



**Regular Council meeting for Public Hearings
Monday, July 17, 2017**

Place: Council Chambers
Richmond City Hall

Present: Mayor Malcolm D. Brodie
Councillor Chak Au
Councillor Derek Dang
Councillor Carol Day
Councillor Ken Johnston
Councillor Alexa Loo
Councillor Bill McNulty
Councillor Linda McPhail
Councillor Harold Steves

Claudia Jesson, Acting Corporate Officer

Call to Order: Mayor Brodie opened the proceedings at 7:00 p.m.

1. **OFFICIAL COMMUNITY PLAN BYLAW 7100, AMENDMENT BYLAW 9628**
RICHMOND ZONING BYLAW 8500, AMENDMENT BYLAW 9629
(Location: 8320, 8340, 8360 & 8440 Bridgeport Road and 8311 & 8351 Sea Island Way;
Applicant: New Continental Properties Inc.)

Applicant's Comments:

The applicant was available to respond to queries.

Written Submissions:

52 letters of support (Schedule 1)

Submissions from the floor:

None.

PH17/7-1 It was moved and seconded
That Official Community Plan Bylaw 7100, Amendment Bylaw 9628 be given second and third readings.

CARRIED



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PH17/7-2 It was moved and seconded
*That Richmond Zoning Bylaw 8500, Amendment Bylaw 9629 be given
second and third readings.*

CARRIED

2. **OFFICIAL COMMUNITY PLAN BYLAW 7100, AMENDMENT
BYLAW 9676
RICHMOND ZONING BYLAW 8500, AMENDMENT BYLAW 9677**
(Location: 8091 Capstan Way; Applicant: GBL Architects)

Applicant's Comments:

The applicant was available to respond to queries.

Written Submissions:

None.

Submissions from the floor:

None.

PH17/7-3 It was moved and seconded
*That Official Community Plan Bylaw 7100, Amendment Bylaw 9676 be
given second and third readings.*

CARRIED

PH17/7-4 It was moved and seconded
*That Richmond Zoning Bylaw 8500, Amendment Bylaw 9677 be given
second and third readings.*

CARRIED



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3. **RICHMOND ZONING BYLAW 8500, AMENDMENT BYLAW 9682**
(Location: 7760 Garden City Road; Applicant: Incircle Projects Ltd.)

Applicant's Comments:

The applicant was available to respond to queries.

Written Submissions:

Juwon Lee, 7733 Turnill Street, (Schedule 2)

Submissions from the floor:

Iris Lee, 7733 Turnill Street, expressed concern regarding access to the proposed townhouse development from Turnill Street and queried whether a risk assessment report could be shared with the residents for access through Garden City Road.

In reply to queries from Council, Ms. Lee advised that the applicant did reach out to the residents and suggested some compromises; however she expressed concern with regard to the manner in which the applicant approached the Strata with information.

In reply to queries from Council, staff advised that commitments made by the developer will be secured to ensure traffic calming measures are carried out as agreed to by the applicant.

King Luk, representative for the applicant, advised that a meeting between the applicant and the Strata President and several other homeowners was held and discussion took place on concerns related to (i) traffic and posting speed limit signs, (ii) visitor parking signage, (iii) reduction and confusion of addresses, and (iv) inconveniences during construction.

In reply to queries from Council, the applicant noted that access from Garden City Road will become a greenway for pedestrians and bikes as requested by the City.

PH17/7-5

It was moved and seconded

That Richmond Zoning Bylaw 8500, Amendment Bylaw 9682 be given second and third readings.

CARRIED

Opposed: Cllr. Day



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4. **RICHMOND ZONING BYLAW 8500, AMENDMENT BYLAW 9724**
(Location: 7591 Williams Road; Applicant: MaximR Enterprises Ltd.)

Applicant's Comments:

The applicant was available to respond to queries.

Written Submissions:

None.

Submissions from the floor:

None.

PH17/7-6

It was moved and seconded

That Richmond Zoning Bylaw 8500, Amendment Bylaw 9724 be given second and third readings.

CARRIED

5. **RICHMOND ZONING BYLAW 8500, AMENDMENT BYLAW 9731**
(Location: 9620, 9640, 9660 and 9680 Williams Road; Applicant: Eric Law Architect Inc.)

Applicant's Comments:

The applicant was available to respond to queries.

Written Submissions:

None.

Submissions from the floor:

None.

PH17/7-7

It was moved and seconded

That Richmond Zoning Bylaw 8500, Amendment Bylaw 9731 be given second and third readings.

CARRIED



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**6. RICHMOND ZONING BYLAW 8500, AMENDMENT BYLAW 9723
(AMENDMENTS TO THE ZONING BYLAW TO UPDATE
REFERENCES TO THE NEW SIGN BYLAW 9700)**

(Location: City-wide; Applicant: City of Richmond)

Applicant's Comments:

Staff was available to respond to queries.

In reply to a query from Council, Cecilia Achiam, General Manager, Community Safety, advised that staff encourage applicants to include English on their signage as part of the sign application process.

Written Submissions:

None.

Submissions from the floor:

None.

PH17/7-8

It was moved and seconded

That Richmond Zoning Bylaw 8500, Amendment Bylaw 9723 be given second and third readings.

CARRIED

Opposed: Cllr. Day

PH17/7-9

It was moved and seconded

That Richmond Zoning Bylaw 8500, Amendment Bylaw 9723 be adopted.

CARRIED

Opposed: Cllr. Day

In accordance with Section 100 of the *Community Charter*, Councillor Derek Dang declared himself to be in a conflict of interest with respect to Item No. 7 as he has a business that deals with single-family dwelling construction and left the meeting at 7:25 p.m.



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7. RICHMOND ZONING BYLAW 8500, AMENDMENT BYLAW 9737
BUILDING MASSING OF SINGLE FAMILY DWELLINGS

(Location: City-wide; Applicant: City of Richmond)

Applicant's Comments:

With the aid of renderings (copy on file, City Clerk's Office), Wayne Craig, Director, Development, Barry Konkin, Program Coordinator, Development, and James Cooper, Manager, Plan Review, reviewed the proposed Single Family Dwelling Building Massing Regulation and spoke on the (i) minimum rear yard setback based on lot depth, (ii) rear yard and side yard setbacks for detached accessory buildings greater than 10 m², (iii) projections permitted in minimum side yard setbacks, (iv) building height, (v) landscaping requirements, (vi) tree planting, (vii) length of continuous wall, (viii) front garage projection, and (ix) entry gates.

Discussion took place on the Public Hearing notification process and the timeliness of consideration of this matter during the summer months. As a result, the following **motion** was introduced:

PH17/7-10

It was moved and seconded

That Richmond Zoning Bylaw 8500, Amendment Bylaw 9737 Building Massing of Single Family Dwellings be deferred to the September 5, 2017 Public Hearing to be held at Richmond City Hall at 7 p.m.

The question on the motion was not called as in reply to queries from Council, Corporate Officer David Weber stated that all statutory notifications were met.

The question on the motion was then called and it was **DEFEATED**.

DEFEATED

Opposed: Mayor Brodie
Cllrs. Johnston
Loo
McNulty
McPhail

Written Submissions:

- (a) 107 Petition form letters (July 11th to July 14th) (Schedule 3)
- (b) Rita Bielli (Schedule 4)
- (c) Jas Sandhu, 8091 Williams Road, (Schedule 5)



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- (d) Petition form letters from Richmond Home Builders Group (398 Signatures) (Schedule 6)
- (e) 10 signatures relating to petition from Richmond Home Builders Group (Schedule 7)
- (f) Sobia Yaseen (Schedule 8)
- (g) Anonymous correspondence (Schedule 9)
- (h) Sharon MacGougan (Schedule 10)
- (i) Steve Coventry (Schedule 11)
- (j) 55 Petition form letters (July 14th-July 17th) (Schedule 12)
- (k) Jas Sandhu (additional petition signatures on behalf of Richmond Home Builders Group) (Schedule 13)

Submissions from the floor:

Roy Sakata, 7471 Blundell Road, expressed concern in regards to the large houses being built and the negative impacts on neighbourhoods. He urged Council to make an informed decision and take into consideration the needs of the citizens of Richmond. Mr. Sakata expressed support for the recommendations set forth by City staff.

Steven Guthrie, 3480 Rosamond Avenue, spoke on the large homes in his neighbourhood blocking the sunlight in backyards. Mr. Guthrie spoke in favour of Bylaw 9737 and urged Council to take into consideration the views of the majority of citizens of Richmond and accept the recommendations set out by staff.

Rajeev Jain, 9580 Saunders Road, spoke on changes proposed by the City regarding a house he was building. Mr. Jain noted that it is challenging to preserve trees and have a larger backyard due to zoning regulations.

Clive Alladin, 3800 Bayview Street, spoke on the Net Zero Energy Program. Mr. Alladin was of the opinion that a portion of the proposed bylaw is in direct conflict with energy saving and good building practices and designs.

Robert Williamson, 8166 Mirabel Court, spoke on the public consultation process and was of the opinion that it was very well conducted. Mr. Williamson spoke in favour of the staff recommendations.

Jim Wright, 8300 Osgoode Drive, read from his submission (attached to and forming part of these minutes as Schedule 14) and spoke in favour of the proposed bylaw.



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Gary Cross, 8238 Saba Road, expressed concern in regards to affordability of housing in Richmond for young families. Mr. Cross urged Council to make more livable neighbourhoods in Richmond with more affordable homes.

Cindy Lee, 7720 Malahat Avenue, commented on the effects of massing in her neighbourhood and throughout the city, noting that shadowing from large homes reduces neighbouring homes' sunlight. Ms. Lee expressed concern in regards to the entry gate and concrete fences noting it does not foster a sense of community. Also, she spoke in favour of the tree planting requirement in the proposed bylaw.

Barinder Sanghera, 5388 Francis Road, was of the opinion that the current bylaw is sufficient. Mr. Sanghera spoke on the (i) rear yard and front yard setbacks, explaining he would like more flexibility in the front, (ii) landscaping options and would like more choice on where to place the trees, (iii) entry gate, advising that he has never had an issue with the current setback. Mr. Sanghera is opposed to the rest of the proposed bylaw and noted that he would like to have the freedom to build the house he wants. He urged Council to look at each situation separately and carefully.

John Lee, 9820 Baits Road, spoke in opposition to the proposed bylaw and requested more time to review the materials provided and postpone the Public Hearing.

Anne Piche, 11800 6th Avenue, suggested that the Steveston area be exempt from the proposed bylaw given that it generally has smaller lots and lanes in the area provide space between the lots. Ms. Piche expressed concern in regards to imposing one bylaw for all neighbourhoods. She noted that massing is not an issue in her neighbourhood, and requested that RS1/A zones be excluded from the proposed bylaw changes.

In reply to queries from Council, staff noted that there are a number of RS1/A properties outside of Steveston area and that the proposed bylaw will not result in any floor space loss relative to smaller lots.

Paul Dylla, 6526 Gibbons Road, stated that he participated in the public consultation process and was very encouraged with the open houses. Also, he was of the opinion that walls and gates are not conducive to making better communities and neighbourhoods. Mr. Dylla expressed concern in regards to unaffordable homes and not actively encouraging the building of neighbourhood communities.



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Don Flintoff, 6071 Dover Road, spoke on large homes in his neighbourhood and lack of privacy in the backyard. Mr. Flintoff advised that he is in favour of the survey conducted by staff. Mr. Flintoff expressed concerns regarding the public not having adequate time to review the materials before the Public Hearing.

Jeff Jiang, 3550 West 35th Avenue, Vancouver, representing the Chinese Construction Renovation Association of Canada, commented on the process in which zoning and building construction bylaws are introduced and/or updated and the importance of the building community being aware of such changes.

Brad Dore, 9051 Blundell Road, distributed renderings of single-family homes (copy on file, City Clerk's Office), and illustrated how different rear yard depths would be constructed with varying lot sizes. Also, Mr. Dore spoke on measures in which could increase privacy and provide better intimacy and articulation of a home via the 60/40 rear yard setback option noted in his handout.

Rod Lynde, 8171 Claysmith Road, expressed concern with the proposed bylaw restricting design styles for homes. Mr. Lynde spoke on implementing the bylaw on irregular shaped lots and the limitations that would be imposed on such lots. He also proposed several changes that he would like to see to the recommended bylaw to accommodate various lot sizes.

Jas Sandhu, 8091 Williams Road, queried the results of the online survey as presented as he believed the figures did not accurately reflect the turnout by builders and further queried how staff propose recommendations to Council following a public consultation process. Also, Mr. Sandhu spoke of his previous submission to staff regarding the proposed single-family building massing regulations.

Mukhtar Pahl, 8631 Williams Road, expressed concern with the proposed bylaw and was of the opinion the bylaw would restrict builders from creating different house styles.

Samuel Yau, 8420 Pigott Road, spoke in opposition to the setback regulation however was in favour of the suggested 60/40 split. Mr. Yau commented that he is a second generation resident and requires the extra space to accommodate his extended family and having a restricted setback limits the space on the first floor for a secondary suite, in turn placing the suite on the second floor.



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████████████████████ commented on the effects of massing in neighbourhoods and the city, noting that shadowing from large homes reduces neighbouring homes' sunlight and privacy. She expressed concern regarding the loss of green space and trees due to paving. ██████████ spoke in favour of the public consultation process and staff's recommendations.

Gursher Randhawa, 6300 Woodward Road, spoke on the design and layout of houses for the people buying them. Mr. Randhawa expressed concern with regards to restriction on the creativity for new and different layouts and many houses looking similar. He commented on the compromises made by the builders to be sympathetic towards the Richmond citizens but allowing some freedom towards design of the house, while addressing the issue of massing. Mr. Randhawa was of the opinion that massing was mostly about the upper floor and by changing the proposed bylaw to pertain to the upper floor it would afford the ground floor more flexibility to allow space for a secondary suite. He also noted that the 9.1 m maximum for an attached garage makes it very difficult to get a third car into the garage and urged Council to consider 9.8 m for extra storage space or a mud room. Mr. Randhawa requested that an allowance be made for a covered patio outside to make the backyard bigger and more livable. He concluded by noting that the builders are trying to find a compromise to determine a good solution to satisfy everyone.

Raman Kooner, 3399 Moresby Drive, distributed information on suggested changes to the proposed bylaw (attached to and forming part of these minutes as Schedule 15) and spoke on the rear yard setback and noted he preferred the sliding scale for setbacks based on lot depth. He suggested that building depth be focused on the second storey and that the wording in the proposed bylaw be adjusted to reflect this suggestion. Mr. Kooner concluded by commenting on smaller lot sizes and suggesting that certain lots be exempt from the proposed bylaw to allow for more flexibility.

Navtej Dhot, 5880 Dover Crescent, commented on the proposed setback requirements and noted that there will not be a significant building area to achieve buildable FAR on the ground floor. He was of the opinion that taking away space from the first floor will cause more massing by adding it to the second floor. Mr. Dhot spoke on the difficulties of building on corner lots and the limited possibilities of building secondary suites with smaller building spaces. He also remarked on the proposed 9.1 m attached garage space and suggested increasing the space to 9.8 m to allow for extra storage and space for a mud room. Mr. Dhot believed that the proposed bylaw required more research and more collaborative efforts.



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Lynda ter Borg, 5860 Sandpiper Court, was of the opinion that proposed Bylaw 9737 will result in different designs for houses. She spoke in favour of the proposed bylaw, remarking that it is a good compromise for everyone.

Wei Gang Li, 7431 Ludlow Place, commented on cultural norms with regard to multi-generational living, noting that many Chinese families require additional interior square footage to accommodate their families.

Ajit Thaliwal, 12355 Cameron Drive, presented information on current homes that fall under the current building bylaws that address the issue of massing. He expressed concern with regard to the proposed bylaw and stated that the changes will reduce the space on the first floor to be able to include a secondary suite. Mr. Thaliwal was of the opinion that 12 months is not sufficient time to be able to see a real change taking place and suggested staff review the matter over a 24 month period. Mr. Thaliwal suggested that all RS1/A lots should be exempt from the proposed bylaw.

Max Shi, 8500 Anderson Road, spoke in favour of proposed Bylaw 9737 as it lends itself well for additional interior square footage and permits better interior design.

Sam Sandhu, 4691 Tilden Road, was of the opinion that one solution will never address the needs of all the people and queried the potential to determine solutions on a neighbourhood basis.

David Bollo, Richmond Street, expressed concern regarding potential interior floor plans for narrow lots and queried how one may achieve an open concept. Also, Mr. Bollo queried how the proposed regulations would impact narrow lots with regard to driveway configurations and landscaping.

Kathryn McCreary, 7560 Glacier Crescent, urged Council to maintain that no attached garage project more than 9.1 m from the front wall of a single detached dwelling and expressed concern regarding reducing the rear yard setback in order to accommodate a secondary suite.

Marion Smith, 6580 Mayflower Drive, expressed appreciation for the amount of work put into the proposed bylaw amendment including the detailed online survey. Ms. Smith spoke in favour of staff's recommendations and wished to see Bylaw 9737 move forward as presented by staff.

Bob Ethier, 10471 Truro Drive, spoke in favour of an attached garage projection more than 9.8 m from the front wall of a single detached dwelling as he believed that this space was needed for storage. He commented on the need for secondary suites as a result of the cost of homes in Richmond. Mr. Ethier requested that research and advice from professionals and other experts be at the forefront when Council votes on proposed Bylaw 9737.



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Tong Tau stated that he was opposed to Bylaw 9737.

Mayor Brodie acknowledged the conclusion of the first round of public speakers. Two speakers then addressed Council for a second time with new information.

Brad Dore, 9051 Blundell Road, was of the opinion that a one-year review of the proposed regulations would not be fruitful as additional time would be needed for a sufficient number of homes to be constructed under the proposed bylaw.

Gursher Randhawa, 6300 Woodward Road, was of the opinion that a majority of people are in favour of regulations that would allow builders flexibility to build unique homes. He requested that the surveys and petitions submitted be considered and that Council be cognizant of unanticipated results due to regulation changes.

PH17/7-11

It was moved and seconded

That Section 10 of Richmond Zoning Bylaw 8500, Amendment Bylaw 9737 be amended by deleting the Section in its entirety and replacing it with the following:

“Section 8.1.6.6 is deleted in its entirety and replaced with the following:

“.6 The minimum rear yard is the greater of 6.0 m or 25% of the total lot depth, up to a maximum of 10.7 m; except:

- (a) For a lot with a lot area less than 372 m² and with a lot depth less than 28 m, the minimum rear yard is 6.0 m;***
- (b) For a lot containing a single detached dwelling of one storey only, the minimum rear yard is 6.0 m;***
- (c) For a corner lot where the exterior side yard is 6.0 m, the rear yard is reduced to 1.2 m.”***

CARRIED

PH17/7-12

It was moved and seconded

That Richmond Zoning Bylaw 8500, Amendment Bylaw 9737, as amended, be given second and third readings.



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The question on the motion was not called as the following **amendment motions** were introduced:

PH17/7-13

It was moved and seconded

That Richmond Zoning Bylaw 8500, Amendment Bylaw 9737 be further amended at Section 10 by inserting the words "required setback" after the words "up to a maximum" in the proposed Section 8.1.6.6.

CARRIED

PH17/7-14

It was moved and seconded

That the Public Hearing of July 17, 2017 proceed past 11:00 p.m.

CARRIED

PH17/7-15

It was moved and seconded

That Richmond Zoning Bylaw 8500, Amendment Bylaw 9737 be further amended to reflect the following provisions regarding rear yard setbacks:

1. The minimum rear yard setback is:

- (a) the greater of 6 m or 20% of lot depth for a maximum width of 60% of the rear wall of the first storey; and 25% of the lot depth for the remaining 40% of the rear wall of the first storey and any second storey or half storey above up to a maximum required setback of 10.7 m.*
- (b) 6 m provided that the lot:*
 - i. is less than 372 m² in area; or*
 - ii. is less than 28 m in depth; or*
 - iii. is located on an arterial road where the minimum required front yard setback is 9 m; or*
 - iv. contains a single storey home.*
- (c) 1.2 m for corner lots where the exterior side yard is 6 m.*

CARRIED

Opposed: Cllr. Day



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PH17/7-16

It was moved and seconded

That Richmond Zoning Bylaw 8500, Amendment Bylaw 9737 be further amended by revising the definition of "continuous wall" to only apply to an exterior wall above the first storey of the house.

DEFEATED

Opposed: Mayor Brodie
Cllrs. Au
Day
Johnston
McNulty
McPhail
Steves

The question on the **main motion**, to give second and third readings to Richmond Zoning Bylaw 8500, Amendment Bylaw 9737, as amended, was then called and it was **CARRIED** with Cllr. Day opposed.

Council then directed staff to bring forward for consideration amended Richmond Zoning Bylaw 8500, Amendment Bylaw 9737 for Adoption to the July 24, 2017 Regular Council meeting.

ADJOURNMENT

PH17/7-17

It was moved and seconded

That the meeting adjourn (11:21 p.m.).

CARRIED

Certified a true and correct copy of the Minutes of the Regular meeting for Public Hearings of the City of Richmond held on Monday, July 17, 2017.

Mayor (Malcolm D. Brodie)

Acting Corporate Officer
(Claudia Jesson)

Schedule 1 to the Minutes of the
Public Hearing meeting of
Richmond City Council held on
Monday, July 17, 2017.

Jesson, Claudia

From: Digby, Janet Hope
Sent: Friday, 14 July 2017 14:20
To: Jesson, Claudia
Cc: Craig, Wayne; Konkin, Barry
Subject: RZ 13-628557
Attachments: GEC- Support Letters.pdf

To Public Hearing	
Date:	JULY 17, 2017
Item #	1
Re:	BYLAW 9628 BYLAW 9629

Hi Claudia,

Per Item 1 on the July 17th Public Hearing Agenda:

- OFFICIAL COMMUNITY PLAN BYLAW 7100, AMENDMENT BYLAW 9628
RICHMOND ZONING BYLAW 8500, AMENDMENT BYLAW 9629**

Location: 8320, 8340, 8360 & 8440 Bridgeport Road and 8311 & 8351 Sea Island Way
Applicant: New Continental Properties Inc.



I have received the attached letters of support. These were forwarded to me by the applicant and include:

- 3 letters from the "international student education" industry, including on organization that will be providing services in the building;
- 29 letters with Richmond addresses;
- 8 letters with Vancouver addresses;
- 8 letters with Burnaby addresses;
- 2 letters with New Westminster addresses; and
- 2 letters with Surrey addresses.

Janet

Janet Digby, Architect AIBC
Senior Planner Urban Design, Development Applications
Planning and Development, City of Richmond

604-247-4620
jdigby@richmond.ca

July 10, 2017

City of Richmond
6911 No. 3 Road
Richmond, BC V6Y 2C1

Dear Mayor and all Councillors,

Re: New Continental International Education City – Letter of Support

Please accept this letter of support for New Continental Properties Inc. for their rezoning and building application of the New Continental International Education City.

Thompson Rivers University (TRU) is a degree granting public university with its main campus operating in Kamloops, British Columbia. TRU has established a partnership with New Continental Properties Inc. and Guangzhou QF Education Investment Ltd. to explore potential programming opportunities including, but not limited to, the QF-TRU Pathway program outlined below.

- Step 1: Students attend QF-TRU Pathway program delivered at selected high schools or colleges in China
- Step 2: Students attend TRU Associate Degree programs delivered at the New Continental International Education City located at Bridgeport Road/Sea Island Way/No. 3 Road in Richmond, BC
- Step 3: Students attend TRU Bachelor and Master Degree programs delivered at TRU main campus in Kamloops, BC

If you have any questions, please feel free to contact me directly at (250) 828-5162, or email at behadwic@tru.ca.

Sincerely,


Baihua Chadwick

Associate Vice-President International and
Chief Executive Officer TRU World Global Operations

CC: Larry Peatt, Director, Administration & CFO TRU World Global Operations
George Gong, Manager, Transnational Education Programs

Sai Kawamata
#3301 – 688 Abbott Street
Vancouver, BC V6B 0B9

July 10, 2017

City of Richmond
6911 No. 3 Road
Richmond, BC V6Y 2C1

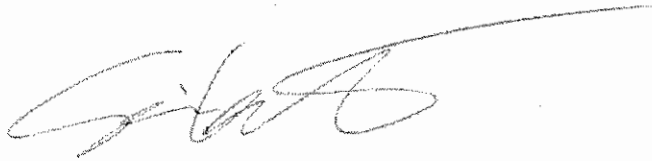
Re: Support letter for the New Continental International Education City

Dear Mayor and All Councilors,

I am delighted to hear the New Continental International Education City is being considered for approval on the rezoning and building application. As a professional employed in the field of International Education as well as a community member working in Richmond, I believe the development will add significant value to the community by adding diversity, creating employment opportunities and boosting local spending in the Richmond area. This project will not only help bring more international students to Canada as mandated by the provincial and national government, but also help address the accommodation capacity issue for students experienced throughout the Metro Vancouver area.

I am pleased to offer my support and look forward to seeing this development completed in the near future. Should you have any questions, please do not hesitate to contact me at saikawamata@gmail.com or 604-250-8535.

Sincerely,



Sai Kawamata

Support Letter

Michael Henniger
#3301 688 Abbot Street
Vancouver BC, Canada
V6B 0B9

July 3, 2017

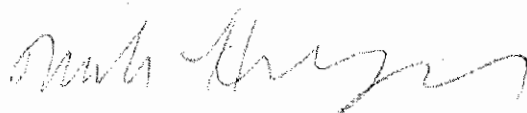
City of Richmond
6911 No. 3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I would like to add my support to the New Continental International Education City project that is being considered for rezoning. I am a long time international educator working and residing in Vancouver. BC is currently the most desired location for international students from around the world. The biggest issue we face in Metro Vancouver is capacity. There is a lack of capacity in colleges and universities and a lack of housing options. This project is a great step to providing additional capacity, which is so greatly need. I hope you will carefully consider this and approve this project in order to help continue to keep BC and the City of Richmond at the fore of international student recruitment.

I am very pleased to add my support and look forward to seeing this development completed in the near future.

Sincerely yours,



Mike Henniger
VP Sales & Marketing - ICEF
mhenniger@icef.com

Support Letter

Jiahan Yu
7288 Act 10th RD
unit 301
July , 2017

City of Richmond
6911 No. 3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely,



Support Letter

Jian Li
7691 Goldstream Dr.
Richmond BC, V7A 1S5

July 12, 2017

City of Richmond
6911 No.3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely,

A handwritten signature in black ink, appearing to be the name 'Jian Li' written in a stylized, cursive script.

Support Letter

Ran Zhang & Nan Chen
213 7131 Stride Ave,
Burnaby, BC
V3N 0E3

July 10, 2017


City of Richmond
6911 No. 3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely,

Handwritten signatures of Ran Zhang and Nan Chen in black ink.

Ran Zhang & Nan Chen

Support Letter

Gang Zhang
7547 Selkirk Street
Vancouver BC V6P 4H3

July 8, 2017

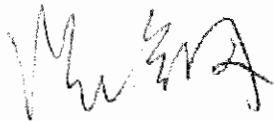
City of Richmond
6911 No. 3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely,

A handwritten signature in black ink, appearing to read 'Gang Zhang', is written below the closing text.

Support Letter

Dongbao Qiu
3914 Nithsdale Street
Burnaby BC V5G 1P6

July 8, 2017

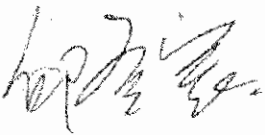
City of Richmond
6911 No. 3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely,



Support Letter

Chengxia Zhang
2-7820 Abercrombie Place
Richmond BC V6Y 3M1

July 8, 2017

City of Richmond
6911 No. 3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely,

A handwritten signature in black ink, appearing to be 'Chengxia Zhang', written in a cursive style.

Ranfai Li
9099 Cook Road
Richmond BC V6Y 0G5

July 7, 2017

City of Richmond
6911 No. 3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely,

A handwritten signature in black ink, appearing to be 'Ranfai Li', written in a cursive style.

July 7, 2017

Ray Lin
5271 Calderwood Cres
Richmond BC V7C3G2

July 7, 2017

City of Richmond
6911 No. 3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely,

Ray Lin

Yini Huang
5271 Calderwood Cres
Richmond BC V7C3G2

July 7, 2017

City of Richmond
6911 No. 3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely,

A handwritten signature in cursive script that reads "Yini Huang". The signature is written in dark ink and is positioned below the typed name "Yini Huang".

Support Letter

Sen Xin Bao
405-5700 Andrews Road
Richmond BC V7E 6N7

July 7, 2017

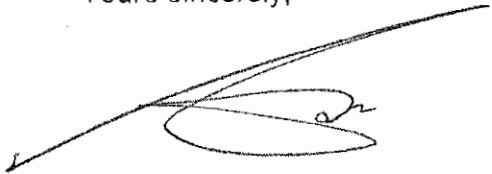
City of Richmond
6911 No. 3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely,

A handwritten signature in black ink, consisting of a long, sweeping horizontal line that curves upwards and then loops back down to the left, ending in a small flourish.

Support Letter

Pu Wei Kuo
2-7360 Minoru BLV
Richmond BC V6Y 3L3

July 7, 2017

City of Richmond
6911 No. 3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely,

A handwritten signature in black ink, appearing to be 'Pu Wei Kuo', written in a cursive style.

Support Letter

Hong Duan
3998 11th Ave W
Vancouver BC V6R 2L2

July 7, 2017

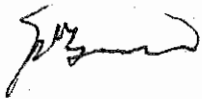
City of Richmond
6911 No. 3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely,



Support Letter

Si Zuo
5068 Kwantlen Street
Richmond BC V6X 4K4

July 7, 2017

City of Richmond
6911 No. 3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely,



2017/07/07

Support Letter

Joanna Zhou
3771 Granville Ave
Richmond BC V7C 1C8

July 12, 2017

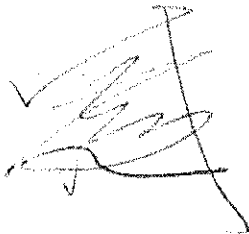
City of Richmond
6911 No. 3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely,

A handwritten signature in black ink, appearing to be 'Joanna Zhou', written over a large, faint, stylized watermark or background graphic.

Support Letter

Charles Jiang
3771 Granville Ave
Richmond BC V7C 1C8

July 12, 2017


City of Richmond
6911 No. 3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely,

A handwritten signature in black ink, appearing to be 'Charles Jiang', written in a cursive style.

Bonnie Lan
707-8180 Granville Ave, Richmond, BC, V6Y 1P3

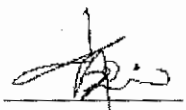
July 12, 2017

City of Richmond
6911 No. 3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

A handwritten signature in black ink, appearing to be 'Bonnie Lan', written over a horizontal line.

Yours sincerely,

Guan Liang Zhu
707-8180 Granville Ave, Richmond, BC, V6Y 1P3

July 12, 2017

City of Richmond
6911 No. 3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

A handwritten signature in black ink, appearing to be 'GLZ', written in a cursive style.

Yours sincerely,

Ranfei Li
9099 Cook Road
Richmond BC V6Y 0G5

July 8, 2017

City of Richmond
6911 No. 3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely,

Ranfei Li.

Henry Guo
308-10477 154ST Street
Surrey BC V3R 0C6

July 7, 2017

City of Richmond
6911 No. 3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely,

A handwritten signature in cursive script, appearing to read 'Henry Guo', written in black ink.

Xiao Xuan Zhu
109-8600 Jones Road
Richmond, BC V6Y 3Z3

July 7, 2017

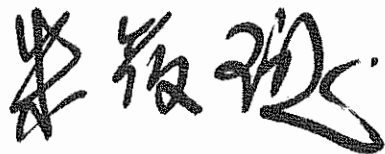
City of Richmond
6911 No. 3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely,



Zhou Yu
7555 Alderbridge Way
Richmond BC V6X 4L3

July 8, 2017

City of Richmond
6911 No. 3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely,

A handwritten signature in black ink, appearing to be 'Zhou Yu', written in a cursive style with a long horizontal stroke extending to the left.

Isaac Chen
2790 E. 27th Ave
Vancouver BC V5R 1N5

July 8, 2017

City of Richmond
6911 No. 3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely,

A handwritten signature in black ink, appearing to read "Isaac Chen". The signature is fluid and cursive, written in a dark ink on a white background.

Support Letter

Zoey Hsiao
623-8080 Cambie Rd, Richmond, BC V6X 0C1

July 10 , 2017

City of Richmond
6911 No. 3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely,

A handwritten signature in black ink, appearing to read 'Zoey', with a long, sweeping underline that extends to the right.

July 9, 2017

City of Richmond
6911 No. 3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely,

Jing Feng

冯静

9171 Ferndale Road,
Richmond BC V6Y 1X4

July 9, 2017

City of Richmond
6911 No. 3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely,

Jiang Xu Ru



9171 Ferndale Road
Richmond, BC, V6Y 0A5

July 10, 2017

City of Richmond
6911 No. 3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely,

Wong Huom

WHR

6620 Riverdale Dr.

RMD . BC . UTC 2G1

July 10, 2017

City of Richmond
6911 No. 3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely,

Xiao Li Xu



425 - 9311 Alexandra Road

Rmsh. BC. V6X 0L8

July 9, 2017

City of Richmond
6911 No. 3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely,

Tong Li

佟莉

7325 Macpherson Ave
Burnaby, V5J 0B2

July 9, 2017

City of Richmond
6911 No. 3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely,

Jim Xu



501 - 608 Belmont St.

New Westminster. V3M 0G8

July 10, 2017

City of Richmond
6911 No. 3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely,

Zhou Fanwei

周芙蓉

7399 Lindsay Road

Richmond, V7C 3M7

July 10, 2017

City of Richmond
6911 No. 3 Road
Richmond BC V6Y 2C1

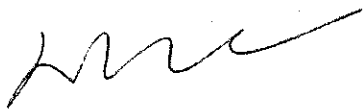
Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely,

Horang Yu



408-4200 Mayberry St.

Burnaby V5H 4A1

July 10, 2017

City of Richmond
6911 No. 3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely,

Wang Shuangjiang

WS

6620 Riverdale Dr.

RMD. BC. V7C 2G1

July 10, 2017


City of Richmond
6911 No. 3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely,

Yan dengzhi

6620 Riverdale Dr.
Richmond, BC V7C 2G1

Support Letter

Supporter's name
Supporter's address

YiLin Wang
4340 River Rd, Richmond BC, V7C1A2

July 8, 2017

City of Richmond
6911 No. 3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely,



Support Letter

Supporter's name
Supporter's address

Lydia
4340 River Rd. Richmond BC, V7C1A2

July 7, 2017

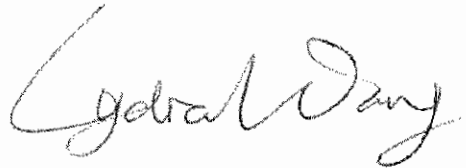
City of Richmond
6911 No. 3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely,



Support Letter

Supporter's name
Supporter's address

Alice Ferreira
6340 Bouchard Ct Richmond
V7C 5H4

July 8, 2017

City of Richmond
6911 No. 3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely,



Support Letter

Supporter's name Adriano Ferreira
Supporter's address 6340 Bouchard Ct. Richmond, V7C 5H4

July 7, 2017

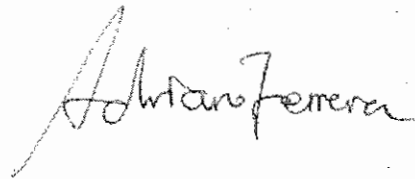
City of Richmond
6911 No. 3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely,



Support Letter

Supporter's Name: Peter Min
Supporter's Address: 1609-13618 100 Ave, Surrey, BC V3T 0A8, Canada

July 11, 2017

City of Richmond
6911 No. 3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely,

Peter Min



Support Letter

Supporter's Name: Queeny Li
Supporter's Address: 18-5887 Irmin St Burnaby BC V3Z 7E1 Canada

July 11, 2017

City of Richmond
6911 No. 3 Road
Richmond BC V6Y 2G1

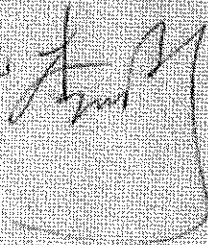
Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely,

Queeny Li

A handwritten signature in black ink, appearing to read 'Queeny Li', written over a faint, large, stylized outline of a signature.

Support Letter

Supporter's name: Feng Yang
Supporter's address: 617-4538 Kingsway, Burraby BC, V5H 4T9

July 13, 2017

City of Richmond
6911 No.3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely,



yangfeng163@aliyun.com

July 13, 2017

Support Letter

Supporter's name:
Supporter's address:

Naomi Wang
9188 Briar Road, Burnaby V3N 4X1

July 13, 2017

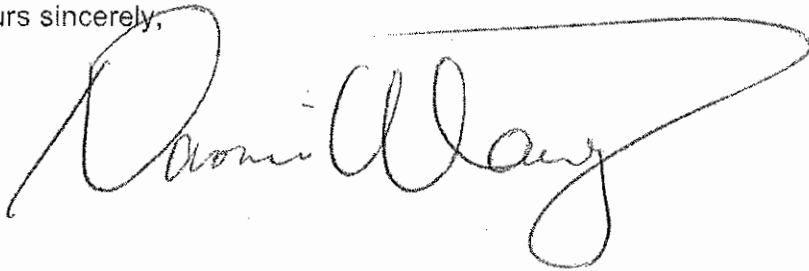
City of Richmond
6911 No.3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely,



naomiw1688@gmail.com

July 13, 2017

Support Letter

Supporter's name LIN, WENBIN
Supporter's address 1072 W 29th AVE, VANCOUVER, B.C.
July 13, 2017 V6H 2E3

City of Richmond
6911 No. 3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely,



WENBIN19710826@YAHOO.CA

2017.7.13

Support Letter

Supporter's name: *Jiankui Wei*
Supporter's address: *865 84th Ave. W. Vancouver BC, V6P 2L6*

July 13, 2017

City of Richmond
6911 No.3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely,



jiankuiw@yahoo.com

July 13, 2017

Support Letter

Supporter's name: *Hang Yang*
Supporter's address: *619-4538 KingSway, Burnaby, BC, V5H 4T9*

July 13, 2017

City of Richmond
6911 No.3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely, *Hang @ cacindustrials.com*



2017-7-13

Support Letter

Supporter's name: QIAOJUN CHEN
Supporter's address: 305-4479 W 10th Ave., Vancouver
July 11, 2017 V6R 2H 8

City of Richmond
6911 No.3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely, Xdm0577@gmail.com

陈乃俊

Support Letter

Supporter's name: XIAOGEN FENG
Supporter's address: 1082 Nanton Ave., Vancouver V6H 2C2

July 11, 2017

City of Richmond
6911 No.3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely,

Email: 1191562565@qq.com

Xiaogen Feng

Support Letter

Supporter's name: JADE YU
Supporter's address: 7-7535 ALDERBRIDGE WAY, RICHMOND, B.C.
July 12, 2017 V6X 4L2

City of Richmond
6911 No.3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely,



ZHENGYOUVA@GMAIL.COM

July 12, 2017

Support Letter

Supporter's name: Huan Xie

Supporter's address: 4130 OSLER ST VANCOUVER, B.C. V6H 2Y1

July 13, 2017

City of Richmond
6911 No.3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely,



hidd3056@sina.com

13/7 2017

Support Letter

Supporter's name: *Cecilia Horn*

Supporter's address: *# 804 - #12 12th St. New Westminster,
V3M 6R2*

July 13, 2017

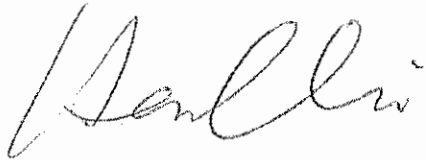
City of Richmond
6911 No.3 Road
Richmond BC V6Y 2C1

Dear Mayor and All Councilors,

I am delighted to hear New Continental International Education City is being considered for approval on the rezoning and building application.

I am very pleased to add my support and look forward to seeing this development completed in near future.

Yours sincerely,



ceciliahorn6699@gmail.com

July 13, 2017.

Schedule 2 to the Minutes of the
Public Hearing meeting of
Richmond City Council held on
Monday, July 17, 2017.

Mayor and Councillors

From: Webgraphics
Sent: Thursday, 13 July 2017 23:01
To: Mayor and Councillors
Subject: Send a Submission Online (response #1149)

Follow Up Flag: Follow up
Flag Status: Flagged

To Public Hearing
Date: JULY 17, 2017
Item # 3
Re: BYLAW 9682

Send a Submission Online (response #1149)

Survey Information

Site:	City Website
Page Title:	Send a Submission Online
URL:	http://cms.richmond.ca/Page1793.aspx
Submission Time/Date:	7/13/2017 10:59:51 PM

Survey Response

Your Name	JUWON LEE
Your Address	#21-7733 turnill st, richmond, bc, v6y4h9
Subject Property Address OR Bylaw Number	21-7733 TURNILL ST RZ 15-701939
Comments	I reject to the proposals, due to the following issues. by creating vehicles access from our complex, this will create increased traffic which will create potential hazard for kids playing outside. Moreover, there will be liability issue because since they are cutting through our property(which is technically trespassing to get to their property) to get to their property, what happens if they cause property damage? This will also create security issues, since the proposal will create another entry point for perpetrators to gain entry.



**107 Petition letters received from the following
individuals with identical content - sample attached**
Received between Tuesday, July 11th and Friday, July 14th (2pm)

Number	Name	Address	City
1	Adrian Botez		
2	Kenneth Ng	133 - 1335 Bear Mountain Parkway	Victoria
3	John Coulthard	4460 Lancelot Drive	Richmond
4	Paul Sih	6740 Juniper Drive	Richmond
5	Jeevan Sandhu	4691 Tilton Road	Richmond
6	Raj Dholliwar	3080 Springfield Drive	Richmond
7	Khalid Hasan	8980 Heather Street	Richmond
8	Naveed Shaikh	4580 Pendlebury Road	Richmond
9	Lawrence Koh		
10	Balraj Aulakh		
11	Rocky Mangat		
12	Jayson Sandhu	1892 Upland Drive	Vancouver
13	Chuhan Sun	10508 Gilmore Cr	Richmond
14	Deep Sharma		
15	Ekaterina Lu	9500 Odlin Road	Richmond
16	Bhupinder Dhiman	9360 Sidaway Road	Richmond
17	Amit Dhingra	1008 Seacote Road	Richmond
18	Lawrence Pham		
19	Caleb Roelants	2-19295 - 72nd Avenue	Surrey
20	Gordon Sommerfeld	12800 Gilbert Road	Richmond
21	Shirley Yeung	9800 Kilby Drive	Richmond
22	Hasan Qazi	9280 Glendower Drive	Richmond
23	Hina Ikhalq		Surrey
24	Anwer Kamal	11260 Blundell Road	Richmond
25	Balijot Mangat		
26	Mohammed Khataw	9040 Francis Road	Richmond
27	Karim Dossa	8691 Fairfax Cres	Richmond
28	Amrit Berar	9571 No. 6 Road	Richmond
29	Balroop Attwal	6317, 134A Street	Surrey
30	Chanpreet Mangat	Seaway Road	Richmond
31	Nissim Samuel	8651 Cadogan Rd	Richmond
32	Clive Alladin	202 - 3800 Bayview Street	Richmond
33	Onkar Nijjar		
34	Fei Yi Xiang	6040 Thetis Place	Richmond
35	Adam Wachtel	Regent	Richmond
36	Manny Janda	8551 Leslie Road	Richmond
37	Amrik Leihl	11460 Seahurst Road	Richmond

Schedule 3 to the Minutes of the
Public Hearing meeting of
Richmond City Council held on
Monday, July 17, 2017.

**107 Petition letters received from the following
individuals with identical content - sample attached**
Received between Tuesday, July 11th and Friday, July 14th (2pm)

38	Kulwant Johal	Nevis Dr	Richmond
39	Robbie Sharda	11531 Pintail Drive	Richmond
40	Dharmjit Sandhu	10471 No. 5 Road	Richmond
41	Yang Wang		
42	Muhammad Qazi	9280 Glendower Drive	Richmond
43	Parmvir Lehal	8688 Foster Rd	Richmond
44	Joey Tsao	6400 Madrona Crescent	Richmond
45	Hollie Whitehead	202 - 3800 Bayview Street	Richmond
46	Shaun Samuel	8511 Westminster Hwy	Richmond
47	Samuel Yau Yau	8420 Pigott Rd	Richmond
48	Sukhpreet Lehal	8688 Foster Rd	Richmond
49	Nicholas K. Poon	2200 Shell Road	Richmond
50	Sanjeev Kondola	7680 Railway Avenue	Richmond
51	Justin Sunner		
52	Gurvinder Pahl	#4 Road	Richmond
53	Wei Ju Chen	6400 Madrona Crescent	Richmond
54	Manu Nijjar		
55	Winnie Chen	7431 Lombard Road	Richmond
56	Paul Mandair	Southridge Road	Richmond
57	Paul Kandola	Oldfield	Richmond
58	Bhupinder (Bob) Sall	6455 Blundell Rd	Richmond
59	Aman Dhaliwal	11871 Pintail Drive	Richmond
60	Ulysses Torres	6-6800 Lynas Lane	Richmond
61	Chanpreet Mangat	Seaway Road	Richmond
62	Michael Dha	11651 Montego Street	Richmond
63	Samrj Virk		
64	Dana Westermark	12235 No. 1 Road	Richmond
65	Hao Victor		
66	Subhas Dhingra	10080 Seacote Road	Richmond
67	Dave Mander	4871 Shell Road	Richmond
68	Deep Mann		
69	Amirprit Virk	7100 Barbell Place	Burnaby
70	Ravina Biring	6749 Oak Street	Vancouver
71	Santokh Biring	6749 Oak Street	Vancouver
72	Hardeep Biring	6749 Oak Street	Vancouver
73	Dil Cheema	8651 No. 5 Road	Richmond
74	Aarun Sandhu	5635 Forsyth Crescent	Richmond
75	Sajid Hassan	6411 Blundell Road	Richmond
76	Kulvir Dosanjh	9051 Ash Street	Richmond
77	Qadri Hasan	6419 Blundell Road	Richmond

**107 Petition letters received from the following
individuals with identical content - sample attached**
Received between Tuesday, July 11th and Friday, July 14th (2pm)

78	Camille Sanghera	12339 Steveston Hwy	Richmond
79	Tasneem Hassan	6411 Blundell Road	Richmond
80	Dalvir Dosanjh	11851 Aztec Street	Richmond
81	Savin Sandhu	4691 Tilton Road	Richmond
82	Ajaib Mann	5851 Francis Road	Richmond
83	Nurjahan Shaikh	4580 Pendlebury Road	Richmond
84	Abeda Shaikh	4580 Pendlebury Road	Richmond
85	Jasbir Biring	10151 Shell Road	Richmond
86	Najer Lehal	8688 Foster Rd	Richmond
87	Randy Kandola	5713 River Road	Delta
88	Edmund Xu		
89	Puneet Sandhu		
90	Jeff Sands		Richmond
91	Gary Kwan	10551 Caithcart Road	Richmond
92	Harjeet Mann		
93	Zeeshan Hasan	6419 Blundell Road	Richmond
94	Charanjit Singh Gill	5402 Wellburn Drive	Delta
95	Russ Barstow	11651 Plover Drive	Richmond
96	Asif Siddiqui	7100 No. 2 Road	Richmond
97	Herman Chahal	6191 No. 7 Road	Richmond
98	Nirmal Sandhu	4331 Blundell Road	Richmond
99	Maninder Mann	13670 - 62nd Avenue	Surrey
100	Ken Jue	1263 Nanaimo Street	Vancouver
101	Jonathan Alangaramoney	18992 - 70B Avenue	Surrey
102	Andeep Nahal	11200 Westminster Hwy	Richmond
103	Manveer Dhesi	8320 Saunders Road	Richmond
104	Harinder Johal	6211 Dylan Place	Richmond
105	Gurdev Nahal	5680 No. 1 Road	Richmond
106	Jet Nahal	5680 No. 1 Road	Richmond
107	Dave Nahal	5680 No. 1 Road	Richmond

TO: MAYOR & EACH
COUNCILLOR
FROM: CITY CLERK'S OFFICE

MayorandCouncillors

From: Adrian Botez <Adrian@open-Windows.ca>
Sent: Tuesday, 11 July 2017 07:46
To: MayorandCouncillors; web@myrichmond.ca
Subject: PETITION: Richmond Massing Amendments to Bylaw 8500

Dear Mayor and Council,

We, the people and the building community representatives of the City of Richmond, petition the elected Council and Mayor to incorporate in whole or in part the recommendations as submitted on June 20th, 2017 by the Richmond Home Builders Group (RHBG) with respect to the new Richmond Building Massing Bylaw.

RHBG has put forth a very generous compromise in correlation to the city staff's recommendations. We reluctantly accept a majority of the proposed changes; however, we feel the items 1-3 as listed below will have an unwelcomed negative effect on the design, construction and the value of a new home.

* See diagram on page 5 for changes that will come into effect on July 17th, 2017 if we don't act. Please attend this Public Meeting (7pm) at the city hall and show your support.

- 1). Change Rear Yard Setback to 60/40 meaning 6m (20ft) for the ground floor and 7.5m for the upper floor instead of the city recommendation of 25% (Example: 120ft lot = 30ft setback).
- 2). Maximum Depth of House. This should stay as Status Quo instead of the city proposal of 55% of lot depth and then the requirement of a continuous wall articulation. This inward jog of 8ft plus the 4ft side setback at the rear of the house will result in wasted yard space and loss of function and design.
- 3). Garage Projection. Change the projection from the city recommendation of 9.1m to 9.8m. The additional 2.2 feet will allow a side door access to the house and provide a safe clearance for a vehicle from the main front entrance.
- 4). Where applicable, reduce front yard setback from 20ft. to 15ft. With the addition of the city boulevard, 15ft setback and the L-shaped garage, there is plenty of space left over to not impose on the neighbours.
- 5). If above options are not acceptable then commission the City Planning Department to implement a Neighbourhood by Neighbourhood zoning bylaw. For example, Steveston Village has its own unique character and should not be subjected to same bylaws. If nothing else, RHBG proposes that the current amendments be scrapped altogether and a new planning session undertaken, one that involves representatives from the building community, neighbourhoods and the City from the beginning.

I appoint Richmond Home Builders Group as my voice and immediately demand that the elected City Councils and the Mayor of Richmond incorporate the changes as put forth by the RHBG representatives.

For more information, visit <http://www.myrichmond.ca> or email info@myrichmond.ca

--
Adrian Botez
Adrian@open-Windows.ca

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& DISTRIBUTED



Schedule 4 to the Minutes of the
Public Hearing meeting of
Richmond City Council held on
Monday, July 17, 2017.

MayorandCouncillors

From: Rita <ritabielli@hotmail.com>
Sent: Friday, 14 July 2017 13:28
To: MayorandCouncillors
Cc: lara bielli; colebielli@hotmail.com
Subject: Monday night meeting

To Public Hearing
Date: JULY 17, 2017
Item # 7
Re: BYLAW 9737

My name is Rita bielli, my daughter and son in law, lara bielli & chad ellison, my son and daughter in law, Cole bielli & ashley bielli are opposed to the changes that the city of Richmond are trying to implement in regard to the rear yard setbacks and side yard setbacks in the village of steveston. The village of steveston has 33 ft lots and they were implemented to allow more families to live here. Now the city of Richmond will make it difficult, if they change the setbacks, for builders, because the homes will have to be smaller sq footage on the main floor. I guess a way to say it, is the homes will be top heavy. Structurally more difficult to build. Now if the builders choose not to subdivide and build on these approx. 20 double lots, they will just build one big house on the 66 ft lots. If the changes implemented are not implemented, likely you would get 40 homes instead of 20. Isn't that what the city is trying to do, make more affordable homes in the city of Richmond. I am disappointed that I can not be at the meeting on Monday. My family have 3 homes in the village of steveston. We are going on a family vacation July 15 to the 23rd of July. My concern also is that so many people are away at this time of year. Why not october? I have a bad taste that this is a purposeful time of year to push this through, and many families are not able to be here for this important meeting and possible changes. Please pass this letter to whomever can read this at the Monday night meeting that we are unable to attend. Thanking you in advance. Rita bielli, Jim bielli, lara bielli, chad ellison, Cole bielli, ashley bielli.

Sent from my iPaded



Schedule 5 to the Minutes of the
Public Hearing meeting of
Richmond City Council held on
Monday, July 17, 2017.

To Public Hearing
Date: JULY 17 2017
Item # 7
Re: BYLAW 9737

Mayor and Councillors

From: Jas Sandhu <jas@freeworldhomes.com>
Sent: Saturday, 15 July 2017 21:28
To: Mayor and Councillors
Cc: Arielle Batist; Raman; Gursheer Randhawa; brad.dore@icloud.com; navtej dhot; samksandhu@shaw.ca; Robert Ethier; info@khalidhasan.com; Clive Alladin; ravbains@remax.net; parmdhinjal@shaw.ca; soheilbiniaz@gmail.com; hollie@balandra.ca; Anne Piche; City Concept; Ajit Thaliwal
Subject: Question about Democratic Process
Attachments: Massing Regulations - Comments and Concerns.pdf
Follow Up Flag: Follow up
Flag Status: Flagged



Dear Mayor and Councilors,

I spoke at the Council Meeting on June 26th, 2017 in regards to the Lets Talk Richmond online survey as conducted by Mr. Barry Konkin and his staff. I had expressed concerns about the integrity of the survey, along with a question as to why my own 18 page opposition letter to the proposed changes was not included in the report to council, whereas letters from residents were. A lot of thought and effort went into assembling the report, expressing my opinion and solutions to problems outlined.

At the builders meeting held on Feb. 8th, 2017, I had personally handed the letter in question to Mr. Konkin which was witnessed by at least 20 other builders, he also indicated that it would be passed on to the mayor and council.

Unfortunately, having reviewed the 3234 pages of the report to council on the results of the Open Houses and Online survey, I could not find any mention of my letter. A democratic process needs to be clear and precise, as such, I would like to request the council ask Mr. Konkin as to why the detailed letter was not included for submission for your perusal.

Thank you for your time and understanding.

Jas Sandhu

February 8th, 2017

Barry Konkin
Program Coordinator/Development Applications
City of Richmond
6911 No. 3rd Road
Richmond, BC, V6Y 2C1

RE: SINGLE FAMILY BUILDING MASSING ANALYSIS AND FEEDBACK

Dear City Council Members,

My name is Jas Sandhu and I have been a Richmond resident since 1992. I am speaking from the perspective of a concerned citizen and anyone else hoping to build a home in Richmond without getting overly bogged down with restrictions and regulations as proposed in the new Zoning By-Law amendments. I have always kept my thoughts to myself and it was not until that I read the proposed changes that I felt compelled enough to speak up.

I would like to start by asking the following question. What size of a television set do you currently own? I am quite certain nobody is going to answer a 12" black & white CRT. This was the first set that my family could afford more than 40 years ago. We all can agree that majority of the televisions today are much larger and fancier. With minimal restrictions, TV manufacturers are able to develop technology that pushes the imagination and design. Bigger, better, thinner, sharper and with more features is what most of people want today.

In many ways, a large part of the new regulations debate for residential housing is similar to the TV sizes. I have read many of the petition letters around building size from the concerned neighbours, with many offering valid points. However, there is a large percentage that would like to see only ranchers, split-level, and Vancouver Special style of houses built which would be akin to asking everyone to buy a 12" B&W television again. Unfortunately, we cannot go back into the past, instead must progress forward. Imagine placing a new 55" flat screen next to a 12" CRT TV, which one would you buy? The same is occurring in our city with our homes, an old house is demolished and a larger, modern home of 3000 plus square footage with many features now sits next to an old timer bungalow of 1500 sqft. If you had a choice, which one would you like to live in? I know which one I would take and I am certain almost everyone will too.

Large homes are not necessarily the problem; however, they should have curb appeal, be of good quality and be proportional to the lot size. While there are many valid reasons for changing building regulations to address real loss of sunlight, parking, privacy, safety and so forth, however, I have to disagree with many of the proposed changes as put forth by the development department.

My concerns are detailed below.

Thank you for your time and considerations.

Sincerely,

Jas Sandhu

THIS REPORT REFERENCES ITEMS MENTIONED IN THE NOV. 16TH, 2016 MEETING RTC AND THE PIM BOARDS DOCUMENT AS PUBLISHED ON THE LETSTALK.CA WEBSITE & OPEN MEETINGS.

MAXIMUM DEPTH OF HOUSE: Page #2

City staff is indicating that where a new house is built and has long, uninterrupted wall face adjacent to the side yards between properties, there is a potential lack of sunlight and potential overlook of rear yard privacy.

I have seen many of older homes separated by large, tall hedges. The growth and placement of the hedges and tall trees would also constitute a loss of sunlight, which is not much different than a continuous wall. As well, the loss of sunlight only affects certain houses depending how they are positioned on the lot East/West vs North/South, as the Sun moves across the sky (or rather how the Earth rotates).

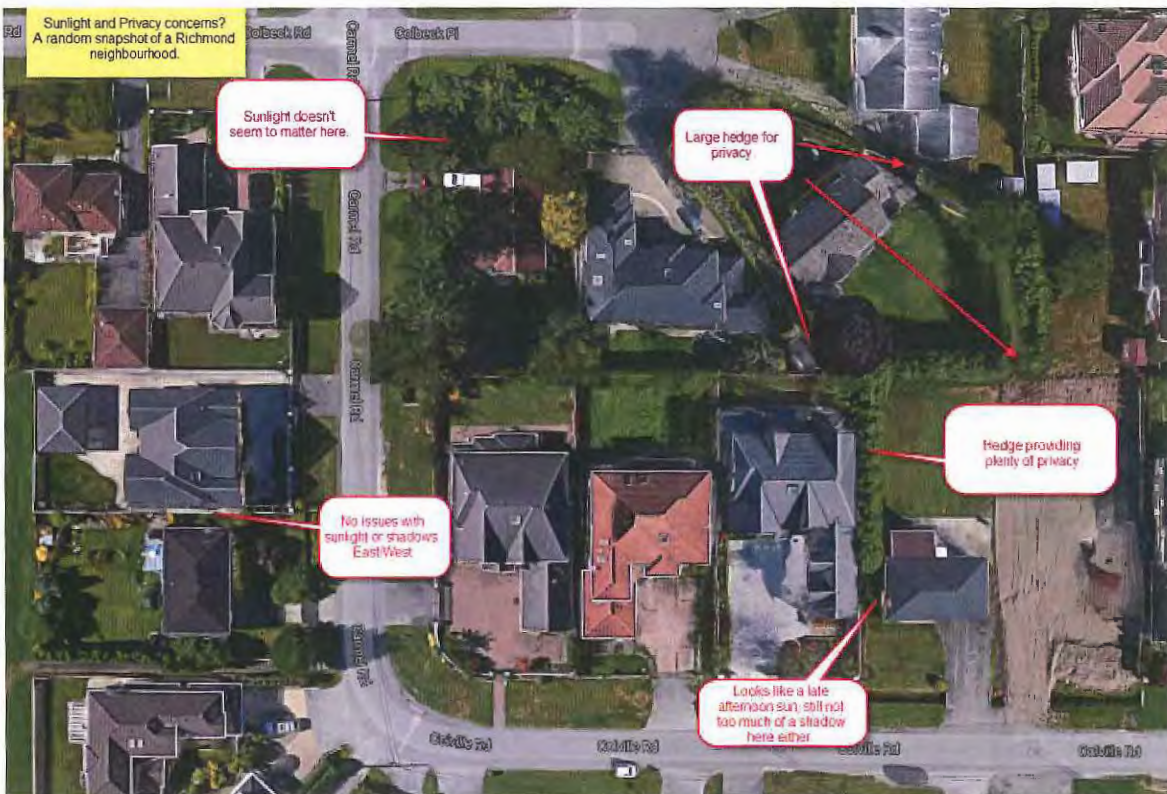


Figure 1: Sunlight & Privacy not evident in this Google image of a Richmond neighbourhood

As for rear yard privacy concerns, in my opinion probably a good 98% of new homes have sleeping quarters on the second floor. Generally, the master bedroom would be the only one with a potential deck, current trends in homes design appears to favor less deck in the back and more on the front garage. I don't know which owner would want to sit out on the deck or look through their bedroom window(s) and stare into the neighbour's yard. The bedrooms are really just for sleeping. **Is this really a concern about privacy and loss of sunlight?**

There is a reference to suggest that other cities such as Vancouver and Burnaby have a regulation in place to change the meaning of **Continuous Wall** = **which does not include an inward articulation of 2.4m or more**. Unfortunately, the staff do not point out that lots in these municipalities are on average about half the typical Richmond width, have lanes and detached garages. I am not sure why this very important piece of information is omitted by the city staff.



Figure 2: Why you cannot compare Richmond to Vancouver. Where is the green space?

Having done some basic design work and reviewed several new home plans as a hobby, I can tell you that this awkward city regulation calling for inward articulation will result in strange looking floor plans. Current design makes it possible to have your family room, main kitchen and a spice kitchen across the back of your house in a straight line. By creating this extra jog (Inward Articulation of 2.4m) for the sake of creating perceived space for sunlight and/or privacy seems not well thought-out, as not much is gained. As well, any potential to accommodate a secondary suite in the new home is greatly reduced, which goes against any government initiative to increase affordable housing in

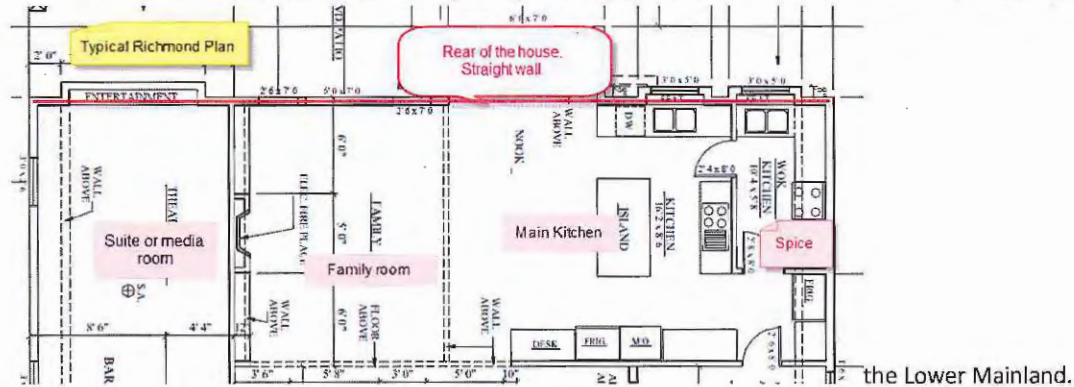


Figure 3: Typical Richmond House plan for rear of house

In my view this is the greatest waste of space and one that will negatively affect the ability to design floor plans that are efficient and well laid out. It is easier to design houses that are rectangular in shape than when working with jogs and other forced articulations in the name of privacy.

A simple solution is to compel, with regulation, all builders to plant hedges or trees such as Aspens that are narrow and tall (i.e. 12ft. min. height) at the rear yard as shown in the diagram below. This would minimize any privacy concerns, as well as, make the city greener. All homes are already built with a 6ft. cedar fence that provides full privacy at ground level. The tall hedges/trees will do the same at the second floor level along with providing a cushioning effect on noise and even smell in some cases. I cannot help but wonder if the complaints are really about the smell as the spice kitchen is always vented to the side. Oddly enough the inward articulation proposed is the exact amount of space occupied by the Spice Kitchen.

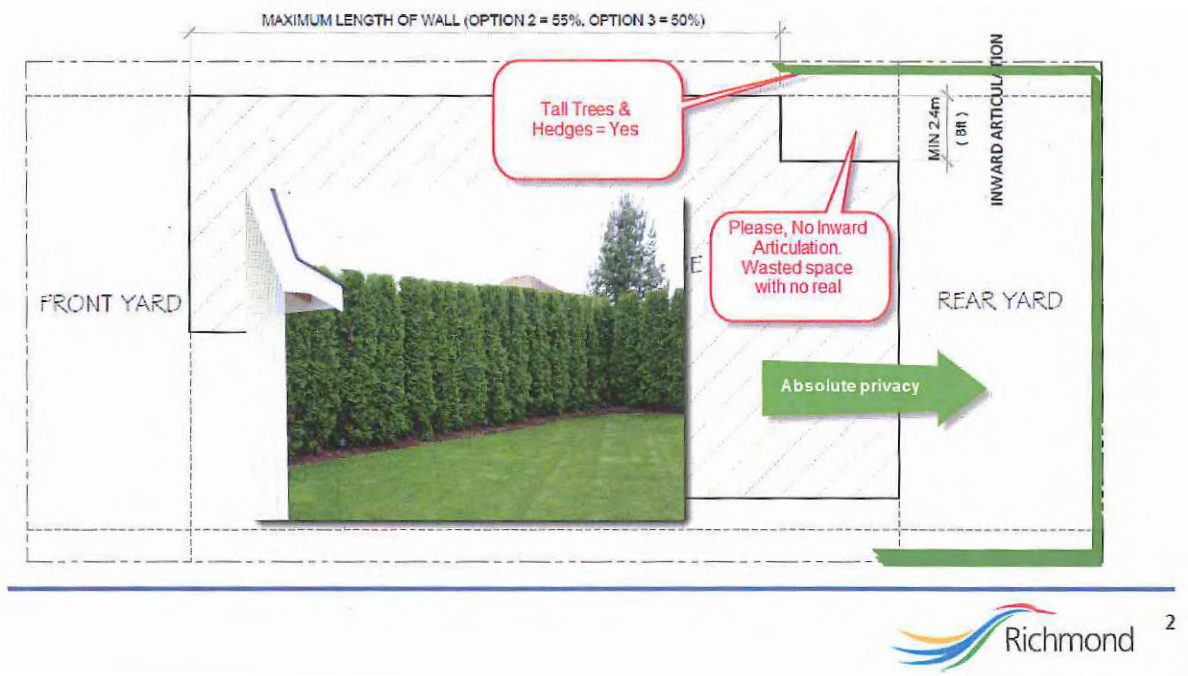


Figure 4: Recommendations to resolve Privacy issues



Figure 5: Real life example of using trees for privacy

Conclusion: I suggest to the council that status quo be kept in terms of the Maximum Depth of House but with a requirement for taller hedges and/or trees and no inward articulation is necessary. The rear of the house being straight is very critical for an efficient floor plan and does not require a hammer to fix, just a simple solution that is easy for the builder, easy for the plan reviewer and good for the neighbor as they get to look at nature while enjoying their privacy. The Inward Articulation has a negative effect on the rest of the floor plan. I would much rather pay several thousand dollars for a tall hedge than have my house design be butchered to achieve some arbitrary by-law requirements.

FYI: I attended the Open House held at the Steveston Community Center on January 24th. While speaking to a city staff member, Ernie Nishi, and offering the solution of tall hedges to reduce privacy loss. Mr. Nishi wholeheartedly agreed that this was a great solution as it is what he currently has in his backyard. He mentioned that I should forward this feedback to the city.

REAR YARD SETBACK: Page 3

“During the 2015 consultation and subsequent meeting... **several residents** mentioned negative impacts on rear yard interface between new construction and older homes”. I am amazed that just because *several* residents expressed their views on a particular point such as the loss of privacy in their backyard and which the city defines as *perceived*, the city staff wants to jump in head first and propose new bylaw changes without first considering all of the ramifications. If I can convince 10, 20 or even 1000 people to petition the city about our property taxes being too high, or permit fees being unreasonable and would like them to be reduced, I don't believe it will illicit this type of a response.

The rear yard setback as proposed sounds overly confusing and unnecessary. Not only will this introduce more delays within the planning department, plan designers will need to pullout a reference chart each time they design a house to see corresponding length of the yard and what setback to apply. As already mentioned with respect to Maximum Depth of House, majority of the new homes only have bedrooms on the second floor, thus number of residents actually looking into the neighbor's backyard are going to be next to none. So this can't really be a privacy issue. Who is to say that someone in an older home, standing in the second floor rear bedroom, is not also looking into the yard of the new home? From that height it is certainly possible. It is hard to fix *perceived* loss of privacy and the city staff should focus on actual complaints and make recommendations accordingly. Again, planting of taller, slender trees and hedges will address any privacy concerns.



Figure 6: Old Richmond homes with upper story windows. Why are these neighbours not complaining about privacy?

Also, many people are looking at reducing the amount of yard with grass these days. I, for example, don't enjoy pulling out the old lawn mower like I used to as I get older. My son doesn't have the time as he is too busy, plus he is somewhat allergic to the grass. I am not saying we need to get rid of the landscaping, in fact, there should be more. Question is what are people going to do with all the extra space in the backyard with the proposed increase? Another question arises, what about setback for multi-story construction such as town houses? Leave this as an option, if a builder wants to leave more in the rear setback then maybe compensate them in another area of the plan. We need for the city to keep the building requirements straightforward and simple so that anyone can understand them regardless of their background. Less regulation and more efficiency should be every government's goal. Overly complex regulations will result in less compliance as they are too difficult to understand and result in confusion.

There are several more important negative factors that the city has not considered or mentioned with respect to the Zoning Bylaw 8500 & 9280 implementation. In particular, the vertical envelope and now the rear yard setback proposal.

1. The **latest BC Building Code addendum** is heavily focused on seismic strengthening. I am in no way an expert and have only done some limited reading. However, I spoke with one local engineer and asked what provides better seismic strength?
 - a. **Floor walls that are stacked on top of each other** (i.e. second exterior wall on top of the first floor exterior wall).
 - b. **Vs.**
 - c. Second floor exterior walls that are offset by 4ft or so inward when compared to the main floor, as is the case with the current City's Vertical Envelope requirement. **Whereby, the second floor walls do not align at all with the first floor.**
 - d. His response was, where you take the weight of the second floor and distribute evenly across the load bearing walls directly below it, results in the best seismic capable design.
 - e. http://www.google.ca/url?sa=t&rct=j&q=&esrc=s&source=web&cd=1&cad=ria&uact=8&sqi=2&ved=0ahUKewi74-ijpOTRAhVC4GMKHeAXCaQQFggbMAA&url=http%3A%2F%2Fwww.bccodes.ca%2Fillustrated-Guide-For-Seismic-Design-of-Houses.pdf&usq=AFOiCNF1pG_ZOkY4X70yNDxscStvaHly_A&bvm=bv.145822982,d.cGc
 - f. See Figure 7 & 8, from BCBC 2012 guide on the following pages.
2. With the current regulation you cannot align any of the side walls and now the city staff is proposing to move rear, second floor exterior wall inward too by 5ft in the name of privacy. That means you might be lucky to have one side of the house (front) where the two floor walls are vertically aligned. You don't need to be a rocket scientist to figure out the negative effect this will have on the overall strength of the house. Honestly, I am quite surprised, as it is so obvious, that given our geographic location and the constant warnings of the Westcoast being due for a big earthquake, that **the city of Richmond is introducing regulations to build homes that are potentially compromising their seismic ability to reduce risk.** Whereas, we should be designing homes that are strong and in accordance to latest BCBC code to meet any natural forces that might get inflicted upon this region one day. Unfortunately, the current focus is placed upon perceived loss of privacy and sunlight - driven by a limited number of resident complaints.
3. The other negative effect is a financial one, there is a much greater cost in lumber and other materials used to build according to the original Zoning By-Law 8500 and the now the addendums.
4. Lastly, where floors cannot align exterior walls, the new regulations are creating more low roofs designs, particularly when they are over living quarters, which inevitably increases the risk of water penetration. Home Protection Office was born because of water penetration issues that plagued the Lower Mainland in the past.
5. Option #2 references a 1 - Storey House, when was the last time a single storey house was built in Richmond?
6. Below are a couple excerpts from the BCBC 2012 Seismic guidelines.

Main Requirements

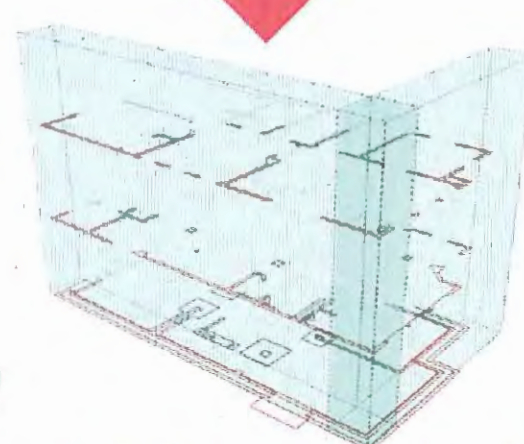
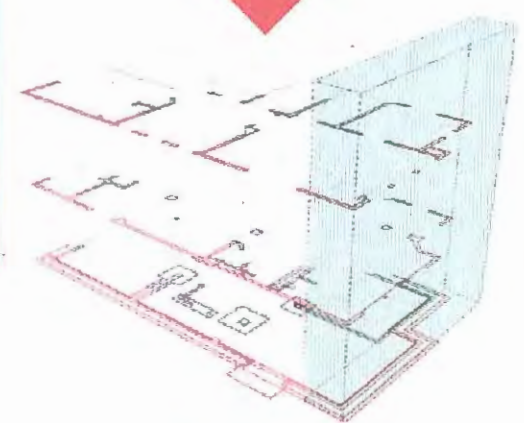
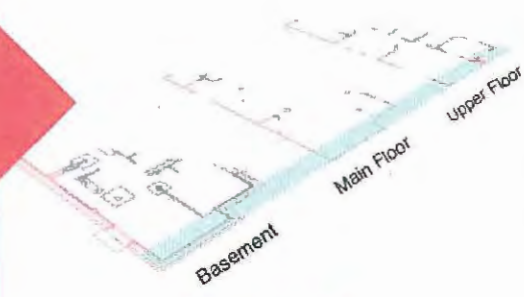
The Braced Wall Band

The braced wall band is an imaginary continuous straight band extending vertically and horizontally through a building (or part of a building) in which braced wall panels are constructed.

The first figure (top right) shows the three floor plans aligned on a drawing and the up to 1.2 m wide braced wall band shown enclosing all of the walls of the front elevation of the house.

The second figure (middle right) shows the band applied to the floor plans as they would stack in construction. Note that the walls on the front elevation are located within the 1.2 m wide band.

The third figure (bottom right) shows the band applied to the second elevation. Bands need to be identified on the remaining elevations and any required interior regions.



Step 1

Braced Wall Band

The braced wall band is an imaginary continuous straight band extending vertically and horizontally through a building (or part of a building) in which braced wall panels are constructed. The first step is to ensure that each perimeter wall and certain interior walls align within an imaginary braced wall band, which extends from the foundation to the roof. These walls must be located within the up to 1.2 m wide braced wall band from the foundation to the roof.¹

Braced wall bands must be located around the perimeter of the building, and additional braced wall bands may be required at interior wall locations.

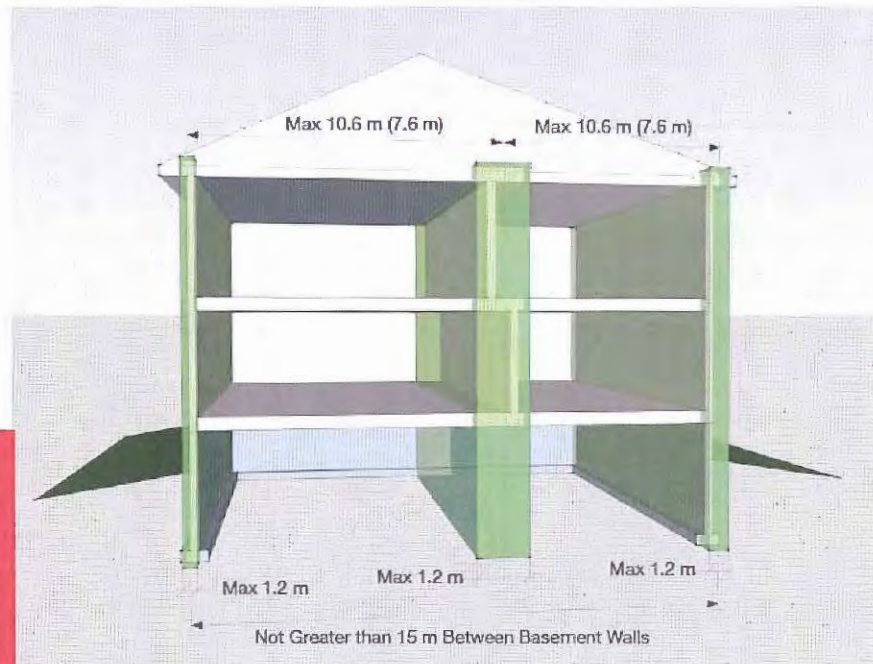
¹ 9.23.13.4.(1)(a), (b) and (e), 9.23.13.4.(2) (999 Appendix)

Figure 7: BC Building Code 2012 - Seismic Requirements. Note exterior walls are vertically aligned.

Braced Wall Bands

Example Building Sections

Braced wall bands can be up to 1.2 m wide. They must be full storey height and be aligned with braced wall bands on the storeys above and below. The maximum space between bands depends on whether they are in the basement or crawl space (where it can be up to 15 m)ⁱ or above (where it can be 10.6 m or 7.6 m depending on the specific $S_a(0.2)$).ⁱⁱⁱ Exceptions and trade offs are examined in Sections 2 and 3 of this guide.

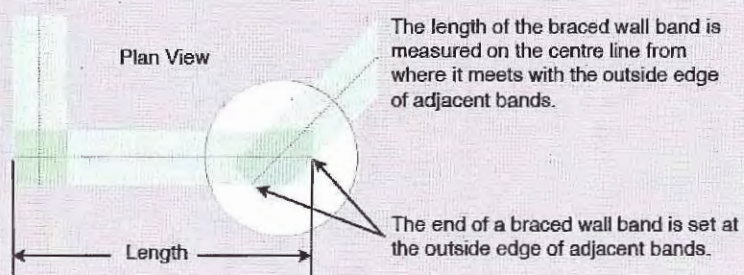


Braced Wall Band

The braced wall band must lap with adjacent braced wall bands at both ends. The centre line of each braced wall band extends to the outer edge of the connected braced wall bands.



Designer Note



ⁱ 9.23.13.5.(2)(a), (b) and (c); ⁱⁱⁱ Table 9.23.13.5, (see Appendix)

Figure 8: BC Building Code 2012 - Seismic Requirements. Note vertically aligned exterior walls.

It is also stated that city would exempt lots less than 28m deep. From my limited knowledge but someone who spends a lot of time on the Richmond's GIS website, I would venture to say that majority (95% is my guess) of the lots in Richmond are greater than 28m. Thus, this bylaw would apply to virtually every single property. The typical Richmond lot is 116 – 120ft. in depth, this would mean on average (9m) 30ft. rear setback as proposed. **With the loss of over 500sft from the main floor, will the city allow a third floor in the building to compensate?**

Conclusion: The current rear setback of 6m, more than adequately addresses any loss of privacy or sunlight claims, however, **to address perceived privacy losses**, it is recommended that all builders must plant trees and hedges of height deemed suitable by the city.

However, I would like to propose that the city changes the current building envelope, one that allows exterior walls to be stacked on top of each other for maximum seismic strength. This could be accomplished by increasing the side yard setback from 4ft to say 5ft. or some alternate solution such as removing the envelope all together. The city needs to rethink the building envelope and should consult with residents, builders, designers, etc. **I don't think it would be in the best interest of the city to knowingly contribute to a building design that goes against what the BC Building Code is recommending, particularly when it comes to seismic preparation and design.**

REAR YARD AND SIDE YARD SETBACKS FOR DETACHED ACCESSORY BUILDING GREATER THAN 10M2: Page 8

Overall I don't have an issue with the proposed options; however, if residents are complaining about privacy, the placement of an accessory building nearer to the fence will provide even greater privacy. See sample below.



Figure 9: Garden shed provides extra privacy

As for the Side Yard Projection, Option #2 with a reduced maximum of 1ft. instead of 2ft. would allow more space between houses. As well, still allow movement of people and machinery around the home. Another important consideration should be how easily can firefighters maneuver their equipment in and around a home in an emergency.

Conclusion: As noted above.

BUILDING MASSING IMPROVEMENTS SINCE ADOPTION OF VERTICAL ENVELOPE: Page 10

I am sorry to say but the new regulations have done nothing but stifle innovation and design. While the diagram below shows the old vs the new, I would immediately pick the homes on the left (the old regulation). The designs feature elegant and stunning sight lines on all elevations and most particularly the roof. The only thing I can see is the height could be a tad lower. On the other hand, **the new designs look as if Godzilla sat on the roof and turned it into a pancake.** In order to comply with the Zoning By-Law 8500, designers are having to switch to hip or “flatter” roof. As I drive around Richmond I can see that most of the new construction has taken on the same personality. What will the Richmond look like in 2, 5, 10 years? I apologize in advance if one of these is your home.

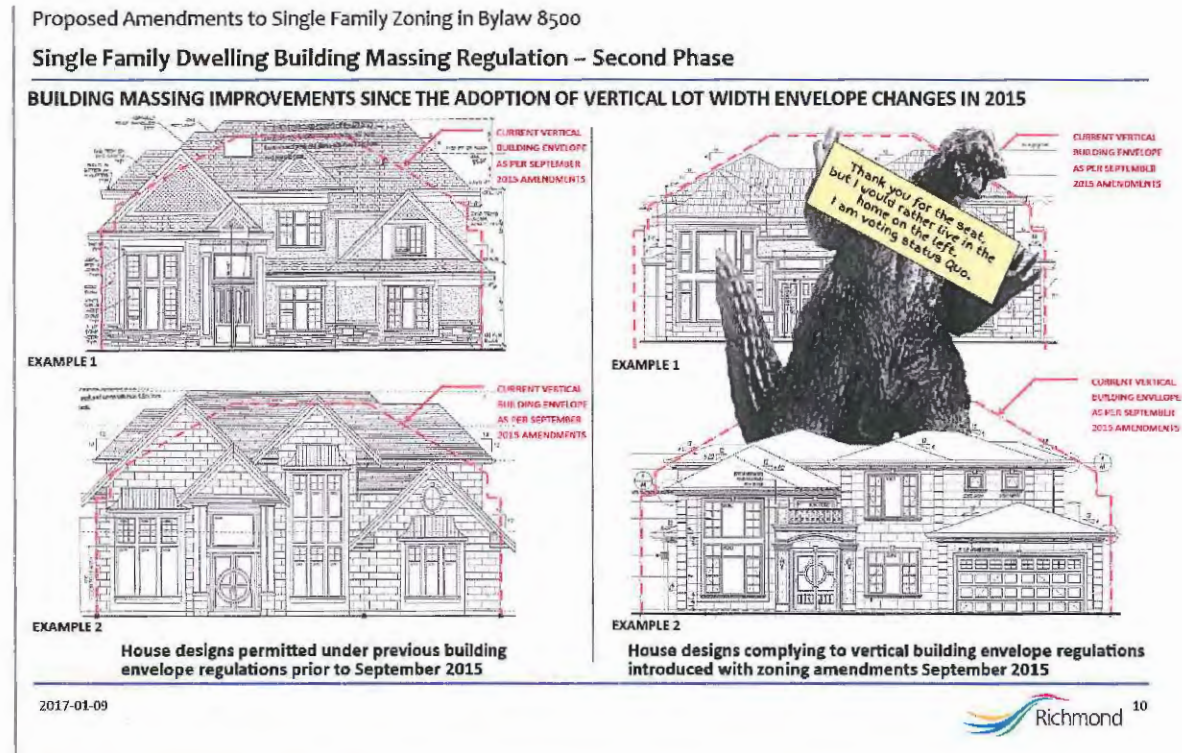


Figure 10: Even Godzilla is voting for Status Quo. My sincerest apologies if the image has offended anyone.

A few samples of the resultant home designs since the implementation of the Zoning By-Law 8500.



Figure 11: Current design due to current regulations



Figure 12: Unnecessary forcing of upper floor for privacy & sunlight

LOCATION OF SECOND STOREY DECKS FACING REAR & SIDE YARDS: Page #11

This proposed regulation **bothers me dearly** as I have a vision for my dream home and it involves a deck in the backyard. I should be able to have a deck that overlooks a green space such as a school yard, golf course or ocean view. I wonder what would happen throughout the world if all seaside homes or any with a rear view, were forced to hide their decks to one side of the house. Sorry, one size does not fit all. Quite frankly, one would want to **not have** the deck over living quarters to minimize any chance of water penetration. Most decks today are usually built over a garage or an open porch. Also, this design introduces additional unnecessary nooks and crannies in the exterior walls.

I can recall that when my neighbours used to have a barbeque or a gathering they would most often take place on the deck. We would often share stories while standing on our decks; it was a great way to communicate and get to know the neighbours.

Another question, would the side facing portion not be looking directly at the neighbours house or window? Again, most upper floors are used for sleeping, as well; older homes have large open decks in the back anyway.

TUS QUO):

You would still be able to look into your side neighbours house, which is even closer the rear one.

deck located on the family dwelling must additional 1.5 m (5 ft) rear yard setback,

1.5 m (5 ft) setback setback is also

to be wider than 50% width against.

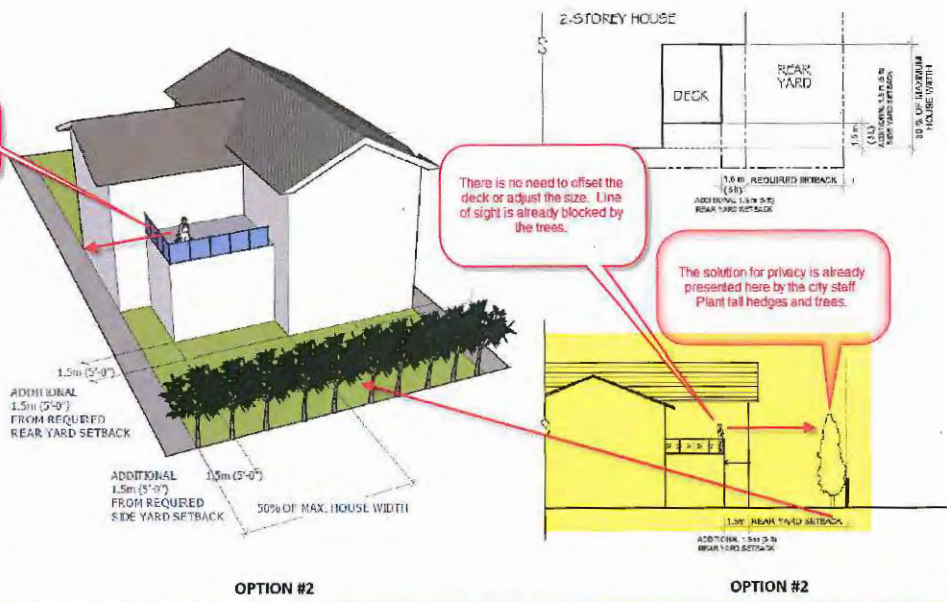


Figure 13: Hard proof that new deck regulation does not solve the issue of privacy, only tall trees do.

Conclusion: Everything points to **a simple solution that even the city staff is aware off and is used in the presentation and informational meetings - see above diagram.** Privacy concerns are perceived and not factual, yet, the solution, if one is required, is to enforce new construction to **implement the planting of taller trees and hedges in the rear yard as shown in the city's own presentation in Figure 13 as highlighted.**

Interestingly, the staff shows low lying trees in one diagram to convey good viewing angle from the deck and then different species which are much taller when trying to convey privacy.

Logical solution = Status quo

SITE COVERAGE AND LANDSCAPING: Page #12

The current site coverage of 70% adequately covers sufficient amount of landscaping. This already exceeds what other municipalities require. A Google satellite 3D map already shows that the city of Richmond is a green city.

Option #1 – Status Quo.

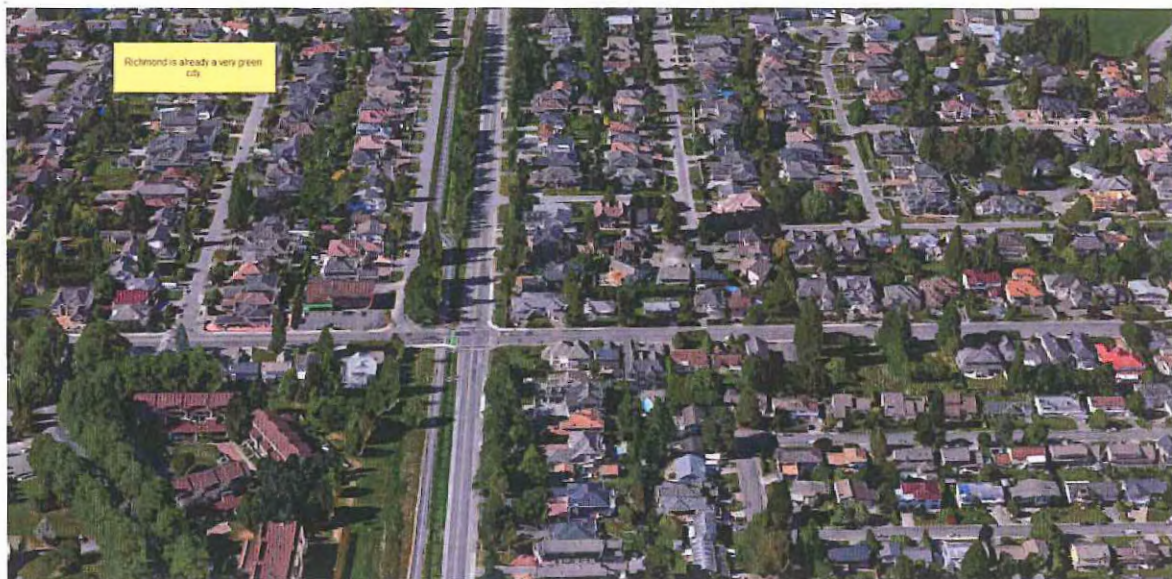


Figure 14: Richmond, a very green city

TREE PLANTING FOR NEW SINGLE BUILDING PERMIT WITH LESS THAN TWO EXISTING TREES: Page #14

As mentioned previously, all new construction should have to plant enough, high trees and hedge to completely close off the rear yard for maximum privacy.

MINIMUM FRONT YARD LANDSCAPING REQUIREMENT: Page #15

This has already been met with the recommendations as listed above.

Option #1 – Status Quo

ENTRY GATES: Page #16

This recommendation clearly exhibits the fact that not much thought was given in proposing such an unworkable and dangerous requirement.

1. As per the city staff diagram, the sliding gate cannot open against the garage wall.
2. How would you get to the sidewalk in front of the garage when the gate is in the fully open position?
3. What if there is a child or a pet standing at the edge of the garage wall when the sliding gate is opened.
 - a. There is a potential for a person/pet to be crushed/pinned against the wall by the gate as it slides open.
4. There is not enough turning radius available for most regular vehicles to turn or back out safely and easily. One would have to reverse all the way to the road.
5. What if one desires to install a **double swing gate**, how would that open inward and not hit any vehicles parked outside in front of the main entrance.
6. The concern raised by the city is that traffic is being held up by people waiting for the gate to open before turning into their driveway.
 - a. All new gates are fully programmable, the opening speed and distance are easily setup. On average most gates require about 10 seconds to open/close. This duration can be mandated when obtaining Occupancy Permit.
 - b. The wait time is no different that if a person is trying to turn into their driveway and there happens to be a pedestrian or an animal crossing. The wait time will be the same and the traffic behind you would still have to wait until you can proceed safely.
 - c. Same can be said when you are leaving the driveway, if you have moved ahead to look at condition of the passing traffic, any pedestrians and bicyclist are required to stop, while you are waiting to make your turn.
 - d. Having to now fence the additional 20ft inward and the portion to support the gate slider will alone result in about \$3000 - \$4000 additional cost. A stone fence across a typical 60 feet wide lot can cost around \$10,000 to build depending on the material used.
 - e. The new fenced area will look closed, cramped and will result in loss of that portion of the owner's front yard. The gate must stay at the front along the current fence and not be brought inward.
 - f. The only place that it would any sense would be on the main, busy roads where the yard has greater depth; otherwise, this is a no-brainer.
 - g. Please keep as Status Quo.
 - h. **Please see diagrams below.**

GARAGE PROJECTIONS: Page #17

Just like the Entry Gate proposal, this one doesn't work either.

1. For one, did anyone not consider that the front main porch is going to have a protrusion and possibly two posts or columns? This would make the garage space next to the house completely unusable.
2. If you ever drive around on the weekend on a sunny day you will see many people that leave their garage doors open. The first thing you noticed is the amount of things people collect and have stored in the garage. There will often be several shelves all filled to the top with barely any room to park a car.
3. A three car garage is essential today. Typically, one car will park on the shorter side and the wide door bay will be half used by the second family car. The rest is used for storage or in some cases another car.

4. Several bicycles, sporting equipment bags, hockey nets, gardening equipment, shoe racks, etc. all require literally half of your garage nearest to house interior wall.
5. The number and size of the garage doors should be decided by the owner and not dictated by the city development staff.
6. The only thing I would like to see done differently is the overall height of the garage roof should never be allowed to be same as the house. There should be cap on the height such as 5m. In certain lot sizes, living areas above the garage should be disallowed.
7. Recommendation = Status Quo, however, the height of the metal gate should not exceed height of 5 ft.
8. **Please see below.**

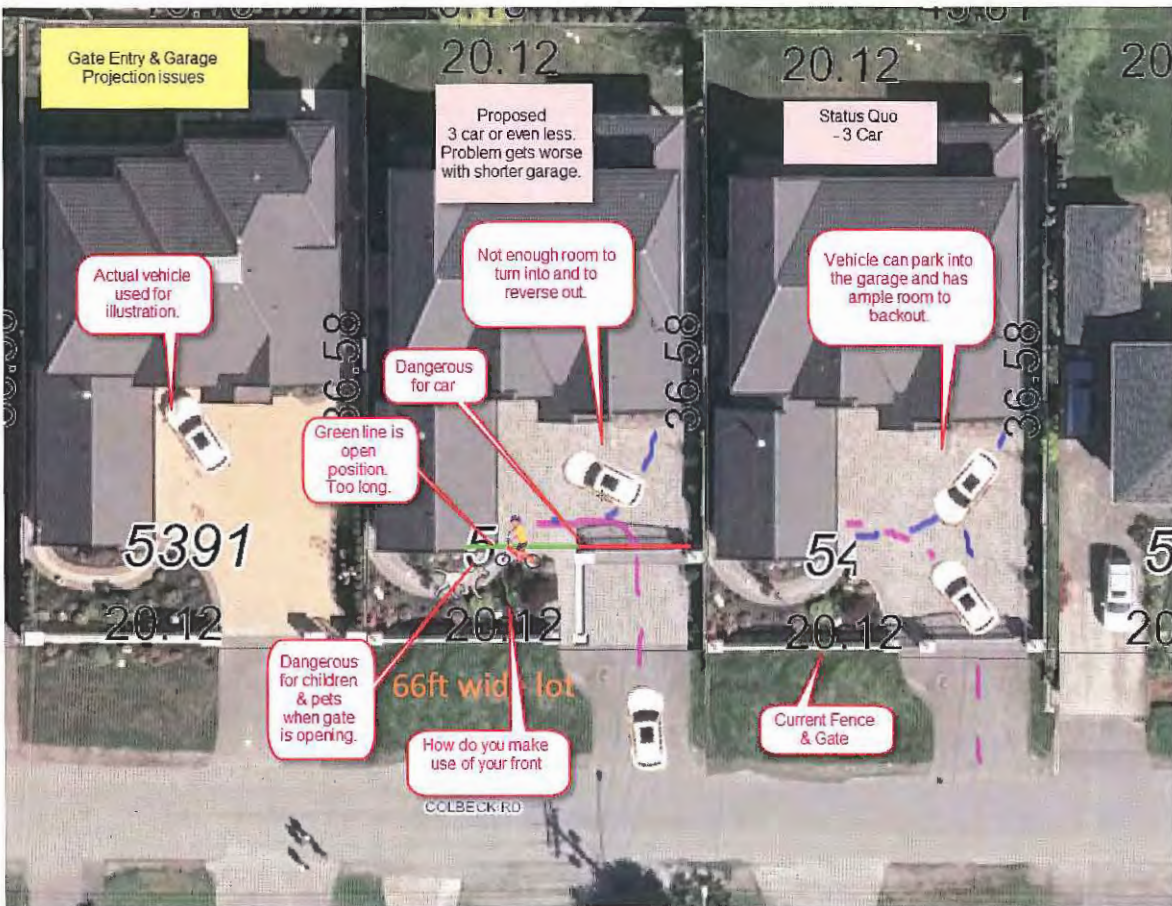


Figure 15: Current and Proposed Gate Entry & Garage Projections, why proposed solution does not work

THE FORGOTTEN ECONOMIC BENEFIT

One very important impact the city does not mention is the loss of the Economic Benefit to the municipal and provincial government, as well, to the people. Just like the food chain, where everything is linked, the economics of new construction follows are very similar path.

For example, a builder or a homeowner who decides to invest money to build a new home in Richmond will affect the people and economy in many different ways.

ECONOMIC BENEFITS OF NEW CONSTRUCTION			
	ITEM	BENEFICIARY	AMOUNT
	Resident or builder invests money into construction		\$2,000,000 (Example only)
	Amount of Property Transfer Tax	Province of BC	\$38,000
	Real-Estate Transaction	Realtors	\$54,501
	GST	Federal Government	\$2725
	Property Tax	City of Richmond	\$4500 (old) - \$10,000 (new home) / year
	Longtime Richmond resident sells home	Seller	\$1,942,775 (Can now retire or re-invest)
	Legal Fees	Notary/Lawyer	\$800 - \$1200
	Financial charges	Loans/Interest/Mortgage	\$\$\$ Varies with mortgage needed
	Surveyors, Plan Designer, etc.		\$6000 - \$10,000
	Deconstruction Fee & deposit	City of Richmond	\$250 + \$4000 - \$5000 deposit
	Demolition/Plan Permit Fees	City of Richmond	\$20,000 - \$40,000 (depending of services)
	(Throw in sub-division & rezoning)	City of Richmond	\$120,000 - \$175,000 plus legal (+2 years)
	Tree removal on city property	City of Richmond	\$600 – \$10,000
	Sub-Trades & Cost of construction	Various (50 – 75 trades)	\$700,000 - \$900,000 depends on build
	Other economic reach	Restaurants, Home Depot, Rona, etc.	\$\$\$

This is only a partial breakdown of the Economic Benefits of new construction. With so much positive and measured financial impact for all levels of government, local businesses and people it is a surprise that the City of Richmond treats its' "customers" in such an unappreciated manner. If this was a private business, the customers would have long moved on to another competitor for better service. There are numerous news reports written every day and people from all different backgrounds are saying that the buyers of new homes have been scared away to markets such as Toronto and Seattle. With the implementation of the Foreign Tax & Vacant Home Tax and other negative press, there is a reason for people to take their money elsewhere.

Implementing changes that significantly alter the shape, design and the style of the house will have the same net effect. Why would one build in Richmond with all of these constraints and restrictions when you can build the same or better across the Massey Tunnel?

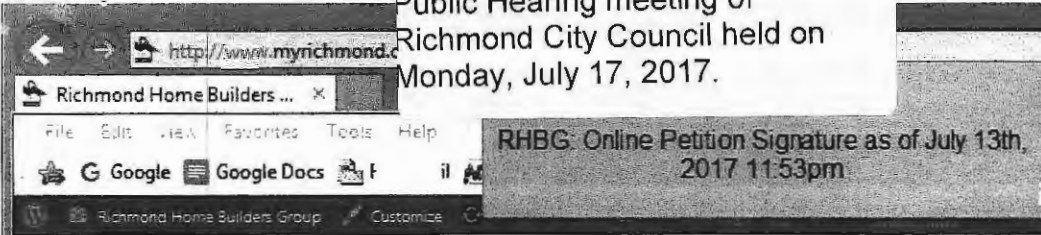
Final Conclusion:

Majority of the regulations within Bylaw 8500 & 9280 were first proposed by the group spearheading the Westwind neighbourhood campaign. Some of their concerns were warranted, however, it should be kept in perspective that many of the properties in this area were primarily LUC that allowed for unusually large density. This was not the fault of the owners or the builders; it was a legal failure of the city to seal the technical loophole. The city should have acted sooner and much of the concerns by the citizens would have been addressed. However, the part that is most troubling is how this small group's demands are being adopted by the city as a defacto standard by which the rest of the residential construction throughout the City of Richmond will be governed. Our city has many unique neighbourhoods, each with the unique style, lots sizes and even demographics.

As you can see there are many concerns with the new proposed Building Mass Regulations. I am not an expert in this field, however, the lack of research and consideration are quite obvious. I propose that individuals with more experience and expertise assess the value of the points made in this report and stay the course of status quo. Having said that they are number of options that should be looked at in making changes that positively affect all stakeholders. This should not only involve the city and residents, but groups such the Richmond Builders, any individual looking to build a dream home, suppliers, real-estate agents, trades people, and so forth. The changes currently proposed will not result in peace and harmony if the city decides to hedge forward.

Schedule 6 to the Minutes of the
Public Hearing meeting of
Richmond City Council held on
Monday, July 17, 2017.

Online JS



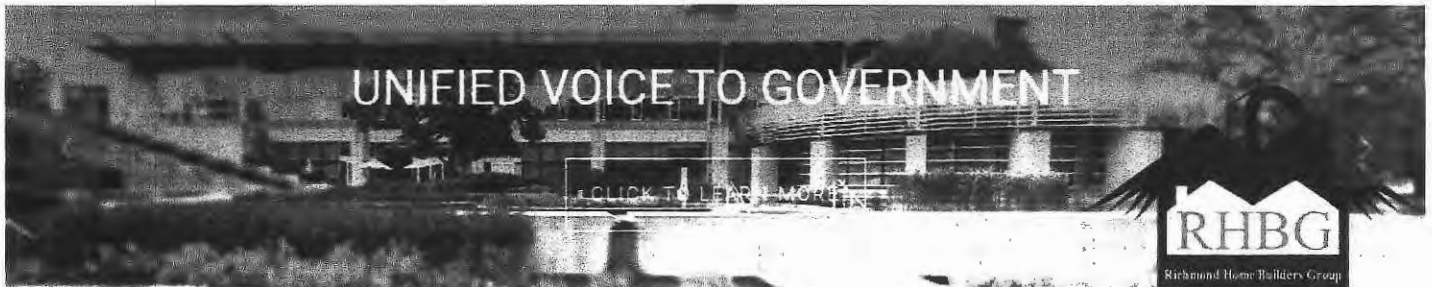
To Public Hearing
Date: JULY 17, 2017
Item #: 7
Re: BYLAW 9737
NOTE: HAND DELIVERED



Richmond Home Builders Group

Builders Choice - Builders Voice

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PETITION: Richmond Massing Amendments to Bylaw 8500

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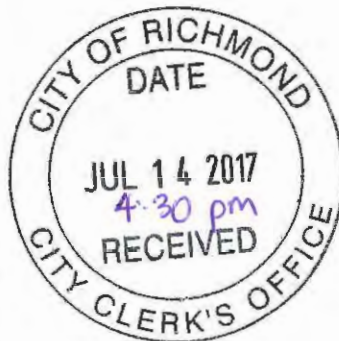
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- Richmond Home Builders Group: RHBG Home Office's vision between builders and the city
- Building a yard fence

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Richmond, BC V6X 3Z6

Hours
Monday - Friday: 9:00AM - 5:00PM
Saturday & Sunday: Please use email

Upcoming Events

- July 17th, 2017 (7pm): City Hall Public Meeting (Important, please attend)
- Learn more about the proposed city zoning bylaws see our blog

Richmond Home Builders Group - The official voice of the Richmond home builder community.

Let's face it, government is not able to listen to each and every person that comes to them with issues or for support. It's close to impossible. Richmond Home Builders Group (RHBG) is a group of

156

Jul 11th - Jul 13th, 17
(114)

Dear Mayor and Council,

We, the people and the building community representatives of the City of Richmond, petition the elected Council and Mayor to incorporate in whole or in part the recommendations as submitted on June 20th, 2017 by the Richmond Home Builders Group (RHBG) with respect to the new Richmond Building Massing Bylaw.

RHBG has put forth a very generous compromise in correlation to the city staff's recommendations. We reluctantly accept a majority of the proposed changes; however, we feel the items 1-3 as listed below will have an unwelcomed negative effect on the design, construction and the value of a new home.

* See diagram on page 5 for changes that will come into effect on July 17th, 2017 if we don't act. Please attend this Public Meeting (7pm) at the city hall and show your support.

- 1). Change Rear Yard Setback to 60/40 meaning 6m (20ft) for the ground floor and 7.5m for the upper floor instead of the city recommendation of 25% (Example: 120ft lot = 30ft setback).
- 2). Maximum Depth of House. This should stay as Status Quo instead of the city proposal of 55% of lot depth and then the requirement of a continuous wall articulation. This inward jog of 8ft plus the 4ft side setback at the rear of the house will result in wasted yard space and loss of function and design.
- 3). Garage Projection. Change the projection from the city recommendation of 9.1m to 9.8m. The additional 2.2 feet will allow a side door access to the house and provide a safe clearance for a vehicle from the main front entrance.
- 4). Where applicable, reduce front yard setback from 20ft. to 15ft. With the addition of the city boulevard, 15ft setback and the L-shaped garage, there is plenty of space left over to not impose on the neighbours.
- 5). If above options are not acceptable then commission the City Planning Department to implement a Neighbourhood by Neighbourhood zoning bylaw. For example, Steveston Village has its own unique character and should not be subjected to same bylaws. If nothing else, RHBG proposes that the current amendments be scrapped altogether and a new planning session undertaken, one that involves representatives from the building community, neighbourhoods and the City from the beginning.

I appoint Richmond Home Builders Group as my voice and immediately demand that the elected City Councils and the Mayor of Richmond incorporate the changes as put forth by the RHBG representatives.

For more information, visit www.myrichmond.ca or email info@myrichmond.ca

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8	Khalid	Hasan	info@khalidhasan.com	8980 Heather Street
7	Jeevan	Sandhu	Sandhujeevan94@gmail.com	4691 tilton rd
6	Kenneth	Ng	kenneth@explorersurvey.com	133-1335 Bear Mountain
5	John	Coulthard	johnc3220@gmail.com	4460 Lancelot Drive
4	Raj	Dholliwar	rdholliwar@shaw.ca	3080 Springfield Drive
3	Bhupinder	Dhiman	ben.dhiman@gmail.com	9360 Sidaway Road
2	Adrian	Botez	Adrian@open-Windows.ca	8610 Lansdowne rd
1	Paul	Sih	paulsih@gmail.com	6740 Juniper Dr



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Richmond Home Builders Group

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July 1st, 2017

PETITION

We, the people and the building community representatives of the City of Richmond, petition the elected Council and Mayor to incorporate in whole or in part the recommendations as submitted on June 20th, 2017 by the Richmond Home Builders Group (RHBG) with respect to the new Richmond Building Massing Bylaw.

RHBG has put forth a very generous compromise in correlation to the city staff's recommendations. We reluctantly accept a majority of the proposed changes; however, we feel the items 1-3 as listed below will have an unwelcomed negative effect on the design, construction and the value of a new home.

*** See diagram on page 5 for changes that will come into effect on July 17th, 2017 if we don't act. Please attend this Public Meeting (7pm) at the city hall and show your support.**

1). **Change Rear Yard Setback to 60/40** meaning 6m (20ft) for the ground floor and 7.5m for the upper floor **instead of** the city recommendation of 25% (Example: 120ft lot = 30ft setback).

2). **Maximum Depth of House. This should stay as Status Quo** instead of the city proposal of 55% of lot depth and then the requirement of a continuous wall articulation. This inward jog of 8ft plus the 4ft side setback at the rear of the house will result in wasted yard space and loss of function and design.

3). **Garage Projection. Change the projection from the city recommendation of 9.1m to 9.8m.** The additional 2.2 feet will allow a side door access to the house and provide a safe clearance for a vehicle from the main front entrance.

4). Where applicable, **reduce front yard setback from 20ft. to 15ft.** With the addition of the city boulevard, 15ft setback and the L-shaped garage, there is plenty of space left over to not impose on the neighbours.

5). *If above options are not acceptable then commission the City Planning Department to **implement a Neighbourhood by Neighbourhood zoning bylaw.** For example, Steveston Village has its own unique character and should not be subjected to same bylaws. If nothing else, RHBG proposes that the current amendments be scrapped altogether and a new planning session undertaken, one that involves representatives from the building community, neighbourhoods and the City from the beginning.*

I appoint Richmond Home Builders Group as my voice and immediately demand that the elected City Councils and the Mayor of Richmond incorporate the changes as put forth by the RHBG representatives.

Online petition available at www.myrichmond.ca or email info@myrichmond.ca

Sam's
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PETITION: Richmond Building Massing Bylaw

	FULL NAME	ADDRESS	PHONE #	EMAIL	SIGNATURE
6	WRYNE HUNG	5720 RIVENDALE	604 704 7575	lma.kyra@gmail.com	<i>[Signature]</i>
7	LINA WU	5720 RIVENDALE	604 763 5462	lina.wu.bc@gmail.com	<i>[Signature]</i>
8	LARRY CHUBATS	8271 FAIRLANE R.	604-271-776	LARRY.CHUBATS@GMAIL	<i>[Signature]</i>
9	JANE CHUBATS	8271 FAIRLANE	" "	" "	<i>[Signature]</i>
10	Brian Milat	6245 Sherida ^{#23}	604-275-5507	-	<i>[Signature]</i>
11	Victor Cabido	3451 Fairbrook	604-880-6201	-	<i>[Signature]</i>
12	TONY CABIDO	6245 SHERIDA ^{#23}	604-366-5993	TCABIDO@GMAIL.COM	<i>[Signature]</i>
13	PAUL HAYER	6213-1268 ST	604 614 3318	PAUL@HAYERDEMOTION.COM	<i>[Signature]</i>
14	BALDIK ATTWAL	12398-58 AVE	604-771-1786	Battwal@mail.com	<i>[Signature]</i>
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PETITION: Richmond Building Massing Bylaw

	FULL NAME	ADDRESS	PHONE #	EMAIL	SIGNATURE
1	Alfred Lu	4711 Tilton	604 278 1929	alfredlu@gmail.com	[Signature]
2	Cameron Sandhu	5635 Forsyth Crescent	604 209 0733	csandhu98@gmail.com	CSandhu
3	AMARDEEP SANGHA	6171 NO 6 RD RICHMOND	604 278 0612	amghada@hotmail.com	[Signature]
4	Amrit Sandhu	4691 Tilton Rd	604-209-0231	Amritsandhu@shaw.ca	[Signature]
5	Guneet Dhalliwal	7140 NANAIMO ST.	778-323-8436	guneet-mann28@hotmail.com	[Signature]
6	Nebojsa Curcin	5900 Alderbridge Way	778 828 9461	nebojsacurcin@hotmail.com	[Signature]
7	Ruby Sethi	2821 McLEISURE AVE	778-792-0324	Rubys01@hotmail.com	[Signature]
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9	STINA SANDHU	5635 Forsyth Cr	604 278 6305	gurase@telus.net	[Signature]
10	Aarun Sandhu	5635 Forsyth Cr	604 278 6305	Aarun@telus.net	[Signature]
11	GURJEET HAYER	4651 TILTON	604 278 7400	amresh@hotmail.com	[Signature]
12	SHIRLEY HAYER	4651 TILTON	604 278 7400	shirley.hayer@gmail.com	[Signature]
13	DARCY HAYER	4651 TILTON	604 278 7400	dhayer10@gmail.com	[Signature]
14	ANISHA HAYER	4651 TILTON	604 278 7400	anishahayer@gmail.com	[Signature]
15	JENNIFER HAYER	4651 TILTON	604 278 7400		[Signature]
16	Baljeet Sandhu	4691 Tilton Rd	604 279 8880		B Sandhu
17	Sam Sandhu	4691 Tilton Rd	604 787 7399	samsandhu@shaw.ca	[Signature]
18	Ganuv Kaul	4601 Tilton Road	604 279 8880		[Signature]
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Geran J.

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PETITION: Richmond Building Massing Bylaw

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1	Gievan Johal	6100 Tranquille Pl. Rm12C	604 836 9800	gss60@hotmail.com	<i>G Johal</i>
2	Harpreet Bansal	1892 Upland Dr. Van	604-375-6707	harpreet-bansal@hotmail.com	<i>Harpreet Bansal</i>
3	RAGHUR SANDHU	1892 Upland Dr. Van	604 324 0581	—	<i>R Sandhu</i>
4	Surinder Sandhu	1892 Upland Dr Van	604 324 0581	—	<i>S Sandhu</i>
5	Satinder Johal	#219 323 51st, Surrey	604-374-3800	satinderjohal@hotmail.com	<i>S Johal</i>
6	TARSEY Johal	6119 147A St, Surrey	778-564-6504	—	<i>T Johal</i>
7	Harinder Sandhu	6481-122 street	604 765-4470	mayahar@gmail.com	<i>H Sandhu</i>
8	Balwinder Johal	6119 147A st, Surrey	604-253-4478	—	<i>B Johal</i>
9	Gary Johal	6100 Tranquille Pl	604-829-4689	gary.johal77@gmail.com	<i>G Johal</i>
10	Gurdev Samra	1892 Upland Dr Van BC	604-324-0581	—	<i>G Samra</i>
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Bob E.

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June 29th, 2017

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	FULL NAME	ADDRESS	PHONE #	EMAIL	SIGNATURE
1	SR TUASON	4-7771 WESTMANSTER LN	604-763-7811	ADDI@HOMES.COM	[Signature]
2	CHRIS COOKE	10271 FRESHWATER	604-271-2429	cookecentral@shaw.ca	[Signature]
3	Ronalyn Viduya	307-3051 AIRBY DRIVE	778-680-6579	ronalyn.viduya@yahoo.com	[Signature]
4	Ethan Ethier	10471 Truro Drive	778-846-8984	etethier1@gmail.com	[Signature]
5	Mira Kazenzudeh	10622 Kolor DC	778-499-6829		[Signature]

(5) (Signature)

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PETITION: Richmond Building Massing Bylaw

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6	Robert Ethier	10471 Truro	778-865-2425	rethier@shaw.ca	[Signature]
7	Michael Tran	921 Thurber St.	604 640 8330	mttran@snclabs.com	[Signature]
8	W. Houder	44511 Wain Rd	604 448 4500	spoiriel@smoketv.com	[Signature]
9	Alan Stampson	6820 Skaha Crescent	778 859 4130	astampson1@gmail.com	[Signature]
10	May Guo	7503 18th Street	604-769-3211	gucinc@ymail.com	[Signature]
11	John Xu	3188 25 Ave	604 761 977	JohnXu123@gmail.com	[Signature]
12	KAM Wong		604-961-8837	wescapprojects@gmail.com	[Signature]
13	Jane Zhao		778-881-5816	Sunnydesign@shaw.ca	[Signature]
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15	David Li		778-879-8807	DavidLi@shaw.ca	[Signature]
16	LEI SHI		604-727-6531	pldtraining@shaw.ca	[Signature]
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18	Max Q. Shi		778-869-2338	jscareer@yahoo.ca	[Signature]
19	Jin Zhang	2836 Mush Dr.	604-729-0666	anyuan777@gmail.com	[Signature]
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21	Tom Tao	678 Duke St	604-726-8881	tomtaorealty@gmail.com	[Signature]
22	Albert Lam		604-813-2778	albertlam@hotmail.com	[Signature]
23	Brad Doré	9051 Blundell Rd	604.782.8240	brad.dore@icloud.com	[Signature]
24	BALU R KUMAR CHIT	8757 Ab 5 Road Rd	604-247-2244	balurvc@shaw.ca	[Signature]
25	Maira Gurman	110771 Gilbert Rd	778 940 9754	maira_75@hotmail.com	[Signature]
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27	ROBERT MORGAN	"	604 818 0327	WAYNE@shaw.ca	[Signature]
28	Emilia Barchuk	"	604-729-2261	EmiliaB@shaw.ca	[Signature]
29	Sandra A. Chit	8751 No 5 Rd	604-726-7588		[Signature]
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Kajiv J. 1/2



Richmond Home Builders Group

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June 29th, 2017

PETITION

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For more information, visit www.myrichmond.ca or email info@myrichmond.ca

	FULL NAME	ADDRESS	PHONE #	EMAIL	SIGNATURE
1	Rajeev Jain	9580 Saunders Road	604 537 6365	sales@somiyastores.ca	
2	Bharti 9731	Pinewell cr, richmond	778 858 3939	brjain0@gmail.com	
3	Jain Soumya 5131	Maple Road, richmond	604 272 7888	jainsoumya.a@gmail.com	
4	Manga	9689 12345th Linn	778 893 4832		
5	John	1340 Vialmont	604 785 9879		

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Rajiv S. 2/2



Richmond Home Builders Group

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PETITION: Richmond Building Massing Bylaw

	FULL NAME	ADDRESS	PHONE #	EMAIL	SIGNATURE
6	Maninder Singh	1190490A AVE DELTA	7783867770	maninder07@yahoo.com	<i>[Signature]</i>
7	Ramanjot Singh	7136, 134 St, Surrey	7783475813	v1996j@gmail.com	<i>[Signature]</i>
8	Gurpreet Sandhu	11705 71st Ave SW			<i>[Signature]</i>
9	Gurinder Shaha	1283 54A VCN.	7788551637		<i>[Signature]</i>
10	Pa-minder	333 49 Ave NW			<i>[Signature]</i>
11	Gurshan	1328 76 Ave -			<i>[Signature]</i>
12	Ajky Jai	980 Sandus	6044452352		<i>[Signature]</i>
13	Brechi Jain	9580 Sandus			<i>[Signature]</i>
14	Ranjit - Beri	667 Nainanao			<i>[Signature]</i>
15	Havdeep	13238 68 SW			<i>[Signature]</i>
16	Raju	13238 68 SW			<i>[Signature]</i>
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Jos S.
1/1

PETITION: Richmond Building Massing Bylaw

	FULL NAME	ADDRESS	PHONE #	EMAIL	SIGNATURE
1	Chih-han Chang	13451 Vulcan Way, Richmond	778 8966499		<i>[Signature]</i>
2	Jacob Z	862 1666 St Sumay	778 839 6658		<i>[Signature]</i>
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June 29th, 2017

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	FULL NAME	ADDRESS	PHONE #	SIGNATURE
1	HAMEL BRINS	454 GRANDVILLE AVE	604-728-8292	
2	AMRIK LILLY	41931 CABOT DR.	604 724 0079	
3	RAVEE RAMAKRISHNAN	2471 FAIRDELLER	778 316 2418	
4	NAJER SINAH LEHAL	8688 FORTER RD	778-837-8484	
5	PERRY YANG		604 716 6186	





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Jas S.
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PETITION: Richmond Building Massing Bylaw

	FULL NAME	ADDRESS	PHONE #	SIGNATURE
6	Prit Lidder	8011 Rosewell Ave	604 275 9819	
7	RAMON GONZALEZ	15 E. 3RD AVE. VAN.	604 677 0021	
8	MICHAEL LI	203-5066 KINGWAY, SUITE 101	778 322 8158	
9	Alex Souter	131-7080 River Rd	778-8595015	
10	Calvin King	#7102-8623 Granville Ave	604-7217777	
11	Tony Jones	2831 Shell Road.	778-238-4892	
12	Clara Corbett	10740 Cambria I	778 822 4135	
13	IBRAHIM BHULLAR	6660 Sideway Rd.	604-7249734	
14	BARBAR BIRING	9300 BAKERVIEW DR. RICH.	778-896-7422	
15	Allen Zu	231-5735 Hampton Pl	778-386-2720	
16	John Teleptean	220-9399 Alexandra Rd	778 955 6028	
17	Clive Alvarado	3800- Bayview St.	604-313-5267	
18	Ricci Chang	#105-288 W 8th Ave. Van.	778-895-5922	
19	Nirmal Sumbhar	14776 69AVE	778 859 8284	
20	Richard Nguyen	#100 8140 Gordon City Rd.	604 715 9998	
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	FULL NAME	ADDRESS	PHONE #	EMAIL	SIGNATURE
1	Sylvain Istifan	7260 No. 2 Rd	778 847 3532		
2	Arjun Bams	↓			
3	Gary Sanghera				
4	Jordan Sangha				
5	Luis Cabido	9400 McCutcheon Place	(604) 275-2226		



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JAS S.
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Builders Choice – Builders Voice

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	FULL NAME	ADDRESS	PHONE #	EMAIL	SIGNATURE
6	MUKHTAR PAHL	8631 Williams Rd	604-512-1016	mukhtar.pahl@gmail.com	
7	SHAN DULAI	8860 SCORCHBARK RD	604-603-7254		
8	CHANSANDHER	8291 No 5 Rd	604-715-4219		
9	RAFIQ SHAIKH	4580 Pendlebury Rd	604-241-7699	shaiqr@rediffmail.com	
10	NEETA SANDHU	8550 OSGOOD RD	604-715-6644	neetasandhu.ca	
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Jas S.
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1	Faiz Khan	310-220 New West Salter ST	778 322 440	Jason@vancouver.ca	[Signature]
2	Sonia Bancy	5540 34 Ave Lashar		Sonia-bancy@bc	[Signature]
3	Saif Khan	Richmond.	778 322 1963		[Signature]
4	Gurjit Bassi	Delta	64999-1032		[Signature]
5	Zain Askari	22140 McLean Ave Richmond	778-868-5134		[Signature]
6	Amna Khan	10033 River Drive Richmond.	604-716-0840		[Signature]
7	Tariq Dalmir	309-10033 River Pr Richmond	604-763-7274		[Signature]
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Richmond Home Builders Group

#2240 - 4871 Shell Rd
Richmond BC V6X 3Z6
604-825-4433
www.myrichmond.ca
info@myrichmond.ca

June 29th, 2017

PETITION

We, the residents and the building community representatives of the City of Richmond, petition the elected Council and Mayor to incorporate in whole or in part the recommendations as submitted on June 20th, 2017 by the Richmond Home Builders Group (RHBG) with respect to the new Richmond Building Massing Bylaw.

RHBG has put forth a very generous compromise in correlation to the city staff's recommendations. We reluctantly accept a majority of the proposed changes; however, we feel the three regulations listed below will have an unwelcomed negative effect on the design, construction and the value of a new home.

** See diagram on page 4 for changes that will come into effect on July 17th, 2017 if we don't react. Please attend this Public Meeting at the city hall and show your support.*

- 1). **Change Rear Yard Setback to 60/40** meaning 6m (20ft) for the ground floor and 7.5m for the upper floor **instead of** the city recommendation of 25% (Example: 120ft lot = 30ft setback).
- 2). **Maximum Depth of House.** This should stay as **Status Quo** instead of the city proposal of 55% of lot depth and then the requirement of a continuous wall articulation. This inward jog of 8ft plus the 4ft side setback at the rear of the house will result in wasted yard space and loss of function and design.
- 3). **Garage Projection.** Change the projection from the city recommendation of 9.1m to 9.8m. The additional 2.2 feet will allow a side door access to the house and provide a safe clearance for a vehicle from the main front entrance.

I appoint Richmond Home Builders Group as my voice and immediately demand that the elected City Councils and the Mayor of Richmond incorporate the changes as put forth by the RHBG representatives.

For more information, visit www.myrichmond.ca or email info@myrichmond.ca

	FULL NAME	ADDRESS	PHONE #	EMAIL	SIGNATURE
1	RICK MILLER	10830 Marcella	604-597-3247	RICK.MILLER@BRICK.COM	
2	Brian Miller	475 Sandbar Pl	604 323-6231		
3	Jeff Ouellette	89-8385 Delsom Way	604 779 8348		
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Richmond Home Builders Group

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PETITION: Richmond Building Massing Bylaw

	FULL NAME	ADDRESS	PHONE #	EMAIL	SIGNATURE
1	SUKINDER MADHANI	9928 SEPTON CT	778-839-8929	Harveen mangat @HBT@msc.com	[Signature]
2	Michael Lee	11410 Seaton Rd.	604-803-9863	lee.michael.ph@gmail.com	[Signature]
3	BAL SINDER		604-834-7888		[Signature]
4	David Zhang	18-15871 85 th Ave Surrey	604-763-7960	smalldavidzhang@gmail.com	[Signature]
5	Linda Tam	29-7200 Ledwell Rd	604-889-1228	Linda tam 2010@gmail.com	[Signature]
6	Vinessa Lin	9728 Alexander Rd	778-323-8378	Vinessaling@hotmail.com	[Signature]
7	Yue Weng	13451 Vulcan Way	604-303-8807	Sales5@fir-stone.com	[Signature]
8	Tan Zhu	13451 Vulcan Way	604-303-8807	ALL@fir-stone.com	[Signature]
9	Emily YE	7371 Westminster Hwy	604-862-2432	YiYi12612@gmail.com	Emily
10	Hao Ren	13451 Vulcan way	604-203-8807	yh52658@gmail.com	[Signature]
11	Harman Anulakh	11291 Bridgeway Rd	604-788-7325	harman-w@BPL@hotmail	[Signature]
12	ANTHONY LAM	11211 BRIDGEPORT RD	604-370-2002	anthony.lam@msc.com	[Signature]
13	SUNLI TENG	11211 BRIDGEPORT RD	604-716-3322	atck_floppy@hotmail.com	[Signature]
14	Timothy Tse	225-8877 Odlin Cr	604-618-3223	timothytse@yahoo.com	[Signature]
15	CHAU RANDHANA	7076-106 B St	778-216-9313	chau.randhana@msc.com	[Signature]
16	Ken Yoshikawa	3571 Richmond St	604-970-3058	ken@trendsetterhomes.ca	[Signature]
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Richmond Home Builders Group

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PETITION: Richmond Building Massing Bylaw

	FULL NAME	ADDRESS	PHONE #	EMAIL	SIGNATURE
1	Robbie Sharda	11531 Pintail Dr	604-725-2590		<i>[Signature]</i>
2	Zizraop Bath		604-600-3422		<i>[Signature]</i>
3	Raman Kaurer	3399 Haresby Dr	604-825-4433		<i>[Signature]</i>
4	Amit Dhillon		604-727-8286		<i>[Signature]</i>
5	Amanjot Hayer		604-723-4127		<i>[Signature]</i>
6	Aman Sandhu		604-767-1769		<i>[Signature]</i>
7	Azmat Ali		604-285-0786		
8	Sushil Arora		604-644-6165		
9	Ajpurdaman Aujla				<i>[Signature]</i>
10	Raj Dhillon		604-780-8806		<i>[Signature]</i>
11	Ravi Dhillon		778-996-7261		<i>[Signature]</i>
12	Manjinder Johal		604-729-4119		<i>[Signature]</i>
13	Kapil		604-354-0099		<i>[Signature]</i>
14	Jaffer Nathu	7400 Thermanby Cr	604-618-4786		<i>[Signature]</i>
15	Gurvinder		778-241-0602		<i>[Signature]</i>
16	Bob Basanti				
17	Gurmeet Malhi	5351 Catway Road	604-812-1166		<i>[Signature]</i>
18	Harsh Sharma		604-780-8501		<i>[Signature]</i>
19	Dave Mander		604-836-0511		<i>[Signature]</i>
20	Ricky Mangat		604-780-4216		<i>[Signature]</i>
21	Gursharn Bains	10940 2 nd Avenue			<i>[Signature]</i>
22	Jagpreet Grewal	9651 Seameadow Ct			<i>[Signature]</i>
23	Paraminder Singh	11380 Seahurst Rd			<i>[Signature]</i>
24	Rajwinder Singh	11380 Seahurst Rd			<i>[Signature]</i>
25	Paraminder Sall	4271 Woodhead Rd			<i>[Signature]</i>
26	Mehar Sandhu		604-728-8120		<i>[Signature]</i>
27	Gurjit Ghoggy	4671 Dallyn Rd			<i>[Signature]</i>
28	Nathey Dhot	105-5880 Baver Cr	604-728-0329		<i>[Signature]</i>
29	Gurdeep Johal				<i>[Signature]</i>
30	Bhupinder Kaurer	3377 Haresby Dr	604-780-4286		<i>[Signature]</i>

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Richmond Home Builders Group

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Builders Choice - Builders Voice

PETITION: Richmond Building Missing Bylaw					
	FULL NAME	ADDRESS	PHONE #	EMAIL	SIGNATURE
31	DANNY TIM	453 Windjancer	604 340 2130	BOGORY@gmail.com	[Signature]
32	CHI HUNG TIM	-	-		[Signature]
33	MEI YUI KOOK	-	-		[Signature]
34	Mu Li	8150 Saunders Rd	778 997 1122	rockmu@hotmail.com	[Signature]
35	Jessie Li	8180 Saunders	778-882-8840	jessieli32@gmail	[Signature]
36	Jason Li	8180 Saunders	778-999-8640		
37	Howard Wong	8179 Lucerne Road		wong8179@gmail	[Signature]
38	Jing Lu	508 5233 Gilbert Road	604-812-8256	jinglu165@gmail.com	[Signature]
39	Suen Han	508-5233 Gilbert rd	604-617-8651	Zhouyong062@gmail.com	[Signature]
40	Erin Li	810-7788 Ackroyd Rd	604-626-5782	lilineria@gmail.com	[Signature]
41	Helen Ma	606-7995 Westminster Hwy	778-549-5196	Pal-in@hotmail.com	[Signature]
42	Kelly Zhao	604-5811 No. 3 Rd.	778-781-7106		
43	Kerwin Bran	1805-8033 Saba Rd	778-896-1991	KerwinBran@gmail.com	[Signature]
44	Jing Yi Sun	5000 Maple Road	604-261-2388	sj4892@gmail.com	[Signature]
45	Qiwen Shi	5000 Maple Road	778-237-9776	shiqiwen1982@hotmail.com	[Signature]
46	Shilong Li	4112-7999 Fairbridge Way	778-889-6634		[Signature]
47	Tengtang Li	412-7999 Fairbridge Way	778-889-6634		[Signature]
48	Dao Zhen Yan	708-5900 Alderbridge way	604-725-7226	Yanclaozhen@msn.com	[Signature]
49	Stacy Yang	708-5900 Alderbridge way	778-831-6920	stacyyang28@gmail.com	[Signature]
50	Ming Li	7960 Bennett Rd	604-232-3933		[Signature]
51	Jun Zhao	7960 Bennett Rd	604-232-3933		[Signature]
52	Rowena Yu	5188 Ackroyd Road	778-926-6829		[Signature]
53	Y. Wang	8391 No. 4 Rd. B	604-626-5388		[Signature]
54	YAOHUI ZHAO	8391 William Rd	778-237-5065		[Signature]
55	Xiaonai Wang	3560 Garry St.	778-896-6112	Wangxiaonai@gmail.com	[Signature]
56	Chang LI LYA	3560 Garry St E	778-893-3372		[Signature]
57	Zhao Lin Wang	3560 Garry St	778-863-0027		[Signature]
58	Xianbin Meng	7475 Potts Rd	778-788-7806		[Signature]
59	Aixin Bian	7475 Potts Rd	778-788-7808		[Signature]
60	Zaixia Fege	6191 Hurdell Rd	778-688-5128		[Signature]

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Builders Choice – Builders Voice

Richmond Home Builders Group

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 info@myrichmond.ca

PETITION: Richmond Building Massing Bylaw					
	FULL NAME	ADDRESS	PHONE #	EMAIL	SIGNATURE
61	ZAINAB NATHU	7400 THORNHAWBY CR.	604-272-968	zainabnathu@	[Signature]
62	GURDIP KHEWLA	9900 GARDEN CITY RD RMD	604-279-9796	gurdip-p6@hotmail.com	[Signature]
63	MUKESH KHEWLA	9900 GARDEN CITY RD RMD	604-279-9796	mukesh.khewla@	[Signature]
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Richmond Home Builders Group

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NO.	NAME	ADDRESS	CITY	STATE	ZIP
61	John Smith	123 Main St	Richmond	VA	23219
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63	J. Doe	456 Oak St	Richmond	VA	23220
64					
65	W. Lee	789 Pine St	Richmond	VA	23221
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67	M. King	101 Elm St	Richmond	VA	23222
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69	A. White	202 Maple St	Richmond	VA	23223
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 info@myrichmond.ca

PETITION: Richmond Building Massing Bylaw

	FULL NAME	ADDRESS	PHONE #	EMAIL	SIGNATURE
6	Amal Nijj	10670 Argente Dr	778 854 273	amal.nijj@gmail.com	[Signature]
7	Paul Oble	10240 Craig Court	278 996 7261	oble.paul@gmail.com	[Signature]
8	Darpan Oble	23351 Westminster Highway	604 763 2052	darpan.oble@hotmail.ca	[Signature]
9	Kuldip Patara	5571 Clearwater	604 274 2247	kpatara@shaw.ca	[Signature]
10	Dal Patara	5571 Clearwater	604-354-2247		[Signature]
11	Dustin Patara	5571 Clearwater	604-274-2177	d.patara@hotmail.com	[Signature]
12	Kavir Patara	5571 Clearwater	604 274 2247		[Signature]
13	Mulkiat Oble	10240 Craig Court	604 247 0352		M.O.
14	Priya Oble	5691 Cething Rd	778 658 4724	Priya_07@hotmail	Priya
15	Amber Oble	5691 Cething Rd	778 223 7884	Amber_0ble@hotmail	Amber
16	Harinder Dhiase	11740 Woodhead Rd	604 961 6625		[Signature]
17	Kiran Dhiase	11740 Woodhead Rd	604 247 0351		[Signature]
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Richmond Home Builders Group

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June 29th, 2017

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- 1). **Change Rear Yard Setback to 60/40** meaning 6m (20ft) for the ground floor and 7.5m for the upper floor *instead of* the city recommendation of 25% (Example: 120ft lot = 30ft setback).
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For more information, visit www.myrichmond.ca or email info@myrichmond.ca

	FULL NAME	ADDRESS	PHONE #	EMAIL	SIGNATURE
1	M. Olak	6200 #6 Rd	782-0867	mkolak@ycom.ca	[Signature]
2	Shindo Olak	6200 #6 Rd	782-0867		[Signature]
3	Kelly Olak	6200 #6 road	724-9000	kellyolak@hotmail.com	[Signature]
4	Kinder Olak	6200 #6 Rd	727-6231	kinder_olak@hotmail.com	[Signature]
5	Neil Nijjer	10620 Argenta Dr	604-707722	neelnijjer@gmail.com	[Signature]

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Schedule 7 to the Minutes of the
Public Hearing meeting of
Richmond City Council held on
Monday, July 17, 2017.



Builders Choice - Builders Voice

Richmond Home Builders Group

To Public Hearing
Date: <u>JULY 17, 2017</u>
Item # <u>7</u>
Re: <u>BVLAW 9737</u>

NOTE: HAND DELIVERED

PETITION: Richmond Building Massing Bylaw

	FULL NAME	ADDRESS	PHONE #	EMAIL	SIGNATURE
1	AZIM BHAMANI	6740 RIVERVALE DR	604 649 1099	zimu@shaw.ca	<i>[Signature]</i>
2	GURPREET MANN	8751 ROSEVALE RD	604-720-0949	ASM-MANN@hotmail.ca	<i>[Signature]</i>
3	Satvir Grewal	3886 Richmond St	604-778-5521	grewal-satvir@hotmail.ca	<i>[Signature]</i>
4	Jagmeet Gill	7491 Lindsay Rd.	604 721 5334	JLG HOMES LTD. Prince	<i>[Signature]</i>
5	Syed Gul.	#238-7080 River Rd	604-671-9918	shabeb.chame@indus.	<i>[Signature]</i>
6	ONKAR D HADOL	4235 HERRING RD	604 720 8255	oo@uaw.ca	<i>[Signature]</i>
7	Zeeshan Hasem	6411 Blundell Rd	604-722-7285	zhasem@me.com	<i>[Signature]</i>
8	Gabriel S Dhadha	13133-66B AVE	604-611-5001		<i>[Signature]</i>
9	DL Dhadha	203-8171 Cook Rd	604-220-3710	gabriel@shaw.ca	<i>[Signature]</i>
10	MATHEW THOMAS	11711-SEABROOK	604 720 2977	tomsm@westwindgroup.	<i>[Signature]</i>
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Schedule 8 to the Minutes of the
Public Hearing meeting of
Richmond City Council held on
Monday, July 17, 2017.

To Public Hearing	
Date:	JULY 17, 2017
Item #	7
Re:	BYLAW 9737

Mayor and Councillors

From: Sobia Ali <sobiaali0308@gmail.com>
Sent: Friday, 14 July 2017 22:22
To: web@myrichmond.ca; Mayor and Councillors
Subject: Re: PETITION: "Not sent by me!"
Attachments: Screenshot_20170714-221224.png; Screenshot_20170714-221323.png

Follow Up Flag: Follow up
Flag Status: Flagged

Dear sir ,

Just recieved a copy of below email which shows that I am a part of some petition.

Please be advised that I never sent this email and i have never been a part of any petition as you can see in the attached screen shots clearly defines that sobia ali may not sent this email.

I don't relate with this email and will not be the part in future also.

Trust for your understanding.

Regards,
Sobia Yaseen



On Jul 14, 2017 10:03 PM, "Sobia Yaseen" <Sobiaali0308@gmail.com> wrote:

Dear Mayor and Council,

We, the people and the building community representatives of the City of Richmond, petition the elected Council and Mayor to incorporate in whole or in part the recommendations as submitted on June 20th, 2017 by the Richmond Home Builders Group (RHBG) with respect to the new Richmond Building Massing Bylaw.

RHBG has put forth a very generous compromise in correlation to the city staff's recommendations. We reluctantly accept a majority of the proposed changes; however, we feel the items 1-3 as listed below will have an unwelcomed negative effect on the design, construction and the value of a new home.

* See diagram on page 5 for changes that will come into effect on July 17th, 2017 if we don't act. Please attend this Public Meeting (7pm) at the city hall and show your support.

- 1). Change Rear Yard Setback to 60/40 meaning 6m (20ft) for the ground floor and 7.5m for the upper floor instead of the city recommendation of 25% (Example: 120ft lot = 30ft setback).
- 2). Maximum Depth of House. This should stay as Status Quo instead of the city proposal of 55% of lot depth and then the requirement of a continuous wall articulation. This inward jog of 8ft plus the 4ft side setback at the rear of the house will result in wasted yard space and loss of function and design.

3). Garage Projection. Change the projection from the city recommendation of 9.1m to 9.8m. The additional 2.2 feet will allow a side door access to the house and provide a safe clearance for a vehicle from the main front entrance.

4). Where applicable, reduce front yard setback from 20ft. to 15ft. With the addition of the city boulevard, 15ft setback and the L-shaped garage, there is plenty of space left over to not impose on the neighbours.

5). If above options are not acceptable then commission the City Planning Department to implement a Neighbourhood by Neighbourhood zoning bylaw. For example, Steveston Village has its own unique character and should not be subjected to same bylaws. If nothing else, RHBG proposes that the current amendments be scrapped altogether and a new planning session undertaken, one that involves representatives from the building community, neighbourhoods and the City from the beginning.

I appoint Richmond Home Builders Group as my voice and immediately demand that the elected City Councils and the Mayor of Richmond incorporate the changes as put forth by the RHBG representatives.

For more information, visit <http://www.myrichmond.ca> or email info@myrichmond.ca

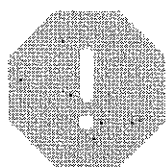
--

Sobia Yaseen
Sobiaali0308@gmail.com
10199 Williams Road
Richmond, BC

PETITION: Richmond Massing Amendments to Bylaw 8500



Inbox



Sobia Yaseen



to mayorandcouncillors, web

[Hide details](#)

From: Sobia Yaseen Sobiaali0308@gmail.com

To: mayorandcouncillors@richmond.ca
web@myrichmond.ca

Date: Jul 14, 2017, 10:03 PM

[View security details](#)



This message may not have been sent
by: **Sobiaali0308@gmail.com**

Dear Mayor and Council,

We, the people and the building community representatives of the City of Richmond, petition the elected Council and Mayor to incorporate in whole or in part the recommendations as submitted on June

4). Where applicable, reduce front yard setback from 20ft. to 15ft. With the addition of the city boulevard, 15ft setback and the L-shaped garage, there is plenty of space left over to not impose on the neighbours.

5). If above options are not acceptable then commission the City Planning Department to implement a Neighbourhood by Neighbourhood zoning bylaw. For example, Steveston Village has its own unique character and should not be subjected to same bylaws. If nothing else, RHBG proposes that the current amendments be scrapped altogether and a new planning session undertaken, one that involves representatives from the building community, neighbourhoods and the City from the beginning.

I appoint Richmond Home Builders Group as my voice and immediately demand that the elected City Councils and the Mayor of Richmond incorporate the changes as put forth by the RHBG representatives.

For more information, visit
<http://www.myrichmond.ca> or email
info@myrichmond.ca

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Sobia Yaseen

Sobiaali0308@gmail.com

10100 Williams Road

Schedule 9 to the Minutes of the
Public Hearing meeting of
Richmond City Council held on
Monday, July 17, 2017.

To Public Hearing
Date: JULY 17, 2017
Item # 7
Re: BYLAW 9737

Mayor and Councillors

From: skydogs@telus.net
Sent: Monday, 17 July 2017 12:16
To: Mayor and Councillors
Subject: Motion to delay Public hearing for item
Attachments: Motion to delay Public hearing for item.docx

Please see the attached. I agree with councillor Day that this issue should not be rushed through. Summer is not the time to deal with such an important issue. Again massive big houses should be on acreages and on residential lots that looks ugly and out of place. You have created a free for all giving power to a few with deep pockets. SHAME ON YOU ALL FOR WHAT YOU HAVE CREATED



FREE Animations for your email [Click Here!](#)



Carol Day Motion:

To POSTPONE Richmond Zoning Bylaw 8500, AMMENDMENT Bylaw 9737 Building Massing of Single Family Dwellings item # 7 to the next Public hearing Sept 5th, 2017

RATIONAL:

Lack of Transparency: the city has not applied due diligence and provided adequate time for the reports to be read because they did not appear on the city web site until midnight on Saturday July 22nd, less than 48 hours before the Public Hearing.

Lack of Opportunity to full comprehend: The 224 pages attached to the agenda item are daunting and the staff reports are complicated and require time for the public to comprehend and have the opportunity to ask City staff questions .

Public Need: The public have demonstrated that they have serious concerns regarding the size of houses in Richmond and hosting a public hearing July 17th in the middle of the summer excludes many citizens from attending and participating in the public process due to vacations and other commitments.

Mayor and Councillors

Schedule 10 to the Minutes of the
Public Hearing meeting of
Richmond City Council held on
Monday, July 17, 2017.

To Public Hearing
Date: JULY 17, 2017
Item # 7
Re: BYLAW 9737

From: Sharon MacGougan <sharonmacg@telus.net>
Sent: Monday, 17 July 2017 14:23
To: Mayor and Councillors
Subject: Public Meeting July 17

Dear Mayor and Councillors,

July 17, 2017

Re: Building Massing

I support changes to the current building bylaw. It's long overdue and neighbourhoods could only benefit when the guiding principle becomes livability.

Concerning citizens have been advocating over the past two years for the following changes:

- Increase rear yard setbacks
- Plant at least two trees
- Eliminate side yard projections
- Restrict unwelcoming entry gates and walls
- Increase greenspace and live landscaping
- Reduce large projecting garages

Not all of these changes have not been included in the staff recommendations. But, let's go ahead with what changes have been proposed. Some change is better than none.

I understand that the builder's group is doing last minute lobbying to water down or eliminate change. Builders are an important part of our community but they are not in charge of what our community looks like or what livability means. Richmond has extremely competent planning staff. They don't make frivolous recommendations. They took input from builders as well as all other interested parties. Intense last minute lobbying is a pressure tactic. But it doesn't have to be an effective one.

We are asking for simple things, like backyard privacy and livability. Those are qualities that make neighbourhoods strong.

At our recent Garden City Conservation Society AGM someone asked: Why is it always so hard? We were talking about conservation wishes for the future.

Why do people have to work so hard when all they are trying to do is strengthen neighbourhoods and sense of community? Please vote in support of change.

Yours sincerely,

Sharon MacGougan
7411 Ash Street
Richmond, B.C. V6Y2R9



Schedule 11 to the Minutes of the
Public Hearing meeting of
Richmond City Council held on
Monday, July 17, 2017.

MayorandCouncillors

To Public Hearing
Date: JULY 17 2017
Item # 7
Re: BYLAW 9737

From: steve coventry <stevecoventry@hotmail.com>
Sent: Monday, 17 July 2017 15:33
To: MayorandCouncillors
Subject: Bylaw 8500 amendment 9737 I disagree and how it negatively affects myself.

Dear Mayor and Councillors, I am writing in regard to tonight's meeting concerning bylaw 8500 amendment 9737. I am not a developer nor have any real estate connections however in my case I disagree with the proposed amendments outlined in 9737 for reasons outlined below.

My main concern is how the proposed changes will affect narrow frontage lots (30-33ft) that are deep 148ft. I have read the proposed amendment but it doesn't specify if the proposed changes are for all lot sizes or only those with a 40ft frontage and larger (such as was done with the vertical height building massing) so I have to write assuming the changes are intended for all size lots.

I am a long time Richmond resident 48 years in the current address, however on my street over the years most of the old houses have gone and the lots subdivided for two houses on each previous lot, the divided lots are narrow 30-33ft but 148ft deep. My home is one of the last old homes and is surrounded on all sides by homes built with a 6m setback and long depth so why would my property if developed be subjected to a 10.7m setback and greater home depth restrictions when all the surrounding properties are at the old 6m setback and building depths?

My home has been affected by all the building around me such that the entire back yard is surrounded by a wall of homes, so my property's value has been reduced to lot value as the house itself has become worthless as it currently stands, sadly it's only value now is in redevelopment, yet now after my street has been almost fully redeveloped under the old rules there is a plan to change the rules which would obviously negatively affect any development of the last remaining homes such as mine; in particular the building depth, front-rear setback, sidewall projections recommendations all greatly affect trying to build homes on the narrow lots which my property would be subdivided into.

I feel this subject needs more refinement as it is written it is particularly restrictive on any building on narrow long lots. I would like to see changes as was done with the vertical building height massing which had different rules tailored for the width of the lot. I sincerely hope a sudden decision isn't made to approve this subject tonight and more refinement is done. Thank you for taking the time to read, Steve Coventry.



**Item #7 - 55 Petition letters received from the
following individuals with identical
content - sample attached**

Received between Friday, July 14th (2pm) and Monday, July 17th (4pm)

Schedule 12 to the Minutes of the
City Public Hearing meeting of
Richmond City Council held on
Monday, July 17, 2017.

Number	Name	Address	City
1	Harvinder Mehat	11240 Bird Road	Richmond
2	Jithan Virk	8814 Delvista Drive	Delta
3	Manpreet Nagra	13489 - 60th Avenue	Surrey
4	Makhan Dhesi		
5	Parveen Dhesi		
6	Shannon Dhesi		
7	Sukhjinder Dhesi		
8	Steven Dhesi		
9	Knee Gur	6611 No. 2 Road	Richmond
10	David Lindsay	12180 Imperial Drive	Richmond
11	Arvin Girn	4641 Sunland Place	Burnaby
12	Jag Bhandal	5140 Moncton Street	Richmond
13	Jasdeep Sidhu	9091 No. 4 Road	Richmond
14	Ranjit Pooni	9371 Dayton Avenue	Richmond
15	Gurjit Pooni	9371 Dayton Avenue	Richmond
16	Puneet Pooni	9371 Dayton Avenue	Richmond
17	Kulwinder Pooni	9371 Dayton Avenue	Richmond
18	Sunjit Pooni	9480 Blundell Road	Richmond
19	Raveena Pooni	9371 Dayton Avenue	Richmond
20	Kashmir Pooni	9371 Dayton Avenue	Richmond
21	Satwinder Pooni	9480 Blundell Road	Richmond
22	Lake Chang		
23	Sumaiyya Hasan	8980 Heather Street	Richmond
24	Nauman Mughal	10199 Williams Road	Richmond
25	Aliza Hasan	8980 Heather Street	Richmond
26	Steven Thaker	3160 River Road	Richmond
27	Kayla Zhang		
28	Rajinder Mann	7580 Railway Avenue	Richmond
29	Aman Hayer	3411 Lockhart Road	Richmond
30	Kuljit Bapla	9011 Ash Street	Richmond
31	Shali Tark	5500 Lynas Lane	Richmond
32	Satvinder Bhandal	10071 No. 1 Road	Richmond
33	Satnam Sangha	6827 - 130th Street	Surrey
34	Hurmeet Jagde	6391 No. 5 Road	Richmond
35	Fred Zhang	4771 Wintergreen Avenue	Richmond
36	Yun Chang		
37	Gary Gai		
38	Austin Kay	4060 River Road	Richmond

**Item #7 - 55 Petition letters received from the
following individuals with identical
content - sample attached**

Received between Friday, July 14th (2pm) and Monday, July 17th (4pm)

39	Carter Turner	340 Ewen Avenue	New Westminster
40	Navtej Dhot	5880 Dover Crescent	Richmond
41	Balbir Chot	8751 No. 5 Road	Richmond
42	Syed Hasan	6411 Blundell Road	Richmond
43	Preena Nijjar		
44	Sukhdev Jhaj	No. 6 Road	Richmond
45	Surinder Grewal	6831 Gamba Drive	Richmond
46	Tim Pember	65-6300 London Road	Richmond
47	Mandeep (Mike) G	3700 Bargaen Road	Richmond
48	Sharon Hayer	3700 Bargaen Road	Richmond
49	Ranjit Gill	12357 Cameron Drive	Richmond
50	Kulwinder Gill	12357 Cameron Drive	Richmond
51	Brittany Pannu		
52	Prieya Gill	12357 Cameron Drive	Richmond
53	Jasbir Gill	3700 Bargaen Road	Richmond
54	Amarjit Gill	3700 Bargaen Road	Richmond
55	Inderjit (Andy) Sand	3580 Bargaen Drive	Richmond

MayorandCouncillors

From: Harvinder Mehat <harvi.mehat@gmail.com>
Sent: Friday, 14 July 2017 14:02
To: MayorandCouncillors; web@myrichmond.ca
Subject: PETITION: Richmond Massing Amendments to Bylaw 8500

Dear Mayor and Council,

We, the people and the building community representatives of the City of Richmond, petition the elected Council and Mayor to incorporate in whole or in part the recommendations as submitted on June 20th, 2017 by the Richmond Home Builders Group (RHBG) with respect to the new Richmond Building Massing Bylaw.

RHBG has put forth a very generous compromise in correlation to the city staff's recommendations. We reluctantly accept a majority of the proposed changes; however, we feel the items 1-3 as listed below will have an unwelcomed negative effect on the design, construction and the value of a new home.

* See diagram on page 5 for changes that will come into effect on July 17th, 2017 if we don't act. Please attend this Public Meeting (7pm) at the city hall and show your support.

- 1). Change Rear Yard Setback to 60/40 meaning 6m (20ft) for the ground floor and 7.5m for the upper floor instead of the city recommendation of 25% (Example: 120ft lot = 30ft setback).
- 2). Maximum Depth of House. This should stay as Status Quo instead of the city proposal of 55% of lot depth and then the requirement of a continuous wall articulation. This inward jog of 8ft plus the 4ft side setback at the rear of the house will result in wasted yard space and loss of function and design.
- 3). Garage Projection. Change the projection from the city recommendation of 9.1m to 9.8m. The additional 2.2 feet will allow a side door access to the house and provide a safe clearance for a vehicle from the main front entrance.
- 4). Where applicable, reduce front yard setback from 20ft. to 15ft. With the addition of the city boulevard, 15ft setback and the L-shaped garage, there is plenty of space left over to not impose on the neighbours.
- 5). If above options are not acceptable then commission the City Planning Department to implement a Neighbourhood by Neighbourhood zoning bylaw. For example, Steveston Village has its own unique character and should not be subjected to same bylaws. If nothing else, RHBG proposes that the current amendments be scrapped altogether and a new planning session undertaken, one that involves representatives from the building community, neighbourhoods and the City from the beginning.

I appoint Richmond Home Builders Group as my voice and immediately demand that the elected City Councils and the Mayor of Richmond incorporate the changes as put forth by the RHBG representatives.

For more information, visit <http://www.myrichmond.ca> or email info@myrichmond.ca

--

Harvinder Mehat
harvi.mehat@gmail.com

11240 Bird Road
Richmond, BC V6X 1N8



Builders Choice – Builders Voice

Richmond Home Builders Group

To Public Hearing	
Date:	JULY 17, 2017
Item #	7
Re:	BYLAW 9737

July 17th, 2017

Schedule 13 to the Minutes of the Public Hearing meeting of Richmond City Council held on Monday, July 17, 2017.

ATTENTION: DAVE WEBBER

ADDITIONAL PETITIONS FOR CITY CLERK

*URGENT!
Missing Meeting Tonight.*

Hi Dave,

Can you please add these to the petitions we have already submitted regarding the Massing Bylaw Amendments?

RHBG thanks you for your time and look forward to hearing from you soon.

Kind regards,

Jas Sandhu

Richmond Home Builders Group



Online

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For more information, visit www.myrichmond.ca or email info@myrichmond.ca

[your signature]

Received online

First Name	Last Name	Email Address	Street Address	City	State	Post Code	Date Signed
Amarjit	Gill	Amarjitgill04@gmail.com	3700 Bargaen Rd	Richmond	BC	V6x2r8	7/17/17 15:42
Jasbir	Gill	Gilljasbir06@gmail.com	3700 Bargaen Rd	Richmond	Bc	V6x2r8	7/17/17 15:34
Prieya	Gill	Prieya_gill10@hotmail.com	12357 Cameron drive	Richmond	Bc	V6v2t5	7/17/17 15:20
Brittany	Pannu	Bpannu@markanthony.com					7/17/17 14:57
Mandeep (Mike)	Gill	Mikegill34@gmail.com	3700 Bargaen Rd	Richmond	BC	V6x2r8	7/17/17 14:01
Sharon	Hayer	Sharonhayer@yahoo.com	3700 Bargaen Rd	Richmond	Bc	V6x2r8	7/17/17 13:54
Kulwinder	Gill	Kgill101@hotmail.com	12357 Cameron drive	Richmond	Bc	V6v2t5	7/17/17 13:35
Ranjit	Gill	Rgill101@shaw.ca	12357 Cameron drive	Richmond	Bc	V6v2t5	7/17/17 13:32
Tim	Pember	Tim@rememberpember.ca	65-6300 London Rd	Richmond	BC	V7E6V6	7/17/17 13:10
Surinder	Grewal	surinder@nhd.ca	6831 Gamba Drive	Richmond	bc	v7c2g4	7/17/17 12:31
Sukhdev	Jhaj	Villadevelopment@hotmail.com	No 6 road	Richmond	Bc	V6w 1c9	7/17/17 12:24
balbir	chot	balbirchot@hotmail.com	8751 no 5 rd	RICHMOND	BC	V6Y2V5	7/17/17 11:15
syed	hasan	sajidhasan@yahoo.com	6411 blundell road	richmond	bc	v7c1h7	7/17/17 11:01
Preena	Nijjar	Preena.nijjar@gmail.com					7/17/17 10:51
Navtej	Dhot	navtejdhot@hotmail.com	5880 - Dover Cres.	Richmond	BC		7/17/17 9:23
Carter	Turner	cturner@griff.ca	340 ewen ave	New Westmins	Bc	V2y3cm	7/16/17 23:44
Austin	Kay	austin@austinkay.com	4060 River Road	Richmond	BC	V7B 1B4	7/16/17 23:21
Gary	Gai	Chyywhcg@hotmail.com					7/16/17 20:25
Yun	Chang	Chyywhcg@gmail.com					7/16/17 20:24
Fred	Zhang	fzhang1009@gmail.com	4771 Wintergreen Ave	Richmond	British Colu	V7C1L4	7/16/17 17:25
gurmeet	Jagde	jagde9800@hotmail.com	6391 No.5 Road	Richmond	British Colu	V6Y 2V1	7/16/17 15:26
Satnam	Sangha	Satnamsangha06@hotmail.com	6827 130th street	Surrey	Bc	V3w 4j4	7/16/17 15:01
satvindr	bhandal	sat_bhandal@hotmail.com	10071 no 1 road	richmond	bc	v7e 1s1	7/16/17 8:14
Kuljit	Bapla	Kuljitbapla@hotmail.com	9011 Ash st	Richmond	B.C	V7A 2T5	7/15/17 14:35
Aman	Hayer	Ahayer82@gmail.com	3411 Lockhart rd	Richmond	Bc	V7c1m4	7/15/17 1:18
Rajinder	Mann	rajinder.mann@hotmail.com	7580 railway ave	richmond	bc	v7c3j9	7/14/17 23:05
kayla	zhang	kaylakoala@hotmail.com					7/14/17 22:37
Steven	Thaker	thakerdevelopments@gmail.com	3160 River Road	Richmond	BC	V7C5N2	7/14/17 22:13
Aliza	Hasan	Hasanaliza22@gmail.com	8980 Heather Street	Richmond	BC	V6Y 2R8	7/14/17 22:07
Nauman	Mughal	Paklanddevelopments@gmail.cc	10199 Williams Road	Richmond	BC	V7A 1H9	7/14/17 22:05
Lake	Chang	lerfly22@hotmail.com					7/14/17 21:38
Satwinder	Pooni	satwinder_p@hotmail.com	9480 Blundell road	Richmond	BC	V6y 1e2	7/14/17 19:39
Kashmir	Pooni	kashmir_p@hotmail.com	9371 Dayton Avenue	Richmond	BC	V6Y 1E2	7/14/17 19:37

Raveena	Pooni	raveena_p@hotmail.ca	9371 Dayton Avenue	Richmond	BC	V6y 1e2	7/14/17 19:32
Sunjit	Pooni	su_nj_its@hotmail.com	9480 Blundell road	Richmond	BC	V6y 1k6	7/14/17 19:30
Kulwinder	Pooni	kulwinderpooni@hotmail.com	9371 Dayton Avenue	Richmond	BC	V6Y 1E2	7/14/17 19:27
Puneet	Pooni	puneetpooni@hotmail.com	9371 Dayton Avenue	Richmond	BC	V6y 1E2	7/14/17 19:26
Gurjit	Pooni	Gurjit_23@hotmail.com	9371 Dayton Ave	Richmond	Bc	V6y1E2	7/14/17 19:24
Ranjit	Pooni	ranjitpooni@hotmail.com	9371 Dayton Avenue	Richmond	BC	V6y 1e2	7/14/17 19:17



Builders Choice - Builders Voice

Richmond Home Builders Group

#2240 - 4871 Shell Rd
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 604-825-4433
 www.myrichmond.ca
 info@myrichmond.ca

PETITION: Richmond Building Massing Bylaw

	FULL NAME	ADDRESS	PHONE #	EMAIL	SIGNATURE
1	Par Dhinjal	9440 Patton	604 771 4622	DCLTD@telusnet.com	[Signature]
2	Surjeet T Dhinjal	Richmond	"	"	[Signature]
3	Meena Dhinjal	"	"	"	[Signature]
4	Arjun Dhinjal	"	"	"	[Signature]
5		"	"	"	
6	Surjit K Dhinjal	8391 Fairway	Rich 604-771-4622		S.K. Dhinjal
	Jasvinder Virk	11115 82 Ave Delta	604 227-8079		[Signature]
	Solam Nijjar	8512 122 St Sry	604-779-1334		[Signature]
	AMARJIT BASRAT	10936-130 St	Surrey 604 440-6244		[Signature]
	MUHAMMAD TURAKKA	Sum 7838-440 ST	SURREY BC 863-7603		[Signature]
11	DAVINDER VIRK	10307-129 St		604-537-4467	[Signature]
12	NARINDER	12254-99A	SURREY	604 577-8475	[Signature]
13	HARPREET VIRK	11135-82	DELTA	604 209 7083	[Signature]
14	JASDEV S. Uppal	7908-122	SURREY	604-652-2000	[Signature]
15	Ramandeep Uppal	7908-122	SURREY	778-870-0678	[Signature]
16	Sukhdeev S	8985-124 St	Surrey	604-652-2000	[Signature]
17	Jerry Dhinjal	8320 # 4 Rd	604 277-4232	jarru39@gmail.com	[Signature]
18	Sukh Dhinjal	8320 # 4 Rd	"	"	[Signature]
19	Raymond Das	12478 91A	SURREY	778 995 2069	[Signature]
20	SARBJEET SINGH	9357, 133A ST	SURREY	604-961-2922	[Signature]
21	ANAM DHANAL	14680 76 Ave	604 312 3035	ANAMDHANAL@HOTMAIL.COM	[Signature]
22	SARS SETHI	2311 McCRESSOCK	Richmond	604 670 498	[Signature]
23	M. S SETHI	2311 McCRESSOCK	Richmond	604 279 0336	[Signature]
24	KAREN SETHI	2311 McCRESSOCK	Richmond	604 279 0336	[Signature]
25	RUBY SETHI	2311 McCRESSOCK	Richmond	604 279 0336	[Signature]
26	SURDEV SETHI	2311 McCRESSOCK	Richmond	604 279 0336	[Signature]
27	PRITAM DHANAL	8320 No 4 Rd	Richmond	604 961 2069	[Signature]
28	Daljit Dhinjal	8320 # 4 Rd	Richmond	604 277 4232	[Signature]
29	Jaranjeet Dhinjal	8320 No. 4 Rd	Richmond	604 277 4232	[Signature]
30	Darvinder Jagdeo	9988 Doughty	Richmond	778 389 4328	[Signature]



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PETITION: Richmond Building Massing Bylaw					
	FULL NAME	ADDRESS	PHONE #	EMAIL	SIGNATURE
31	Simran Jagdeo	"	604-307-4328	Simranjag1@hotmail.com	<i>Simran Jagdeo</i>
32	Arshdeep Jagdeo	"	604-644-4928	arsh	<i>Arshdeep Jagdeo</i>
33	Priya Sambhi	12280 Flury Dr.	778 227 0568		<i>Priya Sambhi</i>
34	Keenan Sambhi	12280 Flury Drive	778 2301726		<i>Keenan Sambhi</i>
35	Manpreet Sambhi	12280 Flury Dr	778-908-1279		<i>Manpreet Sambhi</i>
36	SARB JAGDEO	9988 DARTMOUTH AVE	604-273-4226		<i>Sarb Jagdeo</i>
37	Nathan Roda	9471 Bonnard Rd	604-857-8156		<i>Nathan Roda</i>
38					
39					
40					
41					



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	FULL NAME	ADDRESS	PHONE #	EMAIL	SIGNATURE
1	HOWARD HSU	7591 Lindsay Road	604 266 6208	how123@hotmail.com	<i>Howard Hsu</i>
2	Ryan Liu	4502 Fisher Court	604 779 9389	liuyuan@yahoo.com	<i>Ryan Liu</i>
3	Wanda Lu	11860 Hammersmith Way	604 307 6108	wanda@rocketz.net	<i>Wanda Lu</i>
4	Christine Cho	7591 Lindsay Road	604 277 7358	christinehjc@hotmail.com	<i>Christine Cho</i>
5	Jerry Liu	5211 Haddon Pl.	604 241 9319	jerr/liu@hotmail.com	<i>Jerry Liu</i>
6	William Chang	18 15977 26 Ave	778 997 7098	invlen@hotmail.com	<i>William Chang</i>
7	Denise Lai	4502 Fisher Court	604 816 6086	denise0923@gmail.com	<i>Denise Lai</i>
8					
9					
10					
11					



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	FULL NAME	ADDRESS	PHONE #	EMAIL	SIGNATURE
1	Parm Dhyal	5851 Reeves Bl	604-880-1861	parmdhyal@shaw.ca	
2	Shalen Dhyal	" "	604-318-7857	" "	
3	Kamal Dhyal	12220 Westminster	604-339-8068	" "	
4	Harman Dhyal	" "	604-279-0754	" "	
5	JATINDER SINGH	11551 Seafield	604 785 147		
6	PUSHPINDER S.	11551 Seafield	778-707-5147		
7	Lovdeep	" "	604-785 5147		
8	MANOHDAR SINGH	" "	" "		
9	GURDEET KAUR	" "	" "		
10	SIMARJIT KAUR	" "	" "		
11	MANDEEP KAUR	" "	" "		
12	Bhavin	" "			
13	TARVIN KAUR	" "	" "		
14	JASVIR DHYAL	11340 Seahurst	" "		
15	JASINDER KAUR	" "	" "		
16	JINDERJIT SINGH	7367-123 ST	778 246 0079		
17	Meharban Kaur	10100 River Drive	604 270 9357		
18	Nasib Ra.	7371 MCCALL CEM RD			
19	Reemna Sidhu	10311 Anintree Crescent	778-211-1300	reemna09@hotmail.com	
20	Nita Ewen	10700 MacArthur Blvd	604 805-0353	nitaran-greent	
21	Dhar Ewen	10700 MacArthur Blvd	604 720-3707		
22	Kamal Samra	12460 Harrison Ave	778-882-0604		
23	Ardip Leigh L		778-882-0604		
24	Aleisha Samra		778-882-0604		
25	Evan Samra		778-882-0604		
26					
27					
28					
29					
30					



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	FULL NAME	ADDRESS	PHONE #	EMAIL	SIGNATURE
36	BALWINDOLE-BIRK	11651-50A BERT AVE	604-618-7902		<i>[Signature]</i>
37	Yann S. Joubert	7121 944 AVE SUMMIT	604-271-1111		<i>[Signature]</i>
38	DALVIKAR Manoj	8660 Monclair	778 778 9385		<i>[Signature]</i>
39	DEVIKAR Manoj	8660 Monclair	604-271-6956		<i>[Signature]</i>
40	N. Manoj	8660 Monclair	604-271-1082		<i>[Signature]</i>
41	P. Manoj	8660 Monclair	604-271-9283		<i>[Signature]</i>
42	Gurpreet Khaira	18354 67A AVE	604-339-4110		<i>[Signature]</i>
43	Jaspreet Grewal	14151 CADICOTT AVE	778-858-0000		<i>[Signature]</i>
44	Cam Ranga	4600 Westminster	604 605 7911		<i>[Signature]</i>
45	DARSH BANSAL	7700 NO 1 RD	604-809-0244		<i>[Signature]</i>
46	Pulvankar Bansi	7700 NO 1 RD	604-272-2467		<i>[Signature]</i>
47	Mrs. KATHA	4221 WILSON BL	604 765 8822		<i>[Signature]</i>
48	Amrit Singh Barch	18427 54th ave	604 889 7822		<i>[Signature]</i>
49	GAVIN GILL	13457 87B AVE	778-317-4156		<i>[Signature]</i>
50	Amrit Bhullar	10660 Seaborn Cir	604 218 6146		<i>[Signature]</i>
51	Gursharan Bansal	4700 Webster Rd	604-278-6775		<i>[Signature]</i>
52	Bavinder Bansal	4700 Webster Rd	604-278-6775		<i>[Signature]</i>
53	Jagjit Bansal	11000 Wood Hood	604 783-1840		<i>[Signature]</i>
54	Gurram S. Johal	10520 Westminster	604 276 2055		<i>[Signature]</i>
55	Roshan Uppal	6420 No 1 Rd	604 274 9231		<i>[Signature]</i>
56	AVTAR DHILLON	9560 SEAGATE RD	604-275-5917		<i>[Signature]</i>
57	JIALMAN SIDHU	9580 GLENALLAN	604-271-7759		<i>[Signature]</i>
58	DALBIR S. ANAND	5600 No 1 Rd Rich	604-727-0166		<i>[Signature]</i>
59	BALDEV SINGH MALIK	9451 DESMOND RD	604-277-3246		<i>[Signature]</i>
60	SADOKH BIRING	4100 WILLIAMS	778-223-3379		<i>[Signature]</i>
61	PARKASH DHOLWANI	3720 RAMMADAN	604 276 0225		<i>[Signature]</i>
62	GIAN SINGH	10071 NO 1 RD-10	604 277 9442		<i>[Signature]</i>
63					
64					
65					



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Builders Choice - Builders Voice

PETITION: Richmond Building Massing Bylaw

	FULL NAME	ADDRESS	PHONE #	EMAIL	SIGNATURE
1	BHUPINDER S. JOHAL	8120 Seafair dr	604-366-2890	b_s_johal@hotmail.com	[Signature]
2	DARSHAN S. JOHAL	8120 Seafair dr	778-999-4571		[Signature]
3	Leah S. Phelan	8120 Seafair dr	604-721-3872		[Signature]
4	Balbir S. ?	3700 Springthorne	778-322-0700		[Signature]
5	Harjit Singh	3700 Springthorne	778-863633		[Signature]
6	Harjit Singh	3700 Springthorne	778-7073838		[Signature]
7	Jagpreet Singh	8340 Alameda Pl	778-558400		[Signature]
8	Rajandeep	8340 Alameda Pl	778-6819070		[Signature]
9	KAMAL K. JOHAL	8340 Alameda Pl	604-5662892		[Signature]
10	Ergen Masuwan	8340 Alameda Pl	778-872299		[Signature]
11	Yusef Bystror.	8340 Alameda Pl			[Signature]
12	Randeep Singh	9400 Piermond Rd	604-724-9075		[Signature]
13	Ravinder S.	9400 Piermond Rd			[Signature]
14	Ranjay S.	9400 Piermond Rd			[Signature]
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Builders Choice - Builders Voice

Richmond Home Builders Group

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 604-825-4433
 www.myrichmond.ca
 info@myrichmond.ca

PETITION: Richmond Building Massing Bylaw

	FULL NAME	ADDRESS	PHONE #	EMAIL	SIGNATURE
1	AZIM DHIMANI	6740 RIVERDALE DR	604 649 1099	zimu@shaw.ca	<i>[Signature]</i>
2	GURPREET MANN	8751 ROSEVALE RD	604-720-0949	ASM-MANN@hotmail.com	<i>[Signature]</i>
3	Satvir Grewal	3886 Richmond St	604-778-5521	grewal.satvir@hotmail.com	<i>[Signature]</i>
4	Jagmeet Gill	7491 Lindsay Rd.	604 721 5334	JLG HOMES LTD	<i>[Signature]</i>
5	Syed Gul.	#288-7080 River Rd	604-671-9918	Abubekhamzindars.com	<i>[Signature]</i>
6	ONKAR DHADUK	4935 KERR RD	604 720 8255	oo@uag@shaw.ca	<i>[Signature]</i>
7	Zeeshan Hasam	6411 Blundell Rd	604-722-7285	zhasam@me.com	<i>[Signature]</i>
8	Gabriel S. Dhaduk	13133-66B AVE	604-611-5001		<i>[Signature]</i>
9	DL BISHNI	208-8171 Cook Rd	604-220-3970	kalate@shaw.ca	<i>[Signature]</i>
10	MATHEW THOMAS	11711-SEABROOK	604 720 2977	tomsmwest@shaw.ca	<i>[Signature]</i>
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Richmond Home Builders Group

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June 29th, 2017

PETITION

We, the residents and the building community representatives of the City of Richmond, petition the elected Council and Mayor to incorporate in whole or in part the recommendations as submitted on June 20th, 2017 by the Richmond Home Builders Group (RHBG) with respect to the new Richmond Building Measures Study.

RHBG has put forth a very general, but serious, recommendation to the City that would allow us to select and build a majority of good quality, high-end projects. However, we feel the City's recommendations are too restrictive and have caused negative impacts on high construction and for the City of Richmond. See diagram on page 4 for a visual representation of the impact on any 27' x 120' lot. We are asking the City to amend its recommendations to allow for a more flexible approach.

1) Change Rear Yard Setback to 60/40 (meaning 6m (20ft) for the ground floor and 7 feet for the upper floors) instead of the City's recommendation of 60/60 (6m (20ft) for 1st floor + 30% for upper floors).

2) Maximum Depth of House: This should stay as Status Quo instead of the City's recommendation of 30m (100 feet) and then the requirements for a driveway at articulation. This would allow for a more flexible approach to the rear yard setback and allow for a more flexible approach to the rear yard setback.

3) Garage Projection: Change the projection from the city recommendation of 9.1m to 9.8m (additional 2 feet) will allow a larger garage for the house and provide a more flexible approach to the rear yard setback.

We respectfully request the Richmond Home Builders Group to be considered and informed by the City Council and the Mayor of Richmond incorporate the changes as put forth by the RHBG as presented.

For more information visit www.myrichmond.ca or email info@myrichmond.ca

	FULL NAME	ADDRESS	PHONE #	EMAIL	SIGNATURE
1	ANITA CHAN	#110-6086 RUSS BAKER WAY RICHMOND, BC V7B 1B4	604-318-8866	anita@anitachan.com	[Signature]
2	AUSTIN KAY	#110-6086 RUSS BAKER WAY RICHMOND, BC V7B 1B4	604-351-2841	austine@austinkay.com	[Signature]
3	SHERRY LIAO	#20-12438 Burnside Pl	778-922-7937	sherry.liao@bcrai.com	[Signature]
4	JACKY CHUANG	#15-9833 Kuper Ave	604-780-5056	jchuang.kay@gmail.com	[Signature]
5	EUGENIA LEE	#67-6888 F.O.B. COM' DR. R.M.D., BC V7C-5T6	604-272-1853	eugeniale@telus.net	[Signature]



Richmond Home Builders Group

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PETITION: Richmond Building Massing Bylaw

	FULL NAME	ADDRESS	PHONE #	EMAIL	SIGNATURE
6	ALICE CHAN	4000 RIVER ROAD, RMD	604-258-8833		<i>Alice Chan</i>
7	ANNA AU-YEUNG	#7-10480 NC 3 RD, RMD	604-218-3378		<i>Anna Au-Yeung</i>
8	TOM LY	5376 MURKIN RD	604-868-1576		
9	LILY KAY	#18-6000 BARNARD DR	604-729-3700	lilykay@gmail.ca	<i>Lily Kay</i>
10	WINSTON KAY	#18-6000 BARNARD DR	604-241-4498	lilykay@gmail.ca	<i>Winston Kay</i>
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June 29th, 2017

PETITION

We, the residents and the building community representatives of the City of Richmond, petition the elected Council and Mayor to incorporate in whole or in part the recommendations as submitted on June 20th, 2017 by the Richmond Home Builders Group (RHBG) with respect to the new Richmond Building Massing Bylaw.

RHBG has put forth a very generous compromise in correlation to the city staff's recommendations. We reluctantly accept a majority of the proposed changes; however, we feel the three regulations listed below will have an unwelcomed negative effect on the design, construction and the value of a new home.

* See diagram on page 4 for changes that will come into effect on July 17th, 2017 if we don't react. Please attend this Public Meeting at the city hall and show your support.

- 1). **Change Rear Yard Setback to 60/40** meaning 6m (20ft) for the ground floor and 7.5m for the upper floor **instead of** the city recommendation of 25% (Example: 120ft lot = 30ft setback).
- 2). **Maximum Depth of House.** This should stay as **Status Quo** instead of the city proposal of 55% of lot depth and then the requirement of a continuous wall articulation. This inward jog of 8ft plus the 4ft side setback at the rear of the house will result in wasted yard space and loss of function and design.
- 3). **Garage Projection.** Change the projection from the city recommendation of 9.1m to 9.8m. The additional 2.2 feet will allow a side door access to the house and provide a safe clearance for a vehicle from the main front entrance.

I appoint Richmond Home Builders Group as my voice and immediately demand that the elected City Councils and the Mayor of Richmond incorporate the changes as put forth by the RHBG representatives.

For more information, visit www.myrichmond.ca or email info@myrichmond.ca

	FULL NAME	ADDRESS	PHONE #	EMAIL	SIGNATURE
1	LAKHRAJ GURAYA	9233 SAUNDERS RD	604-618-3591	lallygi@th.beangroup.com	[Signature]
2	VARINDER DHARWAL	11880 WOODHEAD RD	604-725-3034		[Signature]
3	KULVIR DHARWAL	11880 WOODHEAD RD	778-855-3034		[Signature]
4	KULVINDER MANN	11880 WOODHEAD RD.	604-765-3422	kellymann1@gmail.com	[Signature]
5	Iqbal S. Nijjar	15576 Tunis Pl.	604-737-3695		[Signature]



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June 29th, 2017

PETITION

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- 3). **Garage Projection.** Change the projection from the city recommendation of 9.1m to 9.8m. The additional 2.2 feet will allow a side door access to the house and provide a safe clearance for a vehicle from the main front entrance.

I appoint Richmond Home Builders Group as my voice and immediately demand that the elected City Councils and the Mayor of Richmond incorporate the changes as put forth by the RHBG representatives.

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	FULL NAME	ADDRESS	PHONE #	EMAIL	SIGNATURE
1	KARNSIR MANN	11651 - CLIFFIELD AVE	604-273-4695		
2	Harjot Samra	13480 Blundell	604-363-7957		HSS
3	Garage Dhillon	11660 Thorpe	604-240-1993		GD
4	Ravi Mann	6668 Robson	604-164-1027		
5	Antonio Juvy	4551 Westminster	778-837-5104		



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	FULL NAME	ADDRESS	PHONE #	EMAIL	SIGNATURE
1	BHUPINDER S. JOHAL	8120 Seafair dr	604-366-2890	b_s_johal@telus.net	[Signature]
2	VARSHAN S. JOHAL	8120 Seafair dr	778-999-4571		[Signature]
3	Lokesh S. Phelan	8120 Seafair dr	604-721-3872		[Signature]
4	[Signature]	3700 Springthorne	778-322-0700		[Signature]
5	Harpit Singh	3700 Springthorne	778-8636323		[Signature]
6	Harpit Singh	3700 Springthorne	778-7073833		[Signature]
7	Jagdeep Singh	8340 Alameda Pl	778-555-8400		[Signature]
8	Rajandeep	8340 Alameda Pl	778-681-9070		[Signature]
9	KAMAL K. JOHAL	8340 Alameda Pl	604-566-2892		[Signature]
10	Erjani Moshwani	8340 Alameda Pl	778-876-7299		[Signature]
11	Yusef Bystror.	8340 Alameda Pl			[Signature]
12	Gurdeep Singh	9400 Piermond Rd	604-724-9075		[Signature]
13	Ravinder S.	9400 Piermond Rd			[Signature]
14	Ranvijay S.	9400 Piermond Rd			[Signature]
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	FULL NAME	ADDRESS	PHONE #	EMAIL	SIGNATURE
36	BALWINDRA S. BIRK	11651 SEAPARK AVE	604-618-7902		
37	Ann S. Jones	7128 84th Ave	604-271-2716		
38	DA-VINCEL Mann	8660 Newmarket	778-278-9383		
39	DAVID MANN	8660 Newmarket	604-269-5166		
40	N. Mann	8660 Newmarket	604-269-5166		
41	P. Mann	8660 Newmarket	604-269-5166		
42	Gurpreet Khaira	18354 67A AVE	604-339-4110		
43	Jaspreet Grewal	14151 CALDWAY AVE	778-888-0000		
44	Can Rang	4600 Westminster	604-605-7411		
45	BALBIR BANSAL	7700 NO 1 RD	604-807-6214		
46	Gurwant Bansal	7700 NO 1 RD	604-272-2467		
47	Max Khuram	41265 Williams	604-766-8822		
48	Anuraj Singh Bhat	18927 54th Ave	604-889-7582		
49	GAVIN GILL	13457 87B AVE	778-317-4156		
50	Amit Bhullar	10660 Seaham Cir	604-218-6146		
51	Gurcharan Bains	4700 Webster Rd	604-278-6775		
52	Ravinder Bains	4700 Webster Rd	604-278-6775		
53	JayJot Bains	11000 Wood Hood	604-783-1840		
54	Gurram S. Johal	10520 Westminster	604-270-2055		
55	Roshan Lippel	6420 Nola Rd	604-271-9231		
56	AVTAR DHILLON	9560 SEAPARK RD	604-275-5917		
57	JIALMAN SIDHU	9580 GLENDALE DR	604-271-7759		
58	DALBIR S. AULAK	5600 N. 1st Rd	604-787-0166		
59	BALDEV SINGH MALHI	11945 DESMOND RD	604-237-3246		
60	SATKAR BIRING	4100 WILLIAMS	778-223-3374		
61	PARKASH DHOLWAL	3720 ROSAMOND	604-276-0825		
62	GAN SINGH	10071 NO 1 RD	604-277-2942		
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NO.	NAME	ADDRESS	PHONE #	EMAIL	SIGNATURE
1	Yong Hong Zhang	8760 Miller Road	604-781-6390	juliette386@yahoo.com	[Signature]
2					
3	Stella Chiang	250-8211 Ackroyd Rd	604-892-1223		[Signature]
4	Diana Wang	3-17830 Alexander Rd	778-327-3010		[Signature]
5	Judy Chen	16517 Yarmish Dr.	778-866-4134	scuseuski@yahoo.com	[Signature]
6	Kevin Zou	3988 Lockhart Rd	778-869-0883	Kevinzou@myrichmond.com	[Signature]
7	Bridget Yang	4065 Tyson Pl. Rm D	778-721-1277	bridget@juliettezhangPREE.com	[Signature]
8	Yang Wang	6511 Coltsfoot Dr	778-321-9000	Bryan@JuliettezhangPREE.com	[Signature]
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1	Jayson Sandhu	1892 Upland Dr	6047254781	jayson.sandhu	
2		Vancouver, BC		@live.com	
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	FULL NAME	ADDRESS	PHONE #	EMAIL	SIGNATURE
1	Ryan Worth	Langley	604-617-2580	rworthe@midlandappliance.com	<i>[Signature]</i>
2	Timothy Nawro	Surrey	778-335-0538	tim.nawro@midlandappliance.com	<i>[Signature]</i>
3	Clayton Howell	Delta	778-242-1401	chowell@midlandappliance.com	<i>[Signature]</i>
4	David Lui	Vancouver	604-710-5033	dlui@midlandappliance.com	<i>[Signature]</i>
5	Shaopu Liu	Surrey	778-874-5211	liu@midlandappliance.com	<i>[Signature]</i>
6	Michael Cobb	New West	604-375-0219	mcobb@midlandappliance.com	<i>[Signature]</i>
7	Bobby Golam	Vancouver	604-314-0124	bgolam@midlandappliance.com	<i>[Signature]</i>
8	Hung Wen Chen	New West	778-418-1318	hchen@midlandappliance.com	<i>[Signature]</i>
9	Peter Vuong	Burnaby	778-558-0497	pvuong@midlandappliance.com	<i>[Signature]</i>
10	Kevin Chang	North Vancouver	778-855-4505	kchang@midlandappliance.com	<i>[Signature]</i>
11	Scott Larricé	Burnaby	604-874-8185	slarrice@midlandappliance.com	<i>[Signature]</i>
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	FULL NAME	ADDRESS	PHONE #	EMAIL	SIGNATURE
1	GRAEME DAWSON	LIGHTING WARE	604-266-1755		<i>[Signature]</i>
2	MIKE DUBUAY	12420 BRIDGEPORT RD	604-8397483		<i>[Signature]</i>
3	Rachael Marie	3611 Francis Rd	604-270-2339		<i>[Signature]</i>
4	Donna Bowyer	106 1511 O 108 Ave Surrey BC	584-0128		<i>[Signature]</i>
5	K. Ketchen	2255-2085 HADSON Ave	10444452005		<i>[Signature]</i>
6	K. LIM	802-9171 FERNBERG RD RMD	604-657-6268		<i>[Signature]</i>
7	Han wai LUK	12420 Bridgeport Rd	778-891-2872		<i>[Signature]</i>
8	A. Ketchen	2435 SKILLET RD	604-961-2587		<i>[Signature]</i>
9	SITA KETCHEN	2435 SKILLET RD	604-644-2410		<i>[Signature]</i>
10	Diana Li	323-8860 No 1 Rd	778-995-8133		<i>[Signature]</i>
11	Joe Yang	38-7287 Maple Road	778-886666		<i>[Signature]</i>
12	Dan Smith	11660 Granville	604-916-4191		<i>[Signature]</i>
13	Davin Miller	3100 No 5 Road	604-270-1947		<i>[Signature]</i>
14	Rick Myler	10830 MACROBIA	604-597-3247		<i>[Signature]</i>
15	RANDY MILLER	10311 SPRINGHILL	604-244-5888		<i>[Signature]</i>
16	Sydney Stone	5780 BURNING AVE	604-2725813		<i>[Signature]</i>
17	Tori Chandler	6201 Fisher-Crest	604-557-6459		<i>[Signature]</i>
18	Leslie Siu	#32 10460 No 3 Rd	604-838-1311		<i>[Signature]</i>
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PETITION: Richmond Building Massing Bylaw

	FULL NAME	ADDRESS	PHONE #	EMAIL	SIGNATURE
36	Surinder Dohanjh	12660 Woodhead Rd	604-279-9904		S. Dohanjh
37	Prab Guraya	4233 Saunders	604-369-7545		[Signature]
38	Orlando	9240 Saunders	778-955-9233		[Signature]
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	FULL NAME	ADDRESS	PHONE #	EMAIL	SIGNATURE
6	HARBHARAN NIRK	13864 FALKIRK DR	6045133617		<i>[Signature]</i>
7	RAJIT SAHOTA	7816 127th ST	604-597-7245		<i>[Signature]</i>
8	SUKHDEW DHALIWAL	11880 WOODHEAD RD	778-855-3014		<i>[Signature]</i>
9	RAJINDER S. SANDHU	544 E 51st VAN	778-710-5400		<i>[Signature]</i>
10	Preet Pall	116-1210 Falcon Dr	604-908-3445	ppall@telus.net	<i>[Signature]</i>
11	Bransen Pall	116-1210 Falcon Drive	604-908-0710	bransenpall@telus.net	<i>[Signature]</i>
12	Srinivasan Mann	2898 161B ST	604-377-1324		<i>[Signature]</i>
13	DILBER MANN	2898 161B ST	604-652-3960	dilbermann@gmail.com	<i>[Signature]</i>
14	PAUL LUMMA	15491 37A AVE	604-290-7239	pllumma@telus.net	<i>[Signature]</i>
15	GAM SAUNDH	3-15068 58Ave	604-801-8197	gssoundh@telus.net	<i>[Signature]</i>
16	Cheryl Sandhu	3-15068 58Ave	604-808-4466	csandhu@telus.net	<i>[Signature]</i>
17	Shawn Lynn	1553 44th Ave	604-466-5511	shawnlynn@telus.net	<i>[Signature]</i>
18	DAVE SIDDOO	332 E 24th St.	604-908-2528	dsiddoo@source.ca	<i>[Signature]</i>
19	Murray Mann	11800 Woodhead Rd	778-347-0358		<i>[Signature]</i>
20	Narinder Hothi	2548 Piper Ave	604-289-0994	narinderhothi@telus.net	<i>[Signature]</i>
21	Barinder Rana	11700 AZTEC ST	604-512-8821	bar.rana@jms.com	<i>[Signature]</i>
22	Baljeet Mann	2898 161B ST	604-318-0751		<i>[Signature]</i>
23	Pirminia Sidoo	424 East 1st St	604-987-7106		<i>[Signature]</i>
24	Satwant K. Mann	2891 161B ST	778-237-5564		<i>[Signature]</i>
25	Jesse Singh	424 E 1st St	778-895-0760	conack.604@gmail.com	<i>[Signature]</i>
26	Pam Rana	11700 Aztec St.	778-847-2393	prana94@telus.net	<i>[Signature]</i>
27	Harmon Mann	11800 Woodhead Road	778-885-3424	harmonmann@telus.net	<i>[Signature]</i>
28	Denisha Mann	11800 Woodhead Rd	778-855-3424	denishamann@telus.net	<i>[Signature]</i>
29	Gurdish Sandhu	14754 106 AVE	778-984-4999	gurdish@telus.net	<i>[Signature]</i>
30	Surinder Sandhu	"	604-585-3625		<i>[Signature]</i>
31	DALVIR DOSANJH	11851 AZTEC ST	778-855-9904	westcoastflinishing@gmail.com	<i>[Signature]</i>
32	MALMINDEK DOSANJH	11851 AZTEC ST	778-316-4010		<i>[Signature]</i>
33	ARJUNALJIT DOSANJH	11871 Woodhead Rd.	604-279-9982		<i>[Signature]</i>
34	Satnam Dosanjh	11871 Woodhead Rd.	604-618-4843	Richmond.CANWETS@gmail.com	<i>[Signature]</i>
35	Birkal Dosanjh	12660 Woodhead Rd.	778-751-2877		<i>[Signature]</i>

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6	Jyhar Singh Bath	16191 Blundell Rd	778-322-4132		<i>[Signature]</i>
7	Aranpal Hothi	748 Fraser	604-644-4549		<i>[Signature]</i>
8	Gurj Pooni	9371 DAYTON	778-926-2355		<i>[Signature]</i>
9	Harpal Bindra	5831 McCallan Rd	778-885-4618		<i>[Signature]</i>
10	Jyoti Dhillon	4110 Granville Ave	604-397-5151		<i>[Signature]</i>
11	Justin Drillon	1176 798 Ave	778-990-7877		<i>[Signature]</i>
12	Hameed Sheikh	8751 McLaughlin Rd	778-990-5690		<i>[Signature]</i>
13	Himat Seeh	851 Howbray Rd.	778-990-6590		<i>[Signature]</i>
14	Karn Mann	1500 Woodhead Rd	778-316-3422		<i>[Signature]</i>
15	Danny Chen	4831 Allison Cr	778-323-4255		<i>[Signature]</i>
16	Ramandeep Bhatnagar	9711 Seagrave Rd	778-960-9791		<i>[Signature]</i>
17	Ranjit Pooni	9371 Dayton	778-953-6484		<i>[Signature]</i>
18	Rahul Jolly	4551 Westminster	778-371-1500		<i>[Signature]</i>
19	Annie Li	5251 Clifton Rd	778-378-6667		<i>[Signature]</i>
20	Bob Moore	3377 Marquis	604-780-2226		<i>[Signature]</i>
21	G.S. SANDHU	2180 E 39th	604-805-3533		<i>[Signature]</i>
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2	JASPAL CHAHAL	10951 Southport Rd	778 913 4408	jaspal@gmail.com	JFHC
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7	Hui Zhen Chen	8760 Seafair Dr	604 323 3923	jennychen@9mail.com	Hui
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9	Jan Gan Chen	7200 No 5 Rd	778 319 7039		Jan
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12	Arumjit S. Bhandari	6320 Chelmsford St	604 278-1815	arumjit@gmail.com	Arumjit
13	Arumjit S. Bhandari	6320 Chelmsford St	604 278-1665		Arumjit
14	Gurjit Nijjer	11988 Dewsbury Dr	604-270-1595	nijjer-gurjit@shaw.ca	Gurjit
15	Baljit Nijjer	11988 Dewsbury Dr	604-270-1595		Baljit
16	Kulwaran Nijjer	11988 Dewsbury Dr	604-270-1595		Kulwaran
17	Manraj Nijjer	11988 Dewsbury Dr	604-270-1595		Manraj
18	Preet Nijjer	11988 Dewsbury Dr	604-270-1595		Preet
19	Josia Nijjer	11988 Dewsbury Dr	604-270-1595		Josia
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33	Will Andersson	6374 129th St	778 6604291	William.Andersson@live.ca	[Signature]
34	SANJAM SINGH	6611-441-4311			[Signature]
35	MELCHOR CALADIA	7950 WILLIAMS RD	604-277-9160	bc914376@telus.net	[Signature]
36	Matias W.	328-10100 no 3rd	778 980 4738	matias.w@ymail.com	[Signature]
37	Puneet Bhardwaj	7980 WILLIAMS RD	778-838-1178	puneetbhardwaj1996@gmail.com	[Signature]
38	Dinesh Kaur	10550-SHELR	REV 7A 2X1	-SINGH	[Signature]
39	Gurpreet Singh	1315-THUR	7240	647545912	Gurpreet Singh
40	Mit 311464			6042294266	
41	Pardeep Singh	10372 129th	778-25034	PardeepSingh10@Hotmail.com	[Signature]
42	RAHIB DEO	11231 SEAFORT	6045519204		[Signature]
43	JAWANT SINGH		321-4420	PSNFE	JAWANT
44	DIHAN AULAKH		557-9745		
45	AMANDEEP GIDDA	14258 58 AVE	778 713 1984	man	[Signature]
46	Manmohan Singh	8988 130B	778 242 7401	ManmohanSingh@Hotmail.com	[Signature]
47	Krushnak Singh		B 772-246-7637		[Signature]
48	AKASH BALZ	10651 Agassiz Court	604 616 6375		[Signature]
49	Rohit Bali	1045 Agassiz Court	604-649-2117		
50	Siddhant Singh		778 688 4578		[Signature]
51	AMANDEEP SINGH		604-700-5107		[Signature]
52	Parvaiz Akhter		604-961-0044		[Signature]
53	Sachin Anwar		604-961-6928		[Signature]
54	Mandeep Singh	31897 Glenwood Ave	604-825-5244	MandeepSingh@Hotmail.com	[Signature]
55	BHATTAN SINGH	31897 Glenwood Ave	604-825-5244		[Signature]
56	Kuldeep Singh	31897 Glenwood Ave	604-825-5244		[Signature]
57	Siddhant Singh	1015	6045045605		[Signature]
58	Kavip S Suddh	908 E 55 AVE	604-377-6682		[Signature]
59	Soham Singh	955 59th	604 790 2034		[Signature]
60	Kuldip Dahi	859 59th	604 657 5918		[Signature]



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2	Kulwant Singh		778-395-3646		[Signature]
3	Gurbach Singh				[Signature]
4	Gurdeep Singh				[Signature]
5	Gurbach Singh				[Signature]
6	Hank Dary Singh				[Signature]
7	Kulwant Singh				[Signature]
8	Anand Singh		778-713-1984		[Signature]
9	MAN DEEP SINGH		778-320-2825		[Signature]
10	HARPREETS GILL	7451 LEDWAY RD.	604-500-6660	gillhrpt@gmail.com	[Signature]
11	RAVISHR SINGH	6751 Riverdale	778-668-7560	ravisnea2@gmail.com	[Signature]
12	Kanwal Preet Singh	12232 84 Avenue	778-385-6007	kanwal74@yahoo.com	[Signature]
13	Nimrat Gill	7451 Ledway Rd.	604-704-9992	nimratgill@gmail.com	[Signature]
14	Cat Jenkins			catriena@gmail.com	[Signature]
15	Liedelle Young			lyoung@gmail.com	[Signature]
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23	ABHAY SINGH	6320 CHELMSFORD RD.	778-88-39995	abhaysingh@gmail.com	[Signature]
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25	Porter Laing			Porter23@gmail.com	[Signature]
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28	ALLISSON LARA			AllisonLara@gmail.com	[Signature]
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30	May Ng			MNg@gmail.com	[Signature]

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61	GURJIT SINGH	14241 100A	604 726 9302		Gurjit
62	BUTA SINGH	11240 78B	604 537 3756		Buta Singh
63	JATINDER SINGH	11511 SCARLETON	604 780 5147		Jatinder
64	Rashbinder Singh	11511 SCARLETON	778 707 5147		Rashbinder
65	Loveeep Ramu	13746 51B	778-875 6521		Loveeep
66	Hussain Baluch	9329 Kingsley cres	604 364 2318		Hussain
67	Touqeer Rahman	6676 Narwama st.	604.319.6111		Touqeer
68	Harpreet Singh		+61433015679		Harpreet
69	HO NGOC LINH	3312 E 23rd Ave	604 352 7212		Ho Ngoc
70	HANG NGUYEN	5305 114th St	714 578 8881		Hang
71	THAI KHIM	7910 5th Ave	604 619 6587		Thai
72	TRUNG NGUYEN	5250 Killarney St	778-289-5174		Trung
73	NGOC TRAN	4760 BRUCE	604 653 0709		Ngoc
74	NAM TRAN	2978 Pender St	778-321-4850		Nam
75	NIHARI	2027 E 40th Ave	604 782 0955		Nihari
76	SURINDER RAHWATA	10500 Cathcart	604-780-0736		Surinder
77	KARAN S. Jagde	1060 King Rd	604-700-2240		Karan
78	Alun Rahwata	10500 Cathcart	604 780 3123	ehrahwata@gmail.com	Alun
79	SARWAN SINGH	24424 45th Ave			Sarwan
80	Kyle Beryx	11011 ave	604 520 3368		Kyle
81	Sukhsivan	8988-1306 Sunny	604 745-7400		Sukhsivan
82	Jardeep Singh	11711 84	604 592 0039		Jardeep
83	Amrinder Singh	12711 86	604 551 0144		Amrinder
84	Sukinder Singh	129A 5937	604 781 1328		Sukinder
85	Chambrant Singh	129A 5937	604 445 1980		Chambrant
86	Dalwinder Singh	117A 86	604 760 4632		Dalwinder
87	Beant Singh	9465 161 St	604 319 6600		Beant
88	RANJIT	14771 88 AVE	604 600 8494		Ranjit
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31	Amandeep Singh	7925, 126A, 80 Ave	778 883 6719		[Signature]
32	Karnaljeet Singh	117472, Fernway (de)	604 446 4699		[Signature]
33	Lukhraj Singh	13466, 87	778, 878 612		[Signature]
34	Malkit Singh	12841- 72nd AVE	778-891-5205		[Signature]
35	Harjeet Singh	13035- 63A AVE	604-614-6042		[Signature]
36	Syranjeet Singh		604 308 6285		[Signature]
37	RAJJI T SINGH		604 780 4015		
38	DAVINDER SINGH		778 237 0225		[Signature]
39	Ranjit Sivanalla	12474 - 56A AVE	778 883 5678		[Signature]
40	Rajwinder K		778-881 8184		[Signature]
41	Jasvir S Nanda	6618 - 139 ST	604 617 3994		[Signature]
42	PRABHJARAN SINGH	487 13880-74 AVE	604 704 0241		Rajwinder Singh
43	Sandeep Singh		778-592-4921		[Signature]
44	KULR S DULLOOL	4740 DUMONT ST	604-244-2623		[Signature]
45	LIR - RULR KUL	4740 DUMONT ST	604-244-092		[Signature]
46	MOHINDER SINGH	11 11 11	604 2614 0012		[Signature]
47	RASNEE KANG	11 11 11	604 244 0012		[Signature]
48	GURJIT BRAR	11500 BRAN SUDON	604 808 3942		
49	DEEJ K. BRAR	12591 11 22	11 11 11		
50	RAJ VIKRANT KANG		604-618-4304	Raj Kang 849@hotmail.ca	[Signature]
51	CHANDAN S KANG		604-726 4639		[Signature]
52	ANAND KANG		778-564-3540		[Signature]
53	ARAJIT KANG		604-679. 8720		[Signature]
54	KULWINDER KANG		604-679-8720		[Signature]
55	NISSAR	6160 DANUBEE ROAD	604 270-3875		[Signature]
56	NISSAR PRABHJARAN	11 11 11	604 270-3875		[Signature]
57	NISSAR ASIT K	11 11 11	11 11 11		[Signature]
58	NADEEB SNISSAR	11 11 11	11 11 11		[Signature]
59	ARAJAN NISSAR	11 11 11	11 11 11		[Signature]
60	RUBY NISSAR	11 11 11	11 11 11		[Signature]

Jim Wright, 8300 Osgoode Drive, Richmond, on Item 7

Mayor Brodie and Councillors,

For once, I have to point out how challenging it is to understand exactly what is being proposed. However, from the minutes of the June 26 council meeting, I think that the original recommendations from staff are essentially what is being put forward again tonight.

I do have a clear impression that staff have engaged the community widely in this matter. I also know they came up with a set of massing recommendations that informed members of the public supported.

On that basis, I have a general request. Please support a set of massing regulations that best protects the urban forest throughout the city. The urban forest, including a forest canopy, is something that the City of Richmond evidently supports in principle, so let's enable it in practice.

To that end, please adopt the original staff recommendations re building massing—or something that is even better for restoring the Garden City.

Revised Proposal

Public Hearing – 17th July 2017

The Richmond Building Group propose the following **Revised** changes to be amended to the proposed bylaw **9737** at **Public Hearing**.

1) **Rear Yard Setback**

Change Sec 8.1.6.6 The Minimum rear yard is the greater of 6.0m or 25% of the total Lot Depth, up to a Maximum of 10.7m; except: (a) (b) (c)

Replace with:

Section 8.1 .6.6 is deleted in its entirety and replaced with the following:

For the **storey, first** 20% of the total **lot depth** for a maximum of 60% of the wall opposite and perpendicular to the **lot line, rear**, and 25% of the total **lot depth**, up to a maximum of 10.7m for the remaining 40% of the wall opposite and perpendicular to the **lot line, rear**; and 25% of the total **lot depth**, Up to maximum of 10.7m for any second **storey, or storey, half (½).**"

Inserting the following as Section 8.1.6 .7 and renumbering the renumbering sections accordingly:

"8.1.6.7 Notwithstanding the regulation in 8.1.6.6 above:

The minimum **rear yard** is 6.0 m:

- i. for a **lot** with a **lot area** less than 372m^2 ; or
- ii. for a **lot** with a **lot depth** less than 28 m; or
- iii. for a **lot** located and **arterial road** where a **zone** requires a minimum **front yard** of 9.0 m; or
- iv. for a lot containing a single detached dwelling of one storey only."

2) Amend Definition:

"**Continuous wall** means a second storey, or **storey, half (½)** exterior wall on a **single- family dwelling**, which does not include an inward articulation of 2.4 m or more, with a minimum horizontal measurement of 2.4 m."

3) **Amend:** *That Staff report back to Council within 24 months with a follow-up report on the implementation of new massing regulations.*
