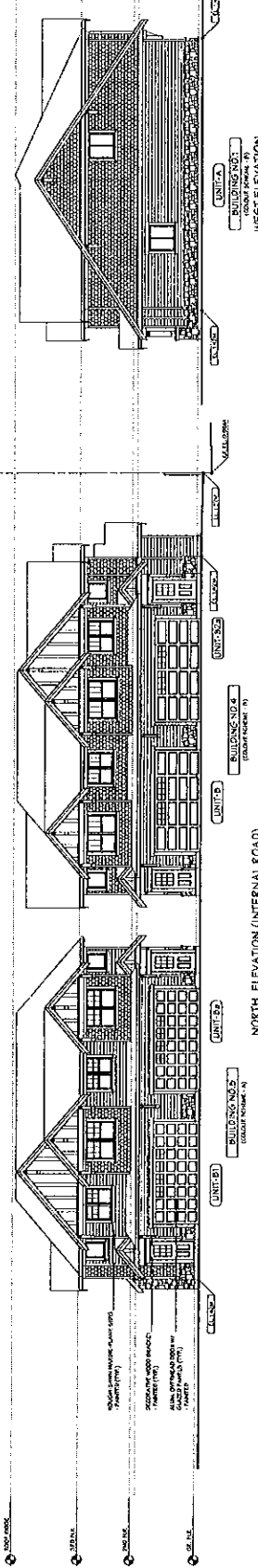
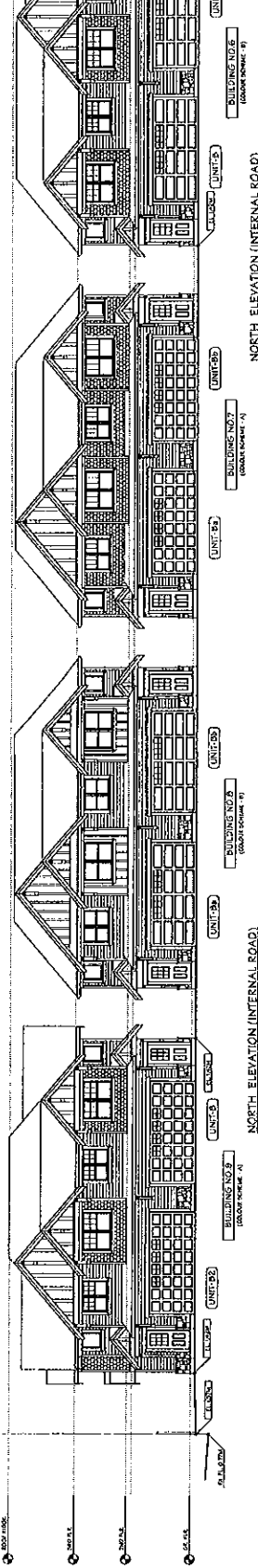
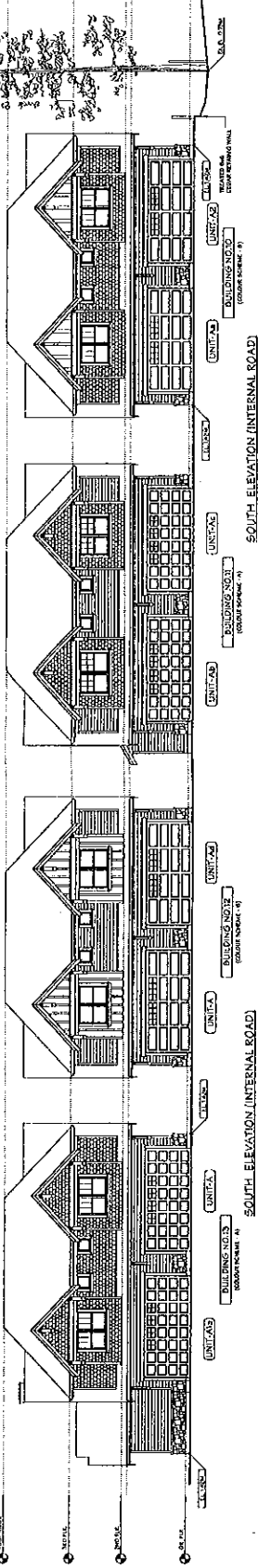
EXPOSED-SUSTAINABILITY FEATURES (JULY)
 - 100% RECYCLED WALLS WITH ECO-INSULATION
 - 100% GLASS DOOR AND WINDOWS
 - GREEN GLASS THERMAL INSULATION
 - GREEN GLASS THERMAL INSULATION
 - WHITE STYRENE POLYSTYRENE INSULATION

| | |
|------------------|-------------------------------|
| Project Name | DP 10-519994 |
| Project Location | 26 UNIT TOWNHOUSE DEVELOPMENT |
| Client | YAMAMOTO ARCHITECTURE INC. |
| Scale | 1/8" = 1'-0" |
| Date | JUN 21 2010 |
| Drawn By | YAMAMOTO ARCHITECTURE INC. |
| Checked By | YAMAMOTO ARCHITECTURE INC. |

7000 170th STREET, WILLOWDALE, ONTARIO, CANADA
 TEL: 416-491-1111
 FAX: 416-491-1112
 WWW.YAMAMOTOARCHITECTURE.COM

JUN 21 2010 PLAN #4B
 DP 10 519994

| | |
|------------|----------------------------|
| Scale | 1/8" = 1'-0" |
| Date | JUN 21 2010 |
| Drawn By | YAMAMOTO ARCHITECTURE INC. |
| Checked By | YAMAMOTO ARCHITECTURE INC. |
| Sheet No. | 5 |

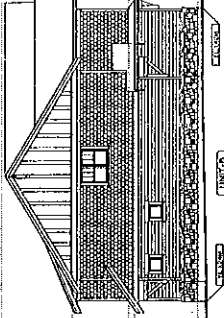


| NO. | DATE | DESCRIPTION |
|-----|----------|-----------------------|
| 1 | 10/10/09 | ISSUED FOR PERMITTING |
| 2 | 10/10/09 | ISSUED FOR PERMITTING |
| 3 | 10/10/09 | ISSUED FOR PERMITTING |
| 4 | 10/10/09 | ISSUED FOR PERMITTING |
| 5 | 10/10/09 | ISSUED FOR PERMITTING |

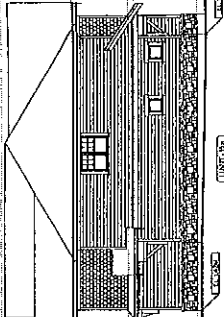
PROJECT: 28 UNIT TOWNHOUSE DEVELOPMENT
 ARCHITECT: Yamamoto Architecture Inc.
 ADDRESS: 1200 BUNDELL ROAD, TORONTO, ONT. M6H 1S7

DATE: JUN 21 2010
 PLAN # 4C
 SHEET NO: 6

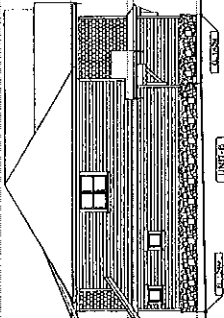
| SCALE | DATE | NO. | TITLE | SHEET NO. |
|--------------|-------------|-----|------------|-----------|
| 1/8" = 1'-0" | JUN 21 2010 | 4C | ELEVATIONS | 6 |



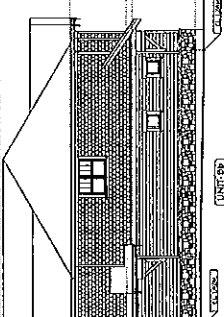
UNIT 1A
BUILDING NO. 7
CONTRACT NO. 10
EAST ELEVATION



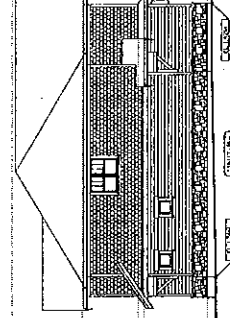
UNIT 1B
BUILDING NO. 7
CONTRACT NO. 10
EAST ELEVATION



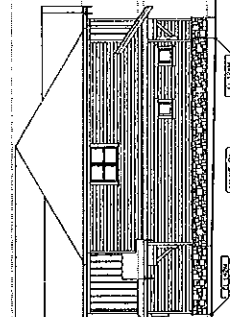
UNIT 1C
BUILDING NO. 7
CONTRACT NO. 10
EAST ELEVATION



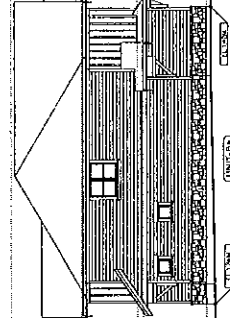
UNIT 1D
BUILDING NO. 7
CONTRACT NO. 10
WEST ELEVATION



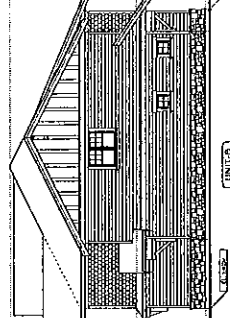
UNIT 2A
BUILDING NO. 8
CONTRACT NO. 10
EAST ELEVATION



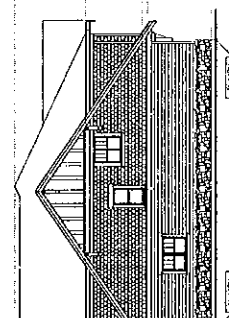
UNIT 2B
BUILDING NO. 8
CONTRACT NO. 10
EAST ELEVATION



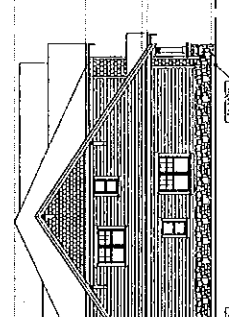
UNIT 2C
BUILDING NO. 8
CONTRACT NO. 10
EAST ELEVATION



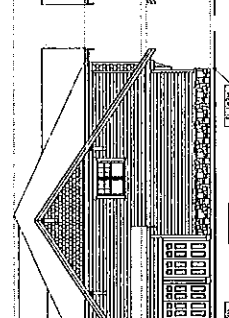
UNIT 2D
BUILDING NO. 8
CONTRACT NO. 10
WEST ELEVATION



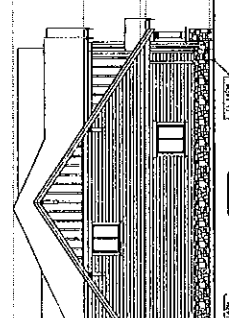
UNIT 3A
BUILDING NO. 9
CONTRACT NO. 10
EAST ELEVATION



UNIT 3B
BUILDING NO. 9
CONTRACT NO. 10
EAST ELEVATION



UNIT 3C
BUILDING NO. 9
CONTRACT NO. 10
EAST ELEVATION



UNIT 3D
BUILDING NO. 9
CONTRACT NO. 10
WEST ELEVATION

| | |
|---------|-----------------------|
| DATE | 10/10/00 |
| BY | J. YAMAMOTO |
| CHECKED | J. YAMAMOTO |
| SCALE | 1/8" = 1'-0" |
| PROJECT | TOWNHOUSE DEVELOPMENT |
| NO. | 25 UNIT |
| DATE | 10/10/00 |
| BY | J. YAMAMOTO |
| CHECKED | J. YAMAMOTO |

TOWNHOUSE DEVELOPMENT
25 UNIT

1000 10TH AVENUE, SUITE 400
NICHOLSVILLE, KY 40356

Yamamoto
Architecture Inc.

1000 10TH AVENUE, SUITE 400
NICHOLSVILLE, KY 40356

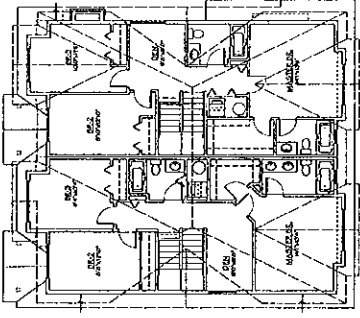
JUN 21 2000
PLAN # 4D
DP 10519994
SCALE 1/8" = 1'-0"
DATE 06/21/00
DRAWN J.YA
CHECKED J.YA
PAGE NO 7

| | |
|-----------------------|------------------|
| COLOR SCHEDULE | |
| DOOR: CHERRY | NO. 1: CASHWOOD |
| TRIM: WHITE | NO. 2: CASHWOOD |
| PAINT: WHITE | NO. 3: CASHWOOD |
| WALL: WHITE | NO. 4: CASHWOOD |
| FLOOR: WHITE | NO. 5: CASHWOOD |
| CEILING: WHITE | NO. 6: CASHWOOD |
| ROOF: WHITE | NO. 7: CASHWOOD |
| SKYLIGHT: WHITE | NO. 8: CASHWOOD |
| SCREENS: WHITE | NO. 9: CASHWOOD |
| SCREENS: WHITE | NO. 10: CASHWOOD |
| SCREENS: WHITE | NO. 11: CASHWOOD |
| SCREENS: WHITE | NO. 12: CASHWOOD |
| SCREENS: WHITE | NO. 13: CASHWOOD |
| SCREENS: WHITE | NO. 14: CASHWOOD |
| SCREENS: WHITE | NO. 15: CASHWOOD |
| SCREENS: WHITE | NO. 16: CASHWOOD |
| SCREENS: WHITE | NO. 17: CASHWOOD |
| SCREENS: WHITE | NO. 18: CASHWOOD |
| SCREENS: WHITE | NO. 19: CASHWOOD |
| SCREENS: WHITE | NO. 20: CASHWOOD |
| SCREENS: WHITE | NO. 21: CASHWOOD |
| SCREENS: WHITE | NO. 22: CASHWOOD |
| SCREENS: WHITE | NO. 23: CASHWOOD |
| SCREENS: WHITE | NO. 24: CASHWOOD |
| SCREENS: WHITE | NO. 25: CASHWOOD |
| SCREENS: WHITE | NO. 26: CASHWOOD |
| SCREENS: WHITE | NO. 27: CASHWOOD |
| SCREENS: WHITE | NO. 28: CASHWOOD |
| SCREENS: WHITE | NO. 29: CASHWOOD |
| SCREENS: WHITE | NO. 30: CASHWOOD |
| SCREENS: WHITE | NO. 31: CASHWOOD |
| SCREENS: WHITE | NO. 32: CASHWOOD |
| SCREENS: WHITE | NO. 33: CASHWOOD |
| SCREENS: WHITE | NO. 34: CASHWOOD |
| SCREENS: WHITE | NO. 35: CASHWOOD |
| SCREENS: WHITE | NO. 36: CASHWOOD |
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| SCREENS: WHITE | NO. 40: CASHWOOD |
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| SCREENS: WHITE | NO. 42: CASHWOOD |
| SCREENS: WHITE | NO. 43: CASHWOOD |
| SCREENS: WHITE | NO. 44: CASHWOOD |
| SCREENS: WHITE | NO. 45: CASHWOOD |
| SCREENS: WHITE | NO. 46: CASHWOOD |
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| SCREENS: WHITE | NO. 48: CASHWOOD |
| SCREENS: WHITE | NO. 49: CASHWOOD |
| SCREENS: WHITE | NO. 50: CASHWOOD |

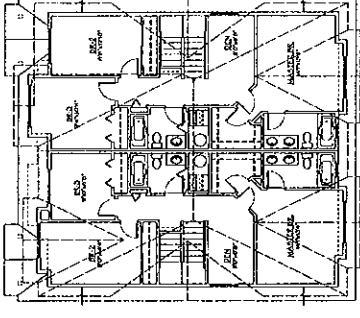
GENERAL NOTES:

- 1. ALL DIMENSIONS UNLESS OTHERWISE NOTED.
- 2. ALL DIMENSIONS SHALL BE TO FINISH SURF UNLESS OTHERWISE NOTED.
- 3. ALL DIMENSIONS SHALL BE TO FINISH SURF UNLESS OTHERWISE NOTED.
- 4. ALL DIMENSIONS SHALL BE TO FINISH SURF UNLESS OTHERWISE NOTED.
- 5. ALL DIMENSIONS SHALL BE TO FINISH SURF UNLESS OTHERWISE NOTED.
- 6. ALL DIMENSIONS SHALL BE TO FINISH SURF UNLESS OTHERWISE NOTED.
- 7. ALL DIMENSIONS SHALL BE TO FINISH SURF UNLESS OTHERWISE NOTED.
- 8. ALL DIMENSIONS SHALL BE TO FINISH SURF UNLESS OTHERWISE NOTED.
- 9. ALL DIMENSIONS SHALL BE TO FINISH SURF UNLESS OTHERWISE NOTED.
- 10. ALL DIMENSIONS SHALL BE TO FINISH SURF UNLESS OTHERWISE NOTED.

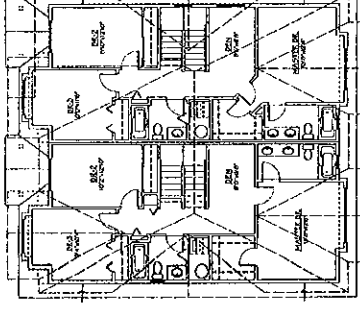
- EXPOSED SUSTAINABLE FEATURES:**
- 1. 2x4 STUDS WITH BRASS ANCHORS
 - 2. 2x6 STUDS WITH BRASS ANCHORS
 - 3. 2x8 STUDS WITH BRASS ANCHORS
 - 4. 2x10 STUDS WITH BRASS ANCHORS
 - 5. 2x12 STUDS WITH BRASS ANCHORS
 - 6. 2x14 STUDS WITH BRASS ANCHORS
 - 7. 2x16 STUDS WITH BRASS ANCHORS
 - 8. 2x18 STUDS WITH BRASS ANCHORS
 - 9. 2x20 STUDS WITH BRASS ANCHORS
 - 10. 2x22 STUDS WITH BRASS ANCHORS
 - 11. 2x24 STUDS WITH BRASS ANCHORS
 - 12. 2x26 STUDS WITH BRASS ANCHORS
 - 13. 2x28 STUDS WITH BRASS ANCHORS
 - 14. 2x30 STUDS WITH BRASS ANCHORS
 - 15. 2x32 STUDS WITH BRASS ANCHORS
 - 16. 2x34 STUDS WITH BRASS ANCHORS
 - 17. 2x36 STUDS WITH BRASS ANCHORS
 - 18. 2x38 STUDS WITH BRASS ANCHORS
 - 19. 2x40 STUDS WITH BRASS ANCHORS
 - 20. 2x42 STUDS WITH BRASS ANCHORS
 - 21. 2x44 STUDS WITH BRASS ANCHORS
 - 22. 2x46 STUDS WITH BRASS ANCHORS
 - 23. 2x48 STUDS WITH BRASS ANCHORS
 - 24. 2x50 STUDS WITH BRASS ANCHORS
 - 25. 2x52 STUDS WITH BRASS ANCHORS
 - 26. 2x54 STUDS WITH BRASS ANCHORS
 - 27. 2x56 STUDS WITH BRASS ANCHORS
 - 28. 2x58 STUDS WITH BRASS ANCHORS
 - 29. 2x60 STUDS WITH BRASS ANCHORS
 - 30. 2x62 STUDS WITH BRASS ANCHORS
 - 31. 2x64 STUDS WITH BRASS ANCHORS
 - 32. 2x66 STUDS WITH BRASS ANCHORS
 - 33. 2x68 STUDS WITH BRASS ANCHORS
 - 34. 2x70 STUDS WITH BRASS ANCHORS
 - 35. 2x72 STUDS WITH BRASS ANCHORS
 - 36. 2x74 STUDS WITH BRASS ANCHORS
 - 37. 2x76 STUDS WITH BRASS ANCHORS
 - 38. 2x78 STUDS WITH BRASS ANCHORS
 - 39. 2x80 STUDS WITH BRASS ANCHORS
 - 40. 2x82 STUDS WITH BRASS ANCHORS
 - 41. 2x84 STUDS WITH BRASS ANCHORS
 - 42. 2x86 STUDS WITH BRASS ANCHORS
 - 43. 2x88 STUDS WITH BRASS ANCHORS
 - 44. 2x90 STUDS WITH BRASS ANCHORS
 - 45. 2x92 STUDS WITH BRASS ANCHORS
 - 46. 2x94 STUDS WITH BRASS ANCHORS
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 - 48. 2x98 STUDS WITH BRASS ANCHORS
 - 49. 2x100 STUDS WITH BRASS ANCHORS



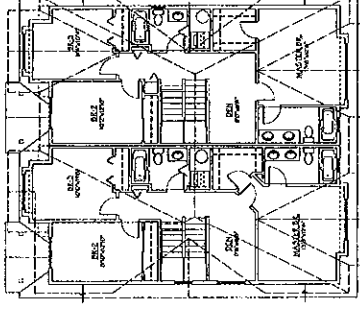
UNIT A
 UPPER FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 BUILDING NO. 1



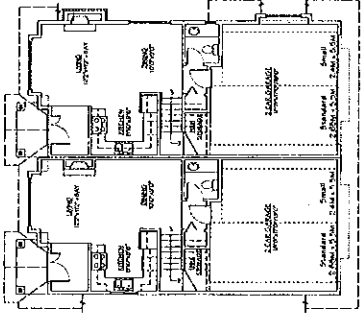
UNIT A
 UPPER FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 BUILDING NO. 2



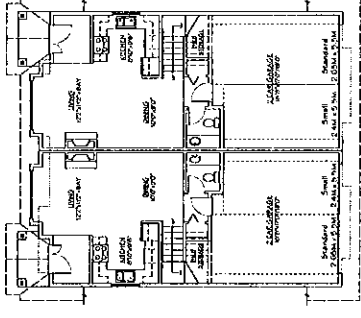
UNIT A
 UPPER FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 BUILDING NO. 3



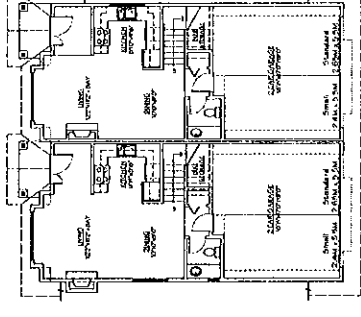
UNIT A
 UPPER FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 BUILDING NO. 10



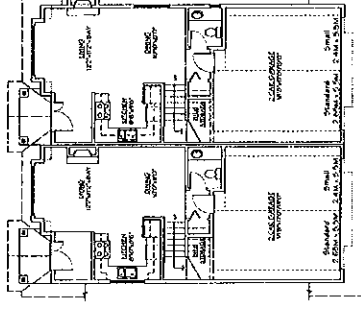
UNIT A
 GROUND FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 BUILDING NO. 1



UNIT A
 GROUND FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 BUILDING NO. 2



UNIT A
 GROUND FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 BUILDING NO. 3



UNIT A
 GROUND FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 BUILDING NO. 10

| | |
|-------------|-------------|
| PROJECT NO. | 10-519994 |
| DATE | 10/20/2010 |
| BY | YAMAMOTO |
| CHECKED BY | YAMAMOTO |
| SCALE | AS SHOWN |
| TITLE | FLOOR PLANS |

Yamamoto
 Architecture Inc.

REFERENCE PLAN

N

JUN 7 1 00 PM '11

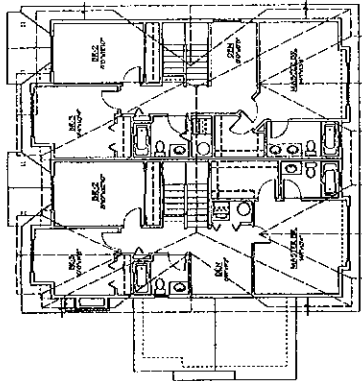
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| SHEET NO. | 8 |
| TOTAL SHEETS | 8 |
| DATE | 10/20/2010 |
| BY | YAMAMOTO |
| CHECKED BY | YAMAMOTO |
| SCALE | AS SHOWN |
| TITLE | FLOOR PLANS |

GENERAL NOTES :

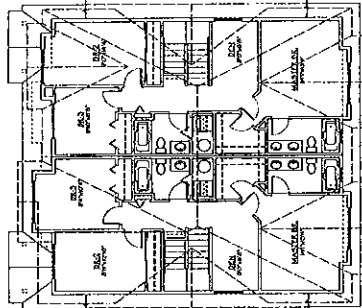
1. ALL EXTERIOR WALLS WITH EAVE INSULATION
 2. 1/2" MIN. CONCRETE SLAB UNDER ALL EXTERIOR WALLS
 3. EXTERIOR WALLS TO BE FINISHED WITH 1/2" GYP BOARD
 4. INTERIOR WALLS TO BE FINISHED WITH 1/2" GYP BOARD
 5. ALL INTERIOR WALLS TO BE FINISHED WITH 1/2" GYP BOARD
 6. ALL INTERIOR WALLS TO BE FINISHED WITH 1/2" GYP BOARD

PROPOSED SUSTAINABILITY FEATURES

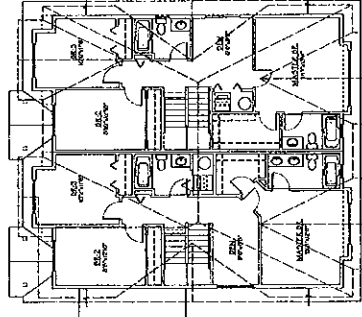
- THE EXTERIOR WALLS WITH EAVE INSULATION
- 1/2" MIN. CONCRETE SLAB UNDER ALL EXTERIOR WALLS
- EXTERIOR WALLS TO BE FINISHED WITH 1/2" GYP BOARD
- INTERIOR WALLS TO BE FINISHED WITH 1/2" GYP BOARD
- ALL INTERIOR WALLS TO BE FINISHED WITH 1/2" GYP BOARD
- ALL INTERIOR WALLS TO BE FINISHED WITH 1/2" GYP BOARD



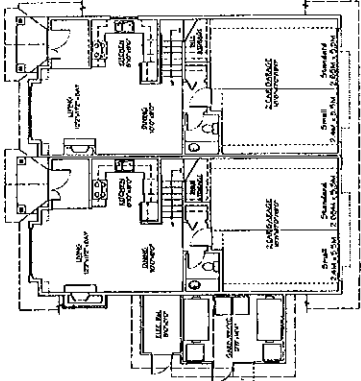
UNIT 13
 UPPER FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 BUILDING NO. 13



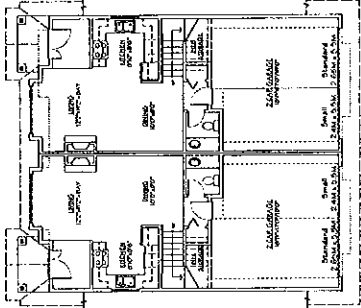
UNIT 12
 UPPER FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 BUILDING NO. 12



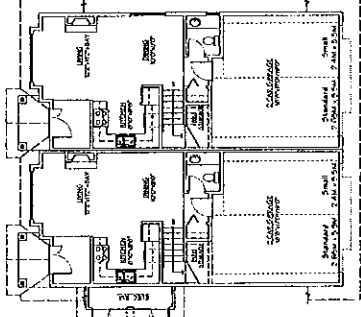
UNIT 11
 UPPER FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 BUILDING NO. 11



UNIT 13
 GROUND FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 BUILDING NO. 13



UNIT 12
 GROUND FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 BUILDING NO. 12



UNIT 11
 GROUND FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 BUILDING NO. 11

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
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PROJECT
 26 UNIT
 TOWNHOUSE DEVELOPMENT

7500 W. 30th Avenue, Denver
 Metropolitan, CO

Yamamoto
 Architecture Inc.

DATE: JUN 21 2011
 DRAWING TITLE: FLOOR PLANS

REFERENCE PLAN
 DP 10 519994

JUN 21 2011



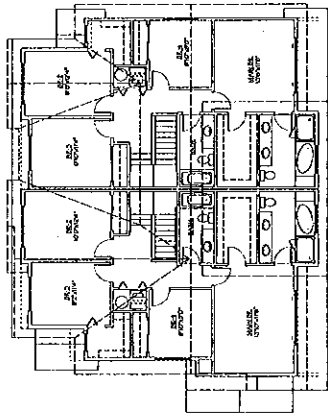
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GENERAL NOTES :

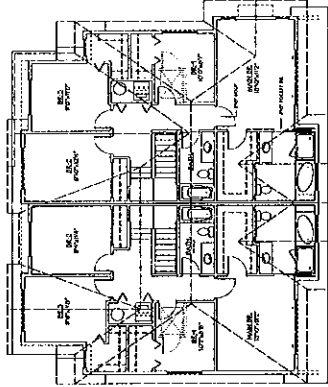
- 1. ALL EXTERIOR WALLS WITH TO BE SHOWN
- 2. REFER TO SHEET # 12
- 3. REFER TO SHEET # 13
- 4. REFER TO SHEET # 14
- 5. REFER TO SHEET # 15
- 6. REFER TO SHEET # 16
- 7. REFER TO SHEET # 17
- 8. REFER TO SHEET # 18
- 9. REFER TO SHEET # 19
- 10. REFER TO SHEET # 20
- 11. REFER TO SHEET # 21
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- 74. REFER TO SHEET # 84
- 75. REFER TO SHEET # 85
- 76. REFER TO SHEET # 86
- 77. REFER TO SHEET # 87
- 78. REFER TO SHEET # 88
- 79. REFER TO SHEET # 89
- 80. REFER TO SHEET # 90
- 81. REFER TO SHEET # 91
- 82. REFER TO SHEET # 92
- 83. REFER TO SHEET # 93
- 84. REFER TO SHEET # 94
- 85. REFER TO SHEET # 95
- 86. REFER TO SHEET # 96
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- 88. REFER TO SHEET # 98
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- 90. REFER TO SHEET # 100

PROPOSED SUSTAINABILITY FEATURES

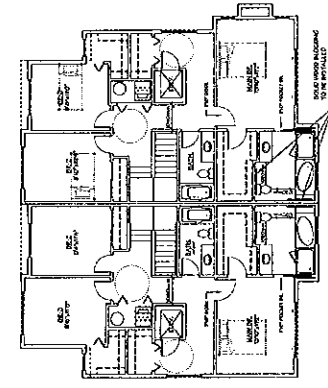
- 1. ALL EXTERIOR WALLS WITH TO BE SHOWN
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- 6. REFER TO SHEET # 16
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- 8. REFER TO SHEET # 18
- 9. REFER TO SHEET # 19
- 10. REFER TO SHEET # 20
- 11. REFER TO SHEET # 21
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- 72. REFER TO SHEET # 82
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- 76. REFER TO SHEET # 86
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- 78. REFER TO SHEET # 88
- 79. REFER TO SHEET # 89
- 80. REFER TO SHEET # 90
- 81. REFER TO SHEET # 91
- 82. REFER TO SHEET # 92
- 83. REFER TO SHEET # 93
- 84. REFER TO SHEET # 94
- 85. REFER TO SHEET # 95
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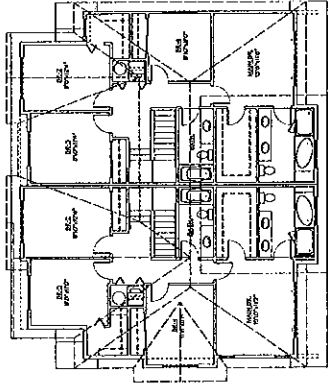
UNIT 4
UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0"
BUILDING NO. 4



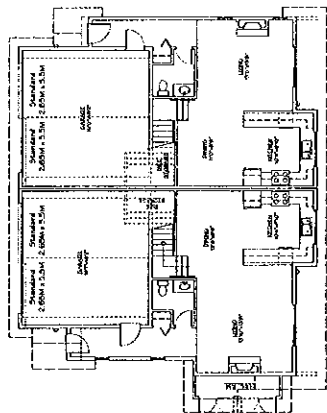
UNIT 5 (CONVERTIBLE UNIT)
UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0"
BUILDING NO. 5
CONVERTIBLE UNITS



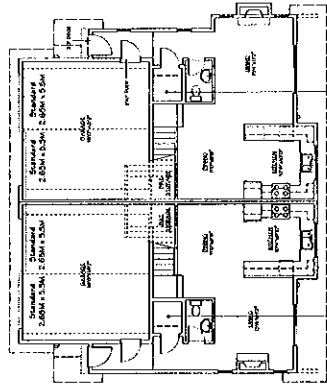
UNIT 5
UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0"
BUILDING NO. 5
CONVERTIBLE PLAN



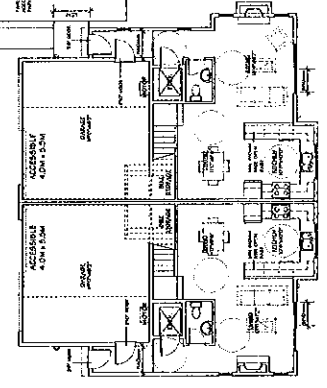
UNIT 6
UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0"
BUILDING NO. 6



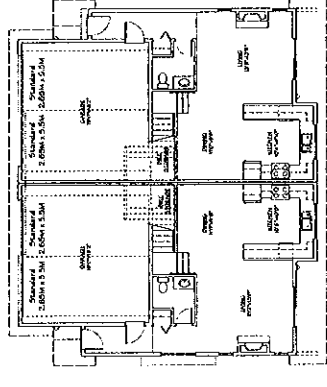
UNIT 4
GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"
BUILDING NO. 4



UNIT 5 (CONVERTIBLE UNIT)
GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"
BUILDING NO. 5
CONVERTIBLE UNITS



UNIT 5
GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"
BUILDING NO. 5
CONVERTIBLE PLAN



UNIT 6
GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"
BUILDING NO. 6

| | |
|------|-------------|
| DATE | DESCRIPTION |
| NO. | DATE |
| NO. | DATE |
| NO. | DATE |
| NO. | DATE |

PROJECT: 28 UNIT TOWNHOUSE DEVELOPMENT
OWNER: YAMAMOTO ARCHITECTURE INC.
ADDRESS: 1400 BURNELL ROAD, HIGHWATER, B.C.

Yamamoto Architecture Inc.
1400 Burnell Road
Highwater, B.C.

28 UNIT TOWNHOUSE DEVELOPMENT
OWNER: YAMAMOTO ARCHITECTURE INC.
ADDRESS: 1400 BURNELL ROAD, HIGHWATER, B.C.

| | |
|--------------|--------------|
| SHEET NO. | 10 |
| TOTAL SHEETS | 10 |
| DATE | JUN 21 2010 |
| PROJECT NO. | DP 10-519994 |

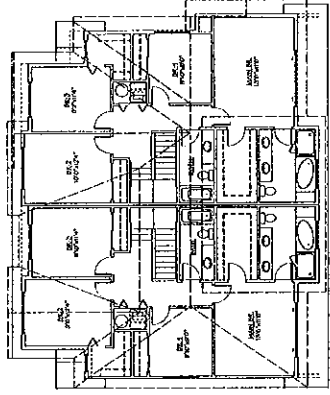
DP 10 519994
JUN 21 2010
REFERENCE PLAN

GENERAL NOTES :

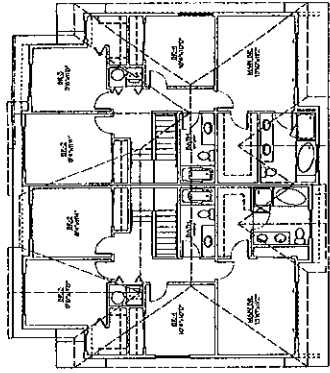
- 1. ALL FLOOR FINISHES SHALL BE ACCORDING TO THE ARCHITECT'S SCHEDULE.
- 2. ALL FLOOR FINISHES SHALL BE ACCORDING TO THE ARCHITECT'S SCHEDULE.
- 3. ALL FLOOR FINISHES SHALL BE ACCORDING TO THE ARCHITECT'S SCHEDULE.
- 4. ALL FLOOR FINISHES SHALL BE ACCORDING TO THE ARCHITECT'S SCHEDULE.
- 5. ALL FLOOR FINISHES SHALL BE ACCORDING TO THE ARCHITECT'S SCHEDULE.

PROPOSED SUSTAINABILITY FEATURES

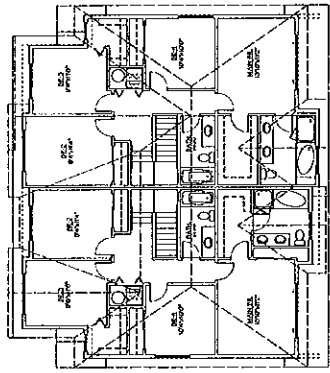
- 1. ALL EXTERIOR WALLS WITH ECO INSULATION
- 2. LOW-E GLAZING FOR ALL WINDOWS
- 3. ENERGY STAR APPLIANCES
- 4. ENERGY STAR LIGHTING
- 5. ENERGY STAR WATER HEATING
- 6. ENERGY STAR REFRIGERATION
- 7. ENERGY STAR AIR CONDITIONING
- 8. ENERGY STAR FURNACE
- 9. ENERGY STAR WATER TREATMENT
- 10. ENERGY STAR ROOFING
- 11. ENERGY STAR PAINTS AND COATINGS
- 12. ENERGY STAR CARPETING
- 13. ENERGY STAR FLOORING
- 14. ENERGY STAR CEILING
- 15. ENERGY STAR WALLS
- 16. ENERGY STAR DOORS
- 17. ENERGY STAR WINDOWS
- 18. ENERGY STAR GLAZING
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- 20. ENERGY STAR GLAZING



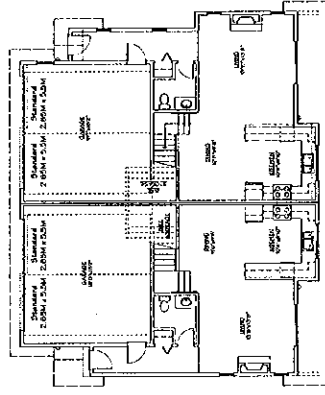
UNIT 9a UNIT 9b
UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0"
CELL NO. 9a, 9b
BUILDING NO. 9



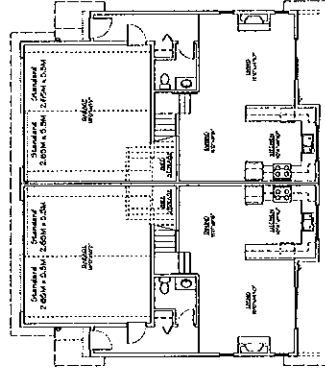
UNIT 8a UNIT 8b
UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0"
CELL NO. 8a, 8b
BUILDING NO. 8



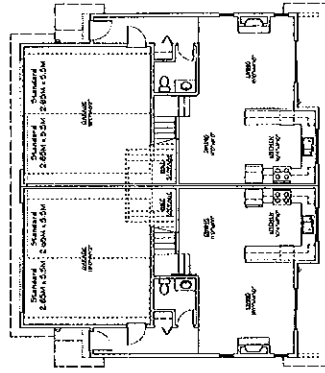
UNIT 7a UNIT 7b
UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0"
CELL NO. 7a, 7b
BUILDING NO. 7



UNIT 9a UNIT 9b
GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"
CELL NO. 9a, 9b
BUILDING NO. 9



UNIT 8a UNIT 8b
GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"
CELL NO. 8a, 8b
BUILDING NO. 8



UNIT 7a UNIT 7b
GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"
CELL NO. 7a, 7b
BUILDING NO. 7

| NO. | DATE | DESCRIPTION |
|-----|----------|-------------------|
| 1 | 01/15/10 | ISSUED FOR PERMIT |
| 2 | 02/15/10 | ISSUED FOR PERMIT |
| 3 | 03/15/10 | ISSUED FOR PERMIT |
| 4 | 04/15/10 | ISSUED FOR PERMIT |
| 5 | 05/15/10 | ISSUED FOR PERMIT |
| 6 | 06/15/10 | ISSUED FOR PERMIT |
| 7 | 07/15/10 | ISSUED FOR PERMIT |
| 8 | 08/15/10 | ISSUED FOR PERMIT |
| 9 | 09/15/10 | ISSUED FOR PERMIT |
| 10 | 10/15/10 | ISSUED FOR PERMIT |
| 11 | 11/15/10 | ISSUED FOR PERMIT |
| 12 | 12/15/10 | ISSUED FOR PERMIT |
| 13 | 01/15/11 | ISSUED FOR PERMIT |
| 14 | 02/15/11 | ISSUED FOR PERMIT |
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| 35 | 11/15/12 | ISSUED FOR PERMIT |
| 36 | 12/15/12 | ISSUED FOR PERMIT |
| 37 | 01/15/13 | ISSUED FOR PERMIT |
| 38 | 02/15/13 | ISSUED FOR PERMIT |
| 39 | 03/15/13 | ISSUED FOR PERMIT |
| 40 | 04/15/13 | ISSUED FOR PERMIT |
| 41 | 05/15/13 | ISSUED FOR PERMIT |
| 42 | 06/15/13 | ISSUED FOR PERMIT |
| 43 | 07/15/13 | ISSUED FOR PERMIT |
| 44 | 08/15/13 | ISSUED FOR PERMIT |
| 45 | 09/15/13 | ISSUED FOR PERMIT |
| 46 | 10/15/13 | ISSUED FOR PERMIT |
| 47 | 11/15/13 | ISSUED FOR PERMIT |
| 48 | 12/15/13 | ISSUED FOR PERMIT |
| 49 | 01/15/14 | ISSUED FOR PERMIT |
| 50 | 02/15/14 | ISSUED FOR PERMIT |
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| 52 | 04/15/14 | ISSUED FOR PERMIT |
| 53 | 05/15/14 | ISSUED FOR PERMIT |
| 54 | 06/15/14 | ISSUED FOR PERMIT |
| 55 | 07/15/14 | ISSUED FOR PERMIT |
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| 57 | 09/15/14 | ISSUED FOR PERMIT |
| 58 | 10/15/14 | ISSUED FOR PERMIT |
| 59 | 11/15/14 | ISSUED FOR PERMIT |
| 60 | 12/15/14 | ISSUED FOR PERMIT |
| 61 | 01/15/15 | ISSUED FOR PERMIT |
| 62 | 02/15/15 | ISSUED FOR PERMIT |
| 63 | 03/15/15 | ISSUED FOR PERMIT |
| 64 | 04/15/15 | ISSUED FOR PERMIT |
| 65 | 05/15/15 | ISSUED FOR PERMIT |
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| 67 | 07/15/15 | ISSUED FOR PERMIT |
| 68 | 08/15/15 | ISSUED FOR PERMIT |
| 69 | 09/15/15 | ISSUED FOR PERMIT |
| 70 | 10/15/15 | ISSUED FOR PERMIT |
| 71 | 11/15/15 | ISSUED FOR PERMIT |
| 72 | 12/15/15 | ISSUED FOR PERMIT |
| 73 | 01/15/16 | ISSUED FOR PERMIT |
| 74 | 02/15/16 | ISSUED FOR PERMIT |
| 75 | 03/15/16 | ISSUED FOR PERMIT |
| 76 | 04/15/16 | ISSUED FOR PERMIT |
| 77 | 05/15/16 | ISSUED FOR PERMIT |
| 78 | 06/15/16 | ISSUED FOR PERMIT |
| 79 | 07/15/16 | ISSUED FOR PERMIT |
| 80 | 08/15/16 | ISSUED FOR PERMIT |
| 81 | 09/15/16 | ISSUED FOR PERMIT |
| 82 | 10/15/16 | ISSUED FOR PERMIT |
| 83 | 11/15/16 | ISSUED FOR PERMIT |
| 84 | 12/15/16 | ISSUED FOR PERMIT |
| 85 | 01/15/17 | ISSUED FOR PERMIT |
| 86 | 02/15/17 | ISSUED FOR PERMIT |
| 87 | 03/15/17 | ISSUED FOR PERMIT |
| 88 | 04/15/17 | ISSUED FOR PERMIT |
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| 90 | 06/15/17 | ISSUED FOR PERMIT |
| 91 | 07/15/17 | ISSUED FOR PERMIT |
| 92 | 08/15/17 | ISSUED FOR PERMIT |
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| 95 | 11/15/17 | ISSUED FOR PERMIT |
| 96 | 12/15/17 | ISSUED FOR PERMIT |
| 97 | 01/15/18 | ISSUED FOR PERMIT |
| 98 | 02/15/18 | ISSUED FOR PERMIT |
| 99 | 03/15/18 | ISSUED FOR PERMIT |
| 100 | 04/15/18 | ISSUED FOR PERMIT |

26 UNIT
TOWNHOUSE DEVELOPMENT

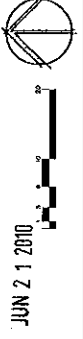
7000 7th STREET, SUITE 100
DENVER, CO 80202

Yamamoto
Architecture Inc.

FLOOR PLANS

| | |
|--------------|--------------|
| SCALE | 1/8" = 1'-0" |
| DATE | NOV 2, 2010 |
| DRAWN | JAA |
| CHECKED | JAA |
| SHEET NO. | 11 |
| TOTAL SHEETS | 11 |
| PROJECT NO. | 10-519994 |

REFERENCE PLAN
DP 10 519994



JUN 21 2010

