

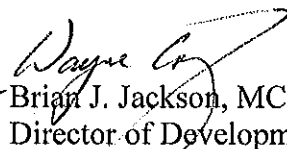


To: Development Permit Panel
From: Brian J. Jackson, MCIP
Director of Development
Date: February 7, 2011
File: DP 10-551711
Re: **Application by Polygon Mayfair Place Homes Ltd. for a Development Permit at
9331, 9351, 9371, 9391, and 9411 Odlin Road**

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of 358 unit apartment complex with an indoor amenity building over one level of parking at 9331, 9351, 9371, 9391 and 9411 Odlin Road on a site zoned "Low Rise Apartment (ZLR24) Alexandra Neighbourhood (West Cambie)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - a) Increase the maximum lot coverage from 45% to 46.4%.
 - b) Reduce the parkade setback off of Odlin Road from 3.8 meters to 3.0 meters.

for 
Brian J. Jackson, MCIP
Director of Development

BJJ:dj
Att.

Staff Report

Origin

Polygon Mayfair Place Homes Ltd. has applied to the City of Richmond for permission to develop a 358 unit apartment complex with a separate indoor amenity building, all over one level of parking at 9331, 9351, 9371, 9391 and 9411 Odlin Road on a site zoned "Low Rise Apartment (ZLR24) Alexandra Neighbourhood (West Cambie)". The site is currently vacant.

The site has been rezoned from "Single Detached (RS1/F)" to "Low Rise Apartment (ZLR24) Alexandra Neighbourhood (West Cambie)" for this project under Bylaw 8673 (RZ 10-537689). Council adopted the Zoning Bylaw amendment at their January 24, 2011 meeting.

As a condition of rezoning, a separate Servicing Agreement (SA 11-560860) has been entered into for utility upgrades as determined by the approved capacity analysis, road construction and frontage improvements to McKim Way, Odlin Road, and an interim public use path for Alexandra Way multi-use corridor. The ultimate construction of this public use corridor to the final design will take place when the adjacent properties to the west develop. This ultimate development will also include improvements and completion of Alexandra Way where it fronts Odlin Road and McKim Way to the crosswalk.

Development Information

Please refer to attached Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

To the North: Across the future McKim Way:

- A 251 unit, six (6) storey apartment complex over one level of parking and covering three separate buildings at 9388 Cambie Road as part of DP 08-430877 and zoned "Low Rise Apartment (ZLR22) – Alexandra Neighbourhood (West Cambie)"
- A 259 unit, six (6) storey apartment complex over one level of parking covering four separate buildings at 4008 Stolberg Street as part of DP 08-431155 and zoned "Low Rise Apartment (ZLR22) – Alexandra Neighbourhood (West Cambie)".

To the South: Across Odlin Road:

- A 259 unit, four (4) storey apartment complex over one level of parking, covering three separate buildings at 9288 Odlin Road and 9199, 9299 Tomicki Avenue as part of DP 06-352741 and zoned "Low Rise Apartment (ZLR20) – Alexandra Neighbourhood (West Cambie)"
- A 221 unit, four (4) storey apartment complex over one level of parking, covering two separate buildings at 9340, 9360 and 9400 Odlin Road as part of DP 09-453125 and zoned "Low Rise Apartment (ZLR24) – Alexandra Neighbourhood (West Cambie)"
- A 228 unit, four (4) storey apartment complex over one level of parking, covering two separate buildings at 9500 Odlin Road as part of DP 08-432218 and zoned "Low Rise Apartment (ZLR24) – Alexandra Neighbourhood (West Cambie)".

To the East:

- Single Family Houses on lots zoned Single Detached (RS1/F) and with the same OCP land use designation of the subject site.

To the West:

- Single Family Houses on lots zoned Single Detached (RS1/F) and with the same OCP land use designation of the subject site.

Rezoning and Public Hearing Results

During the rezoning process, staff identified the following design issues to be resolved at the Development Permit stage. Staff worked with the applicant to address these issues. Steps taken on this regard are included below in *bold italics*.

1. Design of the interim and final design of the Alexandra Way thoroughfare. These designs are to include:
 - a) Connection with the units fronting the throughway;
 - *Ground level units fronting Alexandra Way have a direct connection to the thoroughway from their outdoor patio via their own stairway.*
 - b) Connection with the access to the central courtyard;
 - *Connection to the central courtyard via Alexandra Way is through a midpoint, public right-of-way node/ plaza area with the intent of providing a natural opening toward the proposed courtyard. This plaza will provide opportunities for seating and resident access to the raised courtyard via a stairway and ramp.*
 - c) Intersection design at both Odlin Road and McKim Way;
 - *The applicant has made great efforts to provide a design that meets the intent of the Alexandra Way thoroughway at these intersections. Landscaping has been pulled back and paving material at these intersections have been widened that will provide an open and easily identifiable entry for users of the pathway.*
 - d) Frontage improvements to and from the intersection to the crosswalk; and
 - *With the improvements to the intersection design of Alexandra Way, the applicant has extended the paving features of the main path along the frontages of both Odlin Road and McKim Way to the designed crosswalks that will connect with other sections of Alexandra Way as it navigates through the neighbourhood.*
 - e) The crosswalk across Odlin Road and McKim Way.
 - *The crosswalk across Odlin Road and McKim Way is intended to provide continuity of, and connections to other sections of Alexandra Way as mentioned above. The details are being resolved through the Servicing Agreement that is currently being discussed between staff and the applicant.*
2. Overall appropriateness of the landscaping plan – in particular the central amenity area and courtyard.
 - *The applicant has provided a landscape plan that provides a variety of plantings and will create a pleasing experience to members of the public who view and use the street frontages and along the Alexandra Way corridor as well as several hard and soft landscaping features within the central courtyard. The residents will also benefit from a well designed outdoor amenity space and children's play area.*
3. Adjust the underground parking stall configuration to meet the stall width of a small car to 2.3 meters.

- *The applicant has modified the stalls to meet the size requirements in accordance with the Zoning Bylaw. They have also increased the number of small car stalls to minimize the variance request.*
4. Provide an illustration to show the manoeuvrability of SU9 vehicles to and from the loading bays.
 - *The applicant has provided this information to the satisfaction of the Transportation Engineering Division.*
 5. Design of a child's play area within the outdoor amenity area.
 - *The applicant has provided details of the child's play area which is located adjacent to the indoor amenity building. Details can be found in the submitted landscaping drawings.*
 6. Overall appropriateness to the form and character of the buildings and the interaction to the street.
 - *The applicant has made improvements to the appearance of the building that will have a positive public impact. The design did receive acceptance from the Advisory Design Panel.*
 7. Appearance of the building along McKim Way to address design issues at the intersection of Stolberg Street and McKim Way.
 - *The land assembly for this development created an interesting design challenge, as part of the building face will be viewed all the way down Stolberg Street which connects McKim Way to Cambie Road. As this will be a highly visible component of the building, additional attention was given to this part of the façade. The Advisory Design Panel appreciated the efforts made to this part of the building and claimed the applicant was successful in meeting the intent.*

The Public Hearing for the rezoning of this site was held on December 20, 2010. At the Public Hearing, no concerns about rezoning the property were expressed.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with Zoning Bylaw 8500 except for the zoning variances noted below.

Zoning Compliance/Variations (staff comments in bold)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- a) Increase the maximum lot coverage from 45% to 46.4%..

Staff supports the proposed variance as a relatively minor variance to the Bylaw to facilitate a well designed, self-standing amenity building as a centrepiece within the proposed central courtyard.

- b) Reduce the parkade setback off of Odlin Road from 3.8 meters to 3.0 meters..

Staff supports the proposed variance as a relatively minor variance to the Bylaw. The parkade will protrude approximately 2 meters above the sidewalk along Odlin Road, however the finished landscaping will include a terraced system that will be well landscaped to screen the parkade from public view.

Advisory Design Panel Comments

The Advisory Design Panel was held on January 19, 2011. A copy of the relevant excerpt from the Advisory Design Panel Minutes from this meeting is attached for reference (**Attachment 2**). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '**bold**'.

Analysis

Conditions of Adjacency

- The West Cambie Area Plan – Alexandra Neighbourhood Development Permit Guidelines, identifies the subject site as Character Area 4 – Medium Density Housing, which includes Low-Rise Apartments (4 storeys typical). The form and massing conforms to this description and is also characterized by the direct connection of the ground floor units to the public sidewalks and Alexandra Way, the multi-use corridor through the neighbourhood.
- The proposal by implementing Alexandra Way along its west side will provide a connection to adjacent developments taking place across Odlin Road to the south and across McKim Way to the north. The four-storey development from Esperanza Homes to the south will have a similar height and frontage features but will be somewhat narrower than what is being proposed here – mainly due to a smaller land assemble opportunity. The Oris development to the north differs as it will be a six storey gateway development, at the north entrance of the neighbourhood from Cambie Street.
- In accordance with the West Cambie Area Plan – Alexandra Neighbourhood, the first level units along both Odlin Road and McKim Way establish a continuous street – orientated building character through direct connections to the sidewalk from private patios. Building recesses and a range of building materials emphasizes the visual connection with each patio, establishes a pedestrian scale and provides adequate articulation of the building's frontage.
- The West Cambie Area Plan – Alexandra Neighbourhood introduces a pedestrian-orientated path through the neighbourhood (Alexandra Way) with a section of this path running along the western edge of the subject site. This section will comprise one-half of the throughway, ultimately consisting of a 10.0 meter wide PROP ROW width, with the remaining portion of the corridor and construction to its final design to be provided by the developer of the lands abutting the development site to the west. In the meantime, the applicant is to design and construct an interim path long the western edge of the property. This interim path will facilitate pedestrian access to the ground floor units along the Alexandra Way corridor from Odlin Road to McKim Way. This interim public walkway will also provide access to the private central courtyard/outdoor space of this development.
- A minimum 2.6 meter GSC elevation for habitable areas requires that on-site grading be altered to accommodate the increase from the existing grades.
- Due to the high water table in the area, the parkade will protrude above the finished grade of the road by approximately two (2) meters. To mitigate the visual impact along the edges of the site, the applicant is proposing terraced landscaping to cover all three frontages (including Alexandra Way along the western side of the site). The exposed concrete wall of the parkade, along the eastern edge, will be approximately three (3) meters above existing grade of the adjacent property. It is expected when this property is developed it will abut this parkade wall and the finished grade will match the grade of this proposal.

Urban Design and Site Planning

- The proposal is a 358 unit apartment complex that will include 16 units of affordable housing distributed throughout the two buildings that surround a central landscaped courtyard and a

separate indoor amenity building, all over one level of underground parking. Each of the two buildings addresses their respective street and provide their own entrance lobby, which connect with the central courtyard/outdoor amenity space.

- Land dedication for the purpose of constructing the new McKim Way is in accordance with the neighbourhood plan. The applicant is to construct the road and frontage improvements for McKim Way which is secured through the rezoning process.
- This project is to be completed in two phases. The site plan on the attached drawings identify the phasing line with the south building, the indoor amenity building, the entire underground parkade and the construction of Alexandra Way in accordance with the interim design being constructed in the first phase, with the north building to be constructed in the second phase.
- The pedestrian Alexandra Way corridor allows for direct access to ground floor units fronting the corridor on the western side as well the central courtyard, at mid-point.
- Parking for this development is via two separate access points – one off each street fronting this development. The main access will be off McKim Way when the second phase is completed; access off Odlin Road will be the only point of access to the parking level until the second phase is complete. This arrangement has been supported by the Transportation Engineering Division.
- The number of parking stalls do not meet the parking requirements of Zoning Bylaw 8500 with the number of proposed stalls at 585 and the required stalls at 612 (deficient by 27 stalls), however the applicant has provided a Transportation Demand Management (TDM) plan that will require the applicant to construct a one block long sidewalk along the southern edge of Odlin Road that will connect Garden City Road to Dubbert Street. The proposed sidewalk improvements will encourage residents to better utilize existing public transit services along Garden City Road. The new sidewalk will also be of great benefit to the adjacent Meridian Gate development as well as this proposal. With the TDM plan accepted by the Transportation Engineering Division, no variance to the Bylaw is required.
- The main garbage and recycling containers are located within the parkade, at the base of the entry ramp off the McKim Way access. During the phasing of this development, a temporary area at the base of the parkade ramp off Odlin Road will serve to house these bins until the second phase is finished. Once the proposed development is complete this temporary area will change to long term bike storage area. In both cases, the bins will be moved to and from the parkade level to the loading area by a private contractor where it will be emptied through City services.
- Secured bike parking is located in several areas of the parkade level and meet the number of long-term bike stalls as required in the parking provisions of Zoning Bylaw 8500.
- A key element to this development and an important connection to the community is Alexandra Way, a pedestrian thoroughway in the heart of the Alexandra neighbourhood. A section of Alexandra Way will run along the western edge of the subject site and will connect Odlin Road to the south and McKim Way to the north. The pedestrian corridor ROW will be privately owned but public access will be secured through the registration of an access easement. As the development of Alexandra Way is to be shared between this development and a future development directly to the west, the applicant has supplied an interim design of the thoroughway within the subject site as well as a final design that includes the neighbouring property. When the property to the west is redeveloped, this final design will be implemented as part of that development, as the developer will be responsible for its full completion. To ensure that there is a clear visual continuity of Alexandra Way with other sections in the neighbourhood, the final pavement design is reflected along the frontages of

the development site from its intersections with Odlin Road and McKim Way to the respective crosswalks that connect to the other portions of Alexandra Way. This way-finding features are reflected on the pavement details in the submitted landscaping drawings.

Architectural Form and Character

- Overall, the proposal meets the massing and architectural form as outlined in the Design Guidelines of the Neighbourhood Plan. The design does a good job in highlighting vertical massing which help identify individual units as well as the main entry lobby from McKim Way in particular. Balconies add interest to the proposal's continuous building frontage.
- The residential units have private outdoor space in the form of balconies or ground level patio space. All ground level units have patio space with those along the outside perimeter having direct access to either the street (in the north or south units), or Alexandra Way to the west. The ground level units fronting the interior courtyard have patios with direct access to the central courtyard/outdoor amenity space.
- The roof-line follows the building perimeter which helps add to the articulation and interest.
- The design includes strong massing of its vertical elements that are highlighted by a combination of colours, trims and siding patterns.
- Colour choices conform to the area design guidelines and consist of bright and warm colours. This will give a positive and cheerful appearance on grey winter days.
- The choice of materials meet the criteria set out in the neighbourhood plan and will be a welcome addition to the surrounding neighbourhood. The use of brick on the lower levels of the buildings fronting the street provides a solid massing at the base that wraps around the corner well enough to provide additional articulation on the side elevations (east and west). This brick treatment also helps to anchor the corners of the building at the entrance points to Alexandra Way and, at mid-point of Alexandra Way into the central private courtyard.
- Different widths and colours of hardiboard are utilized to provide additional articulation to the façade on the upper levels that allow the large windows to have a greater presence. The proposed asphalt shake pattern adds texture to the roof.
- Architectural detailing and treatment of portion of the building fronting McKim Way, establish a visual landmark/feature at the south end of Stolberg Street, at the intersection with McKim Way. Staff has worked with the applicant to provide this interesting building treatment at this highly visible portion of the building at the south end of Stolberg Street. The current proposal met with the acceptance of the Advisory Design Panel.

Landscape Design and Open Space Design

- The applicant has addressed the landscaping comments and recommendations made by the Advisory Design Panel (ADP), contained in **Attachment 2**, and improved the usability of the outdoor amenity area and the playing options offered by the centrally located play area.
- As the underground parkade protrudes above the finished street grade by approximately two meters, the interface area between this structure and the street and Alexandra Way will be fully landscaped and terraced to cover the edges of the parkade on the three main frontages of the site. This treatment will soften the grade transition toward the street, and help to further articulate these frontages. The exposure of the concrete wall along the eastern edge of the site will butt up against the east property line and expose a blank finish that will eventually be covered up by a future development to the east.

Alexandra Way

- As previously mentioned, the applicant will be supplying an interim pathway long the western edge of the subject site in order to introduce this section of Alexandra Way to the

neighbourhood. To aid in the final completion of this section of the throughway, the applicant has provided the final design for this corridor to help any future developer of the site to the west in completing and constructing this pedestrian corridor to its final state.

- From the designed elevation of the ground floor units, the finished grade will slope down to the low retaining wall along the edges of the pedestrian corridor where it will drop to the finished grade of the Alexandra Way Right-of-Way (ROW). This sloping area will contain a variety of soft landscaping to visually help resolving the grade transition.
- The interim hard surfacing of the path will be asphalt and will run along the western edge of the site and will be bordered by a fence along the property line. As indicated in the rezoning report, a five meter wide Public Right of Passage is to be registered to ensure public use of the path as well as additional corner cuts at its north and south endings; a bulb out feature to assist with enhancing the path's intersection with the street, open sight angles and invite its use. In addition, signage at each end of the block will establish the public use of this corridor to the neighbourhood.
- To provide a place of rest for users, an additional 5.0 m by 12.0 m PROP ROW has been defined at the mid-point of Alexandra Way. This paved area/node contains benches that will provide a place for people to gather, relax and contemplate. This mid-point also provides residents of the complex with direct access to their private central courtyard/outdoor amenity area.

Odlin Road and McKim Way

- Similar to the terraced features of Alexandra Way, a combination of trees and shrubs will cover the edge of the parkade toward the street, softening the interface area between the complex and the fronting street. Frontage improvements for sidewalk and boulevard are to be to City standards and administered through the Servicing Agreement.
- To aid in identifying the route of the Alexandra Way throughway, the applicant is providing additional frontage improvements to both Odlin Road and McKim Way that will extend the landscaping, pavement width and treatment of the throughway from its north and south entry points, along the sidewalk in front of this development to the crosswalks to allow users to visually identify continuity of the route of Alexandra Way throughout the neighbourhood.

Central Courtyard – Outdoor Amenity Area

- The central courtyard is the main outdoor amenity area of the complex.
- Access to the courtyard is on the ground level, off of the lobby and by the emergency exits of each main building. Access is also provided at the midpoint of Alexandra Way. Private patios fronting within the central courtyard will be able to directly access the internal path network to the common areas of the courtyard.
- A main attraction of the courtyard is the separate building that is the indoor amenity building. This building provides with various meeting and gathering rooms as well as an exercise room. The building has a direct connection to the outdoor swimming pool and hot tub as well as the outdoor children's play area. The building also contains a separate concierge suite which is listed as an affordable housing unit (secured by covenant).
- Another unique amenity is a multi-layered reflective pool located on the northern end of the outdoor amenity area. The pool is surrounded by landscaping and benches which allows users to gather, sit and contemplate.
- A variety of plantings are provided in the entire courtyard area and special planting along the edges, for screening and privacy of the units surrounding the courtyard while letting the sun penetrate the outdoor area.

Tree Management

- The applicant submitted an Arborist Report and tree plan as part of the rezoning process and has been reviewed by the City’s Tree Preservation Coordinator and the Parks Department. The following chart outlines the synopsis of the report:

Tree Location	# of trees	Retention/Removal	Compensation
On-site	31	Removal as a result of the building form proposed, which is residential units above a level of parking, and increase in the finished grade for adjacent roads.	Replacement planting at a ratio of 2:1 for the removal of on-site trees in accordance with the OCP.
City property	0	N/A	N/A

- The submitted landscape plans identified the number of new tree plantings to be done on-site. The following chart identifies the numbers provided compared to the required in accordance with policy.

Number of on-site trees to be removed	Required number of trees to be replaced	Proposed number of trees to be planted	Surplus/Deficit
31	62	124 (first phase) 124 (second phase) 248 total	186 (surplus)

- In the submitted report, the Arborist identified 20 on-site trees that are in good enough condition to enable retention. Because of the location of these trees are within the development footprint, it is recognised that none of the existing trees will be retained for use within the proposed development.

Public Art

- The applicant has made a voluntary contribution to the public art fund through the rezoning process. The applicant is considering integrating a piece of public art through the window design of the Odlin Road frontage of the building and will be contacting the City’s Public Art coordinator for further consultation.

Affordable Housing

- The applicant has supplied 16 units to be secured for affordable housing. The units are located on the first three floors of both buildings and the single unit located within the indoor amenity building. The units are identified on the building floor plans as a shaded unit. The provision of affordable housing allows the applicant to achieve a density bonus of 0.2 Floor Area Ratio (FAR) to achieve the proposed development FAR of 1.7 as permitted in the ZLR24 zone.
- The affordable housing units will be secured through a Housing Agreement as a condition of rezoning.

Crime Prevention Through Environmental Design

- The proposed plan provides good edge features along the site to separate public and private space, giving the site a good sense of territoriality to residents and visitors. Some of the features include:
 - Grade changes with the supply of stairway, ramps and terraced landscaping;
 - Use of different paving to identify private and public walkways; and
 - Lighting of the site that differs from the public realm.

- The submitted lighting plan should provide good illumination to the complex and to the Alexandra Way pathway while ensuring that no unwanted light spills onto adjacent properties.
- The location and orientation of the ground floor units and the indoor amenity building create opportunities for passive surveillance over the central courtyard and outdoor amenity area.
- First level units along the three frontages of Odlin Road, McKim Way and Alexandra Way include individual patios and street level access via staircases integrated into the terraced landscaped planters, which establish a visual relationship with the street and increase casual surveillance.
- The common areas such as the parkade, lobby areas and amenity spaces are designed with open viewing in mind to allow for good surveillance throughout.

Aircraft Noise Mitigation

- As per the Aircraft Noise Sensitive Development policy (ANSD), an acoustical report was submitted which provided information to achieve the policy standard noise levels (with windows and doors closed):

Bedrooms	35 dB
Living, dining, and recreation rooms	40 dB
Kitchen, bath, hallways and utility rooms	45 dB

- The report provides an outline to help the architect design and select appropriate building materials and methods of installation that would achieve the required noise levels listed above.

Barrier-Free Access

- The proposed development has taken advantage of the provisions of the Zoning Bylaw that allows for the exemption of 1.86m² (20 ft²) per dwelling unit, provided the unit incorporates all the basic universal housing features described in Section 4.16 of Zoning Bylaw 8500 (Basic Universal Housing Features). The intent is to facilitate ready access, use and occupancy of a dwelling unit by a person with a disability.
- The location of the units that incorporate these basic features are identified on the submitted architectural floor plans by the unit type followed by an asterisk (*). Out of the 358 residential units in this proposal, 170 of these units are identified as meeting the basic universal housing features in the Zoning Bylaw and therefore an area of approximately 315.8m² (3,400 ft²) is exempted from the total floor area calculation.
- Access to the amenity areas of the site are well thought out. A lift allows residents and visitors to access the area through the lobby. The central courtyard is accessed by a ramp that leads to/from Alexandra Way.

Sustainability

- The applicant has agreed to provide design drawings at the Building Permit stage that will facilitate the connection to the City operated District Energy System that is being developed within the Alexandra Area of West Cambie.
- The residential units will provide energy efficient appliances and water saving appliances and faucets.
- The site is close to a main transit corridor and bus stops along Garden City Road for convenient use.

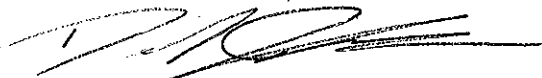
- As part of the Transportation Demand Management Plan, the applicant is to construct a sidewalk along the south side of Odlin Road between Garden City Road to Dubbert Street to help encourage increased use of the public transportation system

Floodplain Management and Implementation Strategy

- The applicant is required to comply with the Flood Plain Designation and Protection Bylaw No. 8204. In accordance with the Flood Management Strategy, a Flood Plain restrictive covenant, specifying the minimum flood construction level is secured through as a condition of rezoning.

Conclusions

The proposed development responds well to the West Cambie Area plan – Alexandra Neighbourhood guidelines and to the Character Area Neighbourhood Guidelines in particular. The proposal responds well to creating a strong, street oriented building frontage character and the introduction of the pedestrian Alexandra Way corridor through the neighbourhood. The applicant has adequately resolved staff comments identified during the rezoning phase as well as the staff and Advisory Design Panel comments. Staff recommend approval of this Development Permit application.



David Johnson
Planner

DJ:cas

The following are to be met prior to forwarding this application to Council for approval:

- Receipt of a Letter-of-Credit for landscaping in the amount of \$383,490.80.

Prior to future Building Permit issuance, the developer is required to complete the following:

- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Division at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Division (<http://www.richmond.ca/services/ttp/special.htm>).



City of Richmond

6911 No. 3 Road
 Richmond, BC V6Y 2C1
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**Development Application
 Data Sheet**
 Development Applications Division

DP 10-551711 **Attachment 1**

Address: 9331, 9351, 9371, 9391, and 9411 Odlin Road

Applicant: Polygon Mayfair Place Homes Ltd. Owner: Polygon Mayfair Place Homes Ltd.

West Cambie Area Plan (Schedule 2.11A)

Planning Area(s): Alexandra Neighbourhood (Character Area 4)

	Existing	Proposed
Site Area:	20,267.73 m ²	19,130.12 m ²
Land Uses:	Single Detached	Low Rise Apartment
OCP Designation:	Residential Area 1 1.5 base FAR (Max. 1.7 FAR with density bonusing for affordable housing) Townhouse, Low-rise apartments (4 stories typical)	No Change
Zoning:	Single Detached (RS1/F)	Low Rise Apartment (ZLR24) Alexandra Neighbourhood
Number of Units:	1 per existing lot	358 Apartment Units

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 1.7 FAR	1.68 FAR	none permitted
Lot Coverage:	Max. 45%	46.4%	1.4% (265.22 m ²)
Setback – Odlin Road:	Min. 6.0 m	6.0 m	none
Setback – West Side Yard:	Min. 6.0 m	7.50 m	none
Setback – East Side Yard:	Min. 6.0 m	6.0 m	none
Setback – McKim Way:	Min. 6.0 m	6.0 m	none
Parkade Setback – Odlin Road	Min. 3.8 m	3.0 m	0.8 m
Height (m):	Max. 20.0 m	18.23 m	none
Lot Size:	10,000 m ²	19,130.12 m ² (after land dedication)	none
Off-street Parking Spaces – Regular/Visitor:	529 and 72	504 and 70	none
Off-street Parking Spaces – Accessible:	11	11	none
Total off-street Spaces:	612	585	none

Small Car Parking Spaces	Max. 50%	49.8%	none
Amenity Space – Indoor:	Min. 70 m ²	1,913m ²	none
Amenity Space – Outdoor:	Min. 6m ² minimum per unit x 358 units = 2,148.0m ²	3250.0m ²	none

ROBERT CICCIOZZI

Architecture Inc.

the greenway as part of their ongoing discussions regarding the Public Art plan for the project. SEE LSK01, LSK02 AND LSK 03.

4. Design development of the amenity building to mitigate its big building footprint and closeness to the main buildings.
 - **The position of the amenity building within the courtyard is restricted by requirements for firefighting access. It therefore cannot be shifted further north to create more space in front. Instead, we have reconfigured the spaces on the east side, similar to what was done at the west, so they step north as one moves away from the entry. This responds to the stepping of the building outlines to the south and maintains a more consistent gap between buildings and amenity. We have further enlarged the windows all around the east end to make the end of the building more transparent. A similar transparent window treatment is not possible at the west end due to the service rooms which are situated here and which will serve the distribution for the District Energy system. We have added areas of painted wood shingles to provide some variation in cladding and it should also be noted that the board and batten and horizontal siding on the amenity will both be Hardi-board instead of vinyl siding. Landscape has provided the larger lawn to the east of the building as suggested by the panel along with an additional play structure and an outdoor lounge area separate from the pool deck. SEE A2.1.1, A3.6, A3.7, A4.3.0 AND LSK04.**

We have further raised the roof pop ups over the McKim entry as was suggested by one panelist (See ASK 2.0) and have made further changes as requested by Planning in the January 27 email, as outlined below:

1. The midpoint area along Alexandra Way seems a bit narrow. Is the design using the 12 x 5 meter wide ROW to its full advantage? If so please provide the dimensions for confirmation. If not, please look at the drawings attached to open up the midpoint area to Alexandra Way.
 - **The midpoint way has been further redesigned – see attached landscape drawing showing the new design for the area with the 12 x 5 m area indicated. They have moved the stairs that give access to the courtyard a further 5' away from the plaza space and reduced the central planter so it no longer protrudes into the clear space of the rest area. SEE LSK01 AND LSK02**
2. Please remove the planter in the midpoint area (please refer to the attached drawing).
 - **See note above, planter has been scaled back and moved back rather than eliminated entirely. Removing the planter would expose the concrete parkade wall. SEE LSK01 AND LSK02**
3. Please consider providing the ramp to/from Alexandra Way and the central courtyard in the first phase.
 - **The landscape phase line has been adjusted to include the ramp within the first phase of work. SEE LSK01 AND LSK02**
4. Please remove any retaining wall or other structure that may be within the wider portion of the ROW of Alexandra Way at Odlin Road.
 - **The curved retaining wall has been set back to that the widest point of the curve doesn't project past the corner widening line. SEE LSK03**
5. Please provide some information as to the treatment along the eastern edge of the site where the parkade wall will be exposed.
 - **Similar to our Cambridge Park project which is under construction across the street, the eastern edge will be an exposed concrete parkade wall. As there will in the future be another building with a parkade directly abutting this wall, further treatment of this wall is impractical.**

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 Fax: (604) 687-4641
 Email: admin@ciccozzilarchitecture.com

RCA

ROBERT CICCOCZZI
A r c h i t e c t u r e I n c.

For the interim, it will be painted with an elastomeric paint to give it a more finished appearance and allow it to better withstand exposure.

6. Please provide some screening to the loading bay fronting Odlin Road. We suggest a narrow planter with some posts that would continue the frontage appearance along Odlin Road.
 - **A low brick wall with a wooden screen/trellis mounted on top has been added. See landscape plan and architectural elevation. There is not sufficient space to provide a viable raised planter in this location. SEE LSK05 AND A2.1.1, ASK03**

Please call if you have any questions or concerns. We can resubmit either full sheets or complete drawings sets once you have had a chance to review and make any comments you feel necessary.

Yours truly,

Karen Smith MAIBC
Associate, Project Architect
Robert Ciccozzi Architecture Inc.

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Vancouver, B.C. V5Y 3Y3
Phone: (604) 687-4741
Fax: (604) 687-4641
Email: admin@ciccozziaarchitecture.com

RCA

**Excerpts of the Minutes of the
Advisory Design Panel of
Wednesday, January 19, 2011**

Time: 4:00 p.m.
Place: Rm. M.1.003
City of Richmond
Present: Kush Panatch, Chair
Tom Bell, Vice-Chair
Joseph Fry
Tom Parker
Larry Diamond
Xuedong Zhao
Simon Ho
Sherri Han

Also Present: Diana Nikolic, Planner
Sara Badyal, Planner
David Johnson, Planner
Francisco Molina, Senior Planner, Urban Design
Rustico Agawin, Committee Clerk

Absent: Thomas Leung
Cst. Barry Edwards

The meeting was called to order at 4:00 p.m.

1. DP 10-551711 – 358-UNIT APARTMENT COMPLEX
ARCHITECT: Robert Ciccozzi Architecture Inc.

PROPERTY LOCATION: 9331, 9351, 9371, 9391 and 9411 Odlin Road

Panel Discussion

Comments from the Panel were as follows:

- support the material palette applied to the elevations; appreciate the material treatment of the landscaping;
- concern on the pedestrian friendliness of the greenway; consider if the building could be carved back from Alexandra Way, particularly at the curve;
- revisit the platform lift access issue; ensure free access of a visitor with disability without the assistance of a concierge;

- review design of units with walk-in closets; consider using sliding door to separate walk-in closet from the washroom to free up floor space and improve accessibility;
- revisit C1 units and investigate whether width of the floor area where the toilet is located meets universal design requirements; should be able to provide accessibility to a person in wheelchair;
- project has shown improvements since its previous presentation to the Panel;
- no need to set back the top floor of the main building entrance off McKim Way to further accent the articulation of the facade; brick cladding that has been brought up visually makes the top floor recede;
- building face design facing down Stolberg Street is already a highly expressive elevation; good termination for the end of the street; does not require further articulation;
- design of main entrance and elements above are of high design quality and expression; no further enhancements in design are necessary; will overcomplicate the design;
- closeness of the indoor amenity building to the main buildings is not a problem; scale of indoor amenity building is appropriate; support the sense of compression and opening up;
- project shows great improvement; well-detailed;
- nicely layered building;
- the indoor amenity building is quite close to the main buildings; building footprint of the indoor amenity building is too big; consider reducing it; if present size of the amenity building is to be maintained, consider using different materials to distinguish it from the main buildings;
- two tower elements at the gateway facing McKim Way need additional height to enhance the gateway expression;
- consider programming of interior spaces; children's play area may not be large enough; ornamental spaces could be used by pre-teens as a gathering place; lawn areas could be less chopped up to contribute more useful space;
- greenway entrance is an important point of access to the development; should be further emphasized to be a place for meeting;
- corners and grade transitions are handled well;
- consider a glass house/structure over the swimming pool to extend its use; enhances the marketability of the project;

- generally, the project is moving in the right direction;
- a well-resolved landscaping scheme;
- small interior outdoor spaces are well-detailed and nicely layered;
- separation between the indoor amenity building and the main buildings seems tight; could be mitigated by stronger indoor-outdoor relationships; lounge on the west side of the indoor amenity building could be programmed nicely with the children's play area; pathway on the east side of the amenity building that bisects the lawn could be moved to either side to provide a more multi-functional space;
- integrating loading and servicing requirements within the road right-of-way would provide relief particularly at the southeast corner;
- recognizing that when introduced, Alexandra Way will be an interim situation and will be heavily influenced by the adjacent development; design of Alexandra Way will set the tone not only for the subject development but also for the entire neighbourhood; its introduction will set the precedent;
- Alexandra Way should have a more civic feeling rather than having a residential character; provide something that will distinguish the development from the buildings that will eventually abut it; consider paving, plant materials, alternative ground cover materials (other than lawn), banding, etc. to separate it from the Mayfair development; street planting along the edge provides visual reference and visual separation between units across the mews; carefully consider lighting to provide more safety and security; consider site furnishings that have civic character, e.g. benches, bollards, etc.;
- appreciate the idea of a gatehouse that integrates public art; has a lot of architectural character; suggest integration of public art with lineal character along the walkway; locate art where it can be accessed by the public within Alexandra Way;
- overall quality of the project is impressive;
- appreciate great presentation material; improved buildings in terms of size and scale; makes project more unique in the neighbourhood;
- consider a more public walkway rather than a part of the landscape of the building; should have larger scale qualities; introduce public art and spread out along the walkway; and
- staff added to the discussion that the resolution of loading/recycling services within the front yard is not supported and that the provision of services is to be resolved on-site.

Panel Decision

It was moved and seconded

That DP 10-551711 move forward to the Development Permit Panel subject to the applicant taking into consideration the Panel's discussion points and making the following improvements to the project design:

- 1. design development to the platform lift to facilitate independent entry of a person with disability (without the assistance of a concierge);*
- 2. ensure individual units and site design complies with universal guidelines;*
- 3. design development to Alexandra greenway to introduce a civic or public quality rather than a residential character through the use of distinct materials in planting, paving, lighting, site furnishing and public art; and*
- 4. design development to the indoor amenity building to mitigate its big building footprint and closeness to the main buildings by using materials different from the main buildings.*

CARRIED



No. DP 10-551711

To the Holder: POLYGON MAYFAIR PLACE HOMES LTD.
Property Address: 9331, 9351, 9371, 9391 AND 9411 ODLIN ROAD
Address: 900 - 1333 W. BROADWAY
VANCOUVER, BC V6H 4C2

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) Increase the maximum lot coverage from 45% to 46.4%.
 - b) Reduce the parkade setback off of Odlin Road from 3.8 meters to 3.0 meters.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #39 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$383,490.80. to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 10-551711

To the Holder: POLYGON MAYFAIR PLACE HOMES LTD.
Property Address: 9331, 9351, 9371, 9391 AND 9411 ODLIN ROAD
Address: 900 - 1333 W. BROADWAY
VANCOUVER, BC V6H 4C2

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF

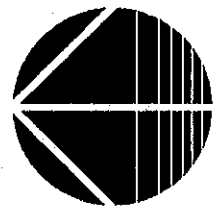
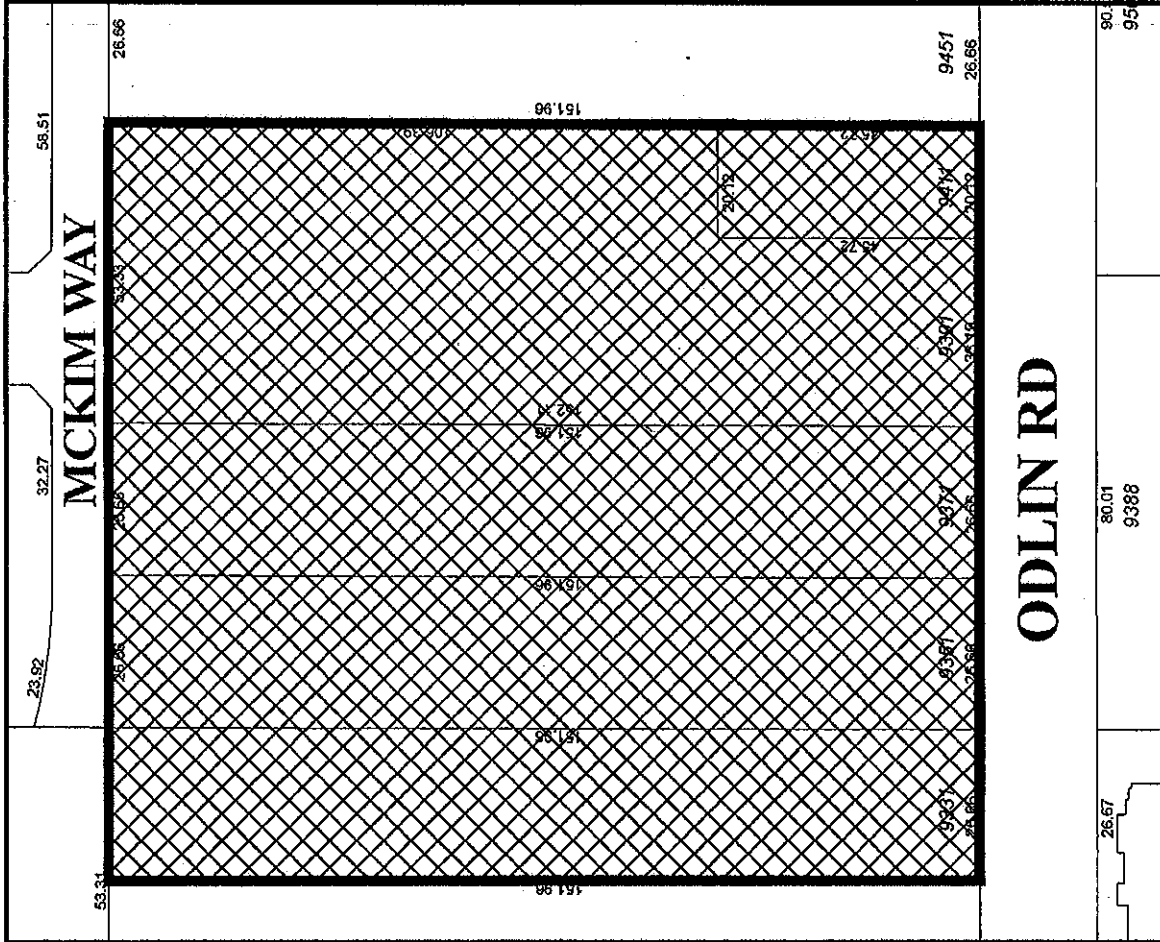
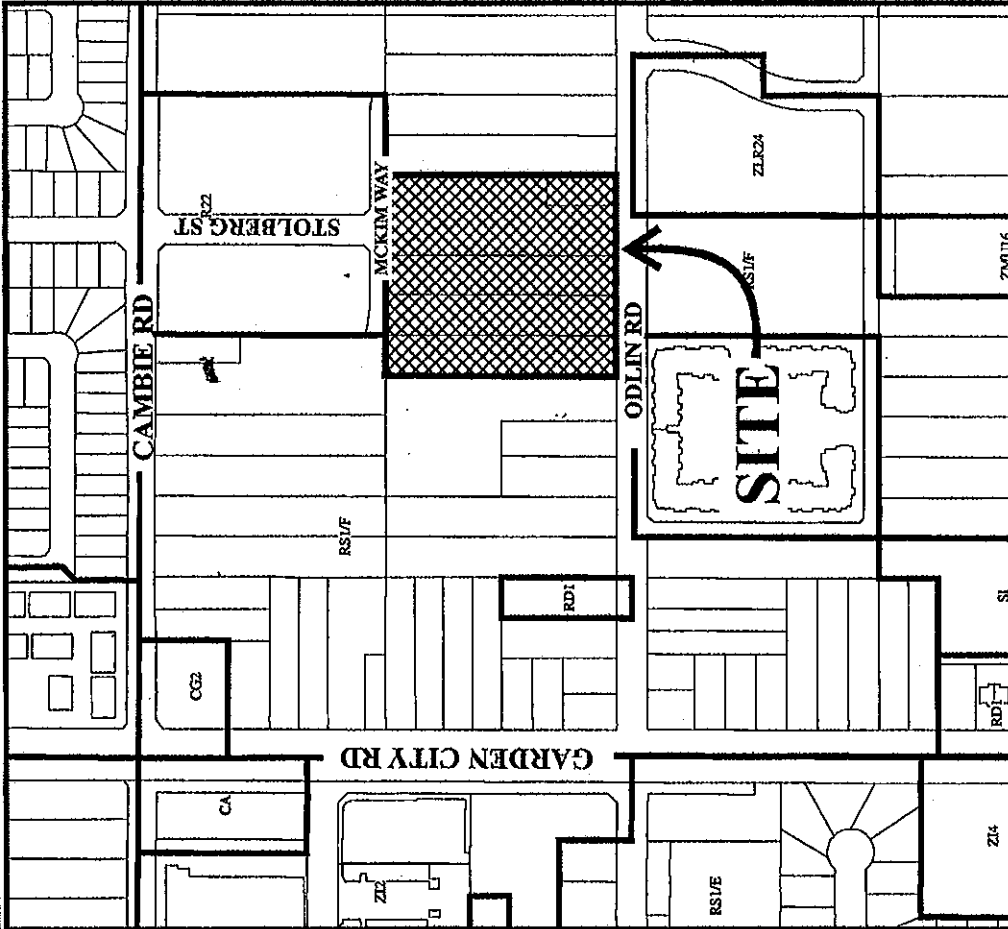
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

MAYOR



City of Richmond



DP 10-551711 SCHEDULE "A"

Original Date: 11/04/10

Revision Date:

Note: Dimensions are in METRES

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MAYFAIR PLACE

PROPOSED CONDOMINIUM DEVELOPMENT
 RE-ISSUED FOR DEVELOPMENT PERMIT JANUARY 10, 2011

DATE	DESCRIPTION
02/27/10	ISSUED FOR PERMIT
03/02/10	ISSUED FOR PERMIT
03/15/10	ISSUED FOR PERMIT

PROJECT TEAM:



OWNER CIBC BANK OF CANADA 2800 SHEPPARD AVENUE EAST SUITE 100 SCARBOROUGH, ONTARIO M1T 3B7 TEL: 416-736-7100 FAX: 416-736-7101 WWW.CIBC.COM	LANDSCAPE CORNER & ASSOC LANDSCAPE ARCHITECTS 1880 WARDEN AVENUE SUITE 101 SCARBOROUGH, ONTARIO M1T 3B7 TEL: 416-291-8800 WWW.CORNERLANDSCAPE.COM	ARCHITECT WILLIAMS & PARTNERS INC. SUITE 100 2500 SHEPPARD AVENUE EAST SCARBOROUGH, ONTARIO M1T 3B7 TEL: 416-291-8800 WWW.WILLIAMSARCHITECTS.COM	STRUCTURAL BUTLER BUCKLE & ASSOCIATES 1000 SHEPPARD AVENUE EAST SUITE 100 SCARBOROUGH, ONTARIO M1T 3B7 TEL: 416-291-8800 WWW.BUTLERBUCKLE.COM
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UNIT COUNT - PHASE 1

Bldg	Type	UNIT COUNT						TOTAL	TOTAL PH.
		1	2	3	4	5	6		
BUILDING 2A	1 Bedroom	0	0	0	0	0	0	0	0
BUILDING 2B	2 Bedroom	0	0	0	0	0	0	0	0
BUILDING 2C	2 Bedroom	0	0	0	0	0	0	0	0
BUILDING 2D	2 Bedroom	0	0	0	0	0	0	0	0
BUILDING 2E	2 Bedroom	0	0	0	0	0	0	0	0
BUILDING 2F	2 Bedroom	0	0	0	0	0	0	0	0
BUILDING 2G	2 Bedroom	0	0	0	0	0	0	0	0
BUILDING 2H	2 Bedroom	0	0	0	0	0	0	0	0
BUILDING 2I	2 Bedroom	0	0	0	0	0	0	0	0
BUILDING 2J	2 Bedroom	0	0	0	0	0	0	0	0
BUILDING 2K	2 Bedroom	0	0	0	0	0	0	0	0
BUILDING 2L	2 Bedroom	0	0	0	0	0	0	0	0
BUILDING 2M	2 Bedroom	0	0	0	0	0	0	0	0
BUILDING 2N	2 Bedroom	0	0	0	0	0	0	0	0
BUILDING 2O	2 Bedroom	0	0	0	0	0	0	0	0
BUILDING 2P	2 Bedroom	0	0	0	0	0	0	0	0
BUILDING 2Q	2 Bedroom	0	0	0	0	0	0	0	0
BUILDING 2R	2 Bedroom	0	0	0	0	0	0	0	0
BUILDING 2S	2 Bedroom	0	0	0	0	0	0	0	0
BUILDING 2T	2 Bedroom	0	0	0	0	0	0	0	0
BUILDING 2U	2 Bedroom	0	0	0	0	0	0	0	0
BUILDING 2V	2 Bedroom	0	0	0	0	0	0	0	0
BUILDING 2W	2 Bedroom	0	0	0	0	0	0	0	0
BUILDING 2X	2 Bedroom	0	0	0	0	0	0	0	0
BUILDING 2Y	2 Bedroom	0	0	0	0	0	0	0	0
BUILDING 2Z	2 Bedroom	0	0	0	0	0	0	0	0
TOTAL		78	76	76	76	76	76	76	78

DRAWINGS LIST:

NO	DESCRIPTION	SCALE	DATE
A00	CONTRACT & CONDITIONS		
A01	SITE PLAN	1/8" = 1'-0"	PER 6/11
A02	PHASE 1 IMPROVEMENTS	1/8" = 1'-0"	PER 6/11
A03	BUILDING 1 MAIN FLOOR PLAN	1/8" = 1'-0"	PER 6/11
A04	BUILDING 1 SECOND FLOOR PLAN	1/8" = 1'-0"	PER 6/11
A05	BUILDING 1 THIRD FLOOR PLAN	1/8" = 1'-0"	PER 6/11
A06	BUILDING 1 ROOF PLAN	1/8" = 1'-0"	PER 6/11
A07	BUILDING 2 MAIN FLOOR PLAN	1/8" = 1'-0"	PER 6/11
A08	BUILDING 2 SECOND FLOOR PLAN	1/8" = 1'-0"	PER 6/11
A09	BUILDING 2 THIRD FLOOR PLAN	1/8" = 1'-0"	PER 6/11
A10	BUILDING 2 ROOF PLAN	1/8" = 1'-0"	PER 6/11
A11	UNIT PLANS	1/8" = 1'-0"	PER 6/11
A12	UNIT PLANS	1/8" = 1'-0"	PER 6/11
A13	UNIT PLANS	1/8" = 1'-0"	PER 6/11
A14	UNIT PLANS	1/8" = 1'-0"	PER 6/11
A15	UNIT PLANS	1/8" = 1'-0"	PER 6/11
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A35	UNIT PLANS	1/8" = 1'-0"	PER 6/11
A36	UNIT PLANS	1/8" = 1'-0"	PER 6/11
A37	UNIT PLANS	1/8" = 1'-0"	PER 6/11
A38	UNIT PLANS	1/8" = 1'-0"	PER 6/11
A39	UNIT PLANS	1/8" = 1'-0"	PER 6/11
A40	UNIT PLANS	1/8" = 1'-0"	PER 6/11

200 - 238 Columbia Street
 Vancouver BC V5T 2Y3
 Tel: (604) 681-2441
 Fax: (604) 681-2442
 info@bcadirect.com

MAYFAIR PLACE
 5931 to 9411 Odlin Road
 Richmond BC

COVER SHEET
 & STATISTICS

A00

MAYFAIR PLACE Development Summary

ITEM	QUANTITY	UNIT	TOTAL	TOTAL AREA (sq. ft.)	TOTAL AREA (sq. ft.) (G.S.A.)
SITE AREA (GROSS)	2,007.76	m ²	20,262,721 m ²	218,161.13 sq. ft.	
ROAD DEDICATIONS	1,137.51	m ²	11,245.52 m ²	12,245.52 sq. ft.	
SITE AREA (NET)	1,870.25	m ²	19,017,212 m ²	205,915.61 sq. ft.	
PERMITTED BASE FMR AFFORDABILITY BONUS	1.5		28,685.16 m ²	308,600.77 sq. ft.	
PERMITTED FMR	3.7		32,211.20 m ²	345,066.74 sq. ft.	
PROPOSED FMR	1.0		32,114.84 m ²	344,997.89 sq. ft.	
PROPOSED COVERAGE	45%		8,065.55 m ²	86,644.27 sq. ft.	
SITE COVERAGE	46.4%		8,973.77 m ²	96,519.58 sq. ft.	
BASIS SUMMARY					
Building 1A	6,645.11 m ²			70,454.49 sq. ft.	
Building 1B	6,534.29 m ²			70,182.24 sq. ft.	
Building 2A	5,987.94 m ²			64,447.20 sq. ft.	
Building 2B	6,231.00 m ²			67,107.20 sq. ft.	
Building 2C	6,048.77 m ²			65,120.74 sq. ft.	
Building 2D	5,475.45 m ²			58,762.75 sq. ft.	
Building 2E	5,475.45 m ²			58,762.75 sq. ft.	
Building 2F	5,475.45 m ²			58,762.75 sq. ft.	
Building 2G	5,475.45 m ²			58,762.75 sq. ft.	
Building 2H	5,475.45 m ²			58,762.75 sq. ft.	
Building 2I	5,475.45 m ²			58,762.75 sq. ft.	
Building 2J	5,475.45 m ²			58,762.75 sq. ft.	
Building 2K	5,475.45 m ²			58,762.75 sq. ft.	
Building 2L	5,475.45 m ²			58,762.75 sq. ft.	
Building 2M	5,475.45 m ²			58,762.75 sq. ft.	
Building 2N	5,475.45 m ²			58,762.75 sq. ft.	
Building 2O	5,475.45 m ²			58,762.75 sq. ft.	
Building 2P	5,475.45 m ²			58,762.75 sq. ft.	
Building 2Q	5,475.45 m ²			58,762.75 sq. ft.	
Building 2R	5,475.45 m ²			58,762.75 sq. ft.	
Building 2S	5,475.45 m ²			58,762.75 sq. ft.	
Building 2T	5,475.45 m ²			58,762.75 sq. ft.	
Building 2U	5,475.45 m ²			58,762.75 sq. ft.	
Building 2V	5,475.45 m ²			58,762.75 sq. ft.	
Building 2W	5,475.45 m ²			58,762.75 sq. ft.	
Building 2X	5,475.45 m ²			58,762.75 sq. ft.	
Building 2Y	5,475.45 m ²			58,762.75 sq. ft.	
Building 2Z	5,475.45 m ²			58,762.75 sq. ft.	
TOTAL	170 units		315.86 m ²	3,490.00 sq. ft.	
NET FLOOR AREA			32,114.84 m ²	344,997.89 sq. ft.	
PERMITTED AFFINITY	0.1		1,913.01 m ²	20,592.15 sq. ft.	
PROPOSED AFFINITY	0.037		783.55 m ²	8,449.50 sq. ft.	
UNIT COUNT					
REQUIRED PARKING					
PROPOSED PARKING					
TOTAL STALLS REQUIRED					
PROPOSED STALLS					
TOTAL STALLS PROVIDED					
SMALL CARS (REQUIRED)					
SMALL CARS (PROVIDED)					
ACCESSIBLE SPACES					

ASSESSMENT UNIT SUMMARY
1055171 Pg. 1
 1055171

CMC ADDRESS: 9331, 9351, 9371, 9391, 9411 ODLIN ROAD, RICHMOND BC
 LEGAL ADDRESS: Lot E1/2-24, Lot W1/2-23, Lot E1/2-23, Plan 1224, Suburban Block A;
 Lot S1 and Lot 30, Plan 21425;
 All of Section 34, Block 5 North, Range 6 West, N.W.D.

THESE PLANS SHALL BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OF THESE PLANS FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO THE ARCHITECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE PLANS.



NO.	REVISION	DATE

PERMITS:
 PERMITS FOR CONSTRUCTION OF THIS PROJECT ARE BEING OBTAINED BY THE ARCHITECT FROM THE DISTRICT OF COLUMBIA DEPARTMENT OF PERMITS AND INSPECTION.



RCA
 Robert Chiriac Architects Inc.
 200 - 2330 Columbus Street
 Alexandria, VA 22304
 Tel: (703) 837-5721
 Fax: (703) 837-4541
 www.rcaarchitects.com



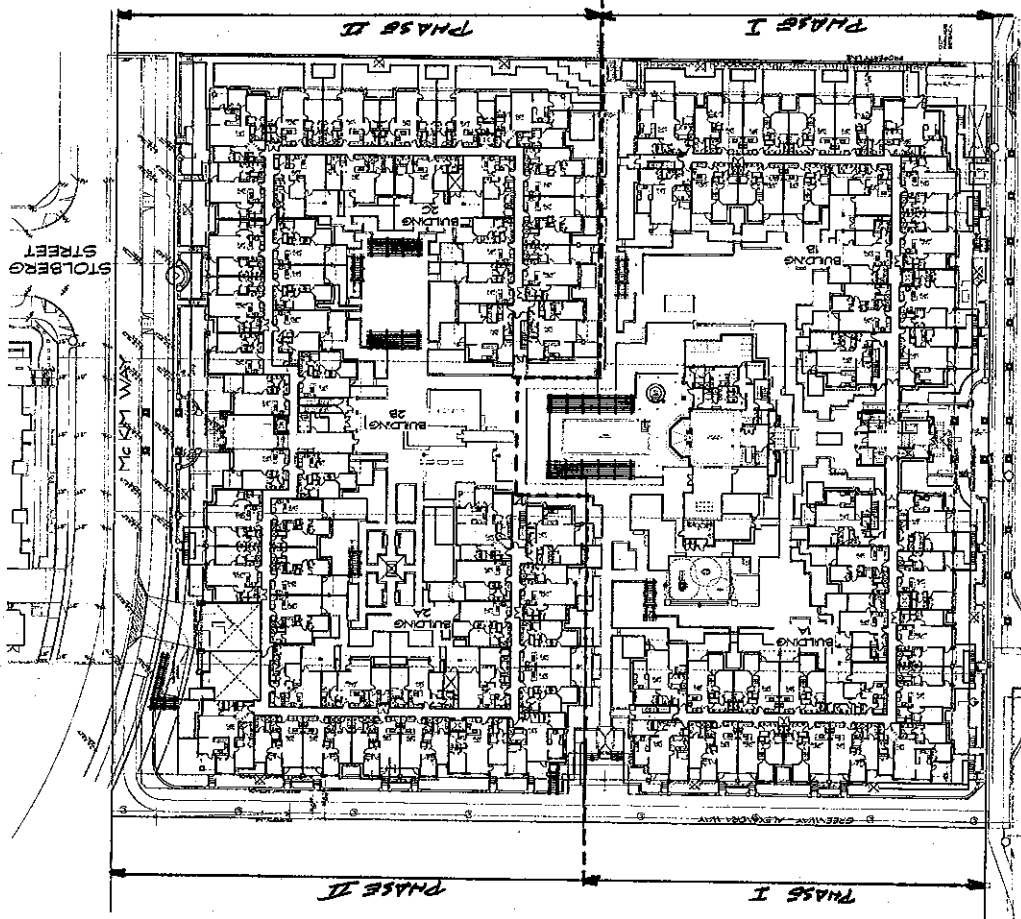
MAYFAIR PLACE
 9931 to East Odlin Road
 Arlington, VA

SITE PLAN

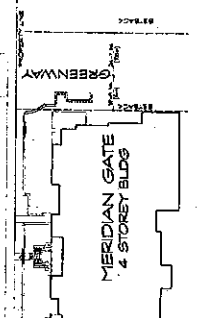
A10

MAYFAIR PLACE	
PERMITTED AREA	2,000,000 sq ft
PERMITTED HEIGHT	20 stories
PERMITTED USE	Residential
PERMITTED DENSITY	120 units per acre
PERMITTED PARKING	1,000 spaces
PERMITTED GREEN SPACE	10% of total area
PERMITTED OTHER	See site plan

PERMITTED SUMMARY	
PERMITTED AREA	2,000,000 sq ft
PERMITTED HEIGHT	20 stories
PERMITTED USE	Residential
PERMITTED DENSITY	120 units per acre
PERMITTED PARKING	1,000 spaces
PERMITTED GREEN SPACE	10% of total area
PERMITTED OTHER	See site plan

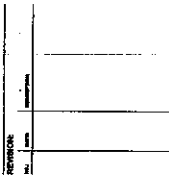


ODLIN ROAD



10551711 R2.2

THESE PLANS AND SPECIFICATIONS SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER AND THE BOARD OF PUBLIC WORKS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE BOARD OF PUBLIC WORKS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE BOARD OF PUBLIC WORKS.



NO.	DESCRIPTION	DATE
1	PRELIMINARY PLAN	10/15/11
2	REVISED FOR RECORD	10/20/11
3	REVISED FOR RECORD	10/25/11
4	REVISED FOR RECORD	11/01/11
5	REVISED FOR RECORD	11/05/11



RCA
Robert Cassard Architects Inc.
200 - 2300 Columbia Street
Montreal, Q.C.
Tel: (514) 397-7777
Fax: (514) 397-4661
www.rca.ca

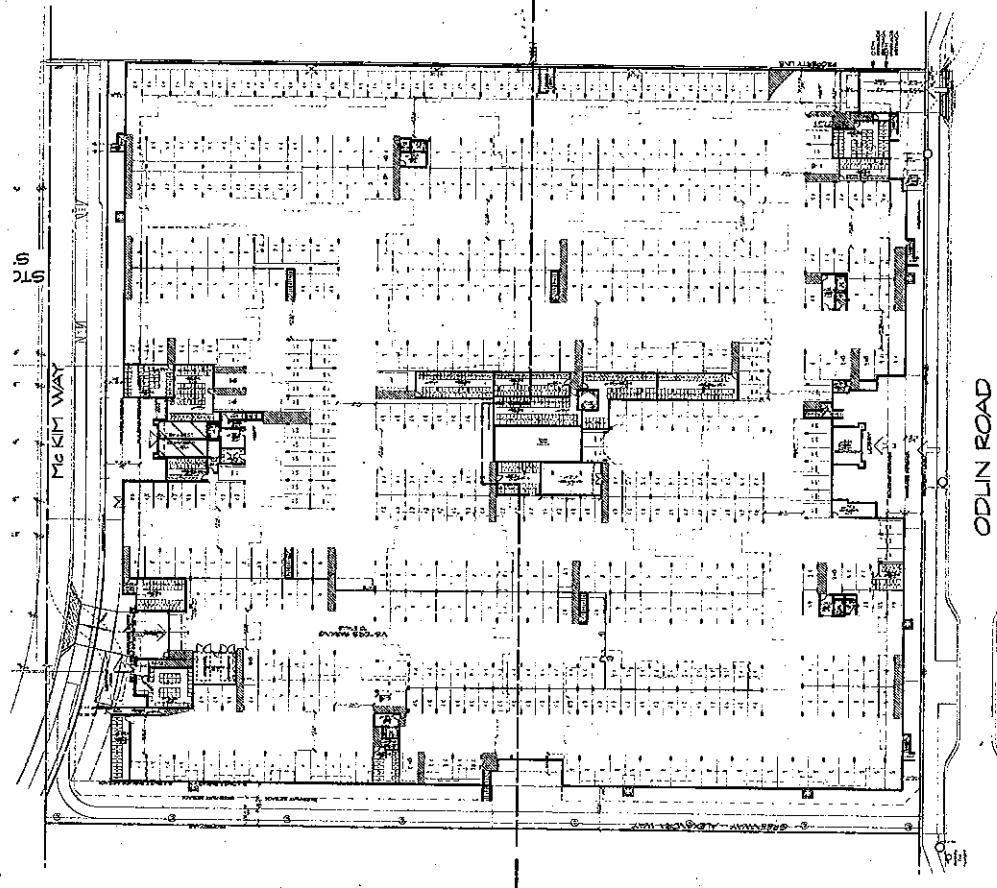
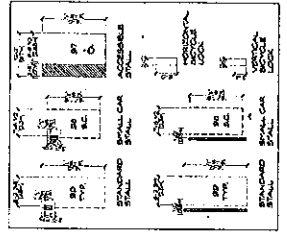


MAYFAIR PLACE
8951 St. Ode Road
Barnaby BC

PARKADE PLAN 1

Scale: 1/8" = 1'-0"
Date: 11/01/11
Sheet: A11

MAYFAIR PLACE PARKADE SUMMARY	
REQUIRED PARKING	180 (100% of 180) - 180 (100% of 180) - 180 (100% of 180)
PROPOSED PARKING	180 (100% of 180) - 180 (100% of 180) - 180 (100% of 180)
REMARKS	180 (100% of 180) - 180 (100% of 180) - 180 (100% of 180)
DATE	11/01/11



X PARKADE STRUCTURE TO BE COMPLETED IN PHASE I X

DP 10 551711 Pg. 3

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REVISION	DATE	DESCRIPTION

DATE: 08/14/2018
 DRAWN BY: J. WILSON
 CHECKED BY: J. WILSON
 PROJECT: MAYFAIR PLACE
 SHEET: PHASE 1 PARKADE
 SCALE: AS SHOWN
 DATE: 08/14/2018



RCA
 Robert Carroll Architects Inc.
 200 - 2380 Columbia Street
 Vancouver, B.C.
 Tel: (604) 681-7474
 Fax: (604) 681-7471
 P.O. Box 1000
 604-681-7474
 www.rca-architects.com

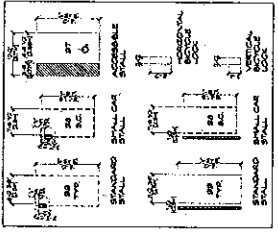


MAYFAIR PLACE
 5825 St. John's Road
 Richmond BC

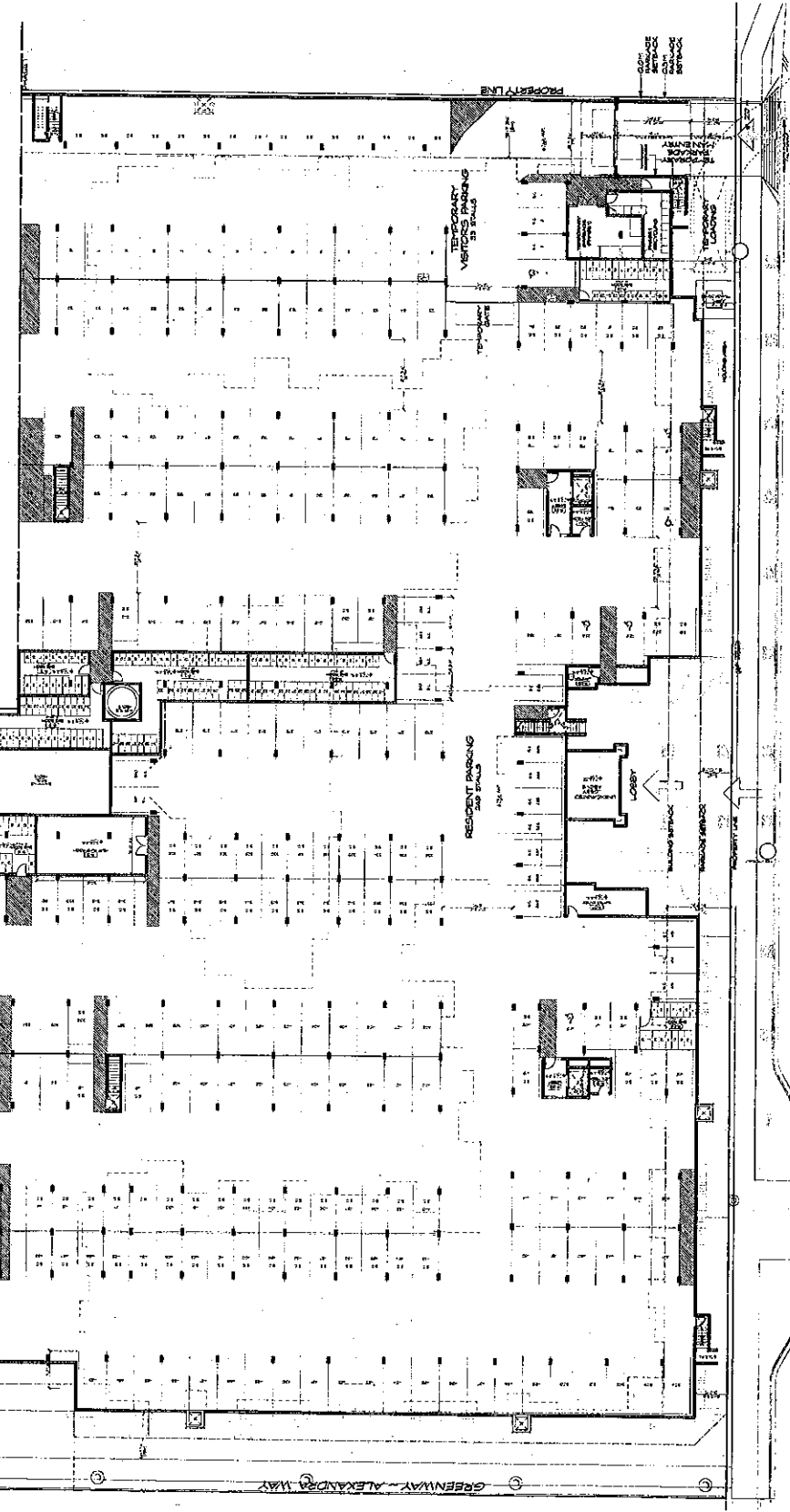
PHASE 1 PARKADE

Sheet: A1.2

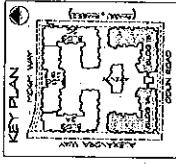
MAYFAIR PLACE - PHASE I PARKING SUMMARY	
REQUIRED PARKING	<ul style="list-style-type: none"> 135 Units x 1.5 Stalls/Unit required = 204 stalls 8 Units x 1.0 Stalls/Unit required = 8 stalls 144 Stalls/Unit x 0.2 Visitor Stalls/Unit = 29 stalls
PROPOSED PARKING	<ul style="list-style-type: none"> Proposed resident Stalls = 230 stalls Proposed Visitor Stalls = 23 stalls TOTAL STALLS PROPOSED = 253 stalls
PARKING VARIANCE	<ul style="list-style-type: none"> SMALL CAR SPACES PROVIDED: 56% ACCESSIBLE SPACES: 46.7% Units With 2 Parking Stalls: 50 Units Units With 1 Parking Stall: 20%
BIKE LOCKERS	<ul style="list-style-type: none"> Required: 170 lockers Proposed: 158 lockers Required AC-Grade/Vision Free Stalls: 12 stalls Proposed AC-Grade/Vision Free Stalls: 10 stalls
NOVARIANCE	<ul style="list-style-type: none"> Required Stalls: 241 stalls Proposed Stalls: 253 stalls



COMPLETE PARKADE STRUCTURE TO BE COMPLETED IN PHASE I



PP 10551711 Pg. 4



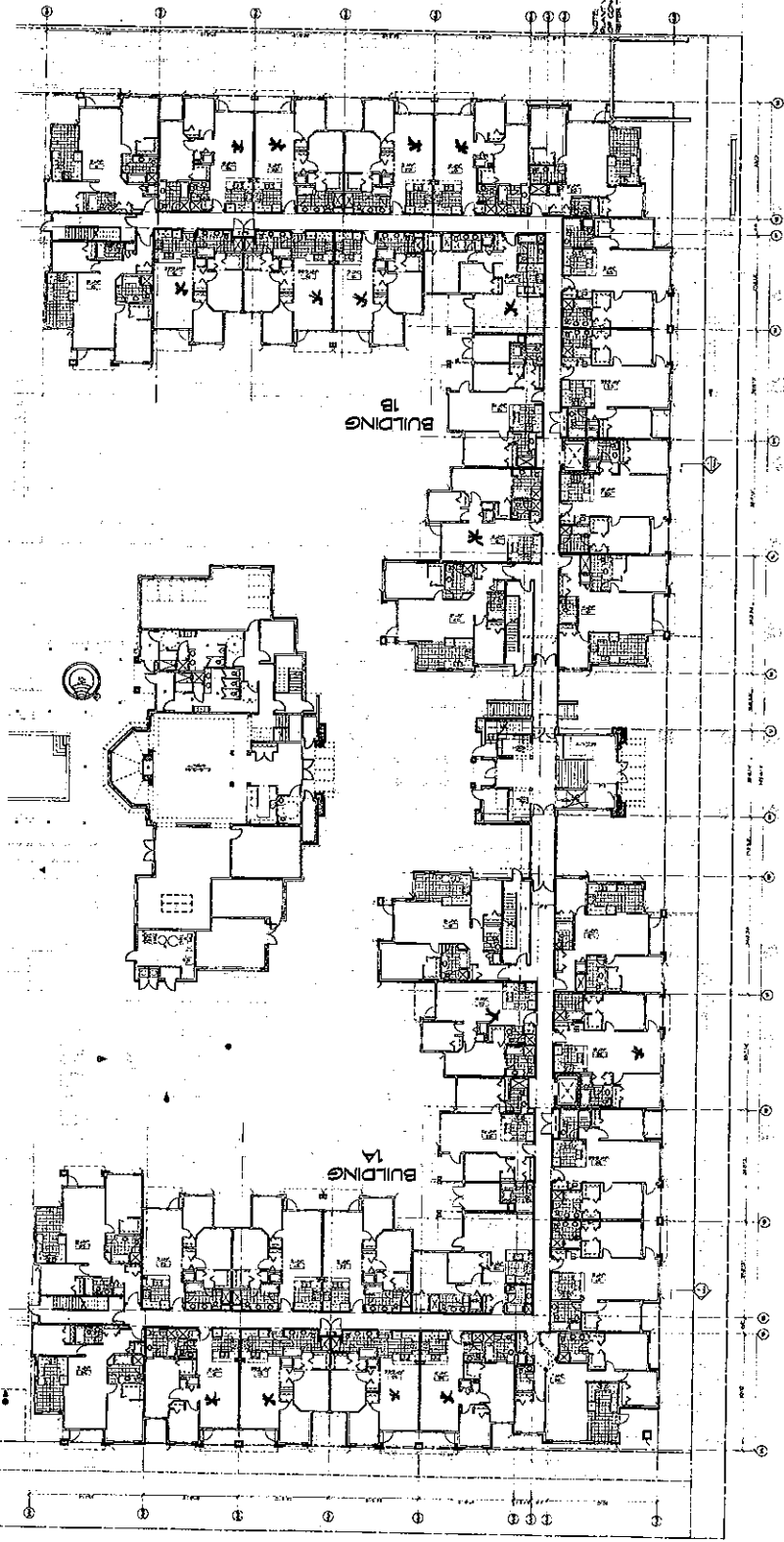
LEGEND

- ✓ Hatched Area Denotes APPROXIMATE UNIT FOOTPRINT (UNIT PLANS)
- * Denotes Unit Unit (UNIT PLANS)

REVISIONS

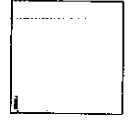
NO.	DATE	DESCRIPTION

CONTRACTOR NOTES: THIS DRAWING IS FOR INFORMATION ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION. ANY CHANGES TO THE DESIGN SHALL BE MADE BY THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.



REVISIONS

NO.	DATE	DESCRIPTION



RCA

Robert Carroll Architects Inc.
 200 - 2026 Columbia Street
 Vancouver, BC V6J 1Y5
 TEL: (604) 687-2778
 FAX: (604) 687-2779
 www.rca-architects.com



MAYFAIR PLACE

9831 to 9841 Cole Road
 Richmond BC

**BUILDING 1A & 1B
 MAIN FL. PLAN**

A2.11

PT 10 5517 11 Pa. 5

CONTRACTOR SHALL VERIFY THE DIMENSIONS OF ALL EXISTING AND NEW CONSTRUCTION WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

NO.	REVISION

DATE: 10/11/11
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]

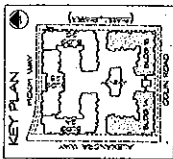


RCA
 Robert Caldwell Architecture Inc.
 200 - 2300 Columbia Street
 Courville, Ontario N5T 3T9
 Tel: (905) 887-4261
 Fax: (905) 887-4261
 www.rca-architects.com

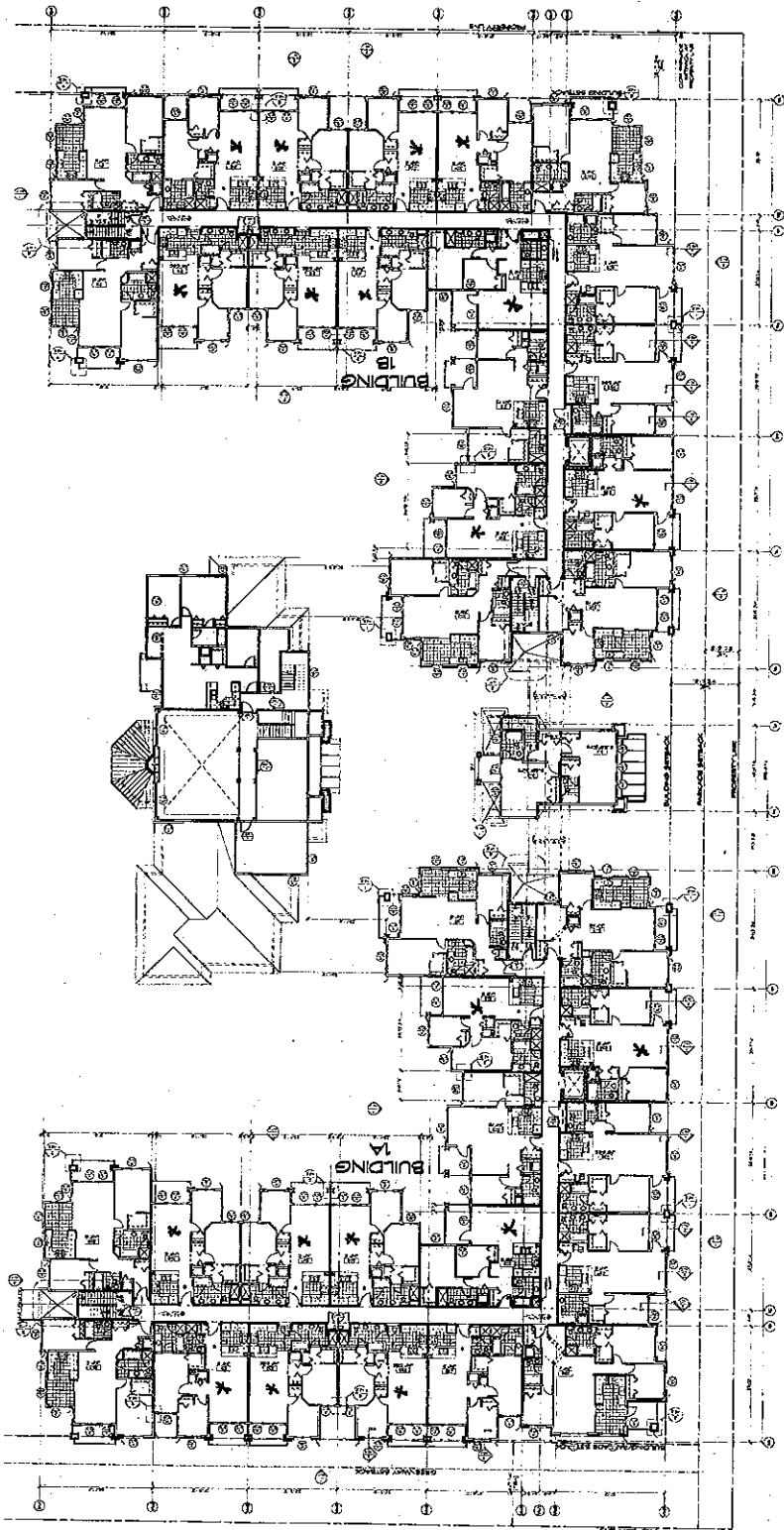


MAYFAIR PLACE
 8281 1st Street East
 Richmond BC

PROJECT NO.	1709-1-07
DATE	10/11/11
PROJECT NAME	BUILDING 1A & 1B 2nd FL PLAN
SCALE	A2:1.2

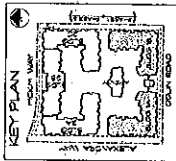


LEGEND:
 MATCHED AREA DENOTES APPROXIMATE UNIT
 * DENOTES UNIT (REFER TO LAYERS PLANS)



DP 10551711
 PA. 0

CONTRACTOR SHALL BE RESPONSIBLE TO BE ADDED, MODIFIED AND INTERFERENCES TO THE CONTRACT DOCUMENTS SHALL BE COVERED BY THE CONTRACTOR'S PROFESSIONAL LIABILITY INSURANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.



LEGEND
 MATCHED AREA DENOTES APPROXIMATE LIMIT DENOTES UNIT (SEE UNIT PLANS)
 *

PROJECT: BUILDING 1A & 1B
 SHEET: 3RD FL. PLAN
 DATE: 01/20/11
 DRAWN BY: [Name]
 CHECKED BY: [Name]



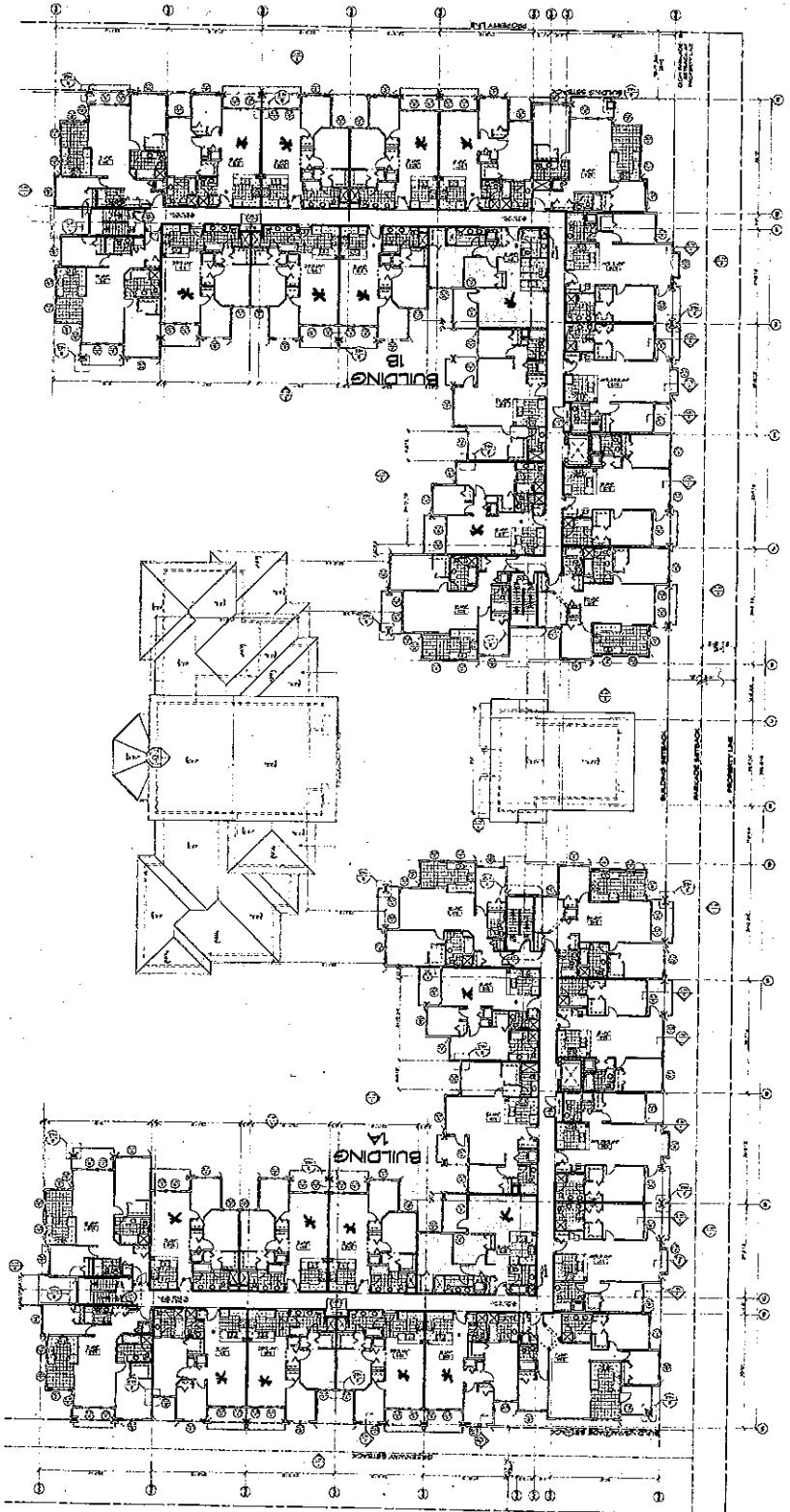
RCGA
 Robert Chiriac Architects Inc.
 2001 - 2330 Columbia Street
 Suite 100
 Columbia, MD 21046
 Tel: (410) 887-4744
 Fax: (410) 887-4745
 www.rcga.com



MAYFAIR PLACE
 8833 St. John's Road
 Richmond BC

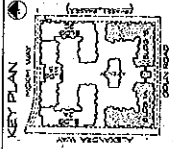
Scale: 1/8" = 1'-0"
 Project: POLY-11
 Building 1A & 1B
 3rd FL. PLAN

Sheet: -
 Title: A2.13



DP 10 551711
 Rs. 7

CONTRACTOR: REFERENCE THE DRAWINGS AND ALL NOTES TO THE WORK PERFORMED ON THIS DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ADJACENT PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ADJACENT PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ADJACENT PROPERTIES.



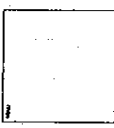
LEGEND

HATCHED AREA DENOTES APPROXIMATE UNIT

* DENOTES UNIT (REFER TO UNIT PLANS)

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITTING	2011-03-01
2	ISSUED FOR PERMITTING	2011-03-01
3	ISSUED FOR PERMITTING	2011-03-01
4	ISSUED FOR PERMITTING	2011-03-01
5	ISSUED FOR PERMITTING	2011-03-01
6	ISSUED FOR PERMITTING	2011-03-01
7	ISSUED FOR PERMITTING	2011-03-01
8	ISSUED FOR PERMITTING	2011-03-01
9	ISSUED FOR PERMITTING	2011-03-01
10	ISSUED FOR PERMITTING	2011-03-01



RCA

Robert Chazotte Architecture Inc.
 200 - 2880 Columbia Street
 Vancouver, B.C.
 Canada V6T 3T5
 Phone: (604) 682-4841
 Fax: (604) 682-4841
 email: info@rca-architect.com

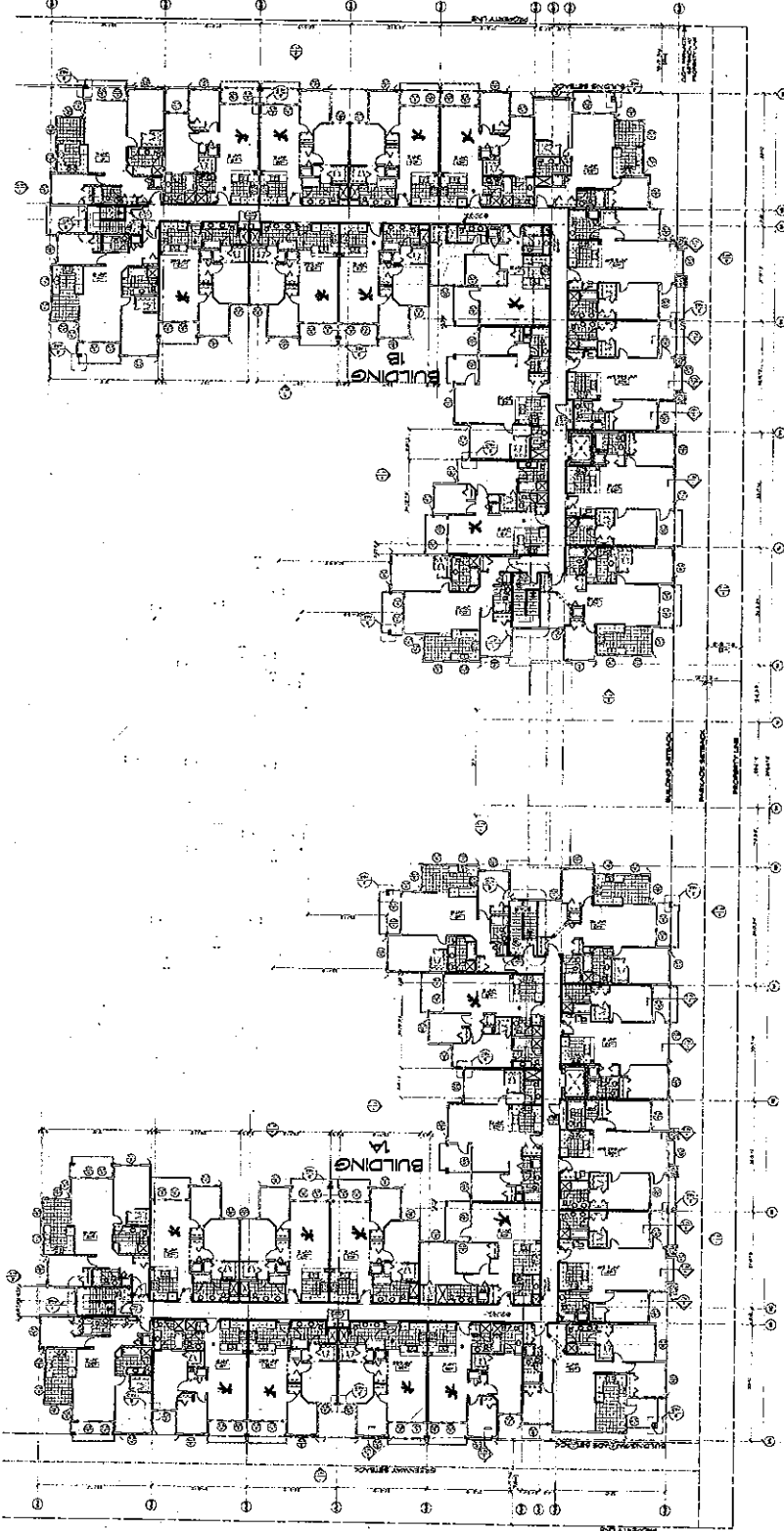


MAYFAIR PLACE

9931 to 9941 Glen Road
 Richmond BC

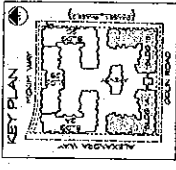
BUILDING 1A & 1B
4th FL PLAN

A2.14



PP 10.551711
 PG. 8

CONTRACTOR: [Blank]
 PROJECT: [Blank]
 SHEET: [Blank]
 DATE: [Blank]



DATE: [Blank]
 DRAWN BY: [Blank]
 CHECKED BY: [Blank]
 APPROVED BY: [Blank]



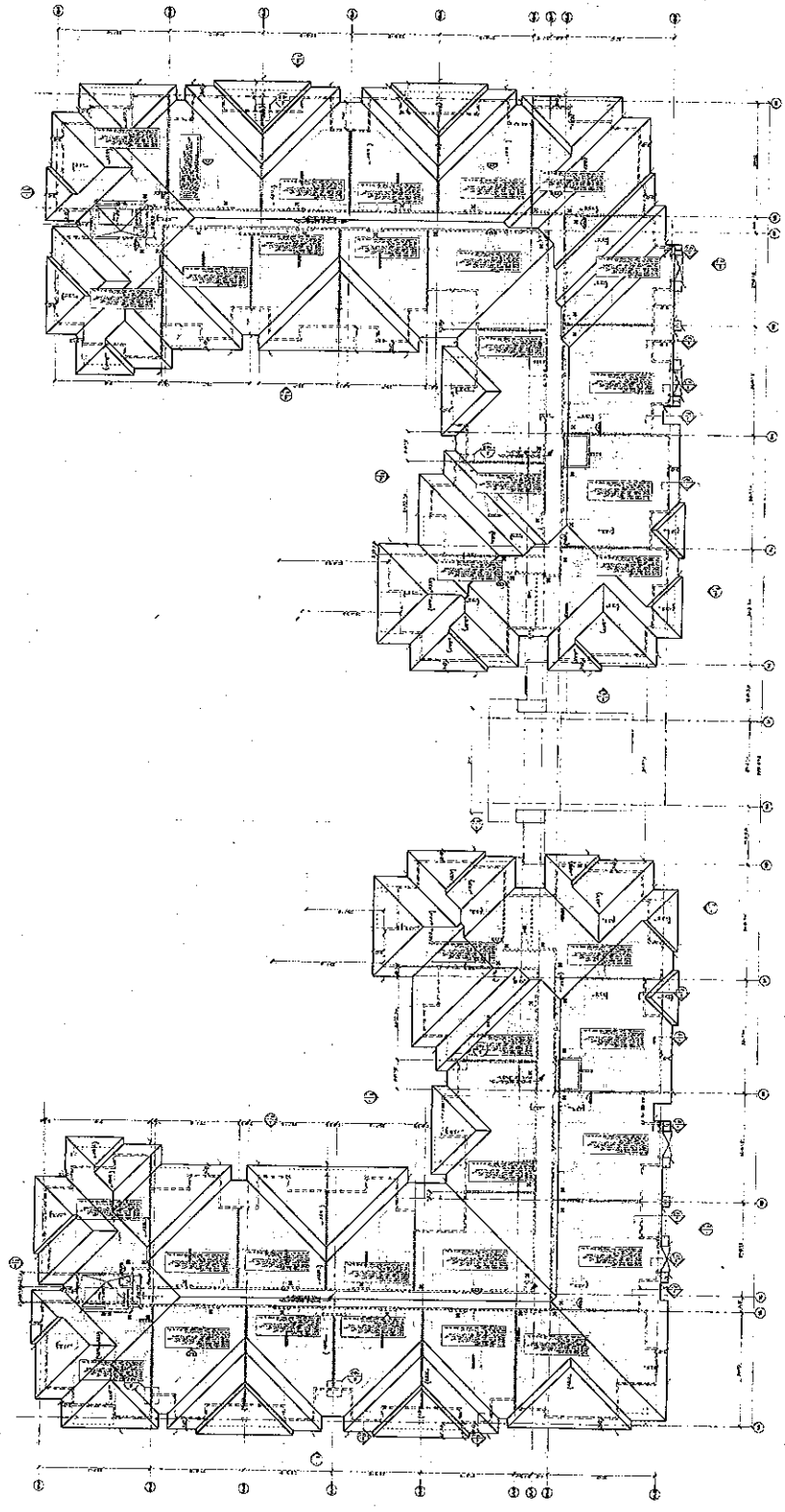
RCA
 Robert Clark Architects Inc.
 210 - 228 Columbia Street
 Vancouver, BC V6C 3K7
 Tel: (604) 681-4741
 Fax: (604) 681-4742
 www.rca-architects.com



MAYFAIR PLACE
 5839 St. John's Road
 Richmond BC

PROJECT: [Blank]
 SHEET: [Blank]
BUILDING 1A & 1B
ROOF PLAN

SCALE: [Blank]
 DATE: [Blank]
A2.15

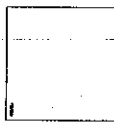


DP 10551711
 PG. 7

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REVISION	DATE	DESCRIPTION

DATE: 04/23/10
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT: [Name]

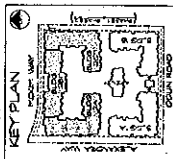


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 Vancouver, B.C.
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 Fax: (604) 687-4661
 www.rca.ca

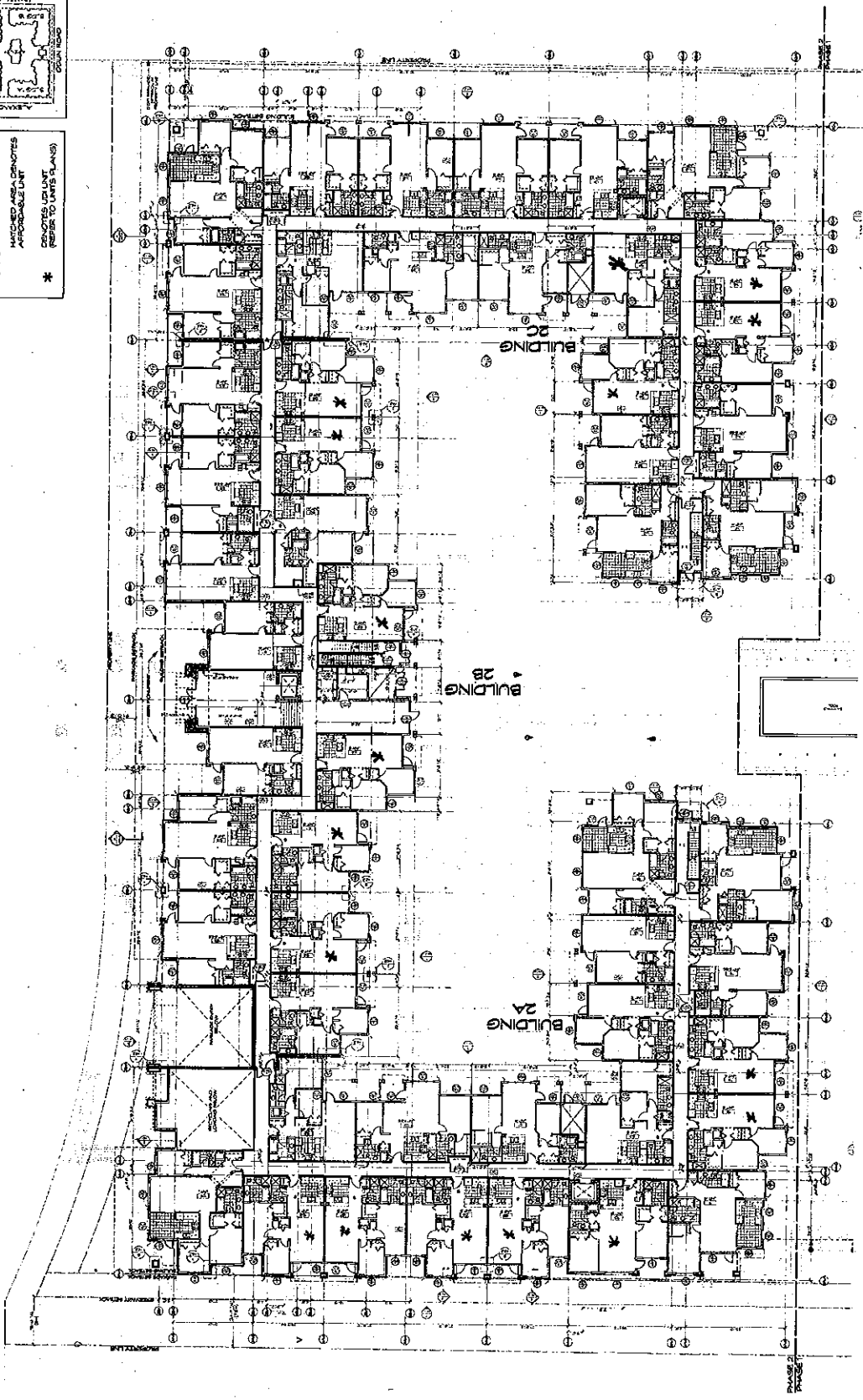


MAYFAIR PLACE
 5937th Street, Oak Road
 Richmond BC

DATE	
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PROJECT	BLDG 2A, 2B, 2C

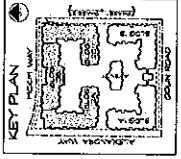


LEGEND
 HATCHED AREA DENOTES APPROVED UNIT
 * DENOTES UNIT (REFER TO UNIT PLANS)



DP 10 551711
 7/4/10

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LEGEND
 HATCHED AREA DENOTES APPLICABLE UNIT
 * DENOTES UNIT (REFER TO UNITS PLANS)

REVISIONS

NO.	DATE	DESCRIPTION



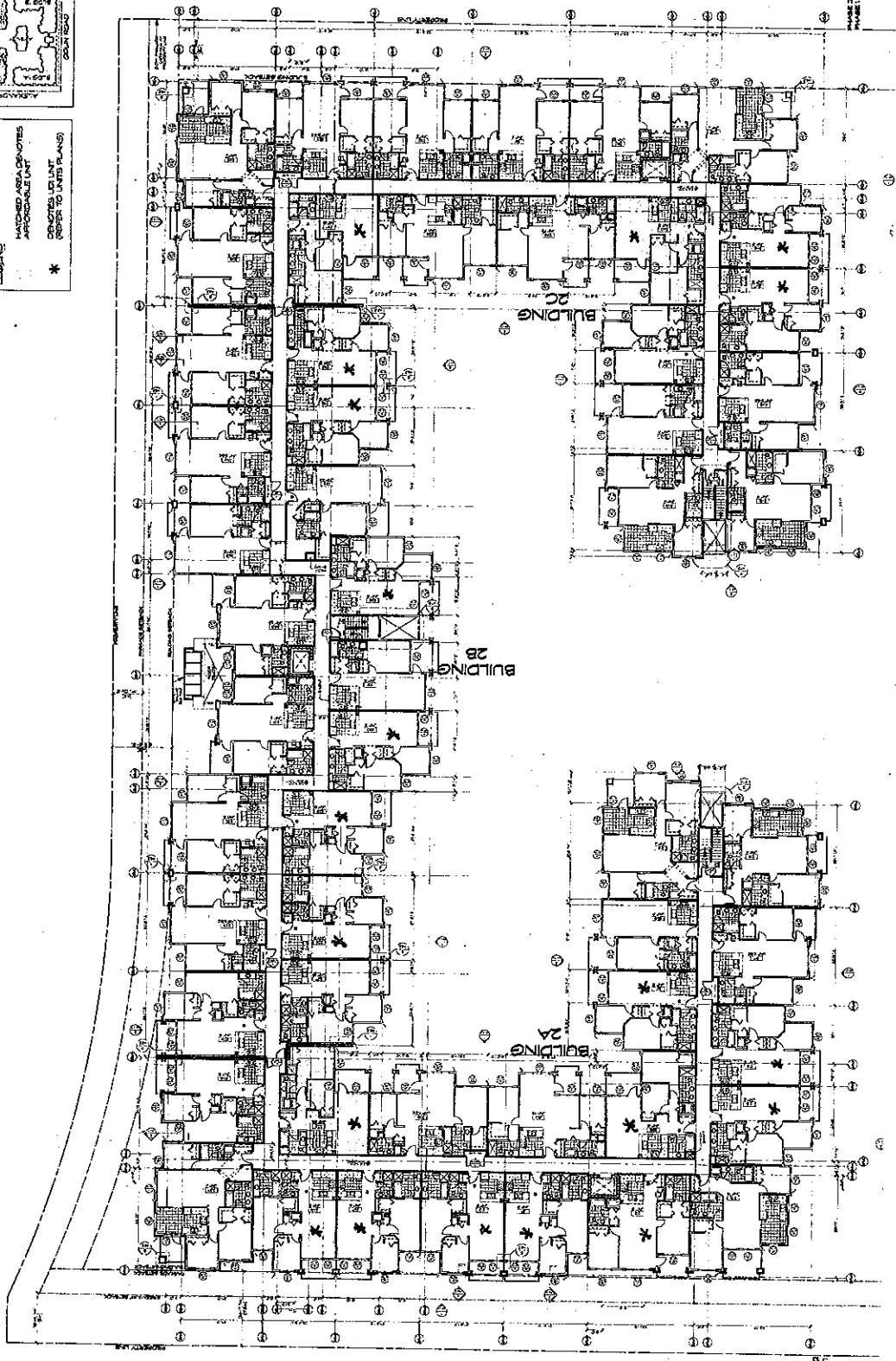
BCA
 Robert Gonzalez Architects Inc.
 200 - 2020 Colborne Street
 Scarborough, ON
 Canada M1V 3Y3
 Tel: (416) 291-2471
 Fax: (416) 291-2471
 info@bcacorp.com



MAYFAIR PLACE
 9281 to 9411 Oak Road
 Richmond BC

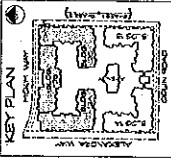
BLDG 2A, 2B, 2C
 2ND FL. PLAN

A2.2.2



DP 10 551711
 Pg. 11

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND AGENCIES.



LEGEND
 HATCHED AREA DENOTES AFFORDABLE UNIT (REFER TO UNITS PLANS)
 * DENOTES UNIT (REFER TO UNITS PLANS)

NOTES
 1. ALL UNITS SHALL BE AFFORDABLE UNITS.
 2. ALL UNITS SHALL BE AFFORDABLE UNITS.
 3. ALL UNITS SHALL BE AFFORDABLE UNITS.



BCA

Robert Stewart Architects Inc.
 200 - 228 Columbia Street
 Ottawa, ON K1P 1K5
 Phone: (613) 567-4444
 Fax: (613) 567-4444
 www.rsta.com

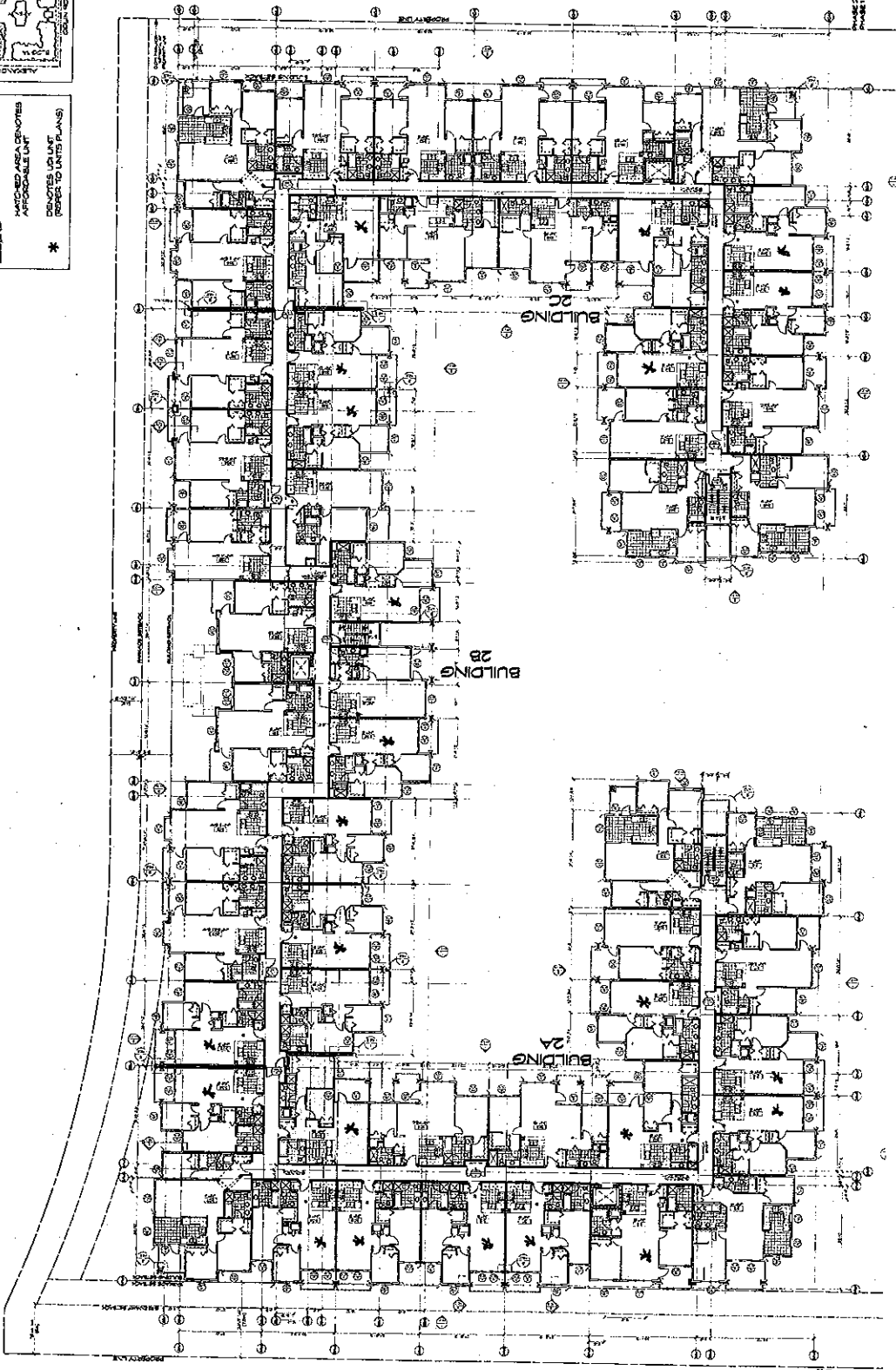


POLYGON

MAYFAIR PLACE
 5935 to 6011 Oak Road
 Richmond BC

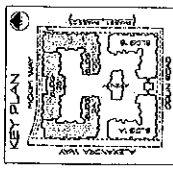
DATE: 1/18/12
 DRAWN BY: JG/TS
 PROJECT: BLDG 2A, 2B, 2C
 3RD FL. PLAN

SCALE: -
 SHEET: A2.2.3



PP 10 551711 Pg. 12

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LEGEND
 Hatched areas denotes APPLICABLE UNIT (REFER TO UNIT PLANS)

REVISIONS

NO.	DATE	DESCRIPTION
1	08/20/11	ISSUED FOR RECORD
2	08/20/11	ISSUED FOR PERMITS
3	08/20/11	ISSUED FOR CONSTRUCTION
4	08/20/11	ISSUED FOR RECORD



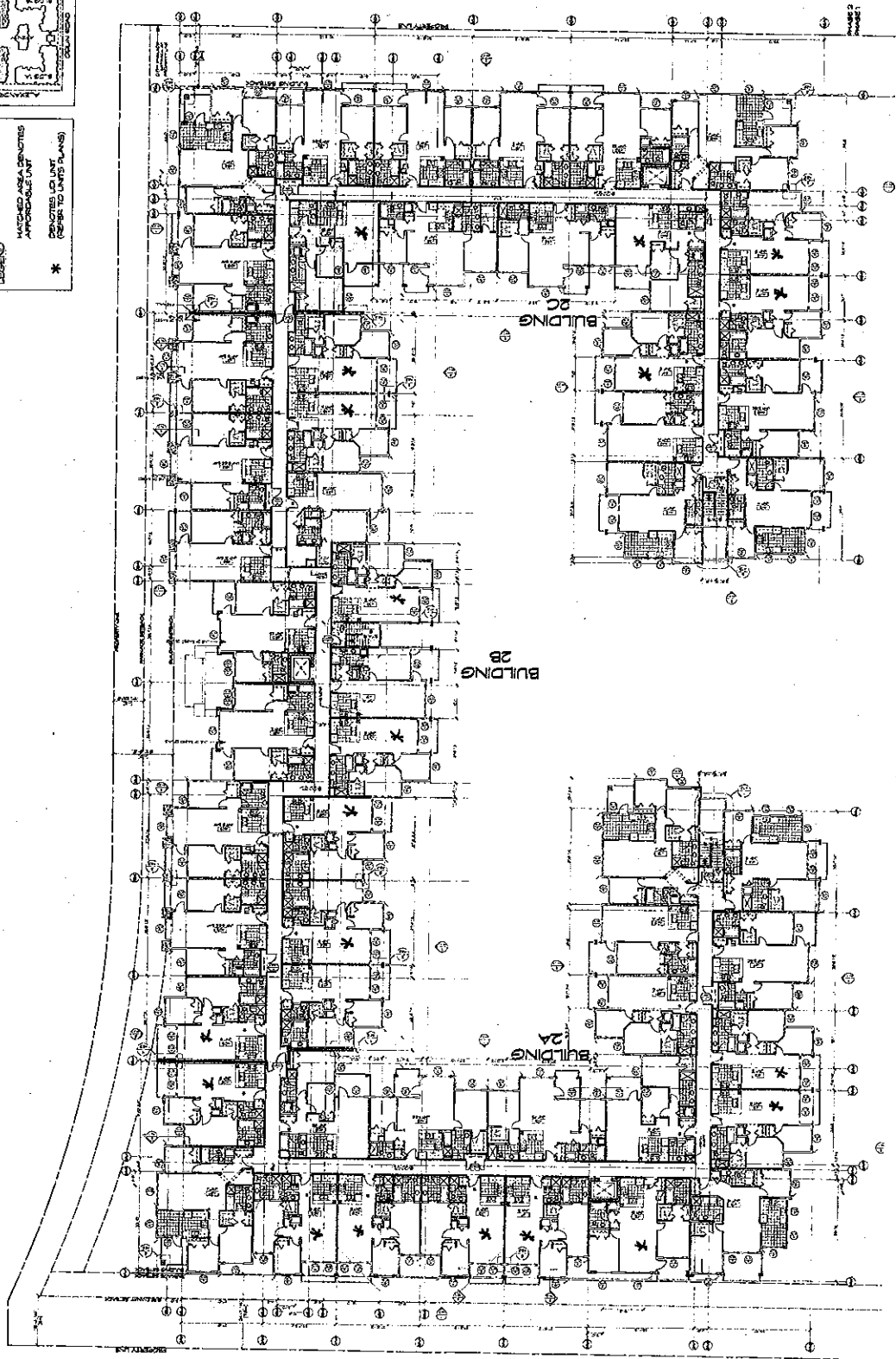
RCA
 Robert Conrad Architects Inc.
 200 - 2038 Columbia Street
 Vancouver, B.C.
 Canada V6J 1A4
 Tel: (604) 681-7741
 Fax: (604) 681-7661
 admin@robertconrad.com



MAYFAIR PLACE
 9531 St. John's Road
 Richmond BC

BLDG 2A, 2B, 2C
4th FL PLAN

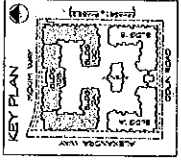
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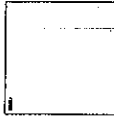
DR 10 551711
 RA.13

PHASE 2
 PHASE 1

COMPANY POLICY: THE ENGINEER HAS REVIEWED THE CONTRACT DOCUMENTS AND FOUND THEM TO BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL ENGINEERING ACT AND THE REGULATIONS THEREUNDER. THE ENGINEER HAS REVIEWED THE CONTRACT DOCUMENTS AND FOUND THEM TO BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL ENGINEERING ACT AND THE REGULATIONS THEREUNDER. THE ENGINEER HAS REVIEWED THE CONTRACT DOCUMENTS AND FOUND THEM TO BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL ENGINEERING ACT AND THE REGULATIONS THEREUNDER.



NOTES
 1. ALL ROOFING SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
 2. ALL ROOFING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL ENGINEERING ACT AND THE REGULATIONS THEREUNDER.
 3. ALL ROOFING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL ENGINEERING ACT AND THE REGULATIONS THEREUNDER.



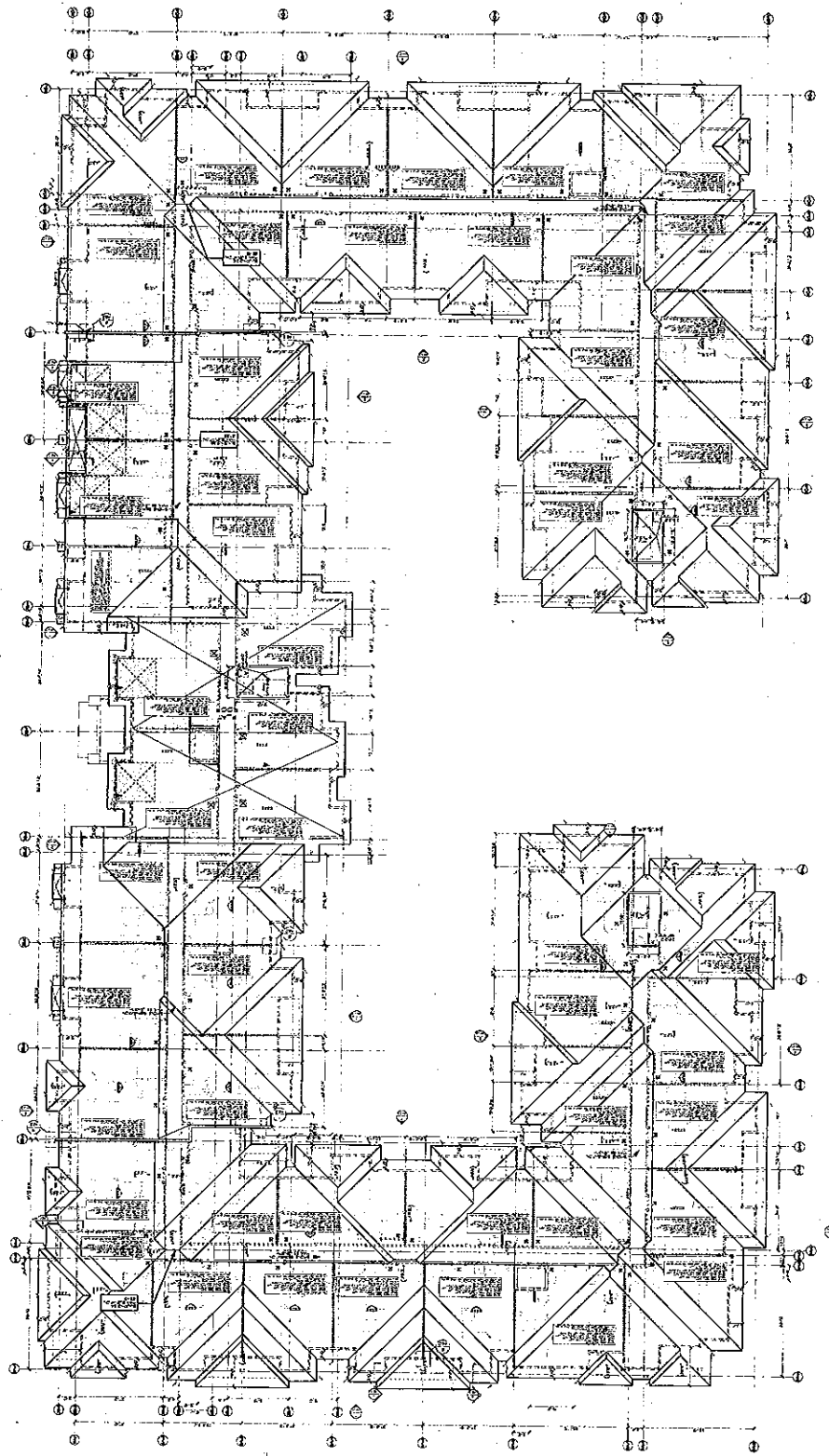
PCA
 Robert Chacek Architects Inc.
 200 10th Avenue, S.W.
 Vancouver, B.C.
 Canada V6Y 3Y3
 Phone: (604) 687-4641
 www.robertchacek.com



MAYFAIR PLACE
 8251 to 8411 Oak Road
 Richmond BC

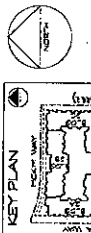
Scale	1/8" = 1'-0"
Project	PCA 173
BLDG 2A, 2B, 2C ROOF PLAN	

Sheet	A225
Revision	-



DR 10551711
 Pg. 14

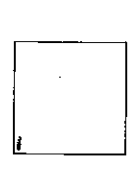
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NO.	REVISION	DATE
1	ISSUED FOR PERMITS	08/15/11
2	ISSUED FOR PERMITS	08/15/11
3	ISSUED FOR PERMITS	08/15/11
4	ISSUED FOR PERMITS	08/15/11
5	ISSUED FOR PERMITS	08/15/11
6	ISSUED FOR PERMITS	08/15/11

REVISIONS

DATE



RCA
 Robert Conrad Architects Inc.
 200 - 2030 Columbia Street
 Vancouver, B.C.
 Tel: (604) 681-4741
 Fax: (604) 681-4841
 info@rca-architects.com



MAYFAIR PLACE
 5555 St. John's Road
 Richmond BC

AMENITY OVERALL PLAN

A3.6

AMENITY NOTES:

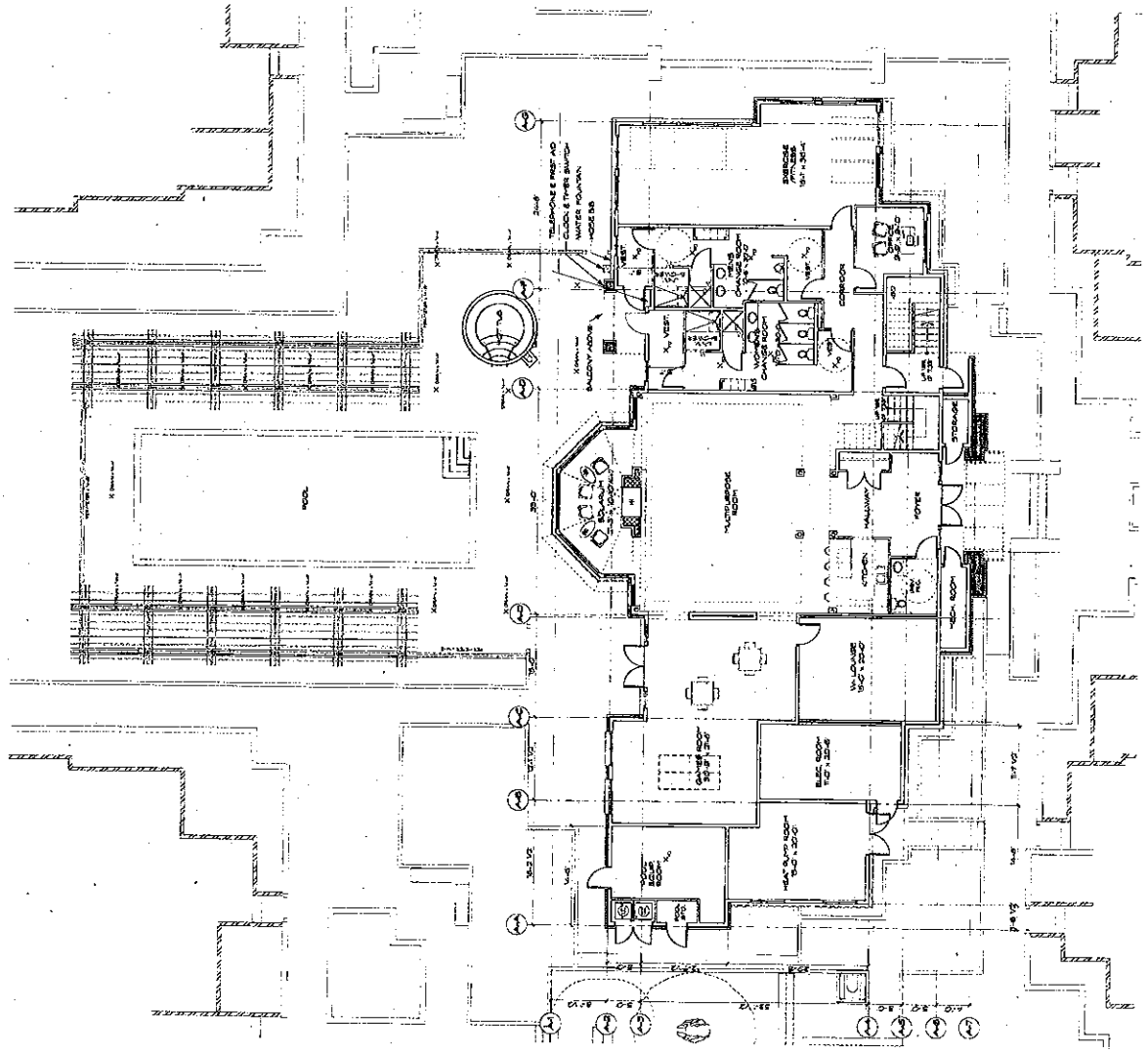
1. Refer to the Civil Engineering approved by the City of Richmond for the final design of the amenity pool, hot tub and related structures.
2. The amenity pool, hot tub and related structures shall be constructed in accordance with the approved design and specifications for the amenity pool, hot tub and related structures.
3. The amenity pool, hot tub and related structures shall be constructed in accordance with the approved design and specifications for the amenity pool, hot tub and related structures.
4. The amenity pool, hot tub and related structures shall be constructed in accordance with the approved design and specifications for the amenity pool, hot tub and related structures.
5. The amenity pool, hot tub and related structures shall be constructed in accordance with the approved design and specifications for the amenity pool, hot tub and related structures.
6. The amenity pool, hot tub and related structures shall be constructed in accordance with the approved design and specifications for the amenity pool, hot tub and related structures.
7. The amenity pool, hot tub and related structures shall be constructed in accordance with the approved design and specifications for the amenity pool, hot tub and related structures.
8. The amenity pool, hot tub and related structures shall be constructed in accordance with the approved design and specifications for the amenity pool, hot tub and related structures.

FLOOR FINISHES (including base trim)

NO.	DESCRIPTION	FINISH
1	General	Polished Concrete
2	Wet Areas	Acrylic Resin
3	Change Room	Acrylic Resin
4	Locker Room	Acrylic Resin
5	Storage Room	Acrylic Resin
6	Wet Area	Acrylic Resin
7	Wet Area	Acrylic Resin
8	Wet Area	Acrylic Resin
9	Wet Area	Acrylic Resin
10	Wet Area	Acrylic Resin
11	Wet Area	Acrylic Resin
12	Wet Area	Acrylic Resin
13	Wet Area	Acrylic Resin
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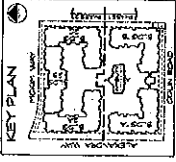
ACCESSORIES AND SPECIES

NO.	DESCRIPTION	SPECIES
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AMENITY - MAIN FLOOR PLAN
 SCALE: 1/8" = 1'-0"

DP 10551711
 Pg. 15

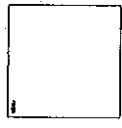


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NO.	DATE	DESCRIPTION

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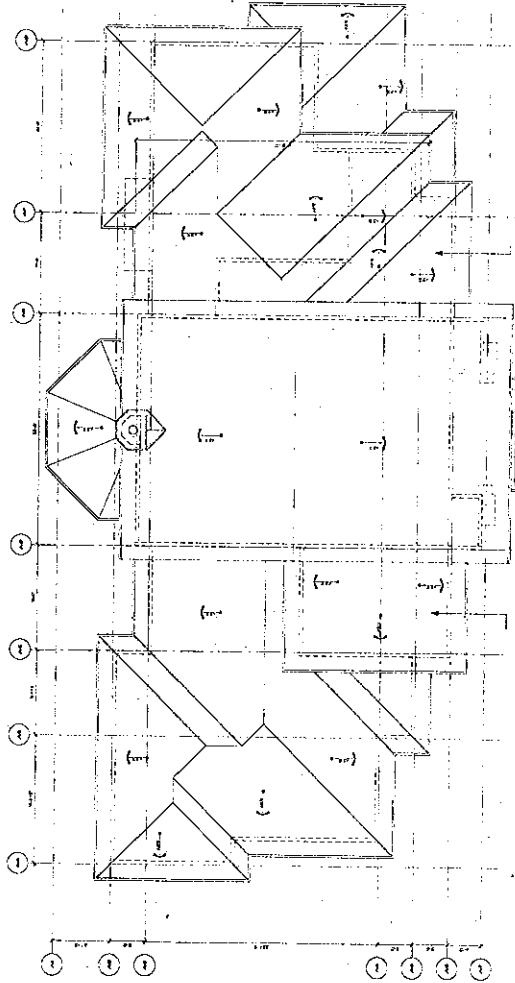
RCA
 Robert C. Anderson
 200 - 2300 Columbia Street
 Jacksonville, FL 32202
 Tel: (904) 887-4741
 Fax: (904) 887-4841
 www.rcaarchitect.com



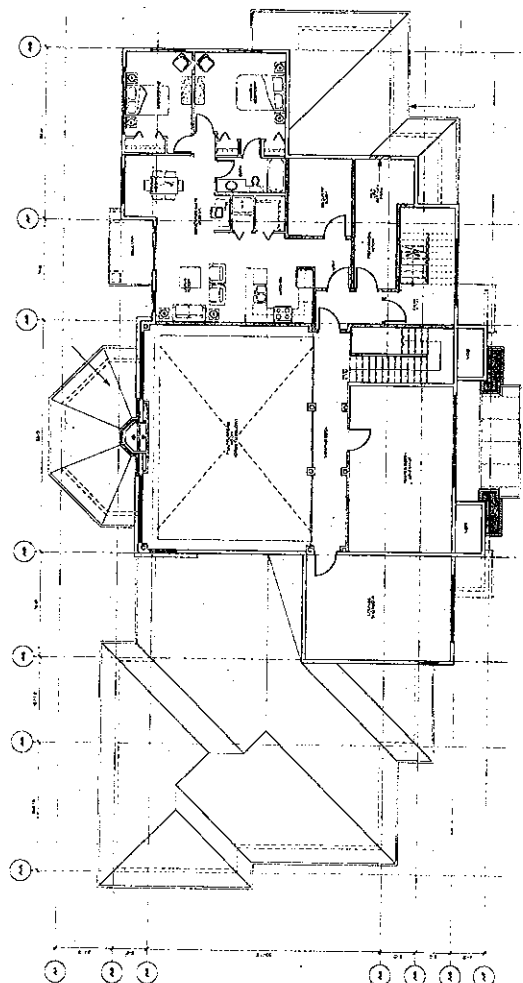
MAYFAIR PLACE
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 Richmond, VA

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AMENITY - ROOF PLAN
 SCALE: 1/8" = 1'-0"



AMENITY - UPPER FLOOR PLAN
 SCALE: 1/8" = 1'-0"

DR 10551711
 PG. 16

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NO.	DATE	DESCRIPTION

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 3. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.

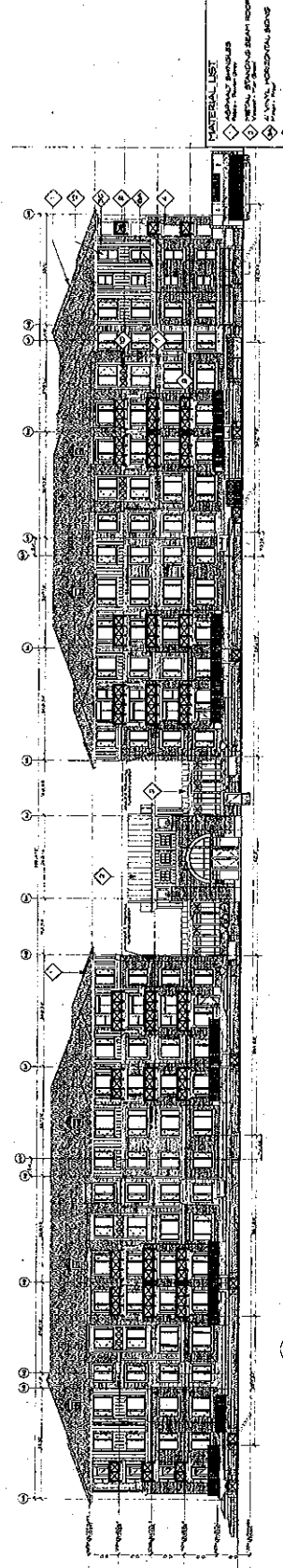
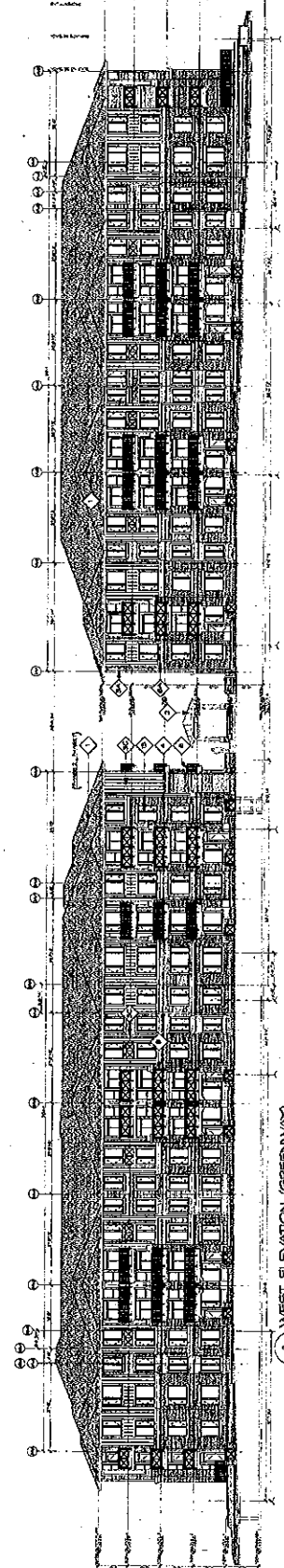
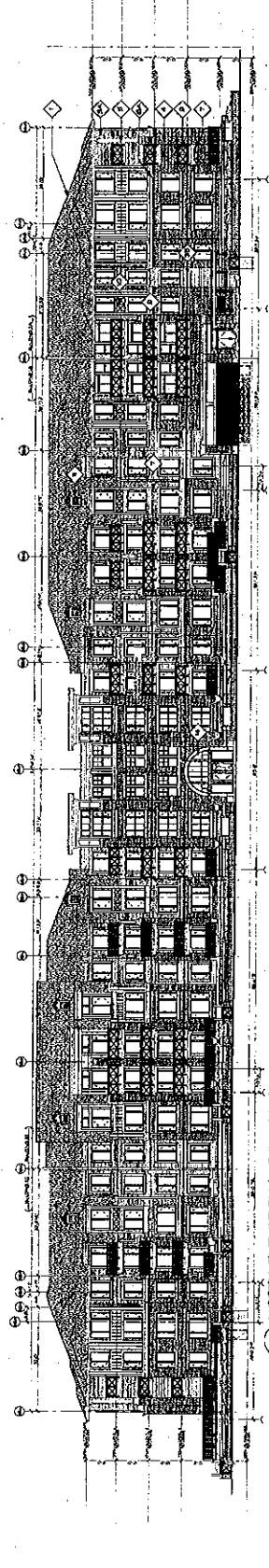
RCA
 Robert Charles Architects Inc.
 200 - 200 Columbia Street
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 Fax: (604) 681-4841
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 www.polygonbuilding.com

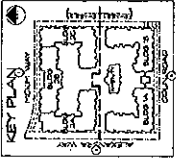
MAYFAIR PLACE
 8380 to 8400 Oak Road
 Richmond BC

DATE: 1/17	REV: 1/17
BUILDING ELEVATIONS	

SCALE: A4.00



- MATERIAL LIST**
- ◆ ASPHALT ROOFING
 - ◆ BRICK
 - ◆ CONCRETE
 - ◆ GLAZED ALUMINUM CURTAINS
 - ◆ INSULATION
 - ◆ INTERIOR FINISHES
 - ◆ MASONRY
 - ◆ METAL ROOFING
 - ◆ METAL SKELETON
 - ◆ METAL TRUSS
 - ◆ METAL WALLS
 - ◆ METAL WINDOWS
 - ◆ METAL DOORS
 - ◆ METAL HANDRAILS
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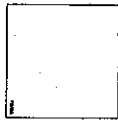


DP 10551711
 Pg. 17

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DATE: 11/15/2011
 SCALE: AS SHOWN

PROJECT: MAYFAIR PLACE
 5550 15 5th Ave, Road
 Richmond, BC
 DRAWN BY: [Redacted]
 CHECKED BY: [Redacted]
 DATE: 11/15/2011



RCA

Robert Chisholm Architects Inc.
 200 - 2070 Columbia Street
 Vancouver, BC
 Canada V6C 2K1
 Tel: (604) 681-2211
 Fax: (604) 681-2211
 admin@robertchisholm.com



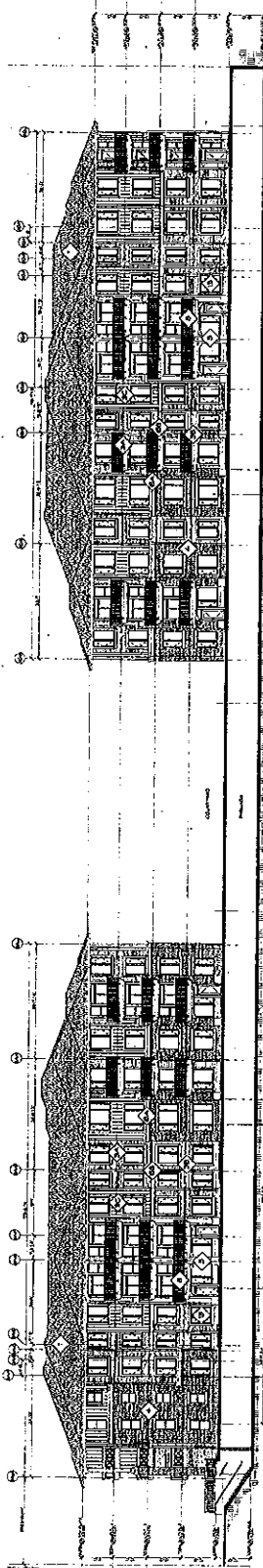
POLYGON

MAYFAIR PLACE
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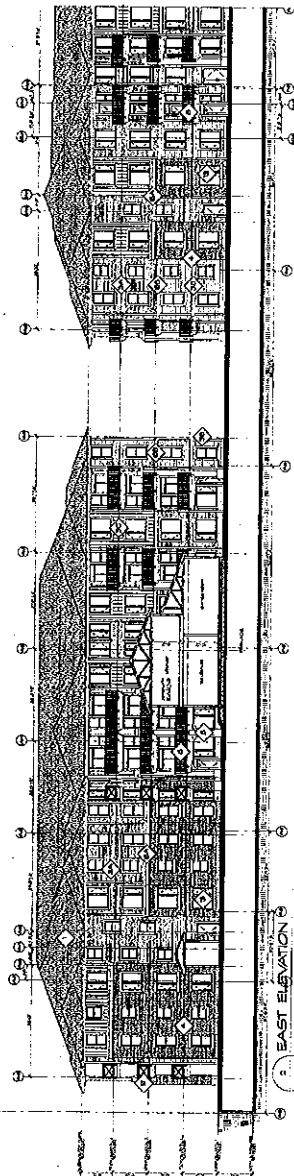
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BUILDING ELEVATIONS

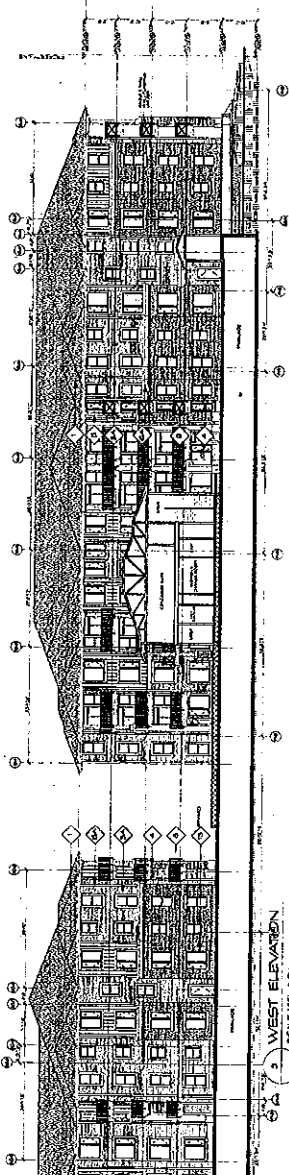
A4.30



1 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

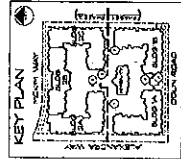


2 EAST ELEVATION
 SCALE: 1/8" = 1'-0"



3 WEST ELEVATION
 SCALE: 1/8" = 1'-0"

- MATERIAL LIST**
- ◇ ALUMINUM CLADDING
 - ◇ METAL FINISHES
 - ◇ ALUMINUM WINDOW SILLING
 - ◇ ALUMINUM WINDOW CASING
 - ◇ ALUMINUM WINDOW SASH
 - ◇ VINYL SIDING & TRIM SIDING
 - ◇ PVC SIDING
 - ◇ WOOD SIDING
 - ◇ WOOD TRIMMING
 - ◇ WOOD TRIMMING & SILLING
 - ◇ WOOD TRIMMING & SILLING
 - ◇ WOOD TRIMMING & SILLING
 - ◇ ALUMINUM GUARDRAILS
 - ◇ TEMPERED GLASS GUARDRAILS
 - ◇ ALUMINUM GUARDRAILS
 - ◇ THERMOPLASTIC ALUMINUM GUARDRAILS
 - ◇ CONCRETE
 - ◇ Gypsum Board
 - ◇ Gypsum Wall



DR 10551711
 PL 20

CONTRACTOR SHALL VERIFY THE EXISTING AND NOTED DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. ONLY MATERIALS WHICH MEET THE SPECIFICATIONS SHALL BE USED.

REVISIONS

NO.	DATE	DESCRIPTION

GENERAL NOTES:

- 1. REFER TO ALL DRAWINGS FOR MATERIALS AND FINISHES.
- 2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE BOOK.
- 3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE BOOK.
- 4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE BOOK.
- 5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE BOOK.



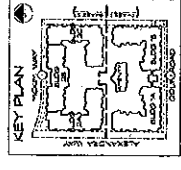
PCA
 Robert Cizzard Architecture Inc.
 2001 S. ... Street



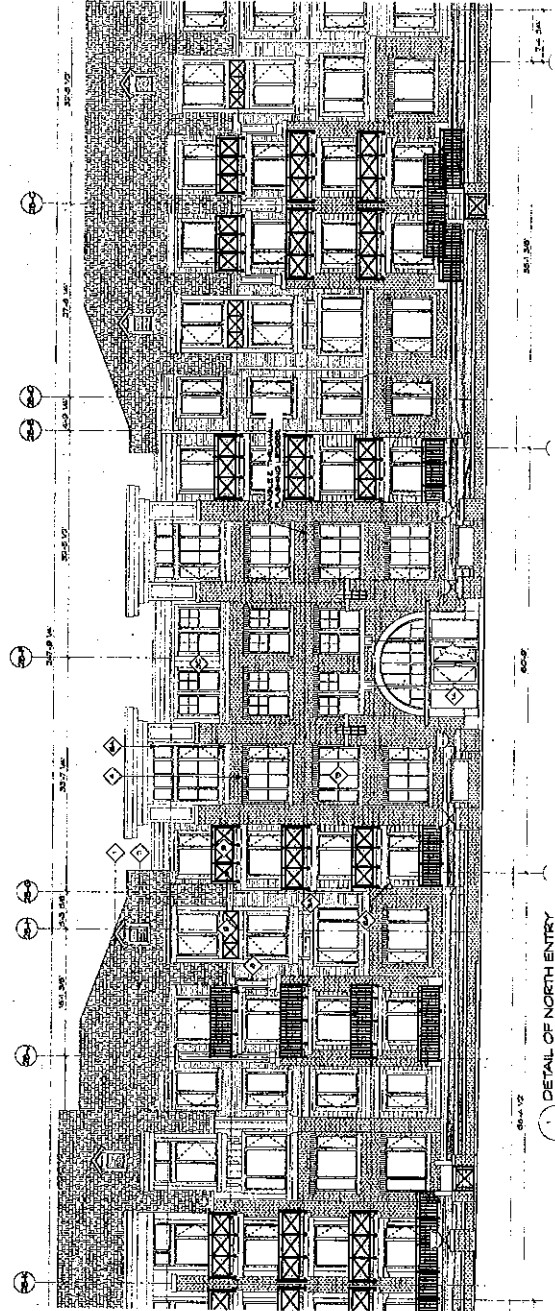
MAYFAIR PLACE
 9131 to 9141 Oak Road
 Richmond BC

NO.	DATE	DESCRIPTION

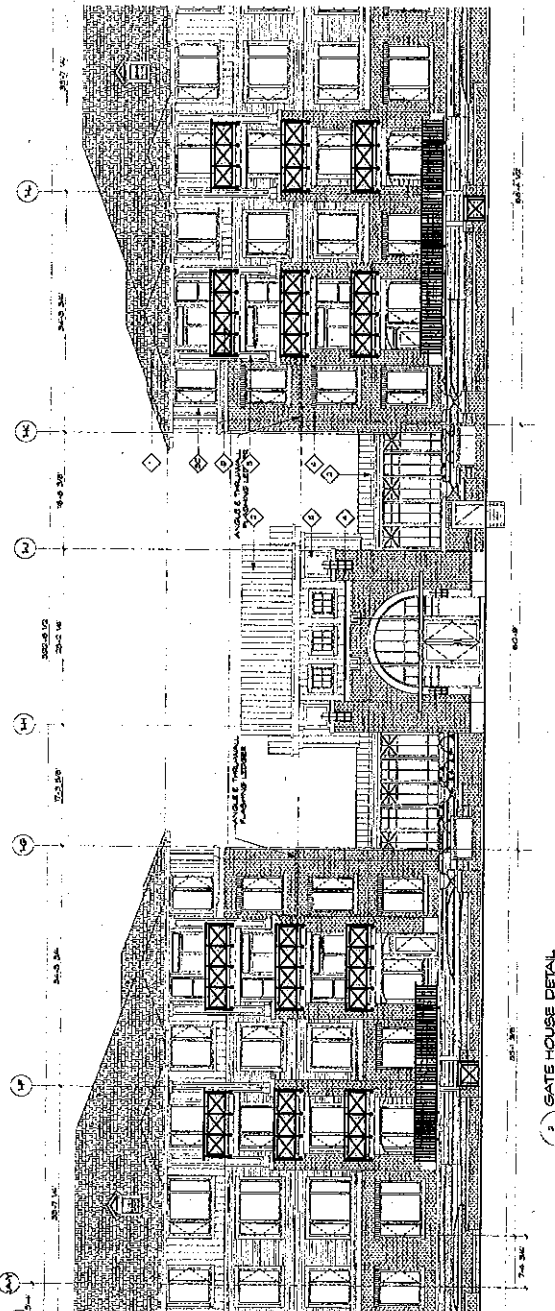
BUILDING ELEVATIONS
 A4.40



- MATERIAL LIST**
- ◇ ASPHALT ROOFING
 - ◇ 2x4 LUMBER
 - ◇ 2x6 LUMBER
 - ◇ 2x8 LUMBER
 - ◇ 4x4 LUMBER
 - ◇ 2x10 LUMBER
 - ◇ 2x12 LUMBER
 - ◇ 1/2" OSB SHEATHING
 - ◇ 3/4" OSB SHEATHING
 - ◇ 1" OSB SHEATHING
 - ◇ 1 1/2" OSB SHEATHING
 - ◇ 2" OSB SHEATHING
 - ◇ 1/2" GYPSUM BOARD
 - ◇ 5/8" GYPSUM BOARD
 - ◇ 1" GYPSUM BOARD
 - ◇ 1 1/2" GYPSUM BOARD
 - ◇ 2" GYPSUM BOARD
 - ◇ CONCRETE
 - ◇ 1 1/2" MASONRY SLURRY
 - ◇ 2" MASONRY SLURRY
 - ◇ GYPSUM WALL



1. DETAIL OF NORTH ENTRY



2. GATE HOUSE DETAIL

DP 10551711
 PG. 21

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

NO.	REVISION	DATE

NOTES:
 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
 2. ALL MATERIALS SHALL BE AS SHOWN ON THE DRAWINGS.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS.
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS.



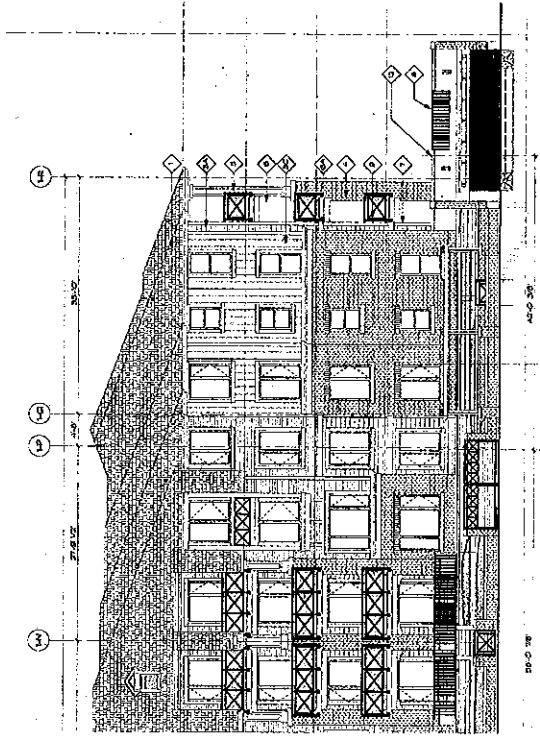
RCA
 Robert Charles Architects Inc.
 200 - 228 Columbia Street
 Toronto, Ontario M5T 1A7
 Tel: (416) 593-4441
 Fax: (416) 593-4442
 Email: info@rcaarchitects.com



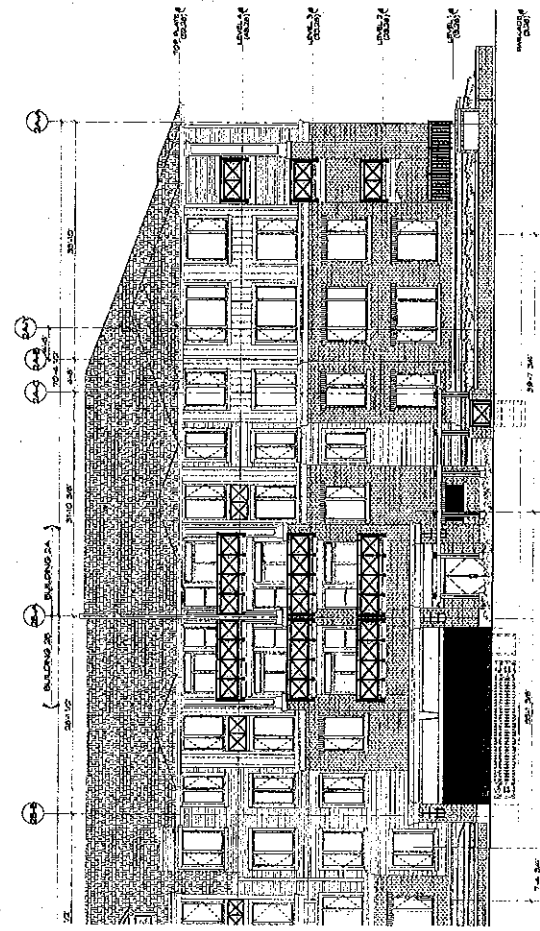
MAYFAIR PLACE
 9331 St. John Road
 Richmond BC

NO.	REV.	DATE	BY	CHKD.

BUILDING ELEVATIONS



2 DETAIL OF SOUTH PARKADE ENTRY
 SCALE 1/8" = 1'-0"



1 DETAIL OF NORTH PARKADE ENTRY
 SCALE 1/8" = 1'-0"

MATERIAL LIST

- 1. BRICK
- 2. CONCRETE
- 3. GLASS
- 4. METAL
- 5. WOOD
- 6. STONE
- 7. TERRAZZO
- 8. CERAMIC
- 9. FABRIC
- 10. PAINT
- 11. PLASTER
- 12. GROUT
- 13. ADHESIVE
- 14. SEALANT
- 15. FINISH

DR 10551711
 P.22

CONTRACTOR TO VERIFY THE DIMENSIONS OF ALL MATERIALS, WINDOWS AND DOORS AGAINST THE DIMENSIONS OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT AND THE LOCAL HEALTH DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT AND THE LOCAL HEALTH DEPARTMENT.

NO.	DATE	DESCRIPTION

REVISIONS

1. CHANGED FROM REDWOOD TO BRICK FOR EXTERIOR WALLS

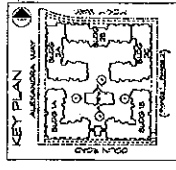
2. CHANGED FROM SHINGLES TO METAL ROOFING

3. CHANGED FROM 4" INSULATION TO 6" INSULATION

4. CHANGED FROM 2" GYPSUM BOARD TO 5/8" GYPSUM BOARD FOR INTERIOR WALLS

5. CHANGED FROM 1/2" GYPSUM BOARD TO 5/8" GYPSUM BOARD FOR INTERIOR WALLS

6. CHANGED FROM 1/2" GYPSUM BOARD TO 5/8" GYPSUM BOARD FOR INTERIOR WALLS



BCA

Blair Construction Architecture Inc.

288 - 2888 Colquhoun Street
 Victoria, BC V8T 3Y5
 Canada
 Tel: (250) 887-6781
 Fax: (250) 887-6782
 www.blairconstruction.ca



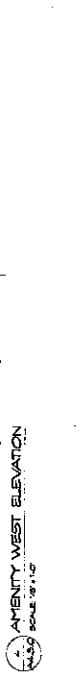
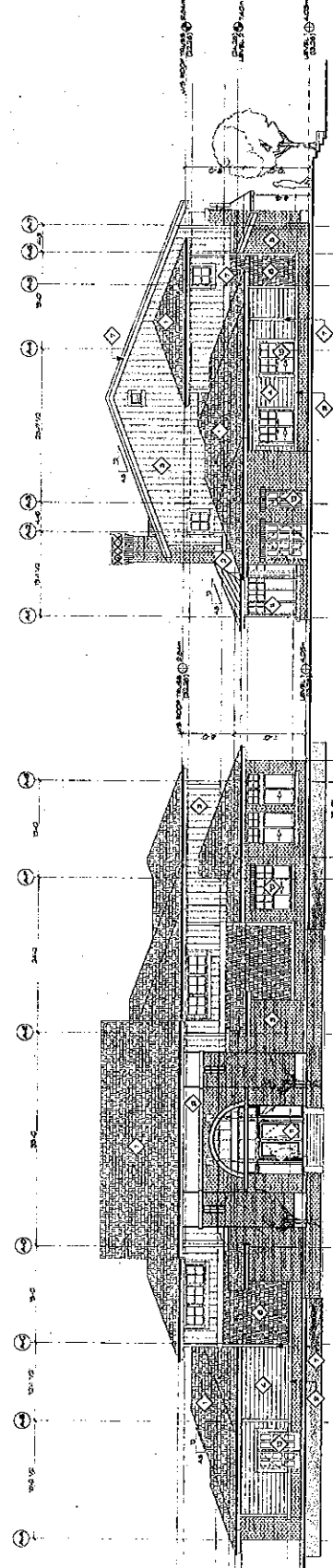
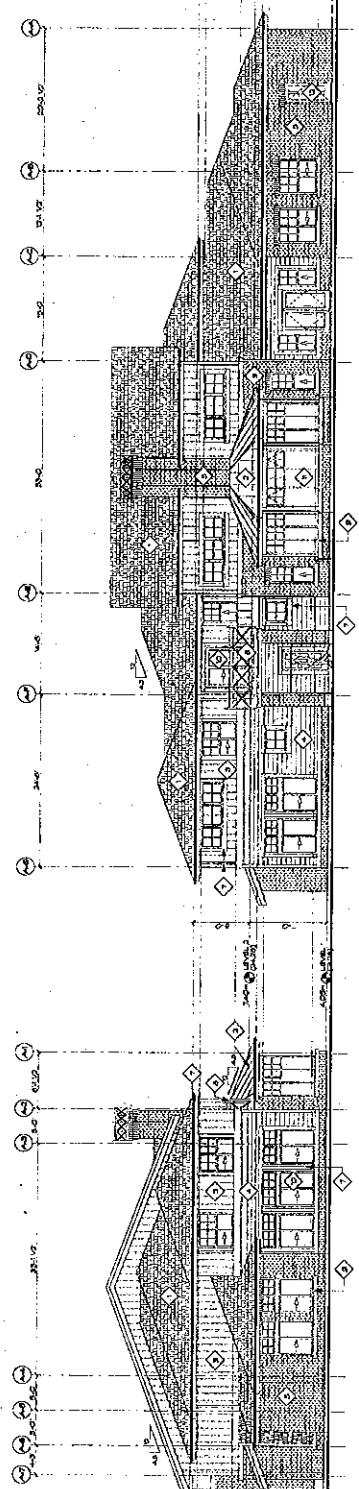
MAYFAIR PLACE

5930 to 5931 East Oak Road
 Richmond BC

NO.	DATE	DESCRIPTION

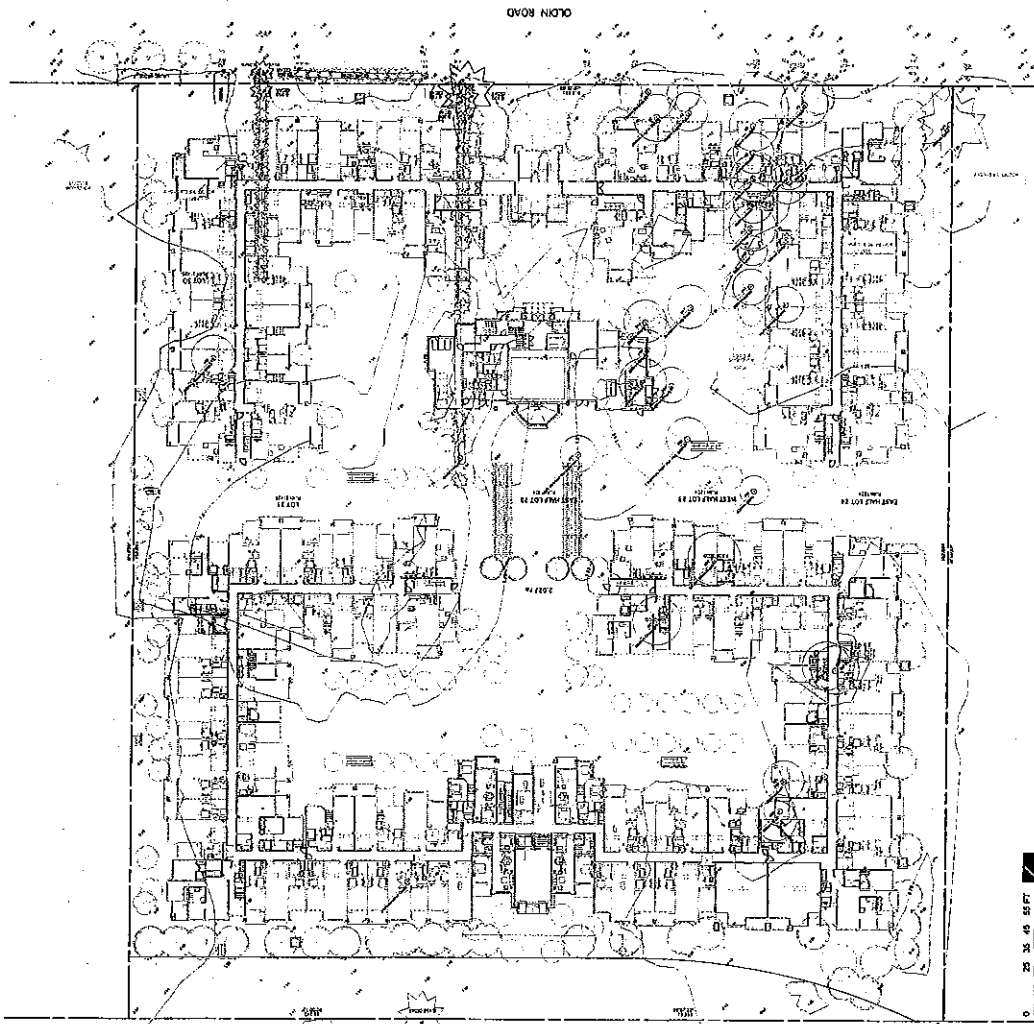
AMENITY ELEVATIONS

A4.60



- MATERIAL LIST**
- ① ASPHALT SHINGLES
 - ② 2x4 STUDS
 - ③ 2x6 RAFTERS
 - ④ 2x8 RAFTERS
 - ⑤ 2x10 RAFTERS
 - ⑥ 2x12 RAFTERS
 - ⑦ 4x4 POSTS
 - ⑧ 4x6 POSTS
 - ⑨ 4x8 POSTS
 - ⑩ 4x10 POSTS
 - ⑪ 4x12 POSTS
 - ⑫ 6x6 POSTS
 - ⑬ 6x8 POSTS
 - ⑭ 6x10 POSTS
 - ⑮ 6x12 POSTS
 - ⑯ 8x8 POSTS
 - ⑰ 8x10 POSTS
 - ⑱ 8x12 POSTS
 - ⑲ 10x10 POSTS
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 - ㉒ 10x16 POSTS
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 - ㊽ 24x26 POSTS
 - ㊾ 24x28 POSTS
 - ㊿ 24x30 POSTS
 - ① 2x4 STUDS
 - ② 2x6 RAFTERS
 - ③ 2x8 RAFTERS
 - ④ 2x10 RAFTERS
 - ⑤ 2x12 RAFTERS
 - ⑥ 4x4 POSTS
 - ⑦ 4x6 POSTS
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DP 10551711
R. 23



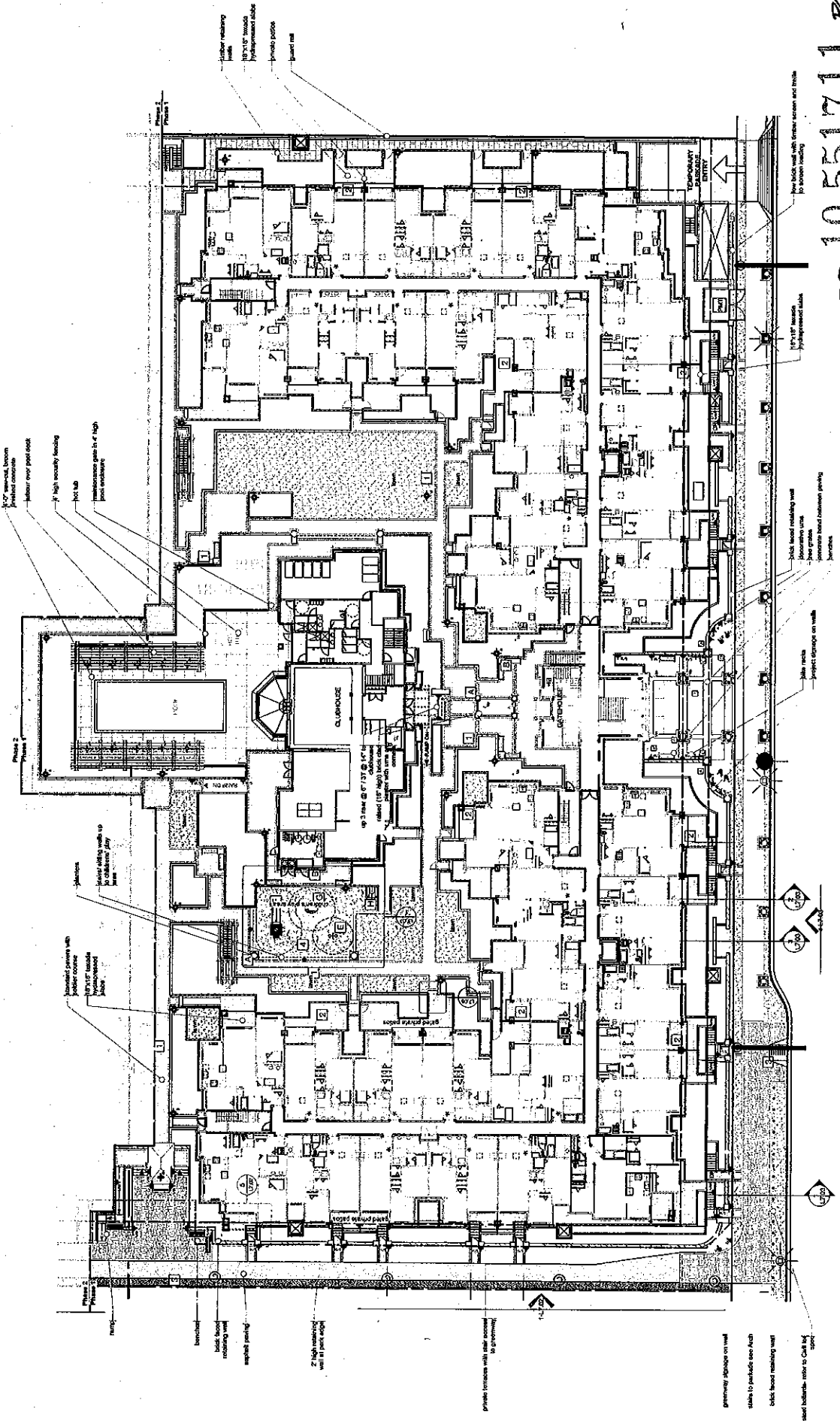
Existing Trees to be Removed
 (see single and group identified
 by asterisk)

Proposed New
 Trees
 (see total count not
 including those to be
 removed)

0 10 20 30 40 55 FT

DP 10 551711 PG. 25

Prepared for DP 2/24/11 Issued for Building Permit 11/16/10 Issued for Development Permit 8/27/10		Prepared for DP 2/24/11 Issued for Building Permit 11/16/10 Issued for Development Permit 8/27/10		Prepared for DP 2/24/11 Issued for Building Permit 11/16/10 Issued for Development Permit 8/27/10	
No.	Date	Appr.	Appr.	No.	Date
1	11/16/10			2	2/24/11
2	8/27/10			3	11/16/10
Issued for Building Permit Issued for Development Permit Revision Notes			Issued for Building Permit Issued for Development Permit Revision Notes		
ekoford + associates landscape architecture 1000 North 17th Street, Suite 100 Washington, DC 20001 Tel: 202.462.1100 Fax: 202.462.1101 www.ekoford.com			Mayfair Place Multi-Family 9301 3001st Avenue, Suite 100 Richmond, VA 23234 Tree Management Plan		
Prepared by Checked by Drawn by Date 08.03.10 08.03.10			Project No. 1000000		



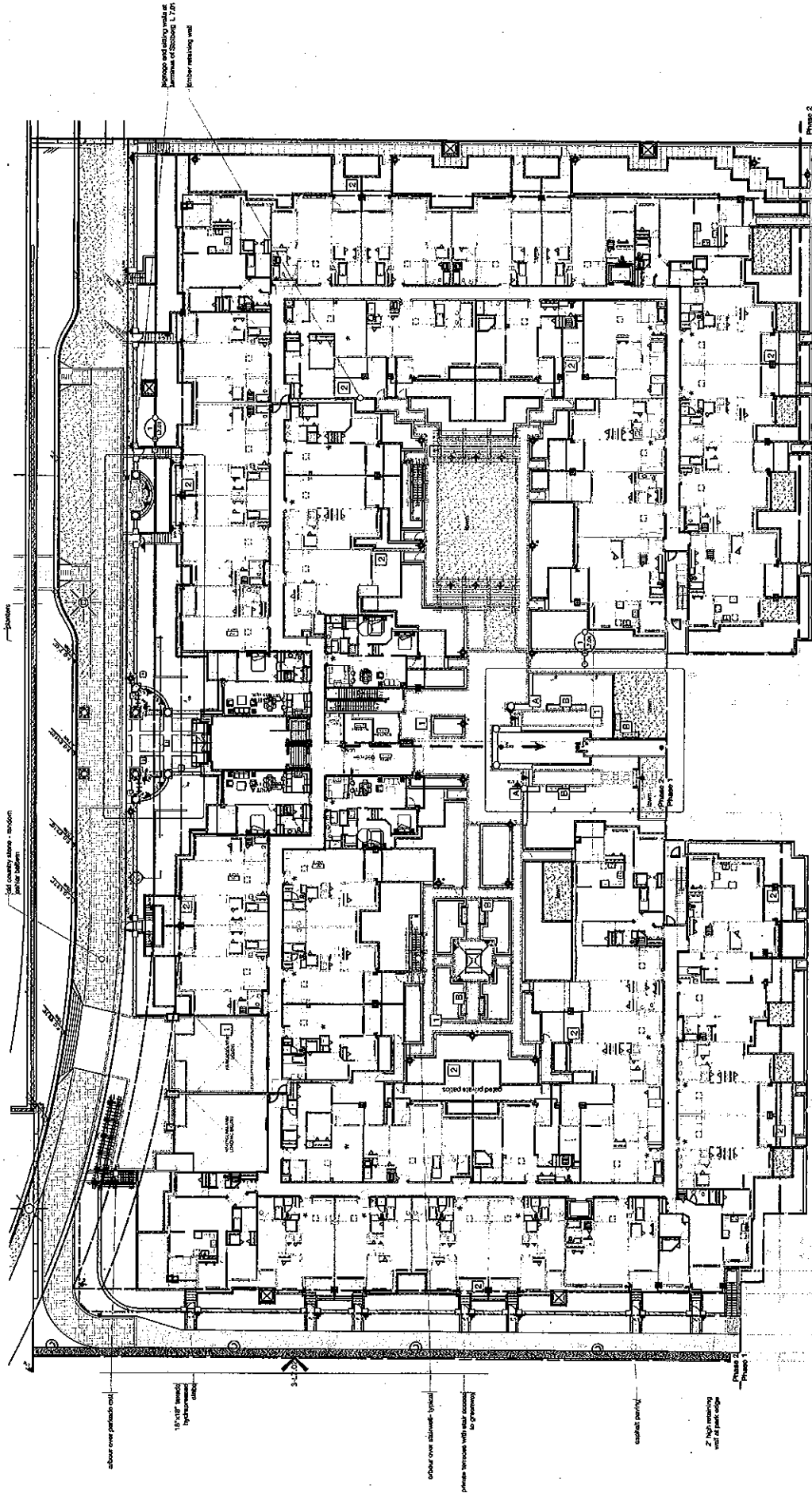
DP 10551711 R2.20

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Scale	AS SHOWN
Sheet No.	DP L4.01
Date	06.03.10
Author	DP0000

eckford + associates
landscape architecture
1000 14th Street, NW, Suite 1000
Washington, DC 20004
Tel: 202.638.2300
Fax: 202.638.2301
www.eckford.com

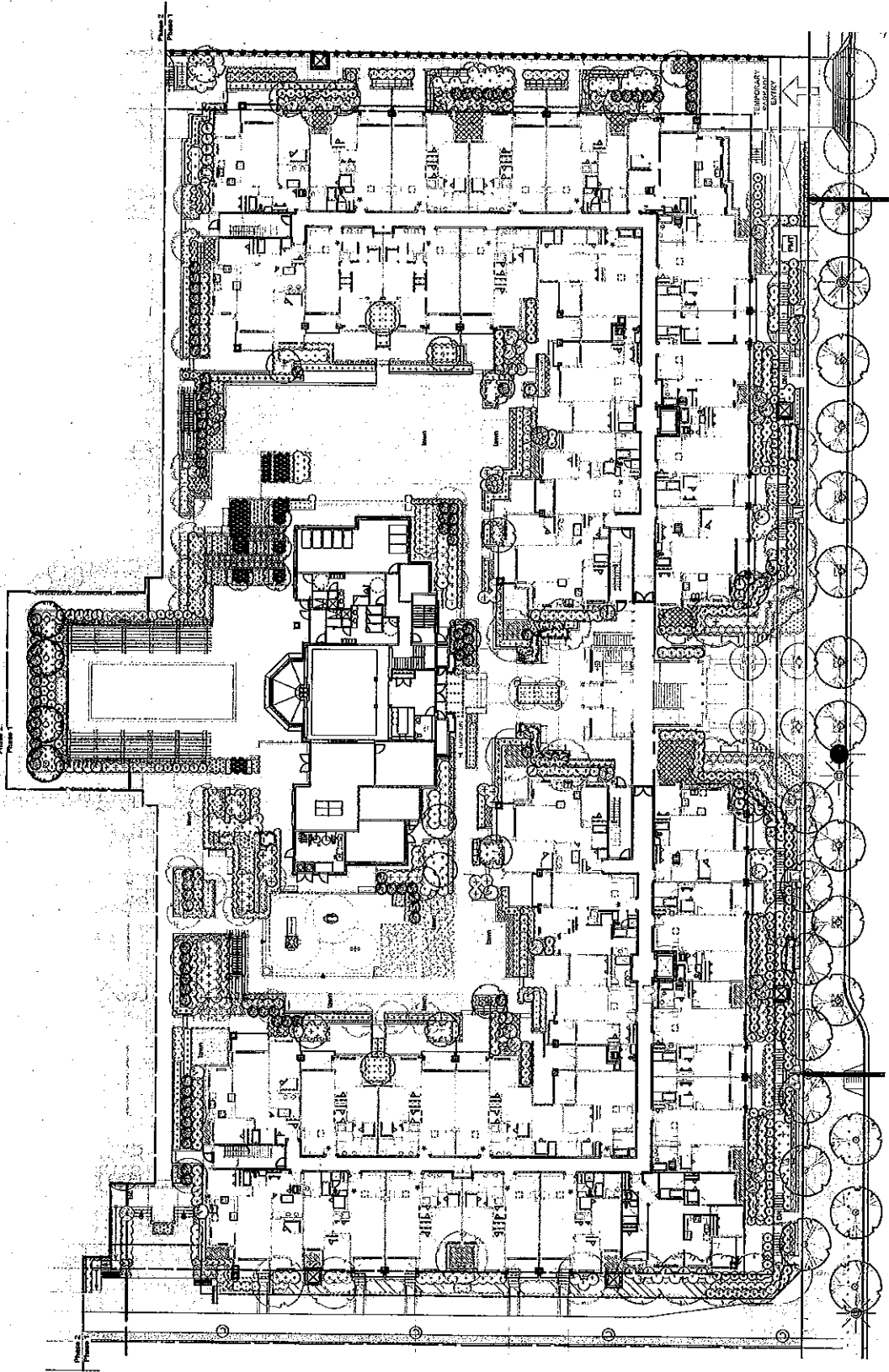
No.	Date	Revision
1	06/03/10	Issued for Development Permit
2	11/07/10	Issued for Building Permit
3	06/03/10	Issued for Development Permit
4	06/03/10	Issued for Development Permit
5	06/03/10	Issued for Development Permit
6	06/03/10	Issued for Development Permit
7	06/03/10	Issued for Development Permit
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27	06/03/10	Issued for Development Permit
28	06/03/10	Issued for Development Permit
29	06/03/10	Issued for Development Permit
30	06/03/10	Issued for Development Permit

Landscaping Phase 1
Scale: 1/8" = 1'-0"
0 10 20 30 FT



DP 10551711 Pg. 27

<p>ekford + associates landscape architecture 1000 North 10th Street, Suite 100 Portland, Oregon 97228 Phone: 503.241.1111 Fax: 503.241.1112</p>		<p>Mayfair Place Multi-Family 6331 SW 11th Street, Unit 111 Portland, OR Project No. 10551711 Scale: 1/8" = 1'-0"</p>		<p>DP L4.02 Sheet No. 11 of 15</p>	
<p>Approved for DP 10/11/10 Approved for ADP 10/11/10 Issued for Building Permit 11/16/10 Issued for ALDP 02/17/11 Issued for Development Permit 02/17/11</p>		<p>Approved for DP 10/11/10 Approved for ADP 10/11/10 Issued for Building Permit 11/16/10 Issued for ALDP 02/17/11 Issued for Development Permit 02/17/11</p>		<p>Approved for DP 10/11/10 Approved for ADP 10/11/10 Issued for Building Permit 11/16/10 Issued for ALDP 02/17/11 Issued for Development Permit 02/17/11</p>	



DP 10551711 Ps. 28



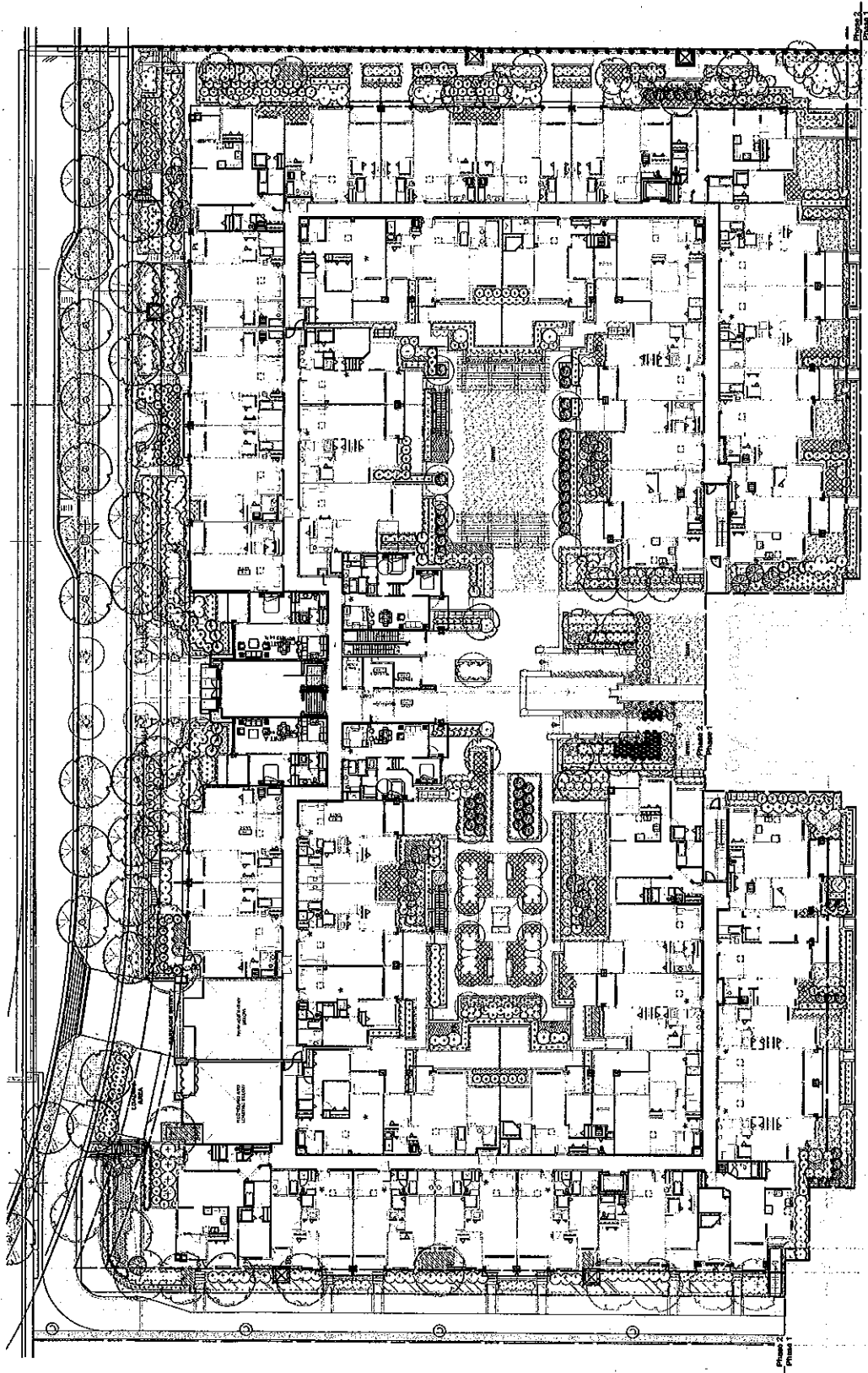
No.	Date	Zone	Approval	By	Date	Revisions
2	11/18/10					Issued for Building Permit
1	10/15/10					Issued for Development Permit

No.	Date	Zone	Approval	By	Date	Revisions
H	2/24/11					Revised for DP
G	2/24/11					Issued for Review
E	11/18/10					Issued for ADP
D	10/27/10					Issued for ADPS
C	10/27/10					Issued for Development Permit

eckford + associates
 landscape architecture
 1800 West 2nd Avenue, Suite 200, Fort Lauderdale, FL 33309
 Tel: 954.343.2222 Fax: 954.343.2221
 Lic. # 12034, LA 15470-2, LA 15470-3, Prof. Lic. # 12034, Suburban Blvd. A, Lot 37
 and Lot 38, Palm Beach, FL 33480, Orange Park, FL 32067

Mayfair Place
 Multi-Family
 9331, 9331, 9331, 9331, 9331 Oak Road
 Palm Beach, FL
 Planning Plan
 Phase 1

Project No.	Sheet No.	Scale	Date	Author	Checked	Approved
DP 10551711	1	1/8" = 1'-0"	11/18/10			



DP 10551711 Pg. 2

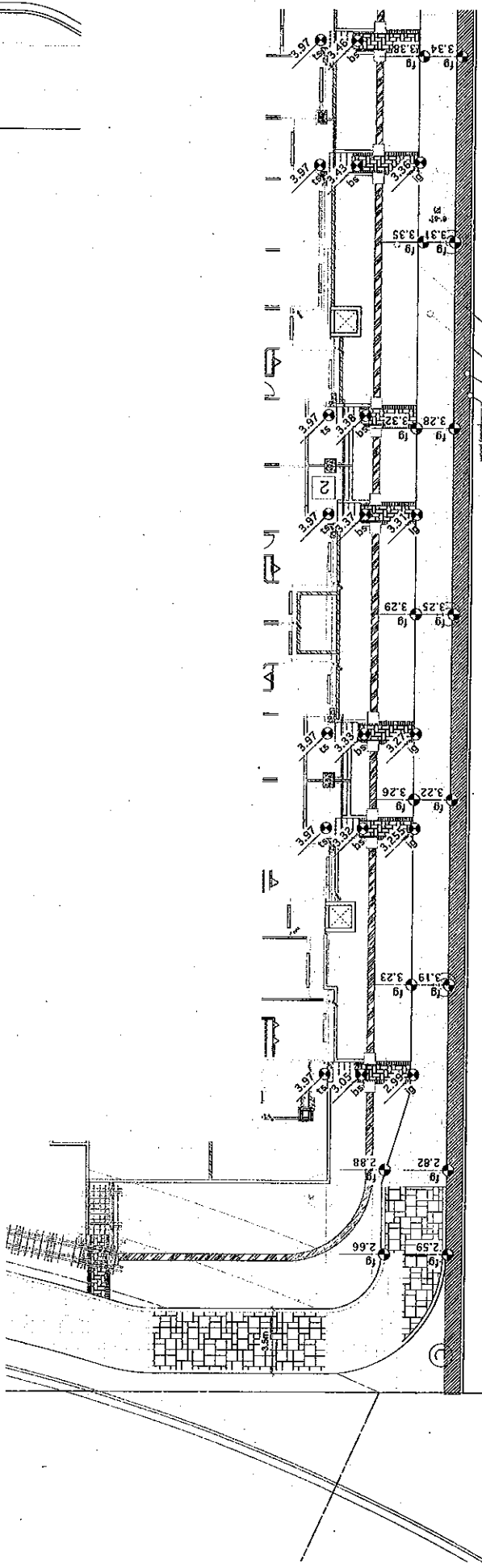
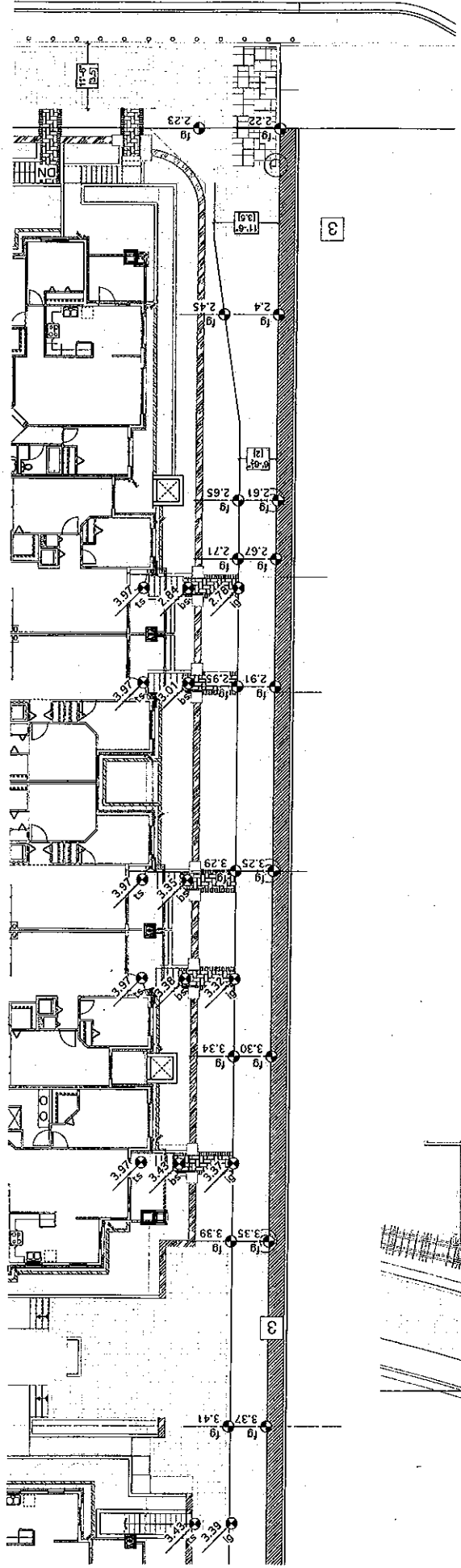
Project No.	10551711
Sheet No.	15
Date	06.03.10
Scale	AS SHOWN
Author	DP L5.02

**Mayfair Place
Multi-Family**
2211, 2213, 2215, 2217, 2219 Oak Road
Atlanta, GA 30329
Phase 2
Planting Plan

**eckford + associates
landscape architecture**
100 Peachtree Avenue, Suite 100
Atlanta, Georgia 30309
Tel: 404.525.1100
Fax: 404.525.1101
www.eckford.com

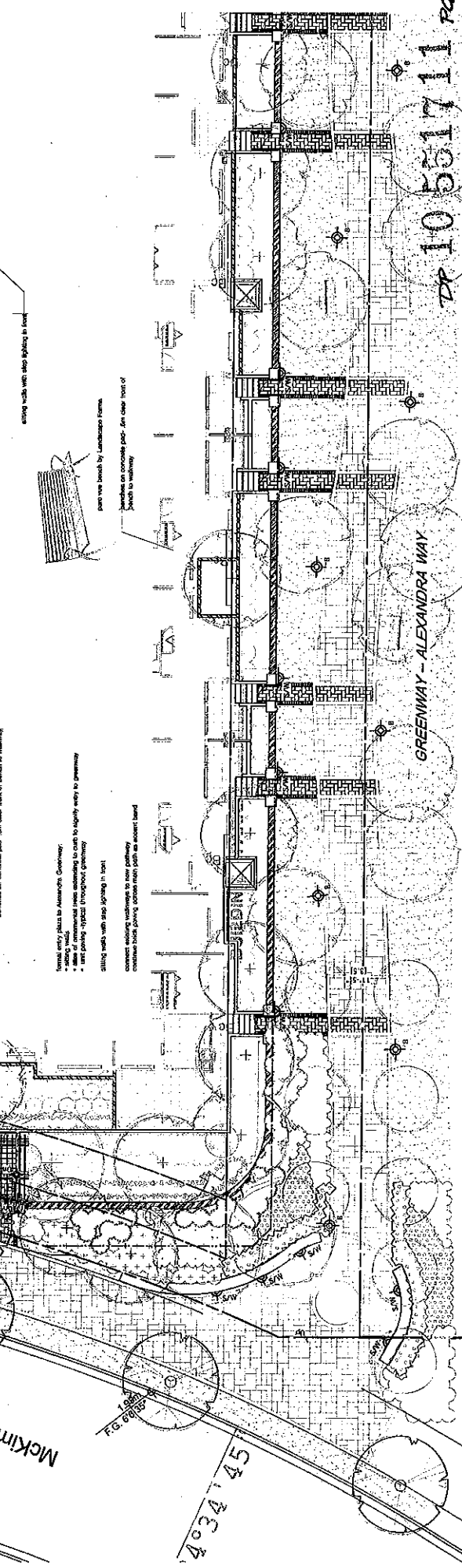
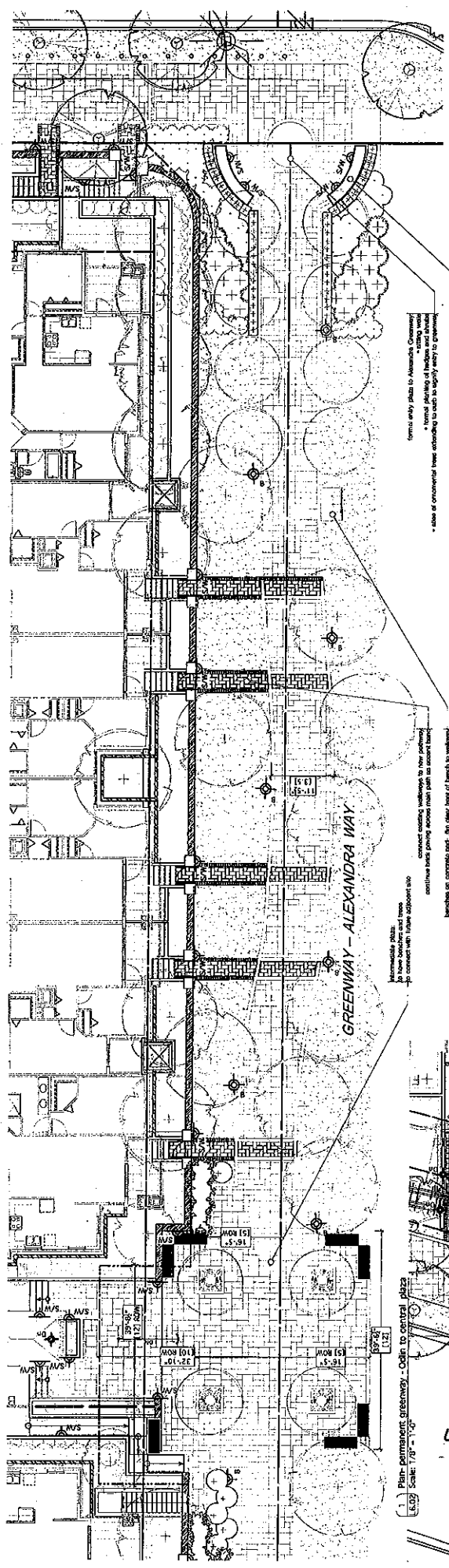
No.	Applicant	Date	Notes
H	2/4/11	Revised for DP	
G	2/2/11	Revised for number	
F	1/29/11	Revised for ADP	
E	1/27/11	Revised for ADP	
D	8/21/10	Revised for ADP	
C	8/21/10	Revised for ADP	
B	8/21/10	Revised for Development Permit	
A	8/21/10	Revised for Development Permit	

No.	Date	Applicant	Notes
2	11/16/10		Revised for Building Permit
1	8/21/10		Revised for Development Permit



DP 10551711 RA. 31

Mayfair Place Multi-Family 8201, 8203, 8207, 8209, 8411 Dale Road Rockville, MD		21004 as noted DP L6.01 of 10	
eckford + associates landscape architecture 10000 Greenway Drive, Suite 100 Rockville, MD 20850		Associates Viterbi Interim Treatment	
Prepared for DP H 2/1/11 Issued for tender C 2/1/11 Issued for ADP F 1/15/12 Issued for Building Permit E 1/15/12 Issued for ADP D 8/27/15 Issued for Development Permit C 8/27/15		1/15/10 Issued for Building Permit 1/15/10 Issued for Development Permit 1/15/10 Issued for Development Permit	
1/15/10 Issued for Building Permit	1/15/10 Issued for Development Permit	1/15/10 Issued for Building Permit	1/15/10 Issued for Development Permit



1 Plan - permanent greenway - central plaza to McKim
 (E.O) Scale: 1/8" = 1'-0"

2 Plan - permanent greenway - central plaza to McKim
 (E.O) Scale: 1/8" = 1'-0"

No.	Date	Revised For	By	Checked	Approved	Scale
3	2/1/11	Site greenway layout				
2	1/19/10	Revised for building permit				
1	1/19/10	Revised for Development Permit				
H	2/4/11	Revised for DP				
G	2/1/11	Revised for book				
F	1/19/10	Revised for ADP				
E	1/15/10	Revised for Building Permit				
D	9/27/09	Revised for ADP				
C	9/27/09	Revised for Development Permit				

Project Notes

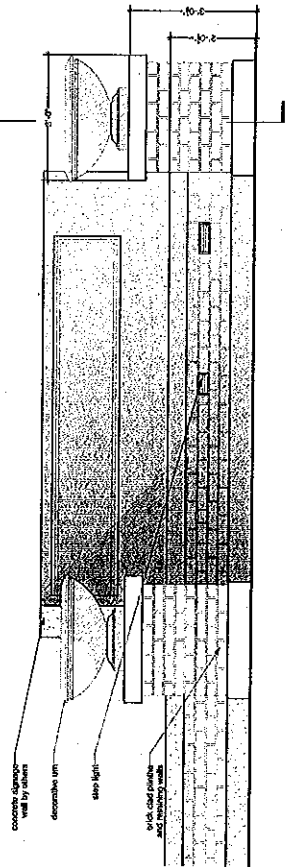
Site Wall

eckford + associates
 landscape architecture
 1000 North ...
 1000 North ...

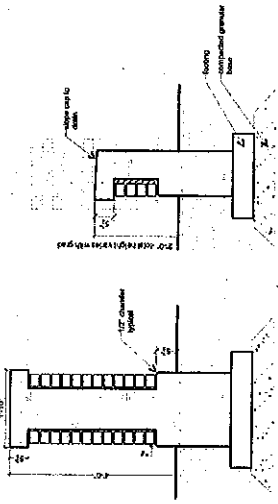
Mayfair Place
 Multi-Family
 8331, 8331, 8331, 8411, 8411, 8411, 8411
 Richmond, BC
 Alexander Hsieh
 Final Treatment

Project No.	Sheet No.	Total Sheets
10551711	10	10

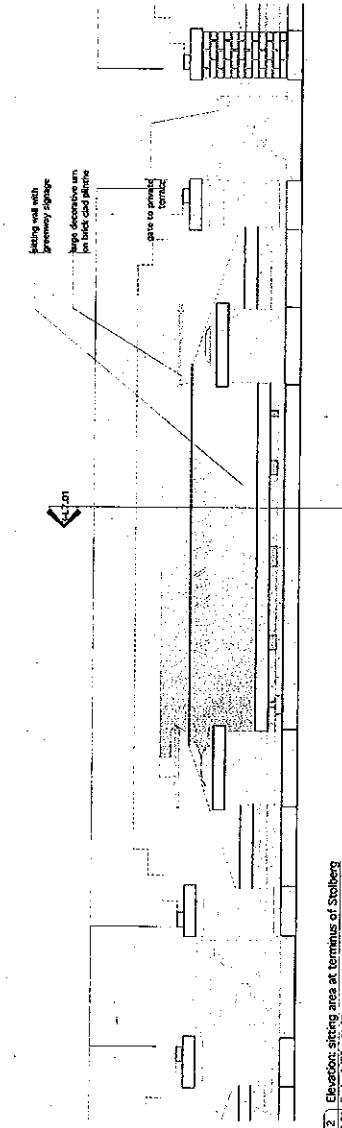
10'-0"



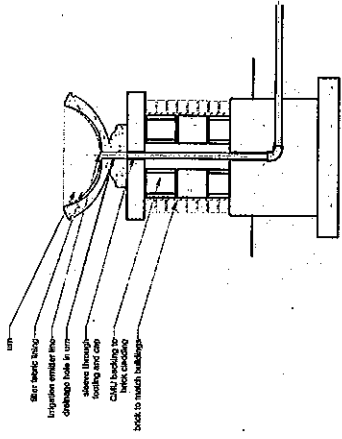
1 Elevation: storage wells at entrance
 (7.0) Scale: 3/4" = 1'-0"



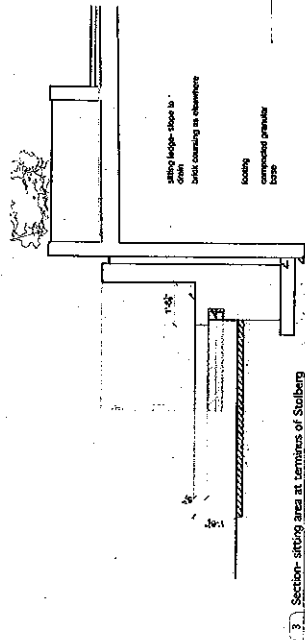
5 Section: Elevation: brick clad post/wall
 (7.0) Scale: 3/4" = 1'-0"



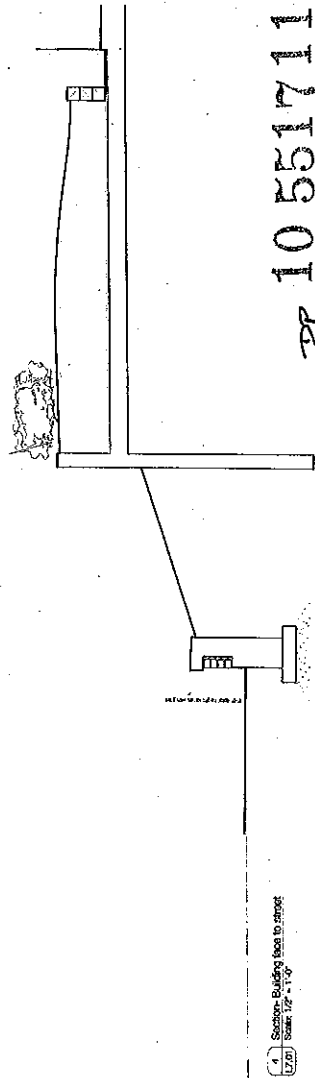
2 Elevation: sitting area at terminus of Stolberg
 (7.0) Scale: 1/2" = 1'-0"



6 Section: urn and planter
 (7.0) Scale: 3/4" = 1'-0"



3 Section: office area at terminus of Stolberg
 (7.0) Scale: 1/2" = 1'-0"

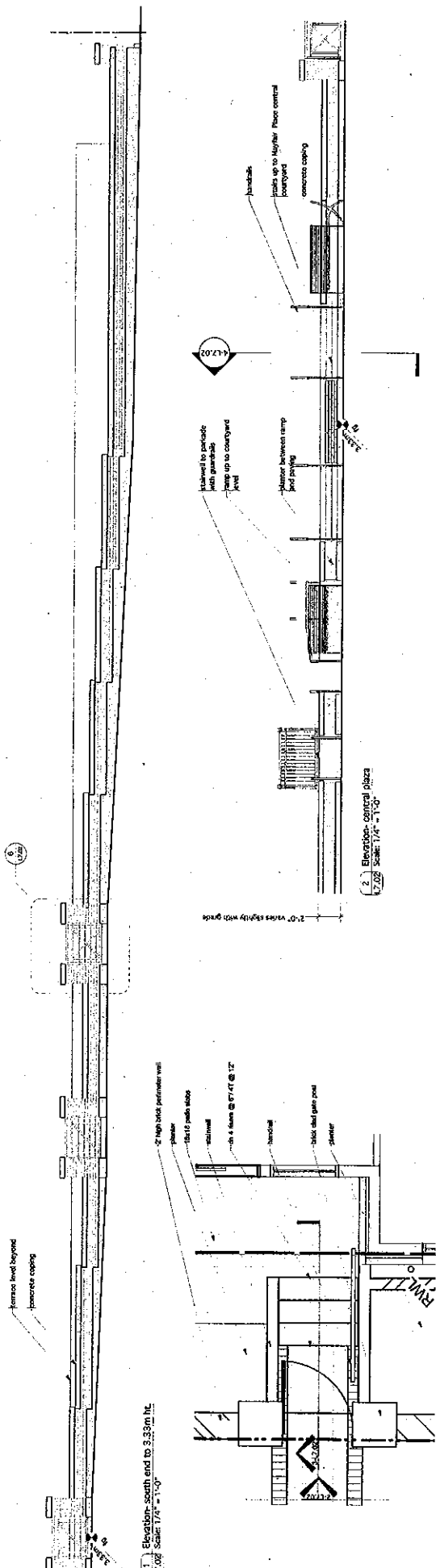


4 Section: Building area to Stolberg
 (7.0) Scale: 1/2" = 1'-0"

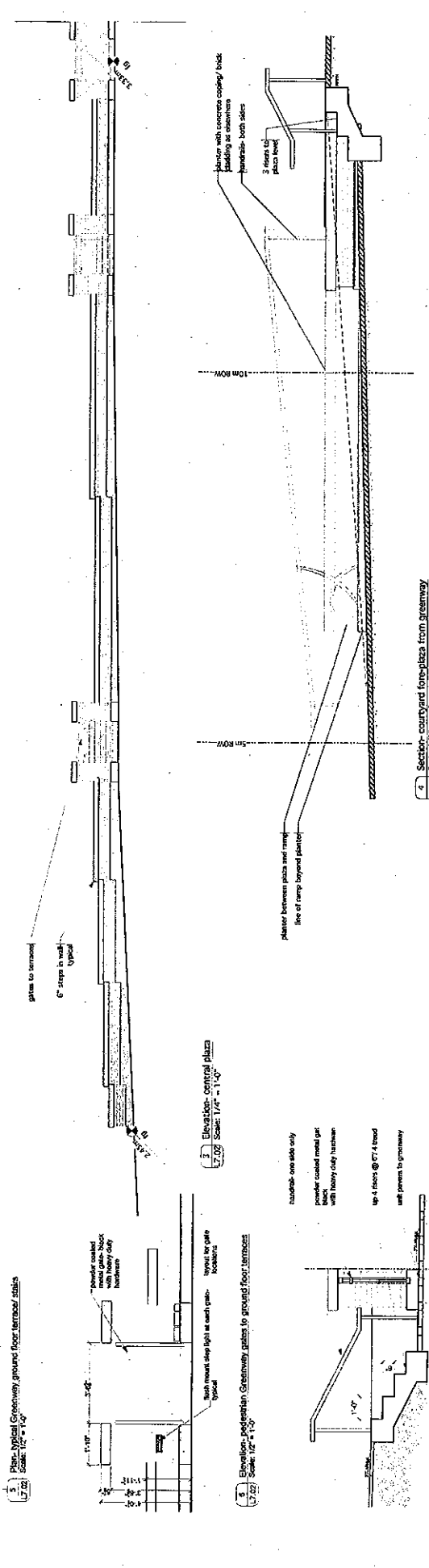
DP 10551711 Pg. 33

No.	Code	Area	Applicable	Notes
2	170170	Issued for Building Permit		
	170170	Revised for Development Permit		
	170170	Revised for Development Permit		
	170170	Revised for Building Permit		
	170170	Revised for ADP		
	170170	Revised for ADP		
	170170	Revised for ADP		
	170170	Revised for Development Permit		
	170170	Revised for Development Permit		

eckford + associates landscape architecture		Mayfair Place Multi-Family	
10011 40th, Richmond, VA 23234		2100A	
10011 40th, Richmond, VA 23234		as noted	
10011 40th, Richmond, VA 23234		DP L7.01	
10011 40th, Richmond, VA 23234		16	

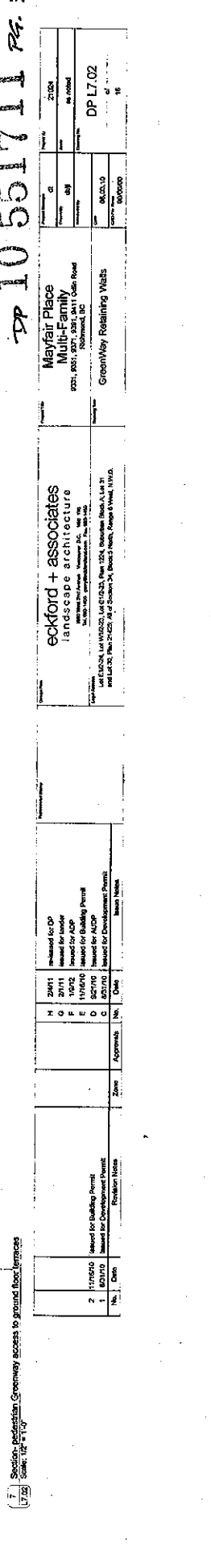


1 Elevation- south end to 3.33m h/L
 1/20 Scale: 1/4" = 1'-0"



3 Elevation- central plaza
 1/20 Scale: 1/4" = 1'-0"

4 Elevation- independent Greenway gates to ground floor terraces
 1/20 Scale: 1/2" = 1'-0"

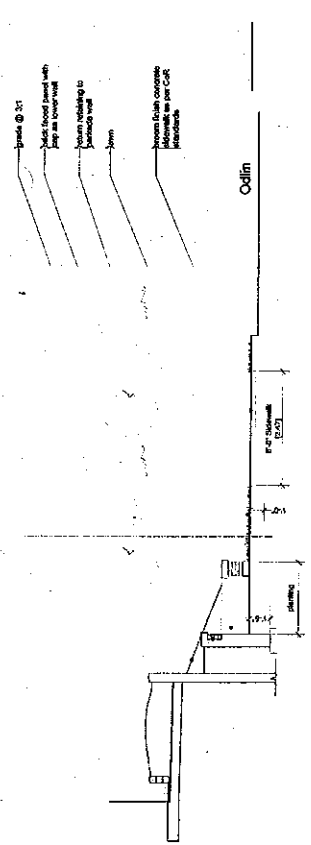


4 Section- courtyard fore-plaza from greenway
 1/20 Scale: 1/2" = 1'-0"

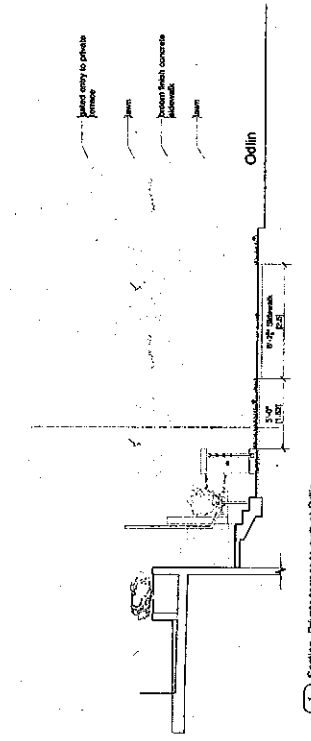
7 Section- pedestrian Greenway access to ground floor terraces
 1/20 Scale: 1/2" = 1'-0"

DP 10 551711 Rev. 3A

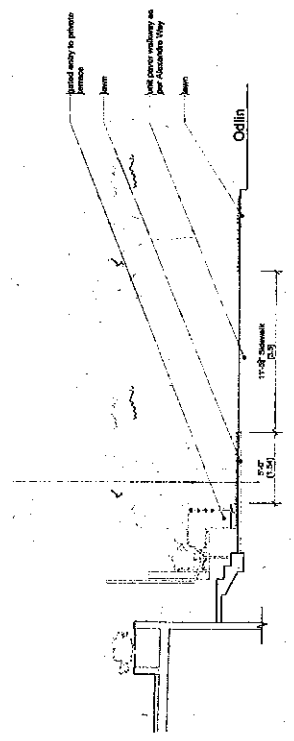
eckford + associates landscape architecture 1000 West Avenue, Vancouver, BC, V6E 1W6 Tel: 604.681.4444 Fax: 604.681.4445 www.eckford.com		Mayfair Place Multi-Family 9251, 9251, 9251, 9251 Oak Road Vancouver, BC GreenWay Retaining Walls		21004 No. sheet of 16 DP L7.02	
H 20411 G 20411 E 110570 D 825710 C 825710	released for DP issued for tender issued for Building Permit issued for AICDP issued for Development Permit	No. Date Approved No. Date	No. Date Approved No. Date	No. Date Approved No. Date	No. Date Approved No. Date



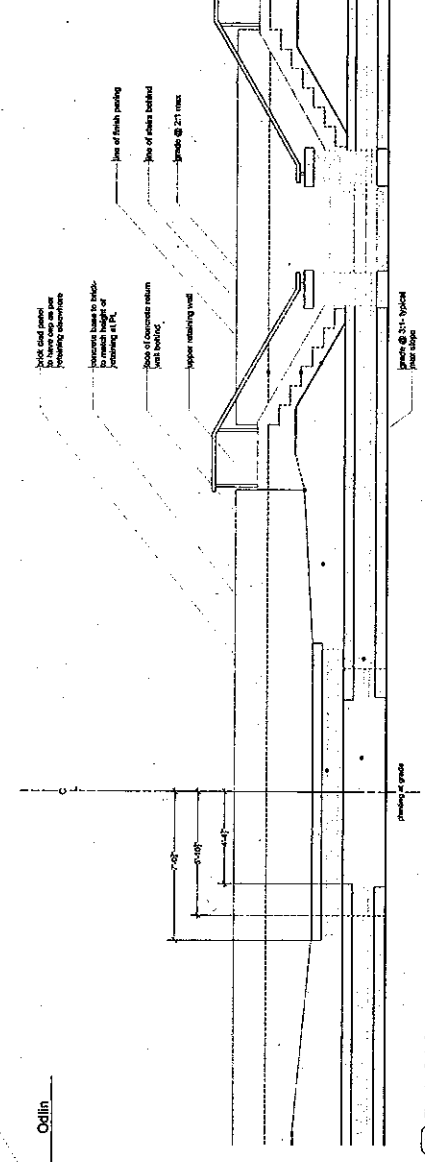
1 Section- Private terrace to curb at Odlin
 U.7.23 Scale: 3/4" = 1'-0"



3 Section- Subback in Perimeter retaining wall
 U.7.25 Scale: 3/4" = 1'-0"



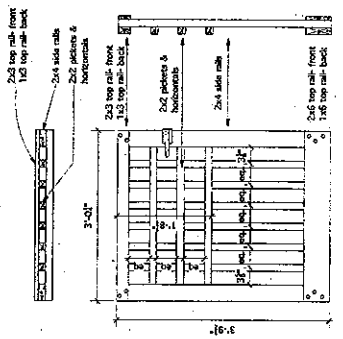
2 Section- Private terrace to curb at Odlin
 U.7.22 Scale: 3/4" = 1'-0"



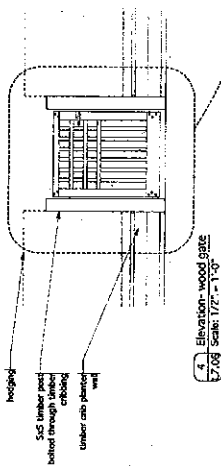
4 Elevation Odlin Rd retaining- finished (elevation) (elevation) (elevation)
 U.7.26 Scale: 3/8" = 1'-0"

DP 10 551711 RA.35

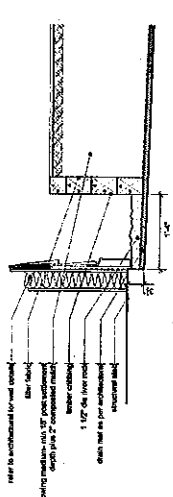
Mayfair Place Multi-Family 9231, 9233, 9235, 9237 Odlin Road Odlin Rd Perimeter Retaining Walls		Project No. 21024 Date 05/03/10 Drawing No. 000000	
eckford + associates landscape architecture 10000 Park Lane, Suite 100 Dallas, TX 75244 Tel: 972.344.1111 Fax: 972.344.1112 www.eckford.com		Project Name Project Location Project Description Project Status	
H 2/4/11 C 2/11/11 E 1/11/10 D 8/27/10 C 8/17/10	Issued for DP Issued for tender Issued for RFP Issued for Building Permit Issued for Development Permit	Issued for Building Permit Issued for Development Permit	Issue Name Issue Date



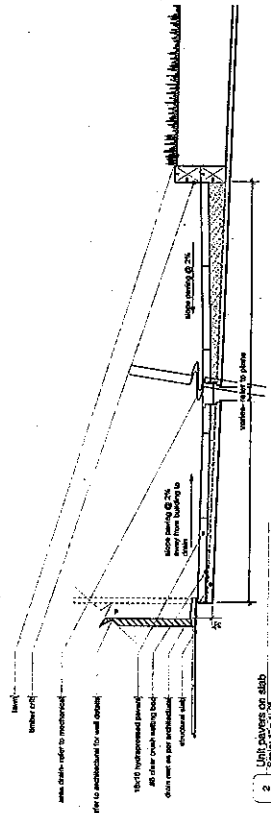
3 Detail-wood gate
Scale 1" = 1'-0"



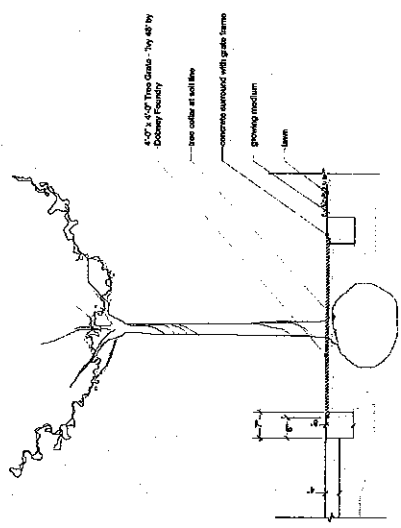
4 Elevation-wood gate
Scale 1/2" = 1'-0"



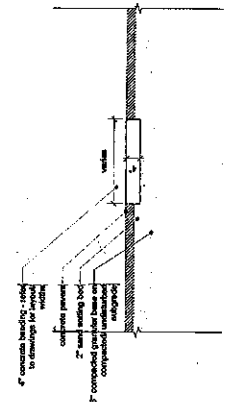
1 Cross-section timber cribbing
Scale 1" = 1'-0"



2 Elevation of slab
Scale 1" = 1'-0"



5 Detail-wood gate and concrete surround
Scale 3/4" = 1'-0"



7 Detail-wood gate and concrete surround
Scale 3/4" = 1'-0"

3 Unit pavers adjacent to lower abutment
Scale 1" = 1'-0"

DP 10 551711 P. 38

No.	Date	Revised	By	Check	Appr.	Scale	Notes
2	11/19/10						Revised for Building Permit
1	05/17/10						Revised for Development Council

eckford + associates landscape architecture 10000 Greenway Drive, Suite 100 Fairfax, VA 22031 Lic E1024, Lic W1024, Lic E1024, Lic W1024, Lic E1024, Lic W1024 and Lic 30, Permit 2102, at all States, Block 2, Phase 2, Week 1, N.E.D.	Mayfair Place Multi-Family 8531 85th, 85th, 84th, 84th, 84th Rockville, MD	Project No. 2104 Drawing No. 039 Date 06.02.10 Scale L7.06
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CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS TO BE SHOWN ON THIS DRAWING AND NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCIES OR OMISSIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.

NO.	DATE	DESCRIPTION

DATE: 10/15/11
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT: [Name]



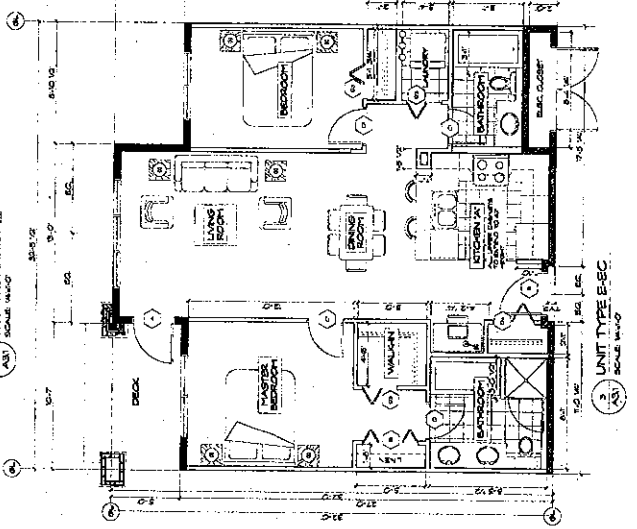
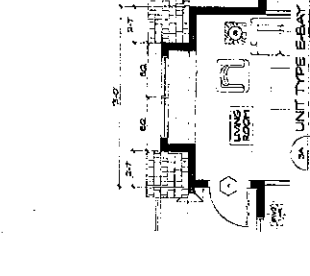
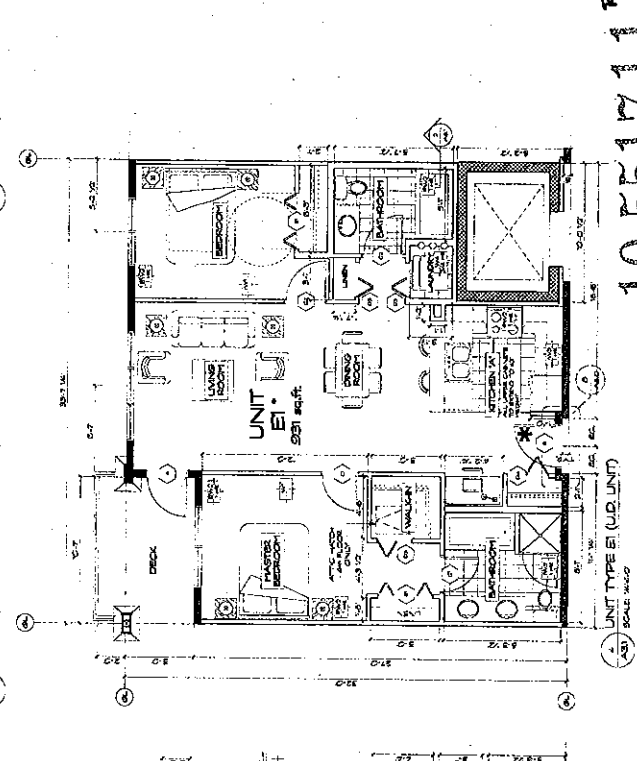
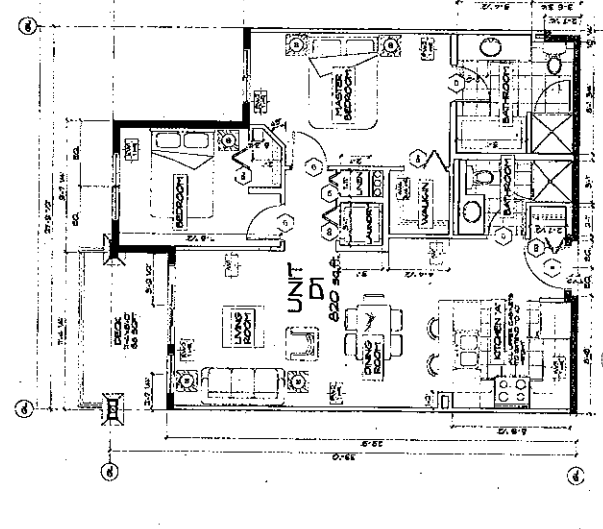
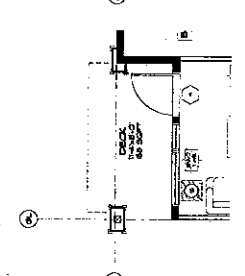
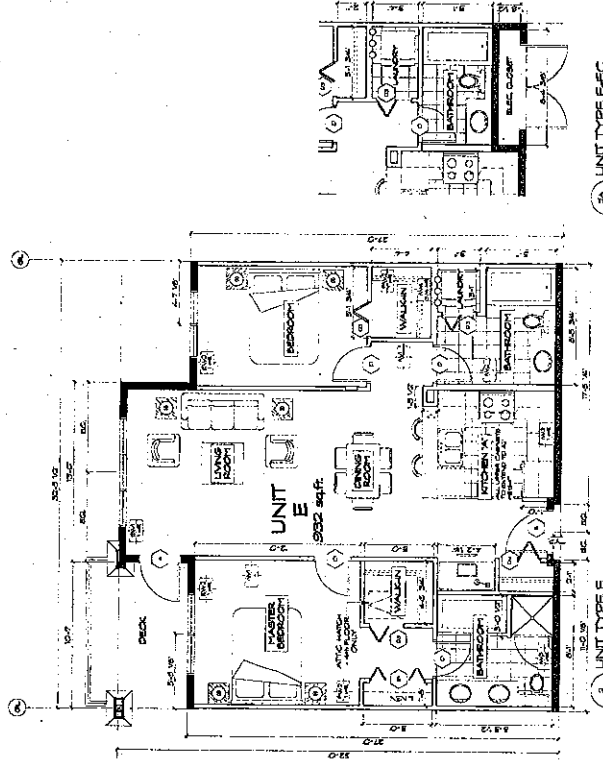
RCA
 Robert Carroll Architecture Inc.
 200 - 2338 Columbia Street
 Vancouver, B.C.
 Tel: (604) 687-7773
 Fax: (604) 687-6641
 www.rca-architects.com

RCA
 Robert Carroll Architecture Inc.

MAYFAIR PLACE
 50TH to 60th Side Road
 Richmond BC

NO.	REV.	DATE	DESCRIPTION

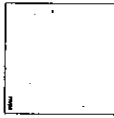
UNIT PLANS
 REF: A31
 PG. 2



DP 10551711
 PG. 2

GENERAL NOTES: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

NO.	DESCRIPTION
1	...
2	...
3	...
4	...
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6	...
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10	...



RCA

Robert Chouinard Inc. Architects
 200 - 2330 Columbia Street
 Vancouver, B.C.
 V6H 2Y7
 Tel: (604) 682-4773
 Fax: (604) 682-4841
 admin@rchouinard.com

RCA

Robert Chouinard Inc. Architects

MAYFAIR PLACE
 2211 5th Ave. S.W.
 Richmond BC

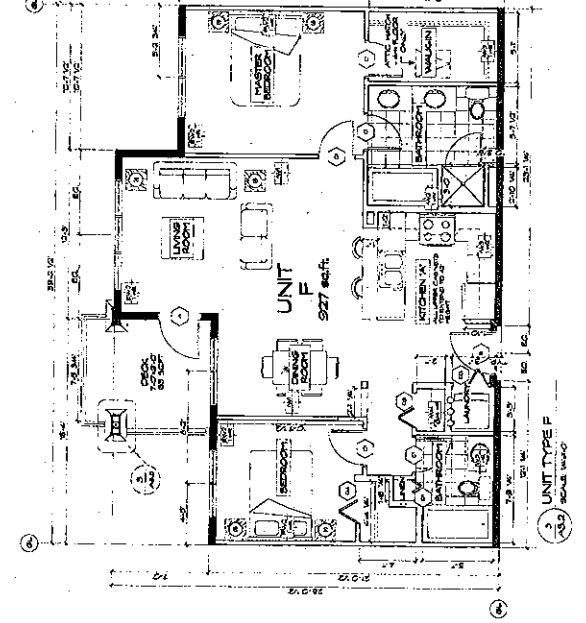
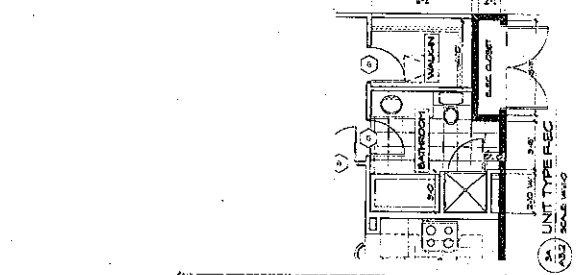
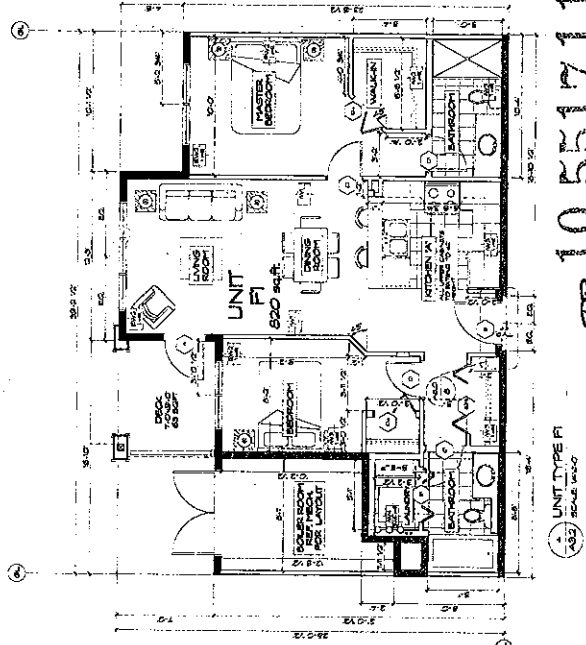
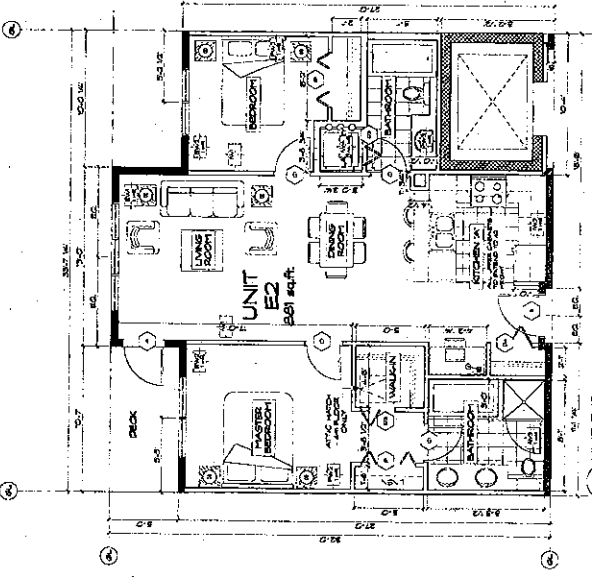
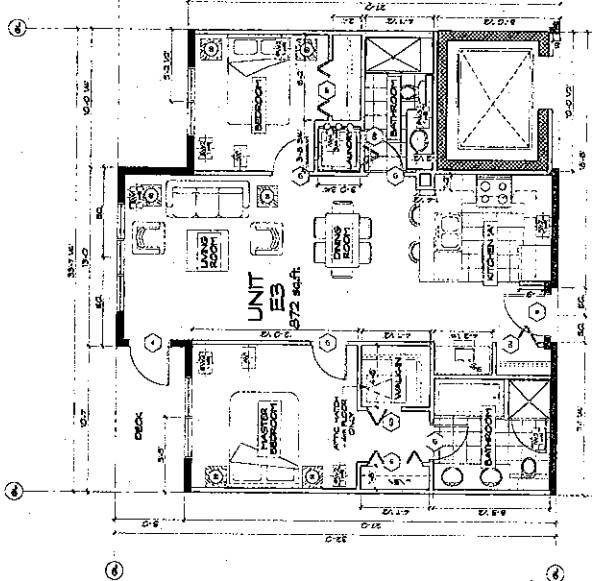
DATE	NO.	DESCRIPTION
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UNIT PLANS

A3.2

GENERAL NOTES - UNIVERSAL DESIGN COMPLIANT

1. GENERAL NOTES FOR AN AUTOMATIC DOOR OPERATOR:
 - a. The minimum clear opening of the door shall be 32" (813 mm).
 - b. The door shall be operable with one hand.
 - c. The door shall be operable with a closed fist.
 - d. The door shall be operable with a closed fist.
 - e. The door shall be operable with a closed fist.
2. THE CLEARANCE UNDER THE DOOR SHALL BE 1" (25 mm).
3. THE CLEARANCE UNDER THE DOOR SHALL BE 1" (25 mm).
4. THE CLEARANCE UNDER THE DOOR SHALL BE 1" (25 mm).
5. THE CLEARANCE UNDER THE DOOR SHALL BE 1" (25 mm).
6. THE CLEARANCE UNDER THE DOOR SHALL BE 1" (25 mm).
7. THE CLEARANCE UNDER THE DOOR SHALL BE 1" (25 mm).
8. THE CLEARANCE UNDER THE DOOR SHALL BE 1" (25 mm).
9. THE CLEARANCE UNDER THE DOOR SHALL BE 1" (25 mm).
10. THE CLEARANCE UNDER THE DOOR SHALL BE 1" (25 mm).



DP 10551711
R.3

THESE PLANS ARE THE PROPERTY OF THE ARCHITECT. THE OWNER'S RESPONSIBILITY IS TO OBTAIN NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE ARCHITECT IS NOT RESPONSIBLE FOR THE OBTAINING OF SUCH PERMITS AND APPROVALS.

DATE	DESCRIPTION

SCALE: AS SHOWN
 UNIT PLANS
 1/8" = 1'-0"



RCA
 Robert Charles Architects Inc.
 200 - 2500 Sheppard Avenue
 West, Toronto, Ontario
 M2N 6L1
 Tel: (416) 291-1111
 Fax: (416) 291-1112
 www.rcaarchitects.com

RCA
 Robert Charles Architects Inc.

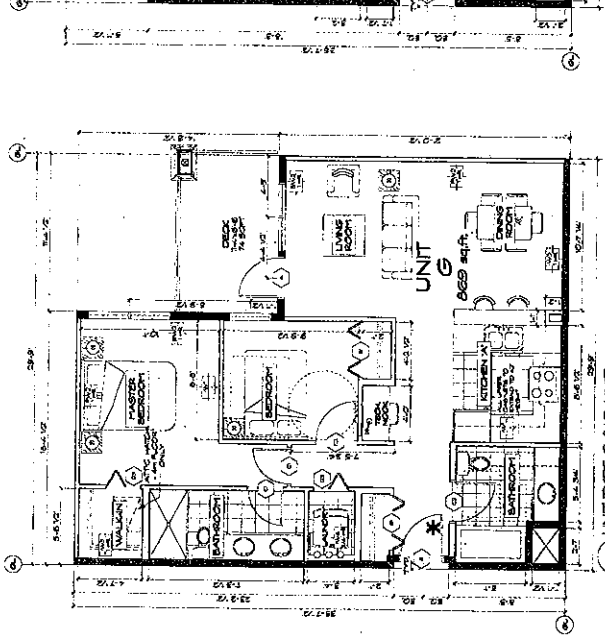
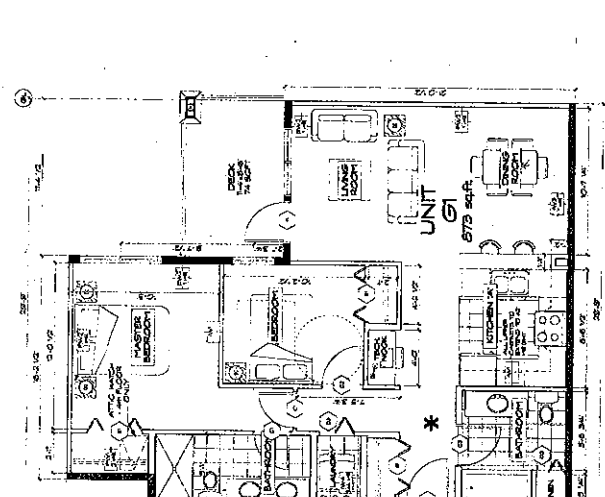
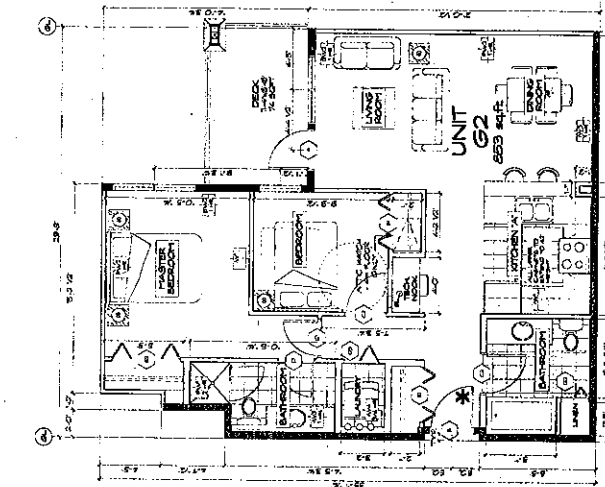
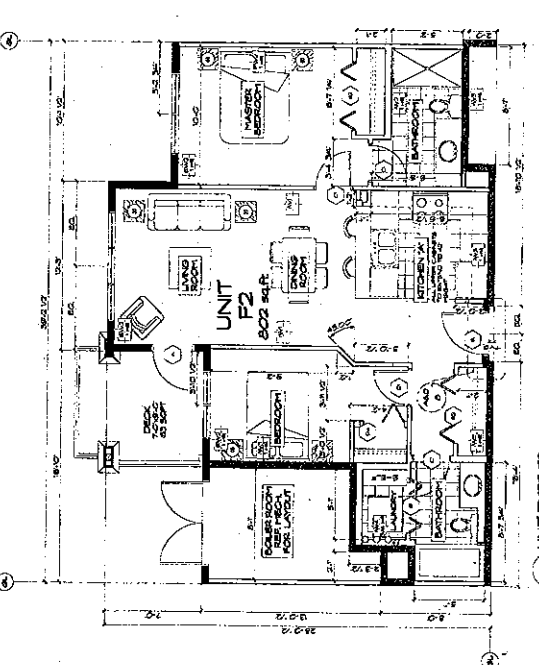
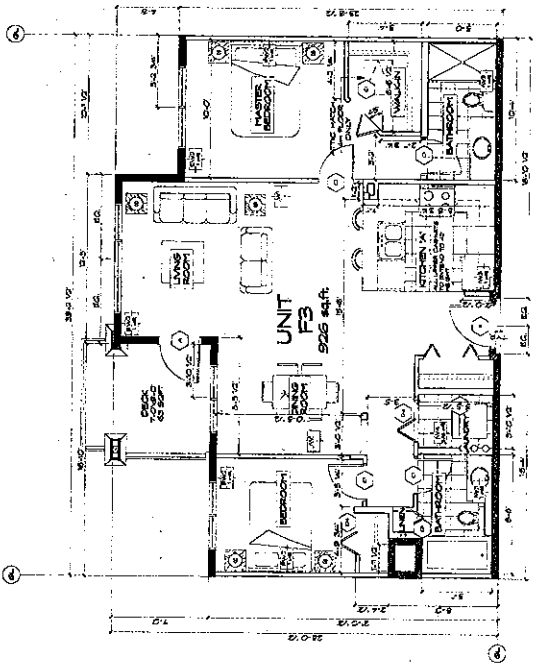
MAYFAIR PLACE
 5975 - 56th Street Road
 Burnaby BC

UNIT PLANS

A3.3

GENERAL NOTES - UNIT TYPES (U.D. UNIT)

1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
2. FINISHES AND MATERIALS TO BE DETERMINED BY THE ARCHITECT.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
6. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
7. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
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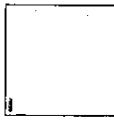


DP 10551711
 R.C.A.

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NO.	DATE	DESCRIPTION

DATE: 07/10/11
 NO.: 10551711
 PROJECT: MAYFAIR PLACE
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]



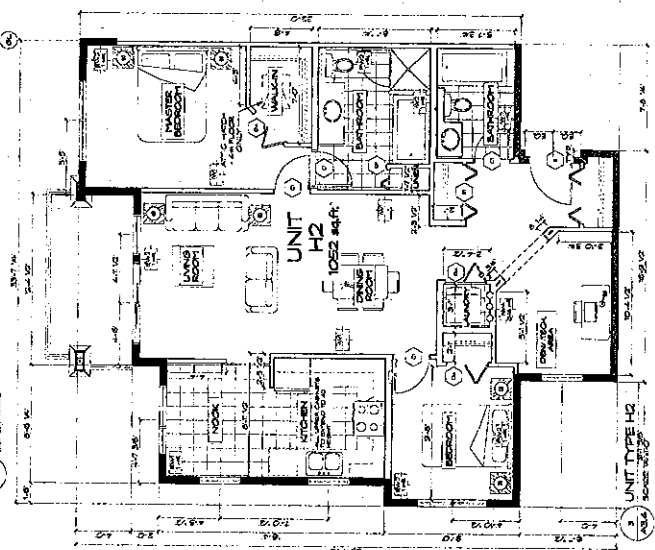
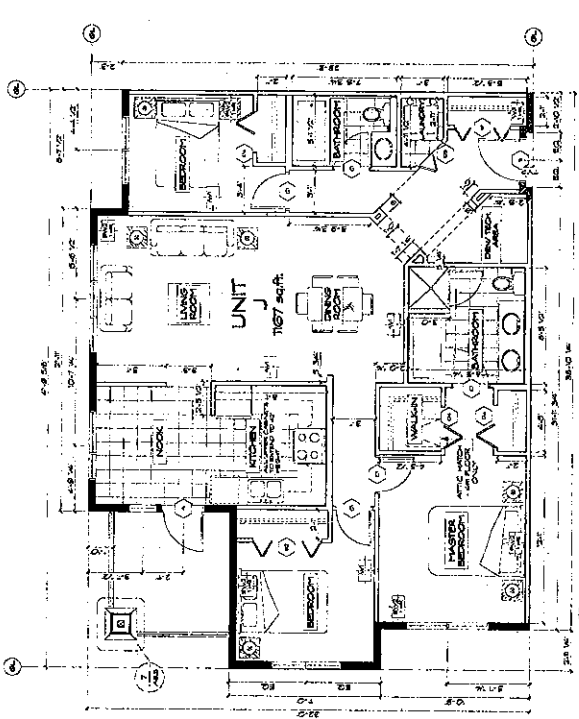
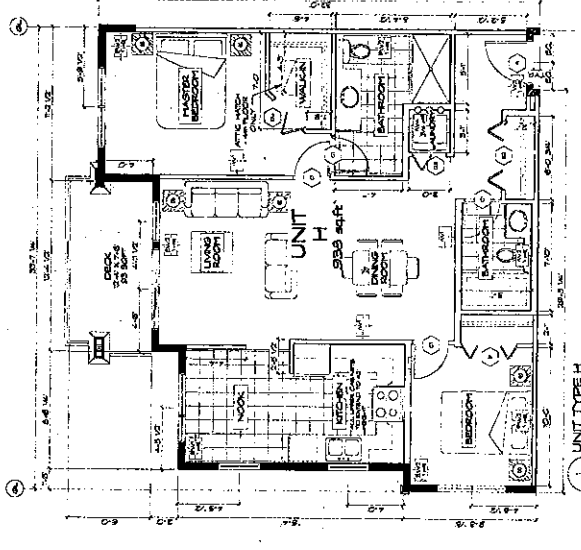
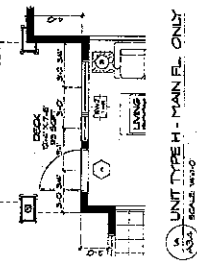
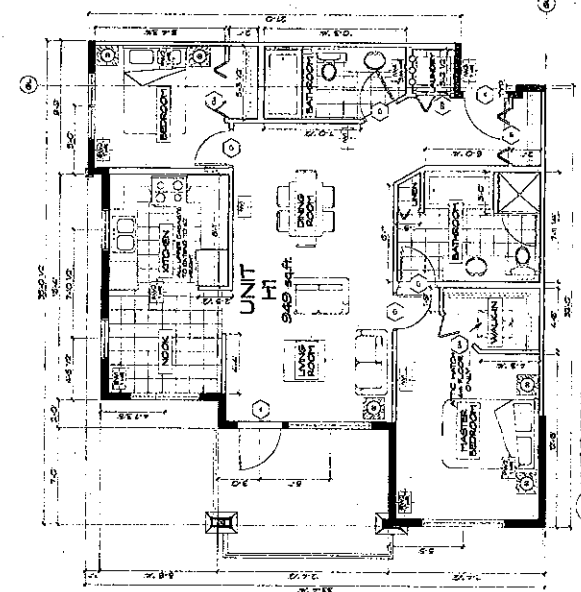
RCGA
 Robert Edward Architects Inc.
 200 - 2280 Coleridge Street
 Vancouver, B.C.
 Tel: (604) 273-2777
 Fax: (604) 273-4691
 www.robertedwards.com

RCGA
 Robert Edward Architects Inc.

MAYFAIR PLACE
 9371 St. John's Road
 Richmond, BC

DATE	NO.	DESCRIPTION

UNIT PLANS
 A34



DP 10551711
 PG. 5

