



To: Development Permit Panel

Date: January 31, 2014

From: Wayne Craig
Director of Development

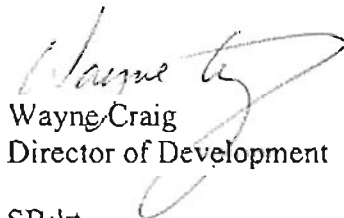
File: DP 12-605094

Re: Application by Integra Architecture Inc. for a Development Permit at
8080 Anderson Road and 8111 Granville Avenue

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of a 14-storey mixed use development with 129 affordable housing units and approximately 2,090 m² (22,500 ft²) community service space at 8080 Anderson Road and 8111 Granville Avenue on a site zoned Downtown Commercial (CDT1); and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - a) Reduce the Basic Universal Housing Features manoeuvring space at bathroom doorways as shown in the Development Permit plans;
 - b) Reduce the number of required parking spaces from 163 to 67;
 - c) Reduce the number of required class 1 bicycle storage spaces from 165 to 150; and
 - d) Reduce the number of required medium-size on-site loading spaces from 2 to 1.



Wayne Craig
Director of Development

SB:kt
Att.

Staff Report

Origin

Integra Architecture has applied to the City of Richmond for permission to develop a 14-storey mixed use development at 8080 Anderson Road and 8111 Granville Avenue on a site zoned "Downtown Commercial (CDT1)" and designated Urban Core T6 (45m) in the City Centre Area Plan (CCAP) (Brighthouse Village Specific Land Use Map) (**Attachment 1**). The development consists of 129 affordable housing dwelling units, approximately 2,090 m² (22,500 ft²) of community service space and 3 levels of parking. The proposed community service space includes community centre space, community support space, non-profit society office space, and a social enterprise coffee shop that would provide job training opportunities. The site is currently vacant.

The site is City-owned and the Development Permit application was received in response to an Expression of Interest call issued in March 2011 through a partnership between BC Housing and the City. Integra Architecture has applied for the Development Permit on behalf of the six (6) non-profit societies chosen to develop the site with affordable housing and community service space: Atira Women's Resource Society, Coast Mental Health, S.U.C.C.E.S.S. Affordable Housing Society, Tikva Housing Society, Turning Point Housing Society and the Canadian Mental Health Association for their Pathways Clubhouse.

There is no associated rezoning application with this Development Permit. The applicant proposes to develop the site in accordance with the site's existing zoning.

A Servicing Agreement (SA) is required as a condition of Building Permit issuance. The SA includes frontage improvements along Granville Avenue and Anderson Road, which include sidewalk and boulevard improvements, a new fire hydrant on Granville Avenue and storm sewer improvements along the Anderson Road frontage. Fire flow calculations are required at the Building Permit stage.

Development Information

Please refer to attached Development Application Data Sheet (**Attachment 2**) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the North: Across Anderson Road is an older 3-storey mixed-use building zoned "Downtown Commercial (CDT1)" and designated "Urban Core T6 (45m)" in the CCAP (Brighthouse Village Specific Land Use Map);
- To the East: A gas station with car wash, convenience store and repair facilities zoned "Gas and Service Station Commercial (ZC18) – Brighthouse Village (City Centre)" and designated "Urban Core T6 (45m)" in the CCAP (Brighthouse Village Specific Land Use Map);

To the South: Across Granville Avenue is a 7-storey portion of a mixed-use high-rise development zoned “Residential/Limited Commercial (ZMU6) – St. Albans Sub Area (City Centre)” and designated “Urban Core T6” in the CCAP (Generalized Land Use Map (2031)). Also across Granville Avenue is a 9-storey office building zoned “Downtown Commercial (CDT1)” and designated “Urban Core T6” in the CCAP (Generalized Land Use Map (2031)); and

To the West: Across a City lane are one and 2-storey commercial buildings fronting onto No. 3 Road zoned “Downtown Commercial (CDT1)” and designated “Urban Core T6 (45m)” in the CCAP (Brighthouse Village Specific Land Use Map).

Rezoning and Public Hearing Results

The proponent proposes to develop the site in accordance with the site’s existing “Downtown Commercial (CDT1)” zoning. There is no associated rezoning application.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it responds to the intention of applicable sections of the Official Community Plan (OCP) and City Centre Area Plan (CCAP) and is generally in compliance with the “Downtown Commercial (CDT1)” zone except for the zoning variances noted below.

Zoning Compliance/Variations (staff comments in **bold**)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Reduce the Basic Universal Housing Features manoeuvring space at bathroom doorways as shown in the Development Permit plans.

(Staff supports the proposed variance as the architect has confirmed that the unit design is functional and a person in a wheelchair would be able to enter and exit the washrooms. The development was designed to comply with the standards that were in effect at the time the Development Permit application was submitted to the City. After the application was submitted to the City, additional manoeuvring space requirements regarding bathroom doorways were added to the zoning bylaw.)

- 2) Reduce the number of required parking spaces from 163 to 67.
- 3) Reduce the number of required class 1 bicycle storage spaces from 165 to 150.
- 4) Reduce the number of required medium-size on-site loading spaces from 2 to 1.

(Staff supports these three proposed variances as they reflect the anticipated demand for these unique uses and the proposal includes Transportation Demand Management features. A Transportation Impact and Parking Study prepared by EBA Engineering Consultants Ltd. was submitted in support of the proposal and has been reviewed and accepted by Transportation staff. The study addresses the anticipated demand for vehicle parking, bicycle parking and service loading bays for this unique mix of subsidized rental affordable housing and community service uses and this unique model of sharing building management

responsibilities. Transportation Demand Management features associated with the proposal include 120 volt receptacles for electric vehicle charging equipment in 5% of the parking spaces, pre-ducting for future 120 volt receptacles in 20% of the parking spaces and an electric outlet in the employee bicycle storage room for electric bicycle/scooter charging.)

Advisory Design Panel Comments

The development proposal was supported by the Advisory Design Panel (ADP) to proceed to Development Permit Panel for consideration, subject to the applicant working with staff to address the Panel's comments. A copy of the relevant excerpt from the ADP Minutes from June 20, 2012 is attached for reference (**Attachment 3**). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '***bold italic***' text. Staff have worked with the applicant to address the Panel's design review comments.

Analysis

Affordable Housing Strategy

- The site is City-owned and the Development Permit application was received in response to an Expression of Interest call issued in March 2011 through a partnership between BC Housing and the City. The City jointly announced with BC Housing in April 2012, the selection of five non-profit societies to develop the City-owned property with affordable housing and community service space. The non-profit societies include Atira Women's Resource Society, Coast Mental Health, S.U.C.C.E.S.S. Affordable Housing Society, Tikva Housing Society and Turning Point Housing Society. In addition, CMHA Pathways Clubhouse will be a community service provider in this project. Integra Architecture has applied for the Development Permit on behalf of the six (6) non-profit societies.
- The City will contribute the city-owned site through a long-term lease to the societies. The terms of the lease will be approved by Council prior to Building Permit issuance.
- All 129 residential units in the proposal are subsidized rental affordable housing units. The terms of the required Housing Agreement shall be in accordance with the City's affordable housing strategy, shall indicate that they apply in perpetuity and will provide for the following:

Unit Type	85 studio units 32 units with 1 bedroom 4 units with 2 bedrooms 8 units with 3 bedrooms
Number of Units	129

Conditions of Adjacency

- The site is located in the City Centre Brighthouse Village area. The site, along with the entire block and the blocks to the north, are designated as "Urban Core T6" with a 45 m height.
- The area is intended primarily for high-density, high-rise commercial and mixed-use development. Substantial streetwall bases and street-oriented retail uses are envisioned.
- As the block redevelops, the CCAP envisions a character transitioning from low-rise commercial and service buildings with surface parking to higher density, high-rise

development with enclosed parking and continuous commercial frontages. This will achieve a built form that will actively interface with the street in accordance with the CCAP.

- The adjacencies are particularly important as the unique uses for the subject development have a significantly lower parking need than future adjacent market developments will have. The architect has located a significant amount of floor area in what would normally be a parking structure to ensure compatibility between podium heights of the proposal and future adjacent development. The 9.5 m high 3-storey streetwall along Anderson Road meets the CCAP guideline of a height of 9-12 m, and the slightly taller 13.7 m high 5-storey streetwall along Granville Avenue references the 7-storey massing of the newer development on the opposite side of Granville Avenue.
- Lower roof levels that may be viewed from upper floors of the proposed building and from neighbouring developments are treated with landscaping or decorative coloured pebbles.
- The CCAP guideline is for 24 m tower separation in the area. Ideally two adjacent sites would each provide half of the required tower separation. The subject site is narrow and is not able to provide half of the tower separation on both sides. Future development to the West would be required to provide half of the required separation (12 m). Future development to the East would be required to provide a greater separation of 18.2 m, which would be easily accommodated as it is a larger site. A development concept for the adjacent sites is on file.
- The east and west elevations of the podium will be visible until the neighbouring sites redevelop. These two party walls are proposed to be treated with a pattern of architectural reveals on the sandblasted and painted architectural concrete and partially screened with cascading vine planting.

Urban Design and Site Planning

- The proposed development is below the CCAP potential. The CCAP allows for a maximum density of 4.0 FAR including bonuses for affordable housing and village centre, which is higher than what is permitted under the existing zoning. The proposed development achieves the maximum density permitted under the existing zoning.
- The proposed massing includes a 14-storey tower fronting onto Anderson Road along with a lower 6-storey wing and 3-storey streetwall. The proposed massing fronting onto Granville Avenue is a 5-storey continuous streetwall with a setback at the third level. Active street level uses are proposed along both Granville Avenue and Anderson Road.
- The proposed development will start the process of incremental change on the block and is consistent with other recent tower podium designs in the City Centre.
- Weather protection canopies, seating opportunities, and active street level uses are proposed.
- The building is significantly set back from Granville Avenue due to an existing sanitary sewer right-of-way that is needed until the gas station property to the east redevelops.
- The development proposal includes two driveways to Anderson Road, with the second driveway limited to the shared loading bay. Access is not proposed to the lane as the lane is envisioned to be consolidated with the No. 3 Road properties through future redevelopment.
- The proposal includes a 5.3 m wide right-of-way for public-rights-of-passage along the Granville Avenue frontage and overlapping an existing sanitary sewer utilities right-of-way. The new right-of-way allows for installation of a new sidewalk and boulevard and future road widening.

- The site is located at the outside edge of an area impacted by overhead aircraft noise, and registration of an aircraft noise covenant is a consideration of the Development Permit. The applicant's acoustic engineer has not identified the need to upgrade the overall building envelope to address aircraft noise, but has recommended glazing upgrading to address traffic noise along Granville Avenue. The design includes upgraded glazing in the residential units on the 5th floor of the streetwall elevation facing Granville Avenue. No upgrades are needed in residential units in upper floors, which are located in the tower and further set back from Granville Avenue.
- In accordance with the City's flood plain designation and protection bylaw 8204, registration of a flood covenant is a consideration of the Development Permit. The proposed slab elevation at the level of the sidewalk accommodates access for persons in wheelchairs and complies with the bylaw.

Architectural Form and Character

- The development style is contemporary with a high level of architectural design, articulation and material quality. The tower and podium proposal includes variation in building height and massing, articulation along the building facades, with a street level base to anchor the building and punctuated entrances.
- This unique affordable housing and community service space proposal is not required to provide contributions towards Public Art. The City will be incorporating Public Art into the project and a number of potential locations have been identified. The City's Public Art Coordinator is working with the non-profit groups through the City's Public Art Program to choose artwork for the development.
- The proposed building materials (concrete, brick, corrugated metal siding, metal panels, aluminum framed windows and steel and glass canopies) are generally consistent with the Official Community Plan (OCP) guidelines and compatible with recent high-rise development in the City Centre.
- The palette of colors includes beige and earth tones with orange highlights.
- In accordance with the CCAP, a "shopfront" treatment is proposed for the community services spaces and residential lobby along both Granville Avenue and Anderson Road. This treatment would activate the streetscapes along with weather protection awnings at entries.
- The building roofs will be flat and rooftop mechanical equipment will be screened with acoustic aluminum screen enclosures as shown in the attached plans.

Landscape Design and Open Space Design

- Passive outdoor amenity space is proposed on the 4th level podium roof as well as smaller gathering spaces along Granville Avenue, Anderson Road and roof decks at the 5th, 6th, 7th and 11th floor levels.
- The main outdoor amenity area at the 4th level is designed as an open passive area with both paved and planted areas, picnic tables, seating, soft landscaping and tree planting. Upper level common decks provide smaller outdoor seating areas with paving, seating, soft landscaping and tree planting.
- There were previously four (4) existing trees on the vacant site that were reviewed by Parks staff and not considered appropriate for retention. The trees were removed during site preparation.

- The landscape design includes a total of 29 new trees, including 5 new trees at street level, 15 new trees on the podium roof, and 9 on upper roof decks.
- Approximately 5 new street trees will be planted through the separate required Servicing Agreement.

Parking, Loading and Waste Collection

- Vehicle access is proposed to the site from Anderson Road.
- As noted above, variances are included in the proposal to reduce the Zoning Bylaw requirement for off-street vehicle parking spaces, indoor secure bicycle parking spaces and for a shared loading space. Specific parking requirements for the unique uses proposed for the site are not identified in the City's zoning bylaw and the variances are supported by a traffic impact and parking study submitted on behalf of the applicant by traffic consultant EBA Consulting Engineers Ltd. The unique proposed mix of subsidized rental affordable housing and community service space uses, the anticipated lack of car ownership of the target residents, proximity to rapid transit and case studies of other affordable housing developments were carefully considered by the consulting engineers. The submitted study was reviewed and accepted by Transportation staff.
- The total number of parking spaces proposed to be provided on-site is 67, including 27 spaces for the use of residents and 40 shared spaces for community services and residential visitors.
- Transportation Demand Management features of the proposal include:
 - 120 volt receptacles for electric vehicle charging equipment in 3 parking spaces (5%).
 - Pre-ducting for future 120 volt receptacle & electric vehicle charging equipment in 14 parking spaces (20%).
 - An electric outlet in the (employee) bicycle storage room for electric bicycle/scooter charging.
- Considerations of the Development Permit include entering into legal agreements to ensure that the residential visitor and non-residential parking spaces are shared and to ensure the entry gate to the parkade remains open during regular hours of operation for the community service spaces.
- The applicant has demonstrated to the satisfaction of Transportation staff that loading vehicles and waste collection vehicles can be accommodated on-site.
- Separate garbage and recycling storage rooms are proposed for the residential and non-residential uses in the building.
- Short term bicycle parking is accommodated with bicycle racks on both the Granville Avenue and Anderson Road frontages and long term bicycle parking is accommodated in secure storage rooms in the parking structure.

Crime Prevention through Environmental Design

- The building has been designed in accordance with CPTED principles and with the input of a security consultant, including a security strategy. Although not related to the architectural form and character criteria of a Development Permit, the non-profit groups will together form a strata council for the building and a management committee to discuss security needs of the building on an ongoing basis in collaboration with Community Social Development staff.
- The streetscape and common area design is defined and visually permeable to establish a sense of territoriality that contributes toward overall safety.

- The parking area is secured with an overhead gate.
- Parking areas include appropriate lighting level and light painted ceilings and walls.

Accessibility

- The building has been designed to accommodate access for a person in a wheelchair throughout all of the common and public areas of the building.
- All 129 of the residential units included in the proposed development are designed as basic universal housing units to be easily renovated to accommodate a future resident in a wheelchair. These single-storey units are required to incorporate all of the accessibility provisions listed in the zoning bylaw, with a proposed variance to the clearances at the washroom doorways. As noted earlier in this report, the architect has confirmed that a person in a wheelchair would be able to access the washrooms.

Sustainability

- The applicant has provided a checklist (**Attachment 5**) which identifies the LEED equivalency provisions that are intended to be incorporated into the project. The projected total number of points is 54, which is the equivalent of a LEED Silver accreditation (LEED Silver requires 50-59 points). The proposed sustainability strategy includes:
 - Water efficient - fixtures and planting
 - Energy efficient - equipment, lighting and controls
 - Air quality – indoor air quality management and low-emitting materials.
 - Recycling – secure area for garbage, organics and recycling.
 - Construction waste management, including storage and collection of recyclables
 - Use of recycled content and regional materials

Conclusions

The project will provide much needed affordable housing and community service space in an innovative facility and secured through an innovative partnership process. Based on the proposal's design response to the objectives of the CCAP and general compliance with the site's existing CDT1 zoning, with the noted variances, staff support the proposed development.



Sara Badyal
Planner 2

SB:kt

Attachment 1: Subject Site Location within Brighthouse Village

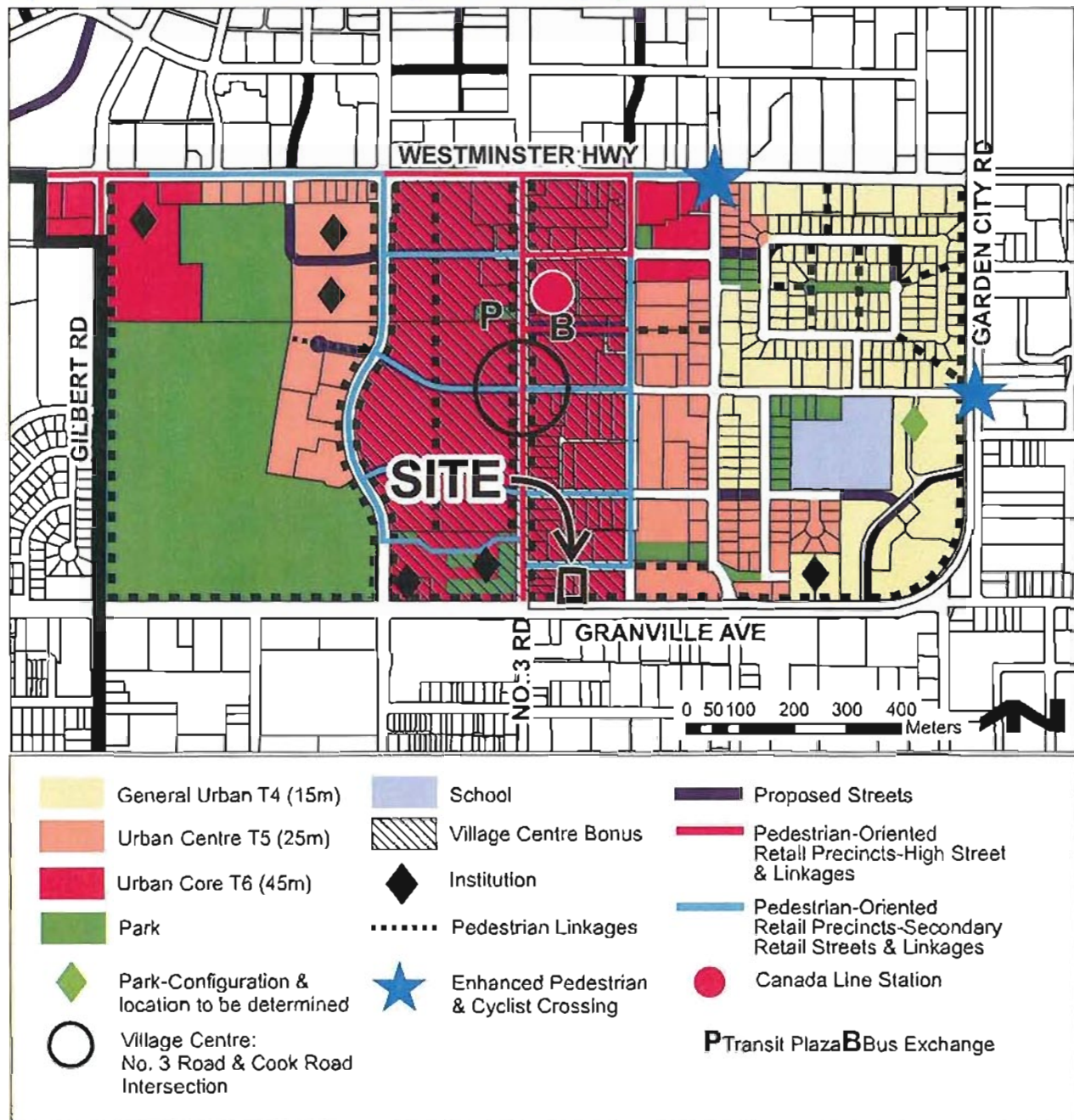
Attachment 2: Data Sheet

Attachment 3: Annotated Excerpt from Advisory Design Panel Minutes (June 20, 2012)

Attachment 4: Considerations of Development Permit and Building Permit Issuance

Attachment 5: LEED Equivalency (provided by applicant)

Specific Land Use Map: Brighthouse Village (2031)





DP 12-605094

Attachment 2

Address: 8080 Anderson Road and 8111 Granville Avenue

Applicant: Integra Architecture Inc.

Owner: City of Richmond

Planning Area(s): Brighthouse Village (City Centre)

	Existing	Proposed	
Site Area:	2,524 m ²	No change	
Land Uses:	Vacant	Mixed Use	
Area Plan Designation:	Urban Centre T5 (25m)	No change	
Zoning:	Downtown Commercial (CDT1)	No change	
Number of Units:	Vacant	129 Affordable Housing units and approximately 2,090 m ² (22,500 ft ²) Community Service space	
	Requirement	Proposed	Variance
Floor Area Ratio:	Max. 3.48 (including amenity, community amenity and Affordable Housing)	3.48 (including amenity, community amenity and Affordable Housing)	None permitted
Lot Coverage:	Max. 90%	54%	None
Setbacks:			
Front Yard (Granville Ave)	Min. 3 m (without driveway)	7 m	None
Rear Yard (Anderson Rd)	Min. 1.5 m (to public open space)	3 m	
Interior Side Yard (North)	None	0 m	
Interior Side Yard (South)	None	0 m	
Height:	Max. 47 m geodetic	44.5 m geodetic	None
Off-street Parking Spaces:			
Resident	117	27	96 space reduction
Visitor/Community Space	46	40	
Total:	163	67 (shared)	
Accessible Parking Spaces:	Min. 2%	3% (2 spaces)	None
Small Car Parking Spaces:	Max. 50%	48% (32 spaces)	None
Bicycle Storage Spaces:			
Class 1 (secured)	165	150	15 Class 1 space reduction
Class 2 (outdoor)	32	48	
Off-street Loading Spaces:	1 residential & 1 non-residential	1 (shared)	1 loading space reduction
Basic Universal Housing	Basic Universal Housing Features (Sub-section 4.16)	Features incorporated, except space at bathroom doorways is functional, but less than specified.	Reduced space at bathroom doorways
Amenity Space – Indoor:	Min. 100 m ²	Satisfied with 2,090 m ² Community Service Space	None
Amenity Space – Outdoor:	Min. 774 m ²	Approx. 880 m ² (combined)	None

The Advisory Design Panel Meeting

Annotated meeting minutes excerpt

Wednesday, June 20, 2012

DP 12-605094 – Mixed Use High Rise Development with 129 Affordable Housing Units & Community Service Space

Applicant: Integra Architecture, Inc.
Property location: 8111 Granville Avenue & 8080 Anderson Road

Applicant's Presentation

Architect Duane Siegrist, Integra Architecture, Inc., Landscape Architect Patricia Campbell, PMG Landscape Architects, Doug Purdy and Casey Clerkson, CPA Development Consultants, presented the project on behalf of the applicant.

Panel Discussion

Comments from the Panel were as follows (with applicant design response included in '*bold italics*')

- Client groups may not be physically fit and may have mobility issues; in view of the limited space of units, consider using sliding doors or doors opening outwards in washrooms to address the mobility of residents, emergency access and to maximize floor space – *The residential units have been designed to allow for future convertibility should special measures be needed for a future resident. Sliding doors were considered but not incorporated as the non-profit groups are concerned that they have significant durability and maintenance cost implications.*
- Good integration of many uses of the project.
- Well thought out project; commend the huge amount of work done for the project.
- Incorporate additional seating elements that promote social and/or game playing in the south plaza, e.g. chess and other social games; would help to pull some of the interior at grade activity outside to animate and populate the south edge along Granville Avenue; consider moving the cafe from the north side or other small vendor to the south side due to its solar advantages; would help populate and animate the south edge – *Seating is proposed in the south facing Granville frontage and will be reviewed through the required Servicing Agreement due to an existing Sanitary Sewer right-of-way and required right-of-way for sidewalk, boulevard and future road widening. The cafe will animate the Anderson frontage, and the larger community amenity space will animate the Granville frontage.*
- Consider a modest sand pit to provide a play area and complement the boulders – *A children's play area was considered, but is not proposed for this project. The proposed project is primarily intended for single occupants, with only 12 of the 129 units having more than 1 bedroom.*

- An intricate program involving many stakeholders.
- The proposed project needs to be more successful than a market residential project on the same block; project should set precedent and be successful in any location; look at every angle to ensure success of the project.
- address security concern which is a very critical issue in a multi-use project intended for various users, e.g. families, seniors and people at risk; consider a 24/7 reception desk or site office on the main floor for security, reception and to manage loading area; would be critical to the overall success of the liveability of the building – *The building has been designed in accordance with CPTED principles and with the input of a security consultant, including a security strategy. Although not related to the architectural form and character criteria of a Development Permit, the non-profit groups will together form a strata council for the building and a management committee to discuss security needs of the building on an ongoing basis in collaboration with Community Social Development staff. Safety is important to the non-profit groups.*
- Consider allowing for an electric scooter/wheelchair plug-in area in the parkade; would be useful to the elderly and the handicapped; consider providing a medical emergency call station at bed height or 24 inches above the floor in the bedroom and washroom for seniors – *Electrical plugs are proposed in the parking structure and could be used for scooters or wheelchairs.*
- East and west adjacent properties along Granville Avenue face a temporary concrete wall; proposed developments may take time to move forward; consider cutting back a little bit of corner and add landscaping to soften the edges and mitigate the concrete wall – *Vine planting is included in the landscape design to cascade down over the edges of the podium roof. The location and orientation of the party walls allows for future development to build adjacent to them for a continuous streetwall and to maximize the function space in the building.*
- Consider overhead protection for outdoor spaces, e.g. weather protection for seating areas – *Weather protection is proposed where gathering areas are designed to function at the 7th floor roof deck and building entries.*
- Nice project; very complex; applicant has done a good job in accommodating various uses in a compact site; well-resolved and thought out; good precedent for streetscape along Granville Avenue.
- Consider shadow diagram and opportunities to increase the amount of outdoor amenity space; some areas in the courtyard are under shadow for most part of the year; could the applicant taper the south side of the 2-storey? – *Shadowing was analyzed and there is no significant shadowing of the amenity area.*
- Granville Avenue is supposed to be a green belt; applicant should put more effort in landscape design along the Granville Avenue; the project should set a good precedent in landscaping along Granville Avenue; make the boulevard more alive and usable by the residents, e.g. by adding seating areas – *The Granville frontage beautification has been secured through a separate required Servicing Agreement. The frontage design involves input from Transportation and Parks staff to ensure the design ties in with the overall vision for Granville and Garden City, keeping in mind that there will be future Granville*

Avenue widening when the properties to the west redevelop and there is an interim sanitary sewer right-of-way located along this frontage until the gas station property to the east redevelops.

- Like the design of the building; however, the north side is more flat than the south side; consider opportunities to bring the level of the north side up to the level of the south side – *Massing elements on the north elevation include the stepping back of the tower from the podium, main entry element with recessed building entry, and vehicle accesses for parking and loading. The tower was positioned further to the north and not in the centre of the lot to allow for future potential tower development to the west and east.*
- Congratulate the applicant for being able to handle a project with many clients.
- Building architecture is very close to the original concept; proves that the concept works.
- Very good architectural design, i.e. massing, articulation and fenestration; breaks up building visually into various program elements.
- Consider opportunities to incorporate public art on outdoor spaces, particularly on lane elevation even if temporary – *The City will be incorporating Public Art into the project and a number of potential locations have been identified. The City's Public Art Coordinator is working with the non-profit groups through the City's Public Art Program to choose and install artwork on the site.*
- Colours not as vibrant as some of the precedent images but not necessarily a negative comment but a signal to adjacent future developments, or perhaps an opportunity for them.
- Consider adding weather protection for outdoor amenity areas, e.g. trellises or canopies – *See response above.*

Panel Decision

It was moved and seconded

That DP 12-605094 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Panel.

CARRIED

Opposed: Steve Jedreicich



City of Richmond

Development Permit Considerations
Development Applications Division
6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 8080 Anderson Road and 8111 Granville Avenue **File No.:** DP 12-605094

The following are required to be met prior to forwarding this application to Council for approval:

1. Receipt of a Letter-of-Credit for landscaping in the amount of \$211,344.
2. Consolidation of the lots into one development parcel.
3. The granting of a 5.3 m wide statutory public-rights-of-passage right-of-way along the Granville Avenue property line for a sidewalk, boulevard and future road widening. City responsible for maintenance and liability of City sidewalk and City boulevard located between curb and sidewalk.
4. Entering into legal agreement(s) to secure 129 subsidized rental affordable housing units, which shall comprise 100% of the subject development's total residential dwelling units. The terms of the Housing Agreement shall be in accordance with the City's affordable housing strategy, shall indicate that they apply in perpetuity and will provide for the following:

Unit Type	85 studio units 32 units with 1 bedroom 4 units with 2 bedrooms 8 units with 3 bedrooms
Number of Units	129

5. Registration of a noise covenant on title to address: aircraft noise in the residential units in accordance with the City's Official Community Plan (ANSD policy area 4); and to avoid excessive noise being generated by the internal non-residential use and HVAC equipment in accordance with the City's Noise Regulation Bylaw. The covenant requires the development to be designed and constructed in accordance with an acoustic report prepared by an appropriate registered professional to not exceed the following standards for maximum interior noise levels (decibels) within the dwelling units:

Portions of Dwelling Units	Noise Levels (decibels)
Bedrooms	35 decibels
Living, dining, recreation rooms	40 decibels
Kitchen, bathrooms, hallways, and utility rooms	45 decibels

6. Registration of a flood indemnity covenant on title (Area A).
7. Entering into a legal agreement to ensure that the one (1) loading bay is shared by all of the residential and non-residential uses in the building.
8. Entering into a legal agreement to ensure that the residential visitor and non-residential parking spaces are shared. None of the shared residential visitor/non-residential parking spaces may be assigned to any specific area of the building (i.e. leased, reserved, signed, etc.) for the exclusive use of any residential unit, specific area of the building, employees, and/or others.
9. Entering into a legal agreement to ensure that the entry gate to the parkade remains open during regular hours of operation for the non-residential uses in the building.

10. Entering into a legal agreement for the provision of Electric Vehicle Plug-Ins: Minimum 5% of the parking stalls to be provided with 120 volt receptacle to accommodate electric vehicle charging equipment and minimum 20% of parking spaces to have pre-ducting for 120 volt receptacle to accommodate future installation of electric vehicle charging equipment.
11. Entering into a legal agreement for the provision of electric outlet in (employee) bicycle storage room to accommodate electric bicycle/scooter charging.

Prior to Building Permit* Issuance, the developer must complete the following:

1. Confirmation of having entered into legal agreement(s) to lease the subject City-owned lands as approved by Richmond City Council.
2. Incorporation of accessibility, sustainability, and Transportation Demand Management (TDM) measures in Building Permit* (BP) plans as determined via the Development Permit.
3. Submission of a Construction Parking and Traffic Management Plan to the Transportation Division. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
4. Submission of acoustic and mechanical reports with recommendations prepared by an appropriate registered professional, which demonstrates that the interior noise levels and noise mitigation standards comply with the aircraft noise sensitive use covenant, City's Official Community Plan and Noise Bylaw requirements. The building envelope and HVAC systems are required to be designed to mitigate aircraft noise in the residential units and to avoid excessive noise being generated by the internal non-residential use and HVAC equipment. The standard required for air conditioning systems and their alternatives is the ASHRAE 55-2004 "Thermal Environmental Conditions for Human Occupancy" standard and subsequent updates as they may occur. Maximum interior noise levels (decibels) within the dwelling units must achieve the following CMHC standards:

Portions of Dwelling Units	Noise Levels (decibels)
Bedrooms	35 decibels
Living, dining, recreation rooms	40 decibels
Kitchen, bathrooms, hallways, and utility rooms	45 decibels

5. Enter into a Servicing Agreement* for the design and construction of frontage improvements, infrastructure upgrades, and service connections. Works include, but may not be limited to:
 - a) Anderson Road Frontage Improvements – ultimate cross-section, measures from existing curb:
 - (1) 2.35 m wide boulevard with street lighting, hard surface paving, and street trees with grates and sub-surface structure to facilitate paved surfaces over soil areas. For paver pattern and type, refer to SA 09-486006 drawings for 8160 Park Road; and
 - (2) 2.0 m wide concrete sidewalk.
 - b) Granville Avenue Frontage Improvements – interim cross-section measured from existing curb:
 - (1) 4.3 m grass boulevard with street lighting, street trees, and benches; and
 - (2) 2.5 m scored concrete sidewalk. For score pattern, refer to Granville Avenue sidewalk at City Hall.

Note that interim cross-section is sought as ultimate cross-section will not be achieved until redevelopment occurs on adjacent property to the west and/or east.

- c) Storm Sewer Upgrade
 - (1) Construct a new single 600 mm diameter storm sewer system centered in the roadway across the Anderson Road frontage and connect to the existing 450 mm diameter storm sewer crossing located approximately 2 m east of the west property line.
 - (2) A storm sewer transition will be required at the east end to connect to the existing storm sewer along the north side of Anderson Road.
 - (3) Remove/abandon existing storm sewer system and re-connect existing services that are in line with the proposed storm sewer construction.
 - (4) Site to connect to storm system on Anderson Road.
 - d) Sanitary Sewer – Site to connect to sanitary system on Anderson Road.
 - e) Water System Upgrade
 - (1) A fire hydrant is required along the Granville Avenue frontage (minimum 75 m spacing).
 - (2) Using the OCP Model, there is 191 L/s available at 20 psi residual on Anderson Road. This site will be required to connect to the watermain on Anderson Road. Based on your proposed rezoning, your site requires a minimum fire flow of 220 L/s. Once you have confirmed your building design at the Building Permit stage, you must submit fire flow calculations signed and sealed by a professional engineer based on the Fire Underwriter Survey to confirm that there is adequate available flow. If adequate flow is not available, a water analysis is required to determine upgrades to achieve minimum requirements.
 - f) Impact Assessment - The developer is to obtain the services of a Geotechnical Engineer to assess the impacts to existing City Infrastructure due to the proposed pre-loading, underpinning or any other activities. The Developer and/or its engineer may be required to monitor/review the actual settlement via pre & post survey of City infrastructure and pre & post video inspection of the City storm & sanitary system. If the activities result in settlement, displacement, subsidence, damage or nuisance to City Infrastructure, the developer is responsible to repair and/or replace to the City's satisfaction. The Developer and/or its engineer are responsible to contact the Private Utility Companies and notify of them of the work and any potential impact to their infrastructure.
 - g) Private Utilities – the developer is responsible for the undergrounding of the existing private utility pole line if required by BC Hydro. (Note: pre-ducting is required as a minimum if BC Hydro determines the undergrounding will not occur with this development). Developer to contact and confirm Private Utility Companies requirements, including any ROWs for their equipment, and whether required street lighting will trigger requirement to install new hydro poles to provide separation to the lines.
6. Obtain a Building Permit* (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Division at 604-276-4285.

Note:

- * This requires a separate application.
 - Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.
- All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

Authorized Signature

Date

Richmond Community Housing

Preliminary Sustainability Progress Report

Last updated: January 30, 2014



KANE CONSULTING

Y	Y7	Y8	Y18	Y20	Y30	Total Project Score & Rating	Certified 40 to 49 points	Silver 50 to 59 points	Gold 60 to 79 points	Platinum 80 or more points	Possible Points
54	8	18	30			SILVER	26				
22	Y	Y7	Y18	Y20	Y30	Sustainable Sites	Possible Points				
1	Y					Construction Activity Pollution Prevention					
1	Y					Site Selection					
5	Y					Development Density and Community Connectivity	1				
1	Y					Brownfield Redevelopment	3.5				
6	Y					Alternative Transportation, Public Transportation Access	1				
1	Y					Alternative Transportation, Bicycle Storage & Changing Rooms	3.6				
3	Y					Alternative Transportation, Low-Emitting and Fuel-Efficient Vehicles	1				
2	Y					Alternative Transportation, Parking Capacity	3				
1	Y					Site Development, Protect and Restore Habitat	2				
1	Y					Site Development, Maximize Open Space	1				
1	Y					Stormwater Design, Quantity Control	1				
1	Y					Stormwater Design, Quality Control	1				
1	Y					Heat Island Effect, Non-Roof	1				
1	Y					Heat Island Effect, Roof	1				
1	Y					Light Pollution Reduction	1				
4	Y					Water Efficiency	Possible Points: 10				
1	Y					Water Use Reduction					
2	Y					Water Efficient Landscaping, Reduce by 50%, No Potable Water Use	2.4				
2	Y					Innovative Wastewater Technologies	2				
2	Y					Water Use Reduction, 30%, 35%, 40% Reduction	2.4				
7	Y					Energy and Atmosphere	Possible Points: 35				
1	Y					Fundamental Commissioning of Building Energy Systems					
1	Y					Minimum Energy Performance					
1	Y					Fundamental Refrigerant Management					
5	Y					Optimize Energy Performance	1-19				
2	Y					On-site Renewable Energy	1.7				
2	Y					Enhanced Commissioning	2				
2	Y					Enhanced Refrigerant Management	2				
2	Y					Measurement & Verification	3				
2	Y					Green Power	2				
1	Y					Credit Complete					
1	Y					Credit Incomplete					
1	Y					Not Attempting					
1	Y					Prerequisite (Must Achieve)					
6	Y					Innovation & Design Process	Possible Points: 6				
1	Y					Innovation in Design: 100% underground parking	1				
1	Y					Innovation in Design: Reduced Mercury in Lighting	1				
1	Y					Innovation in Design: Public Transportation Access	1				
1	Y					Innovation in Design: 40% Regional Materials	1				
1	Y					Innovation in Design: TBD	1				
1	Y					LEED™ Accredited Professional	1				
3	Y					Regional Priority	Possible Points: 4				
1	Y					Durable Building	1				
1	Y					Regional Priority: SSc2	1				
1	Y					Regional Priority: MRC2	1				
1	Y					Regional Priority: WEC3 >35% reduction	1				

Legend

Credit Complete
Credit Incomplete
Not Attempting
Prerequisite (Must Achieve)



City of Richmond

Development Permit

No. DP 12-605094

To the Holder: INTEGRA ARCHITECTURE INC. C/O DUANE SIEGRIST

Property Address: 8080 ANDERSON ROAD AND 8111 GRANVILLE AVENUE

Address: 416 WEST PENDER STREET, VANCOUVER, BC V6B 1T5

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) Reduce the Basic Universal Housing Features manoeuvring space at bathroom doorways as shown in the Development Permit plans;
 - b) Reduce the number of required parking spaces from 163 to 67.
 - c) Reduce the number of required class 1 bicycle storage spaces from 165 to 150; and
 - d) Reduce the number of required medium-size on-site loading spaces from 2 to 1.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #16 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$211,344. to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 12-605094

To the Holder: INTEGRA ARCHITECTURE INC. C/O DUANE SIEGRIST
Property Address: 8080 ANDERSON ROAD AND 8111 GRANVILLE AVENUE
Address: VANCOUVER, BC

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

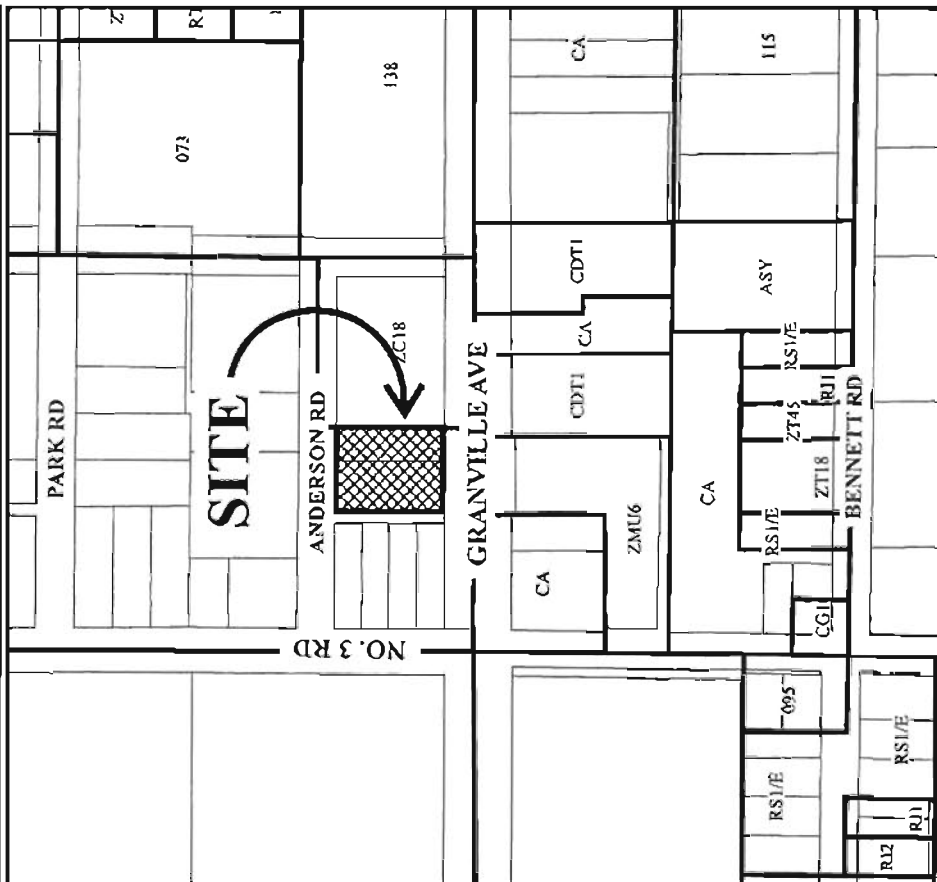
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond



ANDERSON RD

GRANVILLE AVE

DP 12-605094

Original Date: 04/11/12

Revision Date:

Note: Dimensions are in METRES

30.78

55.47

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P

U

ANDERSON RD

GRANVILLE AVE

DP 12-605094

Original Date: 04/11/12

Revision Date:

Note: Dimensions are in METRES

30.78

55.47

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CPA
DEVELOPMENT
CONSULTANTS



Plan 1 Jan 31, 2014
DP 12-605094

- Off-site works via separate required Servicing Agreement for infrastructure and frontage improvements.
- Development is required to comply with Noise Sensitive Use Restrictive Covenant registered on Title regarding mitigation of overhead aircraft, HVAC and non-residential use potential noise impact on residential units. *Future Building Permit is required to include sealed acoustic and mechanical information.*
- 129 Affordable Housing Units are to be provided as per required Housing Agreement
- 129 Basic Universal Housing Feature units which are required to comply with Zoning Bylaw §500 Section 4.16, with a variance to manoeuvring space at bathroom doorways.
- Variances are included to:
 - o Reduce the Basic Universal Housing Features manoeuvring space at bathroom doorways as per DP plan
 - o Reduce the number of required off-street parking spaces from 189 to 67
 - o Reduce the number of required class 1 bicycle storage spaces from 165 to 150
 - o Reduce the number of required medium-size on-site landing spaces from 2 to 1
- Transportation Demand Management features:
 - o 3 parking spaces (5%) provided with 120 vnl receptacle for electric vehicle charging equipment
 - o 14 parking spaces (20%) pre-wired for future 120 vnl receptacle & electric vehicle charging equipment
 - o Electric outlet provided in (employee) bicycle storage room for electric bicycles/ scooter charging
- Sustainability features:
 - o LEED Silver equivalent
 - o Water efficient - fixtures and plumbing
 - o Energy efficient - equipment, lighting and controls
 - o Air quality - indoor air quality management and low-emitting materials.
 - o Recycling - secure area for garbage, organics and recycling
 - o Construction waste management, including storage and collection of recyclables
 - o Use of recycled content and regional materials

[illegible]

LEGAL DESCRIPTION:
 LOT 11 & 12, BLOCK 4
 SECTION 8, TOWN OF RICHMOND
 DISTRICT OF WEST PENDER
 PLAN 12-605094

OWNER:
 RICHMOND COMMUNITY HOUSING
 1115 GORDON LANE
 RICHMOND, B.C.
 V6V 1A1

DESIGNER:
 INTEGRAL ARCHITECTURE INC.
 415 WEST PENDER STREET
 VANCOUVER, BC V6B 1T8
 TEL: 604-681-1111
 WWW.INTEGRALARCHITECTURE.COM



INTEGRAL ARCHITECTURE INC.
 415 WEST PENDER STREET
 VANCOUVER, BC V6B 1T8
 TEL: 604-681-1111
 WWW.INTEGRALARCHITECTURE.COM



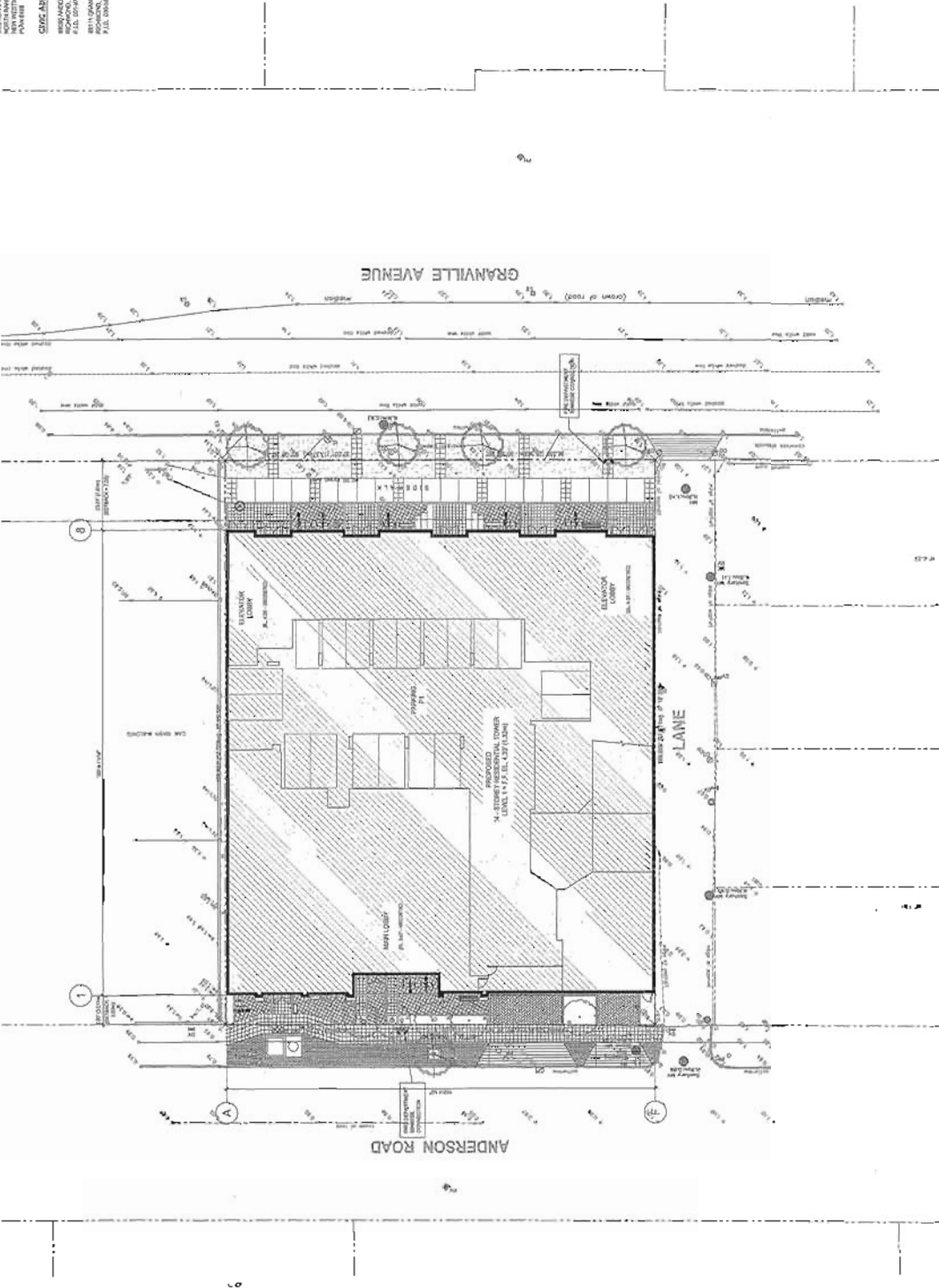
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1	10/11/14	Issue for Review
2	11/11/14	Issue for Review
3	12/11/14	Issue for Review
4	01/11/15	Issue for Review
5	02/11/15	Issue for Review

RICHMOND COMMUNITY HOUSING
 1115 GORDON LANE
 RICHMOND, B.C.
 V6V 1A1

SITE PLAN

Plan 2 Jan 31, 2014
 DP 12-605094

A-0.50



1 PARKING P1 FLOOR PLAN - SUCCESS
A-1.01 SCALE: 1/8" = 1'-0"



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**RICHMOND
COMMUNITY
HOUSING**

8511 CHANNELL AVE.,
5200 ANGLICAN RD.,
BIRMINGHAM, A.C.

U.C. Canada

PARKING - P2
FLOOR PLAN

Plan 3b Jan 31, 2014
DP 12-605094

A-1.02





INTEGRA ARCHITECTURE INC.
418 WEST PENDER STREET
VANCOUVER, BC V6B 1T5
T 604.688.4228 F 604.688.4278
info@integra-arch.com
www.integra-arch.com



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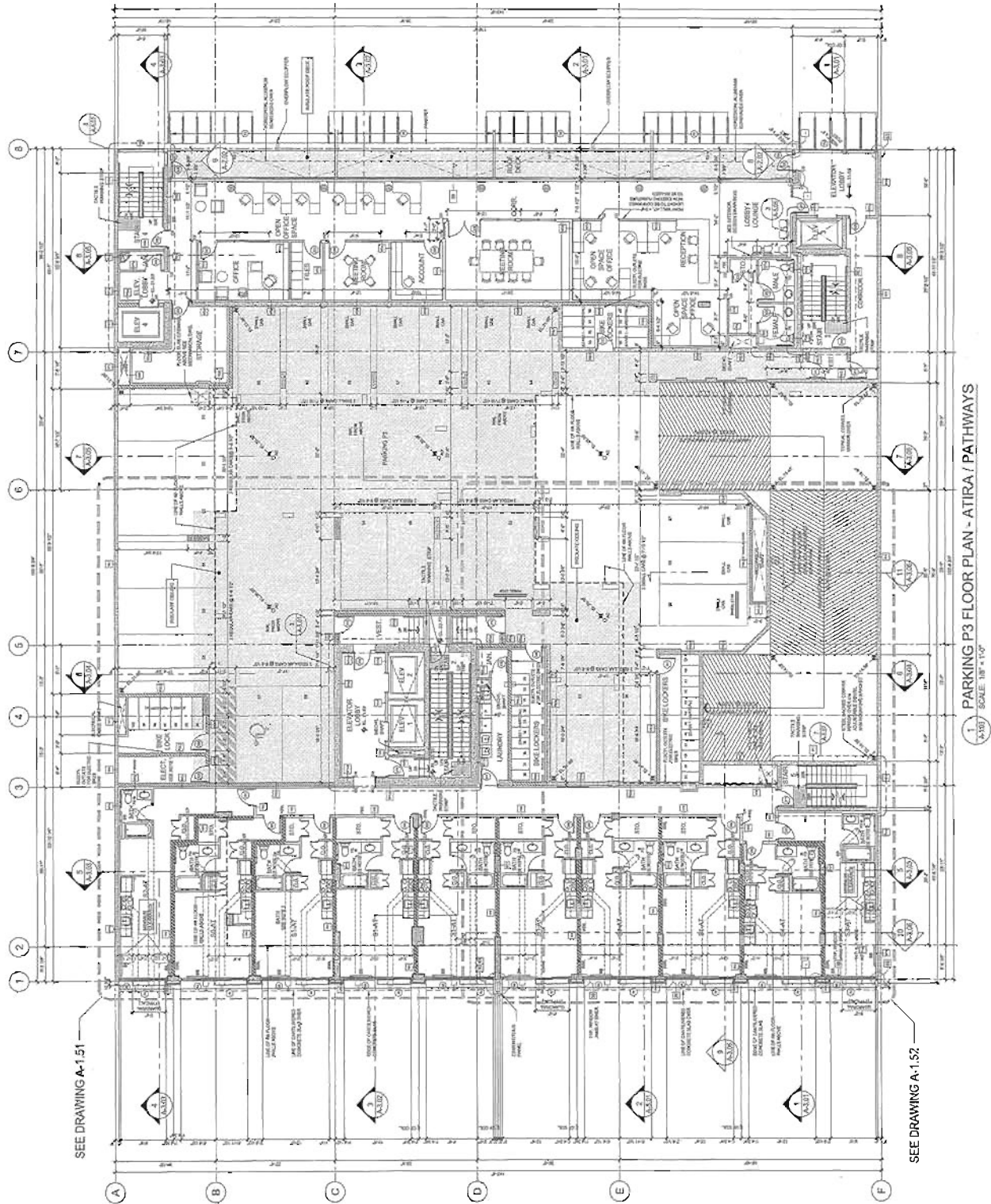
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**RICHMOND
COMMUNITY
HOUSING**
1111 GRANVILLE AVE.
SPRINGFIELD, MA 01104

PARKING - P3
FLOOR PLAN

Plan 3c Jan 31, 2014
DP 12-605094

A-1.03



NO.	DATE	REVISION OR SUPPLEMENT
1	10/14/14	1 st Revision
2	10/14/14	2 nd Revision
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95	10/14/14	95 th Revision
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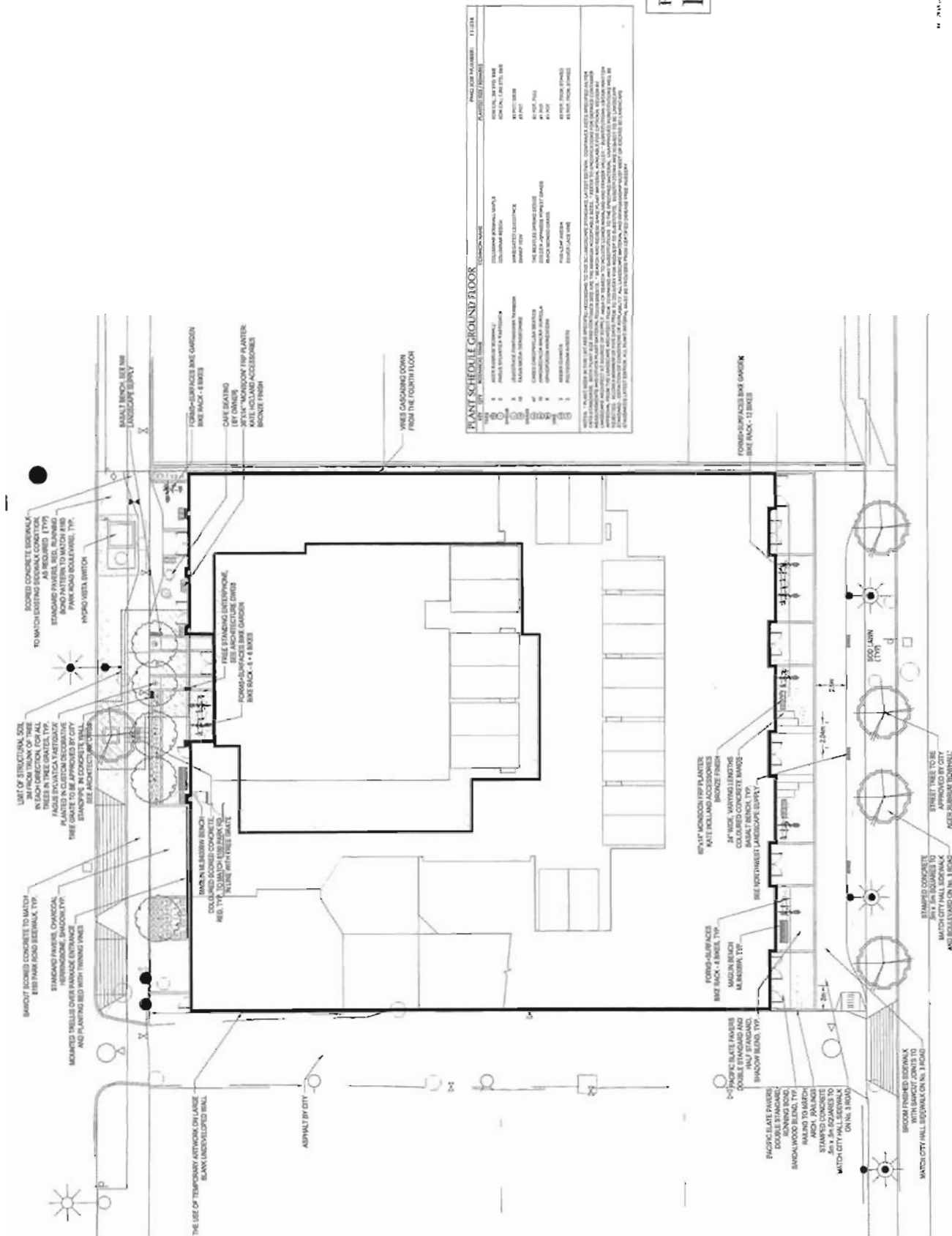
Plan 4a Jan 31, 2014
DP 12-605094

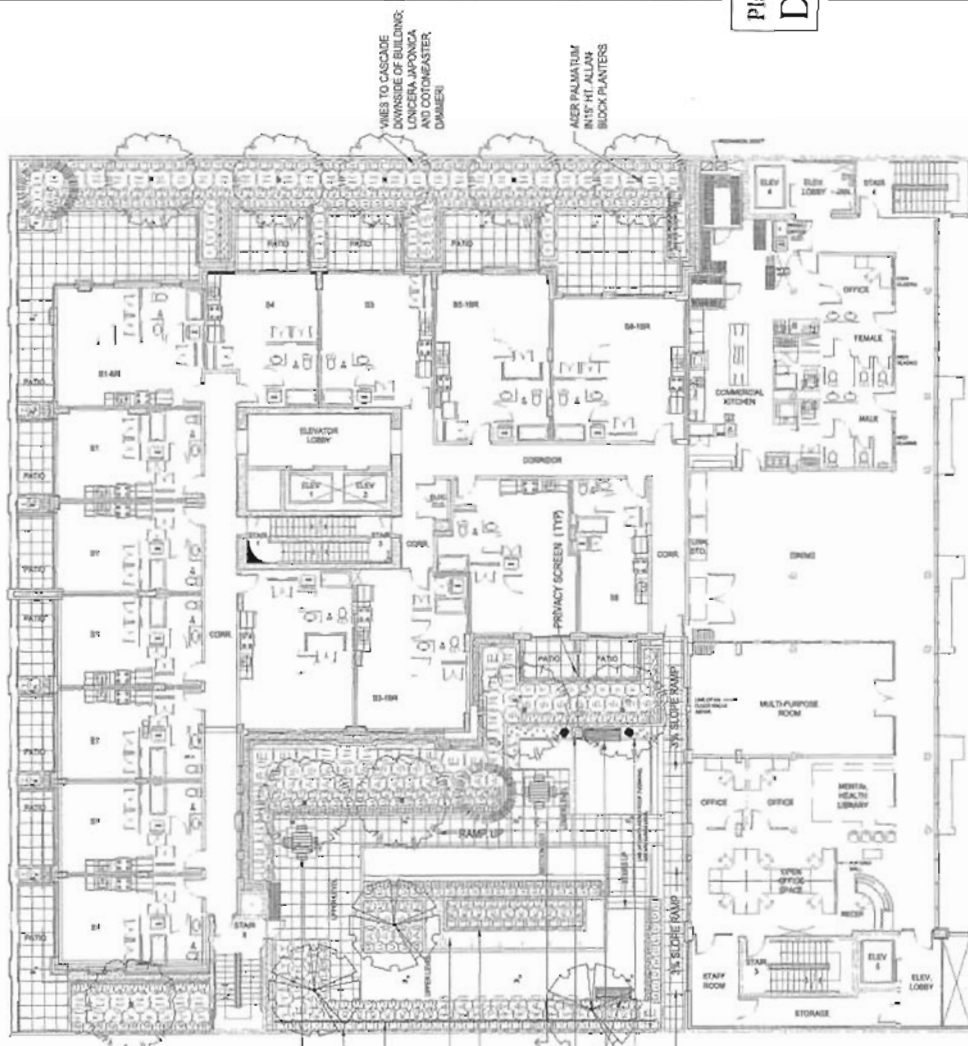
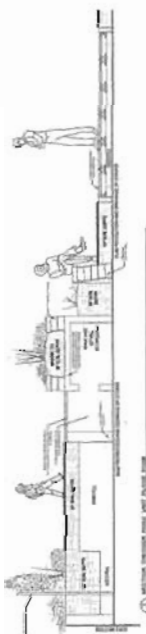
MIXED USE PROJECT
811 GRANVILLE AVENUE
CHICAGO, ILL.

DRAWING TITLE:
**LEVEL 1
LANDSCAPE PLAN**

DATE _____
 REGION _____
 COUNTY _____
 SECTION _____

5471





MAULIN POND TABLE OVER CONCRETE PAD 14'7" x 10'0" TYP.
POSSIBLE FUTURE CONNECTION POINT
RAILING BY ARCHITECTURE
GRATE OVER ACCESS AREA FOR PARKADE EXHAUST RAISED PLANTER OVER HVAC UNIT BY ARCHITECTURE
MAULIN GARBAGE RECEPTACLE, 14'0" x 10'0" TYP.
MAULIN MULBERRY BENCH ON CONCRETE PAD, TYP.
BOULDER IN POLISHED BLACK WHISKEY RIVER ROCK, SEE NWLS
TOMADA HYDROGRAPHIC SLABS OVER PIER STALL, RED, TYP.

FOURTH FLOOR PLANT SCHEDULE	PLANT SPECIFICATIONS
1. MAULIN POND TABLE	MAULIN POND TABLE, 14'7" x 10'0" TYP.
2. MAULIN MULBERRY BENCH	MAULIN MULBERRY BENCH, 14'0" x 10'0" TYP.
3. MAULIN GARBAGE RECEPTACLE	MAULIN GARBAGE RECEPTACLE, 14'0" x 10'0" TYP.
4. MAULIN POND TABLE	MAULIN POND TABLE, 14'7" x 10'0" TYP.
5. MAULIN MULBERRY BENCH	MAULIN MULBERRY BENCH, 14'0" x 10'0" TYP.
6. MAULIN GARBAGE RECEPTACLE	MAULIN GARBAGE RECEPTACLE, 14'0" x 10'0" TYP.
7. MAULIN POND TABLE	MAULIN POND TABLE, 14'7" x 10'0" TYP.
8. MAULIN MULBERRY BENCH	MAULIN MULBERRY BENCH, 14'0" x 10'0" TYP.
9. MAULIN GARBAGE RECEPTACLE	MAULIN GARBAGE RECEPTACLE, 14'0" x 10'0" TYP.
10. MAULIN POND TABLE	MAULIN POND TABLE, 14'7" x 10'0" TYP.
11. MAULIN MULBERRY BENCH	MAULIN MULBERRY BENCH, 14'0" x 10'0" TYP.
12. MAULIN GARBAGE RECEPTACLE	MAULIN GARBAGE RECEPTACLE, 14'0" x 10'0" TYP.
13. MAULIN POND TABLE	MAULIN POND TABLE, 14'7" x 10'0" TYP.
14. MAULIN MULBERRY BENCH	MAULIN MULBERRY BENCH, 14'0" x 10'0" TYP.
15. MAULIN GARBAGE RECEPTACLE	MAULIN GARBAGE RECEPTACLE, 14'0" x 10'0" TYP.
16. MAULIN POND TABLE	MAULIN POND TABLE, 14'7" x 10'0" TYP.
17. MAULIN MULBERRY BENCH	MAULIN MULBERRY BENCH, 14'0" x 10'0" TYP.
18. MAULIN GARBAGE RECEPTACLE	MAULIN GARBAGE RECEPTACLE, 14'0" x 10'0" TYP.
19. MAULIN POND TABLE	MAULIN POND TABLE, 14'7" x 10'0" TYP.
20. MAULIN MULBERRY BENCH	MAULIN MULBERRY BENCH, 14'0" x 10'0" TYP.
21. MAULIN GARBAGE RECEPTACLE	MAULIN GARBAGE RECEPTACLE, 14'0" x 10'0" TYP.
22. MAULIN POND TABLE	MAULIN POND TABLE, 14'7" x 10'0" TYP.
23. MAULIN MULBERRY BENCH	MAULIN MULBERRY BENCH, 14'0" x 10'0" TYP.
24. MAULIN GARBAGE RECEPTACLE	MAULIN GARBAGE RECEPTACLE, 14'0" x 10'0" TYP.
25. MAULIN POND TABLE	MAULIN POND TABLE, 14'7" x 10'0" TYP.
26. MAULIN MULBERRY BENCH	MAULIN MULBERRY BENCH, 14'0" x 10'0" TYP.
27. MAULIN GARBAGE RECEPTACLE	MAULIN GARBAGE RECEPTACLE, 14'0" x 10'0" TYP.
28. MAULIN POND TABLE	MAULIN POND TABLE, 14'7" x 10'0" TYP.
29. MAULIN MULBERRY BENCH	MAULIN MULBERRY BENCH, 14'0" x 10'0" TYP.
30. MAULIN GARBAGE RECEPTACLE	MAULIN GARBAGE RECEPTACLE, 14'0" x 10'0" TYP.

NO.	DATE	REVISION DESCRIPTION
1	01/31/2014	ISSUED FOR PERMIT
2	01/31/2014	ISSUED FOR PERMIT
3	01/31/2014	ISSUED FOR PERMIT
4	01/31/2014	ISSUED FOR PERMIT
5	01/31/2014	ISSUED FOR PERMIT
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29	01/31/2014	ISSUED FOR PERMIT
30	01/31/2014	ISSUED FOR PERMIT

Plan 4b Jan 31, 2014
DP 12-605094

MIXED USE PROJECT
8311 GRANVILLE AVENUE
RICHMOND, VA

LANDSCAPE PLANS
LEVEL 4

DATE: 11.20.14
SCALE: 1/4" = 1'-0"
DRAWN BY: [Signature]
CHECKED BY: [Signature]
PROJECT NUMBER: 11-204

[illegible]

SEVENTH FLOOR PLANT SCHEDULE

[illegible]

ALCOHOL-RESISTANT BURY OF PROVIDES 40% CERTIFIED GREAT FREE MONSTER. MONITOR CERTIFICATION UPON

LEVEL SEVEN LANDSCAPE PLAN

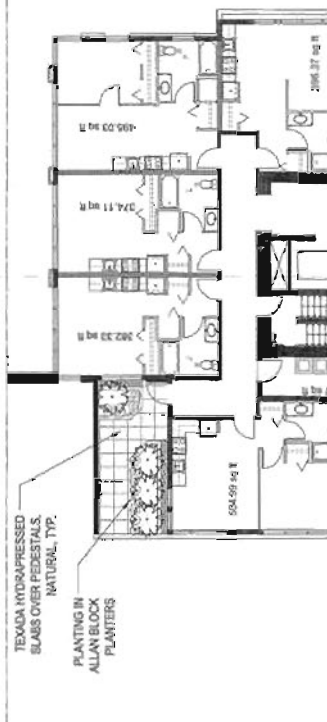
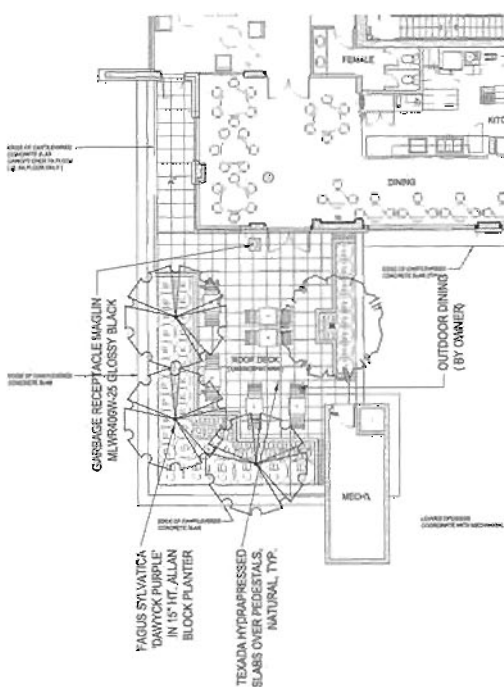
ELEVENTH FLOOR PLANT SCHEDULE

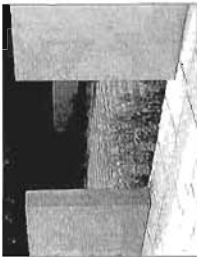
ELEVENTH FLOOR PLANT SCHEDULE				PROJECT NUMBER	11-218
COMPANY NAME				PLANTED SIZE (FEET)	REMARKS
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LEVEL ELEVEN LANDSCAPE PLAN

COMPREHENSIVE PLANT SCHEDULE

[illegible][illegible]



CONCRETE WALLS
(OR SIMILAR)



BASALT BENCH
(OR SIMILAR)



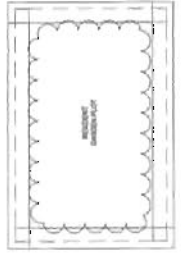
BASALT COLUMN
(OR SIMILAR)



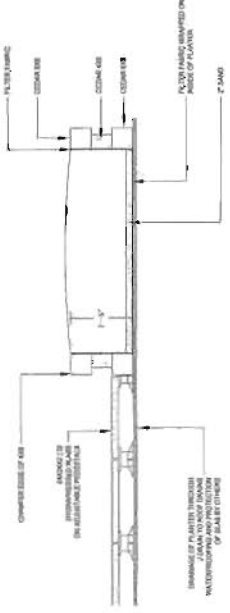
FLAGSTONE
MOUNTAIN BLUEBERRY
NORTHWEST LANDSCAPE SUPPLY, BURNABY
(OR SIMILAR)



MONSOON PLANTER
KATE HOLLAND LANDSCAPE ACCESSORIES



PLAN

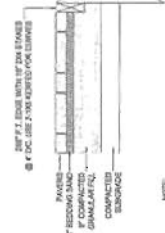


WOOD PLANTER ELEVATION

NOTES:
1. ALL PLANTER CONSTRUCTION SHALL BE 1" MINIMUM GALVNEAL TO CORROSION RESISTANCE FOR PLANTER CONSTRUCTION. ALL PLANTER CONSTRUCTION SHALL BE 1" MINIMUM GALVNEAL TO CORROSION RESISTANCE FOR PLANTER CONSTRUCTION. ALL PLANTER CONSTRUCTION SHALL BE 1" MINIMUM GALVNEAL TO CORROSION RESISTANCE FOR PLANTER CONSTRUCTION.

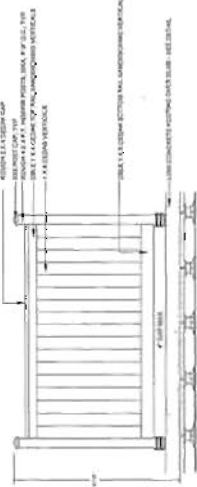


WOOD PLANTER ELEVATION



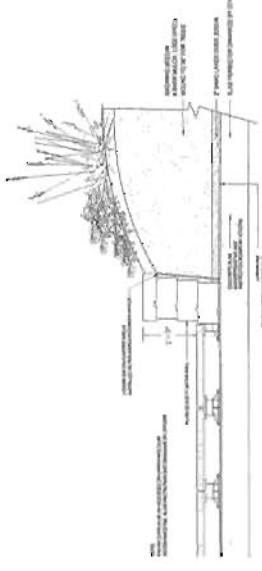
PAVERS ON GRADE

PAVERS ON GRADE



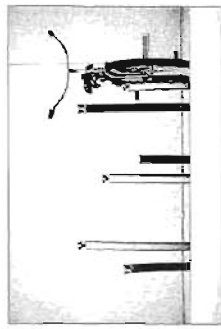
6' HT. PRIVACY SCREEN

6' HT. PRIVACY SCREEN

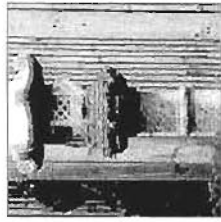


TYP. PLANTER ON SLAB AND PAVERS OVER PEDESTALS

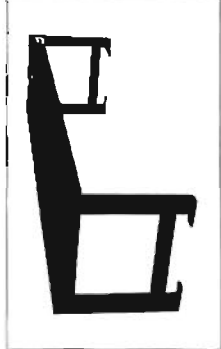
TYP. PLANTER ON SLAB AND PAVERS OVER PEDESTALS



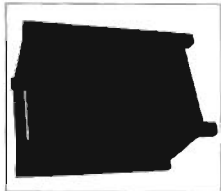
BIKE RACK
FORMS • SURFACES BIKE GARDEN
(OR SIMILAR)



STONE LANTERN
SUPPLIED BY OWNER



MAGLIN BENCH
MAGLIN BENCH



MAGLIN RECEPTACLE
MAGLIN RECEPTACLE

Table with 2 columns: Item, Description. Items include: 1. 1" MIN. GALVNEAL TO CORROSION RESISTANCE, 2. 1" MIN. GALVNEAL TO CORROSION RESISTANCE, 3. 1" MIN. GALVNEAL TO CORROSION RESISTANCE, 4. 1" MIN. GALVNEAL TO CORROSION RESISTANCE, 5. 1" MIN. GALVNEAL TO CORROSION RESISTANCE, 6. 1" MIN. GALVNEAL TO CORROSION RESISTANCE, 7. 1" MIN. GALVNEAL TO CORROSION RESISTANCE, 8. 1" MIN. GALVNEAL TO CORROSION RESISTANCE, 9. 1" MIN. GALVNEAL TO CORROSION RESISTANCE, 10. 1" MIN. GALVNEAL TO CORROSION RESISTANCE.

[illegible]

Figures values represent likelihood of an equipment's second usage will lead results for segment.

Year	Population	Area	Population Density
1990	1,000,000	100,000	10
2000	1,200,000	120,000	10
2010	1,400,000	140,000	10
2020	1,600,000	160,000	10
2030	1,800,000	180,000	10
2040	2,000,000	200,000	10
2050	2,200,000	220,000	10
2060	2,400,000	240,000	10
2070	2,600,000	260,000	10
2080	2,800,000	280,000	10
2090	3,000,000	300,000	10
2100	3,200,000	320,000	10



INTEGRATED ARCHITECTURE INC.
416 WEST FENDER STREET
VANCOUVER, BC V6B 1T5
604.683.4229 F 604.683.4275
1770 W. 114th Ave. #100, S.E.
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NO.	DATE	DESCRIPTION
1	2014.01.31	Issue for Review
2	2014.02.03	Issue for Review
3	2014.02.03	Issue for Review
4	2014.02.03	Issue for Review
5	2014.02.03	Issue for Review

RICHMOND COMMUNITY HOUSING
8700 GRANVILLE AVE.
RICHMOND, BC V6X 4A4
B.C. Canada
(604) 273-1144

WEST ELEVATION

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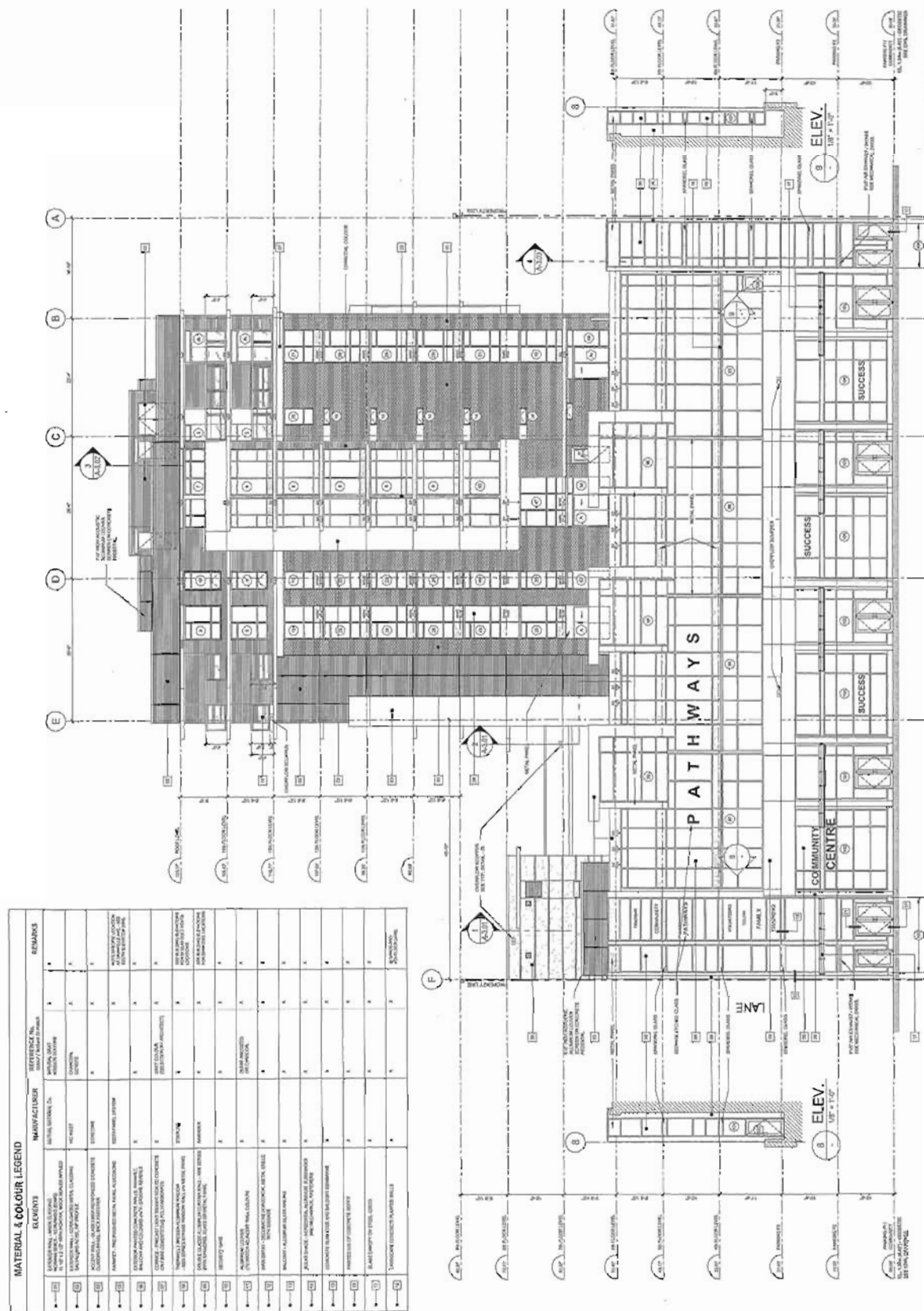
Circumstance	Percentage (%)
(a) self-defense	95
(b) defense of others	85
(c) defense of property	75
(d) defense of a business	65
(e) defense of a country	15

**RICHMOND
COMMUNITY
HOUSING**
1111 DRAVELL AVE.,
805 AMERSON RD.,
RICHMOND, B.C.
B.C., Canada

SOUTH ELEVATION

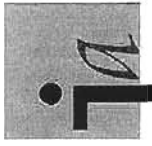
CHIRALITY	$\alpha^2/\beta^2 \approx 10^4$
CHIRALITY	$\alpha^2/\beta^2 \approx 10^4$

A-2.02



Plan 6 Jan 31, 2014
DP 12-605094

2 SOUTH ELEVATION @ GRANVILLE AVENUE
SCALE: 1/8" = 1'-0"



INTEGRA ARCHITECTURE INC.
415 WEST PENDER STREET
VANCOUVER, BC V6B 1T5
TEL: 604.681.1111
WWW.INTEGRA-ARCHITECTURE.COM



NO.	DATE	DESCRIPTION
1	2013.01.01	ISSUED FOR PERMIT
2	2013.01.01	ISSUED FOR PERMIT
3	2013.01.01	ISSUED FOR PERMIT
4	2013.01.01	ISSUED FOR PERMIT
5	2013.01.01	ISSUED FOR PERMIT
6	2013.01.01	ISSUED FOR PERMIT
7	2013.01.01	ISSUED FOR PERMIT
8	2013.01.01	ISSUED FOR PERMIT
9	2013.01.01	ISSUED FOR PERMIT
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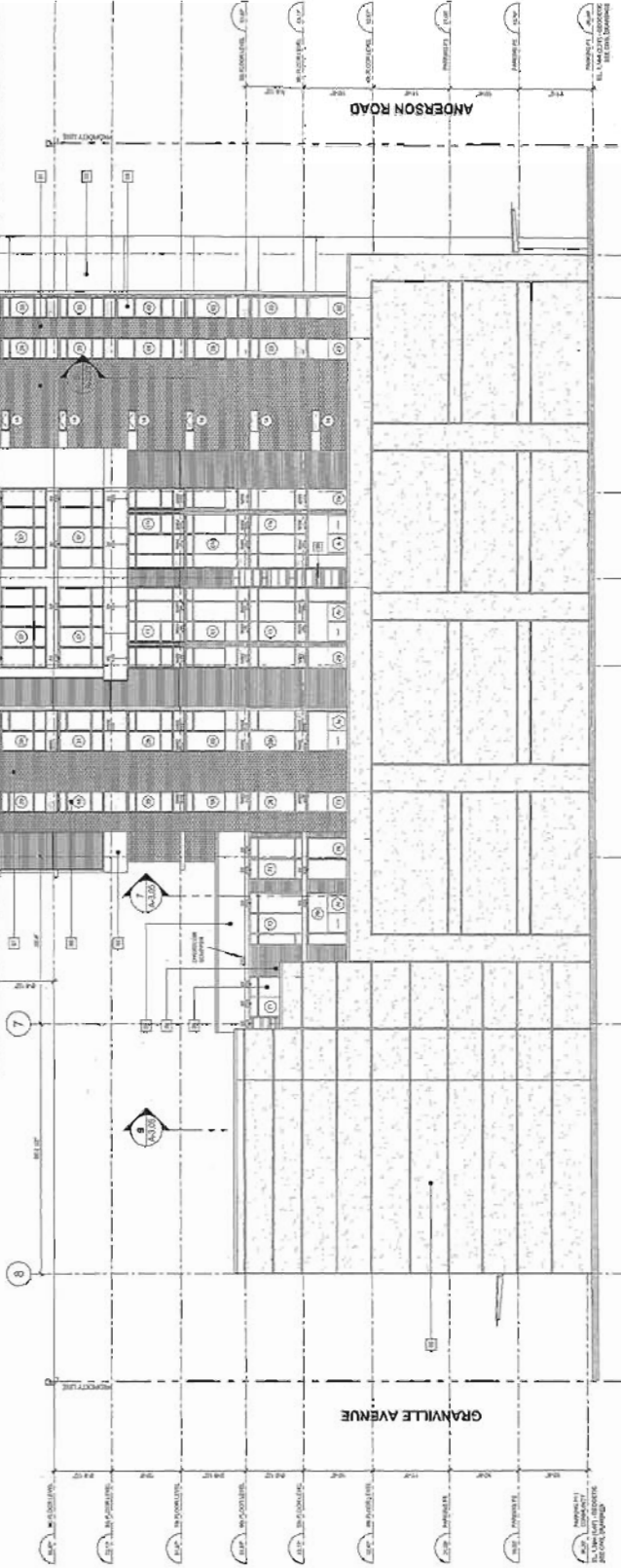
RICHMOND COMMUNITY HOUSING
415 WEST PENDER STREET
VANCOUVER, BC V6B 1T5
TEL: 604.681.1111
WWW.INTEGRA-ARCHITECTURE.COM

EAST ELEVATION

NO.	DATE	DESCRIPTION
1	2013.01.01	ISSUED FOR PERMIT
2	2013.01.01	ISSUED FOR PERMIT
3	2013.01.01	ISSUED FOR PERMIT
4	2013.01.01	ISSUED FOR PERMIT
5	2013.01.01	ISSUED FOR PERMIT
6	2013.01.01	ISSUED FOR PERMIT
7	2013.01.01	ISSUED FOR PERMIT
8	2013.01.01	ISSUED FOR PERMIT
9	2013.01.01	ISSUED FOR PERMIT
10	2013.01.01	ISSUED FOR PERMIT

Plan 7 Jan 31, 2014
DP 12-605094 A-2.03

MATERIAL & COLOUR LEGEND			
ELEMENT	MANUFACTURER	REFERENCE IN DRAWING	REMARKS
1. EXTERIOR WALL - CONCRETE PANEL	WATSON MATERIAL INC.	SECTION 101	SEE SECTION 101 FOR DETAILS
2. EXTERIOR WALL - BRICK	REDFIELD	SECTION 102	SEE SECTION 102 FOR DETAILS
3. EXTERIOR WALL - STONE	STONEWORK	SECTION 103	SEE SECTION 103 FOR DETAILS
4. EXTERIOR WALL - GLASS	GLASSWORK	SECTION 104	SEE SECTION 104 FOR DETAILS
5. EXTERIOR WALL - METAL	METALWORK	SECTION 105	SEE SECTION 105 FOR DETAILS
6. EXTERIOR WALL - WOOD	WOODWORK	SECTION 106	SEE SECTION 106 FOR DETAILS
7. EXTERIOR WALL - PLASTER	PLASTER	SECTION 107	SEE SECTION 107 FOR DETAILS
8. EXTERIOR WALL - STUCCO	STUCCO	SECTION 108	SEE SECTION 108 FOR DETAILS
9. EXTERIOR WALL - TERRAZZO	TERRAZZO	SECTION 109	SEE SECTION 109 FOR DETAILS
10. EXTERIOR WALL - MARBLE	MARBLE	SECTION 110	SEE SECTION 110 FOR DETAILS
11. EXTERIOR WALL - GRANITE	GRANITE	SECTION 111	SEE SECTION 111 FOR DETAILS
12. EXTERIOR WALL - SLATE	SLATE	SECTION 112	SEE SECTION 112 FOR DETAILS
13. EXTERIOR WALL - SCHIST	SCHIST	SECTION 113	SEE SECTION 113 FOR DETAILS
14. EXTERIOR WALL - GNEISS	GNEISS	SECTION 114	SEE SECTION 114 FOR DETAILS
15. EXTERIOR WALL - QUARTZITE	QUARTZITE	SECTION 115	SEE SECTION 115 FOR DETAILS
16. EXTERIOR WALL - SOAPSTONE	SOAPSTONE	SECTION 116	SEE SECTION 116 FOR DETAILS
17. EXTERIOR WALL - LAMINATE	LAMINATE	SECTION 117	SEE SECTION 117 FOR DETAILS
18. EXTERIOR WALL - VENEER	VENEER	SECTION 118	SEE SECTION 118 FOR DETAILS
19. EXTERIOR WALL - TILE	TILE	SECTION 119	SEE SECTION 119 FOR DETAILS
20. EXTERIOR WALL - PAINT	PAINT	SECTION 120	SEE SECTION 120 FOR DETAILS
21. EXTERIOR WALL - STAIN	STAIN	SECTION 121	SEE SECTION 121 FOR DETAILS
22. EXTERIOR WALL - SEALANT	SEALANT	SECTION 122	SEE SECTION 122 FOR DETAILS
23. EXTERIOR WALL - ADHESIVE	ADHESIVE	SECTION 123	SEE SECTION 123 FOR DETAILS
24. EXTERIOR WALL - GROUT	GROUT	SECTION 124	SEE SECTION 124 FOR DETAILS
25. EXTERIOR WALL - FINISH	FINISH	SECTION 125	SEE SECTION 125 FOR DETAILS



3 EAST ELEVATION @ ADJACENT PROPERTY
SCALE: 1/8" = 1'-0"



INTERIOR ARCHITECTURE INC.
415 WEST PENDER STREET
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NO.	DATE	DESCRIPTION
1	2014.01.31	Issue for Review
2	2014.01.31	Issue for Review
3	2014.01.31	Issue for Review
4	2014.01.31	Issue for Review

1/10/14

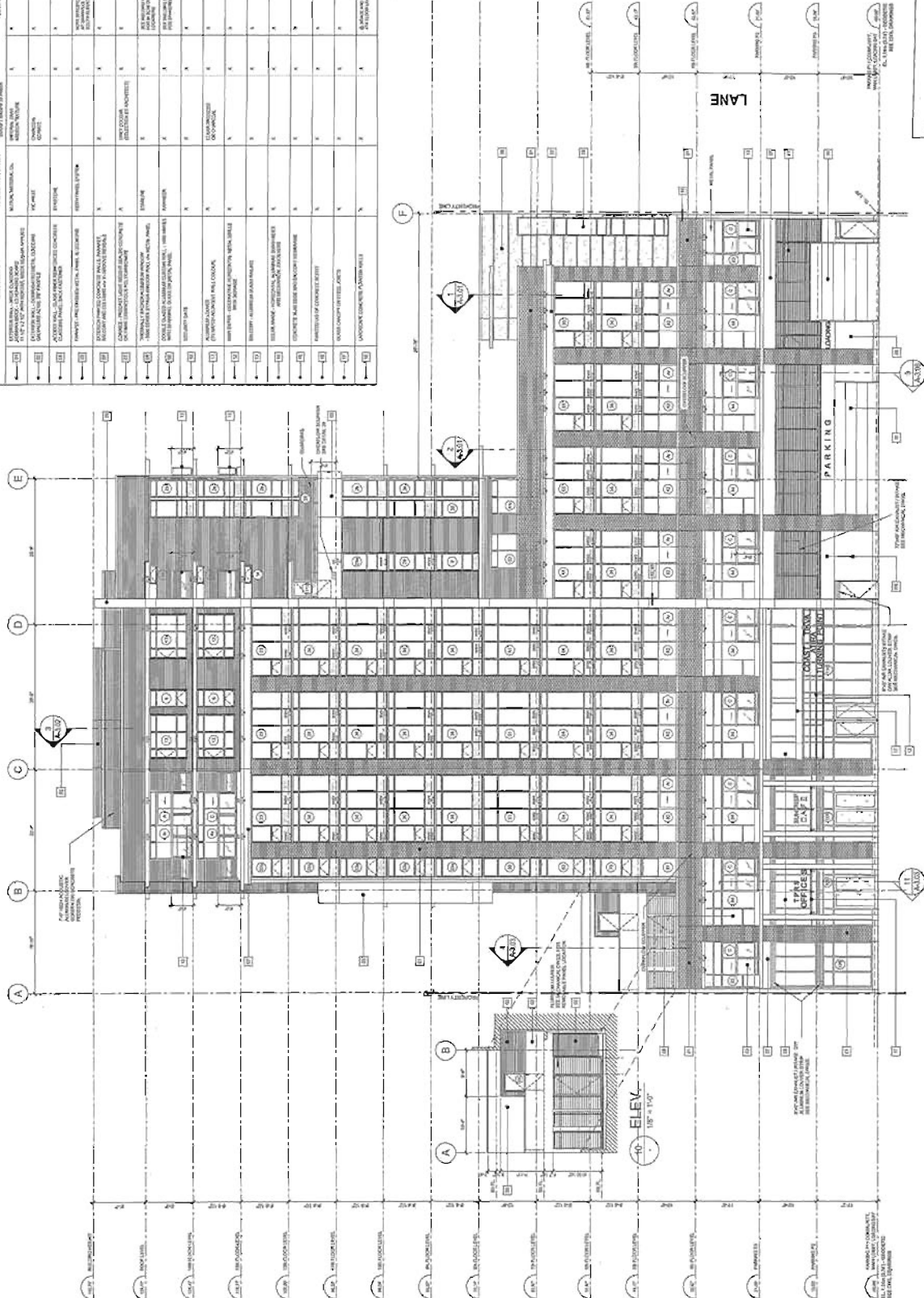
RICHMOND
COMMUNITY
HOUSING
1115 SANDHILL AVE.
RICHMOND, B.C. Canada
V6V 2K6

NORTH ELEVATION

1/10/14	1/10/14
1/10/14	1/10/14
1/10/14	1/10/14
1/10/14	1/10/14

Plan 8 Jan 31, 2014
DP 12-605094 A-2.04

MATERIAL & COLOUR LEGEND		
ELEMENTS	MANUFACTURER	REMARKS
1. EXTERIOR WALLS	1. MASONRY	1. EXTERIOR WALLS
2. EXTERIOR ROOF	2. ROOFING	2. EXTERIOR ROOF
3. EXTERIOR FLOORING	3. FLOORING	3. EXTERIOR FLOORING
4. EXTERIOR FINISHES	4. FINISHES	4. EXTERIOR FINISHES
5. EXTERIOR LIGHTING	5. LIGHTING	5. EXTERIOR LIGHTING
6. EXTERIOR PLANTING	6. PLANTING	6. EXTERIOR PLANTING
7. EXTERIOR FURNITURE	7. FURNITURE	7. EXTERIOR FURNITURE
8. EXTERIOR ACCESSORIES	8. ACCESSORIES	8. EXTERIOR ACCESSORIES
9. EXTERIOR PAINTS	9. PAINTS	9. EXTERIOR PAINTS
10. EXTERIOR GLAZING	10. GLAZING	10. EXTERIOR GLAZING
11. EXTERIOR METALS	11. METALS	11. EXTERIOR METALS
12. EXTERIOR STONE	12. STONE	12. EXTERIOR STONE
13. EXTERIOR TILE	13. TILE	13. EXTERIOR TILE
14. EXTERIOR CONCRETE	14. CONCRETE	14. EXTERIOR CONCRETE
15. EXTERIOR BRICK	15. BRICK	15. EXTERIOR BRICK
16. EXTERIOR BLOCK	16. BLOCK	16. EXTERIOR BLOCK
17. EXTERIOR BOARD	17. BOARD	17. EXTERIOR BOARD
18. EXTERIOR SHINGLE	18. SHINGLE	18. EXTERIOR SHINGLE
19. EXTERIOR SLATE	19. SLATE	19. EXTERIOR SLATE
20. EXTERIOR CORRUGATED METAL	20. CORRUGATED METAL	20. EXTERIOR CORRUGATED METAL
21. EXTERIOR VINYL	21. VINYL	21. EXTERIOR VINYL
22. EXTERIOR PLASTER	22. PLASTER	22. EXTERIOR PLASTER
23. EXTERIOR GROUT	23. GROUT	23. EXTERIOR GROUT
24. EXTERIOR ADHESIVE	24. ADHESIVE	24. EXTERIOR ADHESIVE
25. EXTERIOR SEALANT	25. SEALANT	25. EXTERIOR SEALANT
26. EXTERIOR INSULATION	26. INSULATION	26. EXTERIOR INSULATION
27. EXTERIOR VAPOR BARRIER	27. VAPOR BARRIER	27. EXTERIOR VAPOR BARRIER
28. EXTERIOR DRAINAGE	28. DRAINAGE	28. EXTERIOR DRAINAGE
29. EXTERIOR CURB	29. CURB	29. EXTERIOR CURB
30. EXTERIOR SIDEWALK	30. SIDEWALK	30. EXTERIOR SIDEWALK
31. EXTERIOR DRIVEWAY	31. DRIVEWAY	31. EXTERIOR DRIVEWAY
32. EXTERIOR PAVEMENT	32. PAVEMENT	32. EXTERIOR PAVEMENT
33. EXTERIOR LANDSCAPE	33. LANDSCAPE	33. EXTERIOR LANDSCAPE
34. EXTERIOR TREES	34. TREES	34. EXTERIOR TREES
35. EXTERIOR SHRUBS	35. SHRUBS	35. EXTERIOR SHRUBS
36. EXTERIOR FLOWERS	36. FLOWERS	36. EXTERIOR FLOWERS
37. EXTERIOR GRASS	37. GRASS	37. EXTERIOR GRASS
38. EXTERIOR MULCH	38. MULCH	38. EXTERIOR MULCH
39. EXTERIOR SOIL	39. SOIL	39. EXTERIOR SOIL
40. EXTERIOR WATER	40. WATER	40. EXTERIOR WATER
41. EXTERIOR AIR	41. AIR	41. EXTERIOR AIR
42. EXTERIOR LIGHT	42. LIGHT	42. EXTERIOR LIGHT
43. EXTERIOR SOUND	43. SOUND	43. EXTERIOR SOUND
44. EXTERIOR SMELL	44. SMELL	44. EXTERIOR SMELL
45. EXTERIOR TASTE	45. TASTE	45. EXTERIOR TASTE
46. EXTERIOR TOUCH	46. TOUCH	46. EXTERIOR TOUCH
47. EXTERIOR FEEL	47. FEEL	47. EXTERIOR FEEL
48. EXTERIOR SMELL	48. SMELL	48. EXTERIOR SMELL
49. EXTERIOR TASTE	49. TASTE	49. EXTERIOR TASTE
50. EXTERIOR TOUCH	50. TOUCH	50. EXTERIOR TOUCH



4 NORTH ELEVATION @ ANDERSON ROAD
SCALE: 1/8" = 1'-0"



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1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466	467	468	469	470	471	472	473	474	475	476	477	478	479	480	481	482	483	484	485	486	487	488	489	490	491	492	493	494	495	496	497	498	499	500	501	502	503	504	505	506	507	508	509	510	511	512	513	514	515	516	517	518	519	520	521	522	523	524	525	526	527	528	529	530	531	532	533	534	535	536	537	538	539	540	541	542	543	544	545	546	547	548	549	550	551	552	553	554	555	556	557	558	559	560	561	562	563	564	565	566	567	568	569	570	571	572	573	574	575	576	577	578	579	580	581	582	583	584	585	586	587	588	589	590	591	592	593	594	595	596	597	598	599	600	601	602	603	604	605	606	607	608	609	610	611	612	613	614	615	616	617	618	619	620	621	622	623	624	625	626	627	628	629	630	631	632	633	634	635	636	637	638	639	640	641	642	643	644	645	646	647	648	649	650	651	652	653	654	655	656	657	658	659	660	661	662	663	664	665	666	667	668	669	670	671	672	673	674	675	676	677	678	679	680	681	682	683	684	685	686	687	688	689	690	691	692	693	694	695	696	697	698	699	700	701	702	703	704	705	706	707	708	709	710	711	712	713	714	715	716	717	718	719	720	721	722	723	724	725	726	727	728	729	730	731	732	733	734	735	736	737	738	739	740	741	742	743	744	745	746	747	748	749	750	751	752	753	754	755	756	757	758	759	760	761	762	763	764	765	766	767	768	769	770	771	772	773	774	775	776	777	778	779	780	781	782	783	784	785	786	787	788	789	790	791	792	793	794	795	796	797	798	799	800	801	802	803	804	805	806	807	808	809	810	811	812	813	814	815	816	817	818	819	820	821	822	823	824	825	826	827	828	829	830	831	832	833	834	835	836	837	838	839	840	841	842	843	844	845	846	847	848	849	850	851	852	853	854	855	856	857	858	859	860	861	862	863	864	865	866	867	868	869	870	871	872	873	874	875	876	877	878	879	880	881	882	883	884	885	886	887	888	889	890	891	892	893	894	895	896	897	898	899	900	901	902	903	904	905	906	907	908	909	910	911	912	913	914	915	916	917	918	919	920	921	922	923	924	925	926	927	928	929	930	931	932	933	934	935	936	937	938	939	940	941	942	943	944	945	946	947	948	949	950	951	952	953	954	955	956	957	958	959	960	961	962	963	964	965	966	967	968	969	970	971	972	973	974	975	976	977	978	979	980	981	982	983	984	985	986	987	988	989	990	991	992	993	994	995	996	997	998	999	1000	1001	1002	1003	1004	1005	1006	1007	1008	1009	1010	1011	1012	1013	1014	1015	1016	1017	1018	1019	1020	1021	1022	1023	1024	1025	1026	1027	1028	1029	1030	1031	1032	1033	1034	1035	1036	1037	1038	1039	1040	1041	1042	1043	1044	1045	1046	1047	1048	1049	1050	1051	1052	1053	1054	1055	1056	1057	1058	1059	1060	1061	1062	1063	1064	1065	1066	1067	1068	1069	1070	1071	1072	1073	1074	1075	1076	1077	1078	1079	1080	1081	1082	1083	1084	1085	1086	1087	1088	1089	1090	1091	1092	1093	1094	1095	1096	1097	1098	1099	1100	1101	1102	1103	1104	1105	1106	1107	1108	1109	1110	1111	1112	1113	1114	1115	1116	1117	1118	1119	1120	1121	1122	1123	1124	1125	1126	1127	1128	1129	1130	1131	1132	1133	1134	1135	1136	1137	1138	1139	1140	1141	1142	1143	1144	1145	1146	1147	1148	1149	1150	1151	1152	1153	1154	1155	1156	1157	1158	1159	1160	1161	1162	1163	1164	1165	1166	1167	1168	1169	1170	1171	1172	1173	1174	1175	1176	1177	1178	1179	1180	1181	1182	1183	1184	1185	1186	1187	1188	1189	1190	1191	1192	1193	1194	1195	1196	1197	1198	1199	1200	1201	1202	1203	1204	1205	1206	1207	1208	1209	1210	1211	1212	1213	1214	1215	1216	1217	1218	1219	1220	1221	12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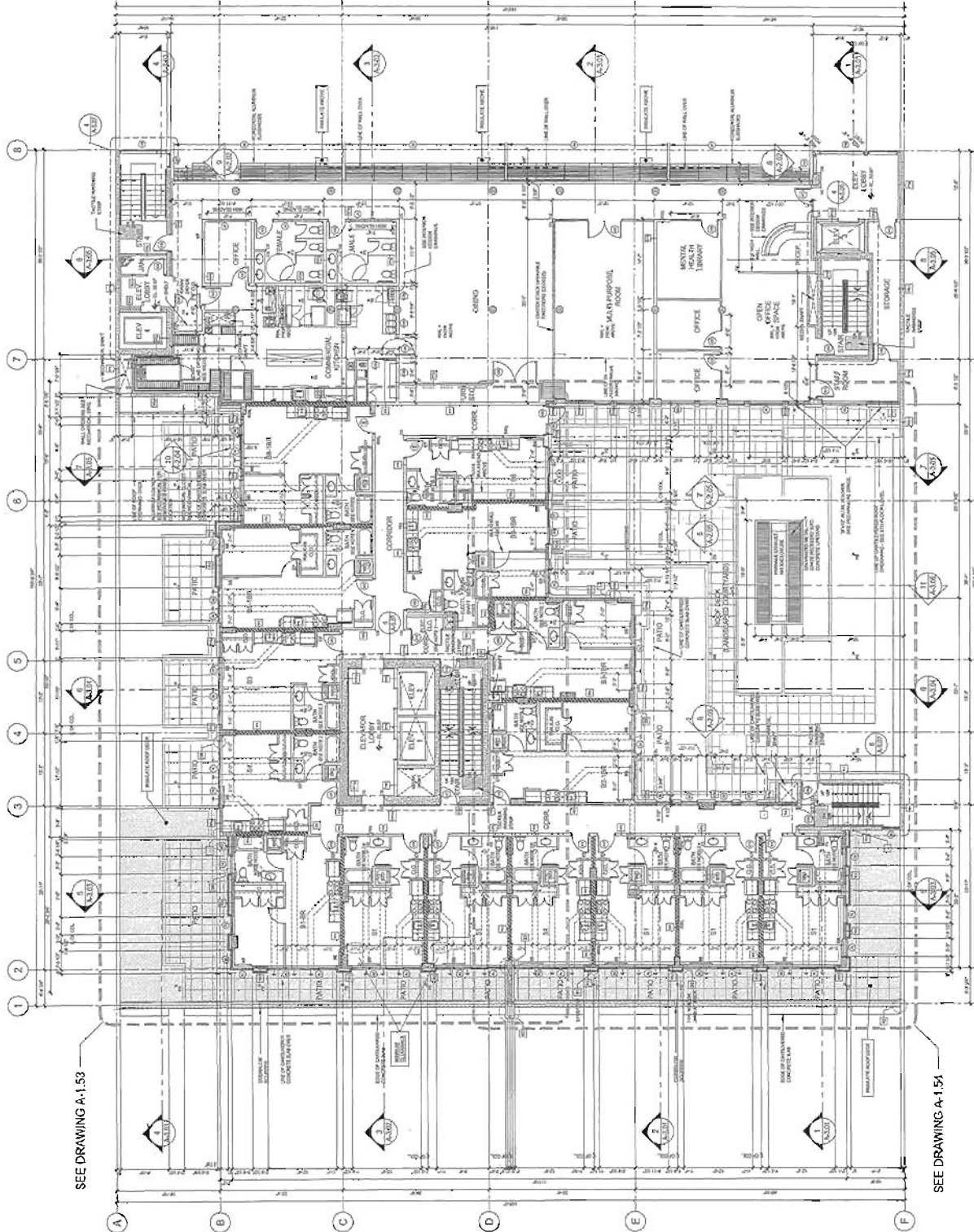
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**RICHMOND
COMMUNITY
HOUSING**
8111 DAWKINS AVE.
800 ANDERSON RD.
RICHMOND, S.C.

4TH FLOOR PLAN

Plan 10 Jan 31, 2014
DP 12-605094

A-1.04



1 4th FLOOR PLAN - SUCCESS / PATHWAYS
SCALE: 1/8" = 1'-0"

[illegible]

1151

**RICHMOND
COMMUNITY
HOUSING**

1115 DRAYTON AVE.,
280 MADISON RD.,
RICHMOND, NC

B.G. Campbell

FLOOR PLAN

Plan 11 Jan 31, 2014
DP 12-605094

A-1.05

NOTES:

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SEE DRAWING A-1.57

SEE DRAWING A-1.58

5th FLOOR PLAN - SUCCESS

1 5th FLOOR

SEE DRAWING A-1.50 -

SEE DRAWING A-1.55 -



Year	1984-1	1985-1	1986-1	1987-1	1988-1	1989-1	1990-1	1991-1	1992-1	1993-1	1994-1	1995-1	1996-1	1997-1	1998-1	1999-1	2000-1	2001-1	2002-1	2003-1	2004-1	2005-1	2006-1	2007-1	2008-1	2009-1	2010-1	2011-1	2012-1	2013-1	2014-1	2015-1	2016-1	2017-1	2018-1	2019-1	2020-1	2021-1	2022-1	2023-1	2024-1	2025-1	2026-1	2027-1	2028-1	2029-1	2030-1	2031-1	2032-1	2033-1	2034-1	2035-1	2036-1	2037-1	2038-1	2039-1	2040-1	2041-1	2042-1	2043-1	2044-1	2045-1	2046-1	2047-1	2048-1	2049-1	2050-1	2051-1	2052-1	2053-1	2054-1	2055-1	2056-1	2057-1	2058-1	2059-1	2060-1	2061-1	2062-1	2063-1	2064-1	2065-1	2066-1	2067-1	2068-1	2069-1	2070-1	2071-1	2072-1	2073-1	2074-1	2075-1	2076-1	2077-1	2078-1	2079-1	2080-1	2081-1	2082-1	2083-1	2084-1	2085-1	2086-1	2087-1	2088-1	2089-1	2090-1	2091-1	2092-1	2093-1	2094-1	2095-1	2096-1	2097-1	2098-1	2099-1	2100-1	2101-1	2102-1	2103-1	2104-1	2105-1	2106-1	2107-1	2108-1	2109-1	2110-1	2111-1	2112-1	2113-1	2114-1	2115-1	2116-1	2117-1	2118-1	2119-1	2120-1	2121-1	2122-1	2123-1	2124-1	2125-1	2126-1	2127-1	2128-1	2129-1	2130-1	2131-1	2132-1	2133-1	2134-1	2135-1	2136-1	2137-1	2138-1	2139-1	2140-1	2141-1	2142-1	2143-1	2144-1	2145-1	2146-1	2147-1	2148-1	2149-1	2150-1	2151-1	2152-1	2153-1	2154-1	2155-1	2156-1	2157-1	2158-1	2159-1	2160-1	2161-1	2162-1	2163-1	2164-1	2165-1	2166-1	2167-1	2168-1	2169-1	2170-1	2171-1	2172-1	2173-1	2174-1	2175-1	2176-1	2177-1	2178-1	2179-1	2180-1	2181-1	2182-1	2183-1	2184-1	2185-1	2186-1	2187-1	2188-1	2189-1	2190-1	2191-1	2192-1	2193-1	2194-1	2195-1	2196-1	2197-1	2198-1	2199-1	2200-1	2201-1	2202-1	2203-1	2204-1	2205-1	2206-1	2207-1	2208-1	2209-1	2210-1	2211-1	2212-1	2213-1	2214-1	2215-1	2216-1	2217-1	2218-1	2219-1	2220-1	2221-1	2222-1	2223-1	2224-1	2225-1	2226-1	2227-1	2228-1	2229-1	2230-1	2231-1	2232-1	2233-1	2234-1	2235-1	2236-1	2237-1	2238-1	2239-1	2240-1	2241-1	2242-1	2243-1	2244-1	2245-1	2246-1	2247-1	2248-1	2249-1	2250-1	2251-1	2252-1	2253-1	2254-1	2255-1	2256-1	2257-1	2258-1	2259-1	2260-1	2261-1	2262-1	2263-1	2264-1	2265-1	2266-1	2267-1	2268-1	2269-1	2270-1	2271-1	2272-1	2273-1	2274-1	2275-1	2276-1	2277-1	2278-1	2279-1	2280-1	2281-1	2282-1	2283-1	2284-1	2285-1	2286-1	2287-1	2288-1	2289-1	2290-1	2291-1	2292-1	2293-1	2294-1	2295-1	2296-1	2297-1	2298-1	2299-1	2300-1	2301-1	2302-1	2303-1	2304-1	2305-1	2306-1	2307-1	2308-1	2309-1	2310-1	2311-1	2312-1	2313-1	2314-1	2315-1	2316-1	2317-1	2318-1	2319-1	2320-1	2321-1	2322-1	2323-1	2324-1	2325-1	2326-1	2327-1	2328-1	2329-1	2330-1	2331-1	2332-1	2333-1	2334-1	2335-1	2336-1	2337-1	2338-1	2339-1	2340-1	2341-1	2342-1	2343-1	2344-1	2345-1	2346-1	2347-1	2348-1	2349-1	2350-1	2351-1	2352-1	2353-1	2354-1	2355-1	2356-1	2357-1	2358-1	2359-1	2360-1	2361-1	2362-1	2363-1	2364-1	2365-1	2366-1	2367-1	2368-1	2369-1	2370-1	2371-1	2372-1	2373-1	2374-1	2375-1	2376-1	2377-1	2378-1	2379-1	2380-1	2381-1	2382-1	2383-1	2384-1	2385-1	2386-1	2387-1	2388-1	2389-1	2390-1	2391-1	2392-1	2393-1	2394-1	2395-1	2396-1	2397-1	2398-1	2399-1	2400-1	2401-1	2402-1	2403-1	2404-1	2405-1	2406-1	2407-1	2408-1	2409-1	2410-1	2411-1	2412-1	2413-1	2414-1	2415-1	2416-1	2417-1	2418-1	2419-1	2420-1	2421-1	2422-1	2423-1	2424-1	2425-1	2426-1	2427-1	2428-1	2429-1	2430-1	2431-1	2432-1	2433-1	2434-1	2435-1	2436-1	2437-1	2438-1	2439-1	2440-1	2441-1	2442-1	2443-1	2444-1	2445-1	2446-1	2447-1	2448-1	2449-1	2450-1	2451-1	2452-1	2453-1	2454-1	2455-1	2456-1	2457-1	2458-1	2459-1	2460-1	2461-1	2462-1	2463-1	2464-1	2465-1	2466-1	2467-1	2468-1	2469-1	2470-1	2471-1	2472-1	2473-1	2474-1	2475-1	2476-1	2477-1	2478-1	2479-1	2480-1	2481-1	2482-1	2483-1	2484-1	2485-1	2486-1	2487-1	2488-1	2489-1	2490-1	2491-1	2492-1	2493-1	2494-1	2495-1	2496-1	2497-1	2498-1	2499-1	2500-1	2501-1	2502-1	2503-1	2504-1	2505-1	2506-1	2507-1	2508-1	2509-1	2510-1	2511-1	2512-1	2513-1	2514-1	2515-1	2516-1	2517-1	2518-1	2519-1	2520-1	2521-1	2522-1	2523-1	2524-1	2525-1	2526-1	2527-1	2528-1	2529-1	2530-1	2531-1	2532-1	2533-1	2534-1	2535-1	2536-1	2537-1	2538-1	2539-1	2540-1	2541-1	2542-1	2543-1	2544-1	2545-1	2546-1	2547-1	2548-1	2549-1	2550-1	2551-1	2552-1	2553-1	2554-1	2555-1	2556-1	2557-1	2558-1	2559-1	2560-1	2561-1	2562-1	2563-1	2564-1	2565-1	2566-1	2567-1	2568-1	2569-1	2570-1	2571-1	2572-1	2573-1	2574-1	2575-1	2576-1	2577-1	2578-1	2579-1	2580-1	2581-1	2582-1	2583-1	2584-1	2585-1	2586-1	2587-1	2588-1	2589-1	2590-1	2591-1	2592-1	2593-1	2594-1	2595-1	2596-1	2597-1	2598-1	2599-1	2600-1	2601-1	2602-1	2603-1	2604-1	2605-1	2606-1	2607-1	2608-1	2609-1	2610-1	2611-1	2612-1	2613-1	2614-1	2615-1	2616-1	2617-1	2618-1	2619-1	2620-1	2621-1	2622-1	2623-1	2624-1	2625-1	2626-1	2627-1	2628-1	2629-1	2630-1	2631-1	2632-1	2633-1	2634-1	2635-1	2636-1	2637-1	2638-1	2639-1	2640-1	2641-1	2642-1	2643-1	2644-1	2645-1	2646-1	2647-1	2648-1	2649-1	2650-1	2651-1	2652-1	2653-1	2654-1	2655-1	2656-1	2657-1	2658-1	2659-1	2660-1	2661-1	2662-1	2663-1	2664-1	2665-1	2666-1	2667-1	2668-1	2669-1	2670-1	2671-1	2672-1	2673-1	2674-1	2675-1	2676-1	2677-1	2678-1	2679-1	2680-1	2681-1	2682-1	2683-1	2684-1	2685-1	2686-1	2687-1	2688-1	2689-1	2690-1	2691-1	2692-1	2693-1	2694-1	2695-1	2696-1	2697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**RICHMOND
COMMUNITY
HOUSING**

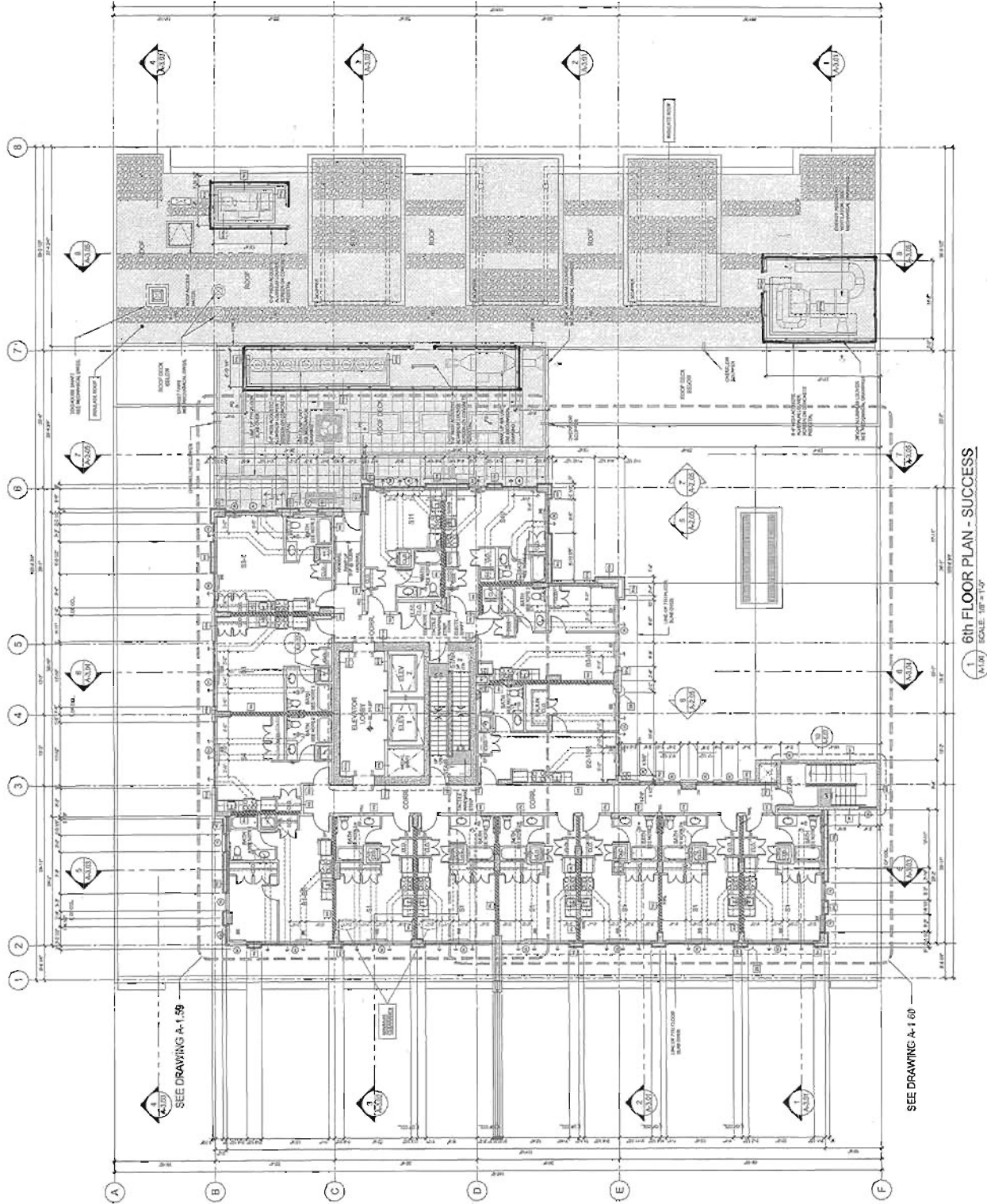
3111 GRUNWELL AVE.,
RICHMOND BRIDGE RD.,
RICHMOND, B.C.

B.C. Canada

6TH FLOOR PLAN

Plan 12 Jan 31, 2014
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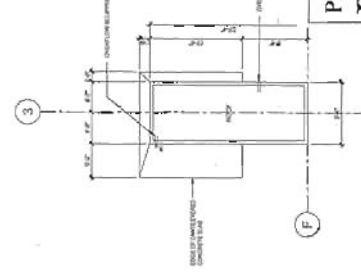
NOTES:

1. PROVIDE 1/2" A.P. INSULATION IN WALLS AND FLOORS (SEE DRAWING A-1.1.1).
2. PROVIDE 1/2" A.P. INSULATION IN WALLS AND FLOORS (SEE DRAWING A-1.1.1).
3. PROVIDE 1/2" A.P. INSULATION IN WALLS AND FLOORS (SEE DRAWING A-1.1.1).
4. PROVIDE 1/2" A.P. INSULATION IN WALLS AND FLOORS (SEE DRAWING A-1.1.1).
5. PROVIDE 1/2" A.P. INSULATION IN WALLS AND FLOORS (SEE DRAWING A-1.1.1).
6. PROVIDE 1/2" A.P. INSULATION IN WALLS AND FLOORS (SEE DRAWING A-1.1.1).
7. PROVIDE 1/2" A.P. INSULATION IN WALLS AND FLOORS (SEE DRAWING A-1.1.1).
8. PROVIDE 1/2" A.P. INSULATION IN WALLS AND FLOORS (SEE DRAWING A-1.1.1).
9. PROVIDE 1/2" A.P. INSULATION IN WALLS AND FLOORS (SEE DRAWING A-1.1.1).
10. PROVIDE 1/2" A.P. INSULATION IN WALLS AND FLOORS (SEE DRAWING A-1.1.1).

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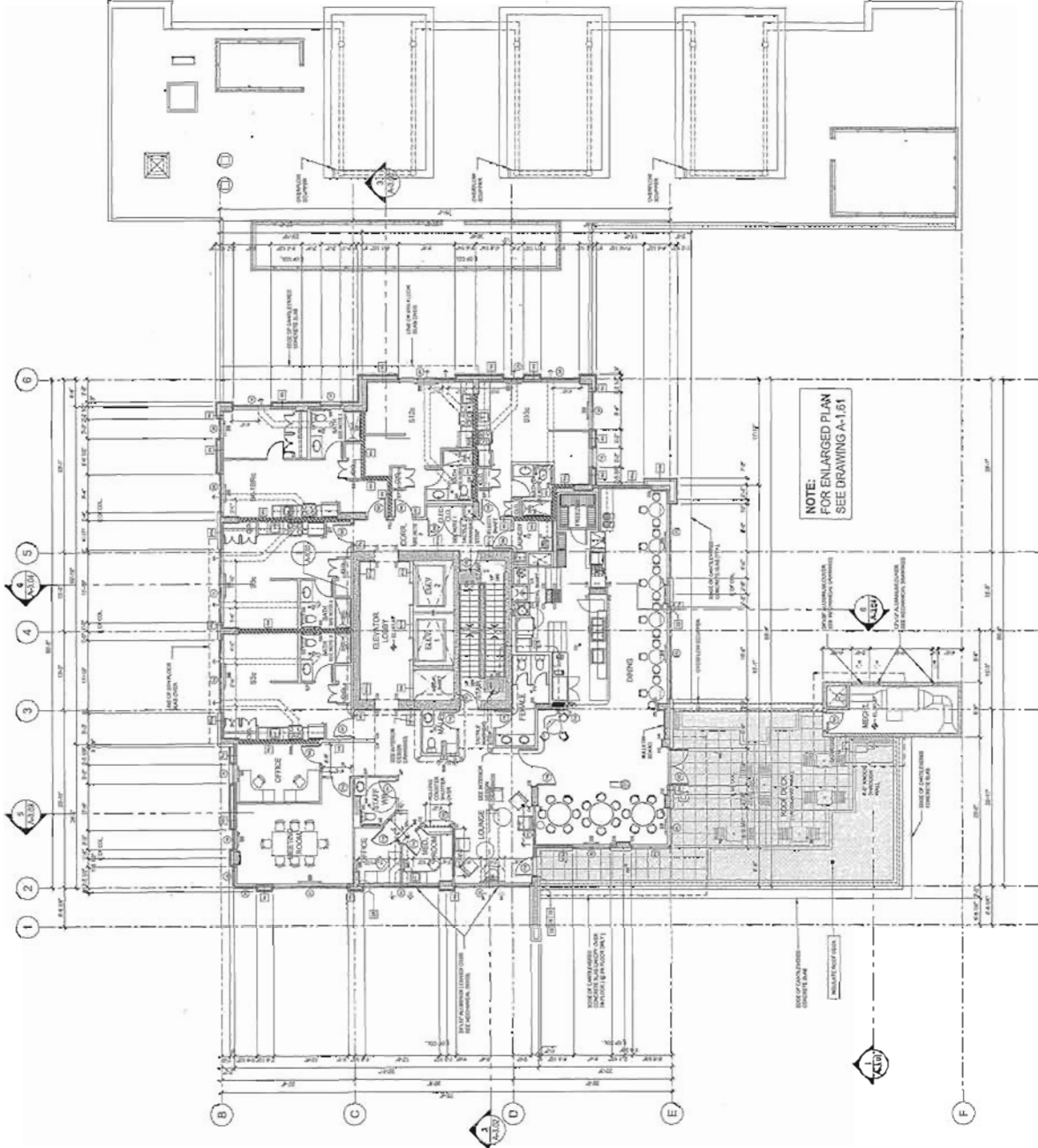
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7TH FLOOR PLAN

Plan 13 Jan 31, 2014
DP 12-605094

1 7th FLOOR PLAN - COAST
 SCALE: 1/8" = 1'-0"

A-1.07



2 ROOF PLAN - MECH ROOM
 SCALE: 1/8" = 1'-0"

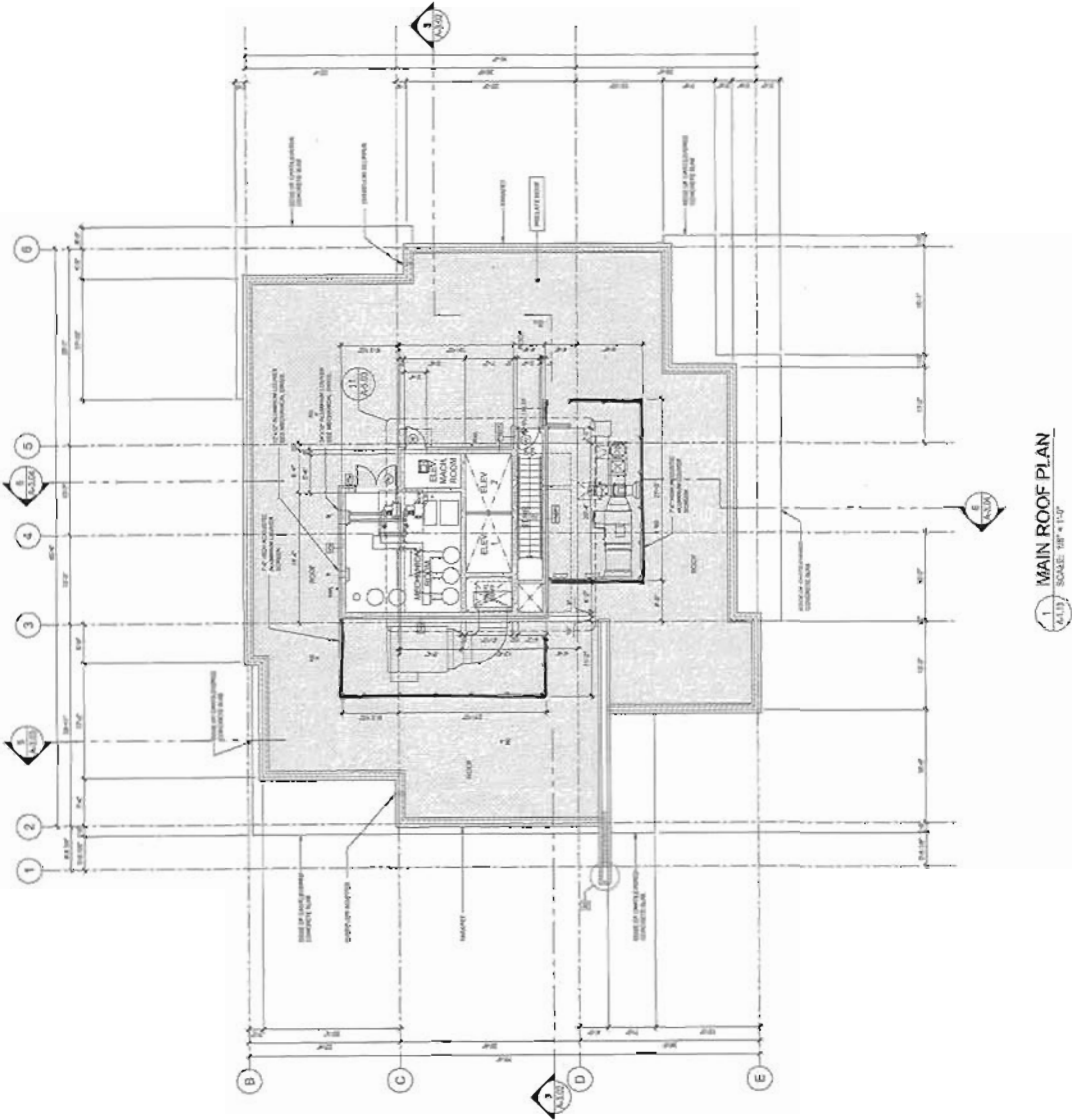
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ROOF PLAN

Plan 14 Jan 31, 2014
DP 12-605094

A-1.13





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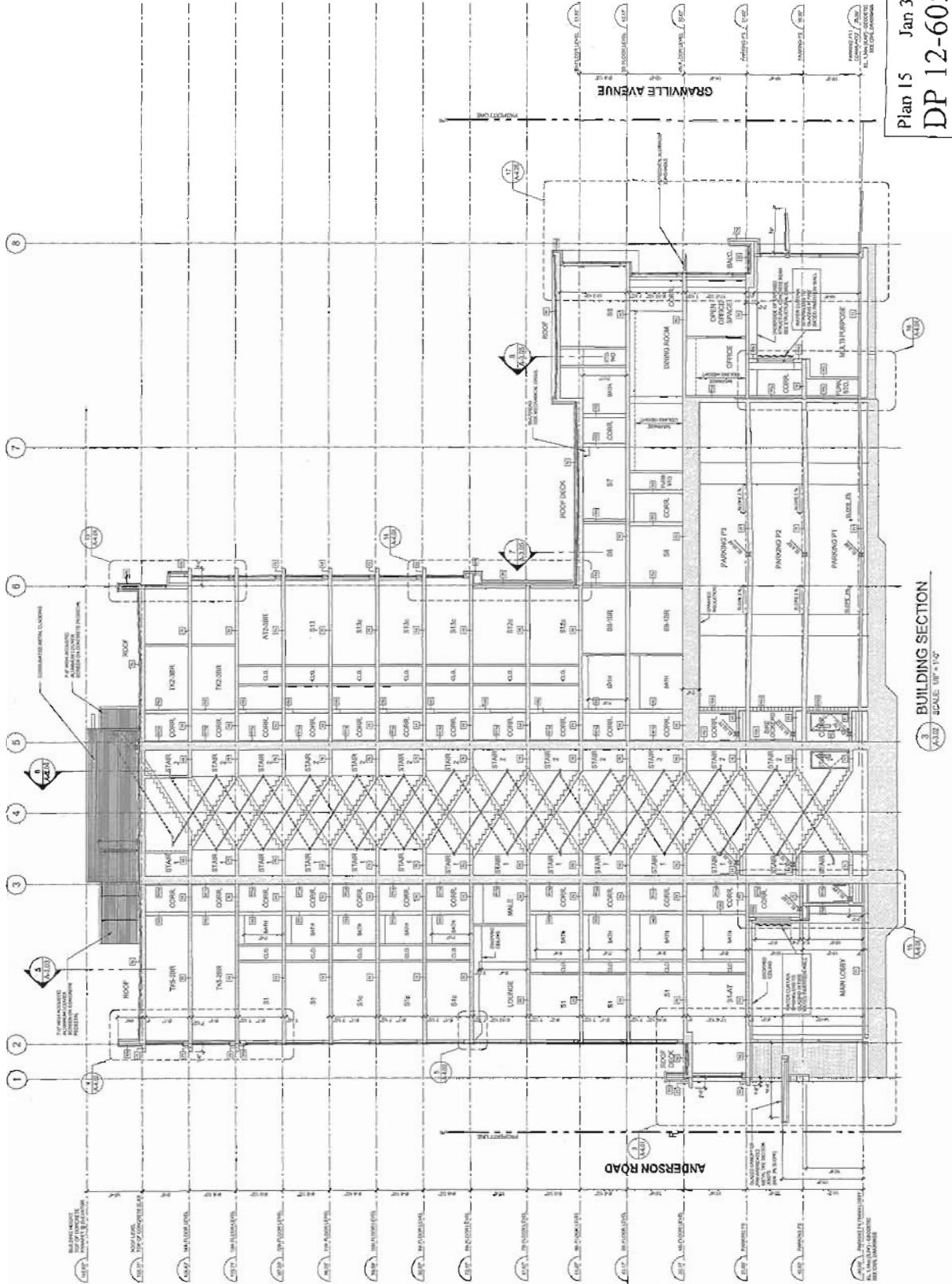
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V6X 4M5

BUILDING SECTION 3

NO.	DESCRIPTION	DATE
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Plan 15 Jan 31, 2014
DP 12-605094
A-3.02





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3	NOV. 11, 2013	ISSUE FOR PERMITTING
4	NOV. 11, 2013	ISSUE FOR PERMITTING
5	NOV. 11, 2013	ISSUE FOR PERMITTING

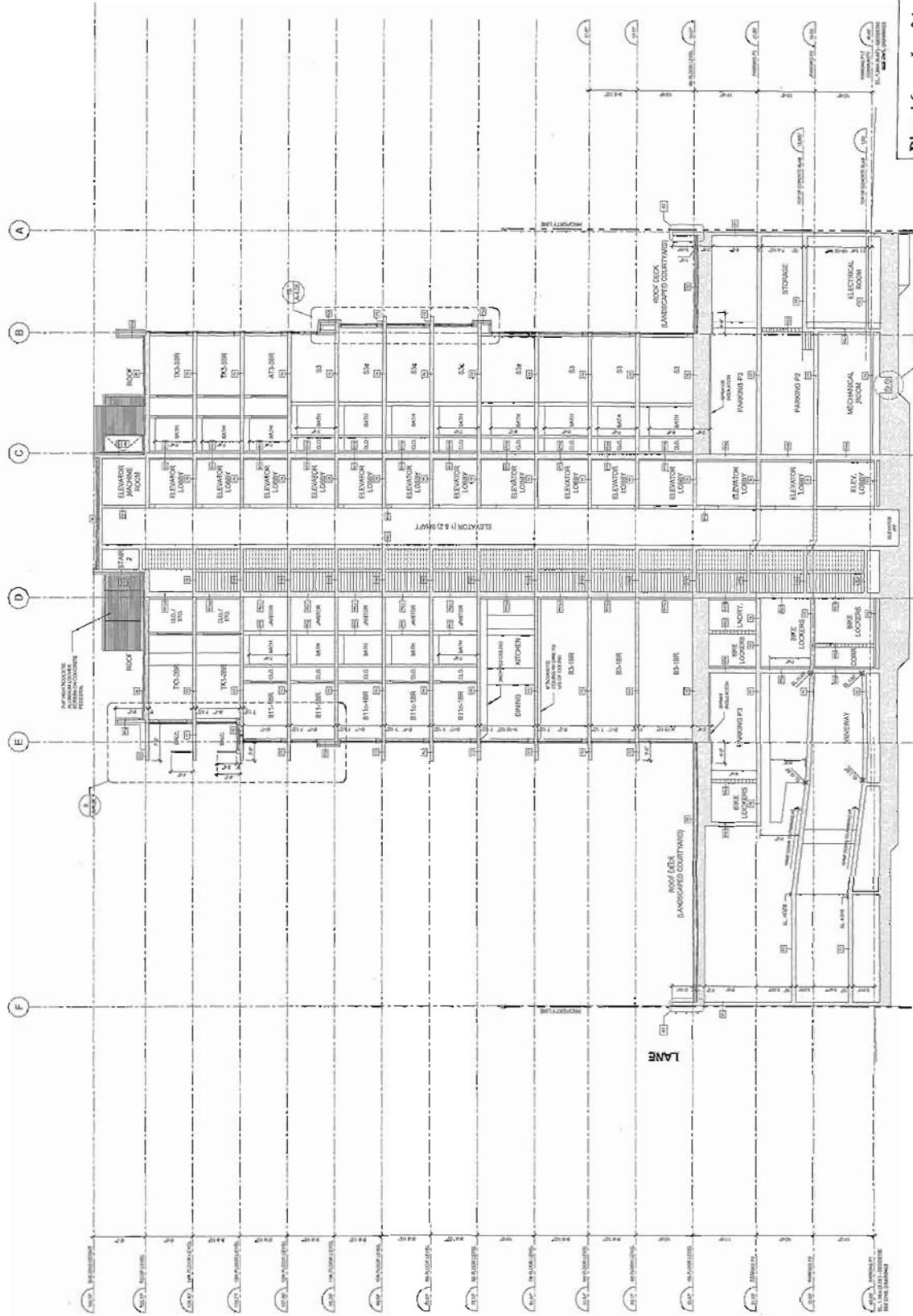
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BUILDING SECTION 6

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3	NOV. 11, 2013	ISSUE FOR PERMITTING
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5	NOV. 11, 2013	ISSUE FOR PERMITTING

A-3.04

Plan 16 Jan 31, 2014
DP 12-605094



BUILDING SECTION 6
SCALE: 1/8" = 1'-0"

NOTES

1. PROVIDE MECHANICAL VENTILATION FOR ALL KITCHENS, BATHS, AND BEDROOMS. PROVIDE MECHANICAL EXHAUST FOR ALL BATHS AND BEDROOMS.
2. PROVIDE MECHANICAL EXHAUST FOR ALL KITCHENS, BATHS, AND BEDROOMS. PROVIDE MECHANICAL EXHAUST FOR ALL BATHS AND BEDROOMS.
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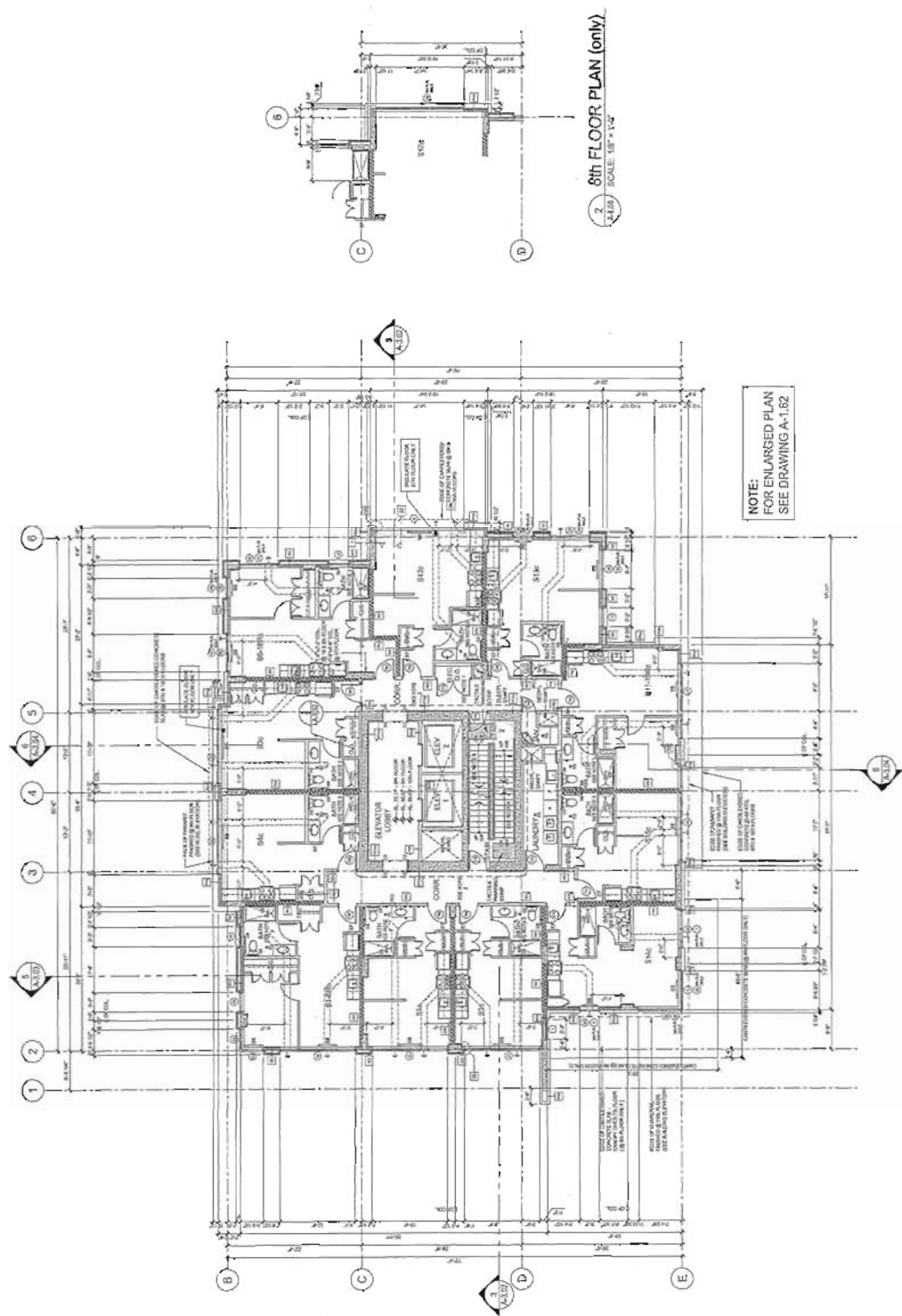


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Reference Plan Jan 31, 2014
DP 12-605094

A-1.08



1 TYP - 8th, 9th & 10th FLOOR PLAN - COAST
 SCALE: 1/8" = 1'-0"

2 8th FLOOR PLAN (only)
 SCALE: 1/8" = 1'-0"

NOTES:

1. PROVIDE A SET OF 4000 COPIES TO THE
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FOR THE 11TH FLOOR PLAN.
2. PROVIDE A SET OF 4000 COPIES TO THE
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3. PROVIDE A SET OF 4000 COPIES TO THE
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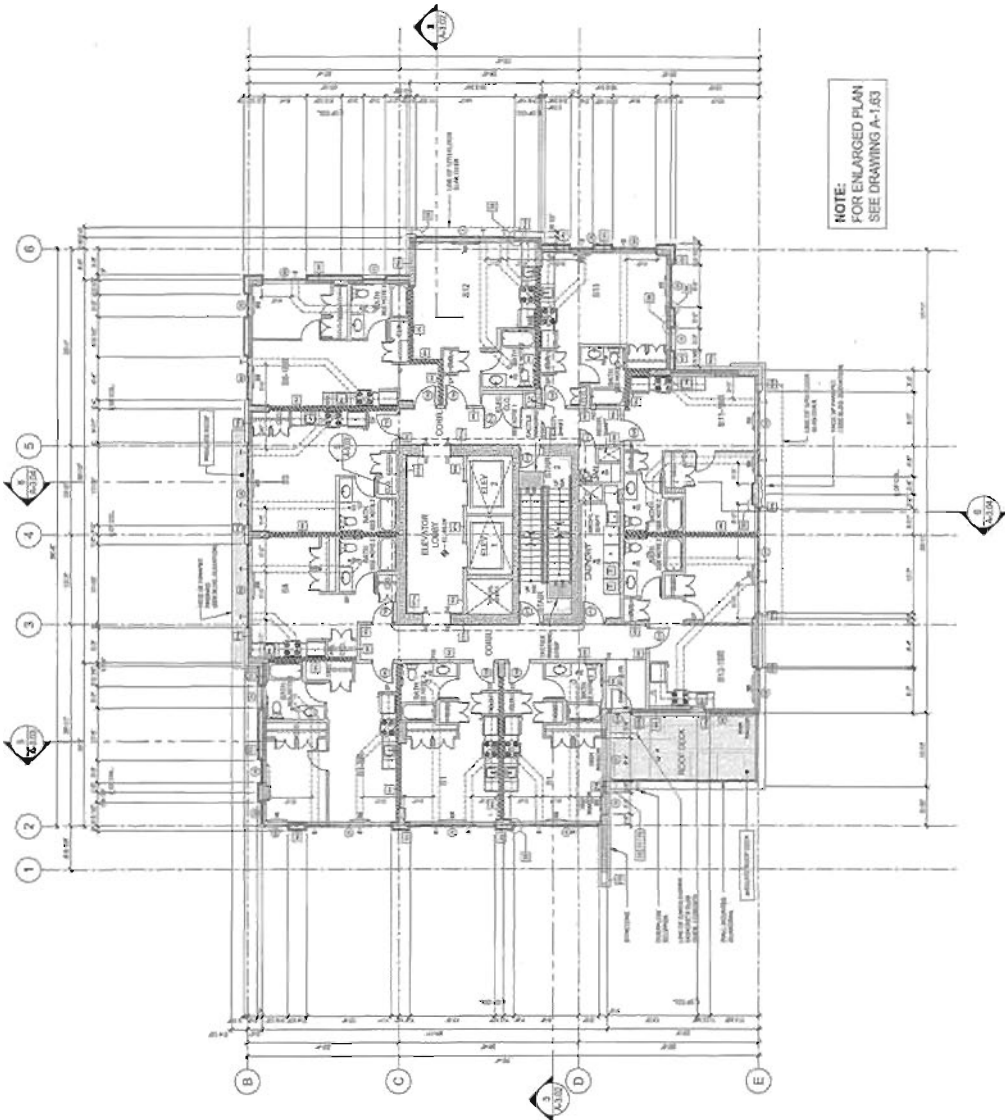
11TH FLOOR PLAN

RICHMOND COMMUNITY HOUSING
11TH FLOOR PLAN
RICHMOND, BC

11TH FLOOR PLAN

Reference Plan Jan 31, 2014
DP 12-605094

A-1.09



11th FLOOR PLAN - TURNING POINT
SCALE: 1/8" = 1'-0"



Age	Gender	Height (cm)	Weight (kg)	Body Mass Index (kg/m ²)	Waist Circumference (cm)	Waist-Hip Ratio	Trunk Fat (%)	Visceral Fat (cm)	Subcutaneous Fat (cm)	Visceral Fat Index (cm ²)	Subcutaneous Fat Index (cm ²)	Visceral Fat to Subcutaneous Fat Ratio
20	M	175	75	24.5	95	0.92	15	1.5	2.5	0.6	1.5	0.4
25	F	165	65	23.8	85	0.88	12	1.2	2.2	0.5	1.2	0.4
30	M	180	85	26.2	105	0.95	18	1.8	2.8	0.7	1.8	0.4
35	F	170	75	25.9	95	0.91	16	1.6	2.6	0.6	1.6	0.4
40	M	175	85	28.6	110	0.98	20	2.0	3.0	0.8	2.0	0.4
45	F	165	75	27.3	100	0.96	18	1.8	2.8	0.7	1.8	0.4
50	M	180	95	30.6	115	1.00	22	2.2	3.2	0.9	2.2	0.4
55	F	170	85	29.4	105	0.99	20	2.0	3.0	0.8	2.0	0.4
60	M	175	95	31.1	115	1.01	22	2.2	3.2	0.9	2.2	0.4
65	F	165	85	31.5	105	1.00	20	2.0	3.0	0.8	2.0	0.4
70	M	175	95	31.1	115	1.01	22	2.2	3.2	0.9	2.2	0.4
75	F	165	85	31.5	105	1.00	20	2.0	3.0	0.8	2.0	0.4
80	M	175	95	31.1	115	1.01	22	2.2	3.2	0.9	2.2	0.4
85	F	165	85	31.5	105	1.00	20	2.0	3.0	0.8	2.0	0.4
90	M	175	95	31.1	115	1.01	22	2.2	3.2	0.9	2.2	0.4
95	F	165	85	31.5	105	1.00	20	2.0	3.0	0.8	2.0	0.4
100	M	175	95	31.1	115	1.01	22	2.2	3.2	0.9	2.2	0.4

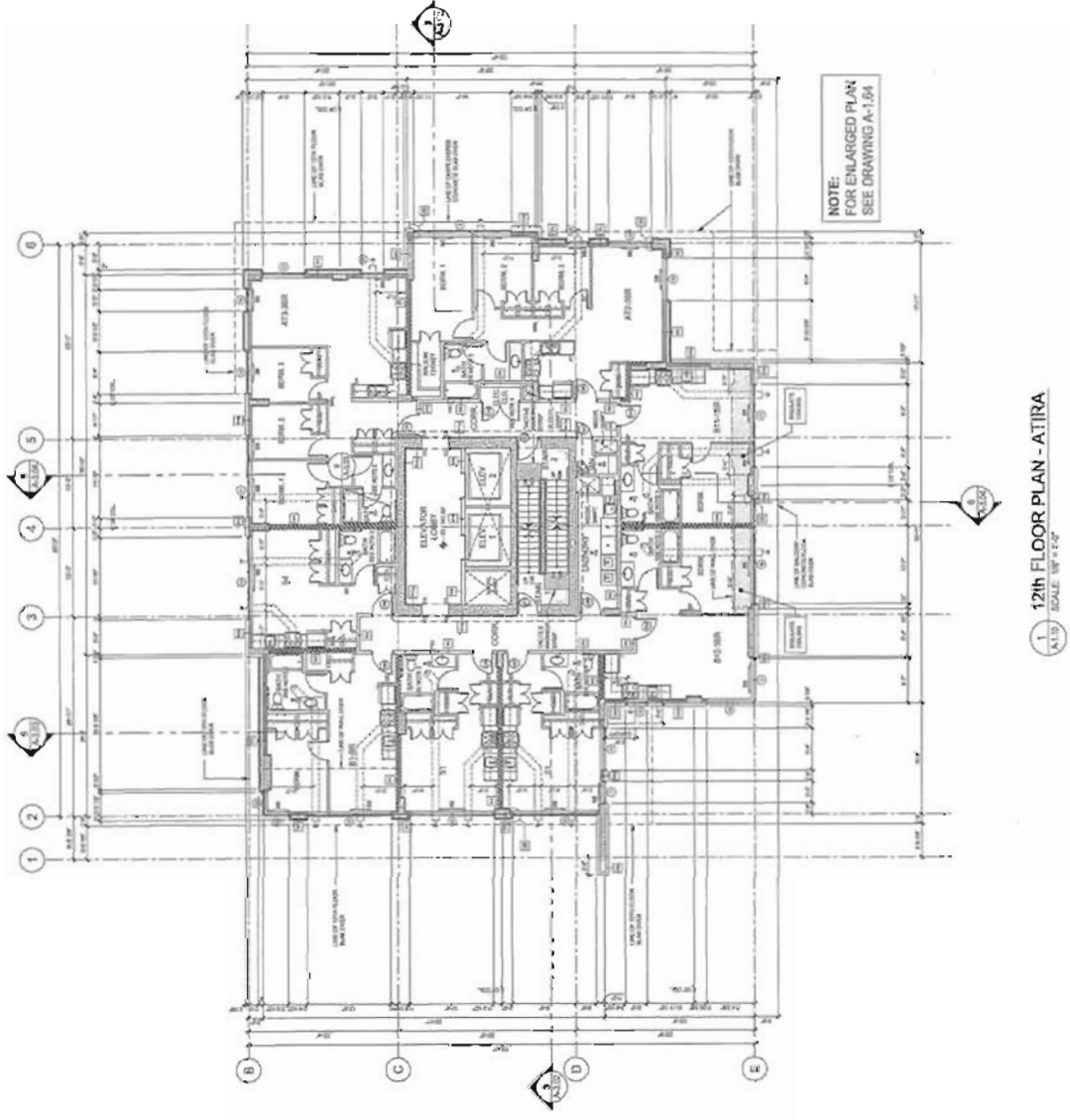
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SEASIDE, WISCONSIN 53083
TEL. (414) 461-1111

12TH FLOOR PLAN

Reference Plan Jan 31, 2014
DP 12-605094

A-1.10



NOTES:
 1. PROVIDE ALL 1/4" AND 1/2" DIMENSIONS IN INCHES.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.



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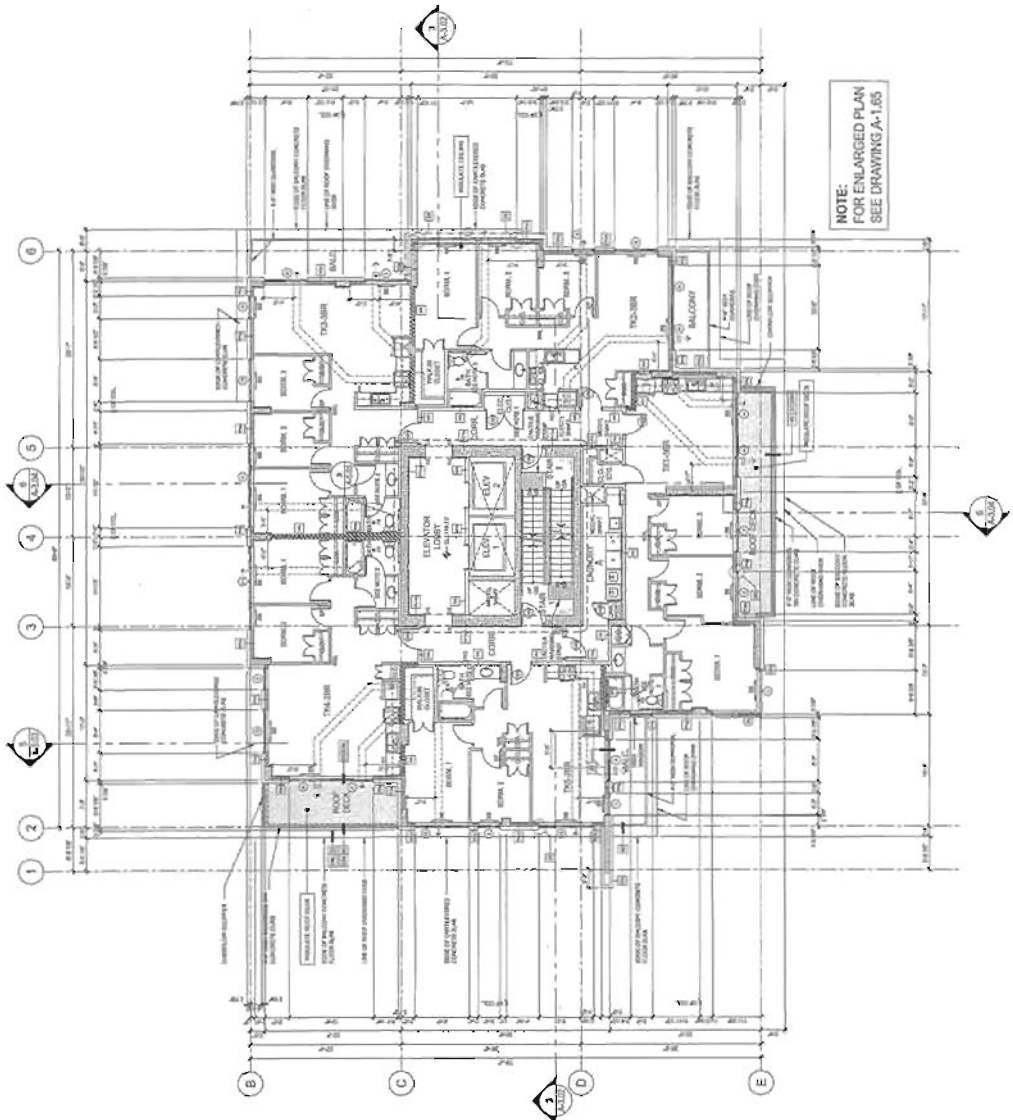
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13TH FLOOR PLAN

Reference Plan Jan 31, 2014
DP 12-605094

A-1.11



13th FLOOR PLAN - TKVA
 SCALE: 1/8" = 1'-0"

NOTES:
 1. UNLESS NOTED, ALL DIMENSIONS ARE IN METERS.
 2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 3. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 4. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 5. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.



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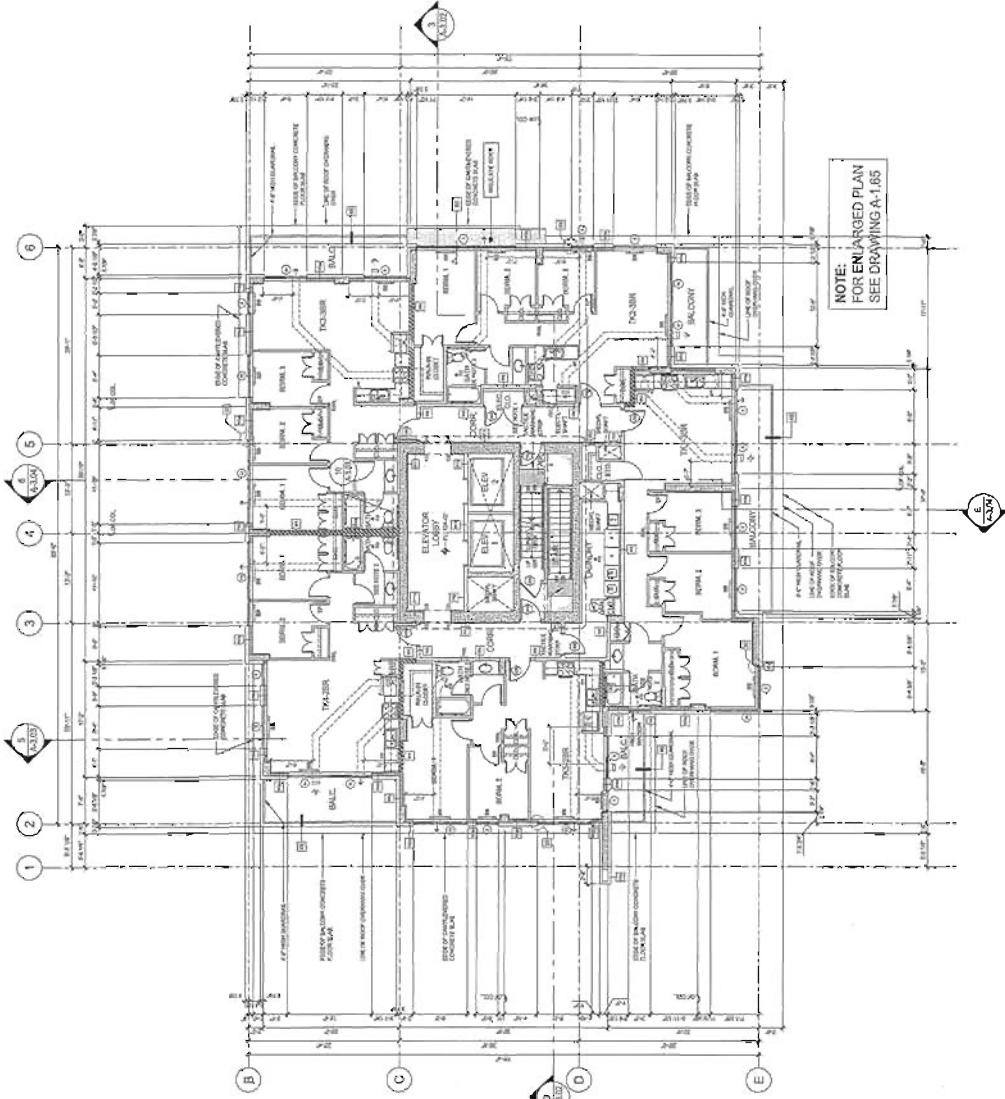
10TH FLOOR PLAN

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 VANCOUVER, BC V6Z 1Y1

10TH FLOOR PLAN

Reference Plan Jan 31, 2014
DP 12-605094

A-1.12



14th FLOOR PLAN - TIKVA
 SCALE: 1/8" = 1'-0"