



City of Richmond
Planning and Development Department

Report to Development Permit Panel

To: Development Permit Panel
From: Brian J. Jackson, MCIP
Director of Development
Date: March 22, 2010
File: DP 09-493613
Re: **Application by Penta Homes (Princess Lane) Ltd. for a Development Permit at 6451 Princess Lane**

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of 18 apartment housing units over a parking structure at 6451 Princess Lane on a site zoned Town Housing (ZT43); and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to increase the maximum lot coverage for apartment housing from 35% to 36%.

Brian J. Jackson, MCIP
Director of Development

EL:blg
Att.

Staff Report

Origin

Penta Homes (Princess Lane) Ltd. has applied to the City of Richmond for permission to develop 18 apartment housing units over a parking structure at 6451 Princess Lane on a site zoned Town Housing (ZT43). The site is currently vacant.

The site is being rezoned from Light Industrial (IL) and Single Detached Heritage (ZS1) to Town Housing (ZT43) for this project under Bylaw 8545 (RZ 08-431606). Required road and infrastructure improvements were identified at the rezoning stage and will be constructed through Servicing Agreement (SA 08-434944).

Development Information

Please refer to the attached Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant bylaw requirements.

Background

Development surrounding the subject site is as follows:

To the North: Recently developed single-family lots zoned Town Housing (ZT43);

To the East: Agricultural uses within the Agricultural Land Reserved, zoned Agriculture (AG1);

To the South: A heritage style duplex on property zoned Heritage Two-Unit Dwelling (ZD1) and a heritage home on property zoned Single Detached Heritage (ZS1); and

To the West: Recently developed detached townhouses on property zoned Town Housing (ZT43).

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on November 16, 2009. No concerns about rezoning were expressed at the Public Hearing.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with Town Housing (ZT43) except for the zoning variances noted below.

Zoning Compliance/Variations (staff comments in bold)

The applicant requests to vary the provisions of the Richmond Zoning Bylaw 8500 to increase the maximum lot coverage for Apartment Housing from 35% 36.4%.

(Staff supports the proposed variance, as it is a minor variance, which allows for more usable covered front porches on the west side of the buildings. The front porches help create a pedestrian-friendly streetscape along the laneway and increase natural surveillance opportunity on the west side of the buildings.)

Advisory Design Panel Comments

The development proposal was reviewed by the Advisory Design Panel on November 18, 2009. A copy of the relevant excerpt from the Advisory Design Panel Minutes is attached for reference (**Attachment 2**). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '*bold italics*'.

Analysis

Conditions of Adjacency

- The development site is bordered by Agricultural Land Reserve (ALR) on its east side; hence, an ALR buffer along the east property is required. The proposed setbacks of building, parking structure and stairs to the ALR boundary, as well as the proposed landscape plan for the ALR Buffer area (east of the proposed parking structure) have been reviewed and are supported by the Agricultural Advisory Committee (AAC). The details of the buffer are set out under the "landscape design" section.
- The proposed height, siting and orientation of the buildings respect the massing of the existing single-family and two-unit dwellings to the north and south, as well as the multiple-family developments to the west.
- The proposed parking structure is set back 3 m from the south property line and the proposed finished site grade matches the existing site grade on the adjacent properties to the south.
- A portion of the proposed parking structure is at a zero setback from the north property line. A standard 1.8 m (6 ft.) high fence along the common property line will screen the wall of the parking structure entirely from the adjacent single-family home.
- The easternmost portion of the proposed parking structure (adjacent to the back yard area of the adjacent single-family home to the north) is set back 1.52 m (5 ft.) from the north property line. A landscape buffer area with two (2) trees within are proposed to address potential overlooking from the proposed patio space on top of the parking structure to the rear yard of the adjacent single-family home to the north.

Urban Design and Site Planning

- The subject site is the last piece of undeveloped property on Princess Lane. This is an irregular-shaped lot adjacent to the Agricultural Land Reserve (ALR). The site has limited road frontage at the northwest corner of the site, but has a long frontage on the 6m wide laneway between Princess Lane and Dyke Road, which is used as pedestrian access to the waterfront dyke.
- Three (3) distinct buildings of six (6) units each over a parking structure are proposed. Each building contains four (4) two-level townhouse units on the bottom levels and two (2) single-level apartment penthouses.
- A partially in-ground parking garage is proposed. The entrance ramp to the parking garage is located off the laneway to the west of the subject site. All units are provided with two (2) side-by-side parking spaces in the parking garage. A total of 40 parking spaces are provided, including four (4) visitor stalls. The visitor parking has been broken up in individual single car parking spaces and located throughout the parking garage.

- Due to the new road and laneway alignments, a piece of surplus road right-of-way (ROW) (approximately 53.7 m²) is created at the corner of London Road and the laneway west of the subject site. The applicant proposes to locate the required outdoor amenity area for the subject development along the London Road frontage, adjacent to this piece of surplus road, to create a public plaza instead of a residential only outdoor amenity area. The proposed plaza will be located at street level, has the maximum exposure to the street, and is easily accessible from all of the proposed units and the neighbourhood at large.
- A Public Plaza Agreement to warrant that the Owner/Strata Corporation at 6451 Princess Lane will be responsible for the maintenance of the proposed Public Plaza was secured through the rezoning. The developer is required to amend the signed Servicing Agreement (SA 08-434944) to include the design and construction of the proposed Public Plaza, which straddles on both private and public property, as shown on the Development Permit Plans.
- All two-level townhouse units have a front porch and direct access from the public plaza or the laneway. All main entrances to the elevator lobbies (for the penthouses) also front onto the laneway, and in one case onto the proposed public plaza.
- Garbage will be handled within the parking garage, via the laneway, by a private contractor. Recycling, too, will be handled along the laneway, but will be picked up outside due to the high clearance required by the truck. The recycling carts will be moved to the concrete pad located adjacent to the parking garage entrance on collection day. A landscape buffer is provided between this concrete pad and the public plaza to screen views toward this small service area.

Architectural Form and Character

- The proposed “heritage” style architecture is generally complementary to the existing character of the area and complies with the Character Area Guidelines for London Landing.
- Each building reads as two (2) large single-family homes placed side by side and connected with a “core area” that houses access (private residential elevators and common stairwells) to the upper floor suites. This vertical “core area” helps to visually separate the two (2) “single-family homes”.
- Visual interest and variety has been incorporated to the development with steep gable roof, porches, varying material combinations and a range of colour finishes.
- The distinctive appearance of each “single-family home” is reinforced by use of colour, siding, and trim details.
- The proposed building materials (wood fascia, wood knee brace, hardie panel, hardie siding, hardie singles, wood window trim, and asphalt roof shingles) are generally consistent with the Official Community Plan (OCP) Guidelines and compatible with similar developments in the area.
- Pedestrian frontage character facing the public plaza/laneway has been developed to enhance the pedestrian residential streetscape experience.
- All penthouses (6 units) are designed to be fully accessible. Wheelchair access to these units must pass through the parking garage. The project architect has confirmed that

these accessible units will incorporate all of the Basic Universal Housing Features described in the Zoning Bylaw. A total of 11.16 m² (1.86 m² per unit) of floor area are therefore exempted from the floor area calculation.

Landscape Design and Open Space Design

- No bylaw-sized trees exist on-site; no replacement trees are required.
- The proposed landscape scheme focuses on creating pedestrian-friendly streetscape. A diversity of formally arranged ornamental trees and plant materials will create a landscape with a variety of texture and seasonal colours along the laneway.
- The incorporation of a public plaza, private and common green spaces encourages social interaction among residents and neighbours which contributes to community building. The public plaza is designed for an open flow of pedestrian use and passive use. No children's play equipment is proposed at the public plaza.
- Planting within the public plaza will be of evergreen and semi-evergreen variety. A Chinese Empress tree is proposed at the centre of the main planter in the plaza to create a landscaping landmark for the neighbourhood.
- Custom bollards are proposed at the edge of the plaza to identify a "change in space" between the sidewalk and the plaza as well as to clearly delineate vehicular and pedestrian realm.
- The proposed ALR buffer (12 m wide) is consistent with the established buffer on the single-family lots to the north. The rear yards that directly abut agriculture are proposed to be raised about 1.2 m (4 ft.). A retaining wall will be constructed along the east property line.
- A 2.4 m (8 ft.) high fence will be constructed on top of the retaining wall to eliminate direct ground level views and opportunity for trespass into the agricultural areas. The fence will also help screen the rear yards from any dust or drift that may emanate from normal farm activities.
- The landscaped buffer strip will be 4.6 m (15 ft.) in width and include a Cedar hedge, a row of deciduous tree screening, and three (3) rows of trespass-inhibiting shrubs.
- The remaining distance between the landscaped buffer strip and residential building will be 7.4 m and will contain the stairs to the garages and patio spaces for the townhouse units.
- Cash-in-lieu (\$18,000) for indoor amenity has been provided as a condition of rezoning approval (RZ 08-431606).

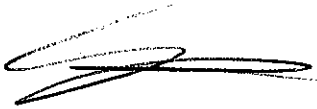
Crime Prevention Through Environmental Design

- Site design has incorporated the principles of CPTED to minimize opportunities for crime, to promote passive surveillance of both the street frontages and internal private and semi-private space.
- All unit patios and decks are elevated, with landscaping acting as a trespass inhibitor to all other areas.

- Exterior lighting will be provided on the front elevations, improving the sense of safety for users of the laneway during evening hours. The large amount of openings from each building will help to ensure each occupant is able to view neighborhood activities.
- The parking garage will be secured by an overhead gate with a grille designed to secure sight lines.
- Motion sensors on the exit doors from the parking garage will be provided to improve lighting within the depressed areas.

Conclusions

The applicant has satisfactorily addressed staff's comments regarding conditions of adjacency, urban design and site planning, architectural form and character, landscape and open space design, and crime prevention through environmental design. The applicant has presented a development that fits into the existing context. Therefore, staff recommend support of this Development Permit application.



Edwin Lee
Planning Technician – Design
(Local 4121)

EL:blg

The following are to be met prior to forwarding this application to Council for approval:

- Payment of cash in-lieu of on-site indoor amenity space in the amount of \$18,000; and
- Receipt of a Letter-of-Credit for landscaping in the amount of \$168,437 (based on cost estimates provided by the developer.
- Amend Servicing Agreement (SA 08-434944) to include the design and construction of the proposed Public Plaza, which straddles on both private and public property, as shown on the Development Permit Plans.

Prior to future Building Permit issuance, the developer is required to complete the following:

- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Division at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Division (<http://www.richmond.ca/services/ttp/special.htm>).



City of Richmond
 6911 No. 3 Road
 Richmond, BC V6Y 2C1
 www.richmond.ca
 604-276-4000

**Development Application
 Data Sheet**
 Development Applications Division

DP 09-493613

Attachment 1

Address: 6451 Princess Lane

Applicant: Penta Homes (Princess Lane) Ltd. Owner: Penta Homes (Princess Lane) Ltd.

Planning Area(s): Steveston Area Plan (Schedule 2.4)

Floor Area Gross: 3,684m² (39,657 ft²) Floor Area Net: 2,128 m² (22,906 ft²)

	Existing	Proposed
Site Area:	2,447 m ² (26,335 ft ²)	No change
Land Uses:	Light Industrial (vacant)	Multiple-Family Residential
OCP Designation:	General Land Use Map – Neighbourhood Residential	No change
Area Plan Designation:	Residential & Heritage Residential	No change
Zoning:	Light Industrial (IL) and Single Detached Heritage (ZS1)	Town Housing (ZT43)
Number of Units:	n/a	18

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	0.87	0.87	none permitted
Lot Coverage:	Max. 35%	36.4%	Variance Supported
Setback – Front Yard (Public Road and Lane):	Min. 4 m	4 m	none
Setback – Side Yard (north):	Min. 3 m	3 m	none
Setback – Side Yard (south):	Min. 3 m	3 m	none
Setback – Rear Yard:	Min. 3 m	12 m	none
Height (m):	Max. 15 m	13.2 m	none
Off-street Parking Spaces – Residential/Visitor:	27 and 4	36 and 4	none
Off-street Parking Spaces – Accessible:	1	1	none
Total off-street Spaces:	31	40	none
Tandem Parking Spaces	not permitted	none	none
Amenity Space – Indoor:	Min. 70 m ²	cash-in-lieu	none
Amenity Space – Outdoor:	Min. 108 m ²	111.8 m ²	none

Excerpt from the Minutes from
The Design Panel Meeting

Wednesday, November 18, 2009 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall

The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '*bold italics*'.

The comments of the Panel were as follows:

1. consider varying the treatments of street elevations and bring back stability to the building forms to fit well into the neighbourhood;

We have reviewed the street elevations and added variations to the post and eave details to provide distinction between the buildings. In addition to this, we have varied the setbacks of each building face to improve the verticality of the development and its compatibility with the neighbourhood. The elevation of each building remains consistent with the single-family homes to the north.

2. consider enhancing the security of the buildings to prevent access of strangers to different levels of the buildings from the ground floor;

The lobby areas will be controlled by a job key that will only be available to the Penthouse units. The stairs from these lobbies are meant as a means for egress, and only access the top floor units. Security measures will be placed on these doors to ensure access is only available to these homeowners. We have added motion detectors onto the two exterior exits within the parkade to improve visibility and safety at night in these areas.

3. consider using an alternative approach to address the interface with the Agricultural Land Reserve (ALR) area to get a better view of the area from the ground level of the development;

The current approach provides a consistent screen that works aesthetically and functionally with the adjacent properties. Landscape design and species selection is in coordination with adjacent property landscaping. View potential has been maximized where applicable.

4. consider adding the sidewalk back to the lane edge;

We feel that our current treatment of the lane is adequate for the uses envisioned along here. The lane only serves 6451 Princess Lane, 6433, 6461 and 6463 Dyke Rd. This lane is used mainly as a pedestrian access to the dyke for the neighbourhood. Our design is consistent with the development across the road and the proposed plaza will serve as a large hardscaped "landing point" for pedestrians to cross through.

5. design development of the plaza to create a less ambiguous zone and make it more inward-looking;

The plaza is designed for an open flow of pedestrian use and passive use. Landscape elements are designed to be setback at an appropriate distance such that sight lines at the street intersection will not be affected; thus enhancing safety of the area. The use of perimeter lighting and feature planting creates an inviting edge for people to transition through. The extension of pavers onto the sidewalk enhances the sense of invitation.

6. consider reducing the number of parking spaces in the development;

We have considered this, however we feel that our current design is a unique approach to off-street parking areas seen in the immediate vicinity and serves our proposed unit configuration well.

7. design development of the raised parkade at the north property line to address overlooking concern on adjacent single-family homes;

Within this five-foot setback we have added 2 deciduous trees at a minimum height above the proposed fence on the parkade lid. This will serve to provide shading and prevent overlook into the backyard of 6417 London Rd. In the winter the deciduous trees will allow light into this area.

8. design development of the three corridors leading to the common stairs to the upper units to permit more daylight to the corridors;

We have moved the entrance door to these corridors to 2' off of the rear building envelope. This has improved the security of this area, lighting will be provided by interior lights. The entrance to Building A is slightly further back due the building envelope above.

9. consider increasing the depth of articulation from adjacent gable bay forms; and

We have added further articulation to the front façade to amplify the recess of the elevator cores. The location of the cores is restricted by the need for access at the main floor level and the requirement for exit stairs.

10. consider using a different elevator type and reduce the height of the element.

We have introduced 6 residential lift elevators into the development, instead of the 3 commercial grade elevators originally proposed. Each elevator will serve an individual penthouse unit. These elevators by nature have a lower profile and have thus allowed us to reduce the height of the core element.



No. DP 09-493613

To the Holder: PENTA HOMES (PRINCESS LANE) LTD.
Property Address: 6451 PRINCESS LANE
Address: C/O MR. NATHAN CURRAN
12235 NO. 1 ROAD
RICHMOND, BC V7E 1T6

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to increase the maximum lot coverage for apartment housing from 35% to 36.4%.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #4 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$168,437 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 09-493613

To the Holder: PENTA HOMES (PRINCESS LANE) LTD.
Property Address: 6451 PRINCESS LANE
Address: C/O MR. NATHAN CURRAN
12235 NO. 1 ROAD
RICHMOND, BC V7E 1T6

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

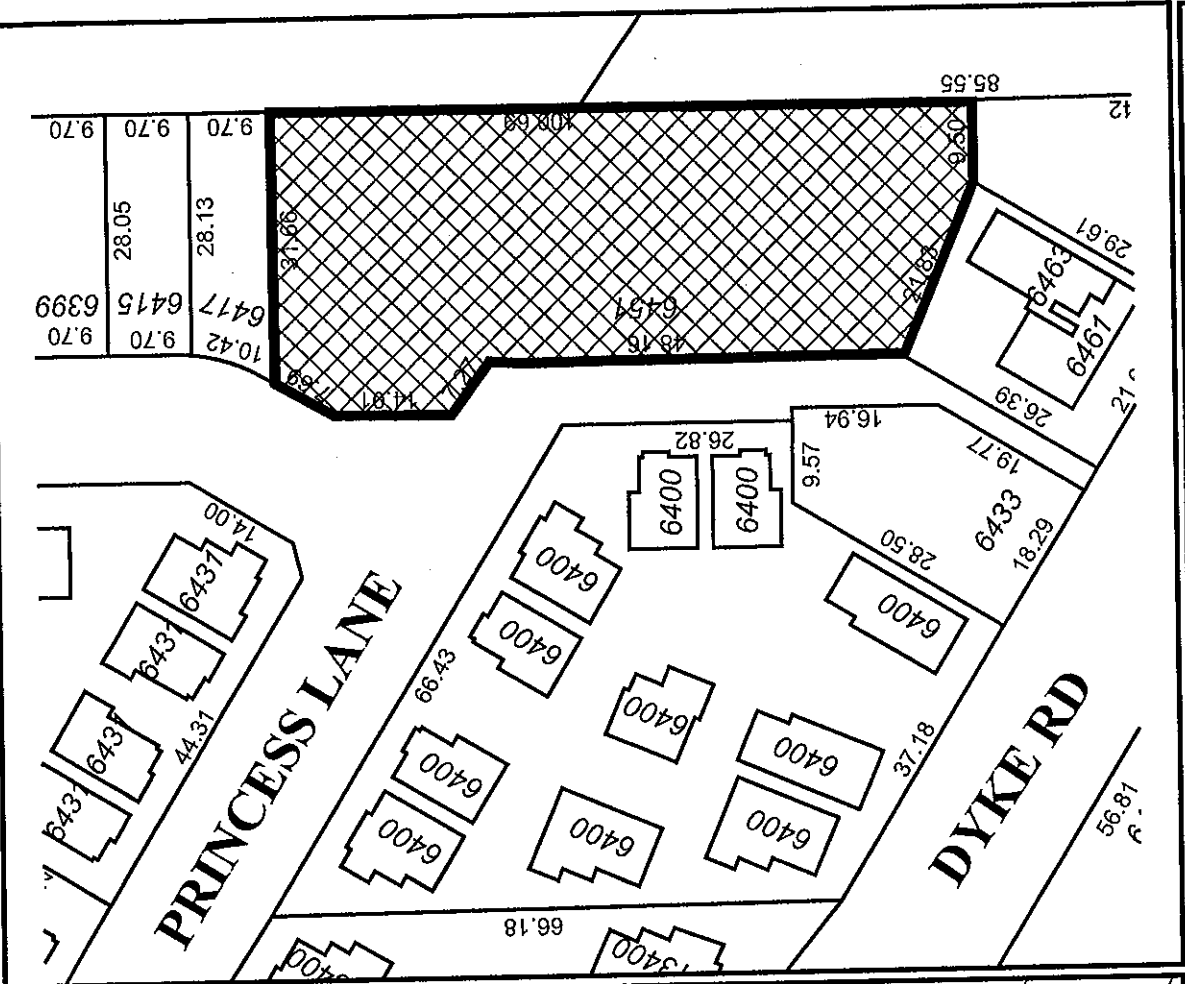
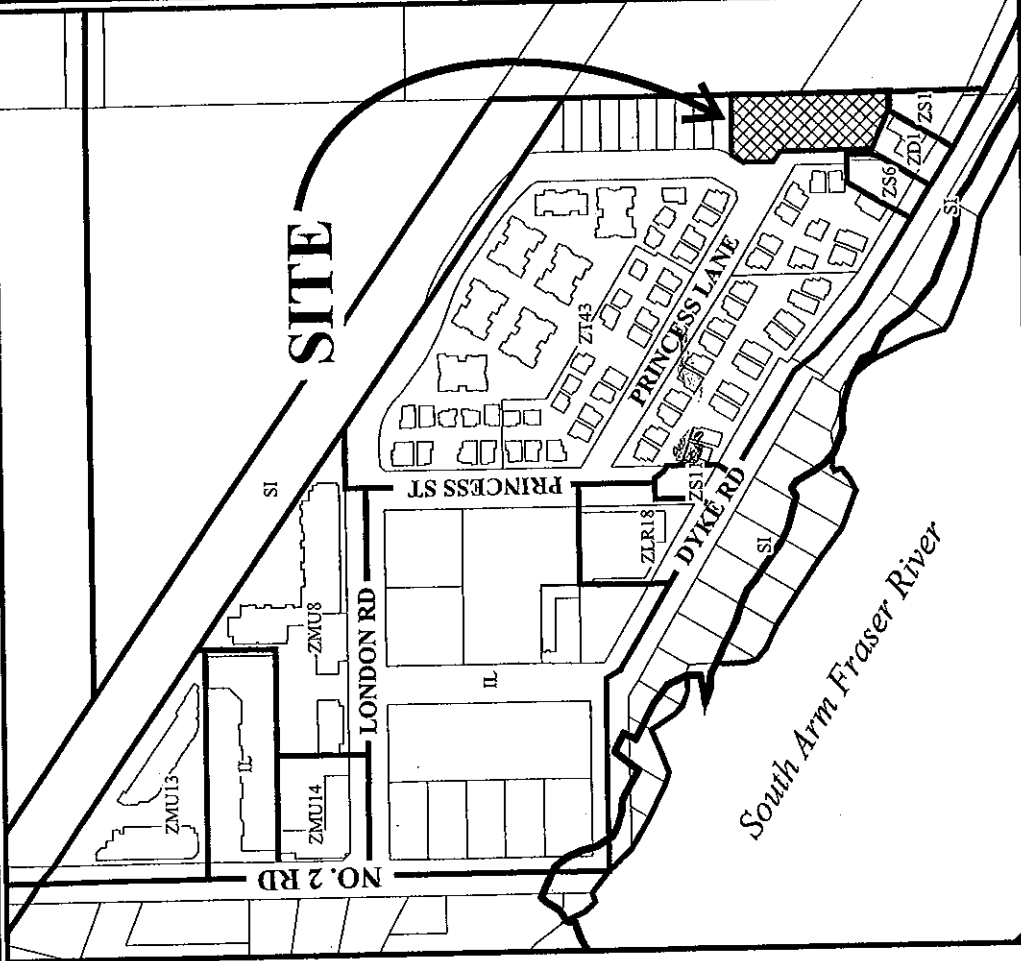
AUTHORIZING RESOLUTION NO.
DAY OF

ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

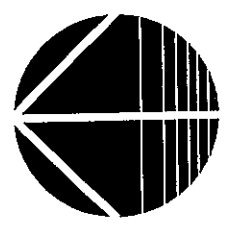
MAYOR

City of Richmond



Original Date: 10/06/09
 Revision Date: 03/19/10
 Note: Dimensions are in METRES

DP 09-493613 SCHEDULE "A"



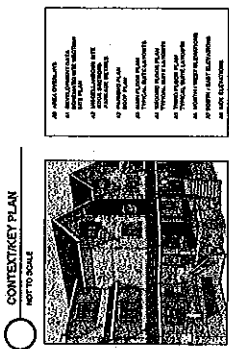
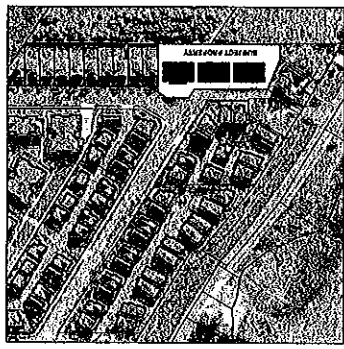
DISCLAIMER:
This drawing is prepared by the Architectural Firm for the Client. It is the Client's responsibility to ensure that all information provided to the Architectural Firm is accurate and complete. The Architectural Firm does not warrant the accuracy or completeness of the information provided to it. The Architectural Firm is not responsible for any errors or omissions in this drawing, or for any consequences arising from the use of this drawing. The Architectural Firm is not responsible for any changes to this drawing made by the Client or any other party. The Architectural Firm is not responsible for any construction or other work done in reliance on this drawing. The Architectural Firm is not responsible for any liability, damages, or other consequences arising from the use of this drawing. The Architectural Firm is not responsible for any other work done in reliance on this drawing. The Architectural Firm is not responsible for any other liability, damages, or other consequences arising from the use of this drawing.

Revision	Date	Drawn By	Checked By
1	12/28/09	DAVID GARDNER	JIM WILSON
2	01/05/10	DAVID GARDNER	JIM WILSON
3	01/15/10	DAVID GARDNER	JIM WILSON
4	01/22/10	DAVID GARDNER	JIM WILSON
5	02/02/10	DAVID GARDNER	JIM WILSON
6	02/11/10	DAVID GARDNER	JIM WILSON
7	02/18/10	DAVID GARDNER	JIM WILSON
8	02/25/10	DAVID GARDNER	JIM WILSON
9	03/04/10	DAVID GARDNER	JIM WILSON
10	03/11/10	DAVID GARDNER	JIM WILSON
11	03/18/10	DAVID GARDNER	JIM WILSON
12	03/25/10	DAVID GARDNER	JIM WILSON
13	04/01/10	DAVID GARDNER	JIM WILSON
14	04/08/10	DAVID GARDNER	JIM WILSON
15	04/15/10	DAVID GARDNER	JIM WILSON
16	04/22/10	DAVID GARDNER	JIM WILSON
17	04/29/10	DAVID GARDNER	JIM WILSON
18	05/06/10	DAVID GARDNER	JIM WILSON
19	05/13/10	DAVID GARDNER	JIM WILSON
20	05/20/10	DAVID GARDNER	JIM WILSON
21	05/27/10	DAVID GARDNER	JIM WILSON
22	06/03/10	DAVID GARDNER	JIM WILSON
23	06/10/10	DAVID GARDNER	JIM WILSON
24	06/17/10	DAVID GARDNER	JIM WILSON
25	06/24/10	DAVID GARDNER	JIM WILSON
26	07/01/10	DAVID GARDNER	JIM WILSON
27	07/08/10	DAVID GARDNER	JIM WILSON
28	07/15/10	DAVID GARDNER	JIM WILSON
29	07/22/10	DAVID GARDNER	JIM WILSON
30	07/29/10	DAVID GARDNER	JIM WILSON
31	08/05/10	DAVID GARDNER	JIM WILSON
32	08/12/10	DAVID GARDNER	JIM WILSON
33	08/19/10	DAVID GARDNER	JIM WILSON
34	08/26/10	DAVID GARDNER	JIM WILSON
35	09/02/10	DAVID GARDNER	JIM WILSON
36	09/09/10	DAVID GARDNER	JIM WILSON
37	09/16/10	DAVID GARDNER	JIM WILSON
38	09/23/10	DAVID GARDNER	JIM WILSON
39	09/30/10	DAVID GARDNER	JIM WILSON
40	10/07/10	DAVID GARDNER	JIM WILSON
41	10/14/10	DAVID GARDNER	JIM WILSON
42	10/21/10	DAVID GARDNER	JIM WILSON
43	10/28/10	DAVID GARDNER	JIM WILSON
44	11/04/10	DAVID GARDNER	JIM WILSON
45	11/11/10	DAVID GARDNER	JIM WILSON
46	11/18/10	DAVID GARDNER	JIM WILSON
47	11/25/10	DAVID GARDNER	JIM WILSON
48	12/02/10	DAVID GARDNER	JIM WILSON
49	12/09/10	DAVID GARDNER	JIM WILSON
50	12/16/10	DAVID GARDNER	JIM WILSON
51	12/23/10	DAVID GARDNER	JIM WILSON
52	12/30/10	DAVID GARDNER	JIM WILSON
53	01/06/11	DAVID GARDNER	JIM WILSON
54	01/13/11	DAVID GARDNER	JIM WILSON
55	01/20/11	DAVID GARDNER	JIM WILSON
56	01/27/11	DAVID GARDNER	JIM WILSON
57	02/03/11	DAVID GARDNER	JIM WILSON
58	02/10/11	DAVID GARDNER	JIM WILSON
59	02/17/11	DAVID GARDNER	JIM WILSON
60	02/24/11	DAVID GARDNER	JIM WILSON
61	03/03/11	DAVID GARDNER	JIM WILSON
62	03/10/11	DAVID GARDNER	JIM WILSON
63	03/17/11	DAVID GARDNER	JIM WILSON
64	03/24/11	DAVID GARDNER	JIM WILSON
65	03/31/11	DAVID GARDNER	JIM WILSON
66	04/07/11	DAVID GARDNER	JIM WILSON
67	04/14/11	DAVID GARDNER	JIM WILSON
68	04/21/11	DAVID GARDNER	JIM WILSON
69	04/28/11	DAVID GARDNER	JIM WILSON
70	05/05/11	DAVID GARDNER	JIM WILSON
71	05/12/11	DAVID GARDNER	JIM WILSON
72	05/19/11	DAVID GARDNER	JIM WILSON
73	05/26/11	DAVID GARDNER	JIM WILSON
74	06/02/11	DAVID GARDNER	JIM WILSON
75	06/09/11	DAVID GARDNER	JIM WILSON
76	06/16/11	DAVID GARDNER	JIM WILSON
77	06/23/11	DAVID GARDNER	JIM WILSON
78	06/30/11	DAVID GARDNER	JIM WILSON
79	07/07/11	DAVID GARDNER	JIM WILSON
80	07/14/11	DAVID GARDNER	JIM WILSON
81	07/21/11	DAVID GARDNER	JIM WILSON
82	07/28/11	DAVID GARDNER	JIM WILSON
83	08/04/11	DAVID GARDNER	JIM WILSON
84	08/11/11	DAVID GARDNER	JIM WILSON
85	08/18/11	DAVID GARDNER	JIM WILSON
86	08/25/11	DAVID GARDNER	JIM WILSON
87	09/01/11	DAVID GARDNER	JIM WILSON
88	09/08/11	DAVID GARDNER	JIM WILSON
89	09/15/11	DAVID GARDNER	JIM WILSON
90	09/22/11	DAVID GARDNER	JIM WILSON
91	09/29/11	DAVID GARDNER	JIM WILSON
92	10/06/11	DAVID GARDNER	JIM WILSON
93	10/13/11	DAVID GARDNER	JIM WILSON
94	10/20/11	DAVID GARDNER	JIM WILSON
95	10/27/11	DAVID GARDNER	JIM WILSON
96	11/03/11	DAVID GARDNER	JIM WILSON
97	11/10/11	DAVID GARDNER	JIM WILSON
98	11/17/11	DAVID GARDNER	JIM WILSON
99	11/24/11	DAVID GARDNER	JIM WILSON
100	12/01/11	DAVID GARDNER	JIM WILSON

PROJECT DATA
SITE PLAN
SITE SECTION
SITE SECTION DETAILS

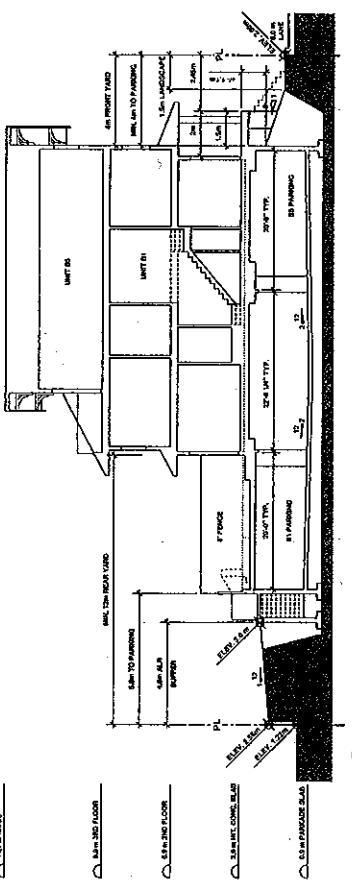
Client: ORG Consulting LLC
Development: CURRENTS DEVELOPMENT
18 UNIT MULTI-FAMILY
4407 FRENCH LANE
HILLSBORO, OR

Project No: 09-493613
Drawing No: A1

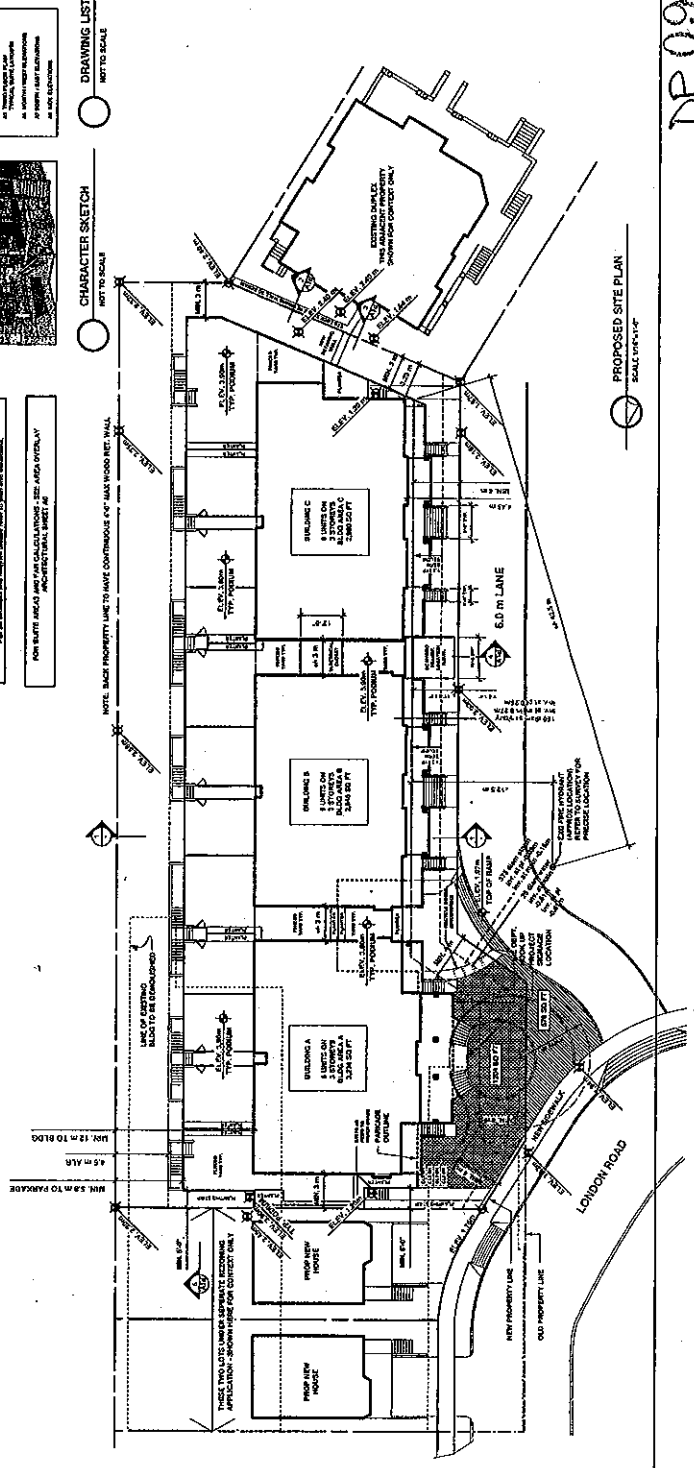


CONSENTS MULTI-FAMILY RESIDENTIAL DEVELOPMENT

Item	Description	Area	Notes
1	Unit 101	1,200 sq ft	10' x 12' x 10'
2	Unit 102	1,200 sq ft	10' x 12' x 10'
3	Unit 103	1,200 sq ft	10' x 12' x 10'
4	Unit 104	1,200 sq ft	10' x 12' x 10'
5	Unit 105	1,200 sq ft	10' x 12' x 10'
6	Unit 106	1,200 sq ft	10' x 12' x 10'
7	Unit 107	1,200 sq ft	10' x 12' x 10'
8	Unit 108	1,200 sq ft	10' x 12' x 10'
9	Unit 109	1,200 sq ft	10' x 12' x 10'
10	Unit 110	1,200 sq ft	10' x 12' x 10'
11	Unit 111	1,200 sq ft	10' x 12' x 10'
12	Unit 112	1,200 sq ft	10' x 12' x 10'
13	Unit 113	1,200 sq ft	10' x 12' x 10'
14	Unit 114	1,200 sq ft	10' x 12' x 10'
15	Unit 115	1,200 sq ft	10' x 12' x 10'
16	Unit 116	1,200 sq ft	10' x 12' x 10'
17	Unit 117	1,200 sq ft	10' x 12' x 10'
18	Unit 118	1,200 sq ft	10' x 12' x 10'
19	Unit 119	1,200 sq ft	10' x 12' x 10'
20	Unit 120	1,200 sq ft	10' x 12' x 10'



SCHEMATIC SECTION (BLDG B)
SCALE: 1/4" = 1'-0"



PROPOSED SITE PLAN
SCALE: 1/4" = 1'-0"

PLAN #1
DP 09 493613
MAR 27 2010



102 - 1587 W. MAIN AVENUE
 VANCOUVER BC V6J 1T8
 T 604.286.4877 F 604.286.4875
 WWW.HEARTHARCHITECTS.COM

DISCLAIMER
 The Architect's responsibility is limited to the design and construction of the building as shown on the drawings. The Architect is not responsible for the design and construction of any other building or structure, or for the design and construction of any other building or structure that may be affected by the building shown on the drawings. The Architect is not responsible for the design and construction of any other building or structure that may be affected by the building shown on the drawings.

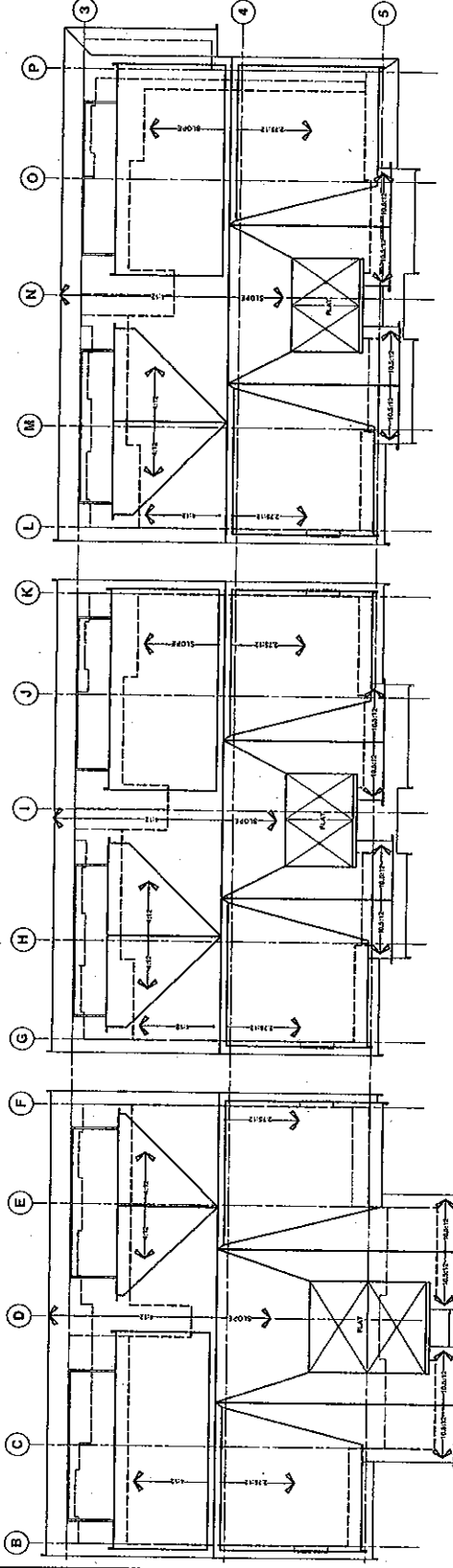
Rev.	Date	By	Description
1	01/25/10	JM	ISSUED FOR PERMIT
2	02/10/10	JM	ISSUED FOR PERMIT
3	03/15/10	JM	ISSUED FOR PERMIT

Client: City of Vancouver
 Project: 10 UNIT MULTI-FAMILY
 Drawing No: A2
 Drawing Title: ROOF PLAN
 Drawing Date: 03/15/10

PLAN #2A

MAR 22 2010

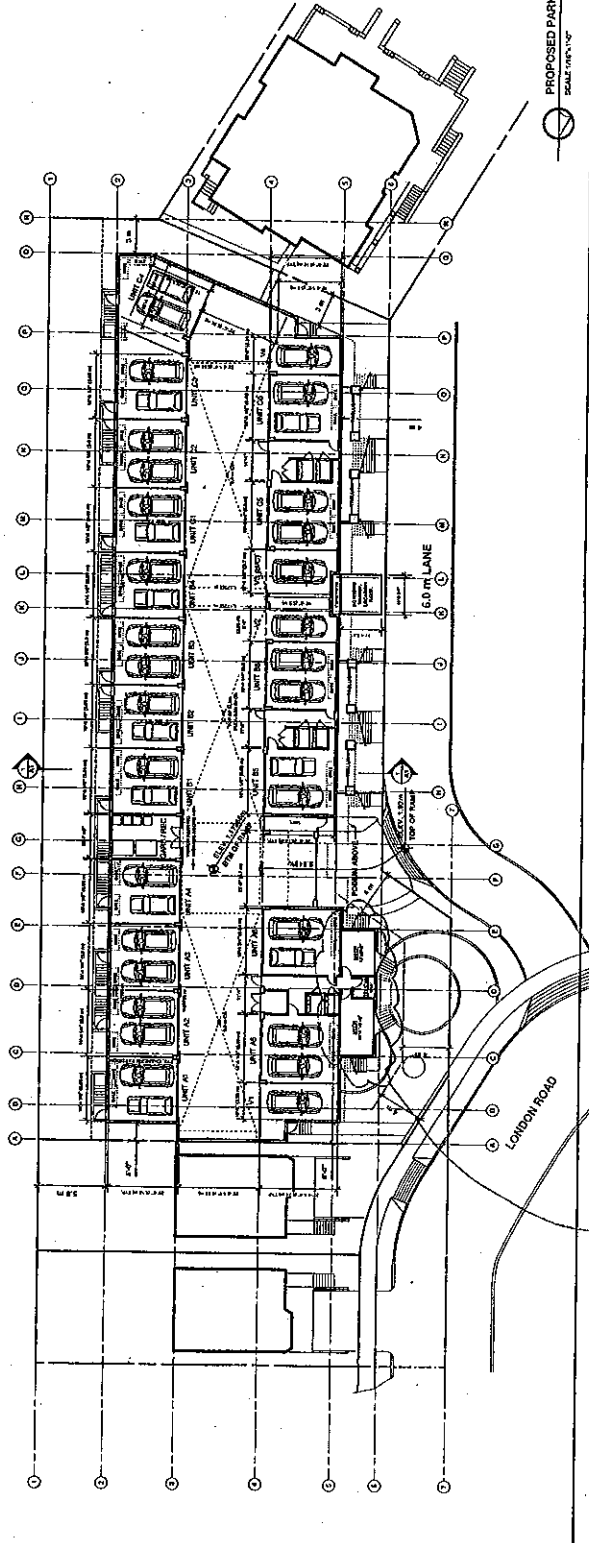
DP09 493613



BLDG C - ROOF PLAN
SCALE 1/8\"/>

BLDG B - ROOF PLAN
SCALE 1/8\"/>

BLDG A - ROOF PLAN
SCALE 1/8\"/>



PROPOSED PARKING PLAN
SCALE 1/8\"/>

All equipments to be located above the min. F.C.I.

INSTALLATION INSTRUCTIONS
The following instructions are intended to guide the installer in the proper installation of the electrical closet. The installer should read these instructions carefully before beginning the installation. The instructions are intended to be used in conjunction with the electrical closet and the electrical panel. The installer should refer to the electrical code for the proper installation of the electrical panel. The installer should refer to the electrical code for the proper installation of the electrical closet. The installer should refer to the electrical code for the proper installation of the electrical closet.

Copyright Information:
All rights reserved. No part of this publication may be reproduced, stored in a retrieval system, or transmitted, in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the publisher.

Revisions	Date	By
NOV 20 09 ISSUED FOR RECORDING	AM	JM
NOV 27 09 ISSUED FOR ADP	JM	JM
DEC 18 09 ISSUED FOR ADP	JM	JM
MAY 21 10 REVISIONED FOR ADP	JM	JM

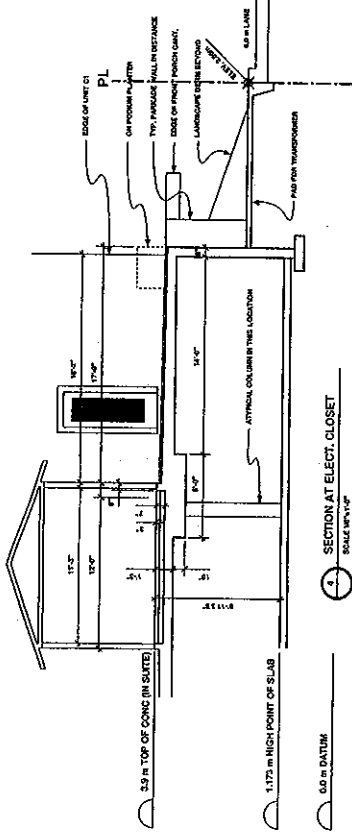
Project:
One Consulting Ltd
18 unit MULTI-FAMILY
Development
1800 Highway 102
Farmington, UT

Drawing Title:
EDGE DETAIL
ELECT. CLOSET SECTION
TURNING RADI DIAGRAMS

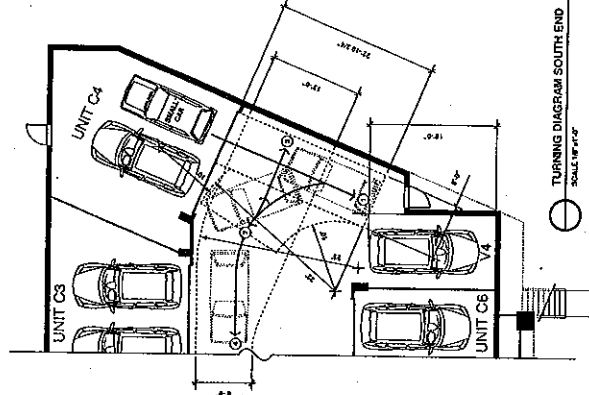
Sheet No.	A1d
Project No.	09-09-493613
Scale	AS SHOWN
Drawn By	JM
Approved By	

PLAN # 2 E

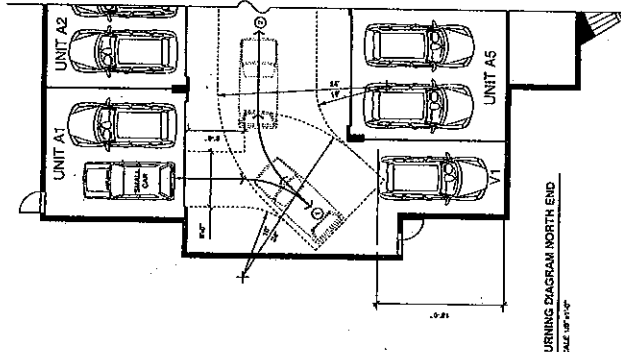
DP 09 493613
MAR 21 2010



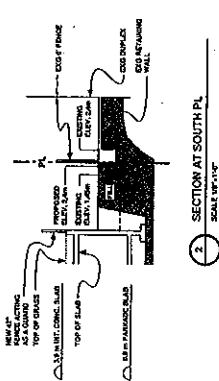
1 SECTION AT ELECT. CLOSET
SCALE 1/4"=1'-0"



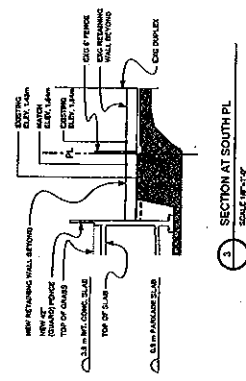
TURNING DIAGRAM SOUTH END
SCALE 1/4"=1'-0"



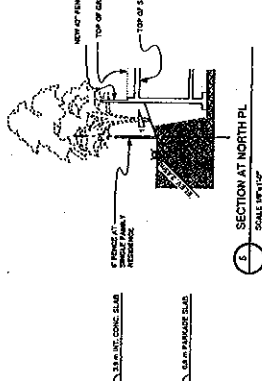
TURNING DIAGRAM NORTH END
SCALE 1/4"=1'-0"



2 SECTION AT SOUTH PL
SCALE 1/4"=1'-0"



3 SECTION AT SOUTH PL
SCALE 1/4"=1'-0"

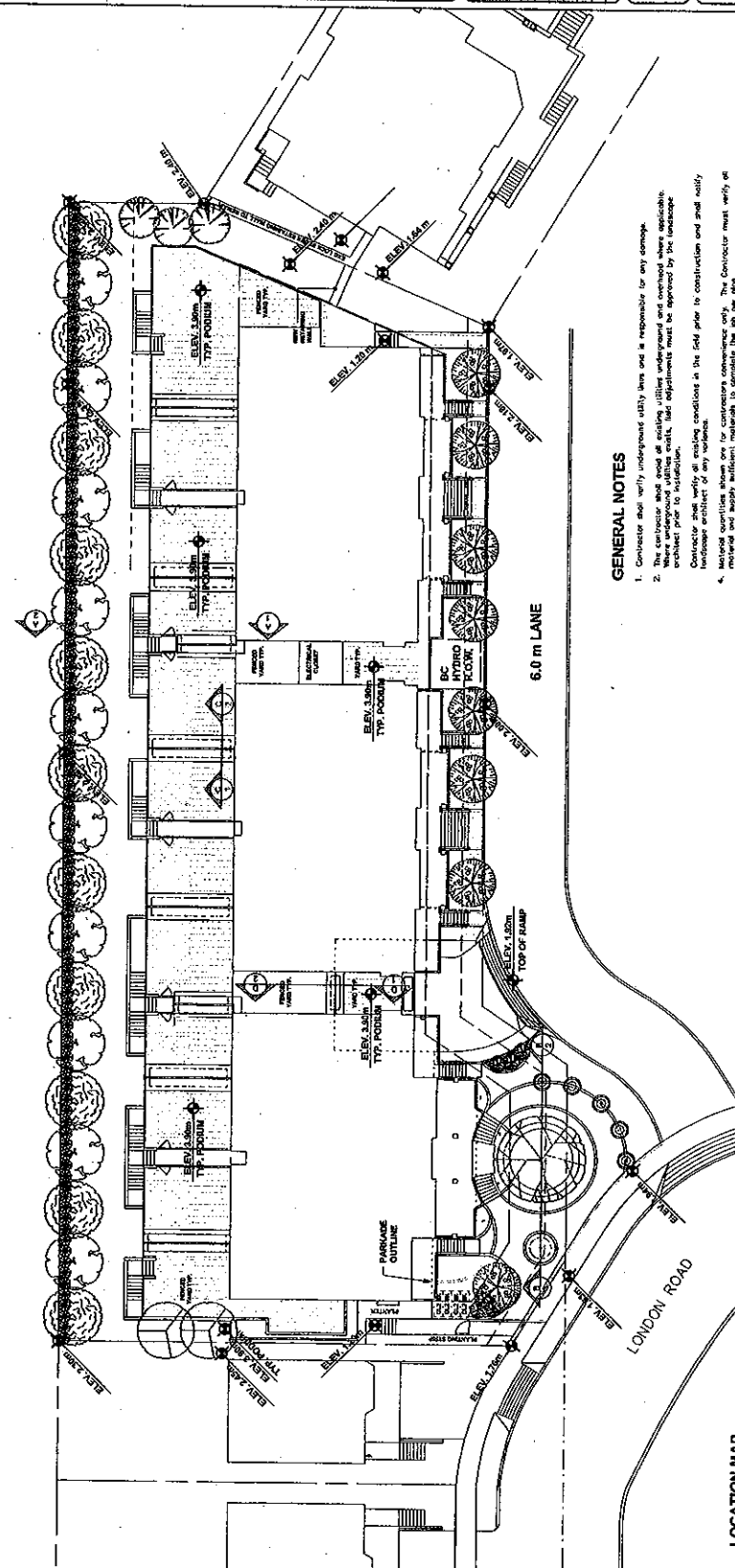


4 SECTION AT NORTH PL
SCALE 1/4"=1'-0"

Eyestone Property

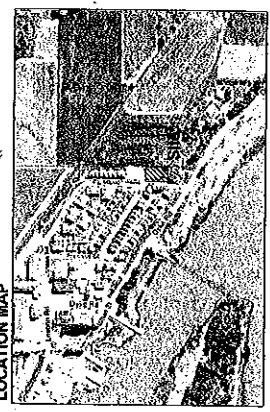
MULTI-FAMILY DEVELOPMENT
ISSUE FOR DEVELOPMENT PERMIT

<p>van der Zande Associates Inc. Landscape Architects 1000 West 10th Avenue Vancouver, BC V6H 1T1 Tel: 604-271-1111 Fax: 604-271-1112</p>		<p>LANDSCAPE DRAWINGS PLAN 3</p>	<p>COVER SHEET</p>	<p>DRAWING NO. L-001</p>	<p>PROJECT NO. DP2008-15</p>	<p>PROJECT: Currents Development Multi-Family Development</p>
		<p>DATE: 11/15/07</p>	<p>SCALE: 1:150</p>	<p>DATE: 11/15/07</p>	<p>PROJECT NO. DP2008-15</p>	<p>LOCATION: 6451 Princess Lane Richmond, BC</p>



GENERAL NOTES

1. Contractor shall verify underground utility lines and is responsible for any damage.
2. The contractor shall avoid all existing utilities underground and overhead where applicable. If any utilities are located in the proposed planting beds, their alignment must be approved by the landscape architect prior to installation.
3. Contractor shall verify all existing conditions in the field prior to construction and shall notify landscape architect of any variances.
4. Material quantities shown are for contractor's convenience only. The Contractor must verify all material and supply sufficient materials to complete the job per plan.
5. Work shall conform to BCMA Standards.
6. The landscape architect warrants that the plan is prepared from one another other of place of growth or at its before clearing, for contractor's convenience only. The contractor shall verify all material and supply sufficient materials to complete the job per plan.
7. The landscape architect reserves the right to reject landscape materials on site whether sizes, color or installed in place.
8. All plants shall be provided per the landscape plan and specifications. Plants not listed to be in compliance shall be replaced correctly at no additional expense to the owner.
9. The grade, fertilizer and soil/seed of disturbed areas within the construction limits as shown. All areas shall occur company and shall not need per plan.
10. Where planting beds meet turf areas, the contractor shall provide a cultivated edge.
11. Plants for planting beds to be the same.
12. An approved pre-emptive herbicide shall be applied in all planting beds at a rate specified by manufacturer for each plant variety.
13. Contractor shall acquire and pay for all permits, fees, and inspections necessary for the proper execution of this work and comply with all codes applicable to this work.



PLAN #3A

DP09493613 MAR 22 2010

PLAN # 3
 MAR 27 2010
 DP 09 493613

van der Zalm + associates Inc.
 Landscape Architects
 2000 West Beaver Creek
 Richmond, BC V6X 2Y7
 Tel: 604.273.1111
 Fax: 604.273.1112
 www.vdz.com

HEARTH
 BUILDING MATERIALS

NOTES

1. Refer to the attached site plan for the location of the proposed development.
2. The proposed development is shown in red on the site plan.
3. The proposed development is shown in red on the site plan.
4. The proposed development is shown in red on the site plan.
5. The proposed development is shown in red on the site plan.
6. The proposed development is shown in red on the site plan.
7. The proposed development is shown in red on the site plan.
8. The proposed development is shown in red on the site plan.
9. The proposed development is shown in red on the site plan.
10. The proposed development is shown in red on the site plan.

REVISIONS

NO.	DATE	DESCRIPTION
1	08/20/08	Issue for Client Approval
2	09/15/08	Issue for Client Approval
3	10/15/08	Issue for Client Approval
4	11/15/08	Issue for Client Approval
5	12/15/08	Issue for Client Approval
6	01/15/09	Issue for Client Approval
7	02/15/09	Issue for Client Approval
8	03/15/09	Issue for Client Approval
9	04/15/09	Issue for Client Approval
10	05/15/09	Issue for Client Approval

PROJECT: Currents Development
 Multi-Family Development

LOCATION: 6451 Princess Lane
 Richmond, BC

DATE: March 27, 2010

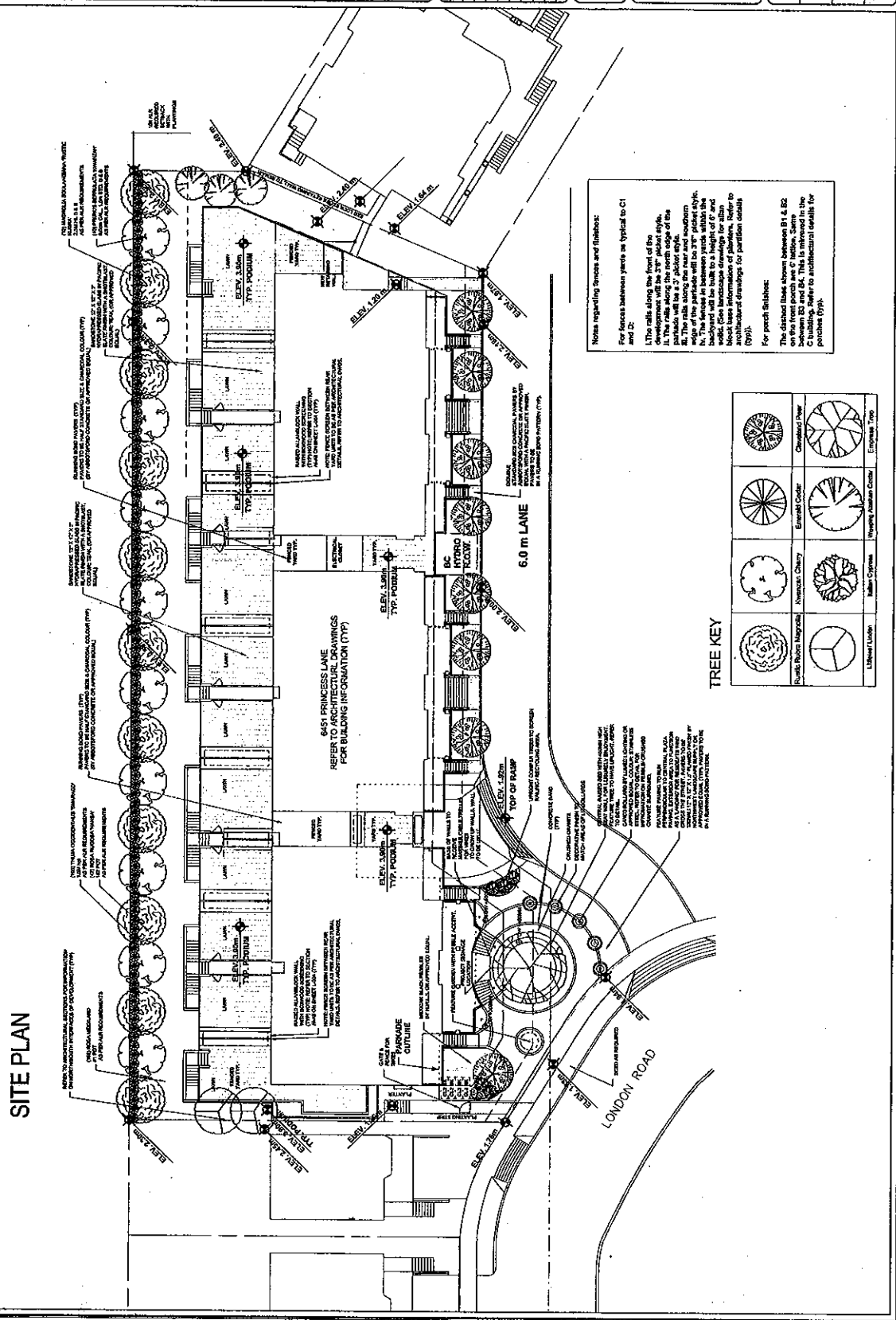
SCALE: 1:150

DESIGNER: JL

CHECKED: MVDZ

APPROVED: MVDZ

LAB: SITE PLANING



Notes regarding 'Species and Finishess':

I. The rails along the front of the site are shown in red on the site plan.

J. The rails along the north edge of the site are shown in red on the site plan.

K. The rails along the east edge of the site are shown in red on the site plan.

L. The rails along the south edge of the site are shown in red on the site plan.

M. The rails along the west edge of the site are shown in red on the site plan.

N. The rails along the north-south edge of the site are shown in red on the site plan.

O. The rails along the east-west edge of the site are shown in red on the site plan.

P. The rails along the diagonal edge of the site are shown in red on the site plan.

Q. The rails along the curved edge of the site are shown in red on the site plan.

R. The rails along the irregular edge of the site are shown in red on the site plan.

S. The rails along the complex edge of the site are shown in red on the site plan.

T. The rails along the irregularly shaped edge of the site are shown in red on the site plan.

U. The rails along the irregularly shaped edge of the site are shown in red on the site plan.

V. The rails along the irregularly shaped edge of the site are shown in red on the site plan.

W. The rails along the irregularly shaped edge of the site are shown in red on the site plan.

X. The rails along the irregularly shaped edge of the site are shown in red on the site plan.

Y. The rails along the irregularly shaped edge of the site are shown in red on the site plan.

Z. The rails along the irregularly shaped edge of the site are shown in red on the site plan.

TREE KEY

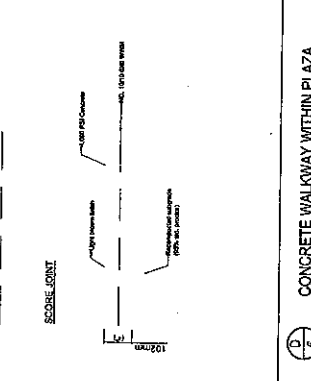
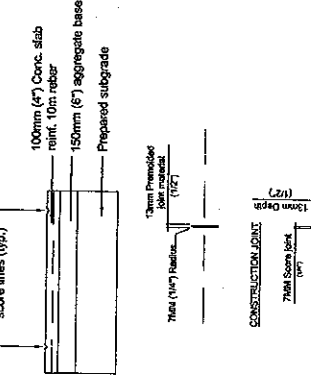
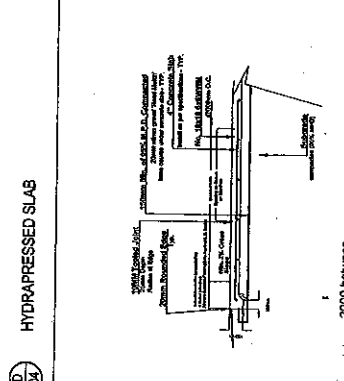
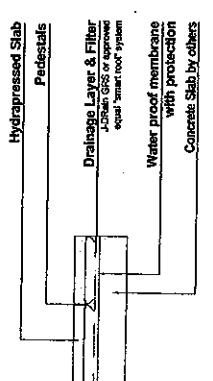
Symbol	Species	Quantity
(Symbol)	Cherry Blossom	10
(Symbol)	Emerald Oak	15
(Symbol)	Japanese Cherry	20
(Symbol)	Japanese Maple	25
(Symbol)	White Pine	30
(Symbol)	Western Red Cedar	35
(Symbol)	Japanese Maple	40
(Symbol)	Emerald Oak	45
(Symbol)	Cherry Blossom	50
(Symbol)	Japanese Maple	55
(Symbol)	White Pine	60
(Symbol)	Western Red Cedar	65
(Symbol)	Japanese Maple	70
(Symbol)	Emerald Oak	75
(Symbol)	Cherry Blossom	80
(Symbol)	Japanese Maple	85
(Symbol)	White Pine	90
(Symbol)	Western Red Cedar	95
(Symbol)	Japanese Maple	100

SITE PLAN

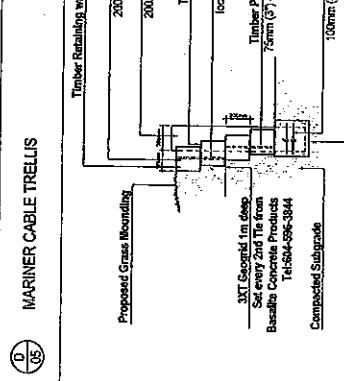
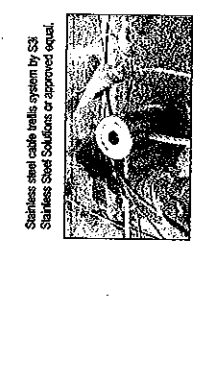
6451 PRINCESS LANE
 REFER TO ARCHITECTURAL DRAWINGS
 FOR BUILDING INFORMATION (TYP)

6.0 m LANE

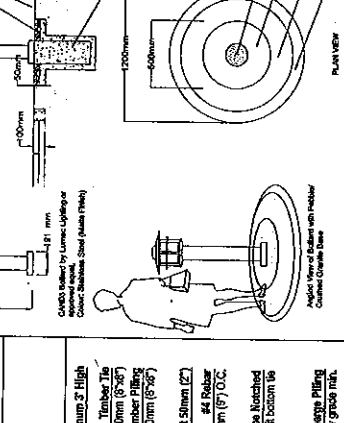
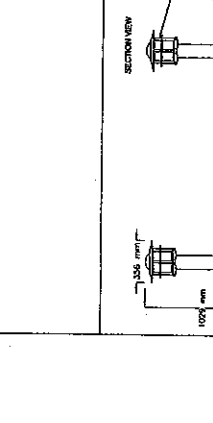
LONDON ROAD



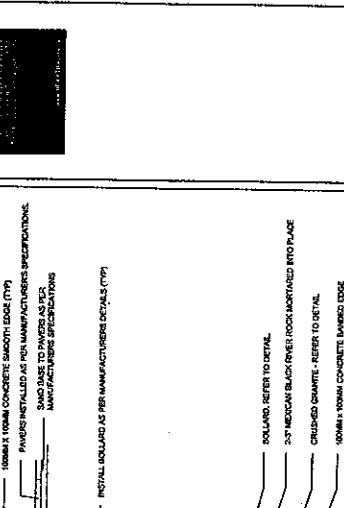
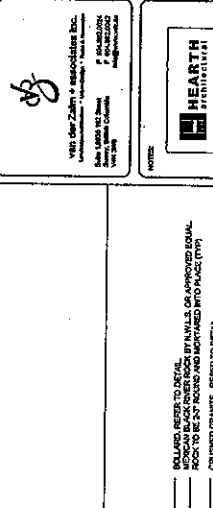
CONCRETE WALKWAY WITHIN PLAZA



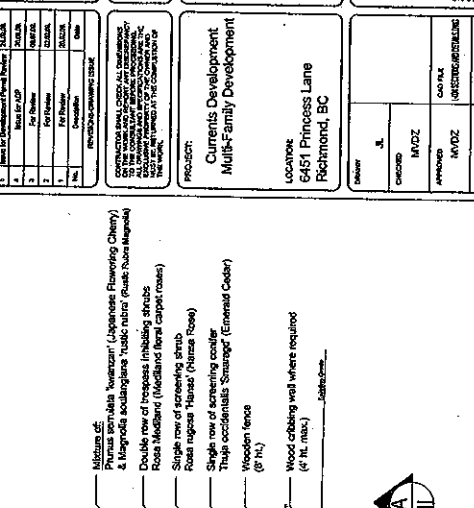
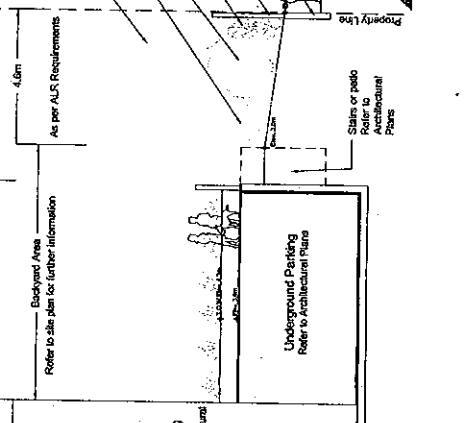
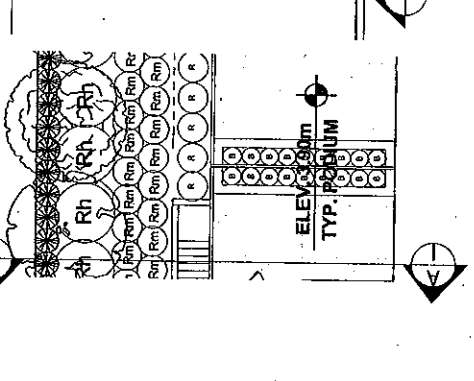
WOOD RETAINING WALL - TO BE COORDINATED WITH STRUCTURAL ENGINEER



DETAIL OF BOLLARD INTERFACE ALONG SIDEWALK Scale 1:20m



DETAIL OF BOLLARD INTERFACE ALONG SIDEWALK Scale 1:20m



LANDSCAPE DRAWINGS

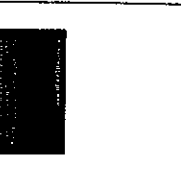
SECTIONS AND DETAILS

PROJECT NO. DP2008-15

DRAWING NO. L-004

PROJ. NO. DP2008-15

W.D. der Zalm + Associates Inc.
Landscape Architects
1000 West Beaver Creek Road
Richmond, BC V6X 1V6
Tel: 604-273-1111
Fax: 604-273-1112
www.wdzalm.com



NO.	REVISIONS/CHANGES/DATE
1	Issue for Development Phase
2	Issue for Development Phase
3	Issue for Development Phase
4	Issue for Development Phase
5	Issue for Development Phase
6	Issue for Development Phase
7	Issue for Development Phase
8	Issue for Development Phase
9	Issue for Development Phase
10	Issue for Development Phase

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND MATERIALS TO BE USED IN THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

PROJ. NO. DP2008-15

PROJECT NO. DP2008-15

PROJ. NO. DP2008-15

PROJ. NO. DP2008-15

PROJ. NO. DP2008-15

PROJ. NO. DP2008-15

PROJ. NO. DP2008-15

PROJ. NO. DP2008-15

PLAN 3

DP 09 493613

MAR 22 2010

van der Wal + associates, Inc.
 1000 West Beaver Creek Road
 Suite 1000 West Beaver Creek
 Richmond, BC V6X 3V9
 Tel: 604.273.8888
 Fax: 604.273.8889
 www.vdw.ca

HEARTH
 TECHNOLOGY
 1000 West Beaver Creek Road
 Suite 1000 West Beaver Creek
 Richmond, BC V6X 3V9
 Tel: 604.273.8888
 Fax: 604.273.8889
 www.hearthtech.com

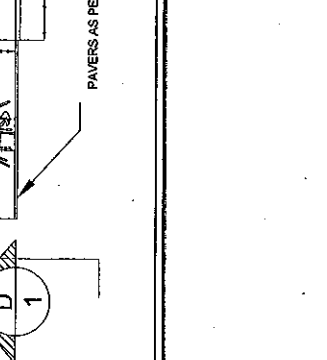
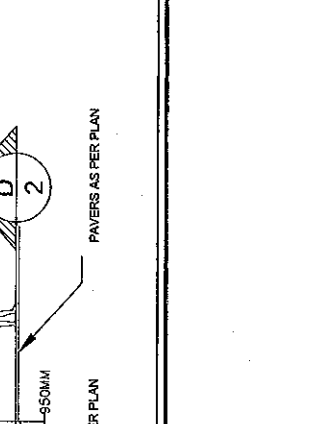
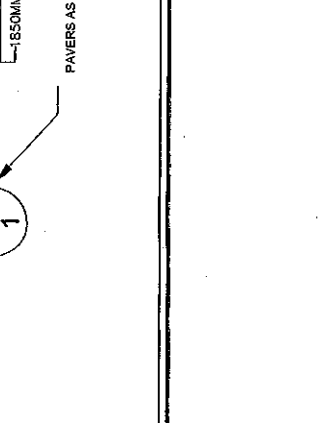
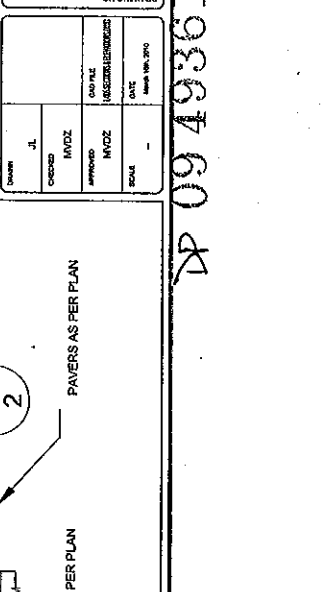
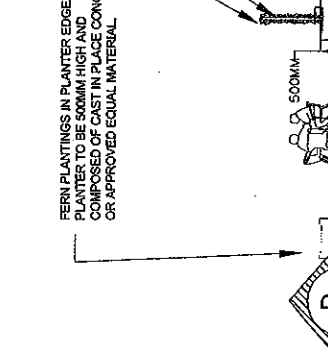
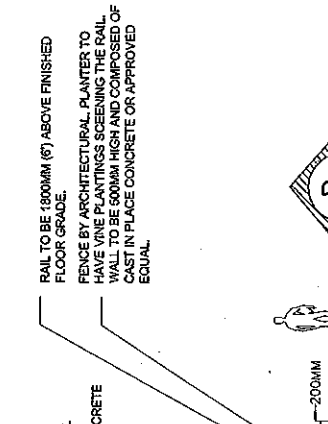
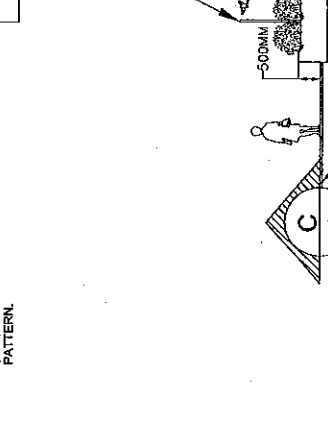
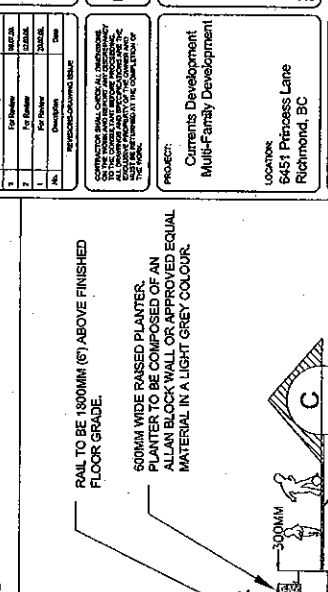
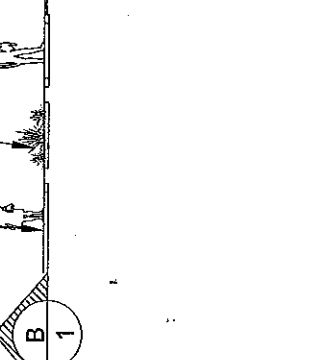
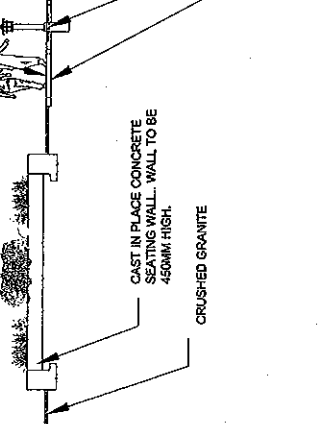
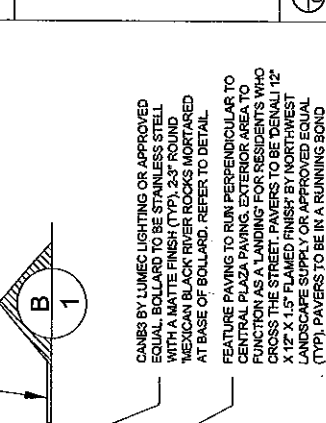
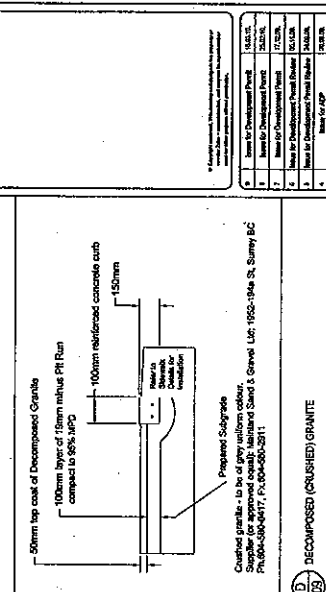
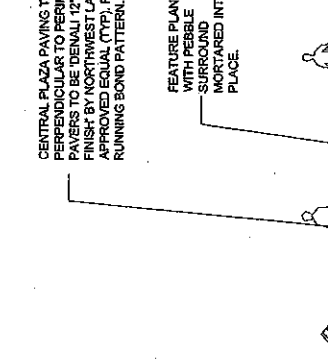
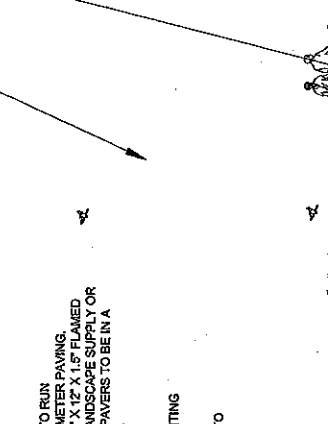
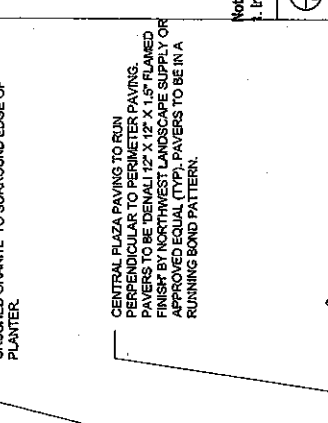
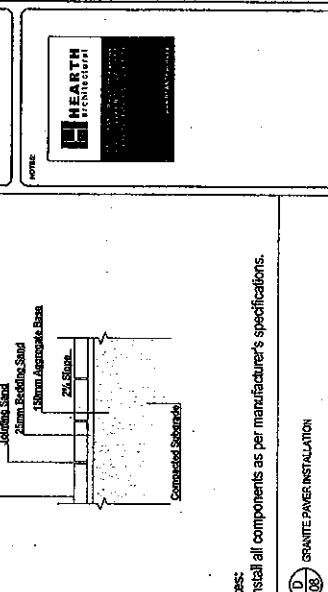
NOTES:
 1. Install all components as per manufacturer's specifications.

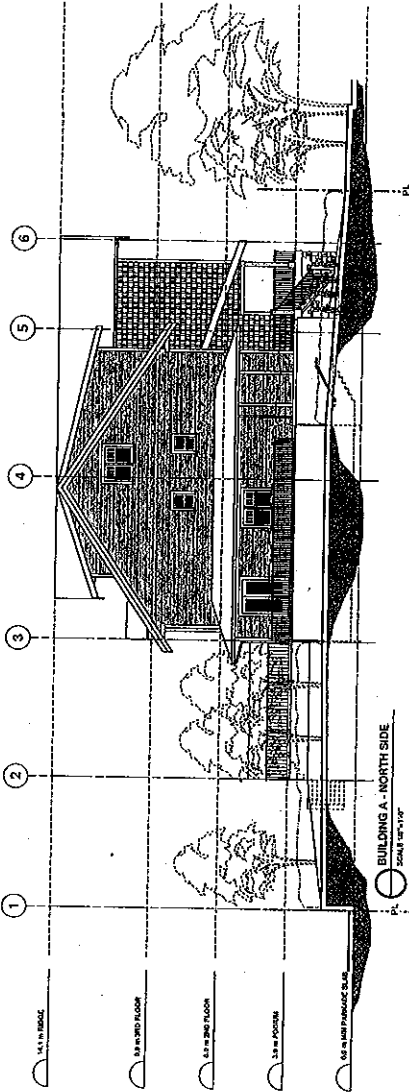
DECOMPOSED (CRUSHED) GRANITE
 50mm top coat of Decomposed Granite
 100mm layer of 15mm minus P.F. Run
 compact to 95% M.P.D.
 150mm
 100mm reinforced concrete curb
 Prepared Subgrade
 Crushed granite - 10 to 15 of grey uniform colour.
 Supplier for approved quality: Highland Sand & Gravel Ltd. 1952-1946 St. Surrey BC
 Product: 040477, P.O. 04040311

DECOMPOSED (CRUSHED) GRANITE
 RAIL TO BE 180MM (6") ABOVE FINISHED FLOOR GRADE.
 600MM WIDE RAISED PLANTER. PLANTER TO BE COMPOSED OF AN ALLAN BLOCK WALL OR APPROVED EQUAL MATERIAL IN A LIGHT GREY COLOUR.

DECOMPOSED (CRUSHED) GRANITE
 RAIL TO BE 180MM (6") ABOVE FINISHED FLOOR GRADE.
 FENCE BY ARCHITECTURAL PLANTER TO HAVE VINE PLANTINGS SCREENING THE RAIL. WALL TO BE 500MM HIGH AND COMPOSED OF CAST IN PLACE CONCRETE OR APPROVED EQUAL.

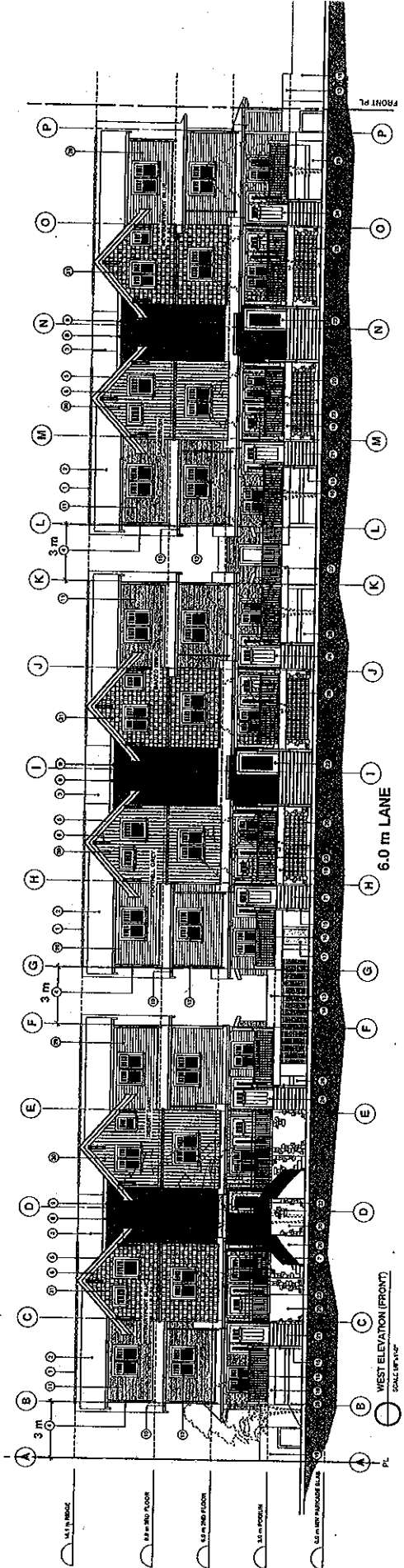
DECOMPOSED (CRUSHED) GRANITE
 RAIL TO BE 180MM (6") ABOVE FINISHED FLOOR GRADE.





MATERIALS/CLADDING	
1 ALUMINUM BUTTER	17 WOOD SHINGLES
2 1/2\"/>	

PLEASE NOTE: ALL PAINT COLORS TO BE CHARTY - SOLID COLOR EXAM
 NEWSPAPER BLUE
 BROWN BRICK
 ROYAL BLUE
 CEMENT SAND
 BRICKWORK



HEARTH CONSULTING INC. LICENSED ARCHITECTS

1825 168th Street, Suite 101, Surrey, BC V4A 4L3

HEARTH CONSULTING INC. LICENSED ARCHITECTS

1825 168th Street, Suite 101, Surrey, BC V4A 4L3

HEARTH CONSULTING INC. LICENSED ARCHITECTS

1825 168th Street, Suite 101, Surrey, BC V4A 4L3

Revision No. Date Drawn By
 1.00 2009 05 15 J. HEATH
 2.00 2009 08 15 J. HEATH
 3.00 2009 10 15 J. HEATH
 4.00 2009 12 15 J. HEATH
 5.00 2010 03 15 J. HEATH

Project
 Chris Consulting Ltd.
 DEVELOPMENT
 18 UNIT MULTIFAMILY
 West 60th Lane
 West Surrey BC

Date	1 MAY 20 09	Project No.	0816	Sheet No.	A6
Scale	AS SHOWN	Drawing By	J. HEATH	Checked By	
Drawing No.		Approved By			

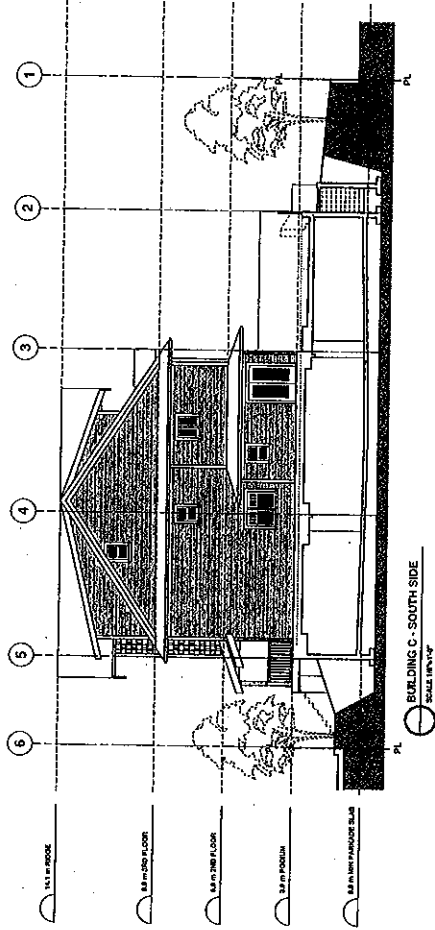
NORTH ELEVATION
WEST ELEVATION

HEARTH CONSULTING
 1825 168th Street, Suite 101
 Surrey, BC V4A 4L3
 T 604.255.4877 F 604.255.4879
 www.hearthinc.ca

DP 09 493613

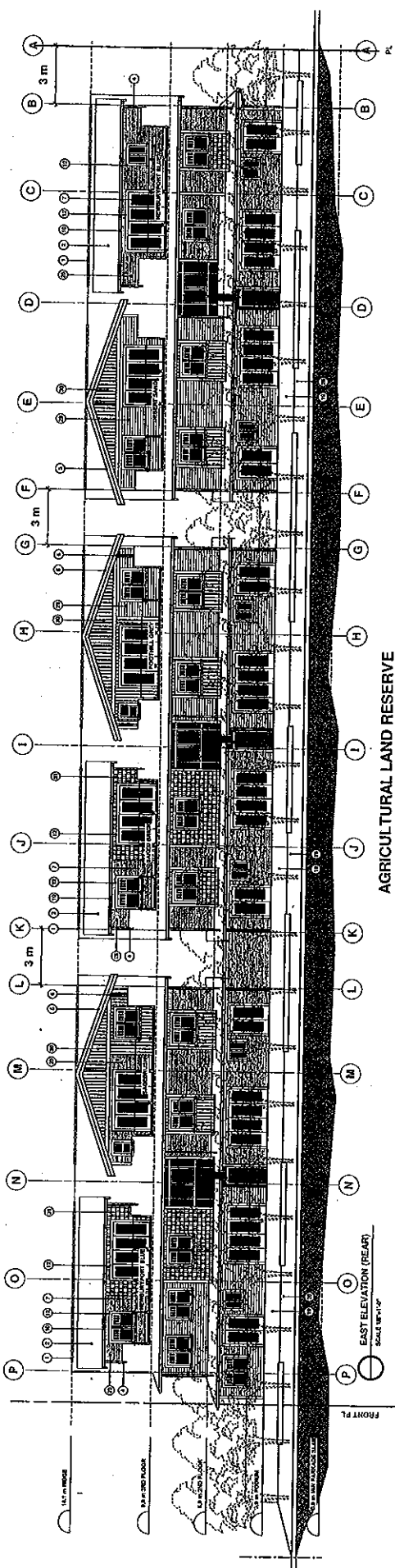
MAR 22 2010

PLAN # 44



BUILDING C - SOUTH SIDE
SCALE 1/4" = 1'-0"

- GENERAL NOTES**
1. WOOD JOIST
 2. 2" X 4" STUDS
 3. 1/2" GYPSUM BOARD
 4. 1/2" GYPSUM BOARD
 5. 1/2" GYPSUM BOARD
 6. 1/2" GYPSUM BOARD
 7. 1/2" GYPSUM BOARD
 8. 1/2" GYPSUM BOARD
 9. 1/2" GYPSUM BOARD
 10. 1/2" GYPSUM BOARD
 11. 1/2" GYPSUM BOARD
 12. 1/2" GYPSUM BOARD
 13. 1/2" GYPSUM BOARD
 14. 1/2" GYPSUM BOARD
 15. 1/2" GYPSUM BOARD
 16. 1/2" GYPSUM BOARD
 17. 1/2" GYPSUM BOARD
 18. 1/2" GYPSUM BOARD
 19. 1/2" GYPSUM BOARD
 20. 1/2" GYPSUM BOARD
 21. 1/2" GYPSUM BOARD
 22. 1/2" GYPSUM BOARD
 23. 1/2" GYPSUM BOARD
 24. 1/2" GYPSUM BOARD
 25. 1/2" GYPSUM BOARD
 26. 1/2" GYPSUM BOARD
 27. 1/2" GYPSUM BOARD
 28. 1/2" GYPSUM BOARD
 29. 1/2" GYPSUM BOARD
 30. 1/2" GYPSUM BOARD
 31. 1/2" GYPSUM BOARD
 32. 1/2" GYPSUM BOARD
 33. 1/2" GYPSUM BOARD
 34. 1/2" GYPSUM BOARD
 35. 1/2" GYPSUM BOARD
 36. 1/2" GYPSUM BOARD
 37. 1/2" GYPSUM BOARD
 38. 1/2" GYPSUM BOARD
 39. 1/2" GYPSUM BOARD
 40. 1/2" GYPSUM BOARD
 41. 1/2" GYPSUM BOARD
 42. 1/2" GYPSUM BOARD
 43. 1/2" GYPSUM BOARD
 44. 1/2" GYPSUM BOARD
 45. 1/2" GYPSUM BOARD
 46. 1/2" GYPSUM BOARD
 47. 1/2" GYPSUM BOARD
 48. 1/2" GYPSUM BOARD
 49. 1/2" GYPSUM BOARD
 50. 1/2" GYPSUM BOARD
 51. 1/2" GYPSUM BOARD
 52. 1/2" GYPSUM BOARD
 53. 1/2" GYPSUM BOARD
 54. 1/2" GYPSUM BOARD
 55. 1/2" GYPSUM BOARD
 56. 1/2" GYPSUM BOARD
 57. 1/2" GYPSUM BOARD
 58. 1/2" GYPSUM BOARD
 59. 1/2" GYPSUM BOARD
 60. 1/2" GYPSUM BOARD
 61. 1/2" GYPSUM BOARD
 62. 1/2" GYPSUM BOARD
 63. 1/2" GYPSUM BOARD
 64. 1/2" GYPSUM BOARD
 65. 1/2" GYPSUM BOARD
 66. 1/2" GYPSUM BOARD
 67. 1/2" GYPSUM BOARD
 68. 1/2" GYPSUM BOARD
 69. 1/2" GYPSUM BOARD
 70. 1/2" GYPSUM BOARD
 71. 1/2" GYPSUM BOARD
 72. 1/2" GYPSUM BOARD
 73. 1/2" GYPSUM BOARD
 74. 1/2" GYPSUM BOARD
 75. 1/2" GYPSUM BOARD
 76. 1/2" GYPSUM BOARD
 77. 1/2" GYPSUM BOARD
 78. 1/2" GYPSUM BOARD
 79. 1/2" GYPSUM BOARD
 80. 1/2" GYPSUM BOARD
 81. 1/2" GYPSUM BOARD
 82. 1/2" GYPSUM BOARD
 83. 1/2" GYPSUM BOARD
 84. 1/2" GYPSUM BOARD
 85. 1/2" GYPSUM BOARD
 86. 1/2" GYPSUM BOARD
 87. 1/2" GYPSUM BOARD
 88. 1/2" GYPSUM BOARD
 89. 1/2" GYPSUM BOARD
 90. 1/2" GYPSUM BOARD
 91. 1/2" GYPSUM BOARD
 92. 1/2" GYPSUM BOARD
 93. 1/2" GYPSUM BOARD
 94. 1/2" GYPSUM BOARD
 95. 1/2" GYPSUM BOARD
 96. 1/2" GYPSUM BOARD
 97. 1/2" GYPSUM BOARD
 98. 1/2" GYPSUM BOARD
 99. 1/2" GYPSUM BOARD
 100. 1/2" GYPSUM BOARD



AGRICULTURAL LAND RESERVE
SCALE 1/4" = 1'-0"

HEARTH
ARCHITECTURAL

102 - 1587 W. 15th Avenue
Anchorage, AK 99515
907-562-4477 / 907-562-4473

www.hearth-architect.com

REVISIONS

No.	Date	Drawn	By
1	MAY 20 2010	FOR REVISIONS	JM
2	MAY 27 2010	FOR REVISIONS	JM
3	JUN 10 2010	FOR REVISIONS	JM
4	MAY 20 2010	FOR REVISIONS	JM
5	MAY 20 2010	FOR REVISIONS	JM

Project

Oris Consulting Ltd.
CURBENS
DEVELOPMENT
18 UNIT MULTI-FAMILY
4847 Pioneer Lane
Anchorage, AK

Drawn by

SOUTH ELEVATION
EAST ELEVATION

Project No. A7

Date MAY 20 2010

Scale AS SHOWN

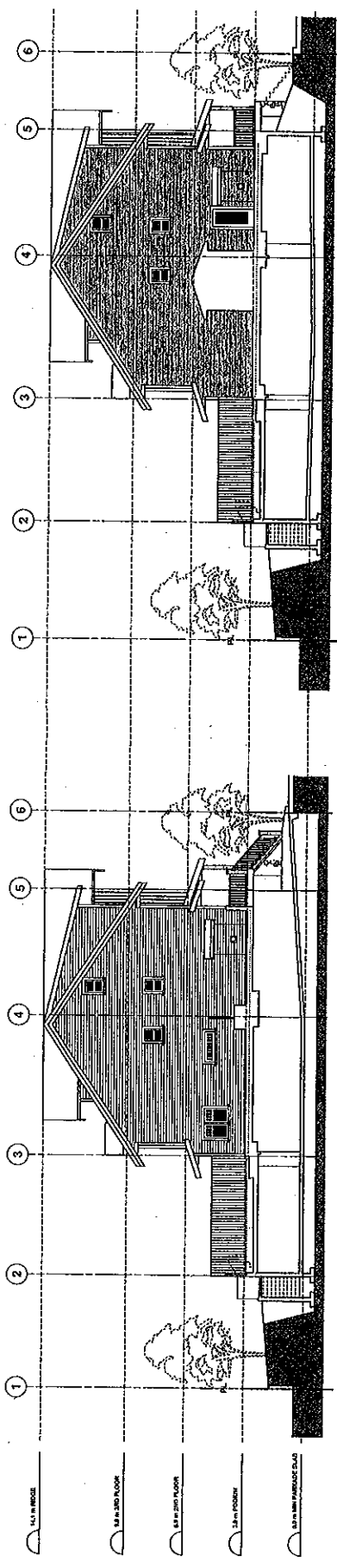
Drawn by JM

Reviewed by

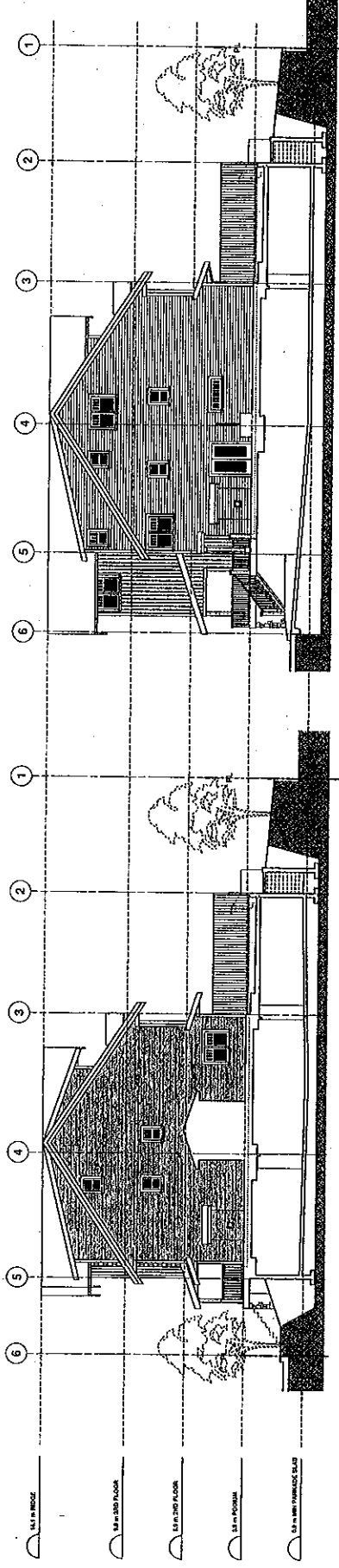
PLAN # 4B

DR 09 493613

MAR 22 2010



BUILDING B - NORTH SIDE
SCALE 1/8" = 1'-0"



BUILDING B - SOUTH SIDE
SCALE 1/8" = 1'-0"



BUILDING C - NORTH SIDE
SCALE 1/8" = 1'-0"



BUILDING C - SOUTH SIDE
SCALE 1/8" = 1'-0"

		102 - 1537 W 8518th AVENUE WASHINGTON DC 20711 TEL: 202-462-6217 F: 202-462-6079 WWW.HEARTH-ARCHITECT.COM	
<p>DISCLAIMER: HEARTH ARCHITECTURAL is not responsible for the accuracy of the information provided in this drawing. The user of this drawing shall be responsible for the accuracy of the information provided in this drawing. The user of this drawing shall be responsible for the accuracy of the information provided in this drawing.</p>		<p>Reviewed: _____ Date: _____ By: _____ DATE: _____ Checked: _____ Date: _____ By: _____ DATE: _____</p>	
<p>Project: _____ Client: _____ 15 UNIT MULTIFAMILY NEW PARKSIDE BLVD WASHINGTON DC</p>		<p>Drawn by: _____ Date: _____</p>	
<p>BUILDING B SIDE ELEVATIONS BUILDING C NORTH ELEVATION BUILDING A SOUTH ELEVATION</p>		<p>Sheet No. A8 Date: MAY 28 2010 Drawn by: J.C. BISHOP Project No. _____</p>	

DP09493613

PLAN # 4C

MAR 22 2010



105-1537 W. 15th Avenue
 Vancouver, BC V6P 4A6
 T 604.266.4677 F 604.266.4679

www.hearth.ca

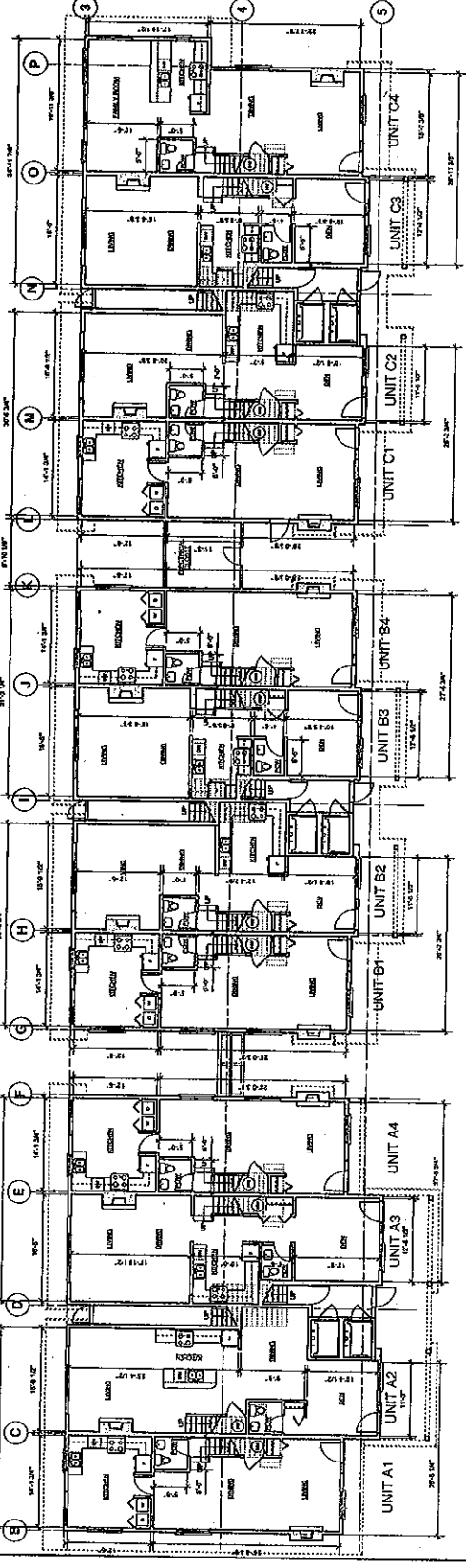
As the project architect, we have prepared these drawings in accordance with the requirements of the British Columbia Building Code and the requirements of the City of Vancouver. We warrant that these drawings were prepared by us or under our direct supervision and control, and that we are a duly licensed professional architect in the Province of British Columbia. We warrant that these drawings were prepared in accordance with the requirements of the British Columbia Building Code and the requirements of the City of Vancouver. We warrant that these drawings were prepared in accordance with the requirements of the British Columbia Building Code and the requirements of the City of Vancouver.

No.	Date	Drawn	By
1	MAY 25 2009	DAVID REYNOLDS	JM
2	JUN 15 2009	DAVID REYNOLDS	JM
3	JUN 15 2009	DAVID REYNOLDS	JM
4	JUN 15 2009	DAVID REYNOLDS	JM
5	JUN 15 2009	DAVID REYNOLDS	JM

Client: One Drexling Ltd.
 Development: 16 UNIT MULTI-FAMILY
 Site: 1600 W. 15th Avenue

Project: 1ST FLOOR DETAIL
 PROPOSED 1ST FLOOR PLAN

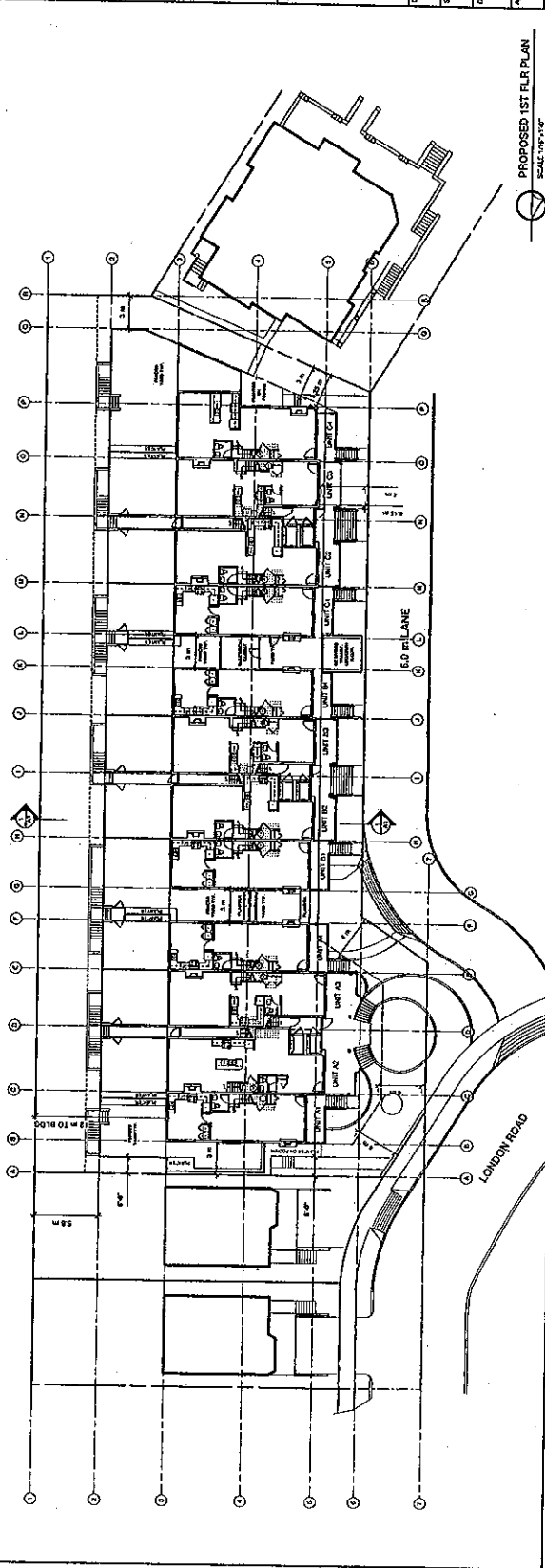
Date:	MAY 26 09	Sheet:	A3
Scale:	AS SHOWN	Checked by:	JM
Drawn by:	JM	Approved by:	



BLDG C - TYPICAL LAYOUTS
 MAIN FLOOR
 SCALE 1/8"=1'-0"

BLDG B - TYPICAL LAYOUTS
 MAIN FLOOR
 SCALE 1/8"=1'-0"

BLDG A - TYPICAL LAYOUTS
 MAIN FLOOR
 SCALE 1/8"=1'-0"



PROPOSED 1ST FLR PLAN
 SCALE 1/8"=1'-0"

DP 09 493613
 REFERENCE PLAN MAR 27 2010

HEARTH ARCHITECTURAL INC. is a registered professional architectural firm in the Province of British Columbia. We are a member of the British Columbia Association of Architects (BCAA) and the International Brotherhood of Architects and Engineers (IBAAE). We are also a member of the United Brotherhood of Carpenters and Joiners of America (UBCA). We are a member of the International Union of Painters and Allied Trades (IUPAT). We are a member of the International Union of Bricklayers and Allied Craftworkers (IUBAC). We are a member of the International Union of Marine and Shipbuilding Workers of America (IUMSWA). We are a member of the International Union of Painters and Allied Trades (IUPAT). We are a member of the International Union of Bricklayers and Allied Craftworkers (IUBAC). We are a member of the International Union of Marine and Shipbuilding Workers of America (IUMSWA).

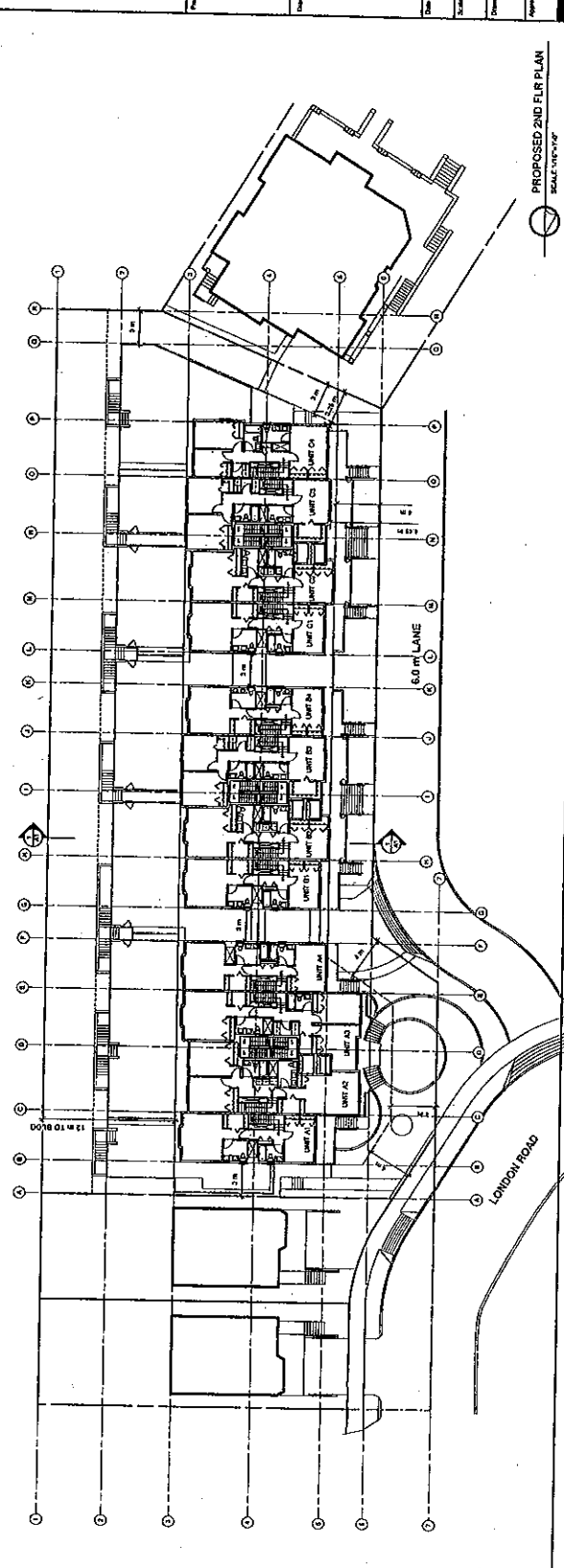
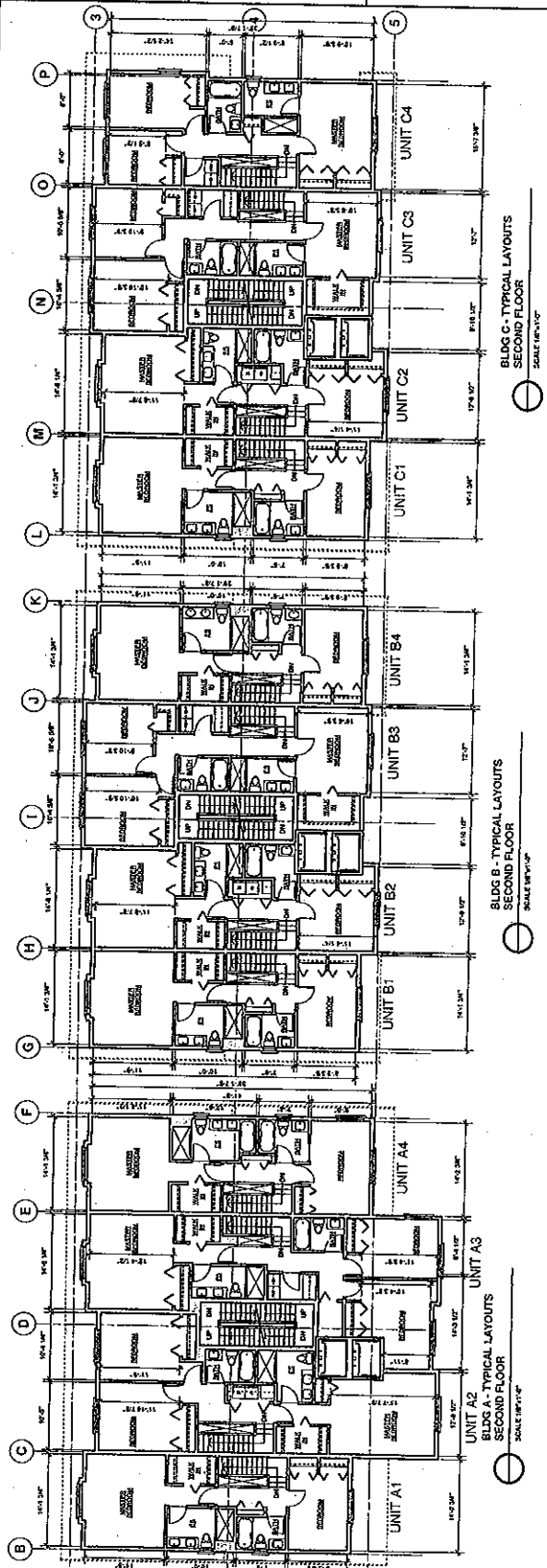
No.	Date	Revised	By
1	MAY 20 10	ISSUED FOR EXAMINATION	JM
2	MAY 20 10	ISSUED FOR PERMITS	JM
3	MAY 20 10	ISSUED FOR CONSTRUCTION	JM
4	MAY 20 10	ISSUED FOR CONSTRUCTION	JM
5	MAY 20 10	ISSUED FOR CONSTRUCTION	JM

Owner: OMS Consulting LLC
CURRENTS DEVELOPMENT
18 UNIT MULTIFAMILY
4800 PARKWAY LAKE
PARKWAY BC

Project Title: SECOND FLOOR DETAIL
PROPOSED 2ND FLOOR PLAN

Date:	MAY 20 10
Scale:	AS SHOWN
Drawn By:	JM
Approved By:	JM
Sheet No.:	0914
Project No.:	
Scale:	1/4" = 1'-0"

A4



DP 09 493613
REFERENCE PLAN MAR 22 2010



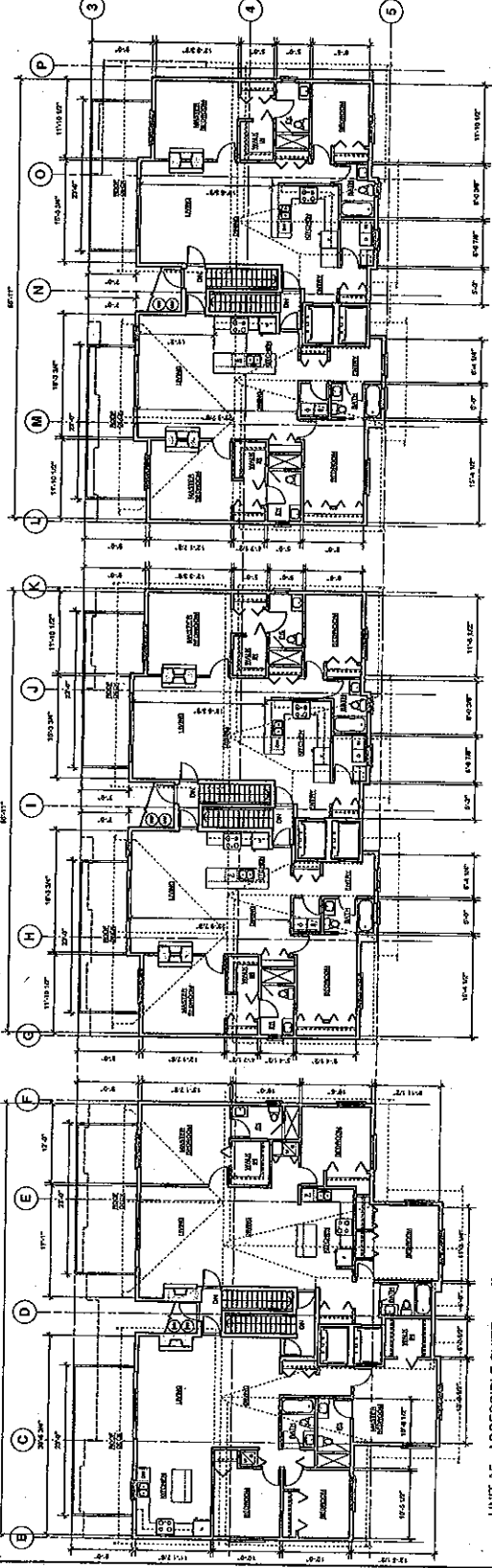
102 - 1587 W 45th Avenue
 Vancouver BC V6J 1T6
 TEL: 604-271-4077 FAX: 604-271-4079

www.hearth-arch.com

PLEASE REFER TO THE FOLLOWING NOTES:
 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 2. ALL WALLS ARE 12" THICK UNLESS OTHERWISE NOTED.
 3. ALL FLOORS ARE 4" THICK UNLESS OTHERWISE NOTED.
 4. ALL CEILING ARE 8" THICK UNLESS OTHERWISE NOTED.
 5. ALL ROOFS ARE 6" THICK UNLESS OTHERWISE NOTED.
 6. ALL STAIRS ARE 6" THICK UNLESS OTHERWISE NOTED.
 7. ALL DOORS ARE 2" THICK UNLESS OTHERWISE NOTED.
 8. ALL WINDOWS ARE 2" THICK UNLESS OTHERWISE NOTED.
 9. ALL GLASS IS 1/2" THICK UNLESS OTHERWISE NOTED.
 10. ALL METALS ARE GALVALUM UNLESS OTHERWISE NOTED.
 11. ALL FINISHES ARE TO BE DETERMINED BY THE OWNER.
 12. ALL MATERIALS ARE TO BE APPROVED BY THE ARCHITECT.
 13. ALL WORK IS TO BE IN ACCORDANCE WITH THE BC BUILDING CODE.
 14. ALL WORK IS TO BE IN ACCORDANCE WITH THE CANADIAN NATIONAL BUILDING CODE.
 15. ALL WORK IS TO BE IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE.
 16. ALL WORK IS TO BE IN ACCORDANCE WITH THE INTERNATIONAL PLUMBING CODE.
 17. ALL WORK IS TO BE IN ACCORDANCE WITH THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODE.
 18. ALL WORK IS TO BE IN ACCORDANCE WITH THE INTERNATIONAL FIRE AND SAFETY CODE.
 19. ALL WORK IS TO BE IN ACCORDANCE WITH THE INTERNATIONAL ENERGY CONSERVATION CODE.
 20. ALL WORK IS TO BE IN ACCORDANCE WITH THE INTERNATIONAL SMOKE AND ALARM CODE.
 21. ALL WORK IS TO BE IN ACCORDANCE WITH THE INTERNATIONAL ACCESSIBILITY STANDARDS AND GUIDELINES.
 22. ALL WORK IS TO BE IN ACCORDANCE WITH THE INTERNATIONAL GREEN BUILDING CONVENTIONS AND STANDARDS.
 23. ALL WORK IS TO BE IN ACCORDANCE WITH THE INTERNATIONAL SUSTAINABLE DESIGN CONVENTIONS AND STANDARDS.
 24. ALL WORK IS TO BE IN ACCORDANCE WITH THE INTERNATIONAL WELL-BEING CONVENTIONS AND STANDARDS.
 25. ALL WORK IS TO BE IN ACCORDANCE WITH THE INTERNATIONAL RESILIENCE CONVENTIONS AND STANDARDS.
 26. ALL WORK IS TO BE IN ACCORDANCE WITH THE INTERNATIONAL INCLUSIVE DESIGN CONVENTIONS AND STANDARDS.
 27. ALL WORK IS TO BE IN ACCORDANCE WITH THE INTERNATIONAL DIGITAL DIVIDEND CONVENTIONS AND STANDARDS.
 28. ALL WORK IS TO BE IN ACCORDANCE WITH THE INTERNATIONAL SMART INFRASTRUCTURE CONVENTIONS AND STANDARDS.
 29. ALL WORK IS TO BE IN ACCORDANCE WITH THE INTERNATIONAL CYBER SECURITY CONVENTIONS AND STANDARDS.
 30. ALL WORK IS TO BE IN ACCORDANCE WITH THE INTERNATIONAL DATA PRIVACY CONVENTIONS AND STANDARDS.

Project	018 Consulting Ltd. CURRENTS DEVELOPMENT
Client	18 UNIT MULTI-FAMILY
Address	601 Howe Street, Vancouver BC
Phase	THIRD FLOOR DETAIL
Scale	1/8" = 1'-0"
Date	MAR 22 2010
By	AM
Check	AM
Approved	AM

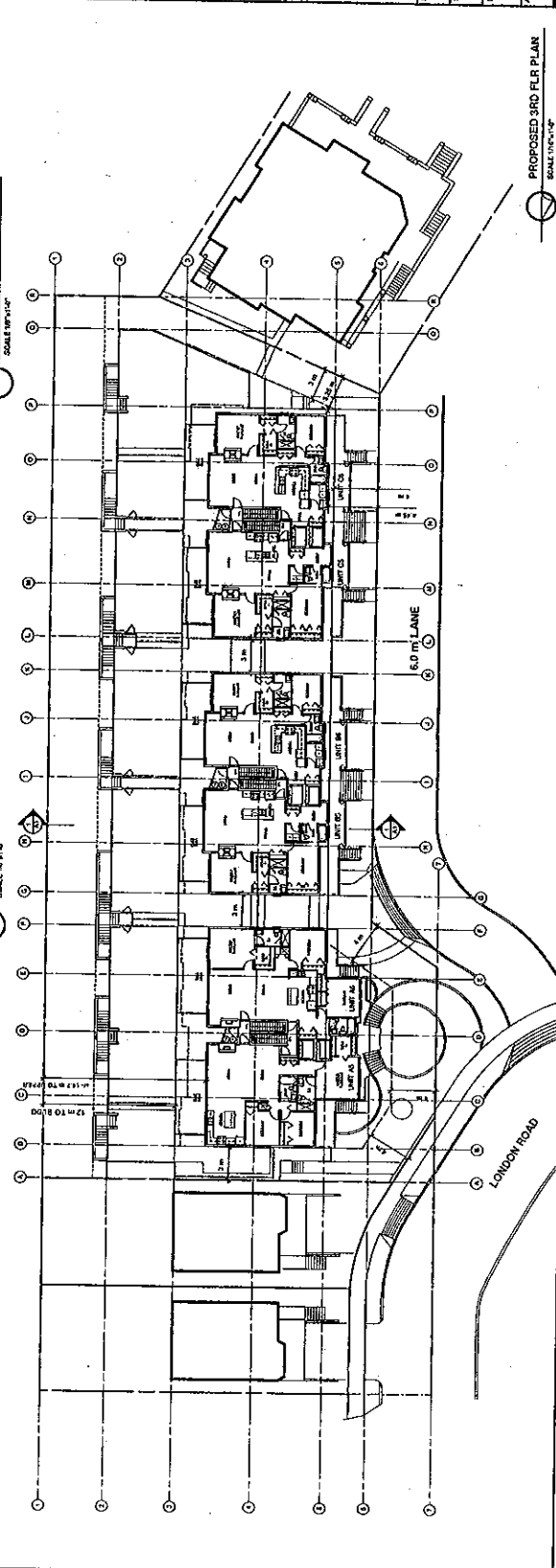
Project	018 Consulting Ltd. CURRENTS DEVELOPMENT
Client	18 UNIT MULTI-FAMILY
Address	601 Howe Street, Vancouver BC
Phase	THIRD FLOOR DETAIL
Scale	1/8" = 1'-0"
Date	MAR 22 2010
By	AM
Check	AM
Approved	AM



UNIT A5 - ACCESSIBLE SUITE
 BLDG A - TYPICAL LAYOUTS
 THIRD FLOOR
 SCALE 1/8" = 1'-0"

UNIT B6 - ACCESSIBLE SUITE
 BLDG B - TYPICAL LAYOUTS
 THIRD FLOOR
 SCALE 1/8" = 1'-0"

UNIT C6 - ACCESSIBLE SUITE
 BLDG C - TYPICAL LAYOUTS
 THIRD FLOOR
 SCALE 1/8" = 1'-0"



DP 09 493613
 REFERENCE PLAN
 MAR 22 2010